

**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
HISTORIC RESEARCH WORKSHEET**



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

The applicant shall research the following (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):
 - ☒ Sanborn Maps
 - ☒ 1941 Tax Assessment
 - ☒ 1989 Anne Bloomfield Historic Resource Survey forms
 - ☒ Polk's Directories
 - ☒ Telephone Directories
 - ☐ Other
2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):
 - ☒ Santa Clara County Planning Department records
 - ☐ San Jose Public Library (California Room)
3. Community Development Department Resources:
 - ☒ Sanborn Maps
 - ☒ 1989 Anne Bloomfield Historic Resource Survey forms
 - ☒ Community Development Department property files (permit history)

Research was conducted on (please enter date): 03/21/2025

Records and Documents found (please attach copies): 1. San Born Maps. 2. 1941 Tax Assesment

3. 1989 Anne Bloomfield Historic Survey. 4. Telephone Directories. 5. Computer Records. 6. SCC replies

The justification for the removal of 446 San Benito Ave from the Historic Inventory is attached as Attachment-1 containing all these documents as Annexures 1 to 10.

HOW TO RESEARCH THE HISTORY OF A HOUSE IN LOS GATOS
At the Los Gatos Public Library
100 Villa Avenue, Los Gatos CA 95030

Locked Cases Area

1. The Los Gatos *Sanborn Fire Insurance Maps* located on the microfilm file cabinet. These maps indicate the outline of buildings in 1884, 1888, 1891, 1895, 1904, 1928 and 1944 (please note the 1944 maps have been relabeled and appear out-of-order, before the 1928 maps). These can be used to identify a construction date range.

Bookcase #11

1. The 1941 *Tax Assessment Survey*. The listings are alphabetical by street name. An entry will note how old the owner thought the house was in 1941 (please note that this information is not always accurate).
2. The 1991 *Anne Bloomfield Historic Resources Survey*. These listings are alphabetical by street name.
3. A list of the *Museums of Los Gatos Historic Homes Tours* and programs.
4. A list of the 100 *Bellringers* and information.
5. As it Was by Dora Rankin.

Bookcase #12

1. The 1924-1974 *Polk's Directories* (please note that some years are missing), with reverse listings by address and then resident name.
2. *Business and Telephone Directories*, as early as 1881-82.

History Room (Docent Hours: 1:00-5:00 Mondays and Thursdays; 10:00-12:00 Wednesdays)

1. History of Los Gatos by George Bruntz and Los Gatos Observed by Alistair Dallas (979.473).
2. Information in the Residences drawers of the Vertical File, filed by street.
3. The Patrons' Inquiries, binder #3 Residences, listed by street, located on the shelf above the computers. These may provide information found under previous searches.

General

1. ancestry.com is available free while inside the library.
2. A Field Guide to American Houses by Virginia Savage McAlester (728 M11 in non-fiction)

JUSTIFICATION FOR REMOVAL FROM HISTORIC INVENTORY

446 San Benito Avenue Los Gatos, CA, 94032

SUBJECT: Request for removal of a Pre-1941 Property from Historic Resources Inventory for the Property Zoned R-1D, Located at 446 San Benito Avenue. APN 410-16-051.

PROPERTY OWNER/APPLICANT: Devendra Deshwal

PROPERTY DETAILS:

1. Date primary structure was built: as per ANNE BLOOMFIELD ARCHITECTURAL SURVEY- LOS GATOS RESEARCH -Year 1920, As Per Town Record -1905
2. Town of Los Gatos Historic Status Code: N/A
3. Does property have an LHP Overlay? No
4. Is the structure in a historic district? No
5. If yes, is it a contributor? N/A

DETAILED JUSTIFICATION:

A wide-ranging research has been conducted in line with the guidelines of the Historic Research WorkSheet, Historic Preservation Committee, Town of Los Gatos and the details of the research are given as below:

1. LOS GATOS PUBLIC LIBRARY:

- a. **SANBORN MAPS:** The Sanborn maps of 1928 & 1944 are attached as Annexures-1 & 2. These maps show the main house and an accessory structure in the rear yard. The main house still exists but the accessory structure is no longer existing as will be seen from the existing site plan sheet A1 in the plan set of the existing house attached as Annexure 10.
- b. **1941 TAX ASSESSMENT:** The 1941 Tax Assessment Survey is attached as Annexure-3. It does not convey any pointer to the historical character of this building. (The survey report is for lot 43 (Old No.) as also correlated in the ANNE BLOOMFIELD SURVEY.
- c. **1989 ANNE BLOOMFIELD HISTORIC RESOURCE SURVEY FORM:**
The Anne Bloomfield Historic Resource Survey Form is attached as Annexure-4. The survey also mentions its old lot No. as 43 and also provides its likely year of construction as 1920. The original style is said to be "Banglow". It also mentions that some alterations to existing windows and the Porch were done to the original house. A photo of the house is also given but the features of the house are not very clear from it. As such, the survey does not establish it to be a structure of historic importance.
- d. **POLK'S DIRECTORIES & TELEPHONE DIRECTORY:**

The Polk's Directories & Telephone directories were researched to know the details of persons staying or associated with this house. A chronological detail of the persons stayed is given in Annexure -5 attached including the relevant pages of the Polk's Directory.

A search was made on the internet for important persons associated with Los Gatos and a list of 83 people appeared as per the link below:

<https://www.famousfix.com/list/people-from-los-gatos-california>

None of these famous people lived in this house..

Thus a perusal of Annexure 5 and the Google search shows that no significant persons are associated with this house/structure.

e. HISTORIC PROPERTY RESEARCH COLLOECTION:

The Historic Property Research Collection in the Los Gatos Library was searched and no record pertaining to this structure was found in box no. 9 relevant for the San Benito Ave. A record of only one house i.e. for 441, was found in the box. This establishes the house at 446 San Benito Ave does not have any historical importance.

2. SANTA CLARA COUNTY RESOURCES:

A request was made to the planning department of the Santa Clara County to ascertain if any plans or any other records are available in the county records. The county replied that no plan or any other records are available for 446 San Benito Ave & asked to contact the town of Los Gatos for the same. Thus no historical records are available in the county for this structure. The email screenshot of the replies from the county are attached as Annexure 6 & 7.

3. TOWN OF LOS GATOS- COMPUTER RECORDS:

A search was made on the computer installed in the lobby to find out the records of 446 San Benito Ave. The search yielded some of the records including the permit records for some of the works done in this house. These records are attached as Annexure 8 (11 pages). A perusal of these records indicate that some alteration works have been done to the original house as below:

1. Electrical service upgrade
2. Front porch repair and repair of the eve.
3. Repair of the roof and eave including replacement of the rafters. The shape of the house given in this permit is rectangular box type.
4. In addition other unpermitted works have also been carried out in the house as brought out in succeeding paras.

4. ADDITIONAL DETAILS:

(a) In addition, the details of the house were also downloaded from the Town of Los Gatos city portal and the same are attached as Annexure-9.. A perusal of these records show that the permitted floor area of this house is 684 Sq Ft only. whereas the existing floor area of the house is 889 sq ft without the front porch. It speaks of some unpermitted addition made to the house as discussed in following paras.

(b) The plans of the existing house have been prepared and are attached as Annexure 10 (24 pages). The floor area of the existing house is 889 Sq Ft as against the permitted floor area of 684 Sq Ft only.

It is also seen that the ceiling height of the bedroom & bathroom on the right side is only 6'-9" to 6'-11", as against the main house ceiling height of 8'-0"(+). It is marked with A, B & C on sheet A4, A5 & A6.1.

It establishes that some unpermitted constructions have been made to the house. The possible unpermitted portion is marked in redlines in sheet A2 (Existing Floor Plan) & A2.1 (Area Calculations).

The photo survey of the existing house has also been done & the photos of the house are given in sheet A 6.1 to A6.17 & A7 of the attached plan set (Annexure -10).

A quick perusal of the photos & plan indicate that the house is not structurally sound & also some alterations have been made which are not code compliant as outlined below:

- i. The ridge board of the porch is not provided as seen in plan sheet A6.7. Thus the porch roof is not structurally sound.
 - ii. The height in the bedroom 2 is less than 7'-6" the minimum admissible height.
 - iii. A wall has been constructed between bedroom 1 & closet which is abutting the middle of the window as seen in Sheet A6.17.
 - iv. The existing windows of the bedroom are not egress compliant as per the current code requirement etc.
 - v. The architectural design of the house is very simple- a rectangular box with front porch enclosed on all sides and no uniqueness is noticed in the architectural details/design.
 - vi. Further due to alteration to window & porch etc, the original design is no longer existing.
- (c) As would be seen from the plan sheet A7, all the houses around this house have been modified and present a good look and this house in the existing condition is totally a misfit in the area.
- (d) The APN map and the Tract Map of the lot are also attached as Annexure 11 & 12.

CONCLUSION:

In view of the above points, it is clear that the existing house has no architectural merit for the following reasons:

- a. The structure is not associated with events that have made a significant contribution to the Town;
- b. No significant persons are associated with the structure.
- c. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
- d. The structure does not yield information to Town history; and,

- e. The integrity has been compromised due to alterations such that the structure no longer has the potential to convey significance.

In view of above submissions, it can be seen that the existing house at 446 San Benito Ave has no historic significance or architectural merit. Due to the poor condition of the house it needs repair and due to family needs extra space is also required to be added. Therefore, it is requested that the house may be removed from Historic Resources Inventory.

Thank you for your considerations

Best regards,



Devendra Deshwal
Homeowner
446 San Benito Ave,
Los Gatos CA, 95032
[Redacted]

03/25/2025

ANNEXURE-1

(1928 SANBORN MAPS)

LOS GATOS CALIF.

2

THURSTON

AV.

LOS GATOS CALIF. MARCH 1928

3

AV.

ANDREWS

AV.

(WILDER AV.)

AV.

SAN BENITO

MONTEREY

SANTA CRUZ

446 San Benito Ave

MONTGOMERY

5

73

74

75 (91)

60

61

29

63

51

52

53

11

MARIPOSA

AV.

27

92

91

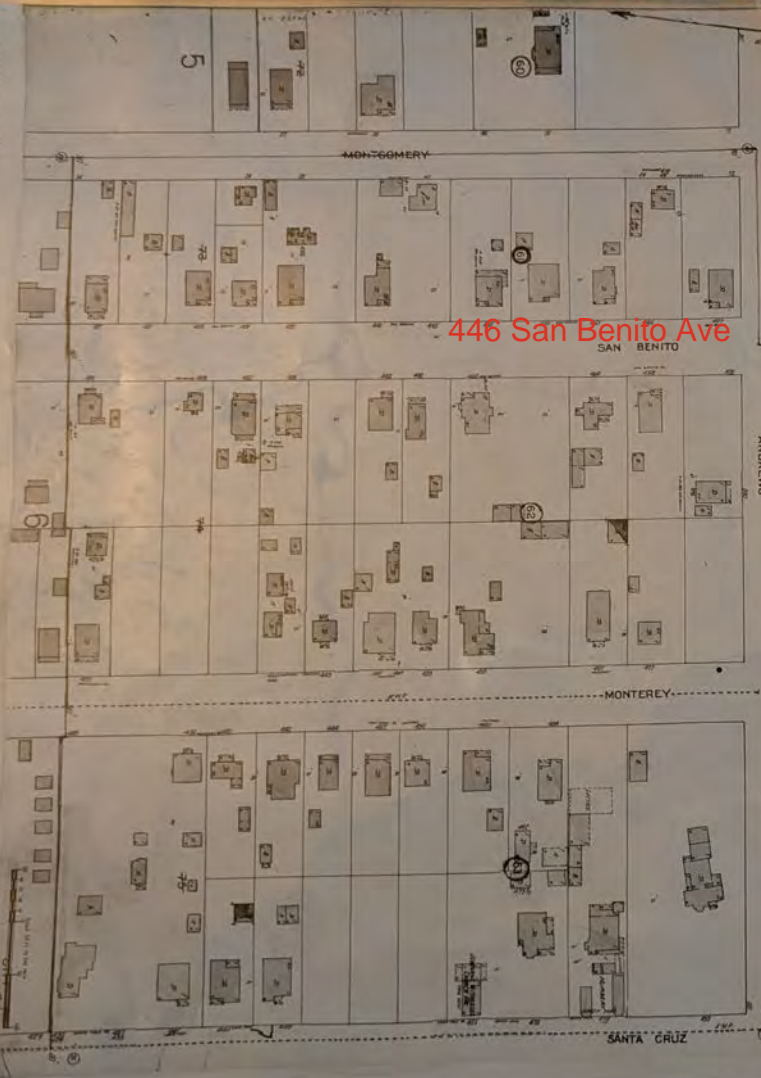


Scale of Feet
0 50 100 150

LOS GATOS MEMORIAL LIBRARY
LOS GATOS, CALIFORNIA
87 OF 114

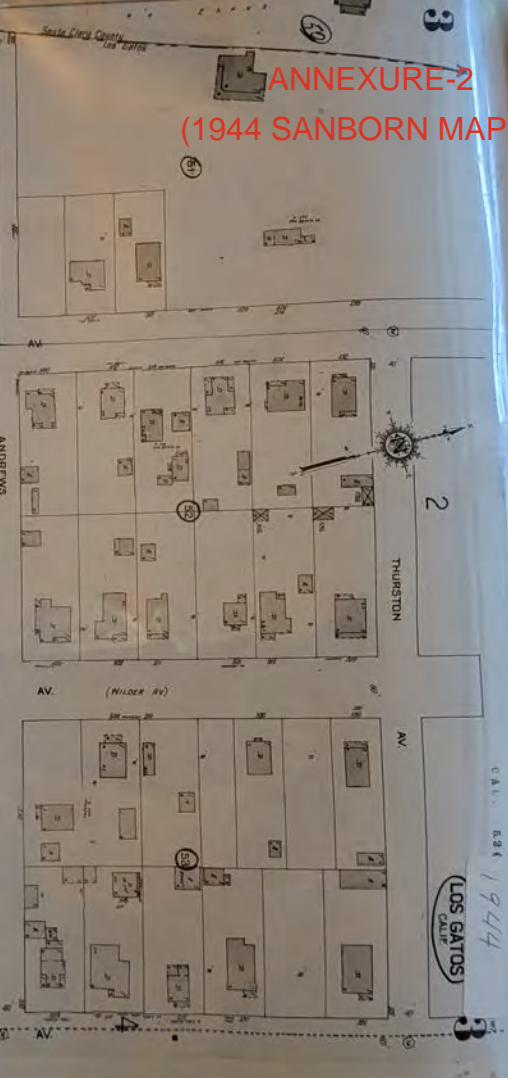
GIFT FROM
Friends of
LOS GATOS
MEMORIAL
LIBRARY

LOS GATOS CALIF. LIBRARY
15
1944

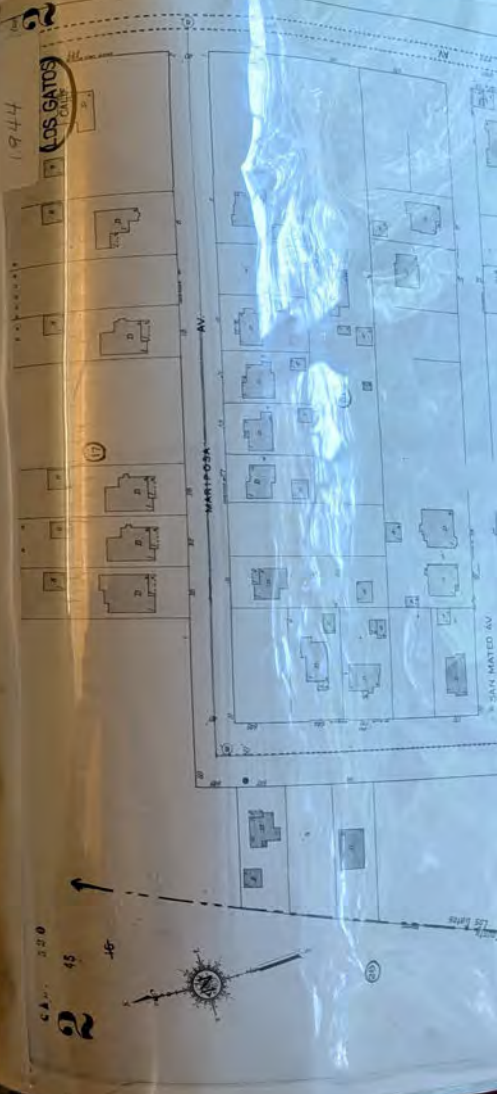


Los Gatos
Calif.
Library

ANNEXURE 2
(1944 SANBORN MAPS)



LOS GATOS
CALIF.



REAL ESTATE APPRAISAL COMPUTATION.

BLOCK NO. 21

LOT NO. 43

BLOCK BOOK PAGE 35

Description, Dimensions and Ownership of Real Property Described herein, conforms with Official Block Book, and Assessment Map of The City Named on Reverse.
No accountability Assumed for Matters Legal in Character. Computation of Values of Land and Buildings in Accordance with Contract Provisions for Equatax System Valuation.

SYMBOL	FRONT	DEPTH	PCT.	COEF.	UNIT	COMPUTED VALUE	
	48	X 150	115	53.20	11	\$	607
		X					
		X					
		X					
	Added For Corner						
	Added For Alley						

SYMBOLS

F.T.=Front Triangle. R.T.=Rear Triangle. B.L.=Back Lot Comp.
C.I.=Corner Influence. ♂ = Reverse Corner Comp.

TOTAL

Retail Business ☐Residence

Sem1 Business ☐

Industrial ☐

SPECIAL REMARKS

REVISIONS AND ADJUSTMENTS:

Record Below Subsequent Changes in Value due to Re-appraisal. Indicate Reason for Action Such as Additions, Alterations, Rebuilding, Fire Loss, Demolition, or Removal of Buildings.

[illegible]

VALUATION RECORD

YEAR	1940	19	19	19
Land Value	\$ 600	\$	\$	\$
Building Value	\$ 1255	\$	\$	\$
Number of Bldgs	2			

OWNERSHIP RECORD

1940	
1941	M. J. Wesser
1942	
1943	
1944	
1945	
1946	
1947	

SKETCHES OR REMARKS, OR
METES AND BOUNDS DESCRIPTION:

ANNEXURE -4

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 446 San Benito

PARCEL MAP INFORMATION

Parcel # 410-10-051 Lot size: 48 front ft. x 150 ft. deep
Lot shape: Rectangle ☒ L ☐ Rectangle with small rear jog ☐ Other ☐
Location: N ☐ S ☐ E ☒ W side of SB St ☐ Ave ☒ Other ☐
distance to cross st: 291 ft. N ☐ S ☒ E ☐ W from Andrews
at NE ☐ NW ☐ SE ☐ SW corner of ☐

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name N Brunsell Sub Old Block # Old lot # 43

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ☒ Estimated age 1920s? Style Bungalow # stories
Alterations some windows altered, porch altered
Other

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Page Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

National Register listed date
County Inventory 1979
Town of Los Gatos: Designation Recognition
District Name
Previous Survey
Gebhard: page # illustration page #
Butler/Junior League

PHOTOS: Roll/frame # 040/37 Date 7-5-90



OWNERSHIP HISTORY OF 446 SAN BENITO AVE, LOS GATOS

As per Telephone directories of various years available in the Los gatos Library, the ownership details are as below:

<u>Period</u>	<u>Homeowners</u>
Prior to 1934	No record found
1934 to 1941	Mr Conroy Owen
1941 to 1943	Mr M J Wuseri (The 1941 Tax assessment indicated his name (name not legible).
1943 to 1944	Vacant
1945 to 1947	Mrs Kinter Paula
1949 to 2025	Mr Cushman Arth C
2025 onwards	Mrs Rajkumari & Devendra Deshwal

38 N. FIRST ST. **McCHESNEY AND WEBSTER** THORNTON D. INCORPORATED

REAL ESTATE — INSURANCE — LOANS

TEL.
COLUMBIA
2200

LOS GATOS HOUSEHOLDERS DIRECTORY (1934)

293

- 510 Wheeler A P (o)
511 Lee Jerry (o)
512 Vacant
513 Smith Chas (o)
514 Bellile Paul
515 Thurston intersects
516 Panikhoti M I Mrs
(o)
517 Rozzono Paul (o)
518 Matrone Tony

- MONTGOMERY AV—**
North from Saratoga
to Thurston 3 w of San
Cruz
24 Barnhill Lee
25 Vacant
26 Vacant
27 Vacant
28 Giordano Bart
29 Mariani Caesar
30 Traves Harry (o)

- NEW YORK—Southeast**
from Los Gatos Creek to
Bella Vista
10 Effrat W F
11 Vacant
12 Vacant
13 Holliday E R (o)
14 Gillette J C Rev (o)
15 Vacant
16 Pleasant av intersects
17 Vacant
18 Lepurin Mary Mrs
(o)
19 Vacant
20 Vacant
21 Schonbeck Fritz (o)
22 Meyers L S
23 Vacant
24 English Annabel

- NICHOLSON AV—West**
from Santa Cruz to Glen
Ridge, 2 n of Main
208 Grant Fred
211 Lewis Doris Mrs
216 Mallen S A Mrs
nurse (o)
22 Cornelius Stanley (o)
Wilder av intersects
23 Harrib M F Mrs
Taft av intersects
24 Christensen Christof-
ter
210 Vacant
315 Curtis F N
Massol av intersects
391 Hobbie J G (o)

- OAK—From Stacia to**
Loma Alta, 1 e of San
Jose

- OAK HILL WAY—From**
Jackson to Central, 2 s
of Main
14 Vacant
15 Giffin W W
20 Haykel Julia Mrs

- 21 Lombard M L Mrs
22 VanWinkle J H (o)
23 Zehnder Robt civ eng
(o)
24 Treadwell N E Mrs
(o)
25 Pendlebury W M F
(o)

- OLIVE AV—West from**
545 N Santa Cruz av
104 Vacant
105 Burke W F
106 Curtis P E (o)
107 Vacant
110 Biagini Fred (o)
129 Newfarmer R O
San Benito av intersects

- OVERLOOK ROAD—**
PALM AV—
4 Koulouris Angelo (o)
5 Seely B R Mrs
6 Millar G A (o)
8 Aubert Alba (o)
9 Mains H L (o)
35 Jenkins D T (o)
45 Sproule L W Mrs
55 Huff M W (o)

- PARK—Southwest from**
Main, 2 e of Front
er Main Los Gatos Swim-
ming Pool
Memorial Park
20 American Legion
Post No 155
36 Shore J D
Union Ice Co
50 Green H F restr
86 Vacant
96 Fox John

- PENNSYLVANIA AV—**
West from Bay View to
Wissahickon
2 Dell A I Mrs (o)
4 Eaton Ernest (o)
8 Rhineland A J (o)
24 LeFevre M F Mrs
28 Countryman F N (o)
Glenridge av intersects
Peralta av intersects
305 Vacant
309 Case L G (o)
323 Swanson Nels (o)
324 Volpa Jos (o)
327 Bach Dallas (o)
337 Mack E E (o)
345 Hawkins E A (o)
345½ Vacant
347 Vacant
360 Atkinson Owen
Walnut av intersects
361 Angell E G
363 Minies Kath Mrs
365 Beale H G
371 Leet Georgianna Mrs
380 Roberts Wm
381 McCallagh Mary

- PERALTA—North from**
108 Pennsylvania to Her-
nandez
9 Kline Augusta
McEachern N A (o)
Murray W M
10 Herryman Fred Jr (o)
11 Erickson A L Jr
Whiting H H
18 Bell F A (o)
20 Hallat Cecile Mrs
32 Rankin Dora M
Rankin H A (o)
33 Simon Benj (o)
39 Morimer A B
41 Vacant

- PINE—West 1 blk from**
401 San Jose av
PLEASANT AV—North
from intersection of
Main and Jackson to
New York
24 Alexander E P
26 Lundstrom Henry (o)
34 Reilly C A
42 Draw Weldon
44 Gasmana Alt
45 Vacant
46 Bruegge W O (o)

- PROSPECT—South from**
Reservoir rd to city lim-
its
RESERVOIR ROAD—
South from junction of
Cleland and Villa to
Prospect
39 DeLome S F Mrs
50 Young Winton
ROBERTS ROAD—East
from Los Gatos Creek
near Cypress av
50 Gietti L G (o)

- ROGERS ROAD—From 5**
Kimball to Reservoir rd
SAN BENITO AV—North
from Saratoga to Ashler,
2 w of Santa Cruz
410 McAuley G M Mrs
411 Carr F D (o)
415 Biancalani Augusto
(o)
416 DeGuire R P (o)
418 Goffrey F P (o)
421 Frame Alva (o)
423 Bedal C E
428 Pedrazzi Antone (o)
431 Muhlke C V
432 Wilson F A Mrs (o)
435 Tickner C H (o)
Tickner W S
435 Bachman Sarah Mrs
(o)
440 Idemoto Kamekichi
441 Solari Jaa (o)
441 Conroy Owen
455 Peuch H M Mrs
456 Ryere Victor (o)

EVERY STORE

Besides its use to the storekeeper, it is a convenience the customer looks for.
The store that offers an old Directory, or no Directory at all, fails to show its patrons a courtesy
they will find elsewhere.

should appear in the Directory and the Directory should be
in Every Store.

M. R. NEAL

REAL ESTATE

Phone Ballard 8736

SAN JOSE, CALIFORNIA

458 E. Santa Clara St.

826

(1936) R. L. POLK & CO'S

ROGERS ROAD—From 5
Kimball to Reservoir
rd

- Stine N C Mrs
West B W
SAN BENITO AV —
North from Saratoga to
Mariposa av. 2 w of
Santa Cruz
410 McAuley G M Mrs
411 Carr P D (o)
415 Biancalani Augusto
416 Belillo Vincent
418 Godfrey F P (o)
421 Frame Alva (o)
423 Vacant
428 Vacant
431 Booker P E
432 Wilson F A Mrs (o)
435 Tickner W S (o)
436 Bachman Sarah Mrs
Bachman Wm
440 Lifshitz P H
441 Solari Jas (o)
446 Conroy Owen
456 Foutch H M Mrs
456 Vacant
459 Vacant
463 Hummel Minna Mrs
(o)
464 Galatea J B
468 McArthur C V
470 Vacant
485 Storie R N
497 Peruzzi Michl (o)
Andrews intersects
500 Passero Bonnie (o)
501 Graves D W
512 Parish E D Mrs
513 King Gertrude Mrs
514 Vacant
516 Strong M E Mrs
(o)
525 Smith J W (e)
526 Viorata Louis (o)
532 Serra Jos

- Thurston intersects
Olive av intersects
561 Riggs W A (o)
565 Hall M E Mrs
Ashler ends
615 Cornell L C (o)
621 Sanders C K
San Mateo av ends
630 Brokaw Eliz Mrs
(o)
641 Hamilton Julia Mrs
(o)
642 Jefferson Philip
647 MacKenzie Ian
Mariposa av ends
SAN JOSE—Northeast
from e end of E Main
to Kennedy rd
34 Sprague W O (o)
41 Lewis Ella
46 Chamberlin Winnie
E (o)
Obert S H
49 Rogers Rachel Mrs
(o)
54 Burke C G Mrs (o)
Loma Alta intersects
98 Vacant
160 Dwyer M G Mrs (o)

- 101 Lupton H W (o)
103 Graves Mabel Mrs
104 Hubbell W H
111 Vacant
112 Burns J R
Mabie I D (o)
116 Vacant
120 Huelter Fredk (o)
near Williams Sidney
122 Vacant
123 History Club of Los
Gatos
Stacia intersects
204 Pettis G S
207 Sprague H C Mrs
(o)
214 Ryan J W (o)
215 Harder W R Dr
Riggs Z S (o)
220 Bragdon I S Mrs
(o)
near Johnson O L
221 Ashley A B (o)
226 Mileham Eleanora
Mrs
227 Vacant
228 Sager H S
235 Colvin E F (o)
236 Traub L W
241 Bromley L A (o)
Jones H A Mrs (o)
242 Moberly L A (o)
245 Worsley J H (o)
247 Ring F E (o)
249 Helm D W (o)
250 Wichman E M Mrs
254 Winters W D
255 Poole W D (o)
256 Harrison Emily G
(o)
Wheeler av intersects
262 Hamman R F (o)
263 Tate S P (o)
264 Lindstrom C M
268 Burke W F (o)
269 Kerlin G B Mrs (o)
271 Vacant
Charles intersects
301 Cole M C Rev
302 Lint E F Mrs (o)
303 Lloyd F W
309 Rasmussen A L
310 Brady M O Mrs
314 Soule Mary Mrs
315 Robinson Margaret
Mrs (o)
316 Hudson J J
318 Burnette P L (o)
331 Stanley Anna Mrs
(o)
Harding av intersects
333 Rasmussen G P (o)
334 Hopkins R C (o)
340 Davies E J
346 Ducety G L (o)
349 Kirkendall C A
Salant Pia Mrs (o)
357 Jenkins A E Mrs
(o)
363 Vacant
367 Mann J G
368 Vacant

- 371 Binelow V C
Thraush M E Mrs
(o)
Caldwell intersects
382 Daiziel A S (o)
406 Vollmar E E
401 Le Favour Adelaide
Mrs (o)
402 Snyder A V (o)
404 Hedricks C J
Hedricks Mary E
(o)
405 Flint I V Mrs (o)
407 Sulton Walter (o)
409 Brun L E
410 Torrey L B
411 Andrews Alice J
(o)
Andrews C E
SAN MATEO AV—From
Santa Cruz av to San
Benito av. 1 n of Ash
land av
15 Gerardo Bart
16 Giraudo Paul
18 Vacant
21 Wark W W
28 Walsh Alice Mrs
30 Lord A L (o)
SANTA CLARA—Chang-
ed to Palm av
SANTA CRUZ AV,
NORTH—
1 Comper & Burtner
drugs
3 Boone H F barber
3 1/2 La Canada Build-
ing
Rooms
1 Colvin E F dentist
6 Brun L E dentist
7 Jones H G phys
17 Tremaine Courtney
dentist
Street continued
5 Rooker E O dry gds
6 MacCallum C A gro
7 Angelus Cultures
restr
8 Gagliasso G J
fruits
Whiteman C T
meats
8 1/2 F & A M Hall
9 Vacant
10 Vacant
11 Kopp Zelda Mrs
variety store
12 Vlamis Wm restr
13 1/2 Sweeney J B Jew
15 IOOF Hall
16 Lincoln Mkt
Allario Frank gro
Barbieri Guido
fruits
Zuccotti Jos meat
17 Safeway Stores
17 1/2 Vacant
18 Safeway Stores
19 Aymer Adolm bak-
er
21 Orall H J Co sta-
tioners
22 1/2 Rodmen's Hall
23 Vacant

FUEL
Williams
& Russo
INC.
773
W. San Carlos
San Jose
Tel.
Ballard
1162

**BUILDING
MATERIAL**

1941

P4

COL.
2100

62 West
San Fernando
RUSSEWIN BUILDERS' HARDWARE
PIPE, IRON AND STEEL

SAN JOSE HARDWARE Co.

SHERWIN-WILLIAMS PAINTS
TOOLS AND CUTLERY

HOUSEHOLD GOODS

LOS GATOS HOUSEHOLDERS' DIRECTORY (1941)

937

910 So. Second St.

Mary Denegri

W. L. Geoffroy

Gerald M. Origlia

Denegri, Geoffroy & Origlia

FUNERAL DIRECTORS

SAN JOSE

Tel. Ballard 91

868 Belbin Emily A
Bloss E D
Walnut av Intersects
8710 Leet Georgianna
Mrs
Oakley H A Mrs
8800 Roberts Wm
881 Vacant

PERALTA — North from
105 Pennsylvania to
Bernandee

90 Aguirre Helen L
1000 Bettman F W Jr
1100 Hanson Ida Mrs
15 Faulkner Elvira
Mrs
180 Tremaine Courtney
900 Gladum M H
21 Patten Oliver
320 Rankin Henrietta A
90
33 Rubin Chas
360 Edwards W A
410 Moss G L

FINE — West 1 blk from
401 San Jose av

PLEASANT AV — North
from intersection of
Main and Jackson to
New York av
180 Dwyer E L
200 Andrews D E
220 Pearson I M Mrs
240 Moran W H
260 Hardwicke Bernard
34 Reilly J A Mrs
400 Francini Peter
44 Grassman Alf
46 Garner E E
460 Bruggs W O

PROSPECT — South from
Reservoir rd to city
limits

RESERVOIR ROAD —
South from junction of
Cleveland and Villa to
Prospect
3500 Rome Fannie
Mrs
40 Evans L B
900 Young C E
900 Gunter E C

ROBERTS ROAD — East
from Los Gatos Creek
near Cypress av

ROGERS ROAD — From
5 Kimball to Reservoir
rd
600 French W J
3800 Galatin A B
Galatin M C

SAN BENITO AV — North
from Saratoga to Mariposa
av, 2 W of Santa
Cruz

410 DeGuire Frances
Mrs
411 Vacant
415 Sallozi Frank
416 Augustin John
418 Godfrey F P
4210 Frame A G
4230 Peterson J L
428 Yokum John
431 Lindquist V H
4320 Wilson F A Mrs
435 Tickner L C Mrs
436 Tobar John
440 Parodi Jos
441 Solari Jas
4460 Conroy Owen
455 Poulch H M Mrs
456 Vacant
4590 DeBolt E M
463 Hummel Minna Mrs
4640 Galatea J B
4680 McArthur C V
485 Garciulo Pasquale

Andrews Intersects
5000 Pasero Bernardo
505 Mattos Geo
5120 Ghorello Carlo
5130 Lee A E Mrs
514 Vacant
rear Wilder B A Mrs
5160 Strong M E Mrs
525 Smith J W
526 Beltran Emilio
5320 Serra Jos

Thurston Intersects
Olive av Intersects
535 Rudy L E
546 Goulart H E
5570 Jefferson Philip
559 Vacant
5610 Riggs F L Mrs
5650 Tiffany B C

Ashler av ends
6150 Cornell L C
6100 Cornell Maurine M
musiclehr
6100 Cornell Maxine M
musiclehr
6200 Wilhelm J M
621 Klein Kath
Reiter A H
San Mateo av ends
630 Jewart C A
6410 Heinzen J B
642 Vacant
647 MacKenzie Ian
Mariposa av ends

SAN JOSE AV — North-
east from e end of E
Main to Kennedy rd
3400 Sprague W C
46 Chamberlain Win-
nie E

47 Vacant
49 Rogers Rachel Mrs
540 Burke C G Mrs
Loma Alta av Intersects
980 Mann Chas
1000 Dwyer M G Mrs
1010 Lupton H W
1030 Brown A B Mrs
1040 Wright C N
10410 Baumsartner Wm
111 Erickson A J Mrs
112 Burns J R
Mable I D
116 Petrovich P S
1200 Huebler Fredk
rear Albini Peter
1220 Spreckels Richd
1230 History Club of Los
Gatos

Simons way begins
Stacia Intersects
204 Hart L A Mrs
2100 Erickson E H Mrs
2070 Sprague H C Mrs

2140 Ryan J W
2150 Harder W R
2200 Harding M I Mrs
2210 Vowles W F
224 Dodd W H
226 Slown D A
2270 Evans E E
Walbaum Gustave

rear Traub L W
228 Vacant
2310 Straub P J
2350 Colvin E F
236 Greco Louis
2410 Jones H A Mrs
2420 Galliac C A Mrs
2430 Moberry L A
245 Sigsby M C
2470 Ring F E
2490 Helm D W
250 Vacant
254 Banister J R
2550 Poole W D
2560 Harrison Emily G
Walkington A B

Wheeler av intersects
262 Vacant
2630 Severns W E
2640 Craib Jas
2680 Burke W F
2690 Railsback A M
271 Bendit A E

Charles Intersects
3010 Aston J F
3020 Wells D H ostee
303 Schuman Richd
3090 Beckwith Ruth E
3100 Brady M C Mrs real
est
3140 Soule M E Mrs
315 Robinson Margt
Mrs

TEL
BALLARD
6212

PAUL HUDSON
CREDIT JEWELER
THE HOUSE OF BLUE WHITE DIAMONDS

275
S. FIRST
STREET
San Jose



BUILDING MATERIALS
MILLWORK — CELOTEX
BUILDERS' — HARDWARE

817 The Alameda
LOS GATOS HOUSEHOLDERS DIRECTORY (1943)
Tel. Ballard 2462

1943

THE
WARDROBE



Emery Andradic

NATIONALLY
KNOWN
BRANDS

K. H. T.
and Hyde Park
Clothes

STETSON
Hats

FREEMAN
Boatmaker Gracie
Hed Shoes

ARROW
Shirts Underwear,
Ties, Handkerchiefs

INTERWOVEN
Sax, Etc.

TEL BALLARD
7587

WE GIVE
J.N.
GREEN STAMPS

Santa Clara
at Second

418 Godfrey P P
419 Frame A G
420 Peterson A L
421 Chavez Gabriel
422 Wigglesworth W C
423 Vacant
424 Tickner C L Mrs
425 Vacant
426 Parodi Jos
427 Solari Jos
428 Vacant
429 Pouch H M
430 Lawrence Morris
431 Montgomery R E
432 Hummel Minna
Mrs
433 Galatea J B
434 McArthur C V
435 Garcilazo Pascual

436 Perudo J L
Andrews intersects
437 Pasero Bernardo
438 Baron E F
439 Fiorello Carlo
440 Bengtson J E
441 Vacant
442 Vacant
443 Strong M E Mrs
444 Briscoe Benj
445 Reading A C
446 Serra Jos

Thurston intersects
Olive av intersects
447 Rudy L E
448 Gouliart H E
449 Jexerson Philip
450 DeSalle Melvin
451 Riggs F L Mrs
452 Bensen A J
453 Tiffany D C

Ashler av ends
454 Cornell L C
455 Wilheim J M
456 Klein Kath
457 San Mateo av ends
458 Vacant
459 Heinzen J B
460 Seamon Kath Mrs
461 Sheriffs R W
462 McKenzie Ian
Mariposa av ends

SAN JOSE AV — North
east from e end of E
Main to Kennedy rd
463 Sprague W C
464 Behdoff Frank
465 Chamberlain Win-
nie E
466 Rogers Rachel Mrs

467 Burke C G Mrs
Loma Alta av intersects
468 Drury G E
469 Dwyer M G Mrs
470 Lupton H W
471 Stuart Harry
472 Wright C N
473 Baumgartner
Wm
474 Brackson A M J
Mrs

475 Prestigiacoma
Ignacio
476 Foster Helen L Mrs
477 Letta One H & EL 4-2800
478 Montgomery Helen E
EL 4-2810
479 Louise John P & EL 4-2800
480 Louise John P & EL 4-2800
481 McArthur Clara V & EL 4-2800
482 Pughan Robt L & EL 4-2800
483 Andrews intersects
484 Paasv. Bernard & EL 4-2810
485 Burgess Joe C & EL 4-2810
486 Adelaide Wood Mrs &
487 Frau Chas E & EL 4-2810
488 Wilder Beate A Mrs &
489 Melvina Ede J & EL 4-2810
490 Angus Mar E Mrs &
491 Mullick Leon A Mrs &
492 Velch John H EL 4-2810
493 Keating Alva C & EL 4-2810
494 Lopez Josephine Mrs &
EL 4-2810

495 Foster Helen L Mrs
496 Letta One H & EL 4-2800
497 Montgomery Helen E
EL 4-2810
498 Louise John P & EL 4-2800
499 Louise John P & EL 4-2800
500 McArthur Clara V & EL 4-2800
501 Pughan Robt L & EL 4-2800
502 Andrews intersects
503 Paasv. Bernard & EL 4-2810
504 Burgess Joe C & EL 4-2810
505 Adelaide Wood Mrs &
506 Frau Chas E & EL 4-2810
507 Wilder Beate A Mrs &
508 Melvina Ede J & EL 4-2810
509 Angus Mar E Mrs &
510 Mullick Leon A Mrs &
511 Velch John H EL 4-2810
512 Keating Alva C & EL 4-2810
513 Lopez Josephine Mrs &
EL 4-2810

495 Foster Helen L Mrs
496 Letta One H & EL 4-2800
497 Montgomery Helen E
EL 4-2810
498 Louise John P & EL 4-2800
499 Louise John P & EL 4-2800
500 McArthur Clara V & EL 4-2800
501 Pughan Robt L & EL 4-2800
502 Andrews intersects
503 Paasv. Bernard & EL 4-2810
504 Burgess Joe C & EL 4-2810
505 Adelaide Wood Mrs &
506 Frau Chas E & EL 4-2810
507 Wilder Beate A Mrs &
508 Melvina Ede J & EL 4-2810
509 Angus Mar E Mrs &
510 Mullick Leon A Mrs &
511 Velch John H EL 4-2810
512 Keating Alva C & EL 4-2810
513 Lopez Josephine Mrs &
EL 4-2810

495 Foster Helen L Mrs
496 Letta One H & EL 4-2800
497 Montgomery Helen E
EL 4-2810
498 Louise John P & EL 4-2800
499 Louise John P & EL 4-2800
500 McArthur Clara V & EL 4-2800
501 Pughan Robt L & EL 4-2800
502 Andrews intersects
503 Paasv. Bernard & EL 4-2810
504 Burgess Joe C & EL 4-2810
505 Adelaide Wood Mrs &
506 Frau Chas E & EL 4-2810
507 Wilder Beate A Mrs &
508 Melvina Ede J & EL 4-2810
509 Angus Mar E Mrs &
510 Mullick Leon A Mrs &
511 Velch John H EL 4-2810
512 Keating Alva C & EL 4-2810
513 Lopez Josephine Mrs &
EL 4-2810

495 Foster Helen L Mrs
496 Letta One H & EL 4-2800
497 Montgomery Helen E
EL 4-2810
498 Louise John P & EL 4-2800
499 Louise John P & EL 4-2800
500 McArthur Clara V & EL 4-2800
501 Pughan Robt L & EL 4-2800
502 Andrews intersects
503 Paasv. Bernard & EL 4-2810
504 Burgess Joe C & EL 4-2810
505 Adelaide Wood Mrs &
506 Frau Chas E & EL 4-2810
507 Wilder Beate A Mrs &
508 Melvina Ede J & EL 4-2810
509 Angus Mar E Mrs &
510 Mullick Leon A Mrs &
511 Velch John H EL 4-2810
512 Keating Alva C & EL 4-2810
513 Lopez Josephine Mrs &
EL 4-2810

495 Foster Helen L Mrs
496 Letta One H & EL 4-2800
497 Montgomery Helen E
EL 4-2810
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500 McArthur Clara V & EL 4-2800
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504 Burgess Joe C & EL 4-2810
505 Adelaide Wood Mrs &
506 Frau Chas E & EL 4-2810
507 Wilder Beate A Mrs &
508 Melvina Ede J & EL 4-2810
509 Angus Mar E Mrs &
510 Mullick Leon A Mrs &
511 Velch John H EL 4-2810
512 Keating Alva C & EL 4-2810
513 Lopez Josephine Mrs &
EL 4-2810

1166 Petrovich P S
1167 Huellin Fred
rear Wright W D
1122 Spracklin Richd
1123 History Club of Los
Gatos
Simons way begins
Stacia intersects
2643 Hall E S
2074 Sprague H C Mrs

2140 Ryan J W
2150 Harder W B
2200 Harding M I Mrs
2214 Vowles W P
224 Vacant
225 Vacant
227 Vacant
near Vacant
228 Kennett W H
2310 Straub W H
235 Vacant
236 Greco Louis
2410 Spaeth E D chiro-
practor
242 Moberly L A
Oyon Damon Minna
Mrs
2430 Rallsbach A M
247 Vacant
2480 Heim E W
2500 Spedding R W
2540 Jameson Frank
2550 Poole W D
2560 Wackington A B
Wheeler av intersects
267 Hermann R F
2630 Stevens W E
2640 Hazelwood E E Jr
2660 Hazelwood E E
268 Hook H D
2710 DeBolt E M
Charles intersects
301 Davidson F L
3020 Wells D H osteo
303 Schuman Richd
3090 Beck with A B Mrs
3100 Brady M C Mrs
real est
314 Vacant
315 Robinson Margt
Mrs
3180 Espersen R F
3185 Burnett P L
321 Bourgulgion L C
3240 Smith L E
3310 Heath D C
Harding av intersects
333 Rasmussen L R
Mrs
334 Vollmar E E
3400 Zucconi Jos
3460 Wells W I
3490 Vavallino F G
3500 Leslie C S Mrs
3574 Jenkins A E Mrs
363 Vacant
Fillmer av begins
3650 Thrash M E Mrs
3710 Henard J A
Caldwell av intersects
3890 Dalsiel A S
4085 Snyder A V

4130 Kent H L
4160 Oshet G H
4180 Hughes G H
4210 Hilt Freds
4230 Burton Walter
4260 Hedricka C J
4320 Torrey L B
4360 Bruo L &
4400 Andrews C B
Spruce av intersects
SANTA CRUZ AV—From
Santa Cruz av to San
Benito av. 1 n of Ash-
land av
14 Hoberthotte A N
16 Claraudio Paul
18 Claraudio Bart
21 Walbaum Shirley
27 Krauss Julius
360 Walsh Alice M
Mrs
30 Dudley J D
330 Rexford G W

SANTA CRUZ AV—North
from city limits,
principal business
street
10 Comper & Burnier
Drugs
3 Vacant
1/2 La Canada Build-
ing
4 Courtney Hope
Shop women's clo
Rooms:
70 Brun L E dentist
72 Jones H G phys
74 Tremaine Courtney
dentist
Street continued
5 Vacant
60 Whitman C T gro
70 Cidures Angelo
rests
80 La Montagne E E
fruit
810 Masonic Hall
9 Vacant
11 Vacant
12 Viamis Wm liquors
134 Streepey J B
lwr
14 Viamis Wm restr
15 IO OP Hall
160 Am Red Cross
170 Panning C W gro
171/2 Vacant
182 Sprouse-Reitz Co
varieties
190 Aymer Adolph bak-
er
210 Crall H J & Co
staty
221/2 Redmen's Hall
230 Home Appliance
Store
240 Templeman A M
hdw
26-285 Lincoln Market
Alario Frank gro
Burbiele Guido
fruits
Zucconi Jos meats

1166 Petrovich P S
1167 Huellin Fred
rear Wright W D
1122 Spracklin Richd
1123 History Club of Los
Gatos
Simons way begins
Stacia intersects
2643 Hall E S
2074 Sprague H C Mrs
2140 Ryan J W
2150 Harder W B
2200 Harding M I Mrs
2214 Vowles W P
224 Vacant
225 Vacant
227 Vacant
near Vacant
228 Kennett W H
2310 Straub W H
235 Vacant
236 Greco Louis
2410 Spaeth E D chiro-
practor
242 Moberly L A
Oyon Damon Minna
Mrs
2430 Rallsbach A M
247 Vacant
2480 Heim E W
2500 Spedding R W
2540 Jameson Frank
2550 Poole W D
2560 Wackington A B
Wheeler av intersects
267 Hermann R F
2630 Stevens W E
2640 Hazelwood E E Jr
2660 Hazelwood E E
268 Hook H D
2710 DeBolt E M
Charles intersects
301 Davidson F L
3020 Wells D H osteo
303 Schuman Richd
3090 Beck with A B Mrs
3100 Brady M C Mrs
real est
314 Vacant
315 Robinson Margt
Mrs
3180 Espersen R F
3185 Burnett P L
321 Bourgulgion L C
3240 Smith L E
3310 Heath D C
Harding av intersects
333 Rasmussen L R
Mrs
334 Vollmar E E
3400 Zucconi Jos
3460 Wells W I
3490 Vavallino F G
3500 Leslie C S Mrs
3574 Jenkins A E Mrs
363 Vacant
Fillmer av begins
3650 Thrash M E Mrs
3710 Henard J A
Caldwell av intersects
3890 Dalsiel A S
4085 Snyder A V

4130 Kent H L
4160 Oshet G H
4180 Hughes G H
4210 Hilt Freds
4230 Burton Walter
4260 Hedricka C J
4320 Torrey L B
4360 Bruo L &
4400 Andrews C B
Spruce av intersects
SANTA CRUZ AV—From
Santa Cruz av to San
Benito av. 1 n of Ash-
land av
14 Hoberthotte A N
16 Claraudio Paul
18 Claraudio Bart
21 Walbaum Shirley
27 Krauss Julius
360 Walsh Alice M
Mrs
30 Dudley J D
330 Rexford G W

SANTA CRUZ AV—North
from city limits,
principal business
street
10 Comper & Burnier
Drugs
3 Vacant
1/2 La Canada Build-
ing
4 Courtney Hope
Shop women's clo
Rooms:
70 Brun L E dentist
72 Jones H G phys
74 Tremaine Courtney
dentist
Street continued
5 Vacant

SAN JOSE ICE COMPANY

COLD ALONE IS NOT ENOUGH

REFRIGERATORS

COMMERCIAL

8 Santa Clara St. at 8th

HOUSEHOLD

Tel. Ballard 65

1000 CATCH HOMEHOLDERS DIRECTORY (1944)

655

100 Belmont C J
100 Corder J H
100 Decker W C
100 Eder Grace Mrs
100 Walker at Interests
100 Galt C V Mrs
100 Kline C T
100 Smith W C

PERALTA - North from
100 Pennsylvania av to
Hernandez av
100 Hamilton H H
100 Herriman E W H
100 Merrill H R
100 Young J V
100 Verdine Courtney

100 Sawyer Florence
100 Capron M H
100 Hankin Henrietta
100 Robin Chase
100 Kauten J J
100 Moore G L

PINE - West 1 blk from
441 San Jose av

PLEASANT AV - North
from Intersection of
Main and Jackson to
New York av
100 Dwyer E L
100 Andrews D E
100 Pearson I M Mrs
100 Kinyery G L
100 Delatt D H Mrs
100 McGregor D R
100 Curtis G D
100 Osmann Alf
100 Landau M B
100 Brugger W O

PRESPECT - South from
Reservoir rd to city
limits

RESERVOIR ROAD -
South from Junction of
Clarendon and Villa to
Prospect
100 De Home Pannie
Mrs
100 Evans L B
100 Young C E
100 Gunter H C

ROBERTS ROAD - East
from Los Gatos Creek
near Cypress av

ROGERS ROAD - From 5
Kimball to Reservoir rd
100 Colvin E P dentist
100 Kidwell W J
100 Jones H C

SAN BENITO AV - North
from Saratoga av to
Mariposa av, E w of
Santa Cruz av
100 DeQuire P A Mrs

100 Marshall P L
100 Nelson Frank
100 Coffey G B
100 Coffey E P
100 Evans A G
100 Peterson J H
100 Davies Gabriel
100 Barker Henry
100 Sparks A E Mrs
100 Perkins L O Mrs
100 Campbell G H
100 Morris Joe
100 Parodi J C
100 Baker Joe

100 French Helen M
100 Lawrence Morris
100 Montgomery H E
100 Hummel Mary Mrs
100 Valente J H
100 McArthur C V
100 Carleton Pauline
100 Barnum I H Mrs
100 Perola J L

100 Andrews Interests
100 Pusey Bernardo
100 Turner M F
100 Thornille Carlo
100 Benjamin J E
100 Wilder Beale Mrs
near Vacant
100 Strong M E Mrs
100 Bruce Ben
100 Hastings A C
100 Adams Perry

100 Thurgerson Interests
100 Olive av Interests
100 Rudy L E
100 Joullard H E
100 Jefferson Philip
100 Stewart V T
100 Vacant
100 Benson A J
100 Tiffany B C

100 Ashler av ends
100 Cornell L C
100 Wilhelm J M
100 Klein Ruth Mrs
100 San Mateo av ends
100 O'Brien Leonard
100 Heinzen J B
100 Sparks Richd
100 Beatty H C
100 MacKenzie Ian
Mariposa av ends

SAN JOSE AV - North-
east from E end of E
Main to Kennedy rd
100 Sprague W C
100 Chamberlin Winnie
E
100 Rogers Ruth J
100 Burke C O Mrs
Loma Alta av Interests
100 Drury G B
100 Eaton W P
100 Lupton H W
100 Stewart Harry

100 Winters G B
100 Thompson
100 Brinkley A M & Rev
100 Pradigmon Jo-
shua
100 Smith H
100 Elmer Fred
100 Cooper Clara Mrs
100 Brockles Richard
100 History Club of San
Jose
Simon war begins
French Interests
100 Beck E
100 Sprague H G Mrs
100 Lyons J W
100 Herder W H
100 Brown Simon
100 Pennington F D
100 Horne H W
100 Greene W P
100 Green Donatella
100 Bruckmann Henry
100 Kennell W H
100 Straub P J
100 Collins Joe
100 Green Leslie
100 Smith C E chiro-
practor
100 Van Dusen Minnie
Mrs
100 Belmont B R
100 Halbach A M
100 Vacant
100 Helm D W
100 Mendonso H D
100 Jameson F E
100 Poole W C
100 Beebe D E
100 Mullins R C
Wheeler av Interests
100 Haman B P
100 Stevens W E
100 Haselwood E E Jr
100 Burke W P
100 Newton W C
100 DeBoid E M

100 Charles Interests
100 Alkman Rae
100 Wells D H osteo
100 Schuman Richd
100 Beckwith A B Mrs
100 Brady M C Mrs real
est
100 Mohr G R
100 Vacant
100 Cravens Louise Mrs
100 Burnette P L
100 Bourguignon L C
100 Smith L R
100 Heath D C elec
contr
Harding av Interests
100 Rasmussen L H Mrs
100 Volmar E E
100 Sacco J P

PABCO ROOFS
FOR ESTIMATE FREE INSPECTION TIME PAYMENT PLAN
BUSH ROOFING CO.
151 North Astoria Street
BALLARD 642

SHINGLES TILE COMPO. SLATE, T&B CRV'L
COULTE ROOFS AND A SECT WELD ROOFING
Authorised Bush Applicators
ROOF REPAIRING
ROCK WOOL INSULATION
BALLARD 6778

CLYDE L. FISCHER

ROGER DARLING GARDEN CHAPEL

NO DESERVING POOR REFUSED BUDGET TERMS IF DESIRED

471 E. Santa Clara St.

SAN JOSE

Tel. Ballard 4575

PAIAY AV.—Cont'd
 280 Spruce L. W. Mrs. @
 280 Quinn G. R.
 280 Turner E. A. *

PARK — Southwest from Main, 2 e of Front
 111 Main @ Los Gatos Swimming Pool
 180 Atkinson H. E. Mrs.
 music tele. @
 280 Walerick Len. @
 420 Dropper John. @
 500 Lasomassino Geo. @
 220 Moore Alice Mrs.
 25 Speedwell Lane @
 200 Fox J. P. @

PENNSYLVANIA AV — West from Bay View rd to Whittier rd
 200 Lindt C. G. @
 420 Hara R. J.
 600 Rhineland A. J. @
 240 Prince P. C. @
 280 Countryman Fayette N. @
 Krauss W. A.
 Glenridge av intersects
 570 MacGibbon E. G. Mrs. @

2020 White Minerva Mrs.
 309 Case L. G. bldg contr. @

2200 Swanson Nels. @
 2235 Hodder J. T.
 2240 Harvey H. B. Mrs. C.
 B. tract
 Harvey M. P. @
 2270 Harden A. L. @
 2370 Leeper J. R. @
 2400 Odell P. J. @
 2470 Daugh M. A. Mrs.
 Palm av intersects

257 Ghio L. J.
 2600 Beeley L. R. Mrs. @
 2610 Schulte R. P. @
 2630 Helman C. J. @
 2650 Baldwin R. W. radio rep.

5 Decker W. C. @
 Walnut av intersects
 2710 Perry A. E. Mrs. @
 280 Kiss G. T. @
 2810 Hinch W. C. @

PERALTA — North from 105 Pennsylvania av to Hernandez av

2 Fisher G. R.
 Ireland H. P.
 Norman Otto
 Shane M. E.
 160 Berryman F. W. Jr. @
 11 Hanson I. E. Mrs.
 Kutney D. E.
 Lorenzini A. A. Mrs.
 150 Fair J. H. @
 180 Tremaine Courtney @

181 Bullen Nancy Mrs.
 200 Lapini M. H. @
 220 Rankin Henrietta M. @
 230 Dublin Olga @
 240 Woody H. J. @
 21 More G. L. @

PINE AV — West 1 blk from 401 San Jose av
 160 MacDonald M. L. @
 220 Minyard P. D. @
 220 von Damm Ann @
 220 Webster Elias @
 220 Frye H. B. @
 220 Martin H. P. @
 210 Gilson J. P. @
 400 Bonetti A. W. @
 410 Erwin H. W. bldg contr. @
 440 Montache Domingo @

40 Lloyd H. W.
 60 Henschen H. E.

PLEASANT AV — North from intersection of Main and Jackson to New York av
 180 Dwyer E. L. @
 220 Andrews D. E. @
 220 Pearson L. M. Mrs. C.
 B. tract @
 340 Halmer Bert. @
 360 Clellan D. H. Mrs. @
 340 Keller P. M. @
 400 Curtis G. D. @
 44 Casman Alfr. @
 45 Vacant
 46 Gib Jas. @

PROSPECT — South from Reservoir rd to city limits

RESERVOIR ROAD — South from junction of Cleveland av and Villa to Prospect

300 De Rome Fannie Mrs. @
 500 Cleghorn Jos.
 400 Evans L. B. @
 500 Young C. E. @
 60 Kincaid A. M. @

ROBERTS ROAD — East from Los Gatos Creek near Cypress av

ROGERS ROAD — From 5 Kimble av to Reservoir rd
 600 Colvin H. P. @
 250 Gilnes H. P. Mrs. @

ROSE — South from Roberts rd, 2 w of San Jose av

ROSE AV — Northeast from Saratoga av, 4 w of Santa Cruz av

161 Tedeschi Nancy
 1085 Volpi Jos. @
 1105 Roemer H. H. @
 1125 Del Buono Enrico @

110 Rivolta Battino
 120 Bonaldi Lorraine
 1405 Pastore J. R. @
 1450 King G. H. @
 214 Elroy Alfr.
 2900 Bruce H. E. @
 Weaverling L. H.
 3900 Olson C. N. @

ROSE COURT — North-west from Hance av, 1 n of Saratoga av
 Koch H. H.
 20 Strickson L. R. @
 3 Gould P. A. @
 500 Clager P. G. @
 6 Wells F. A.
 70 Willard E. L. Mrs. @
 900 Chase Maude E. @
 1001 Luther J. D. Mrs. @
 110 Frost T. B. @
 120 Smith Walter
 13 Worshoff L. A.
 1400 Cressy P. B. @

ROYCE — From Santa Cruz av to University av, 2 n of Main
 106 Hatch E. J. @

SAN BENITO AV — North from Saratoga av to Mariposa av, 2 w of Santa Cruz av
 4100 De Guire P. A. Mrs. @

4110 Premier W. J. Jr. @
 4120 Sallou Frank @
 416 Nelson Marcelotte Mrs. @
 418 Godfrey P. P. @
 4210 Frame A. Q. @
 4220 Sandler P. J. @

428 Loder L. R. Mrs. @
 4710 Amerio Darlo
 4200 Cook E. D. @
 4250 Brinker C. A. @
 four Tansen Anna Mrs.
 438 Copeland G. H. @
 440 Moras Jos.
 Parodi J. G. @

4410 Horniman G. J. @
 445 Kinner Paula Mrs.
 450 Poth R. M. Mrs.
 4500 Treita C. B. @
 4500 Thompson R. E. @
 453 Greenmier C. M. @
 4640 Calata J. R. @
 4660 McArthur C. V. @
 485 Garibault Pasquale
 4970 Barnum Rose @

Andrews intersects
 500 Panero Bernardo @
 5050 Spagola Raymond @

512 Berchert Elias @
 5120 Henson J. R. @
 5140 Wilder H. A. Mrs. @
 5160 Brown N. E. Mrs. @
 5200 Huxtable W. W. @
 5200 Smith Kenneth
 532 Adams C. H.

Thurston intersects
 Olive av intersects
 5250 Rudy L. E. @
 545 Jefferson Philip
 548 Lee E. J. @
 557 Cox E. G. Jr.
 5590 Gilman W. P. @
 5610 Madson P. W. @
 5650 Tiffany H. C. @

Ashley av ends
 6150 Arto L. A. @
 6200 Wilkins J. M. @
 6210 Klein E. A. Mrs. @
 6230 Matulew A. H. @
 630 Brokaw M. M. Mrs.

HENRY RIBBS

STANDARD PLUMBING AND SUPPLIES

CONTRACTOR AND JOBBER

SAN JOSE

WATER HEATERS

Free Estimates

Tel. Mayfair 824

2505 Alum Rock Avenue

477. Andrew & Intersects
 481. Short Ridge C R. 4-2003
 482. Soleson, J. 4-2003
 483. Andrew & Intersects
 484. J. 4-2003
 485. Bellis, Paul. 4-2003
 486. Gill, Greg. 4-2003
 487. Hargis, Edwin R. 4-2003
 488. J. 4-2003
 489. Gervasi, Sam. 4-2003
 490. J. 4-2003

10

LIBRARY

100

311 Gersci Sato
312 G. Leonard B
313 Mrs EL 4-3875
314 Edith K Mrs G
315 EL 4-7061
316 Mix Lawrence G
317 Perry H
318 J.

est from 1
idge + w, 2
r. M
K
New 10 E
L + EL 4
y Intersect
M 100
+ 2500
Intersect
r + EL 4-
des 10
1967
+ EL 4-
New 10
4000
Intersect
+ EL 4-3

30 Mix Lawrence G @ K2
36 Perryman H
40 Jim

ANNEXURE -6
Santa Clara County Reply -1

e-permits@pln.sccgov.org

Active

1 of 6

Best regards,
E-Permits/clr

One attachment • Scanned by Gmail

Request for Copi...

Devendra Deshwal

<dsdeshwal@gmail.com>

to E-Permits

Good evening.
The request for copies of the plans duly filled and signed is attached please.
Best regards,
Devendra Deshwal
PE # C89732

One attachment • Scanned by Gmail

Request for Copi...

E

E-Permits

to me

Fri, Mar 14, 10:00 AM (9 days ago)

Hello, we do not have any plans on record for 446 San Benito Ave. This address is currently in the Town of Los Gatos, CA. Their Planning Dept number is (408) 354-6872.

Thanks,

County of Santa Clara Planning E-Permits

Thank you for the information.


Thank you for your help.

Thank you for your assistance.

Reply

Forward

REQ 25-179 446 San Benito 



 **DO NOT REPLY - Santa Clara County Department of Planning and Development** <noreply@accela.com>
to me ▾

Hello,

The property is in the City Of Los Gatos. The County of Santa Clara Department of Planning and Development has reviewed the records we maintain, and no responsive records were found. This completes our response to your CPRA request.

Thank you,

 Reply  Forward 

 
Mon, Mar 17, 9:25 AM (6 days ago) ☆ 😊 ↶ ⋮

CITY COMPUTER RECORDS

1. Electrical Service Upgrade (5 pages)

SAN BENITO AVE - 446

**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
ELECTRICAL PERMIT**

Permit Number: **E04-000258**

Work Description: **UPGRADE SERVICE 200 AMPS**
Building Address: **446 SAN BENITO AV LG**
Applied: **05/24/2004**
Approved:

Status: **APPLIED**
Issued:
Expired:

OWNER **CUSHMAN JACK E SR; GENELDA F 05/24/2004** Phone: [REDACTED]

**446 SAN BENITO AVE
LOS GATOS, CA
95030-5305**

CONTRACTOR **OWNER/BUILDER**
SAME

05/24/2004

License: **000000**

--Square Footage--

New Residence: **0**

Remodel: **0**

Commercial: **0**

Description	Tot Fee
Electrical Permit Fees	83.00

Total Calculated Fees:	\$83.00
Total Additional Fees:	\$0.00
Total Fees Due:	\$83.00
Total Payments:	\$0.00
Balance Due:	\$83.00

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X _____

**COMPLETE A or B
WORKER'S COMPENSATION DECLARATION**

A) I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X _____

NOTICE:

1. Signs are regulated. See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.

OWNER-BUILDER VERIFICATION

1. I or my immediate family (parent, spouse, or child) will perform (check one):
- A. ☒ All the work authorized by this permit.
B. ☐ A portion of the work
C. ☐ None of the work.

If B or C is checked, complete 2 or 3 below.

2. A state licensed contractor will be hired to do (complete section below):
- A. ☐ All of the work.
B. ☐ A portion of the work
C. ☐ None of the work

Contractor	Address/City	Phone Number	State License #	Type of work to be performed

3. ☐ I will utilize unlicensed person(s) other than my family to perform all or portions of the authorized work. I understand that I may be an employer (see reverse side). A Certificate of Insurance covering worker's compensation must be on file at the Community Development office.

Person/Firm	Address/City	Phone Number	Type of work to be performed

I AGREE TO CHECK THAT EACH CONTRACTOR AND SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN TO WORK. YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT (408) 354-6831 OR (408) 399-5704.

Property Owner's Initial JC

Any changes to this form shall be submitted to the Community Development Department



TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PO Box 949, Los Gatos, CA 95031
(408) 354-6881

OWNER-BUILDER INFORMATION

Attention Property Owner:

If you plan to improve your property and employ persons other than your immediate family, the following information will be of benefit to you. State and Federal laws require that you:

- Register with the State and Federal government as an employer.
- Withhold and remit income tax for each employee.
- Withhold and remit social security costs on each employee and pay social security costs on each employee
- Withhold and remit disability insurance costs for each employee and pay worker's compensation insurance costs for each employee.
- Pay employee unemployment insurance costs on each employee.
- There may be financial risks for you if you do not carry out these obligations and these risks are especially serious with respect to worker's compensation insurance
- If the structure is intended for sale, property owners who are not licensed contractors are allowed to perform their work personally or through their own employees, without a licensed contractor or subcontractor, only under limited conditions.
- A frequent practice of unlicensed persons professing to be contractors is to secure an "Owner-Builder" building permit, erroneously implying that the property owner is providing his or her own labor and material personally.

Information about licensed contractors, insurance, and lien laws may be obtained by contacting the Contractors' State License Board and/or various business and trade associations.

Please complete the "Owner-Builder Verification" form (reverse side) and sign below so that we can confirm that you are aware of these matters. The building permit cannot be issued until the verification has been completed and signed to the Community Development Department.

I declare under penalty of perjury that the information provided on the reverse side is true and correct. I have read and understand the Owner-Builder Information.

Property Owner's Signature: Jack Cushman Date: 5/24/04
Job Address: 446 SAN BENITO RD Permit #: E04-000258
Print Owner's Name: JACK CUSHMAN

TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT - BUILDING DIVISION * PHONE 354-6881 FAX (408) 354-7563

INSPECTION REQUESTS PHONE 354-6877

APPLICATION FOR ELECTRICAL PERMIT

E04-

UNIT FEE	NO OF ITEMS	AMOUNT	\$	FEE	SITE ADDRESS & SUITE #	Historic - Pre-1941
LIGHTS, SWITCHES, OUTLETS		2.00 EA			446 San Benito	
RESIDENTIAL APPLIANCES: CROCK TOP, OVEN, RANGE, DISPOSALS, CLOTHES DRYER OR OTHER MOTOR OPERATED APPLIANCE NOT EXCEEDING 1/2 HORSEPOWER		6.00 EA			USE OF EXISTING BUILDING (Please Check)	Commercial Building/ Parking Structure
NONRESIDENTIAL APPLIANCES: MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CANNETS, LAUNDRY MACHINES, DRINKING FOUNTAINS OR OTHER SIMILAR EQUIPMENT. NOTE: SEE BELLOW FOR OTHER EQUIPMENT		7.00 EA			Single-family Residence	Attached Garage or Detached Garage
POWER APPARATUS: ELECTRIC MOTORS, TRANSFORMERS, A.C., HEAT PUMPS, HEATING EQUIPMENT					PROPERTY OWNER	PHONE (REQUIRED)
UP TO 10 KW		13.00 EA			JACK CUSHMAN	
OVER 10 KW, AND NOT OVER 50 KW		21.00 EA			MAIL ADDRESS	
OVER 50 KW, AND NOT OVER 100 KW		41.00 EA				
OVER 100 KW		57.00 EA			CITY	ZIP
MOTORS:					CONTRACTOR	PHONE
UP TO 1/2 HP		13.00 EA			MAIL ADDRESS	
UP TO 2 1/2 HP		21.00 EA				
UP TO 5 1/2 HP		41.00 EA			CITY	ZIP
OVER 5 1/2 HP		62.00 EA			STATE LICENSE	MUST SHOW CURRENT WORKER'S COMP
TRANSFORMERS:					TOWN LICENSE	
UP TO 5 KVA		13.00 EA			COMMERCIAL TENANT	PHONE (REQUIRED)
UP TO 10 KVA		21.00 EA			MAIL ADDRESS	
UP TO 50 KVA		36.00 EA			446 SAN BENITO AVE	
OVER 50 KVA		52.00 EA			CITY	ZIP
BUSWAYS (PER 100 FT) CONDUITS		7.00 EA			Los Gatos	95030
SERVICE EQUIPMENT:					DESCRIPTION OF WORK:	
200 AMP OR LESS		52.00 EA			SERVICE Change	
201 TO 599 AMP		72.00 EA			I certify that I have read this application and state that the above	
JOB PANELS		26.00 EA			Information is correct. I agree to comply with all town and county	
DISCONNECTS					ordinances and state laws relating to building construction, and	
TEMP POWER POLE		52.00 EA			hereby authorize representatives of this Town to enter upon the	
TEMP DISTRIBUTION SYSTEM & TEMPORARY LIGHTING SYSTEM		26.00 EA			property for inspection purposes.	
PRIVATE SWIMMING POOL		41.00 EA			Signed Jack Cushman	Date 5/24/04
PUBLIC SWIMMING POOL		77.00 EA			NOTICE:	
SPAS OR SAUNAS		26.00 EA			1. SIGNS ARE REGULATED, SEE PLANNING DEPT.	
ILLUMINATED SIGNS		41.00 EA			2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES, SHOE STRING LIGHTING NOT PERMITTED.	
PHOTOVOLTAIC SYSTEM (RES)		49.00 EA				
SOLAR SYSTEMS		49.00 EA				
NEW SFR/MFR ONLY	50 FT X 80 FT					
PERMIT ISSUANCE		31.00				
ADDITIONS TO PERMIT		10.00				
PLAN CHECK FEE (25% OF ELECTRICAL FEE)						
TOTAL FEES						

N:\Dev\FORMS\ELECTAPP.XLS

Rev 1/04



TOWN of LOS GATOS
Community Development
Building Permit

Permit ID/Type:	B10-0174 BUILDING/BUILDING/RESIDENTIAL/REPAIR	Applied:	03/11/2010
Work Description:	REPAIR FRONT PORCH AND REPAIR EVE'S ON HOUSE	Approved:	
Status:		Issued:	
Address:	446 SAN BENITO AVE, LOS GATOS, CA 95030	Expires:	9/7/2010
Owner:	CUSHMAN GENELDA [REDACTED]	Phone:	[REDACTED]
Contractor:	OWNER/BUILDER SAMELOS GATOS, CA	Phone:	
License No.:	000000		

Job Value:	\$2,000.00	Buildings:	1
Total Sq. Ft.:		Houses:	0
Building Use:	Dwellings	Census #:	434
Occupancy Type:	R-3	Construction Type:	V-B

Total Fees	\$190.07
Total Payments	\$0.00
Balance Due	\$190.07

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ California Contractor License No. _____
 Expiration Date _____ Contractor Signature _____

WORKERS' COMPENSATION DECLARATION WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____ Expiration Date _____

Name of Agent _____ Phone # _____

I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

[Signature]
 Signature of Applicant

3-11-10
 Date

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as owner of the property, or my employees with wages as their sole compensation, will do ☐ all of or ☐ portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.)

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.)

☐ I am exempt from licensure under the Contractors' State License Law for the following reason:

Jack Carshane
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following. Web site: <http://www.leginfo.ca.gov/calaw.html>

X Date 3-11-10 Signature of Property Owner or Authorized agent _____

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf. I have read this application and the information I have provided is correct. I agree to comply with all applicable city and county ordinances and state laws relating to building construction. I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

X *Jack Carshane*
Signature of Property Owner or Authorized Agent _____

3-11-10
Date _____



TOWN OF LOS GATOS

B10-174

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
PHONE (408) 354-6876 FAX (408) 354-7593
www.LosGatosCA.gov/building

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at 446 San Antonio

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION DIRECTIONS:
Read and initial each statement below to signify you understand or verify this information.

___ 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

___ 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

___ 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

___ 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

___ 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

___ 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

(over)



7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 446 San Benito

11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Signature of property owner

Jack Anderson

Date:

3-11-10

I have contracted with the following person (firm) to provide the proposed construction:

Person and/or Firm Name:		
Address	City	Zip
Phone	Contractors State License Number	

If needed, provide additional contractor information on separate form.



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
PHONE: (408) 354-6876 FAX: (408) 354-7593
www.losgatosca.gov/building

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

Application #

BUILDING DIVISION PERMIT APPLICATION

B10-174

SITE ADDRESS 446 SAN BENITO RD Suite _____ Today's Date 3/11/10

TYPE OF WORK TO BE DONE ☐ New ☐ Addition ☐ Alteration ☒ Repair ☐ Reroof ☐ Deck ☐ Pool/Spa ☐ Ret Wall

DETAILED DESCRIPTION OF WORK TO BE DONE REPAIR FRONT PORCH, REPAIR
FENCE ON HOUSE

PROJECT AREA	New/Add Sq. Ft.	Remodel/Alter Sq. Ft.	Reroof/Pool/Porch/Deck SF	Retaining Wall LF
1 st Floor	_____	_____	_____	_____
2 nd Floor	_____	_____	_____	_____
Attic/Basement/Cellar/Porch	_____	_____	_____	_____
Attached/Detached Garage	_____	_____	_____	_____

CONSTRUCTION VALUATION (Required): _____ Include costs of all labor and materials

BUILDING DETAILS: Heated? ☐ Cooled? ☐ # of Stories _____ ☐ Pre 1941/Historic District ☐ Has A Fire Sprinkler System

Is there a Swimming Pool and/or Spa located at this address: ☐ Yes ☐ No

Proposed Use of Building: _____ Construction Type _____ Occupancy Type _____

CONTACT NAME JACK CUSHMAN _____ Fax _____

Address _____ City _____ Zip _____

Property Owner Name JACK CUSHMAN Phone (Required) _____

Address _____ City _____ Zip _____

Architect/Engineer/Designer _____ License # _____ Phone _____

Address _____ City _____ Zip _____

Contractor Name _____

State License No. _____ License Type _____ Expires _____ Town Business Lic. No. _____

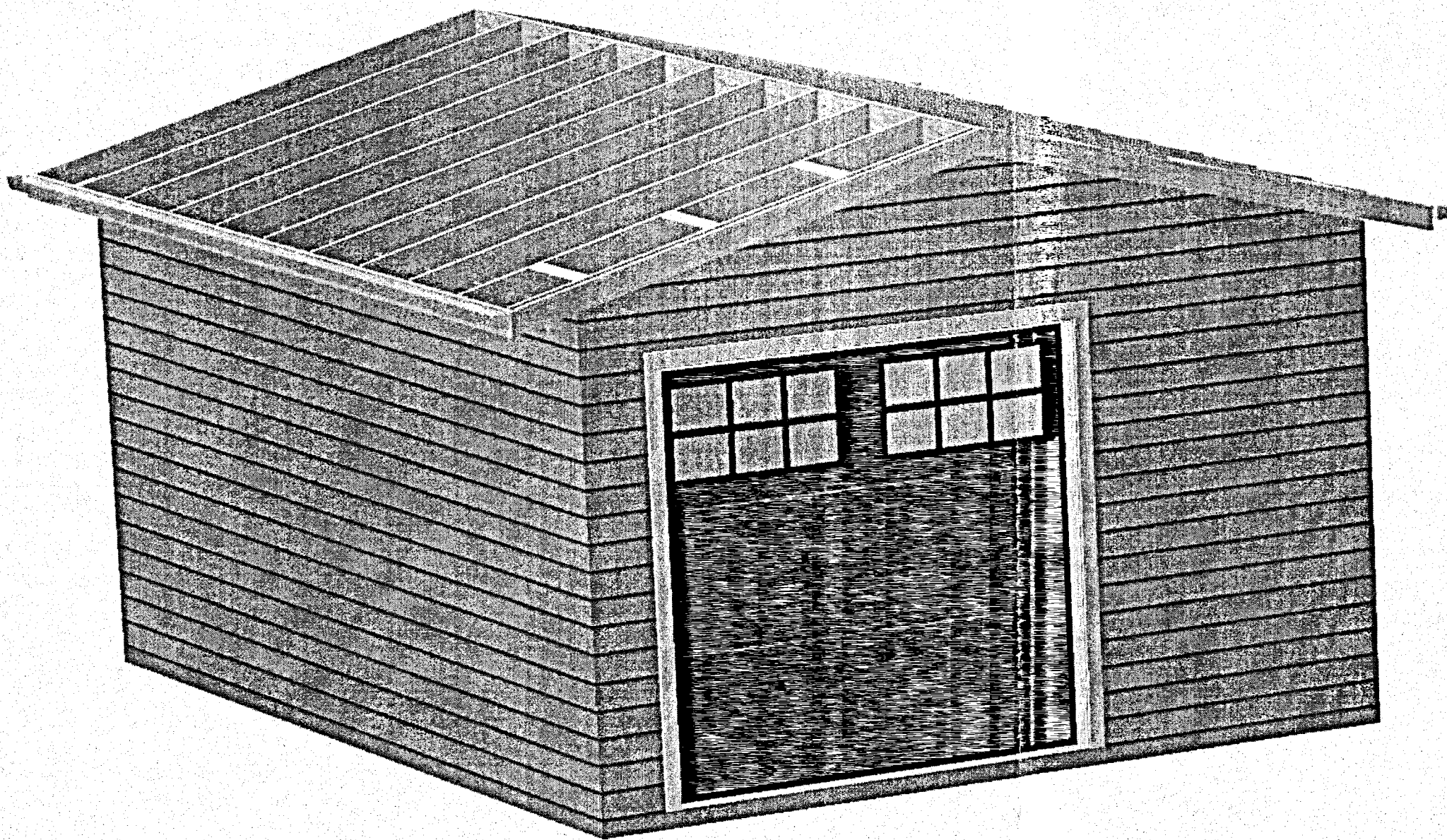
Commercial Tenant _____ Phone _____

Address _____ City _____ Zip _____

Please complete the Electrical, Mechanical & Plumbing details on reverse side

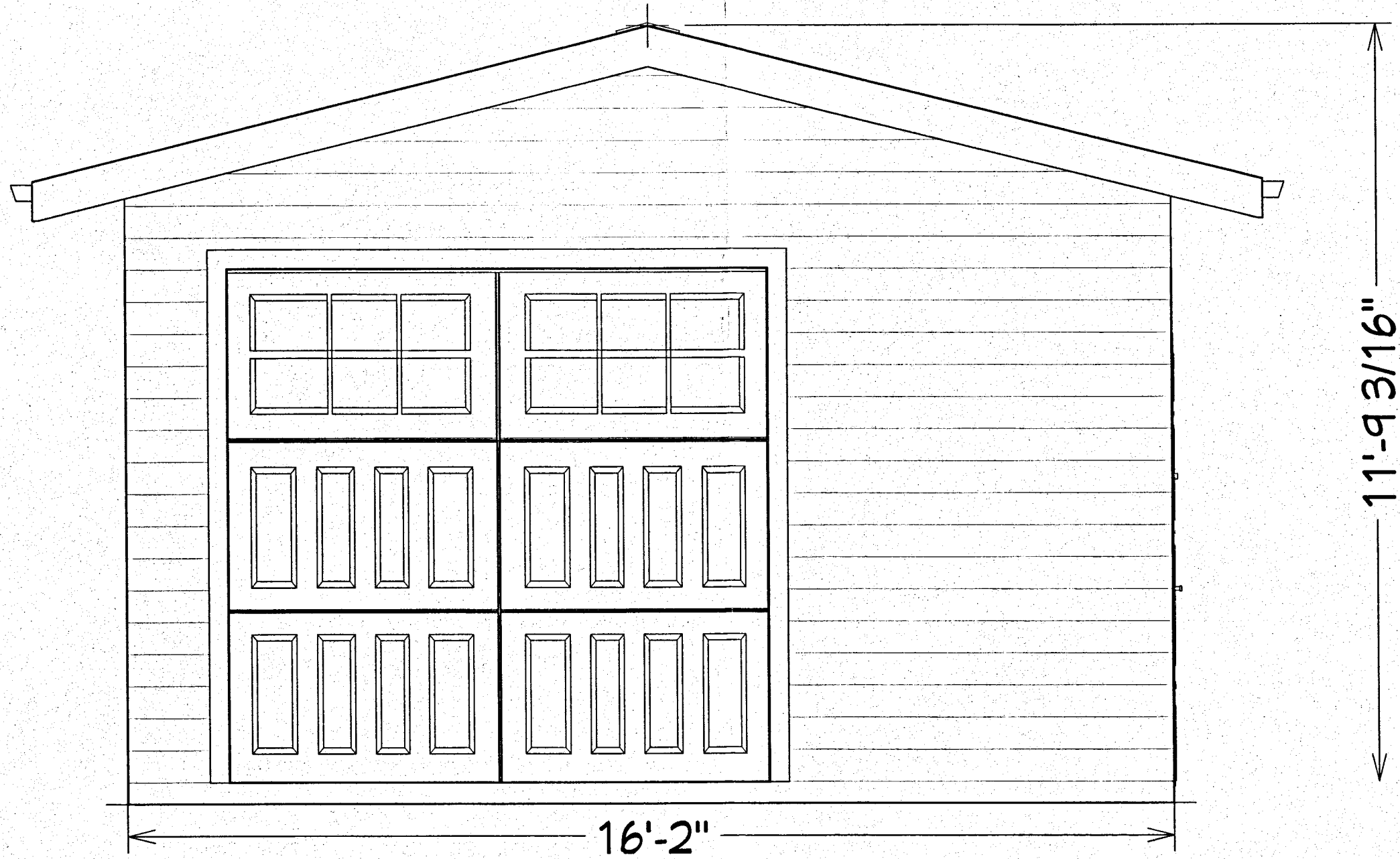


3. REROOF INCLUDING REPLACEMENT OF ROOF PERMIT -1 Page



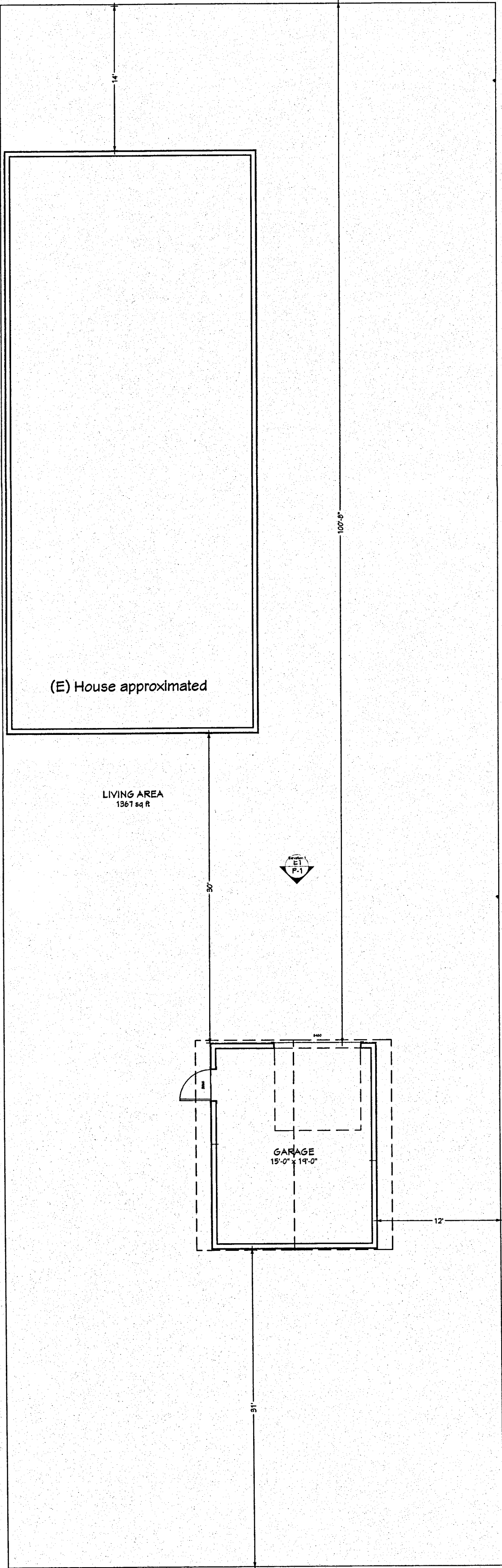
Project Description

Roof rafters replaced only as necessary
All (N) 1/2" plywood decking
All (N) Composition Shingles to match existing over #15 felt



1/2" = 1'

San Benito Ave



1/4" = 1'

Project Summary
Roof Repair/ Re-shingle
446 San Benito Ave, Los Gatos
APN: 410-16-051
District: R-1D
Property Size: .16ac/ 7200sf
Type of construction: V-B
Year Built: 1905

**Town of Los Gatos
BUILDING DIVISION**
PLAN APPROVED
BY: *M. Macken* DATE: *7-24-15*
Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations.

Applicable Codes
2013 California Residential Code
2013 California Building Code
2013 California Electrical Code
2013 California Energy Code
2013 California Mechanical Code
2013 California Plumbing Code
2013 California Green Building Standards
2013 California Fire Code

Expired
as of 3/20/16

REVISION TABLE	
NUMBER	DATE
1	7/7/2015
2	
3	
4	
5	
6	
7	
8	
9	
10	
DESCRIPTION	
1. Initial Submission	
2. Plan Check	
3. Permit Issued	
4. Construction	
5. Final Inspection	
6. Certificate of Occupancy	
7. Final Approval	
8. Final Approval	
9. Final Approval	
10. Final Approval	

Roof Repair for:
446 San Benito Ave, Los Gatos
APN: 410-16-051

DATE:
7/7/2015

SCALE:
As Noted

SHEET:
A-1

B15-0600

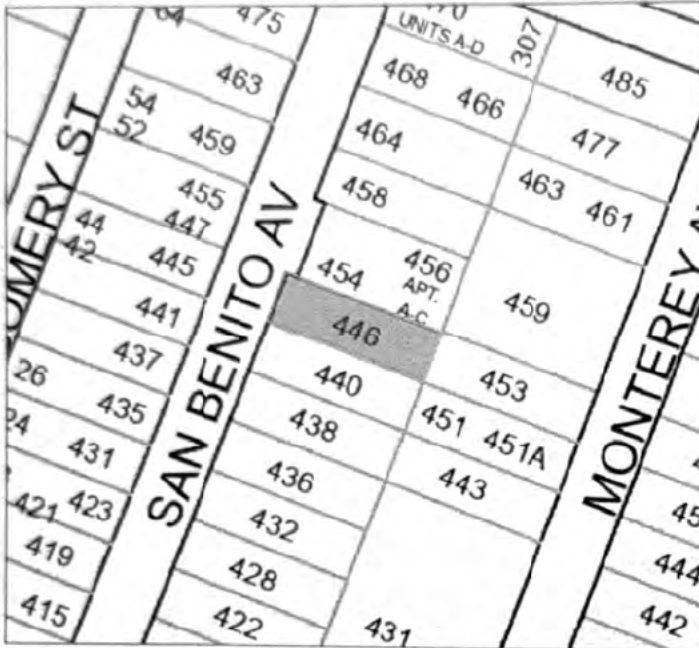
446 SAN BENITO AVE.



Town of Los Gatos

Parcel Report

Assessor's Parcel Number: 410 16 051



Basic Parcel Information

Situs Address: 446 SAN BENITO AV
Owner's Name: CUSHMAN DEBORAH F TRUSTEE
Co-Owner:
Owner's Address: [REDACTED]
City, State:
Zip Code: [REDACTED]
Lot Size (Assessed): 7,200 Sq. Ft.
Lot Size GIS: Sq. Ft.
Property Value: \$178,473.00
Zoning: R-1D
Elem School:

Property Characteristics

Buildings on Parcel:	Lot Size (Acres): 0.16	Land Use Description:
No. of Units:	Williamson Act Flag:	Medium Density Residential
Total # of Floors: 1	Well Flag:	County Use Code: 1
Bedrooms /Baths:	Pool Code: N	Year Built: 1905
Total # of Rooms:	Building Square Ft.: 684.00	Effective Year: 1905
	Garage Code: 0	2010 Census Block:
	Percentage Improved:	

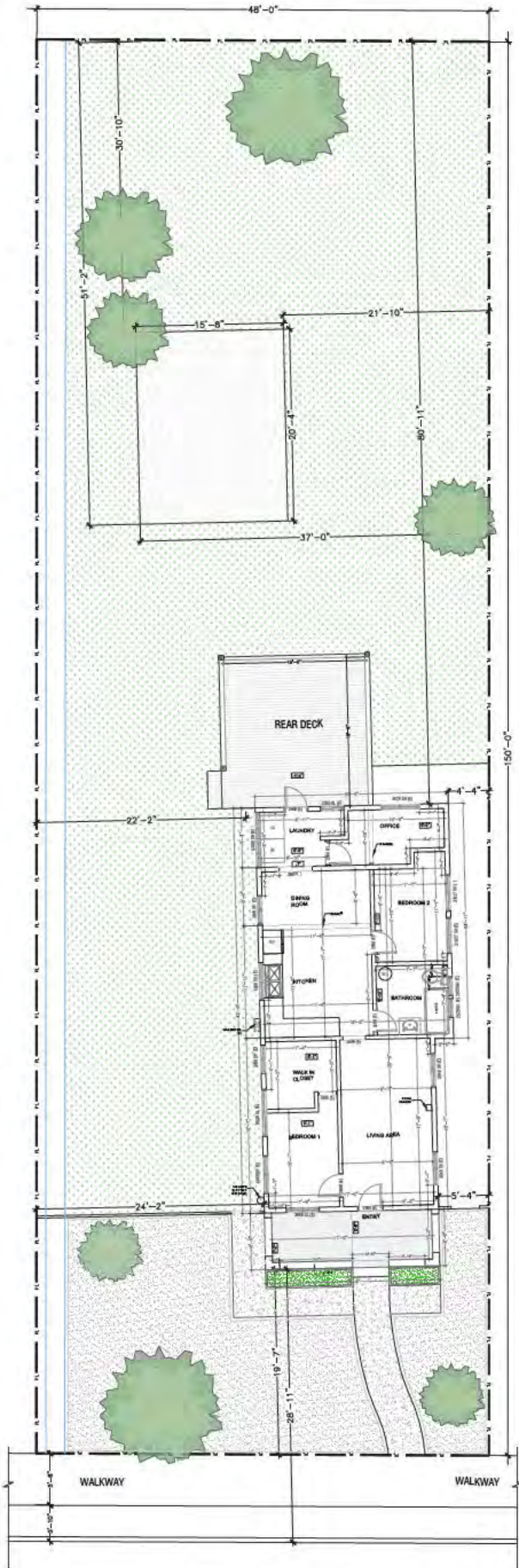
Assessor's Information

Tax Rate Area: 3000	Tract:
Tax Year: 20241125	Block and Lot No.:
Document Date: 20211012	Record Book/Volume/Page:
Document 25129718	
Deed Type: DEED	

Additional Information

Has Secondary Unit?: No	Is Historic Site?: No
Is In Hillside Planning Area?: No	FEMA Flood Panel / Zone: 0376 / X
Is In Hillside Specific Plan?: No	Street Sweeping: T5 (Week1 Monday)

- SYMBOLS
- PROPERTY LINE
 - EXISTING WALL
 - EXISTING WALL TO BE REMOVED
 - NEW WALL
 - NEW ADDITION



EXISTING SITE PLAN
SCALE 1/8" = 1'-0"

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
[REDACTED]

REVISIONS	DESCRIPTION	
	NUMBER	DATE

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE PLAN

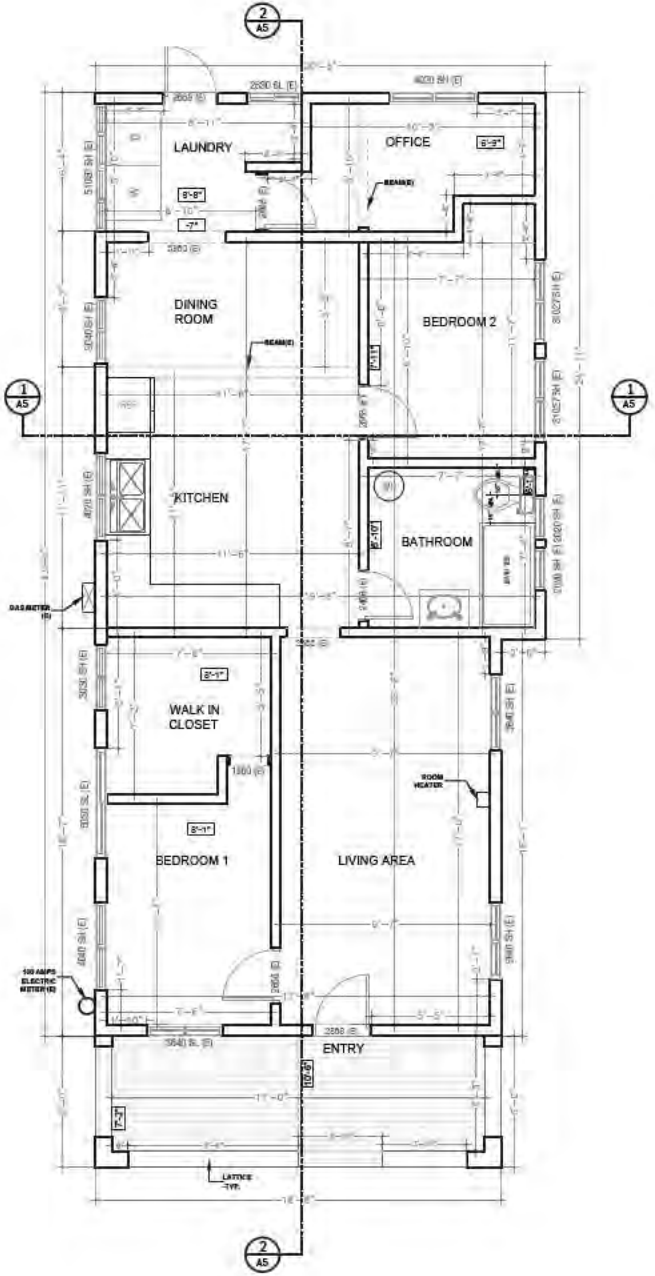
DATE
03/03/2025
SCALE
1/8 " = 1'-0"
SHEET
A1

SYMBOLS

- EXISTING WALL
EXISTING WALL TO BE REMOVED
NEW WALL

LEGEND

- 1 EXISTING WALL TO BE REMOVED
2 EXISTING DOOR/WINDOW TO BE REMOVED
3 EXISTING LIGHT FIXTURES TO BE REMOVED
4 EXISTING PLUMBING FIXTURES TO BE REMOVED
5 EXISTING APPLIANCES TO BE REMOVED
6 EXISTING CABINETRY TO BE REMOVED
7 EXISTING FLOORING TO BE REMOVED



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	NUMBER	DATE

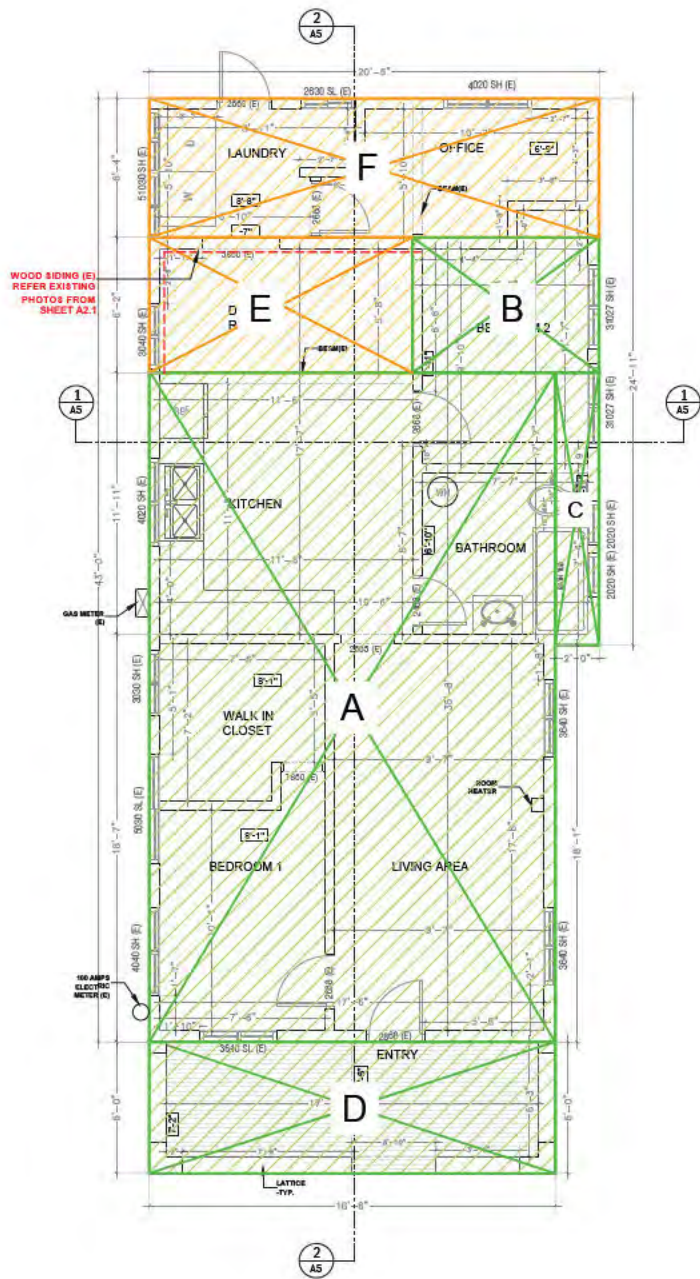
PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET TITLE:-
EXISTING
FLOOR
PLANS

DATE
03/03/2025
SCALE
1/4"=1'-0"
SHEET
A2

SYMBOLS

- EXISTING WALL
- EXISTING WALL TO BE REMOVED
- NEW WALL



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



PHOTO 1
SHOWING OLD SLOPING ROOF PROFILE
ON WINDOW SIDE



PHOTO 2
SHOWING OLD ROOF PROFILE ON
BEDROOM 2 SIDE

AREA CALCULATIONS (EXISTING HOUSE)	
FLOOR AREA	
A	18'-6" X 30'-6"= 564.25 SQ FT
B	8'-6" X 6'-2"= 52.41 SQ FT
C	2'-0" X 12'-5"= 24.83 SQ FT
PERMITTED / FLOOR AREA	641.49 SQ FT
UNPERMITTED ADDITION	
E	12'-0" X 6'-2"= 74.00 SQ FT
F	20'-6" X 6'-4"= 129.83 SQ FT
TOTAL EXISTING FLOOR AREA	TOTAL FLOOR AREA (A+B+C+E+F)= 845.32 SQ FT
PORCH AREA	
D	18'-6" X 6'-0"= 111.00 SQ FT



PHOTO 3
SHOWING WOOD SIDING IN DINING ROOM

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

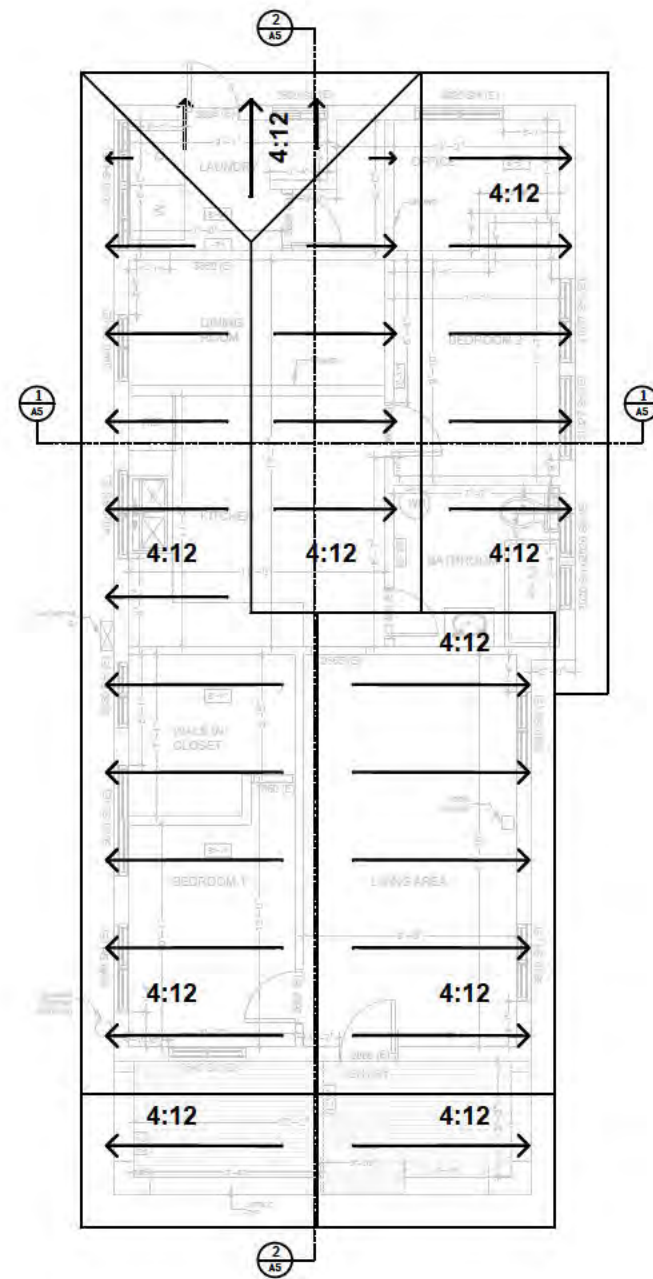
PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET TITLE:-
AREA
CALCULATION

DATE
03/03/2025

SCALE
1/4"=1'-0"

SHEET
A2.1



EXISTING ROOF PLAN
SCALE 1/4" = 1'-0"



OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
ROOF PLAN

DATE
03/03/2025
SCALE
1/4"=1'
SHEET
A3

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

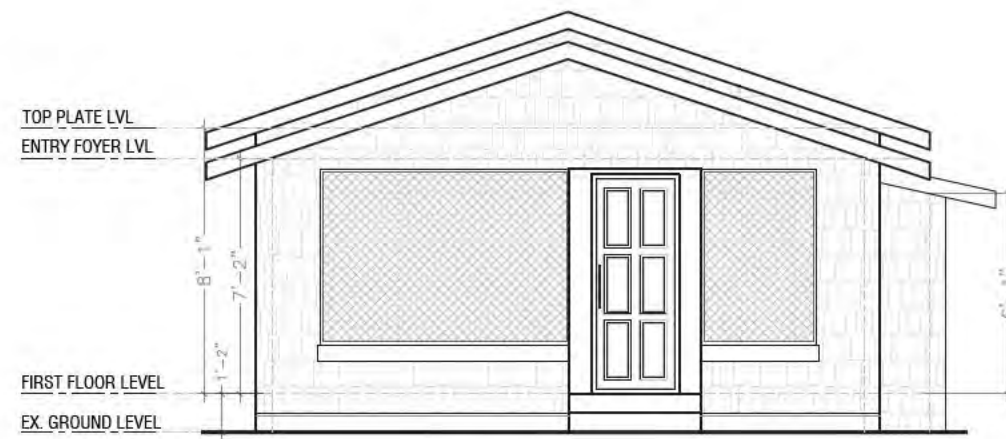
PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
ELEVATIONS

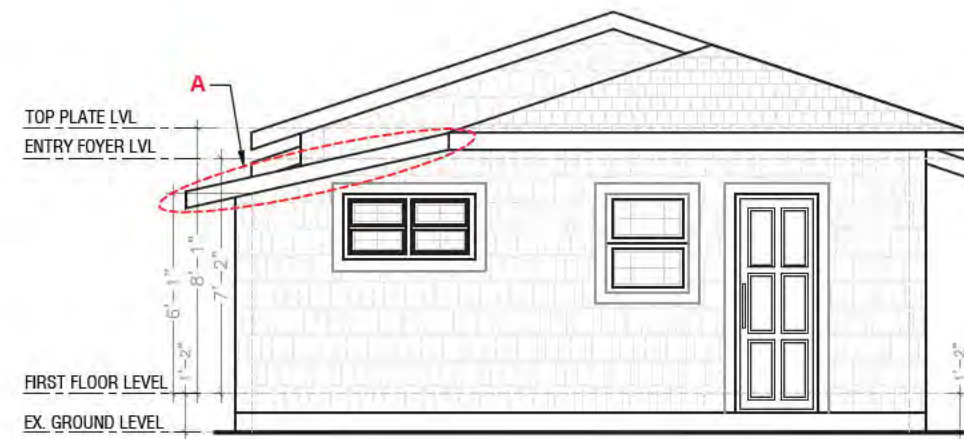
DATE
03/03/2025

SCALE
3/8"=1'-0"

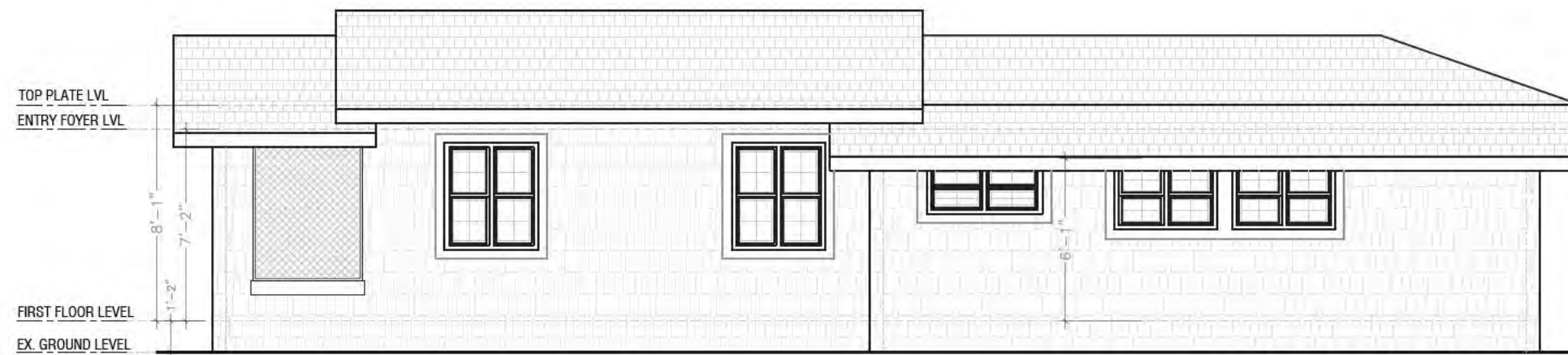
SHEET
A4



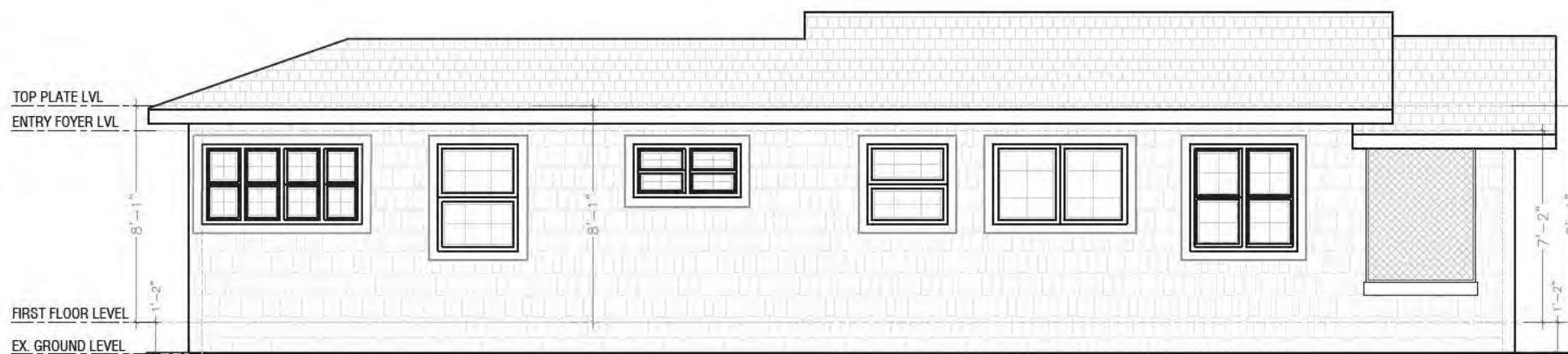
EXISTING FRONT ELEVATION
SCALE 3/8" = 1'-0"



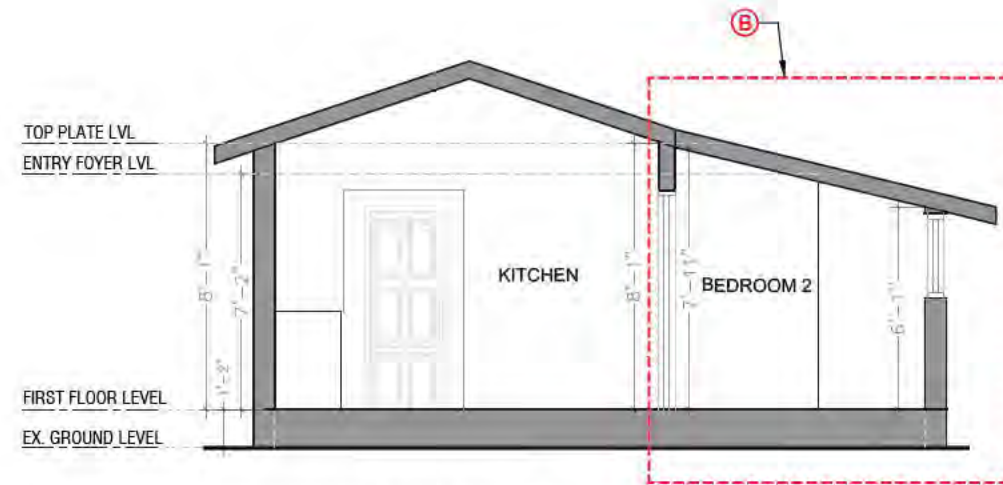
EXISTING REAR ELEVATION
SCALE 3/8" = 1'-0"



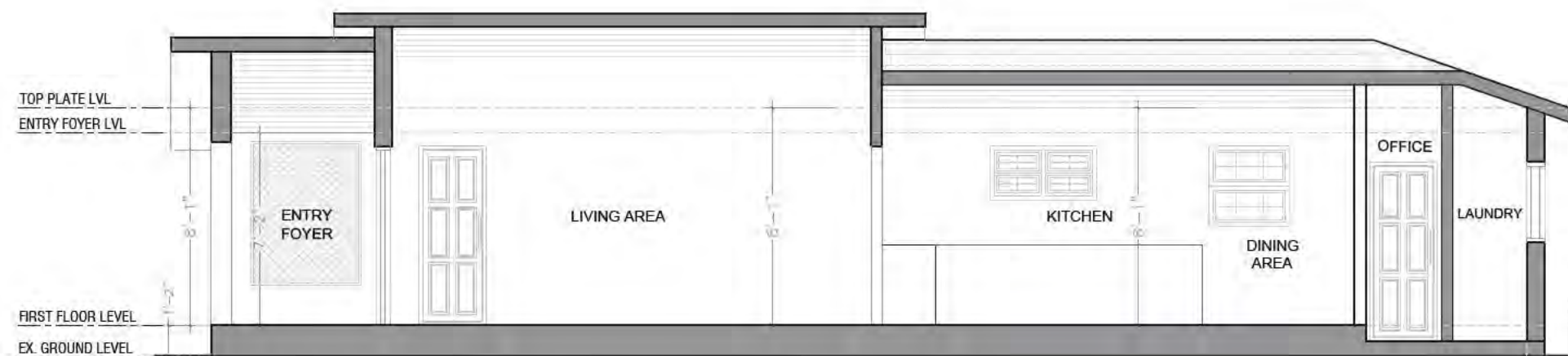
EXISTING RIGHT ELEVATION
SCALE 3/8" = 1'-0"



EXISTING LEFT ELEVATION
SCALE 3/8" = 1'-0"



EXISTING SECTION - $\frac{1}{A5}$
SCALE : 3/8"=1'-0"



EXISTING SECTION - $\frac{2}{A5}$
SCALE : 3/8"=1'-0"

OWNER :-

RAJ KUMARI
& DEVENDRA

DESIGNER :-

UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	DATE	NUMBER

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SECTIONS

DATE

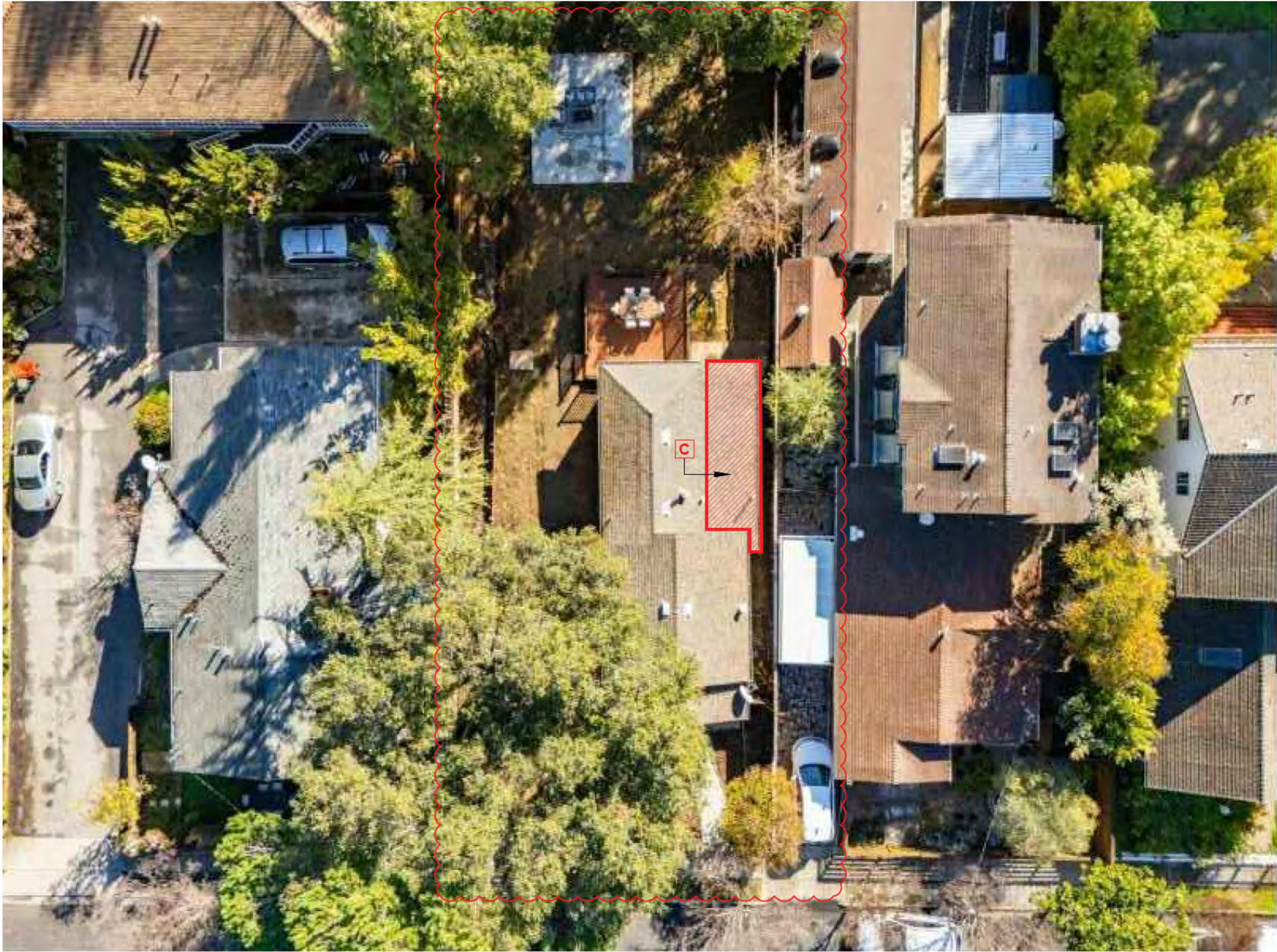
03/03/2025

SCALE

3/8"=1'-0"

SHEET

A5



1. SITE

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS		
NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-1

DATE
03/03/2025
SCALE
NTS
SHEET
A6.1



2. SITE FRONT AERIAL VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-2

DATE
03/03/2025
SCALE
NTS
SHEET
A6.2



3. SITE REAR AERIAL VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-3

DATE
03/03/2025
SCALE
NTS
SHEET
A6.3



4. FRONT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-4

DATE
03/03/2025
SCALE
NTS
SHEET
A6.4

LEFT VIEW



5. SITE LEFT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-5

DATE
03/03/2025
SCALE
NTS
SHEET
A6.5



6. ENTRY FOYER (PORCH)

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-6

DATE
03/03/2025
SCALE
NTS
SHEET
A6.6



7. ENTRY PORCH (CEILING)

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS		
NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-

EXISTING
SITE
PHOTO-7

DATE
03/03/2025
SCALE
NTS
SHEET
A6.7



8. LEFT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-8

DATE
03/03/2025
SCALE
NTS
SHEET
A6.8



9. LEFT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-9

DATE
03/03/2025
SCALE
NTS
SHEET
A6.9



10. LEFT REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-10

DATE
03/03/2025
SCALE
NTS
SHEET
A6.10



11. RIGHT SIDE

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-11

DATE
03/03/2025
SCALE
NTS
SHEET
A6.11



12. RIGHT VIEW
(FROM REAR)

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS		
NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-

EXISTING
SITE
PHOTO-12

DATE
03/03/2025
SCALE
NTS
SHEET
A6.12



13. REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-13

DATE
03/03/2025
SCALE
NTS
SHEET
A6.13



14. REAR DECK SITE VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-14

DATE
03/03/2025
SCALE
NTS
SHEET
A6.14



15. SITE REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-15

DATE
03/03/2025
SCALE
NTS
SHEET
A6.15



16. SITE REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-16

DATE
03/03/2025
SCALE
NTS
SHEET
A6.16



17. CLOSET VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS		
NUMBER	DATE	DESCRIPTION

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

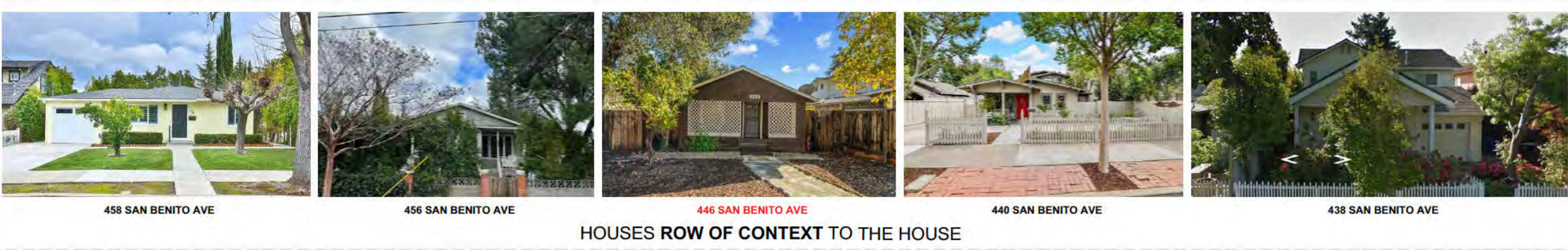
SHEET
TITLE:-

EXISTING
SITE
PHOTO-17

DATE
03/03/2025
SCALE
NTS
SHEET
A6.17



HOUSES ROW OF CONTEXT TO REAR / ADJACENT OF THE HOUSE



HOUSES ROW OF CONTEXT TO THE HOUSE

SAN BENITO ROAD



HOUSES ROW OF CONTEXT TO FRONT OF THE HOUSE

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070

REVISIONS	DESCRIPTION	
	DATE	
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
CONTEXT
PHOTO
GRAPHS

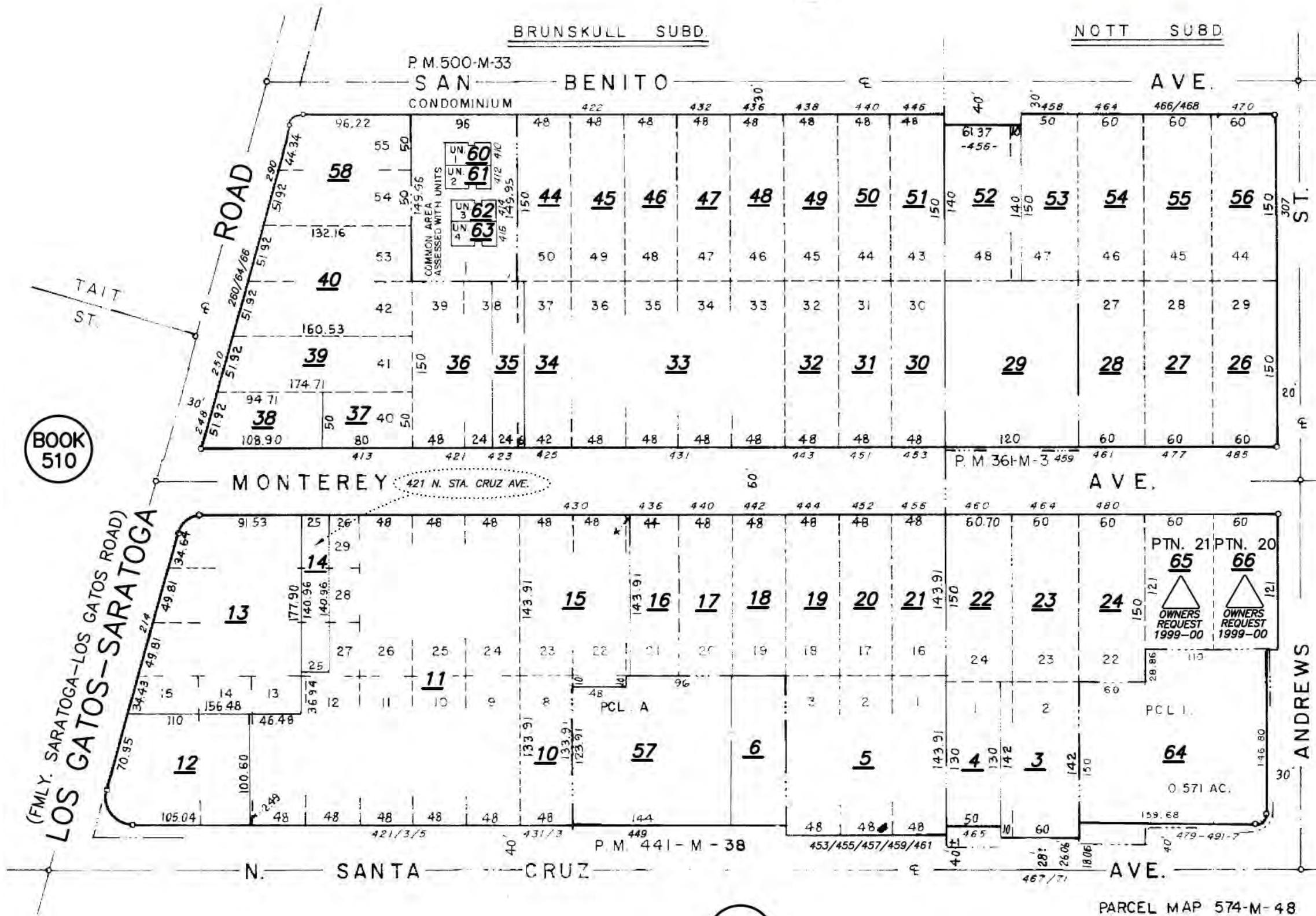
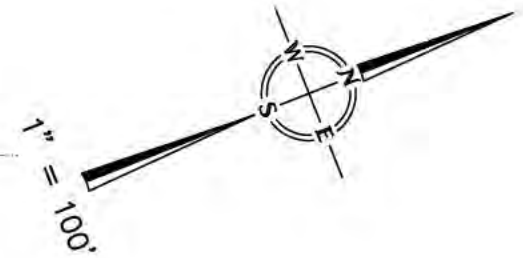
DATE
03/03/2025
SCALE
NTS
SHEET
A7

ANNEXURE-11
APN Map

BOOK
410

PAGE
16

17



BOOK
510

15

BOOK
529

PARCEL MAP 574-M-48

REFERENCES

- (A) BRUNSKULL SUB., "K"-M-67
(B) PARCEL MAP, 475-M-20
(C) RECORD OF SURVEY 746-M-27
(D) PARCEL MAP, 500-M-33

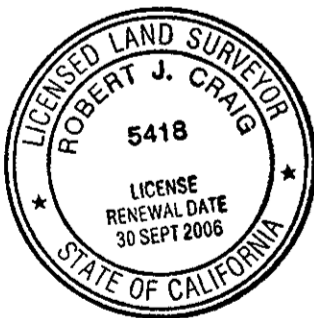
BASIS OF BEARINGS

BEARING NORTH 21°30' EAST ALONG THE CENTER LINE OF SAN BENITO AVENUE AS SHOWN UPON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN BOOK 475 OF MAPS, AT PAGE 20, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

SURVEYOR'S STATEMENT

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act at the request of Gilbert Clevenger in January, 2005.

ROBERT J. CRAIG
Professional Land Surveyor No. 5418
Renewal Date 9/30/2006



COUNTY SURVEYOR'S STATEMENT

This map has been examined in accordance with Section 8766 of the Professional Land Surveyors' Act this 23RD day of NOVEMBER 2006.

GWENDOLYN GEE, COUNTY SURVEYOR
Professional Land Surveyor No. 6780
Renewal Date 9/30/2006



RECORDER'S STATEMENT

Filed this 29th day of November 2006 at 2:42 P. in Book 794
of Maps 34 at Page 34, at the request of DUNBAR & CRAIG
LAND SURVEYS, INC.

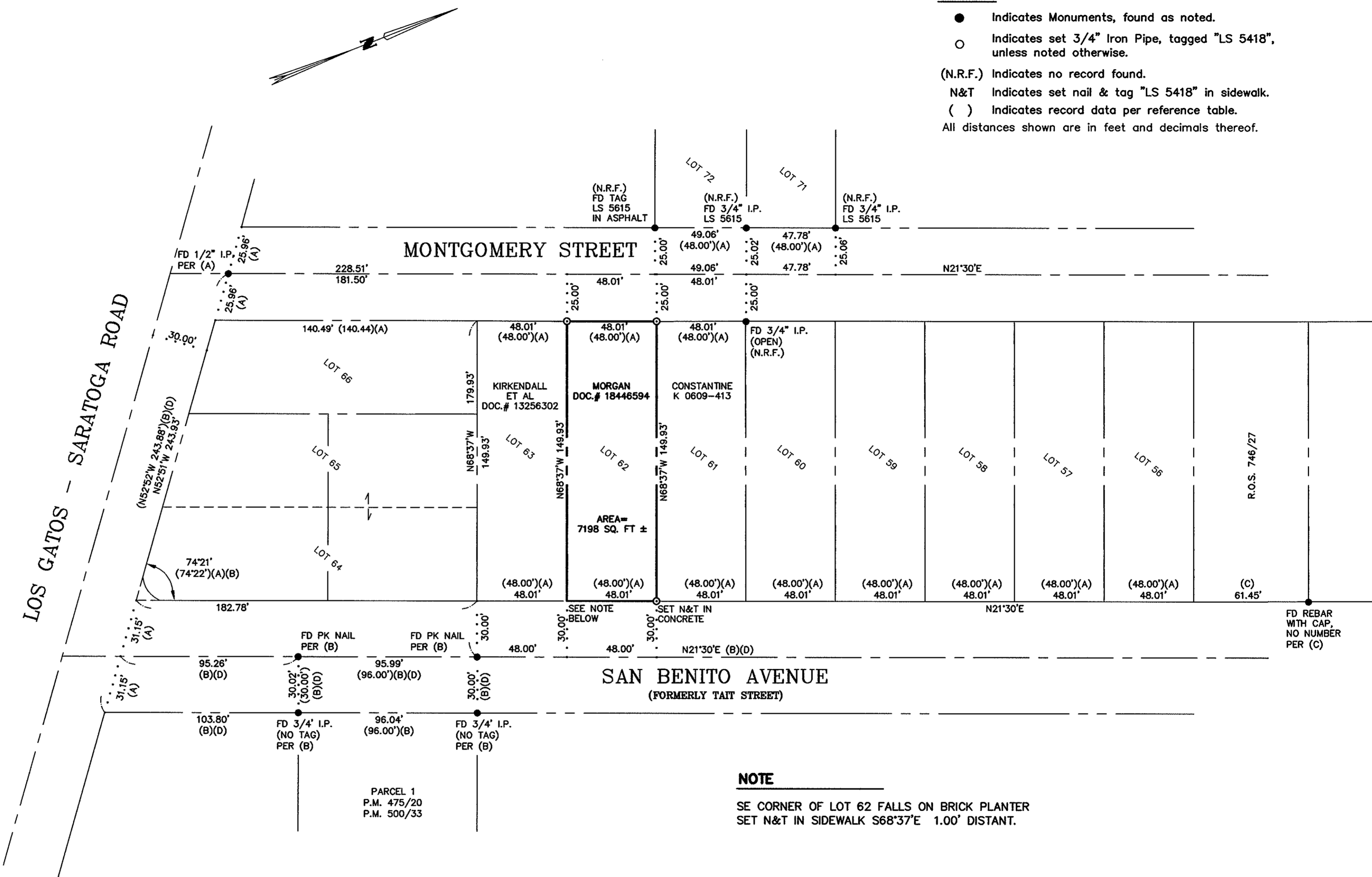
County Recorder BRENDA DAVIS

By Deputy Diana

This map being filed in accordance with Section 8762(b) (1)(2)(3) of the Professional Land Surveyors' Act.

LEGEND

- Indicates Monuments, found as noted.
 - Indicates set 3/4" Iron Pipe, tagged "LS 5418", unless noted otherwise.
 - (N.R.F.) Indicates no record found.
 - N&T Indicates set nail & tag "LS 5418" in sidewalk.
 - () Indicates record data per reference table.
- All distances shown are in feet and decimals thereof.



NOTE

SE CORNER OF LOT 62 FALLS ON BRICK PLANTER
SET N&T IN SIDEWALK S68°37'E 1.00' DISTANT.

APN: 410-17-056

RECORD OF SURVEY			
LOT 62, BRUNSKULL SUB. AS SHOWN IN BOOK "K" OF MAPS, PAGE 67 RECORDS OF SANTA CLARA COUNTY SITUATED IN			
TOWN OF LOS GATOS SANTA CLARA COUNTY, CALIFORNIA			
SCALE 1"=40'	DRAWN CHC	JOB NO. 05006	SHEET 1
DATE NOVEMBER 22, 2005	CHECKED RJC	INDEX SANTA CLARA CO.	OF 1
DESIGN RJC	DWG NAME 05006ROS.dwg	GRID 139-28-52	

18696891

34