

Permit #	AppType	Addr#	Street	Suffix	APN	Project Name	Project Description
PHST-25-003	Historic	117	EDELEN	AVE	52902020	PRINCE JEFFREY AND JULIE	Consider a Request for Preliminary Review for Exterior Alterations and Construction of a Second-Story Addition of 100 square feet to an Existing Single-Family Residence Within a Historic District on Property Zoned R-1D:LHP. APN 529-02-020. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. REMODEL OF EXISTING HOME WITH RELOCATION OF EXTERIOR WINDOWS AND CONVERSION OF REAR WINDOW/DOOR SYSTEM TO NEW SLIDING GLASS DOOR RE-FRAME RE-ROOF 2ND FLOOR WITH NEW 10FT 2ND FLOOR WALLS AND TRUSS ROOF WITH 3:12 ROOF SLOPE
PRE25-00276	Planning On-line Pre-application	117	EDELEN	AVE	52902020		
VL-21-008	CodeCompliance/Enforcement/Administrative/Citation	117	EDELEN	AVE		117 Edelen Ave	trash cans left out in public view
VL-17-227	CodeCompliance/Enforcement/Administrative/Citation	117	EDELEN	AVE		117 Edelen Ave	front fence too high and electric gate without permit
VL-17-185	CodeCompliance/Enforcement/Administrative/Citation	117	EDELEN	AVE		117 Edelen Ave	gas blower Friday 3:15 pm
M01-000194	Residential - M - Other	117	EDELEN	AVE	52902020		CONVERT NON-HABIT CELLAR TO HABITABLE 355SF
P01-000338	Residential - Misc	117	EDELEN	AVE	52902020		CONVERT NON-HABITABLE CELLAR TO HABITABLE
B01-000503	Residential - Addition	117	EDELEN	AVE	52902020		CONVERT HON-HAB CELLAR TO HABITABLE 355SF
E01-000346	Residential - E - Other	117	EDELEN	AVE	52902020		ELEC CONVERT CELLAR TO HABITABLE
EN01-024	PPW/Engineering/Commercial/Encroachment	117	EDELEN	AVE	52902020		INSTALL NEW SEWER LATERAL & PROPERTY LINE CLEANOUT
EN00-268	PPW/Engineering/Commercial/Encroachment	117	EDELEN	AVE	52902020		INSTALL UNDERGROUND GAS, ELECTRIC, AND PHONE
T-00-0108	Tree Removal Permit	117	EDELEN	AVE	52902020		TANBARK OAK
EN00-091	PPW/Engineering/Commercial/Encroachment	117	EDELEN	AVE	52902020		REMOVE & REPLACE (E) CURB & SIDEWALK
E00-000171	Residential - E - Other	117	EDELEN	AVE	52902020		TEMP POWER POLE
EN00-074	PPW/Engineering/Commercial/Encroachment	117	EDELEN	AVE	52902020		EMERGENCY-ABANDON GAS SERVICE
B00-000169	Residential - New	117	EDELEN	AVE	52902020		NEW 441 SF DETACHED GARAGE
B00-000170	Residential - Demolition	117	EDELEN	AVE	52902020		DEMO 1042 SF HOUSE
B00-000171	Residential - Demolition	117	EDELEN	AVE	52902020		DEMO 494 SF DETACHED GARAGE
B00-000168	Residential - New	117	EDELEN	AVE	52902020		NEW SFR 1174SF 1ST FLR, 950SF 2ND FLR, 484SF L/L 690SF NON-HAB UNFIN BASEMENT, 75 SF ROOFED PORCH, 192 SF WOOD DECK
E00-000131	Residential - E - Other	117	EDELEN	AVE	52902020		ELEC FOR NEW SFR 2800 SF
E00-000132	Residential - E - Other	117	EDELEN	AVE	52902020		ELEC FOR NEW 441 SF DETACHED GARAGE
M00-000078	Residential - M - Other	117	EDELEN	AVE	52902020		MECH FOR NEW SFR 2800 SF
P00-000136	Residential - Misc	117	EDELEN	AVE	52902020		PLUM FOR NEW SFR 2800 SF
S-99-0019	Architecture Site/Addition-Remodel Single Family	117	EDELEN	AVE	52902020		DEMO AND CONSTRUCT NEW HOUSE
328	Historic	117	EDELEN	AVE	52902020		New door;2/2+4/4 windows on side

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030

BUILDING INSPECTION DEPARTMENT - PHONE 384-4876

APPLICATION FOR ELECTRICAL PERMIT

E 15256

FOR APPLICANT TO FILL IN

ITEM	EA.	\$ FEES
FOR ISSUANCE OF PERMIT		10.00
FIXTURES, SOCKETS OR OTHER LAMP HANGING DEVICES	4	1.20
OUTLETS, RECEPTACLES, SWITCHES AT WHICH CURRENT IS CAPTURED	10	3.00
FAN COILS, VENTILATORS, ETC.		
WATER HEATER		
ELECTRICAL SIGN		
FOR HEATING & MISC. APPLIANCES & EQUIPMENT		
GENERATOR, WELDER, TRANSFORMER, MOTORS PER HP. & KW. & V.A. RATING		
PULL BOXES		
OVER CURRENT DEVICES		
OVER CURRENT PROTECTORS		
WIRING		
TERMINAL BOXES		
WIRING IN WALLS		
WIRING IN CEILING		
TEMPORARY WIRE		
MISCELLANEOUS WIRING		
SAMPLES, ANALYSIS, EQUIPMENT, ETC.		

BUILDING ADDRESS: 11780 Lag Ave.
 USE OF BUILDING: Residential
 OWNER: S. Alvar
 ADDRESS: Los Gatos, Ca.
 CITY: Los Gatos, Ca.
 STATE LICENSE: 138775
 TOWN LICENSE: 4247

DATE: 07/06/87
 RECEIVED BY: [Signature]
 INSPECTION RECORD

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA AS A CONTRACTOR IN THIS LAW.

David B. Bayes
 COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED AND COME INTO EFFECT THROUGHOUT THE JOB.

David B. Bayes

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY WORKER IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

David B. Bayes

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO ELECTRICAL WORKING, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

David B. Bayes

VALIDATION

0335A111 07/06/87 TOTAL 14.20
 14145

APPROVALS

ENGINEER	
BOULDER WORK	
ARCHITECT	
PLUMBER	
MECHANICAL	
ELECTRICAL	
FINAL	

7/9/87

Town of Los Gatos

Building Inspection Department

Phone Elgato 4-4520

BUILDING PERMIT

No 1939 B

Location

Lot

Block

Tract

Street

Setbacks ft.

Zone P-3 Front 3 Side 3 Rear 3

Date 6-27, 1958

Is hereby granted in accordance with application to

Build 1 Story Family Residence and

Remodel No.

Add to

Move

or Garage
Other Type Structure

Occupancy

Owner

Contractor

Valuation

RECEIPT for

as inspection fee is hereby acknowledged.

Town of Los Gatos Building Inspection Department

By [Signature]

ELECTRICAL, PLUMBING AND GAS PERMITS ARE REQUIRED
IN ADDITION TO THIS PERMIT

INSPECTION RECORD

DATE

INSPECTOR

FOOTINGS

FOUNDATION FORMS

POUR NO CONCRETE UNTIL ABOVE HAS BEEN SIGNED

POND BEAM (CONC. BLK.)

ROUGH PLBG.

PARTIAL

COMPLETE

GAS PRESSURE

ROUGH FRAME

(INCLUDES FLUES, ROOF & SIDING)

DO NOT WIRE UNTIL ABOVE HAS BEEN SIGNED

ROUGH WIRING

COVER NO WALLS UNTIL ABOVE HAS BEEN SIGNED

STUCCO WIRE & LATH

PLUMBING FIXTURES

GAS APPLIANCES

ELECTRICAL FIXTURES

BUILDING COMPLETE

No Utilities Will Be Cleared Until
(Building Complete) Has Been Approved

SANTA CLARA COUNTY
Building Inspection Department
Cypress 4-2277 -- Cypress 5-1050

No B 31151 Lot

Block

Tract

Location

117 Edelen Ave

Street

BUILDING PERMIT

TOWN OF LOS GATOS

Setbacks ft.

INSPECTION RECORD

Zone 3 Front
Side () ()
Rear
Date June 17, 1943

Is hereby granted in accordance with application to

Build 1 Story 1 Family Residence and

Remodel No

Add to or

Move or Other type structure

Occupancy Dwelling

Owner L. S. Sperry

Contractor W. H. H.

Valuation \$200.00 \$ 2.00 fee

RECEIPT for THU + 110/00 Dollars
as inspection fee is hereby acknowledged.

Santa Clara County Building Inspection Department

By J. M. Sullivan

ELECTRICAL, PLUMBING AND GAS PERMITS
ARE REQUIRED IN ADDITION TO THIS PERMIT
SM 6-22-34-117

No B 31151

TEMPERATURE	CITY	TIME
FOUNDATION	Pour No Concrete Until Above Has Been Signed	
CONDENSER (COND. PUMP)		
FLOORING	PARTIAL COMPLETE	
GAS PRESSURE		
ROUGH FRAMES (INCLUDES FLOOR, ROOF & SIDINGS)		
Do Not Wire Until Above Has Been Signed		
STRUCTURE		
Cover No Walls Until Above Has Been Signed		
STRUCTURE & SLAB		
FLOORING COMPLETE		
PLUMBING FIXTURES		
GAS FIXTURES		
ELECTRICAL FIXTURES		

No Utilities Will Be Cleared Until
(Building Complete) Has Been Approved

TOWN OF LOS GATOS
ENGINEERING DEPARTMENT

Permit Number: EN00-091

Utility Job No.:

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to:

REMOVE & REPLACE (E) CURB & SIDEWALK

Location of Work:

Job Address(Or nearest Address): 117 EDELEN AV

Applicant.....: BILL BROWN CONSTRUCTION
Address.....: 14755 OAK STREET
City.....: SARATOGA, CA

Applied.: 04/13/2000
Approved:
Issued...: 04/13/2000
Expires.: 10/13/2000

Contractor.....: BILL BROWN CONSTRUCTION
Address.....: 14755 OAK STREET
City.....: SARATOGA, CA

Status...: ISSUED

Est. Date of Completion:

Maximum Depth of Trench:*

*If the maximum depth of trench is five (5') feet or greater, the construction safety orders of the State of California Division of Industrial Safety shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 23 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its Boards, its Commissions, and its employees, acting in their capacity as such, harmless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described herein.

***** PERMIT FEES *****

Permit Issuance...:

Micro Engineering:

Computer Services:

Total Calculated Fees:	212.00
Total Additional Fees:	.00
Total Fees Due.....:	212.00
Total Payments.....:	.00
BALANCE DUE.....:	212.00

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all town ordinances and State Laws relating to work in the public right-of-way.

Signature X _____

SPECIAL CONDITIONS:

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|
|
|
|
|

TOWN OF LOS GATOS
PARKS & PUBLIC WORKS DEPARTMENT
ENCROACHMENT PERMIT CONDITIONS
TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

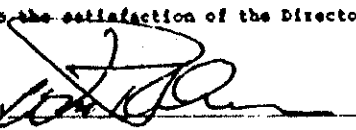
PERMIT NUMBER: EN00-091

APPLICANT NAME: BILL BROWN CONSTRUCTION

1. All work shall be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Los Gatos, available and on file in the Office of the Town Engineer.
2. A pre-job meeting will be required with the Town Engineering Inspector prior to the start of any construction work. Inspector can be contacted at: 399-3760.
3. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bear any and all expense for the repair of such facilities.
4. In paved streets, all cuts shall be saw cut to a smooth and vertical surface with the excavation area being generally rectangular. Slurry shall be used as backfill material on all excavations.
5. All concrete used for curb, gutter and sidewalk must be Class "A" (six sacks per cubic yard) as per State of Calif. Specifications and must attain a strength of 3,000 p.s.i. minimum in 28 days. Exposed concrete shall include one pound lamp black per cubic yard of concrete. New concrete shall be doweled to existing concrete where condition occurs.
6. Town Engineering Inspector shall be notified 24 hours in advance of any construction work at 399-3760.
7. Four-inch sanitary sewer laterals shall be installed at a minimum of 18 inch (.25 inch. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sewer laterals must be the same material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously set manhole to each and every wye branch. Cast iron pipe shall be used where cover is less than three-feet to finished grade. All clean-outs shall be installed per W.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection fee paid before work commences.)
8. It is the responsibility of the developer/contractor to protect and preserve all survey monuments set or found during the construction of this project. Any monument destroyed shall be reset by permittee at their sole expense.
9. Changes or deviations from approved plans shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plans without approval, a stop work notice will be issued. Work done without prior approval shall be subject to rejection and possible removal.
10. Approved pedestrian and vehicular traffic control shall be used and maintained at all times.
11. All work related to this permit shall be done according to "Best Management Practices for the Construction Industry" as published by the Santa Clara Valley Mosquito Source Pollution Control Program. Published recommended practices are available at the Community Development Department Public Service counter at Town Hall, lower level.

DECLARATION OF UNDERSTANDING:

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services or his authorized agents.

Signature: 

Date: 4-13-00

TOWN OF LOS GATOS

George M. Garcia 399-5766

INSPECTION REQUESTS * PHONE 354-6877 (VOICE MAIL)

41 MILES AVENUE LOS GATOS, CA 95032

APPLICATION FOR ENCROACHMENT PERMIT

PARKS & PUBLIC WORKS DEPARTMENT * PHONE 399-5770 FAX 354-7593

BUILDING ADDRESS 117 Edelen Av.		For Official Use Only	
LOCATION DETAIL # NEEDED		EN00- 91	
JOB NUMBER		EN00-	
OWNER MARK & BARBARA BECK	PHONE [REDACTED]	COMMENTS	
MAIL ADDRESS 60 Ellenwood Av.		NOTICE: Contractor must notify the Town Inspector twenty-four (24) hours in advance of commencing the work by leaving a message on the inspection line, (408) 354-6877; including the Encroachment Permit No., address, description of work to be started, contact name, and phone number. To speak to an Inspector call between 8:00 am & 8:30 am - 399-5760 & 399-5761	
CITY Los Gatos, CA	ZIP 95030		
CONTRACTOR Bill Brown	PHONE		
MAIL ADDRESS 14755 Oak St			
CITY San Mateo	ZIP 94070		
STATE LICENSE 68476AB	CONTRACTOR'S EXPIRATION DATE 3/31/02		
ESTIMATED COMPLETION DATE			
VALUE OF WORK \$2000.00			
DESCRIPTION OF WORK Remove (replace) existing curb & sidewalk.			

ISSUE permit for bios. and
instruct contractor to contact my
office if additional time is needed
[Signature]
4/13/00

**TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT**

Permit Number: B00-000170

Work Description: DEMO 1042 SF HOUSE

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Contractor.....: BILL BROWN CONSTRUCTION
License.....: 684764
Address.....: 14755 OAK STREET
City.....: SARATOGA, CA
Business Lic.: 97100012
Arch\Eng\Design.:
License.....:
Address.....:
City.....:

Status...: ISSUED
Applied.: 03/10/2000
Approved: 03/22/2000
Issued...: 03/22/2000
Expires.: 09/18/2000

Valuation.....: .00

Total Sq.Ft.....: Livable Sq.Ft.:

Class Code.....: 645 Bldg Count: 001

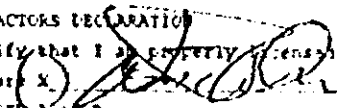
Unit Count: 001

***** PERMIT FEES *****
Permit Issuance.: 25.00 Park Tax.....: .00
Building Permit.: .00 Planning Plan Ck.: .00
Title-24.....: .00 Micro Planning...: .00
Seismic Tax.....: .00 Storm Drain Eng...: .00
Plan Check.....: .00 Road Impact Fee...: 31.26
Micro Building...: 6.00 Computer Services: 1.00
Construction Tax: .00 Electrical Fee...:
Utility Tax.....: .00 Plumbing Fee.....:
Gen Pln Updt.....: .00 Mechanical Fee...:

Total Calculated Fees: 98.26
Total Additional Fees: .00
Total Fees Due.....: 98.26
Total Payments.....: .00
BALANCE DUE.....: 98.26

CONTRACTORS DECLARATION

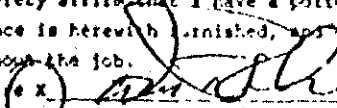
I certify that I am properly licensed by the State of California Contractors license law.

Signature X 

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X 

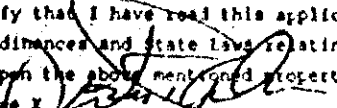
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature X

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X 

TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT

Permit Number: B00-000171

Work Description: DEMO 494 SF DETACHED GARAGE

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Contractor.....: BILL BROWN CONSTRUCTION
License.....: 684764
Address.....: 14755 OAK STREET
City.....: SARATOGA, CA
Business Lic.: 97100012

Status...: ISSUED
Applied.: 03/10/2000
Approved: 03/22/2000
Issued...: 03/22/2000
Expires.: 09/18/2000

Arch/Eng/Design.:
License.....:
Address.....:
City.....:

Valuation.....: .00

Total Sq.Ft.....:

Livable Sq.Ft.:

Class Code.....: 649

Bldg Count: 001

Unit Count: 000

***** PERMIT FEES *****			
Permit Issuance..	25.00	Park Tax.....	.00
Building Permit..	.00	Planning Plan Ck..	.00
Title-24.....	.00	Micro Planning...	.00
Seismic Tax.....	.00	Storm Drain Eng..	.00
Plan Check.....	.00	Road Impact Fee..	14.82
Micro Building..	3.00	Computer Services:	1.00
Construction Tax:	.00	Electrical Fee...	
Utility Tax.....	.00	Plumbing Fee.....	
Gen Pln Updt....	.00	Mechanical Fee...	

Total Calculated Fees:	78.82
Total Additional Fees:	.00
Total Fees Due.....:	78.82
Total Payments.....:	.00
BALANCE DUE.....:	78.82

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X [Signature]

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A. I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X [Signature]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X [Signature]

TOWN OF LOS GATOS

INSPECTION REQUESTS * PHONE 354-8877 (VOICE MAIL)

110 E MAIN ST, LOS GATOS CA 95032

APPLICATION FOR BUILDING PERMIT

BUILDING DEPARTMENT * PHONE 354-6881 FAX 354-7533

BUILDING ADDRESS 117 EDELER AVE		
USE OF EXISTING BUILDING ☐	BUILDING WITH HOMEOWNERS ASSOCIATION (check box) ☐	DATE
OWNER MARK & BARBARA PERK		PHONE
ADDRESS 117 EDELER		
CITY LOS GATOS	ZIP	
ARCHITECT/ENGINEER/DESIGNER		PHONE
ADDRESS		
CITY	ZIP	
CONTRACTOR BILL BROWN CONST.		PHONE
ADDRESS 1755 OAK ST		MUST SHOW CURRENT WORKER'S COMP
CITY SALAMANCA	ZIP 94570	
STATE LICENSE 684764 B	CONTRACTOR'S EXPIRATION DATE 3-31-2000	
SQUARE FOOTAGE		
REMODEL/EXISTING	NEW/ADDITION	
1st Floor		
2nd Floor		
BASE 3RD FLOOR		
SUBTOTAL	TOTAL	
GARAGE		
OTHERS		
NO OF STORES	SIZE OF LOT	NO OF LOTS
APN	ESTIMATE VALUATION	
DESCRIPTION OF WORK Demolition of house and Demo 494 sq detached Garage		
CALCULATED VALUE		
LENDING AGENCY	PHONE	
ADDRESS		
CITY	ZIP	

For Official Use Only

B00- **170** house
B00- **171** garage
E00-
M00-
P00-

Plans Energy Calcs

Soil R Struc Calcs

Req. Hold Approved

Planning:

(5746)
(6875)
Chris (5720)
Gary (6879)
Ryan (6807)
Sandy (6873)
Trish (6860)

PPW:

Fire:

WVSD:

Health Dept:

Schools:

Hazardous

Material Clearance:

Comments:

Historic or Pre - 1941

Plan Check Fee.

Town's Valuation

Building Approved.

Hold for:

Ready To Issue:

Contacted Owner / Contractor on:

Application Processed By:

Permit Number: E00-000171

Work Description: TEMP POWER POLE

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: BILL BROWN CONSTRUCTION
License.....: 684764
Address.....: 14755 OAK STREET
City.....: SARATOGA, CA
Zip.....: 95070
Business Lic.: 97100012

Status...: ISSUED
Applied.: 03/28/2000
Approved:
Issued...: 03/28/2000
Expires.: 09/24/2000

New Residence: --Square Footage--
Remodel: Commercial:

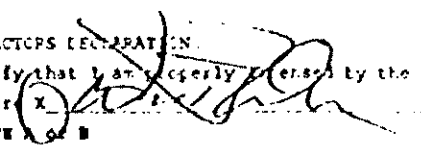
***** PERMIT FEES *****

Permit Issuance.....:	25.00
Plan Check Fee.....:	.00
New Resident.....:	.00
Remodel.....:	.00
Commercial.....:	.00
Detail Electrical Fee:	30.00

Total Calculated Fees:	55.00
Total Additional Fees:	.00
Total Fees Due.....:	55.00
Total Payments.....:	.00
BALANCE DUE.....:	55.00

CONTRACTORS DECLARATION

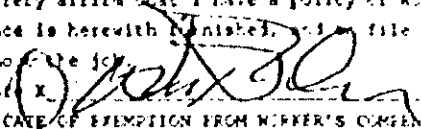
I certify that I am properly licensed by the State of California Contractors License law

Signature X 

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and I file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X 

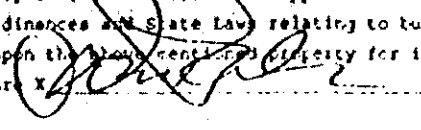
CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X 

NOTICE:

1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT * PHONE 354 6876 FAX (408) 354-7583

SPECTION REQUESTS PHONE 354-6877

APPLICATION FOR ELECTRICAL PERMIT

E00- 171

UNIT PRICE	NO. OF ITEMS	AMOUNT	\$	FEES
OUTDOOR LIGHTS		1.25 EA		
INDOOR LIGHTS		1.25 EA		
SWITCHES		1.25 EA		
RECEPTACLES, OUTLETS		1.25 EA		
RESIDENTIAL: OVEN, COOK TOP, WALL AIR-COND, SPACE HEATER, DISPOSER, DISHWASHER, WATER HEATER, WASHING MACH., CLOTHES DRYERS, OTHER SMALL APPLIANCES, 1KW OR LESS		5.00 EA		
COMMERCIAL: MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABBETS, ILLUMINATED SHOW CASES, DRINK FOUNTAINS, VENDING MACH., LAUNDRY MACH., OTHER SMALL APPLIANCES 1KW OR LESS		8.00 EA		
LARGE APPLIANCES, POWER APPARATUS HEATING & AIR-COND EQUIP., COOKING & BAKING EQUIP., OTHER LARGE APPLIANCES & APPARATUS OVER 1KW		8.00 EA		
OVER 10 KW		15.00 EA		
OVER 50 KW		30.00 EA		
OVER 100 KW		45.00 EA		
BUSWAY (PER 100 FEET)		8.00 EA		
PHONES		30.00 EA		
SERVICE EQUIP., NOT OVER 200 AMPS		30.00 EA		
SERVICE EQUIP., OVER 200 AMPS		50.00 EA		
SERVICE EQUIP., OVER 600 VOLTS		75.00 EA		
SUBPANEL		11.00 EA		
MISC. APPARATUS, CONDUITS & CONDUCTORS		15.00 EA		
TEMPORARY POWER POLE		30.00 EA		
TEMPORARY LIGHTING SYSTEM		15.00 EA		
SWIMMING POOL SYSTEM		30.00 EA		
NEW RES. COAST	50 FT. @ \$2.00			
	SUBTOTAL			
ELECTRICAL PLAN CHECK FEE 25%				
ISSUANCE OF PERMIT		\$25.00		
TOTAL FEES				

BUILDING ADDRESS	
117 EDELEN AVE	
USE OF BUILDING	Historic - Pre-1941
OWNER	HOME
PHONE	
MARK & BARBARA BECK	
MAIL ADDRESS	
60 EDELEN	
CITY	LOS GATOS
CONTRACTOR	
PHONE	
BILL BROWN (C) 823	
MAIL ADDRESS	
14755 OAK	
CITY	SAN JUAN
STATE	CA
LICENSE	95070
EXPIRE	95070
DATE	
MUST SHOW CURRENT WORKER'S COMP	
NOTICE:	
1. SIGNS ARE REGULATED, SEE PLANNING DEPT.	
2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES, SHOESTRING LIGHTING NOT PERMITTED.	
3. WRITTEN LETTER OF APPROVAL IS NECESSARY FOR EQUIPMENT AND LIGHTS OUTSIDE OF LIVING AREA WITHIN HOMEOWNERS ASSOCIATIONS	
DESCRIPTION OF WORK	

TOWN OF LOS GATOS
ENGINEERING DEPARTMENT

3-21-2000

Permit Number: EN00-074

Utility Job No.:

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to:
EMERGENCY-ABANDON GAS SERVICE

Location of Work: 117 EDELEN AVENUE

Job Address (Or nearest Address): 117 EDELEN AV

Applicant.....: PACIFIC GAS & ELECTRIC
Address.....: 10900 NORTH BLANEY AVE
City.....: CUPERTINO CACA

Applied.: 03/24/2000
Approved:
Issued...: 03/27/2000
Expires.: 07/01/2000

Contractor.....: PACIFIC GAS & ELECTRIC
Address.....: 10900 NORTH BLANEY AVE
City.....: CUPERTINO CACA

Status.: ISSUED

Est. Date of Completion:

Maximum Depth of Trench: *

*If the maximum depth of trench is five (5') feet or greater, the construction safety orders of the State of California Division of Industrial Safety shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 23 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its Boards, its Commissions, and its employees, acting in their capacity as such, harmless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described herein.

***** PERMIT FEES *****

Permit Issuance...:

Micro Engineering:

Computer Services:

Total Calculated Fees:	212.00
Total Additional Fees:	.00
Total Fees Due.....:	212.00
Total Payments.....:	.00
BALANCE DUE.....:	212.00

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to work in the public right-of-way.

Signature X

GE O'Neil

SPECIAL CONDITIONS:

|

3/30

C/K Stern, Boyd

TOWN OF LOS GATOS
BUILDING AND ENGINEERING DEPARTMENT
ENCROACHMENT PERMIT CONDITIONS
TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

PERMIT NUMBER: EN00-074

APPLICANT NAME: PACIFIC GAS & ELECTRIC

1. All work shall be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Los Gatos, available and on file in the Office of the Town Engineer.
2. A pre-job meeting will be required with the Town Engineering Inspector prior to the start of any construction work. Inspector can be contacted at: 354-6865 or 354-6816.
3. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bear any and all expense for the repair of such facilities.
4. In paved streets, all cuts shall be smooth and vertical with the area being generally rectangular. Native material may be used as backfill if approved by the inspector and must be compacted to 98% compaction below two feet of surface and 95% compaction within two feet of surface (Test Method No. California 216-F).
5. All concrete used for curb, gutter and sidewalk must be Class "A" (six sacks per cubic yard) as per State of Calif. Specifications and must attain a strength of 3,000 p.s.i. minimum in 28 days. Exposed concrete shall include one pound lamp black per cubic yard of concrete. New concrete shall be doveled to existing concrete where condition occurs.
6. Town Engineering Inspector shall be notified 24 hours in advance of any construction work at 354-6865 or 354-6816.
7. Four-inch sanitary sewer laterals shall be installed at a minimum of 1% grade (.35 inch. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sewer laterals must be the same material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously set manhole to each and every vye branch. Cast iron pipe shall be used where cover is less than three-feet to finished grade. All clean-outs will be installed per M.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection fee paid before work commences.)
8. It is the responsibility of the developer/contractor to protect and preserve all survey monuments set or found during the construction of this project.
9. Changes or deviations from approved plans shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plans without approval, a stop work notice will be issued. Work done without prior approval will be subject to rejection and possible removal.
10. Approved pedestrian and vehicular traffic control shall be used and maintained at all times.
11. All work related to this permit shall be done according to "Best Management Practices for the Construction Industry" as published by the Santa Clara Valley Nonpoint Source Pollution Control Program. Published recommended practices are available at the Building & Engineering Department Public Service at Town Hall, lower level.

DECLARATION OF UNDERSTANDING:

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services or his authorized agents.

Signature: _____

Date: _____

GEORGE

3/21/00

ATC-20 Detailed Information Safety Assessment Form (Continued)

Instructions: Examine the building to determine if any hazardous conditions exist. A "yes" answer in categories 1, 2, or 4 is grounds for posting building UNSAFE. If condition is suspected to be unsafe and more review is needed, check appropriate Unknown box(es) and post LIMITED ENTRY. A "yes" answer in category 3 requires posting and/or barricading to indicate AREA UNSAFE. Explain "Yes", "Unknown" findings and extent of damage under "Comments."

Condition	Hazardous Condition Exists			
	Yes	No	Unknown	Comments
1. Structure Hazardous Overall				
Collapse/partial collapse	☐	☐	☐	
Building or story leaning	☐	☐	☐	
Other _____	☐	☐	☐	
_____	☐	☐	☐	
2. Hazardous Structural Elements				
Foundations	☐	☐	☐	
Roof/floors (vertical loads)	☐	☐	☐	
Columns/pilasters/corbel	☐	☐	☐	
Diaphragms/horizontal bracing	☐	☐	☐	
Walls/vertical bracing	☐	☐	☐	
Moment frames	☐	☐	☐	
Precast connections	☐	☐	☐	
Other _____	☐	☐	☐	
_____	☐	☐	☐	
3. Nonstructural Hazards				
Parapets/ornamentation	☐	☐	☐	
Cladding/glazing	☐	☐	☐	
Ceilings/light fixtures	☐	☐	☐	
Interior walls/partitions	☐	☐	☐	
Elevators	☐	☐	☐	
Stairs/exits	☐	☐	☐	
Electric/gas	☐	☐	☐	
Other _____	☐	☐	☐	
_____	☐	☐	☐	
4. Geotechnical Hazards				
Slope failure/debris	☐	☐	☐	
Ground movement, fissures	☐	☐	☐	
Other _____	☐	☐	☐	
_____	☐	☐	☐	

SKETCH:

Sheet _____ of _____

ATC-20 Detailed Evaluation Safety Assessment Form (Continued)

Instructions: Examine the building to determine if any hazardous conditions exist. A "yes" answer in categories 1, 2, or 4 is grounds for posting building UNSAFE. If condition is suspected to be unsafe and more review is needed, check appropriate Unknown box(es) and post LIMITED ENTRY. A "yes" answer in category 3 requires posting and/or barricading to indicate AREA UNSAFE. Explain "Yes", "Unknown" findings and extent of damage under "Comments."

Condition	Hazardous Condition Exists			Comments
	Yes	No	Unknown	
1. Structure Hazardous Overall				
Collapse/partial collapse	☒	☒	☐	Masonry.
Building or story leaning	☐	☐	☐	Fireplace chimney
Other _____	☐	☐	☐	
2. Hazardous Structural Elements				
Foundations	☐	☐	☒	
Roof/floors (vertical loads)	☐	☐	☒	
Columns/pilasters/corbel	☐	☐	☒	
Diaphragms/horizontal bracing	☐	☐	☒	
Walls/vertical bracing	☐	☒	☒	
Moment frames	☐	☒	☐	
Precast connections	☐	☒	☐	
Other _____	☐	☐	☐	
3. Nonstructural Hazards				
Parapets/ornamentation	☐	☒	☐	No access to Bldg.
Cladding/glazing	☐	☒	☐	(interior)
Ceilings/light fixtures	☐	☐	☒	
Interior walls/partitions	☐	☐	☒	
Elevators	☒	☐	☒	
Stairs/exits	☐	☒	☒	
Electric/gas	☐	☐	☒	
Other _____	☐	☐	☐	
4. Geotechnical Hazards				
Slope failure/debris	☐	☐	☐	
Ground movement, fissures	☐	☐	☐	
Other _____	☐	☐	☐	

SKETCH:

Sheet ____ of ____

TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT

Permit Number: B00-000168

Work Description: NEW SFR 1174SF 1ST FLR, 950SF 2ND FLR, 484SF L/L

Building Address: 117 EDELEN AV	Status.: ISSUED
Owner.....: BECK MARK J/BARBARA B TRUSTEE	Applied.: 03/10/2000
Address.....: 117 EDELEN AVE	Approved: 05/22/2000
City.....: LOS GATOS CA	Issued.: 05/22/2000
Contractor.: JOHN BOUCH CONSTRUCTION	Expires.: 11/18/2000
License.....: 499281	
Address.....: PO BOX 26499	
City.....: SAN JOSE, CA	
Business Lic.: 97070073	

Arch\Eng\Design.:
License.....:
Address.....:
City.....:

Valuation.....:	244,527.64		
Total Sq.Ft.....:	3,565	Livable Sq.Ft.: 2608	
Class Code.....: 101		Bldg Count: 001	Unit Count: 001

***** PERMIT FEES *****			
Permit Issuance..:	25.00	Park Tax.....:	104.32
Building Permit..:	1,620.00	Planning Plan Ck.::	324.00
Title-24.....:	810.00	Micro Planning...:	235.40
Seismic Tax.....:	24.45	Storm Drain Eng..:	387.42
Plan Check.....:	1,053.00	Road Impact Fee..:	336.87
Micro Building...:	157.00	Computer Services:	64.80
Construction Tax:	469.44	Electrical Fee...:	
Utility Tax.....:	469.44	Plumbing Fee.....:	
Gen Pln Updt.....:	1,213.04	Mechanical Fee...:	

Total Calculated Fees:	7,294.18
Total Additional Fees:	.00
Total Fees Due.....:	7,294.18
Total Payments.....:	1,059.50
BALANCE DUE.....:	6,234.68

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X [Signature]

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X [Signature]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X [Signature]

TOWN OF LOS GATOS
BUILDING INSPECTION DEPARTMENT

Permit Number: B00-000169

Work Description: NEW 441 SF DETACHED GARAGE

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Business Lic.: 97070073

Status...: ISSUED
Applied.: 03/10/2000
Approved: 05/22/2000
Issued...: 05/22/2000
Expires.: 11/18/2000

Arch/Eng/Design:

License.....:

Address.....:

City.....:

Valuation.....: 9,768.15

Total Sq.Ft.....: 441 Livable Sq.Ft.:

Class Code.....: 328 Bldg Count: 001 Unit Count: 000

***** PERMIT FEES *****

Permit Issuance..:	25.00	Park Tax.....:	.00
Building Permit..:	163.00	Planning Plan Ck..:	32.60
Title-24.....:	.00	Micro Planning...:	.00
Seismic Tax.....:	.98	Storm Drain Eng..:	145.53
Plan Check.....:	105.95	Road Impact Fee...:	39.69
Micro Building...:	.00	Computer Services:	6.52
Construction Tax:	.00	Electrical Fee....:	
Utility Tax.....:	.00	Plumbing Fee.....:	
Gen Pln Updt.....:	48.84	Mechanical Fee....:	

Total Calculated Fees:	568.11
Total Additional Fees:	.00
Total Fees Due.....:	568.11
Total Payments.....:	105.95
BALANCE DUE.....:	462.16

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License law.

Signature X John P. Bouch

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X John P. Bouch

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X John P. Bouch

Permit Number: E00-000131

Work Description: ELEC FOR NEW SFR 2800 SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic.: 97070073

Status...: ISSUED
Applied.: 03/10/2000
Approved:
Issued...: 05/23/2000
Expires.: 11/18/2000

New Residence: 2800 --Square Footage--
Remodel: Commercial:

***** PERMIT FEES *****

Permit Issuance.....:	25.00
Plan Check Fee.....:	42.00
New Resident.....:	168.00
Remodel.....:	.00
Commercial.....:	.00
Detail Electrical Fee:	.00

Total Calculated Fees:	235.00
Total Additional Fees:	.00
Total Fees Due.....:	235.00
Total Payments.....:	.00
BALANCE DUE.....:	235.00

CONTRACTOR'S DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X John P Bouch

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X John P Bouch

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X John P Bouch

NOTICE:

1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, obscuring lighting is not permitted.

Permit Number: E00-000132

Work Description: ELEC FOR NEW 441 SF DETACHED GARAGE

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic.: 97070073

Status.: ISSUED
Applied.: 03/10/2000
Approved:
Issued.: 05/22/2000
Expires.: 11/18/2000

New Residence: --Square Footage--
Remodel: Commercial:

***** PERMIT FEES *****

Permit Issuance.....:	25.00
Plan Check Fee.....:	2.50
New Resident.....:	.00
Remodel.....:	.00
Commercial.....:	.00
Detail Electrical Fee:	10.00

Total Calculated Fees:	37.50
Total Additional Fees:	.00
Total Fees Due.....:	37.50
Total Payments.....:	.00
BALANCE DUE.....:	37.50

CONTRACTOR'S DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X John P. Bouch

COMPLETE 1 of 2

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X John P. Bouch

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X John P. Bouch

NOTICE:

1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, obscuring lighting is not permitted.

Permit Number: M00-000078

Work Description: MECH FOR NEW SFR 2800 SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 97070073

Status...: ISSUED
Applied...: 03/10/2000
Approved...: 05/22/2000
Issued...: 05/22/2000
Expires...: 11/18/2000

New Residence: 2800 --Square Footage--
Remodel: Commercial:

***** PERMIT FEES *****

Permit Issuance.....:	25.00
Plan Check Fee.....:	28.00
New Residential.....:	112.00
Remodel.....:	.00
Commercial.....:	.00
Detail Mechanical Fee:	.00

Total Calculated Fees:	165.00
Total Additional Fees:	.00
Total Fees Due.....:	165.00
Total Payments.....:	.00
BALANCE DUE.....:	165.00

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X John P Bouch

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X John P Bouch

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X John P Bouch

NOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.10.015 of the Town of Los Gatos Code.

Permit Number: P00-000136

Work Description: PLUM FOR NEW SFR 2800 SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 97070073

Status...: ISSUED
Applied...: 03/10/2000
Approved...: 05/22/2000
Issued...: 05/22/2000
Expires...: 10/30/2000

New Residence: 2800 --Square Footage--
Remodel: Commercial:

***** PERMIT FEES *****

Permit Issuance.....:	25.00
Plan Check Fee.....:	42.00
New Residential.....:	168.00
Remodel.....:	.00
Commercial.....:	.00
Detail Plumbing Fee...:	.00

Total Calculated Fees:	235.00
Total Additional Fees:	.00
Total Fees Due.....:	235.00
Total Payments.....:	.00
BALANCE DUE.....:	235.00

CONTRACTOR'S DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X John P. Bouch

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation Insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X John P. Bouch

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation laws of the State of California.

Signature X _____

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X John P. Bouch

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA 95032

BUILDING DEPARTMENT * PHONE 354 6531 FAX 354 7593

INSPECTION REQUESTS * PHONE 354 6531 (VOICE MAIL)

APPLICATION FOR BUILDING PERMIT

B00 - 1/10 hours
B00 - 1/21 (large) 0.00

BUILDING ADDRESS 117 Eden Av.	
USE OF EXISTING BUILDING Single Family	ELECTRICAL/PLUMBING ASSOCIATION/STAMPED ☐
OWNER Mark & Barbara Beck	DATE 10 Mar 00
ADDRESS 60 Ellanwood Av.	
CITY Los Gatos CA	ZIP 95030
ARCHITECT/ENGINEER/DESIGNER E. Gregory Schlob	PHONE 354 15151
ADDRESS 213 Bean Av., Los	
CITY Los Gatos, CA	ZIP 95030
CONTRACTOR John Beach Construction	PHONE 354 169166
ADDRESS P.O. Box 26499	
CITY San Jose, CA 95159	STATE LICENSE 499 281
CONTRACTOR'S EXPIRATION DATE	
SQUARE FOOTAGE	
REMODEL/EXT. STAIRS	(NEW) ADDITION
1ST FLOOR	1171
2ND FLOOR	1214
BASED ON FLOOR	1152 1/2 bldg.
SUBTOTAL	2385
GARAGE	141 detached
APPROX. 50 FT	1585 22%
NO OF STORES 2	SZCE 5280
APN 529-2-20	ESTIMATE 20000
DESCRIPTION OF WORK New house	
CALCULATED VALUE	
LENDING AGENCY	TYPE
ADDRESS	
CITY	ZIP

For Official Use Only

B00- 1108 1000 house
B00- 1109 Garage
E00- 131 100-131-Carport
M00- 118
P00- 1310

1 Plans 2 Energy Calc's
2 Soil R 2 Struc Calc's

Req. Hold Approved

Planning:

[5875]
Chris [5720]
Gary [6879]
Steve [6807]
Sandy [6873]
Trish [6860]

PPW:

Fire:

WVSD:

Health Dept:

Schools:

Hazardous

Material Clearance:

Comments: 11X10D 2008 C.

Historic or Pre - 1941

Plan Check Fee: 1163 45

Town's Valuation: 230,252

Building Approved: **PH 5-18-00**

Hold for:

Ready To Issue:

Contacted Owner / Contractor on:

Application Processed By: **GA**

**TOWN OF LOS GATOS
ENGINEERING DEPARTMENT**

Permit Number: EN01-024

Utility Job No.:

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to:
INSTALL NEW SEWER LATERAL & PROPERTY LINE CLEANOUT

Location of Work:

Job Address(Or nearest Address): 117 EDELEN AV

Applicant.....: JOHN BOUCH CONSTRUCTION
Address.....: PO BOX 26499
City.....: SAN JOSE, CA

Applied.: 02/02/2001
Approved:
Issued...: 02/02/2001
Expires..: 04/10/2001

Contractor.....: JOHN BOUCH CONSTRUCTION
Address.....: PO BOX 26499
City.....: SAN JOSE, CA

Status...: ISSUED

Est. Date of Completion:

Maximum Depth of Trench:*

*If the maximum depth of trench is five (5') feet or greater, the construction safety orders of the State of California Division of Industrial Safety shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 23 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its Board, its Commissions, and its employees, acting in their capacity as such, harmless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described herein.

***** PERMIT FEES *****

Permit Issuance...:

Micro Engineering:

Computer Services:

Total Calculated Fees:	342.00
Total Additional Fees:	.00
Total Fees Due.....:	342.00
Total Payments.....:	.00
BALANCE DUE.....:	342.00

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State laws relating to work in the public right-of-way.

Signature: *[Signature]*

SPECIAL CONDITIONS:

TOWN OF LOS GATOS
PARKS & PUBLIC WORKS DEPARTMENT
ENCROACHMENT PERMIT CONDITIONS
TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

PERMIT NUMBER: EN01-024

APPLICANT NAME: JOHN BOUCH CONSTRUCTION

1. All work shall be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Los Gatos, available and on file in the Office of the Town Engineer.
2. A pre-job meeting will be required with the Town Engineering Inspector prior to the start of any construction work. Inspector can be contacted at 354-5760.
3. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bear any and all expense for the repair of such facilities.
4. In paved streets, all cuts shall be saw cut to a smooth and vertical surface with the excavation area being generally rectangular. Slurry shall be used as backfill material on all excavations.
5. All concrete used for curb, gutter and sidewalk must be Class "A" (six sacks per cubic yard) as per State of Calif. Specifications and must attain a strength of 3,000 p.s.i. minimum in 28 days. Exposed concrete shall include one pound loop black per cubic yard of concrete. New concrete shall be dressed to existing concrete where condition occurs.
6. Town Engineering Inspector shall be notified 24 hours in advance of any construction work at 354-5760.
7. Four-inch sanitary sewer laterals shall be installed at a minimum of 18" grade (.25 inch. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sewer laterals must be the same material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously set manhole to each and every vye branch. Cast iron pipe shall be used where cover is less than three-feet to finished grade. All clean-outs shall be installed per W.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection fee paid before work commences.)
8. It is the responsibility of the developer/contractor to protect and preserve all survey monuments set or found during the construction of this project. Any monument destroyed shall be reset by permittee at their sole expense.
9. Changes or deviations from approved plans shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plans without approval, a stop work notice will be issued. Work done without prior approval shall be subject to rejection and possible removal.
10. Approved pedestrian and vehicular traffic control shall be used and maintained at all times.
11. All work related to this permit shall be done according to "Best Management Practices for the Construction Industry" as published by the Santa Clara Valley Nonpoint Source Pollution Control Program. Published recommended practices are available at the Community Development Department Public Service counter at Town Hall, lower level.

DECLARATION OF UNDERSTANDING:

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services or his authorized agents.

Signature

(John Bouch)

Date: 2-2-01

TOWN OF LOS GATOS

INSPECTION REQUESTS PHONE 354-6877 (VOICE MAIL)

41 MILES AVENUE LOS GATOS CA 95032

PARKS & RECREATION DEPARTMENT PHONE 354-6877 FAX 354-7533

APPLICATION FOR ENCROACHMENT PERMIT

ENCROACHMENT		For Official Use Only	
117 EDELEN AVE		EN00- 24	
ENCROACHMENT NEEDED		EN00-	
OWNER			
NAME	PHONE (REQUIRED)		
MARIC BECK	[REDACTED]		
60 ELLENWOOD AVE L.G. 95030		NOTICE: Contract/Owner must notify the Town Inspector twenty-four (24) hours in advance of commencing the work by leaving a message on the inspection line, (408) 354-6877; including the Encroachment Permit No., address, description of work to be started, contact name, and phone number. To speak to an Inspector call between 7:30 am & 8:30 am • 399-5760 & 399-5761	
JOHN BOUCH CONST 408 2976966			
PO BOX 26499 SAN JOSE			
SAN JOSE CA 95159			
B-499281 10-31-2002			
DATE			
CONTRACTOR'S EXPIRATION DATE			
2-10-01			
DATE OF WORK/PROPOSED BUSINESS			
#4500			
INSTALL NEW SEWER LATERAL AND PROPERTY LINE CLEANOUT.			

TOWN OF LOS GATOS

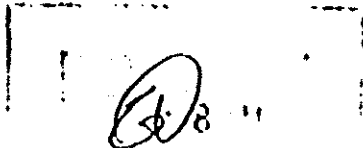
611 UNIVERSITY AVENUE DEPARTMENT 1500, LOS GATOS, CA 95030 FAX (408) 354-1513

INSTRUCTIONS: PLEASE PRINT NAME AND ADDRESS

APPLICATION FOR PLUMBING PERMIT

P00-53 P00-1380

AMOUNT	DATE	AMOUNT	DATE	ADDRESS	PHONE (REQUIRED)
117 EDELEN AVE				117 EDELEN AVE	
5 F. RES				5 F. RES	
MARK. BECK.				MARK. BECK.	
60 ELLENWOOD AV. L				60 ELLENWOOD AV. L	
LOS GATOS CA 95030				LOS GATOS CA 95030	
JOHN BOUCH CONST 297-6916				JOHN BOUCH CONST 297-6916	
PO BOX 26499				PO BOX 26499	
SAN JOSE CA 95159				SAN JOSE CA 95159	
3499281				3499281	
10-31-2002				10-31-2002	
INSTALL NEW SEWER				INSTALL NEW SEWER	
LATERAL AND				LATERAL AND	
PROPERTY LINE				PROPERTY LINE	
CLEANOUT.				CLEANOUT.	



TOWN OF LOS GATOS
ENGINEERING DEPARTMENT

Permit Number: EN00-268

Utility Job No.: 30130152

The undersigned applicant, in accordance with Chapter 23, Town of Los Gatos Code, applies for permission to:
INSTALL UNDERGROUND GAS, ELECTRIC, AND PHONE

Location of Work:

Job Address(Or nearest Address): 117 EDELEN AV

Applicant.....: PACIFIC GAS & ELECTRIC
Address.....: 10900 NORTH BLANEY AVE
City.....: CUPERTINO CACA

Applied.: 11/06/2000
Approved:
Issued.: 11/06/2000
Expires.: 03/01/2001

Contractor.....: PACIFIC GAS & ELECTRIC
Address.....: 10900 NORTH BLANEY AVE
City.....: CUPERTINO CACA

Status...: ISSUED

Est. Date of Completion:

Maximum Depth of Trench:*

*If the maximum depth of trench is five (5') feet or greater, the construction safety orders of the State of California Division of Industrial Safety shall be followed.

The undersigned applicant hereby agrees to execute the work in accordance and in strict conformity with the provisions of Chapter 23 of the Town Code, and the applicant agrees to protect and hold the Town of Los Gatos, its Council members, its boards, its Commissions, and its employees, acting in their capacity as such, harmless against any and all suits and claims on account of any injuries or damages alleged to have been sustained in or arising from the work described herein.

***** PERMIT FEES *****

Permit Issuance...:

Micro Engineering:

Computer Services:

Total Calculated Fees:	216.68
Total Additional Fees:	.00
Total Fees Due.....:	216.68
Total Payments.....:	.00
BALANCE DUE.....:	216.68

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Law relating to work in the public right-of-way.

Signature X

SPECIAL CONDITIONS:

c/c Sherri Boyd

GR

TOWN OF LOS GATOS
PARKS & PUBLIC WORKS DEPARTMENT
ENCROACHMENT PERMIT CONDITIONS
TO SCHEDULE INSPECTIONS CALL: 354-6877 1 DAY PRIOR

PERMIT NUMBER: EN00-268

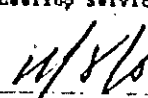
APPLICANT NAME: PACIFIC GAS & ELECTRIC

1. All work shall be in accordance with the Standard Plans and Specifications approved by the Town Engineer of the Town of Los Gatos, available and on file in the Office of the Town Engineer.
2. A pre-job meeting will be required with the Town Engineering Inspector prior to the start of any construction work. Inspector can be contacted at: 359-5760.
3. All contractors will be responsible for verification of location of all existing utilities in the field. Locations shown on plans are approximate and for general information only. It is the sole responsibility of the contractor to verify existence of and protect all existing surface and underground facilities and to bear any and all expense for the repair of such facilities.
4. In paved streets, all cuts shall be saw cut to a smooth and vertical surface with the excavation area being generally rectangular. Slurry shall be used as backfill material on all excavations.
5. All concrete used for curb, gutter and sidewalk must be Class 'A' (six sacks per cubic yard) as per State of Calif. Specifications and must attain a strength of 3,000 p.s.i. minimum in 28 days. Reposed concrete shall include one pound lump black per cubic yard of concrete. New concrete shall be doweled to existing concrete where condition occurs.
6. Town Engineering Inspector shall be notified 24 hours in advance of any construction work at 359-5760.
7. Four-inch sanitary sewer laterals shall be installed at a minimum of 24 gals (.25 inch. per foot) and shall have a minimum cover of three feet at the property line. A clean-out shall be installed at the property line. Sanitary sewer laterals must be the same material as main from the main to the clean-out. Contractor shall keep an accurate record of the distance from the previously set manhole to each and every wye branch. Cast iron pipe shall be used where cover is less than three-feet to finished grade. All clean-outs shall be installed per M.V.S.D. specifications. (West Valley Sanitation District shall be contacted and connection fee paid before work commences.)
8. It is the responsibility of the developer/contractor to protect and preserve all survey monuments set or found during the construction of this project. Any monument destroyed shall be reset by permittee at their sole expense.
9. Changes or deviations from approved plans shall be submitted to and approved by the Town Engineer prior to actual work being performed in the field. Should work be performed beyond approved plans without approval, a stop work notice will be issued. Work done without prior approval shall be subject to rejection and possible removal.
10. Approved pedestrian and vehicular traffic control shall be used and maintained at all times.
11. All work related to this permit shall be done according to "Best Management Practices for the Construction Industry" as published by the Santa Clara Valley Nonpoint Source Pollution Control Program. Published recommended practices are available at the Community Development Department Public Service counter at Town Hall, lower level.

DECLARATION OF UNDERSTANDING:

I certify that I have read and understand the following conditions of work. I further declare that I will fulfill all the conditions to the satisfaction of the Director of Building and Engineering Services or his authorized agents.

Signature: 

Date: 



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
(408) 354-6815 FAX (408) 354-7593

CITY CENTER
110 E. MAIN STREET
P.O. Box 919
LOS GATOS, CA 95031

April 11, 2001

E. Gary Schloh
213 Bean Avenue
Los Gatos, CA 95030

Re: 117 Edelen Avenue

Dear Mr. Schloh:

I have reviewed your letter requesting permission to replace an existing handrail with one in kind to a height of 30".

The 1998 California Historical Building Code Section 8-801 recognizes historical methods and materials of construction that are at variance with regular code requirements. These regulations require agencies to accept any reasonably equivalent alternatives to the regular code when dealing with qualified historical buildings or properties.

If you have any questions, please do not hesitate to contact me at (408) 354-6815.

Very Truly Yours,

Bud N. Lortz
Director of Community Development

Darlene Monroe
By:
Darlene Monroe
Senior Building Inspector

BNL:DM:sn

N:\Dev\Lele\Edelen\117.wpd





TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
(408) 354-6815
FAX (408) 354-7593

CITY CLERK
1101 Main Street
PO Box 444
Los Gatos, CA 95030

August 29, 2000

E. Gary Schloh
213 Bean Avenue
Los Gatos, CA 95030

PERMIT NUMBER B00-000168

LOCATION 117 Edelen Avenue

Dear Mr. Schloh:

This letter is in response to our conversations regarding a pad certification for the above referenced project.

The California Department of Water Resources has been retained by the Federal Emergency Management Agency to administer an audit of the Town of Los Gatos Flood Ordinance. A representative from the Water Resources Department conducted a tour of the flood plain areas in order to determine the types of development occurring within the Town limits. During that tour it was brought to our attention that the construction project on Edelen Avenue is located within the Flood Hazard Zone B. Therefore, an Elevation Certificate is to be provided to ensure compliance with the community flood plain management ordinance.

Please complete the enclosed Elevation Certificate (FEMA 81-31 (F-053) (8/99) provided by FEMA and return to our office as soon as possible.

If you have any questions, please feel free to contact me at (408) 354-6815.

Very truly yours,

DARLENE MONROE
Senior Building Inspector
cc: John Munoz, Building Inspector
Enclosures

DM mvg

N:\DEV\ DARLENE LETTERS EDELEN 117



TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING PERMIT

Permit Number: B01-000503

Work Description: CONVERT NON-HAB CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Business Lic...: 0113193
Arch\Eng\Design.: SCHLOH E GARY
License.....: C20562
Address.....: 213 BEAN AV
City.....: LOS GATOS CA

Status...: ISSUED
Applied...: 06/27/2001
Approved...: 07/03/2001
Issued...: 07/03/2001
Expires...: 12/30/2001

Valuation.....: 12,602.50
Total Sq.Ft.....: 355 Livable Sq.Ft.: 355
Class Code.....: 434 Bldg Count: 001 Unit Count: 000
***** PERMIT FEES *****
Permit Issuance.: 25.00 Park Tax.....: 14.20
Building Permit.: 200.50 Planning Plan Ck.: 40.10
Title-24.....: 100.25 Micro Planning...: .00
Seismic Tax.....: 1.26 Storm Drain Eng..: .00
Plan Check.....: 130.33 Road Impact Fee..: 31.95
Micro Building...: .00 Computer Services: 8.02
Construction Tax: 63.90 Gen Pln Updt.....: 63.01
Utility Tax.....: 63.90

Total Calculated Fees: 742.42
Total Additional Fees: .00
Total Fees Due.....: 742.42
Total Payments.....: .00
BALANCE DUE.....: 742.42

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X *[Signature]* COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A: I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X *[Signature]*

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B: I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X _____

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
ELECTRICAL PERMIT

Permit Number: E01-000346

Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 0113193

Status...: ISSUED
Applied...: 06/27/2001
Approved:
Issued...: 07/03/2001
Expires...: 12/30/2001

	--Square Footage--	
New Residence:	Remodel:	Commercial:
***** PERMIT FEES *****		
	Permit Issuance.....:	25.00
	Plan Check Fee.....:	9.69
	New Resident.....:	.00
	Remodel.....:	.00
	Commercial.....:	.00
	Detail Electrical Fee:	38.75

	Total Calculated Fees:	73.44
	Total Additional Fees:	.00
	Total Fees Due.....:	73.44
	Total Payments.....:	.00
	BALANCE DUE.....:	73.44

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm under penalty of perjury I have and will maintain Workers' Compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon that above mentioned property for inspections.

Signature X _____

NOTICE:

1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, strobe lighting is not permitted.

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
MECHANICAL PERMIT

Permit Number: M01-000191

Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 0113193

Status...: ISSUED
Applied...: 06/27/2001
Approved...: 07/03/2001
Issued...: 07/03/2001
Expires...: 12/30/2001

	--Square Footage--	
New Residence:	Remodel:	Commercial:
***** PERMIT FEES *****		
	Permit Issuance.....:	25.00
	Plan Check Fee.....:	3.00
	New Residential.....:	.00
	Remodel.....:	.00
	Commercial.....:	.00
	Detail Mechanical Fee:	12.00

	Total Calculated Fees:	40.00
	Total Additional Fees:	.00
	Total Fees Due.....:	40.00
	Total Payments.....:	.00
	BALANCE DUE.....:	40.00

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X _____

COMPLETS A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code for the performance of the work for which this permit is issued.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X _____

NOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town of Los Gatos Code.

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLUMBING PERMIT

Permit Number: P01-000338

Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SP

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 0113193

Status...: ISSUED
Applied.: 06/27/2001
Approved: 07/03/2001
Issued...: 07/03/2001
Expires.: 12/30/2001

--Square Footage--	
New Residence:	Remodel:
***** PERMIT FEES *****	
Permit Issuance.....:	25.00
Plan Check Fee.....:	9.00
New Residential.....:	.00
Remodel.....:	.00
Commercial.....:	.00
Detail Plumbing Fee...:	36.00

Total Calculated Fees:	70.00
Total Additional Fees:	.00
Total Fees Due.....:	70.00
Total Payments.....:	.00
BALANCE DUE.....:	70.00

LICENSED CONSTRUCTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X _____

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X _____

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA 95032

INSPECTION REQUESTS * PHONE 354-6877 (VOICE MAIL)

APPLICATION FOR BUILDING PERMIT

COMMUNITY DEVELOPMENT SERVICES - BUILDING DIVISION - * PHONE 354-6881 FAX 354-7593

BUILDING ADDRESS 117 Eden Av., L.G.		DATE 19 JUNE 01
USE OF EXISTING BUILDING (Please Mark)		Is Building on Sewer or Septic?
Single Family Residence ☒	Condo / Apartment / Townhouse	Commercial Building / Parking Structure
Attached Garage or Detached Garage		PHONE (Required)
PROPERTY OWNER Robert Grenum		
ADDRESS (If Different From Bldg. Address)		
CITY		
ARCHITECT / ENGINEER / DESIGNER E. Gary Schlo		PHONE 354-4551
ADDRESS 213 Bean Av.		
CITY Los Gatos CA		ZIP 95032
CONTRACTOR		PHONE
ADDRESS		
CITY		
STATE / LICENSE CONTRACTOR'S EXPIRATION DATE		
MUST SHOW CURRENT WORKER'S COMP		
ZIP		
SQUARE FOOTAGE		
REMODEL	NEW / ADDITION	OTHERS / FIRE ROOF
1st Floor		
2nd Floor		
BASE / 3RD FLOOR	395	
SUBTOTAL		TOTAL
GARAGE		
CONCRETE PATIO / PORCHES		
NO. OF STORIES 2	SIZE OF LOT 5227	NO. OF LIVING UNITS one
APN 529 02 020	EST. DATE VALUATION	
DESCRIPTION OF WORK: Improve 'unfinished living' into finished living (in cellar)		
ENDING AGENCY		
PHONE		
ADDRESS		
CITY		
ZIP		

For Official Use Only

B01- **503**

B01-

E01- **346**

M01- **338 191**

P01- **338**

☒ Plans _____ Energy Cals

Soil R. _____ Struc Cals

Req. Hold Approved

Planning:

SK [6807]

[5720]

SAND [6873]

SDAV [6876]

JOEL [6879]

TRIS [6860]

SL [5702]

5/6/27/01

Schools:

Fire:

WVSD:

Health/Septic:

Hazardous

Material Clearance:

Comments:

Historic or Pre - 1941

Plan Check Fee:

Building Approved:

Fire Sprinkler System

Contacted Architect (Deficiencies)

Contacted Owner / Contractor on: **6/20/01**

Application Processed By: **Architect**

Revised: 02/27/2001

TOWN OF LOS GATOS

BUILDING DEPARTMENT * PHONE 354-6881 FAX (408) 354-7593
INSPECTION REQUESTS PHONE 354-6877

E01-

UNIT FEE	NO. OF UNITS	AMOUNT	FEE
OUTDOOR LIGHTS		1.25 EA.	
INDOOR LIGHTS	10	1.25 EA.	
SWITCHES	6	1.25 EA.	
RECEPTACLES/OUTLETS	10	1.25 EA.	
RESIDENTIAL: OVEN, COOK TOP, WALL AIR COND, SPACE HEATER, DISPOSER, DISHWASHER, WATER HEATER, WASHING MACH, CLOTHES DRYER, OTHER SMALL APPLIANCES, 1 KW OR LESS	1	8.00 EA.	
COMMERCIAL: MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABINETS, ILLUMINATED SHOW CASES, DRINK FOUNTAINS, VENDING MACH, LAUNDRY MACH, OTHER SMALL APPLIANCES 1 KW OR LESS		8.00 EA.	
LARGE APPLIANCES, POWER APPARATUS HEATING & AIR COND, EQUIP., COOKING & BAKING EQUIP., OTHER LARGE APPLIANCES & APPARATUS UP TO 10 KW		8.00 EA.	
OVER 10 KW		15.00 EA.	
OVER 50 KW		30.00 EA.	
OVER 100 KW		45.00 EA.	
BUSWAY (PER 100 FEET)		8.00 EA.	
SIGNS		30.00 EA.	
SERVICE EQUIP., NOT OVER 200 AMPS		30.00 EA.	
SERVICE EQUIP., 201 TO 999 AMPS		50.00 EA.	
SERVICE EQUIP., OVER 1000 AMPS		75.00 EA.	
SUBPANEL		11.00 EA.	
WELDING APPARATUS, CONDUITS, SINKS & CONDUITORS		15.00 EA.	
TEMPORARY POWER POLE		30.00 EA.	
TEMPORARY LIGHTING SYSTEM		15.00 EA.	
SWIMMING POOL SYSTEM		30.00 EA.	
NEW CONST		90 FT. X \$3.00 =	
		SUBTOTAL	
IF PLANS ARE REVIEWED, ADD PLAN CHECK FEE 25%			
ISSUANCE OF PERMIT			\$25.00
TOTAL FEES			

BUILDING ADDRESS 117 EDELEN AV.		Historic - Pre-1941
USE OF EXISTING BUILDING (Please mark)		Commercial Building/ Parking Structure
Single-family Residence	☒	Condo/Apartmental/Townhome
PROPERTY OWNER GRANUM		PHONE (REQUIRED)
MAIL ADDRESS 117 EDELEN AVE		
CITY LOS GATOS	ZIP 95030	
CONTRACTOR JOHN BOUCH CONST		
PHONE 408 2976966		
MAIL ADDRESS PO BOX 26499		
CITY SAN JOSE CA	ZIP 95126	
STATE LICENSE 499281	MUST SHOW CURRENT WORKER'S COMP	
EXPIRE DATE 10/31/2002		
NOTICE:		
1. SIGNS ARE REGULATED, SEE PLANNING DEPT.		
2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES, SHOESTRING LIGHTING NOT PERMITTED.		
3. WRITTEN LETTER OF APPROVAL IS NECESSARY FOR EQUIPMENT AND LIGHTS OUTSIDE OF LIVING AREA WITHIN HOMEOWNER'S ASSOCIATIONS		
DESCRIPTION OF WORK:		

TOWN OF LOS GATOS

BUILDING DEPARTMENT * PHONE 354-6881 FAX (408) 354-7593

INSPECTION REQUESTS PHONE 354-6877

APPLICATION FOR MECHANICAL PERMIT

M01-

UNIT/FEE	NO. OF ITEMS	AMOUNT	\$	FEE	BUILDING ADDRESS	Historic - Pre-1941
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A/C, BOILER, COMPRESSOR, OR AIR HANDLER		20.00 EA.			117 EDELEN AV.	
DUCT OUTLET OR REGISTER	2	3.00 EA.			USE OF EXISTING BUILDING (Please mark)	SF RES Commercial Building/ Parking Structure
FIREPLACE		12.00 EA.			Single-family Residence ☒ Condo/Apartments/ Townhome	Attached Garage or Detached Garage
VENTILATING FAN	1	6.00 EA.			PROPERTY OWNER	PHONE (REQUIRED)
WOOD, RESIDENTIAL		15.00 EA.			GRANUM	
WOOD, COMMERCIAL		25.00 EA.			MAIL ADDRESS	
FLUE, VENT		6.00 EA.			117 EDELEN AV	
EVAPORATIVE COOLER		12.00 EA.			CITY	ZIP
SOLAR COLLECTOR		22.00 SYSTEM			LOS GATOS	95030
OTHER MECHANICAL APPLIANCE		15.00 EA.			CONTRACTOR	PHONE
GAS		10.00 SYSTEM			JOHN BOUCH CONST	
NEW CONST. _____ SQ. FT. X \$0.04 =					MAIL ADDRESS	
					PO BOX 26499	
SUBTOTAL					CITY	ZIP
IF PLANS ARE REVIEWED, ADD PLAN CHECK FEE 25%					SAN JOSE	95126
					STATE LICENSE	
					499281	MUST SHOW CURRENT WORKER'S COMP
					EXPIRE DATE	
					10/31/2002	
ISSUANCE OF PERMIT		\$25.00			NOTICE: All mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town Code.	
TOTAL FEES					NOTICE: When installing a new A/C unit or repairing electrical, an electrical permit may also be required.	
DESCRIPTION OF WORK:						

TOWN OF LOS GATOS

BUILDING DEPARTMENT * PHONE 354-6881 FAX (408) 354-7593

INSPECTION REQUESTS PHONE 354-6877

APPLICATION FOR PLUMBING PERMIT

P01-

UNIT FEE	NO. OF UNITS	AMOUNT	FEE	BUILDING ADDRESS	Historic - Pre-1941
WATER CLOSET (TOILET)	1	7.00 EA.		117 EDELEN AV	
BATH TUB/HOT TUB	1	7.00 EA.		USE OF EXISTING BUILDING (Please mark)	Commercial Building/ Parking Structure
SHOWER/SALINA		7.00 EA.		Single Family Residence ☒ Condo/Apartments/Townhome	Attached Garage or Detached Garage
LAVATORY (BATHROOM SINK)	1	7.00 EA.		PROPERTY OWNER	PHONE (REQUIRED)
SINK		7.00 EA.		GRANUM	
DISHWASHER		7.00 EA.		MAIL ADDRESS	
DISPOSER	1	7.00 EA.		117 EDELEN AV	
CLOTHES WASHER		7.00 EA.		CITY	ZIP
FLOOR DRAIN		7.00 EA.		LOS GATOS	95030
FOUNTAIN		7.00 EA.		CONTRACTOR	PHONE
RAINWATER SYSTEM		7.00 EA.		JOHN BOUCH CONST	
HOUSE SEWER/OTHER PLUMB DEVICE	1	15.00 EA.		MAIL ADDRESS	
WATER HEATER/WATER SOFTNER		15.00 EA.		PO BOX 26499	
GREASE TRAP		12.00 EA.		CITY	ZIP
GAS SYSTEM		10.00 SYSTEM		SAN JOSE	95126
LAWN SPRINKLER		9.00 SYSTEM		STATE LICENSE	499281
WATER SYSTEM		10.00 EA.		EXPIRE DATE	10/31/2002
VACUUM BREAKER/HOSE E-B		2.00 EA.		MUST SHOW CURRENT WORKER'S COMP	
BACKFLOW DEVICE		8.00 EA.		DESCRIPTION OF WORK	
PRIVATE SWIMMING POOL		43.00 EA.			
SEWER CLEAROUT		8.00 EA.			
PRIVATE SEWAGE DISPOSAL SYSTEM		45.00 EA.			
SEPTIC ABATEMENT		25.00 EA.			
RESIDENTIAL WATER REPAIRING		45.00 EA.			
NEW CONST		50 FT X \$0.06 =			
		SUBTOTAL			
IF PLANS ARE REVIEWED, ADD PLAN CHECK FEE 25%					
ISSUANCE OF PERMIT				\$25.00	
TOTAL FEES					

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING PERMIT

Permit Number: B01-000503

Work Description: CONVERT NON-HAB CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Business Lic...: 0113193
Arch\Eng\Design.: SCHLOH E GARY
License.....: C20562
Address.....: 213 BEAN AV
City.....: LOS GATOS CA

Status...: ISSUED
Applied...: 06/27/2001
Approved...: 07/03/2001
Issued...: 07/03/2001
Expires...: 12/30/2001

Valuation.....: 12,602.50

Total Sq.Ft.....: 355

Livable Sq.Ft.: 355

Class Code.....: 434

Bldg Count: 001

Unit Count: 000

***** PERMIT FEES *****

Permit Issuance..	25.00	Park Tax.....	14.20
Building Permit..	200.50	Planning Plan Ck..	40.10
Title-24.....	100.25	Micro Planning...	.00
Seismic Tax.....	1.26	Storm Drain Eng..	.00
Plan Check.....	130.33	Road Impact Fee..	31.95
Micro Building...	.00	Computer Services:	8.02
Construction Tax:	63.90	Gen Pln Updt.....	63.01
Utility Tax.....	63.90		

Total Calculated Fees:	742.42
Total Additional Fees:	.00
Total Fees Due.....:	742.42
Total Payments.....:	.00
BALANCE DUE.....:	742.42

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X *[Signature]*

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A: I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X *[Signature]*

CERTIFICATION OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B: I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
ELECTRICAL PERMIT

Permit Number: E01-000346

Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 0113193

Status...: ISSUED
Applied...: 06/27/2001
Approved:
Issued...: 07/03/2001
Expires...: 12/30/2001

--Square Footage--		
New Residence:	Remodel:	Commercial:
***** PERMIT FEES *****		
Permit Issuance.....:		25.00
Plan Check Fee.....:		9.69
New Resident.....:		.00
Remodel.....:		.00
Commercial.....:		.00
Detail Electrical Fee:		38.75

Total Calculated Fees:		73.44
Total Additional Fees:		.00
Total Fees Due.....:		73.44
Total Payments.....:		.00
BALANCE DUE.....:		73.44

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X *[Signature]*

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm under penalty of perjury I have and will maintain Workers' Compensation Insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X *[Signature]*

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon that above mentioned property for inspections.

Signature X

NOTICE:

1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, obscuring lighting is not permitted.

TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
MECHANICAL PERMIT

Permit Number: M01-000194

Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor.....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 0113193

Status...: ISSUED
Applied...: 06/27/2001
Approved...: 07/03/2001
Issued...: 07/03/2001
Expires...: 12/30/2001

	--Square Footage--	
New Residence:	Remodel:	Commercial:
***** PERMIT FEES *****		
	Permit Issuance.....:	25.00
	Plan Check Fee.....:	3.00
	New Residential.....:	.00
	Remodel.....:	.00
	Commercial.....:	.00
	Detail Mechanical Fee:	12.00

	Total Calculated Fees:	40.00
	Total Additional Fees:	.00
	Total Fees Due.....:	40.00
	Total Payments.....:	.00
	BALANCE DUE.....:	40.00

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X *[Signature]*

COMPLIANCE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X *[Signature]*

CERTIFICATION OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with these provisions.

Signature X

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3700 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X

NOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.021 of the Town of Los Gatos Code.

**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLUMBING PERMIT**

Permit Number: P01-000338

Work Description: CONVERT NON-HABITABLE CELLAR TO HABITABLE 355SF

Building Address: 117 EDELEN AV
Owner.....: BECK MARK J/BARBARA B TRUSTEE
Address.....: 117 EDELEN AVE
City.....: LOS GATOS CA
Zip.....: 95030
Contractor....: JOHN BOUCH CONSTRUCTION
License.....: 499281
Address.....: PO BOX 26499
City.....: SAN JOSE, CA
Zip.....: 95159-0000
Business Lic...: 0113193

Status...: ISSUED
Applied...: 06/27/2001
Approved...: 07/03/2001
Issued...: 07/03/2001
Expires...: 12/30/2001

New Residence:	Remodel:	Commercial:
***** PERMIT FEES *****		
	Permit Issuance.....:	25.00
	Plan Check Fee.....:	9.00
	New Residential.....:	.00
	Remodel.....:	.00
	Commercial.....:	.00
	Detail Plumbing Fee...:	36.00

	Total Calculated Fees:	70.00
	Total Additional Fees:	.00
	Total Fees Due.....:	70.00
	Total Payments.....:	.00
	BALANCE DUE.....:	70.00

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X _____

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X _____

TOWN OF LOS GATOS

110 E MAIN ST., LOS GATOS, CA 95032

INSPECTION REQUESTS * PHONE 354-6877 (VOICE MAIL)

APPLICATION FOR BUILDING PERMIT

COMMUNITY DEVELOPMENT SERVICES - BUILDING DIVISION - * PHONE 354-6881 FAX 354-7593

BUILDING ADDRESS 117 Edelen Av., L.G.		DATE 19 JUNE 01
USE OF EXISTING BUILDING (Please mark)	Commercial Building/Parking Structure	Is Building on Sewer or Septic?
Single Family Residence ☒ Condo/Apartmental Townhouse	Attached Garage or Detached Garage	
PROPERTY OWNER Robert Grenum		PHONE (Required) [REDACTED]
ADDRESS [REDACTED]		
CITY [REDACTED]		
ARCHITECT/ENGINEER/DESIGNER E. Gary Schlo	PHONE 354-4551	
ADDRESS 217 Bean Av.		
CITY Los Gatos CA	ZIP 95030	
CONTRACTOR [REDACTED] PHONE [REDACTED]		
ADDRESS [REDACTED]		
CITY [REDACTED] ZIP [REDACTED]		
STATE LICENSE [REDACTED] CONTRACTOR'S EXPIRATION DATE [REDACTED]		
SQUARE FOOTAGE		
REMODEL	NEW ADDITION	OTHERS (RE-ROOF)
1st Floor		
2nd Floor		50 (Pool/Porch/Deck, etc.)
BASE 3RD FLOOR	355	
SUBTOTAL		TOTAL
GARAGE [REDACTED]		
CONCRETE PATIO/PORCHES		
NO OF STORIES 2	SIZE OF LOT 5227	NO OF UNITS one
APN 529 02 020	ESTIMATE VALUATION	
DESCRIPTION OF WORK Improve 'unfinished living' into finished living (in cellar)		
LENDING AGENCY [REDACTED] PHONE [REDACTED]		
ADDRESS [REDACTED]		
CITY [REDACTED]	ZIP [REDACTED]	

For Official Use Only

B01- **503**
B01-
E01- **346**
M01- **338 191**
P01- **338**

6/19/01 Plans _____ Energy Calcs _____

Soil R. _____ Struct Calcs _____

Req. Hold Approved

Planning:

SK [6807]
[5720]
SAND [6873]
SDAV [6076]
JOEL [6876]
TRIS [6860]
SL [5702]

6/19/01

Schools:

Firo:

WVSD:

Health/Septic:

Hazardous

Material Clearance:

Comments:

Historic or Pre - 1941

Plan Check Fee:

Building Approved:

Fire Sprinkler System

Contacted Architect (Deficiencies)

Contacted Owner/Contractor on: **6/20/01**

Architect

Application Processed By: **SA**

Revised: 02/27/2001

BUILDING DEPARTMENT • PHONE 354-6881 FAX (408) 354-7593
INSPECTION REQUESTS PHONE 354-6877

BUILDING DEPARTMENT * PHONE 354-8881 FAX (408) 354-1500
INSPECTION REQUESTS PHONE 354-8877

DESCRIPTION OF WORK:

TOWN OF LOS GATOS

BUILDING DEPARTMENT * PHONE 354-6881 FAX (408) 354-7593

INSPECTION REQUESTS PHONE 354-6877

APPLICATION FOR MECHANICAL PERMIT

M01-

UNIT/FEE	NO OF UNITS	AMOUNT	\$	FEE	BUILDING ADDRESS	Historic - Pre-1941
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A/C, BOILER, COMPRESSOR, OR AIR HANDLER		20.00 EA.			117 EDELEN AV.	
DUCT OUTLET OR REGISTER	2	3.00 EA.			USE OF EXISTING BUILDING (Please mark)	Commercial Building/ Parking Structure
REPLACE		12.00 EA.			Single Family Residence ☒ Condo/Apartment/ Townhome	Attached Garage or Detached Garage
VENTILATING FAN	1	8.00 EA.			PROPERTY OWNER	PHONE (REQUIRED)
WOOD, RESIDENTIAL		15.00 EA.			GRANUM	
WOOD, COMMERCIAL		25.00 EA.			MAIL ADDRESS	
FLUE, VENT		8.00 EA.			117 EDELEN AV	
EVAPORATIVE COOLER		12.00 EA.			CITY	ZIP
SOLAR COLLECTOR		22.00 SYSTEM			LOS GATOS	95030
OTHER MECHANICAL APPLIANCE		15.00 EA.			CONTRACTOR	PHONE
GAS		10.00 SYSTEM			JOHN BOUCH CONST	
NEW CONST.	50 FT. X \$3.04 =				MAIL ADDRESS	
					PO BOX 26499	
					CITY	ZIP
					SAN JOSE	95126
					STATE LICENSE	
					499281	
					EXPIRE DATE	
					10/31/2002	
						MUST SHOW CURRENT WORKER'S COMP
					NOTICE: All mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town Code.	
					NOTICE: When installing a new A/C unit or repairing electrical, an electrical permit may also be required.	
ISSUANCE OF PERMIT		\$25.00				
TOTAL FEES						
DESCRIPTION OF WORK:						

TOWN OF LOS GATOS

BUILDING DEPARTMENT * PHONE 354-6881 FAX (408) 354-7593

INSPECTION REQUESTS PHONE 354-6877

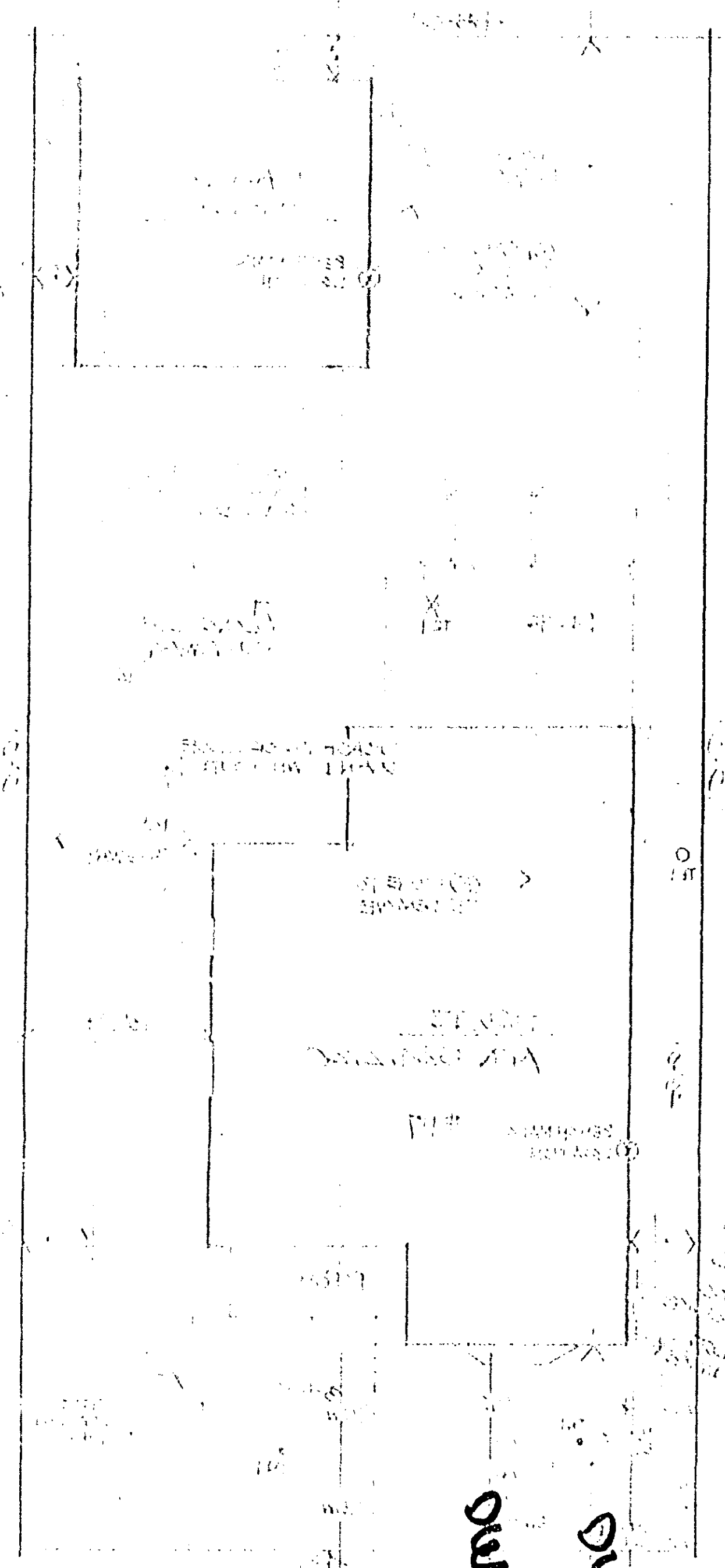
APPLICATION FOR PLUMBING PERMIT

P01-

UNIT FEE	NO. OF UNITS	AMOUNT	FEE	BUILDING ADDRESS	Historic - Pre-1941
WATER CLOSET (TOILET)	1	7.00 EA.		117 EDELEN AV	
BATH TUB, HOT TUB	1	7.00 EA.		USE OF EXISTING BUILDING (Please mark)	Commercial Building/ Parking Structure
SHOWER, SAUNA		7.00 EA.		Single Family Residence ☒ Condo/Apartment/ Townhome	Attached Garage or Detached Garage
LAVATORY (BATHROOM SINK)	1	7.00 EA.		PROPERTY OWNER	PHONE (REQUIRED)
SINK		7.00 EA.		GRANUM	
DISHWASHER		7.00 EA.		MAIL ADDRESS	
DISPOSER		7.00 EA.		117 EDELEN AV	
CLOTHES WASHER		7.00 EA.		CITY	ZIP
FLOOR DRAIN		7.00 EA.		LOS GATOS	95030
FOUNTAIN		7.00 EA.		CONTRACTOR	PHONE
RAINWATER SYSTEM		7.00 EA.		JOHN BOUCH CONST	
HOUSE SEWER/OTHER PLUMB DEVICE	1	15.00 EA.		MAIL ADDRESS	
WATER HEATER/ WATER SOFTNER		15.00 EA.		PO BOX 26499	
GREASE TRAP		12.00 EA.		CITY	ZIP
GAS SYSTEM		10.00 SYSTEM		SAN JOSE	95126
LAWN SPRINKLER		9.00 SYSTEM		STATE LICENSE	499281
WATER SYSTEM		10.00 EA.		EXPIRE DATE	10/31/2002
VACUUM BREAKER/HOSE BIB		2.00 EA.		MUST SHOW CURRENT WORKER'S COMP	
BACKFLOW DEVICE		8.00 EA.		DESCRIPTION OF WORK	
PRIVATE SWIMMING POOL		40.00 EA.			
SEWER CLEANOUT		8.00 EA.			
PRIVATE SEWAGE DISPOSAL SYSTEM		45.00 EA.			
SEPTIC ABATEMENT		25.00 EA.			
RESIDENTIAL WATER PIPING		45.00 EA.			
NEW CONST	50 FT X 50 FT				
		SUBTOTAL			
IF PLANS ARE REVEALED ADD PLAN CHECK FEE 25%					
ISSUANCE OF PERMIT				\$25.00	
TOTAL FEES					

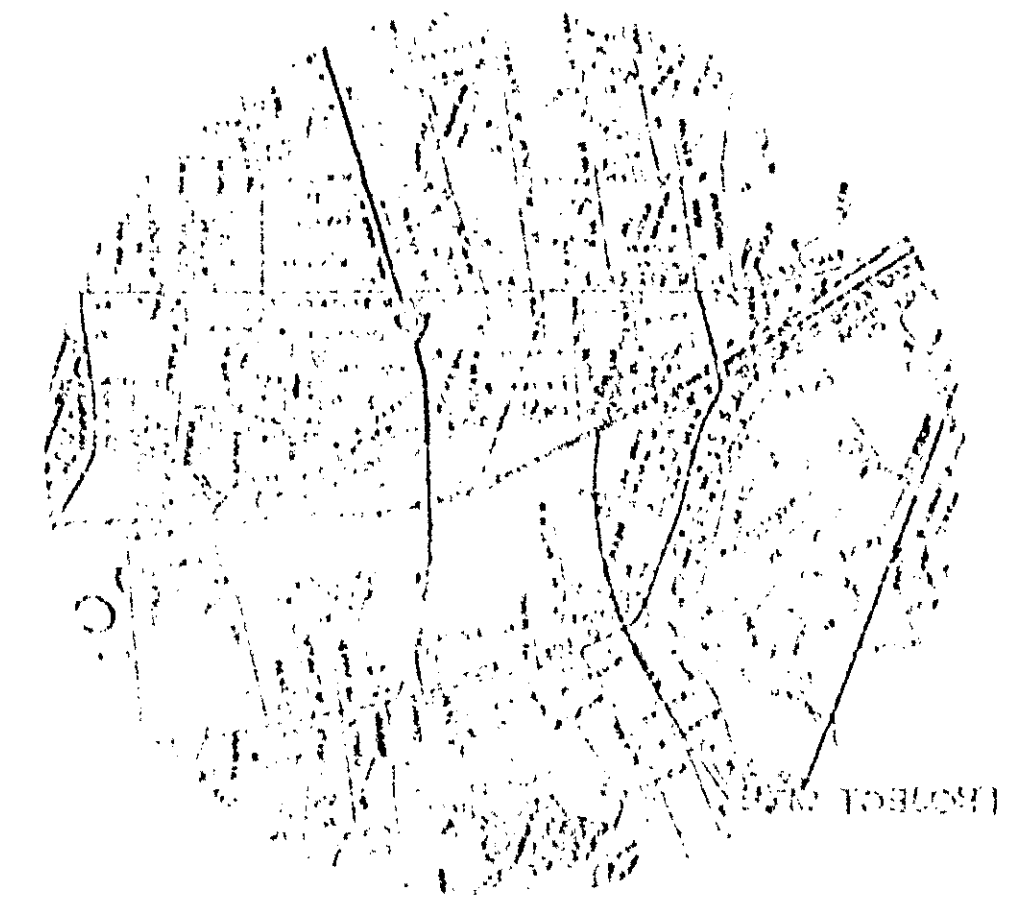
117 Edeken Ave
 800-000 170 - House Demo
 800-000 171 - Garage Demo
 Office Copy

APPROVED
 PLANNING DEPARTMENT
 THESE PLANS HAVE BEEN REVIEWED AND
 FOUND TO BE IN ACCORDANCE WITH THE
 ZONING ORDINANCE AND THE
 SUBDIVISION MAP ACT.



117 Edeken Ave

COMMENTS:
 1. THE PROPOSED LOT AREA IS 1.2 ACRES.
 2. THE PROPOSED LOT AREA IS 1.2 ACRES.
 3. THE PROPOSED LOT AREA IS 1.2 ACRES.
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 9. THE PROPOSED LOT AREA IS 1.2 ACRES.
 10. THE PROPOSED LOT AREA IS 1.2 ACRES.



LOCATION MAP

NO.	DESCRIPTION	DATE	BY
1	APPROVED	11/11/11	PLANNING DEPARTMENT





B. GARY SCHMIDT
ARCHITECT

OWNER:

MARK & BARBARA BECK
60 ELLENWOOD AV.
LOS GATOS, CA.
Ph. 408 354-7315

AREA SUMMARY

- SITE and FAR/ALLOWABLE AREA
SITE 5280 SF
FAR = $.35 \times (5280 \times .2) = 3696$
ALLOWABLE LIV. AREA = 1848 SF

LIVING AREAS:

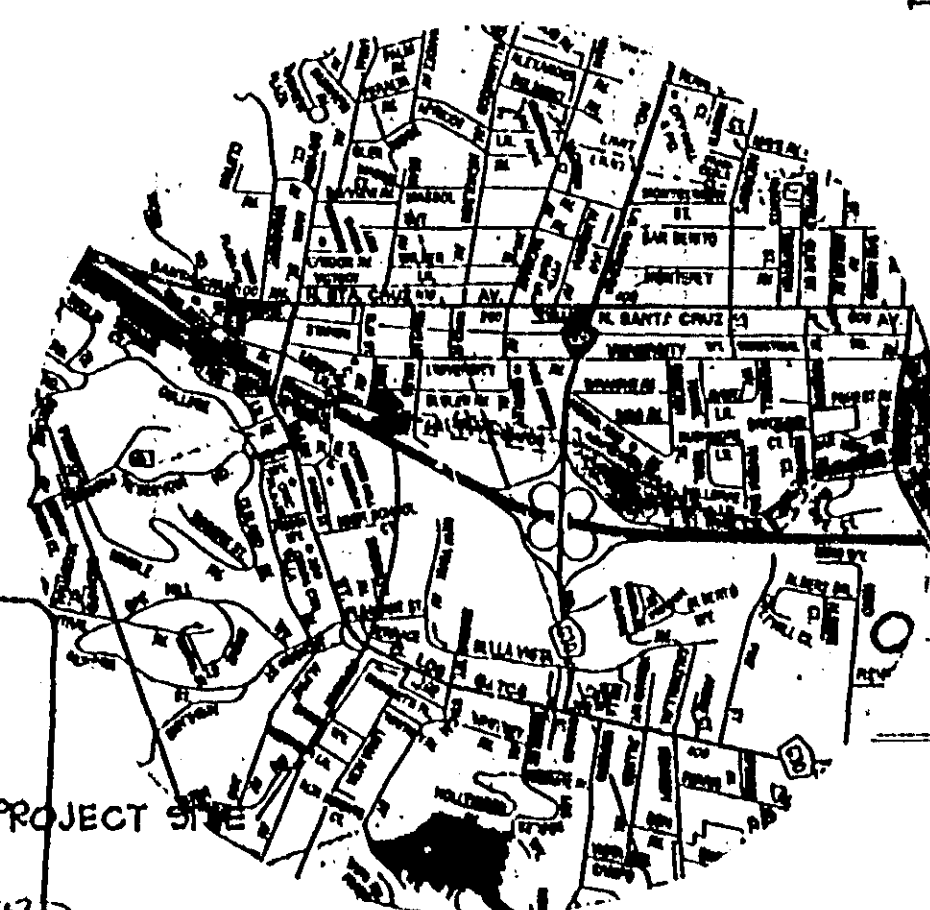
MAIN LEVEL 1,174 SF
UPSTAIRS 674 SF
TOTAL LIVING 1,848 SF
NOTE: LIVING AREAS DETERMINED WHERE CEILING IS 7' 6" OR GREATER. SEE TITLE 24.
CEILING HEIGHTS FOR CONDITIONED AREAS: 1,848 SF PER UBC

OTHER:

CELLAR GARAGE 1,323 SF
441 SF

LOT COVERAGE 1585 SF / 30 %

DEMOLITION
(E) HOUSE & PORCH 1,042 SF
(E) GARAGE & PORCH 194 SF



PLANNING DEPARTMENT APPROVED

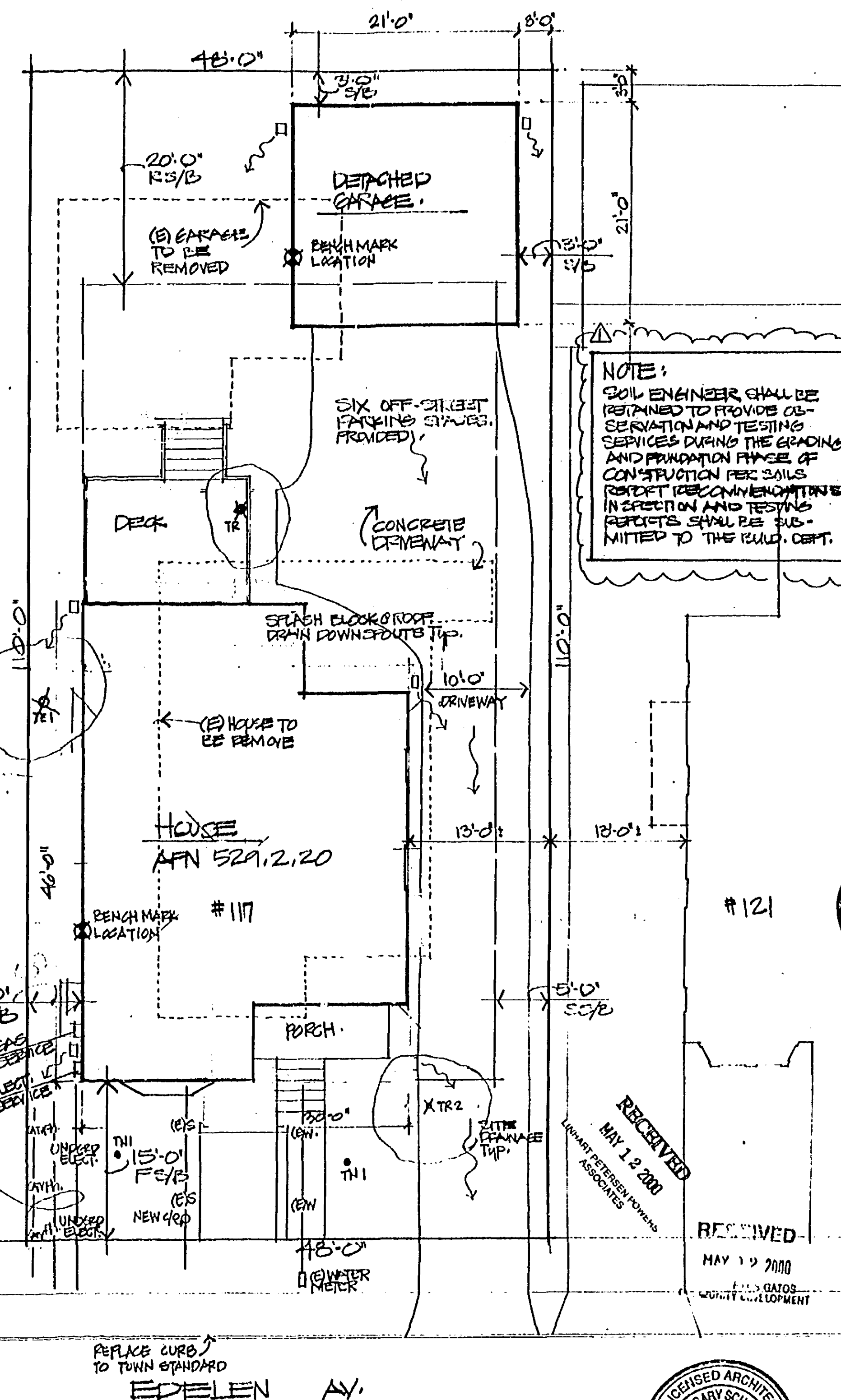
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.

LOCATION PLAN

NO SCALE

SIMBOL	EST	NAME	QUANTITY	SIZE	CONDITION
Removal	TR 1	Lithocarpus densiflorus (Redwood Oak)	1	5" x 6"	Good
	TR 2	Podocarpus neriifolia (Mall)	1	5" x 6"	Good
	TR 3	Apple	1	5" x 6"	Good
New	TR 1	Cornus Myrica (Sagebrush)	1	2 1/2" x 4"	Good

PLAN REVIEW APPROVAL
FOR COMPLIANCE WITH
APPLICABLE 1991 California Building, Plumbing,
Mechanical, Electrical, and Energy Codes.
Plan sheet approval is not a guarantee of the accuracy of the information shown on the plan sheet.
DATE: 5/1/00
BY: LINHART PETERSEN PETERSEN ASSOCIATES

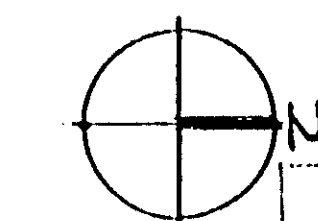


SITE PLAN

1/8" = 1'-0"

NO GRADING REQ.

ALL WORK SHALL CONFORM TO THE 1991 UBC, UMC, UEC AND LIRC NEC.



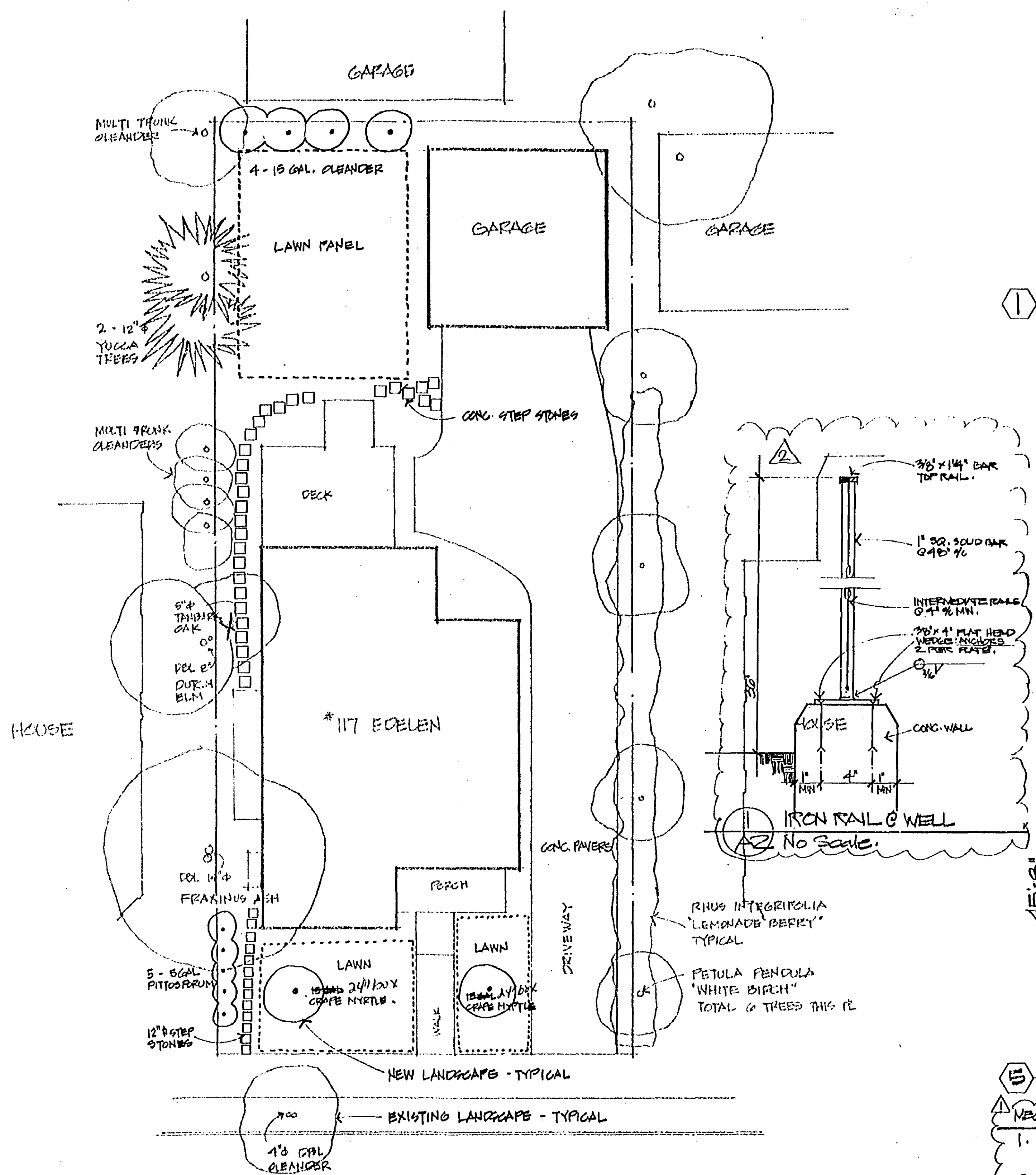
RECEIVED
MAY 12 2000
BUILDING DEPARTMENT
PLAN APPROVED
DATE: 5/1/00
BY: R.H.

BUILDING OCCUPANCY GROUP R-3/U-1
TYPE OF CONSTRUCTION V-N

THE HOUSE ON EDELEN
117 EDELEN AVE. LOS GATOS CA.

DATE
DRAWN BY
CHECKED BY
JOB NO. 01
SHEET
A-1

CERTIFICATE OF COMPLIANCE: RESIDENTIAL		Page 1 of 16	
Project Name:	THE HOUSE ON EDELEN	Project No.:	00-000000
Owner:	MARK & BARBARA BECK	Address:	117 EDELEN AVE, LOS GATOS, CA 95030
Architect:	B. GARY SCHMIDT	Phone:	408 354-7315
Engineer:		Engineer No.:	
Inspector:		Inspector No.:	
City:	LOS GATOS	County:	SAN JOSE
State:	CALIFORNIA	Year:	2000
Project Description:	REMODELING OF EXISTING 1.5 UNIT RESIDENTIAL BUILDING TO MEET 1991 UBC, UMC, UEC AND LIRC NEC.		
Project Location:	117 EDELEN AVE, LOS GATOS, CA 95030		
Project Status:	SUBMITTED FOR REVIEW		
Project Date:	5/1/00		
Project Type:	REMODELING		
Project Size:	1,848 SF		
Project Cost:	\$1,000,000		
Project Owner:	MARK & BARBARA BECK		
Project Architect:	B. GARY SCHMIDT		
Project Engineer:			
Project Inspector:			
Project City:	LOS GATOS		
Project State:	CALIFORNIA		
Project Year:	2000		
Project Description:	REMODELING OF EXISTING 1.5 UNIT RESIDENTIAL BUILDING TO MEET 1991 UBC, UMC, UEC AND LIRC NEC.		
Project Location:	117 EDELEN AVE, LOS GATOS, CA 95030		
Project Status:	SUBMITTED FOR REVIEW		
Project Date:	5/1/00		
Project Type:	REMODELING		
Project Size:	1,848 SF		
Project Cost:	\$1,000,000		
Project Owner:	MARK & BARBARA BECK		
Project Architect:	B. GARY SCHMIDT		
Project Engineer:			
Project Inspector:			
Project City:	LOS GATOS		
Project State:	CALIFORNIA		
Project Year:	2000		



SITE PLAN 117 EDELE AV. LOS GATOS 1/8"=1'-0"

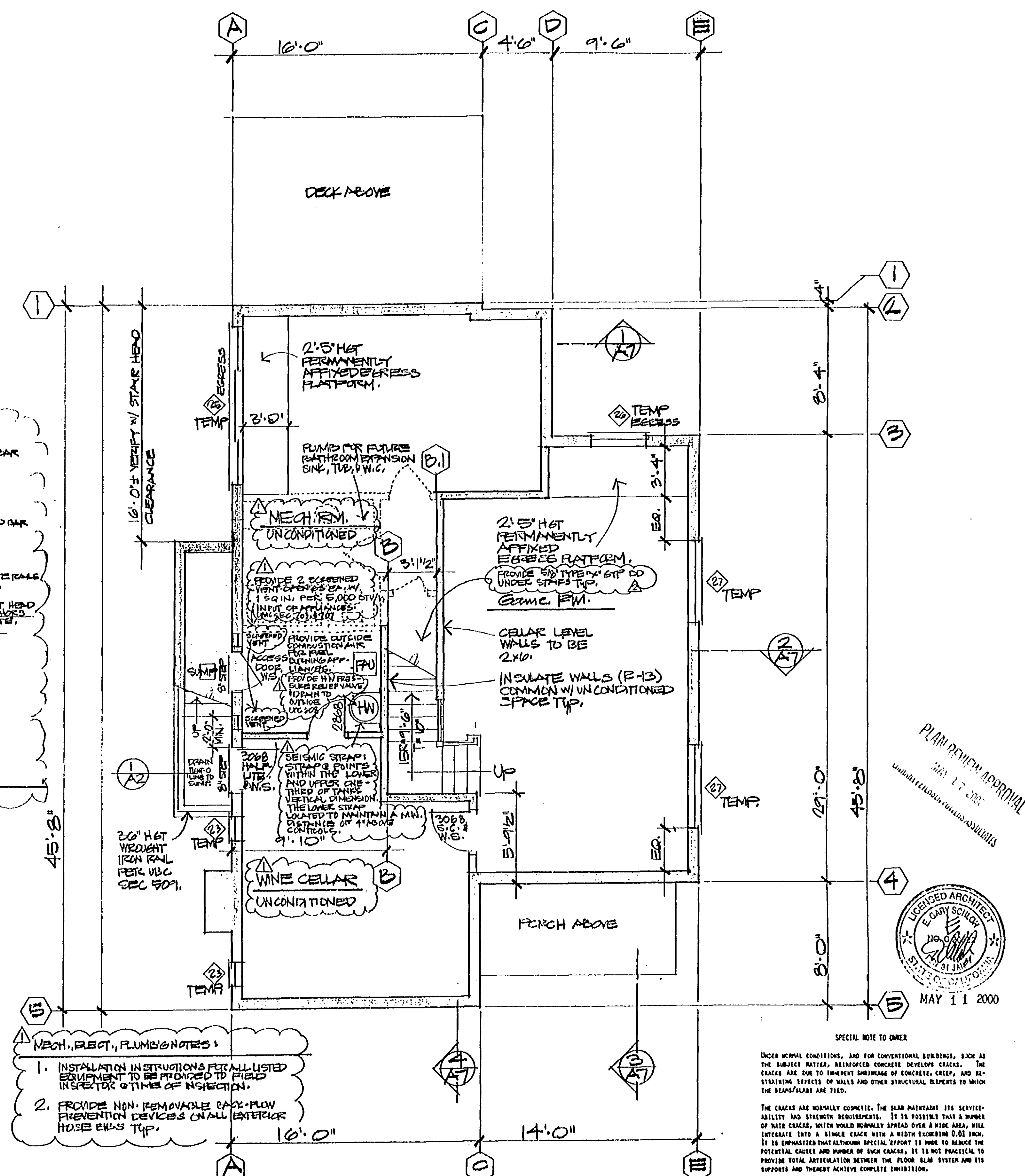
LANDSCAPE PLAN

0 1 2 0 NORTH 12 JAN 2000

PLANNING DEPARTMENT APPROVED

THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.

CRB, S, SIKO



CELLAR PLAN 1/4"=1'-0"

SPECIAL NOTE TO OWNER

UNDER NORMAL CONDITIONS, AND FOR CONVENTIONAL BUILDINGS, SUCH AS THE SUBJECT MATTER, REINFORCED CONCRETE DEVELOPS CRACKS. THE CRACKS ARE DUE TO INHERENT SHRINKAGE OF CONCRETE, DRYING, AND RESTRAINING EFFECTS OF WALLS AND OTHER STRUCTURAL ELEMENTS TO WHICH THE REINFORCEMENT IS TIED.

THE CRACKS ARE NORMALLY COMPRESSES. THE PLAN MAINTAINS ITS SERVICEABILITY AND STRENGTH REQUIREMENTS. IT IS POSSIBLE THAT A NUMBER OF HAIR CRACKS, WHICH WOULD NORMALLY SPREAD OVER A WIDE AREA, WILL INTERFERE INTO A SINGLE CRACK WITH A WIDTH EXCEEDING 0.01 INCH. IT IS EMPHASIZED THAT EXISTING SPECIAL REPORT IS MADE TO REDUCE THE POTENTIAL CAUSES AND NUMBER OF SUCH CRACKS. IT IS NOT PRACTICAL TO PROVIDE TOTAL DETAILERATION BETWEEN THE FLOOR SLAB EXTERIOR AND ITS SUPPORTS AND THEREBY ACHIEVE COMPLETE ELIMINATION.

POST SUCH CRACKS DEVELOP OVER THE FIRST TWO YEARS OF THE LIFE OF THE FLOOR SLAB SYSTEM. CRACKS WHICH ARE WIDER THAN 0.01 INCH MAY NEED TO BE PATCHED EXTERIORLY.

THE OBJECT OF THE JOINTS PROVIDED IS TO ALLOW MOVEMENT. MOVEMENT DUE TO CREEP AND SHRINKAGE MAY NOT BE NOTICEABLE AT JOINTS UP TO TWO YEARS AFTER CONSTRUCTION, BEYOND WHICH MOVEMENTS DUE TO VARIATIONS IN TEMPERATURE WILL BE NOTICEABLE.

EXPANSION AND CONTRACTION

THE EFFECTS OF NORMAL EXPANSION AND CONTRACTION CAN BE SEEN IN SUCH THINGS AS SMALL CRACKS IN THE FOUNDATION, DRYING, CRACKS IN PLASTER, AND PAINTS. ESPECIALLY WHERE HOLDINGS MEET DRYWALL, AT MITERED CORNERS, WHERE TILE GROUT MEETS THE SUB ON TOP, ETC. SHRINKAGE OF WOOD IN YOUR HOME IS ALSO INEVITABLE. WHILE IT IS MOST NOTICEABLE DURING THE FIRST YEAR FOLLOWING COMPLETION OF CONSTRUCTION, BUT TYPICALLY CONTINUES INTO THE SECOND YEAR.

THESE CONSTRUCTION DOCUMENTS MAKE EVERY ATTEMPT TO MINIMIZE CRACKS CAUSED BY EXPANSION AND CONTRACTION.

117 EDELE AV. LOS GATOS, CA 95030

DATE: 12 JAN 2000

DRAWN: CRB

CHECK: S

JOB NO. 117 EDELE AV.

SHEET A-2

THE HOUSE ON EDELE

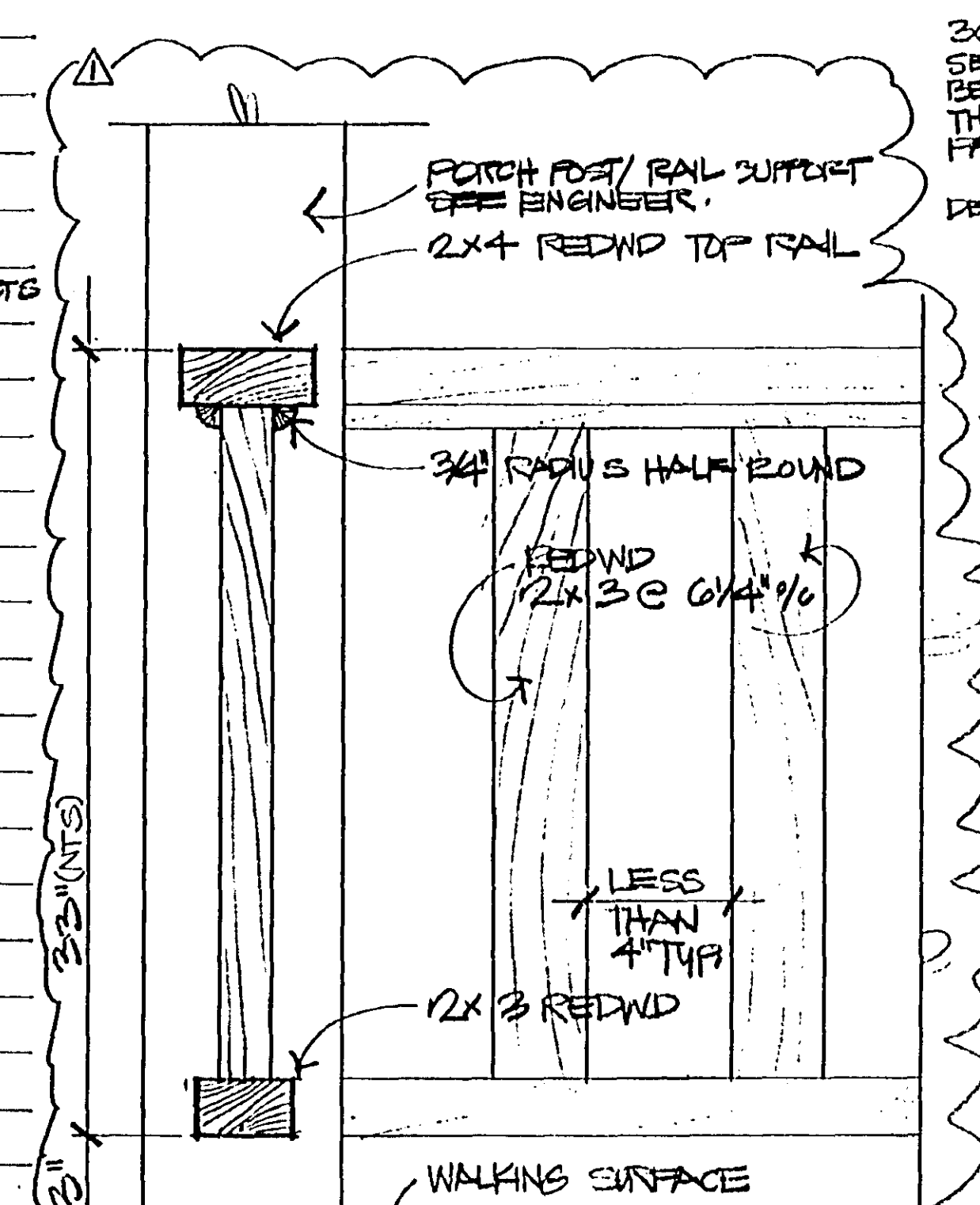
117 EDELE AV. LOS GATOS, CA

WINDOW SCHEDULE

#	NOMINAL SIZE	TYPE	NOTES/COMMENTS
1	2056	78	DH
2	2056	78	DH
3	2456	78	PICTURE
4	1856	78	DH
5	1846	78	DH
6	2056	78	DH
7	1856	78	DH
8	2456	78	1856 DH, 2856 DH, 1856 DH W/2" WIDE MULL POCKET
9	4052	78	FRENCH C
10	31052	78	FRENCH C
11	3642	78	DH
12	1842	78	DH
13	5356	78	DH, DH W/2" WIDE MULL POCKET
14	2242	610	DH
15	3654	70	DH/EVERESS
16	2040	610	DH
17	3916	610	AWNING
18	2242	610	DH
19	3654	70	DH/EVERESS
20	4622	610	OC W/2" MULL POCKET
21	3850	74	DH/EVERESS
22	2242	610	DH
23	1826	80	
24	1826	80	DELETED
25	10426	80	X 2X SUPER W/2" WIDE 'X' SASH TO MEET EVERESS
26	31826	80	FRENCH C
27	6026	80	SUPER
28	2656	78	CASEMENT/EVERESS

NOTES:

1. VERIFY ALL ROUGH OPENINGS W/ WDW MANUF.
2. WINDOWS TO BE WOOD FRAME, OIL GLAZED W/ 1/2" BETER.
3. WRAP ALL ROUGH OPENINGS W/ BITUMINOUS MEMBRANE TO 9" BEYOND OPENING EDGES.
4. FLASH ALL WDW HEADS W/ METAL GALV. FLASHING 9" W/ WDW HEAD TRIM. REF BLUE ELEV.
5. WDWs TO HAVE 2" SILL NOSE.
6. EXTERIOR TRIM TO BE 1 1/2" X 5" REDWD.

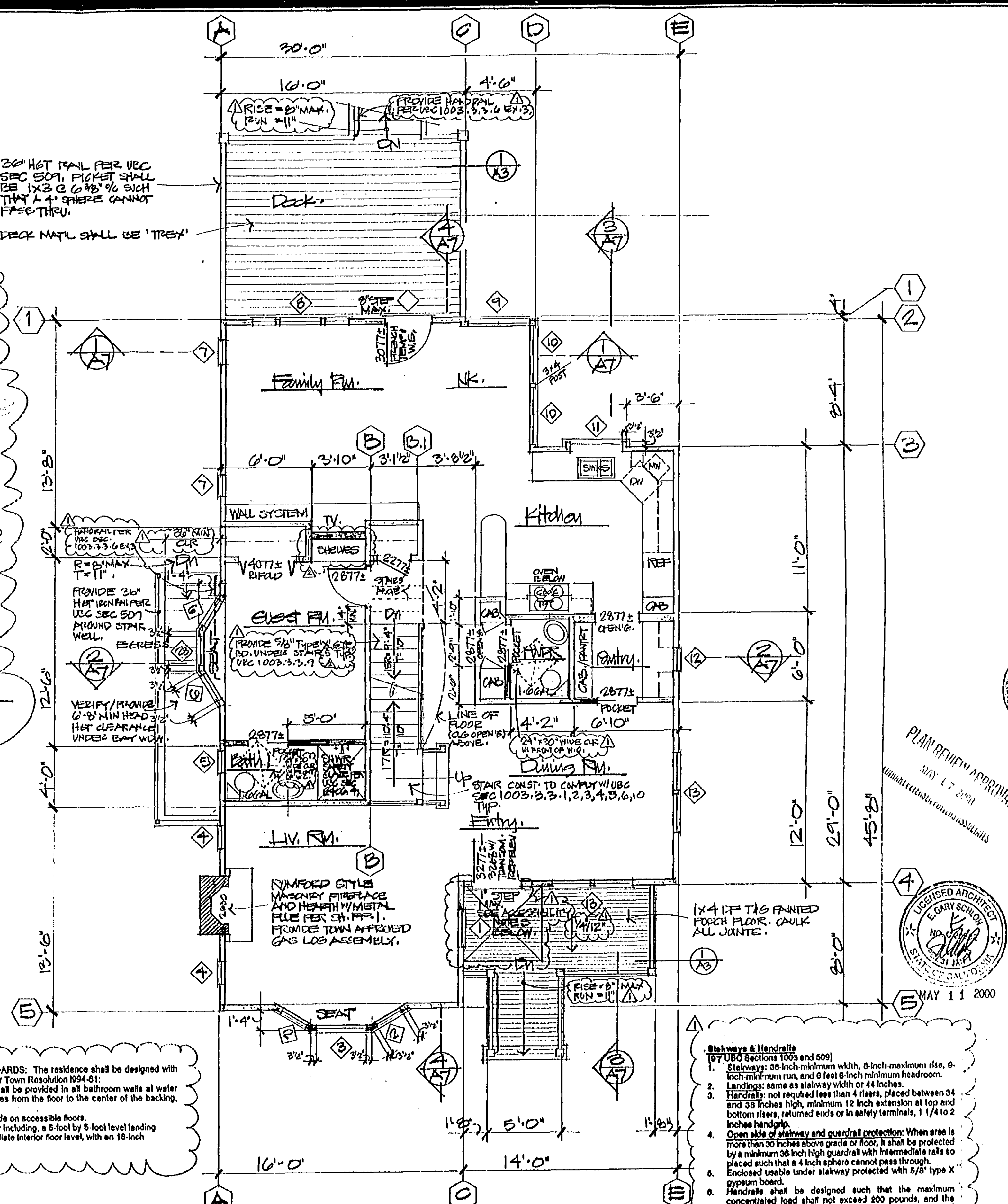


1 RAIL DETAIL
A3 3/4" = 1'-0"

RESIDENTIAL TOWN ACCESSIBILITY STANDARDS: The residence shall be designed with adaptability features for single-family residence per Town Resolution 1994-61:
a. Wooden backing (no smaller than 2" x 8") shall be provided in all bathroom walls at water closets, showers and bathtubs, located at 34 inches from the floor to the center of the backing, suitable for the installation of grab bars.
b. All passage doors shall be at least 32 inches wide on accessible floors.
c. Primary entrance shall have a 36-inch wide door including, a 6-foot by 5-foot level landing no more than 1-inch out of plane with the immediate interior floor level, with an 18-inch clearance at interior strike edge.

MAN LEVEL FLOOR PLAN

1/4" = 1'-0"



- Stairways & Handrails (per USC Sections 1003 and 509)
1. Stairways: 36 inch minimum width, 8 inch maximum rise, 6 inch minimum run, and 6 feet 8 inch minimum headroom.
 2. Landings: same as stairway width or 44 inches.
 3. Handrails: not required less than 4 risers, placed between 34 and 38 inches high, minimum 12 inch extension at top and bottom risers, returned ends or in safety terminals, 1 1/4 to 2 inches handgrip.
 4. Open side of stairway and guardrail protection: When area is more than 30 inches above grade or floor, it shall be protected by a minimum 36 inch high guardrail with intermediate rails so placed such that a 4 inch sphere cannot pass through.
 5. Enclosed usable under stairway protected with 5/8" type X gypsum board.
 6. Handrails shall be designed such that the maximum concentrated load shall not exceed 800 pounds, and the maximum uniform load shall not exceed 20 pounds per lineal foot.

DATE: 10/15/00
DRAWN: J. EDLEN
CHECK: J. EDLEN
JOB NO.: 0000000000
SHEET: A-3

THE HOUSE ON EDLEN
J. EDLEN ARCHITECT
LOS GATOS, CA

213 BEAN AVE. LOS GATOS, CA 95030 408-354-4551

PLANNING COMMISSION MEETING OF JANUARY 12, 2000

CONDITIONS OF APPROVAL FOR:

117 Edelen Avenue
Architecture and Site Application 9-09-10

Requesting approval to demolish a contributor to the historic district and to construct a new two story single family residence and a detached garage within the required setbacks on property located in the R-1D-LHP zone.

PROPERTY OWNER: Mark and Barbara Beck

APPLICANT: E. Gary Schlobo

TO THE SATISFACTION OF THE PLANNING DIRECTOR:

(Planning Section)

1. EXPIRATION OF APPROVAL. The Architecture and Site approval for the building will expire two years from the date of approval unless the approval is used before expiration (January 12, 2002). Section 29.20.335 defines what constitutes the use of an approval granted under the Zoning Ordinance.
2. COVER SHEET NOTES. The conditions of approval shall be printed on the cover sheet of the final plans submitted for building permit approval.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

(Public Works Section)

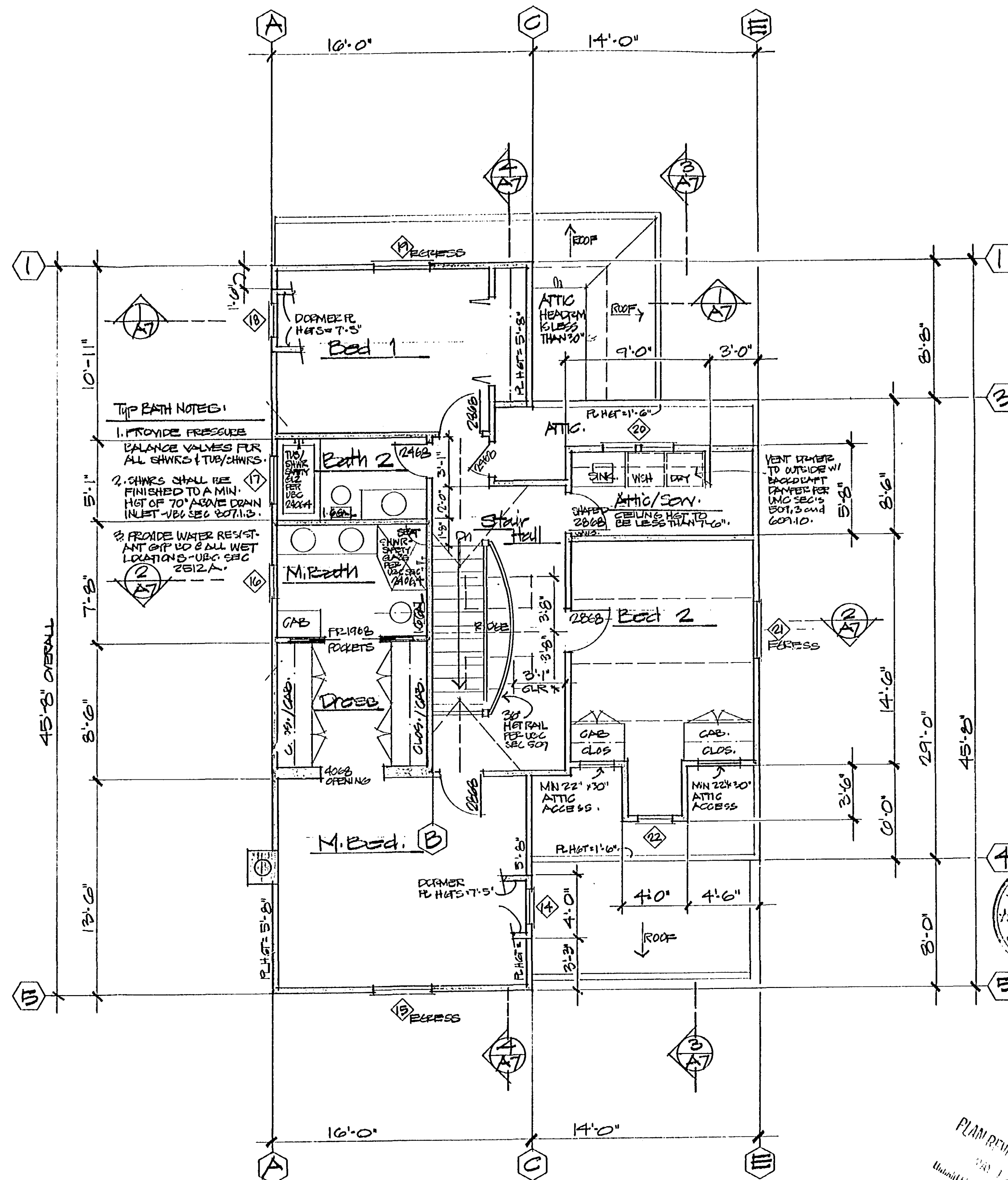
3. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
4. ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security.
5. PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.
6. UTILITIES. The developer shall install all utility services, including telephone, electric power and all other communications lines underground, as required by Town Code §27.50.015(b). Cable television capability shall be provided to all new homes.
7. RESTORATION OF PUBLIC IMPROVEMENTS. The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
8. DRIVEWAY APPROACH. The developer shall install one (1) Town standard residential driveway approach(es). The new driveway approach shall be constructed per Town Standard Detail.
9. SANITARY SEWER LATERAL. Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Install a sanitary sewer lateral clean-out at the property line.

(Building Section)

10. PERMITS REQUIRED: A building permit application shall be required for the proposed structure. Separate electrical/mechanical/plumbing permits shall be required as necessary.
11. CONSTRUCTION PLANS: The Conditions of Approval shall be stated in full on the cover sheet of construction plan submitted for building permit.
12. SIZE OF PLANS: The maximum size of construction plans submitted for building permits shall be 24 in. X 36 in.
13. SOILS REPORT: Two copies of a soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the Building Permit application. This report shall be prepared by a licensed civil engineer specializing in soils mechanics.
14. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
 - a. pad elevation
 - b. finish floor elevation
 - c. foundation corner locations
15. RESIDENTIAL TOWN ACCESSIBILITY STANDARDS: The residence shall be designed with adaptability features for single-family residence per Town Resolution 1994-61:
 - a. Wooden backing (no smaller than 2" x 2") shall be provided in all bathroom walls at water closets, showers and bathtubs, located at 34 inches from the floor to the center of the backing, suitable for the installation of grab bars.
 - b. All passage doors shall be at least 32 inches wide on accessible floors.
 - c. Primary entrance shall have a 36-inch wide door including, a 5-foot by 5-foot level landing no more than 1-inch out of plane with the immediate interior floor level, with an 18-inch clearance at interior strike edge.
 - d. Door buzzer, bell or chime shall be "hard" wired.
16. TITLE 24 ENERGY COMPLIANCE: California Title 24 Energy Compliance forms CE-1R and MF-1R shall be blue-lined on the construction plans.
17. PLANS: The construction plans for this project shall be prepared under direct supervision of a licensed architect or engineer. (Business and Professions Code Section 65339)
18. TOWN FIREPLACE STANDARDS: New fireplaces shall be EPA Phase II approved appliances per the Town Ordinance 1905. Tree limbs shall be cut within 10 feet of chimneys.
19. DEMOLITION PERMIT REQUIREMENTS: Contact Bay Area Quality Management District (495-771-6000) and complete their process as necessary before obtaining a demolition permit from the Town Building Department. No demolition work shall be done without first obtaining a demolition permit for the town.
20. SPECIAL INSPECTIONS: When a special inspection is required by UBC Section 1707, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Department for approval prior to issuance of the building permit, in accordance with UBC Section 106.3.6. Please obtain a Town Special Inspection form from the Building Department Service counter. The Town Special Inspection schedule shall be blue-lined on the construction plans.
21. NONPOINT SOURCE POLLUTION STANDARDS: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" x 36") is available at the Building Department service counter.
22. APPROVALS REQUIRED: The project requires the following agencies approval before issuing a building permit:
 - a. Santa Clara County Fire Department. 378-4010
 - b. Campbell Union School District. 378-3408Note: Obtain the School district form from the Town Building Department, after the Building Department has approved the building permit.

(Parks and Forestry Section)

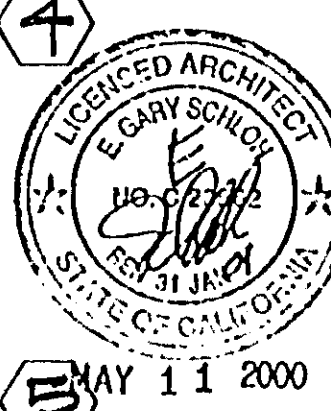
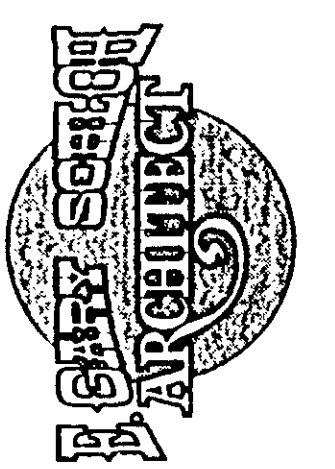
23. IRRIGATION. All newly planted landscaping shall be irrigated by an in-ground irrigation system. Special care shall be taken to avoid irrigation which will endanger existing native trees and vegetation.
24. GENERAL. All existing and newly planted trees shown on the plan are specific subjects of approval of this plan, and must remain on site.
25. NEW TREES. All newly planted trees are required to be double staked to Town standards.
26. TREE FENCING. Require tree protection fencing to be placed at the dripline of existing trees to be saved in the area of construction. Fencing shall be four foot high chain link attached to steel poles driven two feet into the ground when at the dripline of the tree. If the fence has to be within eight feet of the trunk of the tree a fence may be used, as in a typical chain link fence that is rented.
27. LANDSCAPE PLAN. The landscape plan (Exhibit B) shall be reviewed by the Parks Superintendent prior to the issuance of a building permit. The landscaping shall be installed prior to final occupancy.



UPSTAIRS

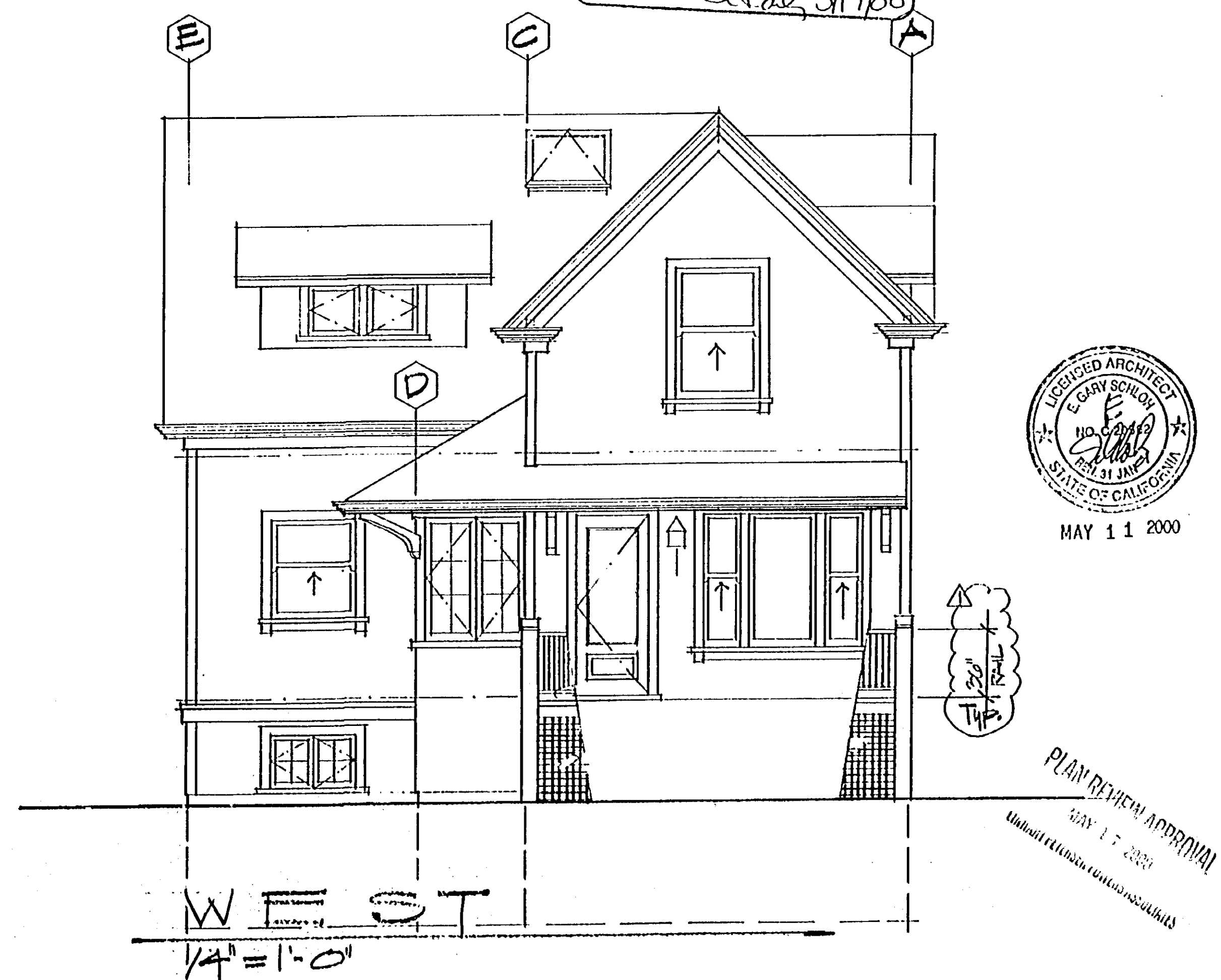
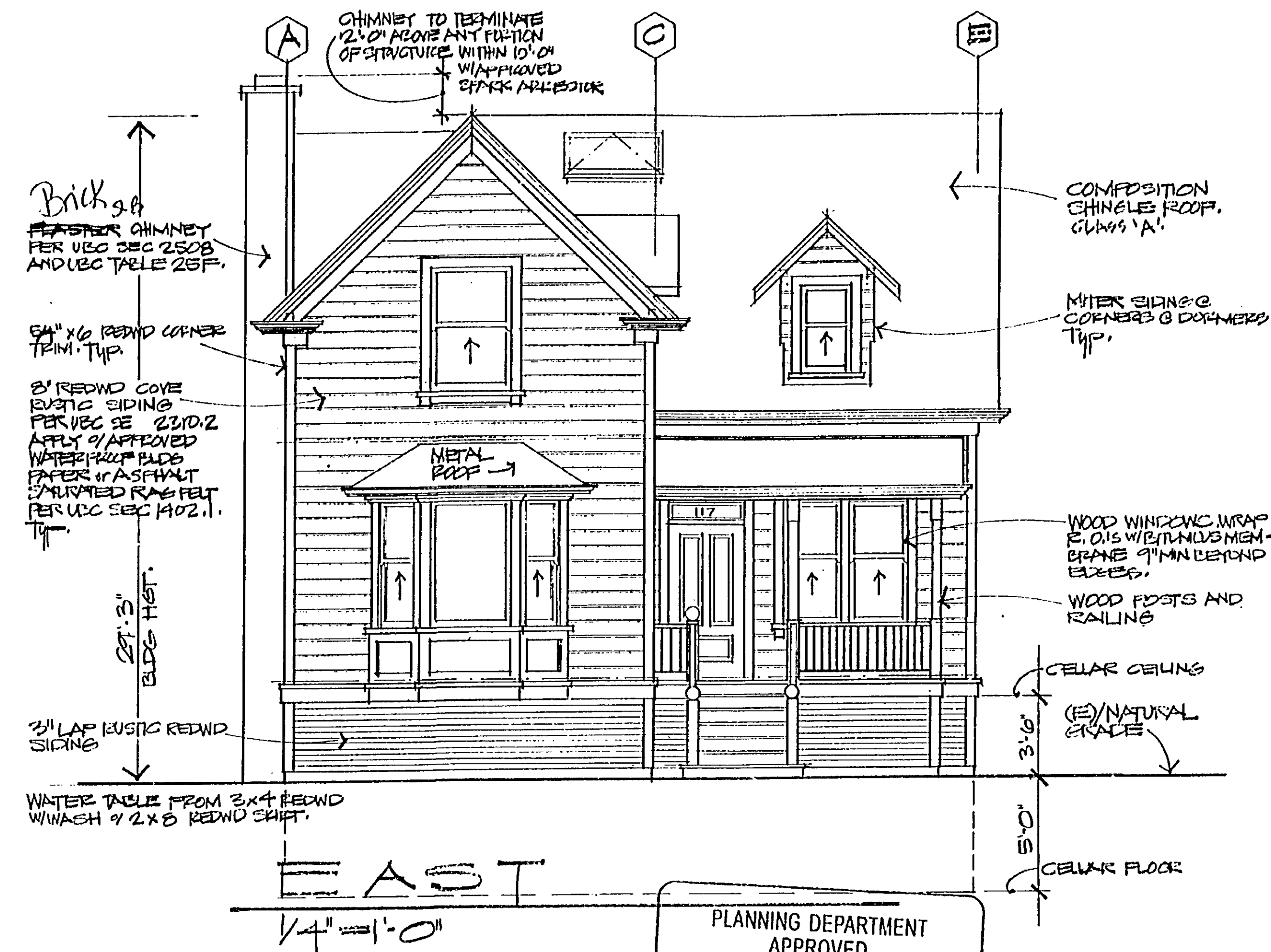
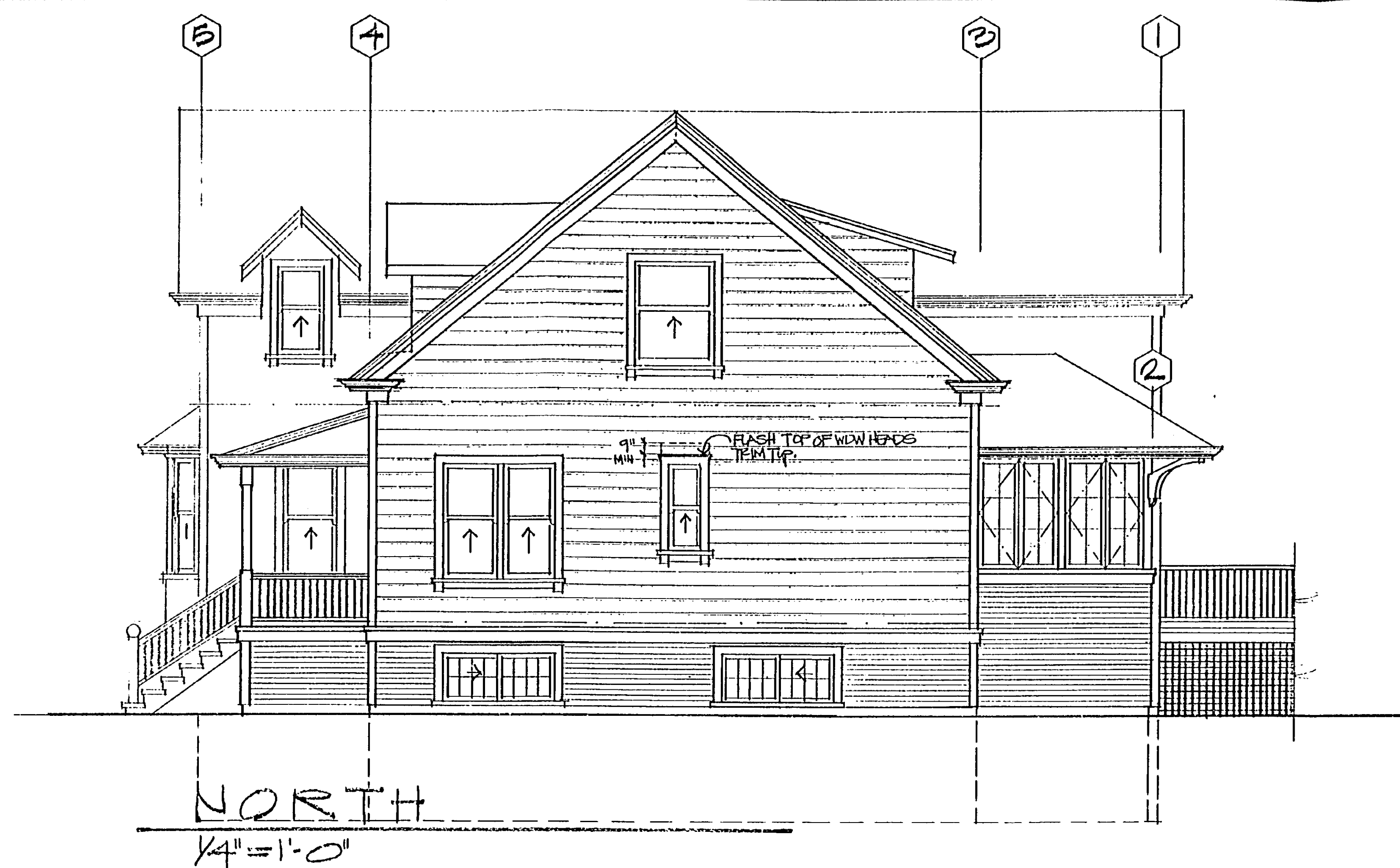
4" = 1'-0"

J. G. M. 100	
2/17/2000	
20 DEC 20	
PRINTING	
NO.	DATE
REASON	

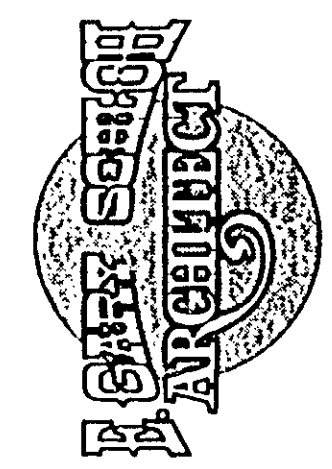


PLAN REVIEW APPROVAL
DATE 12/20/00
By [Signature]

THE HOUSE ON EDELEN	
117 EDELEN AV. LOS GATOS, CA	
DATE	
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CHECK	
JOB NO.	
SHEET	A-4

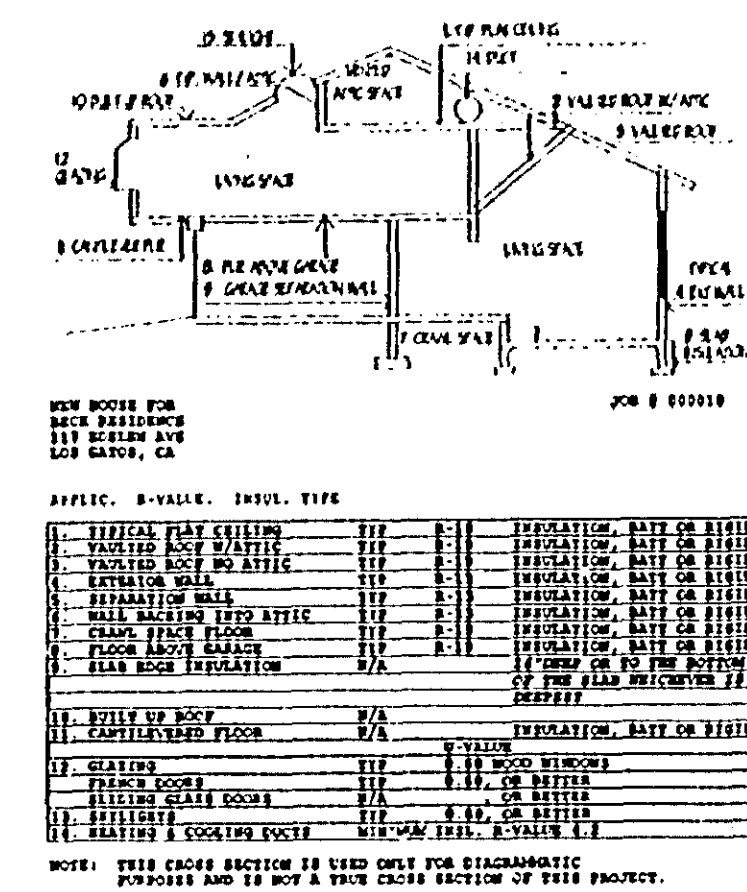


NO.	DATE	REVISION
1	10/10/00	
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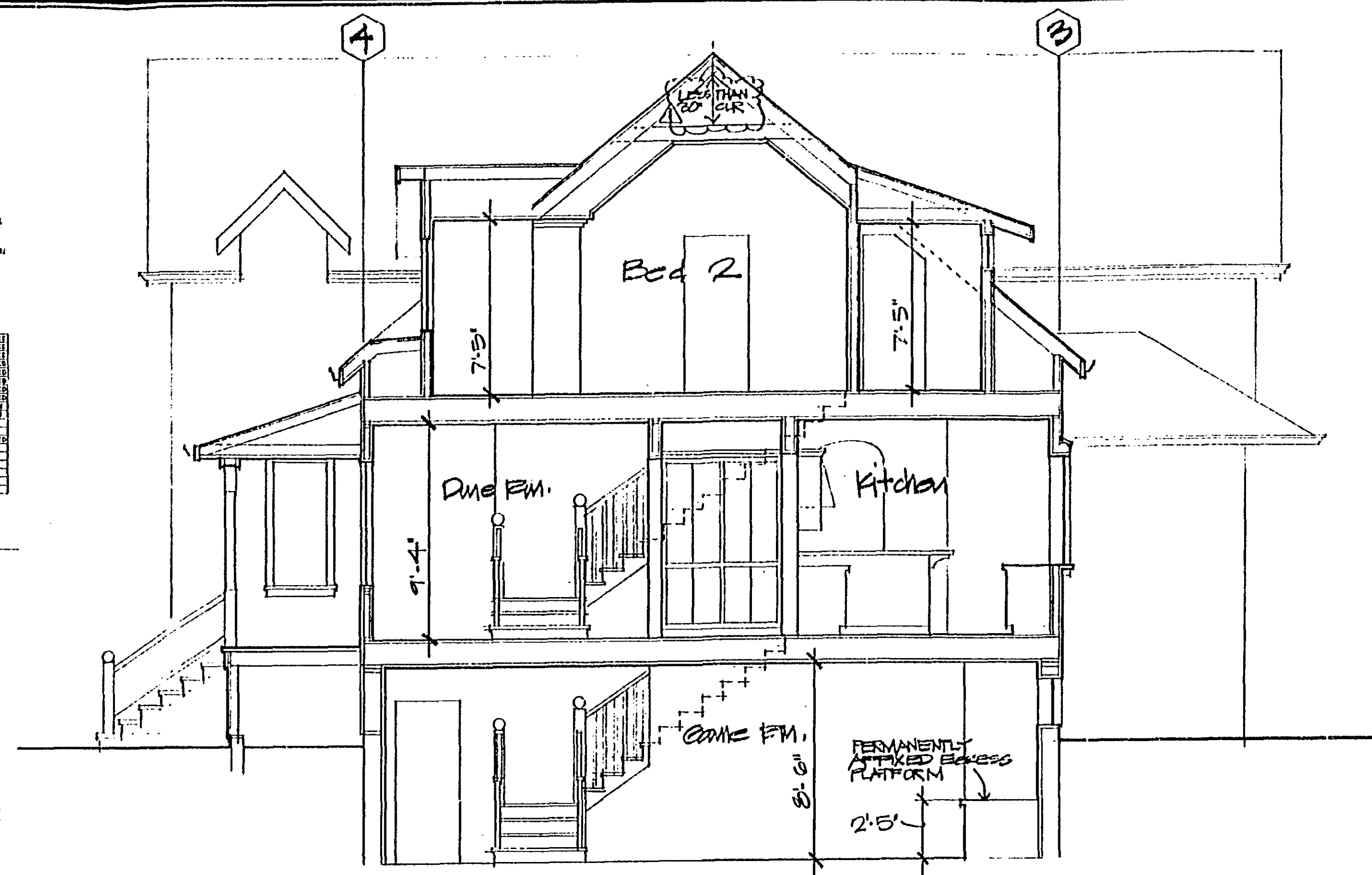
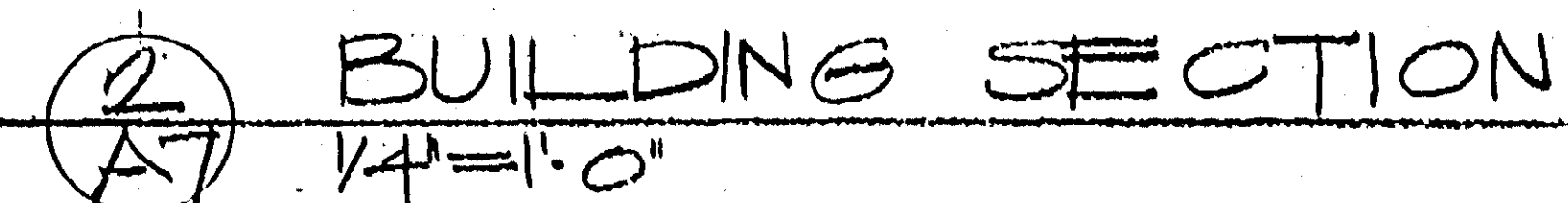


DATE	10/10/00
DRAWN	J. R. B.
CHECK	J. R. B.
JOB NO.	10/10/00
SHEET	A-0

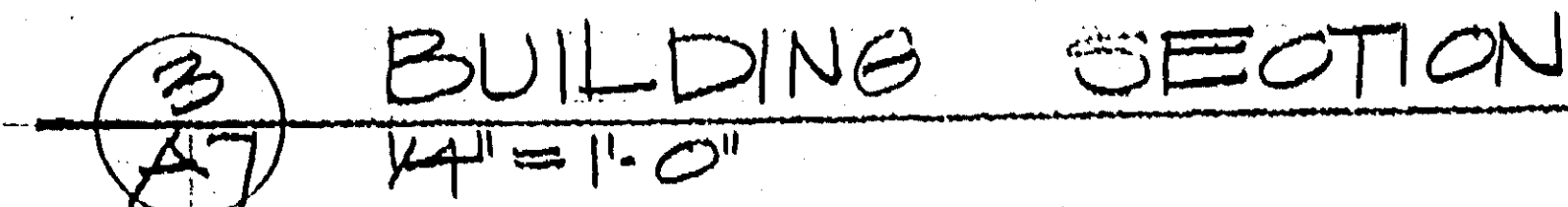
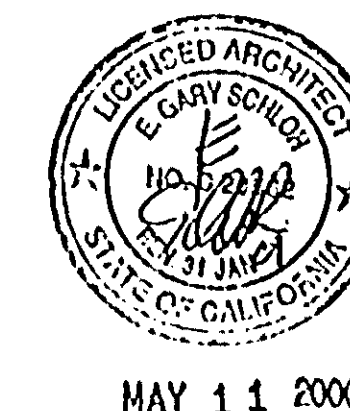
213 BEAN AVE. LOS ANGELES, CA 90030 408-354-4551



1 BUILDING SECTION
A7 1/4" = 1'-0"



4 BUILDING SECTION
A7 1/4" = 1'-0"

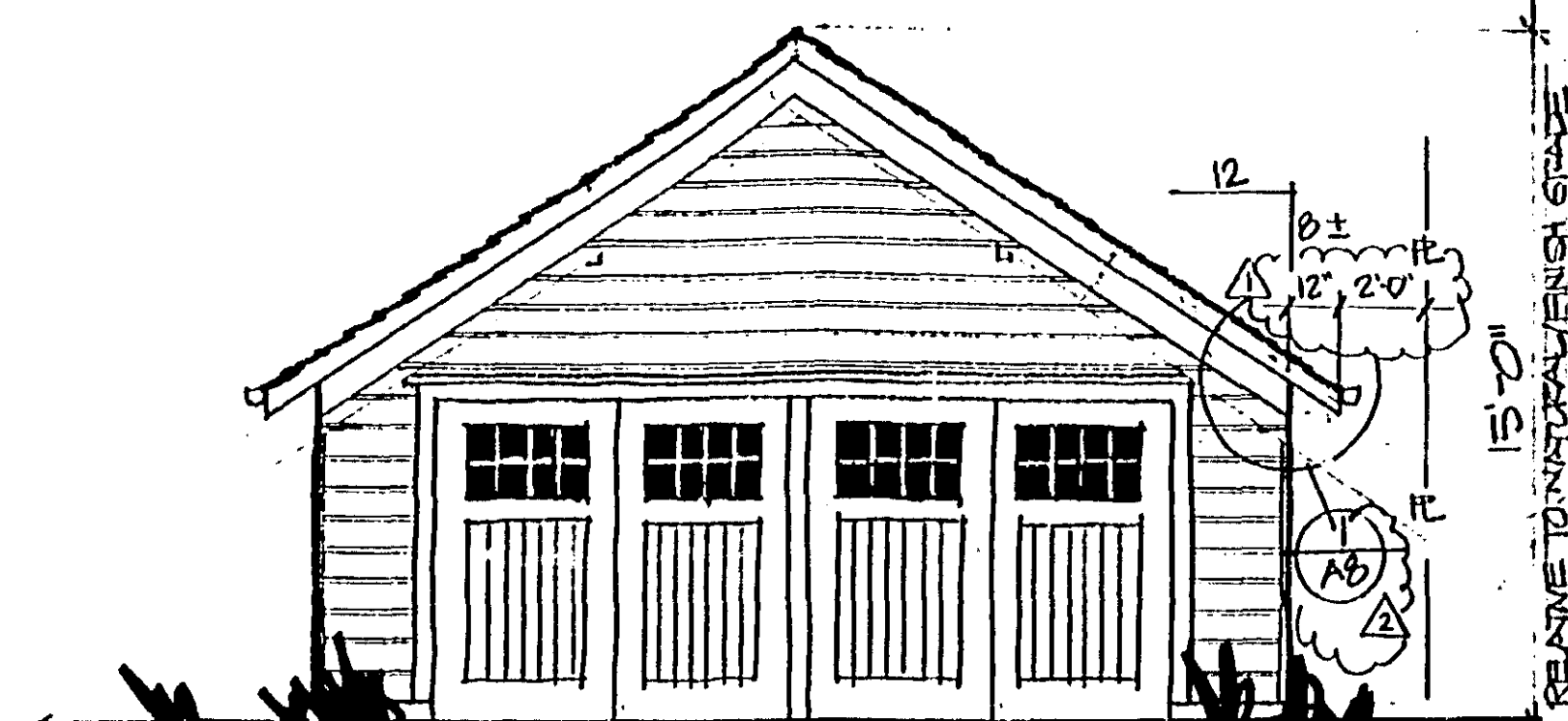
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MAY 11 2000

THE HOUSE OF EDELEN
117 EDELEN AV. LOS ANGELES CA

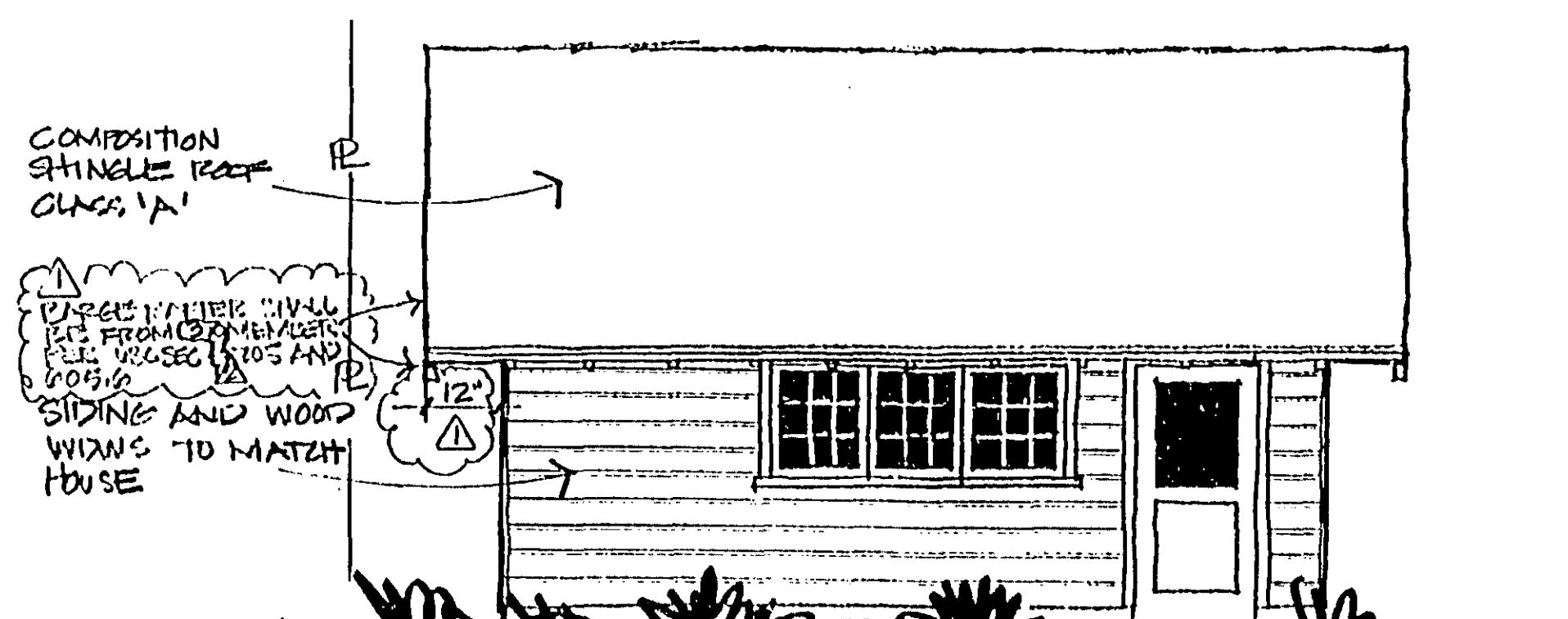
DATE _____
DRAWN _____
CHECK _____
JOB NO. _____
SHEET _____
OF **A-7**

DATE
DRAWN
CHECK
JOB NO.
SHEET
OF A-7



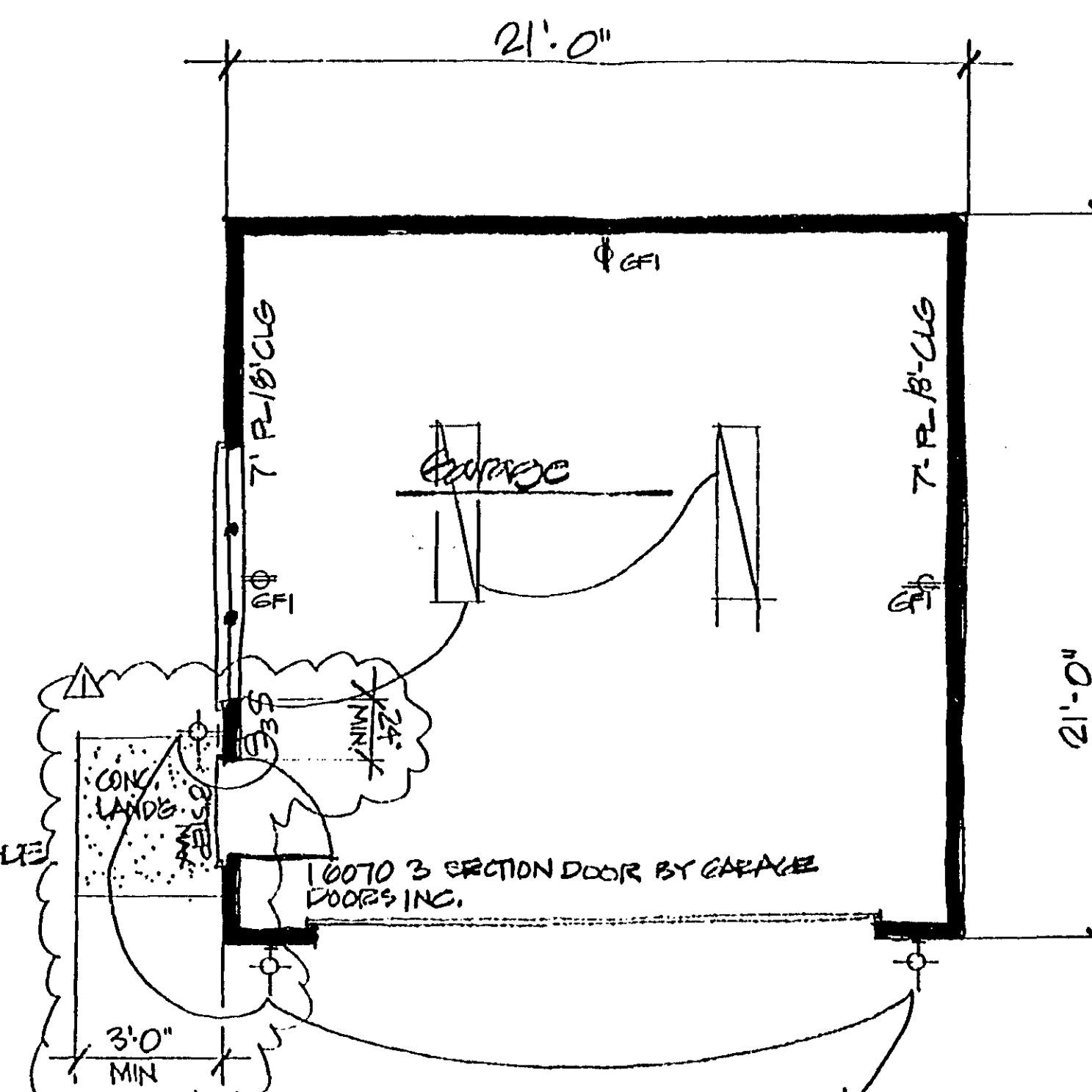
EAST 'B'

1/4" = 1'-0"



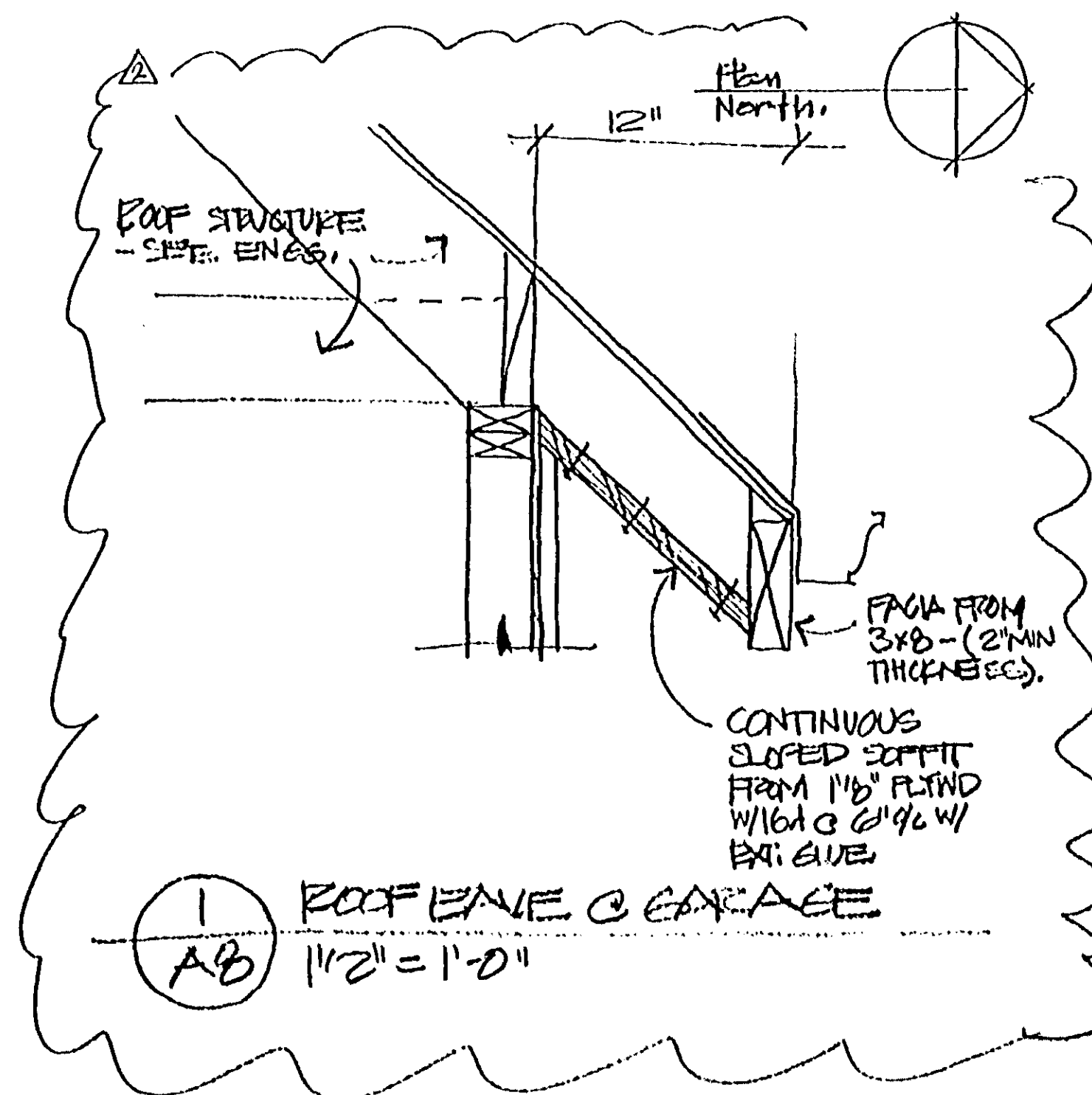
SOUTH 'B'

1/4" = 1'-0"



GARAGE PLAN

1/4" = 1'-0"

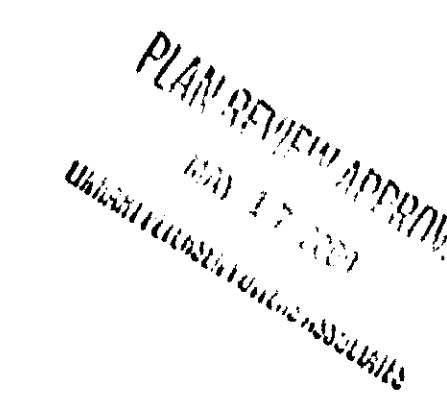
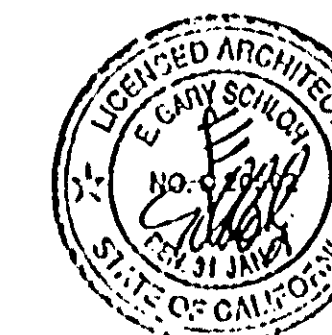


1 ROOF PLAN OF GARAGE

AB 1 1/2" = 1'-0"



SUB. 0, 5/19/00



10 MAY 00	11 MAY 00	12 MAY 00	13 MAY 00	14 MAY 00	15 MAY 00	16 MAY 00	17 MAY 00	18 MAY 00	19 MAY 00	20 MAY 00	21 MAY 00	22 MAY 00	23 MAY 00	24 MAY 00	25 MAY 00	26 MAY 00	27 MAY 00	28 MAY 00	29 MAY 00	30 MAY 00	31 MAY 00	1 JUN 00	2 JUN 00	3 JUN 00	4 JUN 00	5 JUN 00	6 JUN 00	7 JUN 00	8 JUN 00	9 JUN 00	10 JUN 00	11 JUN 00	12 JUN 00	13 JUN 00	14 JUN 00	15 JUN 00	16 JUN 00	17 JUN 00	18 JUN 00	19 JUN 00	20 JUN 00	21 JUN 00	22 JUN 00	23 JUN 00	24 JUN 00	25 JUN 00	26 JUN 00	27 JUN 00	28 JUN 00	29 JUN 00	30 JUN 00	1 JUL 00	2 JUL 00	3 JUL 00	4 JUL 00	5 JUL 00	6 JUL 00	7 JUL 00	8 JUL 00	9 JUL 00	10 JUL 00	11 JUL 00	12 JUL 00	13 JUL 00	14 JUL 00	15 JUL 00	16 JUL 00	17 JUL 00	18 JUL 00	19 JUL 00	20 JUL 00	21 JUL 00	22 JUL 00	23 JUL 00	24 JUL 00	25 JUL 00	26 JUL 00	27 JUL 00	28 JUL 00	29 JUL 00	30 JUL 00	31 JUL 00	1 AUG 00	2 AUG 00	3 AUG 00	4 AUG 00	5 AUG 00	6 AUG 00	7 AUG 00	8 AUG 00	9 AUG 00	10 AUG 00	11 AUG 00	12 AUG 00	13 AUG 00	14 AUG 00	15 AUG 00	16 AUG 00	17 AUG 00	18 AUG 00	19 AUG 00	20 AUG 00	21 AUG 00	22 AUG 00	23 AUG 00	24 AUG 00	25 AUG 00	26 AUG 00	27 AUG 00	28 AUG 00	29 AUG 00	30 AUG 00	31 AUG 00	1 SEP 00	2 SEP 00	3 SEP 00	4 SEP 00	5 SEP 00	6 SEP 00	7 SEP 00	8 SEP 00	9 SEP 00	10 SEP 00	11 SEP 00	12 SEP 00	13 SEP 00	14 SEP 00	15 SEP 00	16 SEP 00	17 SEP 00	18 SEP 00	19 SEP 00	20 SEP 00	21 SEP 00	22 SEP 00	23 SEP 00	24 SEP 00	25 SEP 00	26 SEP 00	27 SEP 00	28 SEP 00	29 SEP 00	30 SEP 00	31 SEP 00	1 OCT 00	2 OCT 00	3 OCT 00	4 OCT 00	5 OCT 00	6 OCT 00	7 OCT 00	8 OCT 00	9 OCT 00	10 OCT 00	11 OCT 00	12 OCT 00	13 OCT 00	14 OCT 00	15 OCT 00	16 OCT 00	17 OCT 00	18 OCT 00	19 OCT 00	20 OCT 00	21 OCT 00	22 OCT 00	23 OCT 00	24 OCT 00	25 OCT 00	26 OCT 00	27 OCT 00	28 OCT 00	29 OCT 00	30 OCT 00	31 OCT 00	1 NOV 00	2 NOV 00	3 NOV 00	4 NOV 00	5 NOV 00	6 NOV 00	7 NOV 00	8 NOV 00	9 NOV 00	10 NOV 00	11 NOV 00	12 NOV 00	13 NOV 00	14 NOV 00	15 NOV 00	16 NOV 00	17 NOV 00	18 NOV 00	19 NOV 00	20 NOV 00	21 NOV 00	22 NOV 00	23 NOV 00	24 NOV 00	25 NOV 00	26 NOV 00	27 NOV 00	28 NOV 00	29 NOV 00	30 NOV 00	31 NOV 00	1 DEC 00	2 DEC 00	3 DEC 00	4 DEC 00	5 DEC 00	6 DEC 00	7 DEC 00	8 DEC 00	9 DEC 00	10 DEC 00	11 DEC 00	12 DEC 00	13 DEC 00	14 DEC 00	15 DEC 00	16 DEC 00	17 DEC 00	18 DEC 00	19 DEC 00	20 DEC 00	21 DEC 00	22 DEC 00	23 DEC 00	24 DEC 00	25 DEC 00	26 DEC 00	27 DEC 00	28 DEC 00	29 DEC 00	30 DEC 00	31 DEC 00
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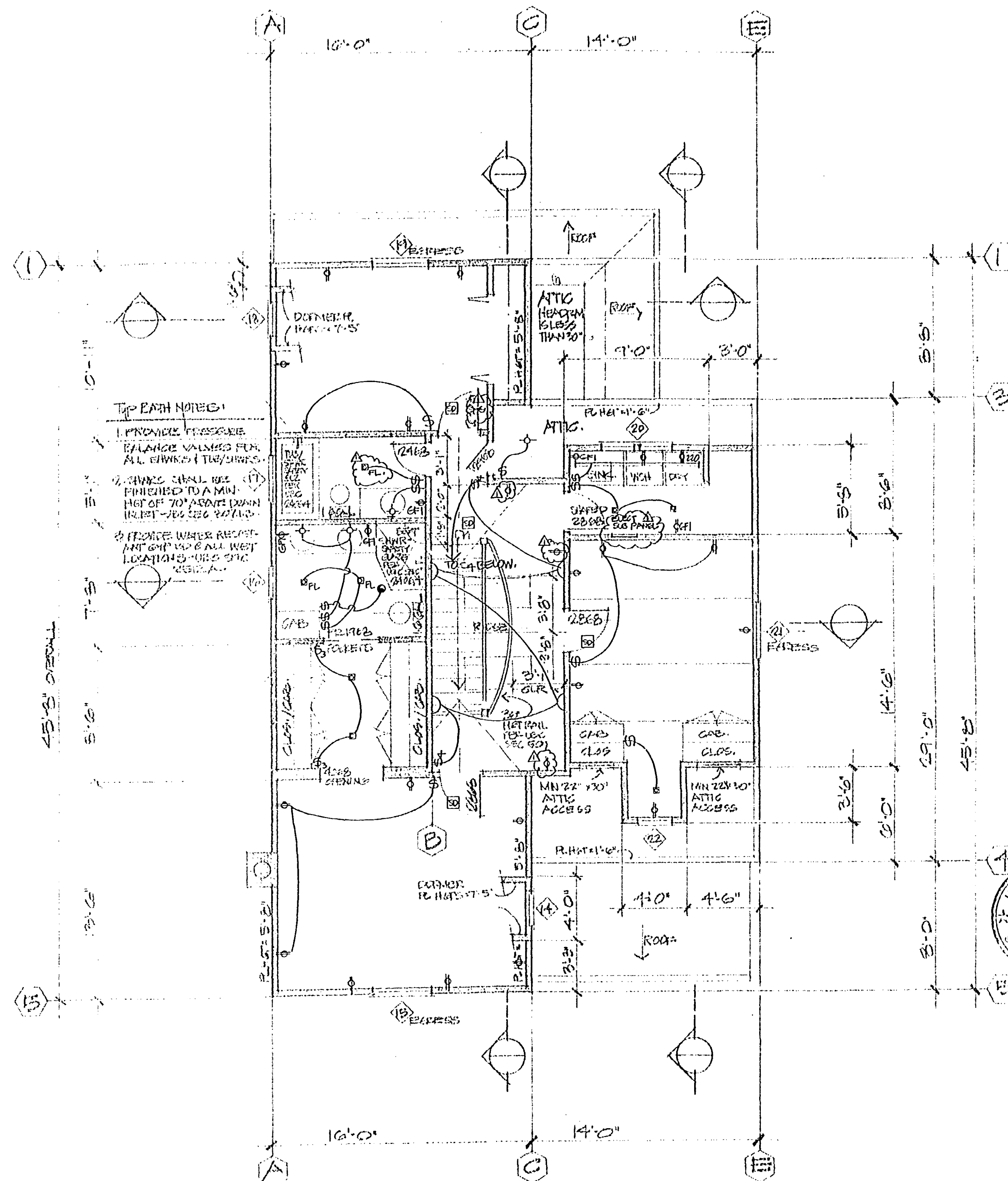


THE HOUSE ON EDELEN

117 EDELEN AVE LOS GATOS CA

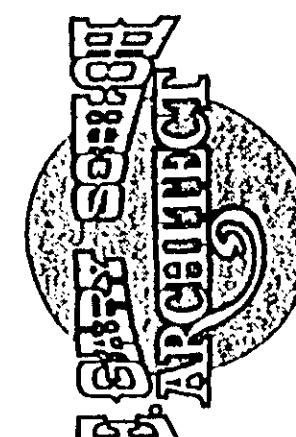
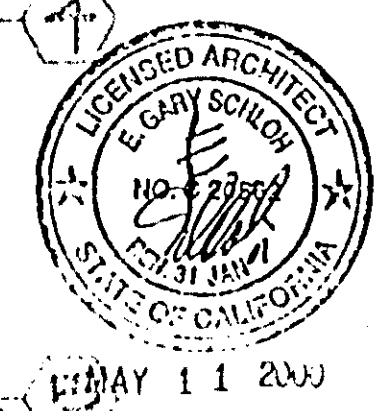
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JOB NO.	57X
SHEET	A-8
OF	

213 BEAN AVE. LOS GATOS, CA 95030 408-354-4571



UPSTAIRS ELECTRICAL
1/4"=1'-0"

PLAN REVIEW APPROVAL
3/17/2000
[Signature]

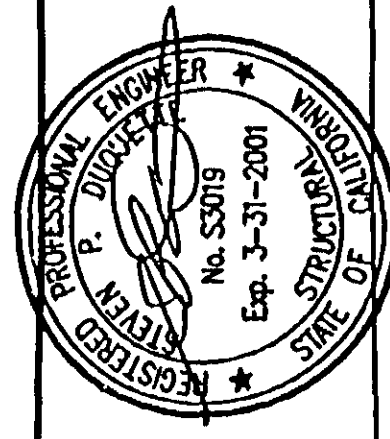
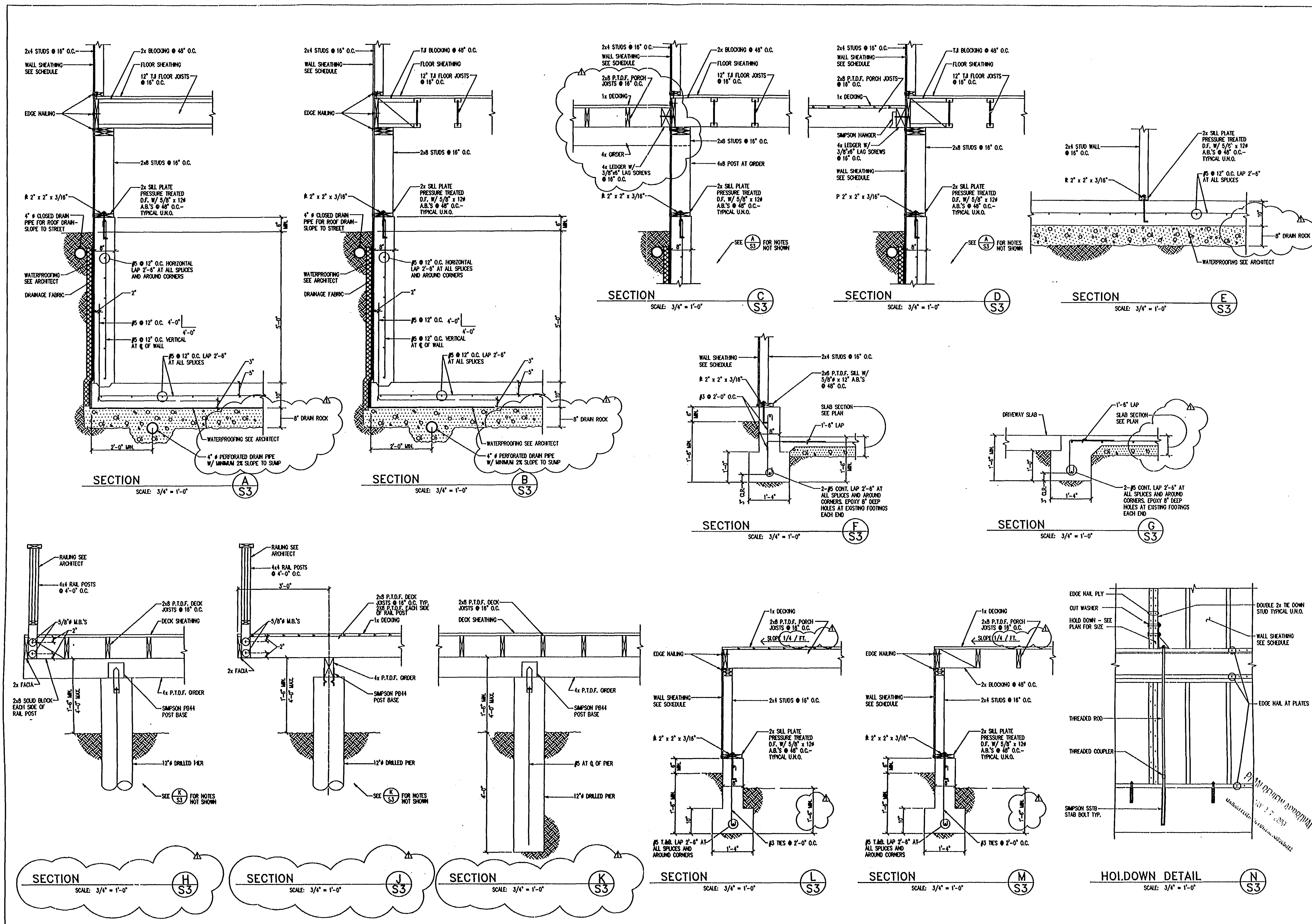


10 MAY 2000	DATE
27 MAY 2000	DATE
20 DEC 2000	DATE
PRINTED	DATE

NO.	DATE	REVISION

DATE	
DRAWN	
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SHEET	
E-3	

213 BEAN AVE. LOS ANGELES, CA 90030 408-354-4551



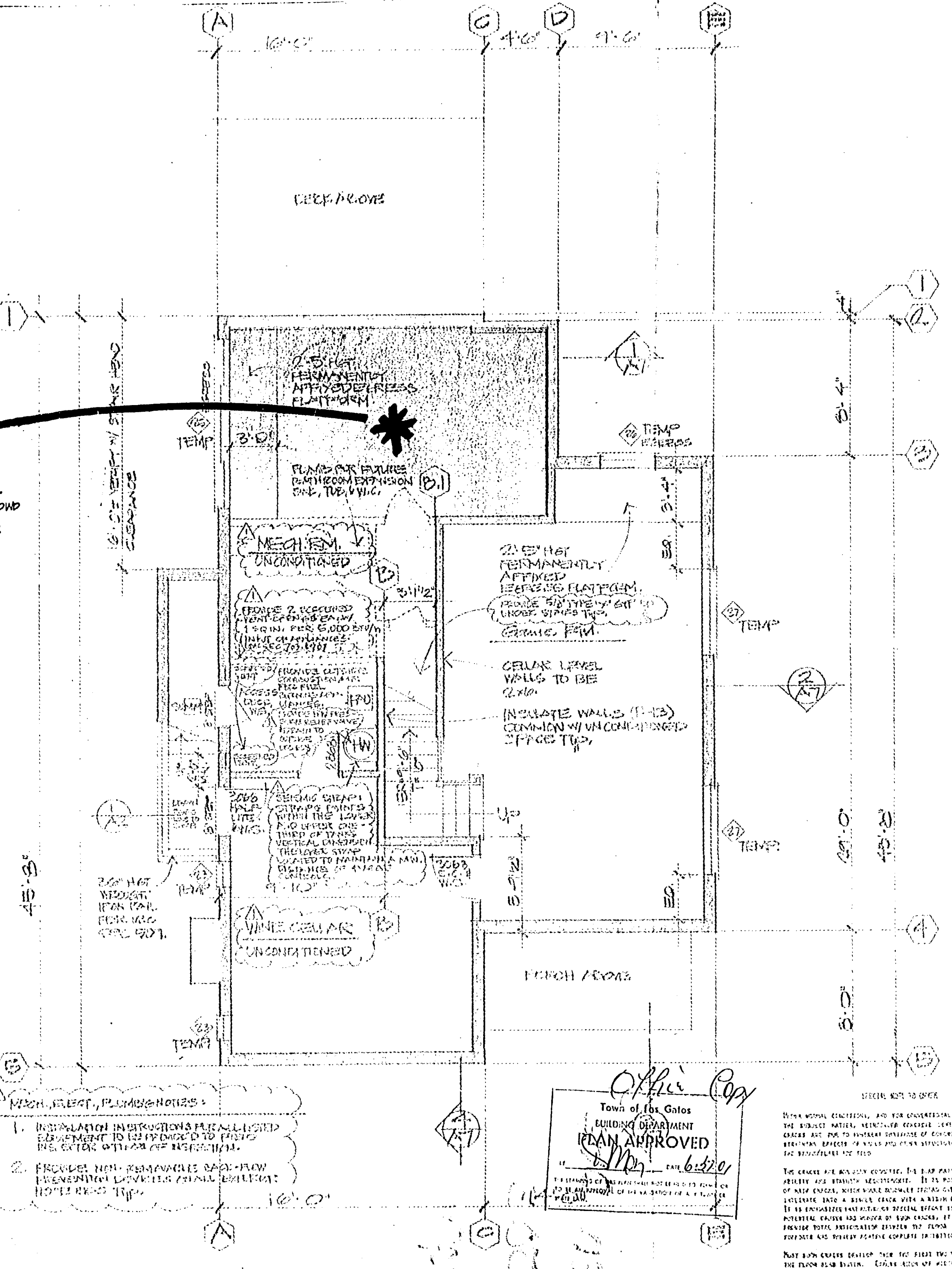
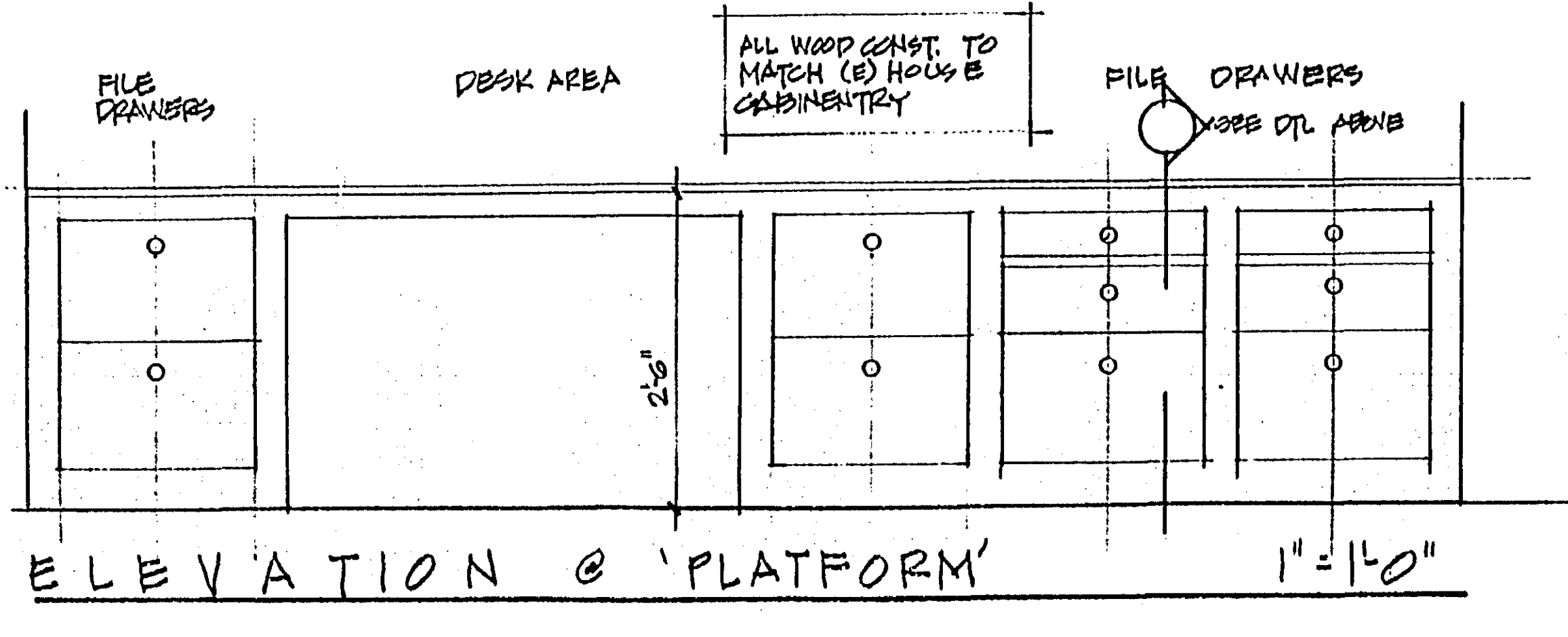
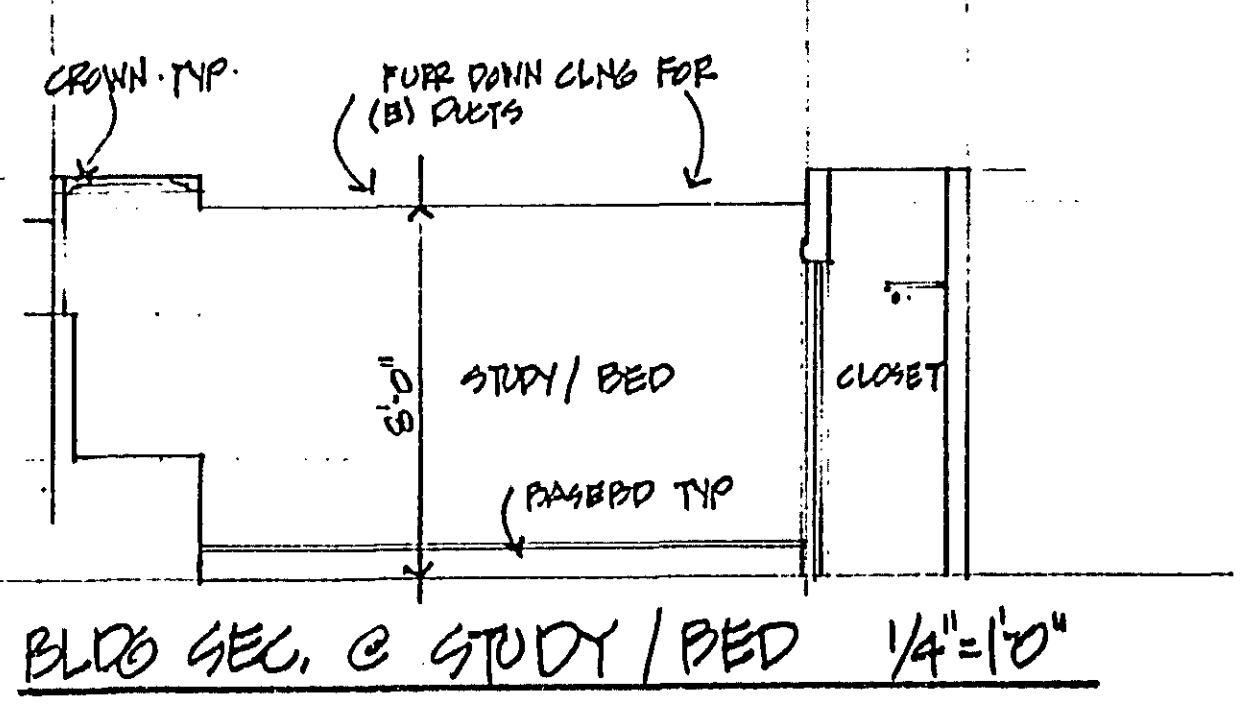
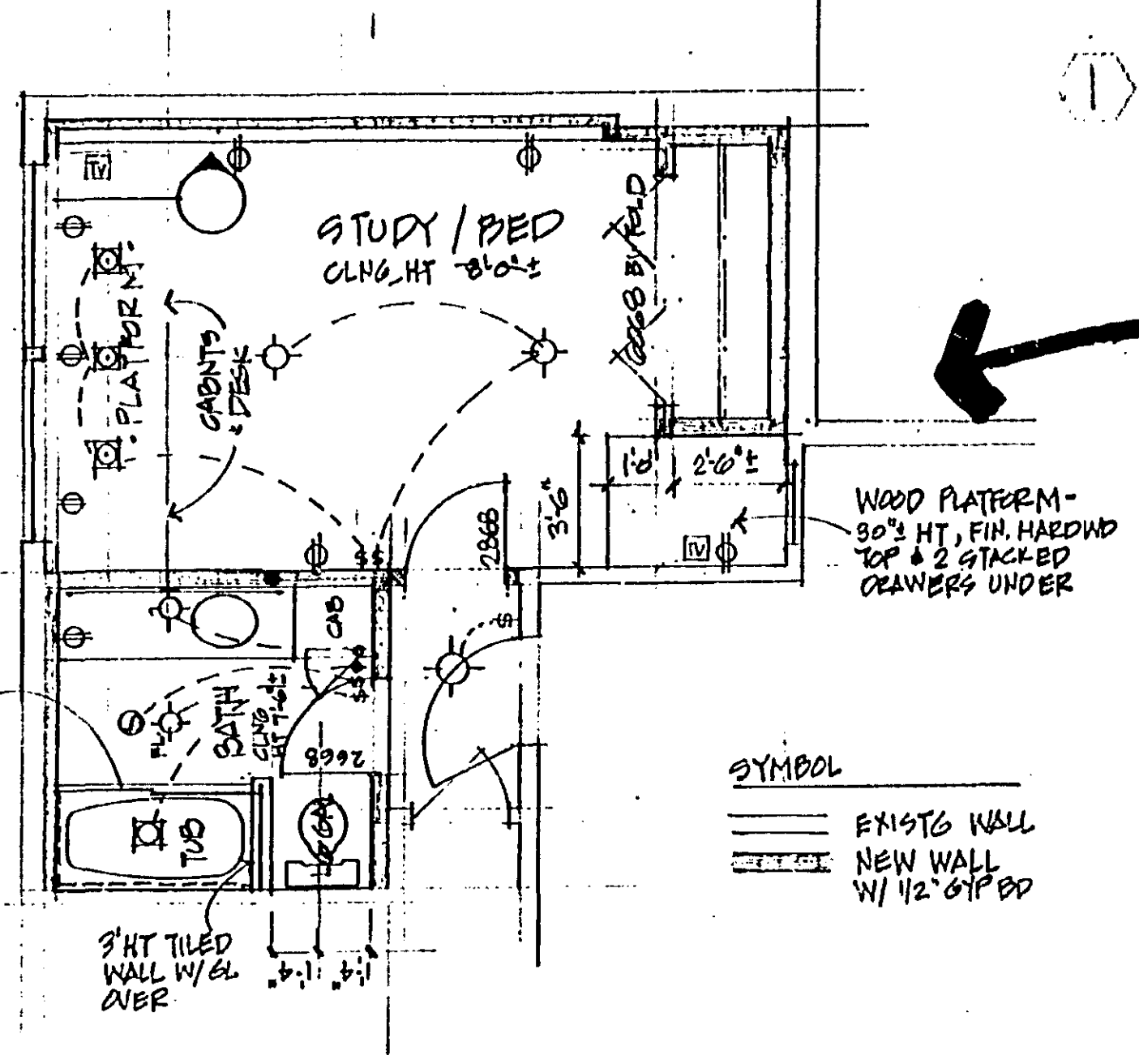
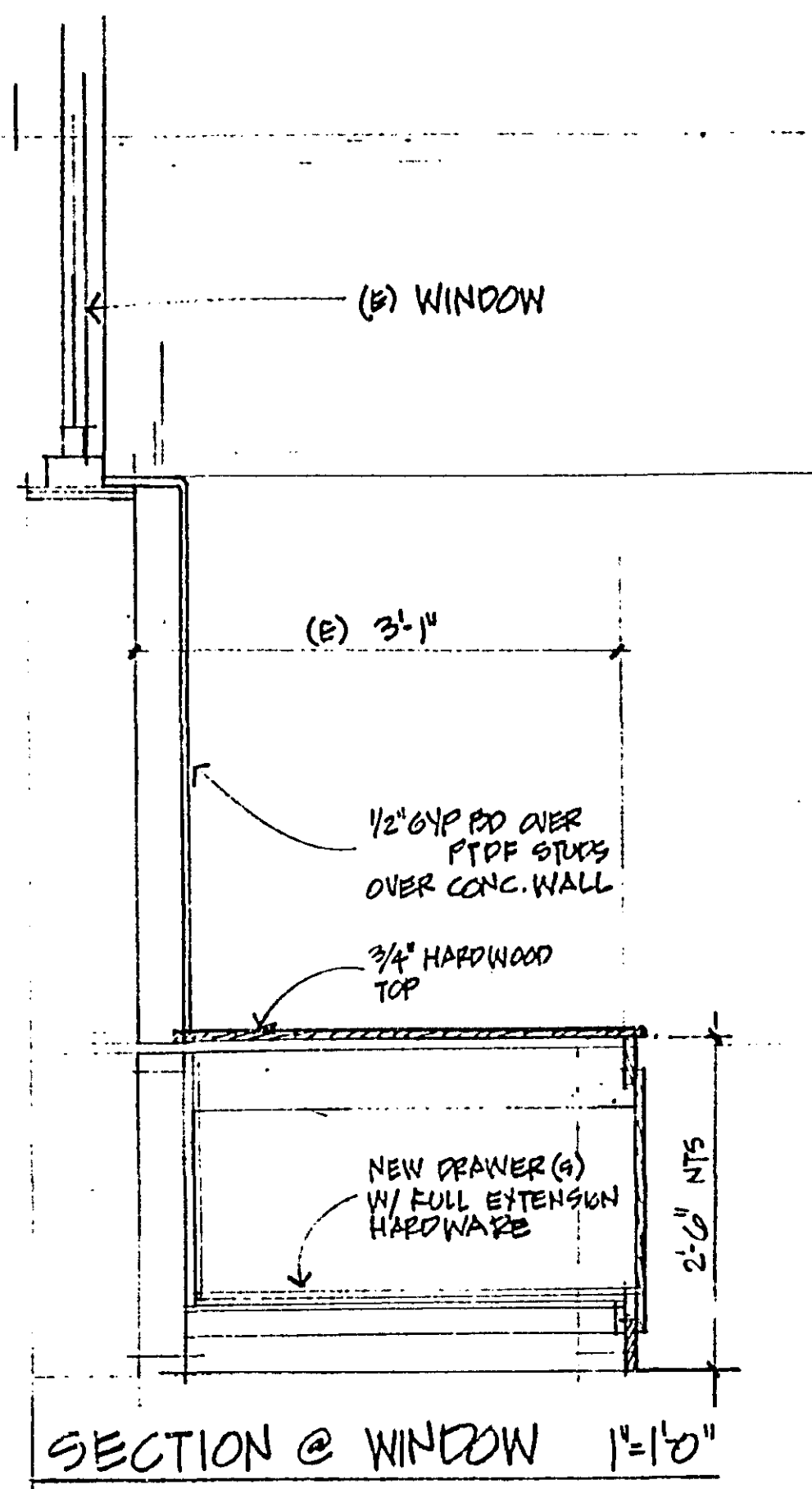
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1		REVISION FOR PUMP ORDER	SPD	
2		REVISION FOR PUMP ORDER	SPD	

ACQUIESA
A DIVISION OF HomeSAFE, L.P.
30 South 200 West, Suite 303
Salt Lake City, UT 84143
408-494-0944

The House on Edelen
117 Edelen Avenue
Los Gatos, California 95030

SHEET NUMBER
S-3
OF 4 SHEETS
JOB NUMBER
990146

INTERIOR IMPROVEMENT NOTE
ALL BUILDING MATERIALS FOR THIS PROJECT SHALL MATCH MATERIALS USED IN THE EXISTING HOUSE (TRIM, TEXTURES, PLUMBING + ELECTRICAL)



REFERENCE ONLY

PLANNING DEPARTMENT APPROVED
JUN 10 2001

12 JUN 01	
PRINTING	
NO.	DATE
REASON	



GRANUM RESIDENCE
INTERIOR IMPROVEMENT
LOS GATOS CA.
117 BOLEN AV.

DATE JUN 01
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CHECK
JOB NO. 6K
SHEET
OF 1

213 BEAN AVE. LOS GATOS, CA 95030 408-354-4551



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
Planning Division
(408) 354-6872 Fax: (408) 354-7593

Civic Center
110 E. Main Street
P.O. Box 919
Los Gatos, CA 95031

June 22, 2000

Joe and Colleen Kolling
1611 Cherry Avenue
San Jose, CA 95125

RE: 230 Forrester Road
Architecture and Site Application S-00-7

Requesting approval to construct a new single family residence on property zoned HR-2 1/2.
PROPERTY OWNER/APPLICANT: Joe and Colleen Kolling

At its meeting of June 14, the Town of Los Gatos Planning Commission approved the above application, subject to the attached conditions.

PLEASE NOTE: Pursuant to Section 29 20 275 of the Town Code, this approval may be appealed to the Town Council within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

This approval will expire two years from the date of the approval. Reasonable extensions of the time not exceeding one year may be granted upon application to and approval by the Planning Commission. Extensions can be granted only if approved by the Commission prior to the expiration of the approval. Therefore, it is recommended that applications for time extension be filed with the Planning Department at least sixty days prior to the expiration of the approval.

Enclosed you will find important information to assist you in completing your project. If you have any questions, please contact Gary Chao of this department at (408) 354-6879.

Sincerely,

Paul L. Curtis
Director of Community Development

PLC:mdc

Enclosures

cc: TS Civil, 50 N. First Street, Suite 101, San Jose, CA 95113
Building Department

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- shall be blue-lined on the construction plans.
14. TOWN FIREPLACE STANDARDS. New fireplaces shall be EPA Phase II approved appliances as per the Town Ordinance No. 1905. Tree limbs shall be cut within 10 feet of chimneys.
15. SPECIAL INSPECTIONS. When a special inspection is required by UBC Section 1701, the architect or engineer of record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permits. In accordance with UBC Section 106.3.5, Please obtain Town Special Inspection form from the Building Department Service Counter. The Town Special Inspection schedule shall be blue-lined on the construction plans.
16. NONPOINT SOURCE POLLUTION STANDARDS. The Town standard Santa Clara Valley Nonpoint Source pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (size 24" x 36") is available at the Building Department service counter.
17. APPROVALS REQUIRED: The project requires the following agencies approval before issuing a building permit.
a. West Valley Sanitation District: 378-2407
b. Santa Clara County Fire Department: 378-4010
c. SCHOOL DISTRICT: The School District's approval required for this project is:
i) Los Gatos School District: 395-5570
Note: Obtain the School District form(s) from the Town Building Department after the Building Department has approved the building permit.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

(Parks and Forestry Section)

18. TREE PLANTING. Four (4) - 24" box Oaks shall be planted. If the 9" Oak proposed to be transplanted does not survive, a 24" box Live Oak is required to be planted. If the 18" Oak proposed to be transplanted does not survive, a field grown Live Oak or a 6" box is required to be planted.
19. GENERAL. All newly planted trees and shrubs shown on the plan are specific subjects of approval of this plan, and must remain on site.
20. IRRIGATION SYSTEM. All newly planted landscaping shall be irrigated by an in-ground irrigation system. Special care shall be taken to avoid irrigation which will endanger existing native trees and vegetation.
21. DOUBLE STAKING. All newly planted trees are required to be double staked to Town standards.
22. TREE PROTECTION FENCING. Require tree protection fencing to be placed at the dripline of existing trees to be saved in the area of construction. Fencing shall be four high chain link attached to steel poles driven two feet into the ground when at the dripline of the tree. If the fence has to be within eight feet of the trunk of the tree a fence base may be used, as in a typical chain link fence that is rented.

(Engineering Section)

23. GRADING PERMIT. A grading permit is required for grading, drainage, bridge design & erosion control. A separate application for a grading permit (with grading plans) shall be made to the Engineering Division of the Parks & Public Works Department. The grading plans shall include final grading, drainage retaining wall location, driveway, utilities and interim erosion control. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit.
24. SOILS REPORT. One copy of the soils and geologic report shall be submitted with the grading permit application. The soils report shall include specific criteria and standards governing site grading, drainage, retaining wall design and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.

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INCORPORATED AUGUST 10, 1857



35. RESTORATION OF PUBLIC IMPROVEMENTS. The developer shall repair or replace all existing improvements not designated for removal that are damaged or removed because of developer's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvements to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
36. STREET RESURFACING. The half-street across the frontage of this site shall be repaved.
37. SANITARY SEWER LATERAL. Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used or reused. Install a sanitary sewer lateral clean-out at the property line.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

38. REQUIRED FIRE FLOW. Provide the required fire flow from fire hydrants spaced at a maximum of 500 feet OR, provide an approved fire sprinkler system designed per National Fire Protection Association (NFPA) Standard #13D and local ordinances, throughout all portions of the building. The fire sprinklers system supply valving shall be installed per Fire Department Standard Detail & Specifications W-1/SP-4.
39. FINAL REQUIRED FIRE FLOW. Required fire flow may be reduced up to 50% in buildings equipped with automatic fire sprinkler systems but, can be no less than 1000 GPM. Therefore, the final required fire flow is 1,000 GPM at 20 psi, residential pressure. This flow shall be available from any two fire hydrants on or near the site, so long as they are spaced at a maximum spacing of 250 feet.
40. REQUIRED ACCESS TO WATER SUPPLY. Portions of the structure(s) are greater than 150 feet of travel distance from the centerline of the roadway containing public fire hydrants. Provide an on-site fire hydrant OR provide an approved fire sprinkler system throughout all portions of the building.
41. BRIDGES (driveways). The bridge shall be designed for a live load of 40,000 pounds as stated in Fire Department Standard Details and Specifications D-1 and in accordance with Article 90 of the Fire Code.
42. PREMISE IDENTIFICATION. Approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the street or road fronting the property. Numbers shall contrast with their background.

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PLANNING DEPARTMENT

The following general information concerning your Planning Department/Planning Commission approval is provided to assist you in completing the work proposal.

1. Road and Understand ALL the conditions of approval and know what is required to satisfy each condition. ALL conditions of approval must be met prior to any building permits being issued and all required improvements shall be completed prior to final occupancy.
2. All new parking spaces must be double striped. Each double stripe shall consist of two (2) four-inch lines separated by an eighteen-inch space. A parking striping permit shall be obtained from the Building Department.
3. The maximum grade for handicap access ramps is 8.33% (1:12). Cross slope within handicapped stalls and landings shall not exceed 2%.
4. Any modification to your approved plans will require approval of the Town. The level of approval, including the need for a new public hearing, will depend on the significance of the modification.
5. After receiving your Planning Department or Planning Commission approval, you must apply for any applicable building or grading permits prior to the commencement of any work. Prior to filing for permits, you should contact each development division as appropriate (Building, Planning, Engineering Development, Fire or Environmental Services) to determine their specific plan requirements.
6. A certificate of use and occupancy is required from the Planning Department before issuance of a business license and/or occupancy of any new building or commencement of any activity when architecture and site approval or a conditional use permit is required. Occupancy clearance from the Building Department is not a certificate of use and occupancy.
7. If you find you cannot begin the work for which your approval was granted within the year approval time limit, you may apply for a time extension. The application for time extension must be filed in sufficient time for it to be considered by the Planning Commission before the approval expires. Tentative subdivision or parcel map approval time extensions must be filed at least 60 days before the approval expires.

5/11/15SCAPPROVAL

PLANNING COMMISSION MEETING

RECOMMENDED CONDITIONS OF APPROVAL

230 Forrester Road
Architecture and Site Application S-00-7

Requesting approval to construct a new single family residence on property zoned RIR-2 Y.
PROPERTY OWNER/APPLICANT: Joe and Colleen Kolling

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

(Planning Section)

1. EXPIRATION OF APPROVAL. The Architecture and Site application will expire two years from the date of approval unless the approval is used before expiration. Section 29 20 335 defines what constitutes the use of an approval granted under the Zoning Ordinance.
2. PRE-CONSTRUCTION SURVEY. Any construction work that occurs during the raptor nesting season (February to end of August) shall be preceded by a pre-construction survey for nesting raptors.
3. EXTERIOR COLOR. A deed restriction shall be obtained to limit the exterior color of the house to under the light reflectivity value of 30.

(Building Section)

4. PERMITS REQUIRED. A building permit application shall be required for the proposed structure. Separate Electrical/Mechanical/Plumbing permit shall be required as necessary.
5. CONSTRUCTION PLANS. The Conditions of Approval shall be stated in full on the cover sheet of construction plan submitted for building permit.
6. SIZE OF PLANS. The maximum size of construction plans submitted for building permits shall be 24 in. X 36 in.
7. PLANS. The construction plans for this project shall be prepared under direct supervision of a licensed architect or engineer. (Business and Professionals Code Section 5538)
8. SOILS REPORT. Two copies of a soils report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations shall be submitted with the Building Permit application. This report shall be prepared by a licensed civil engineer specializing in soils mechanics.
9. HOUSE ADDRESS. To request a house address contact Town of Los Gatos, Office of the Town Clerk at (408) 354-6834.
10. HAZARDOUS FIRE ZONE. This project requires a Class A roofing assembly.
11. FOUNDATION INSPECTIONS. A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project building inspector upon foundation inspection. This certificate shall certify compliance with the recommendations as specified in the soils report and the building pad elevation and on-site retaining wall locations and elevations are prepared according to approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer for the following items:
 - a. pad elevation
 - b. finish floor elevation
 - c. foundation corner locations
12. RESIDENTIAL TOWN ACCESSIBILITY STANDARDS. The residence shall be designed with adaptability features for single-family residence per Town Resolution No. 1994-01:
 - a. Wooden backing (no smaller than 2 in. X 8 in.) shall be provided in all bathroom walls at water closet, shower and bathtub locations, located at 34 in. From the floor to the center of the backing, suitable for the installation of grab bars.
 - b. All passage doors shall be at least 32 in. Wide on the accessible floor.
 - c. Primary entrance shall have a 30 in. Wide door including a 5 foot x 5 foot level landing no more than 1 in. Out of plane with the immediate interior floor level, with an 18 inch clearance on the strike side.
 - d. Door buzzer, bell or chime shall be "hard" wired.
13. TITLE 24 ENERGY COMPLIANCE. California Title 24 Energy Compliance forms CF-1R and MF-1R

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Page 1 of 4

25. TRAFFIC IMPACT MITIGATION FEE (RESIDENTIAL). The developer shall pay a proportional the project's share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the request of Certificate of Occupancy is made. The fee shall be paid before issuance of the Certificate of Occupancy. The traffic impact mitigation fee for this project using the current fee schedule is \$5,730. The final fee shall be calculated from the final plans using the rate schedule in effect at the time of the request for a Certificate of Occupancy.
26. FISH AND GAME REQUIREMENTS. A "1603" permit shall be obtained for the California Department of Fish and Game for proposed improvements in or near riparian areas within their jurisdiction. A copy of the permit shall be provided to the Parks & Public Works Department before any permits are issued.
27. GENERAL. All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk, and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
28. ENCROACHMENT PERMIT. All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security.
29. PUBLIC WORKS INSPECTIONS. The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting an work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.
30. GRADING MORATORIUM. No grading or earth-disturbing activities shall be initiated in hillside areas between October 1 and April 15 of each year. For grading operations commenced before October 1, all grading or earth-disturbing activities shall cease October 15 and will not be allowed to restart until April 15. Grading permits will not be issued between September 15 and April 15. These limitations include, but are not limited to these items: driveways, building pads, foundation trenches and drilled piers, retaining walls, swimming pools, tennis courts, outbuildings and utility trenches. Install interim erosion control measures, shown on the approved interim erosion control plan, by October 1, if final landscaping is not in place. Maintain the interim erosion control measures throughout the October 1 to April 15 period.
31. GRADING INSPECTIONS. The soils engineer or her/his qualified representative shall continuously inspect all grading operations. The soils engineer shall submit a final grading report before occupancy/Certificate of Completion.
32. SURVEYING CONTROLS. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 1. Retaining wall-top of wall elevations and locations
 2. Toe and top of cut and fill slopes
33. EROSION CONTROL (COMMERCIAL). Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks & Public Works Department. Grading activities shall be limited to the period of least rainfall (April 15 to October 1). A maximum of two weeks is allowed between a clearing of an area and stabilizing/building on an area if grading is allowed to go on during the rainy season. In addition, straw bales and plastic sheeting shall be stored on-site for emergency control, if needed. Install filter berms, check dams, retention basins, silt fences and straw bales as needed on the project site, to protect down stream water quality during winter months.
34. UTILITIES. The developer shall install all utility services, including telephone, electric power and all other communications lines underground, as required by Town Code §27.50.015(b). Cable television capability shall be provided to all new homes.

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