

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE., 11 • LOS GATOS, CA • 95030 • (408) 392-2555



The [REDACTED] Residence

A NEW RESIDENCE:
THE [REDACTED] RESIDENCE
 (FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

VICINITY MAP	PROJECT DIRECTORY	PROJECT DATA	SHEET INDEX																																																																																
	<p>ARCHITECT: KOHLSAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 395-2555</p> <p>SURVEYOR ENGINEER: HANNA-BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2173</p> <p>LANDSCAPE ARCHITECT: DAVID R. FOX & COMPANY 50 UNIVERSITY AVENUE, STE142 LOS GATOS, CA 95030 TEL: (408) 761-0212</p>	<p>PROJECT ADDRESS: * FORMERLY: 119 HARWOOD COURT LOS GATOS, CA 95032</p> <p>OWNER: [REDACTED]</p> <p>APN#: FORMERLY 527-56-027</p> <p>ZONING: HR-2½</p> <p>OCCUPANCY GROUP: R-3/U</p> <p>CONSTRUCTION TYPE: V-B SPRINKLERED</p> <p>AVERAGE SLOPE: 34.4 %</p> <table border="1"> <tr><td>GROSS SITE AREA:</td><td>29,556 SF</td><td>EXISTING</td><td>PROPOSED</td></tr> <tr><td>SITE AREA REDUCTION:</td><td>60%</td><td>RESIDENCES</td><td>0 1</td></tr> <tr><td>NET SITE AREA:</td><td>11,822 SF</td><td>PARKING (COVERED/UNCOV.)</td><td>3/5 3/1</td></tr> </table> <table border="1"> <tr><td>MAX. FLOOR AREA:</td><td>3,900 SF</td><td>EXISTING</td><td>PROPOSED</td></tr> <tr><td>EXTRA GARAGE FLOOR AREA:</td><td>400 SF</td><td>MAIN FLOOR (INCLUDES GARAGE)</td><td>1,346 SF</td></tr> <tr><td></td><td></td><td>SECOND FL. ACC. STR.</td><td>2,021 SF</td></tr> <tr><td></td><td></td><td>TOTAL FLOOR AREA</td><td>3,367 SF</td></tr> <tr><td></td><td></td><td>BASEMENT (GARAGE)</td><td>1,243 SF</td></tr> <tr><td></td><td></td><td>GARAGE FL. AREA (ABOVE GRADE, INCLUDED ABOVE)</td><td>122 SF</td></tr> <tr><td></td><td></td><td>BASEMENT (LIVING AREA)</td><td>961 SF</td></tr> <tr><td></td><td></td><td>BASEMENT (GARAGE)</td><td>912 SF</td></tr> </table> <table border="1"> <tr><td>SITE AREAS:</td><td>EXISTING</td><td>PROPOSED</td></tr> <tr><td>RESIDENCE FOOTPRINT</td><td>1,331 SF</td><td>3,433 SF</td></tr> <tr><td>COVERED PORCHES & PATIOS</td><td>0 SF</td><td>835 SF</td></tr> <tr><td>STRUCTURAL COVERAGE</td><td>1,331 SF</td><td>4,268 SF (14.4%)</td></tr> <tr><td>PATIOS, WALKS</td><td>147 SF</td><td>503 SF</td></tr> <tr><td>DRIVEWAY</td><td>3,013 SF</td><td>1,140 SF</td></tr> <tr><td>TOTAL IMPERVIOUS COVERAGE</td><td>4,691 SF</td><td>5,911 SF</td></tr> </table> <table border="1"> <tr><td>SETBACKS</td><td>FRONT</td><td>SIDE-EAST</td><td>SIDE-WEST</td><td>REAR</td></tr> <tr><td>ALLOWED</td><td>30'-0"</td><td>20'-0"</td><td>20'-0"</td><td>25'-0"</td></tr> <tr><td>PROPOSED</td><td>30'-0"</td><td>20'-2"</td><td>37'-4"</td><td>94'-1"</td></tr> </table> <p>* IN PROCESS FOR AN URBAN LOT SPLIT, ADDRESS TO BE DETERMINED. ULS24-002</p>	GROSS SITE AREA:	29,556 SF	EXISTING	PROPOSED	SITE AREA REDUCTION:	60%	RESIDENCES	0 1	NET SITE AREA:	11,822 SF	PARKING (COVERED/UNCOV.)	3/5 3/1	MAX. FLOOR AREA:	3,900 SF	EXISTING	PROPOSED	EXTRA GARAGE FLOOR AREA:	400 SF	MAIN FLOOR (INCLUDES GARAGE)	1,346 SF			SECOND FL. ACC. STR.	2,021 SF			TOTAL FLOOR AREA	3,367 SF			BASEMENT (GARAGE)	1,243 SF			GARAGE FL. AREA (ABOVE GRADE, INCLUDED ABOVE)	122 SF			BASEMENT (LIVING AREA)	961 SF			BASEMENT (GARAGE)	912 SF	SITE AREAS:	EXISTING	PROPOSED	RESIDENCE FOOTPRINT	1,331 SF	3,433 SF	COVERED PORCHES & PATIOS	0 SF	835 SF	STRUCTURAL COVERAGE	1,331 SF	4,268 SF (14.4%)	PATIOS, WALKS	147 SF	503 SF	DRIVEWAY	3,013 SF	1,140 SF	TOTAL IMPERVIOUS COVERAGE	4,691 SF	5,911 SF	SETBACKS	FRONT	SIDE-EAST	SIDE-WEST	REAR	ALLOWED	30'-0"	20'-0"	20'-0"	25'-0"	PROPOSED	30'-0"	20'-2"	37'-4"	94'-1"	<p>SHEET INDEX</p> <ul style="list-style-type: none"> A-1 COVER SHEET A-2 NEIGHBORHOOD PLAN A-3 VISIBILITY STUDY A-4 SITE PLAN 1 TOPOGRAPHY MAP L1.0 GRADING PLAN L1.1 GRADING SECTIONS L2.0 DRAINAGE PLAN & DETAILS L2.1 EROSION CONTROL & TREE PROTECTION L4.0 DETAILS L4.1 TREE PLAN L5.0 UTILITY PLAN L6.0 PRELIMINARY LANDSCAPE PLAN A-5 AS-BUILT/DEMO FLOOR PLANS A-6 AS-BUILT/DEMO ELEVATIONS A-7 PROPOSED MAIN FLOOR PLAN A-8 PROPOSED UPPER FLOOR PLAN A-9 PROPOSED ROOF PLAN A-10 FRONT & LEFT ELEVATIONS A-11 REAR & RIGHT ELEVATIONS A-12 CROSS SECTIONS A-13 CROSS SECTIONS
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	<p>SCOPE OF WORK</p> <p>A TECHNICAL DEMO OF AN EXISTING ACCESSORY STRUCTURE AND ATTACHED GARAGE, WHICH IS BEING CONVERTED INTO A A NEW 3,133 SF SINGLE FAMILY RESIDENCE. AN SB9 APPLICATION TO CREATE THIS LOT WAS APPROVED BY PLANNING, ULS24-002; FINAL MAP IS PENDING.</p>																																																																																		

COVER SHEET

DATE: 07/03/24

SCALE: AS SHOWN

SHEET

A-1



119 Harwood Court
(HEIGHT APPROX. 29 FEET.)



118 Harwood Court
(HEIGHT APPROX. 27 FEET.)



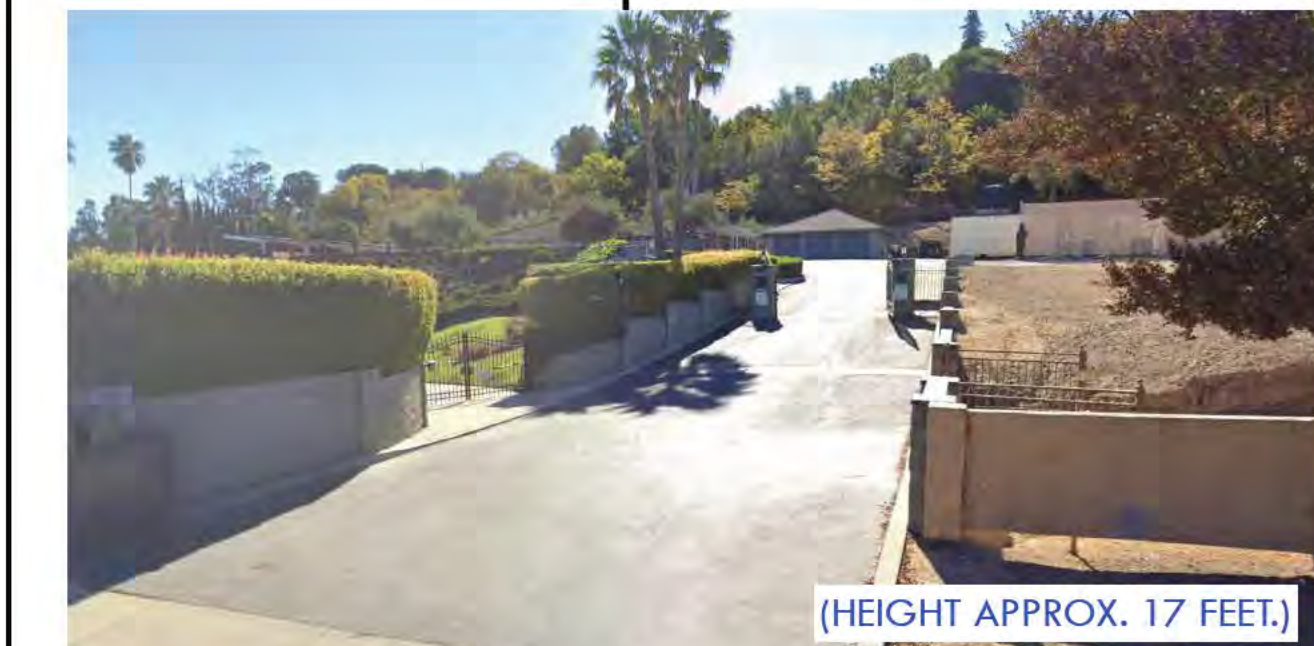
Existing Structure



PROPOSED RESIDENCE



115 Harwood Court
(HEIGHT APPROX. 28 FEET.)



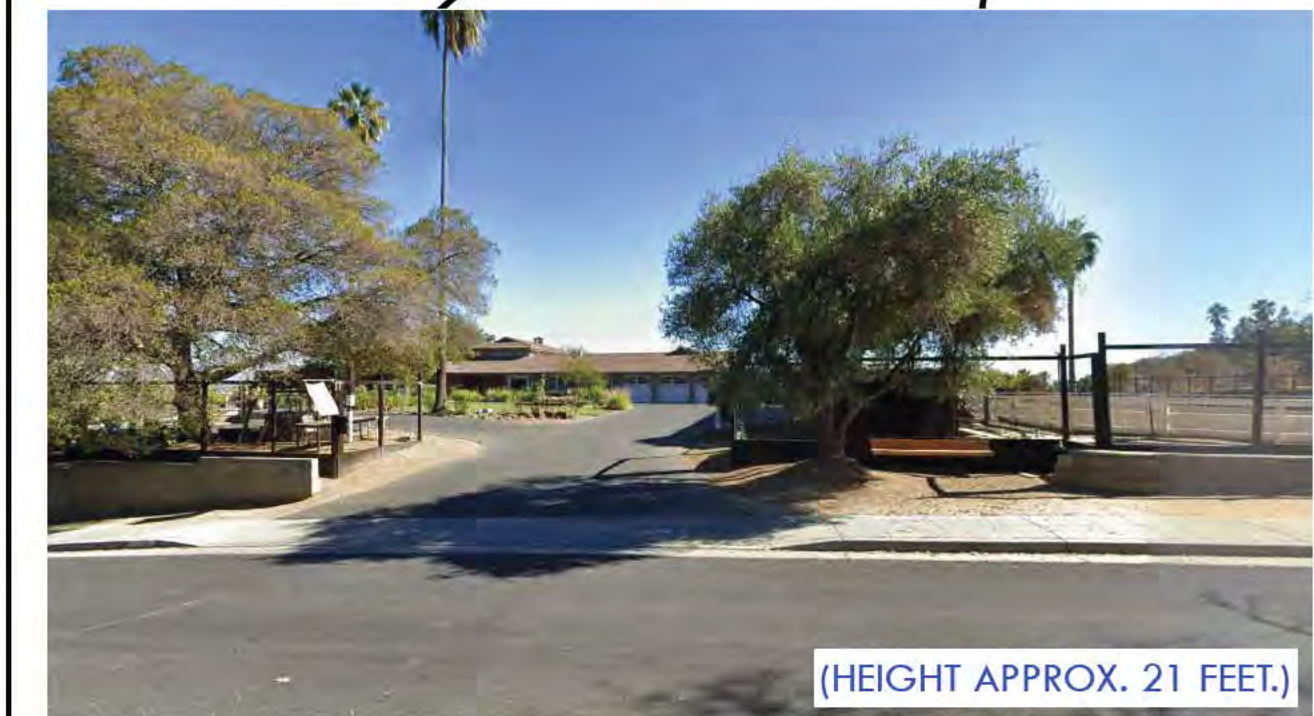
125 Alerche Drive
(HEIGHT APPROX. 17 FEET.)



16641 Harwood Road
(HEIGHT APPROX. 24 FEET.)



16621 Harwood Road
(HEIGHT APPROX. 30 FEET.)



16494 Harwood Road
(HEIGHT APPROX. 21 FEET.)



16611 Harwood Road
(HEIGHT OVER 30 FEET.)

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

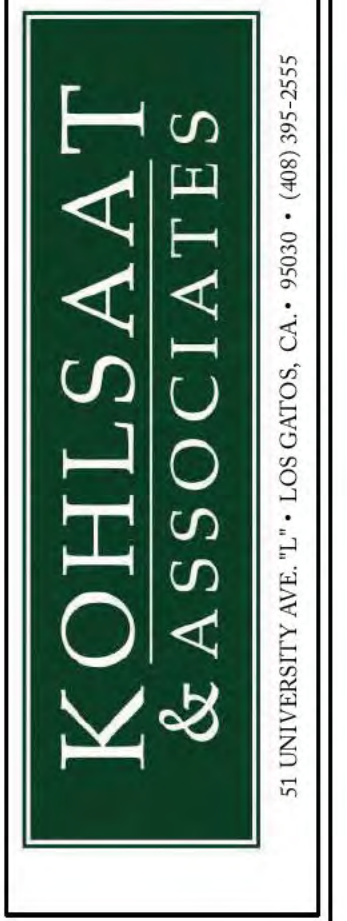
KOHLSAAT & ASSOCIATES
51 UNIVERSITY AVE., 11th FLOOR, LOS GATOS, CA 95030 • (408) 396-2555

A NEW RESIDENCE:
THE RESIDENCE
(FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

NEIGHBORHOOD PLAN
DATE: 07/03/24
SCALE: AS SHOWN
SHEET
A-2

NEIGHBORHOOD PLAN
SCALE: 1" = 40'

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

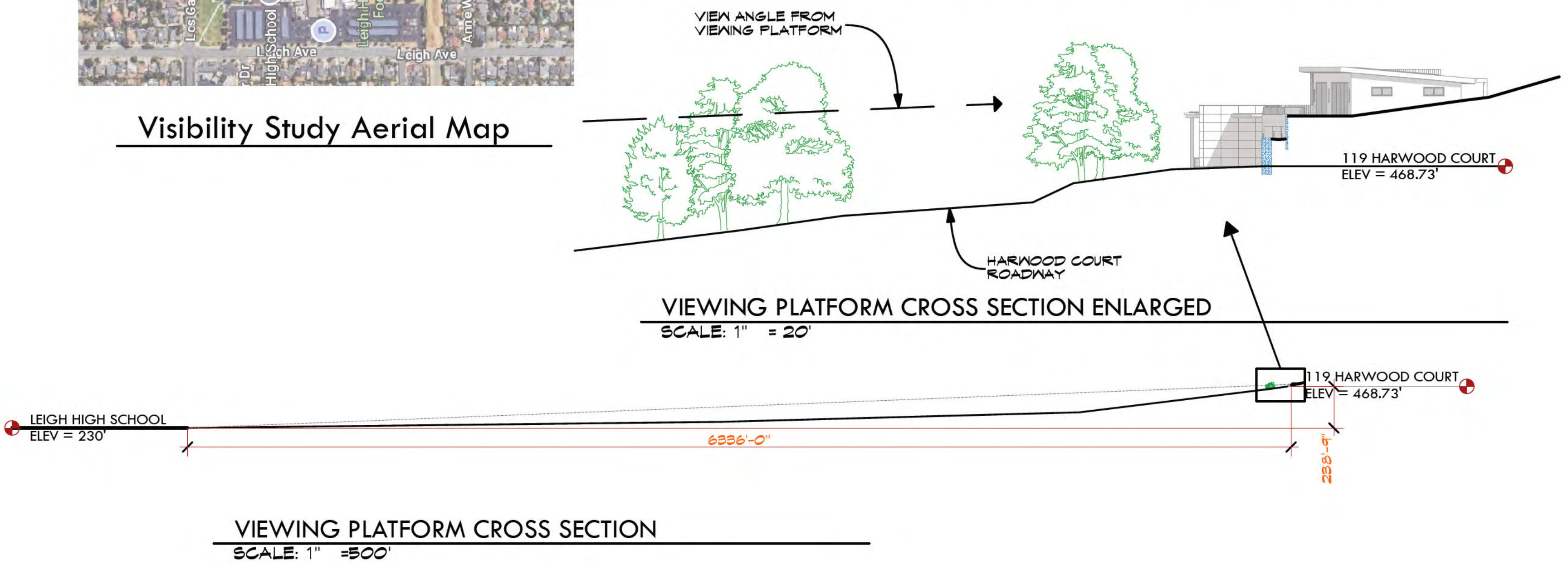


A NEW RESIDENCE:
THE RESIDENCE
(FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

VISIBILITY STUDY
DATE: 07/03/24
SCALE: AS SHOWN
SHEET
A-3



Visibility Study Aerial Map



VIEW FROM SITE ABOVE & BEHIND HOUSE TO SELINDA & LOS GATOS ALMADEN ROAD

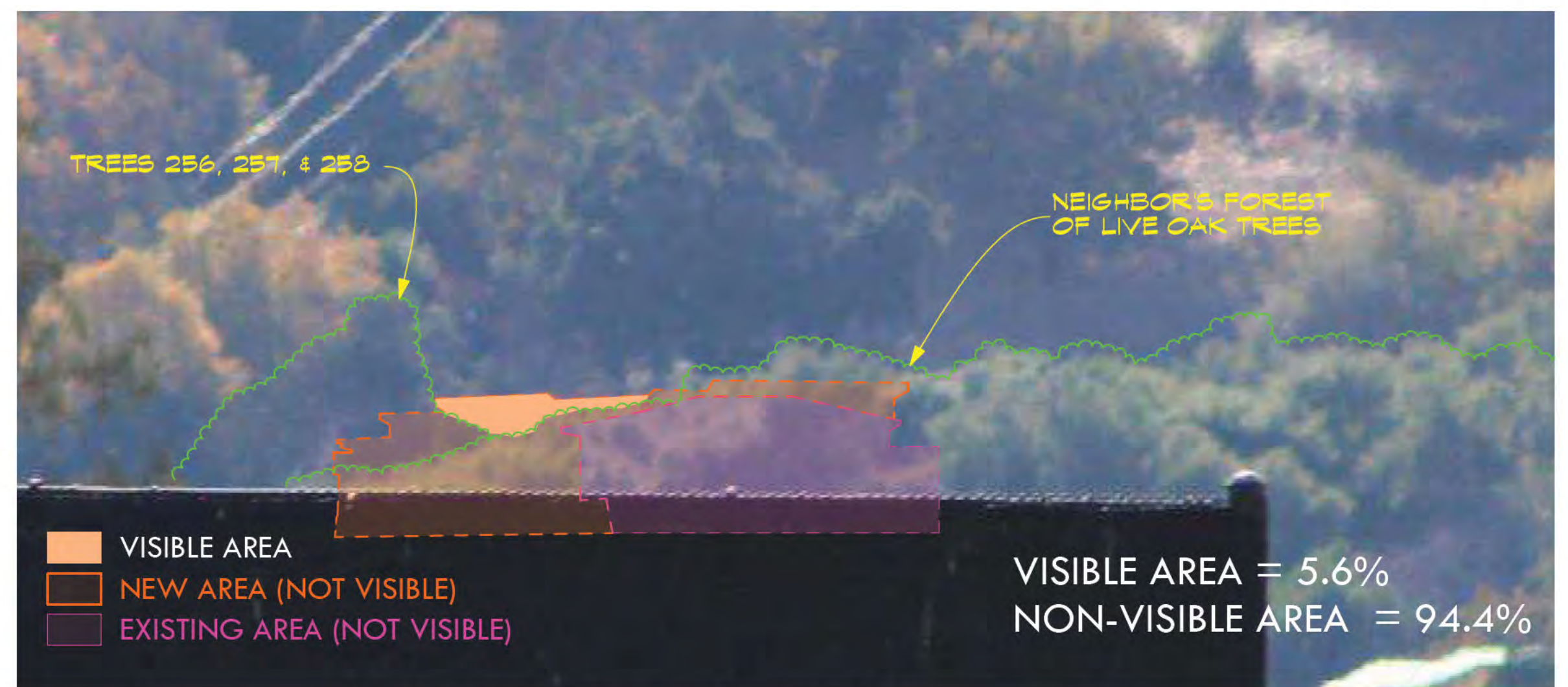


VIEW FROM VIEWING PLATFORM TO SITE-ENLARGED

LEIGH HIGH SCHOOL SCORE BOARD DOES NOT VISIBILITY STUDY, TREES BEYOND BLOCK ANY POSSIBLE VIEW OF LOWER PORTION OF HOUSE



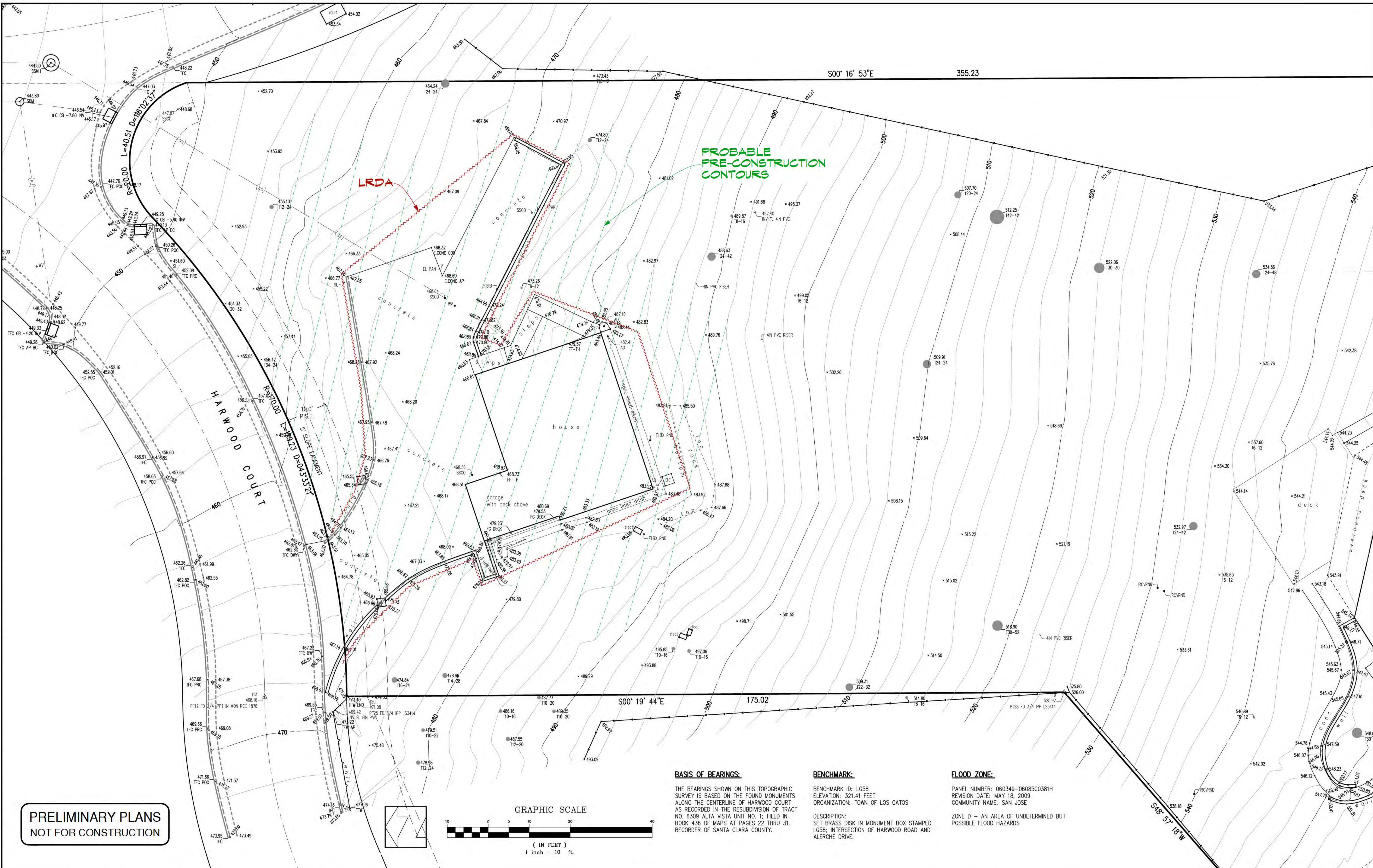
VIEW FROM VIEWING PLATFORM TO SITE



VIEW FROM VIEWING PLATFORM TO SITE-ENLARGED

VISIBILITY STUDY

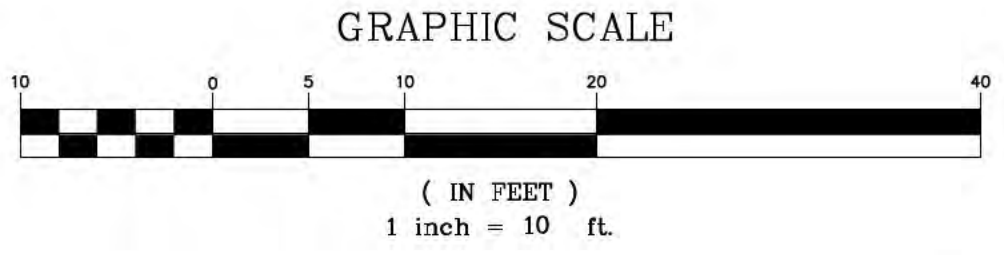
THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS IN THE ENGINEER WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS.



PROBABLE
PRE-CONSTRUCTION
CONTOURS

LRDA

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



BASIS OF BEARINGS:

THE BEARINGS SHOWN ON THIS TOPOGRAPHIC SURVEY IS BASED ON THE FOUND MONUMENTS ALONG THE CENTERLINE OF HARWOOD COURT AS RECORDED IN THE RESUBDIVISION OF TRACT NO. 6309 ALTA VISTA UNIT NO. 1; FILED IN BOOK 436 OF MAPS AT PAGES 22 THRU 31. RECORDER OF SANTA CLARA COUNTY.

BENCHMARK:

BENCHMARK ID: LG58
ELEVATION: 321.41 FEET
ORGANIZATION: TOWN OF LOS GATOS

DESCRIPTION:
SET BRASS DISK IN MONUMENT BOX STAMPED LG58; INTERSECTION OF HARWOOD ROAD AND ALERGHE DRIVE.

FLOOD ZONE:

PANEL NUMBER: 060349-060850381H
REVISION DATE: MAY 18, 2009
COMMUNITY NAME: SAN JOSE

ZONE D - AN AREA OF UNDETERMINED BUT POSSIBLE FLOOD HAZARDS

REVISIONS:		
DATE	DESCRIPTION	BY:

HANNA-BRUNETTI
EST. 1985
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGGLEBERRY STREET - GILROY - 95020 - CALIFORNIA
OFFICE (408) 842-2173 - FAX (408) 842-3682
EMAIL: ENGINEERING@HANNABRUNETTI.COM

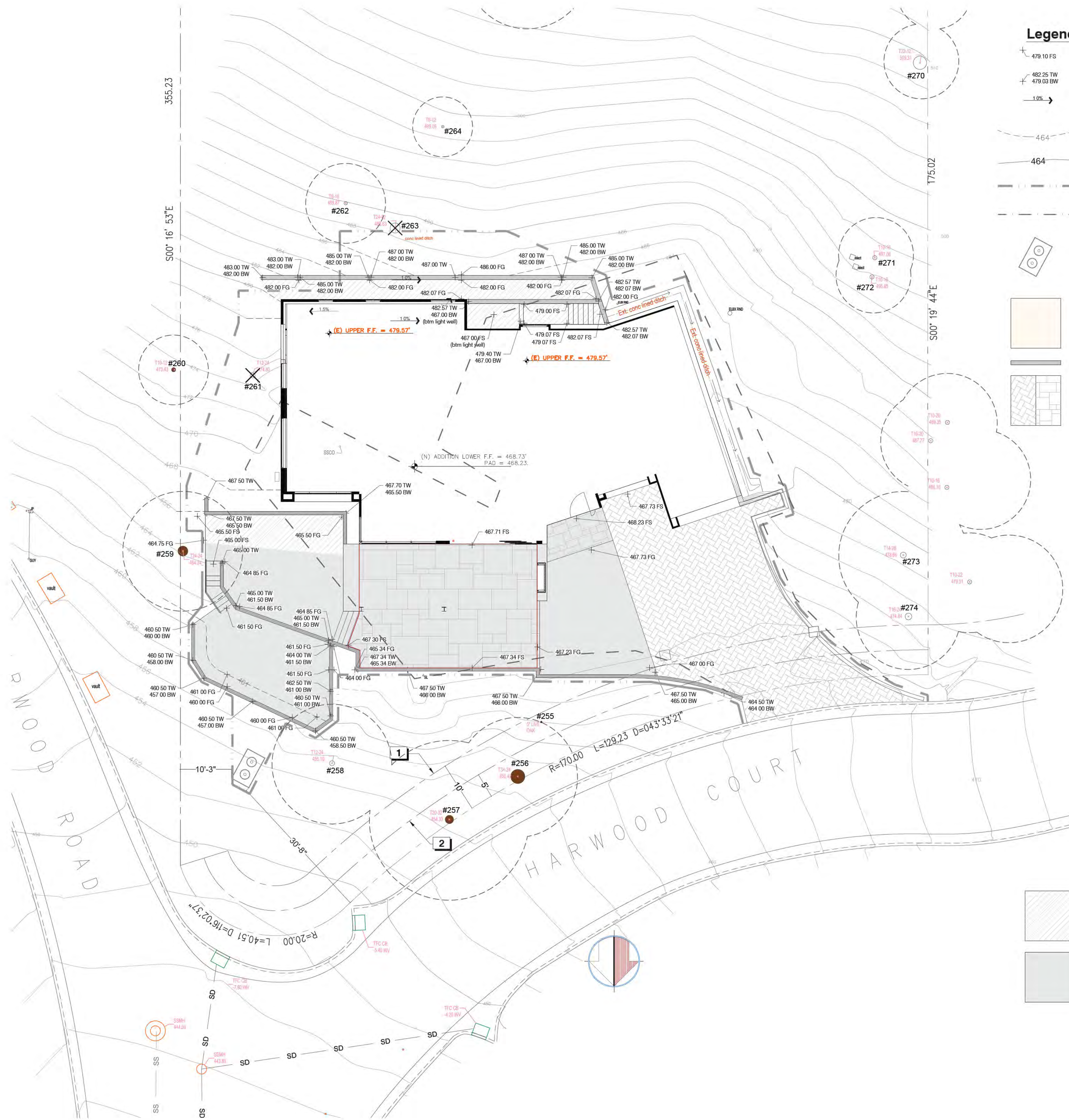
DATE: JANUARY 2024
HORIZ. SCALE: 1"=20'
VERT. SCALE: NONE
DESIGNED BY: AM
CHECKED BY:
DRAWN BY: T.M.

REFERENCES

TOWN OF LOS GATOS
JANUARY 2024

Topography Map
119 Harwood Court - apn 527-56-027
SANTA CLARA COUNTY
CALIFORNIA

SHEET
1
OF 2
JOB NO.
23070



Legend

- 479.10 FS Spot elevations
- 482.25 TW
479.03 BW Retaining wall top and bottom of wall
- 1.0% Direction of flow and slope
- 464 Proposed contour
- 464 Existing contour
- Limit of Grading/Site Disturbance line
- LRDA line

- Infiltration chambers
See detail 1, sheet L2.0
- House
- New retaining wall
- Proposed and existing paving

- TW TOP OF WALL
- BW BOTTOM OF WALL
- FG FINISH GRADE
- FS FINISH SURFACE
- SS SANITARY SEWER
- SD STORM DRAIN

- Areas of cut
- Areas of fill



Full Site Plan 1"=40'-0"

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	10' PSE
2	5' Slope easement
3	Build up existing concrete swale so that it flows towards the front of the property. A section of the swale may need to be removed and repoured.
4	Typical drain inlet, see detail 2 this sheet
6	Proposed retaining wall (typ.)
7	New structure, see architects plans
8	New walk/patio paving
9	Remaining portion of existing concrete driveway to be repoured. For existing drive see Topography Map.
11	New concrete steps between yard levels
12	Existing column to remain
13	Existing curb to remain
14	Existing concrete lined ditch to remain
18	LRDA line

Note: For site utilities see sheet L5.0

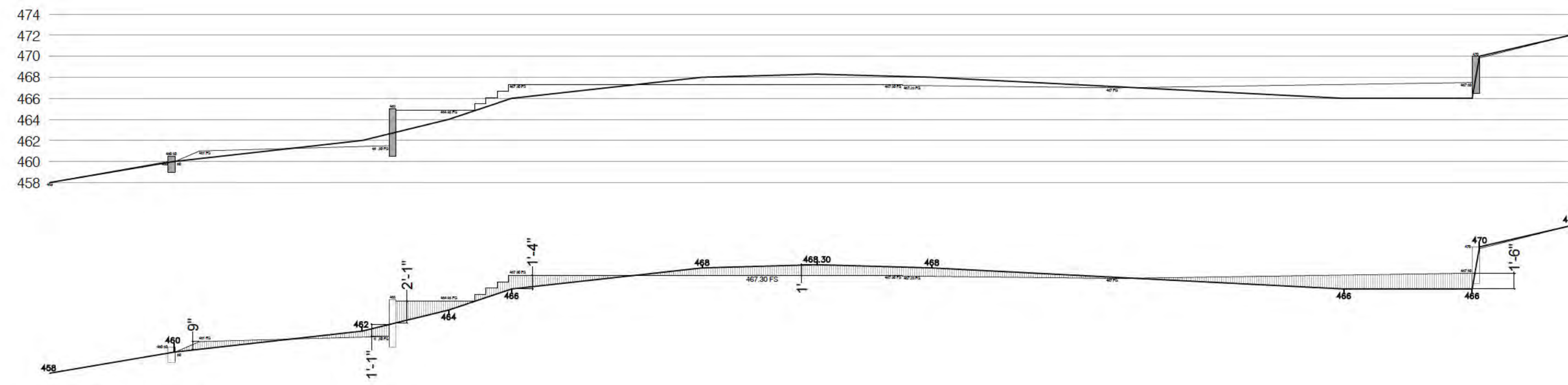


Grading Plan

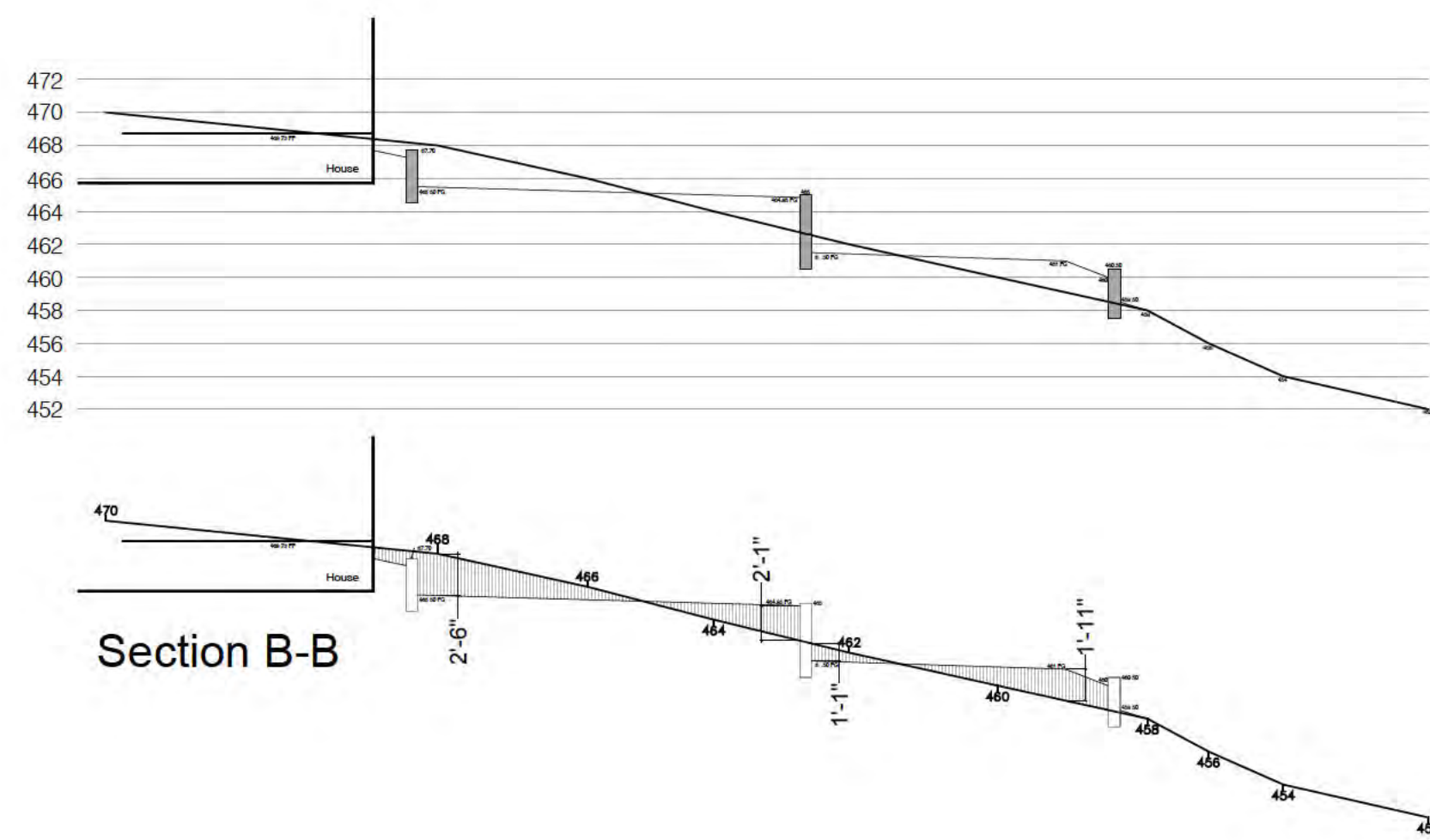
The Residence
 119 Harwood Court
 Los Gatos
 California

Date 6-10-24
 Scale 1"=10'-0"
 Drawn DRF
 Job Conroy
 Sheet
L1.0
 Of Sheets

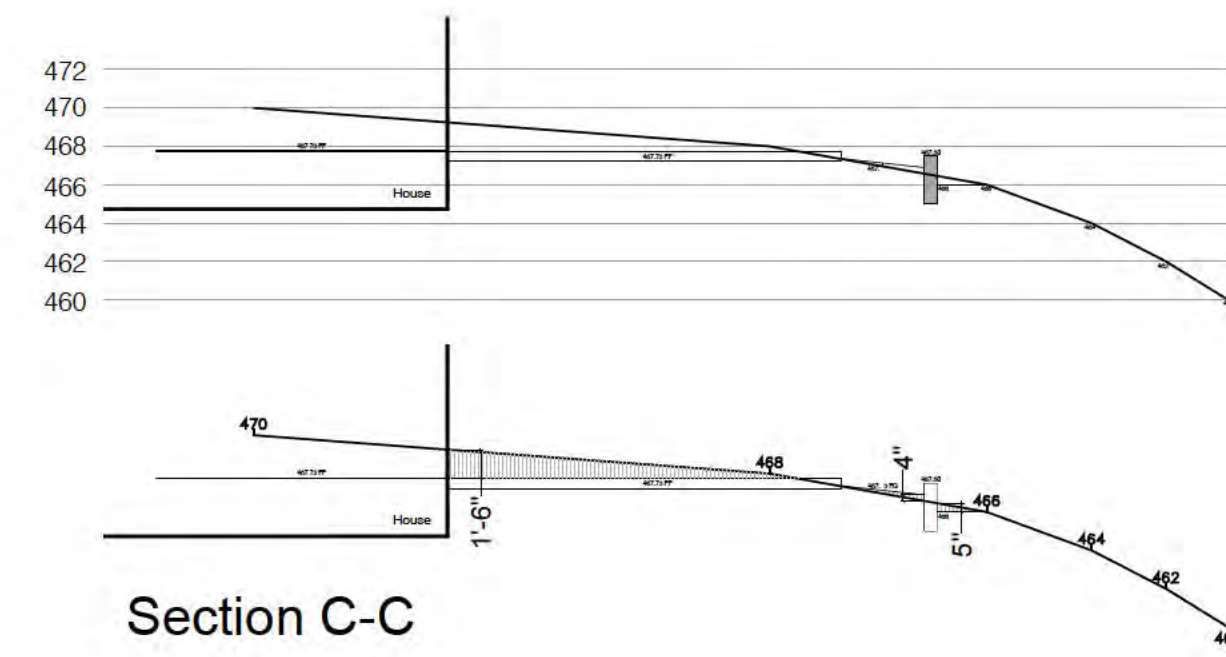
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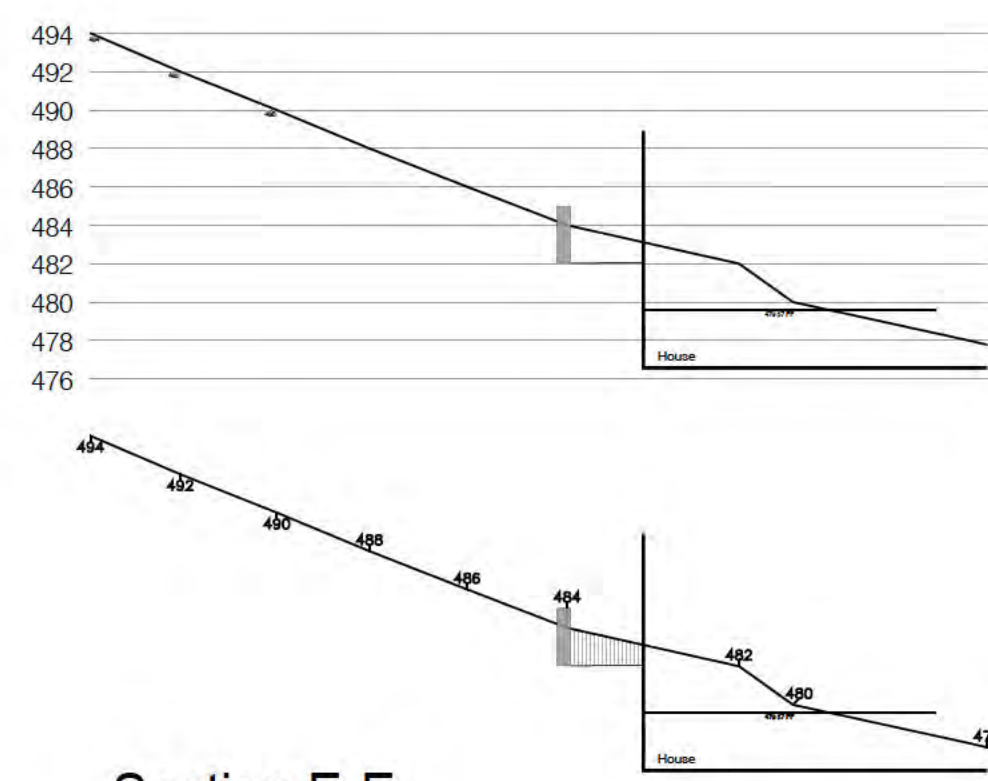
Section A-A



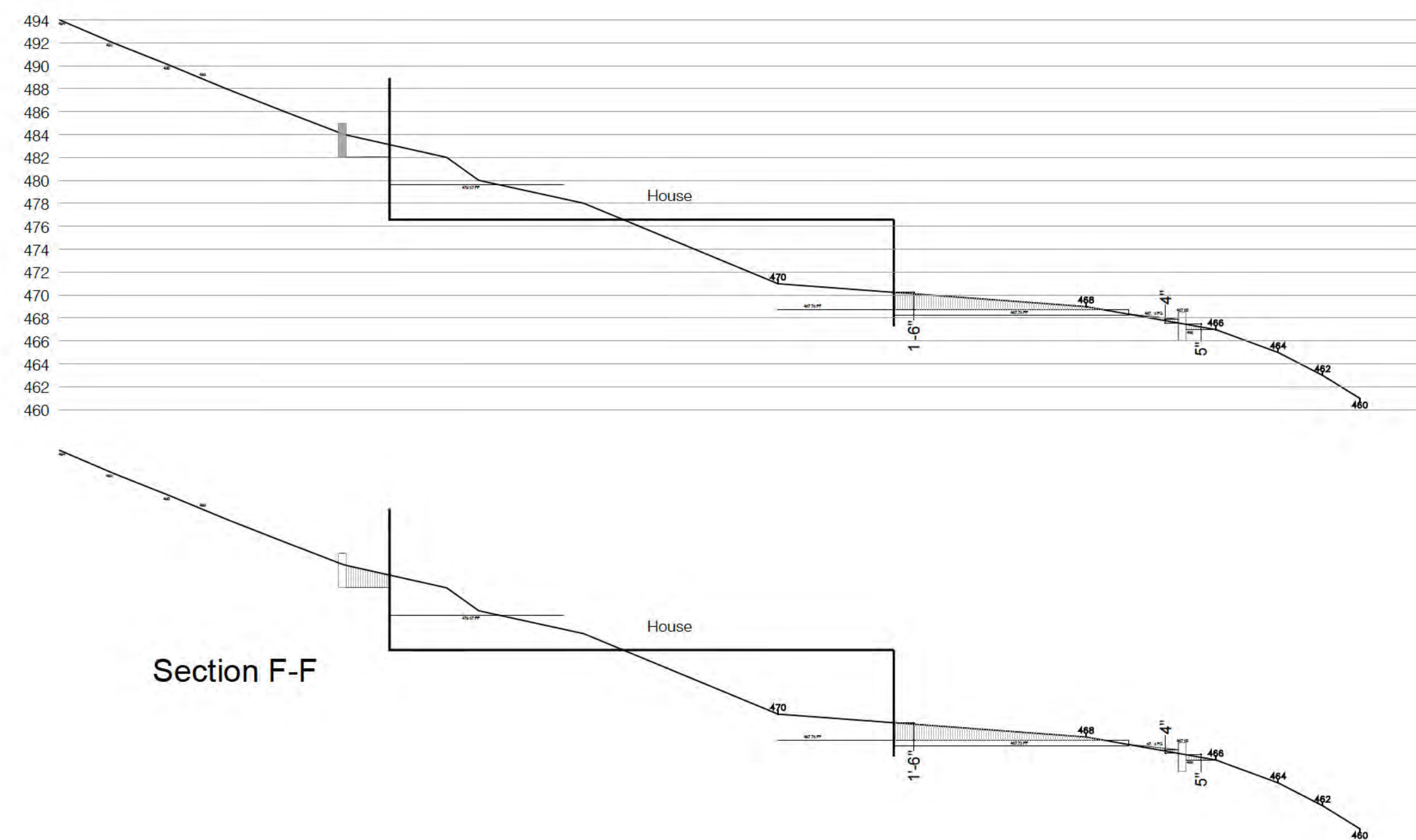
Section B-B



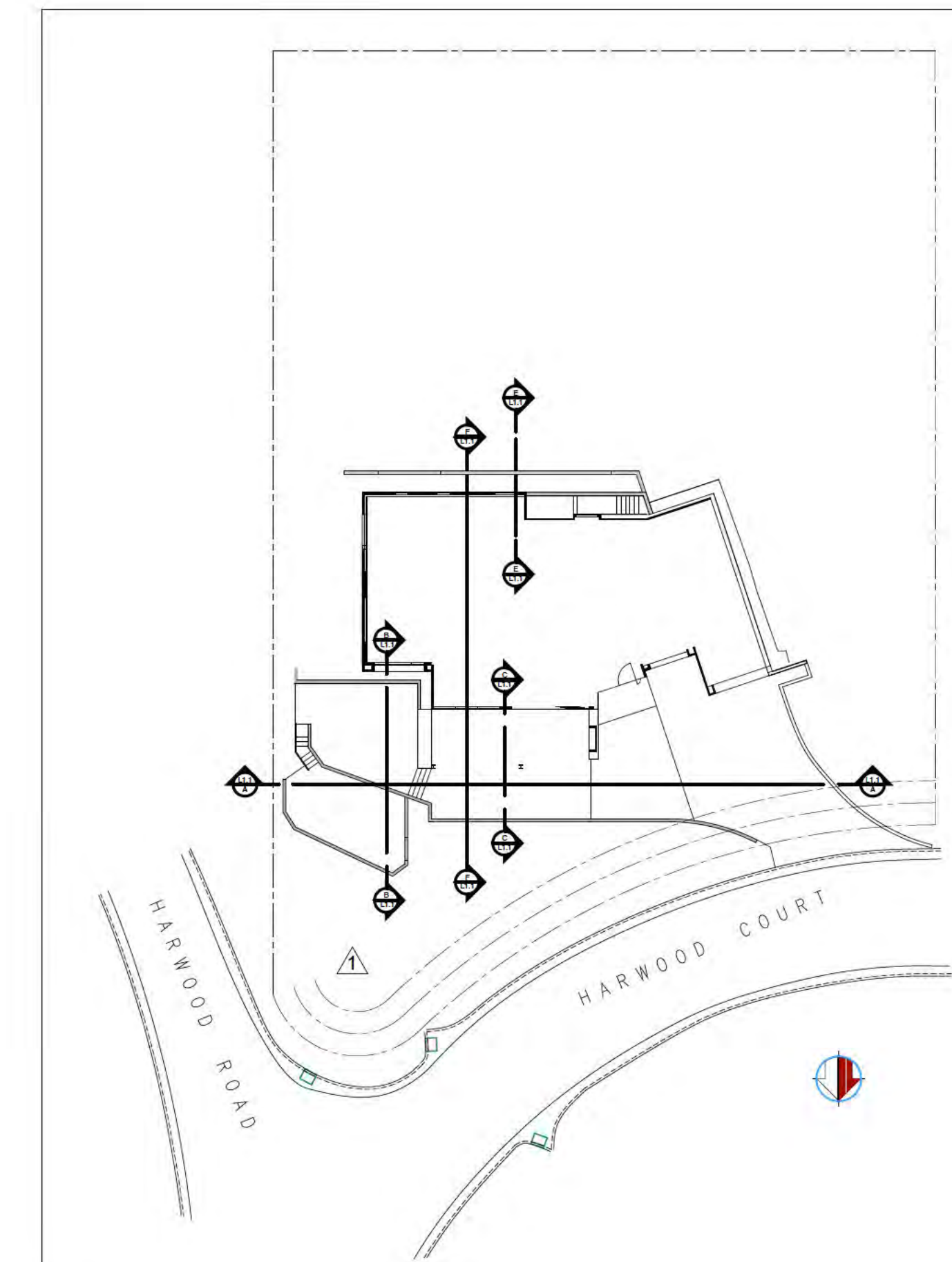
Section C-C



Section E-E



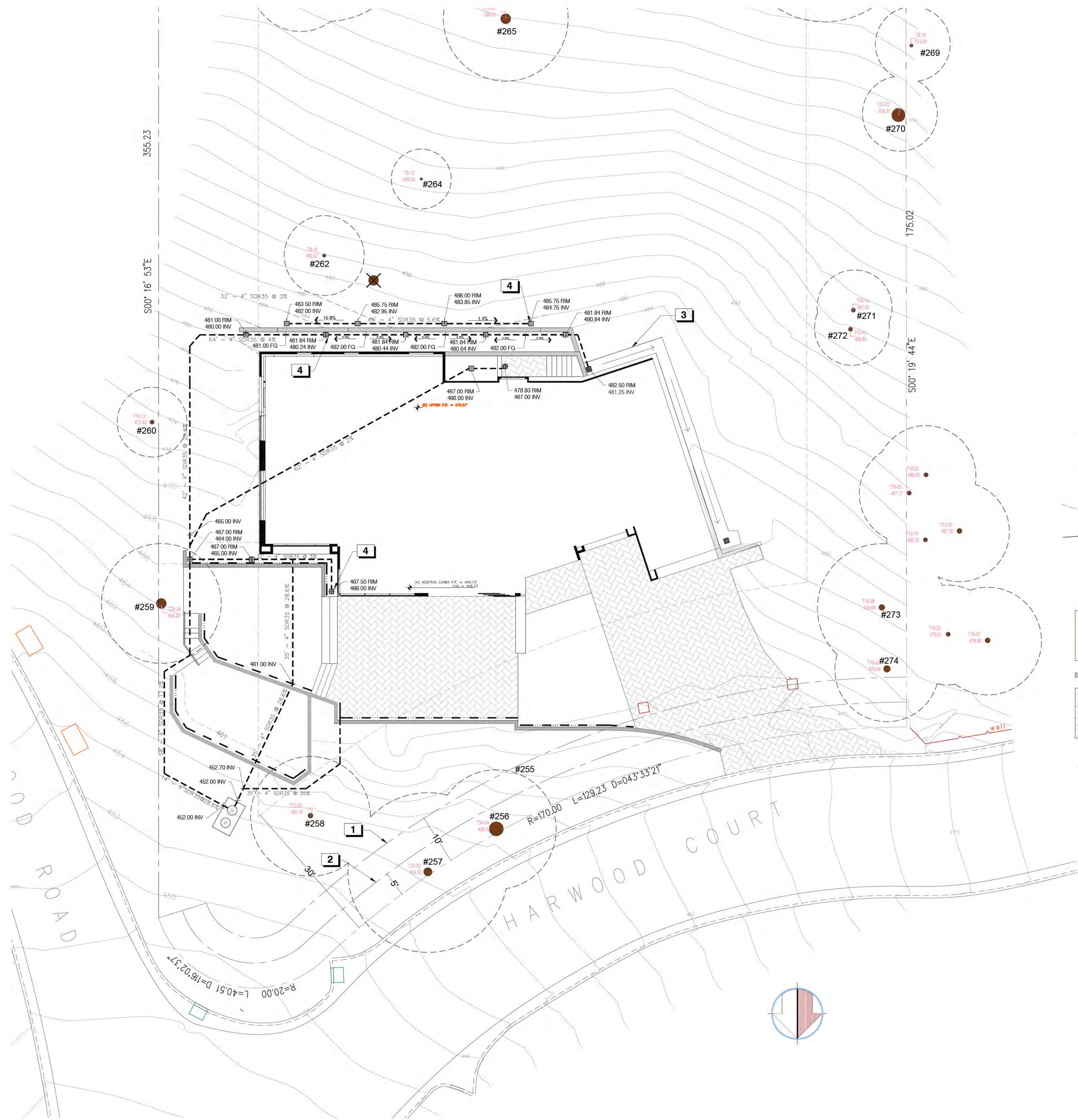
Section F-F



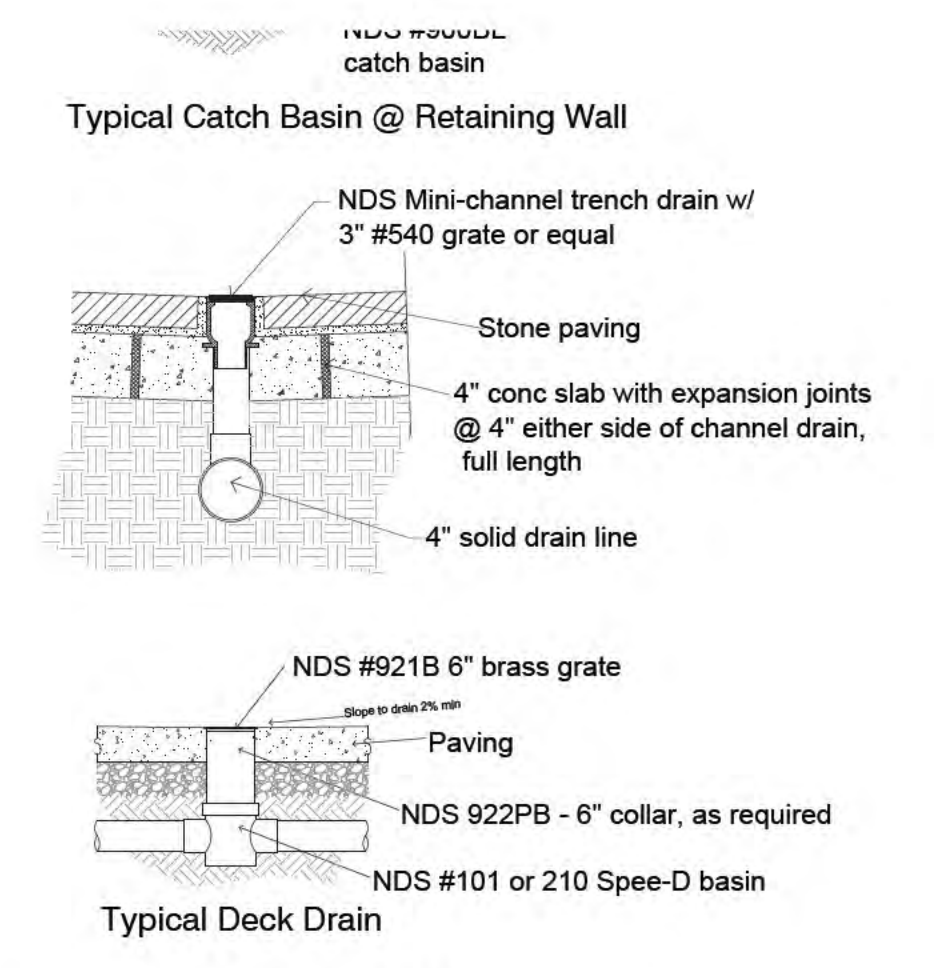
Grading Sections
Grading Calcs

The Residence
119 Harwood Court
Los Gatos
California

Date 6-10-24
Scale 1"=10'-0"
Drawn DRF
Job Conroy
Sheet
L1.1
Of Sheets



- Drainage legend**
- NDS #900BL basin with #991 atrium grate
 - NDS #101 or 201 w/ 6" #90 atrium grate
 - - - 4" - PVC SDR35 solid perf line
 - - - SDR35 PVC solid drainline size as shown
 - 464 Proposed contour
 - 464 Existing contour
 - Infiltration chambers See detail this sheet
 - House
 - New retaining wall
 - Proposed and existing paving
 - - - Tree protective fencing, see sheet L4.1



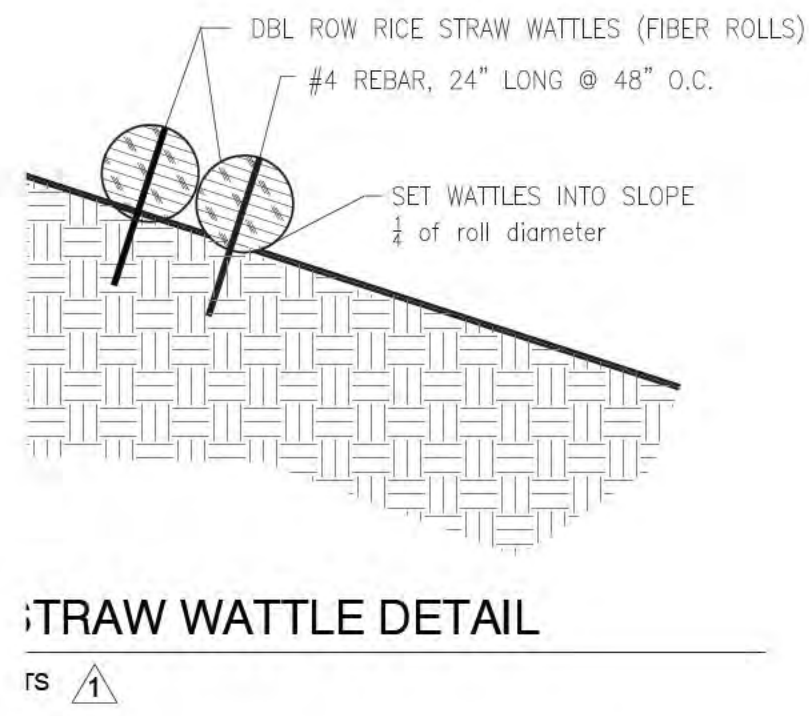
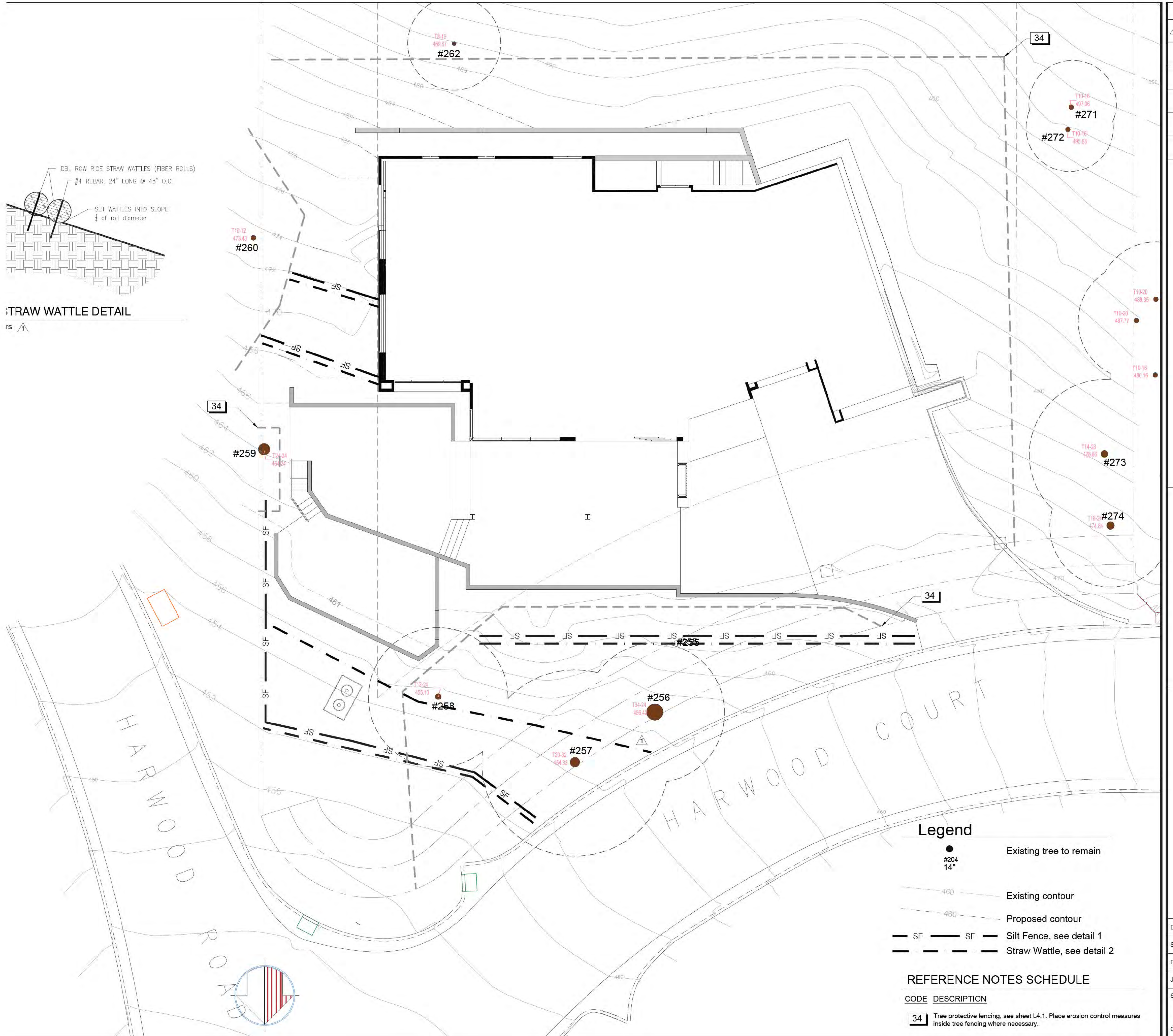
2 TYPICAL DRAINS
 1/2" = 1'-0" CNRY-DRAIN-02

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
1	10' PSE
2	5' Slope easement
3	Build up existing concrete swale so that it flows towards the front of the property. A section of the swale may need to be removed and repoured.
4	Typical drain inlet, see detail 2 this sheet
16	Infiltration chamber, see detail 1, this sheet

LEGEND

SAMPLE	DESCRIPTION
RIM	RIM
INV	INVERT



- Legend**
- #204 14" Existing tree to remain
 - Existing contour
 - - - Proposed contour
 - SF Silt Fence, see detail 1
 - - - Straw Wattle, see detail 2

REFERENCE NOTES SCHEDULE

CODE	DESCRIPTION
34	Tree protective fencing, see sheet L4.1. Place erosion control measures inside tree fencing where necessary.

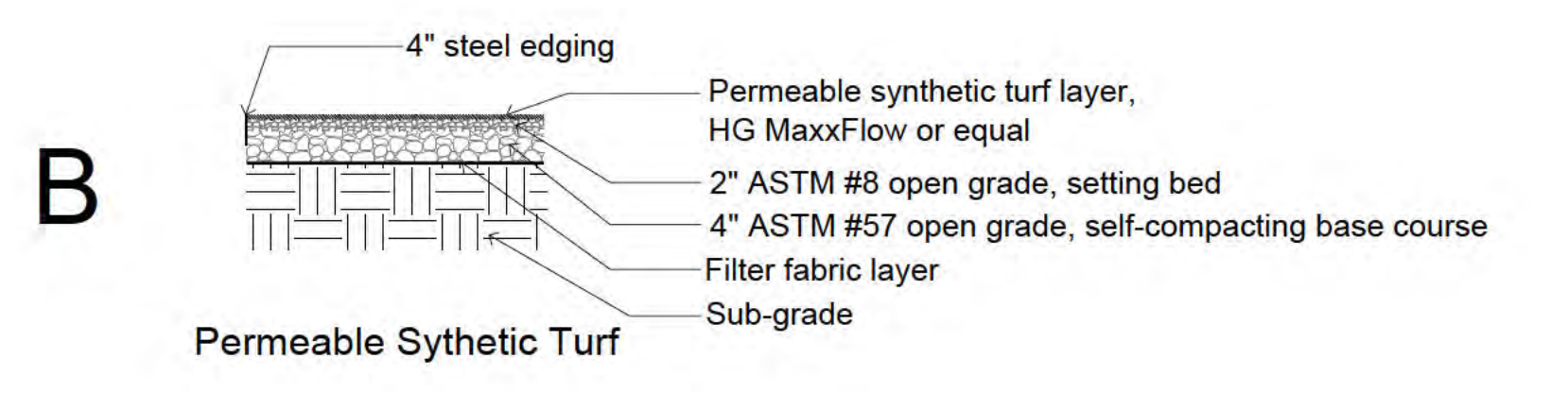
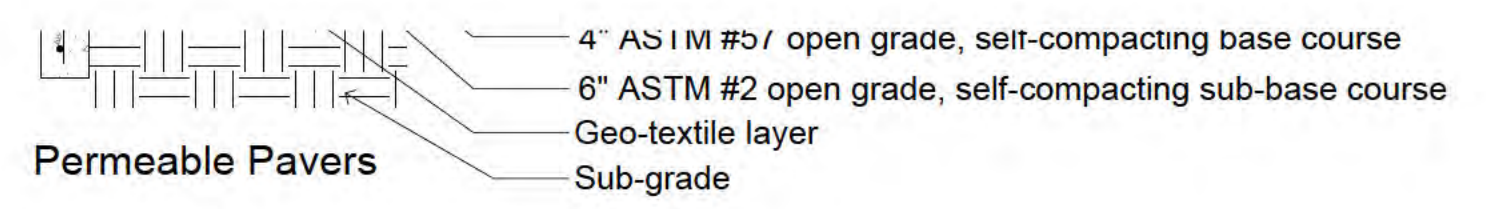
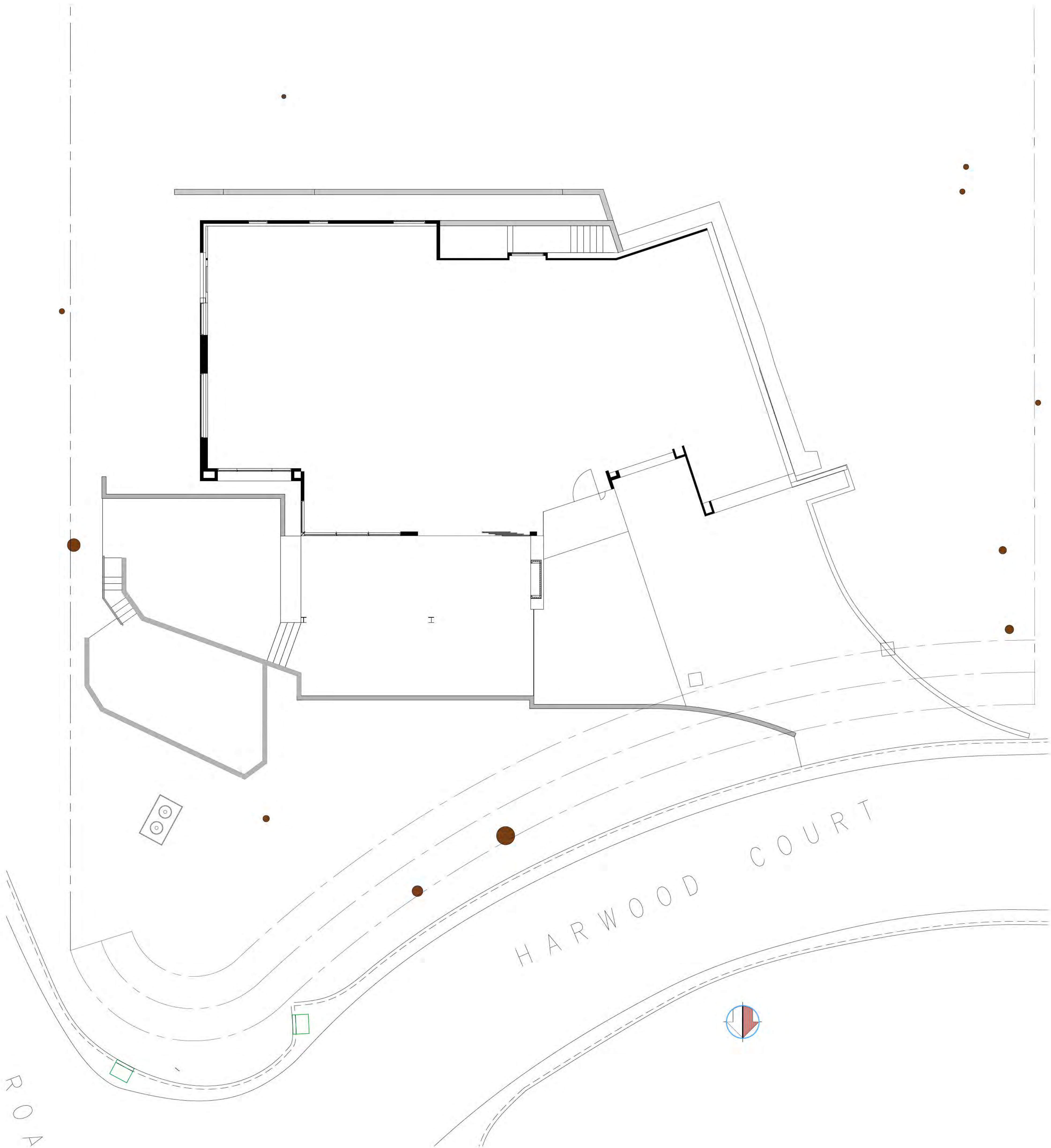
REVISIONS	BY
Per plan check comments	DRF

David R. Fox & Company, Landscape Architecture
 1188 Kellenberg Avenue San Jose, CA 95128
 408-761-0212 phone david@dra.net

Erosion Control

The Residence
 119 Harwood Court
 Los Gatos, California

Date: 6-10-24
 Scale: 1"=10'-0"
 Drawn: DRF
 Job: Conroy
 Sheet: **L2.1**
 Of: Sheets



3 PAVING LEGEND

1/2" = 1'-0"

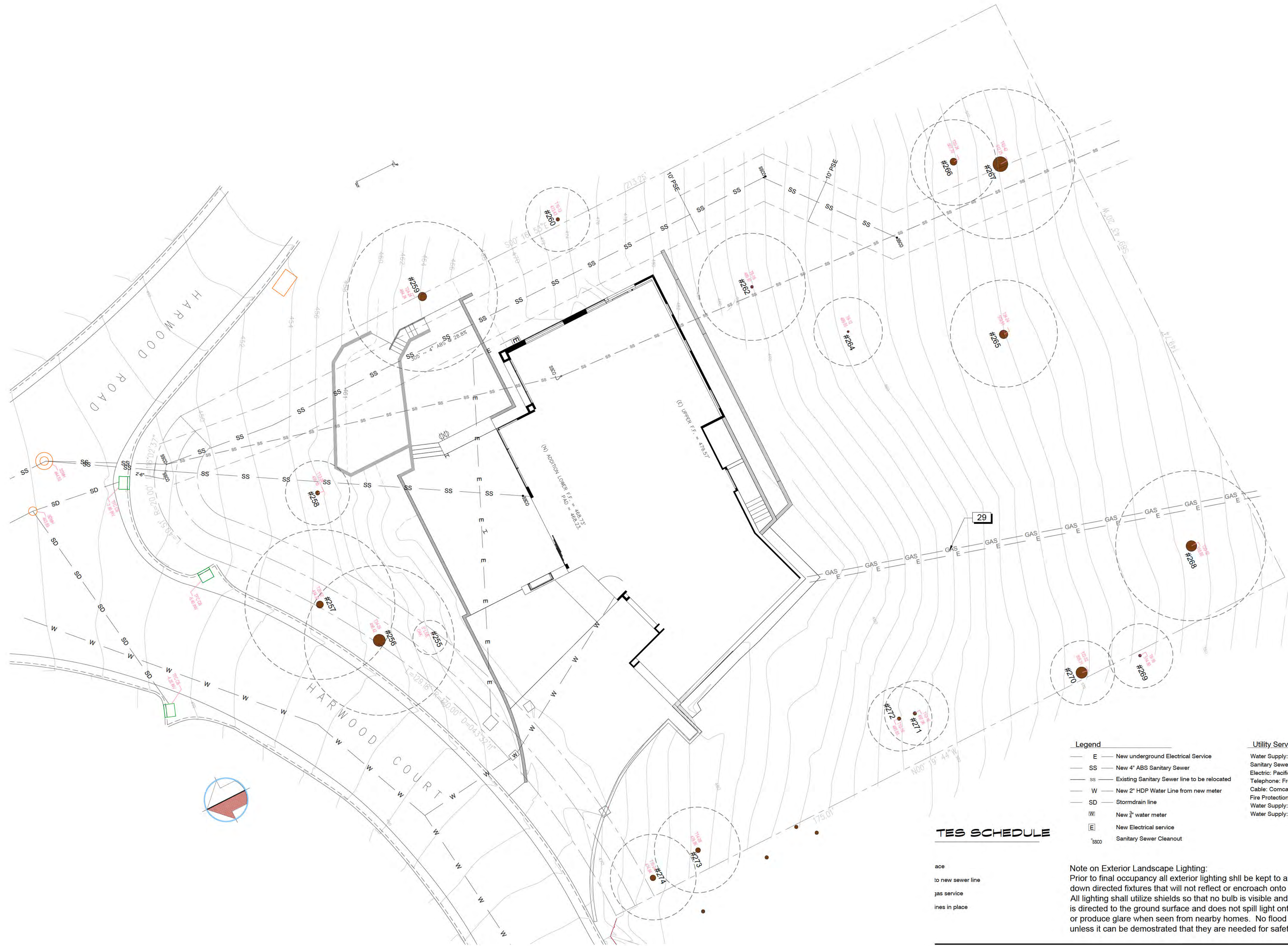
CNRY-PAVE-01



Detail Callouts
Details

The Residence
119 Harwood Court
Los Gatos, California

Date 6-10-24
Scale 1"=10'-0"
Drawn DRF
Job Conroy
Sheet
L4.0
Of Sheets



TES SCHEDULE

ace
to new sewer line
gas service
lines in place

- Legend**
- E — New underground Electrical Service
 - SS — New 4" ABS Sanitary Sewer
 - ss — Existing Sanitary Sewer line to be relocated
 - W — New 2" HDP Water Line from new meter
 - SD — Stormdrain line
 - W — New 3/4" water meter
 - E — New Electrical service
 - SSCO — Sanitary Sewer Cleanout

- Utility Service**
- Water Supply: San Jose Water
 - Sanitary Sewer Disposal: West Valley Sanitation District
 - Electric: Pacific Gas and Electric
 - Telephone: Frontier
 - Cable: Comcast
 - Fire Protection: Santa Clara County Fire Dept.
 - Water Supply: San Jose Water
 - Water Supply: San Jose Water

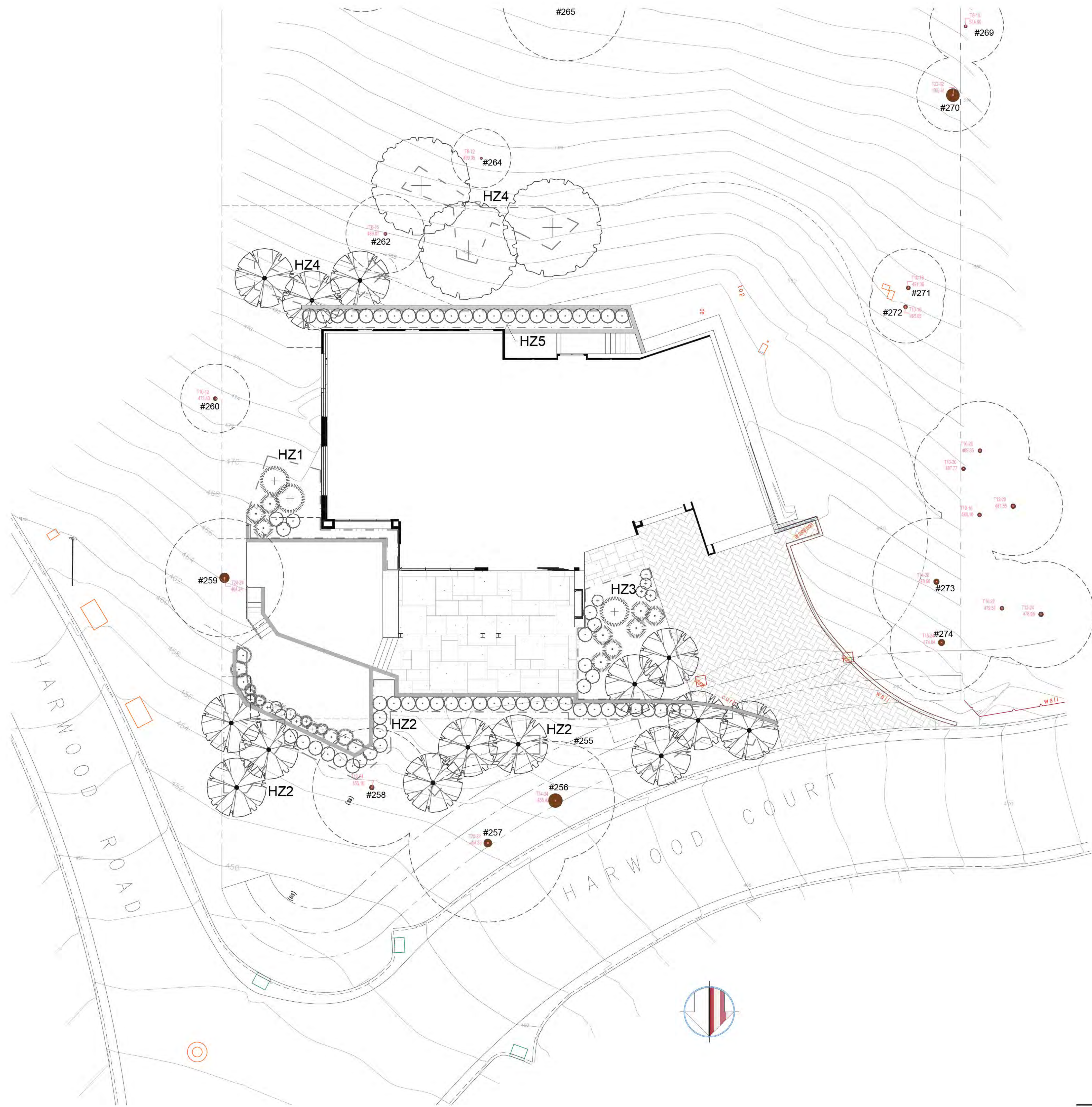
Note on Exterior Landscape Lighting:
Prior to final occupancy all exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. All lighting shall utilize shields so that no bulb is visible and to ensure that the light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.



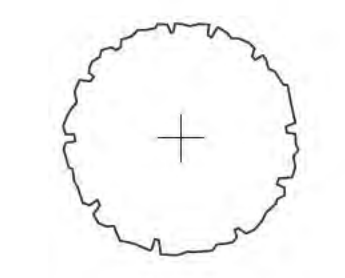
Utility Plan

The Residence
119 Harwood Court
Los Gatos
California

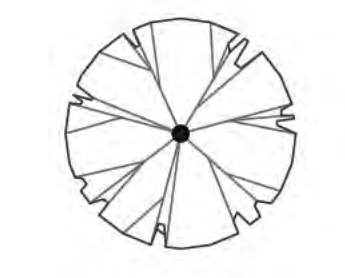
Date 6-10-24
Scale 1"=10'-0"
Drawn DRF
Job Conroy
Sheet **L5.0**
Of Sheets



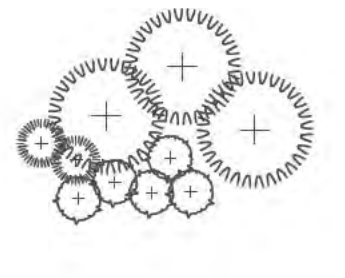
Ext. Trees to remain



New Trees - *Quercus Agrifolia*, Native
3 - 24" box (as replacement)



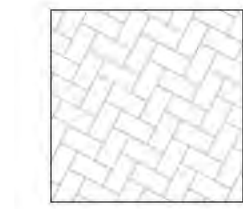
New Tree - *Cercis Occidentalis*, Native
7 - 24" box (as replacement), 7 - 15 gallon, 14 total



8 Shrub Plantings - All shrubs to be drought tolerant.
Any shrub plantings in excess of 30' from structure shall be native varieties (N) and will be designated as such in the landscape construction drawings.

Shrub Planting List:

- Anigozanthos 'Big Red'
- Arctostaphylos 'Howard McMinn' (N)
- Arctostaphylos 'John Dourley' (N)
- Baccharis Pilularis 'Pigeon Point' (N)
- Calamagrostis Foliosa (N)
- Heteromeles Arbutifolia (N)
- Lantana Montevidensis
- Lavendula 'Grosso'
- Limonium Perezii
- Muhlenbergia Rigens (N)
- Olea 'Little Ollie'
- Salvia Brandegee 'Pacific Blue' (N)
- Salvia x 'Gracias' (N)



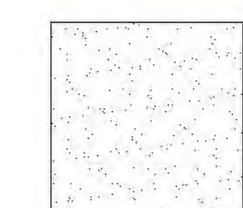
Existing paving



New Paving



Synthetic turf



DG paving



House



Hydrozone - HZ1-5
All zones are renovated landscape
Total area: 2,082sf

	Preliminary Landscape Plan
The Residence 119 Harwood Court Los Gatos, California	California
Date 6-10-24 Scale 1"=10'-0" Drawn DRF Job Conroy Sheet L6.0 Of Sheets	

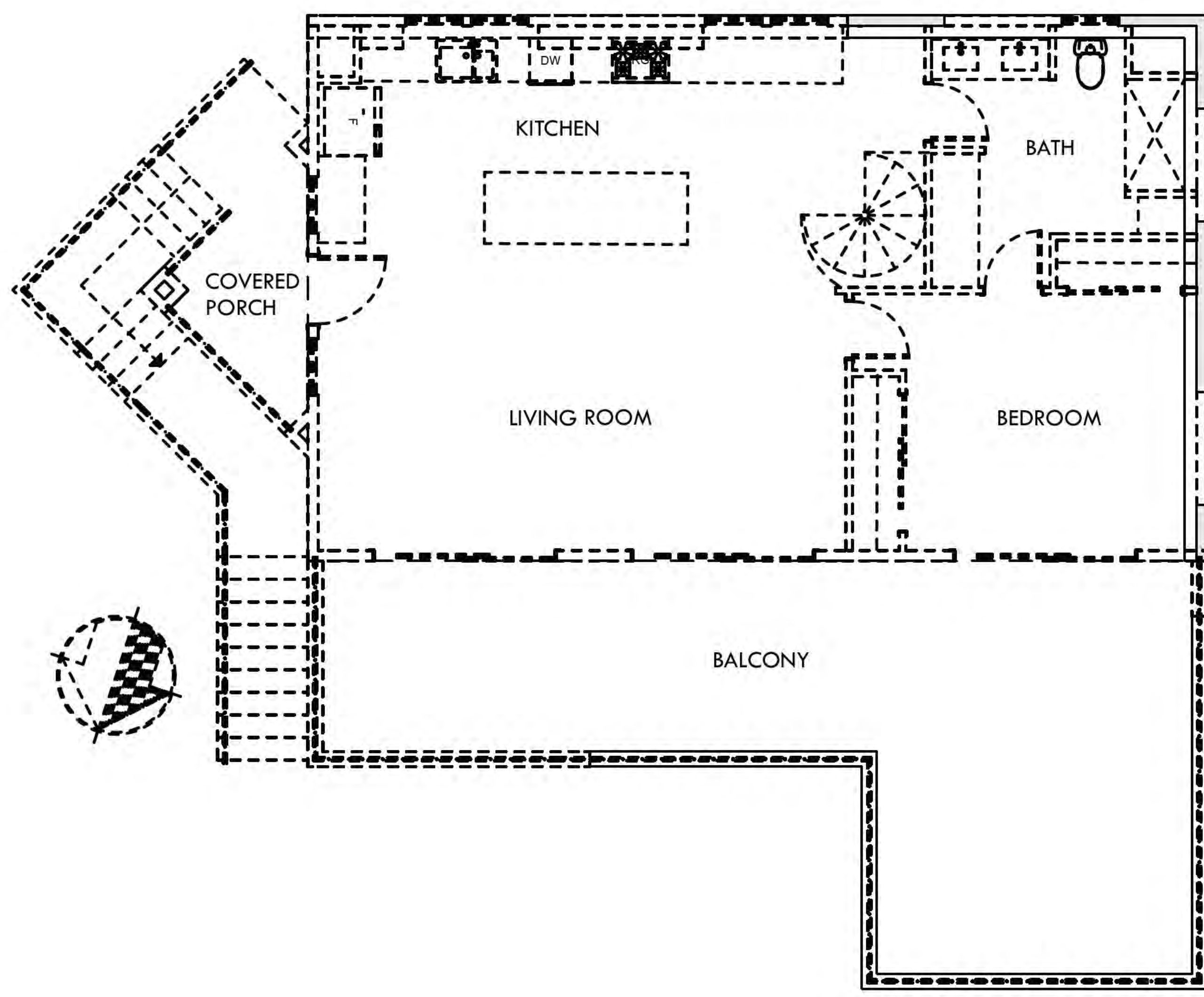
REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

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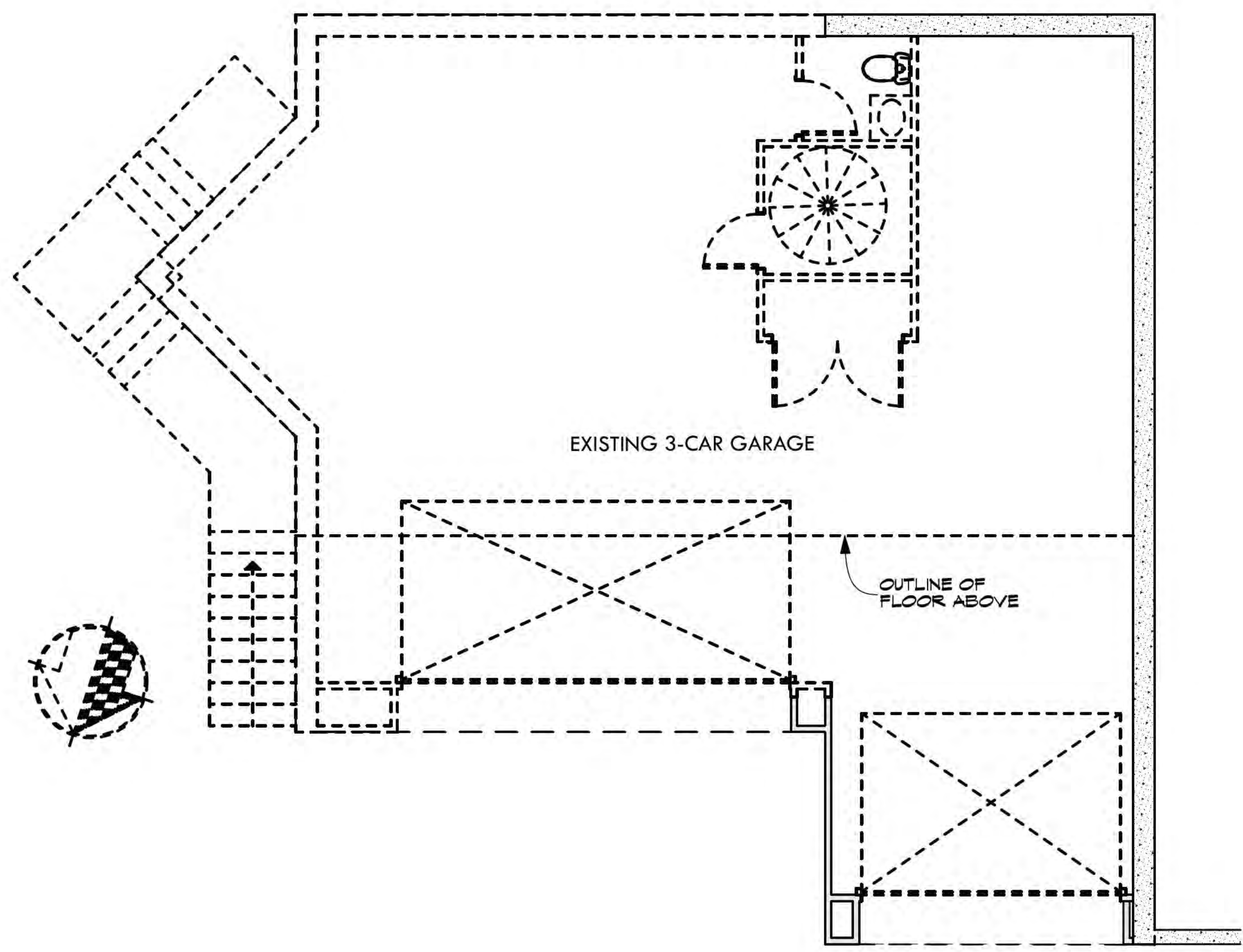
A NEW RESIDENCE:
THE RESIDENCE
 (FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

AS-BUILT/
 DEMO
 FLOOR
 PLANS

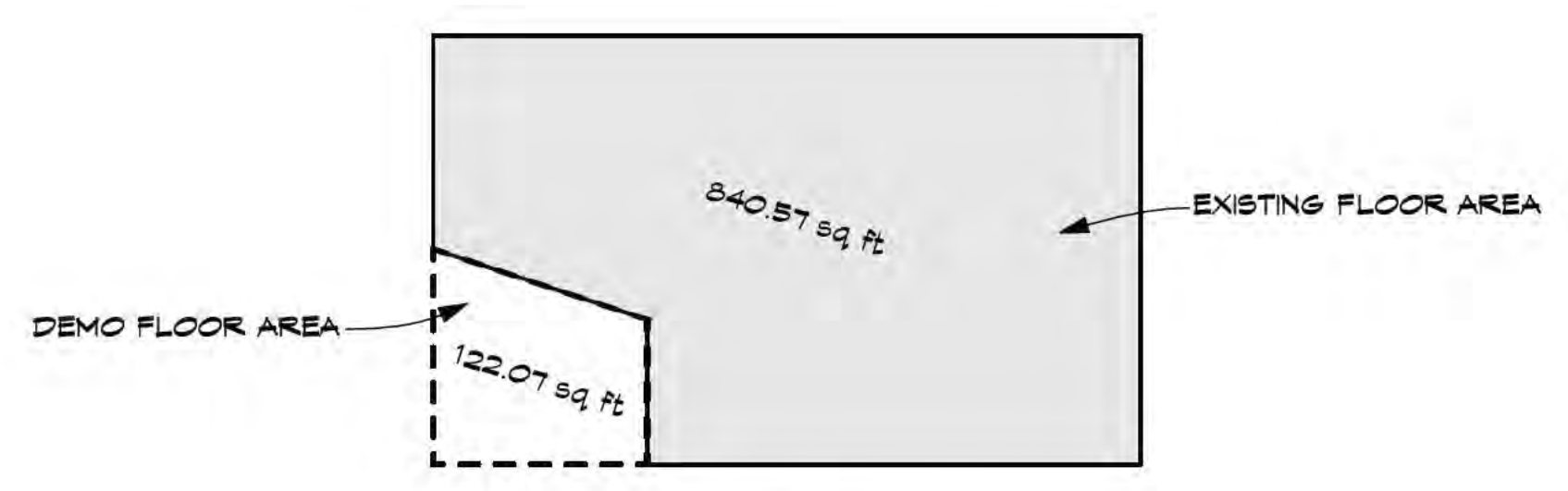
DATE: 07/03/24
 SCALE: AS SHOWN
 SHEET
A-5



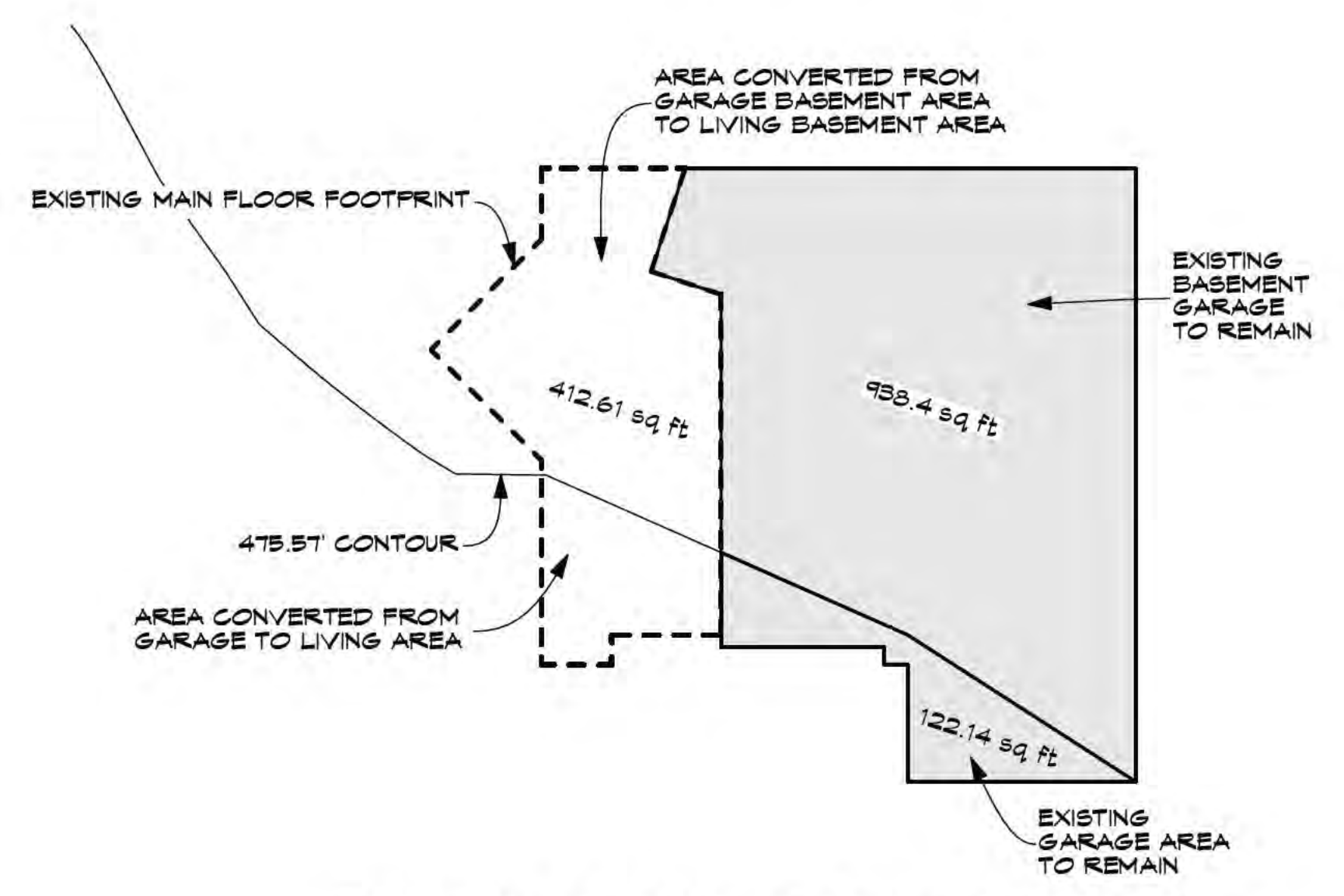
AS-BUILT/DEMO UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



AS-BUILT/DEMO GARAGE FLOOR PLAN
 SCALE: 1/4" = 1'-0"



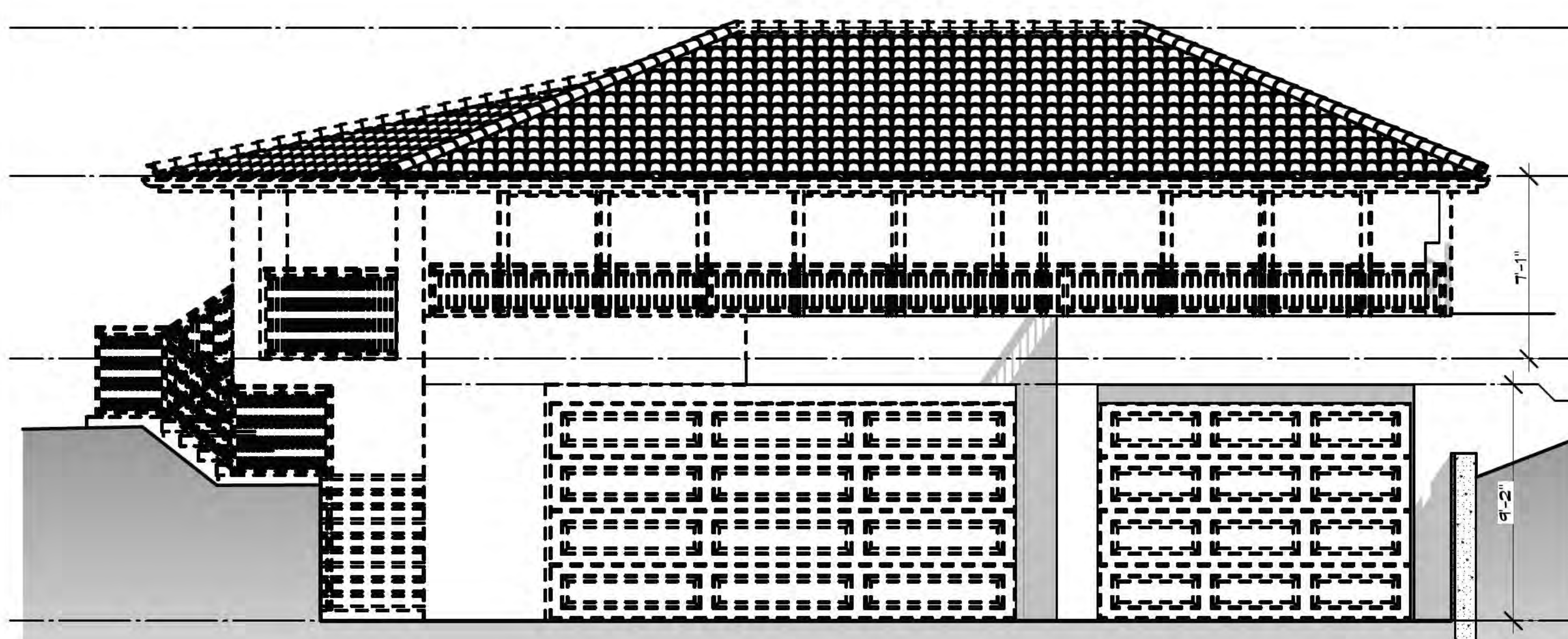
EXISTING UPPER FLOOR AREA DIAGRAM
 SCALE: 1" = 10'



EXISTING GARAGE FLOOR AREA DIAGRAM
 SCALE: 1" = 10'

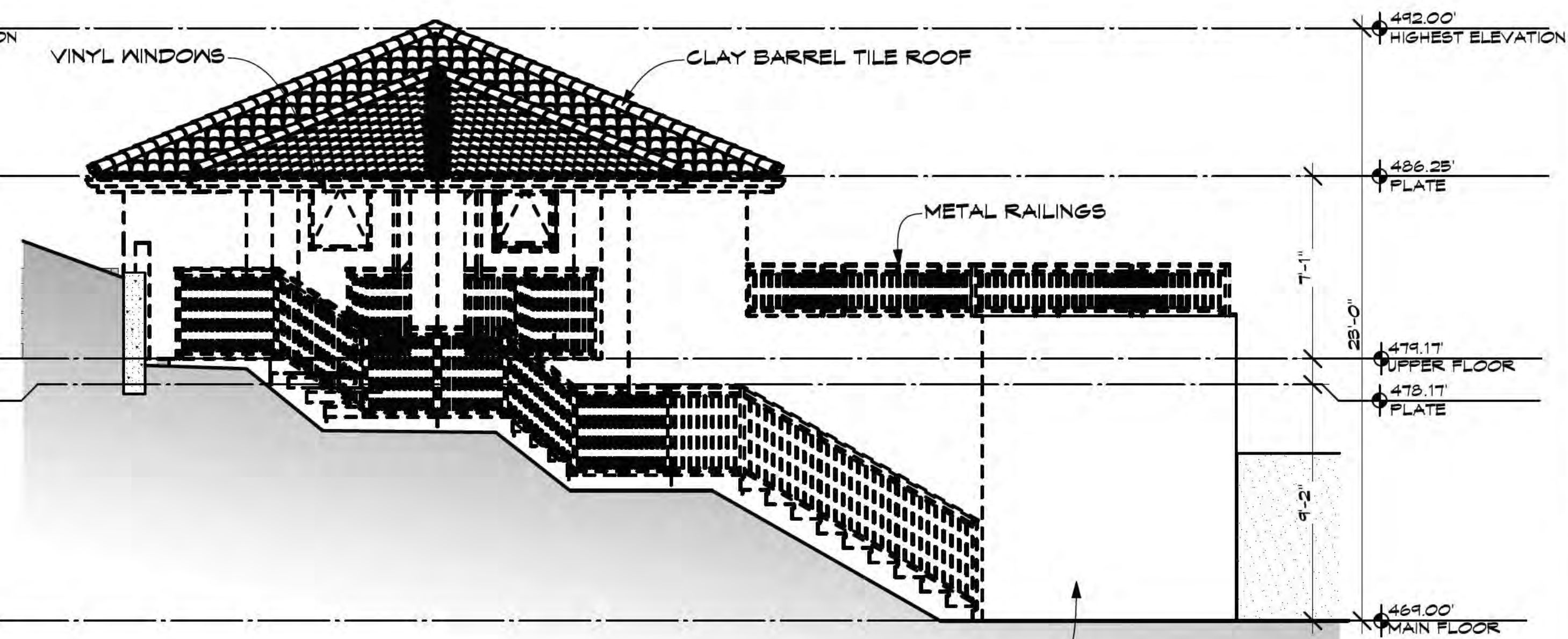
REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

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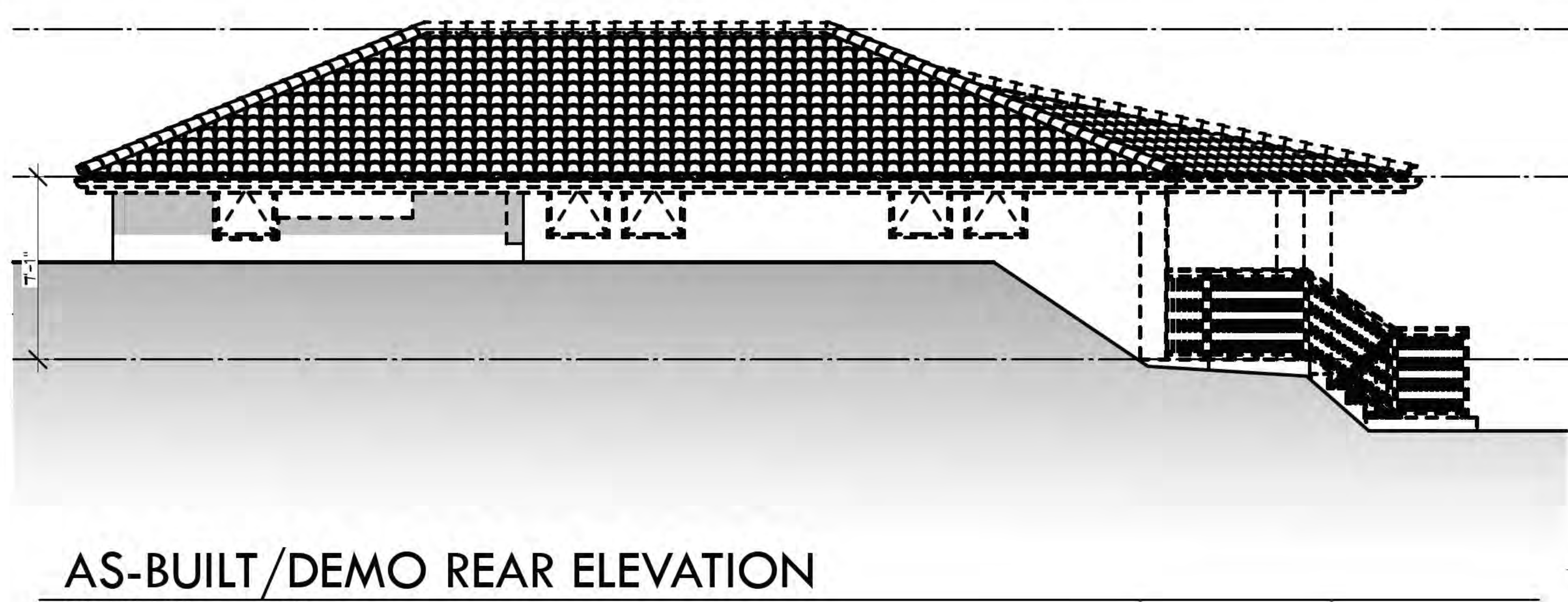
AS-BUILT/DEMO FRONT ELEVATION

SCALE: 1/4" = 1'-0"



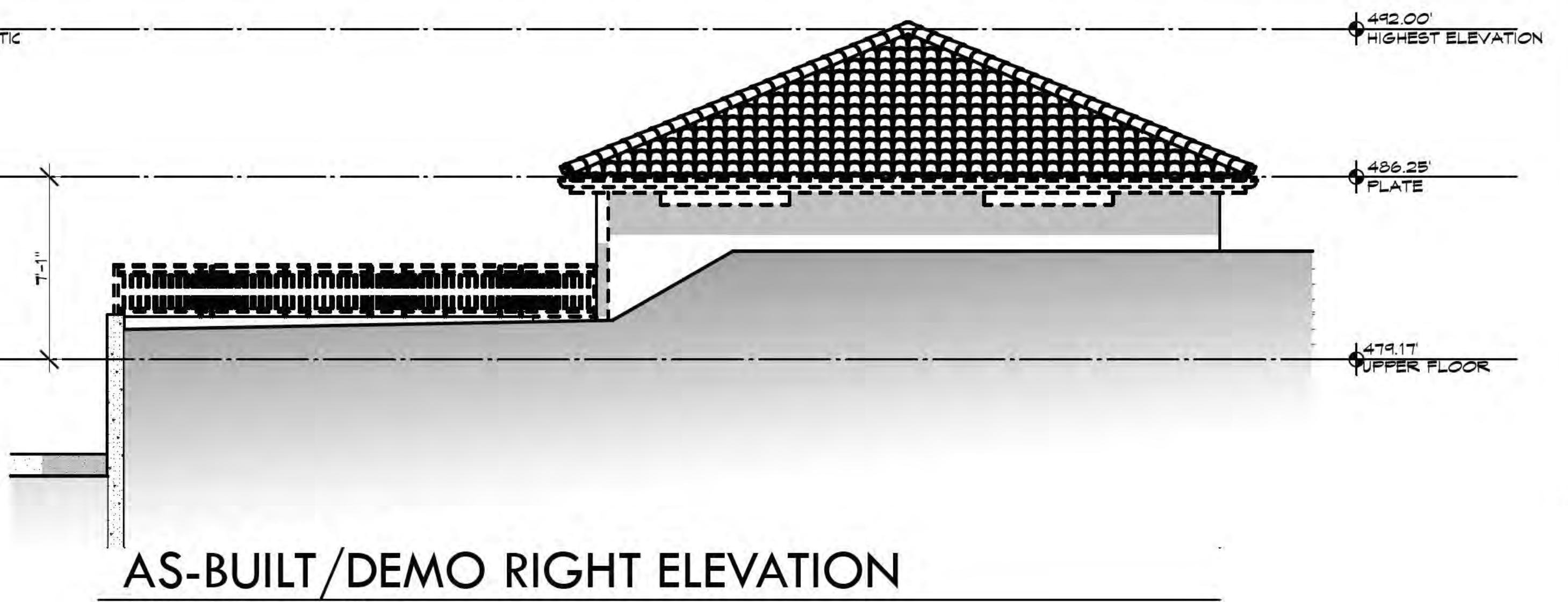
AS-BUILT/DEMO LEFT ELEVATION

SCALE: 1/4" = 1'-0"



AS-BUILT/DEMO REAR ELEVATION

SCALE: 1/4" = 1'-0"



AS-BUILT/DEMO RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

A NEW RESIDENCE:
THE RESIDENCE
 (FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

AS-BUILD/
 DEMO
 ELEVATIONS

DATE: 07/03/24

SCALE: AS SHOWN
 SHEET

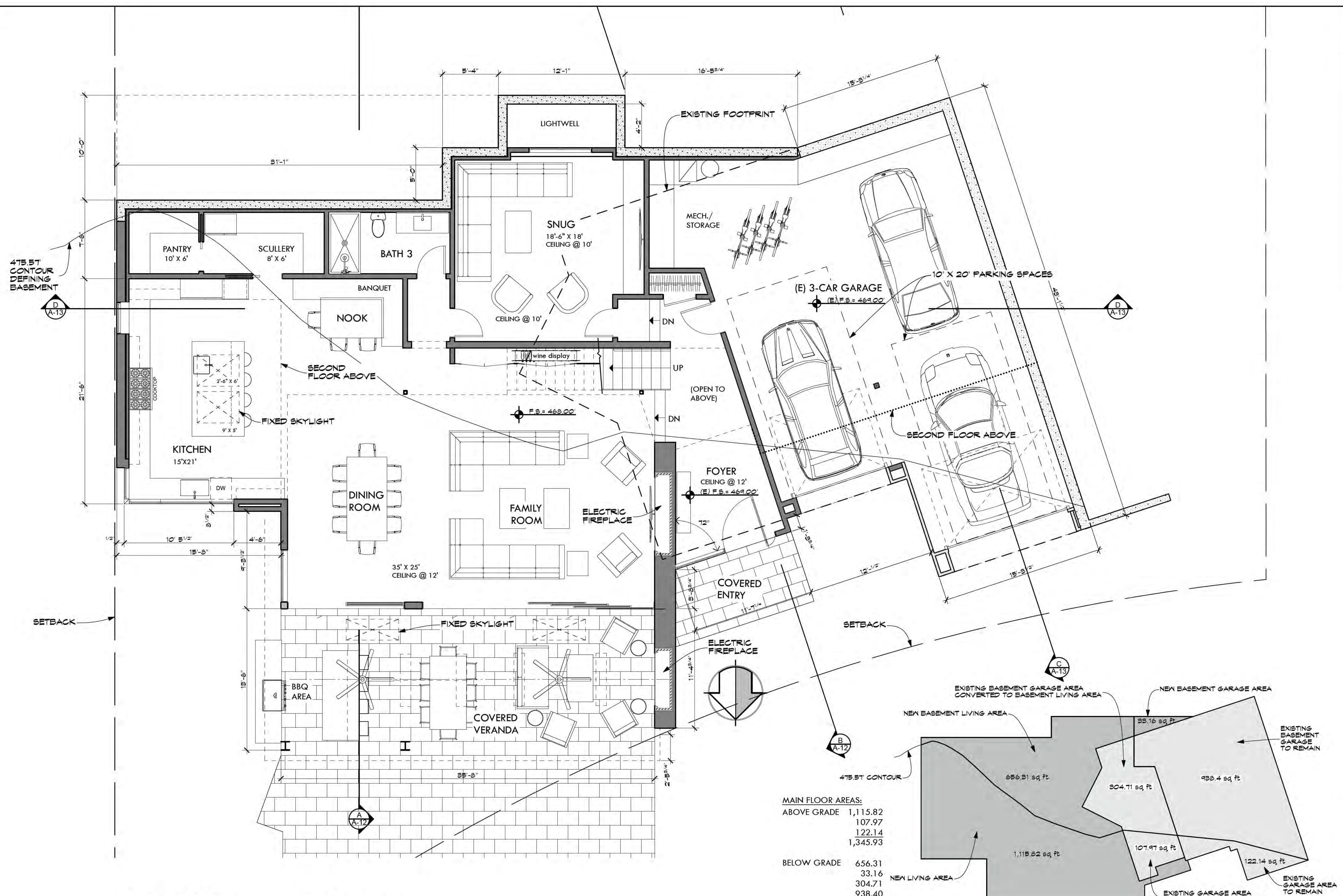
A-6

REVISIONS	
A.	09/25/24
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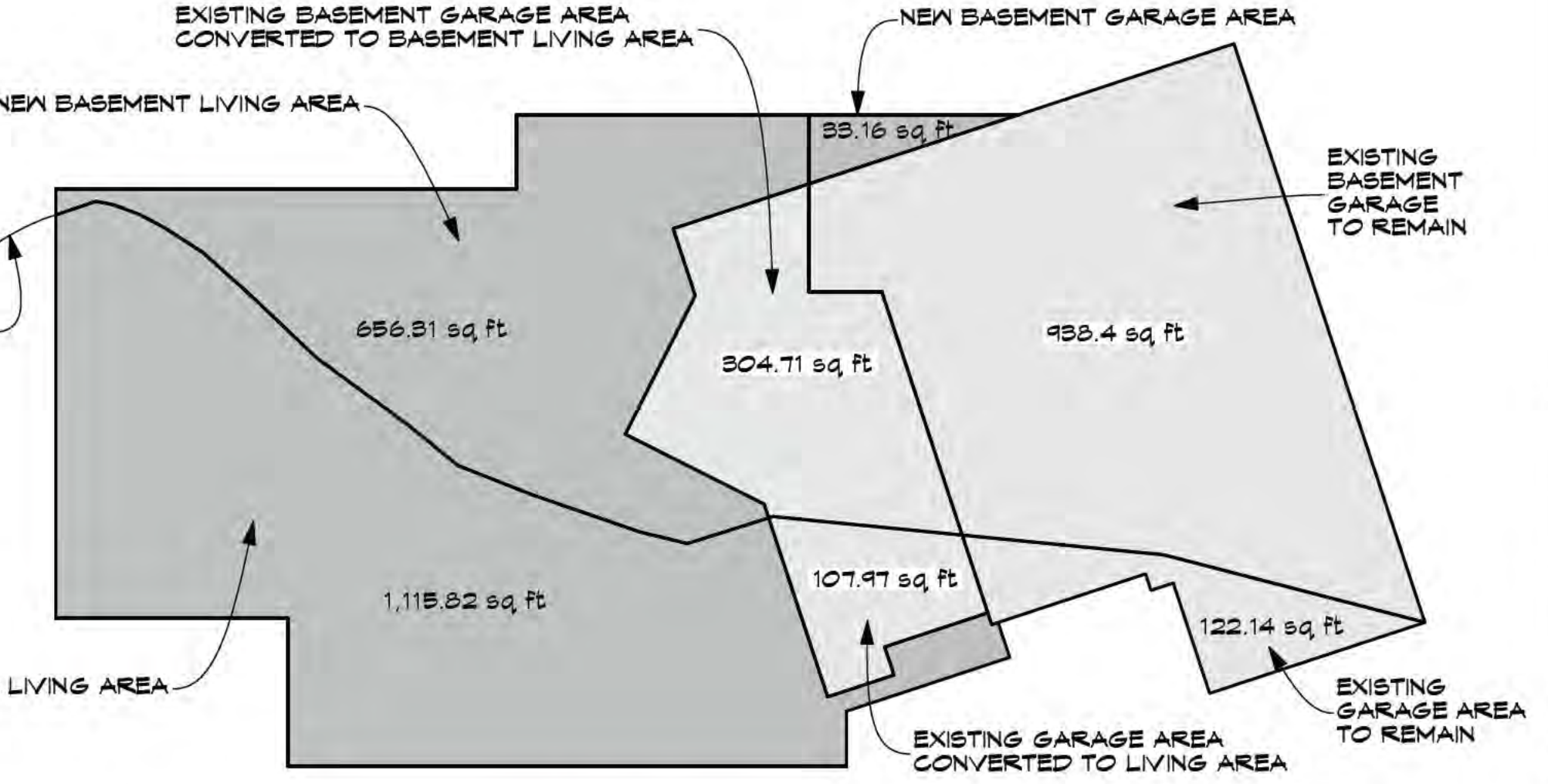
PROPOSED MAIN FLOOR PLAN
 DATE: 07/03/24
 SCALE: AS SHOWN
 SHEET
A-7



PROPOSED MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

MAIN FLOOR AREAS:

ABOVE GRADE	1,115.82
	107.97
	122.14
	1,345.93
BELOW GRADE	656.31
	33.16
	304.71
	938.40
	1,932.58



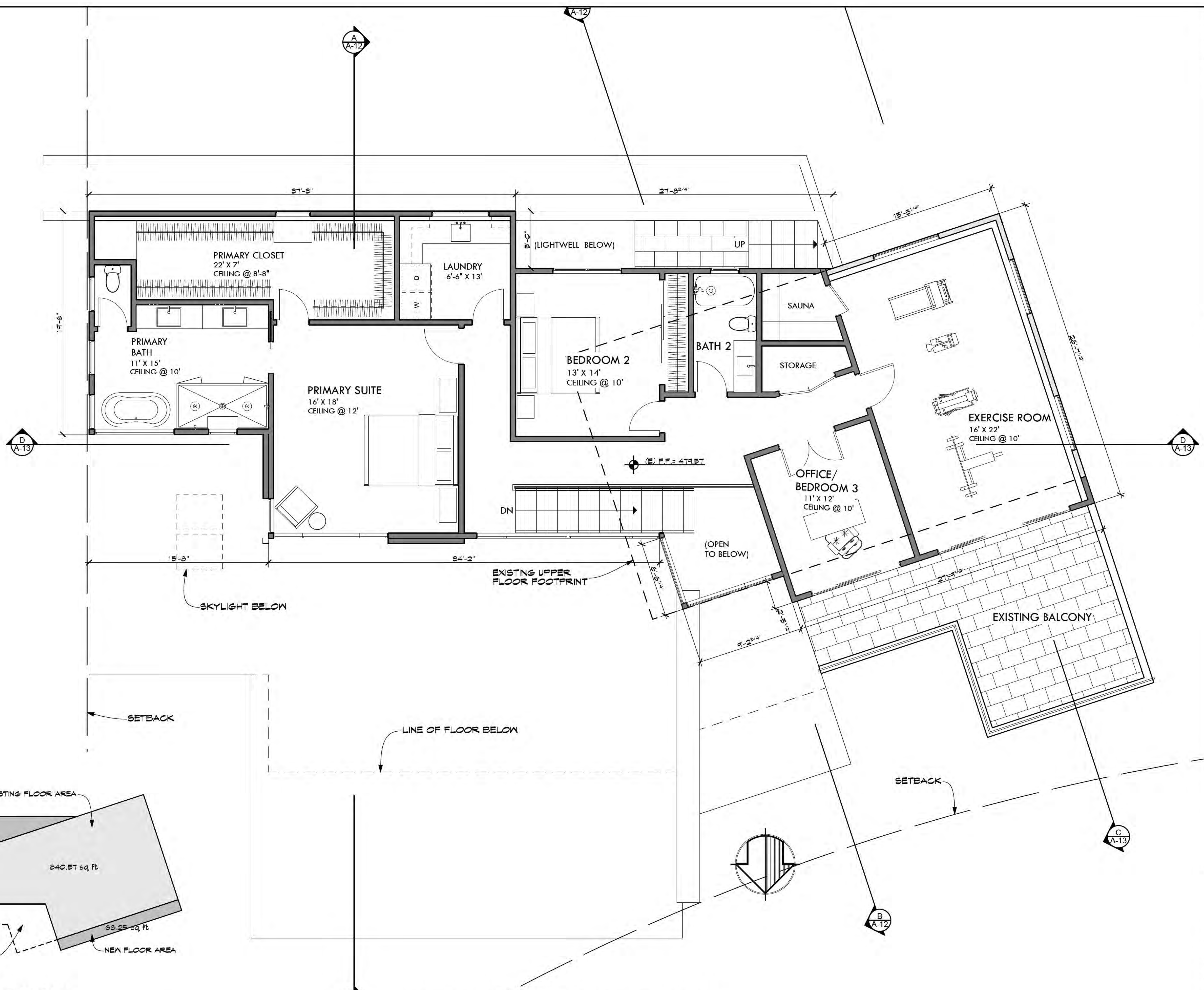
PROPOSED MAIN FLOOR AREA DIAGRAM
 SCALE: 1" = 10'

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

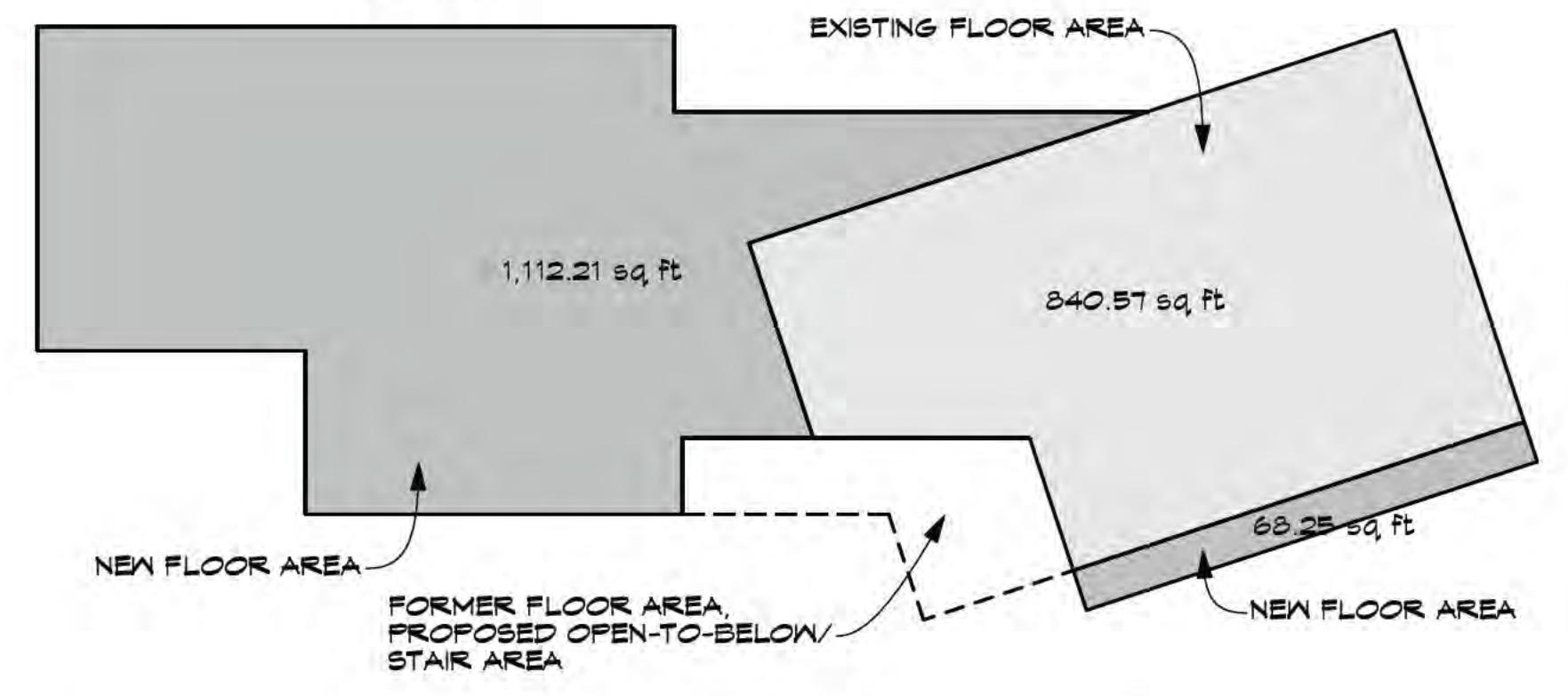
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A NEW RESIDENCE: **THE RESIDENCE**
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PROPOSED UPPER FLOOR PLAN
 DATE: 07/03/24
 SCALE: AS SHOWN
 SHEET
A-8



UPPER FLOOR AREAS:
 ABOVE GRADE 1,112.21
 840.57
 68.25
 2,021.03



PROPOSED UPPER FLOOR AREA DIAGRAM
 SCALE: 1" = 10'

PROPOSED UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

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A NEW RESIDENCE:
THE RESIDENCE
 (FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

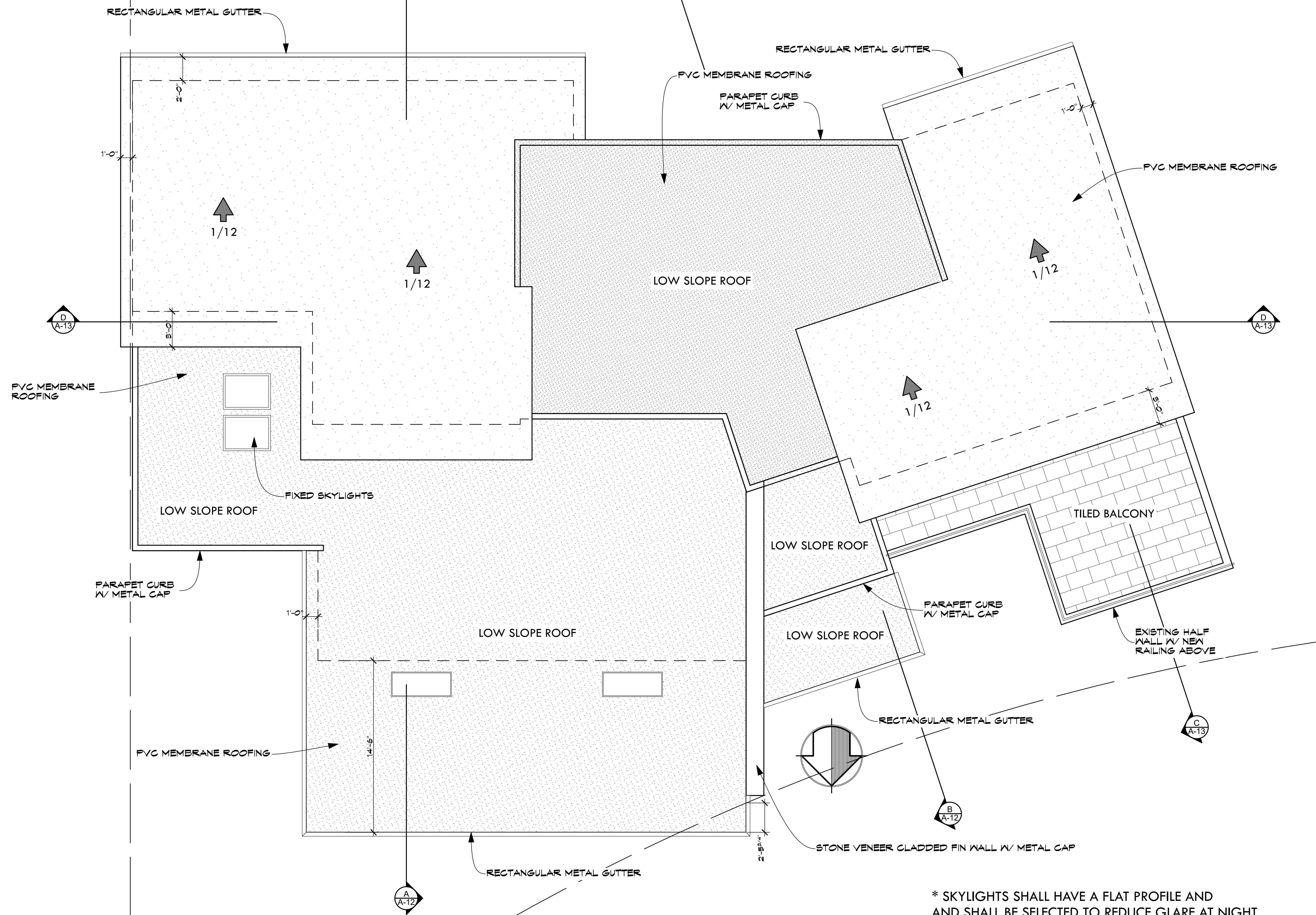
PROPOSED
 ROOF PLAN

DATE: 07/03/24

SCALE: AS SHOWN

SHEET

A-9



* SKYLIGHTS SHALL HAVE A FLAT PROFILE AND AND SHALL BE SELECTED TO REDUCE GLARE AT NIGHT.

PROPOSED ROOF PLAN

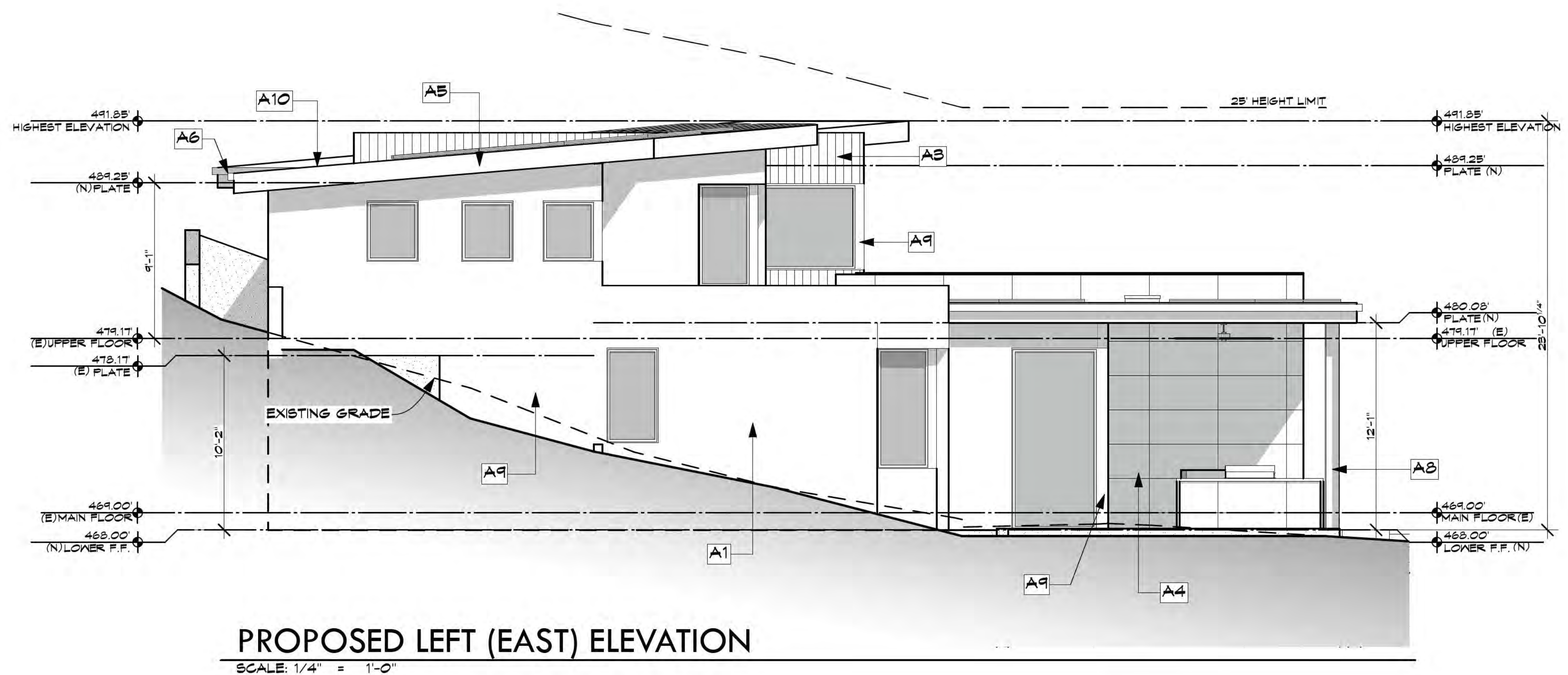
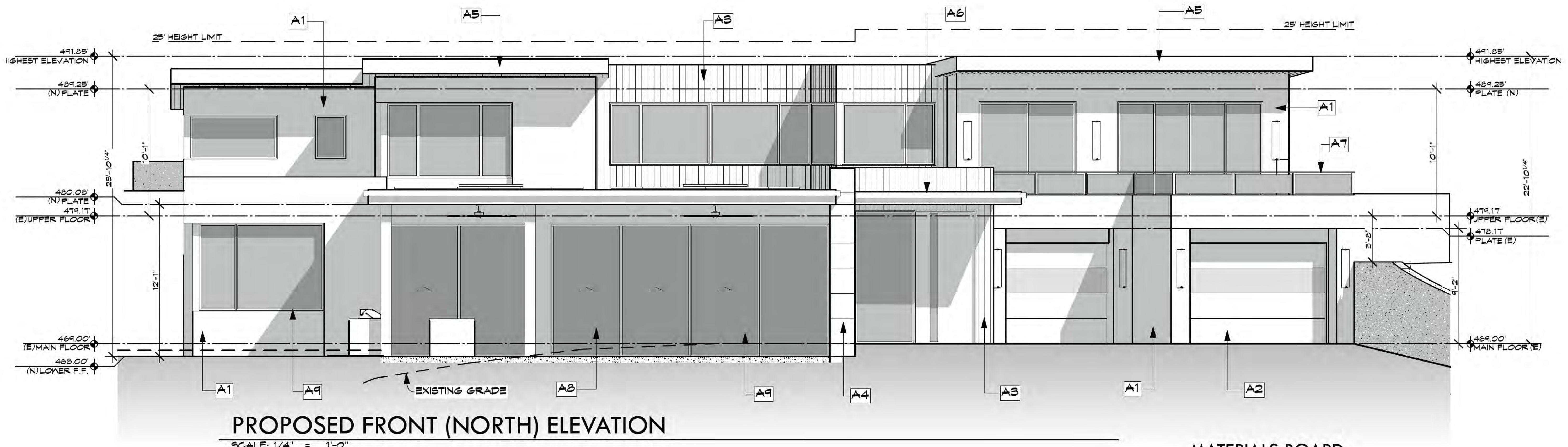
SCALE: 1/4" = 1'-0"

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25



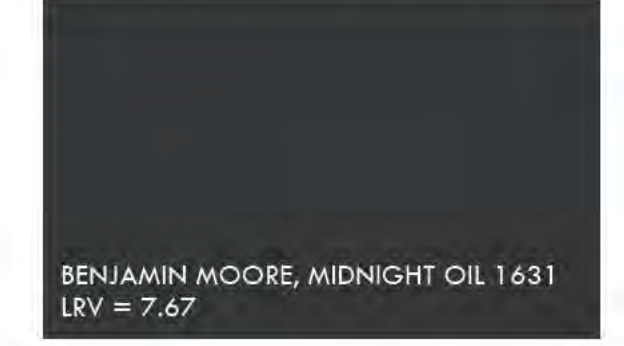
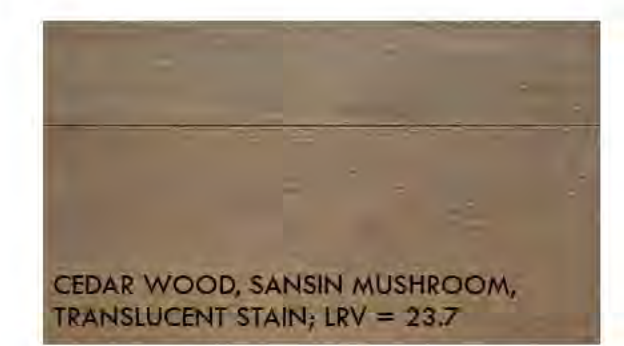
A NEW RESIDENCE:
THE RESIDENCE
(FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

FRONT & LEFT ELEVATIONS
DATE: 07/03/24
SCALE: AS SHOWN
SHEET
A-10



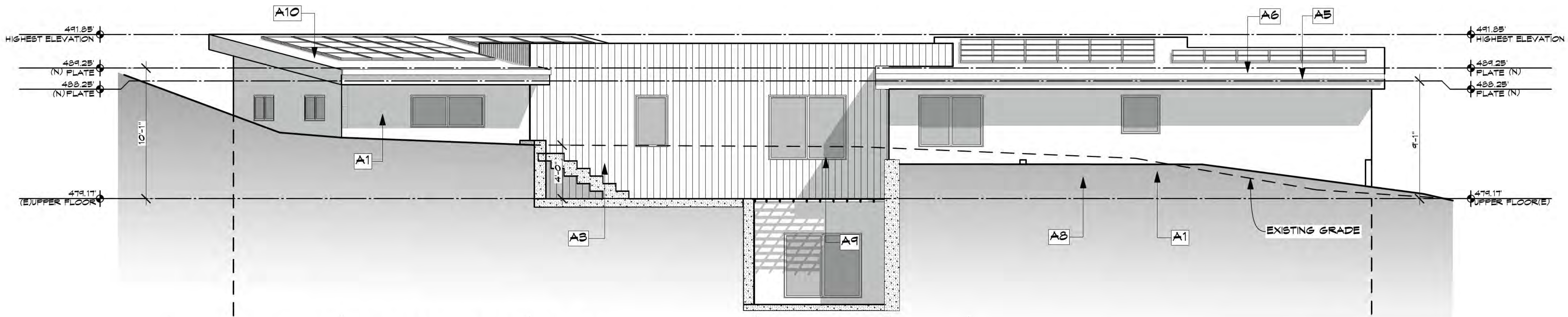
MATERIALS BOARD

- A1** INTEGRAL COLOR, 4-COAT, SMOOTH STUCCO
- A2** METAL GARAGE DOORS, WITH LITE
- A3** VERTICAL WOOD SIDING, WITH NICKEL GAP
- A4** PORCELAIN SLAB, STONE VENEER, LARGE FORMAT
- A5** WOOD FASCIA BOARD, W/ SOFFITED EAVES
- A6** RECTANGULAR METAL GUTTERS
- A7** METAL AND GLASS RAILINGS
- A8** EXPOSED WIDE FLANGE COLUMNS
- A9** ALUMINUM FRAMED WINDOWS & DOORS
- A10** PVC MEMBRANE ROOFING

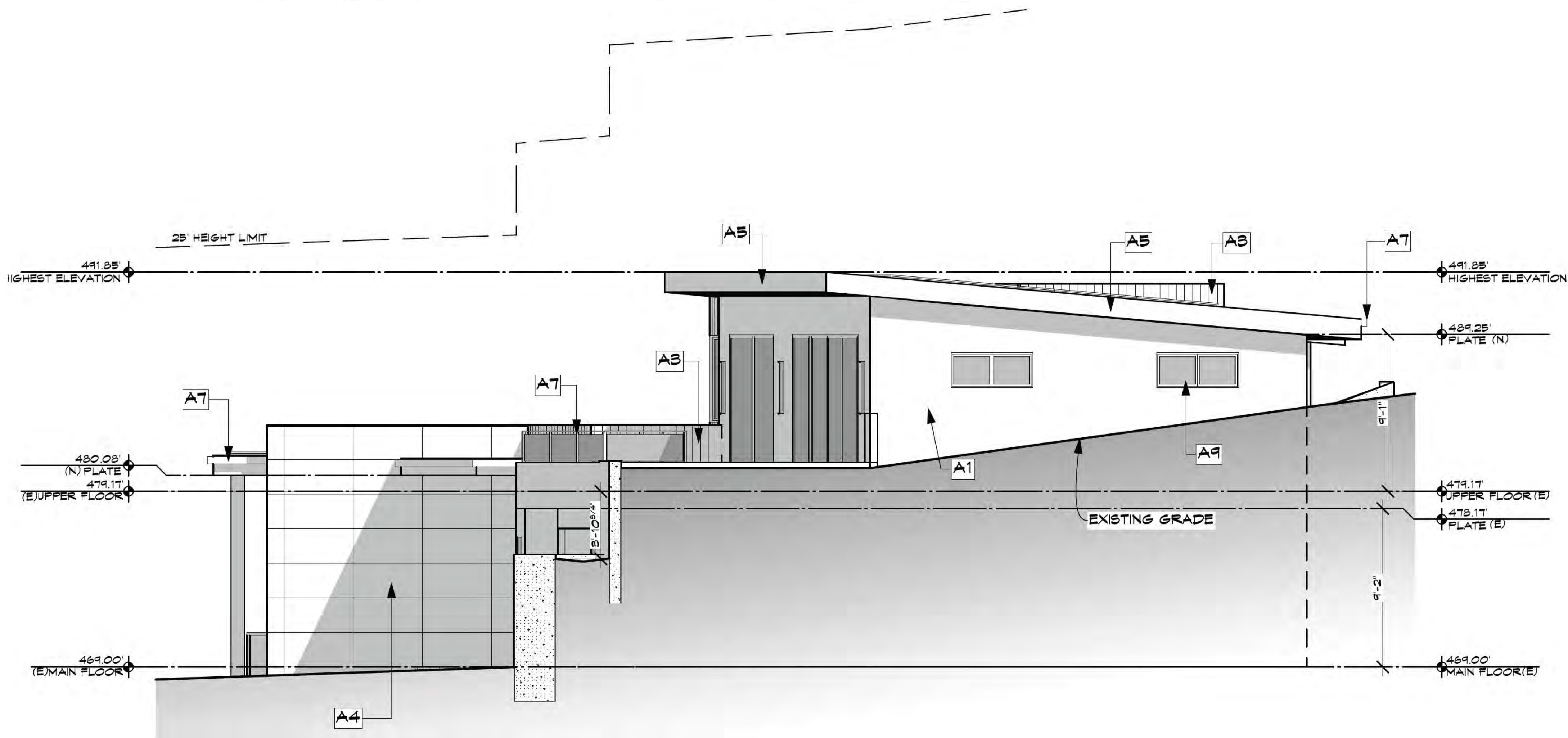


NOTES:
 1. EXTERIOR WINDOWS SHOULD HAVE TEMPERED GLASS TO REDUCE GLARE.
 2. ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.

REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25



PROPOSED REAR (SOUTH) ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED RIGHT (WEST) ELEVATION
SCALE: 1/4" = 1'-0"

- NOTES:**
- EXTERIOR WINDOWS SHOULD HAVE TEMPERED GLASS TO REDUCE GLARE.
 - ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.

MATERIALS BOARD

	A1 INTEGRAL COLOR, 4-COAT, SMOOTH STUCCO
	A2 METAL GARAGE DOORS, WITH LITE
	A3 VERTICAL WOOD SIDING, WITH NICKEL GAP
	A4 PORCELAIN SLAB, STONE VENEER, LARGE FORMAT
	A5 WOOD FASCIA BOARD, W/ SOFFITED EAVES
	A6 RECTANGULAR METAL GUTTERS
	A7 METAL AND GLASS RAILINGS
	A8 EXPOSED WIDE FLANGE COLUMNS
	A9 ALUMINUM FRAMED WINDOWS & DOORS
	A10 PVC MEMBRANE ROOFING

A NEW RESIDENCE:
THE RESIDENCE
(FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

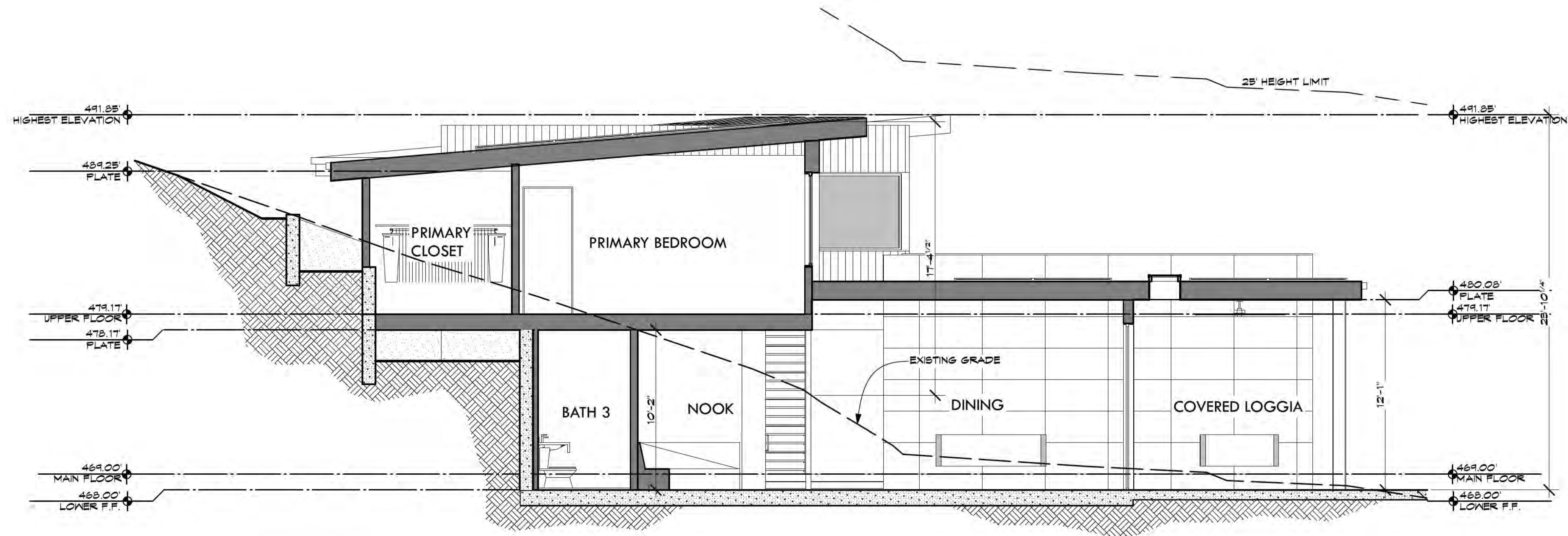
REAR & RIGHT ELEVATIONS

DATE: 07/03/24
SCALE: AS SHOWN
SHEET

A-11

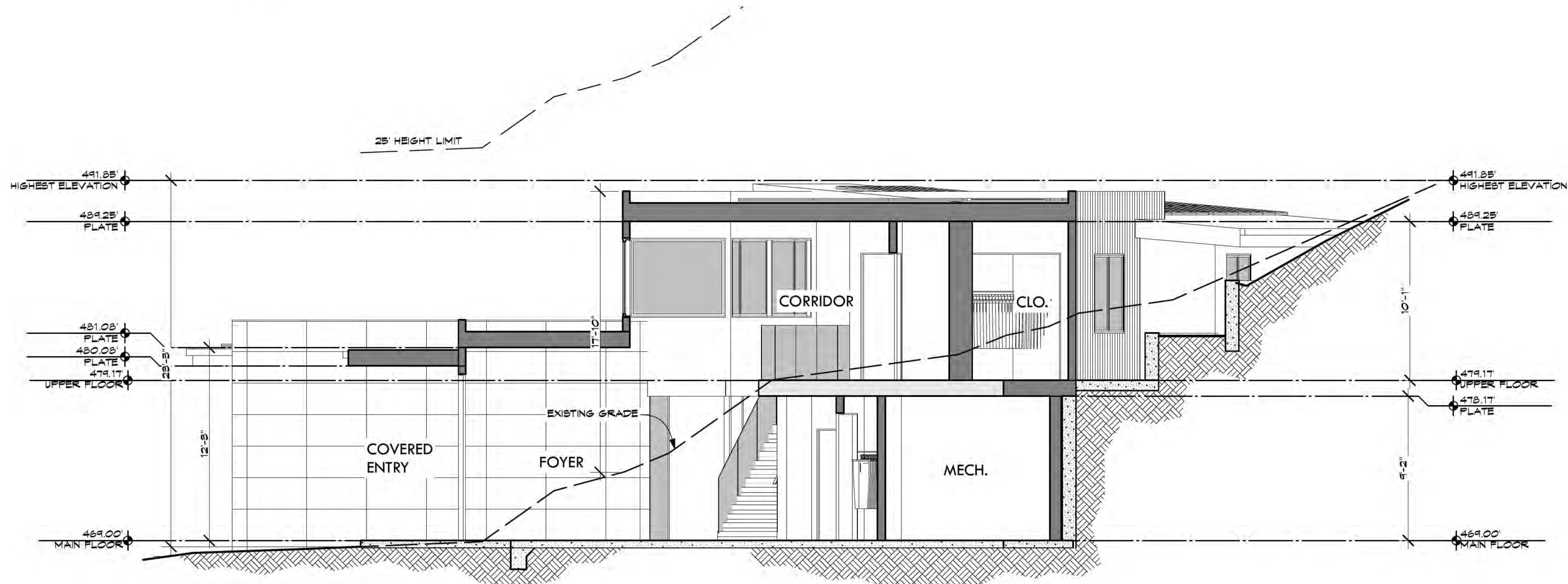
REVISIONS	
A.	09/25/24
B.	12/09/24
C.	01/16/25

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SECTION A-A

SCALE: 1/4" = 1'-0"



SECTION B-B

SCALE: 1/4" = 1'-0"

A NEW RESIDENCE:
THE RESIDENCE
 (FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

CROSS SECTIONS

DATE: 07/03/24

SCALE: AS SHOWN

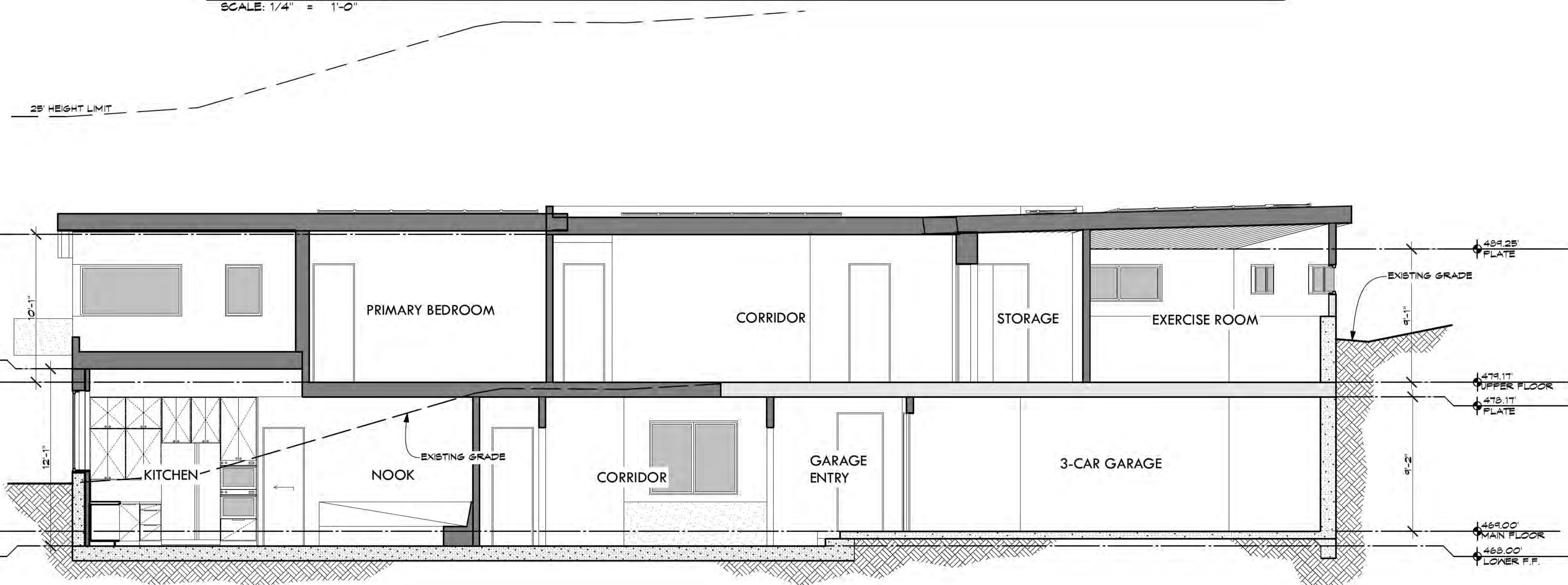
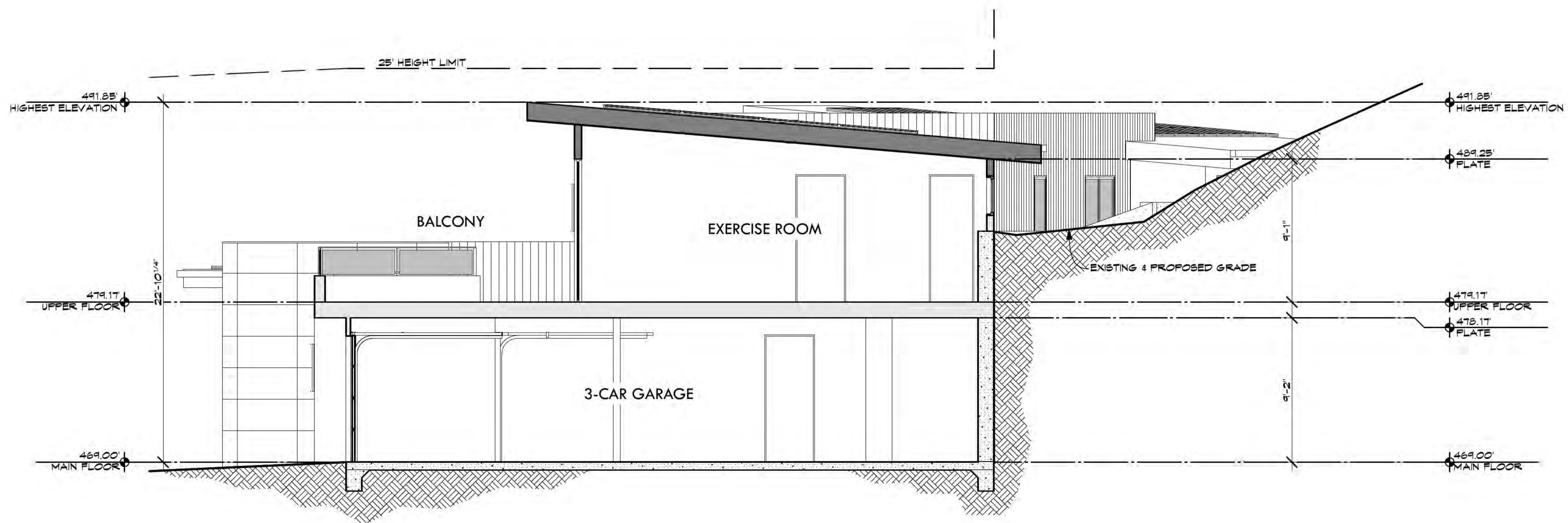
SHEET

A-12

REVISIONS

A.	09/25/24
B.	12/09/24
C.	01/16/25

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A NEW RESIDENCE:
THE RESIDENCE
 (FORMERLY 119 HARWOOD COURT, LOS GATOS, CA)

CROSS SECTIONS

DATE: 07/03/24

SCALE: AS SHOWN

SHEET

A-13