

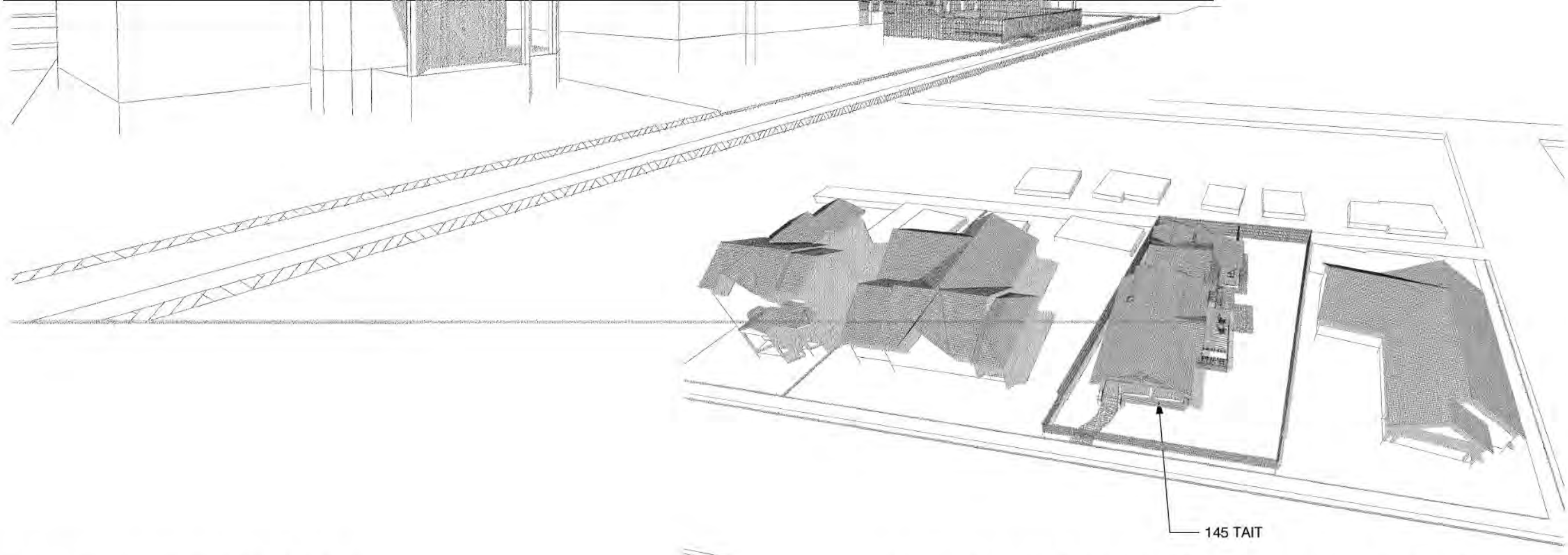
ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFGR.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	(N)	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RAFTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIDGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
(E)	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPERATURE
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T&G.	TOUNGE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYPSUM BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		

APPLICABLE CODES

2022 California Building Code - CCR Title 24 Part 2
2022 California Residential Code - CCR Title 24 Part 2.5
2022 California Electrical Code - CCR Title 24 Part 9
2022 California Mechanical Code - CCR Title 24 Part 4
2022 California Plumbing Code - CCR Title 24 Part 5
2022 California Building Energy Efficiency Standards - CCR Title 24 Part 6
2022 California Historical Building Code - CCR Title 24 Part 8
2022 California Existing Building Code - CCR Title 24 Part 10
2022 California Green Building Standards Code - CCR Title 24 Part 11
2022 International Existing Building Code, Appendix Chapters A2 and A5

2022 California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes



ASSESSOR TAX MAP



PROJECT DATA & DESCRIPTION

Assessor's Parcel Number (APN): 510-18-029

ZONING: R-1D:LHP

BUILT: 1920 AND 1996 BACK ADDITION

LOT SIZE: 9,700 SF

CONSTRUCTION TYPE: TYPE V-B

OCCUPANCY GROUP: R3 - 1-STORY SINGLE FAMILY DWELLING & ATTACHED GROUP U PRIVATE GARAGE

PROJECT DESCRIPTION
EXISTING 1,833 SF, 1920 2 STORY RESIDENCE WITH 1996 ADDITION IN THE BACK SECTION (2 STORY BEDROOMS & 1 STORY GARAGE)

REPLACE 1996 'ANDERSON' WINDOWS THROUGHOUT THE HOUSE WITH MARVIN WINDOWS WITH APPROPRIATE S.D.L'S

REMODEL/INSTALL (N) FINISHES/CABINETS INSIDE (E) HOUSE;
FILL IN 35 SF ON FIRST FLOOR BEHIND KITCHEN BAY;
NEW 230 SF 1 STORY GARAGE BAY ADDITION AT BACK 1996 SECTION;
REMODEL EXISTING SECOND FLOOR OF 1996 SECTION FOR PRIMARY BATH AND CLOSET; CONSTRUCT 146 SF PRIMARY BEDROOM ADDITION ON FLOOR OF EXISTING GARAGE ATTIC STORAGE

VICINITY MAP



WVSD SEWER LINE MAP



SCFD NOTES

**Fire sprinklers not required, 2,418 sf House;
3,600 sf is threshold requirement**

R313.2 One- and two-family dwellings automatic fire sprinkler systems. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows:

1. In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than three thousand six hundred (3,600) square feet.

Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

Water Supply Requirements
Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and / or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7

CONSTRUCTION FIRE SAFETY
Section A33-47 of the Santa Clara County Code and Section 101 of the California Fire Code give the County Fire Marshal the authority to make and enforce such rules and regulations for the prevention and control of fire and fire hazards as may be necessary to carry out the intent of the Code. Copies of Santa Clara County Fire Marshal Standards and the County Fire Code Amendments can be found on this website. (REF: SCC A33-47 & CFC §101.4) Construction to comply with Chapter 33 Std Detail and Specification S1-7.

The Fire Marshal's Office also has the responsibility for enforcing Title 19 of the California Code of Regulations, and portions of the California Building Code, as adopted by the County of Santa Clara. A copy of the County Fire Code is kept at the County Clerk of the Board's Office.

PREMISES ADDRESS IDENTIFICATION
The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved per code. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1

NOTES

1. All adhesives, sealants, caulks, paints, coatings, and aerosol paint containers must remain on the site for field verification by the Building Inspector. CGBSC Section 4.504.2.4

2. "Prior to final inspection, a letter signed by the general contractor OR the owner/builder (for any owner/builder projects) must be provided to the Town of Los Gatos Building Official certifying that all adhesives, sealants, caulks, paints, coatings, aerosol paints, aerosol coatings, carpet systems (including carpeting, cushion and adhesive), resilient flooring systems, and composite wood products installed on this project are within the emission limits specified in CGBSC Section 4.504."

3. Verification of replacement of all existing to remain non-compliant plumbing fixtures with water-conserving plumbing fixtures as specified in Civil Code Section 1101.1-1101.8, shall be provided to the Town Building Inspector, prior to final inspection. This requirement applies to all existing to remain plumbing fixtures located within the structure under the scope of this permit."

1895 SANBORN MAP



CONTACTS

OWNER: 145 Tait Avenue
Los Gatos, CA 95030

ARCHITECT: Beckstrom Architecture + Interiors
PO Box 1317, Los Gatos, CA 95030
650 847 835; eric@beckstromarchitecture.com

CONTRACTOR: OWNER/BUILDER

STRUCTURAL ENGINEER: Efe Sozkesen MS. PE.
4x Engineering, Inc.
4340 Stevens Creek Blvd. Suite # 240
San Jose, CA 95129
408 642 5464, contact@4xengineering.com

CONTRACTOR: TBD

TITLE 24/
GREENPOINT RATER: Monika Taylor CEA R13 14 10017
633 Monterey Trail, POB 2199, Frazier Park, CA 93225 2199
800 237 8624; title24@razmtn.com

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LEGEND

#	DOOR
#	WINDOW
X A-XX	Detail # Sheet #
X A-XX	INTERIOR ELEVATIONS
X A-XX	SECTION
X A-XX	EXTERIOR ELEVATION
X-X"	(UNLESS NOTED OTHERWISE)
X X-X"	SLOPE
X X-X"	ELEVATION HEIGHTS

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△	EB
△	
△	

BECKSTROM	ARCHITECTURE + INTERIORS
P.O. BOX 1317, LOS GATOS, CA 95030 eric@beckstromarchitecture.com www.beckstromarchitecture.com	

Res. Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC - 2
8/23/2024

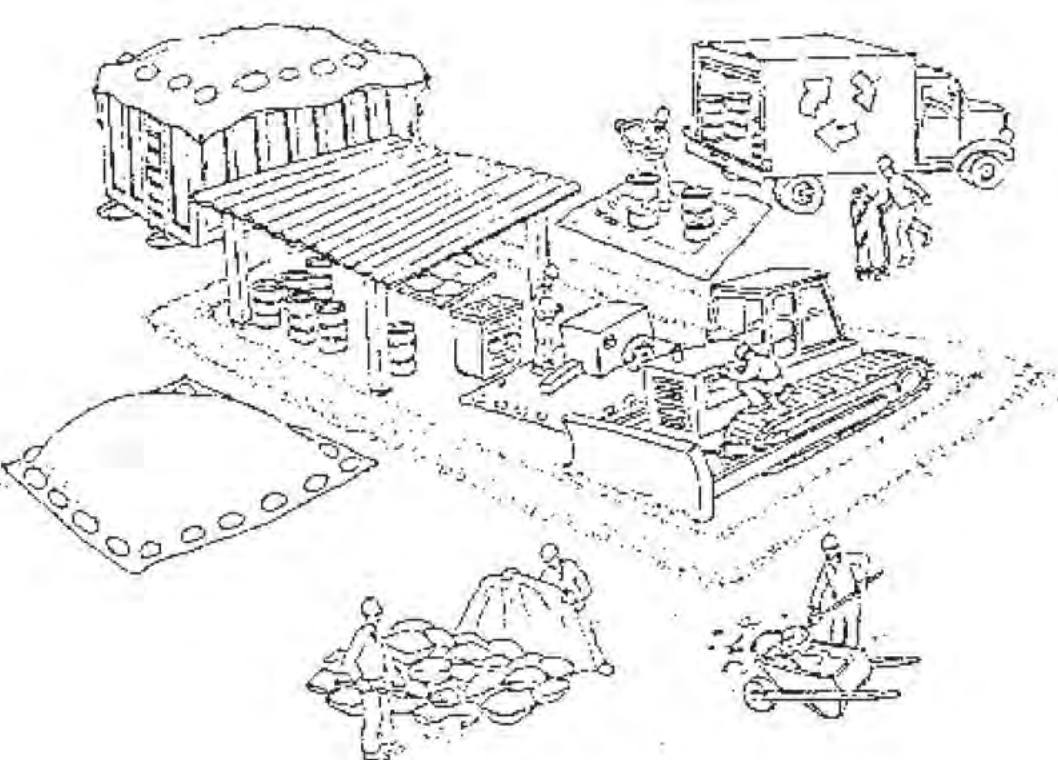


DRAWING TITLE	COVER SHEET
DRAWN	EB
DATE	8/23/2024
SCALE	1" = 1' 0", 6" = 1' 0", 1:1.89
JOB NO	6
FILENAME	2427 145 TAIT CD3.3.pln
SHEET	A0.0

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISIONS	BY
△	EB
△	
△	
BECKSTROM ARCHITECTURE + INTERIORS	
P.O. BOX 1317 LOS GATOS CA 95030 er@beckstromarchitect.com www.beckstromarchitect.com	
Remodel & Addition	
145 Tait Avenue Los Gatos, CA 95030 APN: 510-18-029	
HPC - 2 8/23/2024	
SEAL LICENSED ARCHITECT ERIC A. BECKSTROM C-25632 7/31/2025 RESIDUAL DATE Eric A. Beckstrom	
DRAWING TITLE BLUEPRINT FOR A CLEAN BAY	
DRAWN	EB
DATE	8/23/2024
SCALE	1:1.20
JOB NO	6
FILENAME	2427 145 TAIT CD3.3.pln
SHEET	A0.1

2007 Home Remodeling GreenPoints Checklist



Build It Green
Smart Solutions from the Ground Up

The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

Community

Energy

IAQ/Health

Resources

Water

A. SITE

1. Protect Existing Soil and Minimize Disruption of Existing Plants & Trees

a. Protect Existing Topsoil from Erosion and Reuse after Construction

b. Limit and Delineate Construction Footprint for Maximum Protection

2. Deconstruct Instead of Demolish

3. Recycle Construction and Demolition Waste

a. Recycle or Reuse All Cardboard, Asphalt & Concrete (Required)

b. Recycle 50% of Remaining C&D Waste

B. FOUNDATION

1. Replace Portland Cement in Concrete with Recycled Flyash or Slag

a. Minimum 30% Flyash or Slag

b. Minimum 40% Flyash or Slag

2. Retrofit Crawl Space to Control Moisture

a. Control Ground Moisture with Vapor Barrier

b. Condition the Crawl Space

3. Design & Build Structural Pest Controls

a. Install Termite Shields and Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers

b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation

C. LANDSCAPE

1. Construct Resource-Efficient Landscapes

a. No Invasive Species Listed by Cal-IPC Are Planted

b. No Plant Species Will Require Shearing

c. 75% of Plants Are Drought-Tolerant California Natives, Mediterranean, or Other Appropriate Species

2. Use Fire-Safe Landscaping Techniques

3. Minimize Turf Areas

a. All Turf Will Have a Water Requirement Less than or Equal to Tall Fescue

b. Turf Shall Not Be Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide

c. Turf is <33% of Landscaped Area

d. Turf is <10% of Landscaped Area

4. Plant Shade Trees

5. Group Plants by Water Needs (Hydrozoning)

6. Install High-Efficiency Irrigation Systems

a. System Uses Only Drip, Bubblers, or Low-flow Sprinklers

b. System Has Smart Controllers

7. Incorporate Two Inches of Compost into the Top 6 to 12 Inches of Soil

8. Mulch All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement

9. Use 50% Salvaged or Recycled-Content Materials for 80% of Non-Plant Landscape Elements

10. Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward

11. Collect and Retain Rainwater for Irrigation

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D. STRUCTURAL FRAME & BUILDING ENVELOPE

1. Apply Optimal Value Engineering

a. Place Rafters and Studs at 24-Inch On Center Framing

b. Size Door and Window Headers for Load

c. Use Only Jack and Cripple Studs Required for Load

2. Use Engineered Lumber

a. Beams and Headers

b. Insulated Engineered Headers

c. Wood I-Joists or Web Trusses for Floors

d. Wood I-Joists for Roof Rafters

e. Engineered or Finger-Jointed Studs for Vertical Applications

f. Oriented Strand Board for Subfloor

g. Oriented Strand Board Wall and Roof Sheathing

3. Use FSC Certified Wood

a. Dimensional Lumber and Timbers: Minimum 40%

b. Dimensional Lumber and Timbers: Minimum 70%

c. Panel Products: Minimum 40%

d. Panel Products: Minimum 70%

4. Use Solid Wall Systems (includes SIPs, ICFs, & any Non-Stick Frame Assembly)

a. Floors

b. Walls

c. Roofs

5. Reduce Pollution Entering the Home from the Garage

a. Tightly Seal the Air Barrier between Garage and Living Area

b. Install Garage Exhaust Fan OR Build a Detached Garage

6. Design Energy Heels on Roof Trusses

7. Install Overhangs and Gutters

8. Install Reflective Roof and Radiant Barrier

9. Replace Single-Pane Windows with High Performance Windows (U-factor ≤ 0.40 & SHGC ≤ 0.40)

10. Retrofit with Storm Windows

11. Install Low-SHGC Window Film on Single-Pane Windows

12. Retrofit Structure for Earthquakes

E. EXTERIOR FINISH

1. Use Recycled-Content (No Virgin Plastic) or FSC-Certified Decking

2. Install Rain Screen Wall System

3. Use Durable and Noncombustible Siding Materials

4. Use Durable and Noncombustible Roofing Materials

F. INSULATION

1. Install Insulation with 75% Recycled Content

a. Walls and/or Floors

b. Ceilings

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G. PLUMBING

4. Inspect Quality of Insulation Installation before Applying Drywall

5. Apply Caulking & Weatherstripping

6. PLUMBING

1. Distribute Domestic Hot Water Efficiently

a. Insulate Hot Water Pipes from Water Heater to Kitchen

b. Insulate All Hot Water Pipes

c. Use Engineered Parallel Piping

d. Use Engineered Parallel Piping with Demand Controlled Circulation Loop

e. Use Structured Plumbing with Demand Controlled Circulation Loop

f. Use Central Core Plumbing

2. Replace Toilets with High-Efficiency Toilets (Dual-Flush or ≤ 1.3 gpf)

3. Upgrade to High Efficiency Water Heater

4. Install Water Efficient Fixtures

a. Showersheads or Shower Towers Use < 2.0 Gallons Per Minute Total

b. Faucets - Bathrooms <1.5 gpm

c. Faucets - Kitchen & Utility < 2.0 gpm

H. HEATING, VENTILATION & AIR CONDITIONING

1. Design and Install HVAC System to ACCA Recommendations

2. Install High Efficiency Sealed Combustion Units

a. Furnaces and Boilers

b. Heat Pumps

3. Install Zoned, Hydronic Radiant Heating with Slab Edge Insulation

4. Install High Efficiency Air Conditioning with Environmentally Responsible Refrigerants

5. Design and Install Effective Ductwork

a. Install New Ductwork Within Conditioned Space

b. Use Duct Mastic on All Ducts and Joints Seams

c. Install Ductwork under Attic Insulation (Buried Ducts)

d. Pressure Balance the Ductwork System

e. Protect Ducts During Remodeling & Clean All Ducts before Occupancy

f. Insulate Existing Ductwork

6. Retrofit with Storm Windows

7. Install High Efficiency HVAC Filter (MERV 6+)

8. Install gas fireplace with efficiency rating not less than 60% using CSA standard

a. No fireplace

b. Install gas fireplace with efficiency rating not less than 60% using CSA standard

c. Retrofit wood burning fireplaces with EPA-certified wood or pellet stove

9. Install Effective Exhaust Systems in Bathrooms and Kitchens

a. Install ENERGY STAR Bathroom Fans Vented to the Outside

b. All Bathroom Fans are on Timer or Humidistat

c. Install Kitchen Range Hood Vented to the Outside

10. Install Mechanical Ventilation System for Cooling

a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms

b. Install Whole House Fan with Variable Speeds

10. Install Mechanical Ventilation for Fresh Air

a. Install Air-to-Air Heat Exchanger (Heat or Energy Recovery Ventilator)

11. Install Carbon Monoxide Alarm(s)

Community

Energy

IAQ/Health

Resources

Water

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Water

I. RENEWABLE ENERGY

1. Install Solar Water Heating System

2. Install Photovoltaic (PV) System that offsets electric energy use by:

a. 30% of electric needs OR 1.2 kw

b. 60% of electric needs OR 2.4 kw

c. 90% of electric needs OR 3.6 kw

J. BUILDING PERFORMANCE

1. Whole House Inspection/Diagnostic Testing & Improvements Made

a. Duct Testing and Improvements Made so that Leakage is < 15%

b. Blower Door Testing and Improvements Made so that Air Change per hour is < 0.35

c. House Passes Combustion Safety Backdraft Test

K. FINISHES

1. Design Entryways to Reduce Tracked in Contaminants

2. Use Low/No-VOC Paint

a. Low-VOC Interior Wall/Ceiling Paints (Flat <50 g/L VOC; Non-Flat <150 g/L VOC)

b. Zero-VOC Interior Wall/Ceiling Paints (<5 g/L VOC)

3. Use Low-VOC, Water-Based Wood Finishes (<250 g/L VOC)

4. Use Low-VOC Caulks & Construction Adhesives (<70 g/L VOC for All Adhesives)

5. Use Recycled-Content Paint

6. Use Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood, B) Reclaimed Materials, C) Rapidly Renewable D) Recycled-Content or E) Finger-Jointed

a. Cabinets (50% Minimum)

b. Interior Trim (50% Minimum)

c. Shelving (50% Minimum)

d. Doors (50% Minimum)

e. Countertops (50% Minimum)

7. Reduce Formaldehyde in Interior Finish (CA Section 01350)

a. Subfloor (50% Minimum)

b. Cabinets (50% Minimum)

c. Interior Trim (50% Minimum)

d. Shelving(50% Minimum)

8. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27 ppb

L. FLOORING

1. Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E) Exposed Concrete. Flooring Adhesives Must Have <50 g/L VOCs.

a. 15% of Floor Area

b. 30% of Floor Area

c. 50% of Floor Area

d. 75% of Floor Area

2. Use Thermal Mass Flooring

3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements (50% Minimum)

M. APPLIANCES AND LIGHTING

1. Install Water and Energy Efficient Dishwasher

a. ENERGY STAR

Community

Energy

IAQ/Health

Resources

Water

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The green building practices listed below are described in the Home Remodeling Green Building Guidelines, available at www.BuildItGreen.com

Community

Energy

IAQ/Health

Resources

Water

N. OTHER

1. Incorporate Remodeling Checklist in Blueprints

2. Develop Homeowner Manual of Green Features/Benefits

3. Innovation: List innovative measures that meet the green building objectives of the Remodeling Guidelines

Innovation in Community: Enter description here

Innovation in Energy: Enter description here

Innovation in IAQ/Health: Enter description here

Innovation in Resources: Enter description here

Innovation in Water: Enter description here

Community

Energy

IAQ/Health

Resources

Water

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REVISIONS :

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BECKSTROM

ARCH TECTURE + NTER ORS

P O BOX 1317 LOS GATOS CA 95030
er@beckstromarch tecture com
www beckstromarch tecture com

Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC - 2
8/23/2024

SEAL

LICENSED ARCHITECT

ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

STATE OF CALIFORNIA

DRAWING TITLE
BUILD IT GREEN 2007 HOME
REMODELING GREEN
POINTS CHECKLIST

DRAWN
EB

DATE
8/23/2024

SCALE
1:1.06

JOB NO
6

FILENAME
2427 145 TAIT CD3.3.pln

SHEET
A0.2

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NOTES	DEMOLITION NOTES
1. ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.	1. ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
2. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, TYP.	2. ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
3. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.	3. DEMOLITION CONTRACTOR TO REDIRECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND SPRINKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
4. EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.	4. CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND FIELD VERIFY ALL DEMOLITION PRIOR TO BEGINNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
5. INTERIOR WALLS TO BE 2X4 STUD, U.O.N.	5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
6. PROVIDE MIN. 1 HR FIRE SEPARATION CONSTRUCTION BETWEEN R 3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.	6. OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.
7. SHOWER WALLS TO HAVE A SMOOTH, HARD, NON ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT OT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.	7. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.
8. 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/ SHOWER ENCLOSURES, TYP.	8. SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
9. PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN SWING/ SLIDER DOORS, 11/2" MAX. AT OUT SWING DOORS) AT ALL EXTERIOR DOORS.	A) IDENTIFYING THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
10. THERMAL INSULATION:	B) SPECIFYING IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE OR BULK MIXED
R 15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS	C) IDENTIFYING DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
R 19 or R 30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.	D) IDENTIFYING CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
R 13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION.	E) SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH
EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.	9. DOCUMENTATION WILL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
1/2" THK. GYP. BD. LEVEL 4 FOR ALL INTERIOR WALLS, (U.O.N.)	10. A PLAN MUST BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.	*CALGREEN RESIDENTIAL MANDATORY MEASURES
ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 80% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6.2.	
11. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE, MASONRY OR SIMILAR, METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.	
12. AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.	
13. ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.	
14. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.	
15. AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES IN SECTION 94522 (a)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF POPULANT LIMITS OF REGULATION 8, RULE 49, HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF FOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).	
16. WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB ON GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:	
A) A 4 INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED	
B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY	
C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL	
17. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.	
18. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.	
19. WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.	
20. DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.	

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2. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, TYP.

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4. EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.

5. INTERIOR WALLS TO BE 2X4 STUD, U.O.N.

6. PROVIDE MIN. 1 HR FIRE SEPARATION CONSTRUCTION BETWEEN R 3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.

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10. THERMAL INSULATION:

R 15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS

R 19 or R 30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.

R 13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION.

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12. AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.

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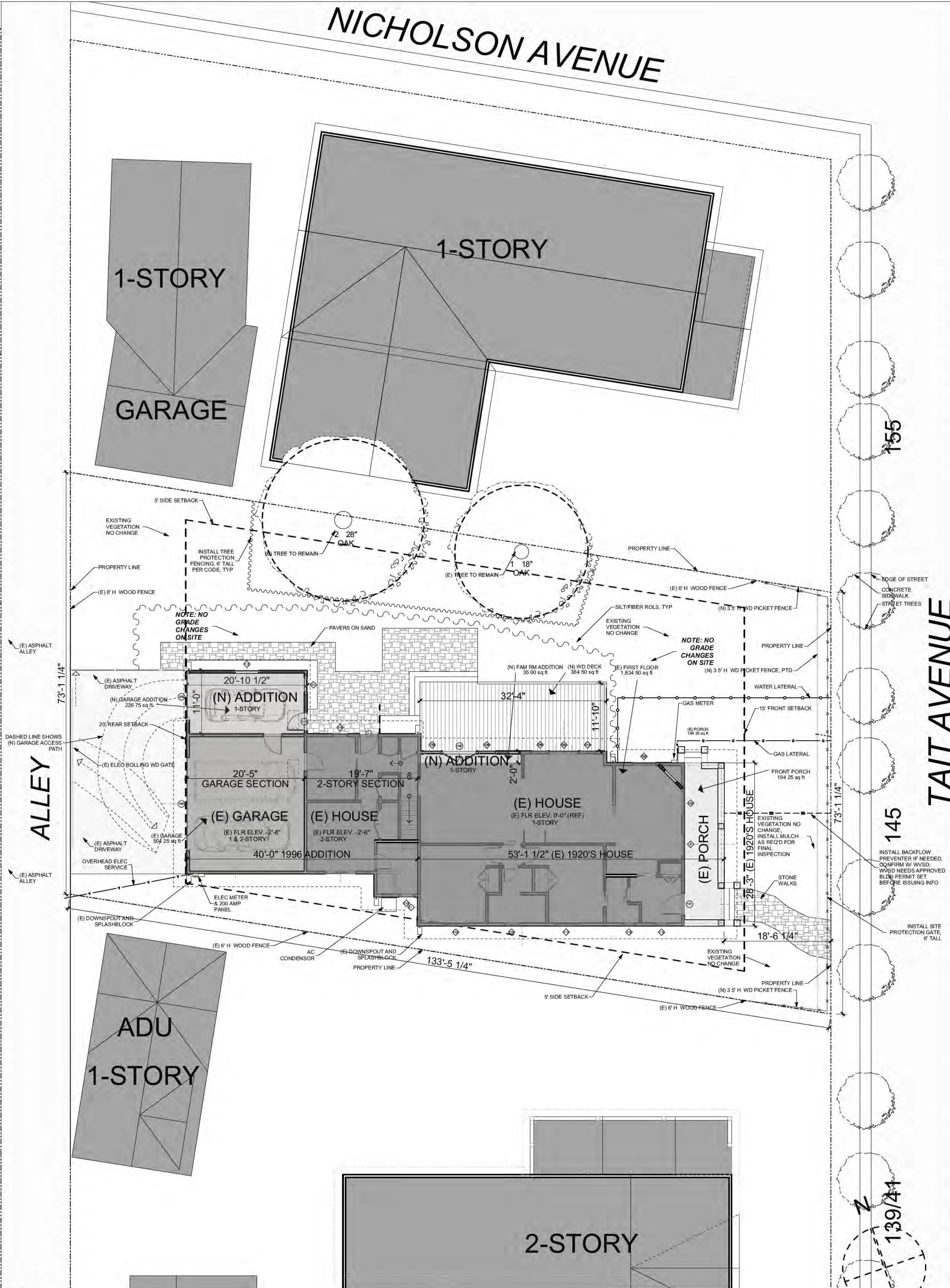
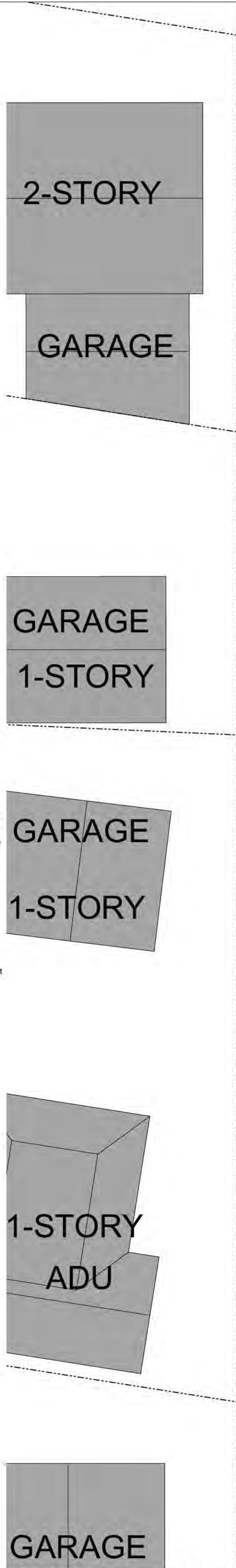
LOT CALCULATIONS	145 TAIT AVE
LOT AREA	9,583.00
COVERAGE CALCULATIONS	
BUILDING COVERAGE ALLOWED	0.40
ALLOWED COVERAGE	3,833.20 SF
PROPOSED COVERAGE	
EXISTING HOUSE	1,835.00 SF
ENTRY PORCH	194.00 SF
FAMILY RM ADDITION	35.00 SF
HOUSE SUBTOTAL	2,064.00 SF
EXISTING GARAGE	504.00 SF
GARAGE ADDITION	230.00 SF
GARAGE SUBTOTAL	734.00 SF
TOTAL BUILDING COVERAGE	2,798.00 SF
AMOUNT UNDER	-1,035.20 SF
FAR CALCULATIONS	
PROPOSED HOUSE FLOOR AREA	AREA
FIRST FLR	1,833.00 SF
(N) FAMILY RM ADDITION	35.00 SF
SECOND FLR	404.00 SF
(N) SECOND FLR ADDITION	146.00 SF
HOUSE SUBTOTAL	2,418.00 SF
HOUSE FAR ALLOWED	3,007.00 SF
AMOUNT UNDER	-589.00 SF
GARAGE	480.00 SF
GARAGE FLOOR AREA TOTAL	480.00 SF
ALLOWED GARAGE FAR AREA	844.00 SF
AMOUNT UNDER	364.00 SF

Pursuant to Town Code, all permanent exterior light fixtures should utilize shields so that no bulb is visible and to ensure that light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes

EXTERIOR HOUSE LIGHTING - all exterior lighting will be downward directed with bulbs shielded from neighbor's view, SEE A2.3, A3.0, A3.1



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Remodel & Addition

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Los Gatos, CA 95030
APN: 510-18-029

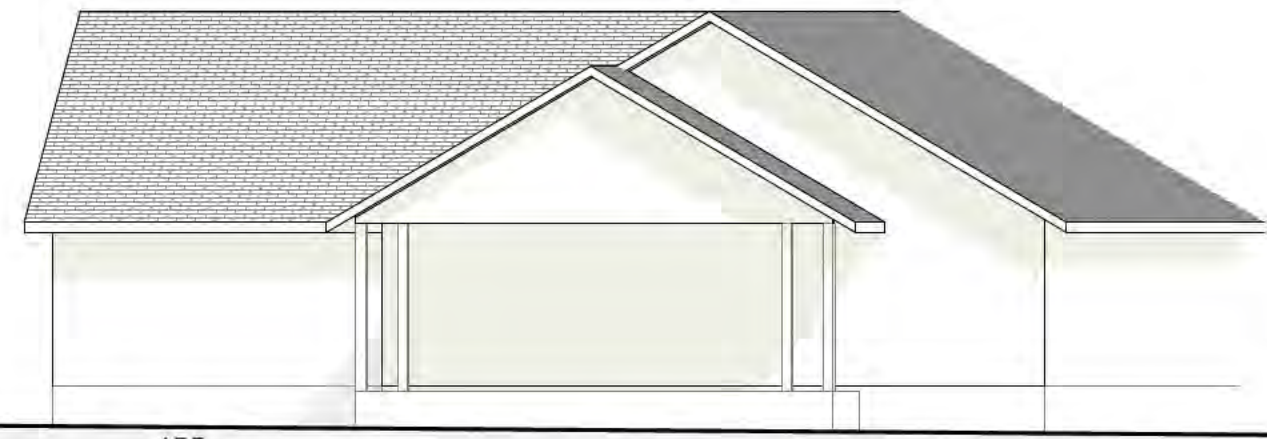
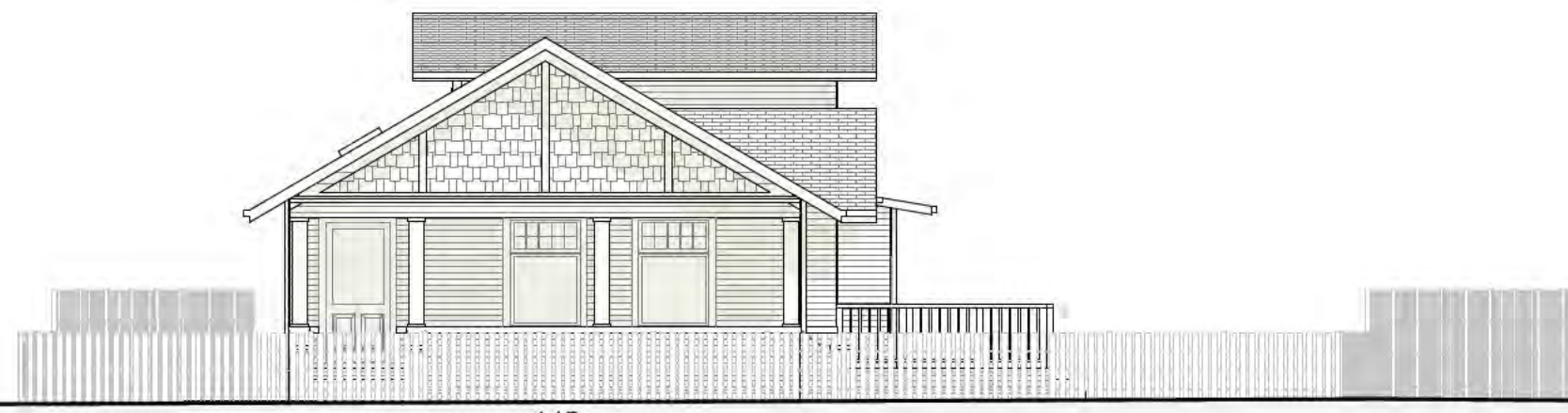
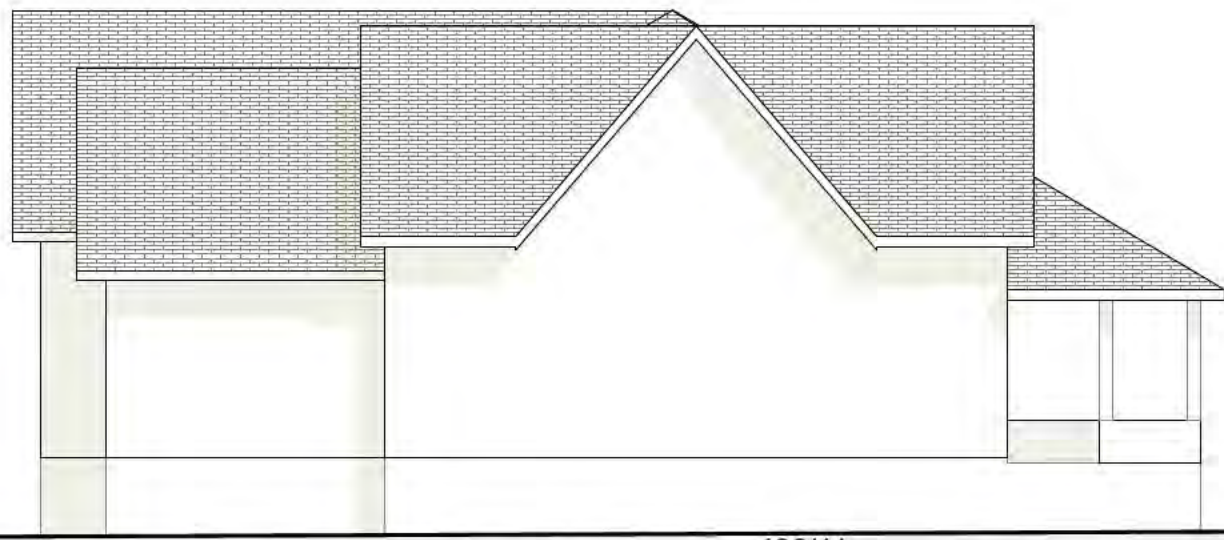
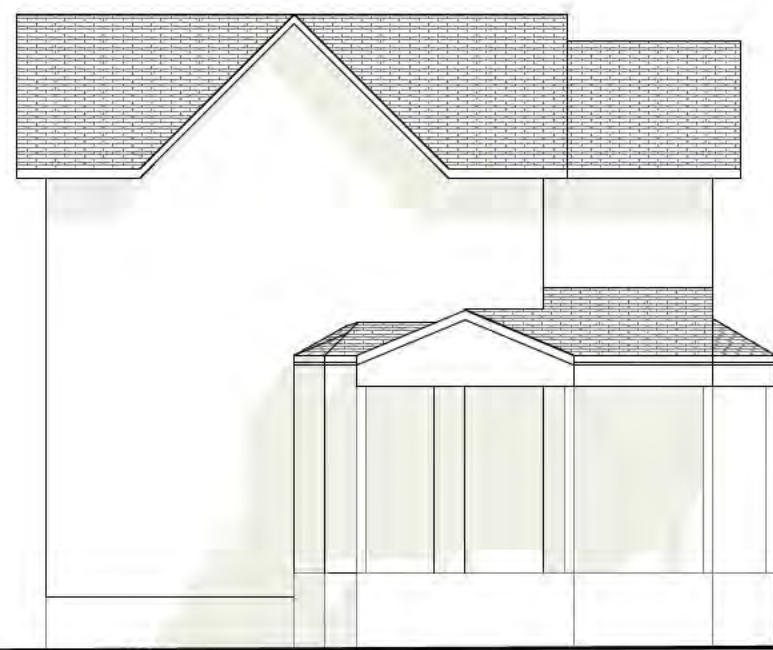
HPC - 2
8/23/2024

SEAL

LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL
DATE
Eric A. Beckstrom

SITE PLAN-PROPOSED

DRAWN: EB
DATE: 8/23/2024
SCALE: 1" = 10', 1" = 1' 0"
JOB NO: 6
FILENAME: 2427 145 TAIT CD3.3.pln
SHEET: A1.0



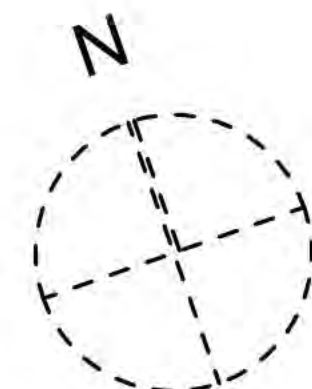
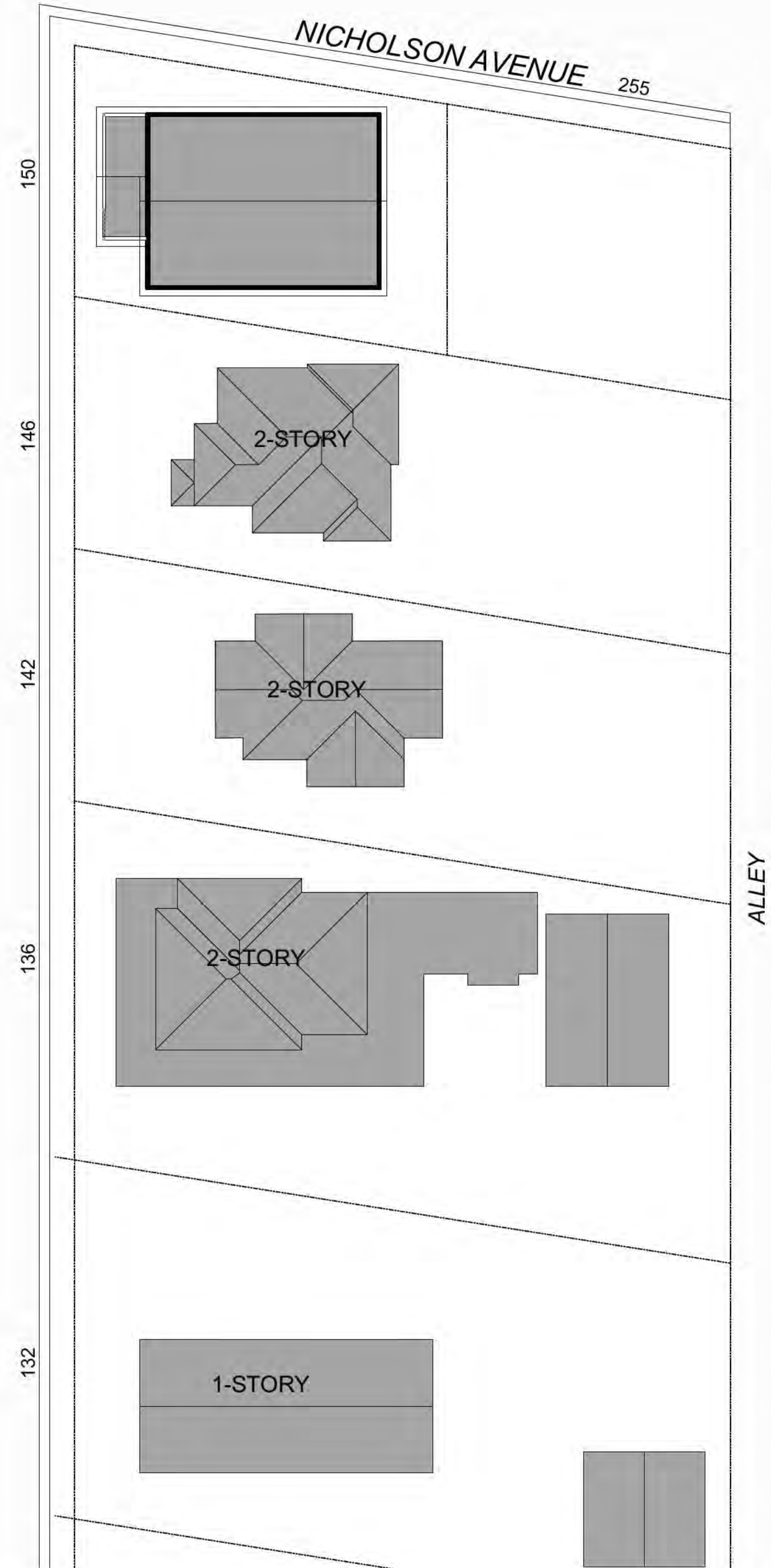
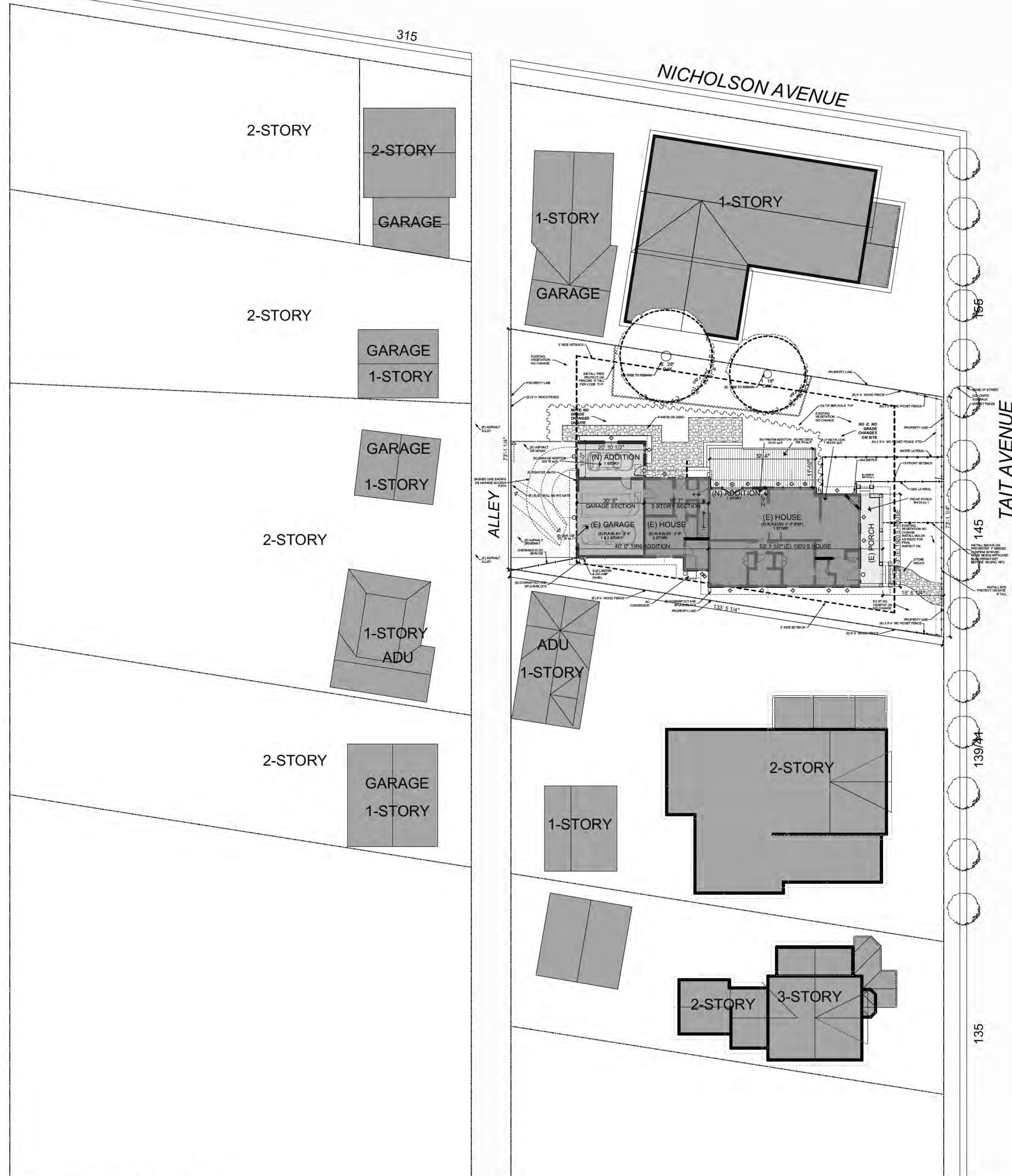
SOUTH/STREET ELEVATION-2

SCALE: 1" = 10'

MASSOL AVENUE

SITE PLAN-NEIGHBORHOOD

SCALE: 1" = 20'



REVISION	BY
△	EB
△	
△	

BECKSTROM
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P O BOX 1317 LOS GATOS CA 95030
er@beckstromarchitect.com
www.beckstromarchitect.com

Remodel & Addition



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HPC - 2
8/23/2024

SEAL



DRAWING TITLE

SITE PLAN-NEIGHBORHOOD

DRAWN

EB

DATE

8/23/2024

SCALE

1" = 20', 1" = 10'

JOB NO

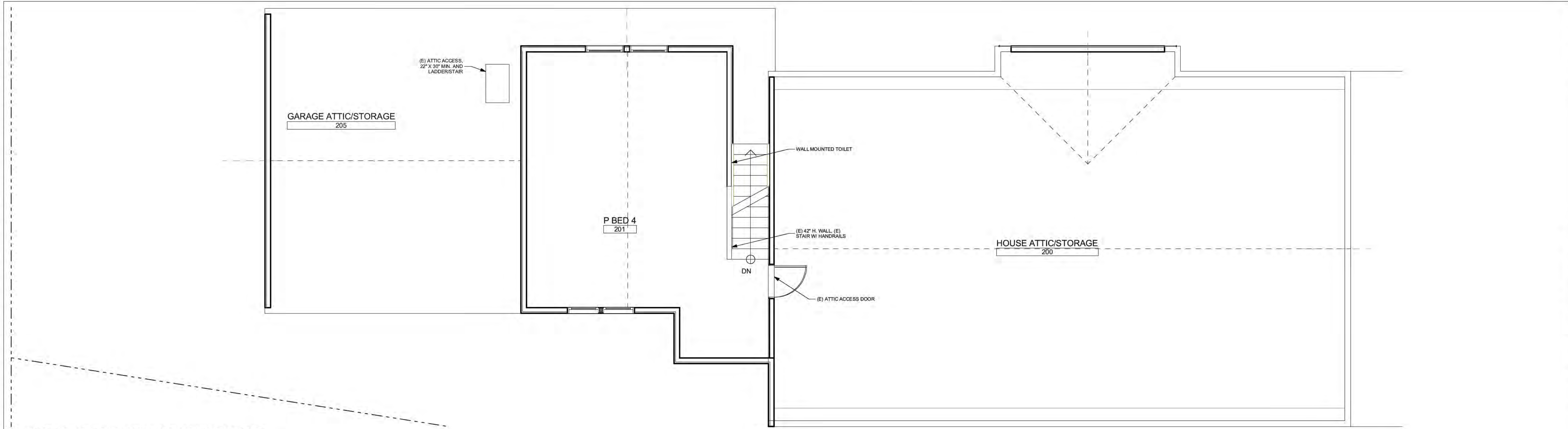
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FILENAME

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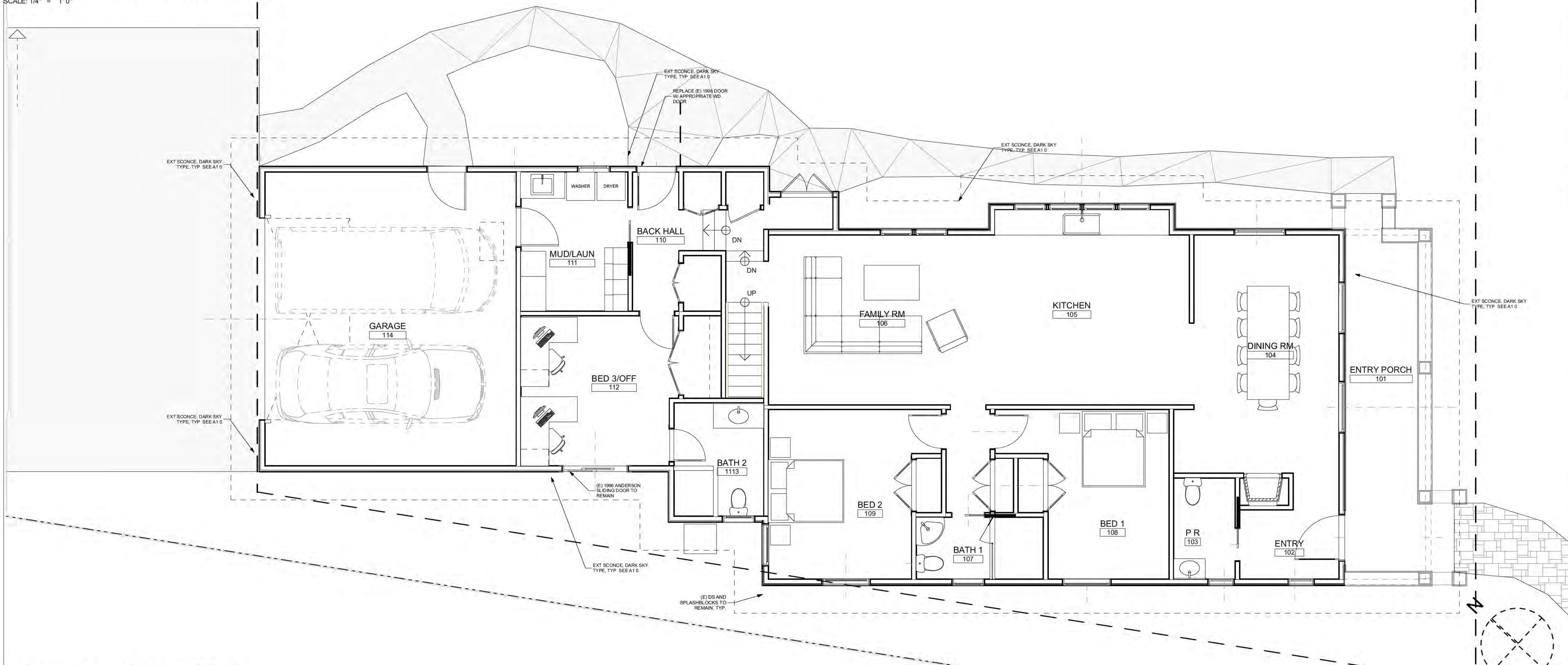
SHEET

A1.1



SECOND FLOOR PLAN-EXISTING

SCALE: 1/4" = 1' 0"

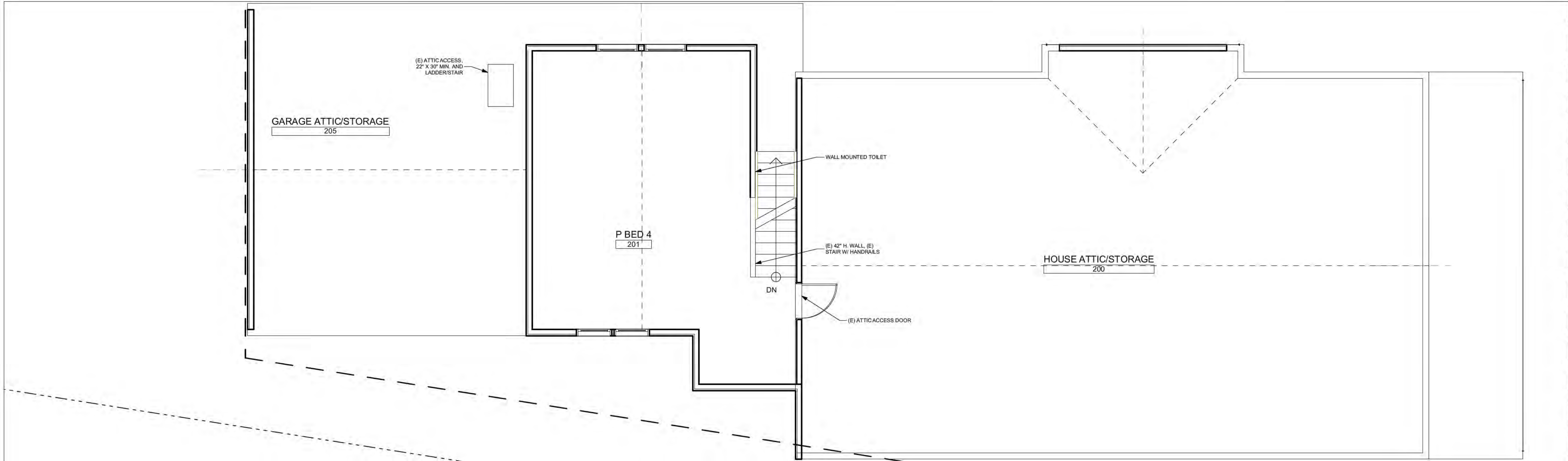


FIRST FLOOR PLAN-EXISTING

SCALE: 1/4" = 1' 0"

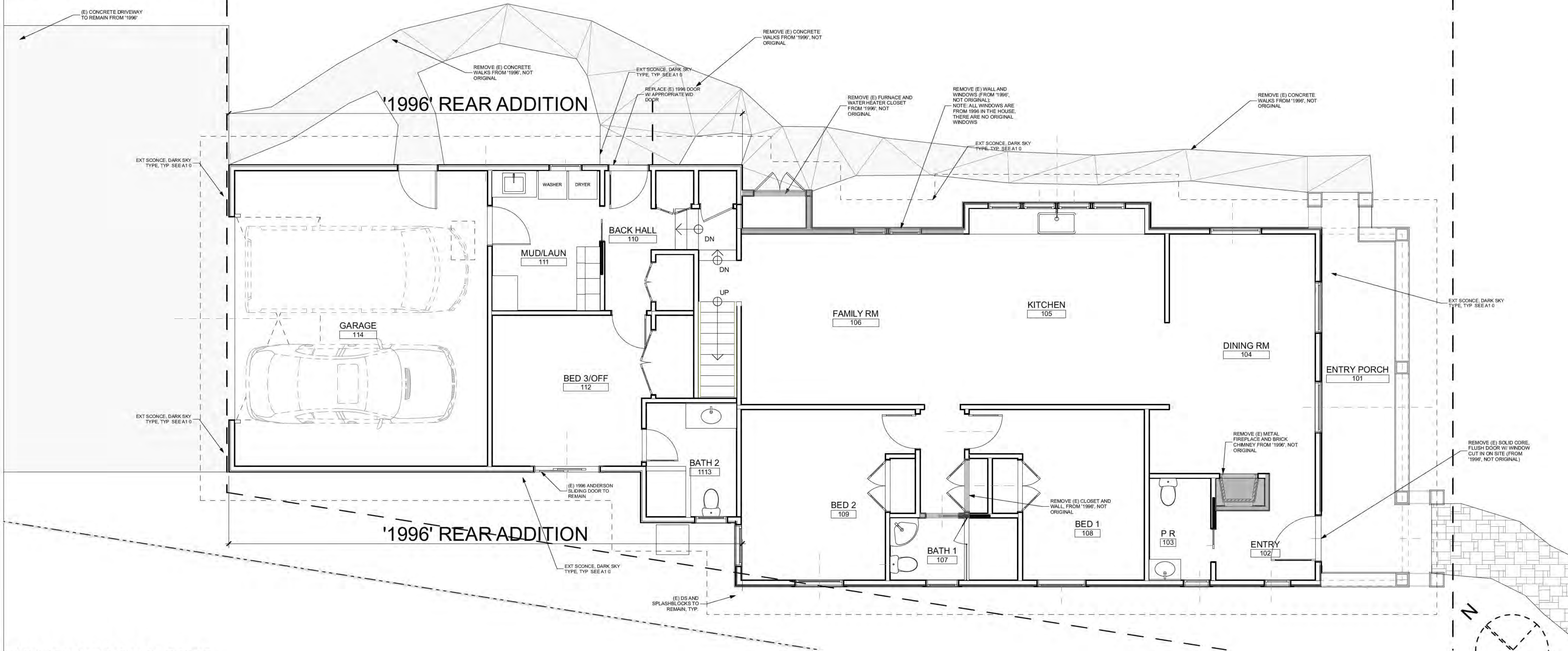
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REVISIONS	BY
△	EB
△	
△	
BECKSTROM	
ARCHITECTURE + INTERIORS	
P.O. BOX 1317 LOS GATOS CA 95030 eric@beckstromarchitect.com www.beckstromarchitect.com	
Remodel & Addition	
145 Tait Avenue Los Gatos, CA 95030 APN: 510-18-029	
HPC - 2 8/23/2024	
SEAL	
DRAWING TITLE	FLOOR PLANS-EXISTING
DRAWN	EB
DATE	8/23/2024
SCALE	1/4" = 1' 0"
JOB NO	6
FILENAME	2427 145 TAIT CD3.3.pln
SHEET	A2.0E



SECOND FLOOR PLAN-DEMO

SCALE: 1/4" = 1' 0"



FIRST FLOOR PLAN-DEMO

SCALE: 1/4" = 1' 0"

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BY/DATE	EB
△	
△	
△	

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RENEWAL DATE
Eric Beckstrom

DRAWING TITLE
FLOOR PLANS-DEMO

DRAWN
EB

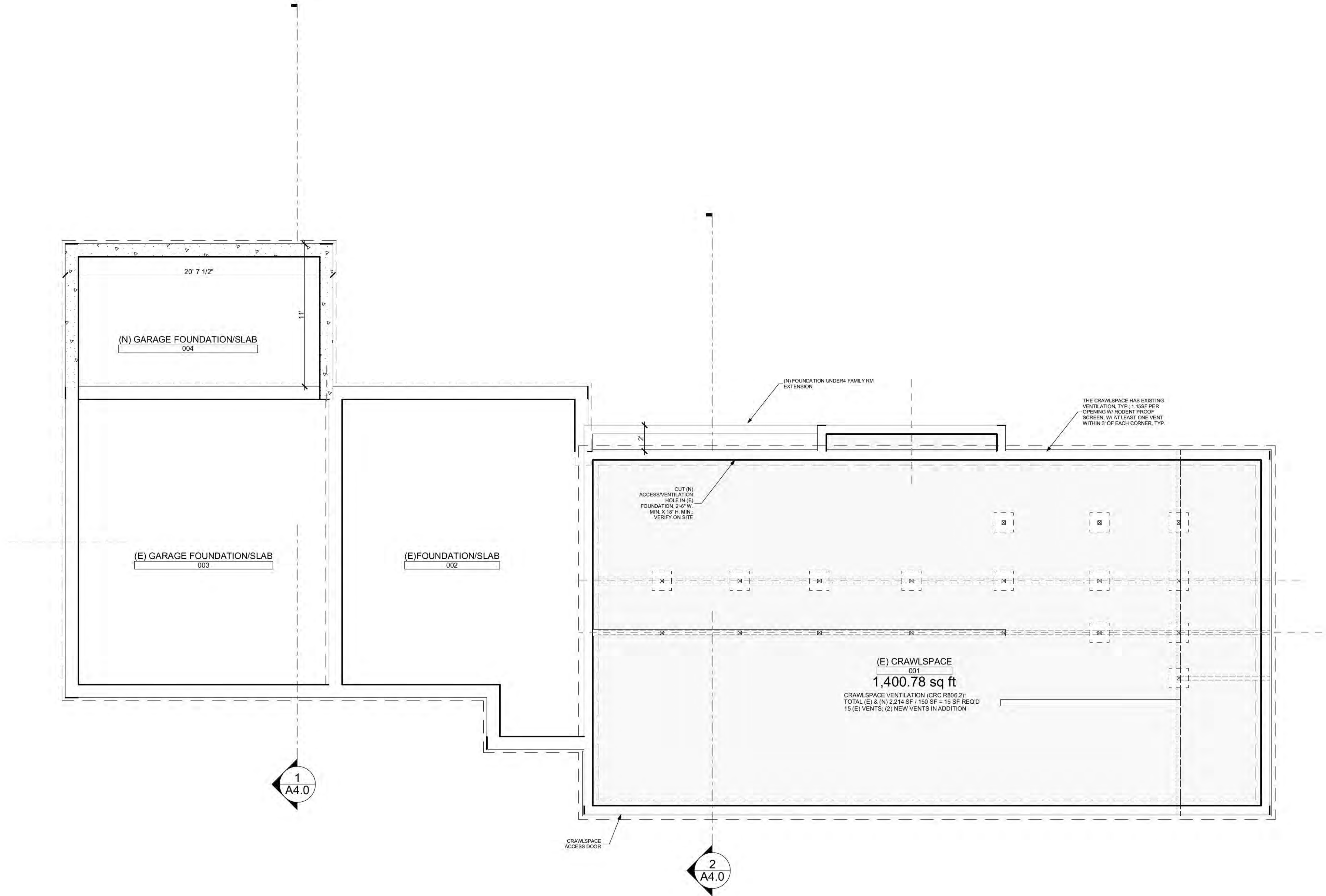
DATE
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FILENAME
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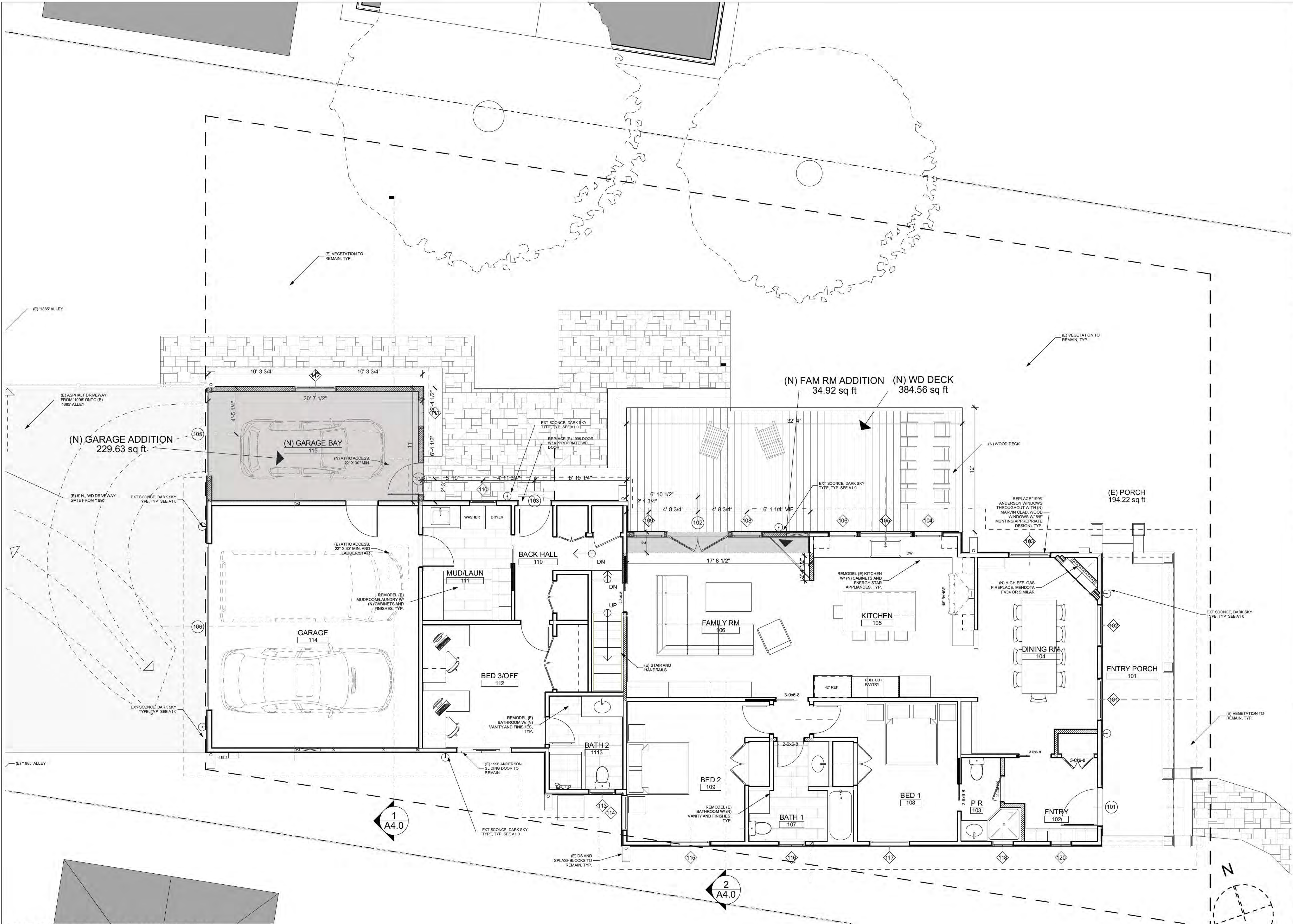
SHEET
A2.1D



SECTION-GARAGE, PRIMARY BEDROOM
SCALE: 1/4" = 1' 0"

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ARCHITECTURE + INTERIORS	
P.O. BOX 1317 LOS GATOS CA 95030 eric@beckstromarchitect.com www.beckstromarchitect.com	
Remodel & Addition	
145 Tait Avenue Los Gatos, CA 95030 APN: 510-18-029	
HPC - 2 8/23/2024	
SEAL 	
DRAWING TITLE CRAWLSPACE-PROPOSED	
DRAWN	EB
DATE	8/23/2024
SCALE	1/4" = 1' 0"
JOB NO	6
FILENAME	2427 145 TAIT CD3.3.pln
SHEET	A2.2



FIRST FLOOR PLAN-PROPOSED

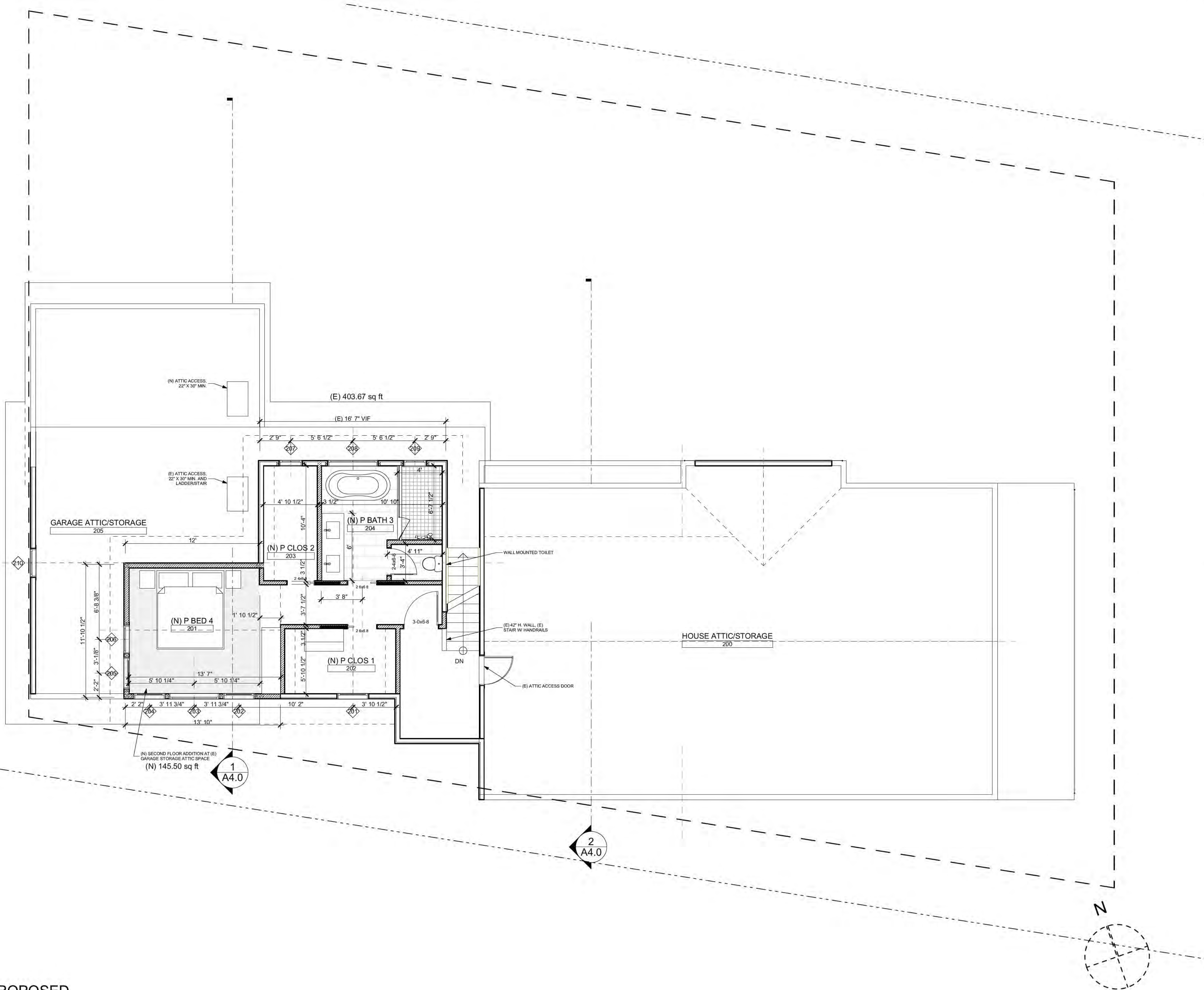
SCALE: 1/4" = 1' 0"

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△		EB
△		
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HPC - 2 8/23/2024		
SEAL		
DRAWING TITLE		
DRAWN		
DATE		
SCALE		
JOB NO		
FILENAME		
SHEET		

SECOND FLOOR PLAN-PROPOSED

SCALE: 1/4" = 1' 0"

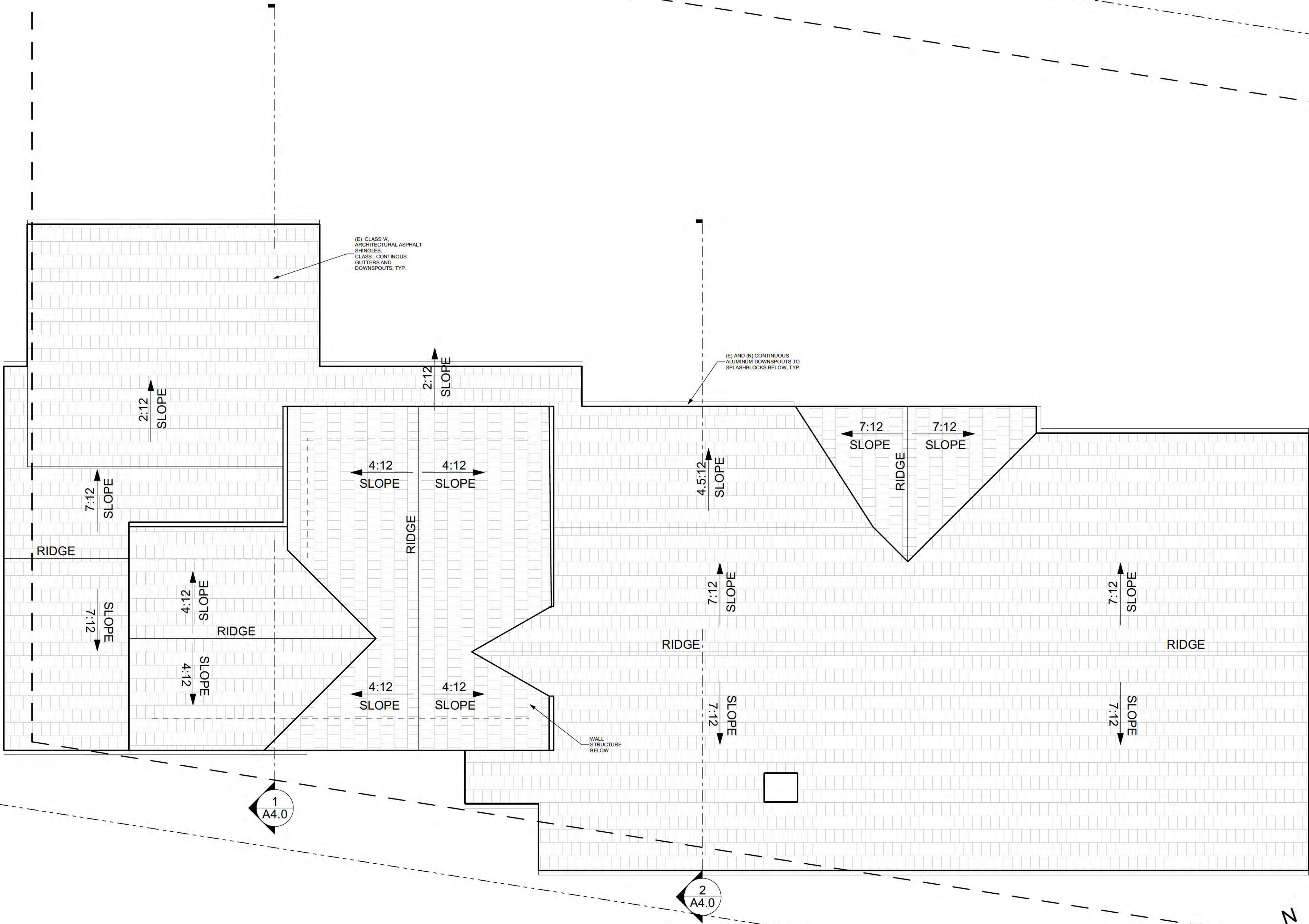
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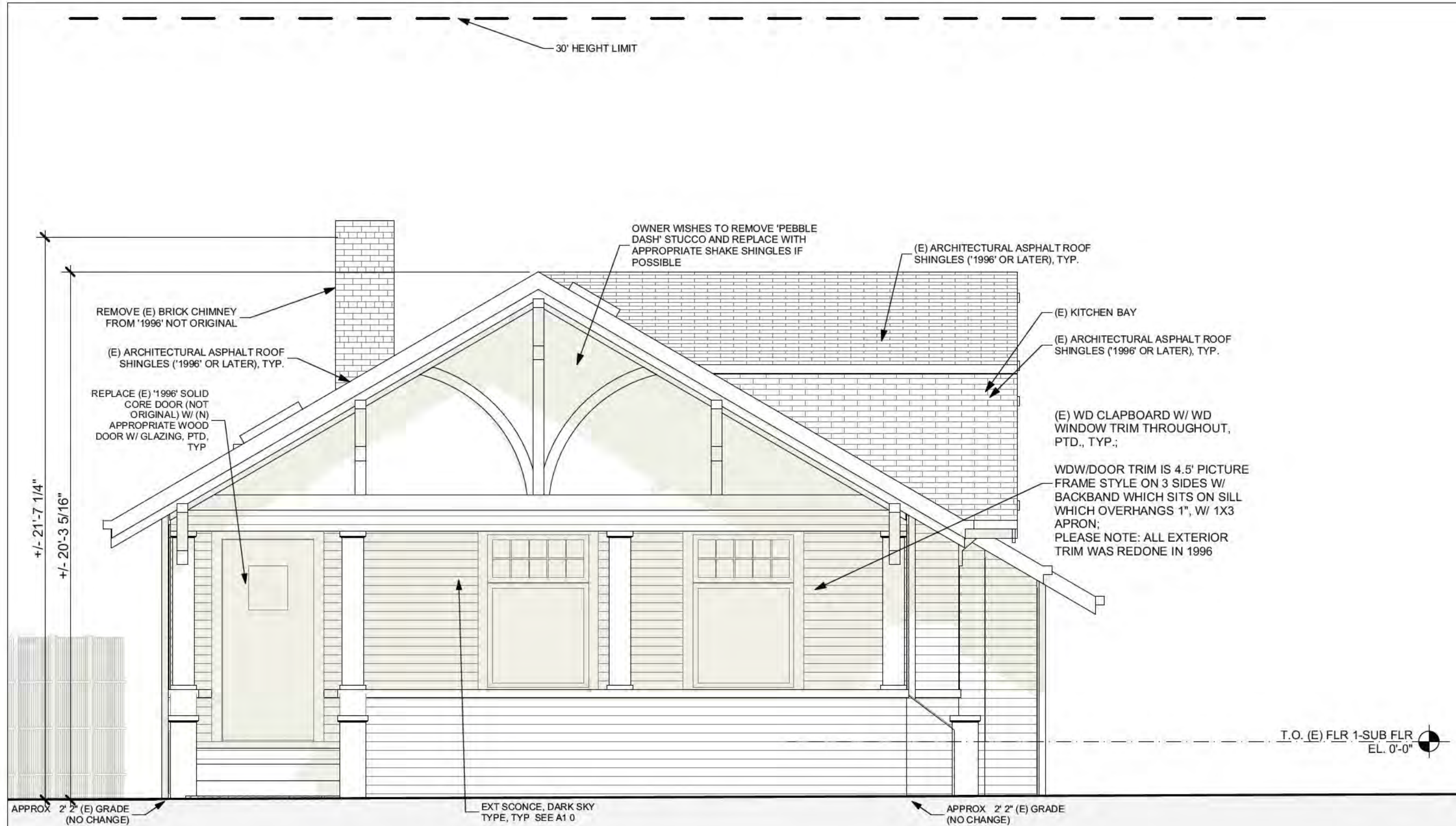
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SEAL	
DRAWING TITLE	SECOND FLOOR PLAN-PROPOSED
DRAWN	EB
DATE	8/23/2024
SCALE	1/4" = 1' 0"
JOB NO	6
FILENAME	2427 145 TAIT CD3.3.pln
SHEET	A2.4

ROOF PLAN-PROPOSED

SCALE: 1/4" = 1' 0"

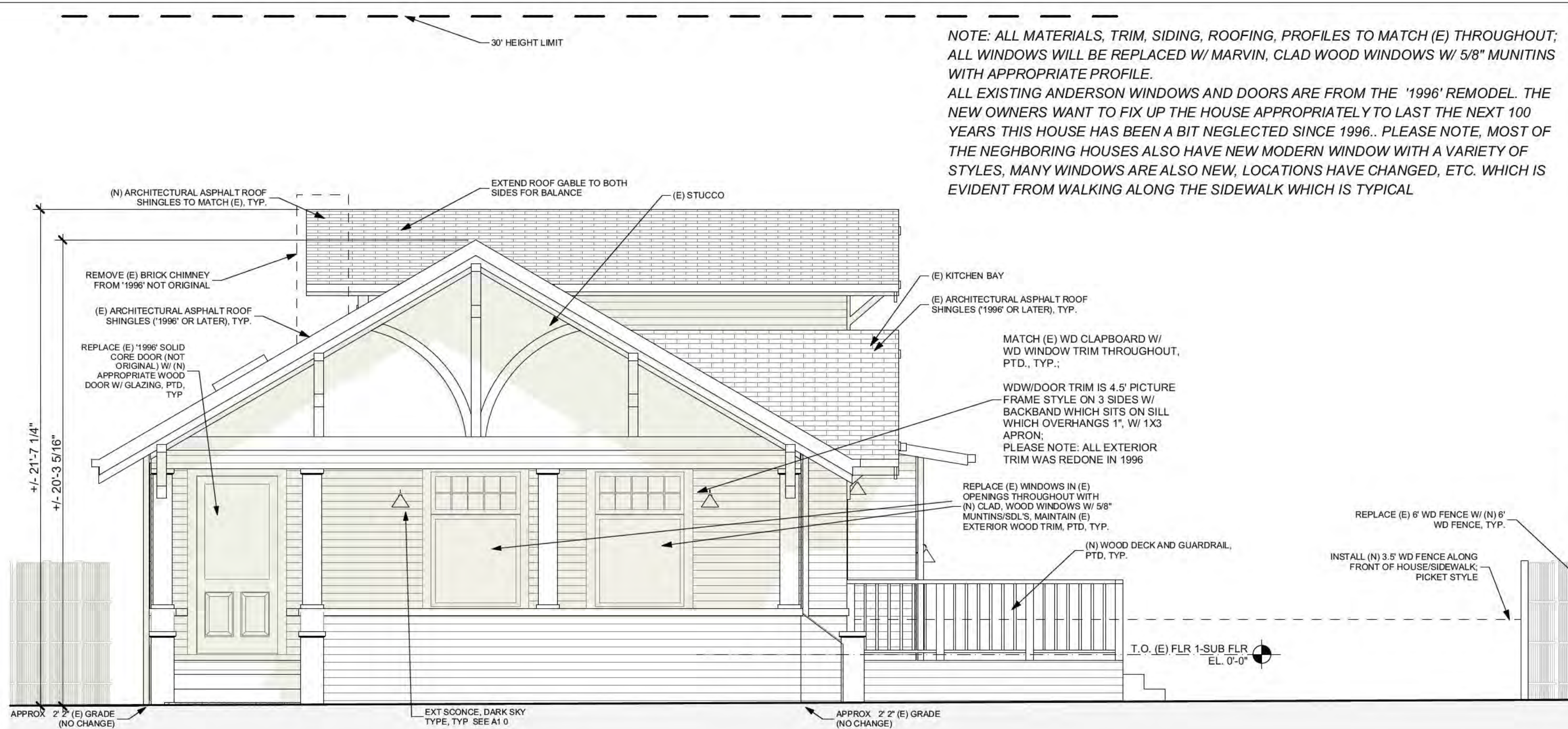


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HPC - 2 8/23/2024		
SEAL 		
DRAWING TITLE ROOF PLAN-PROPOSED		
DRAWN	EB	
DATE	8/23/2024	
SCALE	1/4" = 1' 0"	
JOB NO	6	
FILENAME	2427 145 TAIT CD3.3.pln	
SHEET	A2.5	



SOUTH/STREET ELEVATION-EXISTING

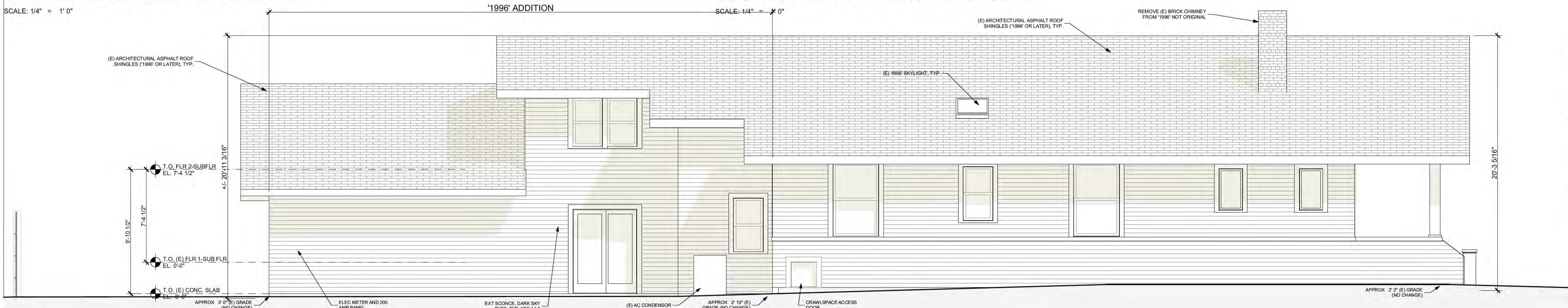
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SOUTH/STREET ELEVATION-PROPOSED

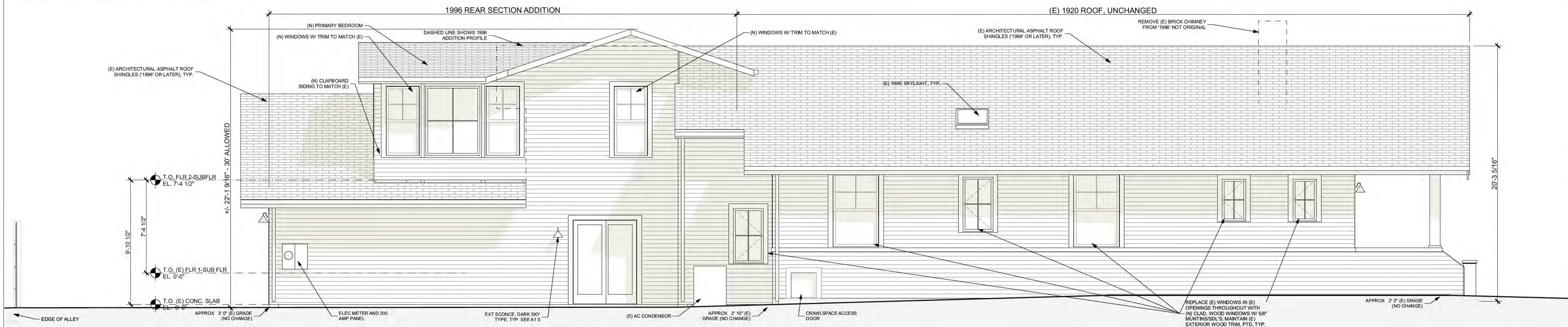
SCALE: 1/4" = 1' 0"

NOTE: ALL MATERIALS, TRIM, SIDING, ROOFING, PROFILES TO MATCH (E) THROUGHOUT; ALL WINDOWS WILL BE REPLACED W/ MARVIN, CLAD WOOD WINDOWS W/ 5/8" MUNTINS WITH APPROPRIATE PROFILE. ALL EXISTING ANDERSON WINDOWS AND DOORS ARE FROM THE '1996' REMODEL. THE NEW OWNERS WANT TO FIX UP THE HOUSE APPROPRIATELY TO LAST THE NEXT 100 YEARS THIS HOUSE HAS BEEN A BIT NEGLECTED SINCE 1996. PLEASE NOTE, MOST OF THE NEIGHBORING HOUSES ALSO HAVE NEW MODERN WINDOW WITH A VARIETY OF STYLES, MANY WINDOWS ARE ALSO NEW, LOCATIONS HAVE CHANGED, ETC. WHICH IS EVIDENT FROM WALKING ALONG THE SIDEWALK WHICH IS TYPICAL.



WEST/LEFT ELEVATION-EXISTING

SCALE: 1/4" = 1' 0"



WEST/LEFT ELEVATION-PROPOSED

SCALE: 1/4" = 1' 0"

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Remodel & Addition

145 Tait Avenue
Los Gatos, CA 95030
APN: 510-18-029

HPC - 2
8/23/2024

SEAL
LICENSED ARCHITECT
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
[Signature]

DRAWING TITLE
ELEVATIONS-EXISTING & PROPOSED

DRAWN
EB

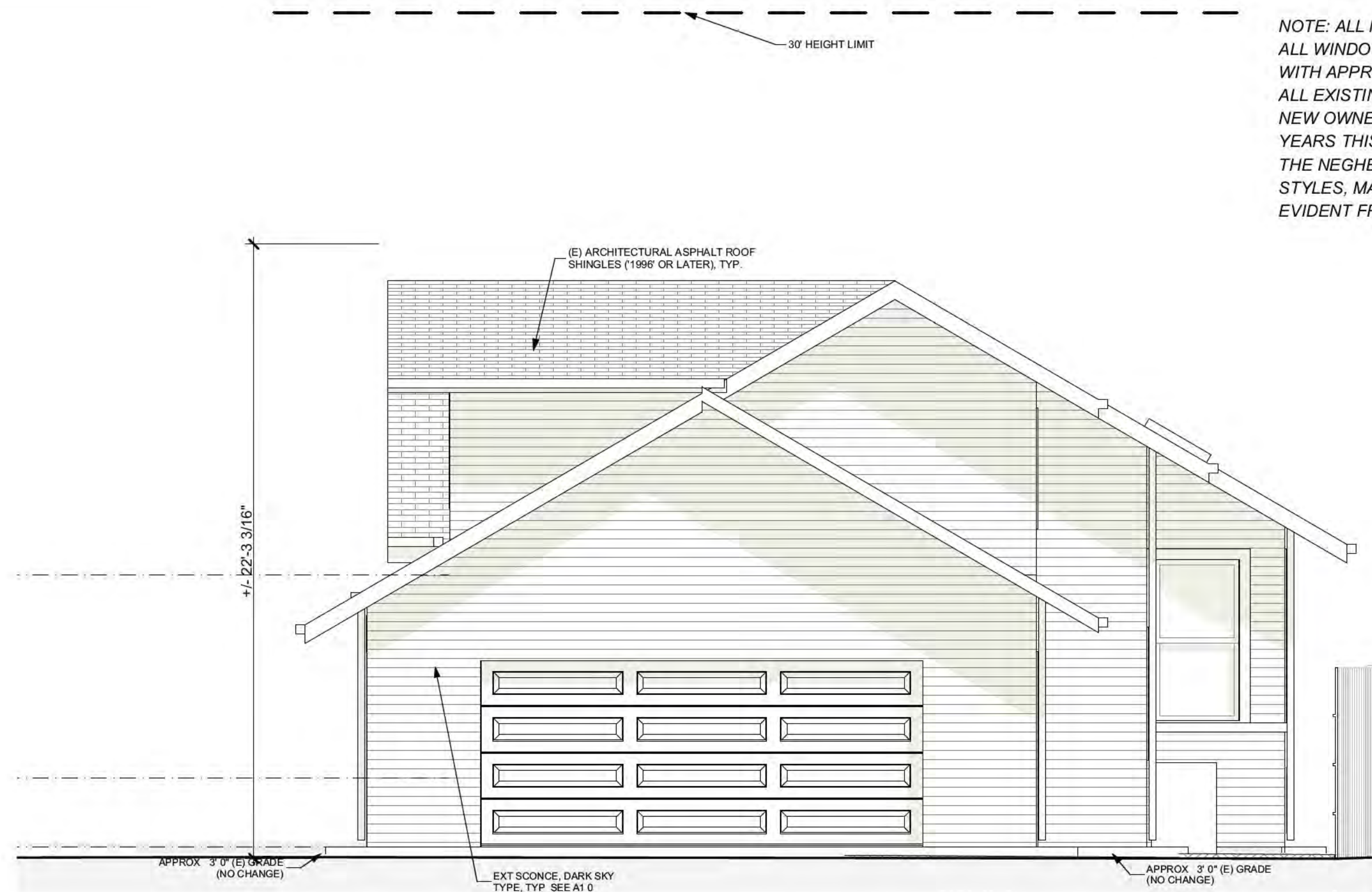
DATE
8/23/2024

SCALE
1/4" = 1' 0"

JOB NO
6

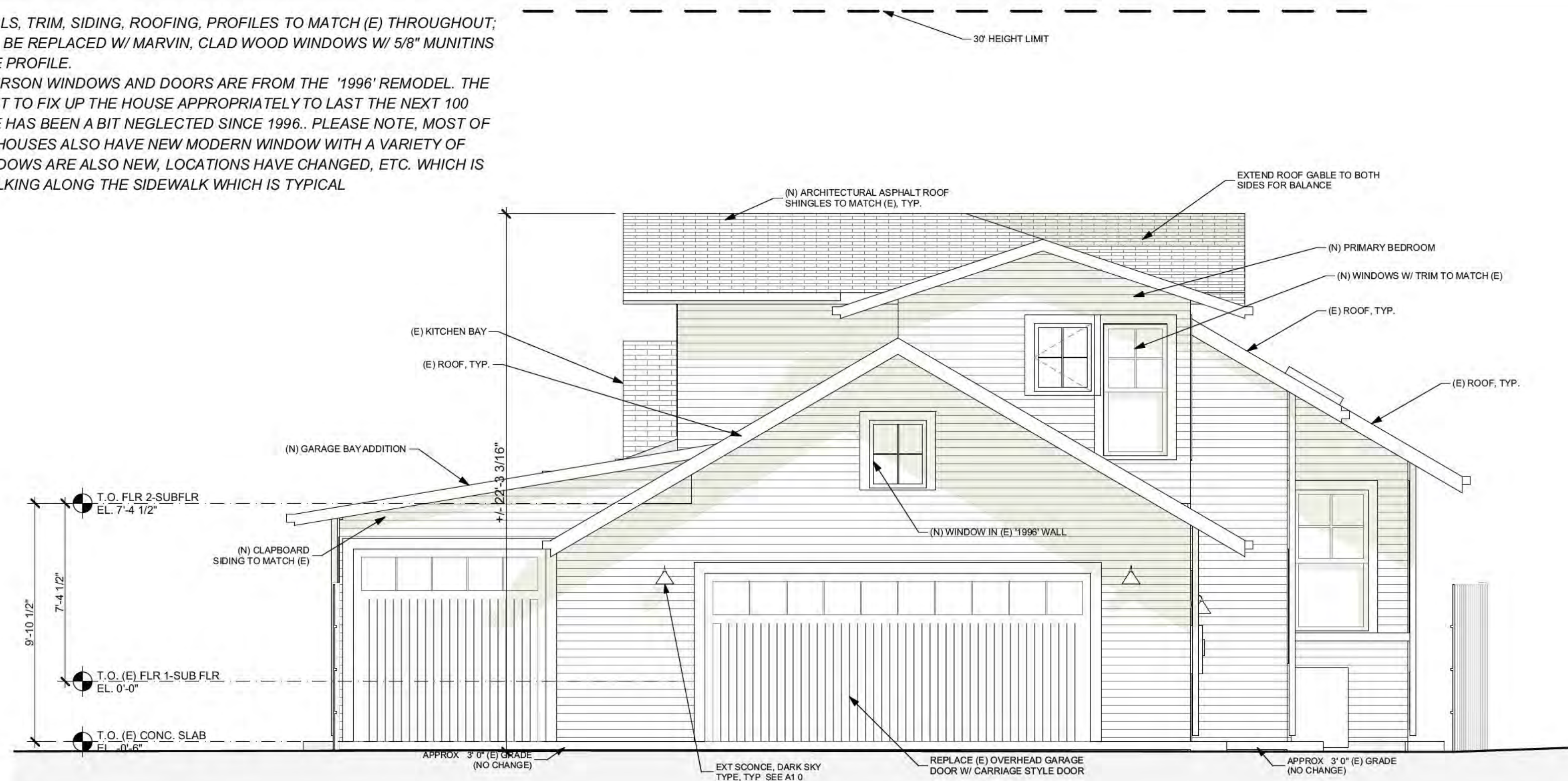
FILENAME
2427 145 TAIT CD3.3.pln

SHEET
A3.0



NORTH/BACK ELEVATION-EXISTING

SCALE: 1/4" = 1' 0"



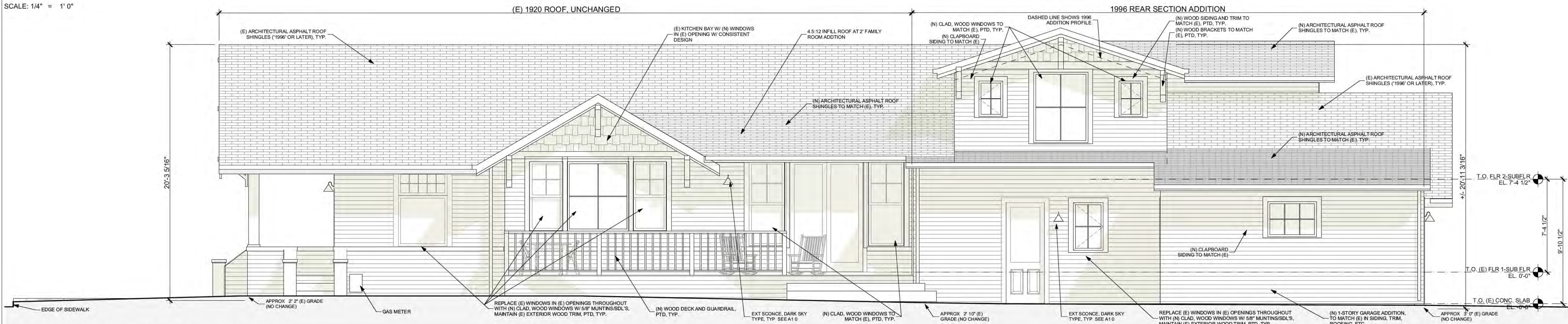
NORTH/BACK ELEVATION-PROPOSED

SCALE: 1/4" = 1' 0"



EAST/RIGHT ELEVATION-EXISTING

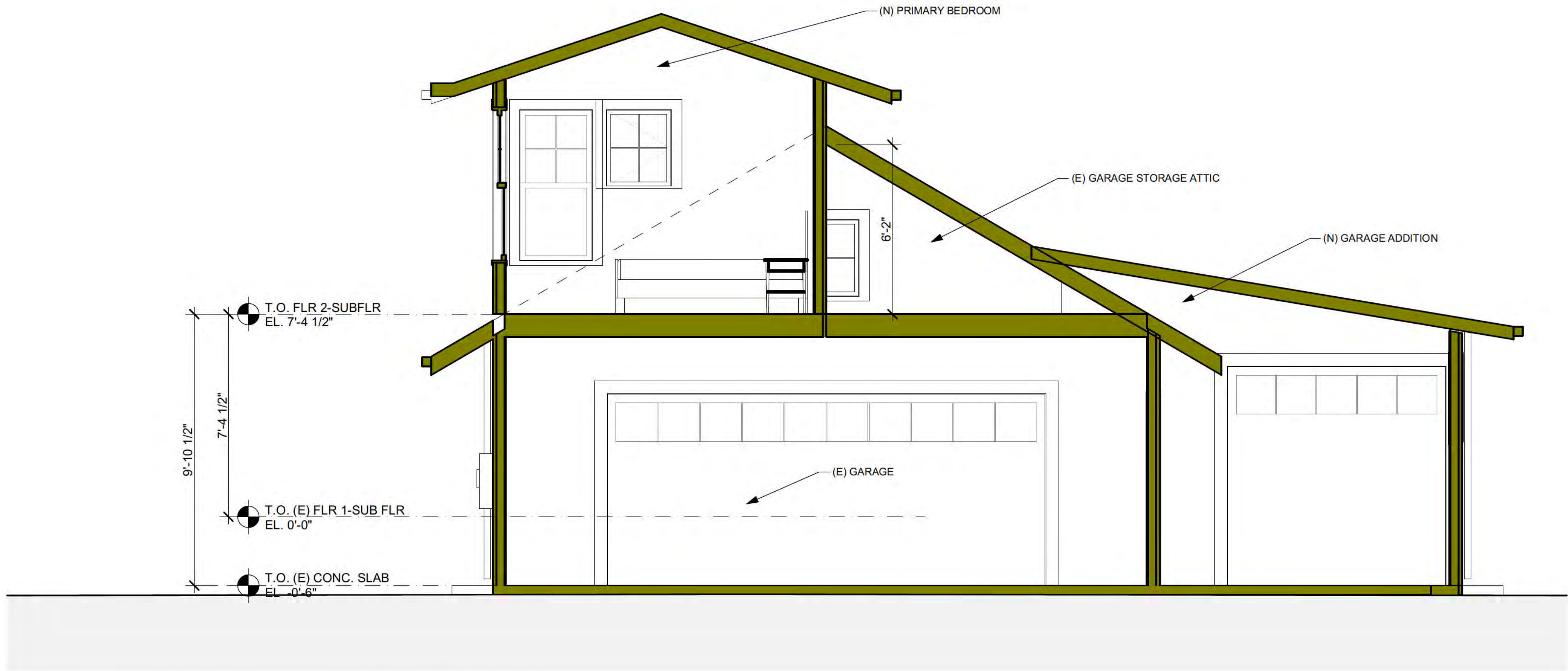
SCALE: 1/4" = 1' 0"



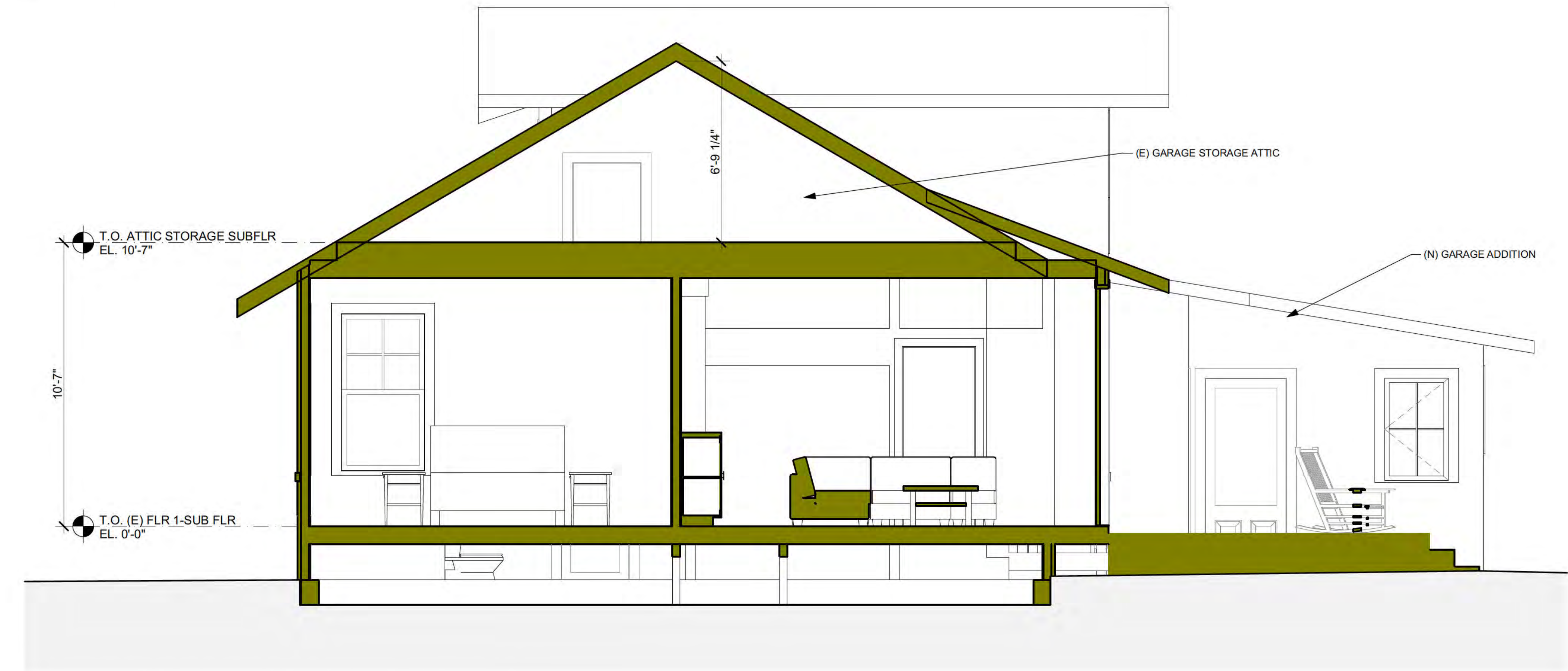
EAST/RIGHT ELEVATION-PROPOSED

SCALE: 1/4" = 1' 0"

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Remodel & Addition		
145 Tait Avenue Los Gatos, CA 95030 APN: 510-18-029		
HPC - 2 8/23/2024		
SEAL LICENSED ARCHITECT ERIC A. BECKSTROM C-25632 7/31/2025 RENEWAL DATE [Signature]		
DRAWING TITLE ELEVATIONS-EXISTING & PROPOSED		
DRAWN EB		
DATE 8/23/2024		
SCALE 1/4" = 1' 0"		
JOB NO 6		
FILENAME 2427 145 TAIT CD3.3.pln		
SHEET A3.1		



1 SECTION-GARAGE, PRIMARY BEDROOM
SCALE: 3/8" = 1' 0"



2 SECTION-GARAGE, PRIMARY BEDROOM
SCALE: 3/8" = 1' 0"

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HPC - 2 8/23/2024	
SEAL LICENSED ARCHITECT ERIC A. BECKSTROM C-25632 7/31/2025 RENEWAL DATE STATE OF CALIFORNIA	
DRAWING TITLE BUILDING SECTIONS	
DRAWN	EB
DATE	8/23/2024
SCALE	3/8" = 1' 0"
JOB NO	6
FILENAME	2427 145 TAIT CD3.3.pln
SHEET	A4.0

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