

NEW RESIDENTIAL ADDITION

RESIDENCE

OWNER

134 HERNANDEZ AVE
LOS GATOS, CA 95030

CONSULTANTS

TOPO
WILSON LAND SURVEYS
261 CARLTON CT.
LOS GATOS, CA 95032
408.427.2279

PROJECT SCOPE

DEMOLITION:
REMOVE EXISTING ACCESSORY BUILDING ON NORTH WEST SIDE OF PROPERTY NEAR PROPERTY LINE. REMOVE STAIRS BETWEEN ACCESSORY BUILDING AND RESIDENCE FOR NEW ADDITION.

MAIN LEVEL:
ADDITION OUR LEFT SIDE OF RESIDENCE FOR NEW MASTER BATHROOM AND NEW BEDROOM AND GUEST BATHROOM. CONVERT BONUS ROOM WINDOWS TO A POCKET SLIDING DOOR. ADD A MUDROOM ENTRANCE OFF THE FRONT OF THE KITCHEN.

LOWER LEVEL:
ADDITION OF OFFICE UNDER ABOVE ADDITION WITH RETAINING WALL TO SUPPORT GRADE ABOVE AND NEW BATHROOM/CLOSET.

GARAGE:
THERE IS A TREE GROWING INTO THE EXISTING GARAGE ROOF OVERHANG. REMOVE EXISTING ROOF, ADD 4X12 BEAM ACROSS EXISTING PLATE AND RE-ROOF THE GARAGE WITH LESS EAVE OVERHANG NEAR TREE. SEE TREE PROTECTION NOTES AS TREE IS TO NOT BE HARMED

PROJECT DATA

- APN: S10-20-002
- ZONING: SPR R-1.12
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLER: NO
- YEAR BUILT: 1928
- AVERAGE SLOPE: 17.6%

PROJECT SUMMARY TABLE

GROSS LOT AREA	43,372 SF
NET LOT AREA	32,442 SF
FLOOR AREA	MAIN LEVEL LOWER LEVEL RES FAR GARAGE FAR COVERED PORCH BALCONY
EXT. TING	2 503 1 309 3 812 451 219
PROPOSED	618 586 5,016 82 219 266
TOTAL	3,121 1,895 6,000 400
MAX ALLOWED	

LOT COVERAGE
MAX LOT COVERAGE 40% ALL BUILDINGS 12,976.8 SF

STANDARDS	REQUIRED (MAX)	PROPOSED	EXISTING
HEIGHT	30'-0"	22'-9 3/8"	20'-8 3/4"
SETBACKS 1ST FLOOR			
FRONT	25'-0"	58'-8" RES -37'-1 7/8" GARAGE	50'-0 7/8" RES -37'-1 7/8" GARAGE
SIDE	10'-0"	10'-7 3/8" - 6'-1 7/8" GARAGE	25'-6 1/4" RES - 4'-7 3/8" GARAGE
REAR	20'-0"	175'-2 5/8"	175'-2 5/8"
PARKING & GARAGE	2 GARAGE SIDE BY SIDE	2 GARAGE SIDE BY SIDE	

INDEX TO DRAWINGS

- CVR1 COVER SHEET
CVR2 CONSTRUCTION SITE FIRE SAFETY
BMP BLUE PRINT FOR A CLEAN BAY
PLN1 NEIGHBORHOOD CONTEXT MAP
PLN2 SITE PHOTOS
PLN3 NEIGHBORHOOD PHOTOS

CIVIL

- C1.1 STORM EROSION AND SEDIMENT CONTROL
C1.2 GRADING PLAN AND SECTIONS
C1.3 EROSION AND SEDIMENT CONTROL
C1.4 CITY STANDARD DETAILS

ARCHITECTURAL

- A0.1 ARCHITECTURAL SITE PLAN EXISTING
A0.2 ARCHITECTURAL SITE PLAN NEW
A1.1 ARCHITECTURAL NOTES
A2.0 EXISTING PLANS
A2.1 1ST FLOOR PLAN NEW
A2.2 2ND FLOOR PLAN NEW
A2.3 BASEMENT PLAN
A3.1 ELEVATIONS NEW
A3.2 ELEVATIONS NEW
A4.1 ROOF PLAN
A5.1 SECTIONS
A5.2 SECTIONS
A5.3 SECTIONS
A10.0 DETAILS
E1.0 ELECTRICAL NOTES
E1.1 1ST FLOOR ELECTRICAL PLAN
E1.2 2ND FLOOR ELECTRICAL PLAN
E1.3 BASEMENT ELECTRICAL PLAN
T24.1 ENERGY COMPLIANCE
T24.2 MANDATORY MEASURES
GBC1 CAL GREEN BUILDING CODE
GBC2 CAL GREEN BUILDING CODE
GP1 GREEN POINT RATING

ENGINEERING

- S-0 GENERAL NOTES
S-1 GENERAL NOTES
S-2 1ST FLR AND BASEMENT FDN PLANS
S-3 2ND FLR/LOWER ROOF & ROOF/CEILING FRMG PLANS
SD1 STRUCTURAL DETAILS
SD2 STRUCTURAL DETAILS
SD3 STRUCTURAL DETAILS
SD4 STRUCTURAL DETAILS
SD5 STRUCTURAL DETAILS
SD6 STRUCTURAL DETAILS

ABBREVIATIONS

A.B. AGGREGATE BASE A.C. ASPHALT CONCRETE A/C AIR CONDITIONING ACC ACCESSIBLE A.D. AREA DRAIN ADJ ADJUSTABLE A.F.F. ABOVE FINISH FLOOR ALT ALTERNATE ALUM ALUMINUM APPROX APPROXIMATE A.T. ACOUSTIC TILE	F.O.M. FACE OF MASONRY F.O.S. FACE OF STUD FTG FOOTING GA. GAUGE GALV GALVANIZED GLB GLUE LAMINATED BEAM G.S.M. GALVANIZED SHEET METAL GWB GYPSUM WALLBOARD H.B. HOSE BIBB H.C. HOLLOW CORE HDWR HARDWARE HWD HARDWOOD H.M. HOLLOW METAL HORIZ HORIZONTAL HT HEIGHT	PSI POUNDS PER SQUARE INCH P.T. PRESSURE TREATED Q.T. QUARRY TILE RAD RADIUS R.D. ROOF DRAIN REINF REINFORCE REQ'D REQUIRED RM ROOM R.O. ROUGH OPENING RWD REDWOOD RWL RAIN WATER LEADER R.H.W.S. ROUND HEAD WOOD SCREW SAF SELF-ADHERED FLASHING S.C. SOLID CORE SDE SIDE DRAINAGE EASEMENT SHT SHEET SIM SIMILAR S.M.S. SHEET METAL SCREW SPEC SPECIFICATION SQ SQUARE S.S. STAINLESS STEEL STD STANDARD S.T.S. SELF-TAPPING SCREW STL STEEL STOR STORAGE STRUC STRUCTURAL SUSP SUSPENDED SYM SYMMETRICAL	W/ WITH ROOM NAME ROOM NAME ROOM NUMBER ROOM NUMBER INTERIOR ELEVATIONS DETAIL NUMBER SHEET NUMBER SECTION NUMBER SHEET NUMBER SECTION NUMBER SHEET NUMBER ELEVATION NUMBER SHEET NUMBER KEYNOTE DOOR NUMBER WINDOW NUMBER WALL TYPE / STUD SIZE INDICATES NOMINAL CEILING HEIGHT ABOVE F.F.E. ON REFLECTED CEILING PLAN ELEVATION SYMBOL ROOF PITCH NEW GRADE ELEVATION (E) GRADE ELEVATION GRID BUBBLE SIGN NUMBER SIGN TYPE
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SYMBOLS

APPLICABLE CODES

2022 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2022:

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR, PART 1 - 2022 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR, PART 2 - 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)
TITLE 24 CCR, PART 2 5 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
TITLE 24 CCR, PART 3 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
TITLE 24 CCR, PART 4 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
TITLE 24 CCR, PART 5 - 2022 CALIFORNIA PLUMBING CODE (CPC)
TITLE 24 CCR, PART 6 - 2022 CALIFORNIA ENERGY CODE
TITLE 24 CCR, PART 7 - 2022 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
TITLE 24 CCR, PART 8 - 2022 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 24 CCR, PART 9 - 2022 CALIFORNIA FIRE CODE (CFC)
TITLE 24 CCR, PART 10 - 2022 EXISTING BUILDING CODE
TITLE 24 CCR, PART 11 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR, PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

DEFERRED SUBMITTALS

- FIRE SPRINKLER DESIGN PER NFPA 13D
- UPGRADE DOMESTIC WATER SERVICE LINE

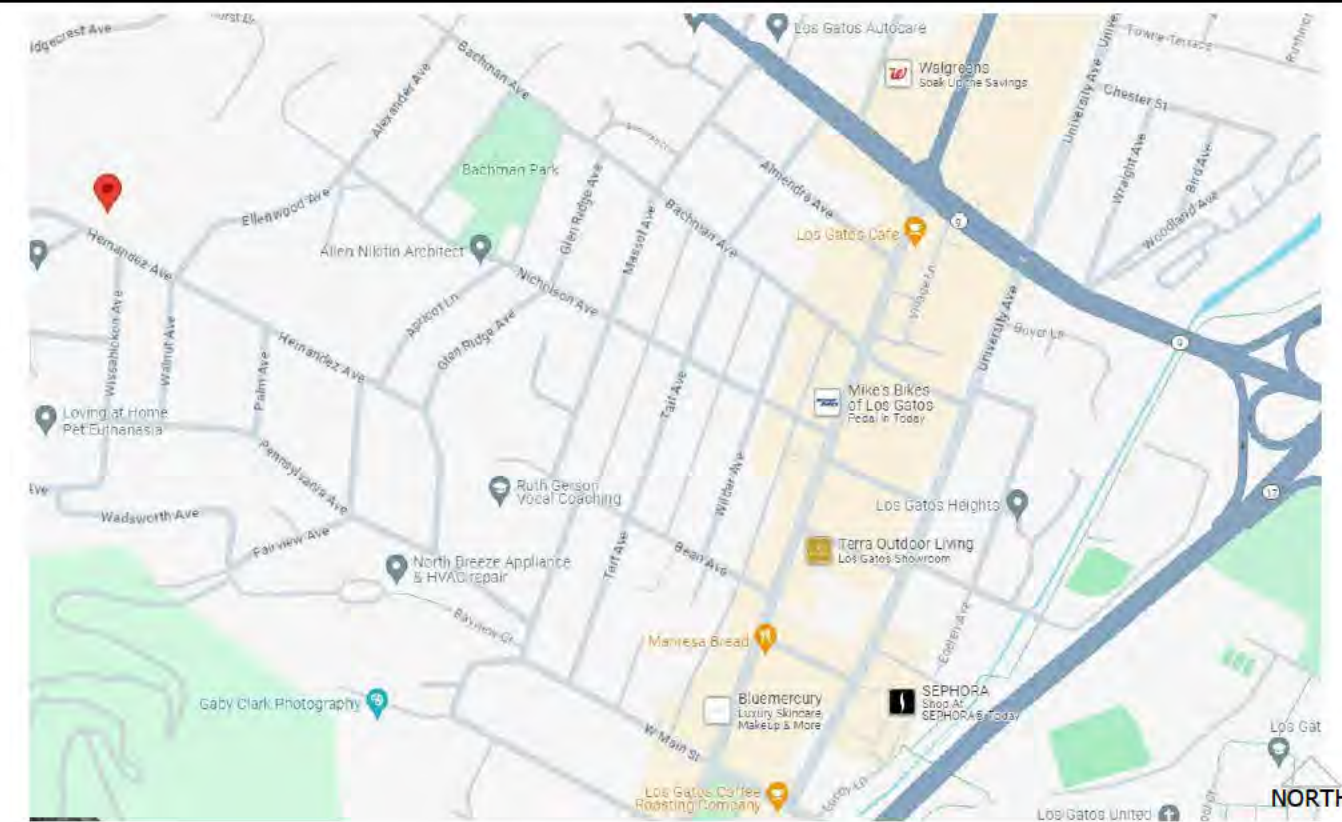
SPECIAL INSPECTIONS

- SEE ENGINEERING PLANS

CONDITIONS OF APPROVAL

- THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.
- A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE PROJECT BUILDING INSPECTOR AT FOUNDATION INSPECTION. THIS CERTIFICATE SHALL CERTIFY COMPLIANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE SOILS REPORT, AND THAT THE BUILDING PAD ELEVATIONS AND ON-SITE RETAINING WALL LOCATIONS AND ELEVATIONS HAVE BEEN PREPARED ACCORDING TO THE APPROVED PLANS. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER FOR THE FOLLOWING ITEMS:
 - BUILDING PAD ELEVATION
 - FINISH FLOOR ELEVATION
 - FOUNDATION CORNER LOCATIONS
 - RETAINING WALL(S) LOCATIONS AND ELEVATIONS

PROJECT LOCATION



REVISIONS	DATE

Ownership of Documents
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c o p y r i g h t 2 0 2 4

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SAN JOSE, CA 95117

COVER SHEET

RESIDENTIAL REMODEL/ADDITION FOR:

134 HERNANDEZ AVE
LOS GATOS, CA 95030
APN# 510-20-002

DATE:	2024.07.10
SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	24-021
SHEET:	CVR1



FIRE DEPARTMENT
SANTA CLARA COUNTY

14700 Winchester Blvd., Los Gatos, CA 95032-1818
(408) 378-4810 • (408) 378-9352 (fax) • www.sccfd.org



Internationally Affiliated
Agency

STANDARD DETAILS & SPECIFICATIONS

SUBJECT: Construction Site Fire Safety

Spec No
Rev. Date
Eff. Date
Approved By
Page 1 of 9

SI-7
04/30/09
12/17/02
[Signature]
of 9

SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designer of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

REQUIREMENTS

I. Fire Protection Plan

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- A. Procedures for reporting emergencies to the Fire department.
- B. Procedures for emergency notification, evacuation and/or relocation of all persons in the building under construction and on the site.
- C. Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- D. Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- E. Site plans identifying the designated exterior assembly areas for each evacuation route.
- F. Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

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installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each day to confirm that the system has been restored to service.

B. Standpipes: Where standpipes are required, the standpipes shall be installed when the progress of construction is not less than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class II standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

C. Fire Extinguishers: Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet and extinguishers shall not be less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

D. Fire Alarm Systems: Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

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3) Equipment shall not be refueled while in operation.
4) Fuel for equipment shall be stored in an approved area outside of the building.
(Ref: CFC Articles 87 & 13 – also 49, 79 and 11)

VII. Hazardous Materials

A. Liquefied Petroleum Gas (LP-Gas) - Storage and use shall comply with the following:

- Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:
 - (a) Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
 - (b) Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
 - (c) Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
 - (d) Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
 - (e) Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
 - (f) Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
 - (g) Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
 - (h) Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be proved before the main burner can be turned on or an approved electronic ignition system.

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G. The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

II. General Safety Requirements

A. Fire Department Access Roadways: All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric, underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

Key boxes: Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

B. Fire hydrants: Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.

C. Telephone service: Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.

D. Premises Identification: The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.

E. Combustible debris: Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

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IV. Means of Egress Requirements

A. Minimum number of Exits: All new buildings under construction shall have at least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.

B. Multi-Story Buildings: Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls / windows are in place. Exit stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.

Exception: For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).

C. Assembly Points: Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

V. Area Separation Walls

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weather-protected at the location of the wall(s).

VI. Special Operation Requirements

A. Hot Work: Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied roofing or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and post inspection procedures.

1. **Pre-site Inspection:** An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:

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2. In addition to the above, for LPG storage / use in buildings undergoing alteration and that are fully or partially occupied, the following shall also apply:

- Specific approval must be obtained from the fire department prior to bringing LP-Gas containers on-site.
- The maximum water capacity of individual containers shall be 5-gallon water capacity and the number of containers in the building shall not exceed the number of workers assigned to using the LP-Gas.
- Containers having a water capacity greater than 2 1/2 lb. [1 quart] shall not be left unattended.

B. Storage, Use and Dispensing of Flammable and Combustible Liquids

- Storage areas for flammable and combustible liquids shall be kept free of weeds and extraneous combustible material. Open flames and smoking are prohibited in flammable or combustible liquid storage areas.
- Tanks and containers shall be marked with the name of the product and **FLAMMABLE-KEEP FIRE AND FLAME AWAY**. Tanks (containers in excess of 60 gallons) shall also be labeled **KEEP 50 FEET FROM BUILDINGS**.
- Metal containers for Class I or II liquids shall be in accordance with DOT requirements or shall be of an approved design. Discharge devices shall not cause an internal pressure on the container. Individual containers shall not be interconnected and shall be kept closed when not in use.
- Secondary containment or a means of spill control, drainage control, and diking is required for large containers (such as 55 gallon drums) and tanks as approved by the fire department.
- Plans for the installation / use of any aboveground storage tank (containers greater than 60 gallons) shall be submitted to the fire department for review and permit prior to the proposed tank arriving at the site.

C. Compressed Gases

- Gas cylinders shall be marked with the name of the contents.
- Gas cylinders shall be stored upright and secured to prevent falling.
- When not in use, valve protective caps shall be in place.
- Gas cylinders shall be protected against physical damage.
- When stored, gas cylinders shall be separated from each other based on their hazard classes.
- Combustible materials shall be kept a minimum of 10 feet from gas containers.
- Gas cylinders shall not be placed near elevators, unprotected platform edges or other areas where they would drop more than 2 feet.

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F. Oily rags: Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

G. Temporary heating equipment: Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

H. Smoking: Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of No Smoking signs shall be posted to ensure that smoking is controlled.

I. Vehicle parking: All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

Exceptions:

- Vehicles that are temporarily parked for loading /unloading or other construction related operations. Such vehicles shall not be left unattended.
- Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

J. Combustible material storage: Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

Exceptions:

- Materials that are staged for installation on a floor level.
- When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

III. Fire Protection Systems

A. Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

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(a) the hot work site is clear of combustibles or that combustibles are protected;
(b) exposed construction is of noncombustible materials or that combustible materials are protected;
(c) openings are protected;
(d) there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.;
(e) fire extinguishers are available, fully charged and operable; and
(f) fire watch personnel are assigned, equipped and trained.

2. **Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating an alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

3. **Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

B. Asphalt and tar kettles: Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendant and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B-C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B-C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

C. Motor Equipment: Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

1) Equipment shall be located so that exhausts do not discharge against combustible materials.
2) When possible, exhausts should be piped to the outside of the building.

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8. Gas cylinders shall not be placed in areas where they may be damaged by falling objects.
9. Ropes, chains or slings shall not be used to suspend gas cylinders, unless the cylinder was manufactured with appropriate lifting attachments.

SD65 987 (10/6/04) (12/16/09)

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REVISIONS

DATE

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3141 STEVENS CREEK BLVD., #104
SAN JOSE, CA 95117

PAGE TITLE

CONSTRUCTION SITE FIRE SAFETY

RESIDENTIAL REMODEL/ADDITION FOR:

134 HERNANDEZ AVE
LOS GATOS, CA 95030
APN# 510-20-002

DATE:
2024.07.10

SCALE:
PER SHEET

DRAWN BY:
DAVID

PLAN NO.:
24-021

SHEET:

CVR2

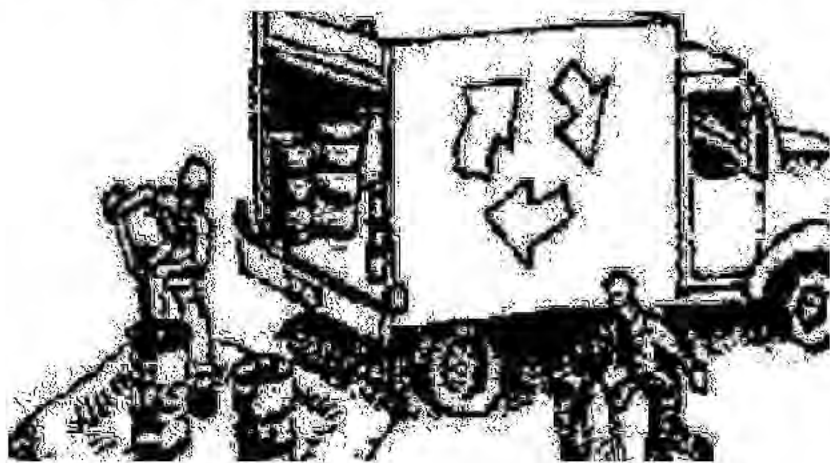


Construction Best Management Practices (BMPs)



Construction projects are required to implement year-round stormwater BMPs.

Materials, Waste, and Sediment Management



- Construction Entrances and Perimeter**
- Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
 - Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

- Non-Hazardous Materials and Dust Control**
- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
 - Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
 - Use captured water from other activities (e.g., testing fire lines) for dust control.
 - Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

- Hazardous Materials**
- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
 - Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
 - Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

- Waste Management**
- Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
 - Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.
 - Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
 - Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
 - Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
 - Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
 - Prevent litter from uncovered loads by covering loads that are being transported to and from site.

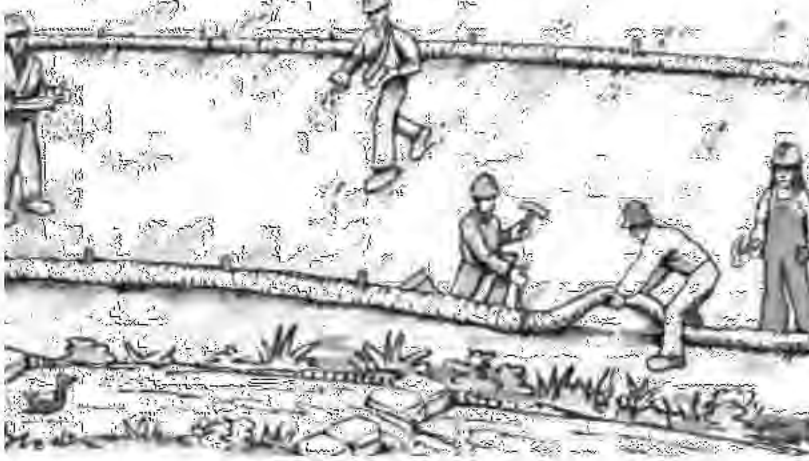
Equipment Management & Spill Control



- Vehicle and Equipment Maintenance**
- Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
 - Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
 - If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
 - Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

- Spill Prevention and Control**
- Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
 - Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
 - Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
 - Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
 - Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

Earthmoving



- Grading and Earthwork**
- Schedule grading and excavation work during dry weather.
 - Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
 - Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
 - Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
 - Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets. Ensure all subcontractors working onsite are implementing appropriate BMPs.

- Contaminated Soils**
- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
 - If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

- Landscaping**
- Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
 - Stack bagged material on pallets and under cover.
 - Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
 - Store materials onsite, not in the street.

Concrete Management & Dewatering



- Concrete Management**
- Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
 - Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
 - Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
 - Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
 - Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

- Dewatering**
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
 - Divert water originating from offsite away from all onsite disturbed areas.
 - When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
 - In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
 - For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

Paving/Asphalt Work



- Paving**
- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
 - Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
 - When construction is complete, remove all covers from storm drain inlets and manholes.
 - Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.
- Sawcutting & Asphalt/Concrete Removal**
- Protect storm drain inlets during saw cutting.
 - When making saw cuts, use as little water as possible.
 - Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
 - Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
 - If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

Copper Architectural Features



- Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains:
- During Installation**
- If possible, purchase copper materials that have been pre-patinated at the factory.
 - If patination done on site, implement one or more of the following BMPs:
 - Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
 - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
 - Collect the rinse water in a tank and haul off-site for proper disposal.
 - Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.
- During Maintenance** such as, power washing roof, re-patination, or re-application of impervious coating:
- Block storm drain inlets as needed to prevent runoff from entering storm drains.
 - Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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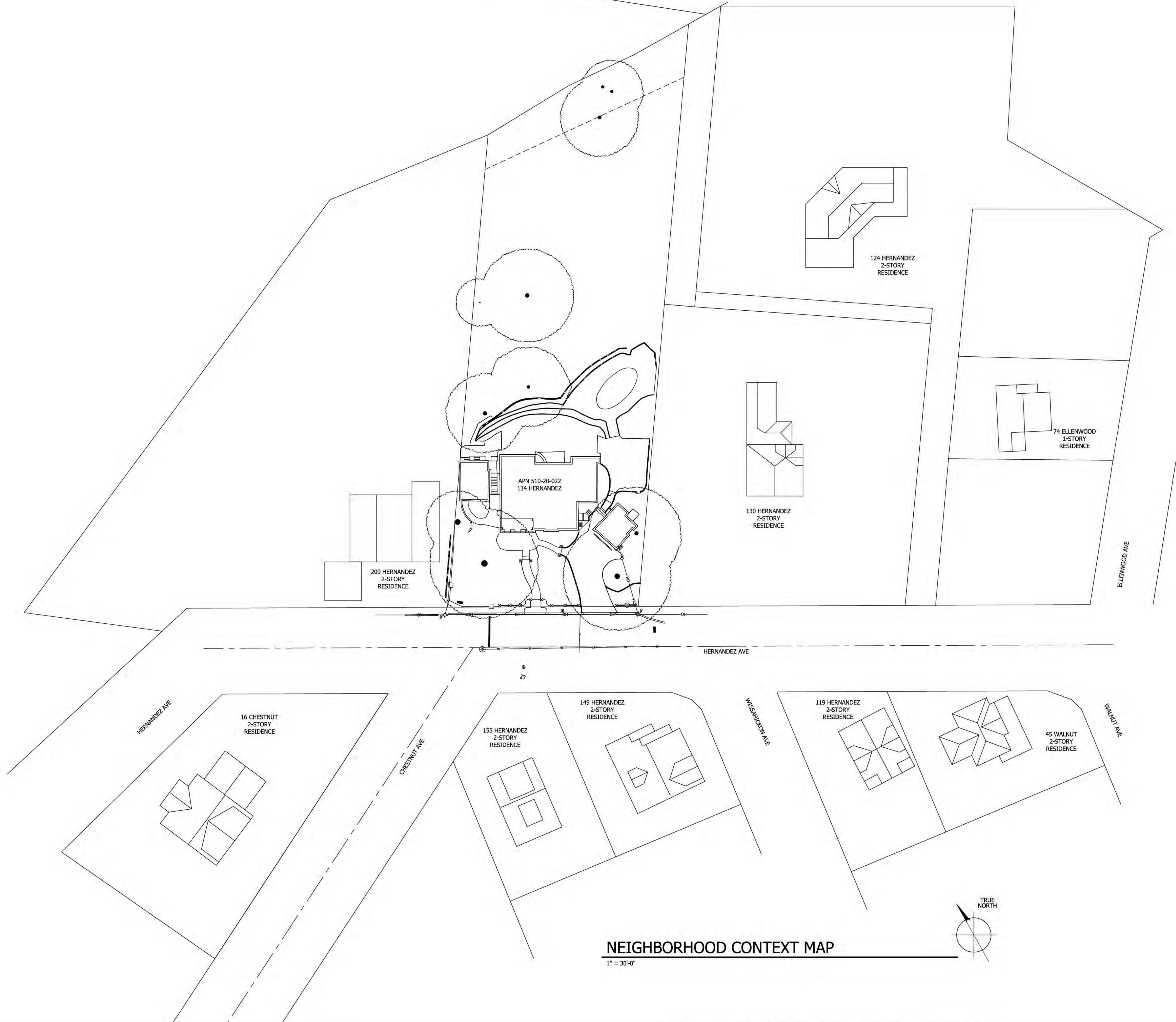
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LOS GATOS, CA 95030
APN# 510-20-002

DATE: 2024.07.10
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 24-021

SHEET:
BMP



NEIGHBORHOOD CONTEXT MAP

1" = 30'-0"

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NEIGHBORHOOD CONTEXT MAP

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ACCESSORY BUILDING TO BE REMOVED



FRONT OF RESIDENCE



FRONT OF GARAGE



RIGHT OF RESIDENCE



REAR OF RESIDENCE



LEFT OF RESIDENCE - SHOWING REAR OF ACCESSORY BUILDING TO BE REMOVED

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SITE PHOTOS

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PLN2



16 CHESTNUT AVE



45 WALNUT AVE



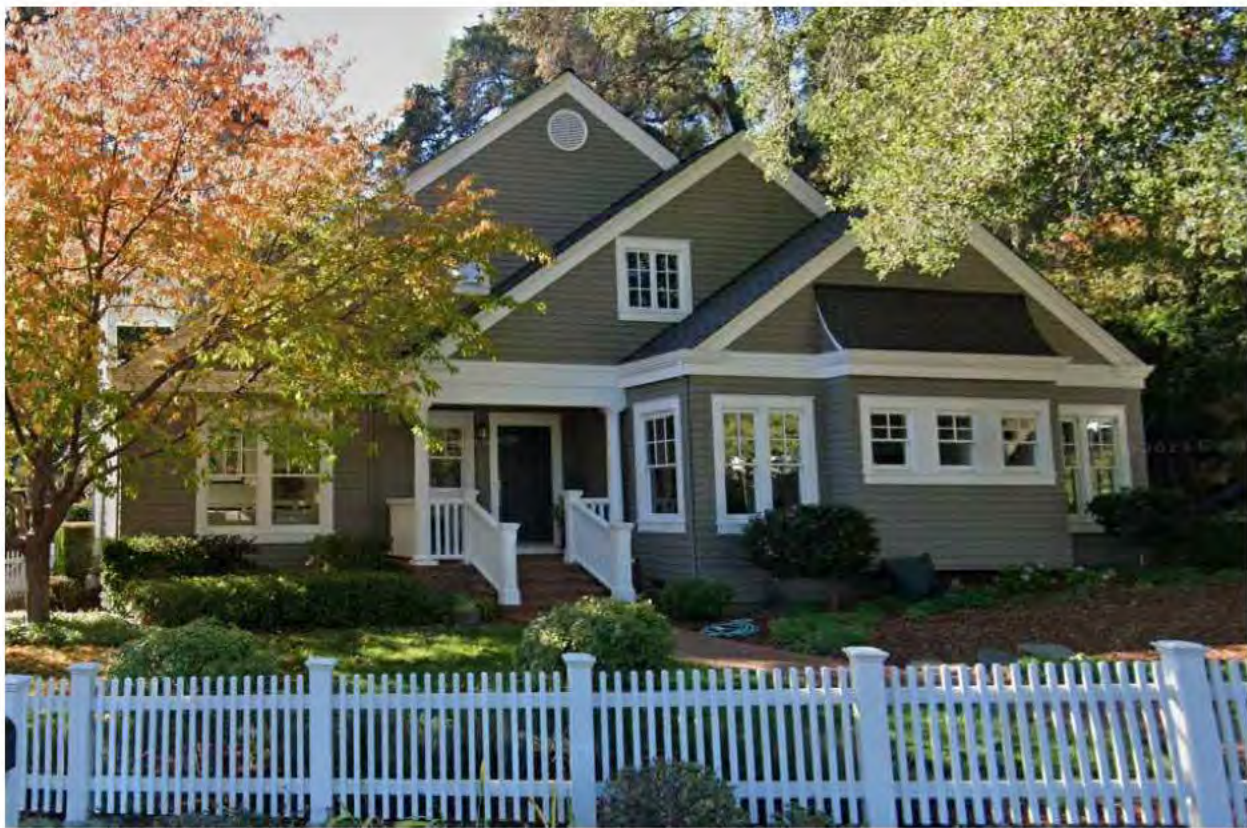
75 ELENWOOD AVE



119 HERNANDEZ AVE



130 HERNANDEZ AVE



149 HERNANDEZ AVE



155 HERNANDEZ AVE



200 HERNANDEZ AVE

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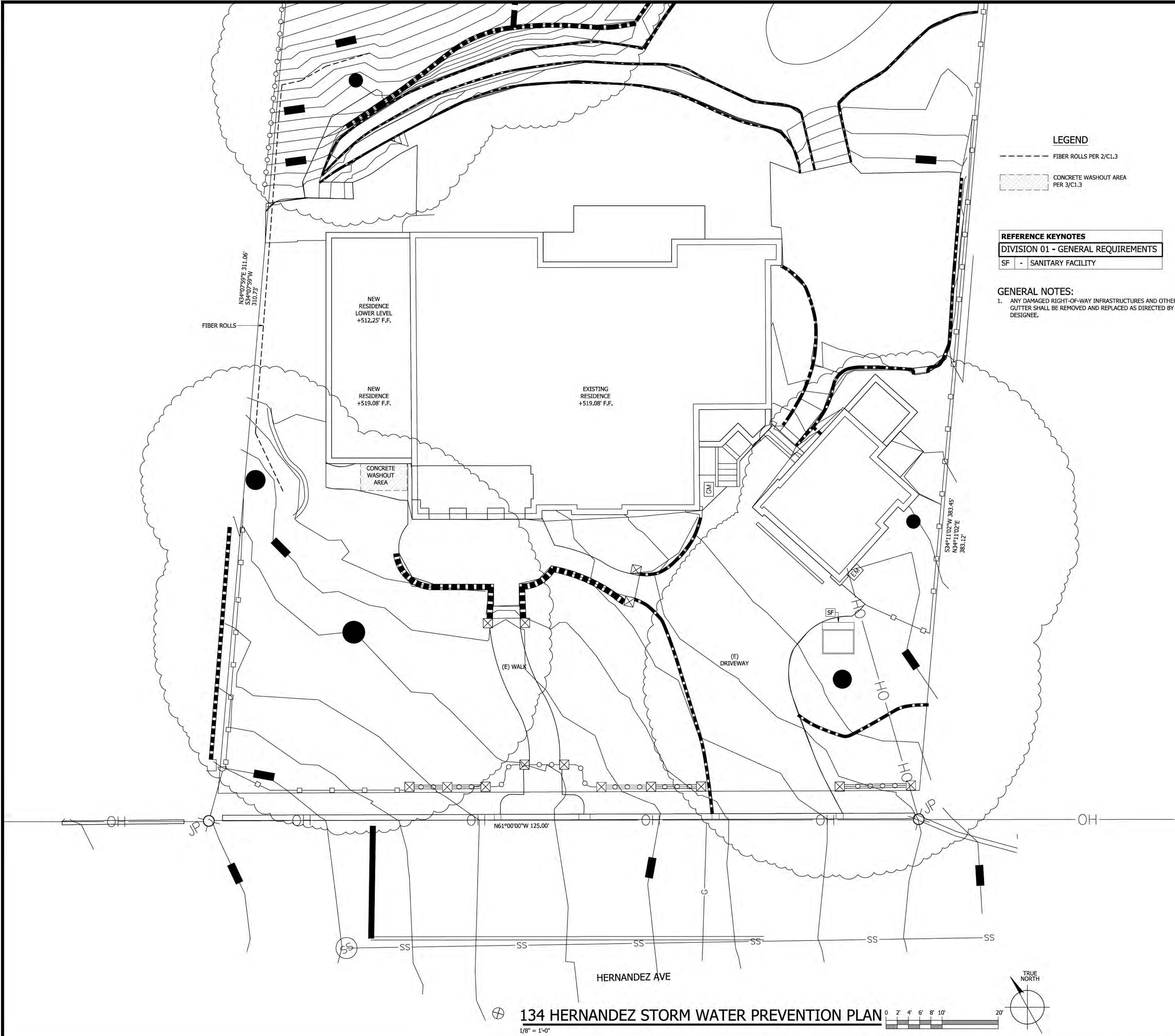
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NEIGHBORHOOD PHOTOS

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PLN3



LEGEND

--- FIBER ROLLS PER 2/C1.3

CONCRETE WASHOUT AREA PER 3/C1.3

REFERENCE KEYNOTES

DIVISION 01 - GENERAL REQUIREMENTS

SF - SANITARY FACILITY

GENERAL NOTES:

1. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE.

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STORM EROSION AND SEDIMENT CONTROL PLAN

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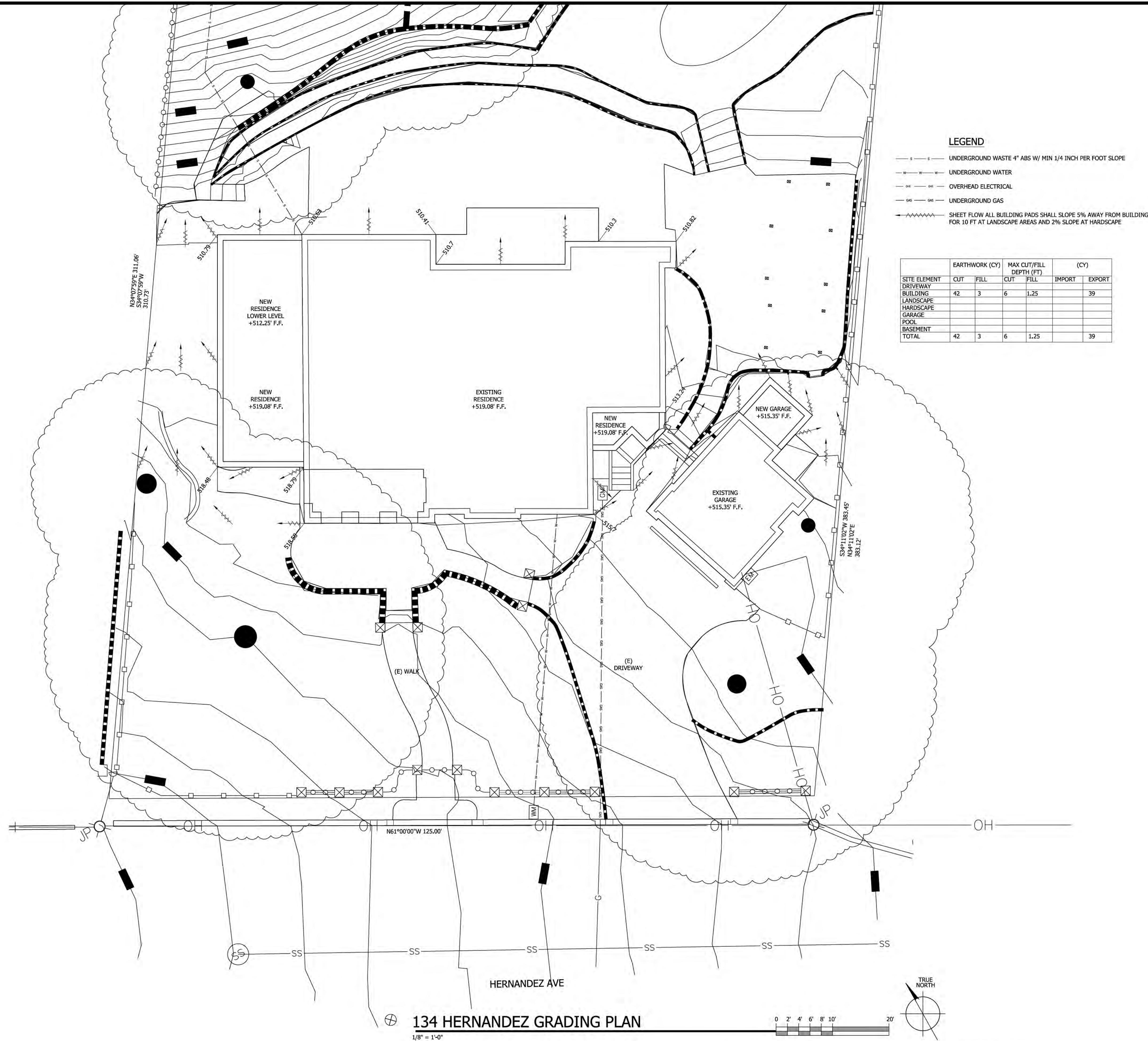
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GRADING PLAN

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LEGEND

- — — — — UNDERGROUND WASTE
- — — — — UNDERGROUND WATER
- — — — — UNDERGROUND GAS
- — — — — OVERHEAD ELEC

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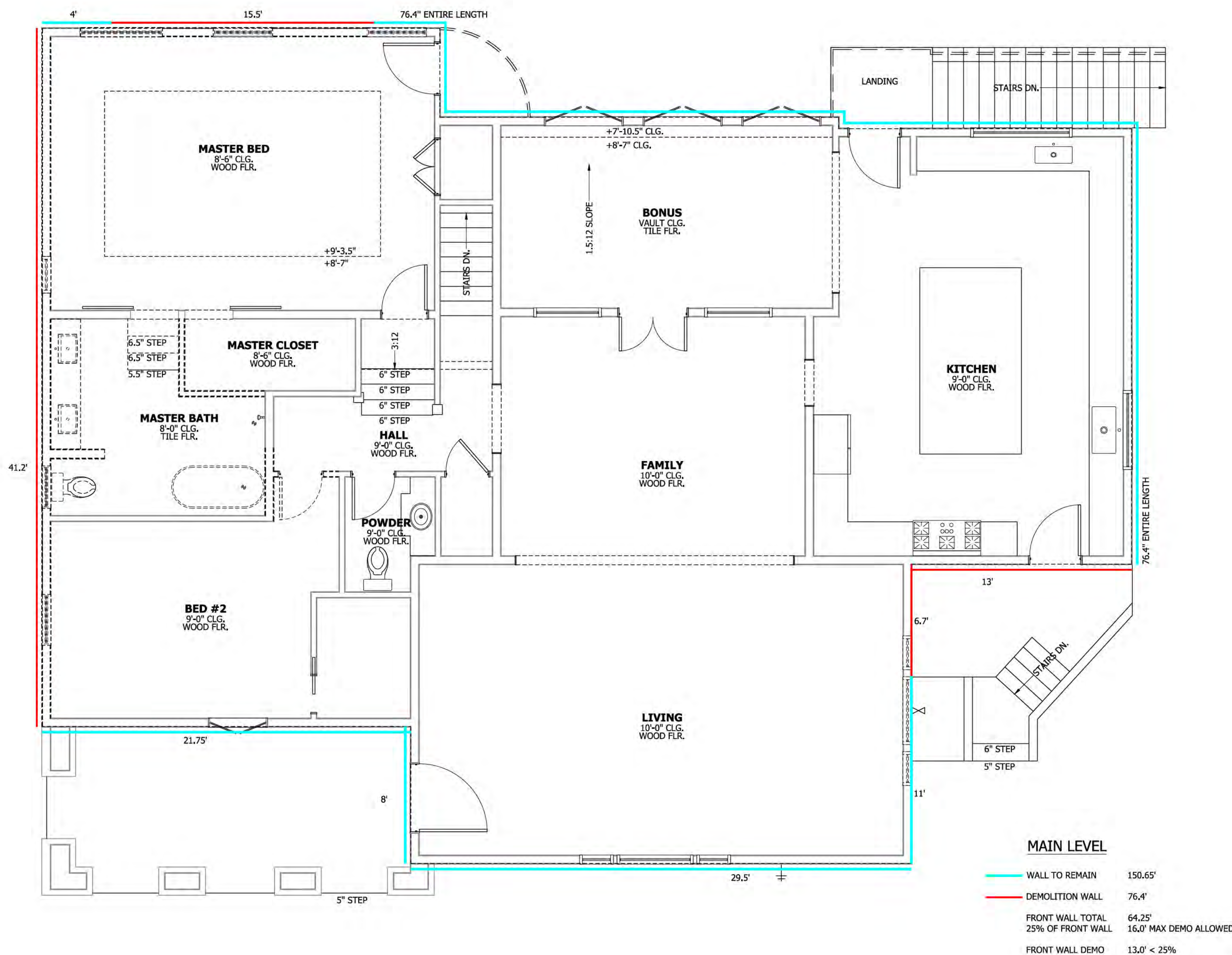
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ARCHITECTURAL SITE PLAN NEW

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134 HERNANDEZ 1ST FLOOR PLAN EXISTING

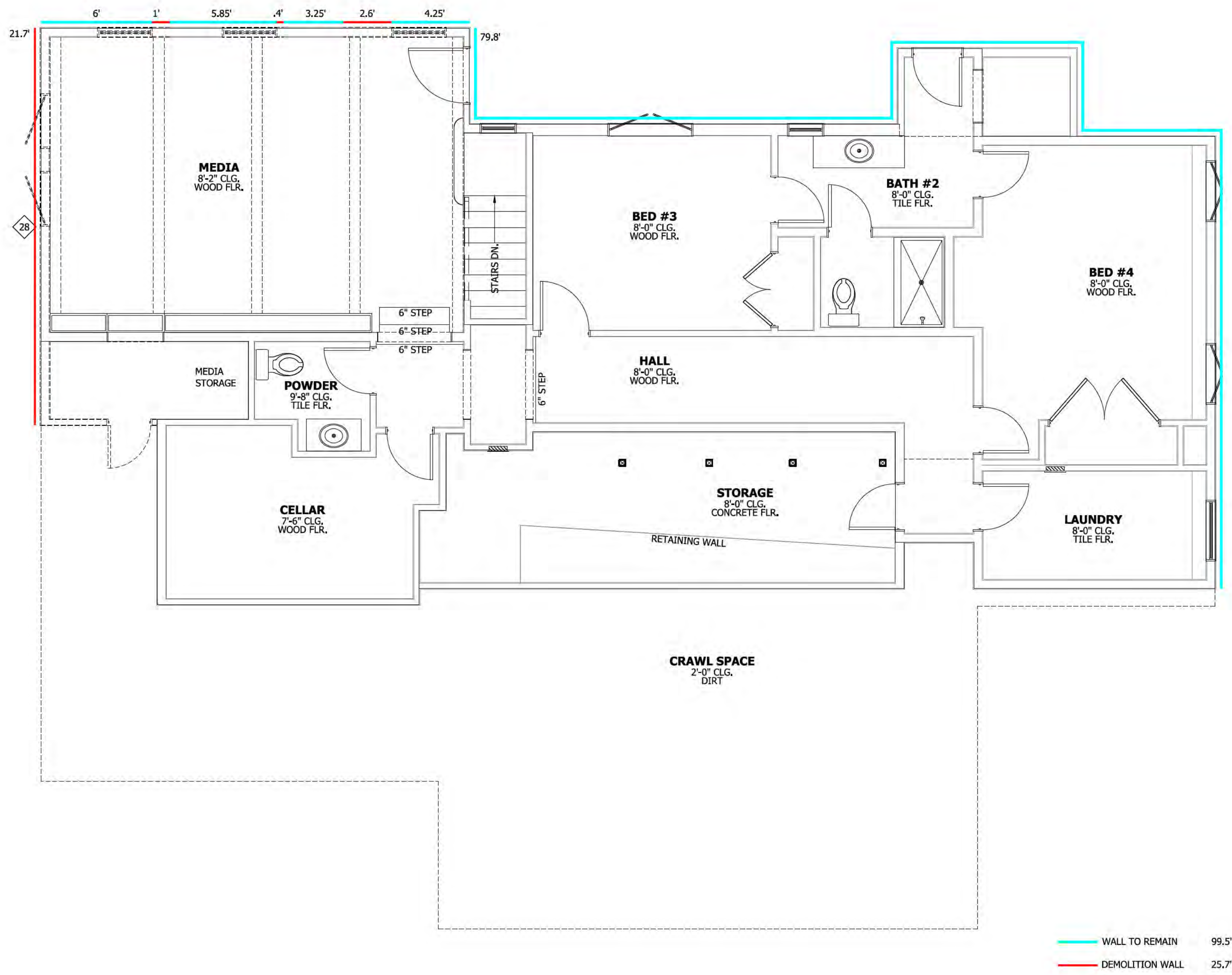
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1ST FLOOR PLAN EXISTING

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134 HERNANDEZ LOWER FLOOR PLAN EXISTING
1/4" = 1'-0"

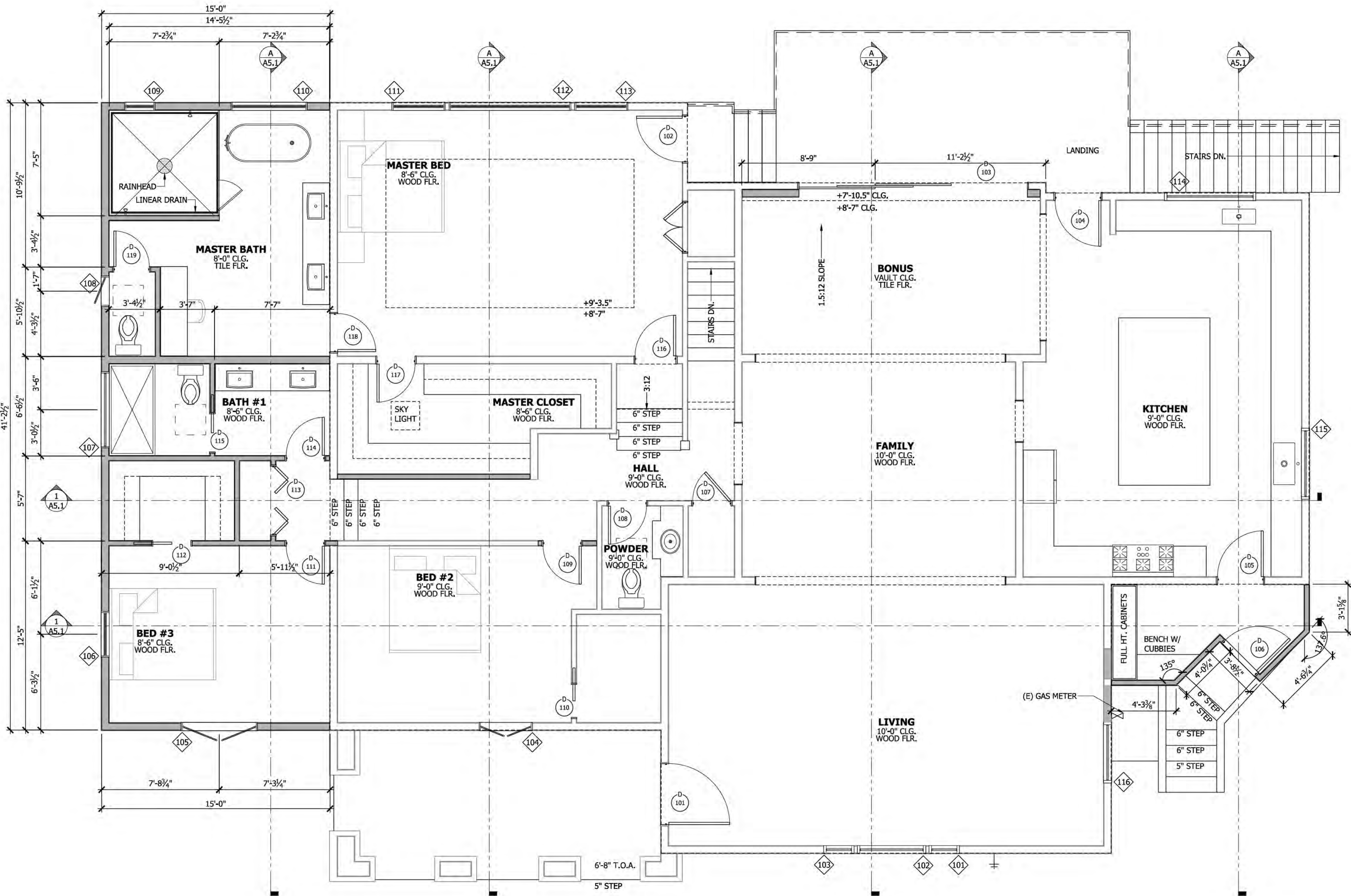
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LOWER FLOOR PLAN EXISTING

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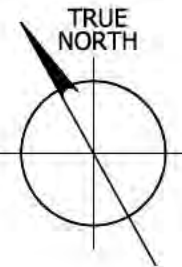
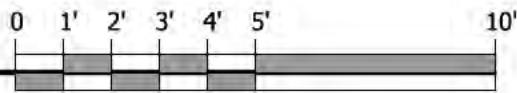
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WINDOW SCHEDULE				
NUMBER	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
101	2'-0"	7'-0"	Standard	EXISTING
102	4'-6"	7'-0"	Standard	EXISTING
103	2'-0"	7'-0"	Standard	EXISTING
104	3'-6"	5'-0"	DOUBLE CASEMENT	EXISTING
105	5'-0"	5'-0"	DOUBLE CASEMENT	EGRESS
106	3'-0"	4'-10"	SINGLE HUNG	—
107	5'-0"	2'-6"	AWNING	TEMP
108	2'-0"	3'-0"	CASEMENT	—
109	2'-0"	4'-0"	SINGLE HUNG	TEMP
110	5'-0"	4'-0"	SINGLE HUNG	TEMP
111	3'-6"	4'-0"	SINGLE HUNG	—
112	8'-0"	4'-0"	SINGLE HUNG	—
113	3'-6"	4'-0"	SINGLE HUNG	—
114	6'-0"	4'-0"	Standard	EXISTING
115	4'-8"	4'-3"	Standard	EXISTING
116	4'-0"	6'-0"	Standard	—

DOOR AND FRAME SCHEDULE			
Number	SIZE	STYLE	NOTES
101	4'-0" x 7'-0" x 1-3/4"	SINGLE - EXTERIOR	EXISTING
102	3'-0" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
103	15'-0" x 7'-0" x 1-1/4"	TRIPLE SLIDING - EXTERIOR	SAFETY GLAZING
104	3'-0" x 7'-0" x 1-3/4"	SINGLE - INTERIOR	EXISTING
105	3'-0" x 7'-0" x 1-3/4"	SINGLE - INTERIOR	—
106	3'-0" x 7'-0" x 1-3/4"	SINGLE - EXTERIOR	—
107	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
108	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	EXISTING
109	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
110	2'-2" x 6'-8" x 1-3/4"	POCKET	EXISTING
111	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
112	2'-6" x 6'-8" x 1-3/4"	POCKET	—
113	4'-6" x 6'-8" x 1-3/4"	DOUBLE BIFOLD	—
114	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
115	2'-6" x 6'-8" x 1-3/4"	POCKET	—
116	2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	EXISTING
117	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
118	2'-6" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—
119	2'-4" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	—

134 HERNANDEZ 1ST FLOOR PLAN NEW
1/4" = 1'-0"



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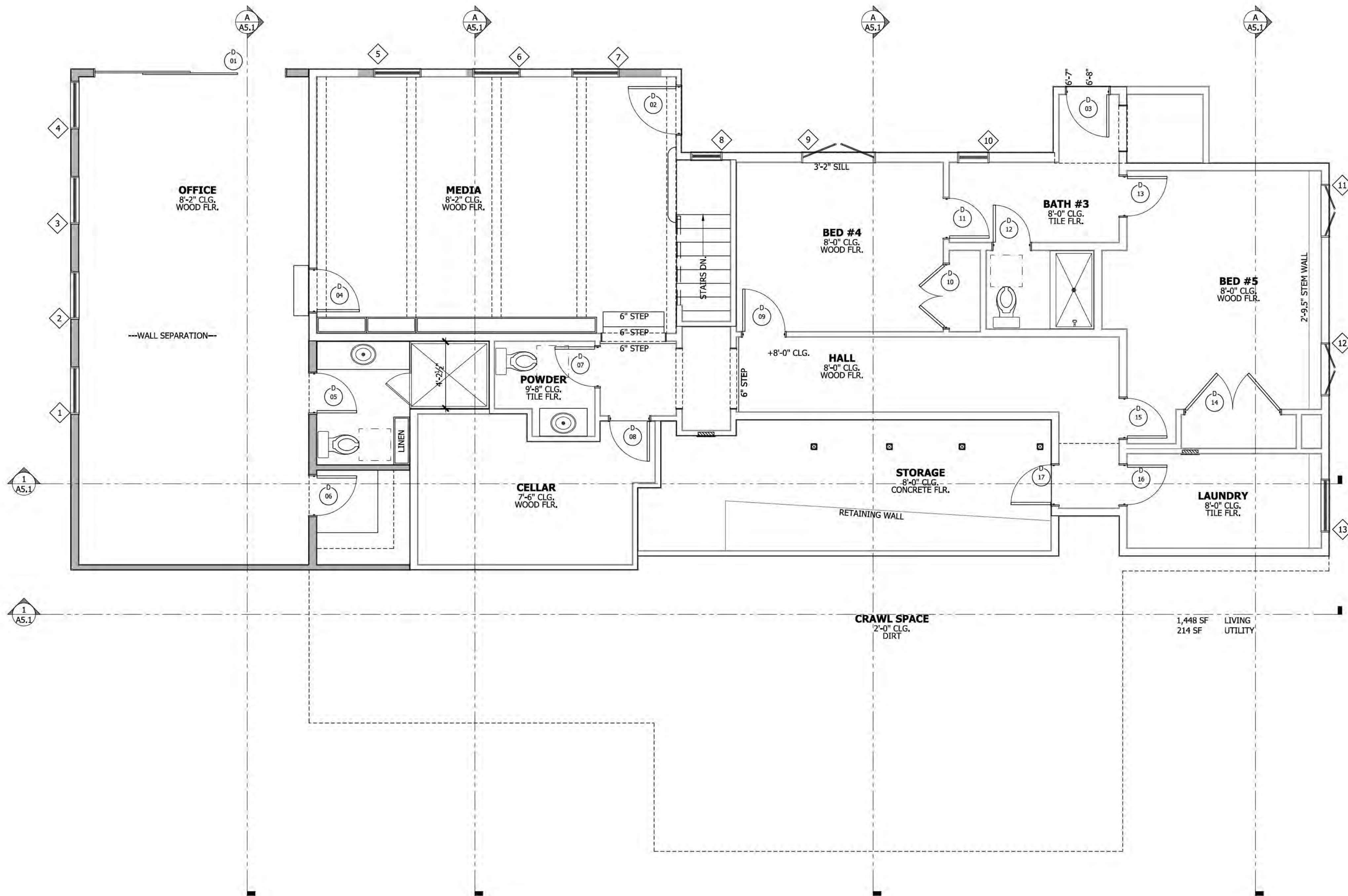
1ST FLOOR PLAN NEW

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APN# 510-20-002

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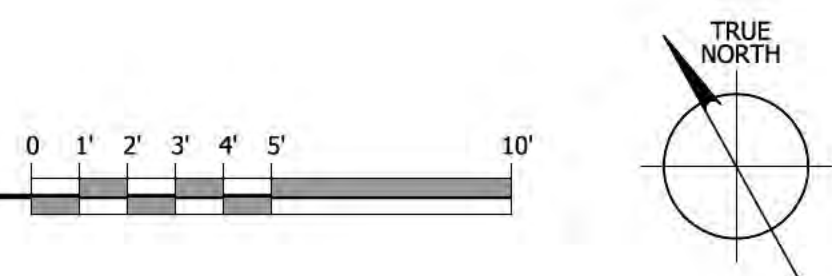
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WINDOW SCHEDULE				
NUMBER	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
1	3'-0"	4'-6"	SINGLE HUNG	--
2	3'-0"	4'-6"	SINGLE HUNG	--
3	3'-0"	4'-6"	SINGLE HUNG	--
4	3'-0"	4'-6"	SINGLE HUNG	--
5	3'-0"	4'-6"	SINGLE HUNG	--
6	3'-0"	4'-6"	SINGLE HUNG	--
7	3'-0"	4'-6"	SINGLE HUNG	--
8	2'-0"	2'-10"	SINGLE HUNG	EXISTING
9	4'-8"	3'-10"	DOUBLE CASEMENT	EXISTING
10	2'-0"	2'-10"	SINGLE HUNG	EXISTING
11	3'-4"	3'-10"	DOUBLE CASEMENT	EXISTING
12	3'-4"	3'-10"	DOUBLE CASEMENT	EXISTING
13	3'-4"	2'-4"	SINGLE HUNG	EXISTING

DOOR AND FRAME SCHEDULE				
Number	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
1	PR 6'-0"	x 6'-8"	SLIDING - EXTERIOR	--
2	3'-0"	x 6'-8"	SINGLE - EXTERIOR	EXISTING
3	2'-8"	x 7'-0"	SINGLE - EXTERIOR	EXISTING
4	2'-8"	x 6'-8"	SINGLE - INTERIOR	--
5	2'-6"	x 6'-8"	SINGLE - INTERIOR	--
6	2'-6"	x 6'-8"	SINGLE - INTERIOR	--
7	2'-6"	x 6'-8"	SINGLE - INTERIOR	EXISTING
8	2'-6"	x 6'-8"	SINGLE - INTERIOR	EXISTING
9	2'-8"	x 6'-8"	SINGLE - INTERIOR	EXISTING
10	PR 2'-0"	x 6'-8"	DOUBLE - INTERIOR	EXISTING
11	2'-6"	x 7'-0"	SINGLE - INTERIOR	EXISTING
12	2'-4"	x 7'-0"	SINGLE - INTERIOR	EXISTING
13	2'-6"	x 7'-0"	SINGLE - INTERIOR	EXISTING
14	PR 3'-0"	x 6'-8"	DOUBLE - INTERIOR	EXISTING
15	2'-6"	x 6'-8"	SINGLE - INTERIOR	EXISTING
16	2'-6"	x 6'-8"	SINGLE - INTERIOR	EXISTING
17	2'-6"	x 6'-8"	SINGLE - INTERIOR	EXISTING

134 HERNANDEZ LOWER FLOOR PLAN NEW
1/4" = 1'-0"



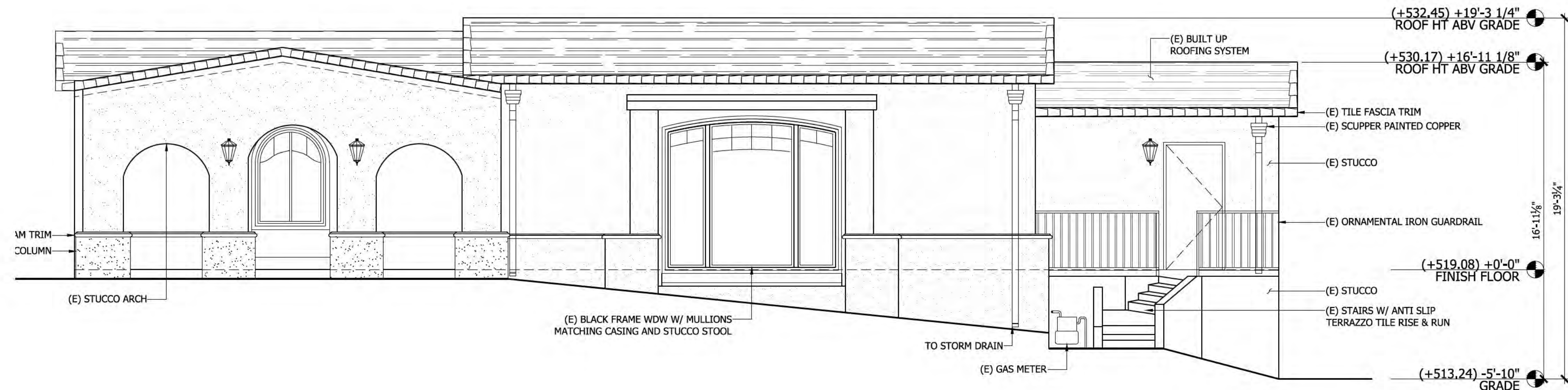
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PAGE TITLE
LOWER FLOOR PLAN NEW

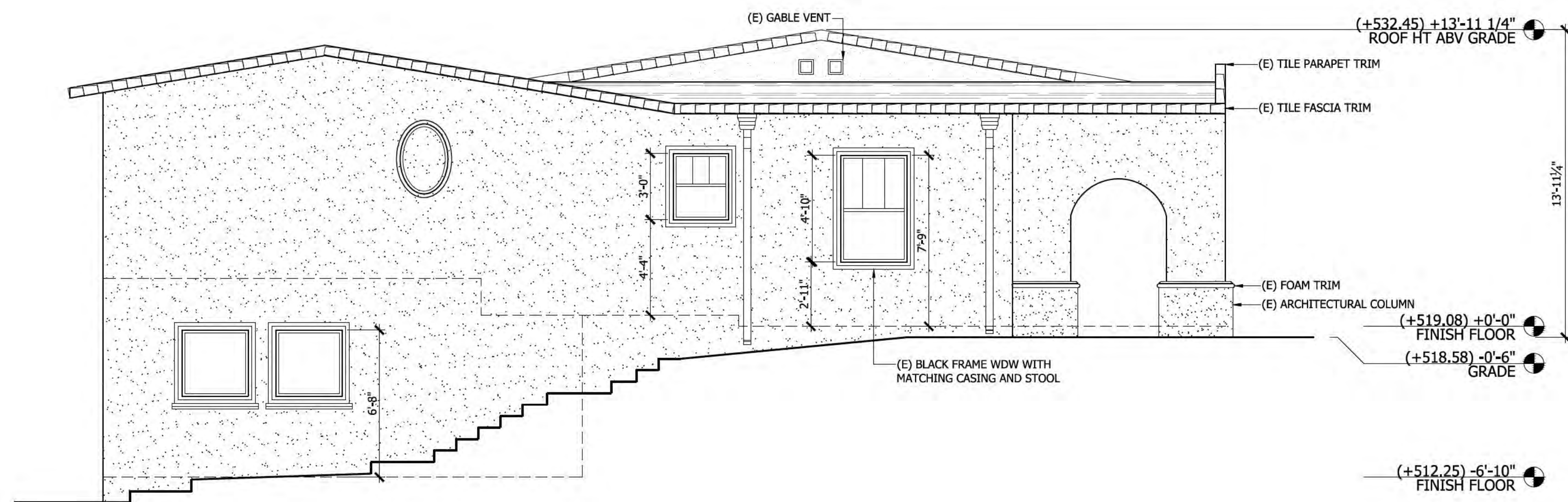
RESIDENTIAL REMODEL/ADDITION FOR:
JASON AND JANINE PAUL
134 HERNANDEZ AVE
LOS GATOS, CA 95030
APN# 510-20-002

DATE: 2024.07.10
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 24-021
SHEET: **A2.4**



FRONT (SOUTH) ELEVATION EXISTING

1/4" = 1'-0"



LEFT (WEST) ELEVATION EXISTING

1/4" = 1'-0"

REVISIONS	DATE

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ELEVATIONS EXISTING

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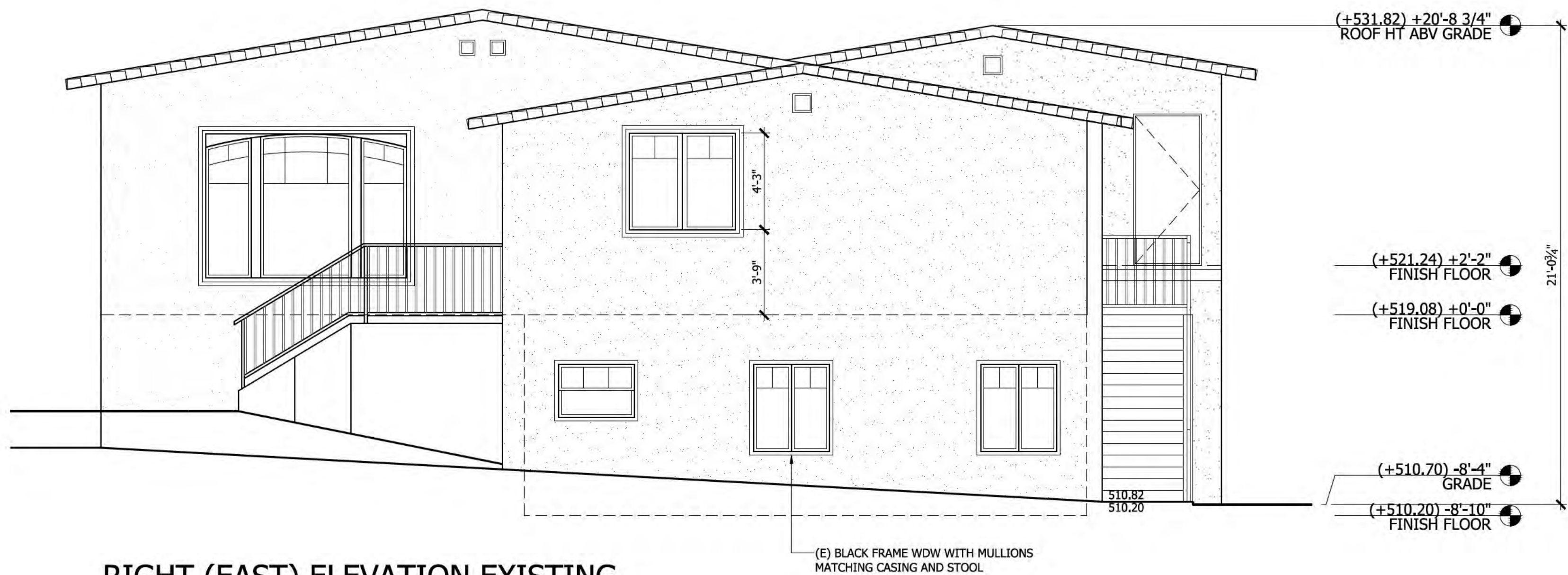
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APN# 510-20-002

DATE:	2024.07.10
SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	24-021

SHEET:
A3.1



REAR (NORTH) ELEVATION EXISTING
1/4" = 1'-0"



RIGHT (EAST) ELEVATION EXISTING
1/4" = 1'-0"

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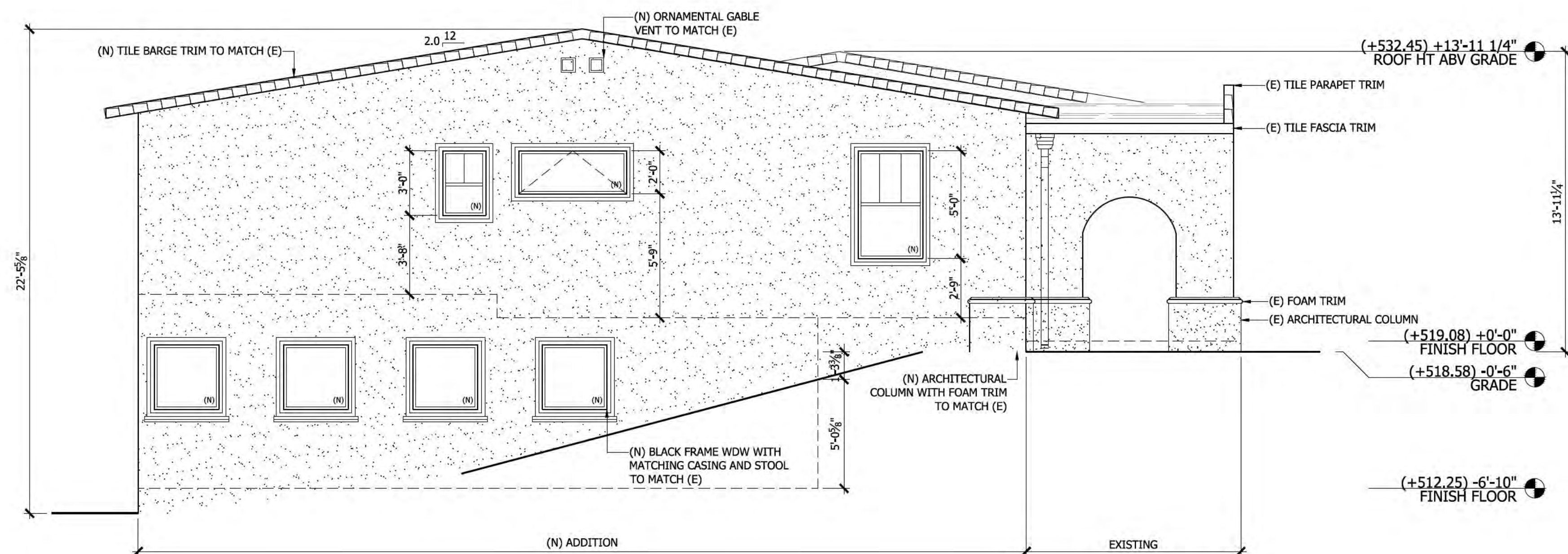
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PLAN NO: 24-021

SHEET:
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FRONT (SOUTH) ELEVATION NEW

1/4" = 1'-0"



LEFT (WEST) ELEVATION NEW

1/4" = 1'-0"

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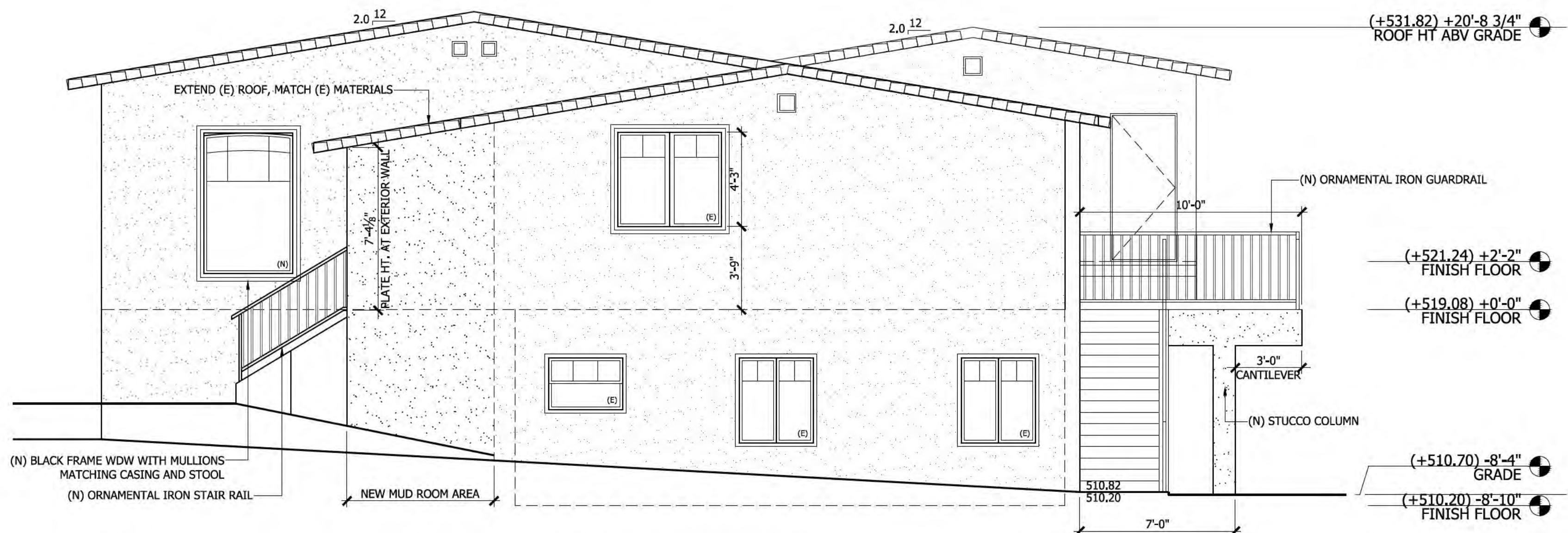
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SHEET:
A3.3



REAR (NORTH) ELEVATION NEW
1/4" = 1'-0"



RIGHT (EAST) ELEVATION NEW
1/4" = 1'-0"

REVISIONS	DATE

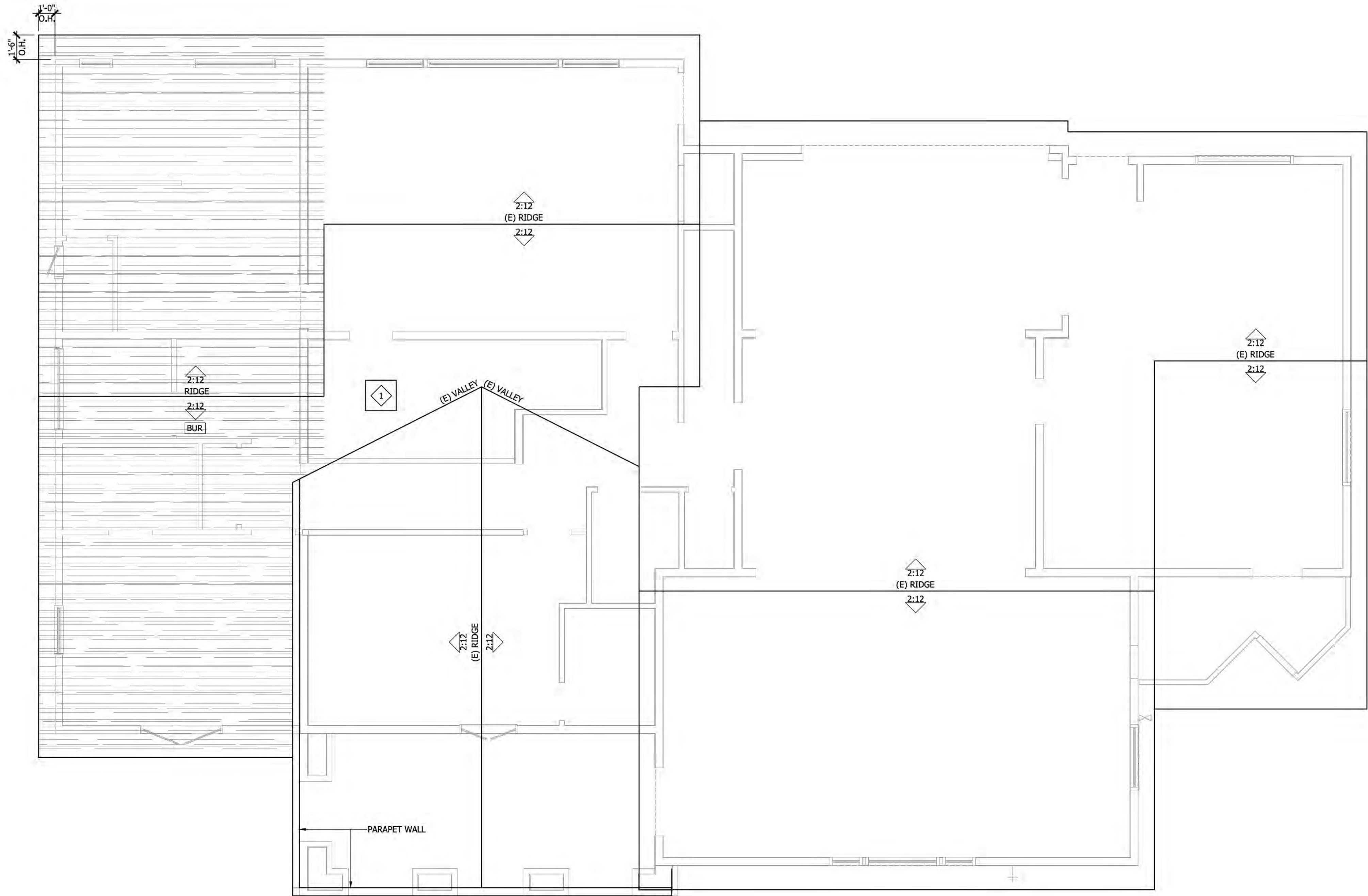
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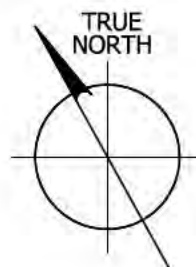
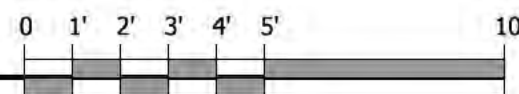
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SHEET:
A3.4



134 HERNANDEZ ROOF PLAN

1/4" = 1'-0"



SKYLIGHT SCHEDULE							
NUMBER	SIZE		STYLE	MANUFACTURER	REPORT #	MODEL	NOTES
	WIDTH	HEIGHT					
1	1'-10.5"	1'-10.5"	DECK MOUNT	VELUX	199	VSS	TEMP

REFERENCE KEYNOTES	
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
ROOFING AND SIDING -	
BUR	- BUILT-UP ROOF SYSTEM

ATTIC VENTILATION CALCULATIONS:

648 SF ATTIC/150 EQUAL TOTAL 4.3 SF

NEED 2.8 SF LOW VENT
(15) LOW PRO VENTS @ .3 SF EACH 4.5 SF

TOTAL 4.5 SF
TO BE INSTALLED

ROOF NOTES:

- PLYWOOD FOR ANY SURFACE OR EDGE EXPOSED TO WEATHER MUST BE BONDED WITH EXTERIOR GLUE.
- EXPOSED GLU-LAMS SHALL BE PRESERVATIVE TREATED, APPLIED BY THE MANUFACTURER, OR MADE FROM NATURALLY DURABLE WOOD.
- ALL FASTENERS USED FOR ATTACHMENT OF SIDING SHALL BE CORROSION-RESISTANT (R703.4)
- NEW ROOF SHEATHING TO BE MINIMUM 15/32"CDX/OSB APA RATED FOR 24" O.C. FRAMING, RADIANT BARRIER NAIL WITH 8d AT 6" O.C. EDGE, 12 O.C. FIELD. INSTALL WITH FACE GRAIN PERPENDICULAR TO FRAMING, STAGGER END JOINTS.
- CORROSION RESISTANT FLASHING SHALL BE PROVIDED AT OPENINGS AND INTERSECTIONS/ATTACHMENTS. (R703.8)
- FIRE BLOCKING SHALL BE PROVIDED IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS; VERTICALLY AT FLOOR AND CEILING LEVELS, HORIZONTALLY AT INTERVALS NOT TO EXCEED 10' (R302.11)
- FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER.
- MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR SHALL BE CHECKED BEFORE ENCLOSURE, CBC 4.505.3

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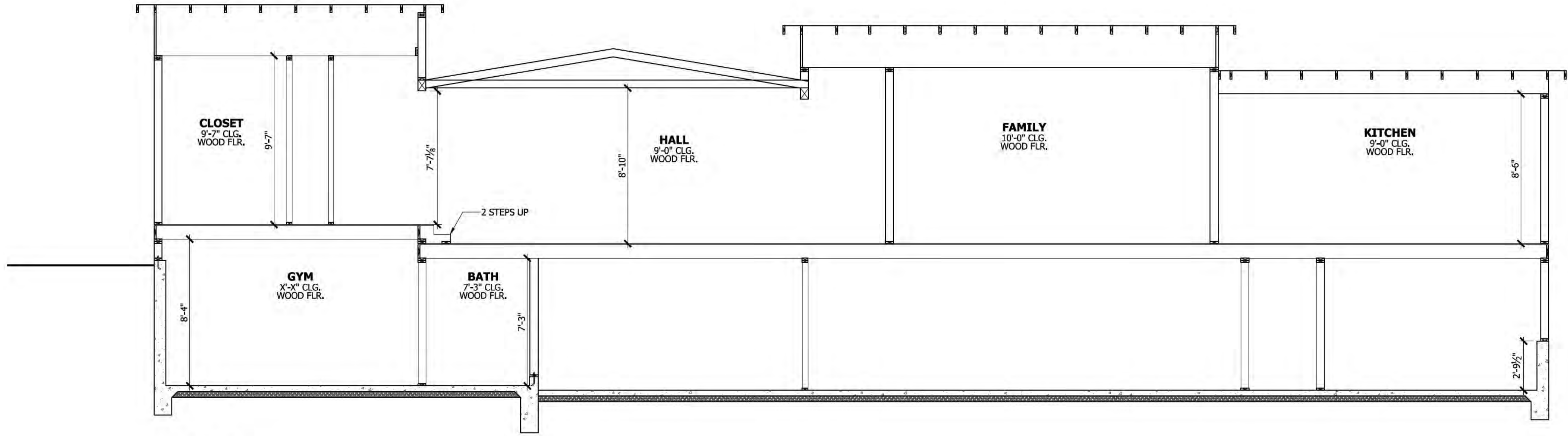
ROOF PLAN

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LOS GATOS, CA 95030
APN# 510-20-002

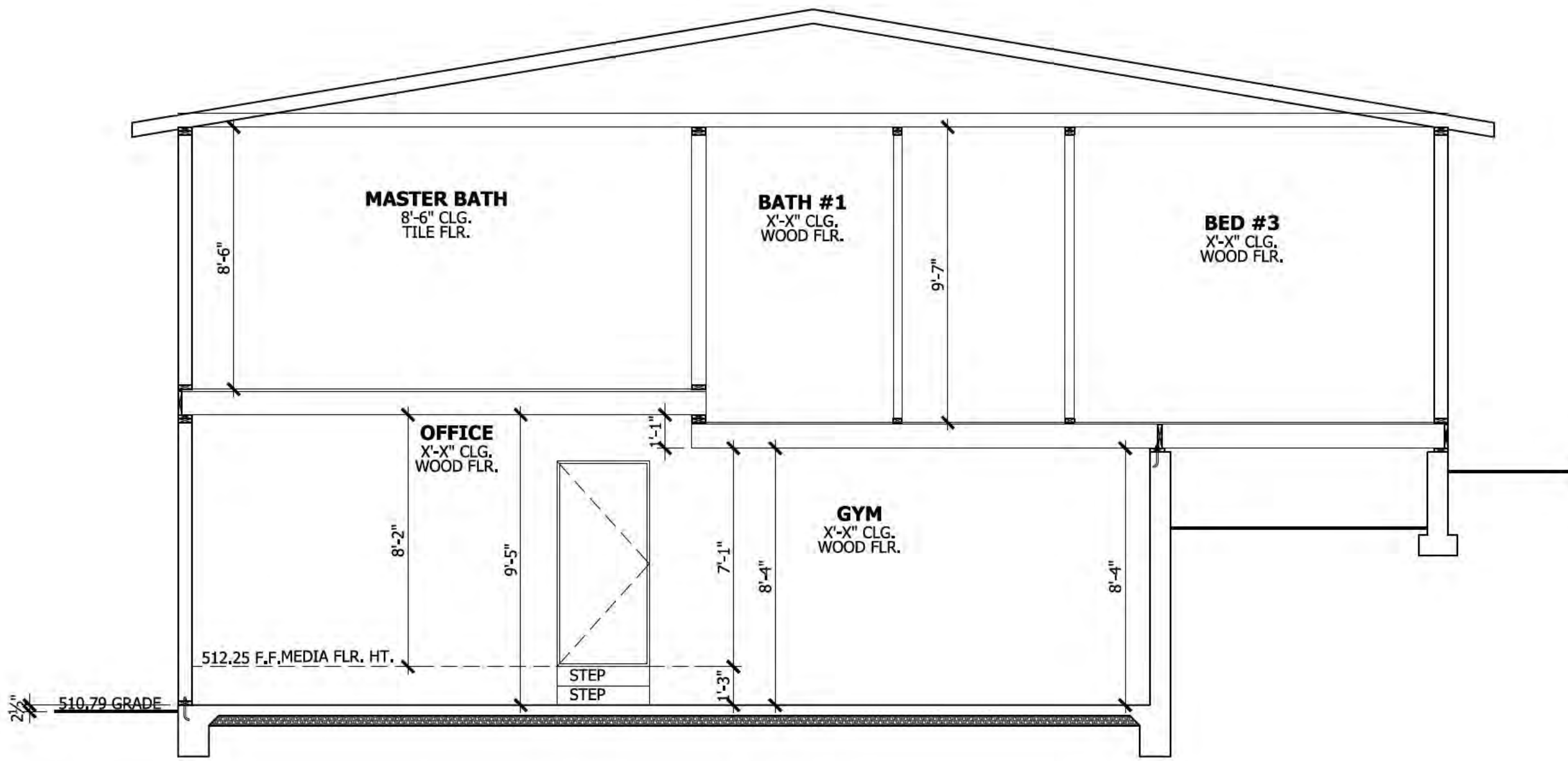
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SCALE:	PER SHEET
DRAWN BY:	DAVID
PLAN NO.:	24-021

SHEET:
A4.1



SECTION 1

1/4" = 1'-0"



SECTION A

1/4" = 1'-0"

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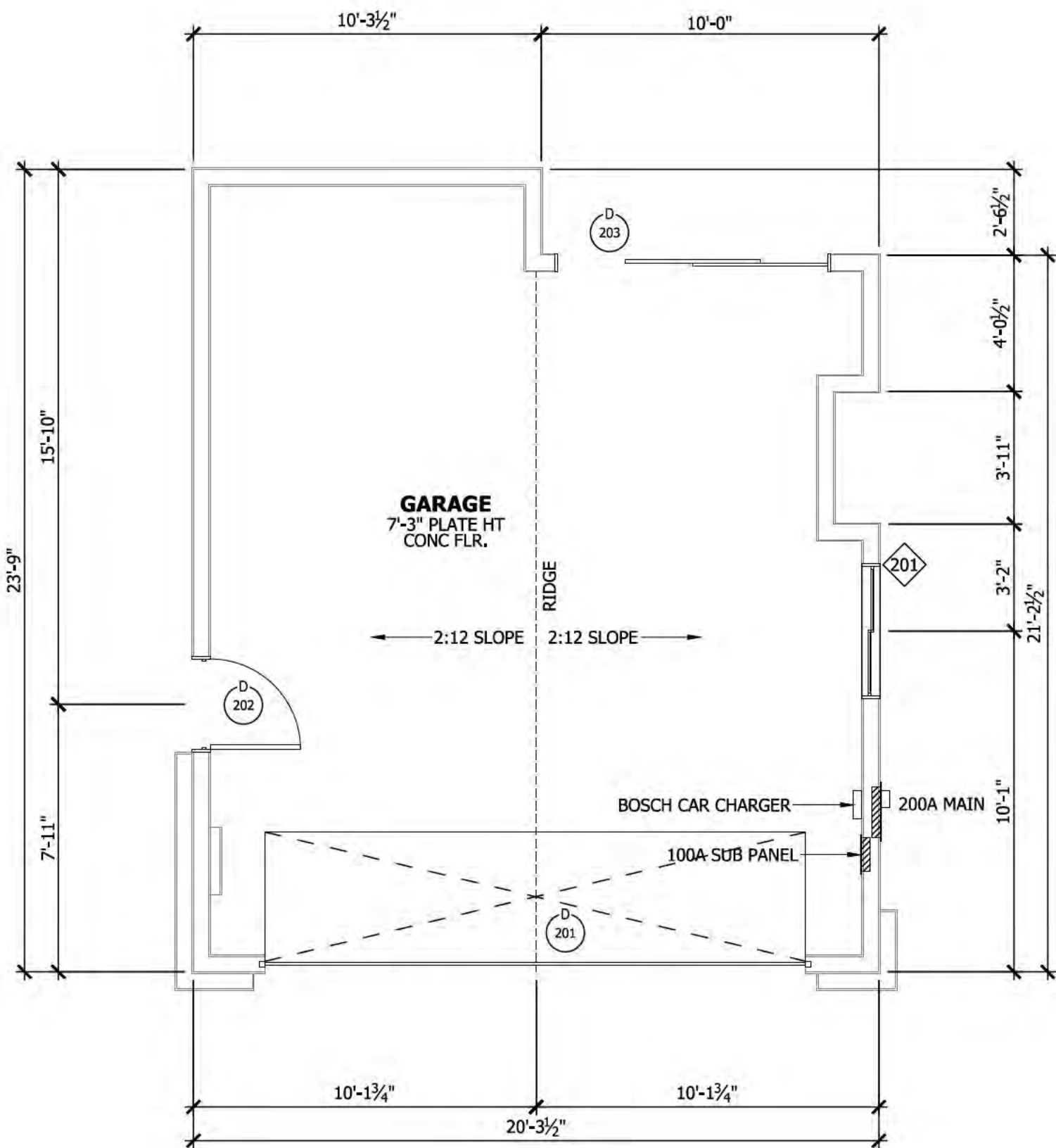
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SECTIONS

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134 HERNANDEZ AVE
LOS GATOS, CA 95030
APN # 510-20-002

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SHEET:
A5.1

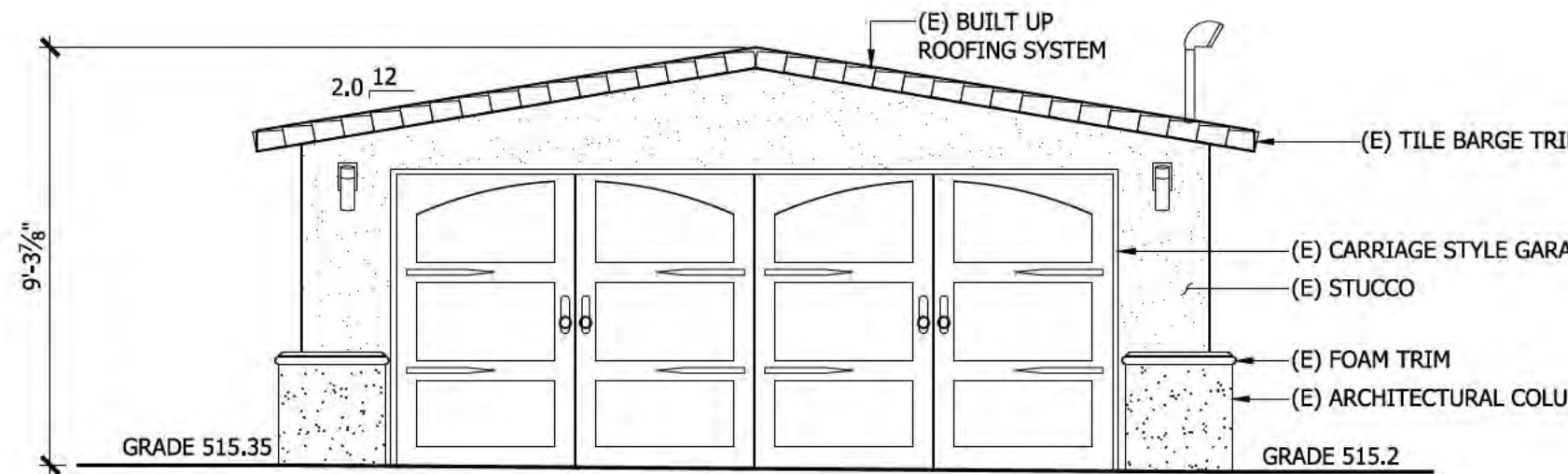
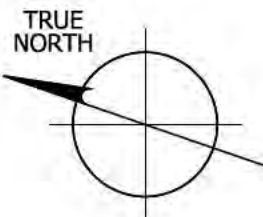
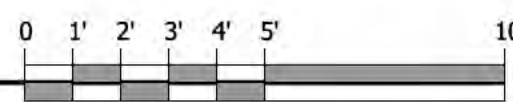


WINDOW SCHEDULE				
NUMBER	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
201	4'-0"	4'-0"	SLIDER	--

DOOR AND FRAME SCHEDULE		
SIZE	STYLE	NOTES
2'-8" x 6'-8" x 1-3/4"	SINGLE - INTERIOR	--
16'-0" x 6'-6" x 1"	OVERHEAD SECTIONAL	--
PR 4'-0" x 6'-8" x 1-1/4"	SLIDING - EXTERIOR	--

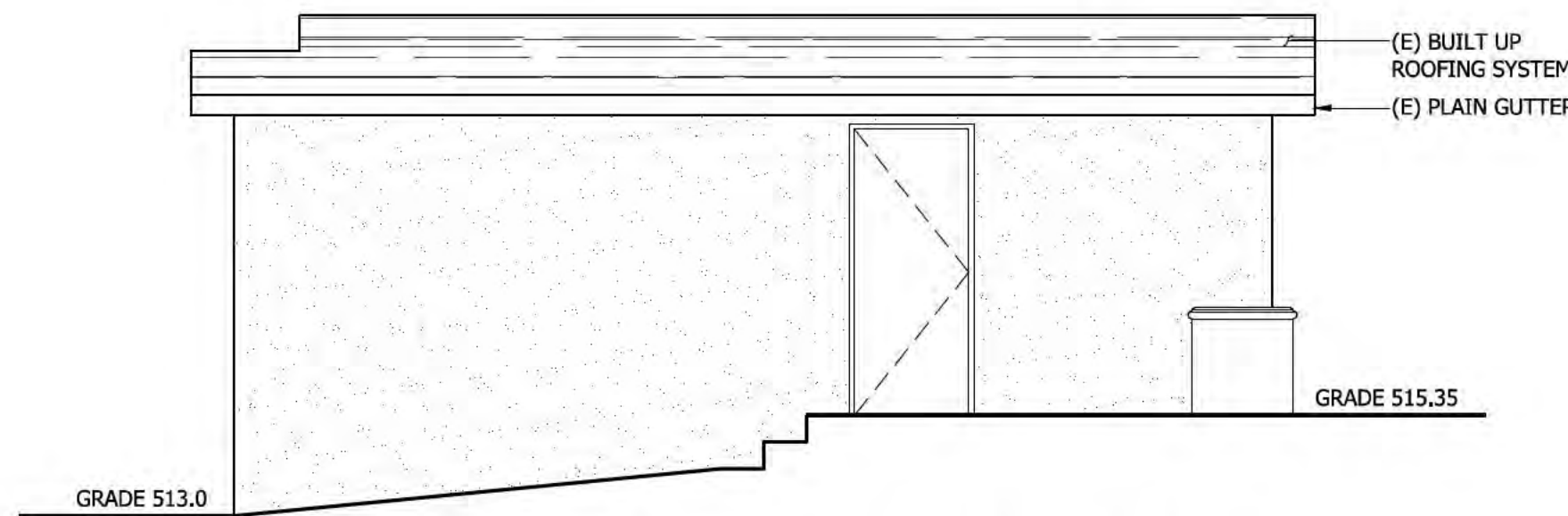
GARAGE FLOOR PLAN EXISTING

1/4" = 1'-0"



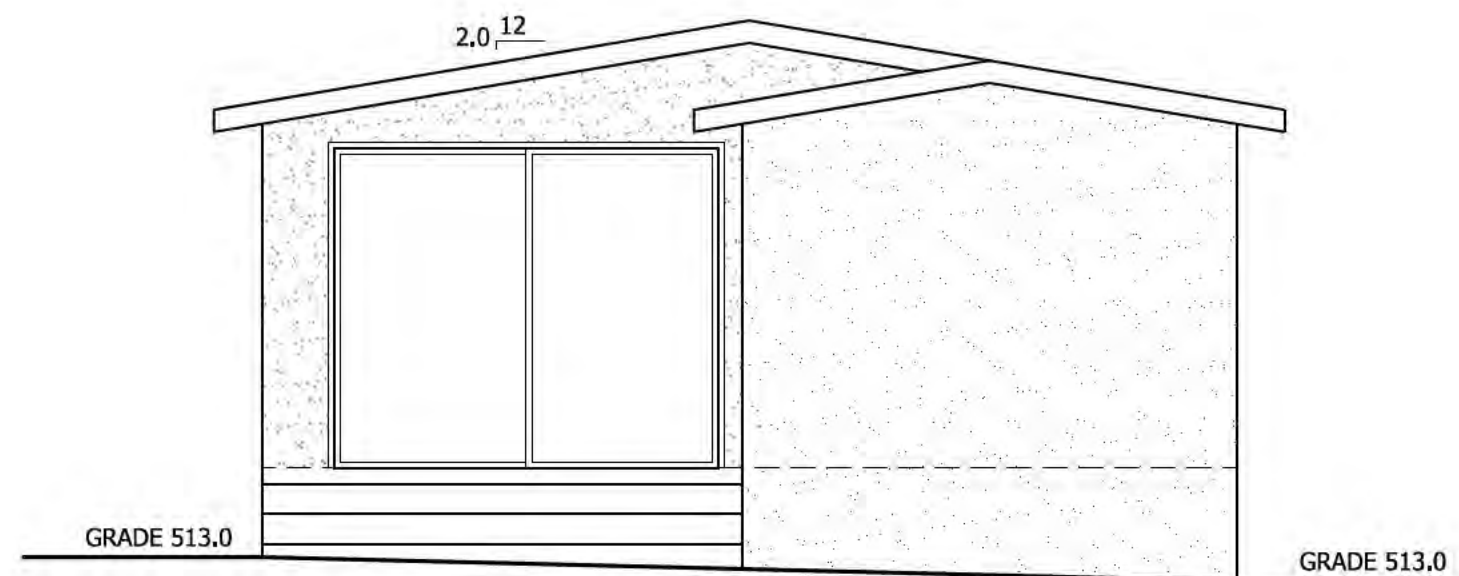
FRONT (WEST) ELEVATION EXISTING

1/4" = 1'-0"



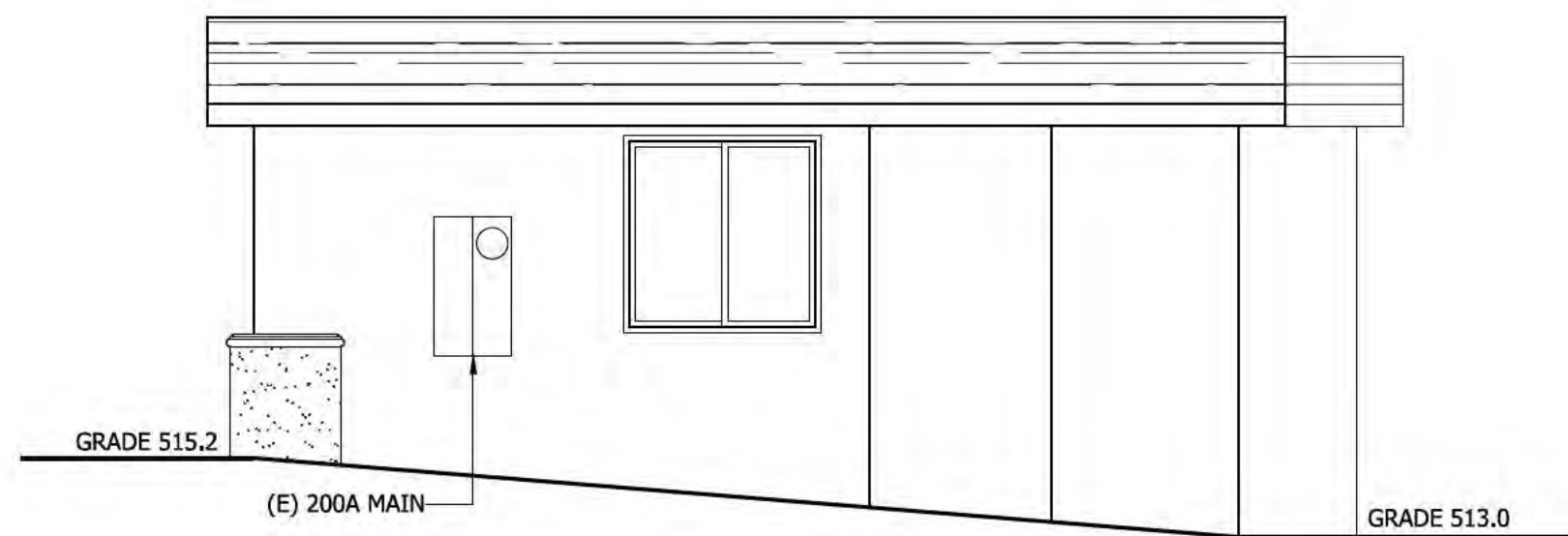
LEFT (NORTH) ELEVATION EXISTING

1/4" = 1'-0"



REAR (EAST) ELEVATION EXISTING

1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION EXISTING

1/4" = 1'-0"

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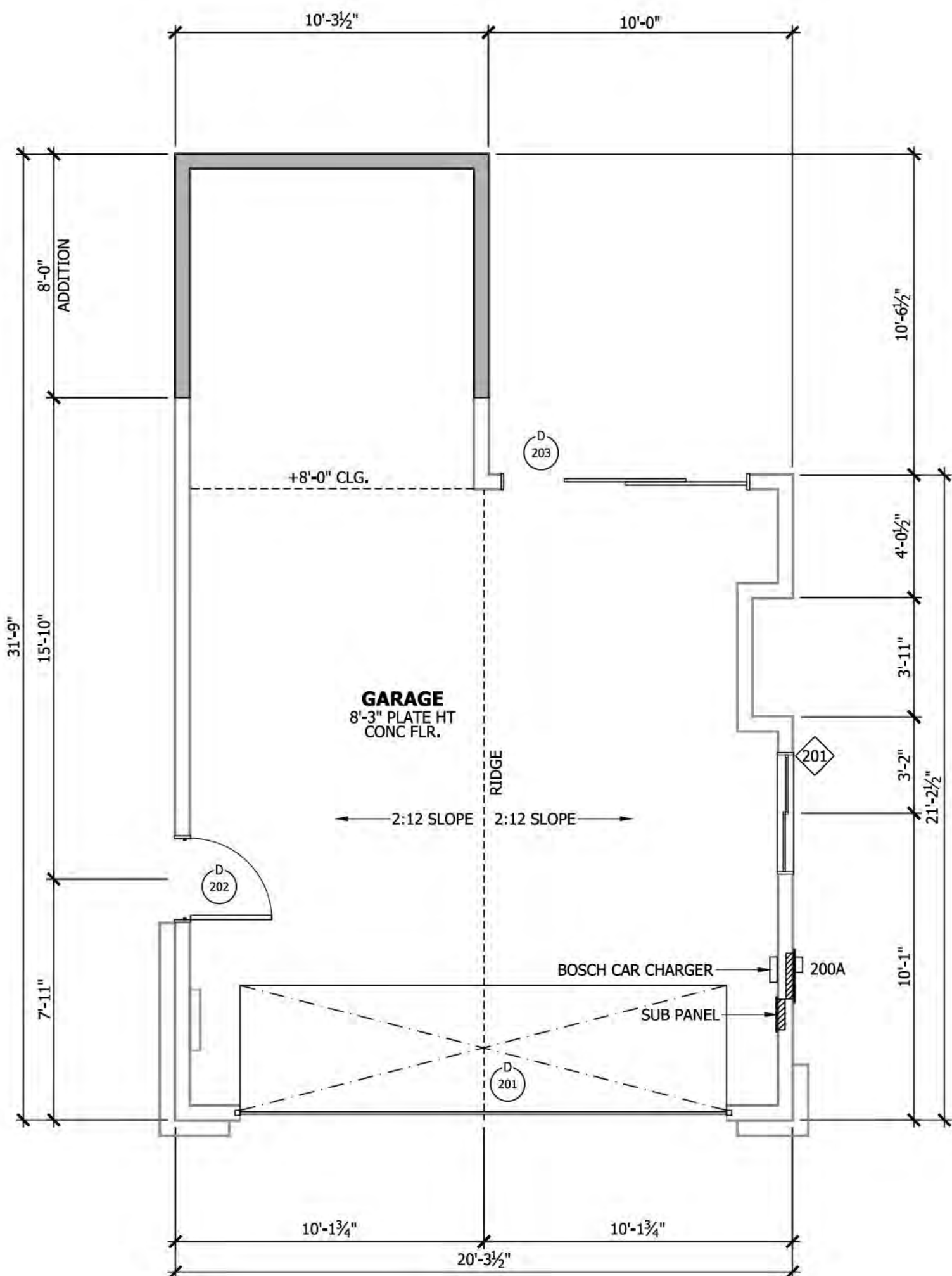
GARAGE PLAN EXISTING

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LOS GATOS, CA 95030
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DATE: 2024.07.10
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SHEET:
A6.1

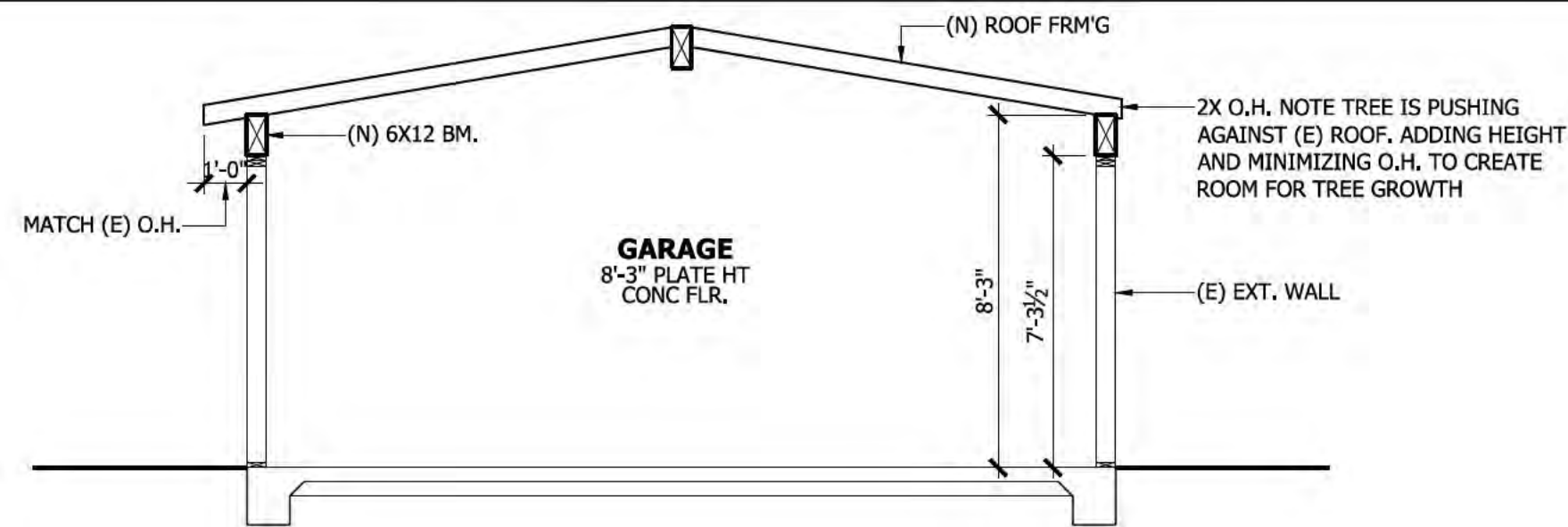


GARAGE FLOOR PLAN NEW

1/4" = 1'-0"

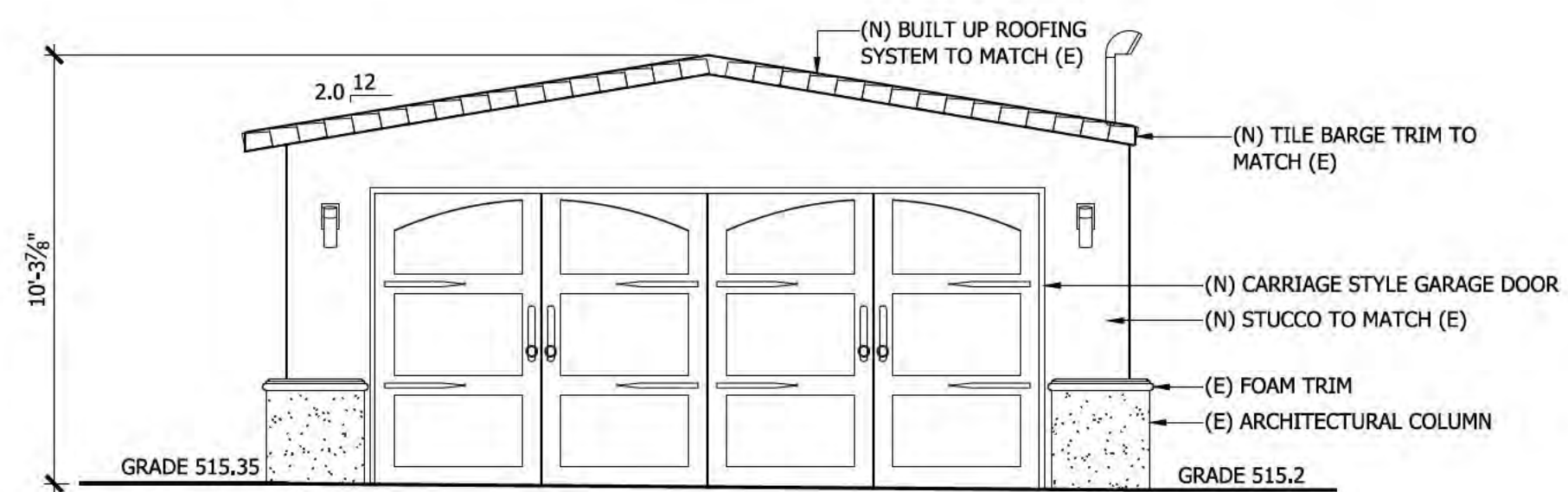
WINDOW SCHEDULE				
NUMBER	SIZE		STYLE	NOTES
	WIDTH	HEIGHT		
201	4'-0"	4'-0"	SLIDER	EXISTING

DOOR AND FRAME SCHEDULE			
SIZE	STYLE	NOTES	
2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	EXISTING	→
16'-0" x 7'-0" x 1"	OVERHEAD SECTIONAL	→	
PR 4'-0" x 6'-8" x 1'-1/4"	SLIDING - EXTERIOR	EXISTING	



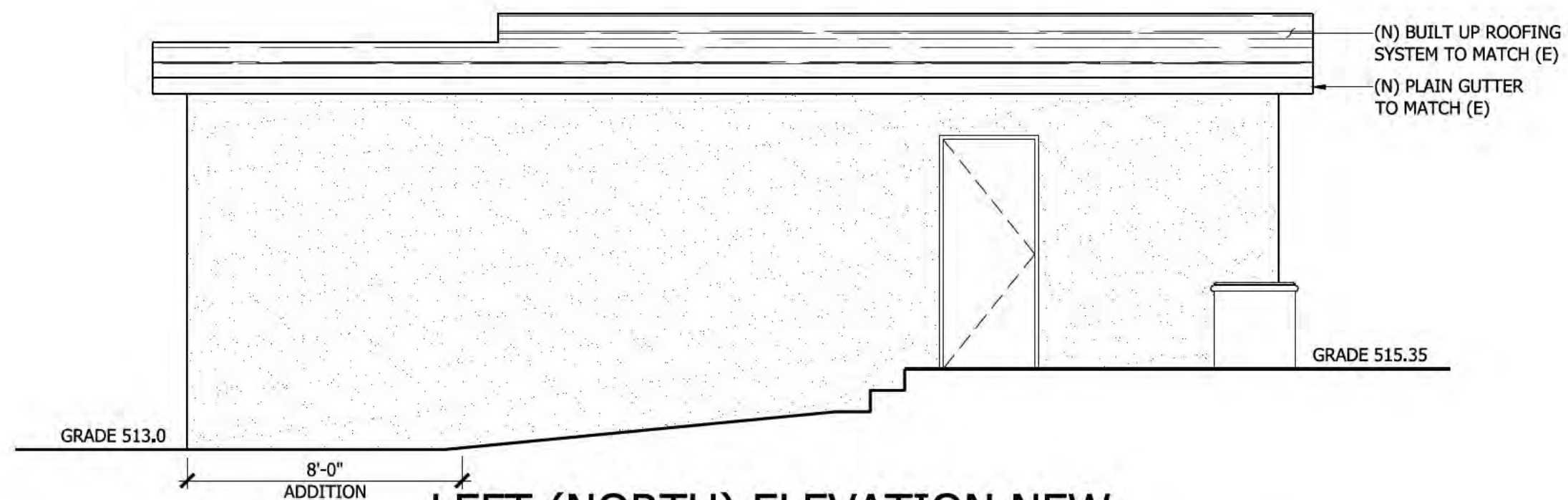
SECTION

1/4" = 1'-0"



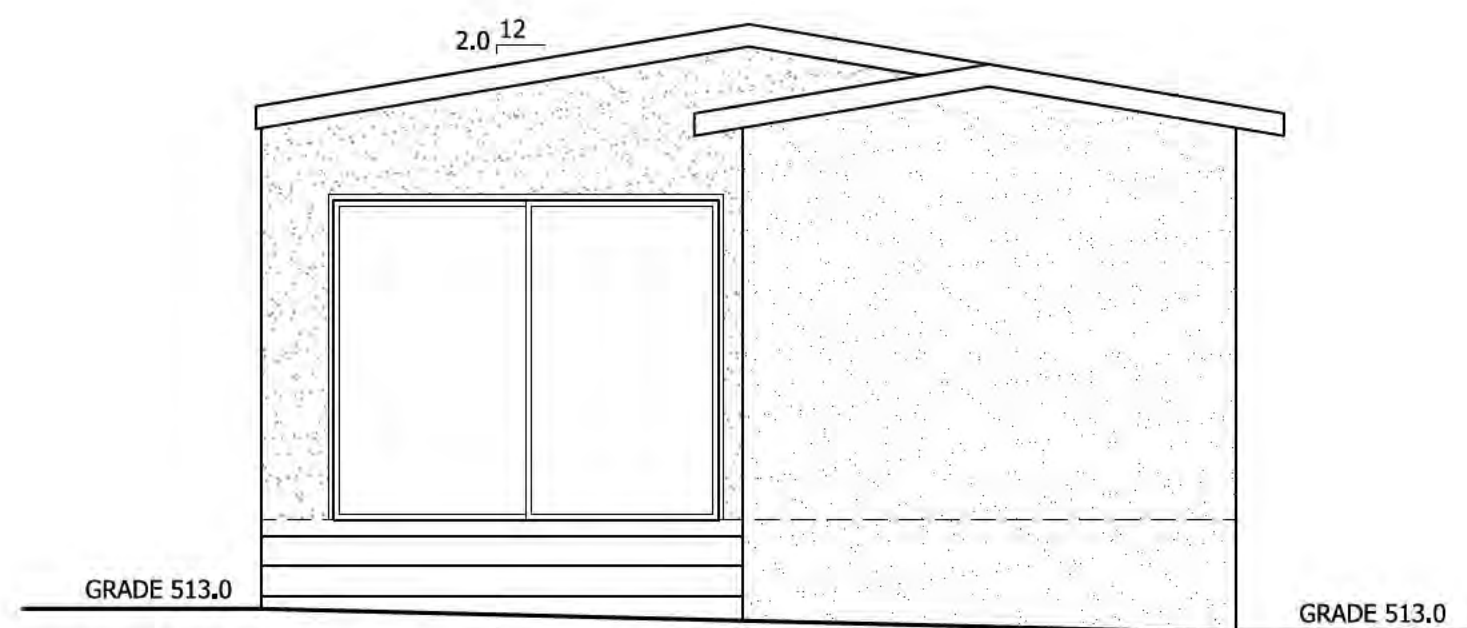
FRONT (WEST) ELEVATION NEW

1/4" = 1'-0"



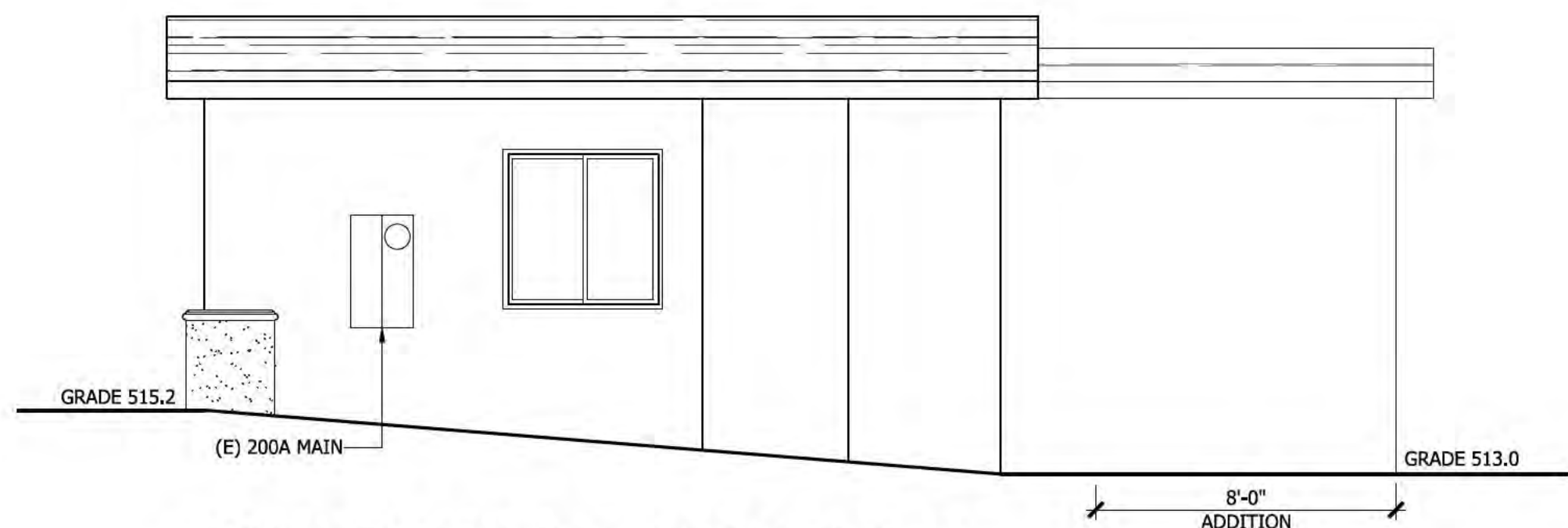
LEFT (NORTH) ELEVATION NEW

1/4" = 1'-0"



REAR (EAST) ELEVATION NEW

1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION NEW

1/4" = 1'-0"

REVISIONS	DATE

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GARAGE PLAN NEW

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DATE: 2024.07.10
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PLAN NO.: 24-021

SHEET: **A6.2**

GreenPoint Rated Existing Home Checklist

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each label are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the home. The measure or practice must be found in at least 10% of the home to earn points.

Instructions: Column A is a dropdown menu with the options of "Yes", "No", or "TBD" or a range of percentages to allocate points. Select the appropriate dropdown and the appropriate points will appear in the yellow "points achieved" column.

The criteria for the green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual, available at www.builditgreen.org/greenpointrated

GreenPoint Rated Existing Home Checklist Version 2.1.3

134 Hernandez Ave		Points Achieved	Community	Energy	Indoor Health	Resources	Water
AA. COMMUNITY		Possible Points					
TBD	1. Home is Located within 1/2 Mile of a Major Transit Stop	2					
TBD	2. Compact Development & House Size	2					
TBD	a. Density of 10 Units per Acre or Greater (Enter units/acre)						
TBD	b. Home Size Efficiency (5 points is average, points awarded based on home size)	1-5					
TBD	3. Pedestrian and Bicycle Access/ Alternative Transportation						
TBD	a. Site has Pedestrian Access Within 1/4 Mile of neighborhood services:						
TBD	TIER 1: 1) Day Care 2) Community Center 3) Public Park						
TBD	4) Drug Store 5) Restaurant 6) School						
TBD	7) Library 8) Farmer's Market 9) After School Programs						
TBD	10) Convenience Store Where Meat & Produce are Sold						
TBD	TIER 2: 1) Bank 2) Place of Worship 3) Laundry/Cleaners						
TBD	4) Hardware 5) Theater/Entertainment 6) Fitness/Gym						
TBD	7) Post Office 8) Senior Care Facility 9) Medical/Dental						
TBD	10) Hair Care 11) Commercial Office of Major Employer 12) Full Supermarket						
TBD	5 Services Listed Above (Tier 2 Services count as 1/2 Service Value)	1					
TBD	10 Services Listed Above (Tier 2 Services count as 1/2 Service Value)						
TBD	b. Access to A Dedicated Pedestrian Pathway to Places of Recreational Interest within 1/2 Mile	1					
TBD	c. At Least Two of the Following Traffic-Calming Strategies Installed within 1/4 mile:	1					
TBD	Designated Bicycle Lanes are Present on Roadways;						
TBD	Ten-Foot Vehicle Travel Lanes;						
TBD	Street Crossings Closest to Site are Located Less Than 300 Feet Apart;						
TBD	Streets Have Rumble Strips, Bulbouts, Raised Crosswalks or Refuge Islands						
TBD	4. Safety & Social Gathering						
TBD	a. Front Entrance Has Views from the Inside to Outside Callers	1					
TBD	b. Front Entrance Can be Seen from the Street and/or from Front Doors	1					
TBD	c. Fences (min. 10ft) Oriented to Streets and Public Spaces	1					
TBD	5. Diverse Households						
TBD	a. Home Has at Least One Zero-Step Entrance (prerequisite for 5b, And 5c.)	1					
TBD	b. At Main Floor Interior Doors & Passageways Have a Min. 32-inch Clear Passage Space	1					
TBD	c. Home Includes at Least a Half Bath on the Ground Floor with Blocking for Grab Bars	1					
TBD	d. Lot Includes Full-Function Independent Rental Unit	1					
Total Points Available in Community = 26		2					
A. SITE		Possible Points					
Yes	1. Protect Existing Topsoil from Erosion and Reuse after Construction	2					1
Yes	2. Divert Construction and Demolition Waste	Y					
Yes	a. Divert All Cardboard, Concrete, Asphalt and Metals (Required for both Whole House and Elements, if Applicable)						
TBD	b. Divert 25% C&D Waste Excluding All Cardboard, Concrete, Asphalt and Metals	2					
Yes	3. Construction IAQ Management Plan	2					
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GreenPoint Rated Existing Home Checklist v2.1.3

4

134 Hernandez Ave		Points Achieved	Community	Energy	Indoor Health	Resources	Water
B. FOUNDATION		Possible Points					
TBD	1. Replace Portland Cement in Concrete with Recycled Flyash or Slag						
TBD	a. Minimum 20% Flyash and/or Slag Content	1					
TBD	b. Minimum 30% Flyash and/or Slag Content	1					
TBD	2. Moisture Source Verification and Correction (Required for Whole House)	N					
TBD	3. Retrofit Ground Space to Control Moisture						
TBD	a. Control Ground Moisture with Vapor Barrier	2					
Yes	b. Foundation Drainage System	2					
Yes	4. Pest Inspection and Correction	1					
TBD	5. Design and Build Structural Pest Controls						
TBD	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers	1					
TBD	b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	1					
TBD	6. Radon Testing and Correction or Radon Resistant Construction	1					
Total Points Available in Foundation = 10		3					
C. LANDSCAPE		Possible Points					
No	Is the landscape area <15% of the total site area? (only 3 points available in this section for projects with <15% landscape area)						
TBD	1. Resource-Efficient Landscapes						
TBD	a. No Invasive Species Listed by Cal-IPC Are Planted	1					
TBD	b. No Plant Species Require Shearing	1					
TBD	c. 50% of Plants Are California Natives or Mediterranean Climate Species	3					
TBD	2. Fire-Safe Landscaping Techniques						
TBD	a. Turf Not Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide	2					
TBD	b. Turf is <25% of Landscaped Area	2					
TBD	c. Turf is <10% of Landscaped Area or eliminated	2					
Yes	4. Shade Trees Planted	3					
TBD	5. Plants Grouped by Water Needs (Hydrozoning)	1					
TBD	6. High-Efficiency Irrigation Systems Installed	2					
TBD	a. System Uses Only Low-Flow Drip, Bubblers, or Low-Flow Sprinklers	2					
TBD	b. System Has Smart Controllers	3					
TBD	7. Compost and Recycle Garden Trimmings on Site	1					
TBD	8. Mulch in All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement	2					
TBD	9. Use Environmentally Preferable Materials for Non-Plant Landscape Elements and Fencing						
TBD	10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward	1					
TBD	11. Rain Water Harvesting System (1 point for ≤ 550 gallons, 2 points for > 350 gallons)						
TBD	a. Cistern(s) is Less Than 750 Gallons	1					
TBD	b. Cistern(s) is 750 to 2,500 Gallons	1					
TBD	c. Cistern(s) is Greater Than 2,500 Gallons	1					
TBD	12. Soil Amended with Compost	1					
Total Points Available in Landscape = 32		3					
D. STRUCTURAL FRAME & BUILDING ENVELOPE		Possible Points					
TBD	1. Optimal Value Engineering						
TBD	a. Place Rafters & Studs at 24-inch On Center Framing	1					
TBD	b. Size Door & Window Headers for Load	1					
TBD	c. Use Only Jack & Cripple Studs Required for Load	0.75					
TBD	2. Use Engineered Lumber						
TBD	a. Engineered Beams & Headers	1					
TBD	b. Insulated Headers	1					
TBD	c. Engineered Lumber for Floors	1					
TBD	d. Engineered Lumber for Roof Rafters	1					
TBD	e. Engineered or Finger-Jointed Studs for Vertical Applications	1					
TBD	f. Oriented Strand Board for Subfloor	0.75					
TBD	g. Oriented Strand Board Wall and Roof Sheathing	1					
TBD	3. FSC Certified Wood						
TBD	a. Dimensional Lumber, Studs, and Timber	4					
TBD	b. Panel Products	2					
TBD	4. Solid Wall Systems (includes SIPs, ICFs, & Any Non-Stick Frame Assembly)						
TBD	a. Floors	2					
TBD	b. Walls	2					
TBD	c. Roofs	2					
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GreenPoint Rated Existing Home Checklist v2.1.3

2

134 Hernandez Ave		Points Achieved	Community	Energy	Indoor Health	Resources	Water
5. Reduce Pollution Entering the Home from the Garage							
TBD	a. Tightly Seal the Air Barrier between Garage and Living Area	1					
Yes	b. Install Garage Exhaust Fan OR Have a Detached Garage						
TBD	6. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)						
TBD	7. Overhangs and Gutters						
TBD	a. Minimum 16-inch Overhangs and Gutters	1					
TBD	b. Minimum 24-inch Overhangs and Gutters	2					
Yes	8. Retrofit/ Upgrade Structure for Lateral Load Reinforcement for Wind or Seismic	1					
TBD	a. Partial Lateral Load Reinforcement Upgrades/ Retrofits						
TBD	b. Lateral Load Reinforcement Upgrades/ Retrofits for Entire Home						
Yes	9. Sound Exterior Assemblies (Required for Whole House)	Y					
Total Points Available in Structural Frame & Building Envelope = 36		3.5					
E. EXTERIOR FINISH		Possible Points					
TBD	1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking						
TBD	2. Rain Screen Wall System Installed						
TBD	3. Durable & Noncombustible Cladding Materials						
TBD	4. Durable & Fire-Resistant Roofing Materials or Assembly						
Total Points Available in Exterior Finish = 7							
F. INSULATION		Possible Points					
TBD	1. Install Insulation with 30% Post-Consumer Recycled Content						
≥50%	a. Walls and Floors	0.5					
≥25%	c. Ceilings	0.5					
TBD	2. Install Insulation that is Low-Emitting (Certified CA Residential Section 01350)						
TBD	a. Walls and Floors						
TBD	c. Ceilings						
TBD	3. Inspect Quality of Insulation Installation before Applying Drywall						
Total Points Available in Insulation = 6		1					
G. PLUMBING		Possible Points					
Yes	1. Distribute Domestic Hot Water Efficiently						
≥50%	a. Insulate All Accessible Hot Water Pipes (prerequisite for 1b, and 1c.)	2					1
TBD	b. Locate Water Heater Within 12' Of All Water Fixtures, as measured in plan						1
TBD	c. Install On-Demand Circulation Control Pump						1
≥90%	2. High-Efficiency Toilets (Dual-Flush or ≤ 1.28 gpf)	2					
Yes	3. Water Efficient Fixtures						
≥50%	a. All Fixtures Meet Federal Energy Policy Act (Toilets: 1.6 gpf; Sinks: 2.2 gpm; Showers: 2.5 gpm) (Required For Whole House)	Y					
≥90%	b. High-Efficiency Showersheds. Use ≤ 1.8 gpm at 80 psi	3					
TBD	c. Bathroom Faucets Use ≤ 1.2 gpm	2					
TBD	4. Plumbing Survey (No Plumbing Leaks) (Required for Whole House and Elements)	N					
Total Points Available in Plumbing = 13		9					
H. HEATING, VENTILATION & AIR CONDITIONING		Possible Points					
Yes	1. General HVAC Equipment Verification and Correction						
TBD	a. Visual Survey of Installation of HVAC Equipment (Required for Whole House and Elements)	Y					
TBD	b. Conduct Diagnostic Testing to Evaluate System	2					
TBD	c. Conduct Flow-Flow Test and Assess Delivery of Air	1					
TBD	d. Air Conditioning Compressor Operates Properly and Refrigerant Charge is Optimal	1					
TBD	2. Design and Install HVAC System to ACCA Manuals J, D and S						
TBD	3. Sealed Combustion Units						
TBD	a. Furnaces						
TBD	b. Water Heaters	2					
TBD	4. Zoned, Hydronic Radiant Heating						
TBD	5. High Efficiency Air Conditioning Air conditioning with Environmentally Responsible Refrigerants	1					
Yes	6. Effective Ductwork Installation						
Yes	a. New Ductwork and HVAC unit Installed Within Conditioned Space	1					
TBD	b. Duct Mastic Used on All Joints, Seams and Splits						
TBD	c. Ductwork System is Pressure Balanced	1					
Yes	7. High Efficiency HVAC Filter (MERV 13+)	1					
Yes	8. No Fireplace OR Sealed Gas Fireplaces with Efficiency Rating ≥80% using CSA Standards	1					
Yes	9. Effective Exhaust Systems Installed in Bathrooms and Kitchens						
TBD	a. ENERGY STAR Bathroom Fans Vented to the Outside	1					
TBD	b. All Bathroom Fans are on Timer or Humidistat						
TBD	c. Kitchen Range Hood Vented to the Outside	1					
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3

134 Hernandez Ave		Points Achieved	Community	Energy	Indoor Health	Resources	Water
10. Mechanical Ventilation System for Cooling Installed							
TBD	a. ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms						
TBD	b. Whole House Fan						
TBD	11. Mechanical Ventilation for Fresh Air Installed						
TBD	a. Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as adopted in Title 24 Part 6)						
TBD	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum Efficiency, Minimum Ventilation Rate, Homeowner Instructions)						
TBD	c. Outdoor Air Directed to Bedroom and Living Areas of Home						
Yes	12. Carbon Monoxide						
Yes	a. Carbon Monoxide Testing and Correction (Required for Whole House)	Y					
Yes	b. Carbon Monoxide Alarm(s) Installed						
Yes	13. Combustion Safety Backdraft Test (Required for Whole House and Elements)	Y					
Total Points Available in Heating, Ventilation and Air Conditioning = 30		4					
I. RENEWABLE ENERGY		Possible Points					
TBD	1. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)						
Yes	Enter % total energy consumption offset, 1 point per 4% offset	25					
Total Points Available in Renewable Energy = 25							
J. BUILDING PERFORMANCE		Possible Points					
Yes	1. Energy Survey and Education (Required for Elements or Meet J3)	Y					
TBD	2. Energy Upgrades (Available for Elements Rating Only, Mutually Exclusive with J3, 2 point minimum and 6 point maximum credit required)						
TBD	TIER 1: Practices in Tier 1 Are Worth Full Value (1 point)						
TBD	a) Attic Insulation up to or Exceeding Current Code	1					
TBD	b) Crawl Space Insulation up to or Exceeding Current Code	1					
TBD	c) Wall Insulation up to or Exceeding Current Code	1					
TBD	d) High Efficiency Furnace (90% AFUE Minimum)	1					
TBD	e) Seal Ducts and Duct Leakage is <15%	1					
TBD	f) 16 SEER, 12 EER Air Conditioning Unit (in climate zones 2, 4, 8, 15)	1					
TBD	g) House Passes Blower Door Test With ≤0.5 ACH or a 50% Improvement	1					
TBD	TIER 2: Practices in Tier 2 Are Worth Half Value (0.5 points)						
TBD	h) High Efficiency Water Heater ≥16EF	0.5					
TBD	i) Radiant Barrier in Attic	0.5					
TBD	j) Windows Upgraded to Current Code Requirements, Which are Typically Dual Pane	0.5					
TBD	k) Duct Insulation to Code	0.5					
TBD	l) ENERGY STAR Thermostat	0.5					
TBD	m) 16 SEER, 12 EER Air Conditioning unit (in climate zones 1,3,5,6,7,10)	0.5					
100	3. Meet Energy Budget for Home Based on Year (Based GreenPoint Rated Index, Includes Blower Door Test) (Required for Whole House, Available for Elements)	27					
TBD	4. Design and Build Zero Energy Homes						
TBD	5. Comprehensive Utility Bill Analysis						
Total Points Available in Building Performance = 16+		27					
K. FINISHES		Possible Points					
TBD	1. Entryways Designed to Reduce Tracked in Contaminants						
TBD	2. Low-VOC Paint						
TBD	a. Low-VOC Interior Wall/Ceiling Paints (<50 gpl VOCs regardless of sheen)	1					
TBD	b. Zero-VOC Interior Wall/Ceiling Paints (<5 gpl VOCs (flat))	2					
TBD	3. Coatings Meet SCAQMD Rule 1113 for Low VOCs	2					
TBD	4. Low-VOC Caulks & Construction Adhesives (Meet SCAQMD Rule 1168)	2					
TBD	5. Recycled-Content Paint						
TBD	6. Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood B) Reclaimed Materials C) Rapidly Renewable D) Recycled-Content E) Finger-Jointed or F) Local						
TBD	a. Cabinets						
TBD	b. Interior Trim						
TBD	c. Shelving						
TBD	d. Doors						
TBD	e. Countertops						
TBD	7. For Newly Installed Products, Reduce Formaldehyde in Interior Finish - Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (Required for Whole Building & Elements) (EPA IAPF)	N	</				

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