

Butcher Residence

RENOVATION AND ADDITION 127 BELHAVEN DRIVE, LOS GATOS

APN: 527.29.031



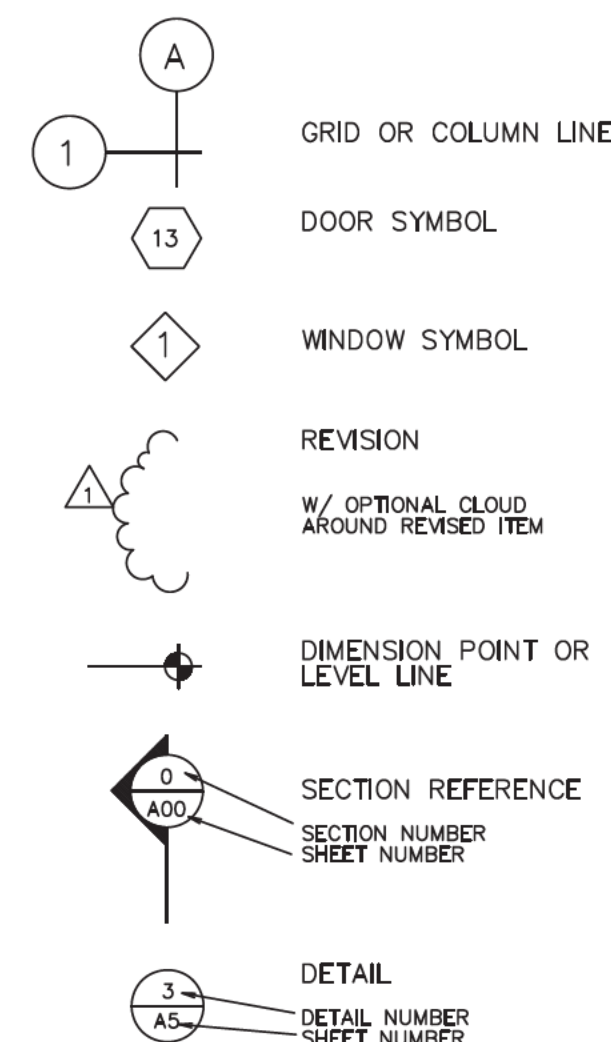
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Greg Stowers

SYMBOLS



PROJECT SUMMARY

OCCUPANCY TYPE:	R3 / U
BUILDING CONSTRUCTION TYPE:	V-B (NON-RATED)
PARCEL NUMBER :	527.29.031
ZONING DISTRICT:	R-1-10
LOT AREA:	10,002 SQ. FT.
FIRE SPRINKLERS	NO
# STORIES	TWO
FAR:	3,299sf / 10,002sf .329 OR 33% FAR

BUILDING CODES

- 2025 California Building Standards
- CALIFORNIA BUILDING CODE (CBC)
 - CALIFORNIA RESIDENTIAL CODE (CRC)
 - CALIFORNIA ELECTRICAL CODE (CEC)
 - CALIFORNIA MECHANICAL CODE (CMC)
 - CALIFORNIA PLUMBING CODE (CPC)
 - CALIFORNIA ENERGY CODE (TITLE 24, PART 6)
 - CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
 - CALIFORNIA FIRE CODE (CFC)
 - CALIFORNIA EXISTING BUILDING CODE (CEBC)
 - CALIFORNIA ADMINISTRATIVE CODE (TITLE 24, PART 1)
 - CALIFORNIA REFERENCED STANDARDS CODE (TITLE 24, PART 12)
 - LOCAL AMENDMENTS AND ORDINANCES OF THE TOWN OF LOS GATOS

GENERAL NOTES

- The "General Conditions of the Contract for Construction", AIA Document A201, latest edition, all inclusions a part of this Contract. This document may be examined at the Architect's office.
- Provide an emergency telephone on the job prior to any construction.
- Any errors or omissions found in the drawings shall be immediately brought to the attention of the Architect.
- Existing construction indicated is for information only. It is the Contractor's responsibility to verify the actual conditions, locations, and dimensions and to notify the Architect of any discrepancies or omissions in these conditions before commencing any new work in areas affected by these existing conditions.
- Contractor shall be responsible for providing all materials and workmanship in accordance with all applicable federal, state, and local laws, codes, ordinances, and regulations.
- Do not scale plans. If dimensions are found to be missing or inaccurate, immediately contact the Architect for clarification.
- These plans are the sole property of the Architect. The unauthorized reproduction or use of these plans is illegal and the Architect disclaims any responsibility for their unauthorized use.
- Protect the area and all new and existing materials and finishes from damage which may occur during construction.
- Remove rubbish and waste materials regularly during construction and leave the area clear and ready for use when finished.
- All warranties due to the Owner shall be forwarded in triplicate form to the Contractor upon completion of the job, with no exceptions.
- Changes in the design or materials will not be accepted without authorization from the Architect and Owner.
- Subcontractors shall submit as-built drawings to the Contractor upon completion of work.
- All construction shall comply with City and State of California building codes.
- Job is to be completed in a workman-like manner (i.e. installations to be uniform, square and to specified dimensions, fasteners to be of sufficient color and texture with complete coverage; use drop cloths, masking, etc. to eliminate paint spatter
- All systems are to be operational per manufacturer's tolerances upon completion of construction.

PROJECT DIRECTORY

OWNER CONTACT	JEREMY BUTCHER 127 BELHAVEN DRIVE LOS GATOS, CA 95032 PHONE: [REDACTED] EMAIL: [REDACTED]
DESIGN	GREG STOWERS STOWERS ASSOCIATES ARCHITECTS 155 E. CAMPBELL AVENUE, SUITE 114 CAMPBELL, CA 95008 PHONE: 408.358.5488 CELL: 408.406.6048 EMAIL: GREG@STOWERSASSOCIATES.COM
STRUCTURAL	ASHUR ABASSI BETTA GROUP STRUCTURAL ENGINEERS 2053 LINCOLN AVENUE, SUITE A SAN JOSE, CA 95125 PHONE: 408.267.7190 FAX: 408.267.7196 EMAIL: BETTAGROUP@SBCGLOBAL.NET

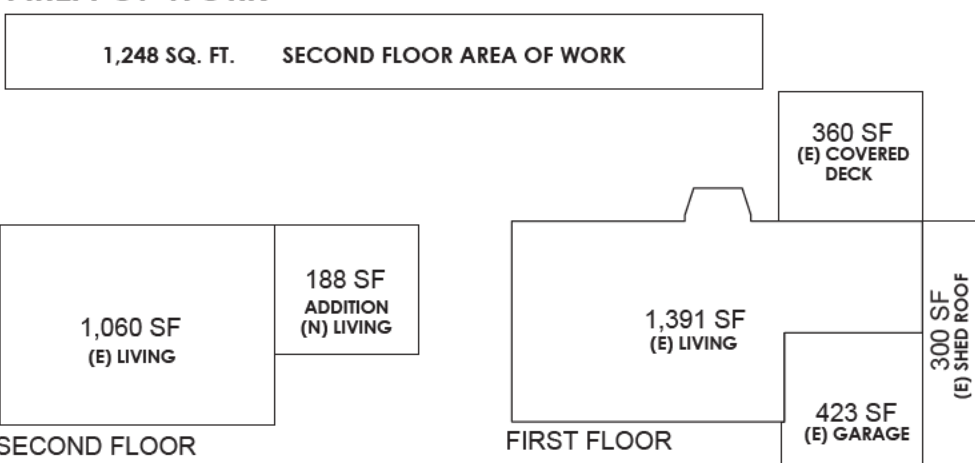
AREA CALCULATIONS

SQUARE FOOTAGE SUMMARY			
	EXISTING	ADDED	TOTALS
UPPER LEVEL	1,060 SQ. FT.	188 SQ. FT.	1,248 SQ. FT.
LOWER LEVEL	1,391 SQ. FT.	0 SQ. FT.	1,391 SQ. FT.
TOTAL	2,451 SQ. FT.	188 SQ. FT.	2,639 SQ. FT.

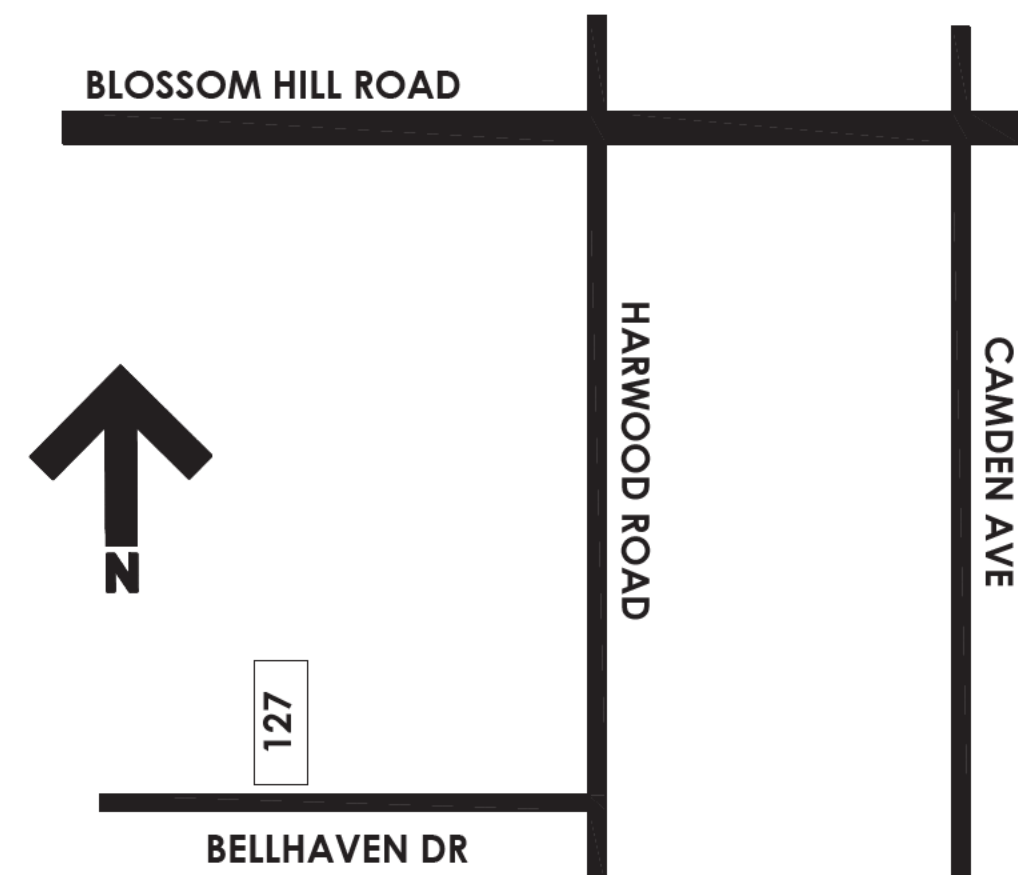
	EXISTING	ADDED	TOTALS
ATTACHED GARAGE	423 SQ. FT.	0 SQ. FT.	423 SQ. FT.

	EXISTING	ADDED	TOTALS
COVERED REAR DECK	360 SQ. FT.	0 SQ. FT.	360 SQ. FT.
SIDE YARD SHED ROOF	300 SQ. FT.	0 SQ. FT.	300 SQ. FT.
2nd FLOOR ROOF DECK	0 SQ. FT.	88 SQ. FT.	88 SQ. FT.

AREA OF WORK



VICINITY MAP



DRAWING INDEX

- | | |
|------|--|
| A0.1 | COVER SHEET |
| A0.2 | PLANNING CONDITIONS OF APPROVAL |
| A1.1 | SITE PLAN / EXISTING FLOOR / DEMOLITION PLAN |
| A2.1 | SECOND FLOOR - PROPOSED FLOOR PLAN / DOOR SCHEDULE |
| A3.1 | REFLECTED CEILING PLAN |
| A4.1 | ROOF PLAN |
| A5.1 | EXISTING EXTERIOR ELEVATIONS / WINDOW SCHEDULE |
| A5.2 | PROPOSED EXTERIOR ELEVATIONS |
| A5.3 | PROPOSED EXTERIOR ELEVATIONS |
| A5.4 | STREETSCAPE / SUN STUDIES / PERSPECTIVE RENDERINGS |

WRITTEN SCOPE

- REMODEL AND ADDITION TO EXISTING SECOND FLOOR OF SINGLE FAMILY HOME TO INCLUDE:
- NEW 188 SQUARE FOOT ADDITION TO CREATE NEW PRIMARY BATHROOM.
 - REMODEL EXISTING HALL BATHROOM.
 - CREATE NEW LAUNDRY ROOM.
 - MODIFY EXISTING PRIMARY BEDROOM TO ADD ROOF DECK AREA.
 - NEW LIGHTING THROUGHOUT ENTIRE SECOND STORY OF HOME.
 - NEW WINDOWS AT BATHROOM, LAUNDRY ROOM, PRIMARY BEDROOM AND PRIMARY BATH.
 - MODIFY EXISTING ELECTRICAL PANEL AS REQUIRED FOR NEW ELECTRICAL LOADS.
 - EXISTING HVAC SYSTEM TO REMAIN - MODIFY DUCTS AS REQUIRED TO COVER NEW SQUARE FOOTAGE.
 - EXISTING WATER HEATER TO REMAIN.
 - NEW FLOORING, TRIM, DOORS AND FRAMES AT SECOND FLOOR.

PLUMBING FIXTURES

VERIFICATION OF REPLACEMENT OF ALL EXISTING TO REMAIN NON-COMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES AS SPECIFIED IN CIVIL CODE SECTION 1101.1-1101.8 SHALL BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION. THIS REQUIREMENT APPLIES TO ALL EXISTING TO REMAIN PLUMBING FIXTURES LOCATED WITHIN THE STRUCTURE UNDER THE SCOPE OF THIS PERMIT.

- FIXTURE FLOW SHALL BE AS FOLLOWS:
- 1.6 GALLONS PER FLUSH FOR TOILETS
 - 1.0 GALLONS PER FLUSH FOR URINALS
 - 2.5 GPM AT 80 PSI FOR SHOWERHEAD
 - 2.2 GPM AT 60 PSI FOR INTERIOR FAUCETS

ADVISORY: THIS APPLIES TO EXISTING PLUMBING FIXTURES ONLY. ALL NEW PLUMBING FIXTURES MUST COMPLY WITH THE REDUCED FLOW RATES AS LISTED ON SHEET A3.

LUMINAIRE SCHEDULE

THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES.

BACK-FLOW VALVE

PROJECT SCOPE TO INCLUDE THE INSTALLATION OF AN APPROVED BACKWATER VALVE AS REQUIRED BY TOWN CODE SECTION 6.40.020. BACKWATER VALVE SHALL BE INSTALLED ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RIMS LESS THAN 12-INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. CPC 710.0

residential remodel
127 BELHAVEN DRIVE
LOS GATOS CA 95032

ISSUE	DATE
Permit Submittal	02.16.2026
Planning Res #1	04.10.2026
Planning Res #1	05.05.2026
Planning Res #2	06.02.2026

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SCALE	AS NOTED

TITLE SHEET



residential remodel

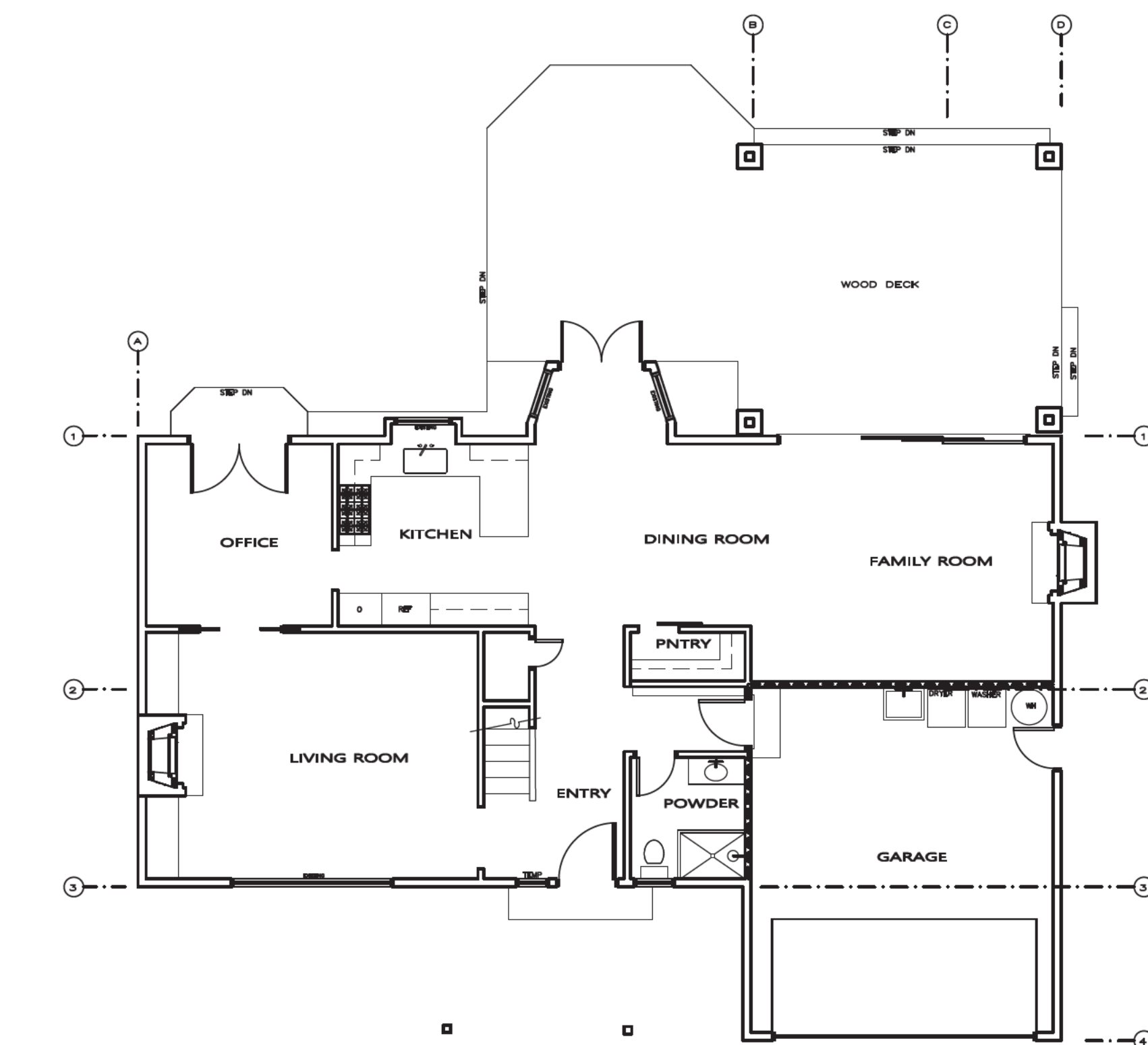
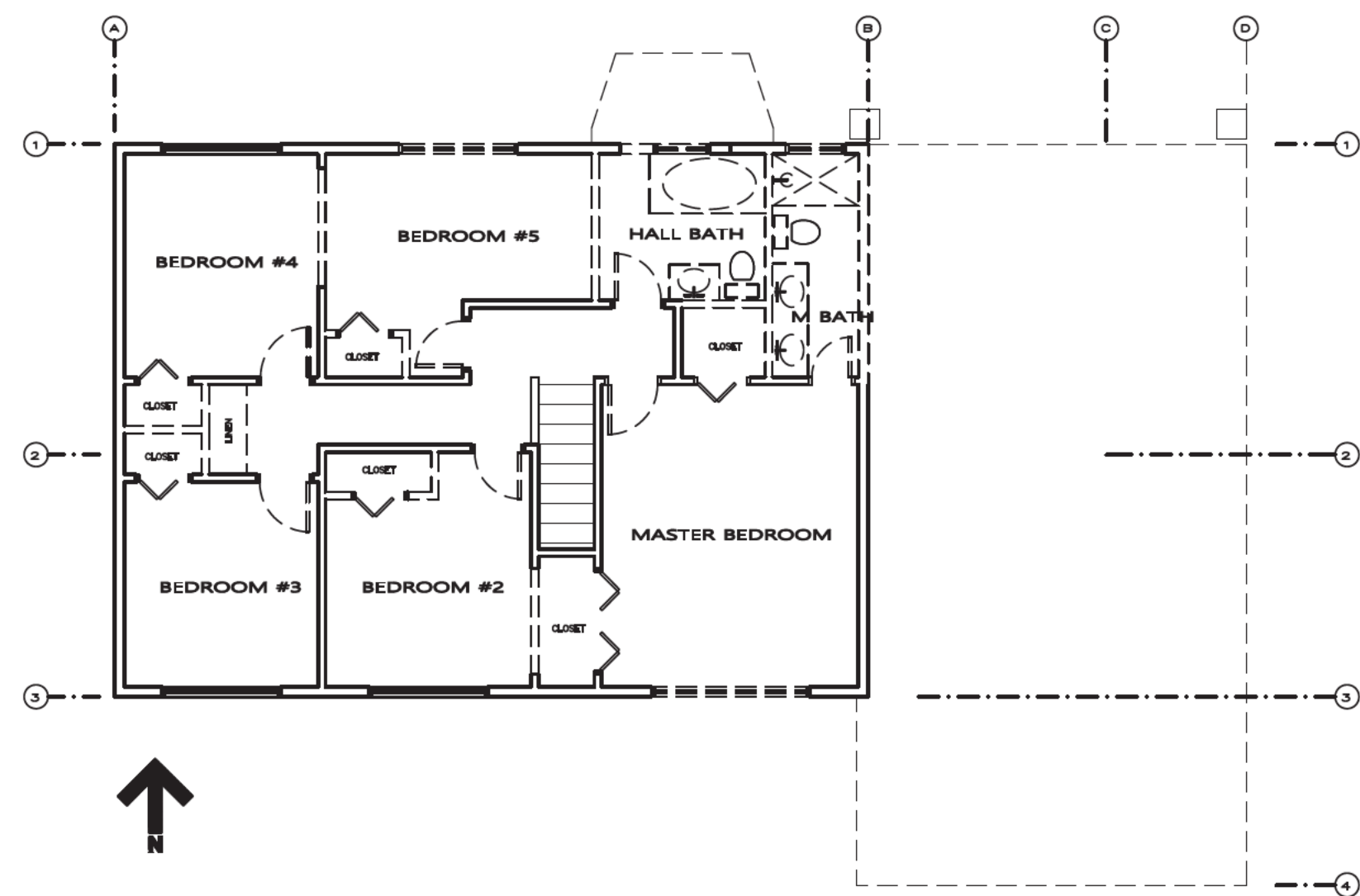
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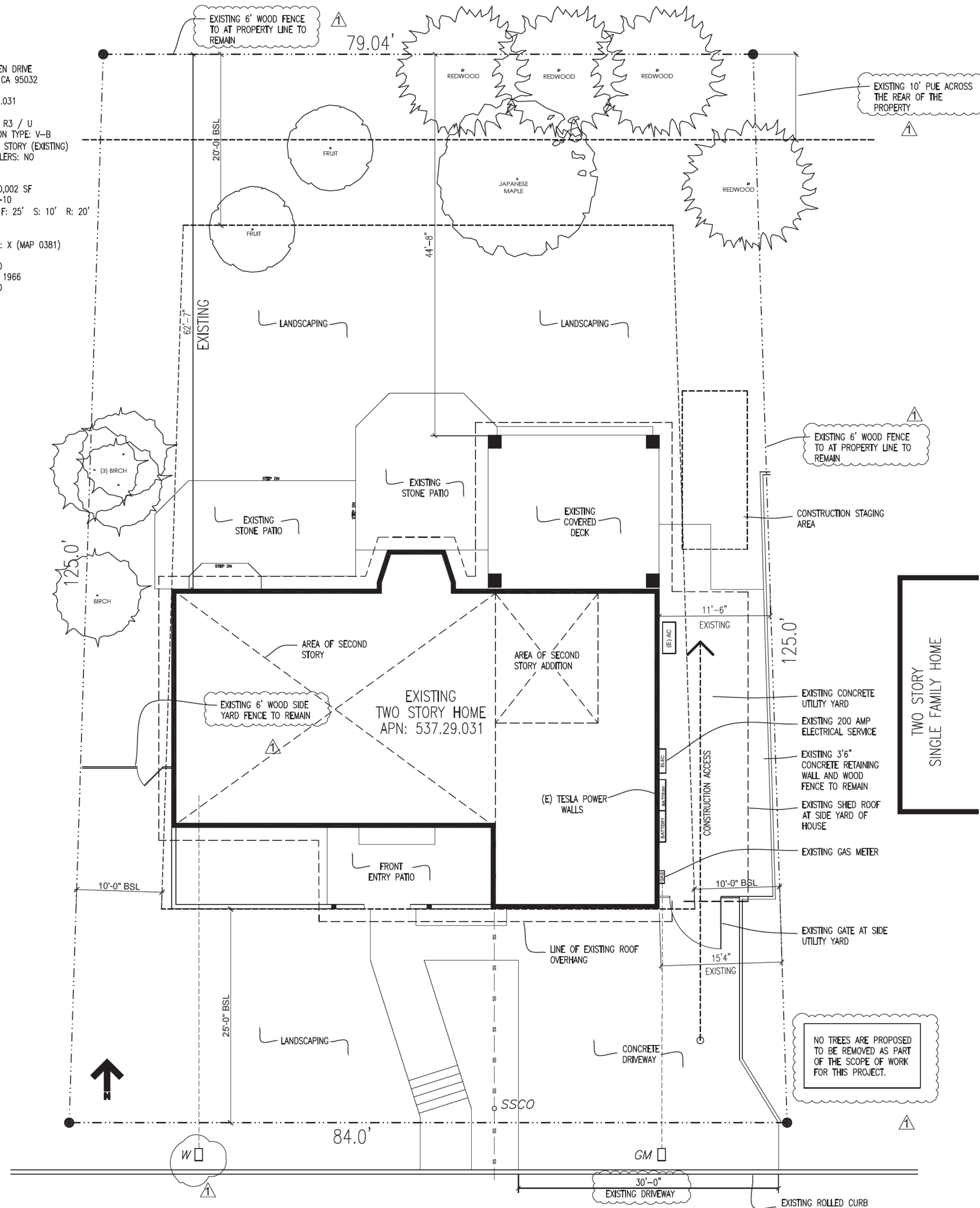
EXISTING SITE PLAN
EX FLOOR PLANS



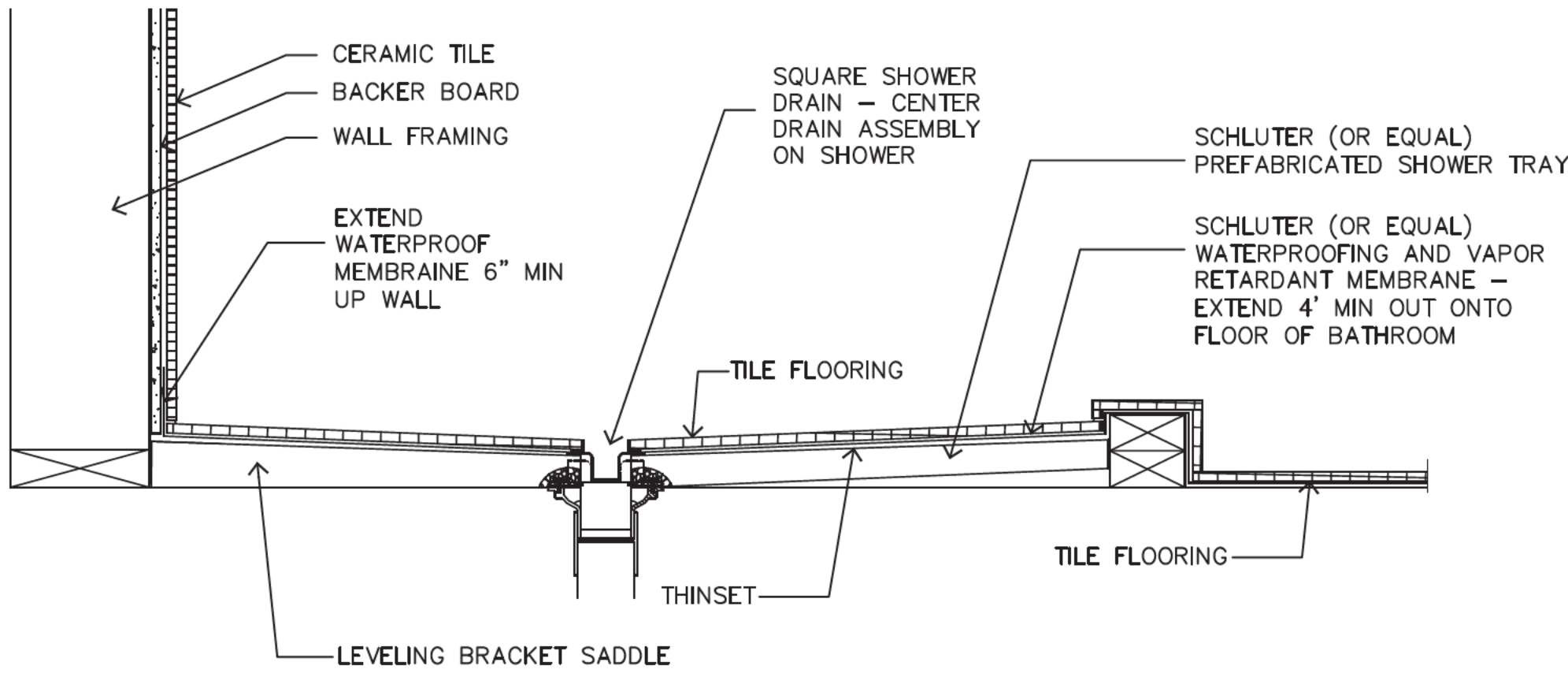
1. GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN 5% FOR A MINIMUM DISTANCE OF 10 FEET. CBC 1804.4.
2. ALL ROOF DRAINS TO BE DISCHARGED ONTO AN ADEQUATE SPLASH BLOCK DIRECTED INTO LANDSCAPE AREA AND ALLOWED TO SHEET FLOW WHERE FEASIBLE.
3. FINAL SURFACE DRAINAGE GRADIENT SHALL BE PLANNED AND BUILT SO AS TO DIRECT WATER AWAY FROM THE BUILDINGS AND FOUNDATIONS.
4. SLABS CAST ADJACENT TO FOUNDATIONS SHALL SLOPE AWAY FROM THE FOUNDATIONS.
5. INTERIM EROSION CONTROL MEASURES, TO BE CARRIED OUT DURING CONSTRUCTION, SHALL BE INCLUDED AS REQUIRED TO PROTECT THE PROPERTY CONSTRUCTION ACTIVITIES. INTERIM CONTROL METHOD SHALL INCLUDE, BUT ARE NOT LIMITED TO SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS.
6. THE BUILDING SHALL HAVE THE ADDRESS AND BUILDING NUMBER IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET FRONTING THE PROPERTY AS REQUIRED BY CBC.
7. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR AN ENCROACHMENT PERMIT FOR ALL WORK PERFORMED IN THE PUBLIC RIGHT-OF-WAY.
8. ALL CONSTRUCTION AND RELATED ACTIVITIES SHALL BE ALLOWED ONLY DURING THE HOURS OR 8:00AM TO 5:00PM MONDAY THROUGH FRIDAY, AND 10:00AM TO 5:00PM ON SATURDAY. NO CONSTRUCTION ACTIVITY OR RELATED ACTIVITIES SHALL BE ALLOWED OUTSIDE OF THE AFOREMENTIONED HOURS OR ON SUNDAYS AND THE FOLLOWING HOLIDAYS: NEW YEAR'S DAY, 4TH OF JULY, LABOR DAY, THANKSGIVING AND CHRISTMAS DAY.
9. THE CONTRACTOR WILL BE REQUIRED TO PROVIDE A CONSTRUCTION AND DEMOLITION RECYCLING PLAN. ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE NPDES REQUIREMENTS.
10. INSTALL RETENTION BASINS AS REQUIRED TO PREVENT STORM WATER DRAINAGE RUNOFF AND SOIL RETENTION AT AREAS OF CONSTRUCTION AS REQUIRED BY CALGREEN.

127 BELHAVEN DRIVE
LOS GATOS, CA 95032
APN: 537.29.031
OCCUPANCY: R3 / U
CONSTRUCTION TYPE: V-B
HEIGHT: TWO STORY (EXISTING)
FIRE SPRINKLERS: NO
LOT SIZE: 10,002 SF
ZONING: R1-10
SETBACKS: F: 25' S: 10' R: 20'
FLOOD ZONE: X (MAP 0381)
WUE: NO
HISTORIC: NO
YEAR BUILT: 1966
HISTORIC: NO

TWO STORY
SINGLE FAMILY HOME



Belhaven Drive

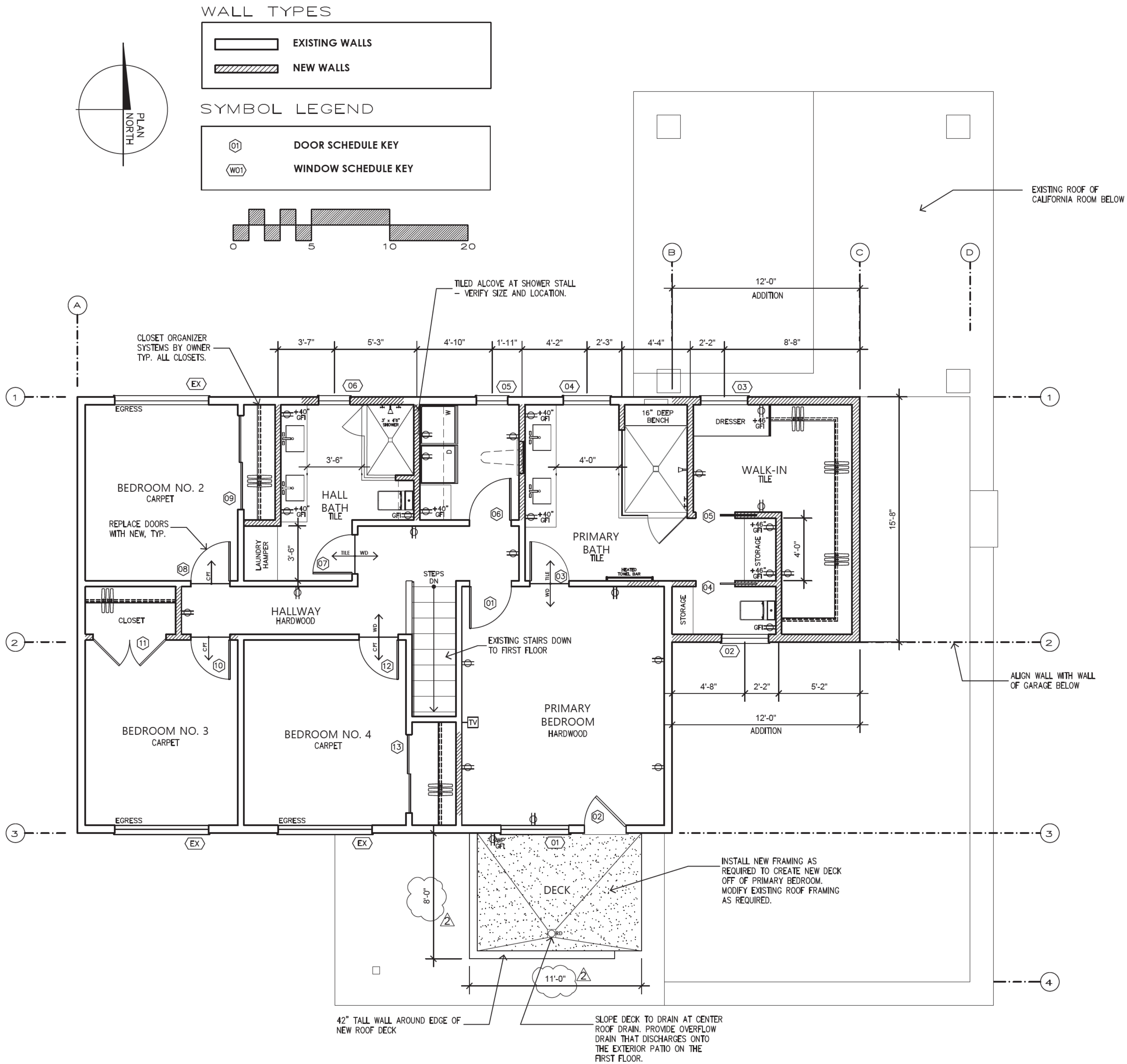


3 SHOWER PAN DETAIL
SCALE: 1/2" = 1'-0"

DOOR NO.	ROOM NAME	DOOR SIZE	GLAZING	HARDWARE	NOTES / COMMENTS
1	PR MARY BEDROOM	2868	-	PRIVACY LOCK	
2	PRIMARY BEDROOM	2868	T	KEYED LOCK	TEMPERED GLASS FRENCH DOOR
3	PR MARY BATHROOM	2668	-	PASSAGE	
4	PRIMARY WIC	2868	-	PASSAGE	
5	PR MARY TOILET	2668	-	PRIVACY LOCK	POCKET DOOR
6	LAUNDRY ROOM	2868	-	PASSAGE	
7	HALL BATH	2668	-	PRIVACY LOCK	-
8	BEDROOM NO. 2	2668	-	PRIVACY LOCK	
9	BEDROOM NO. 2 CLOSET	PR3068	T	-	MIRRORED SLIDING CLOSET DOORS
10	BEDROOM NO. 3	2668	-	PRIVACY LOCK	
11	BEDROOM NO. 3 CLOSET	PR2468	T	-	MIRRORED CLOSET DOORS
12	BEDROOM NO. 4	2668	-	PRIVACY LOCK	
13	BEDROOM NO. 4 CLOSET	PR2668	T	-	MIRRORED SLIDING CLOSET DOORS

- DOOR SCHEDULE PROVIDED ABOVE IS PRELIMINARY IN NATURE. CONTRACTOR AND DOOR SUPPLIER SHALL REVIEW AND COMPILE A COMPLETE AND ACCURATE SCHEDULE BASED UPON FRAMED FIELD CONDITIONS AND OWNER PREFERENCES. CONTRACTOR TO VERIFY ALL ASPECTS OF DOORS WITH THE OWNER PRIOR TO ORDERING.
- CONTRACTOR SHALL REVIEW ALL FIELD CONDITIONS TO ENSURE THAT THE PROPOSED DOOR SIZES AND SWINGS WILL FUNCTION PROPERLY. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS, THE CONTRACTOR IS TO NOTIFY THE ARCHITECT IMMEDIATELY THROUGH A REQUEST FOR INFORMATION (RFI).
- DOOR SIZES SHOWN ARE THE PROPOSED DOOR WIDTH AND HEIGHT DIMENSIONS, NOT THE ROUGH OPENING SIZE. GENERAL CONTRACTOR TO VERIFY MANUFACTURER NEAREST STOCK SIZES FOR ARCHITECT / OWNER TO REVIEW AND APPROVE.
- ALL GLAZING IN DOORS SHALL BE TEMPERED GLASS. INSTALLED PER CBC.
- SPECIALTY DOORS SHALL BE COORDINATED WITH THE OWNER AND GENERAL CONTRACTOR FOR SITE VERIFICATION AND INSTALLATION.
- ALL EXPOSED EDGES OF DOORS (INCLUDING TOP AND BOTTOM) TO BE SEALED TO PREVENT MOISTURE PENETRATION AND WARPING. DOORS ARE TO BE STORED VERTICALLY AT JOB SITE AND OUT OF ALL INCLEMENT WEATHER CONDITIONS AND TO BE HUNG AS QUICKLY AS POSSIBLE ONCE REACHING THE JOBSITE. IT IS THE CONTRACTORS RESPONSIBILITY TO MINIMIZE THE AMOUNT OF TIME FOR ON-SITE STORAGE OF DOORS AND WINDOWS PRIOR TO INSTALL.
- ALL FRENCH DOORS TO HAVE DEAD BOLTS AND THREE WAY CONNECTING HARDWARE TO MAXIMIZE CONTINUOUS SEAL AGAINST WIND AND WEATHER.
- DOORS REQUIRED TO HAVE 20 MINUTE RATING TO BE MINIMUM 1 3/8" SOLID WOOD AND SHALL BEAR THE UL LABEL. NO RAISED PANELS OR OTHER FEATURES MAY REDUCE THE MINIMUM THICKNESS. SHOULD VENEERS BE APPLIED TO PRE-MANUFACTURED 20 MIN. RATED DOORS, CARE IS TO BE TAKEN NOT TO VIOLATE THE RATING DURING APPLICATION.
- WEATHER-STRIPPING OF EXTERIOR DOORS SHALL BE CONTINUOUS AND ON ALL SIDES OF EACH DOOR AND SHALL BE SIZED, DESIGNED AND FITTED TO PROVIDE FULL WATER-TIGHTNESS AGAINST WATER AND DRIVING RAIN.
- AT LEAST ONE EGRESS DOOR SHALL BE PROVIDED FOR ALL DWELLING UNITS. THE DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE A MINIMUM CLEAR WIDTH OF 32" WHEN THE MINIMUM CLEAR HEIGHT SHALL BE 78" WHEN MEASURED FROM THE TOP OF THE THRESHOLD TO THE BOTTOM OF THE STOP. ALL EGRESS DOORS SHALL BE READILY OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT PER CRC.
- AT ALL STATE RESPONSIBLE AREAS (SRA) EXTERIOR DOOR ASSEMBLIES SHALL BE APPROVED NON-COMBUSTIBLE CONSTRUCTION, OR SOLID CORE WOOD HAVING STILES AND RAILS NOT LESS THAN 1 3/8" THICK WITH THE INTERIOR FIELD PANEL THICKNESS NO LESS THAN 1 3/8" THICK, OR SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MIN. (CRC WILDLAND URBAN INTERFACE).
- THE MAIN ENTRY DOOR SHALL BE OPENABLE FROM THE INSIDE OF THE DWELLING WITHOUT THE USE OF A SPECIAL KEY, KNOWLEDGE OR EFFORT.
- EGRESS DOORWAYS SHALL HAVE A CLEAR MINIMUM WIDTH OF 32".

2 DOOR SCHEDULE
SCALE: NTS



1 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**Residential Remodel
and Addition**
127 BELHAVEN DRIVE
LOS GATOS CA 95032

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⚠ Planning Res #1	04.10.2026
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JOB NO.	2025.12
DRAWN BY	GTS
SCALE	AS NOTED

Proposed Floor Plan
Door Schedule
Shower Pan Detail

GENERAL NOTES

1. ALL APPLIANCES TO BE CEC CERTIFIED.
2. CLOTHES DRYER EXHAUST VENT TO BE 4" DIA. DIRECT TO OUTSIDE W/1/4"-0" MAX. LENGTH. IF LONGER LENGTH IS REQUIRED, INSTALL A BOOSTER FAN.
3. 30" MIN. ACCESS REQUIRED FOR ATTIC MOUNTED EQUIPMENT.

PLUMBING NOTES

4. WATER CLOSET SHALL HAVE MIN. CLEARANCE OF 24" FRONT, 30" COMPARTMENT WIDTH
5. MINIMUM SHOWER SIZE IS 1.024 SQ. IN. AND A MINIMUM FINISH DIMENSION OF 30" IN ANY DIRECTION. SHOWER DOORS TO MAINTAIN NOT LESS THAN A 2" UNOBSTRUCTED OPENING FOR EGRESS. GLASS DOORS TO BE TEMPERED. SHOWER DAM MINIMUM 2" MAXIMUM 4" HIGH. USE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKER BOARD UNDER ALL TILE, MARBLE, ETC. OVER WOOD FRAMING. SHOWERS TO BE FINISHED WITH A SMOOTH, HARD NON-ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE DRAIN INLET. (NOTE: WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHRU COMPARTMENTS.)
6. SHOWER SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC 406.3.
7. MINIMUM CEILING HEIGHT SHALL BE 7' ABOVE FINISHED FLOOR FOR ALL ROOMS.
8. NO HABITAT ROOMS SHALL BE LESS THAN 7' IN ANY DIMENSIONS AND LESS THAN 70 SF IN AREA.

ELECTRICAL NOTES

1. THE ELECTRICIAN IS REQUIRED TO CONDUCT AN ON-SITE WALK-THROUGH WITH THE OWNERS TO DETERMINE FINAL LOCATIONS AND HEIGHTS FOR ALL RECEPTACLES, FIXTURES, PHONES, CABLE, STEREO, SECURITY, DATA LINES, ETC. PRIOR TO ROUGH-IN.
 2. LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES SHALL BE LABELED "SUITABLE FOR WET LOCATIONS" OR "SUITABLE FOR DAMP LOCATIONS" PER CEC.
 3. PERMANENTLY LABEL EACH DISCONNECT (CIRCUIT BREAKER) ON THE MAIN AND ALL SUB ELECTRICAL PANEL(S) WITH THE APPLIANCE OR ROOMS SERVED BY THE BREAKER.
 4. RECEPTACLE OUTLETS SHALL BE SPACED SO THAT NO POINT ALONG THE FLOOR LINE OF THE WALL IS MORE THAN 6' HORIZONTALLY FROM AN ELECTRICAL OUTLET PER CEC.
 5. RECEPTACLE OUTLETS AT HALLWAYS 10' OR LONGER SHALL HAVE AT LEAST ONE OUTLET PER CEC.
 6. EXTERIOR OUTLETS SHALL HAVE A WEATHERPROOF ENCLOSURE & GFCI PER NEC 410-57(A). GFCI OUTLET SHALL BE INSTALLED AT THE FRONT AND REAR OF THE HOUSE PER CEC.
 7. AT LEAST ONE WALL SWITCH-CONTROLLED LIGHTING OUTLET SHOULD BE INSTALLED IN EVERY HABITABLE ROOM, HALLWAYS, STAIRWAYS, ATTACHED GARAGES, AND OUTDOOR ENTRANCES.
 8. LIGHTING FIXTURES IN CLOTHES CLOSETS SHALL COMPLY WITH CEC 410-8.
 9. ALL 120-VOLT 15 AND 20 AMP OR BRANCH CIRCUITS THAT SUPPLY OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE. GUESTROOMS AND GUEST SUITES THAT ARE PROVIDED WITH PERMANENT PROVISIONS FOR COOKING SHALL HAVE AFCI.
 10. ALL RECEPTACLE CIRCUITS SHALL NOT BE COMBINED WITH LIGHTING LOADS AT LIVING OR EXITING AREAS.
- BATHROOMS:**
11. BATHROOM OUTLETS SHALL HAVE APPROVED GROUND FAULT CIRCUIT PROTECTION PER NEC 210-8(A)(1). A GFCI PROTECTED OUTLET SHALL BE INSTALLED NEXT TO EACH BATHROOM BASIN PER CEC 210-52(D).
 12. BATHROOM ELECTRICAL OUTLETS SHALL BE SUPPLIED BY AT LEAST ONE 20 AMP BRANCH CIRCUIT. THE CIRCUIT(S) SHALL HAVE NO OTHER ELECTRICAL OUTLETS PER CEC 210-52(D).
 13. ONE GFCI PROTECTED RECEPTACLE SHALL BE LOCATED WITHIN 3' OF THE SINK'S EDGE.

LAUNDRY / GARAGE / EXTERIOR:

1. ONE 20 AMP ELECTRICAL CIRCUIT SHALL BE PROVIDED IN THE LAUNDRY AREA PER CEC 220-4(C). THIS CIRCUIT SHALL HAVE NO OTHER OUTLETS.
2. ELECTRICAL CLOTHES DRYERS AND ELECTRIC KITCHEN RANGES SHALL HAVE A 4-WIRE GROUNDED ELECTRICAL OUTLET PER CEC 250-59.
3. 125- AND 250-VOLT RECEPTACLES INSTALLED OUTDOORS IN A WET LOCATION SHALL HAVE AN ENCLOSURE THAT IS WEATHERPROOF WHETHER OR NOT THE ATTACHMENT PLUG CAP INSERTED PER CEC 406.9 (B) (1)

KITCHEN:

4. ALL KITCHEN CIRCUITS, INCLUDING FOR DISHWASHERS AND GARBAGE DISPOSALS, SHALL BE AFCI/GFCI PROTECTED. KITCHEN: ALL ELECTRICAL OUTLETS THAT SERVE THE COUNTER TOPS IN THE KITCHEN SHALL HAVE GFCI (GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION) PER CEC.
5. THERE SHALL BE A MINIMUM OF TWO SMALL APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN, LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS ONLY PER CEC.
6. ALL KITCHEN COUNTERTOPS WIDER THAN 12" SHALL BE SERVED BY AN ELECTRICAL OUTLET PER CEC. MIN. OF (2) 20 AMP CIRCUITS SERVING COUNTERTOPS SHALL BE DUAL AFCI/GFCI PROTECTED RECEPTACLES ONLY.
7. KITCHEN AT ISLANDS AND PENINSULAR COUNTERTOPS SHALL HAVE AT LEAST ONE ELECTRICAL OUTLET THAT SERVES THE COUNTERTOP PER CEC 210-52(C). OUTLETS SHALL BE MOUNTED NOT MORE THAN 12" BELOW COUNTERTOP. RECEPTACLES MAY NOT BE MOUNTED UNDER ANY OVERHANG GREATER THAN 6".
8. A MINIMUM OF TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS IN THE KITCHEN, PANTRY, OR OTHER SIMILAR AREAS.
9. ELECTRICAL OUTLETS FOR THE KITCHEN COUNTERS SHALL BE SPACED SO THAT NO POINT ALONG THE WALL LINE OF THE COUNTER IS MORE THAN 2' FROM AN ELECTRICAL OUTLET (4' O.C. MAX.) AND WITHIN 24" OF EDGE AND/OR BREAK IN THE COUNTERTOP PER CEC. REFRIGERATORS ARE REQUIRED TO BE DUAL AFCI/GFCI PROTECTED AND MAY BE ON ONE OF THE CIRCUITS SERVING COUNTERS.
10. FIXED APPLIANCES AND MICROWAVE SHALL BE PROVIDED POWER FROM ADDITIONAL DEDICATED CIRCUITS.

GENERAL NOTES:

1. ALL LIGHTING SHALL BE HIGH EFFICACY (IE PIN-BASED SFL PULSE-START MH, GU-24 SOCKETS OTHER THAN LED'S, LED LUMINAIRES WITH INTEGRAL SOURCE, ETC) PER CEC TABLE 150-A.
1. SCREW BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW BASED JAB COMPLIANT LAMPS. JAB COMPLIANT LIGHT SOURCES MUST BE MARKED AS "JAB-2019" OR "JAB-2019-E"
2. ALL JAB COMPLIANT LIGHT SOURCES IN THE FOLLOWING LOCATIONS ARE CONTROLLED BY VACANCY SENSORS OR DIMMERS (EXCEPT CLOSETS LESS THAN 70SF AND HALLWAYS):
 1. CEILING RECESSED DOWNLIGHT LUMINAIRES
 2. LED LUMINAIRES WITH INTEGRAL SOURCES
 3. PIN-BASED LED LAMPS.
 4. GU-24 BASED LED LIGHT SOURCES.
4. ALL NEW OUTDOOR LIGHTING AS HIGH EFFICACY WITH MANUAL ON-OFF SWITCH AND ONE OF THE FOLLOWING:
 1. PHOTOCONTROL AND MOTION SENSOR
 2. PHOTOCONTROL AND AUTOMATIC TIME SWITCH CONTROL
 3. ASTRONOMICAL TIME SWITCH CONTROL
 4. ENERGY MANAGEMENT CONTROL SYSTEMS.
5. AT LEAST ONE FIXTURE IN EACH BATHROOM CONTROLLED BY A VACANCY SENSOR.
6. EXHAUST FANS (EXCLUDES KITCHEN EXHAUST HOOD) SWITCHED SEPARATE FROM LIGHTING.
7. THE COMPLETED CP2R-LTG-01-E FORM MUST BE PROVIDED TO THE CITY BUILDING INSPECTOR PRIOR TO FINAL INSPECTION.
8. ANY LIGHT SOURCE INTEGRAL TO DRAWERS, CABINETS, AND UNEN CLOSETS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR.
9. AT LEAST ON FIXTURE IN EACH LAUNDRY ROOM CONTROLLED BY A VACANCY SENSOR.

EXHAUST FAN REQUIREMENTS:

1. PROVIDE MINIMUM 50 CFM INTERMITTENT AIRFLOW FOR THE NEW BATHROOM EXHAUST FAN OR PROVIDE MINIMUM 20 CFM FOR THE CONTINUOUSLY OPERATING BATHROOM FAN. CEC SECTION 150(c) AND ASHRAE 62.2-2016 TABLE 5.1 AND 5.2.

1

PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

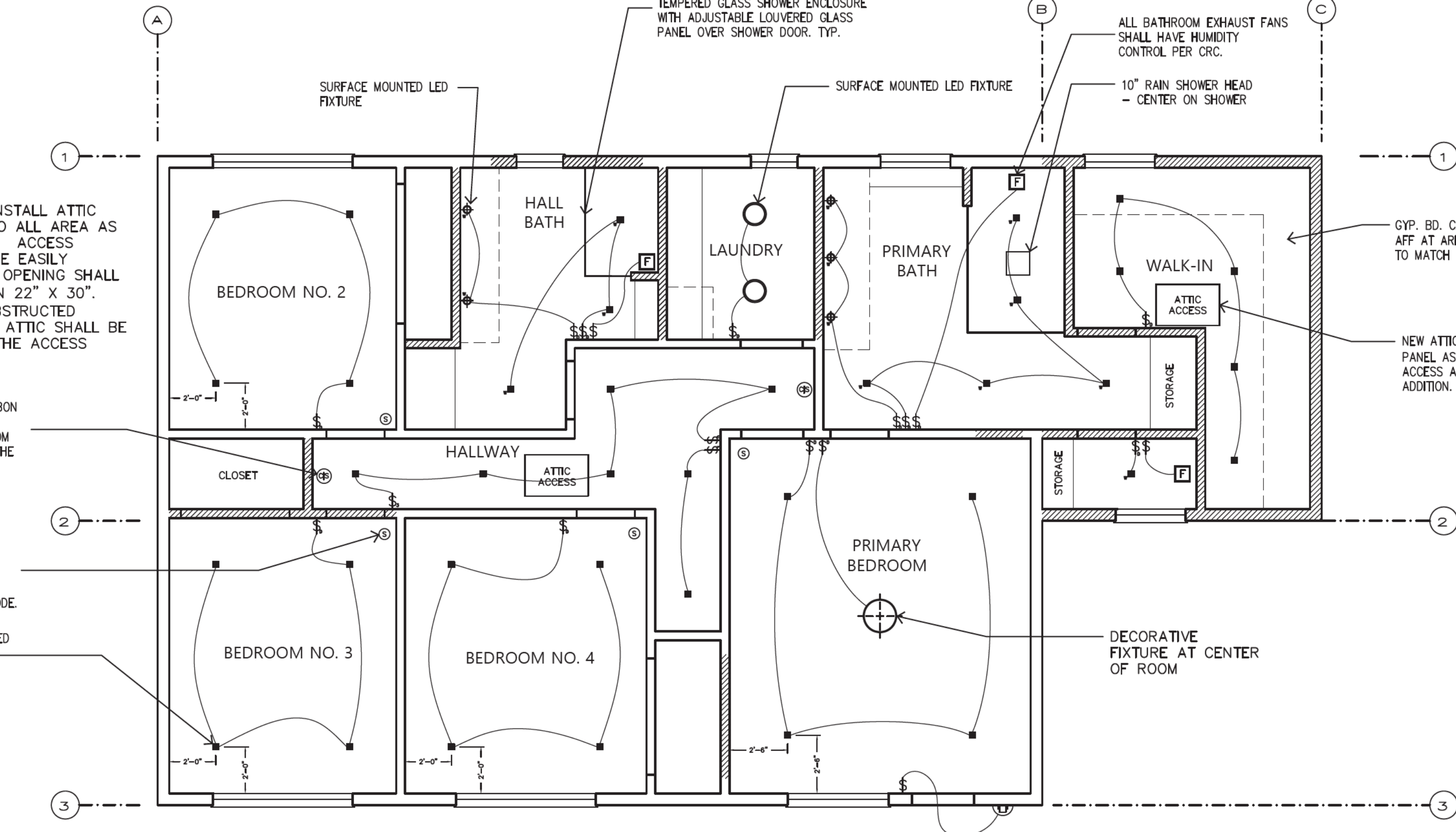
CONTRACTOR TO INSTALL ATTIC ACCESS PANELS TO ALL AREA AS REQUIRED BY UBC. ACCESS LOCATION SHALL BE EASILY ACCESSIBLE. THE OPENING SHALL NOT BE LESS THAN 22" X 30". 30" MINIMUM UNOBSTRUCTED HEADROOM IN THE ATTIC SHALL BE PROVIDED ABOVE THE ACCESS OPENING.

COMBINATION SMOKE/CARBON MONOXIDE DETECTORS AT HALLWAY OUTSIDE BEDROOM AND AT EACH LEVEL OF THE HOME AS REQUIRED BY CODE.

HARD-WIRED SMOKE DETECTORS WITH BATTERY BACK-UP. INSTALL IN ALL LOCATIONS THROUGHOUT HOME AS REQUIRED BY CODE.

NEW SQUARE LED RECESSED CAN LIGHTS, DIMMABLE. TYPICAL

2 ROOF DECK DETAILS
SCALE: NTS



LEGEND

- EXISTING WALL TO REMAIN
- PROPOSED NEW WALL
- SMOKE DETECTOR
- CARBON MONOXIDE DETECTOR
- EXHAUST FAN

- SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A INTERCONNECTED BATTERY BACKUP.
- CARBON MONOXIDE ALARM OUTSIDE OF EACH SEPERATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS

Smoke Alarm Specific Locations

Smoke alarms shall be installed not less than a 3' from the door or opening of a bathroom that contains a bathtub or shower unless this would prevent placement of a smoke alarm required by other sections of the code.

Smoke alarms and smoke detectors shall not be installed within a 3' from the supply registers of a forced air heating or cooling system and shall be installed outside of the direct airflow from those registers.

Interconnection

Where more than one smoke alarm is required to be installed within an individual dwelling or sleeping unit the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.



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Residential Remodel
and Addition
127 BELHAVEN DRIVE
LOS GATOS CA 95032

ISSUE DATE

Permit Submittal 02.16.2026

Planning Res #1 04.10.2026

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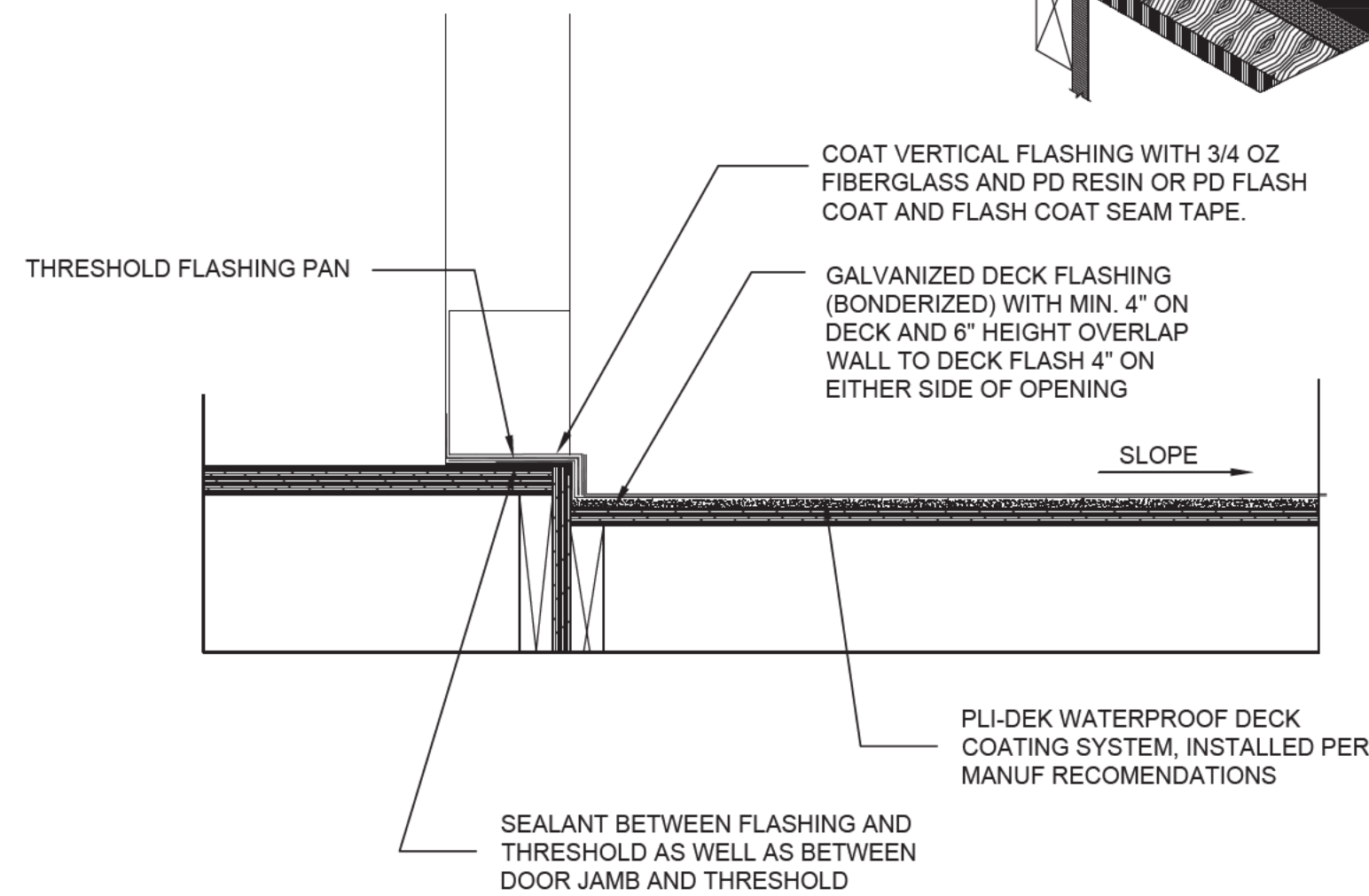
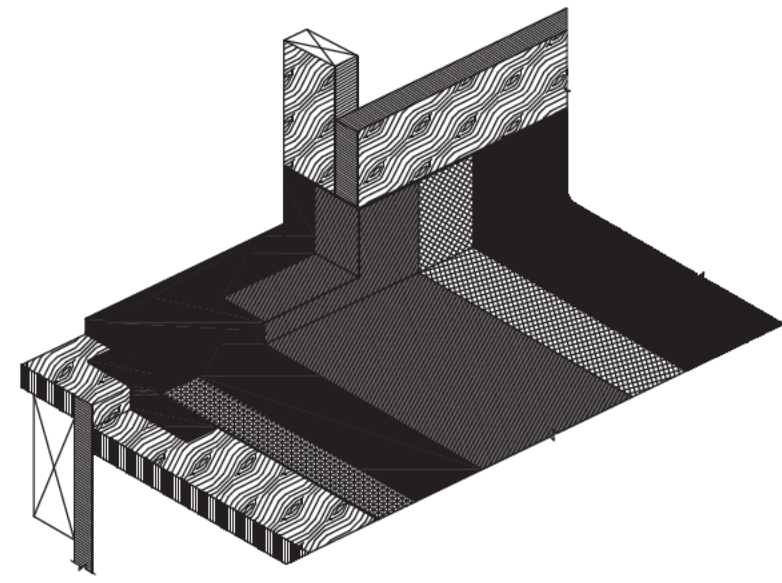
SCALE AS NOTED

Proposed Roof Plan

A3.1

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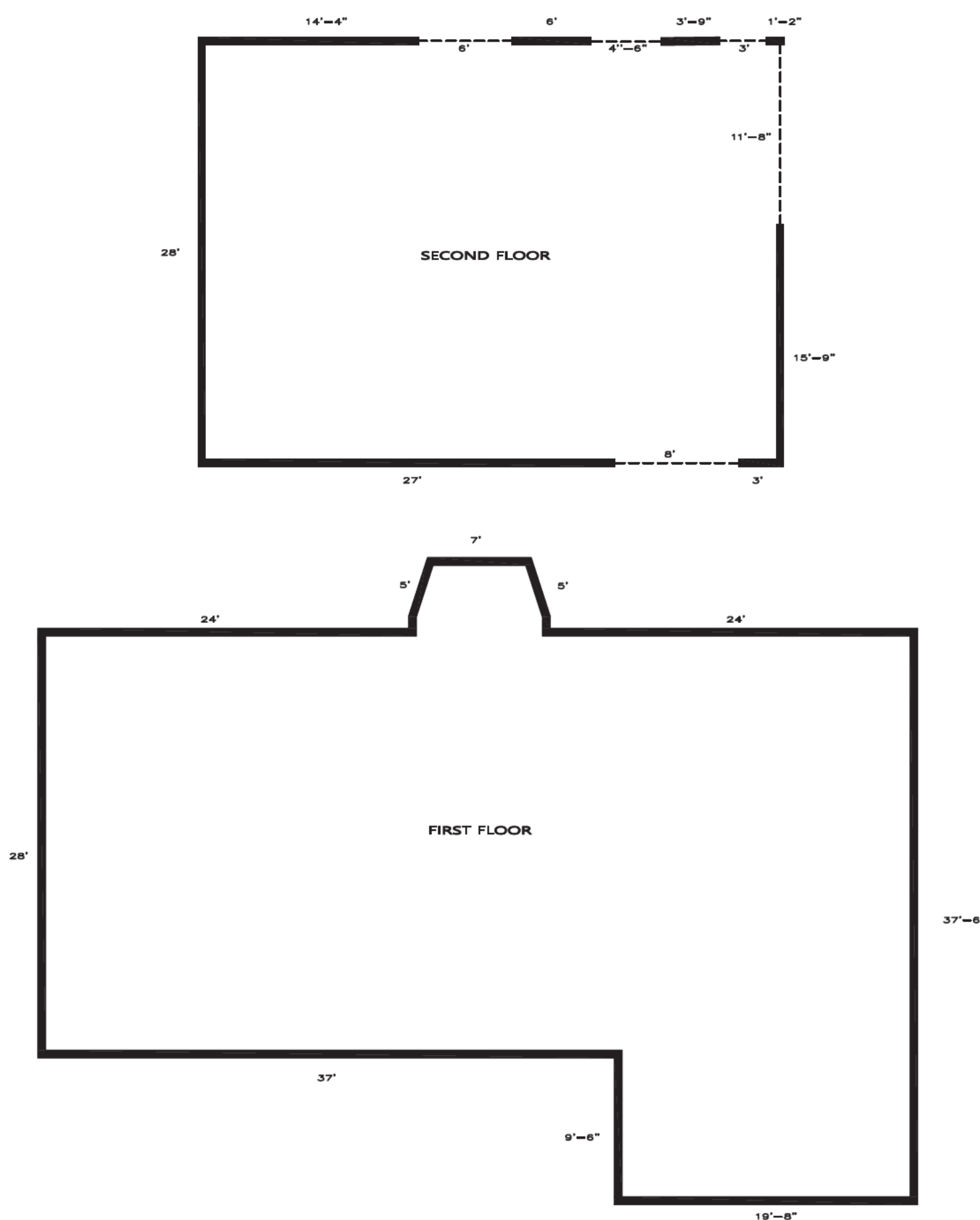
**Residential Remodel
and Addition**
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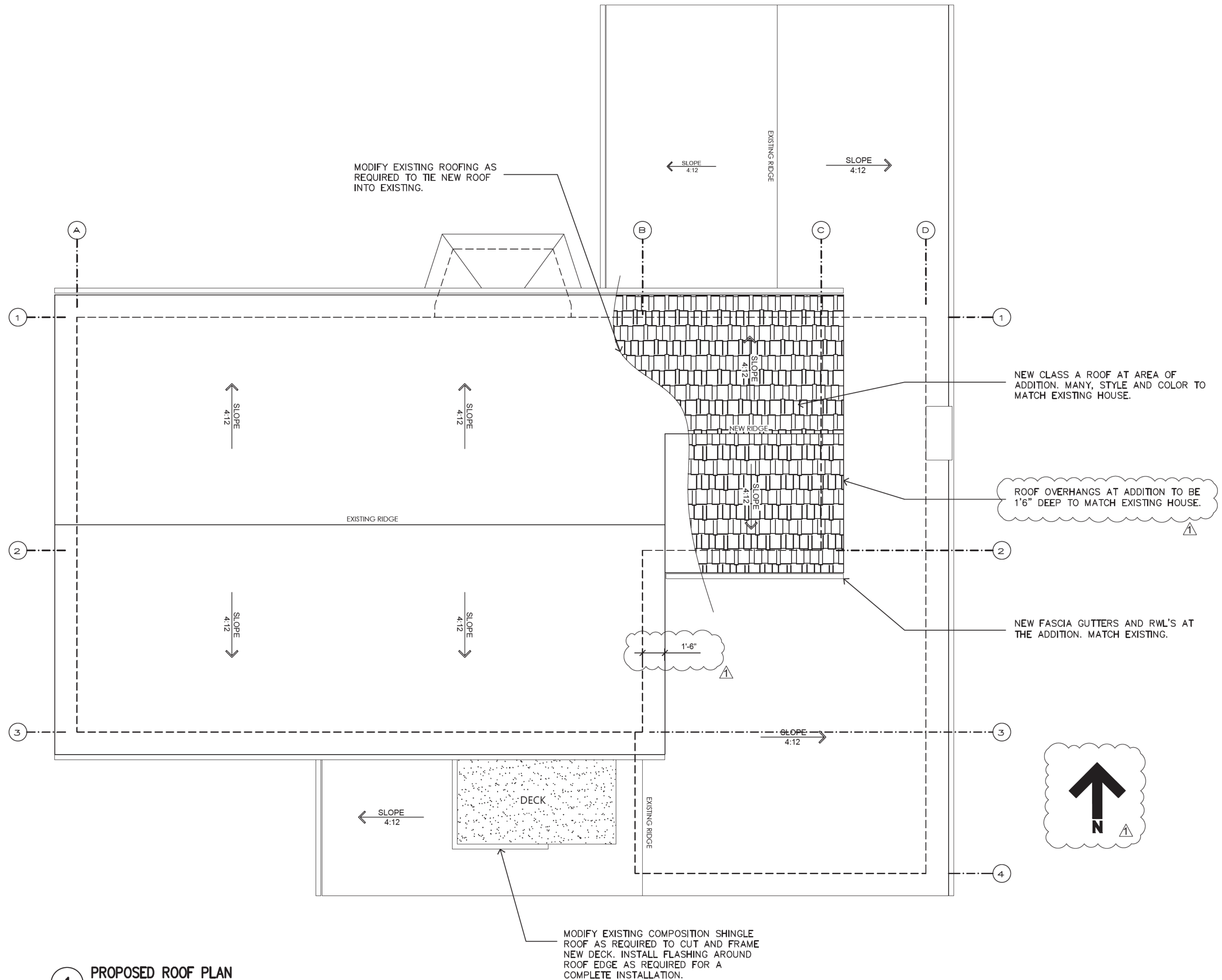
3 WATERPROOFING AT DECK DOOR THRESHOLD
SCALE: NTS

	PRESERVED WALL	DEMOLISHED WALL
FIRST FLOOR	198'-6" LIN. FT.	0 LIN. FT.
SECOND FLOOR	99' LIN. FT.	33'2" LIN. FT.
TOTAL	297'-6" LIN. FT.	33'2" LIN. FT.

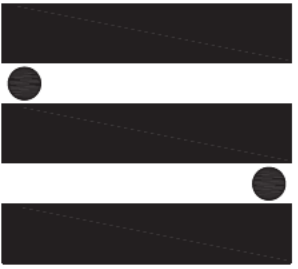
THIS PROJECT IS NOT TECHNICALLY A DEMOLITION



2 DEMOLITION DIAGRAM
SCALE: NTS



1 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



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Residential Remodel and Addition

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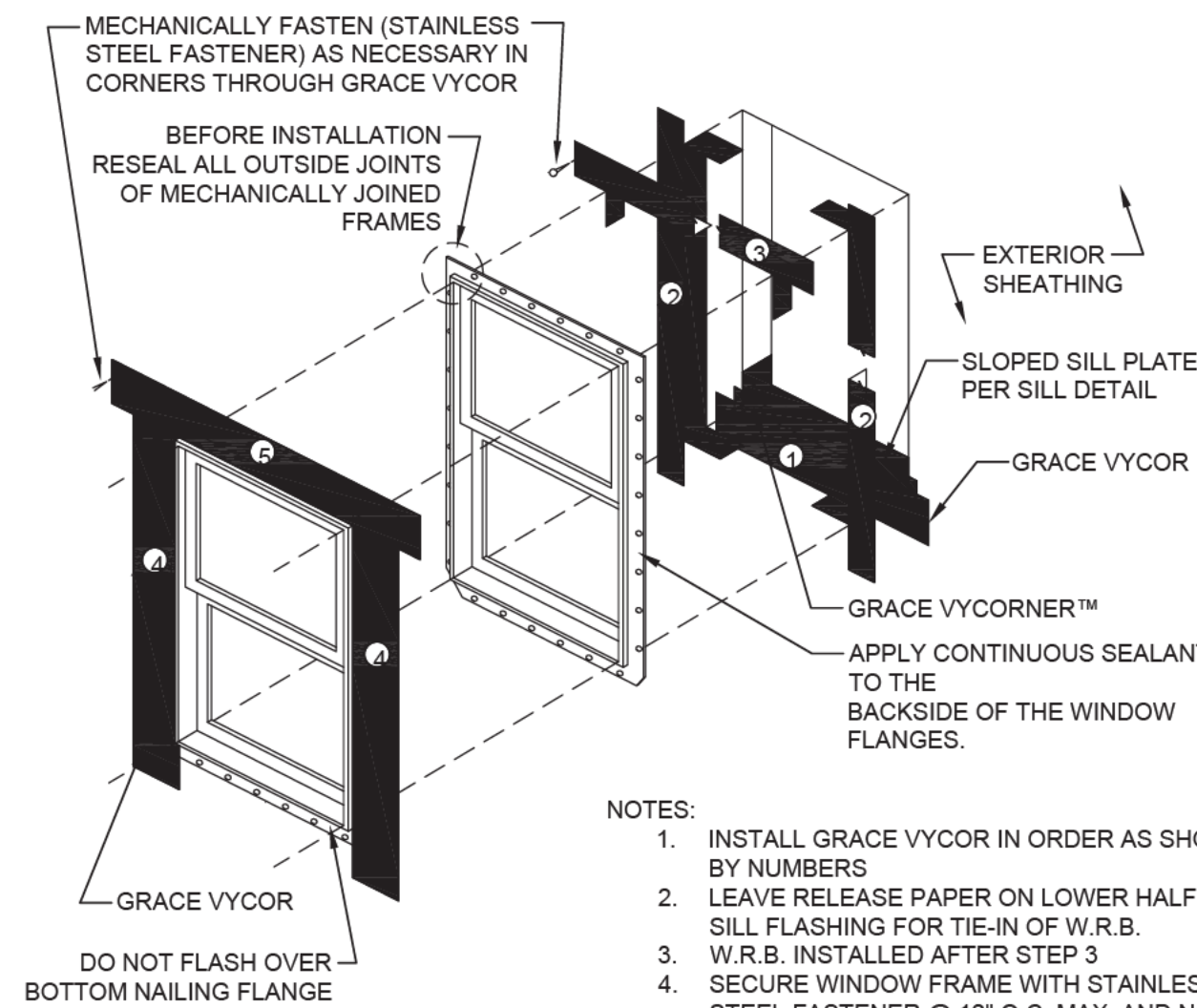
ISSUE	DATE
Permit Submittal	02.16.2026
⚠ Planning Res #1	04.10.2026
⚠ Planning Res #1	05.28.2026
⚠ Planning Rev #2	06.02.2026

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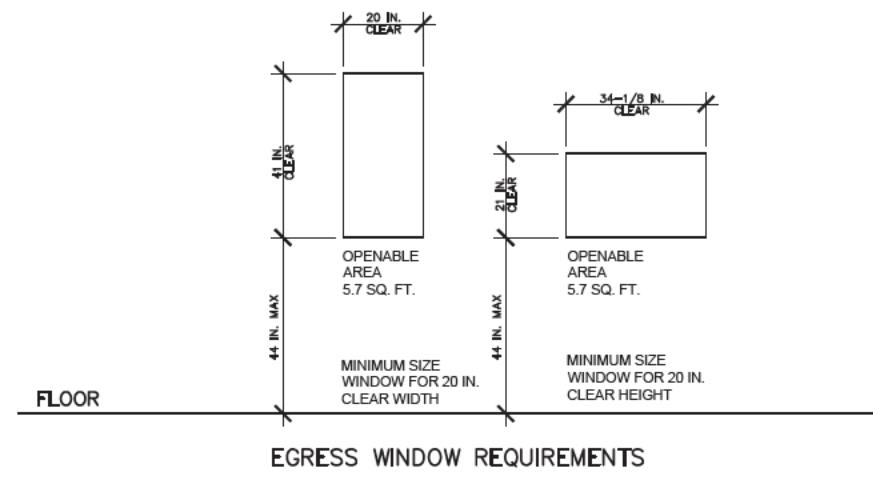
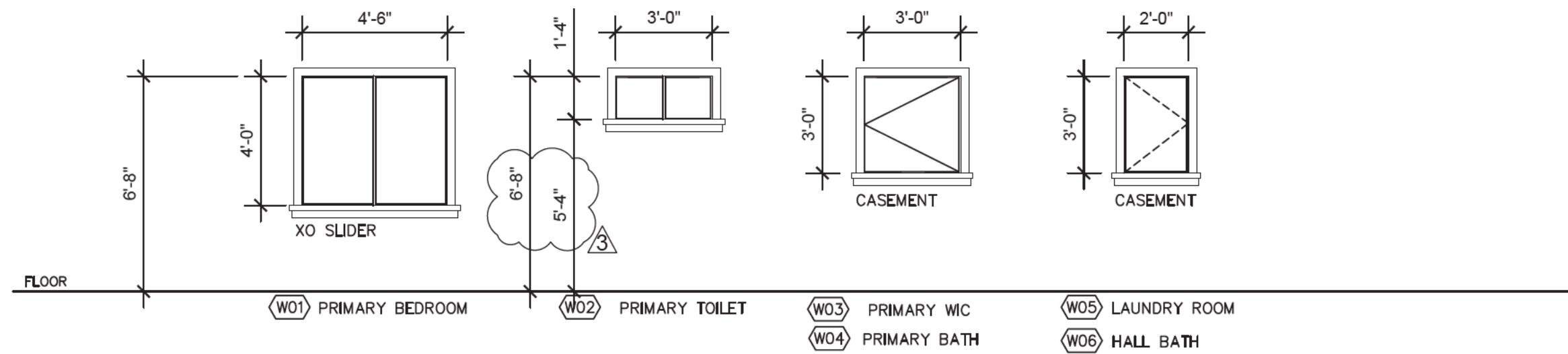
JOB NO.	2025.12
DRAWN BY	GTS
SCALE	AS NOTED

Exterior
Exterior Elevations

A5.1



- NOTES:
1. INSTALL GRACE VYCOR IN ORDER AS SHOWN BY NUMBERS
 2. LEAVE RELEASE PAPER ON LOWER HALF OF SILL FLASHING FOR TIE-IN OF W.R.B.
 3. W.R.B. INSTALLED AFTER STEP 3
 4. SECURE WINDOW FRAME WITH STAINLESS STEEL FASTENER @ 12" O.C. MAX. AND NO CLOSER THAN 3" IN BOTH DIRECTIONS FROM WINDOW CORNER



1. WINDOW MANU: MILARD VINYL WINDOWS TO MATCH EXISTING WINDOWS AT HOUSE.
2. GLASS AT WINDOWS ADJACENT TO DOORS, TUBS OR SHOWERS (WITHIN 60" OF DRAIN) SHALL BE TEMPERED AS REQUIRED BY CODE. GLAZING TO BE TEMPERED IF WITHIN A 24" ARC OF DOOR EDGE OR IF BOTTOM IS LESS THE 60" ABOVE WALKING SURFACE AND AT STAIRWAYS AND LANDINGS.
3. ALL WINDOWS ARE TO HAVE LOW-E GLASS AND SHALL BE DOUBLE GLAZED.
4. ALL HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS TO THE OUTDOOR AIR. SUCH OPENINGS SHALL BE PROVIDED WITH READY ACCESS OR SHALL OTHERWISE BE READILY CONTROLLABLE BY THE BUILDING OCCUPANTS. THE MINIMUM OPERABLE AREA TO THE OUTDOORS SHALL BE 4% OF THE FLOOR AREA BEING VENTILATED.
5. EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE THAT SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD OR EXIT COURT. THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.
 - ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET. (EXCEPT AT GRADE FLOOR, SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5 SQUARE FEET).
 - THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES.
 - THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES.
 - FINISHED SILL HEIGHT SHALL NOT BE MORE THAN 44 INCHES ABOVE THE FLOOR
7. ALL WINDOW OPENING TO THE EXTERIOR AND UNCONDITIONED SPACE SHALL BE FULLY WEATHERSTRIPPED, C.E.C. CERTIFIED AND LABELED PER TABLE 2-53V, OF TITLE 24 C.A.C.
8. ALL GLAZING SHALL HAVE A TEMP. LABEL SHOWING THE SHGC, U-FACTOR, AIR LEAKAGE & VISIBLE TRANSMITTANCE, THAT SHALL NOT BE REMOVED UNTIL APPROVED INSPECTION
9. ALL GLAZING SUBJECT TO HUMAN IMPACT SHALL BE TEMPERED.

6 WINDOW INSTALL / FLASHING DETAIL

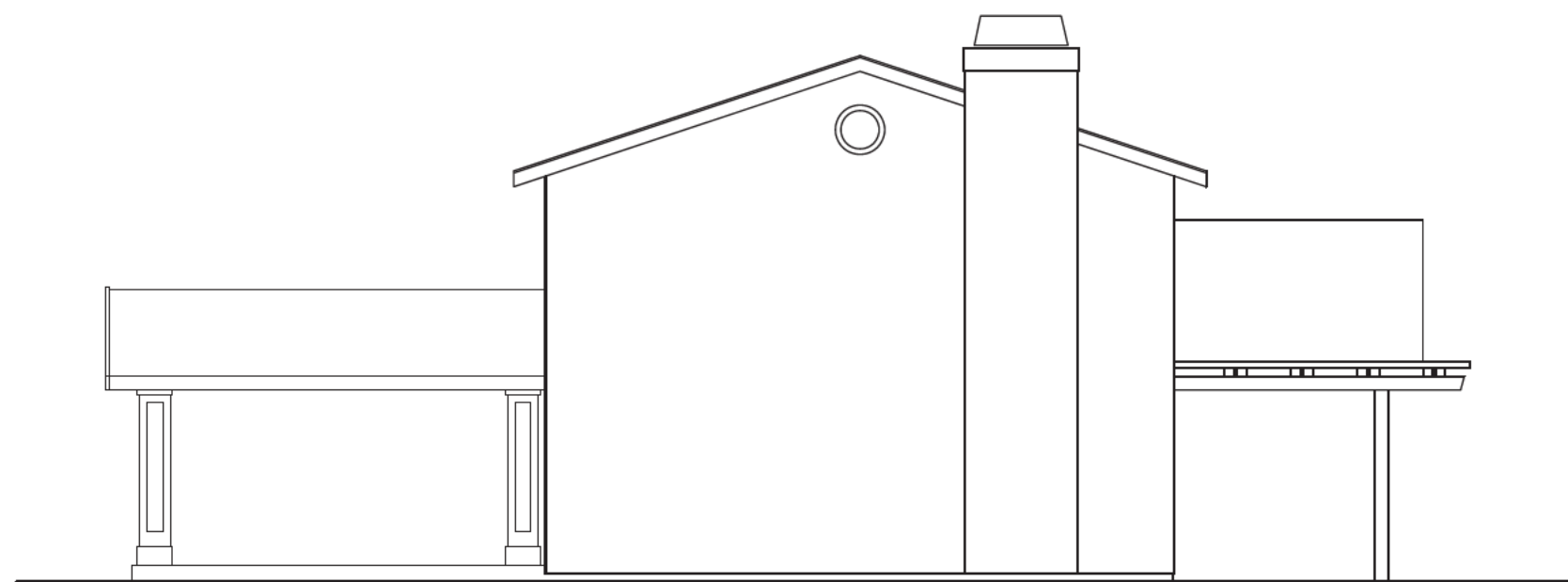
SCALE: NTS

5 WINDOW SCHEDULE

SCALE: NTS

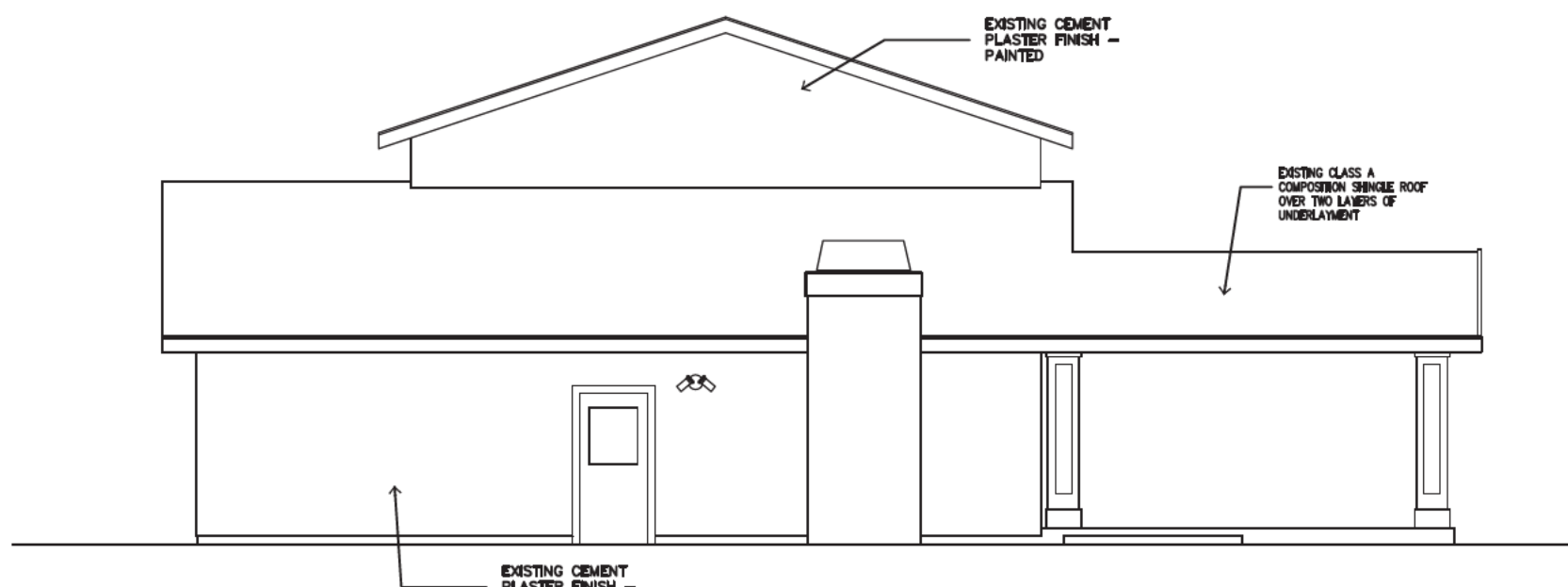
4 WEST ELEVATION (SIDE YARD)

SCALE: 1/8" = 1'-0"



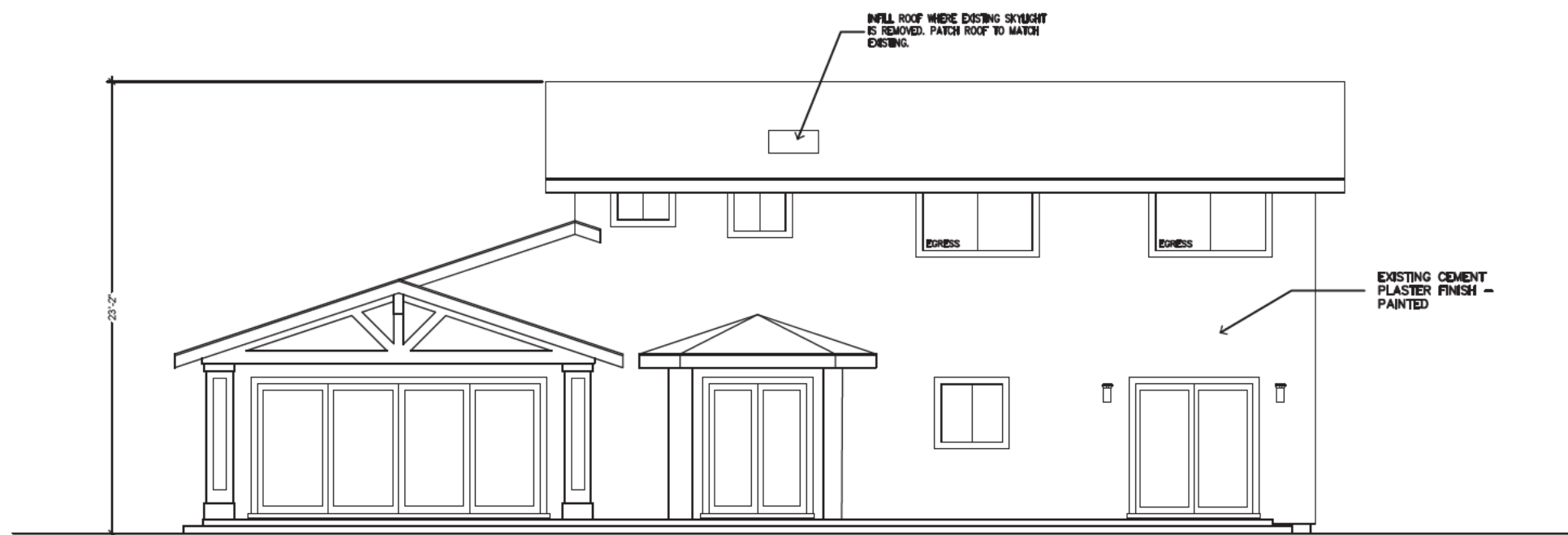
3 EAST ELEVATION (SIDE YARD)

SCALE: 1/8" = 1'-0"



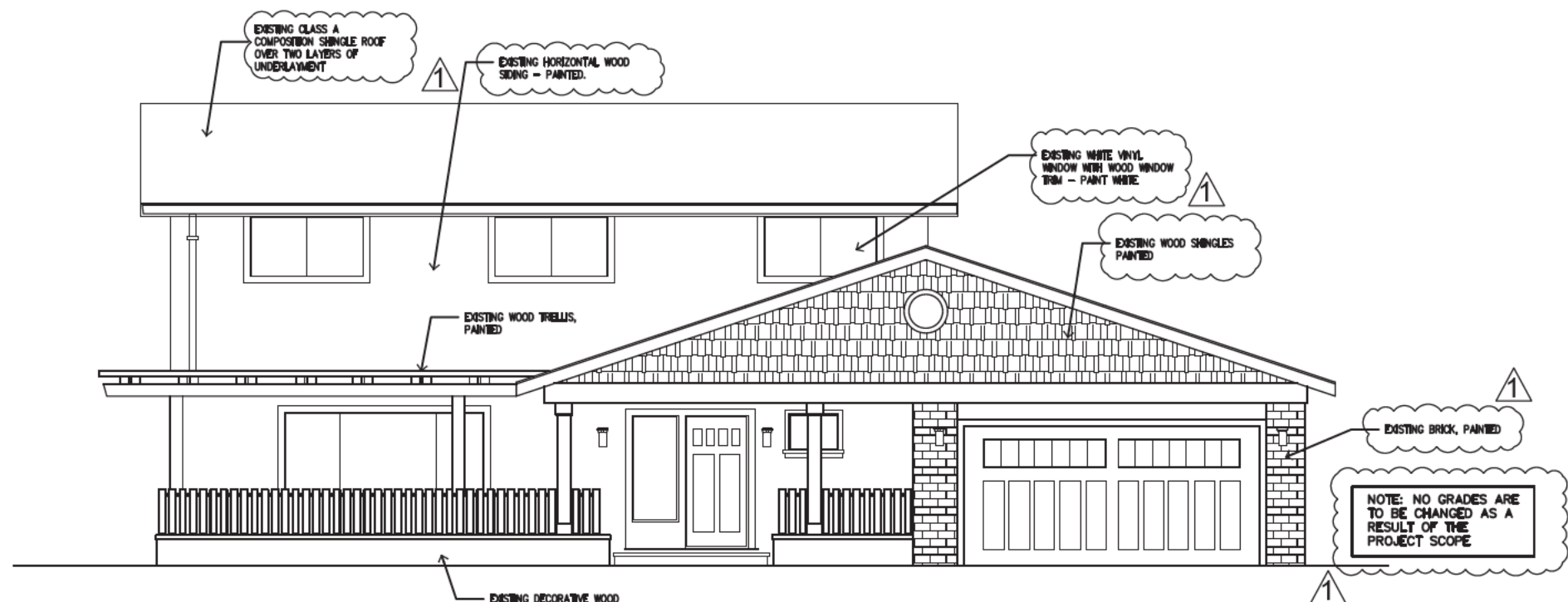
2 NORTH ELEVATION (REAR)

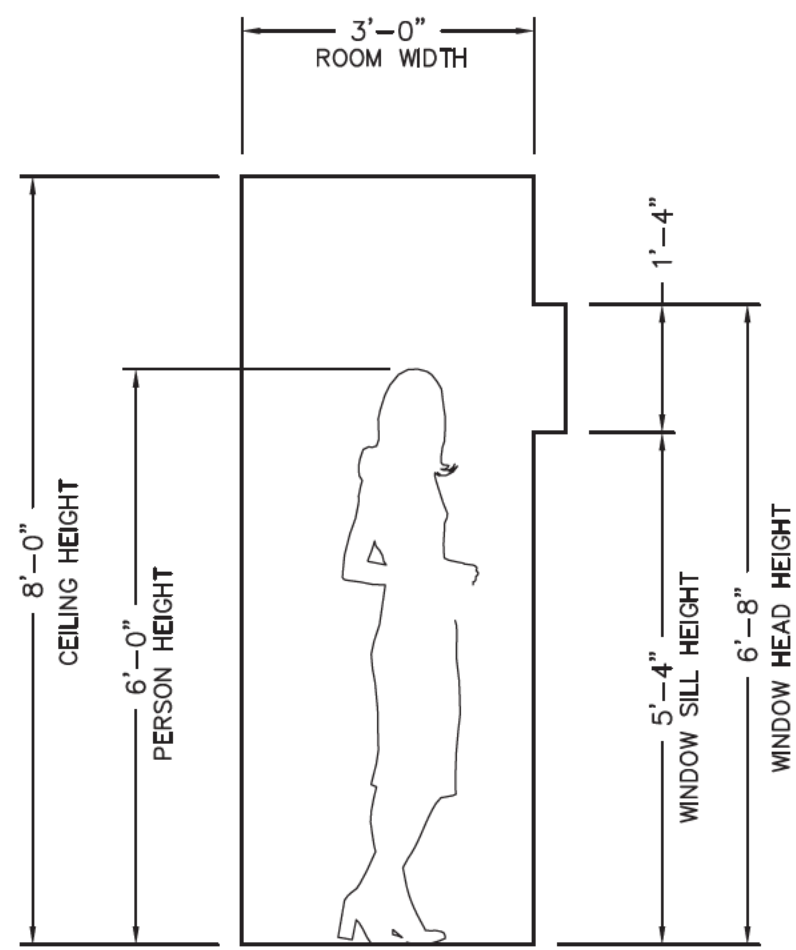
SCALE: 1/4" = 1'-0"



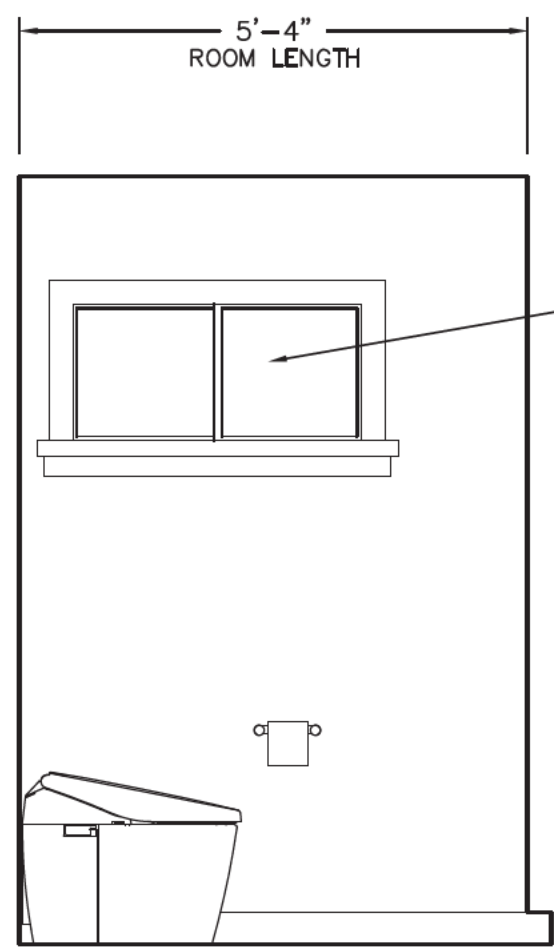
1 SOUTH ELEVATION (STREET / FRONT)

SCALE: 1/4" = 1'-0"

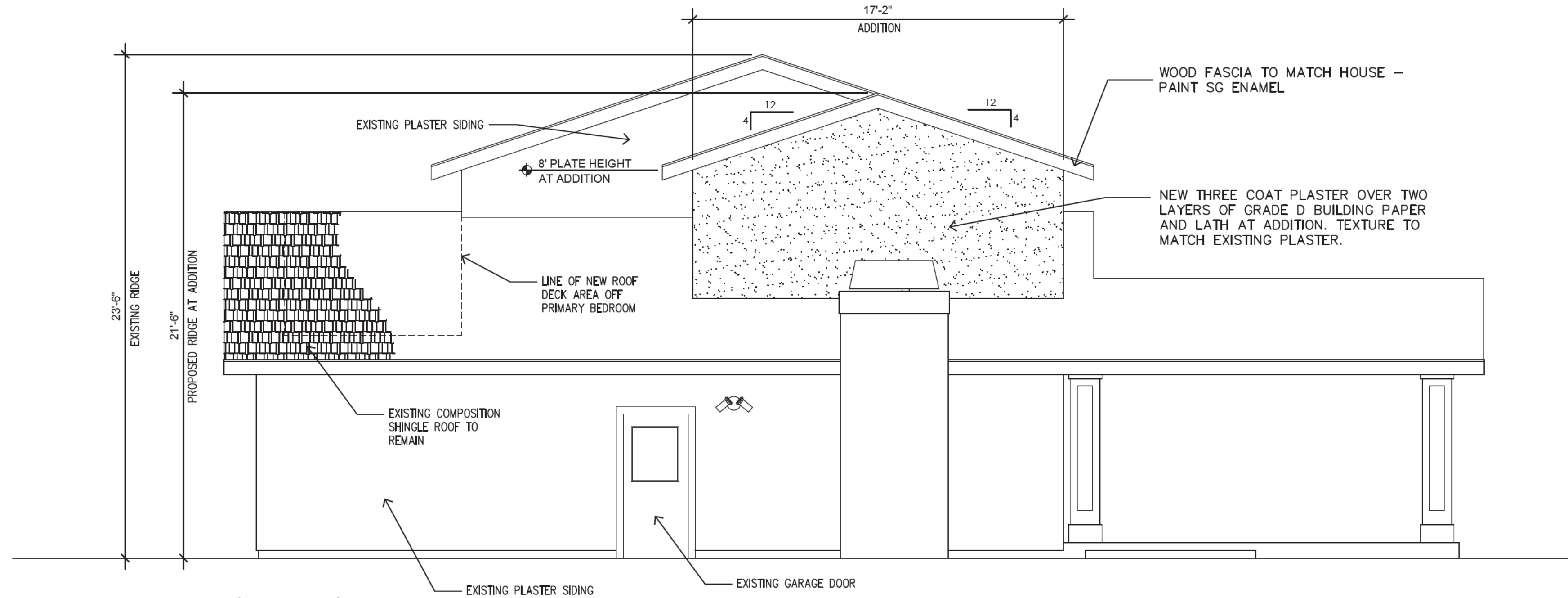




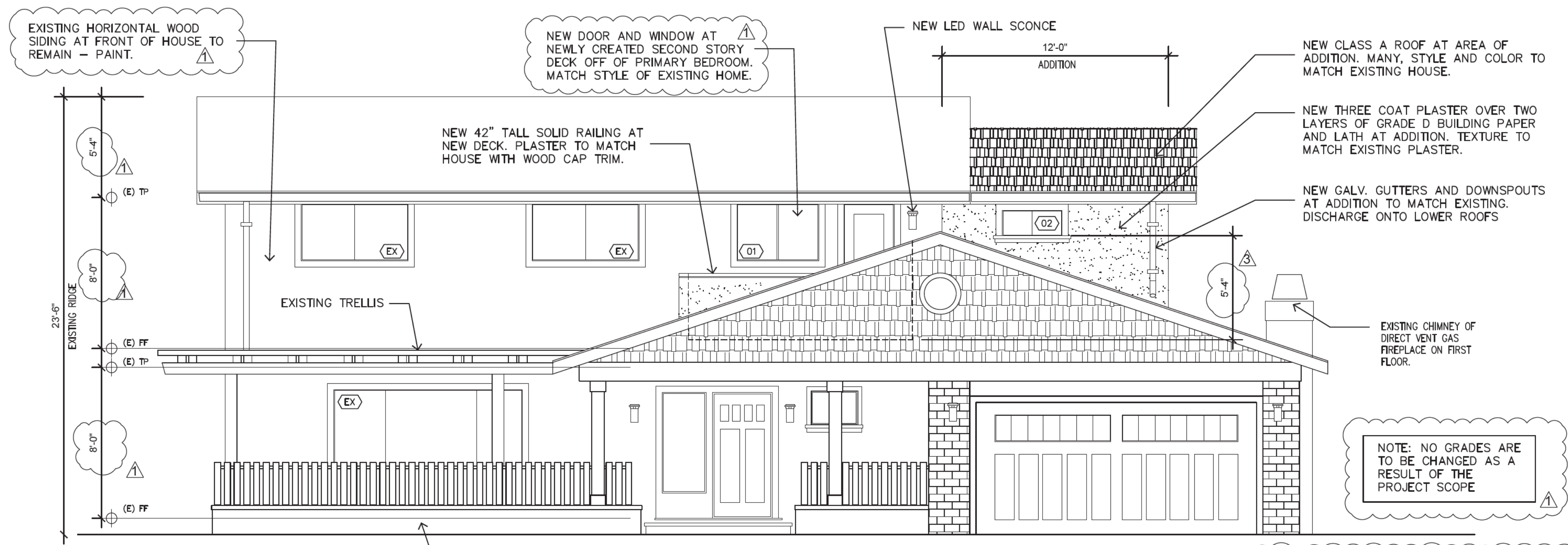
3 PRIVACY STUDY AT PRIMARY BATH WINDOW
SCALE: 1/2" = 1'-0"



3' x 1'4" SLIDER WINDOW AT TOILET ROOM. OWNER HAS AGREED TO INSTALL WINDOW COVERINGS TO MATCH THE STYLE OF THE REST OF THE PRIMARY SUITE.

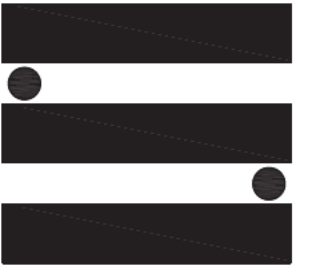


2 EAST ELEVATION (SIDE YARD)
SCALE: 1/4" = 1'-0"



1 SOUTH ELEVATION (STREET / FRONT)
SCALE: 1/4" = 1'-0"

NOTE: All permanent exterior light fixtures should utilize shields so that no bulb is visible and to ensure that light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes.



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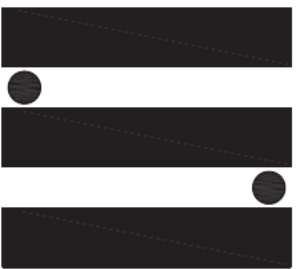
127 BELHAVEN DRIVE
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ISSUE	DATE
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⚠ Planning Res #1	05.28.2026
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SCALE	AS NOTED

Proposed
Exterior Elevations



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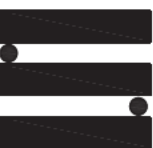
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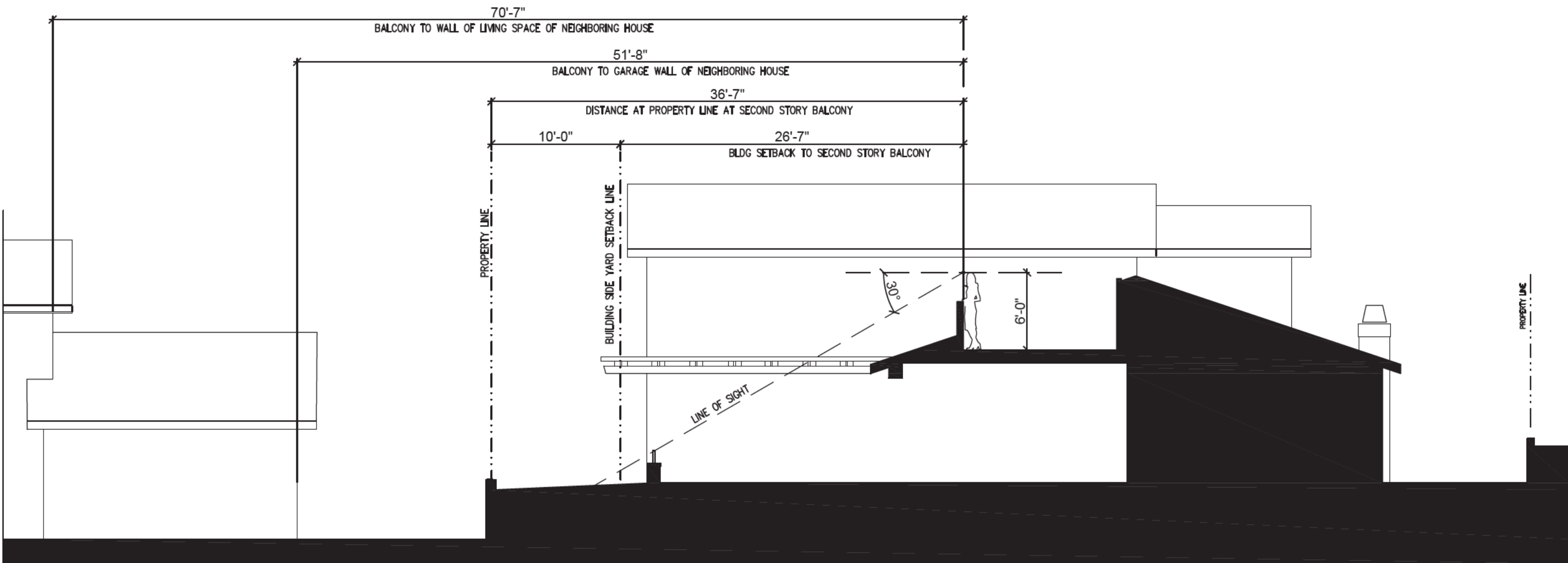
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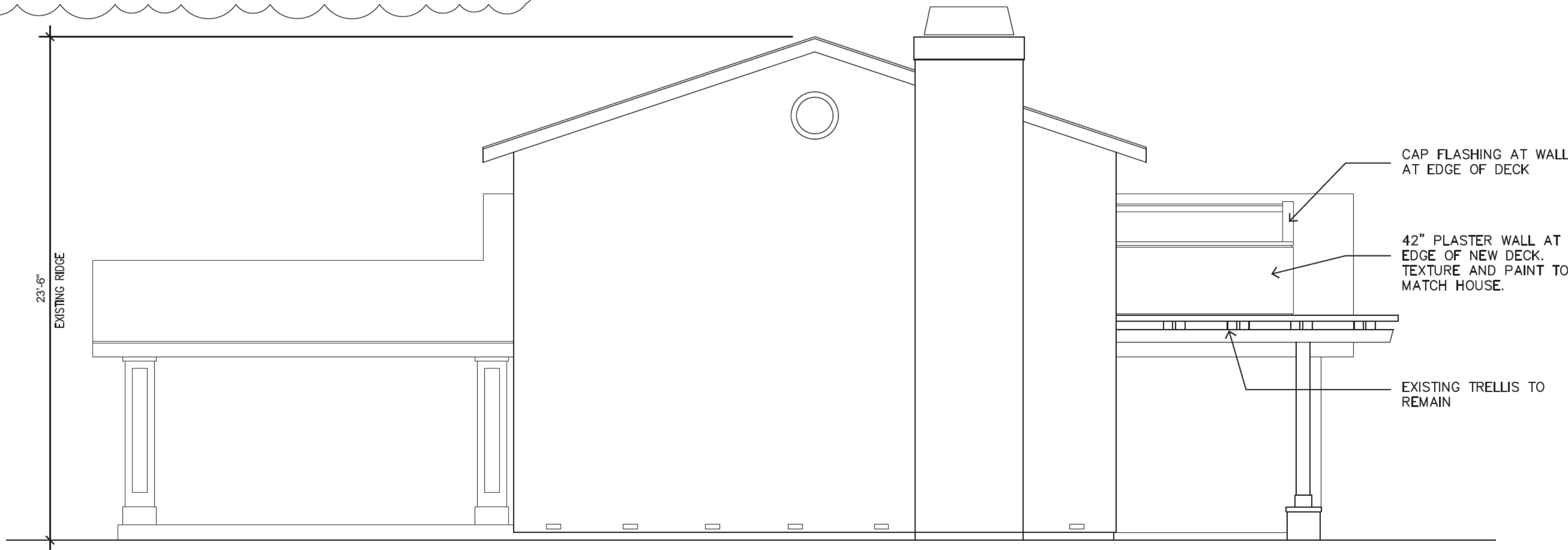
Proposed
Exterior Elevations



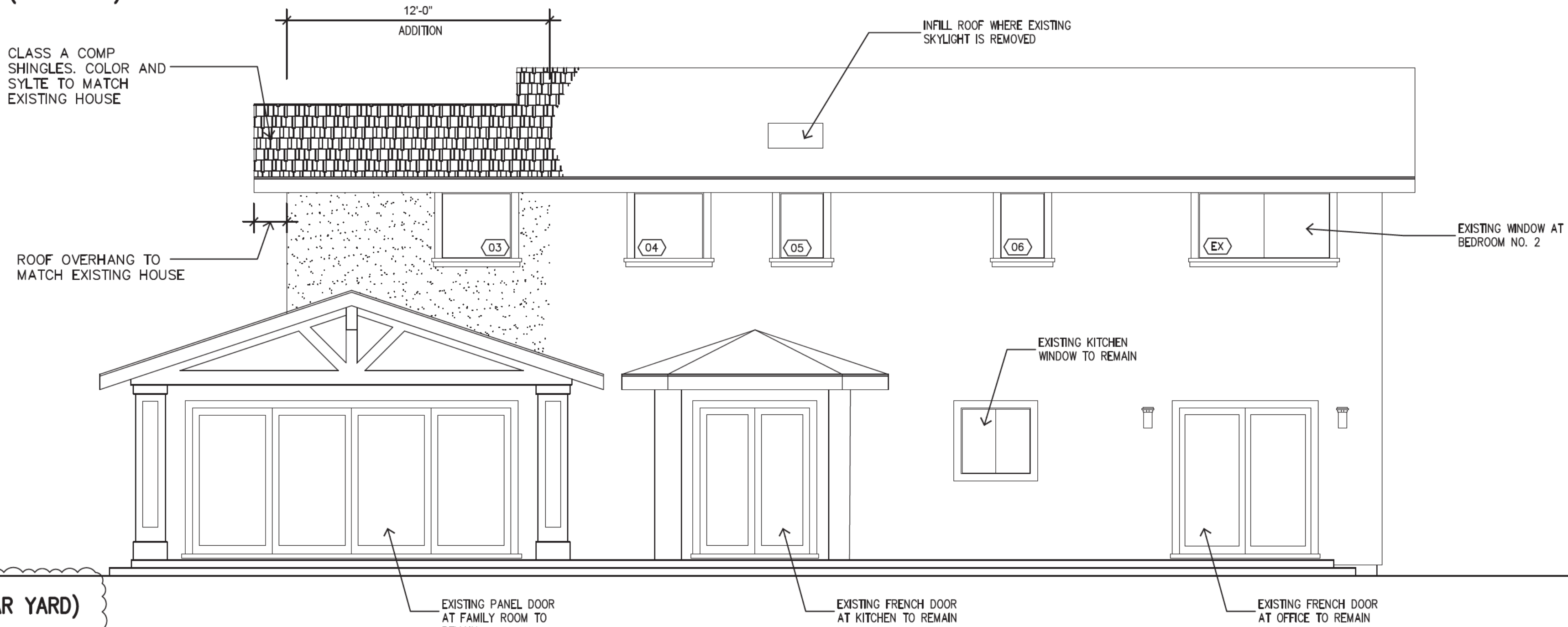
A5.3



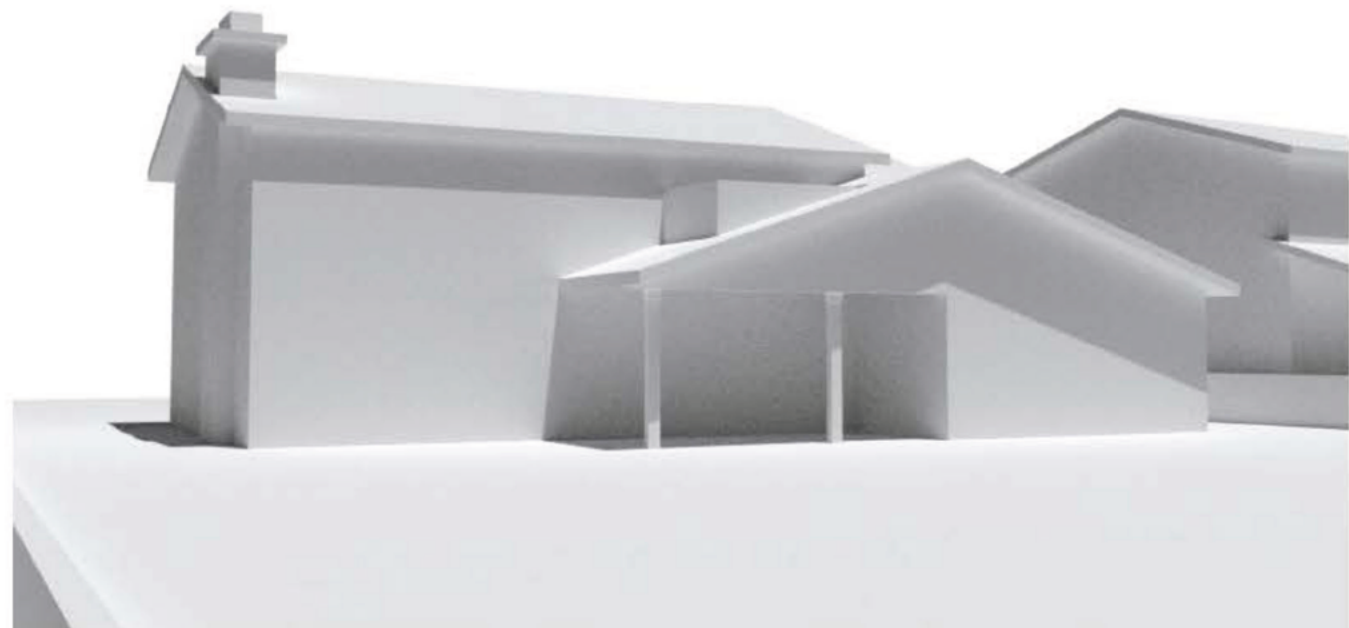
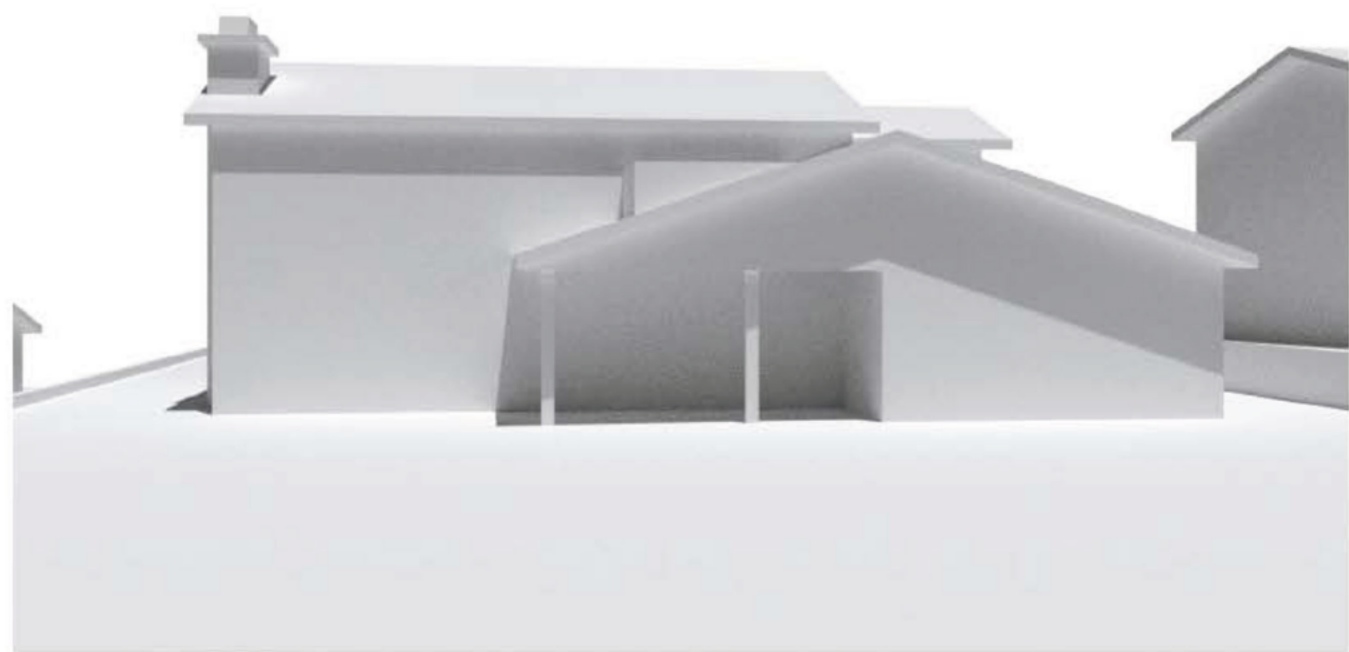
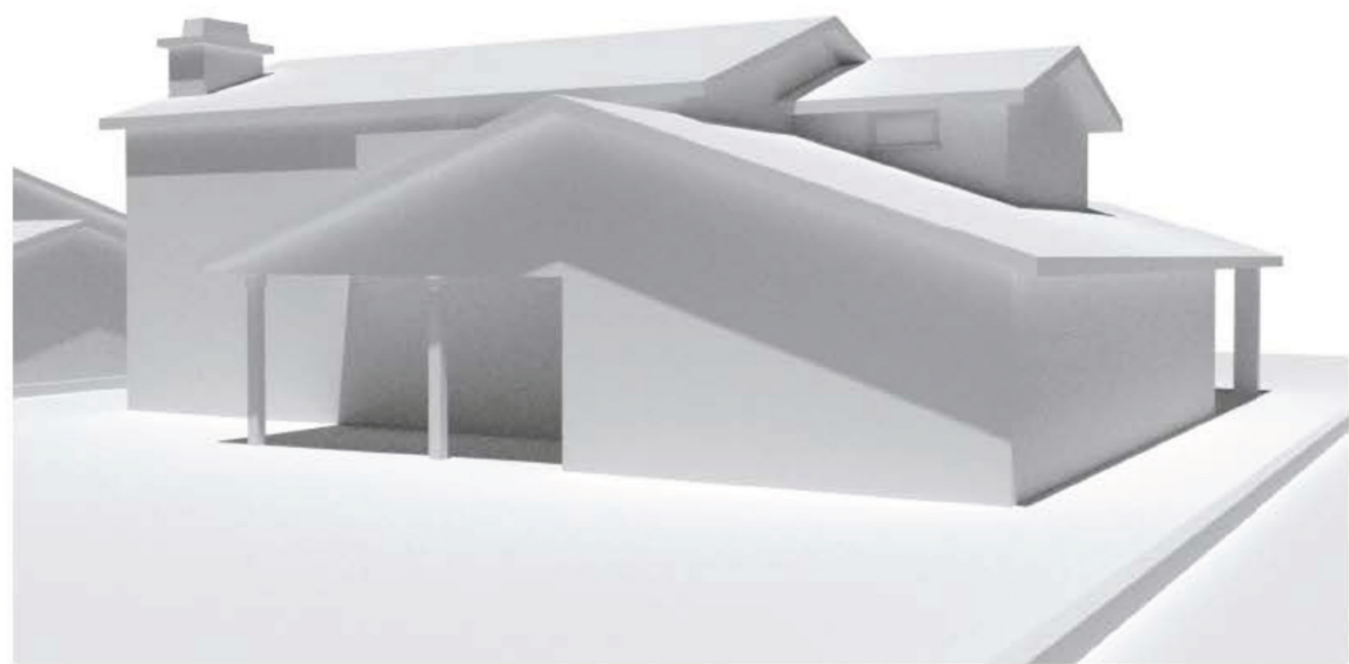
3 SIGHT LIGHT STUDY FROM NEW BALCONY TO NEIGHBORING PROPERTY
SCALE: 1/8" = 1'-0"



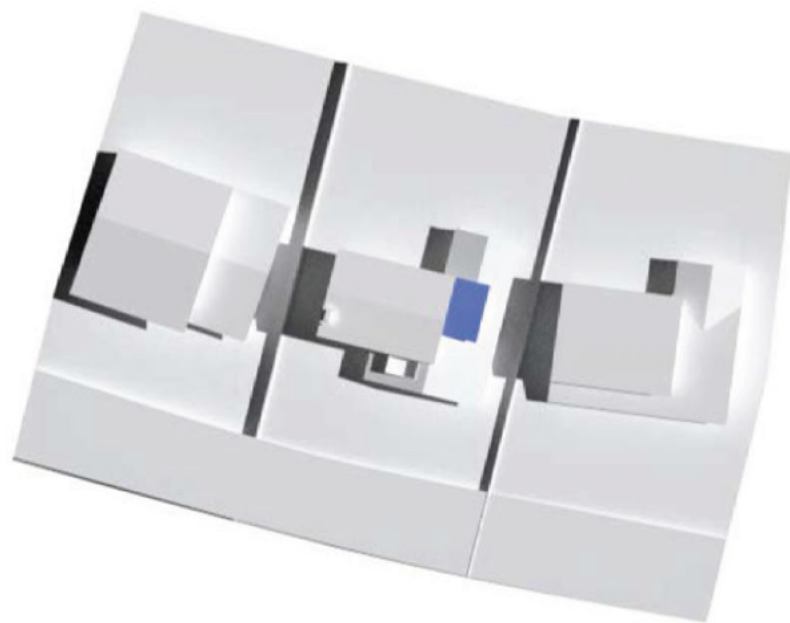
2 WEST BUILDING ELEVATION (SIDE YARD)
SCALE: 1/4" = 1'-0"



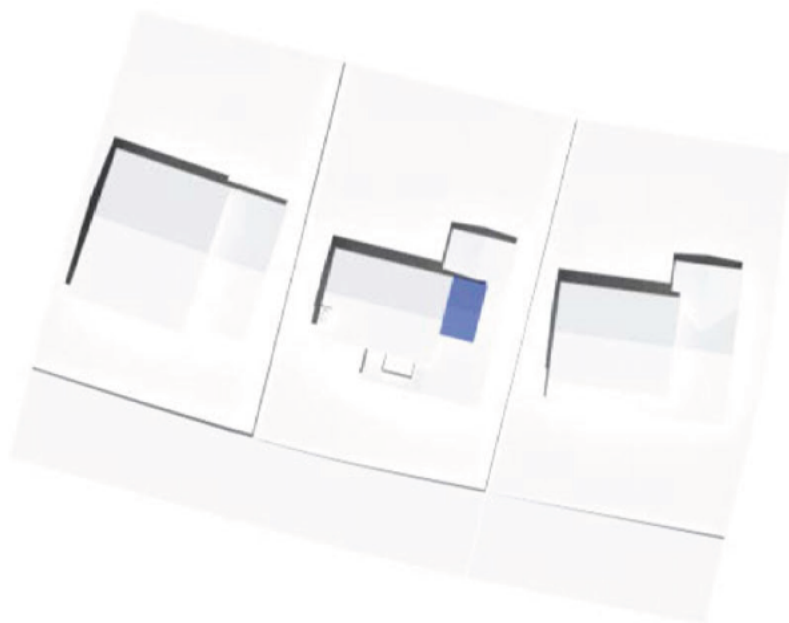
1 NORTH ELEVATION (REAR YARD)
SCALE: 1/4" = 1'-0"



BUTCHER RESIDENCE SUN STUDY
127 BELHAVEN DRIVE, LOS GATOS
JUNE 21
9:00 AM



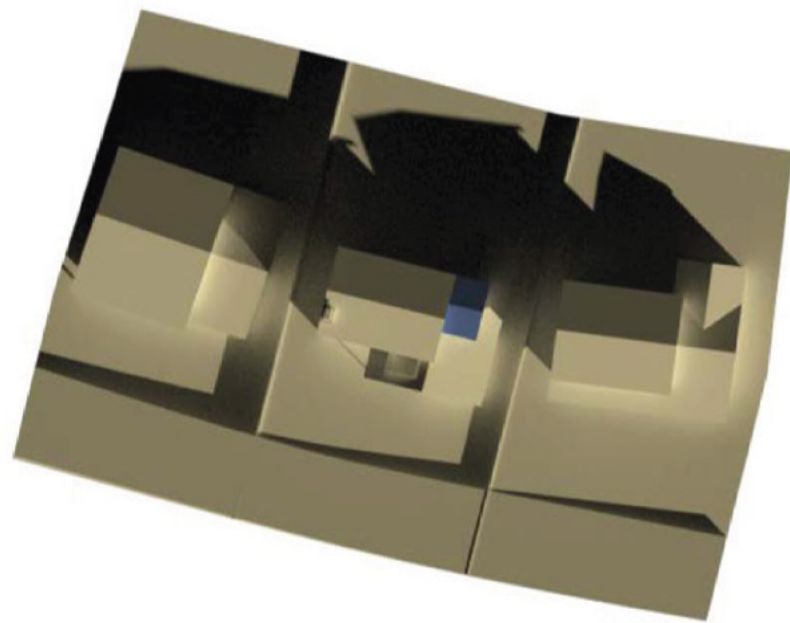
BUTCHER RESIDENCE SUN STUDY
127 BELHAVEN DRIVE, LOS GATOS
JUNE 21
12:00 PM



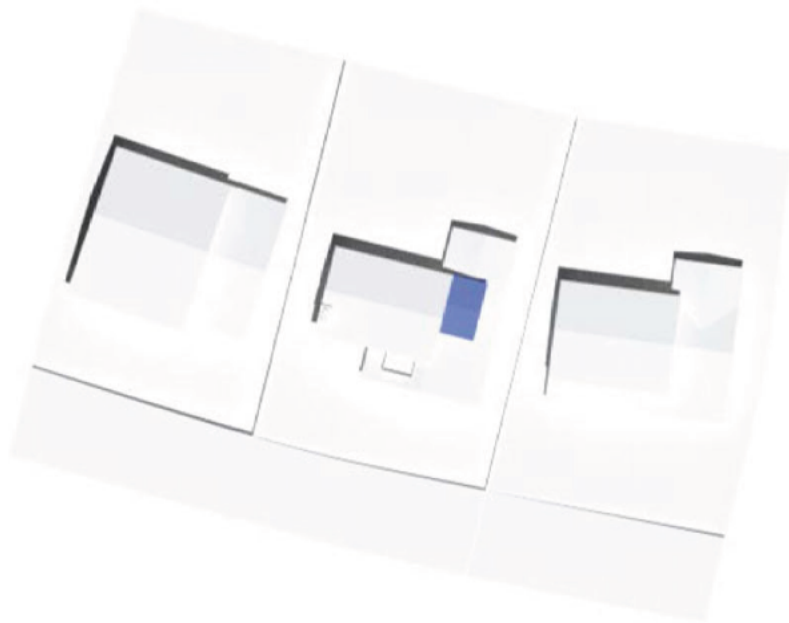
BUTCHER RESIDENCE SUN STUDY
127 BELHAVEN DRIVE, LOS GATOS
JUNE 21
3:00 PM



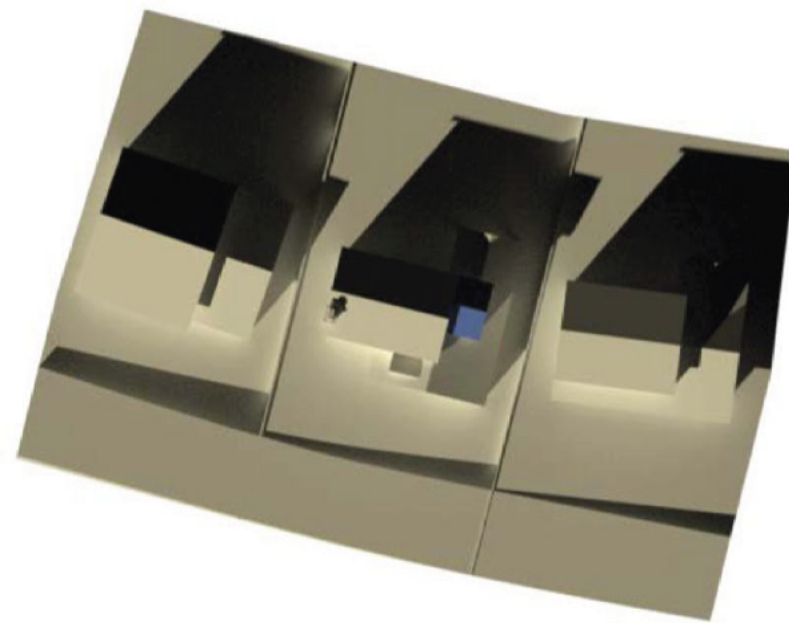
BUTCHER RESIDENCE SUN STUDY
127 BELHAVEN DRIVE, LOS GATOS
DECEMBER 21
9:00 AM



BUTCHER RESIDENCE SUN STUDY
127 BELHAVEN DRIVE, LOS GATOS
DECEMBER 21
12:00 PM



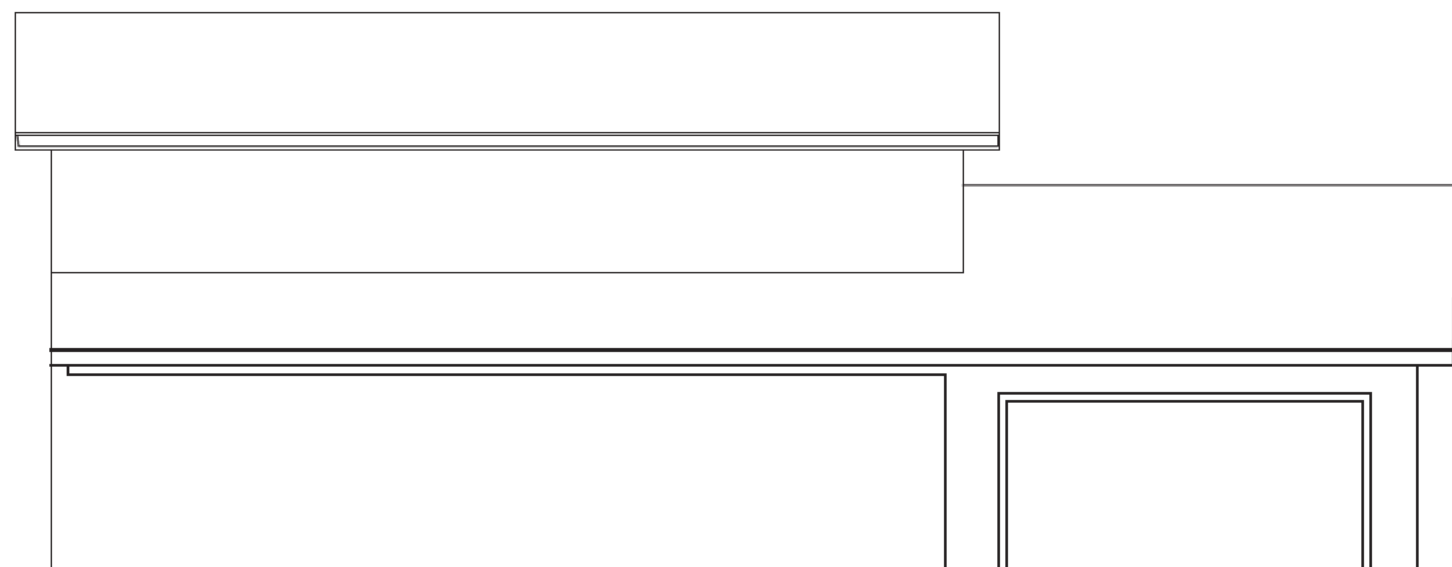
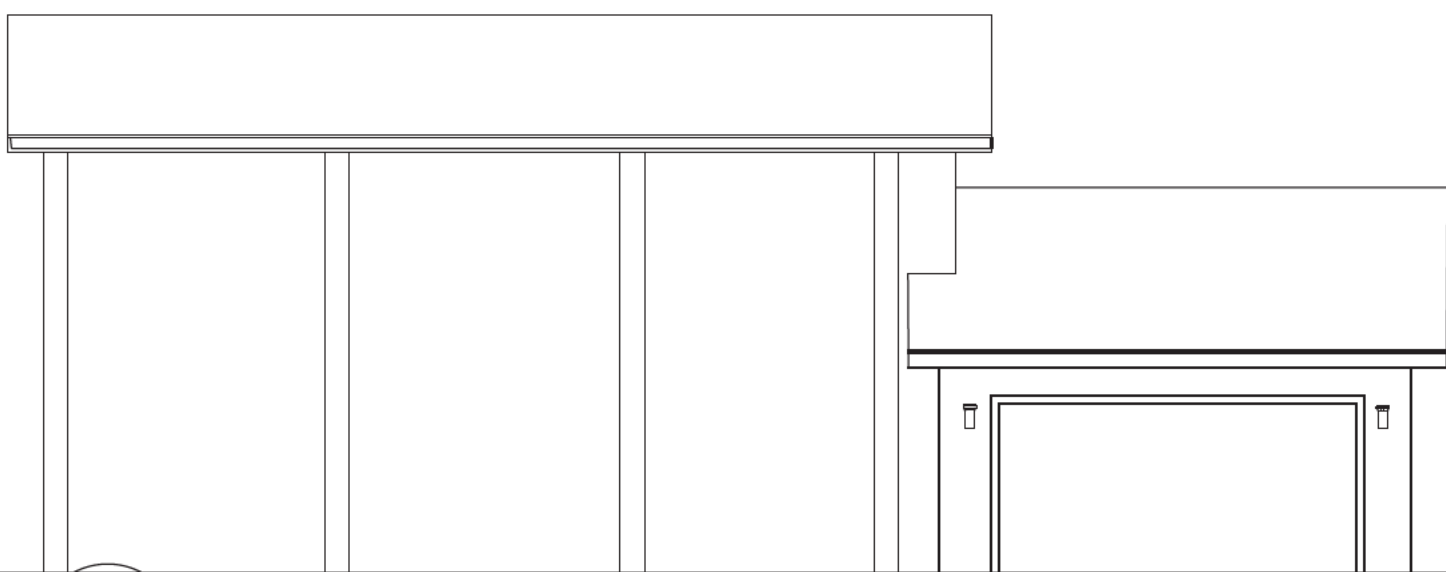
BUTCHER RESIDENCE SUN STUDY
127 BELHAVEN DRIVE, LOS GATOS
DECEMBER 21
3:00 PM



4 ADJACENT PROPERTIES
SCALE: NTS

3 PERSPECTIVE VIEWS FROM STREET
SCALE: NTS

2 SUN STUDIES FOR DECEMBER 21st AND JUNE 21st
SCALE: NTS



1 STREETSCAPE
SCALE: 1/8" = 1'-0"

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SCALE	AS NOTED

Streetscape
Sun Studies

A5.4

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