

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24

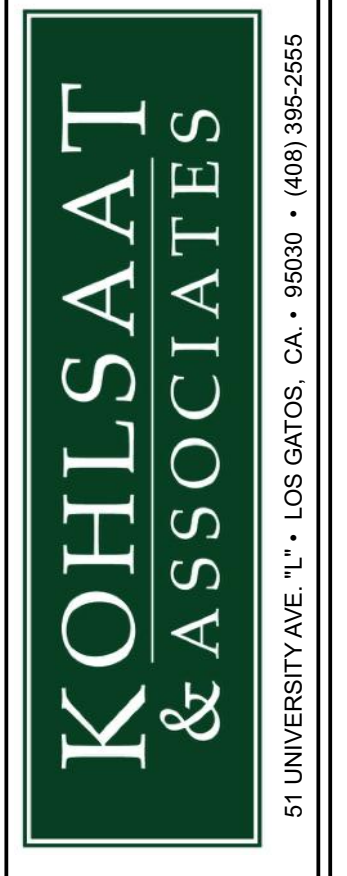


ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD
 LOS GATOS, CA 95030

VICINITY MAP	PROJECT DIRECTORY	FIRE / BUILDING NOTES	PROJECT DATA	SHEET INDEX																														
	<p>PROPERTY OWNER: FARNAZ AGAHIAN 1558 THORNERIA DRIVE SAN JOSE, CA 95131 TEL: (408) 284-5180</p> <p>ARCHITECT: KOHL SAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 345-2555</p> <p>CIVIL ENGINEERING: HANNA BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2175</p> <p>SURVEYOR: HANNA BRUNETTI 7651 EIGLEBERRY STREET GILROY, CA 95020 TEL: (408) 842-2175</p> <p>SCOPE OF WORK</p> <p>SITE AND ARCHITECTURAL DEVELOPMENT ON AN EXISTING VACANT R1-20 ZONED LOT (HILLSIDE OVERLAY).</p> <p>WORK TO INCLUDE: BUILDINGS: 1. CONSTRUCTION OF A NEW RESIDENCE WITH AN ATTACHED ACCESSORY DWELLING UNIT, AN ATTACHED GARAGE AND BELOW GRADE BASEMENT. 2. COVERED DECK 3. EGRESS, VENTILATION WELLS AND ACCESS STAIRS.</p> <p>SITE IMPROVEMENTS (REFER TO CIVIL PLANS): 1. MODIFY EXISTING PRIVATE ROAD TO PROVIDE PARKING AND FIRE TRUCK TURN-AROUND. 2. SITE RETAINING WALLS AND PAVED YARDS 3. UTILITY TRENCHING AND CONNECTIONS 4. TREE REMOVAL AND NEW TREE PLANTING</p>	<p>FIRE SPRINKLERS: An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: in all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Note: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CFC Sec. 515.2 as adopted and amended by L&TC.</p> <p>WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2016 CFC Sec. 409.5.3 and Health and Safety Code 15114.7</p> <p>ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. (CFC Sec. 505.1).</p> <p>EMERGENCY GATE/ACCESS GATE REQUIREMENTS: Gate installations shall conform with Fire Department Standard Details and Specification D-1 and, when open shall not obstruct any portion of the required width for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. Knox Key-switch is required for the automatic gate.</p> <p>FIRE APPARATUS (ENGINE) ACCESS DRIVEWAY REQUIRED: Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 12 feet, vertical clearance of 18 feet 6 inches, minimum circulating turning radius of 36 feet outside and 25 feet inside, and a maximum slope of 15%. Installations shall conform to the Fire Department Standard Details Specifications D-1 and CFC Section 505.</p> <p>CONSTRUCTION SITE FIRE SAFETY: All construction site must comply with applicable provisions of the CFC chapter 55 and County of Santa Clara Standard Detail and Specification S1-7.</p> <p>REACH CODE COMPLIANCE: This residence will comply with the town's electric appliance, electric vehicle and energy storage system requirements in accordance with town code section 6.10.020 and 6.120.020.</p>	<p>PROJECT ADDRESS: 45 RESERVOIR ROAD LOS GATOS, CA 95030</p> <p>APN#: 524-33-054</p> <p>ZONING: R-1-20 (IN HILLSIDE OVERLAY)</p> <p>OCCUPANCY GROUP: R-3, U</p> <p>CONSTRUCTION TYPE: V-B</p> <p>AVERAGE LOT SLOPE: 23% (SEE SLOPE CALCS. ON CIVIL PLANS)</p> <p>GROSS & NET SITE AREA: 10,000SF GROSS, 4,600SF NET (SEE CALCS BELOW)</p> <p>STORIES: NEW (2) STORY RESIDENCE, NEW ATTACHED ACCESSORY DWELLING UNIT, ATTACHED GARAGE, BELOW GRADE BASEMENT</p> <p>PARKING: 2 COVERED SPACES, 1 UNCOVERED SPACE</p> <p>FIRE SPRINKLER: WILL PROVIDE</p> <p>REDUCTION OF NET SITE AREA ON SLOPING LOT (20% PLUS 5% FOR EACH 1% OF SLOPE OVER 20%) USING AVERAGE SLOPE OF 23%: -> 30% + 24% = 54% REDUCTION</p> <p>ALLOWABLE FAR = 0.40 * (14.5-27) * 0.05 = 0.4 * 0.0433 = 0.3567</p> <p>ALLOWABLE FLOOR AREA: NET LOT AREA * FAR = 4,600SF * 0.3567 = 1,640.82SF</p> <p>FLOOR AREAS:</p> <table border="1"> <thead> <tr> <th>FLOOR AREA (A)</th> <th>EXCLUSION (B)</th> <th>(A) + (B)</th> </tr> </thead> <tbody> <tr> <td>MAIN FLOOR</td> <td></td> <td>1,827 SF</td> </tr> <tr> <td>LOWER FLOOR</td> <td>1287 SF (1)</td> <td>1,827 SF</td> </tr> <tr> <td>GARAGE</td> <td>599 SF (1)</td> <td>1,600 SF</td> </tr> <tr> <td></td> <td>163 + 695 SF (2)</td> <td>564 SF</td> </tr> <tr> <td>SUB-TOTAL</td> <td></td> <td>3,491 SF</td> </tr> <tr> <td>ADU</td> <td></td> <td>516 SF</td> </tr> <tr> <td>TOTAL FLOOR AREAS</td> <td></td> <td>4,007 SF</td> </tr> </tbody> </table> <p>* EXCLUSIONS: (1) BELOW GRADE BASEMENT AREA (2) GARAGE EXEMPTION UP TO 400SF</p> <p>STRUCTURAL COVERAGE:</p> <table border="1"> <tbody> <tr> <td>RESIDENCE + ADU + GARAGE</td> <td>2,195 SF</td> </tr> <tr> <td>PATIOES, BALCONIES (OUTSIDE RESIDENCE FOOTPRINT)</td> <td>149 SF</td> </tr> <tr> <td>TOTAL</td> <td>2,349 SF = 23.48%</td> </tr> </tbody> </table>	FLOOR AREA (A)	EXCLUSION (B)	(A) + (B)	MAIN FLOOR		1,827 SF	LOWER FLOOR	1287 SF (1)	1,827 SF	GARAGE	599 SF (1)	1,600 SF		163 + 695 SF (2)	564 SF	SUB-TOTAL		3,491 SF	ADU		516 SF	TOTAL FLOOR AREAS		4,007 SF	RESIDENCE + ADU + GARAGE	2,195 SF	PATIOES, BALCONIES (OUTSIDE RESIDENCE FOOTPRINT)	149 SF	TOTAL	2,349 SF = 23.48%	<p>A-1 COVER SHEET</p> <p>A-2 NEIGHBORHOOD SITE PLAN</p> <p>A-3 DEMO/EXISTING SITE PLAN</p> <p>A-4 ARCHITECTURAL SITE PLAN</p> <p>A-5 PRELIMINARY LANDSCAPE PLAN</p> <p>A-6 LOWER LEVEL FLOOR PLAN</p> <p>A-7 MAIN LEVEL FLOOR PLAN</p> <p>A-8 ROOF PLAN</p> <p>A-9 ELEVATIONS</p> <p>A-10 ELEVATIONS</p> <p>A-11 SECTIONS</p> <p>A-12 VISIBILITY STUDY</p> <p>A-13 VISIBILITY STUDY</p> <p>A-14 SHADOW STUDIES</p> <p>C-1 CIVIL COVER SHEET</p> <p>C-2 BLUEPRINT FOR A CLEAN BAY</p> <p>C-3 EXISTING TOPO SURVEY & DEMO PLAN</p> <p>C-4 GRADING AND DRAINAGE PLAN</p> <p>C-5 UTILITY PLAN</p> <p>C-6 UTILITY PLAN</p> <p>C-7 CROSS SECTIONS & DETAILS</p> <p>C-8 EROSION CONTROL PLAN</p> <p>COVER SHEET</p> <p>DATE: 11/08/22</p> <p>SCALE: AS SHOWN</p> <p>SHEET</p> <p>A-1</p> <p>1 OF -</p>
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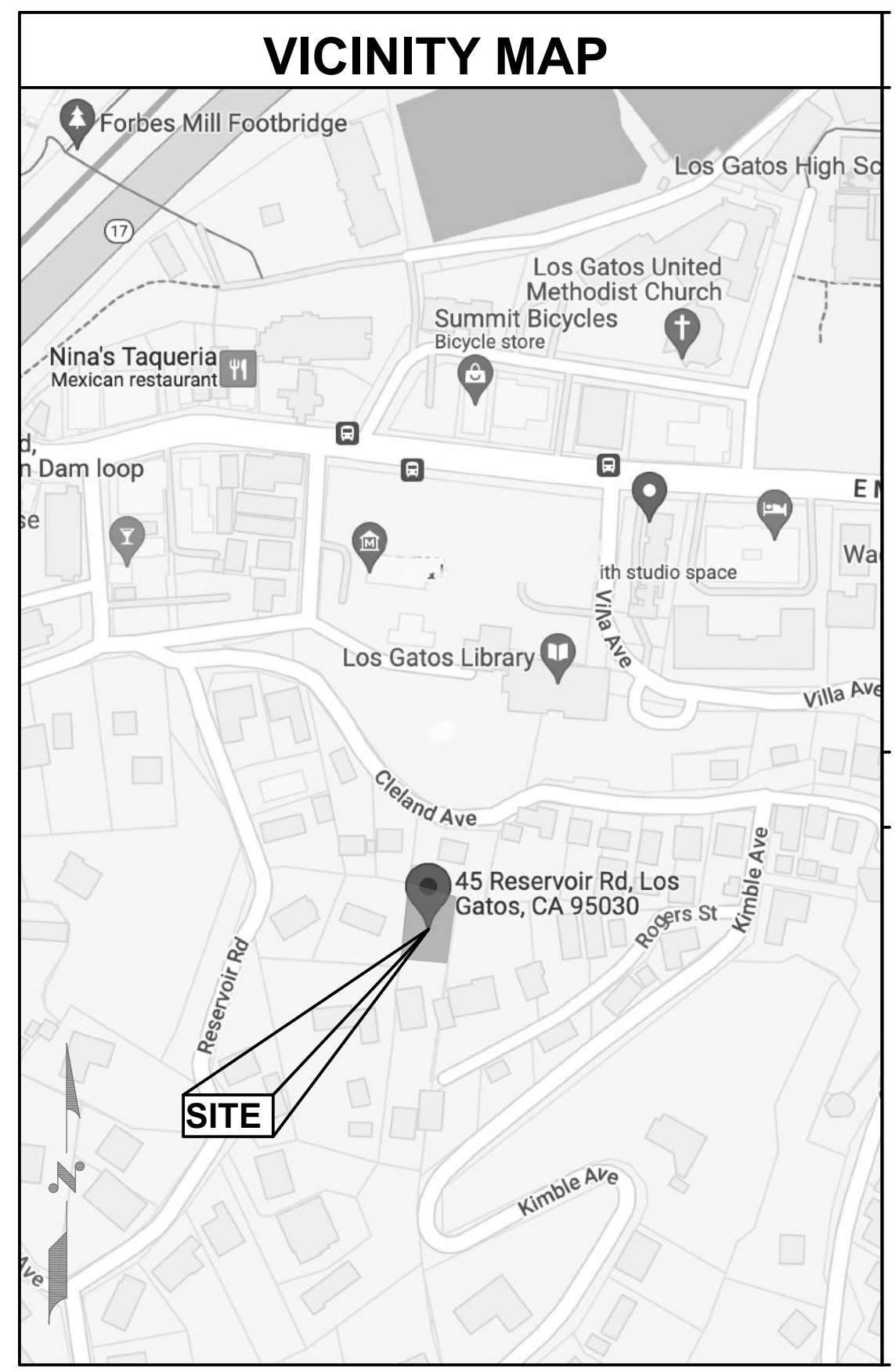
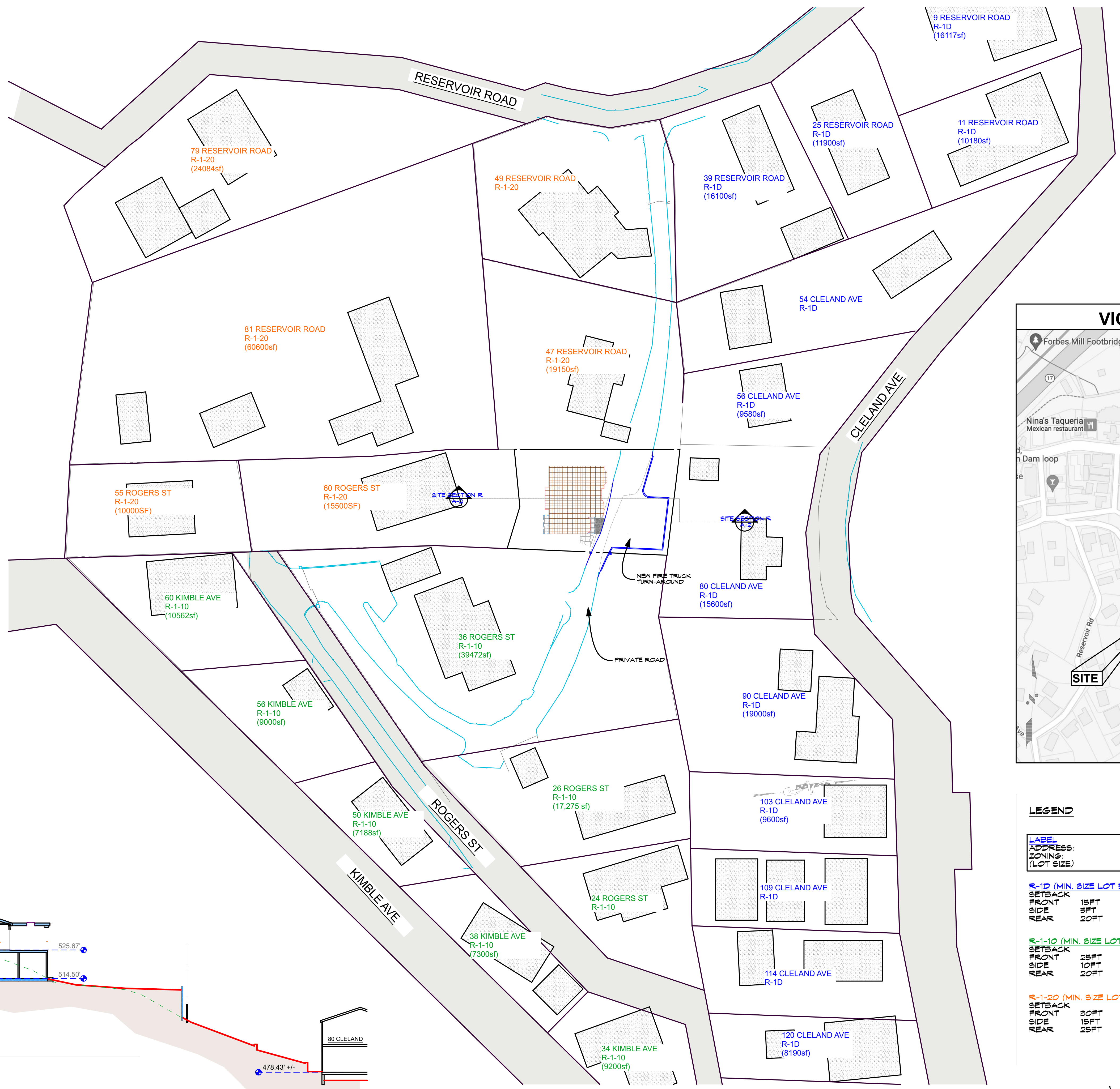


ARCHITECTURE AND SITE APPLICATION FOR
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NEIGHBORHOOD SITE PLAN

DATE: 11/08/22
 SCALE: AS SHOWN

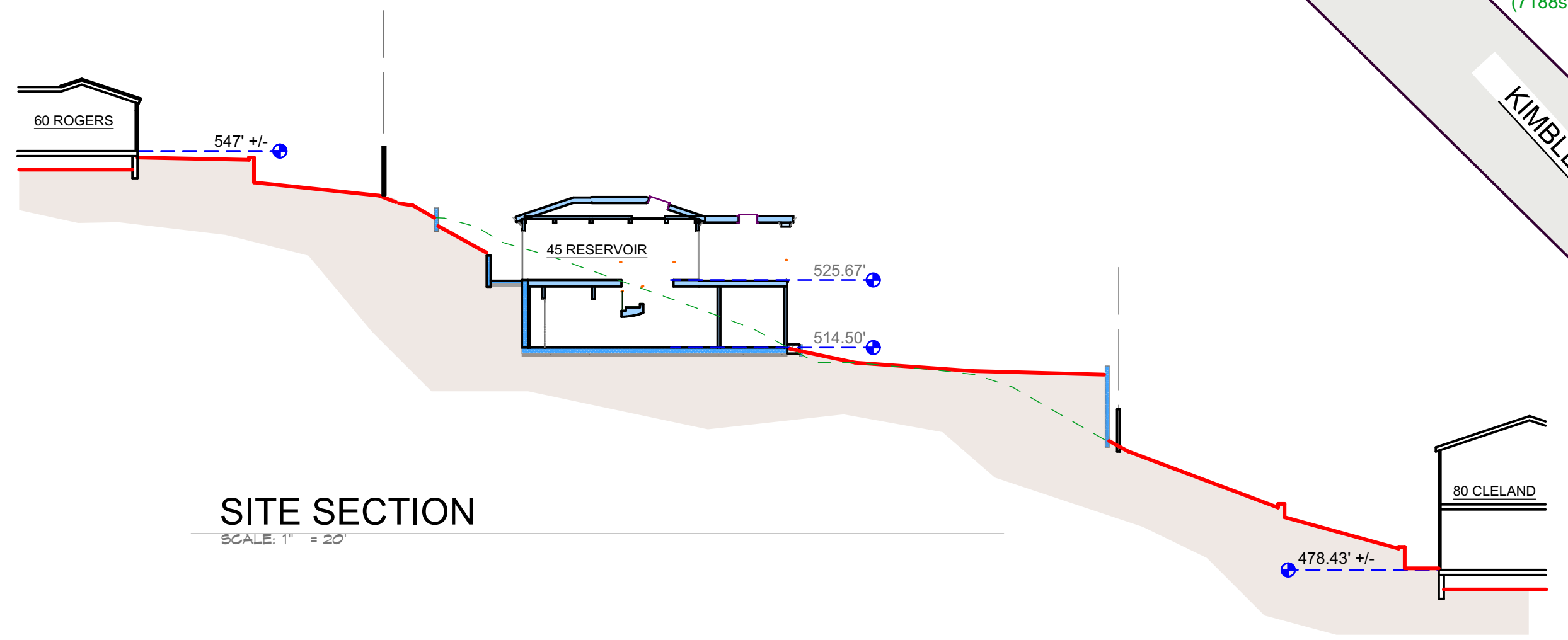
SHEET
A-2
 2 OF -



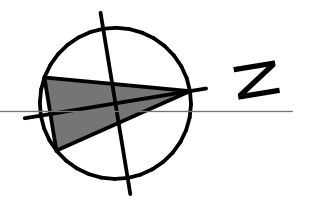
LEGEND

LABEL	ADDRESS	ZONING	(LOT SIZE)
■	R-1D (MIN. SIZE LOT 5000SF)		
■	R-1-10 (MIN. SIZE LOT 10,000SF)		
■	R-1-20 (MIN. SIZE LOT 20,000SF)		

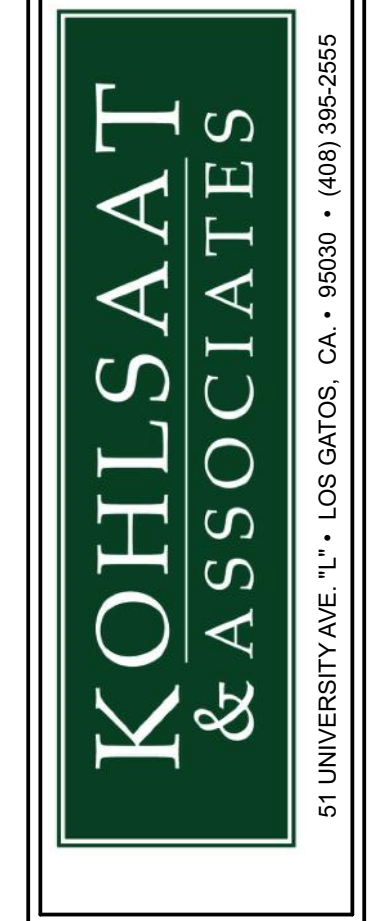
SETBACK	FRONT	SIDE	REAR
R-1D	15FT	5FT	20FT
R-1-10	25FT	10FT	20FT
R-1-20	30FT	15FT	25FT



NEIGHBORHOOD SITE PLAN
 SCALE: 1" = 40'



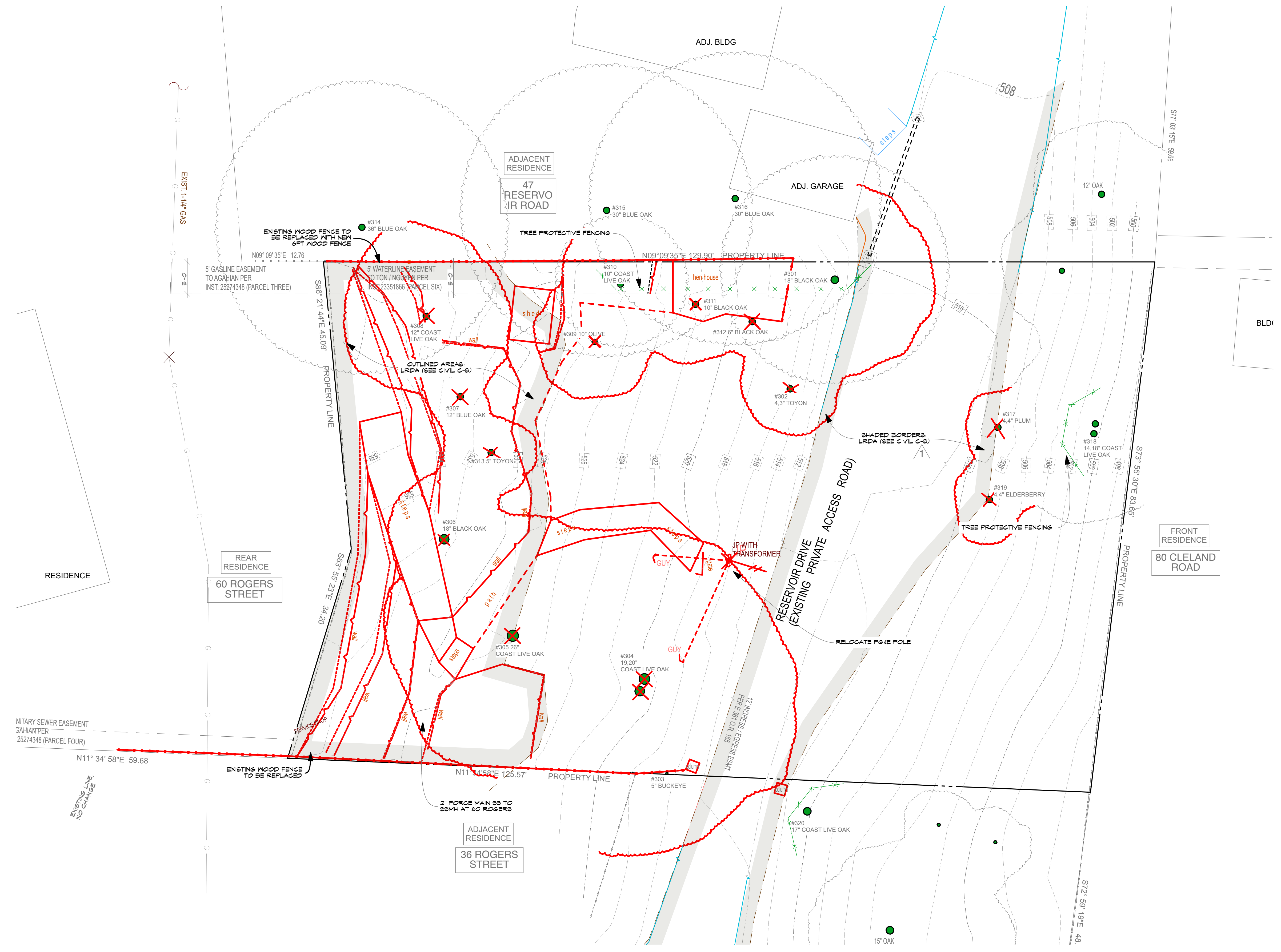
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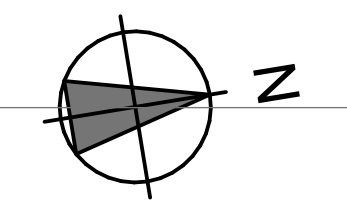
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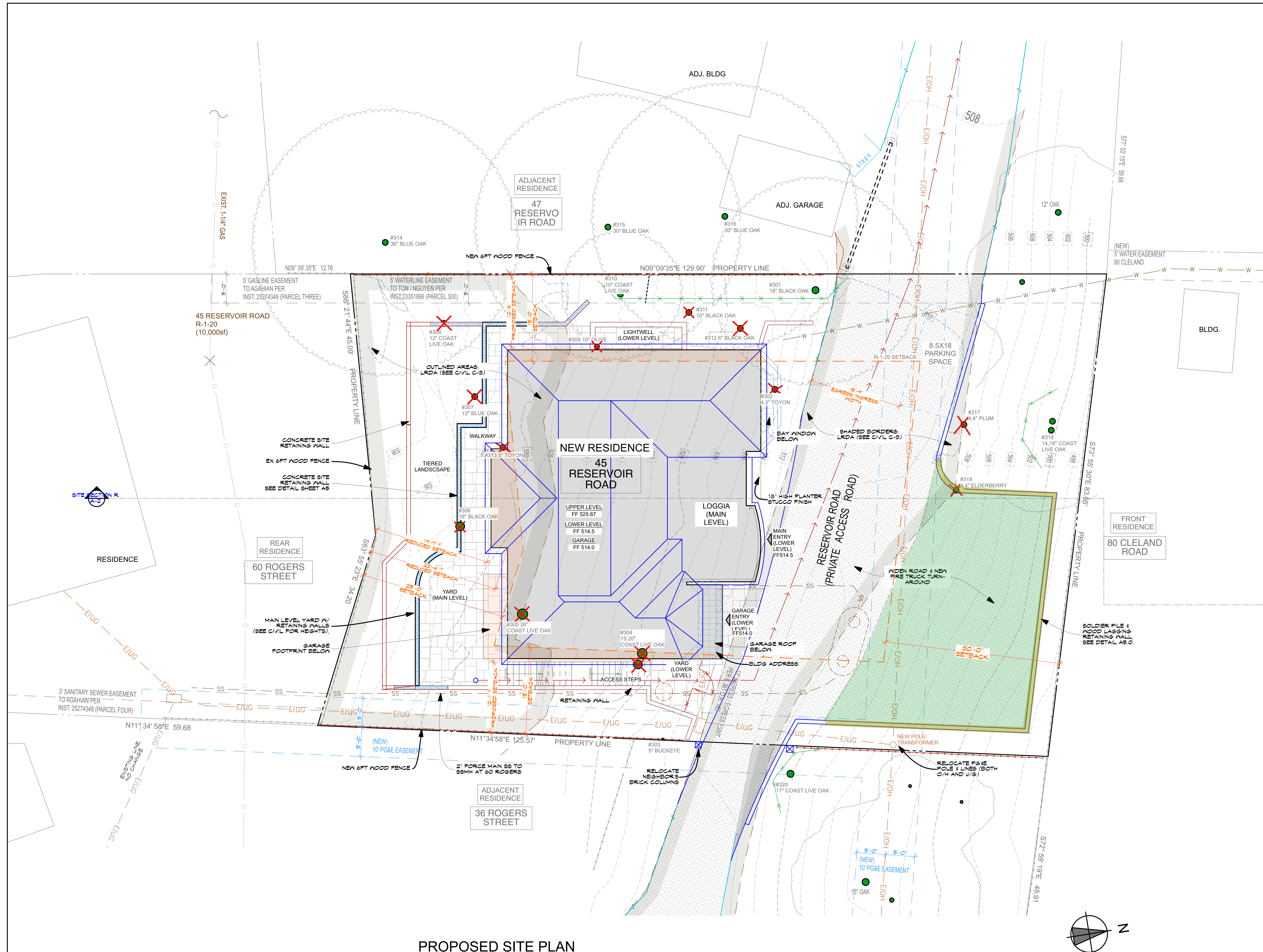
DEMO/ EXISTING SITE PLAN
 DATE: 11/08/22
 SCALE: AS SHOWN
 SHEET
A-3
 3 OF -

LEGEND	
	EXISTING PROPERTY LINE
	EXISTING CONSTRUCTION TO BE DEMOLISHED
	EXISTING LANDSCAPE RETAINING WALLS
	EXISTING WOOD FENCE
	TREE PROTECTION FENCE
	ELECTRICAL METER
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	EXISTING ASPHALT PAVED PRIVATE ROAD
	LEAST RESTRICTIVE DEVELOPMENT AREA

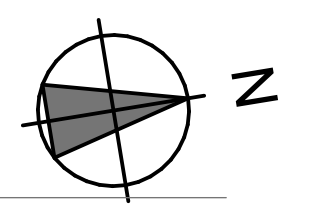


EXISTING SITE PLAN
 SCALE: 1/8" = 1'-0"





PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



SCOPE OF WORK

SITE AND ARCHITECTURAL DEVELOPMENT ON AN EXISTING VACANT R-1-20 ZONED LOT (HILLSIDE OVERLAY).
 WORK TO INCLUDE:
 BUILDINGS:
 1. CONSTRUCTION OF A NEW RESIDENCE WITH AN ATTACHED ACCESSORY DWELLING UNIT, AN ATTACHED GARAGE AND BELOW GRADE BASEMENT.
 2. COVERED DECK AND BALCONY.
 3. EGRESS, VENTILATION WELLS AND ACCESS STAIRS.

SITE IMPROVEMENTS (REFER TO CIVIL AND LANDSCAPE PLANS):
 1. MODIFY EXISTING PRIVATE ROAD TO PROVIDE PARKING AND FIRE TRUCK TURNOUT.
 2. DRIVEWAY ACCESS TO GARAGE.
 3. SITE RETAINING WALLS AND PAVED YARDS.
 4. LANDSCAPE AND IRRIGATION.
 5. UTILITY TRENCHING AND CONNECTIONS.

TREE PROTECTION

1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FOOT DEEP AT NO MORE THAN TEN-FOOT SPACING, WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED. POSTS MAY BE SUPPORTED BY CONCRETE BASE.

2. POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 24.10.102B".

3. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.

SITE ADDRESS

ADDRESS SHALL BE PLACED IN A POSITION THAT IS PLAINLY LEGIBLE & VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MIN. 4" HIGH WITH A MIN. STROKE WIDTH OF 1/8". WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD & THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CBC RB19.1. SEE FRONT ELEVATION ON A12 FOR LOCATION.

LEGEND

- EXISTING PROPERTY LINE
- - - BUILDING SETBACK LINE (R-1-20)
- - - BUILDING SETBACK LINE (PROPOSED)
- [Hatched Box] MAIN LEVEL STRUCTURE FOOTPRINT
- [Hatched Box] LOWER LEVEL STRUCTURE FOOTPRINT
- [Blue Line] OVERHEAD ROOF LINE
- [Red Box] LIGHT WELL, ACCESS STAIR, YARDS
- [Red Box] CONCRETE RETAINING WALL
- [Red Line] EXISTING/NEW WOOD FENCE
- [Green X] TREE PROTECTION FENCE
- [Red X] EXISTING TREE TO BE REMOVED
- [E/OH] ELECTRICAL LINE (OVERHEAD)
- [E/UG] ELECTRICAL LINE (UNDERGROUND)
- [W] WATER METER
- [SS] SEWER CLEAN-OUT
- [Green Box] AREA DRAIN LOCATIONS
- [Red Arrow] TRAVEL DISTANCE FROM HYDRANT TO FARTHEST BLDG CORNER
- [Green Box] EXCEPTION AREA WITH RETAINING WALLS OVER 4FT HIGH
- [Green Box] EXCEPTION AREA WITH FILL OVER 8FT HIGH
- [Orange Box] FLOOR AREA ENCRoACHING INTO SETBACK
- [Grey Box] LEAST RESTRICTIVE DEVELOPMENT AREA

REVISIONS	
REV.	7.30.24
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ARCHITECTURAL SITE PLAN

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

A-4

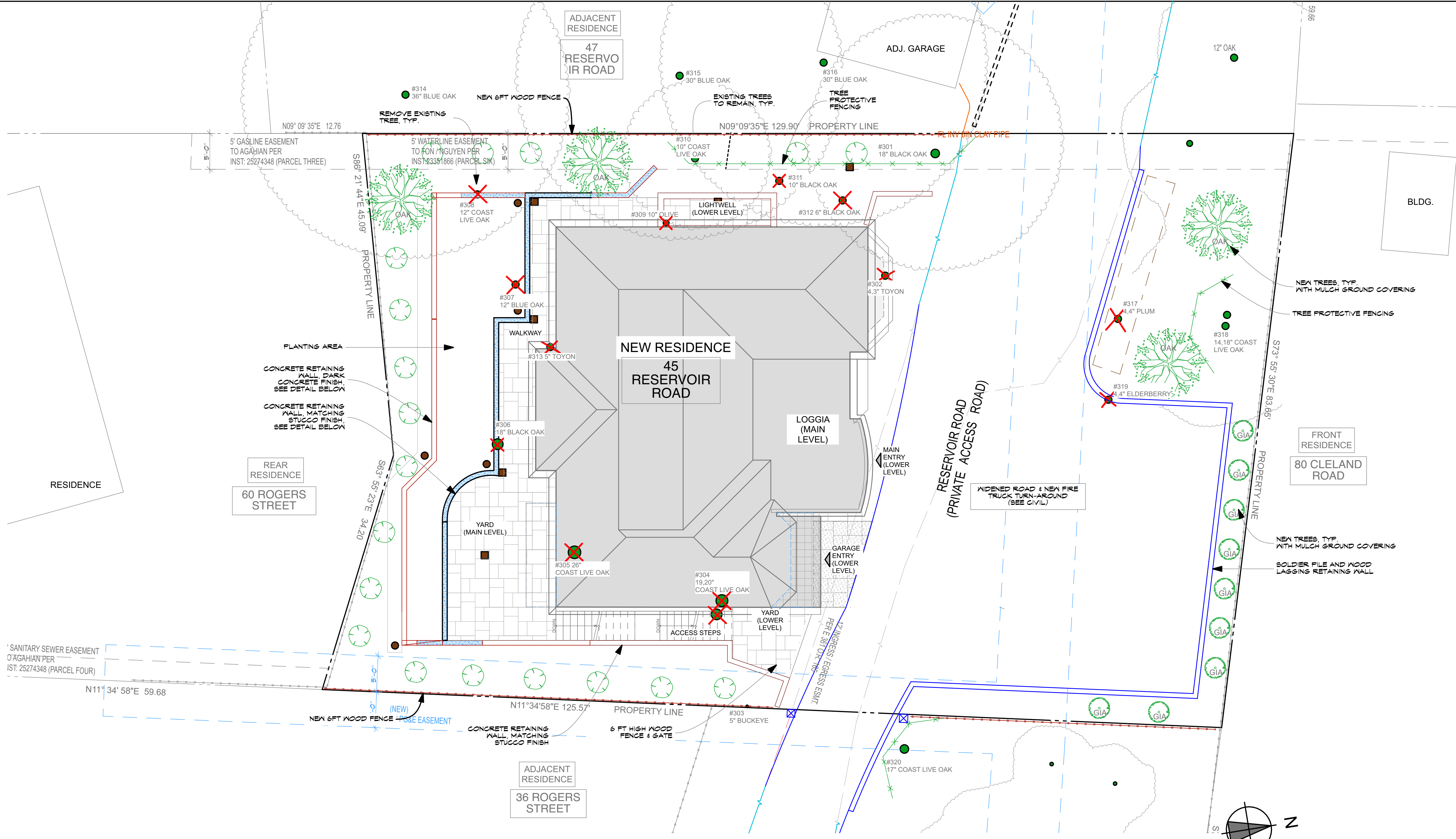
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ARCHITECTURE AND SITE APPLICATION FOR
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LOS GATOS, CA 95030

PRELIMINARY LANDSCAPE PLAN
DATE: 11/08/22
SCALE: AS SHOWN
SHEET
A-5
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- LEGEND**
- DRIVEWAY: STONE PAVEMENT / CONCRETE SLAB
 - WALKWAY, YARD, SITE STAIR: STONE PAVEMENT / CONCRETE SLAB
 - ROAD: ASPHALT PAVING
 - LANDSCAPE AREA W/ MULCH COVER
 - CONCRETE RETAINING WALLS FINISH TO BE SANDBLASTED WITH STAINED CONCRETE, OR SMOOTH STUCCO FINISH, BOTH TO HAVE LRV OF 50 OR LESS.
 - TREE: EXISTING TREE (AND DRIB LINE) TO REMAIN
 - EXISTING TREE TO BE REMOVED
 - (4) OAK
 - (14) BAY LAUREL, PODOCARPUS, OR PITTOSPORUM (WITHIN 50' FROM RESIDENCE)
 - (9) 24 BOX THUJA GREEN GIANT

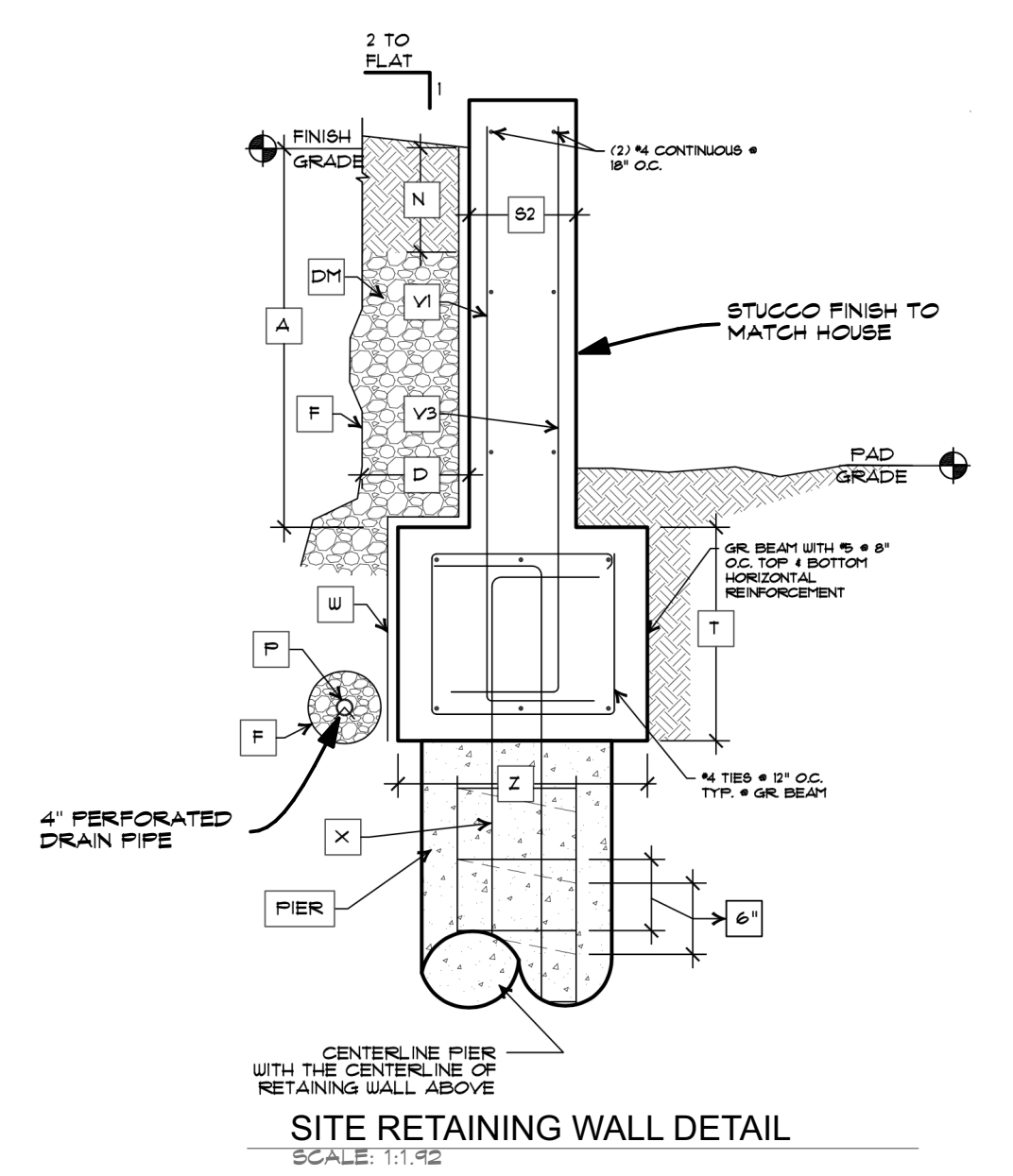
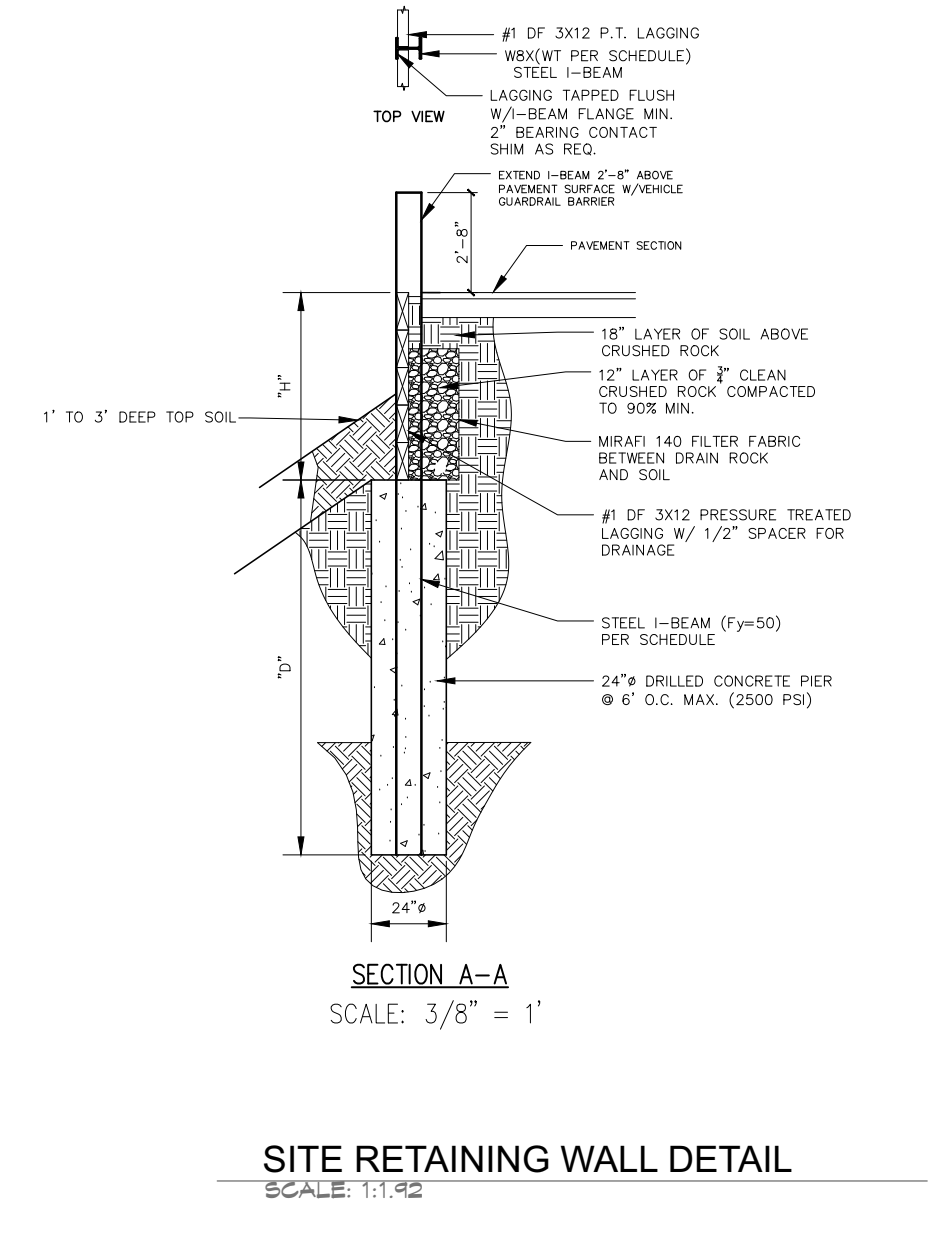
TREE INVENTORY

ID	SPECIES	CANOPY	STATUS	REPLACEMENT
301	BLACK OAK	35'	REMAIN	
302	TOYON	8'	REMAIN	(2) 15 GAL.
303	BUCKEYE	10'	REMAIN	
304	LIVE OAK	35'	REMAIN	(4) 15 GAL.
305	LIVE OAK	35'	REMAIN	(4) 15 GAL.
306	BLACK OAK	25'	REMAIN	(3) 15 GAL.
307	BLUE OAK	20'	REMAIN	(3) 15 GAL.
308	LIVE OAK	20'	REMAIN	(3) 15 GAL.
309	OLIVE	20'	REMAIN	EXEMPT
310	LIVE OAK	20'	REMAIN	
311	BLACK OAK	10'	REMAIN	(2) 15 GAL.
312	BLACK OAK	10'	REMAIN	(2) 15 GAL.
313	TOYON	10'	REMAIN	(2) 15 GAL.
314	BLUE OAK	45'	REMAIN*	
315	BLUE OAK	45'	REMAIN*	
316	BLUE OAK	45'	REMAIN*	
317	PLUM	15'	REMAIN	EXEMPT
318	LIVE OAK	35'	REMAIN	
319	ELDERBERRY	15'	REMAIN	EXEMPT (neighbor's property)
320	LIVE OAK	35'	REMAIN*	

TOTAL REPLACEMENT TREES = (25) 24" BOX.

* INDICATES TREES LOCATED ON ADJACENT PROPERTIES.

PRELIMINARY LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



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LOWER LEVEL FLOOR PLAN

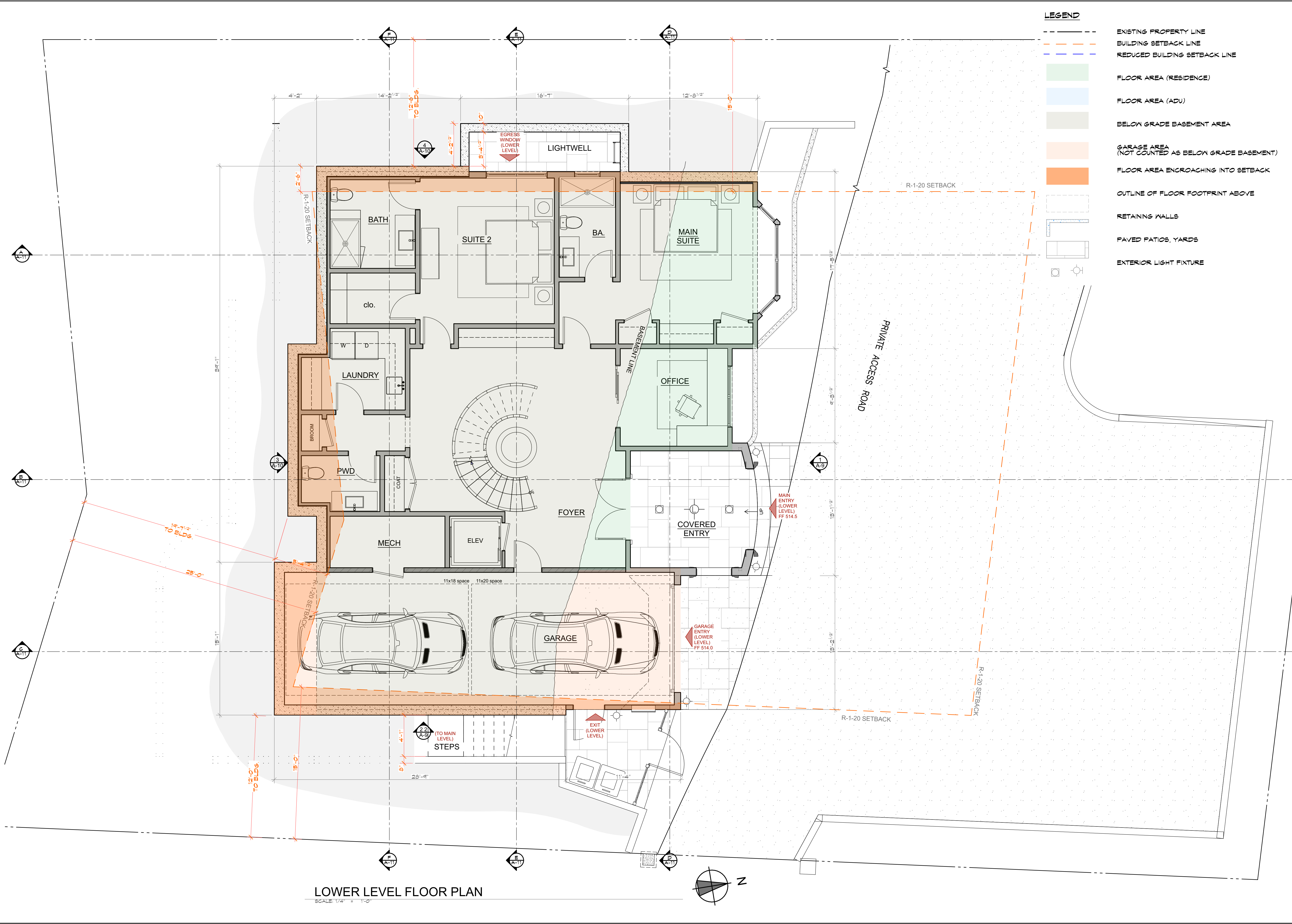
DATE: 11/08/22

SCALE: AS SHOWN

SHEET
A-6
 6 OF -

LEGEND

- EXISTING PROPERTY LINE
- BUILDING SETBACK LINE
- REDUCED BUILDING SETBACK LINE
- FLOOR AREA (RESIDENCE)
- FLOOR AREA (ADU)
- BELOW GRADE BASEMENT AREA
- GARAGE AREA (NOT COUNTED AS BELOW GRADE BASEMENT)
- FLOOR AREA ENCROACHING INTO SETBACK
- OUTLINE OF FLOOR FOOTPRINT ABOVE
- RETAINING WALLS
- PAVED PATIOS, YARDS
- EXTERIOR LIGHT FIXTURE



LOWER LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

REVISIONS

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MAIN LEVEL FLOOR PLAN

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SCALE: AS SHOWN

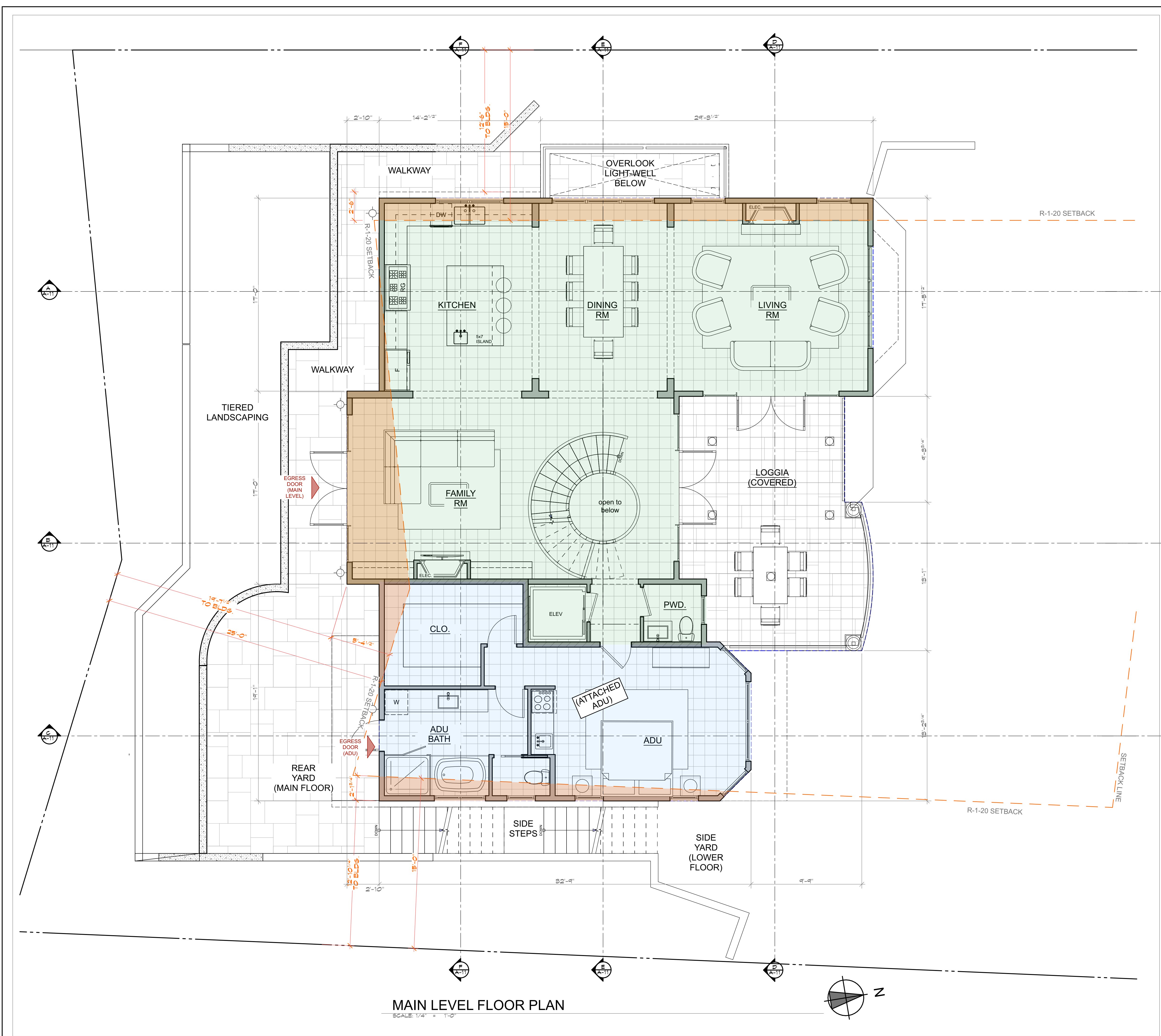
SHEET

A-7

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LEGEND

- EXISTING PROPERTY LINE
- BUILDING SETBACK LINE
- REDUCED BUILDING SETBACK LINE
- FLOOR AREA (RESIDENCE)
- FLOOR AREA (ADU)
- BELOW GRADE BASEMENT AREA
- GARAGE AREA (NOT COUNTED AS BELOW GRADE BASEMENT)
- FLOOR AREA ENCROACHING INTO SETBACK
- OUTLINE OF FLOOR FOOTPRINT ABOVE
- RETAINING WALLS
- PAVED PATIOS, YARDS
- EXTERIOR LIGHT FIXTURE



MAIN LEVEL FLOOR PLAN
 SCALE: 1/4" = 1'-0"

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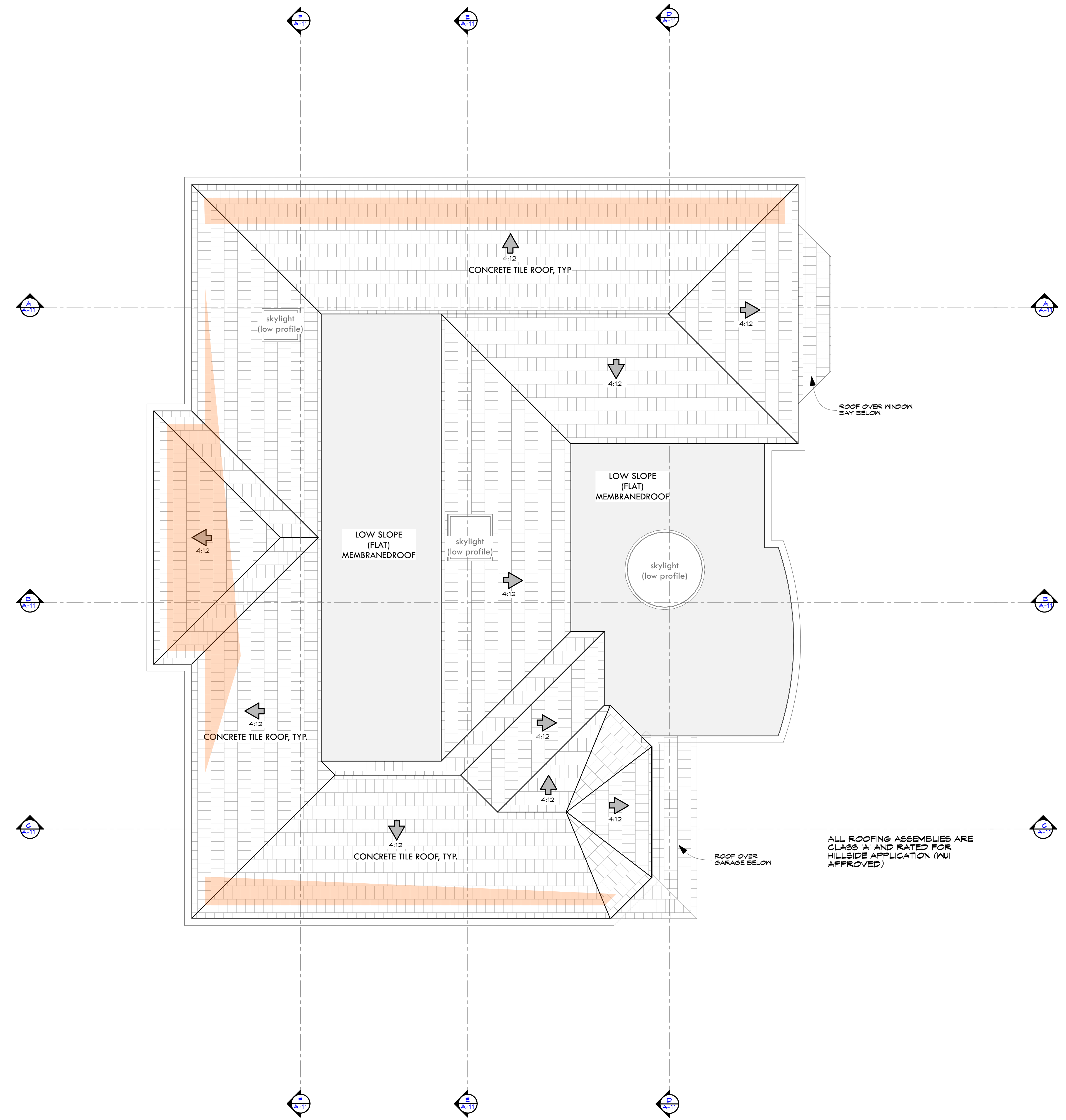


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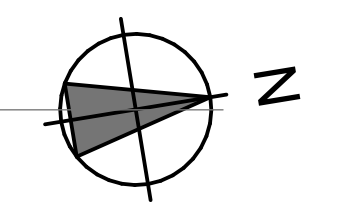
ROOF PLAN

DATE: 11/08/22
 SCALE: AS SHOWN

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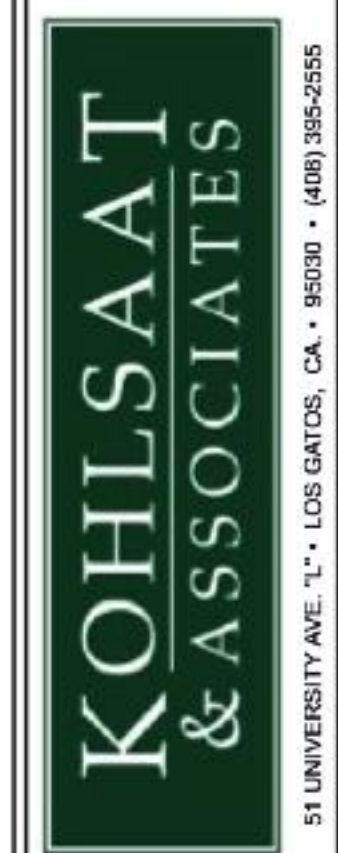


ROOF PLAN
 SCALE: 1/4" = 1'-0"



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REV.	9.25.24



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ELEVATIONS

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

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NORTH (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"

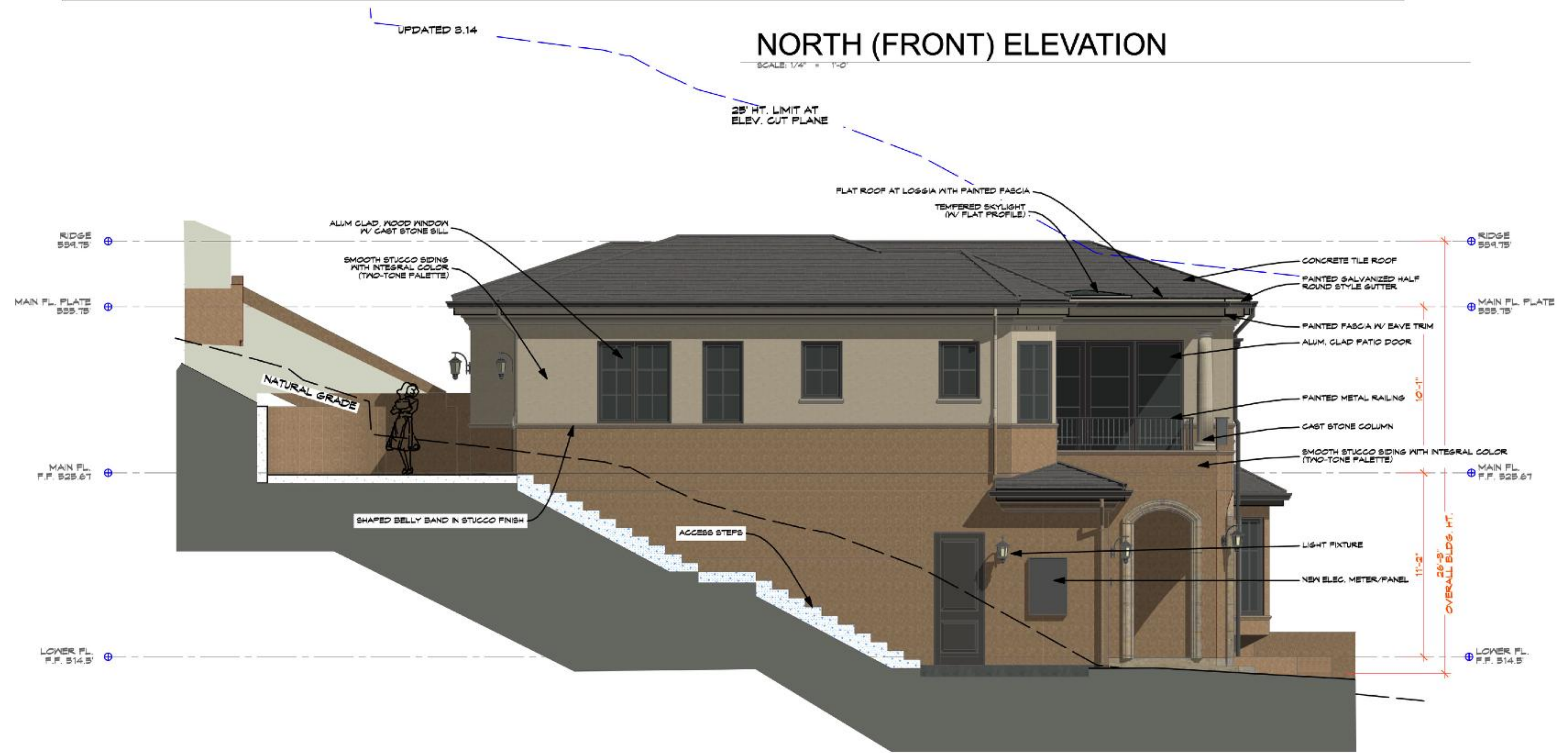
Front Elevation

Material	Area	Specification	LRV	LRV x Area
Stucco-Lighter	206	EM-Huntington Beige HC-21	40	8240
Stucco-Darker	419	EM-Free Spirit 245	24.4	10223.6
Gutters	35	EM-Kendall Charcoal	15	525
Cast Stone	26	Siena Stone-Oatmeal	50	1300
D/W Frames	196	Fleetwood-Black Anodized	3.3	646.8
Total =	882		Total =	20935.4
			LRV =	23.75623

Left Elevation

Material	Area	Specification	LRV	LRV x Area
Stucco-Lighter	225	EM-Huntington Beige HC-21	40	9000
Stucco-Darker	426	EM-Free Spirit 245	24.4	10394.4
Gutters	25	EM-Kendall Charcoal	15	375
Cast Stone	18	Siena Stone-Oatmeal	50	900
D/W Frames	70	Fleetwood-Black Anodized	3.3	231
Total =	764		Total =	20900.4
			LRV =	27.35654

AVERAGE LRV CALCULATIONS



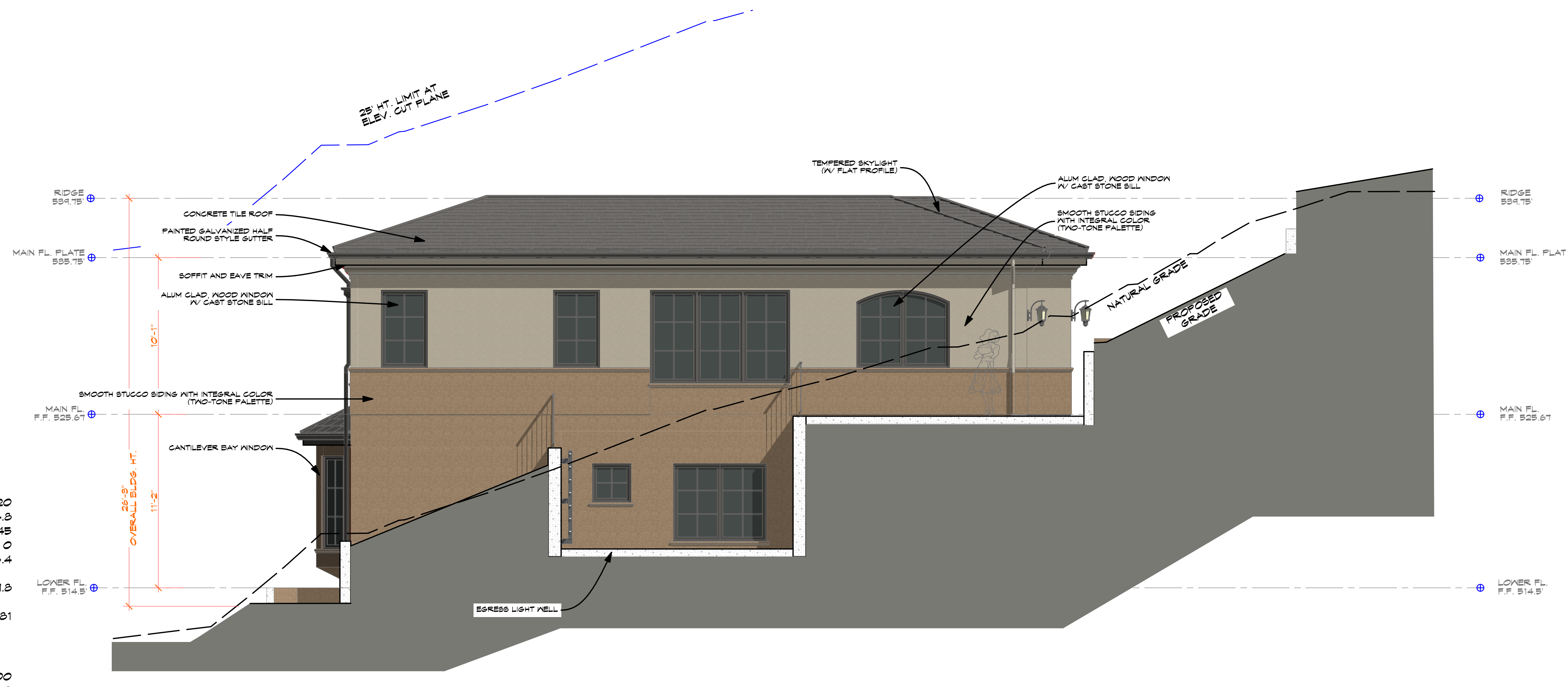
EAST (LEFT) ELEVATION
 SCALE: 1/4" = 1'-0"

REVISIONS

REV.	7.30.24
REV.	9.25.24
REV.	10.29.24



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030



WEST (RIGHT) ELEVATION
 SCALE: 1/4" = 1'-0"

Rear Elevation

Stucco-Lighter	293	EM-Huntington Biege HC-21	40	11720
Stucco-Darker	117	EM-Free Spirit 245	24.4	2854.8
Gutters	23	EM-Kendall Charcoal	15	345
Cast Stone		Siena Stone-Oatmeal	50	0
D/M Frames	33	Fleetwood-Black Anodized	3.3	125.4
Total =	433			14919.8
				LRV = 34.45631

Right Elevation

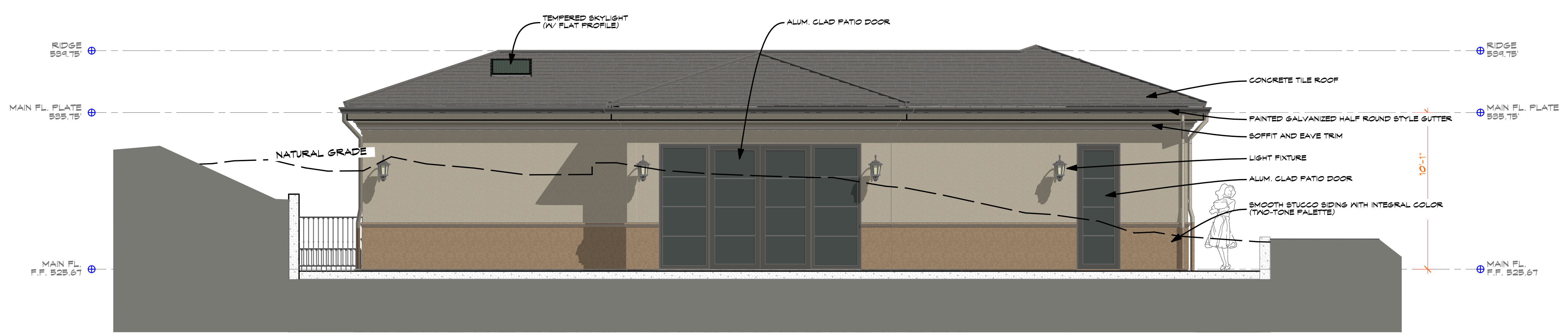
Stucco-Lighter	225	EM-Huntington Biege HC-21	40	9000
Stucco-Darker	312	EM-Free Spirit 245	24.4	7612.8
Gutters	21	EM-Kendall Charcoal	15	315
Cast Stone	0	Siena Stone-Oatmeal	50	0
D/M Frames	43	Fleetwood-Black Anodized	3.3	153.4
Total =	559			16927.8
				LRV = 30.33656

Total Average LRV

Front Elevation	23.7
Left Elevation	27.4
Rear Elevation	34.5
Right Elevation	30.3
	116
Average LRV =	29

AVERAGE LRV CALCULATIONS

SCALE: 1/8" = 1'-0"



SOUTH (REAR) ELEVATION
 SCALE: 1/4" = 1'-0"

ELEVATIONS

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

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REVISIONS	
REV	7.30.24
REV	9.25.24
REV	10.29.24

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ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

SECTIONS

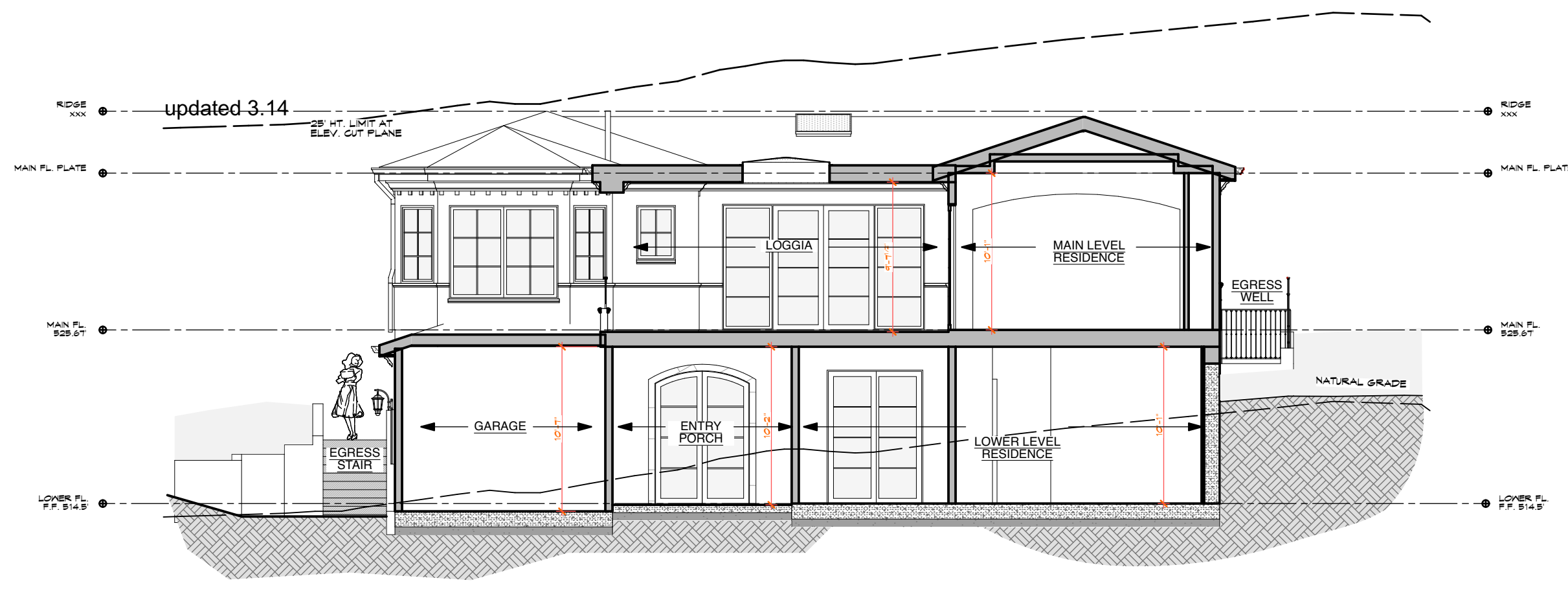
DATE: 11/08/22

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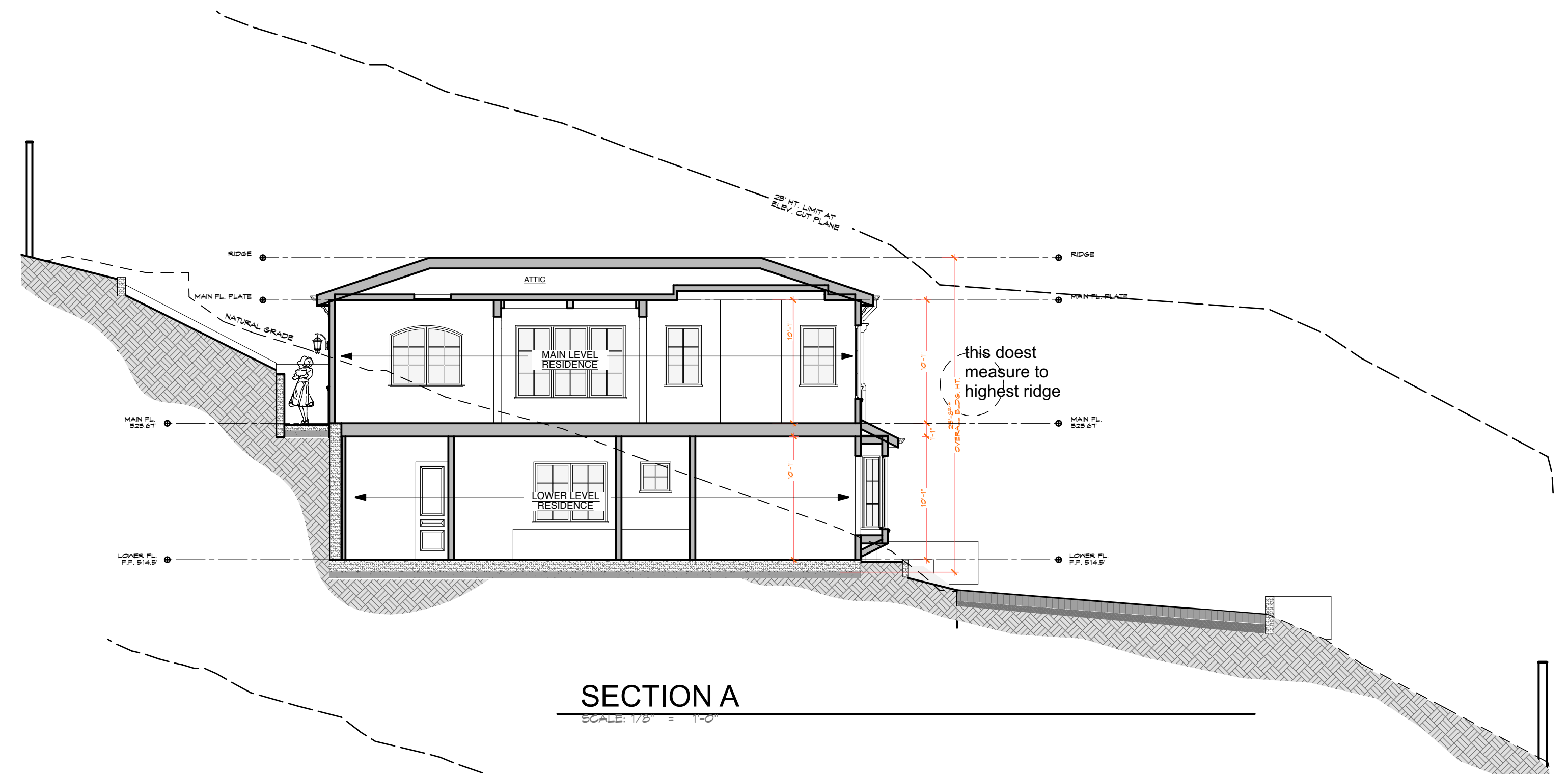
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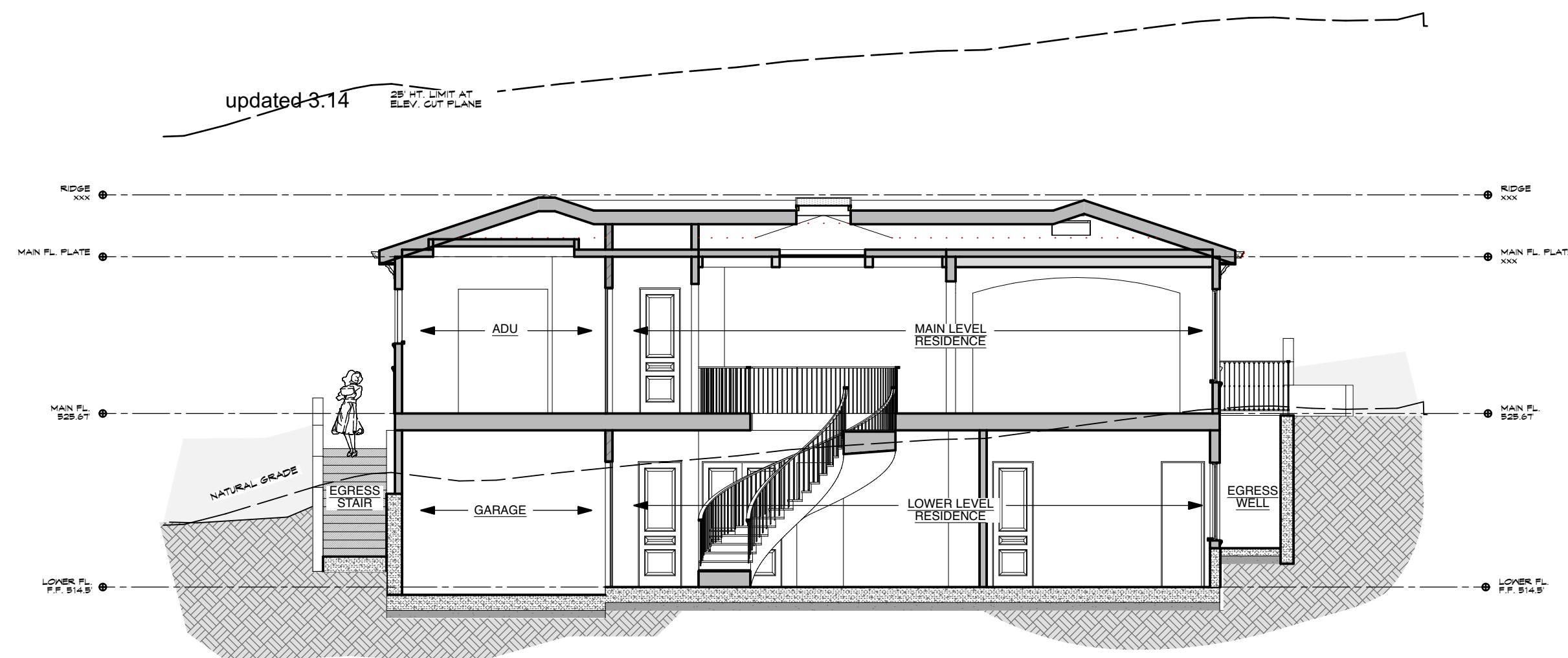
11 OF -



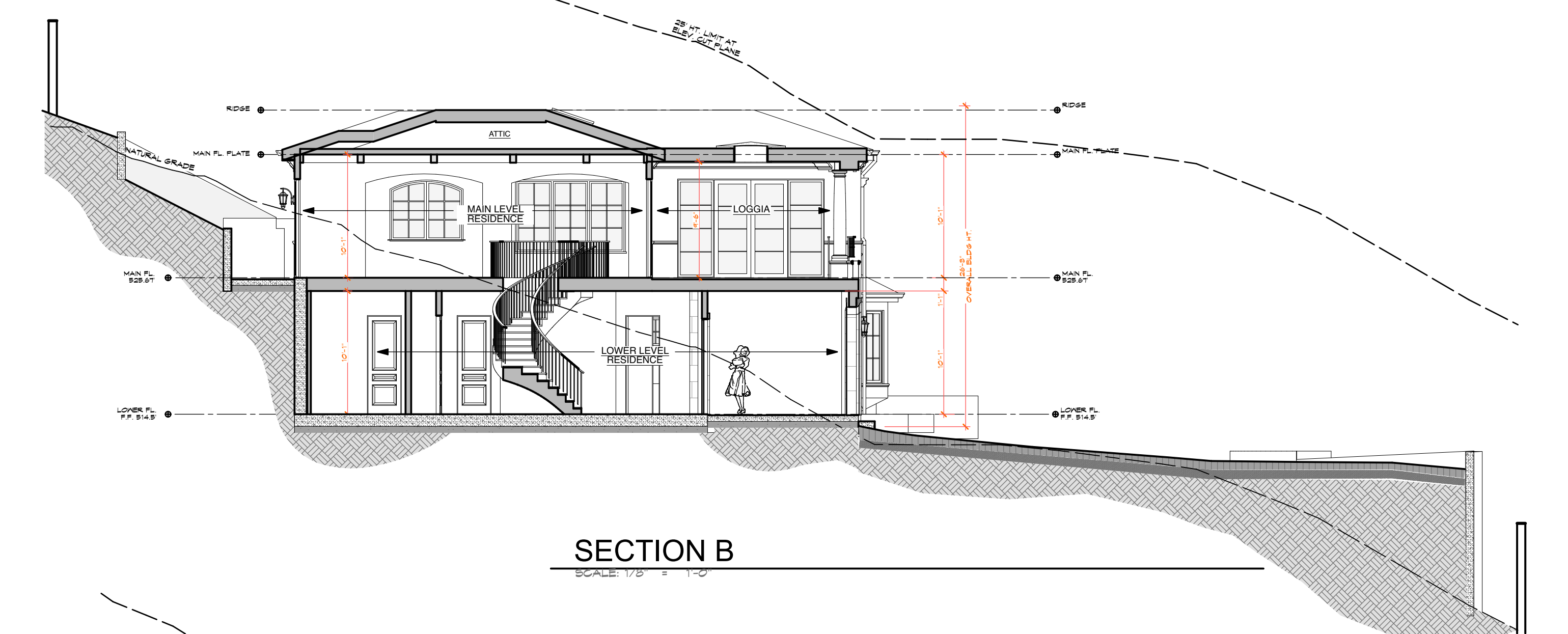
SECTION D
SCALE: 1/8" = 1'-0"



SECTION A
SCALE: 1/8" = 1'-0"



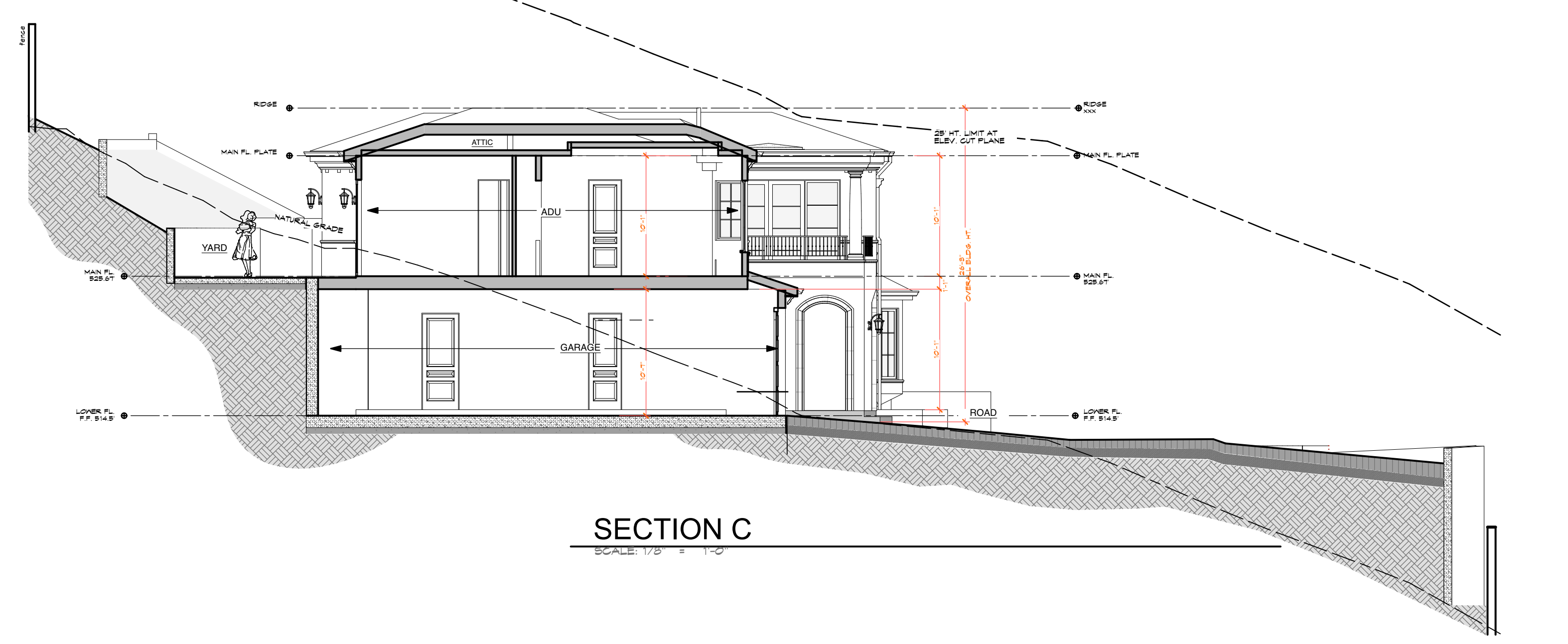
SECTION E
SCALE: 1/8" = 1'-0"



SECTION B
SCALE: 1/8" = 1'-0"



SECTION F
SCALE: 1/8" = 1'-0"



SECTION C
SCALE: 1/8" = 1'-0"



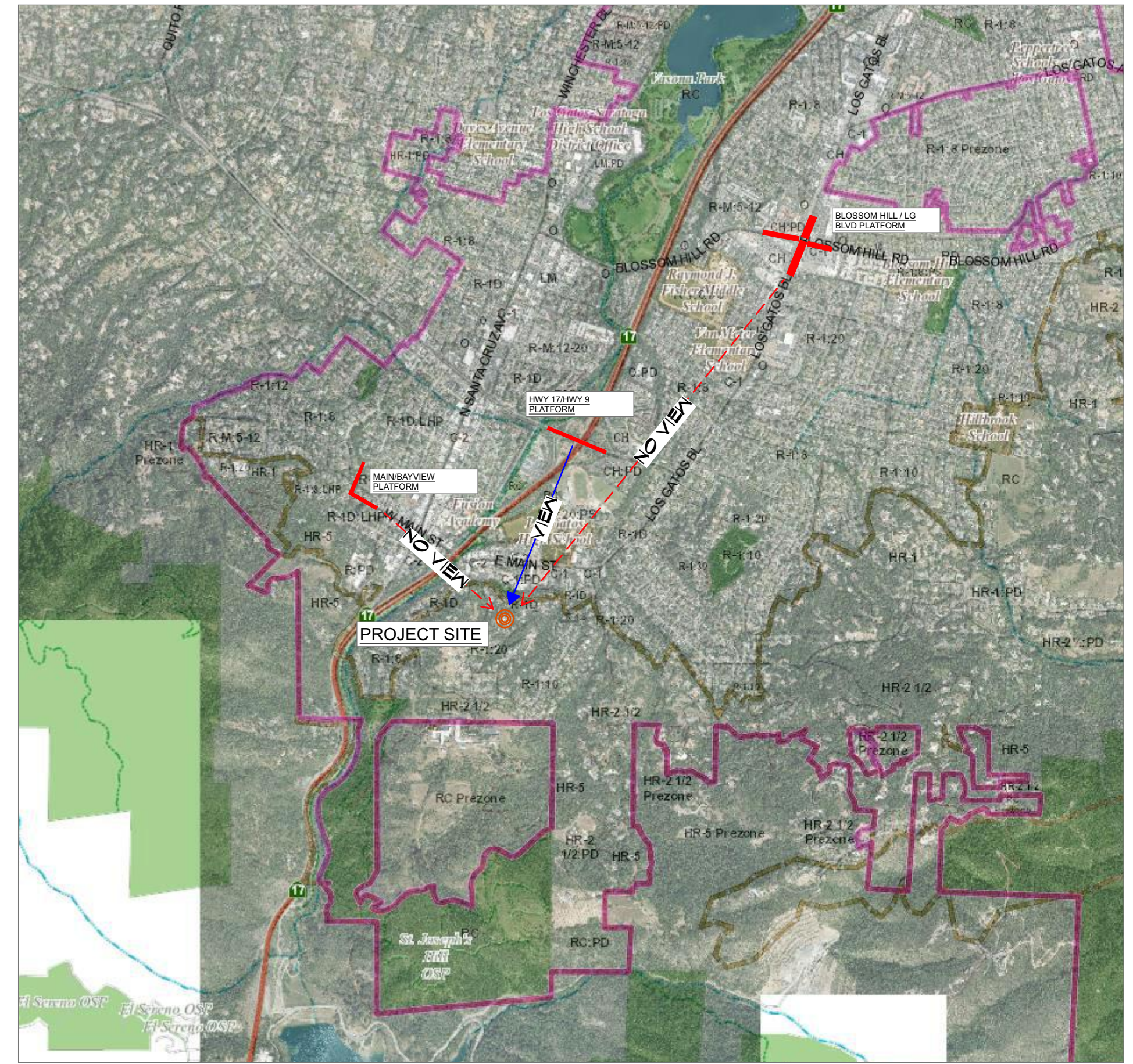
PHOTO TAKEN WITH 50MM LENS

REPRESENT THE VISIBILITY OF THE PROPOSED RESIDENCE FROM THE NAKED EYE



PHOTO TAKEN WITH 300MM LENS

REPRESENT AN UP-CLOSE PERSPECTIVE TO IDENTIFY VISIBLE STORY POLES, NETTING, TREES AND/OR SHRUBBERY.



MAP

SHOWING PROJECT SITE IN RELATIONSHIP TO VIEWING PLATFORMS

REQUIREMENT

CONDUCT A VISIBILITY ANALYSIS AS REQUIRED BY THE HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES FOR PROJECTS WITH THE POTENTIAL FOR BEING VISIBLE FROM ANY ESTABLISHED VIEWING AREA.

OBSERVATION LOCATIONS

BLOSSOM HILL/LG BLVD	VERIFIED, NO VIEW TO PROJECT SITE, STRUCTURE NOT VISIBLE
MAIN & BAYVIEW	VERIFIED, NO VIEW TO PROJECT SITE, STRUCTURE NOT VISIBLE
SELINDA WAY & LG ALMADEN ROAD	TOO FAR, NO VIEW TO PROJECT SITE
HAY 17 & HAY 9	VIEW TO PROJECT SITE, SEE ANALYSIS BELOW

METHOD

1. USING PRELIMINARY PARTIAL STORY POLES* AND ORANGE NETTING TO CALL OUT CRITICAL HEIGHTS AND BUILDING CORNERS.
2. PHOTOGRAPHS OF THE STORY POLES WERE TAKEN USING 50MM AND 300MM LENSES.
3. SEE PHOTOS FOR RESULTS AND ANALYSIS.

* CERTIFIED, COMPLETE STORY POLES COMPLIANT TO TOWN'S STANDARDS WILL BE INSTALLED AT LATER DATE.

ANALYSIS RESULTS

3 OUT OF 4 ELEVATIONS OF THE PROPOSED HOME ARE NOT VISIBLE TO THE VIEWING PLATFORM.

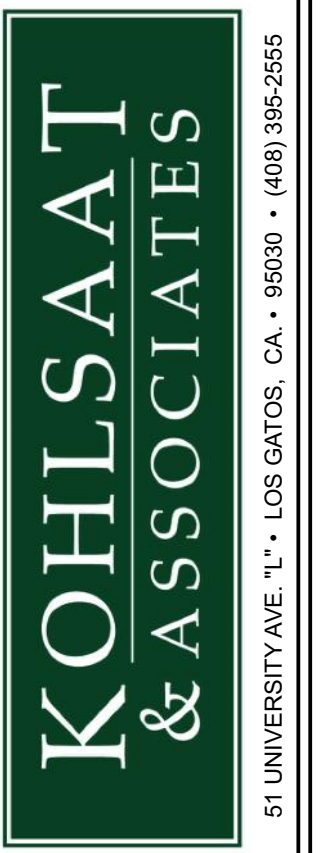
PART OF THE FRONT ELEVATION IS SHOWN TO BE PARTIALLY VISIBLE TO THE VIEWING PLATFORM, THE RATIO BETWEEN VISIBLE PART VS. NON-VISIBLE PART IS 22 : 78.

ADU PORTION OF THE RESIDENCE IS EXCLUDED FROM THE VISIBILITY CALCULATION.

PLANNING CONSIDERATIONS TO MINIMIZE VISIBILITY OF PROPOSED HOME

1. MINIMIZE BUILDING WIDTH ON VISIBLE SIDE OF THE LOT.
2. EMPLOY TIERED BUILDING CONFIGURATION, FOLLOWING THE HILLSIDE NATURAL CONTOUR.
3. USE OF AN AVERAGE LRV BELOW 30 FOR EXTERIOR FINISHES INCLUDING: ROOF COVERING, WALL SIDING AND EXTERIOR TRIM.
4. SITE PLANNING TO PRESERVE EXISTING MATURE TREES, WHICH PROVIDE SUBSTANTIAL SCREENING OF HOME.

REVISIONS	
REV.	7.30.24
REV.	9.25.24
REV.	10.29.24



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VISIBILITY STUDY

DATE: 11/08/22

SCALE: AS SHOWN

SHEET

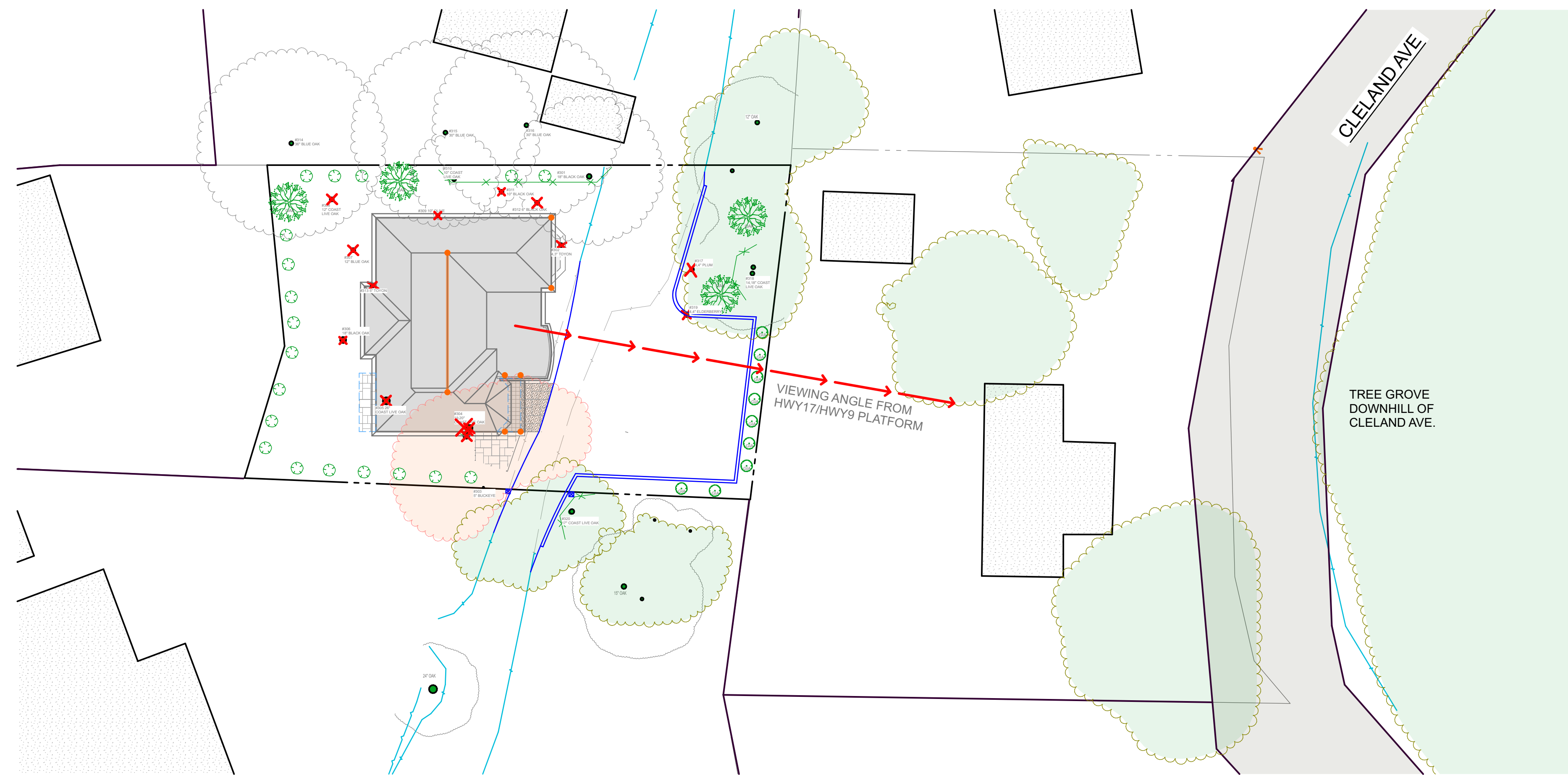
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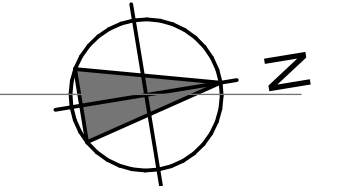
REVISIONS	
REV.	7.30.24
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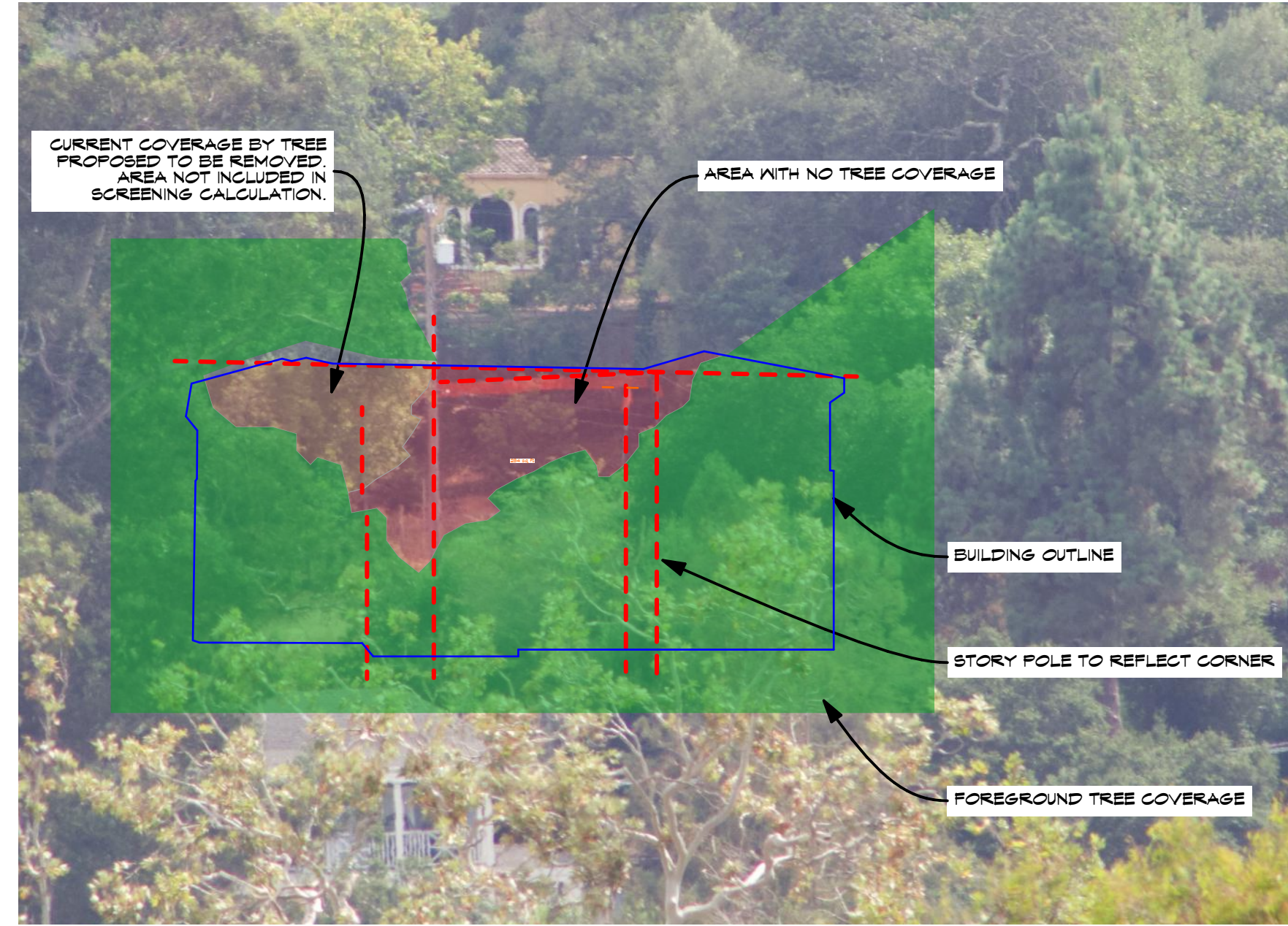
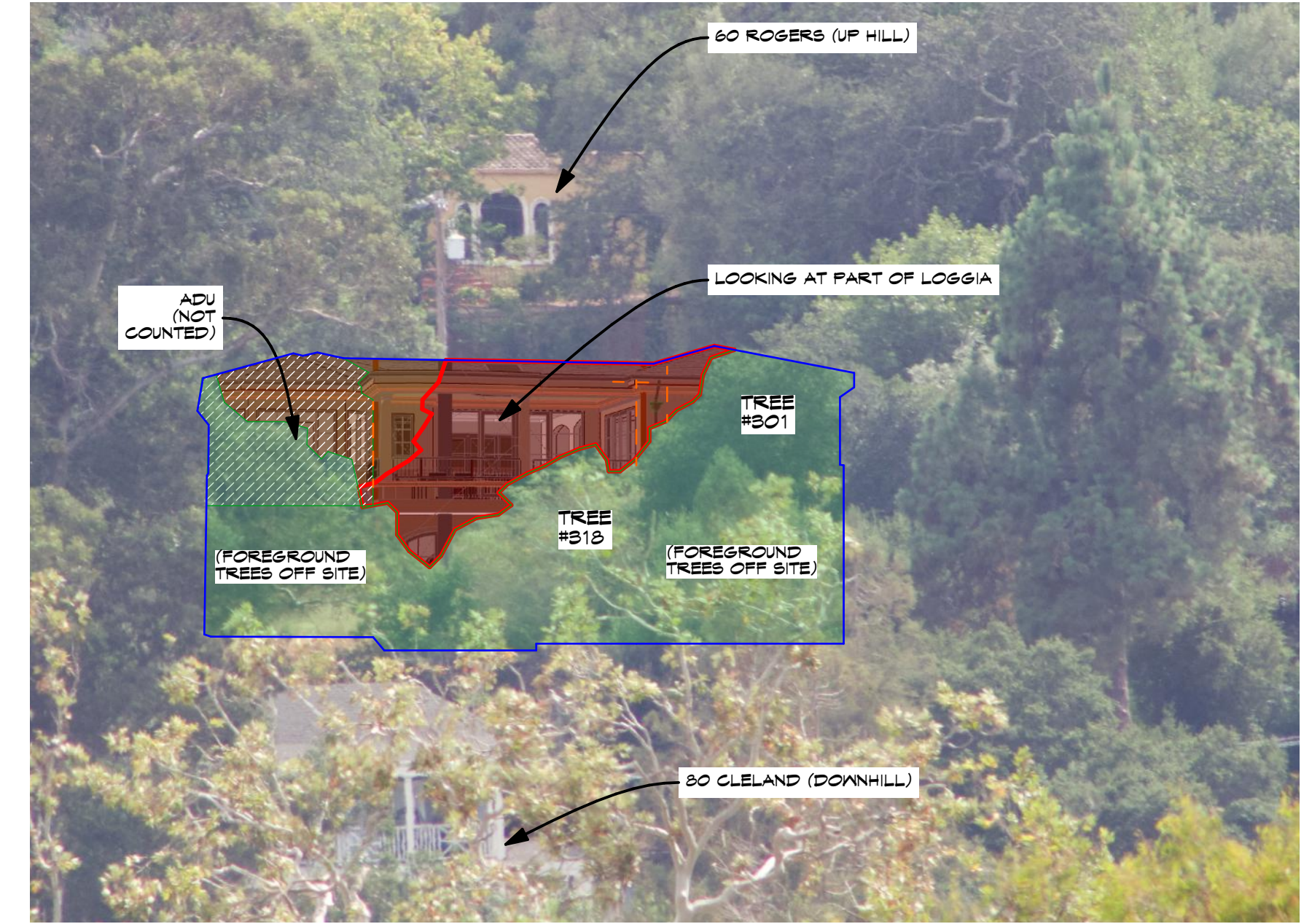
ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030



SITE PLAN
 SCALE: 1" = 20'



ANALYSIS RESULT:
 RED SHADED AREA INDICATED VISIBLE AREA.
 ORANGE AREA INDICATES AREA NOW VISIBLE DUE TO TREE REMOVAL.
 (ADU EXCLUDED FROM CALCULATIONS)
 THE TOTAL VISIBLE PART EQUALS TO 22% OF THE ELEVATION.
 NO OTHER SIDE OF THE HOUSE IS VISIBLE.



TREE COVERAGE AND BUILDING VISIBILITY ANALYSIS

VISIBILITY STUDY

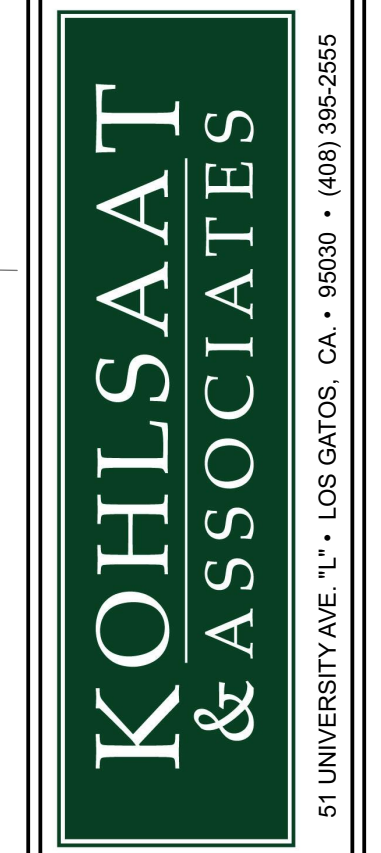
DATE: 11/08/22
 SCALE: AS SHOWN

SHEET

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REVISIONS	
REV	7.30.24
REV	9.25.24
REV	10.29.24



ARCHITECTURE AND SITE APPLICATION FOR
THE AGAHIAN RESIDENCE
 45 RESERVOIR ROAD LOS GATOS, CA 95030

SHADOW STUDIES

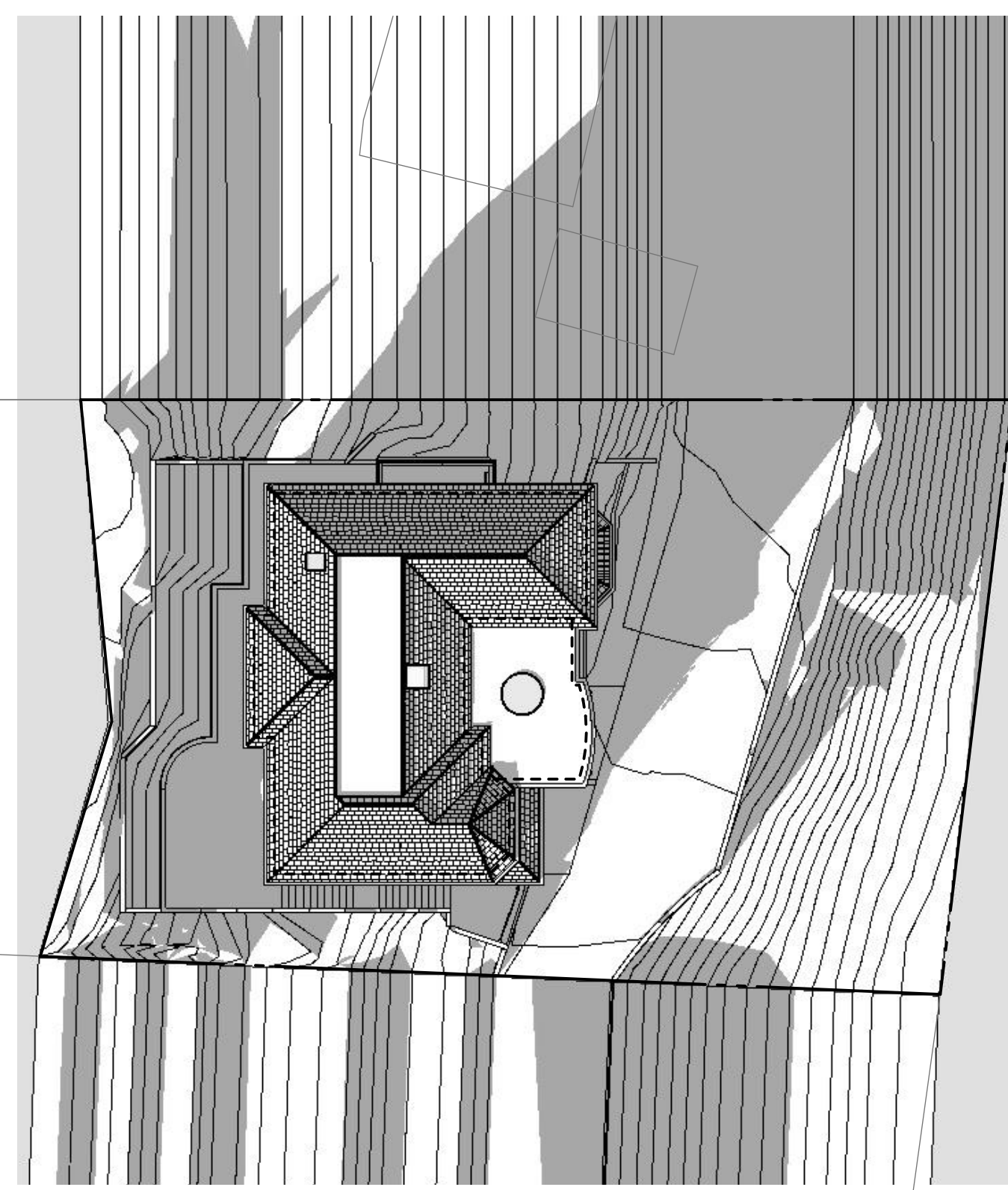
DATE: 11/08/22

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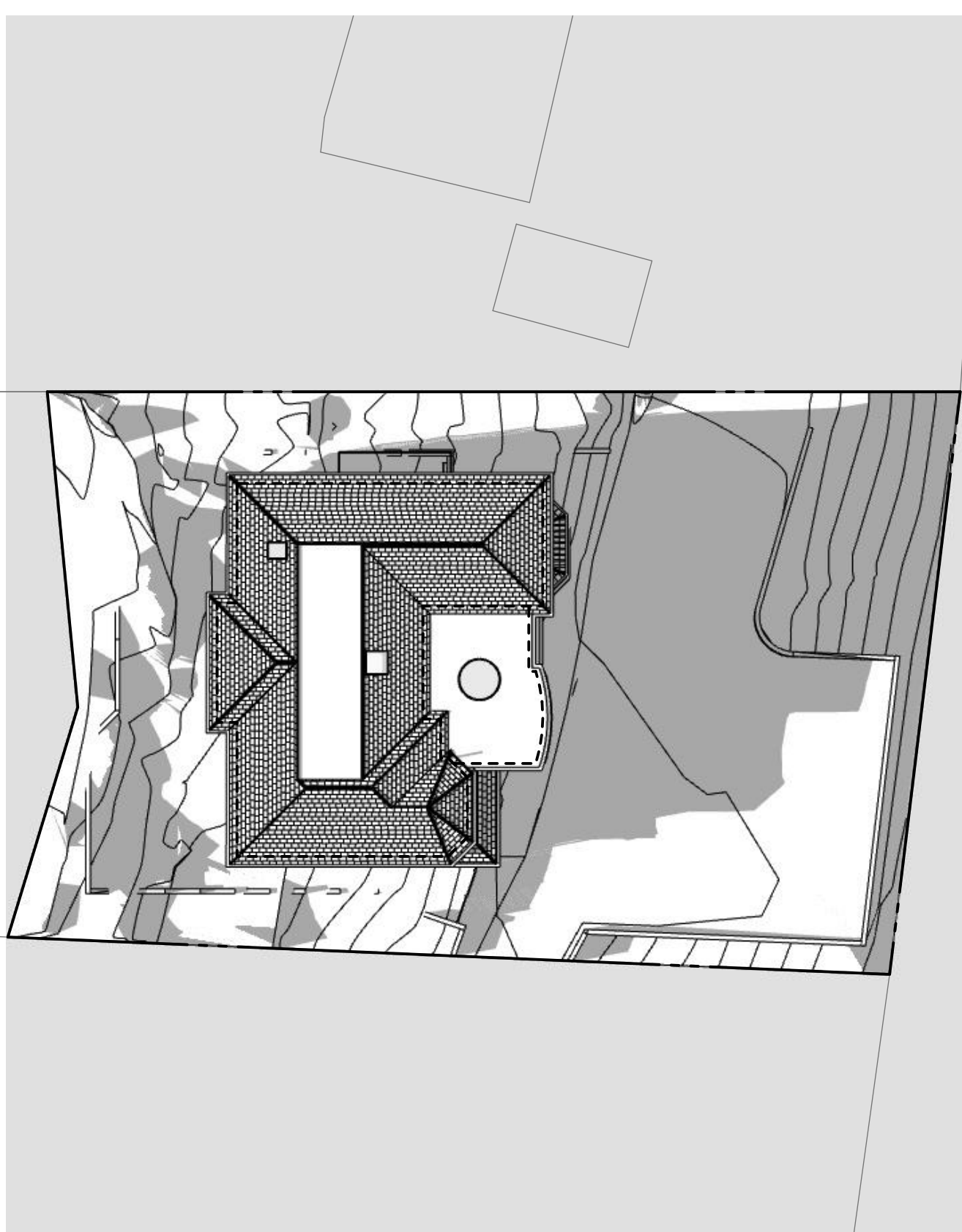
SHEET

A-14

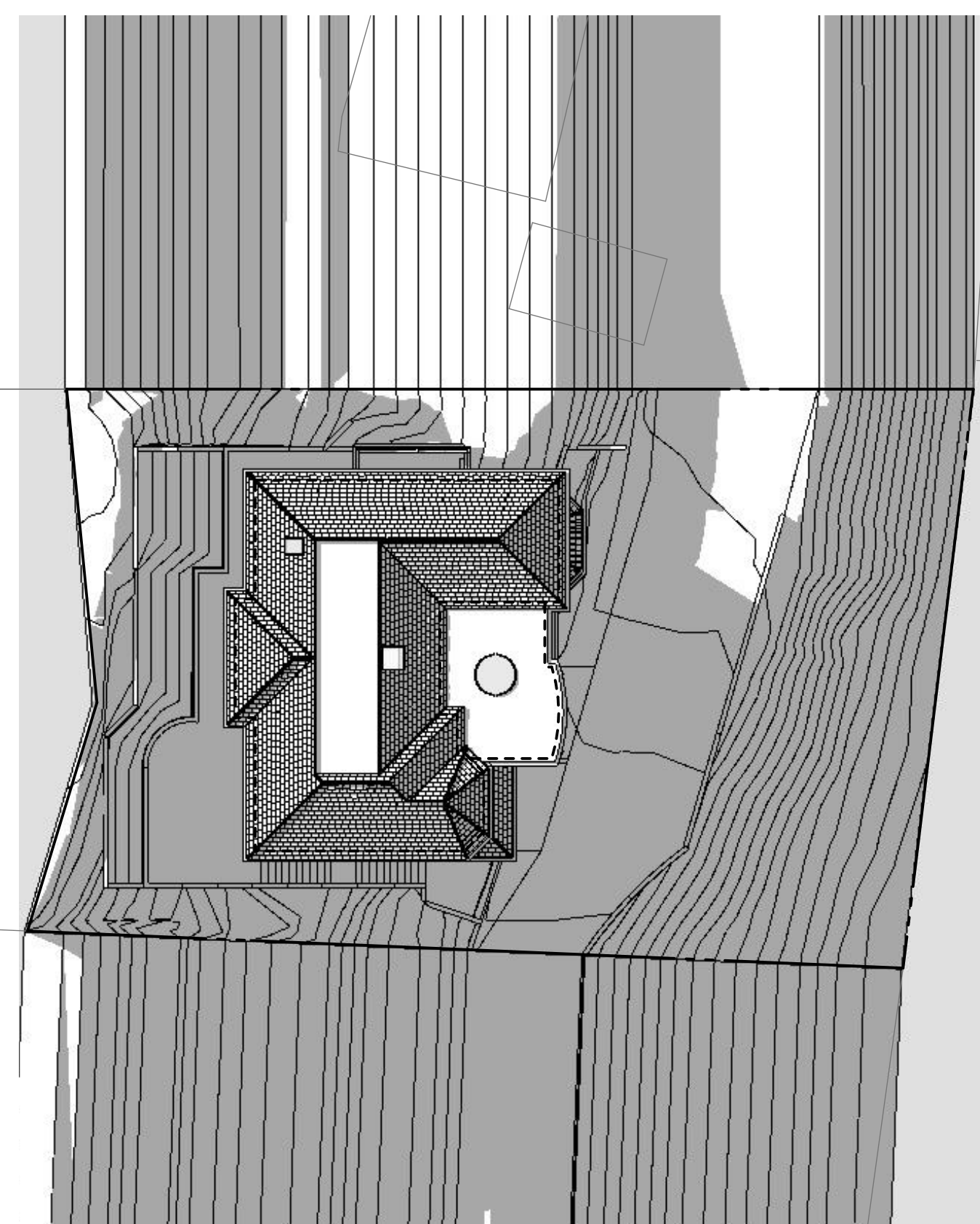
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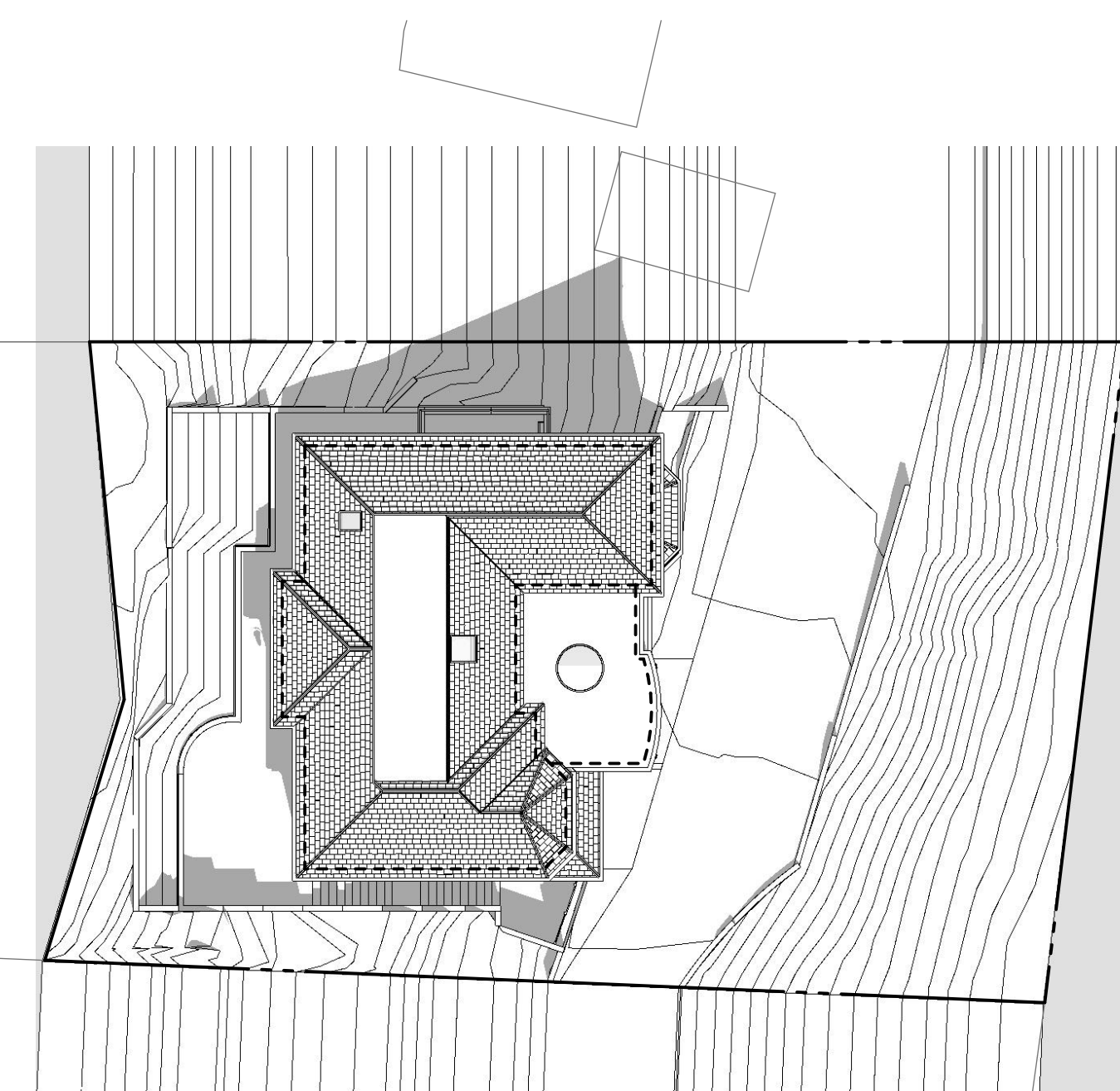
Dec 21, 9am
SCALE: 1" = 20'-0"



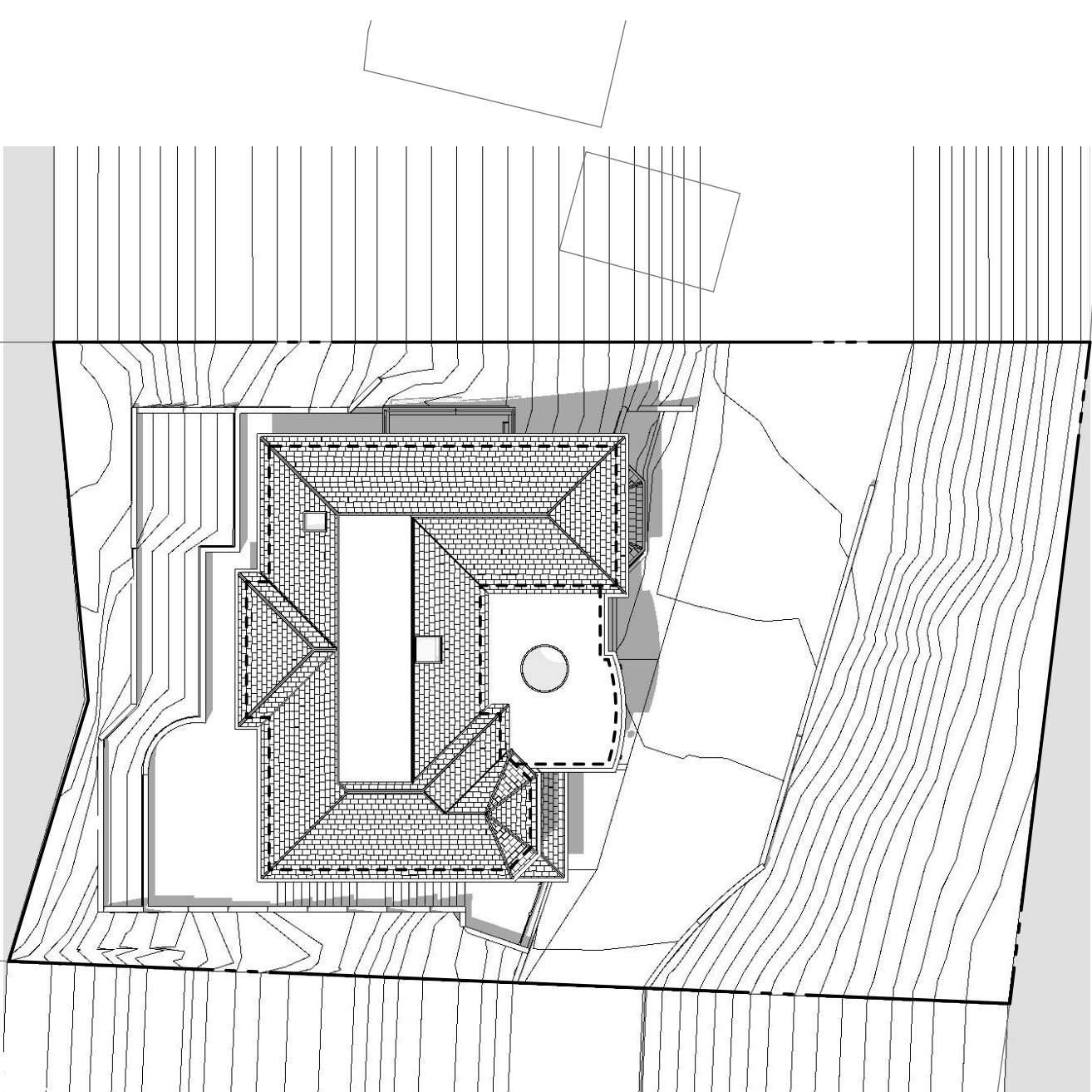
Dec 21, 12pm
SCALE: 1" = 20'-0"



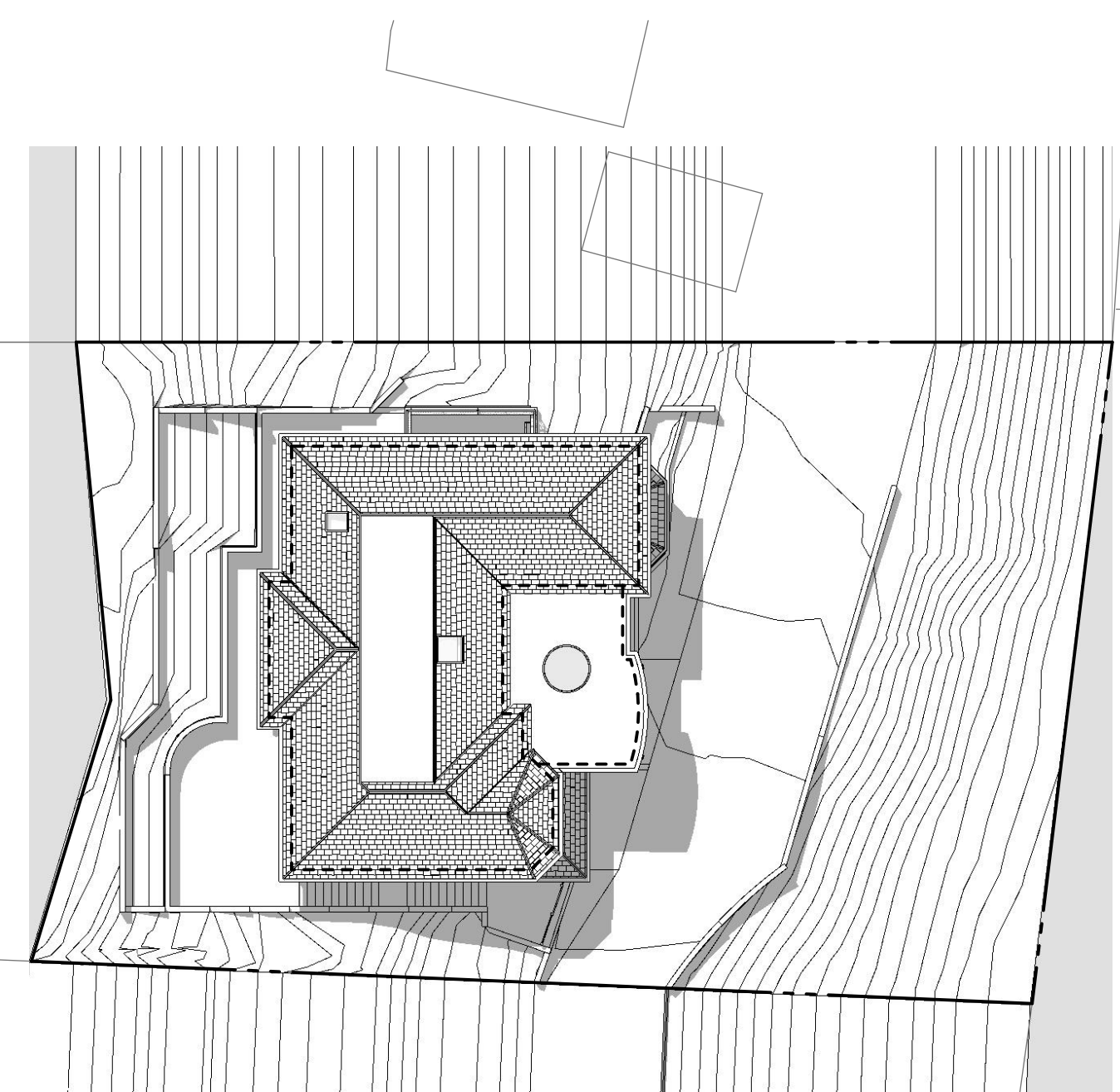
Dec 21, 3pm
SCALE: 1" = 20'-0"



June 21, 9am
SCALE: 1" = 20'-0"



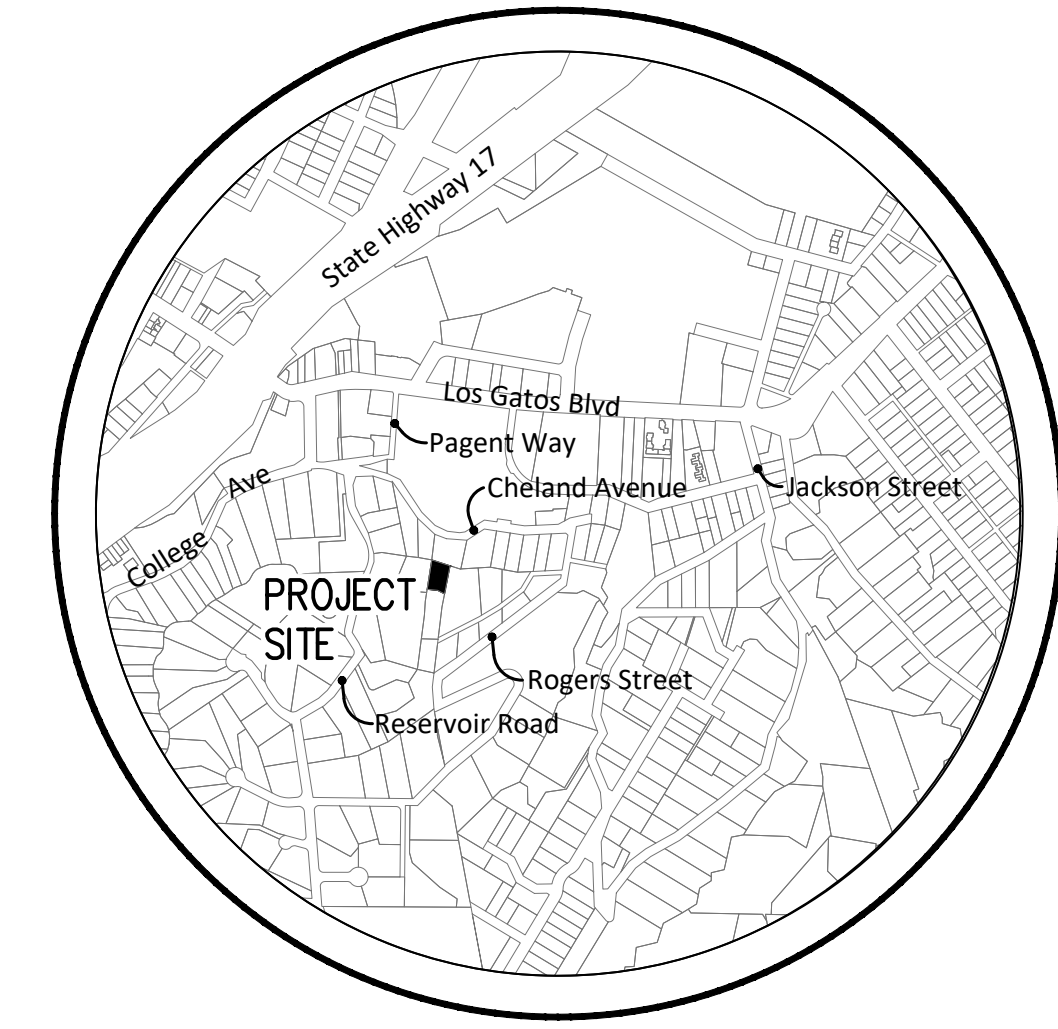
June 21, 12pm
SCALE: 1" = 20'-0"



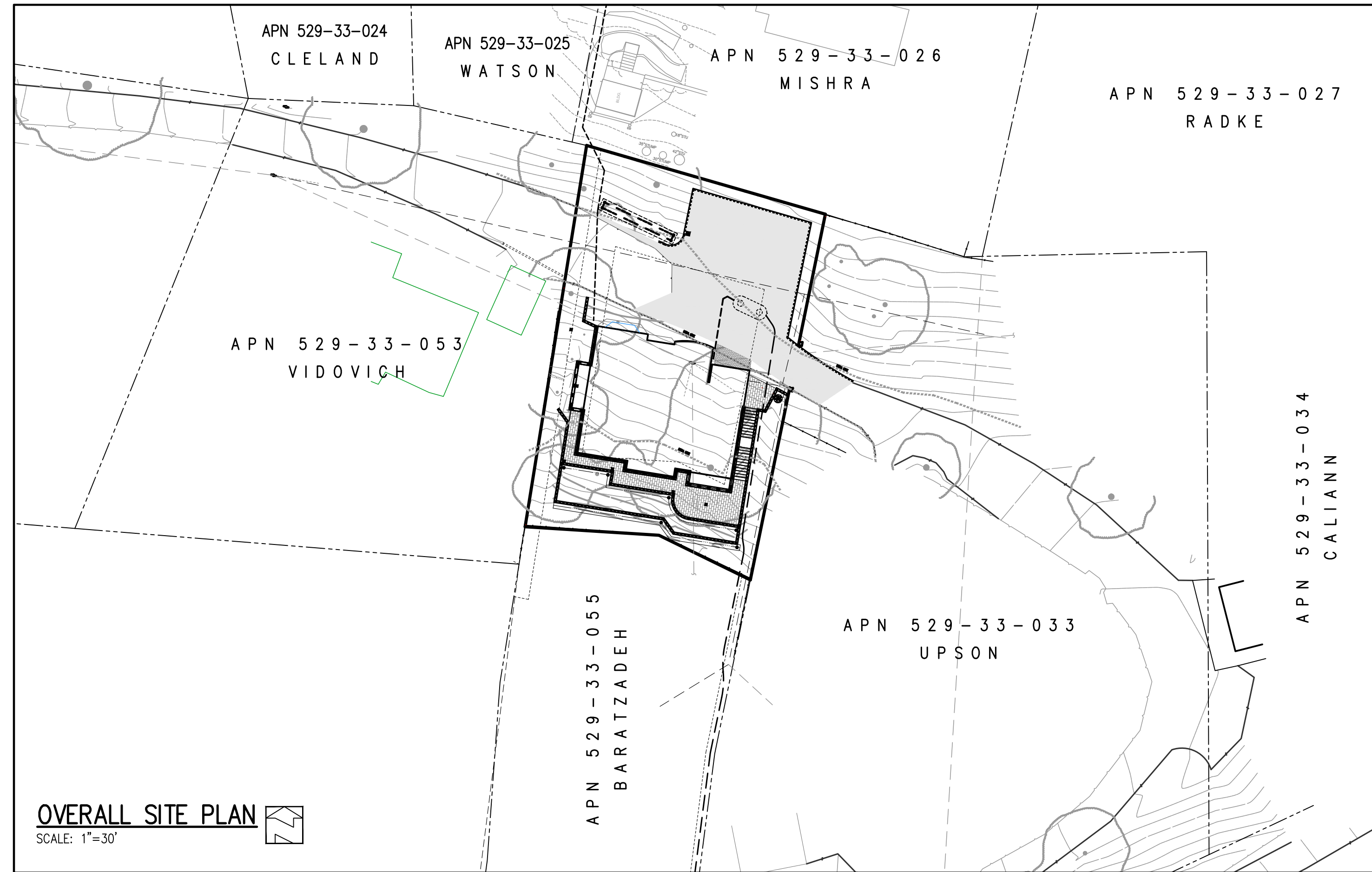
June 21, 3pm
SCALE: 1" = 20'-0"

PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS

TOWN OF LOS GATOS
ARCHITECTURAL & SITE APPLICATION NO. S-22-048



VICINITY MAP



OVERALL SITE PLAN
SCALE: 1"=30'

SHEET INDEX

- TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- GRADING & DRAINAGE PLAN
- UTILITY PLAN
- CROSS SECTIONS & DETAILS
- EROSION CONTROL PLAN

GRADING QUANTITIES			
SITE ELEMENT	CUT	FILL	HEIGHT
RESIDENCE	882± C.Y.	0± C.Y.	18.8'±/0'±
DRIVEWAY	15± C.Y.	283± C.Y.	1.0'±/15.5'±
YARD	510± C.Y.	65± C.Y.	8.2'±/6'±
TOTAL	1,407± C.Y.	348± C.Y.	

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS				
TOTAL SITE AREA:	TOTAL SITE AREA DISTURBED:	8,188 SF		
9,973 SF	(INCLUDING CLEARING, GRADING OR EXCAVATING)			
	EXISTING AREA (SF)	PROPOSED AREA (SF)	TOTAL AREA	POST-PROJECT (SF)
		REPLACED	NEW	
IMPERVIOUS AREA	3,884 SF	3,884 SF	2,401 SF	6,285 SF
TOTAL NEW & REPLACED IMPERVIOUS AREA			6,285 SF	
PERVIOUS AREA	6,089 SF		1,448 SF	3,688 SF

ABBREVIATIONS

AB	AGGREGATE BASE	GA	GAUGE	R/W	RIGHT-OF-WAY
AC	ASPHALT CONCRETE	GB	GRADE BREAK	(S)	SOUTH
AD	AREA DRAIN	GM	GAS METER	S	SLOPE
ARV	AIR RELEASE VALVE	GS	GAS SERVICE	SCC	SANTA CLARA COUNTY
BC	BACK OF CURB	HDPE	HIGH-DENSITY POLYETHYLENE	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
BFP	BACKFLOW PREVENTER	HP	HIGH POINT	SD	STORM DRAIN
BW	BOTTOM OF WALL	IEE	INGRESS/EGRESS EASEMENT	SDCO	STORM DRAIN CLEANOUT
CATV	CABLE TELEVISION	IN	INCH	SDE	STORM DRAIN EASEMENT
CB	CATCH BASIN	INV	INVERT ELEVATION	SDMH	STORM DRAIN MANHOLE
CFS	CUBIC FEET PER SECOND	LAT	LATERAL	SDR	STANDARD DIMENSION RATIO
C/L	CENTERLINE	LG	LIP OF GUTTER	SF	SQUARE FEET
CMP	CORRUGATED METAL PIPE	LP	LOW POINT	SJWC	SAN JOSE WATER COMPANY
CO	CLEANOUT	MAX	MAXIMUM	SS	SANITARY SEWER
CY	CUBIC YARD	MH	MANHOLE	SSCO	SANITARY SEWER CLEANOUT
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MIN	MINIMUM	SSE	SANITARY SEWER EASEMENT
DI	DROP INLET	MSMH	MANHOLE	SSVH	SANITARY SEWER MANHOLE
DIA	DIAMETER	(N)	NORTH	STD	STANDARD
DIP	DUCTILE IRON PIPE	N.T.S.	NOT TO SCALE	S/W	SIDEWALK
DWY	DRIVEWAY	O.C.	ON CENTER	TC	TOP OF CURB
(E)	EAST	O.D.	OUTSIDE DIAMETER	TELE	TELEPHONE
EG	EXISTING GRADE	PAD	PAD ELEVATION	TLG	TOWN OF LOS GATOS
ELEC	ELECTRICAL	PCC	PORTLAND CEMENT CONCRETE	TW	TOP OF WALL
EP	EDGE OF PATH	PERF	PERFORATED	TYP	TYPICAL
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PG&E	PACIFIC GAS & ELECTRIC COMPANY	VCP	VITRIFIED CLAY PIPE
EX	EXISTING	PIEE	PRIVATE INGRESS/EGRESS EASEMENT	(W)	WEST
FC	FACE OF CURB	PL	PROPERTY LINE	W	WATER
FDC	FIRE DEPARTMENT CONNECTION	PR	PROPOSED	WM	WATER METER
FF	FINISHED FLOOR ELEVATION	PSDE	PRIVATE STORM DRAIN EASEMENT	WS	WATER SERVICE
FG	FINISHED GRADE	PSE	PUBLIC SERVICE EASEMENT	WV	WATER VALVE
FH	FIRE HYDRANT	PSSE	PRIVATE SANITARY SEWER EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FL	FLOW LINE	PUE	PUBLIC UTILITY EASEMENT	XING	CROSSING
FM	FORCED MAIN	PVC	POLYVINYL CHLORIDE		
FS	FIRE SERVICE	R	RADIUS		
FT	FEET	RCP	REINFORCED CONCRETE PIPE		
G	GAS	RIM	RIM ELEVATION		

TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
 - THESE PLANS AND DETAILS.
 - RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER CZEARTH, INC. REFERENCE REPORT NO. 2218C-01R1 DATED 01-20-23 LETTER NO. DATED SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
- DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: FARNAZ AGAHIAN PHONE: 408-234-5780
- GENERAL CONTRACTOR: _____ PHONE: _____
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIMES, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

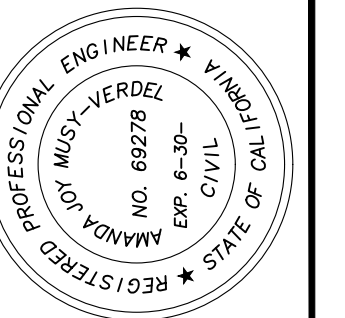
NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.



DATE: SEPTEMBER 4, 2024
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 23067

LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
COVER SHEET

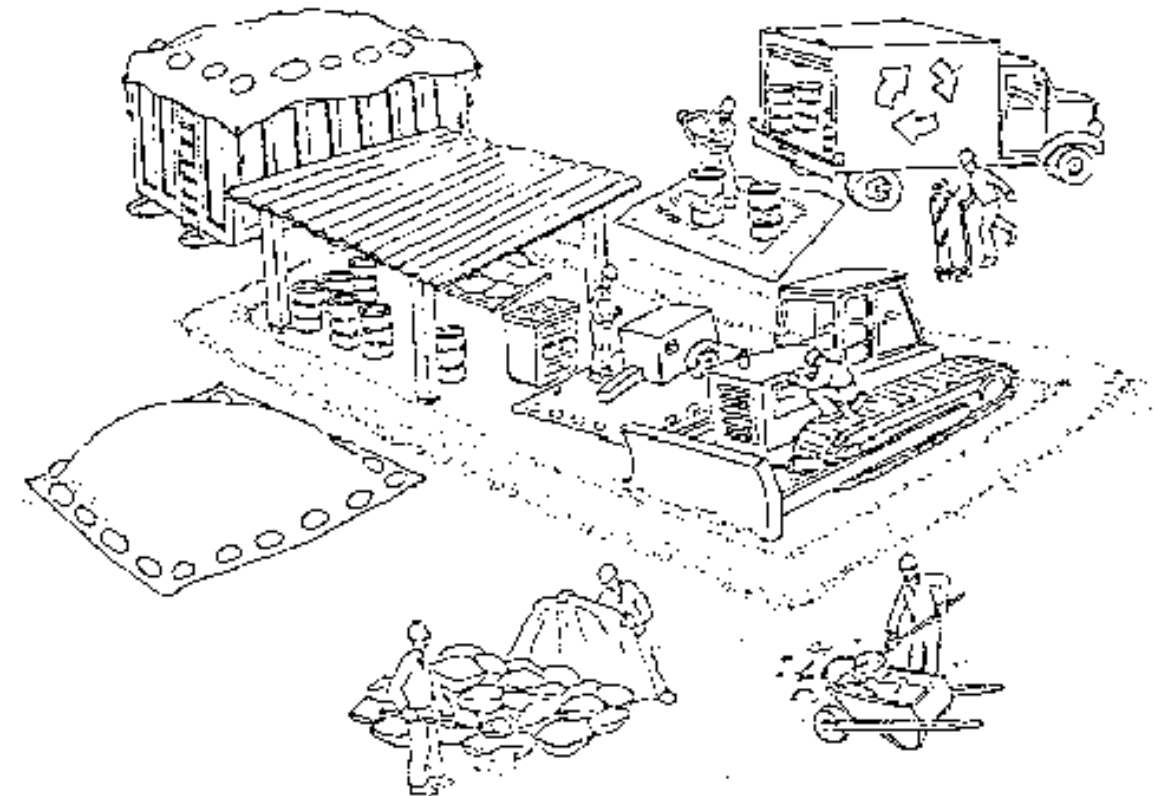
HANNA-BRUNETTI
EST. 1986
CIVIL ENGINEERS - LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173
EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE	BY	REVISIONS

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

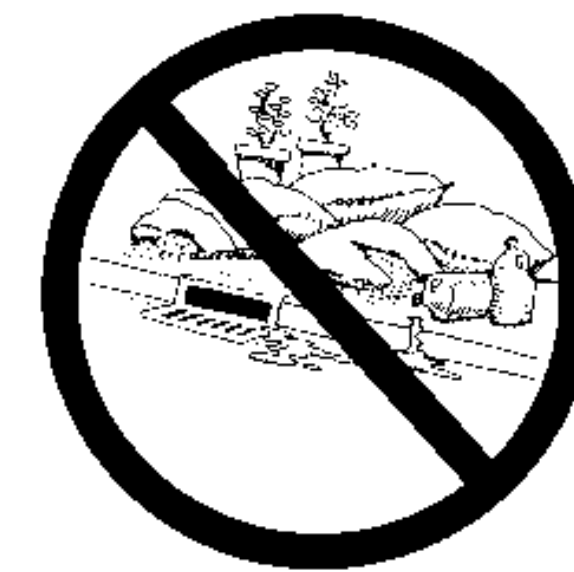
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



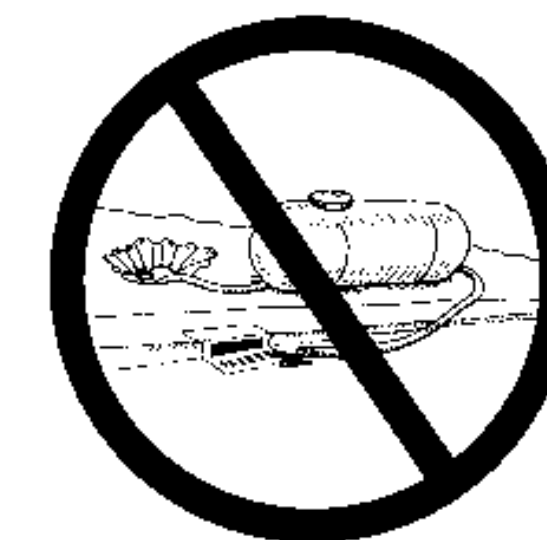
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

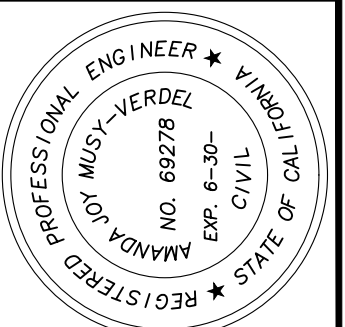
- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



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BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!



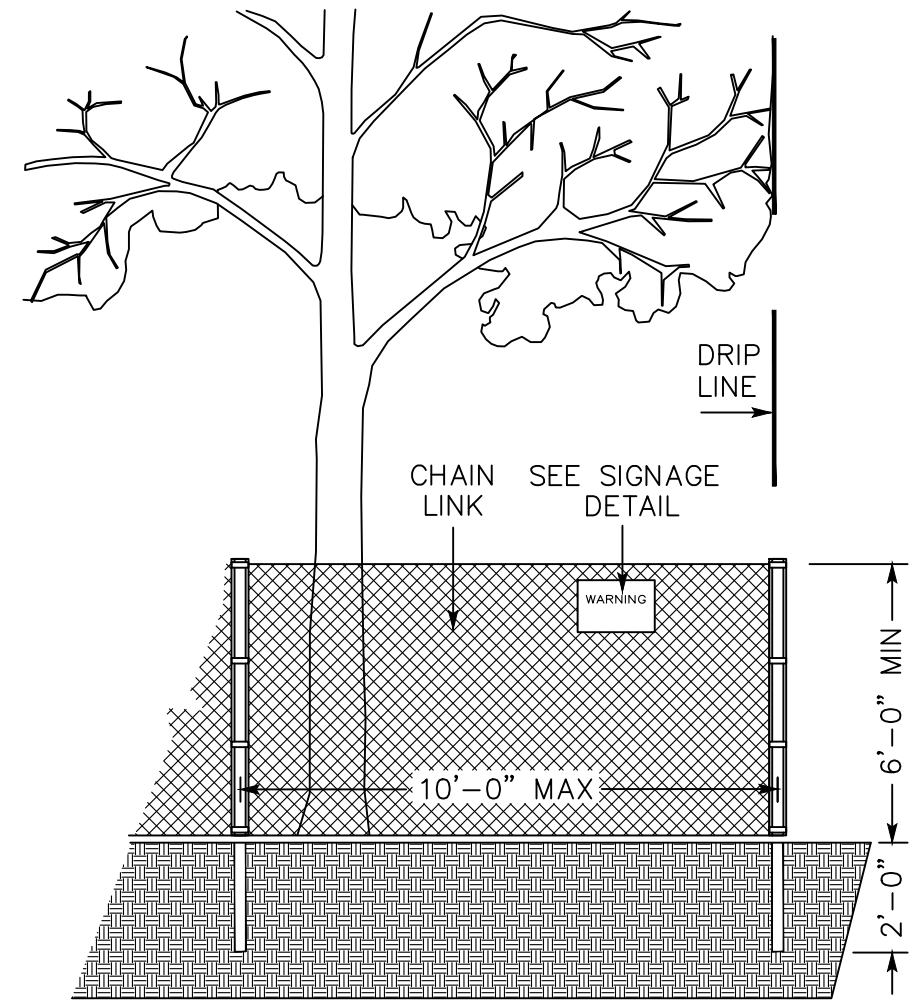
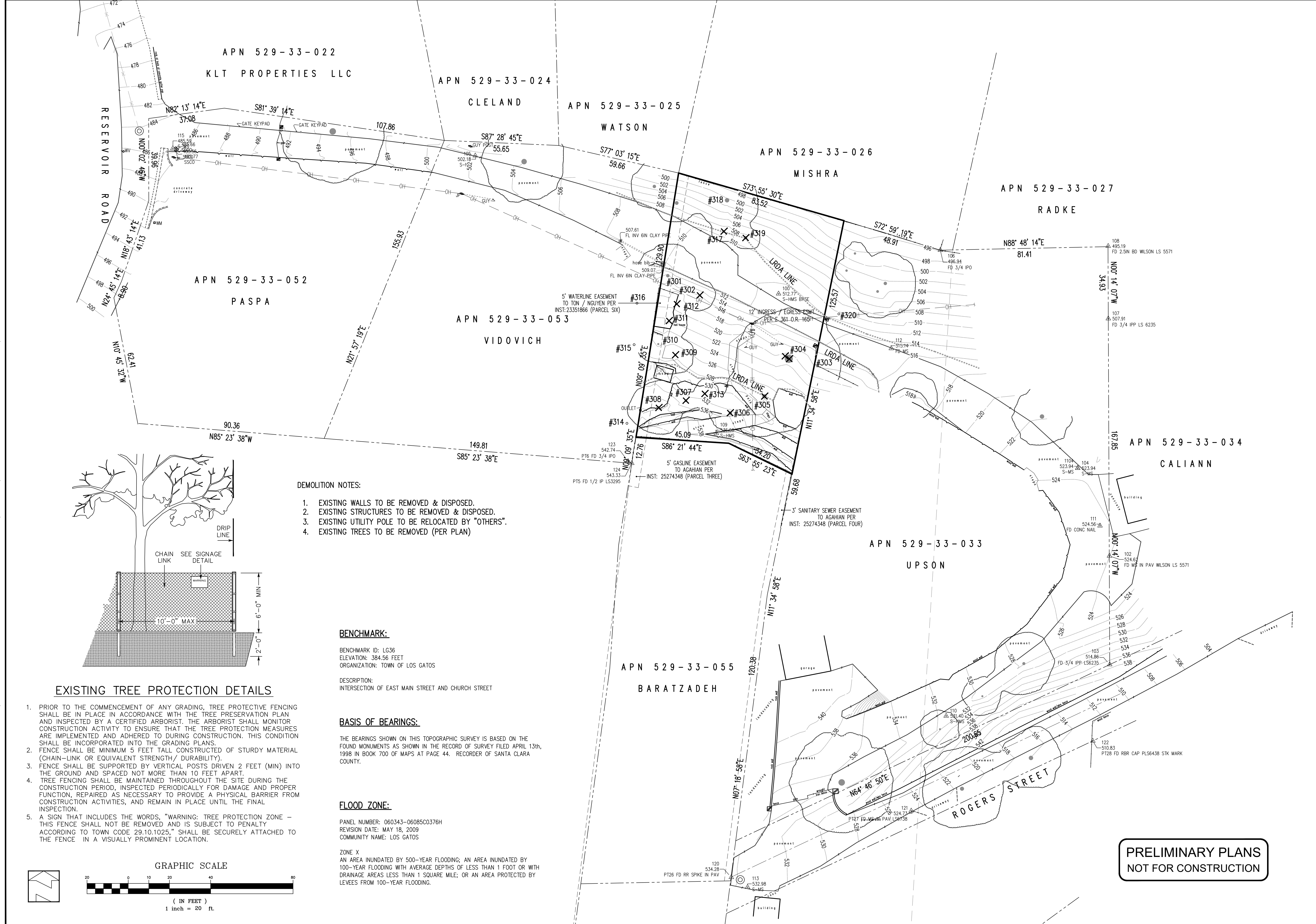
DATE: SEPTEMBER 4, 2024
SCALE: NONE
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 23067

GRADING & DRAINAGE PLANS
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
BLUEPRINT FOR A CLEAN BAY
ARCHITECTURAL & SITE APPLICATION NO. S-22-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
REGISTERED CIVIL ENGINEER
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY

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EXISTING TREE PROTECTION DETAILS

- PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
- FENCE SHALL BE MINIMUM 5 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
- FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
- TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
- A SIGN THAT INCLUDES THE WORDS, "WARNING: TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.

DEMOLITION NOTES:

- EXISTING WALLS TO BE REMOVED & DISPOSED.
- EXISTING STRUCTURES TO BE REMOVED & DISPOSED.
- EXISTING UTILITY POLE TO BE RELOCATED BY "OTHERS".
- EXISTING TREES TO BE REMOVED (PER PLAN)

BENCHMARK:

BENCHMARK ID: LG36
 ELEVATION: 384.56 FEET
 ORGANIZATION: TOWN OF LOS GATOS

DESCRIPTION:
 INTERSECTION OF EAST MAIN STREET AND CHURCH STREET

BASIS OF BEARINGS:

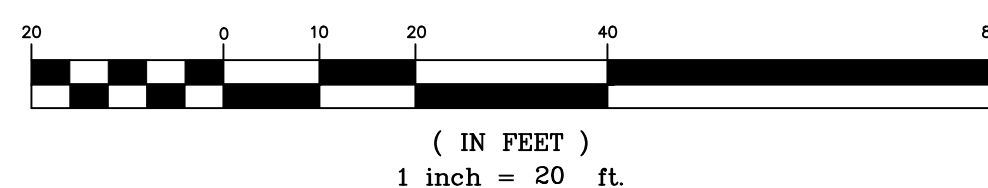
THE BEARINGS SHOWN ON THIS TOPOGRAPHIC SURVEY IS BASED ON THE FOUND MONUMENTS AS SHOWN IN THE RECORD OF SURVEY FILED APRIL 13th, 1988 IN BOOK 700 OF MAPS AT PAGE 44. RECORDER OF SANTA CLARA COUNTY.

FLOOD ZONE:

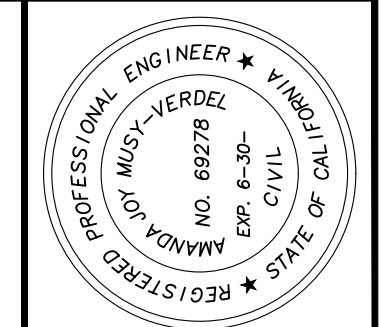
PANEL NUMBER: 060343-060850376H
 REVISION DATE: MAY 18, 2009
 COMMUNITY NAME: LOS GATOS

ZONE X
 AN AREA INUNDED BY 500-YEAR FLOODING; AN AREA INUNDED BY 100-YEAR FLOODING WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; OR AN AREA PROTECTED BY LEVEES FROM 100-YEAR FLOODING.

GRAPHIC SCALE



**PRELIMINARY PLANS
 NOT FOR CONSTRUCTION**



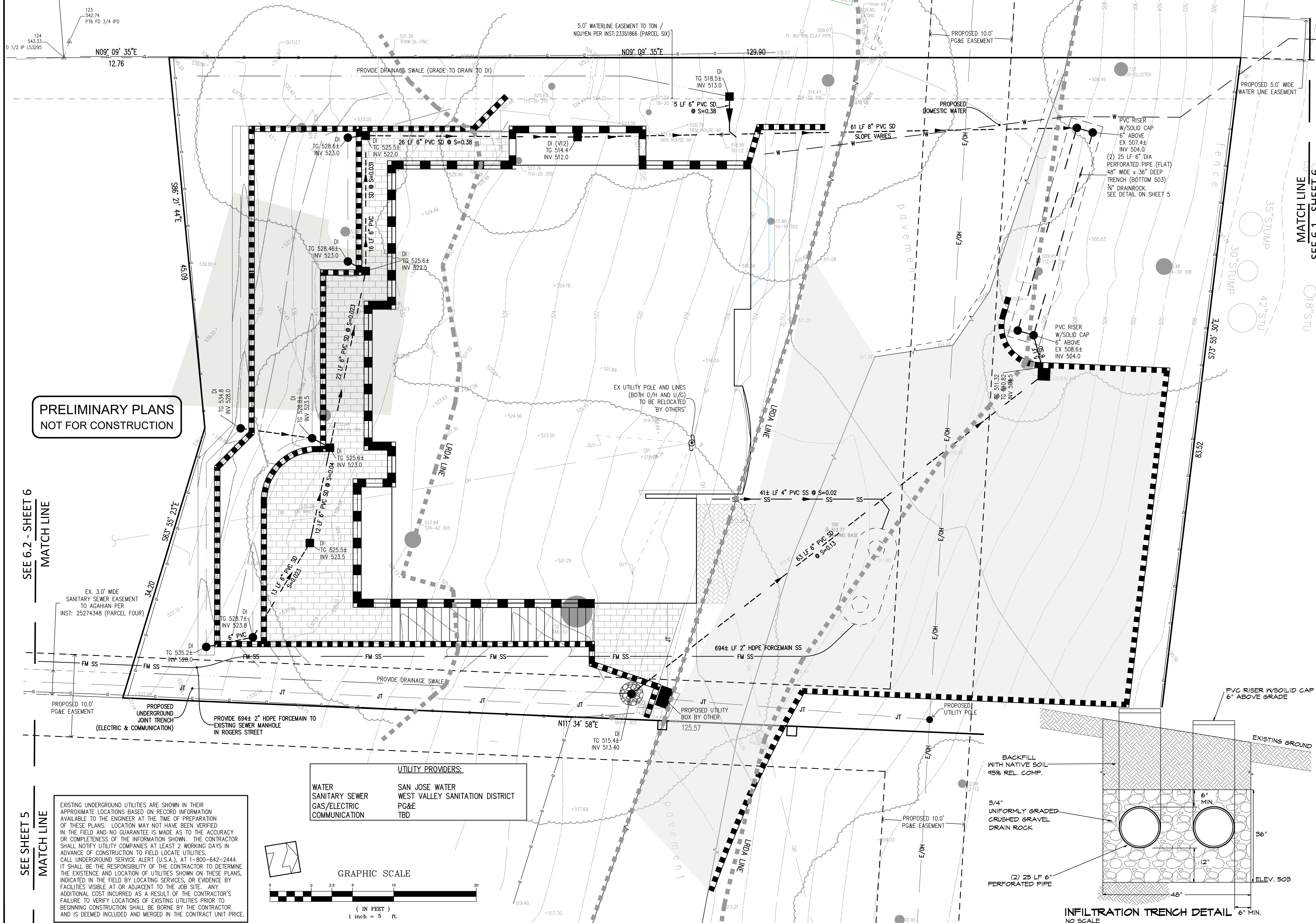
DATE: SEPTEMBER 4, 2024	SCALE: 1"=20'
DESIGN: AM	DRAWN: TM
CHECK: XX	ENGR: AM
PROJECT NO.: 23067	

PLAN FOR THE IMPROVEMENT OF
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
 APN 529-33-054
EXISTING TOPOGRAPHIC SURVEY AND DEMOLITION PLAN
 ARCHITECTURAL & SITE APPLICATION NO. S22-048
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
 EST. 1980
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS
 7651 EIGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
 OFFICE (408) 842-2173
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

DATE	BY	REVISIONS

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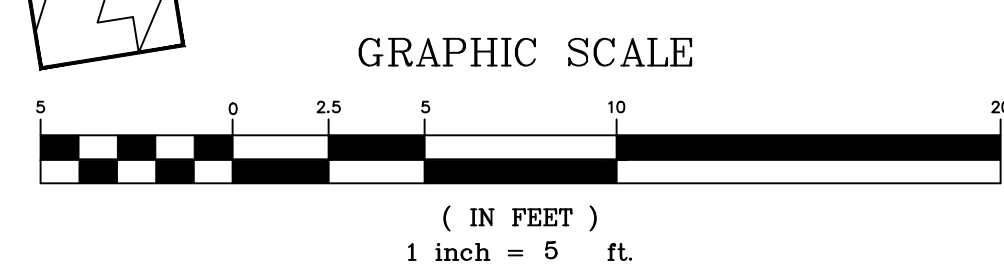
**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

SEE 6.2 - SHEET 6
MATCH LINE

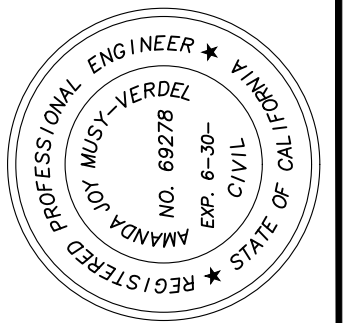
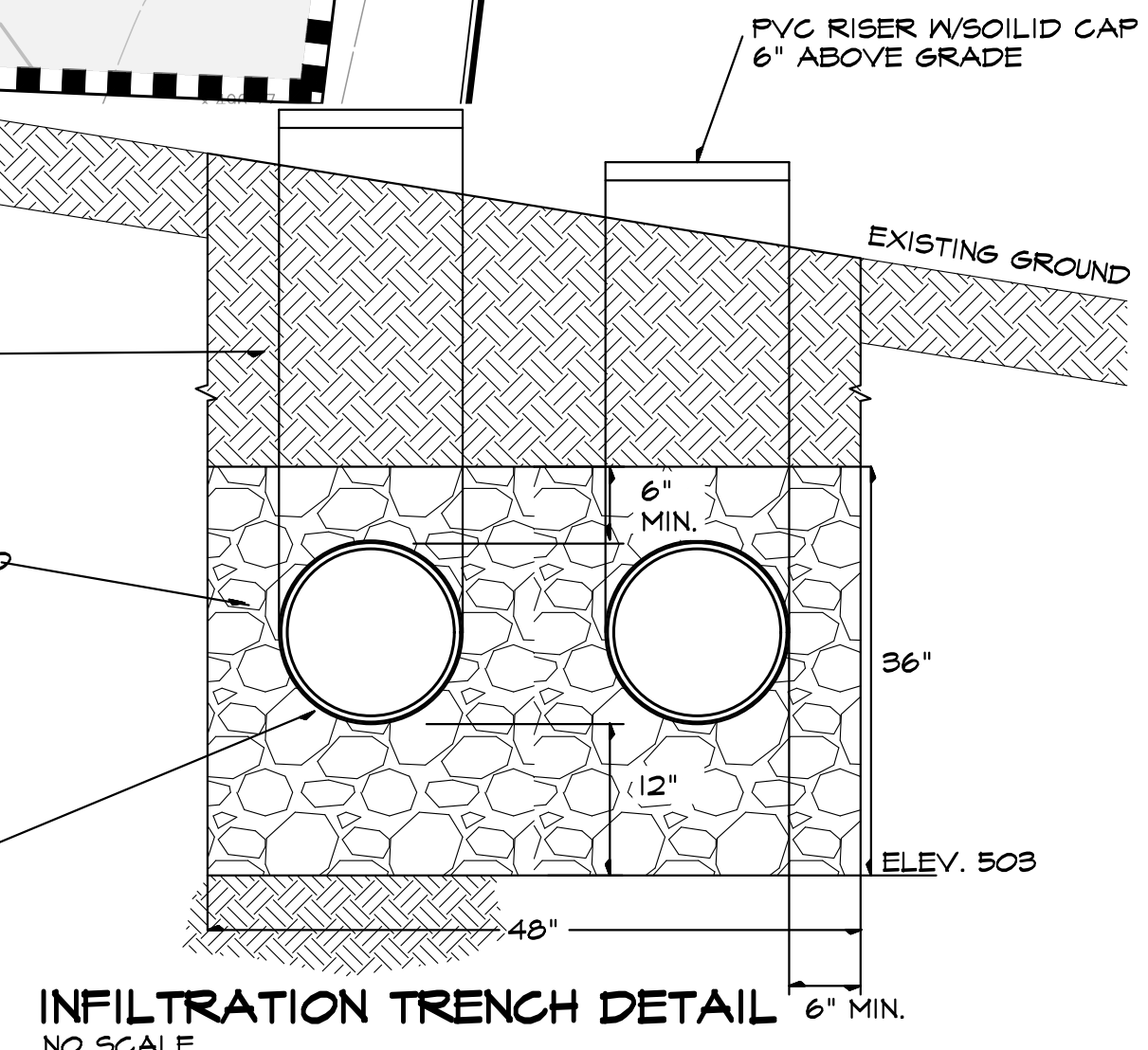
SEE SHEET 5
MATCH LINE

UTILITY PROVIDERS:

WATER	SAN JOSE WATER
SANITARY SEWER	WEST VALLEY SANITATION DISTRICT
GAS/ELECTRIC	PG&E
COMMUNICATION	TBD



EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.



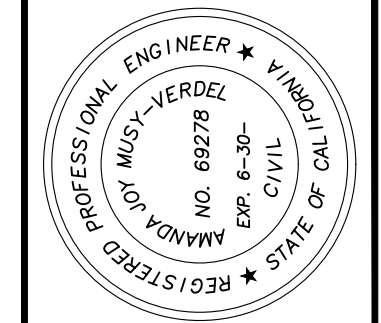
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DESIGN: AM
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CHECK: XX
ENGR: AM

LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
UTILITY PLAN
ARCHITECTURAL & SITE APPLICATION NO. S-222-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PROJECT NO.: 23067

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EST. 1988
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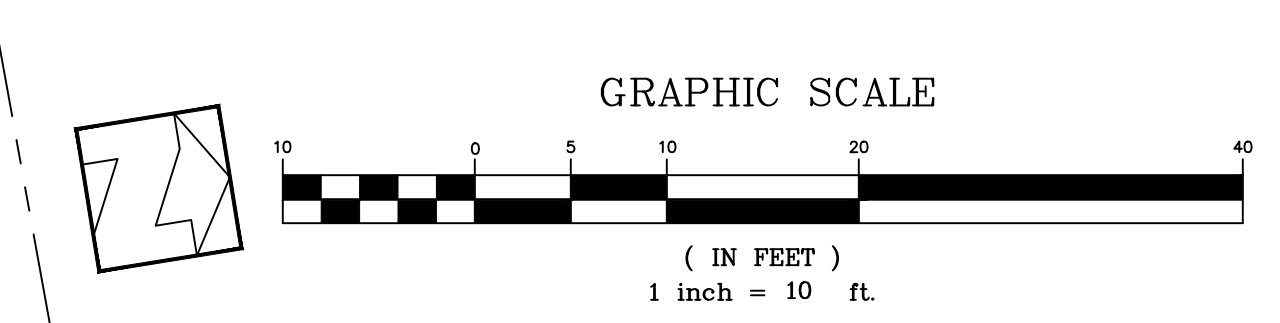
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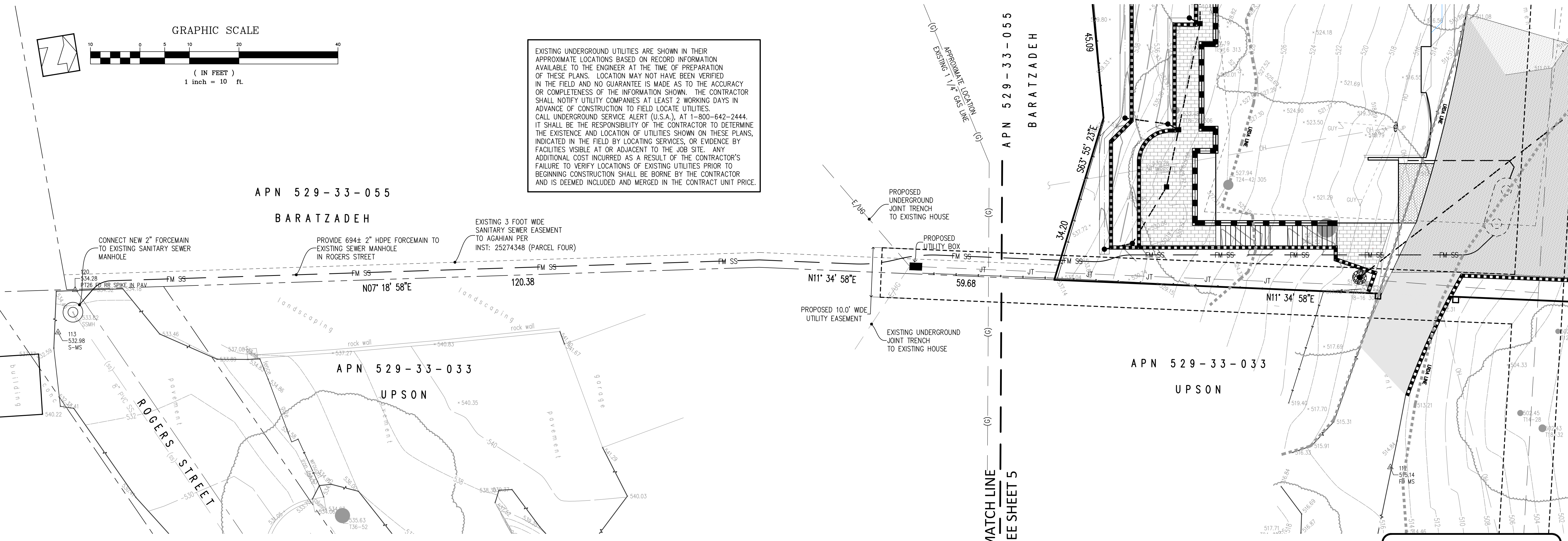
BY	DATE	REVISIONS



6.1 PROPOSED WATER LATERAL



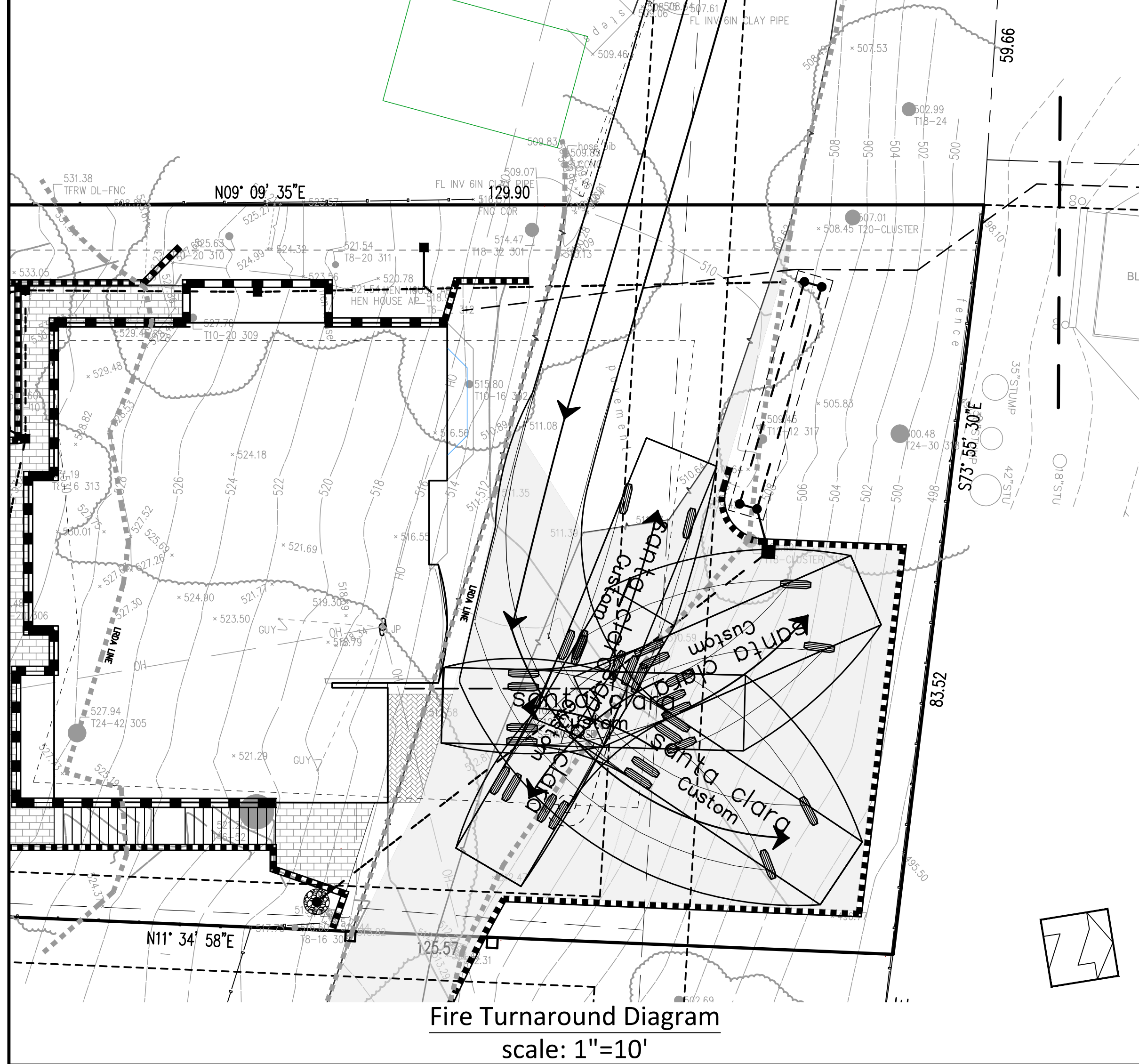
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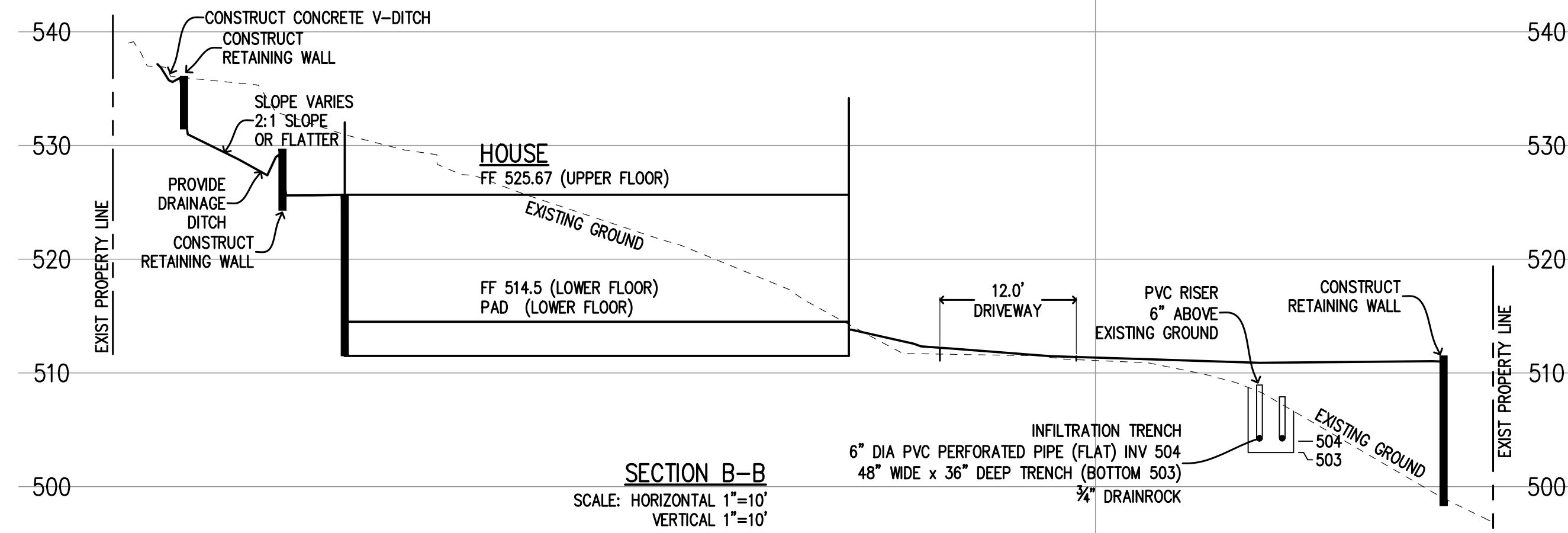
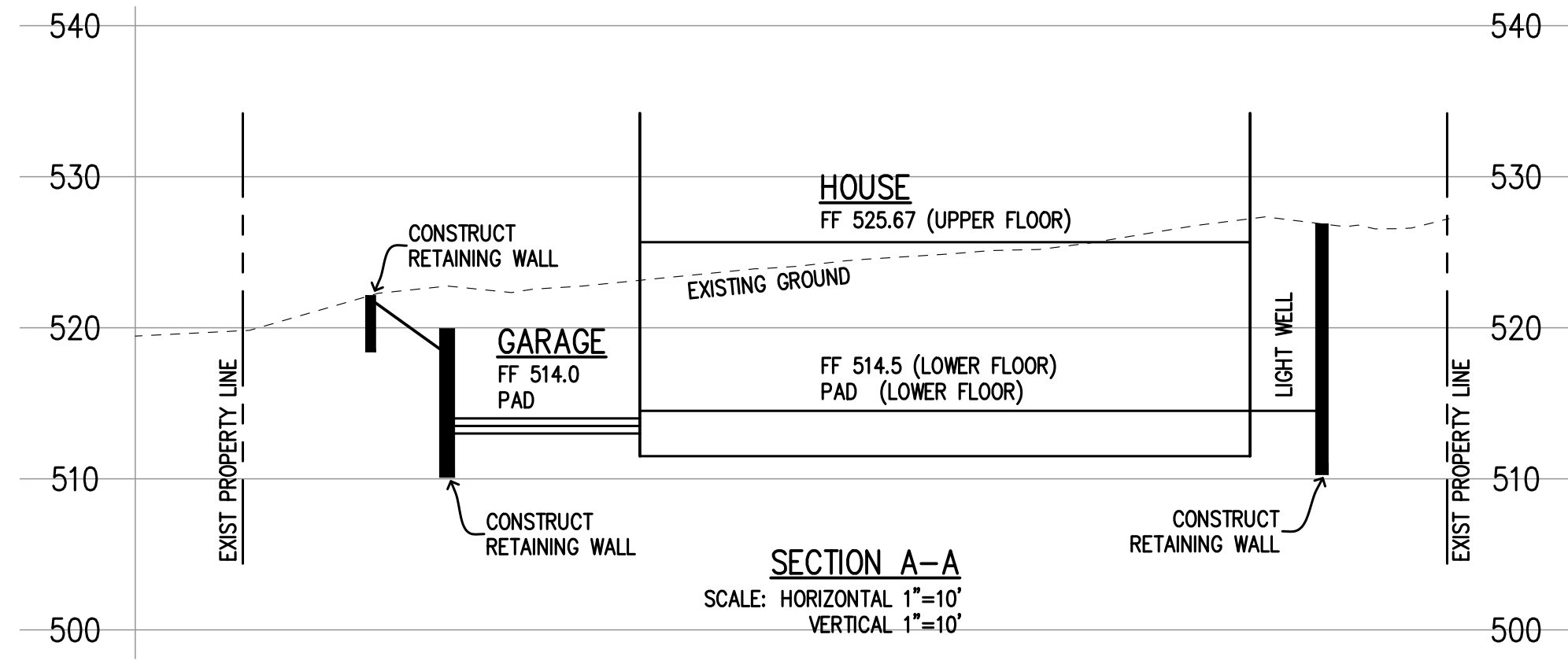
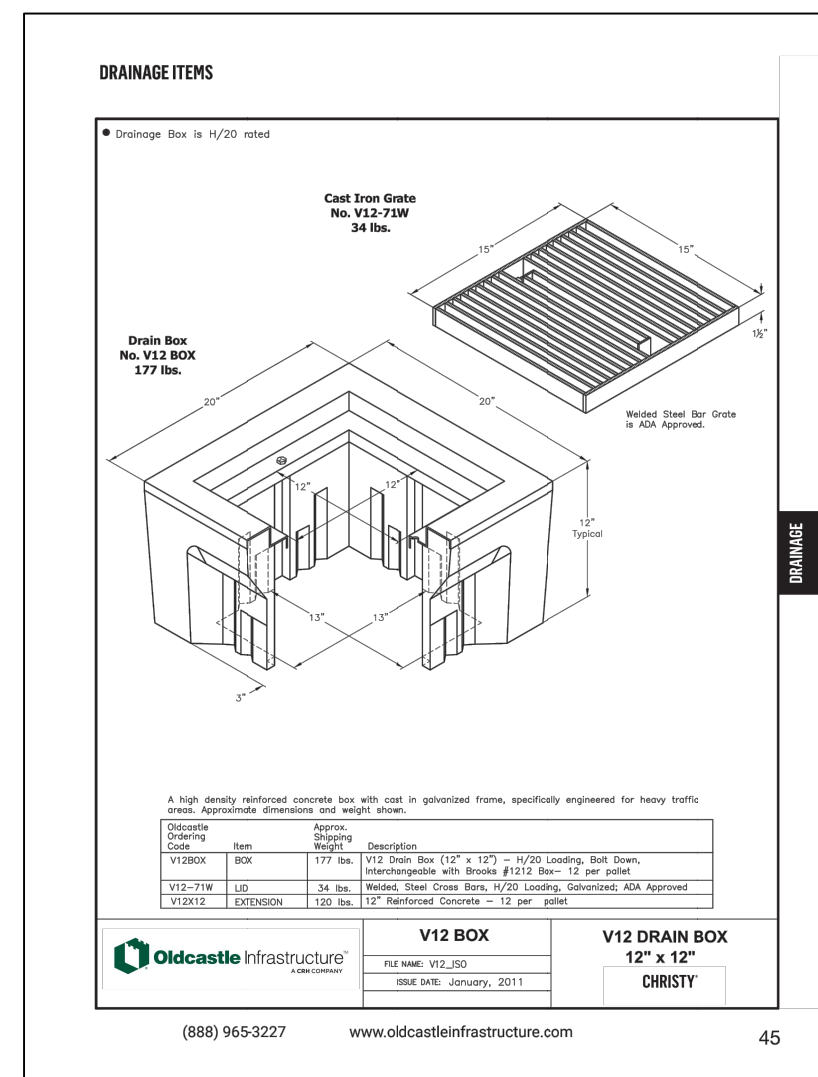
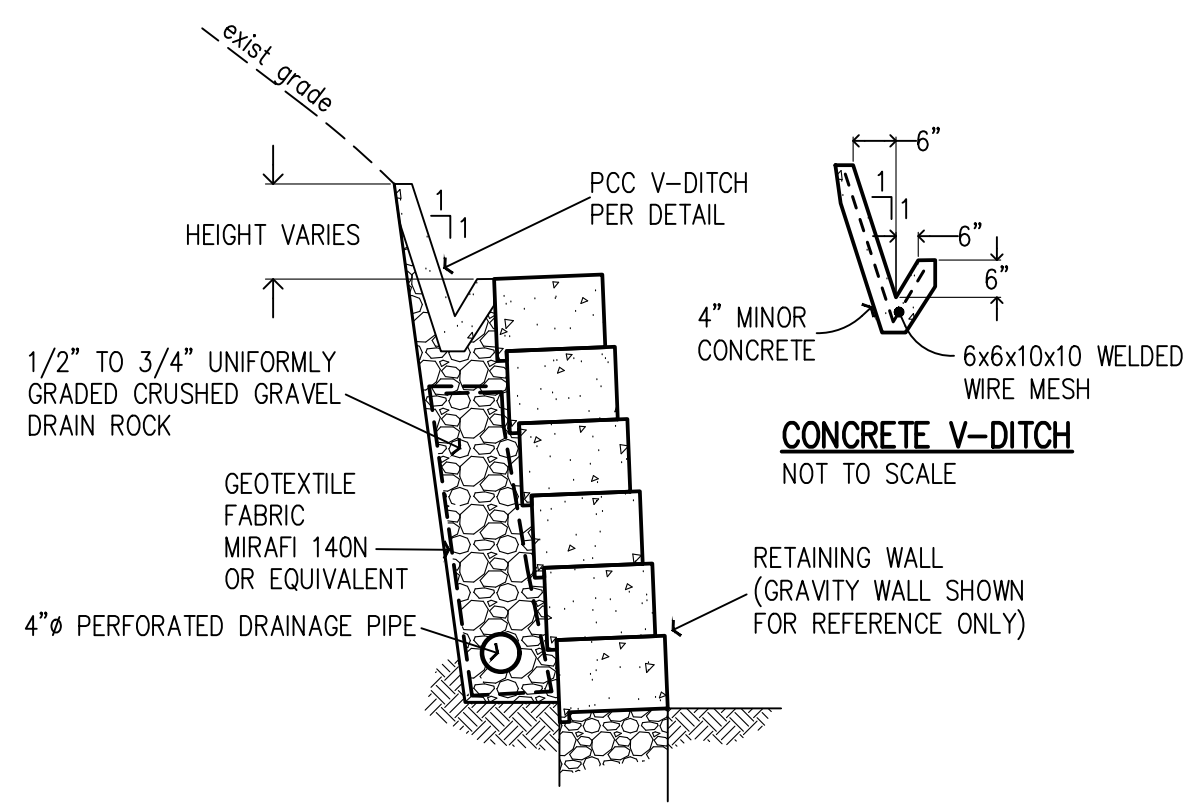
6.2 PROPOSED SANITARY SEWER LATERAL

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS;



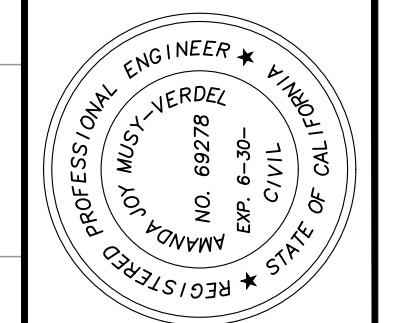
CONCRETE-LINED DITCH AT BACK OF RETAINING WALL
NO SCALE



SEE SHEET 5
MATCH LINE

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

PRELIMINARY PLANS
NOT FOR CONSTRUCTION



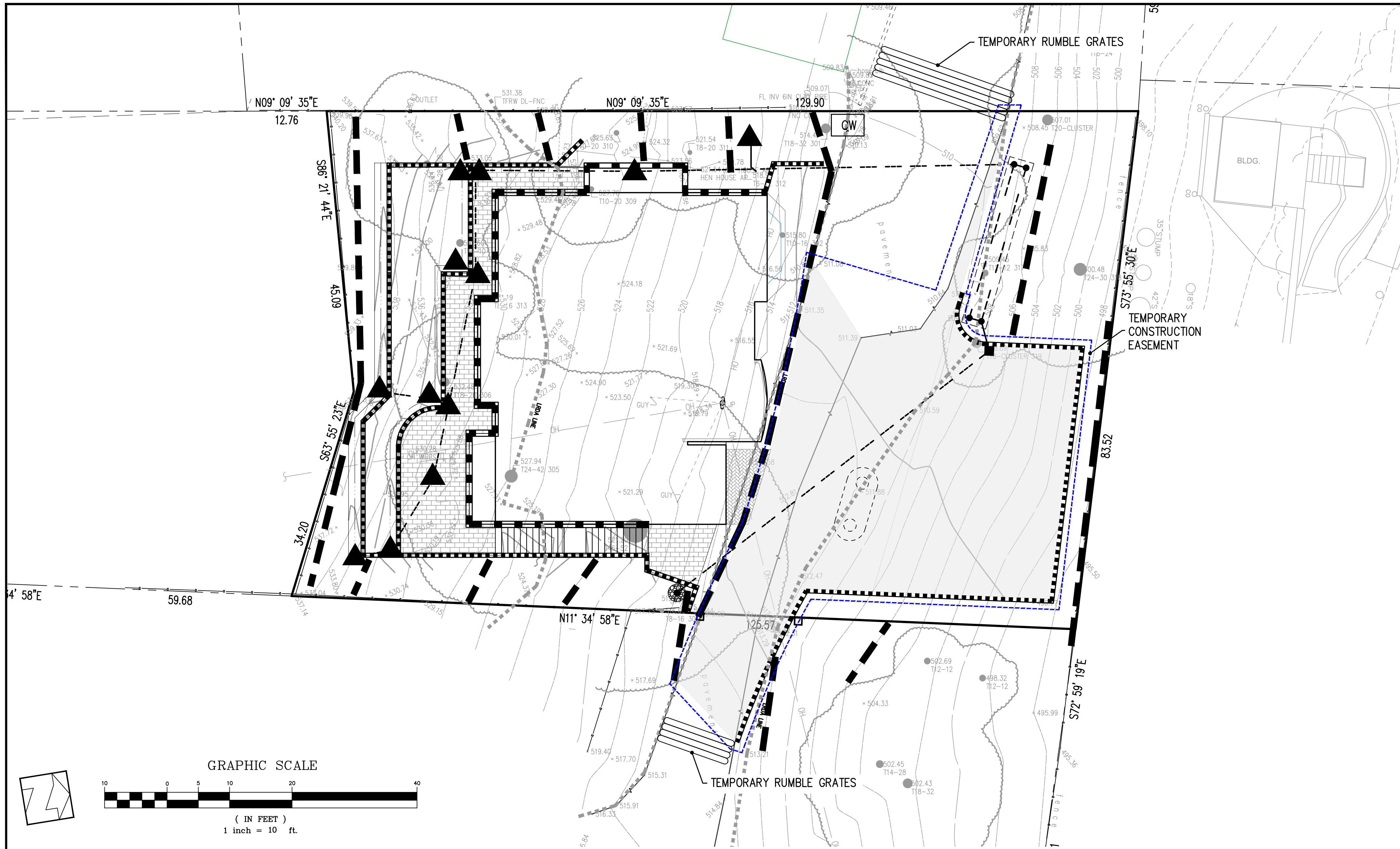
DATE: SEPTEMBER 4, 2024
SCALE: 1"=5'
DESIGN: AM
DRAWN: TM
CHECK: XK
ENGR: AM
PROJECT NO.: 23067

LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
APN 529-33-054
CROSS SECTIONS & DETAILS
ARCHITECTURAL & SITE APPLICATION NO. S-22-048
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
EST. 1988
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
OFFICE (408) 842-2173
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE	BY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS;



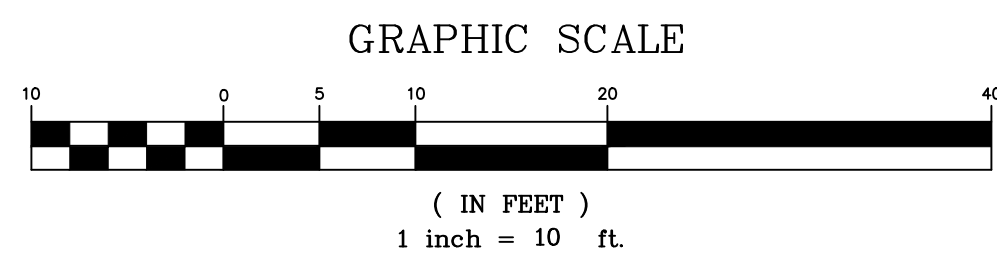
EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
3. A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE TOWN.
6. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE QSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL TOWN ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO TOWN ENGINEER'S APPROVAL.
7. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE, SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
8. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
10. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
11. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE TOWN ENGINEER.
12. IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

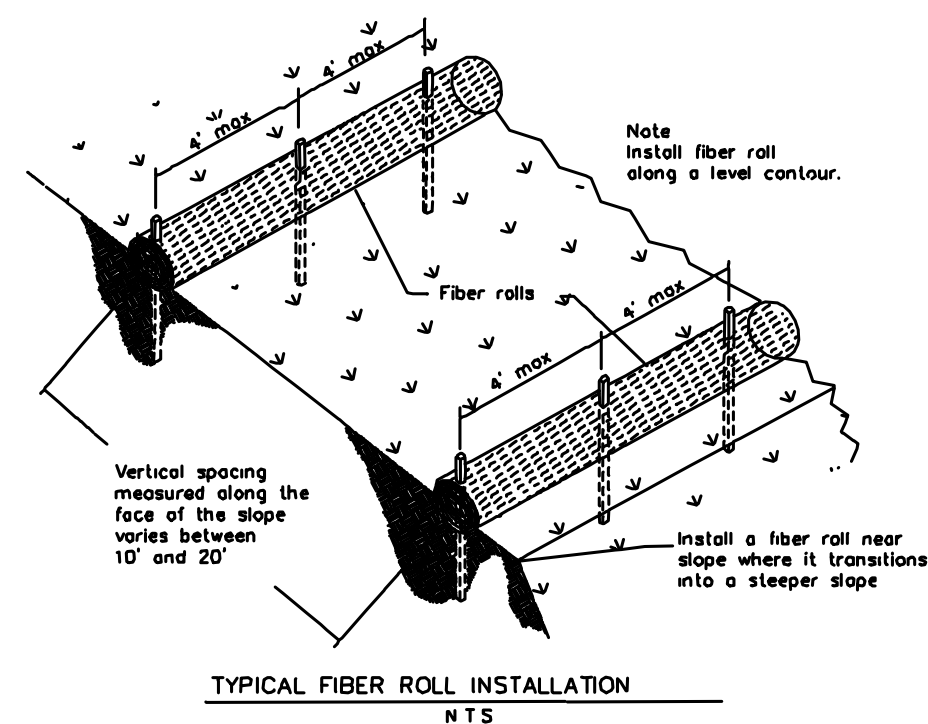
HYDROSEED TABLE	
ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

LEGEND

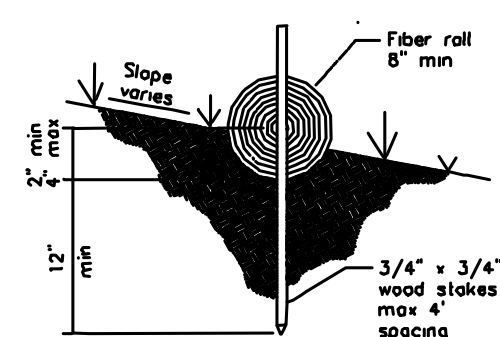
- FIBER ROLL BARRIER PER DETAIL SE-5
- STORM DRAIN INLET PROTECTION PER DETAIL SE-10
- CONCRETE WASHOUT AREA



SE-5 Fiber Rolls

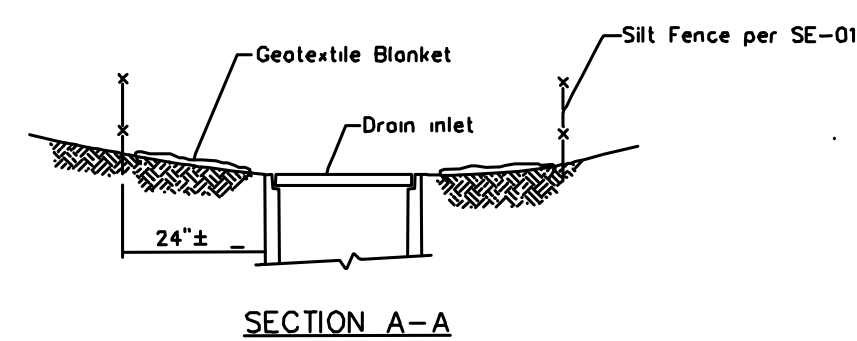


TYPICAL FIBER ROLL INSTALLATION N.T.S.

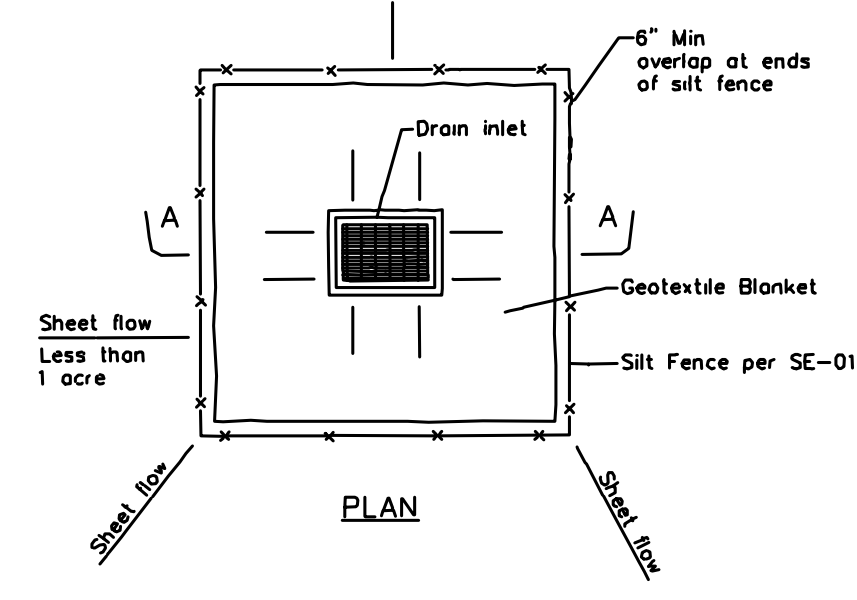


ENTRENCHMENT DETAIL N.T.S.

SE-10 Storm Drain Inlet Protection



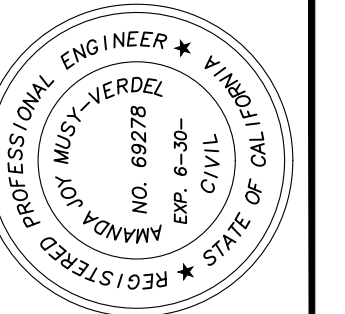
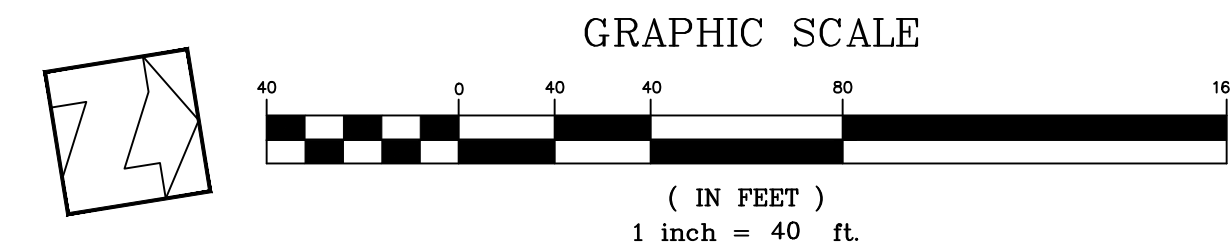
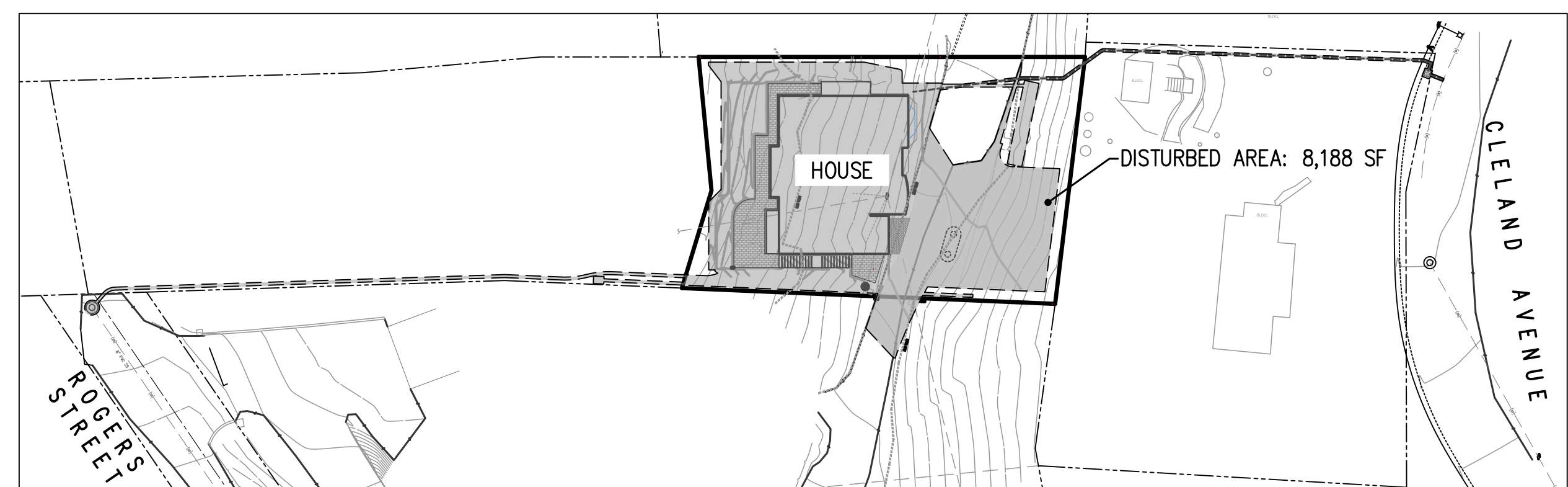
SECTION A-A



DI PROTECTION TYPE 1 NOT TO SCALE

NOTES

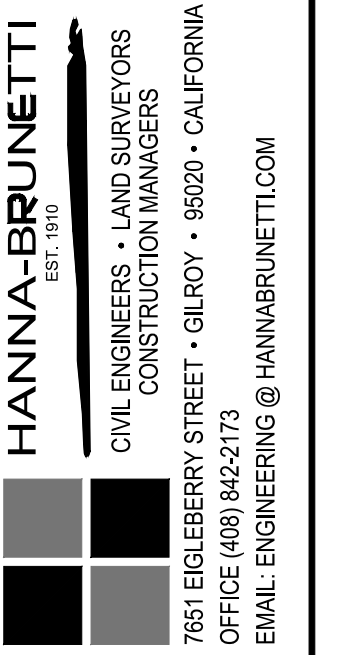
- 1 For use in areas where grading has been completed and final soil stabilization and seeding are pending.
- 2 Not applicable in paved areas.
- 3 Not applicable with concentrated flows.



DATE: SEPTEMBER 4, 2024	SCALE: AS SHOWN
DESIGN: AM	DRAWN: TM
CHECK: XX	ENGR: AM

PLAN FOR THE IMPROVEMENT OF
LANDS OF AGAHIAN - 45 RESERVOIR DRIVE
 APN 529-33-054
EROSION CONTROL PLAN
 ARCHITECTURAL & SITE APPLICATION NO. S22-048

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REVISIONS	BY	DATE