GENERAL NOTES

1) THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE PREMISES AND SHALL BASE HIS BID ON THE EXISTING CONDITIONS. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND FIELD CONDITIONS.

2) THE WORK INCLUDED UNDER THIS CONTRACT SHALL INCLUDE ALL LABOR, MATERIALS, TRANSPORTATION, TOOLS AND EQUIPMENT NECESSARY FOR THE CONSTRUCTION OF THE PROJECT, LEAVING ALL WORK READY FOR USE.

3) PRIOR TO CONSTRUCTION, DISCREPANCIES BETWEEN THE ARCHITECTURAL AND ENGINEERING DRAWINGS SHALL BE REPORTED TO THE ARCHITECT.

4) THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE APPLICABLE UNIFORM BUILDING CODE, HANDICAP ACCESS CODE AND ALL APPLICABLE ORDINANCES, INCLUDING STATE AND LOCAL BUILDING CODES AND REQUIREMENTS.

5) THESE PLANS INDICATE THE GENERAL EXTENT OF DEMOLITION AND NEW CONSTRUCTION NECESSARY FOR THE WORK BUT ARE NOT INTENDED TO BE ALL INCLUSIVE. ALL DEMOLITION AND ALL NEW WORK NECESSARY TO ALLOW FOR A FINISHED JOB IN ACCORDANCE WITH THE INTENTION OF THESE DOCUMENTS SHALL BE INCLUDED REGARDLESS OF WHETHER SHOWN ON THE DRAWINGS OR IN THE NOTES. DO NOT DEMOLISH ANY ITEMS THAT APPEAR STRUCTURAL, UNLESS SPECIFICALLY INDICATED TO BE DEMOLISHED IN THE CONSTRUCTION DOCUMENT, WITHOUT PRIOR REVIEW AND WRITTEN APPROVAL BY THE ARCHITECT.

6) ANY ERRORS, OMISSIONS, AND CONFLICTS FOUND IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CLARIFICATION BEFORE PROCEEDING WITH WORK.

7) ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS NOTED OTHERWISE. ALL DIMENSIONS SHALL BE VERIFIED.

8) THE CONTRACTOR SHALL CONFIRM IN WRITING APPROXIMATE ON-SITE DELIVERY DATES FOR ALL CONSTRUCTION ITEMS AS REQUIRED BY THE CONSTRUCTION DOCUMENTS AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY POSSIBLE DELAYS AFFECTING OCCUPANCY.

9) THE CONTRACTOR SHALL PROVIDE A SCHEDULE FOR CONSTRUCTION AS REQUIRED TO MEET THE OWNER'S PHASING REQUIREMENTS AND ULTIMATE COMPLETION DATE.

10) THE CONTRACTOR SHALL VERIFY THAT NO CONFLICTS EXIST IN THE LOCATION OF ANY AND ALL MECHANICAL, ELECTRICAL, TELEPHONE, LIGHTING, PLUMBING AND FIRE SPRINKLER WORK (INCLUDING PIPING, DUCTWORK AND CONDUIT), AND THAT ALL CLEARANCES FOR INSTALLATION AND MAINTENANCE ARE PROVIDED.

11) NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE CONTRACT DOCUMENTS WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR POINT OUT DEFICIENCIES OR DEFECTS DURING CONSTRUCTION. DEFECTIVE WORK REVEALED WITHIN THE TIME REQUIRED BY GUARANTEES SHALL BE REPLACED BY WORK CONFORMING TO THE INTENT OF THE CONTRACT. NO PAYMENT, EITHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.

12) THE CONTRACTOR SHALL TAKE CARE NOT TO DAMAGE EXISTING CONSTRUCTION AND SHALL BE RESPONSIBLE FOR REPAIRING ALL DAMAGES CAUSED BY CONTRACTOR AND SUB-CONTRACTORS.

13) THE CONTRACTOR SHALL REVIEW, APPROVE, STAMP AND SUBMIT WITH REASONABLE PROMPTNESS AND IN SUCH SEQUENCE AS TO CAUSE NO DELAY IN THE WORK, PRODUCT DATA, SHOP DRAWINGS AND SAMPLES FOR THE PROJECT.

14) BY APPROVING, STAMPING AND SUBMITTING SHOP DRAWINGS, PRODUCT DATA AND SAMPLES, THE CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED MATERIALS, FIELD MEASUREMENTS, AND FIELD CONSTRUCTION CRITERIA RELATED THERETO AND THAT HE HAS CHECKED AND COORDINATED THE INFORMATION WITHIN SUCH SUBMITTALS WITH THE REQUIREMENTS OF THE WORK AND CONTRACT DOCUMENTS.

15) THE CONTRACTOR SHALL NOT BE RELIEVED OF RESPONSIBILITY FOR ANY DEVIATION FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS BY THE ARCHITECT'S REVIEW OF THE SHOP DRAWINGS, PRODUCT DATA OR SAMPLES, UNLESS THE CONTRACTOR HAS SPECIFICALLY INFORMED THE ARCHITECT IN WRITING OF SUCH DEVIATION AT THE TIME OF SUBMISSION AND THE ARCHITECT HAS GIVEN WRITTEN APPROVAL TO THE SPECIFIC DEVIATION.

16) THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS OR QUANTITIES ON REVIEWED SUBMITTALS.

17) SUBSTITUTIONS, REVISIONS AND/OR CHANGES MUST HAVE PRIOR WRITTEN APPROVAL BY THE ARCHITECT.

18) THE CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.

19) EACH TRADE SHALL EXAMINE THE PREMISES TO ENSURE THAT CONDITIONS ARE APPROPRIATE FOR HIS WORK TO COMMENCE, PRIOR TO COMMENCING HIS WORK. AREAS NOT APPROPRIATE SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT. COMMENCING WORK IMPLIES ACCEPTANCE OF EXISTING CONDITIONS.

DEMILOTION PLAN SHEET NOTES

1. THE DEMOLITION PLAN IS A GRAPHIC REPRESENTATION OF THE EXISTING FIELD CONDITIONS BASED ON THE INFORMATION PROVIDED TO THE ARCHITECT. IT IS NOT INTENDED TO BE A RECORD DRAWING OF THE EXISTING BUILDING. DEMOLITION DRAWINGS ARE DEVELOPED TO SHOW BOUNDARIES AND SCOPE TO THE NON-STRUCTURAL DEMOLITION OF SELECTED ITEMS. THE CONTRACTOR SHALL PERFORM A DETAILED WALK-THROUGH WITH THE CLIENT'S REPRESENTATIVE TO CONFIRM THE SCOPE OF WORK. VERIFY THE EXISTING CONDITIONS, AND ALL CONFLICTS WITH THE SCHEDULED SCOPE OF WORKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF AND REPLACEMENT OF EXISTING UTILITIES AS REQUIRED TO COMPLETE THE NEW SCOPE OF WORK AS SHOWN IN THE CONTRACT DOCUMENTS.

2. THE CONTRACTOR SHALL COMPLY WITH ALL THE PERTINENT CITY AND COUNTY REQUIREMENTS FOR DEMOLITION, INCLUDING, BUT NOT LIMITED TO, REMOVAL OF DEBRIS, BUILDING PROTECTION, LOCATION AND TYPE OF CONTAINERS AND THE DISCARDING OF MATERIALS.

3. THE DEMOLITION PLAN DOES NOT ACKNOWLEDGE TOXIC MATERIALS AND DOES NOT AUTHORIZE THE DEMOLITION AND/ OR REMOVAL OF TOXIC MATERIALS. ALL TOXIC MATERIALS DISCOVERED DURING THE FIELD INSPECTION AND THE DEMOLITION OF THE WORK SCOPE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. ALL DEMOLITION AND REMOVAL OF TOXIC MATERIALS SHALL BE IN CONFORMANCE WITH ALL STATE AND LOCAL CODES. ALL PERMITS AND APPROVALS SHALL BE CONTAINED AND COPIES GIVEN TO THE OWNER'S REPRESENTATIVE FOR RECORD.

4. THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT REQUIREMENTS BY THE CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (CAL-OSHA) FOR DEMOLITION AND THE PROTECTION OF PUBLIC AREAS AND THE SURROUNDING AREAS.

5. THE CONTRACTOR SHALL MAKE A DETAILED SURVEY OF THE AREAS OF WORK AND DETERMINE THE METHOD OF REMOVED SCHEDULED WORK WITHOUT DAMAGE TO AREAS THAT ARE NOT SCHEDULED FOR DEMOLITION. CONTRACTOR SHALL REPAIR ALL DAMAGED WORK AT NO ADDITIONAL COST TO THE OWNER.

6. THE CONTRACTOR SHALL REQUEST, AT HIS OPTION, AS BUILT-DRAWINGS TO BE MADE AVAILABLE TO HIM FOR THE PURPOSES OF VERIFYING THE SCOPE OF WORK AND TO AID IN DETERMINING TOTAL COSTS OF DEMOLITION. THE USE OF AS-BUILT DRAWINGS SHALL NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO PERFORM THE WALK-THROUGH AS SCHEDULED HEREIN.

7. ITEMS SCHEDULED TO BE SALVAGED AND OR RELOCATED SHALL BE KEPT CLEAN AND IN THEIR ORIGINAL CONDITION. ITEMS DAMAGED OR LOST SHALL BE REPLACED TO THEIR ORIGINAL CONDITION AT NO ADDITIONAL EXPENSE TO THE OWNER.

8. EXISTING FIRE SPRINKLERS, SMOKE DETECTORS AND CARBON MONOXIDE ALARMS ARE TO REMAIN OPERATIONAL DURING CONSTRUCTION.

9. IN THE PRESENCE OF ASBESTOS, THE CONTRACTOR IS TO ABATE.

WASTE MANAGEMENT PLAN

CONSTRUCTION WASH-OUT WATER FROM CONCRETE, MORTAR, TILE, TAPING, AND PAINTING SHALL BE DONE IN A PORTABLE CONTAINMENT POOL OR IN A LINED EVAPORATIVE PIT. WASH-OUT SHALL NOT ENTER THE STORM WATER SYSTEM.

TRASH PILES SHALL NOT BE LOCATED IN THE FRONT YARD OR VISIBLE FROM THE STREET. TRASH PILES SHALL NOT CONTAIN: PAINTS, SOLVENTS, GLUES, TAPING COMPOUND, FOOD PRODUCTS, OR EASILY RECYCLE-ABLE DISCARDS SUCH AS BOTTLES, CANS, PLASTICS, OR PAPER. REMAINING TRASH SHALL BE LIMITED TO CONCRETE, WOOD, DRYWALL, ROOFING, AND ASSORTED METALS AND SHALL BE COVERED WITH A WATERPROOF TRASH SHALL BE SEPARATED AT AN APPROVED BAY AREA DISPOSAL SITE SUCH AS GUADALUPE RECYCLING. ALL TRASH IS TO BE QUICKLY HAULED OFF SITE. RETAIN THE RECEIPT AND KEEP WITH THE PERMIT DOCUMENTS, PROOF OF RECYCLE AND DISPOSAL OF THE JOB SITE TRASH WILL BE CHECKED PERIODICALLY AND PRIOR TO FINAL INSPECTION.

OR CALL WEST VALLEY COLLECTION AND RECYCLING (408) 283-9250 WILL DELIVER A ROLL-OFF DEBRIS BOX AND SORT THE TRASH OFF SITE.

CAL GREEN 4.106.2 REQUIRES THAT DURING CONSTRUCTION, STORM WATER FROM THE PROPERTY REMAINS ON THE PROPERTY. UTILIZING CATCH BASING, WATTLES, STRAW AND FILTERS.

VEHICLE & CONTRUCTION EQUIPMENT SERVICE AND STORAGE

AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTES SHALL BE PROPERLY DISPOSED OF OFF SITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION AND SEDIMENT COTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.

STANDARD EROSION CONTROL NOTES

1. SEDIMENT CONTROL MANAGEMENT:

TRACKING PREVENTION & CLEAN UP: ACTIVITIES SHALL BE ORGANIZED, AND MEASURES TAKEN AS NEEDED TO PREVENT OR MINIMIZE TRACKING OF SOIL ONTO THE PUBLIC STREET SYSTEM. A GRAVEL OR PROPRIETARY DEVICE CONSTRUCTION ENTRANCE/EXIT IS REQUIRED FOR ALL SITES. CLEAN UP OF TRACKED MATERIAL SHALL BE PROVIDED BY MEANS OF A STREET SWEEPER PRIOR TO AN APPROACHING RAIN EVENT, OR AT LEAST ONCE AT THE END OF EACH WORKDAY THAT MATERIAL IS TRACKED, OR, MORE FREQUENTLY AS DETERMINED BY THE COUNTY INSPECTOR. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-31 TO B-33) OR LATEST.

STORM DRAIN INLET AND CATCH BASIN INLET PROTECTION:

ALL INLETS WITHIN THE VICINITY OF THE PROJECT AND WITHIN THE PROJECT LIMITS SHALL BE PROTECTED WITH GRAVEL BAGS PLACED AROUND INLETS OR OTHER INLET PROTECTION. AT LOCATIONS WHERE EXPOSED SOILS ARE PRESENT, STAKED FIBER ROLES OR STAKED SILT FENCES CAN BE USED. INLET FILTERS ARE NOT ALLOWED DUE TO CLOGGING AND SUBSEQUENT FLOODING. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES B-49 TO B-51) OR LATEST.

STORM WATER RUNOFF:

NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN IN TO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM DRAIN SYSTEM OR OTHER ABOVE GROUND WATERCOURSES UNTIL APPROPRIATE EROSION CONTROL MEASURES ARE FULLY INSTALLED.

DUST CONTROL:

THE CONTRACTOR SHALL PROVIDE DUST CONTROL IN GRADED AREAS AS REQUIRED BY PROVIDING WET SUPPRESSION OR CHEMICAL STABILIZATION OF EXPOSED SOILS, PROVIDING FOR RAPID CLEAN UP OF SEDIMENTS DEPOSITED ON PAVED ROADS, FURNISHING CONSTRUCTION ROAD ENTRANCES AND VEHICLE WASH DOWN AREAS, AND LIMITING THE AMOUNT OF AREAS DISTURBED BY CLEARING AND EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

STOCKPILING:

EXCAVATED SOILS SHALL NOT BE PLACED IN STREETS OR ON PAVED AREAS. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (TARPS, STRAW BALES, SILT FENCES, ECT.) TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM OR NEIGHBORING WATERCOURSE.

2. EROSION CONTROL: DURING THE RAINY SEASON, ALL DISTURBED AREAS MUST INCLUDE AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL. IT IS REQUIRED THAT TEMPORARY EROSION CONTROL MEASURES ARE APPLIED TO ALL DISTURBED SOIL AREAS PRIOR TO A RAIN EVENT. DURING THE NON-RAINY SEASON, EROSION CONTROL MEASURES MUST BE APPLIED SUFFICIENT TO CONTROL WIND EROSION AT THE SITE.

3. INSPECTION & MAINTENANCE: DISTURBED AREAS OF THE PROJECT'S SITE, LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE, AND ALL EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THE EROSION CONTROL PLANS MUST BE INSPECTED BY THE CONTRACTOR BEFORE, DURING, AND AFTER STORM EVENTS, AND AT LEAST WEEKLY DURING SEASONAL WET PERIODS. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

4. PROJECT COMPLETION: PRIOR TO PROJECT COMPLETION AND SIGNOFF BY THE COUNTY INSPECTOR, ALL DISTURBED AREAS SHALL BE RESEEDED, PLANTED, OR LANDSCAPED TO MINIMIZE THE POTENTIAL FOR EROSION ON THE SUBJECT SITE.

5. IT SHALL BE THE OWNER'S/CONTRACTOR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE EROSION CONTROL PLAN.

6. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR ROUND OR UNTIL VEGETATION IS FULLY ESTABLISHED ON LANDSCAPED SURFACES.

STANDARD BEST MANAGEMENT PRACTICE NOTES

1. SOLID AND DEMOLITION WASTE MANAGEMENT: PROVIDE DESIGNATED WASTE COLLECTION AREAS AND CONTAINERS ON SITE AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS, AND ARRANGE FOR REGULAR DISPOSAL. WASTE CONTAINERS MUST BE WATERTIGHT AND COVERED AT ALL TIMES EXCEPT WHEN WASTE IS DEPOSITED. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C3) OR LATEST.

2. HAZARDOUS WASTE MANAGEMENT: PROVIDE PROPER HANDLING AND DISPOSAL OF HAZARDOUS WASTES BY A LICENSED HAZARDOUS WASTE MATERIAL HAULER. HAZARDOUS WASTES SHALL BE STORED AND PROPERLY LABELED IN SEALED CONTAINERS CONSTRUCTED OF SUITABLE MATERIALS. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-5 TO C-6) OR LATEST.

3. SPILL PREVENTION AND CONTROL: PROVIDE PROPER STORAGE AREAS FOR LIQUID AND SOLID MATERIALS, INCLUDING CHEMICALS AND HAZARDOUS SUBSTANCES, AWAY FROM STREETS, GUTTERS, STORM DRAINS, AND WATERWAYS. SPILL CONTROL MATERIALS MUST BE KEPT ON SITE WHERE READILY ACCESSIBLE. SPILLS MUST BE CLEANED UP IMMEDIATELY AND CONTAMINATED SOIL DISPOSED PROPERLY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-7 TO C-8, C-13 TO C-14) OR LATEST.

4. VEHICLE AND CONSTRUCTION EQUIPMENT SERVICE AND STORAGE: AN AREA SHALL BE DESIGNATED FOR THE MAINTENANCE, WHERE ON-SITE MAINTENANCE IS REQUIRED, AND STORAGE OF EQUIPMENT THAT IS PROTECTED FROM STORMWATER RUN-ON AND RUNOFF. MEASURES SHALL BE PROVIDED TO CAPTURE ANY WASTE OILS, LUBRICANTS, OR OTHER POTENTIAL POLLUTANTS AND THESE WASTES SHALL BE PROPERLY DISPOSED OF OFFSITE. FUELING AND MAJOR MAINTENANCE/REPAIR, AND WASHING SHALL BE CONDUCTED OFF-SITE WHENEVER FEASIBLE. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C9) OR LATEST.

5. MATERIAL DELIVERY, HANDLING AND STORAGE: IN GENERAL, MATERIALS SHOULD NOT BE STOCKPILED ON SITE. WHERE TEMPORARY STOCKPILES ARE NECESSARY AND APPROVED BY THE COUNTY, THEY SHALL BE COVERED WITH SECURED PLASTIC SHEETING OR TARP AND LOCATED IN DESIGNATED AREAS NEAR CONSTRUCTION ENTRANCES AND AWAY FROM DRAINAGE PATHS AND WATERWAYS. BARRIERS SHALL BE PROVIDED AROUND STORAGE AREAS WHERE MATERIALS ARE POTENTIALLY IN CONTACT WITH RUNOFF. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-11 TO C-12) OR LATEST.

6. HANDLING AND DISPOSAL OF CONCRETE AND CEMENT: WHEN CONCRETE TRUCKS AND EQUIPMENT ARE WASHED ON-SITE, CONCRETE WASTEWATER SHALL BE CONTAINED IN DESIGNATED CONTAINERS OR IN A TEMPORARY LINED AND WATERTIGHT PIT WHERE WASTED CONCRETE CAN HARDEN FOR LATER REMOVAL. IF POSSIBLE, HAVE CONCRETE CONTRACTOR REMOVE CONCRETE WASH WATER FROM SITE. IN NO CASE SHALL FRESH CONCRETE BE WASHED INTO THE ROAD RIGHT-OF-WAY. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-15 TO C-16) OR LATEST.

7. PAVEMENT CONSTRUCTION MANAGEMENT: PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS FROM PAVING OPERATIONS, USING MEASURES TO PREVENT RUN-ON AND RUNOFF POLLUTION AND PROPERLY DISPOSING OF WASTES. AVOID PAVING IN THE WET SEASON AND RESCHEDULE PAVING WHEN RAIN IS IN THE FORECAST. RESIDUE FROM SAW-CUTTING SHALL BE VACUUMED FOR PROPER DISPOSAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-17 TO C-18) OR LATEST.

8. CONTAMINATED SOIL AND WATER MANAGEMENT: INSPECTIONS TO IDENTIFY CONTAMINATED SOILS SHOULD OCCUR PRIOR TO CONSTRUCTION AND AT REGULAR INTERVALS DURING CONSTRUCTION. REMEDIATING CONTAMINATED SOIL SHOULD OCCUR PROMPTLY AFTER IDENTIFICATION AND BE SPECIFIC TO THE CONTAMINANT IDENTIFIED, WHICH MAY INCLUDE HAZARDOUS WASTE REMOVAL. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGES C-19 TO C-20) OR LATEST.

9. SANITARY/SEPTIC WATER MANAGEMENT: TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE PATHS, WATERWAYS, AND TRAFFIC AREAS. ONLY LICENSED SANITARY AND SEPTIC WASTE HAULERS SHOULD BE USED. SECONDARY CONTAINMENT SHOULD BE PROVIDED FOR ALL SANITARY FACILITIES. REFER TO EROSION & SEDIMENT CONTROL FIELD MANUAL, 4TH EDITION (PAGE C-21) OR LATEST.

10. INSPECTION & MAINTENANCE: AREAS OF MATERIAL AND EQUIPMENT STORAGE SITES AND TEMPORARY SANITARY FACILITIES MUST BE INSPECTED WEEKLY. PROBLEM AREAS SHALL BE IDENTIFIED AND APPROPRIATE ADDITIONAL AND/OR ALTERNATIVE CONTROL MEASURES IMPLEMENTED IMMEDIATELY, WITHIN 24 HOURS OF THE PROBLEM BEING IDENTIFIED.

FIRE DEPARTMENT NOTE

FIRE DEPARTMENT ACCESS ROADWAY MUST BE PROVIDED AND MAINTAINED SERVICEABLE PRIOR TO AND DURING CONSTRUCTION.

PROVIDE CLASS A ROOF COVERING. THE ROOF SHALL BE FIRE STOPPED TO PRECLUDE ENTRY OF FLAME OR EMBERS UNDER ROOF COVERING.

EXTERIOR WINDOW AND EXTERIOR GLAZED DOOR ASSEMBLIES SHALL COMPLY WITH ONE OF THE FOLLOWING: BE CONSTRUCTED OF MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 72406 SAFETY GLAZING OR CONSTRUCTED OF GLASS BLOCK UNITS OR HAVE A FIRE RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 257 OR BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2.

BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA.

ARCHITECTURE AND SITE APPLICATION S-24-049- AND VARIANCE APPLICATION V-24- 0xx

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SCOPE OF WORK

- TECHNICAL DEMOLITION OF EXISTING RESIDENCE AND CONSTRUCTION OF A NEW 2,466.00 SQUARE FOOT RESIDENCE AND A REQUEST FOR A VARIANCE FOR A REDUCED FRONT SET BACK.
- ALL NEW FRAMING.

PROJECT DATA

ASSESSOR'S PARCEL No:	424 - 19 - 054
ZONING:	R-3U
BUILDING TYPE:	VB
EXISTING GROSS	12,064.00 SQ.FT.
NET LOT SIZE	10,734.31 SQ.FT.
FIRE SPRINKLERS:	NON SPRINKLERS
FLOOD ZONE:	NO
ZONING:	R-1:8

PLANNING DATA

	EXISTING CONDITIONS	PROPOSED PROJECT	REQUIRED
LOT COVERAGE	2,430 SQ. FT.	3,117.85 SQ. FT.	4,293.72 SQ. FT. (40%)
FRONT SETBACK	27'-0"	16'-1"	25'-0"
LEFT SETBACK	14'-2"	13'-8"	8'-0"
RIGHT SETBACK	30'-2"	8'-0"	8'-0"
REAR SETBACK	28'-7"	20'-9"	20'-0"
HEIGHT	16'-8"	18'-1"	30'-0"

FLOOR AREA RATIO CALCULATION

$FAR = .35 - ((\frac{A-5}{25}) \times 0.20)$

*WHERE: "A" IS THE NET LOT AREA IN THOUSANDS OF S.F. (E.G. 7,500 S.F. IS WRITTEN AS 7.5)

* NOTE: THE PRODUCT OF THE FAR EQUATION WILL BE A DECILMAL. FOR EXAMPLE, .326 IS THE FAR FOR AN 8,000 S.F. LOT. TO CALCULATE THE MAXIMUM LIVING AREA, MULTIPLY THE FAR BY THE LOR AREA AS FOLLOWS: .326 x 8,000 S.F. = 2,608 S.F. OF MAXIMUM LIVING AREA

A = 10,734.31 SQ.FT. (LOT AREA)

$FAR = .35 - ((\frac{10.734-5}{25}) \times 0.20) = .3042$

= 12,064 x .3042
= 3,263.37 SQ.FT. (MAXIMUM ALLOWED F.A.R. AREA)

1539 S.F. EXISTING F.A.R. (FLOOR AREA RATIO)

2,594 S.F. TOTAL PROPOSED F.A.R.

AREA CALCULATION

	EXISTING	DEMOLITION	PROPOSED ADDITION	TOTAL
FLOOR AREA	1539 SQ. FT.		1,003.30 SQ. FT.	2,542.30 SQ. FT.
(E) GARAGE	612.5 SQ. FT.	612.5 SQ. FT.		0 SQ. FT.
(N) GARAGE			523.85 SQ. FT.	523.85 SQ. FT.
PORCH	57 SQ. FT.	5.3 SQ. FT.		51.7 SQ. FT.
DECK	216 SQ. FT.	216 SQ. FT.		0 SQ. FT.
PROPOSED FAR = 2594 SQ. FT.				

SHEET INDEX

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ABBREVIATIONS

AA.	ATTIC ACCESS
AC	AIR CONDITIONER
ADJ	ADJACENT
A.F.F.	ABOVE FINISH FLOOR
ARCH	ARCHITECTURAL
B.C.	BOX CEILING
BD.RM.	BEDROOM
BLDG.	BUILDING
BM.	BEAM
BTH.	BATHROOM
CH.	CEILING HEIGHT
CL.	CLOSET
CLG	CEILING
CMW.	CASEMENT WINDOW
CONC.	CONCRETE
D.	DOOR
DHD.	DOUBLE HINGED DOOR
DHW	DOUBLE HUNG WINDOW
DIM	DIMENSION
DFD.	DOUBLE FRENCH DOOR
DK.	DECK
DN.	DINING
D.W.	DISH WASHER
DWY	DRIVE WAY
(E)	EXISTING
ELEV	ELEVATION
E.V.	ELECTRIC VEHICLE CHARGING
F.	FENCE
FAU.	FORCED AIR UNIT
F.C.	FENCE CORNER
FD.	FRENCH DOOR
FDD.	FOLDING DOOR
F.F.	FINISH FLOOR
F.F.L.	FINISH FLOOR LEVEL
F.H.	FIRE HYDRANT
FIN	FINISH
FN.	FENCE
FLR	FLOOR
F.P.	FIRE PLACE
FM.RM.	FAMILY ROOM
FTG.	FOOTING
FW.	FIXED WINDOW
GAR.	GARAGE
GBR.	GUEST BEDROOM
GD.	GROUND
GR.	GRADE
GRS.	GRASS
H.B.	HOSE BIBB
HND.	HINGED DOOR
HT.	HEIGHT
INT.	INTERIOR
KT.	KITCHEN
LDRY.	LAUNDRY
LVL.	LEVEL
LVR.	LIVING ROOM
MAX.	MAXIMUM
MBR.	MASTER BEDROOM
MBTH.	MASTER BATHROOM
(N)	NEW
N	NORTH
N/A	NOT APPLICABLE
N.T.S.	NOT TO SCALE
O.U.	ON CENTER
OFC.	OFFICE
OH.A.	OVERHEAD DOOR
OPN.	OPENING
OPT.	OPTIONAL
PAN.	PANTRY
PCD.	POCKET DOOR
PCH	PORCH
P.W.	PATH WAY
PYR.	PRAYER ROOM
REF	REFRIGERATOR
(RLC)	RELOCATE
(RV)	REMOVE
(RMD)	REMODEL
R.	ROOF
RM.	ROOM
S.C.	SHOWER CLEARANCE
SEC.	SECTION
SHD.	SURFACE HUNG DOOR
SHW	SINGLE HUNG WINDOW
SQ.FT.	SQUARE FEET
S.L.	SKY LIGHT
SLD	SLIDING DOOR
SLP.	SLOPE
SLW	SLIDING WINDOW
S.T.	SUN TUNNEL
STOR.	STORAGE
STDY.	STUDY
S.W.	SIDE WALK
T.C.	TOILET CLEARANCE
T.O.C.	TOP OF CURB
T.O.C.	TOP OF CONCRETE
T.O.S.F.	TOP OF SUB-FLOOR
T.O.W.	TOP OF WALL
TOT	TOTAL
TYP.	TYPICAL
U.C.	UPPER CABINET
U.F.A.	UNDER FLOOR ACCESS
V.C.	VAULTED CEILING
VNL	VINYL
W.I.C.	WALK IN CLOSET
W.F.	WALL FURNACE
'	INCHES
"	FEET
&	AND
1ST.	FIRST
2ND.	SECOND

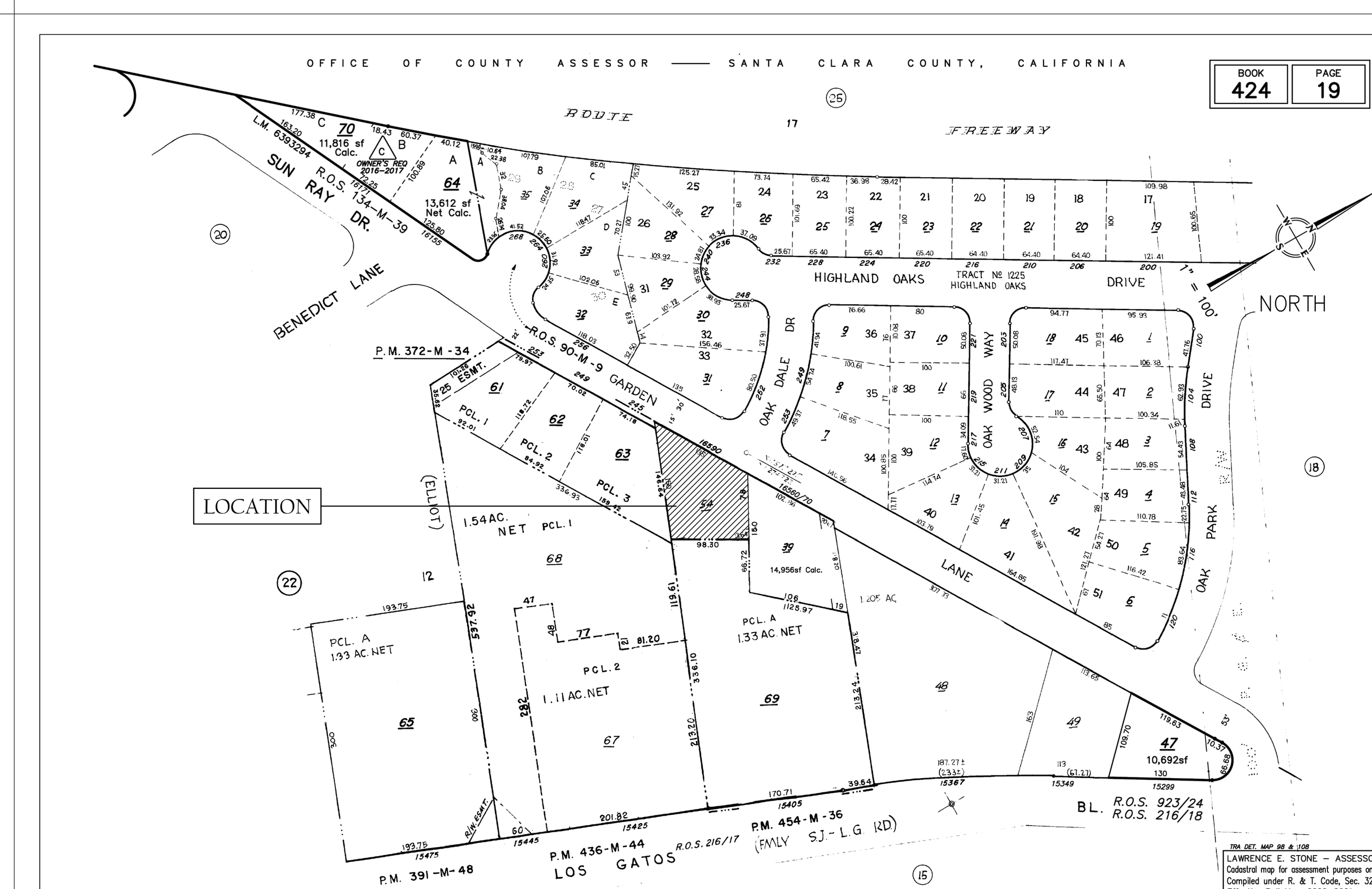
ADDITIONAL NOTES

NOTE I: THE BUILDER MUST THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PERT 1) THAT INCLUDES A LIST OF LAMOS INSTALLED IN THE LUMINARIES.

NOTE II: DOCUMENTATION SHALL BE PROVIDED. PRIOR TO FIRST INSPECTION, CONFIRM COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION, CGBSC SECTION 4.408.5.

NOTE III:
A.- ALL ADHESIVE, SEALANTS, CAULKS, PAINTS, COATINGS AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR, CGBSC 4.504.2.4.
B.- PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETINGM CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504.

VICINITY MAPS



CITY STAMPS

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BEDI RESIDENCE
16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE:	10 / 16 / 2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

COVER SHEET

SHEET NO.
A - 1

EXHIBIT 10

2022 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2023
HCD SHL 620 (Rev 03/23)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2022 CALGREEN CODE

SECTION	REQUIREMENTS
CHAPTER 1 – ADMINISTRATION	
	Scope
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.
102.3	Requires a completed Residential Occupancies Application Checklist or alternate method acceptable to the enforcing agency to be used for documentation of conformance.
CHAPTER 3 – GREEN BUILDING	
	Additions and alterations
301.1.1	• Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. • Requirements only apply within the specific area of the addition or alteration. • Requirements for electric vehicle charging may apply to additions to or alterations of parking facilities for multifamily buildings
301.2	**Low-rise and high-rise residential buildings**
	Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].
302.1	**Mixed occupancy buildings**
	Requires each portion of mixed occupancy buildings to comply with CALGreen measures applicable for the specific occupancy. **Exceptions:** • Accessory structures and accessory occupancies serving residential buildings to comply with Chapter 4 and Appendix A4, as applicable. • Live/work units complying with the California Building Code Section 508.5 shall not be considered a mixed occupancy. Live/work units are required to comply with Chapter 4 and Appendix A4, as applicable.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
Chapter 4 – RESIDENTIAL MANDATORY MEASURES	
Division 4.1 – PLANNING AND DESIGN	
	Storm water drainage and retention during construction
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.
	Grading and paving
4.106.3	Construction plans shall indicate how the site grading or drainage system will manage all surface water flows to keep water from entering buildings. Exception: Additions and alterations which do not alter the existing drainage path.
	Electric vehicle (EV) charging for new construction
4.106.4	• Comply with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 for future installation and use of EV chargers. • Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. **Exceptions:** 1. On a case-by-case basis where the local enforcing agency has determined EV charging and infrastructure are not feasible based upon 1 of the following: 1.1. Where there is no commercial power supply. 1.2. Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the homeowner/developer by more than $400.00 per dwelling unit. 2. Accessory Dwelling Units and Junior Accessory Dwelling Units without additional parking facilities. Note: For definitions of Accessory Dwelling Units and Junior Accessory Units, see CALGreen Chapter 2.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	EV charging: 1- & 2-family dwellings/townhouses with attached private garages
4.106.4.1	• Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. • Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). • Raceway shall originate at the main service or subpanel and terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. • Raceways are required to be continuous at enclosed, inaccessible, or concealed areas and spaces. • Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
	Identification
4.106.4.1.1	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE."
	EV charging for multifamily dwellings
4.106.4.2	• Applies to all multifamily dwelling units with parking facilities on the site. • 10% of the total number of parking spaces provided for all types of parking facilities, but in no case less than 1, shall be electric vehicle charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	EV charging space (EV space) locations
4.106.4.2.1	Construction documents shall indicate the location of proposed EV spaces. Where common use parking is provided at least 1 EV space shall be located in the common use parking areas and shall be available for use by all residents.
	EV charging stations (EVCS)
4.106.4.2.1.1	When EV chargers are installed, EV spaces (required by Section 4.106.4.2.2, Item 3,) shall comply with at least 1 of the following options: 1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route to the building, as defined in the California Building Code, Chapter 2. Exception: EVCS designed and constructed in compliance with the California Building Code Chapter 11B are not required to comply with Section 4.106.4.2.1.1 and Section 4.106.4.2.2, Item 3.
	EV charging space (EV space) dimensions
4.106.4.2.2	EV spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet. 2. The minimum width of each EV space shall be 9 feet. 3. 1 in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the minimum width of the EV space is 12 feet. a. Surface slope for this EV space and aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083% slope) in any direction.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Single EV space required
4.106.4.2.3	• Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. • Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). • Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. • Construction documents shall identify the raceway termination point. • Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.
	Multiple EV spaces required
4.106.4.2.4	• Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics, and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. • Plan design shall be based upon a 40-ampere minimum branch circuit. • Required raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction.
	Identification
4.106.4.2.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	EV charging for hotels and motels
4.106.4.3	• Applies to all newly constructed hotels and motels. • Construction documents shall identify the location of EV spaces. Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use.
	Number of required EV spaces
4.106.4.3.1	Table 4.106.4.3.1 shows the number of required EV spaces based on the total number of parking spaces provided for all types of parking facilities.
	EV charging space (EV space) dimensions
4.106.4.3.2	EV spaces shall be designed to comply with the following: • Minimum length of each EV space shall be 18 feet. • Minimum width of each EV space shall be 9 feet.
	Single EV space required (similar to 4.106.4.2.3)
4.106.4.3.3	• Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. • Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). • Raceway shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space. • Construction documents shall identify the raceway termination point. • Service panel and/or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Multiple EV spaces required (similar to 4.106.4.2.4)
4.106.4.3.4	• Construction documents shall indicate the raceway termination point and proposed location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs at all required EV spaces at the full rated amperage of the EVSE. • Plan design shall be based upon a 40-ampere minimum branch circuit. • Required raceways and related components planned to be installed underground, enclosed, inaccessible or, in concealed areas and spaces shall be installed at the time of original construction.
	Identification (similar to 4.106.4.2.5)
4.106.4.3.5	Service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.
	Accessible EV spaces
4.106.4.3.6	In addition to the requirements in Section 4.106.4.3, EV spaces for hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for EV charging stations in the California Building Code, Chapter 11B.
Division 4.2 – ENERGY EFFICIENCY	
	Scope
4.201.1 & 5.201.1	• Energy efficiency requirements for low-rise residential (Section 4.201.1) and high-rise residential/hotels/motels (Section 5.201.1) are now in both residential and nonresidential chapters of CALGreen. • Standards for residential buildings do not require compliance with levels of minimum energy efficiency beyond those required by the 2019 California Energy Code.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES
EFFECTIVE JANUARY 1, 2020
HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
Division 4.3 – WATER EFFICIENCY AND CONSERVATION	
	Water conserving plumbing fixtures and fittings
4.303.1	Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 − Water closets: ≤ 1.28 gal/flush. 4.303.1.2 − Wall mounted urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush. 4.303.1.3.1 − Single showerheads: ≤ 1.8 gpm @ 80 psi. 4.303.1.3.2 − Multiple showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 1.8 gpm @ 80 psi, or only 1 shower outlet is to be in operation at a time. 4.303.1.4.1 − Residential lavatory faucets: maximum flow rate ≤ 1.2 gpm @ 60 psi; minimum flow rate ≥ 0.8 gpm @ 20 psi. 4.303.1.4.2 − Lavatory faucets in common and public use areas of residential buildings: ≤ 0.5 gpm @ 60 psi. 4.303.1.4.3 − Metering faucets: ≤ 0.2 gallons per cycle. 4.303.1.4.4 − Kitchen faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm.
	Standards for plumbing fixtures and fittings
4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.
	Outdoor potable water use in landscape areas
4.304.1	New residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.
Division 4.4 – MATERIAL CONSERVATION & RESOURCE EFFICIENCY	
	Rodent proofing
4.406.1	Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of rodents.

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BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE:	10 / 16 / 2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

CITY STAMPS

CALGREEN RESIDENTIAL MANDATORY

SHEET NO.
A - 2

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Construction waste management
4.408.1	• Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste management ordinance. • Provide documentation to the enforcing agency per Section 4.408.5. **Exceptions:** 1. Excavated soil and land-clearing debris. 2. Alternative waste reduction methods developed by working with local enforcing agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility.
	Construction waste management plan
4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for examination during construction.
	Waste management company
4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Waste stream reduction alternative [LR]
4.408.4 & 4.408.4.1	• Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1. • Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction requirement in Section 4.408.1.
	Operation and maintenance manual
4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall be placed in the building.
	Recycling by occupants
4.410.2	Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the depositing, storage and collection of nonhazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are not required to comply with the organic waste portion of this section.
Division 4.5 – ENVIRONMENTAL QUALITY	
	Fireplaces - General
4.503.1	Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves, and fireplaces shall also comply with all applicable local ordinances.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Protection of mechanical equipment during construction
4.504.1	At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount of water, dust and debris entering the system may be used.
	Adhesives, sealants and caulks
4.504.2.1	Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers, and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products shall also comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations (CCR), Title 17, commencing with Section 94507.
	Paints and coatings
4.504.2.2	Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat, or Nonflat-high Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-high Gloss VOC limit in Table 4.504.3 shall apply.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Aerosol paints and coatings
4.504.2.3 & 4.504.2.4	• Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49. • Documentation is required per Section 4.504.2.4.
	Carpet systems
4.504.3	Carpet installed in the building interior shall meet the testing and product requirements of 1 of the following: 1. Carpet and Rug Institute's Green Label Plus Program. 2. California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350). 3. NSF/ANSI 140 at the Gold level. 4. Scientific Certifications Systems Indoor Advantage™ Gold.
	Carpet cushion
4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label program.
	Carpet adhesive
4.504.3.2	Carpet adhesives shall meet the requirements of Table 4.504.1.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Resilient flooring systems
4.504.4	Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall comply with 1 or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the Collaborative for High Performance Schools (CHPS) High Performance Products Database. 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard Children & Schools program). 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program. 4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350).
	Composite wood products
4.504.5 & 4.504.5.1	• Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements for formaldehyde as specified in the Air Resources Board's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), as shown in Table 4.504.5. • Documentation is required per Section 4.504.5.1. • Definition of Composite Wood Products: Composite wood products include hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17, Section 93120.1(a).

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Concrete slab foundations
4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
	Capillary break
4.505.2.1	A capillary break shall be installed in compliance with at least 1 of the following: 1. A 4-inch thick base of ½ inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.
	Moisture content of building materials
4.505.3	Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements in Section 101.8. 2. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade stamped end of each piece to be verified. 3. At least 3 random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to enclosure.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
	Bathroom exhaust fans
4.506.1	Each bathroom shall be mechanically ventilated and shall comply with the following: 1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control. a. Humidity controls shall be capable of manual or automatic adjustment between a relative humidity range of ≤ 50% to a maximum of 80%. b. A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in. Note: For CALGreen, a bathroom is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.
	Heating and air-conditioning system design
4.507.2	Heating and air-conditioning systems shall be sized, designed and equipment selected using the following methods: 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2016 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2016 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014 (Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems function are acceptable.

2019 CALGREEN RESIDENTIAL MANDATORY MEASURES EFFECTIVE JANUARY 1, 2020

HCD SHL 615 (New 01/20)

See specific referenced sections for complete details on CALGreen mandatory requirements.

2019 CALGREEN CODE

SECTION	REQUIREMENTS
CHAPTER 7 – INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS	
	Installer training
702.1	HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include, but are not limited to, the following: 1. State certified apprenticeship programs. 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.
	Special inspection
702.2	When required by the enforcing agency, special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting.
	Documentation
703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.

CITY STAMPS

GoldenDesigns
Structural Engineering
392 WHITNEY WAY,
MORGAN HILL, CA 95037
EMAIL ADMIN@GD-SE.COM
TEL: 408-659-5580

BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10 / 16 / 2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A - 21 - 21

CALGREEN RESIDENTIAL MANDATORY

SHEET NO.
A - 3

SYMBOLOGY

WM WATER METER EM ELECTRICAL METER EP ELECTRICAL PANEL 200 AMP AC AIR CONDITIONER GM GAS METER

NOTES

NOTE I
THE FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM OF 5% FOR LEAST 10 FEET FROM THE STRUCTURE. CBC 1804.3

NOTE II
THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMP, 3 WIRE. CRC 230.79.

NOTE III:
PROTECTION OF TREES DURING CONSTRUCTION.

(A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:

(1) SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.

(2) AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP: CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN): ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.

(3) DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.

(4) WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN STATING: "WARNING--TREE PROTECTION ZONE--THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."

(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:

(1) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.

(2) PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.

(3) PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.

(4) PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.

(5) DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.

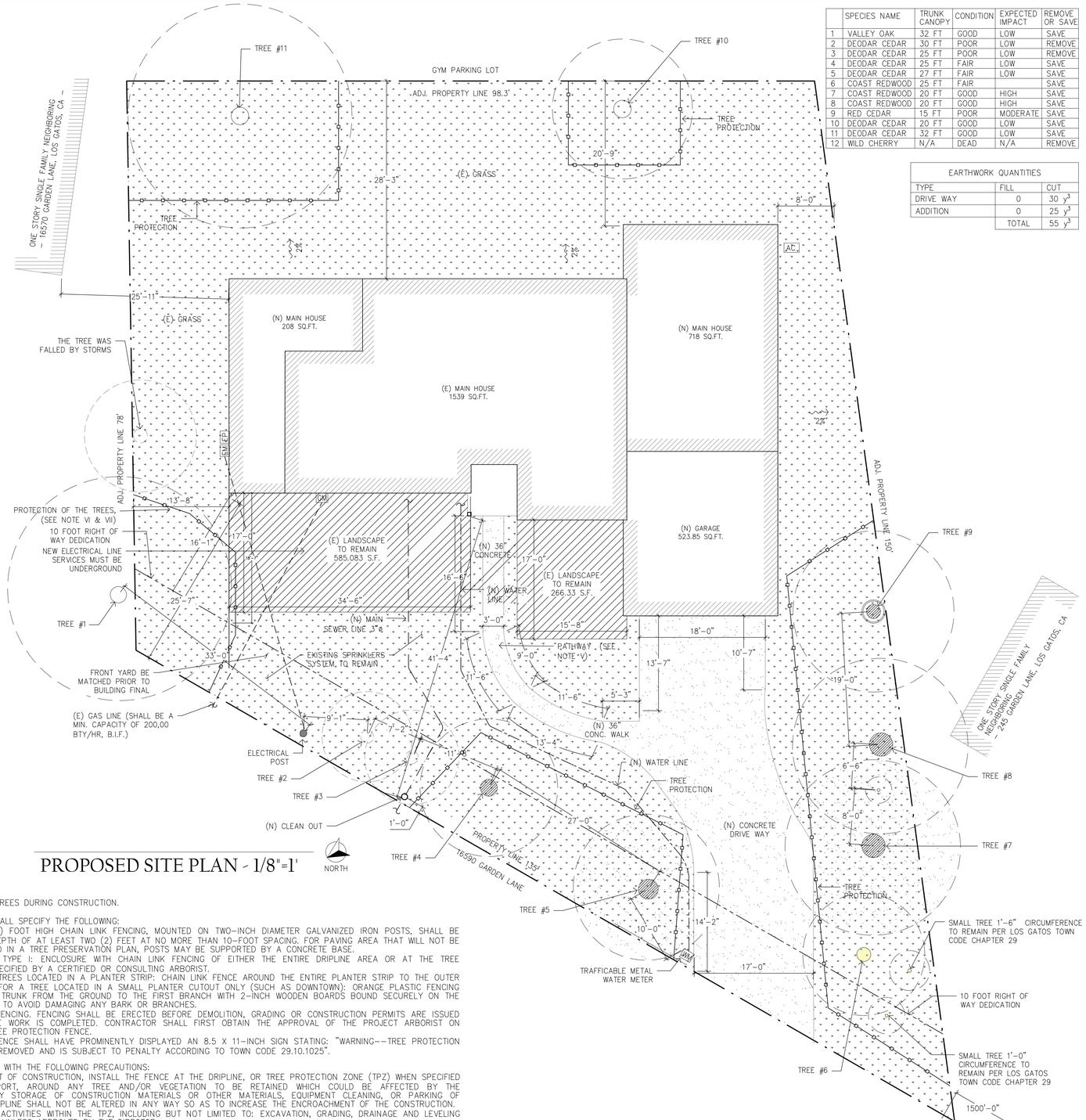
(6) RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.

(7) THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

NOTE IV
FIXTURES INSTALLED ON A FLOOR LEVEL THAT IS LOWER THAN THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC, OR PRIVATE SEWER SHALL BE PROTECTED FROM BACKFLOW OF SEWAGE BY INSTALLING AN APPROVED TYPE OF BACKWATER VALVE. FIXTURES ON SUCH FLOOR LEVEL THAT ARE NOT BELOW THE NEXT UPSTREAM MANHOLE COVER SHALL NOT BE REQUIRED TO BE PROTECTED BY A BACKWATER VALVE. FIXTURES ON FLOOR LEVELS ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. CLEANOUTS FOR DRAINS THAT PASS THROUGH A BACKWATER VALVE SHALL BE CLEARLY IDENTIFIED WITH A PERMANENT LABEL STATING "BACKWATER VALVE DOWNSTREAM."

NOTE V
-ALL PATTERNS SHOWN ON PLAN ARE SCHEMATIC ONLY AND DO NOT ACCURATELY REFLECT ACTUAL PATTERNS,SCALE,ORIENTACION, ACCENT BORDERS,ETC. OF DESIRED FINISH PRODUCT. VERIFY ALL FINISHES AND MATERIALS WITH OWNER PRIOR TO PLACING ANY ORDERS.
-VERIFY LAYOUT OF FLOORING PATTERNS AND WALL TILE PATTERNS WITH OWNER.
-PROTECT FINISHES TO REMAIN AND REPAIR ANY DAMAGE CAUSED DURING CONSTRUCTION
-CONFIRM EXTENT OF AREAS TO RECEIVE ACOUSTICAL RESILIENT PAD

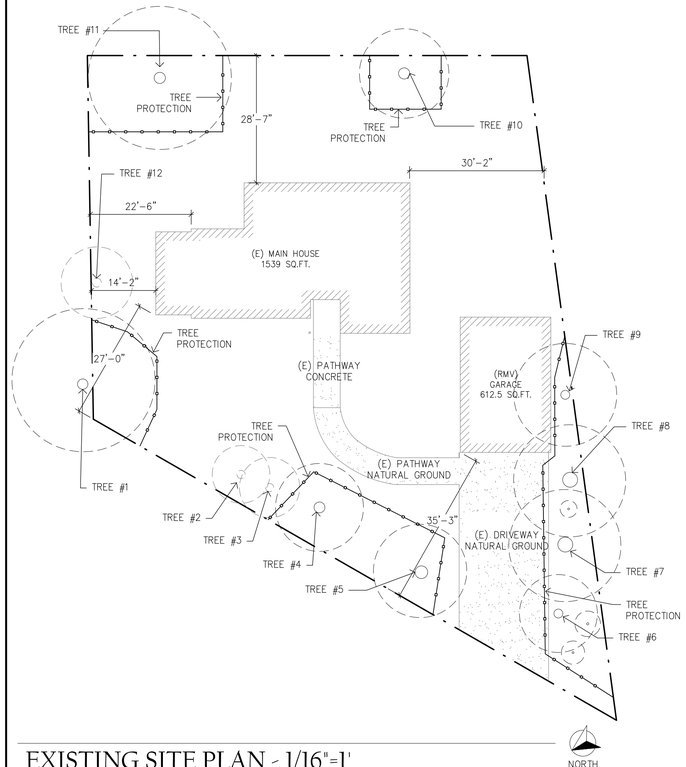
NOTE VI
TREES TO REMAIN-PROTRECT AS REQUIRED DURING CONSTRUCTION-DO NOT LEAVE MATERIALS OR EQUIPMENT IN ROOT AREAS FOR EXTEND PERIODS OF TIME.



PROPOSED SITE PLAN - 1/8"=1'

	SPECIES NAME	TRUNK CANOPY	CONDITION	EXPECTED IMPACT	REMOVE OR SAVE
1	VALLEY OAK	32 FT	GOOD	LOW	SAVE
2	DEODAR CEDAR	30 FT	POOR	LOW	REMOVE
3	DEODAR CEDAR	25 FT	POOR	LOW	REMOVE
4	DEODAR CEDAR	25 FT	FAIR	LOW	SAVE
5	DEODAR CEDAR	27 FT	FAIR	LOW	SAVE
6	COAST REDWOOD	25 FT	FAIR		SAVE
7	COAST REDWOOD	20 FT	GOOD	HIGH	SAVE
8	COAST REDWOOD	20 FT	GOOD	HIGH	SAVE
9	RED CEDAR	15 FT	POOR	MODERATE	SAVE
10	DEODAR CEDAR	20 FT	GOOD	LOW	SAVE
11	DEODAR CEDAR	32 FT	GOOD	LOW	SAVE
12	WILD CHERRY	N/A	DEAD	N/A	REMOVE

EARTHWORK QUANTITIES		
TYPE	FILL	CUT
DRIVE WAY	0	30 y^3
ADDITION	0	25 y^3
	TOTAL	55 y^3



EXISTING SITE PLAN - 1/16"=1'

NOTE VII:
SEC. 29.10.1005. PROTECTION OF TREES DURING CONSTRUCTION.

(A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:
(1) SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN 10-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.
(2) AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST.
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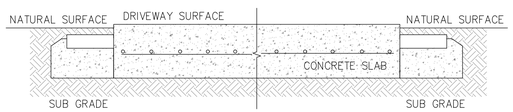
(4) WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN 8.5 X 11-INCH SIGN STATING: "WARNING--TREE PROTECTION ZONE-THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025".

(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:
(1) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.
(2) PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.
(3) PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.
(4) PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.
(5) DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.
(6) RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.
(7) THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

NOTE VIII:
TREE PROTECTION AND SIGNAGE MUST BE INSTALLED PRIOR TO ISSUANCE OF BUILDING PERMIT.

NOTE IX:
ALL THE UTILITY SERVICES MUST BE UNDERGROUND.



DRIVEWAY DETAIL

FIRE HYDRANT
320 Garden Hill Dr, Los Gatos, CA
Changeset: #24392535
Location: 37.2433742, -121.9652132
Type: Pillar
Node: 2983776599

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392 WHITNEY WAY,
MORGAN HILL, CA 95037
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BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE:	10 / 16 / 2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

SITE PLAN

SHEET NO.
A - 4

TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PHONE (408) 399-5770
FAX (408) 354-8529

SERVICE CENTER
41 MILES AVENUE
LOS GATOS, CA 95030

June 9, 2023

Ms. Erin Walters, *Associate Planner*
TOWN OF LOS GATOS
Planning Department
110 E. Main Street
Los Gatos, California 95030

Re: Arborist Report – 16590 Garden Lane – B-21-0900

Dear Ms. Walters,

On May 24, 2023, I conducted a site visit at 16590 Garden Lane for the proposed one-story addition and new driveway per your request and have prepared an Arborist Report. See attached tree inventory map and site plan and site photographs.

There are a total of 12 protected trees on-site.

Tree Inventory Table

Tree Number	Species Name	Trunk Canopy	Condition	Expected Impact	Remove or Save
1	Valley Oak	32 ft	Good	Low	Save
2	Deodar Cedar	30 ft	Poor	Low	Save
3	Deodar Cedar	25 ft	Poor	Low	Save
4	Deodar Cedar	25 ft	Fair	Low	Save
5	Deodar Cedar	27 ft	Fair	Low	Save
6	Coast Redwood	25 ft	Fair		Save
7	Coast Redwood	20 ft	Good	High	Save
8	Coast Redwood	20 ft	Good	High*	Save
9	Red Ceader	15 ft	Poor	Moderate	Save
10	Deodar Cedar	20 ft	Good	Low	Save
11	Deodar Cedar	32 ft	Good	Low	Save
12	Wild Cherry	N/A	Dead – fell over in storm	N/A	Remove

Recommendations:

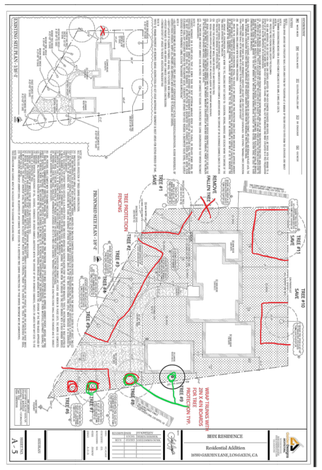
1. Update existing tree locations to show actual location of tree. On site plans label tree number and diameter.
2. Applicant's tearn to provide diameter of each tree, fill in table above.
3. *Tree impact depends on proposed scope of work. Applicant to provide new design for garage and driveway. Arborist to review revised design.
4. Tree protection and tree protection signage must be installed prior to issuance of a building permit.
5. The applicant's team may choose to apply for a tree removal permit for Trees 2-5 and Tree 8. Replacement trees or in-lieu fees will be required per Town Code.
6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
7. Applicant to include tree table on page A-5.
8. Applicant to print Arborist report on a sheet of the building plans.

For additional questions, please contact me at (408) 761-4530.

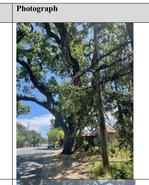
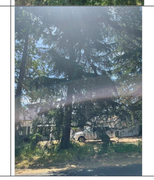
Sincerely,

Rob Moulden, Town Arborist

Attachment 1 – Tree Inventory Map and Site Plan.
Existing and Proposed Site Plan



Attachment 2 – Site Photographs.

Tree Number	Species Name	Photograph
1	Valley Oak	
2	Deodar Cedar	
3	Deodar Cedar	
4	Deodar Cedar	
5	Deodar Cedar	
6	Coast Redwood	
7	Coast Redwood	
8	Coast Redwood	
9	Red Cedar	
10	Deodar Cedar	
11	Deodar Cedar	
12	Wild Cherry	N/A – Dead Fallen Tree – To be removed

Attachment 3 –

Town Code Sec. 29.10.1005. - Protection of trees during construction

(a) Protective tree fencing shall specify the following:

(1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.

(2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.

(3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

(4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."

(b) All persons, shall comply with the following precautions:

(1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.

(2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.

(3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protecied tree.

(4) Prohibit the attachment of wires, signs or ropes to any protected tree.

(5) Design utility services and irrigation lines to be located outside of the dripline when feasible.

(6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.

(7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

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Structural Engineering
392 WHITNEY WAY,
MORGAN HILL, CA 95037
EMAIL: ADMIN@GD-SE.COM
TEL: 408-659-5580

BEDI RESIDENCE
16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10 / 16 / 2024
DESIGNER BY: ESL
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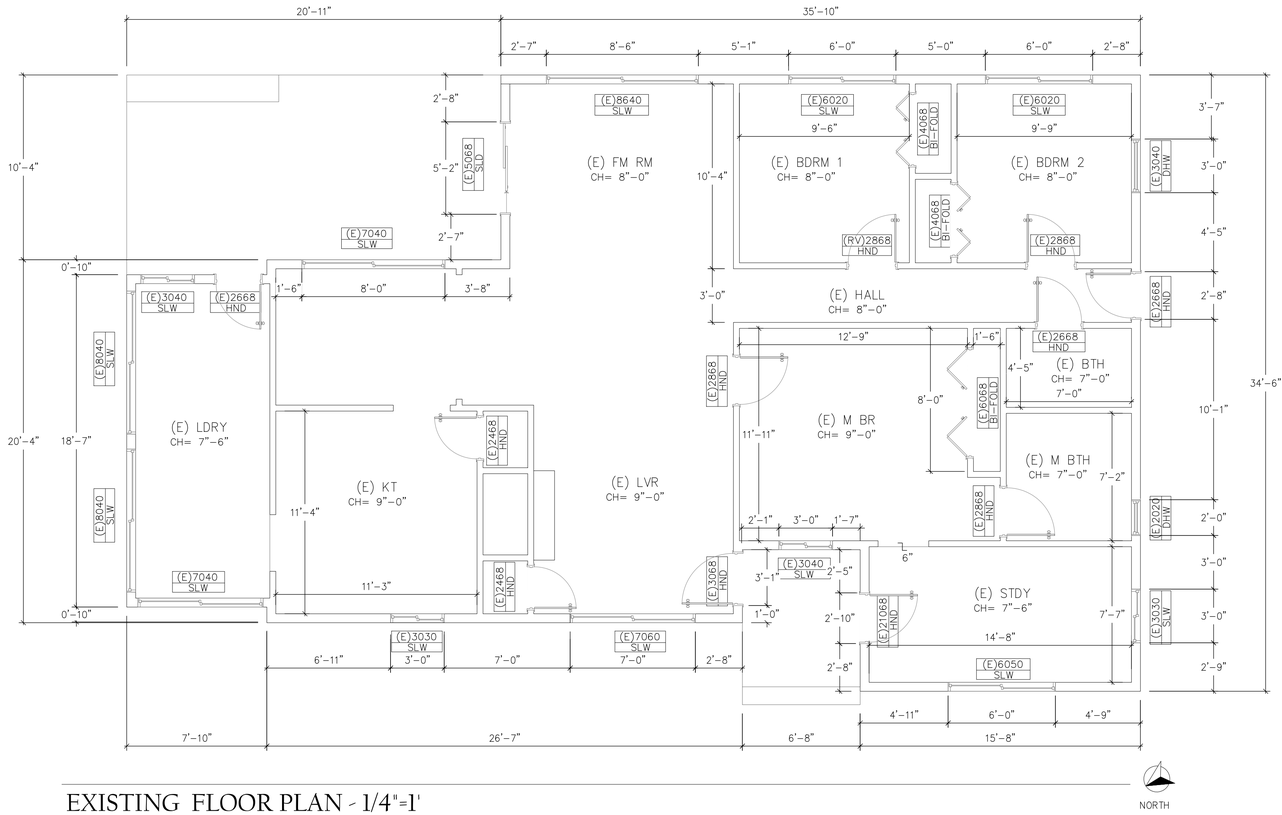
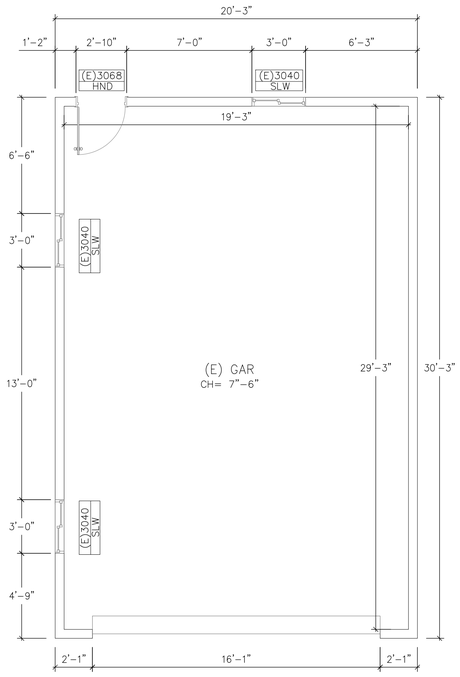
ARBORIST REPORT

SHEET NO.
A - 5



EXISTING FLOOR PLAN - 1/4"=1'

NORTH



SYMBOLOGY

SLW	HORIZONTAL SLIDER WINDOW
HND	HINGED DOOR
DHW	DOUBLE HUNG WINDOW
BI-FOLD	BI-FOLDING DOOR
	EXISTING WALL: INDICATES EXISTING WALLS AND STRUCTURES TO REMAIN. REPAIR DAMAGE CAUSED BY REMOVING FINISHES.

NOTES

NOTE: DIMENSIONS SHOWN ARE MEASURE TO APPROXIMATE FACE OF STUDS. FIELD VERIFY ALL FINISH TO FINISH SURFACE DIMENSIONS.

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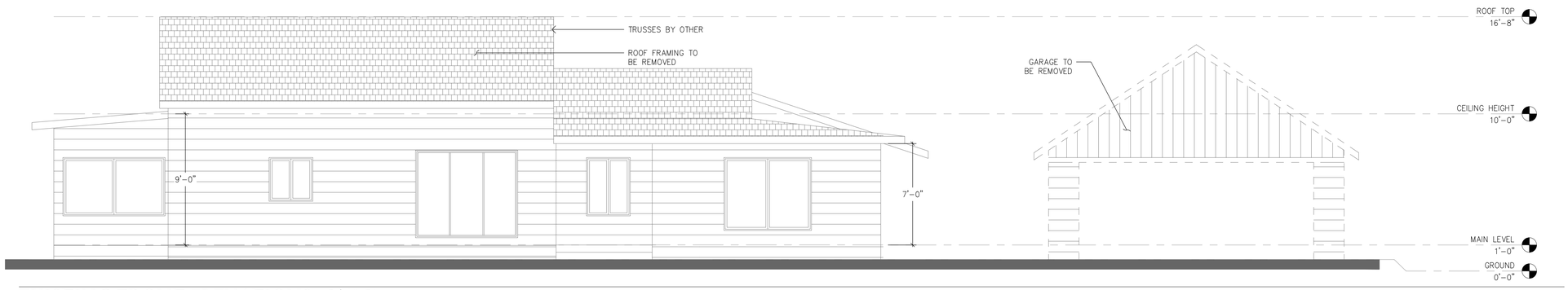
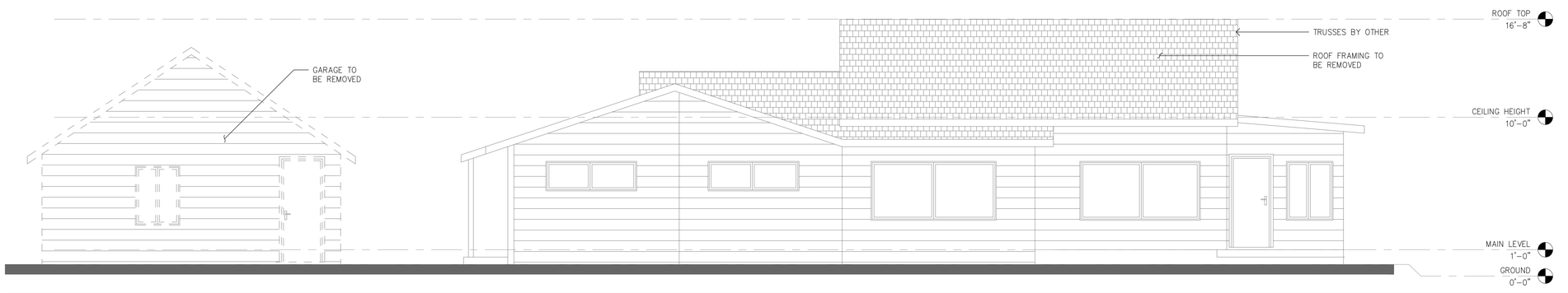
EXISTING FLOOR PLAN

SHEET NO.

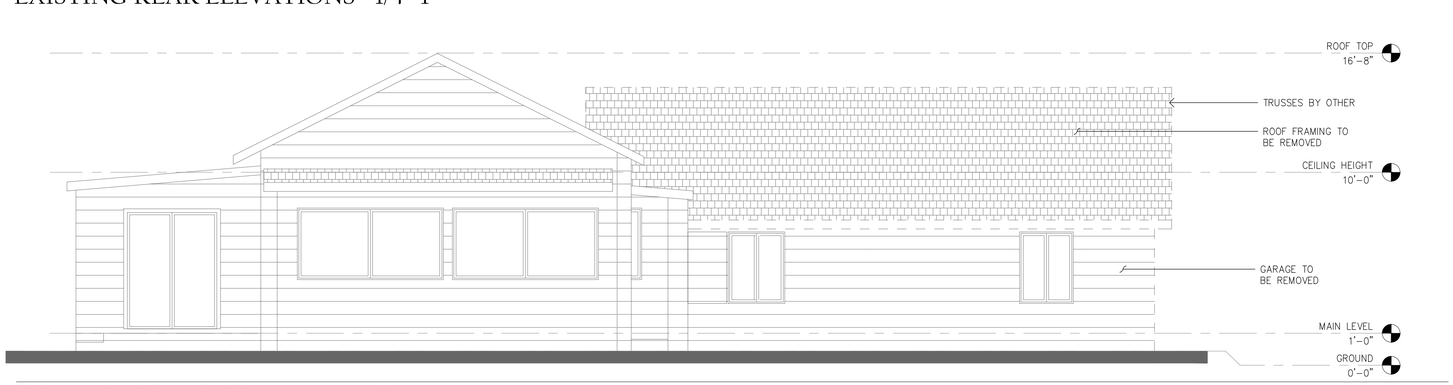
A - 6



EXISTING FRONT ELEVATIONS - 1/4"=1'



EXISTING REAR ELEVATIONS - 1/4"=1'



EXISTING LEFT ELEVATIONS - 1/8"=1'

EXISTING RIGHT ELEVATIONS - 1/8"=1'

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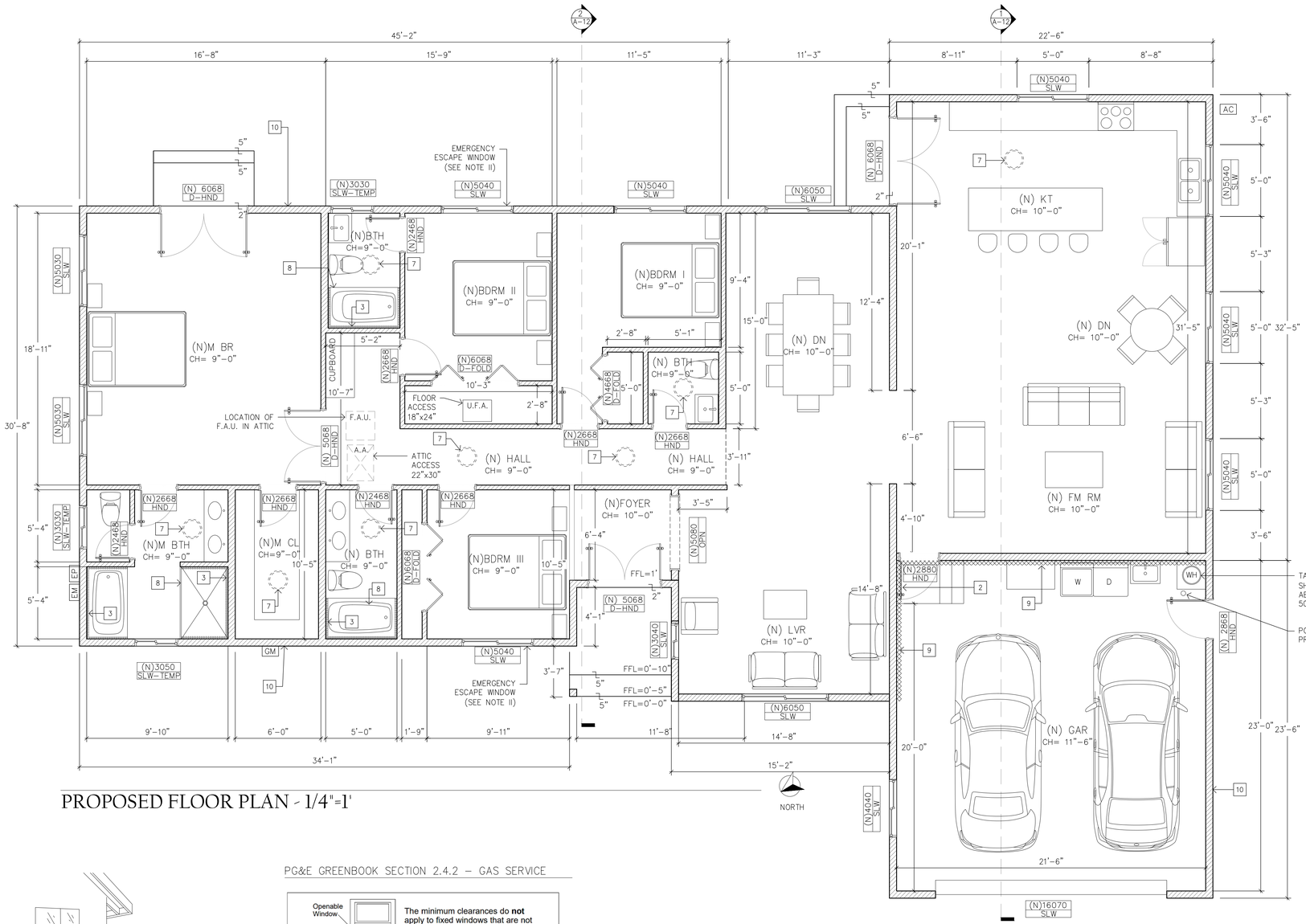
EXISTING ELEVATIONS

SHEET NO.

A - 7



PROPOSED FLOOR PLAN - 1/4"=1'

SYMBOLOGY

D-FOLD	DOUBLE FOLDING
SLW	SLIDING WINDOW
D-HND	DOUBLE HINGED
HND	HINGED
TEMP	SAFETY GLASS
	EXISTING WALL: INDICATES EXISTING WALLS AND STRUCTURES TO REMAIN. REPAIR DAMAGE CAUSED BY REMOVING FINISHES.
	NEW WALL: EXTERIOR WALL 6" AND INTERIOR WALL 4"
EM	ELECTRICAL METER
WM	NEW WATER METER
EP	ELECTRICAL PANEL 200 AMP
GM	EXISTING GAS METER
AC	NEW AC EXTERNAL UNIT

KEYNOTES

1. EGRESS WINDOW PER R310 CRC 2019
2. 1-3/8" THICK SOLID WOOD DOOR OR SOLID OR HONEY-COMB CORE STEEL DOOR, OR 20 MINUTE FIRE RATED FIRE DOOR BETWEEN THE GARAGE AND HABITABLE ROOMS. THIS DOOR SHALL BE SELF CLOSING AND SELF LATCHING (CRC R302.5.1)
3. PROVIDE A SMOOTH, HARD NONABSORBENT SURFACE OVER A MOISTURE RESISTENT UNDERLAYEMNT 72" ABOVE DRAIN INLET (CRC 1210.3).
4. 5/8" TYPE "X" GYPSUM BOARD ON ALL WALL & CEILING SURFACES OF GARAGE SIDE CONTINUE TO ROOF TYP.
5. PROVIDE 36" MIN. DEEP LANDING PER R311.3 (SEE EXTERIOR LANDING IN GENERAL DETAILS)
6. NEW 50 GAL. TANK WATER HEATER
7. 10" SUN TUNNEL
8. PANEL OF SHOWER AND BATHTUB SHALL BE TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, SEE NOTE IV.
9. 1/2" GYPSUM BOARD FROM FOUNDATION TO ROOF SHEATHING.
10. NEW EXTERIOR COATING STUCCO, SHERWIN WILLIAMS ALABASTER (SW 7008)

NOTE: THE LEGENDS NUMBER ARE SPECIFIC TO THIS PARTICULAR SHEET.

NOTES

NOTE I:

WATER CLOSETS WHIT A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GRATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

CALIFORNIA CIVIL ARTICLE 1101.4 AND CALGREES 4.303.1

NEW PLUMBING FIXTURES WILL MEET THE FOLLOWING REQUIREMENTS FOR MAXIMUM FLOW RATES FOR CALGREEN 4.303.1

WATER CLOSETS EFFECTIVE FLUSH VOLUME – 1.28 GPF

SINGLE SHOWERHEAD – 1.8 GMP @ 80 PSI

MULTIPLE SHOWERHEADS CONTROLLED BY A SINGLE VALVE – 1.8 GPM @ 80 PSI

LAVATORY FAUCETS – 1.2 GPM @ 60 PSI (MINIMUM 0.8 GPM @ 20 PSI)

KITCHEN FAUCETS – 1.5 GPM @ 60 PSI

NOTE II: CRC R310, EMERGENCY ESCAPE AND RESCUE OPENING SHALL MEET THE CALIFORNIA FIRE CODE CHAPTER 10 SECTION 1030; EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL OPEN DIRECTLY INTO A PUBLIC WAY; OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY. MINIMUM SIZE IS 5.7 SQUARE FEET OF NET CLEAR OPENING WITH A MINIMUM DIMENSION OF 24 INCHES IN HEIGHT AND 20 INCHES IN WIDTH. THE NET CLEAR OPENING DIMENSION SHALL BE THE RESULT OF NORMAL OPERATION OF THE OPENING. THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES MEASURED FROM THE FLOOR.

NOTE III: R317.3.1 UNDERFLOOR POST, SILLS ON CONCRETE, AND EXTERIOR DECK & STAIR SUPERSTRUCTURE SHALL BE OF PRESSURE TREATED LUMBER; COATINGS FOR FASTENER, POST BASES, HANGARS, AND CONNECTORS IN CONTACT WITH PT SHALL BE H.D. GALVANIZED, Z-MAX, OR STAINLESS STEEL, OR RATED FOR PT CONTACT. THE END NAILS OF THE SHEAR WALL INTO THE PT PLATE NEED TO BE H.D. GALVANIZED.

NOTE IV:
R308.4.5; GLAZING AND WEST SURFACES. GLAZING IN WALLS, ENCLOSURES OR FENCES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND INDOOR OR OUTDOOR SWIMMING POOLS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES (1524 MM) MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE SHALL BE CONSIDERED TO BE A HAZARDOUS LOCATION. THIS SHALL APPLY TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.

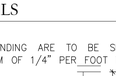
NOTE V:
THE MINIMUM DISCONNECTING MEANS FOR A SINGLE-FAMILY DWELLING IS 100 AMP, 3 WIRE. CRC 230.79.

NOTE VI:
WHERE COMBUSTION APPLIANCE OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ.FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY, IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN). ASHRAE 62.2, SECTION 6.4.

NOTE VII:
A HERS RATER MUST VERIFY THAT INSTALLED RANGE HOODS ARE LISTED IN THE HVI CERTIFIED HOME VENTILATING PRODUCTS DIRECTORY AND HAVE BEEN HVI-CERTIFIED AS MEETING ASHRAE 62.2 VENTILATION AND SHOULD REQUIREMENTS. PROVIDE EVIDENCE OF HERS VERIFICATIONS TO TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

DETAILS

ALL LANDING ARE TO BE SLOPED A MAXIMUM OF 1/4" PER FOOT TO DRAIN WATER

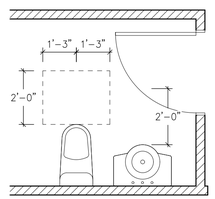


MINIMUM WIDTH EQUAL TO WIDTH OF DOOR

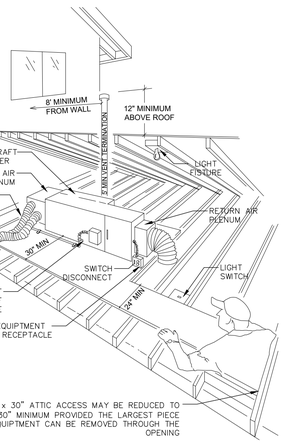
MINIMUM WIDTH EQUAL TO WIDTH OF DOOR

EXTERIOR LANDING
DETAIL 2

TOILET SPACES AT LEAST 30" WIDE, WITH AT LEAST 24" CLEAR IN FRONT OF WATER CLOSET PER 2019 CPC 407.5



TOILET CLEARANCES
DETAIL 1



FURNACE IN ATTIC ABOVE
DETAIL NOT TO SCALE

PG&E GREENBOOK SECTION 2.4.2 – GAS SERVICE

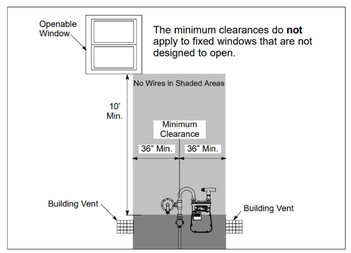


Figure 2-20
Gas Meter Set Clearance From Building Openings

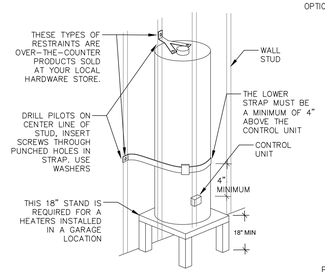
Notes in reference to Figure 2-20.

1. Do ***not*** place gas regulator vents under display platforms or show windows in commercial buildings. This includes any permanent, elevated display floors or platforms associated with the window, where the purpose of the window is to present a display to the public.
2. Do ***not*** place gas regulator vents under building overhangs where the overhang is likely to direct venting gas to a building opening.
3. The building vent openings, sources of ignition, and above-ground water sources must be a minimum of 36 inches away from the riser.
4. Applicants must not install water spigots, lines, gutter systems, or other above-ground sources within 36 inches of the gas or electric facilities.
5. For a large meter or multi-meter manifold, the minimum separation requirement for sources of ignition, opening to buildings or sources of above-ground water, extend 12 inches beyond the farthest connection to the applicant houseline, and 10 feet above the highest regulator vent.

"IAPMO UES ER#199"

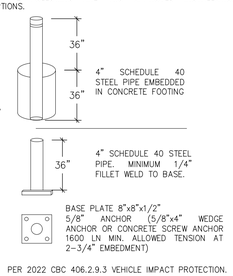
VELUX TGF-014 FLEXIBLE SUN TUNNEL
SKU: TGF 014

DIMENSIONS			
DAYLIGHT AREA (SQ.FT.)	0.957	PRODUCT WIDTH (IN)	14
PRODUCT DEPTH (IN):	14	ROUGH OPENING HEIGHT	14
PRODUCT JEIGHT (IN):	96	ROUGH OPENING WIDTH	14
DETAILS			
COLOR FAMILY	GRIS	PRODUCT WEIGHT (IB.)	23.8 LB
FLASHING INCLUDED	YES	RETURNABLE	90-DAYS
HARDWARE INCLUDED	YES	SEVERE WEATHER READY	NO
LOW-E (Y,N)	NO	SKYLIGHT MOUNTING TYPE	ACRYLIC
MATERIAL	ACRYLIC	TUNNEL TYPE	FLEX
MAXIMUM ROOF PITCH (DEGREES)	60	U-FACTOR	0.42
MINIMUM ROOF PITCH (DEGREES)	14		



2 WATER HEATER / VEHICLE IMPACT PROTECTION
DETAIL NOT TO SCALE

INSTALLATION REQUIREMENTS:
- THE MINIMUM DISTANCE FROM BOLLARD TO EQUIPMENT IS 12" OR THE MINIMUM WORKING CLEARANCE PER THE MANUFACTURER'S SPECIFICATION, WHICHEVER IS GREATER.
- BOLLARD SHALL HAVE A REFLECTIVE STRIP OR BE A HIGH CONTRAST COLOR.
- THE FOLLOWING ARE TWO APPROVED INSTALLATION OPTIONS.



PER 2022 CBC 406.2.9.3 VEHICLE IMPACT PROTECTION.

GoldenDesigns
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BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

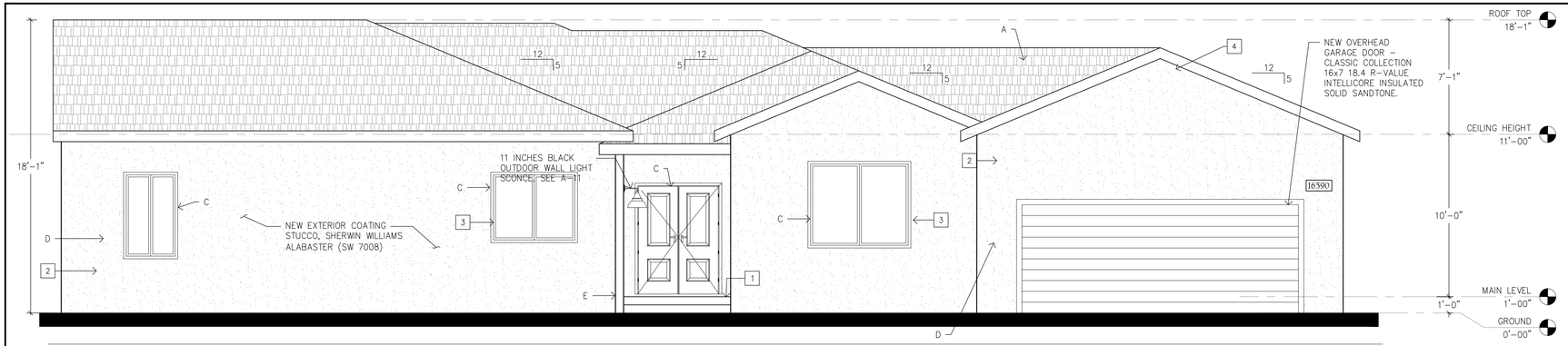
REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

CITY STAMPS

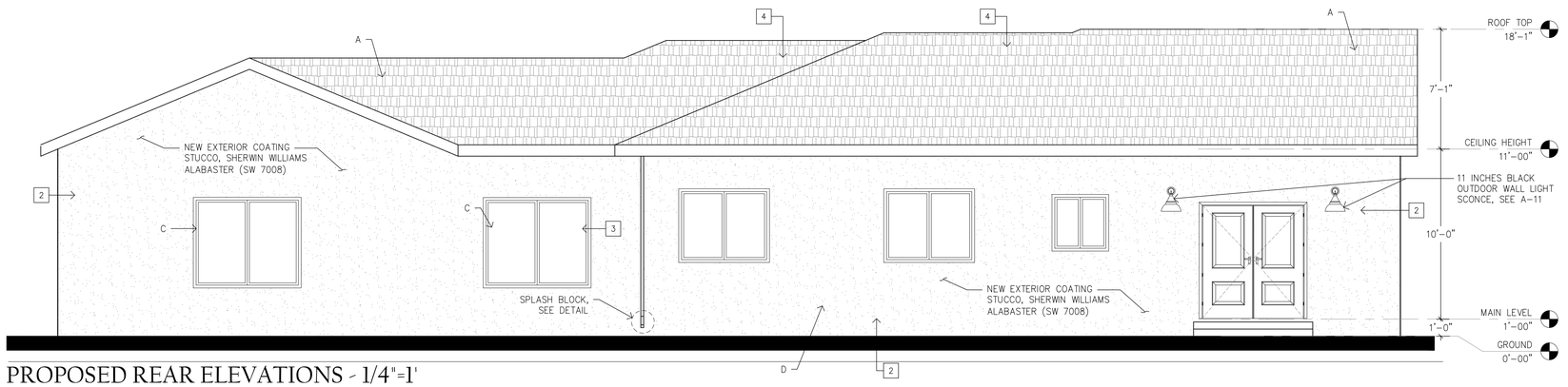
DATE:	10 / 16 / 2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

PROPOSED FLOOR PLAN

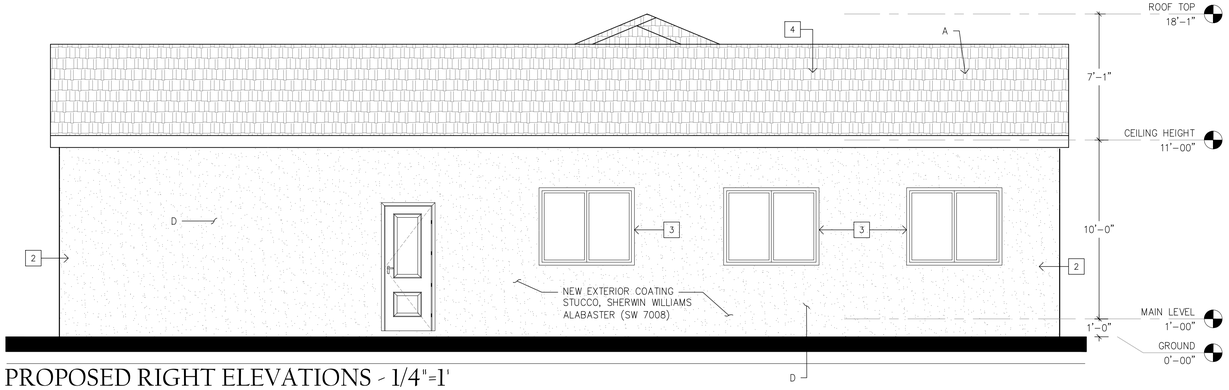
SHEET NO.
A - 8



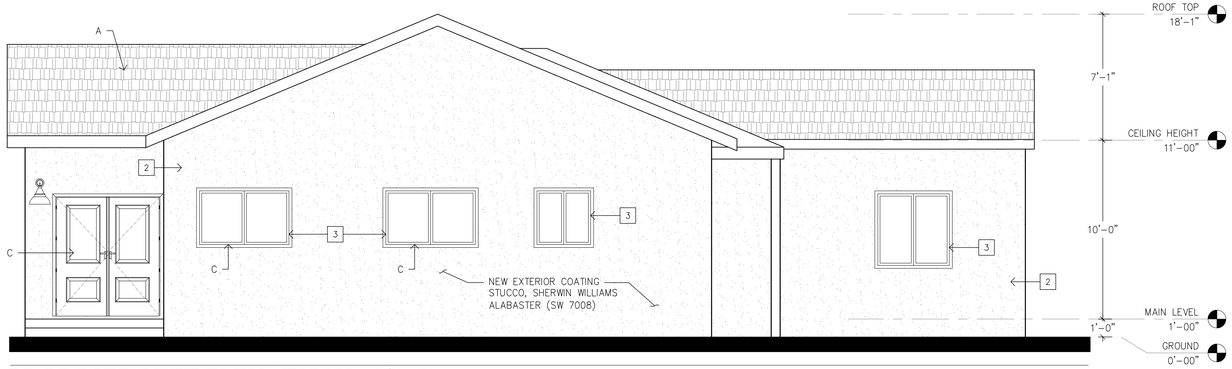
PROPOSED FRONT ELEVATIONS - 1/4"=1'



PROPOSED REAR ELEVATIONS - 1/4"=1'



PROPOSED RIGHT ELEVATIONS - 1/4"=1'



PROPOSED LEFT ELEVATIONS - 1/4"=1'

PLAN SPECIFICATIONS

1 PROVIDE LANDING AT ALL EXTERIOR DOORS, FOR INSWING DOORS THE MAX. CHANGE IN ELEVATION THRESHOLD TO THE LANDING IS 7 3/4", FOR OUTSWING DOORS THE MAX. HEIGHT IS 1", THE LANDING SHALL BE THE WIDTH OF THE DOOR AND THE LENGHT SHALL BE MIN. 36".

2 NEW EXTERIOR COATING TYPICAL STUCCO: WITH 3-COAT SYSTEM, 7/8" MINIMUM THICK, HAS TWO LAYERS OF GRADE "D" PAPER OVER PLYWOOD SHEATHING, AND HAS 26-GAUGE GALVANIZED WEEP SCREED AT FOUNDATION PLATE LINE AT LEAST 4" ABOVE GRADE (OR 2 INCHES ABOVE CONCRETE OR PAVING) CRC R703.6.2, R703.6.2.1 AND R703.6.3.

3 W.U.I. (WILDLAND URBAN INTERFACE) APPROVED METAL CLAD WINDOWS OR EQUAL, ALUMINUM WINDOW FRAME, WHITE COLOR. SEE PLAN FOR SIZE.

4 ROOFING ASPHALT COMPOSITION SHINGLES CLASS "A", BLACK COLOR:
UNDERLAYMENT SHALL BE TWO LAYERS APPLIED IN THE FOLLOWING MANNER: APPLY A 19-INC STRIP OF UNDERLAYMENT FELT PARALLEL TO AND STARTING AT THE EAVES, STARTING AT THE EAVE, APPLY 36-INCH-WIDE SHEETS OF UNDERLAYMENT, OVERLAPPING SUCCESSIVE SHEET 19 INCHES, DISTORTIONS IN THE UNDERLAYMENT SHALL NOT INTERFERE WITH THE ABILITY OF THE SHINGLES TO SEAL.

NOTE: THE LEGENDS NUMBER ARE SPECIFIC TO THIS PARTICULAR SHEET

KEYNOTES

A CONCRETE SHINGLES ROOF, MATCH TO EXISTING

B PAINT GRADE FACTORY FINISHED ALUMINUM GARAGE DOOR, INSTALL PER MANUFACTURER'S INSTRUCTIONS: CLOPAY DOORS WHITE COLOR

C PAINTED COMPOSITE CEMENT FIBER WINDOW/DOOR TRIM BY WHITE COLOR

D TYPICAL HARDIE SIDING, WHITE COLOR

E ONE PIECE 12" SQUARE WOOD COLUMN, WHIT TYPICAL HARDIE SIDING WHITE COLOR COATING 8 1/2x11".

NOTES

EXTERIOR COVERING

R703.1 GENERAL.
EXTERIOR WALLS SHALL PROVIDE THE BUILDING WITH A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE. THE EXTERIOR WALL ENVELOPE SHALL INCLUDE FLASHING AS DESCRIBED IN SECTION R703.8.

R703.1.1 WATER RESISTANCE.
THE EXTERIOR WALL ENVELOPE SHALL BE DESIGNED AND CONSTRUCTED IN A MANNER THAT PREVENTS THE ACCUMULATION OF WATER WITHIN THE WALL ASSEMBLY BY PROVIDING A WATER-RESISTANT BARRIER BEHIND THE EXTERIOR VENEER AS REQUIRED BY SECTION R703.2 AND A MEANS OF DRAINING TO THE EXTERIOR WATER THAT ENTERS THE ASSEMBLY. PROTECTION AGAINST CONDENSATION IN THE EXTERIOR WALL ASSEMBLY SHALL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA ENERGY CODE.

EXCEPTIONS:
1. A WEATHER-RESISTANT EXTERIOR WALL ENVELOPE SHALL NOT BE REQUIRED OVER CONCRETE OR MASONRY WALLS DESIGNED IN ACCORDANCE WITH CHAPTER 6 AND FLASHED ACCORDING TO SECTION R703.8.OR R703.8.

R703.6.3 WATER- RESISTIVE BARRIERS
WATER-RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER – RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER.
EXCEPTION: WHERE THE WATER- RESISTIVE BARRIER THAT IS APPLIED OVER WOOD -BASED SHEATHING HAS A WATER RESISTANCE EQUAL TO OR GREATER THAN THAT 60 – MINUTE GRADE D PAPER AND IS SEPARATED FROM THE STUCCO BY AN INTERVENING, SUBSTANTIALLY NONWATER – ABSORBING LAYER OR DRAINAGE SPACE.

R703.6 EXTERIOR PLASTER.
INSTALLATION OF THESE MATERIALS SHALL BE IN COMPLIANCE WITH ASTM C 926 AND ASTM C 1063 AND THE PROVISIONS OF THIS CODE.

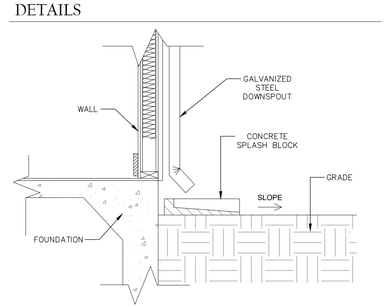
R703.6.1 LATH
ALL LATH AND LATH ATTACHMENTS SHALL BE OF CORROSION-RESISTANT MATERIALS. EXPANDED METAL OR WOVEN WIRE LATH SHALL BE ATTACHED WITH 1 ½-INCH-LONG (38 MM), 11 GAGE NAILS HAVING A 7/16-INCH (11.1 MM) HEAD, OR /8-INCH-LONG (22.2 16 GAGE STAPLES, SPACED AT NO MORE THAN 6 INCHES (152 MM), OR AS OTHERWISE APPROVED.

R703.6.2 PLASTER.
PLASTERING WITH PORTLAND CEMENT PLASTER SHALL BE NOT LESS THAN THREE COATS WHEN APPLIED OVER METAL LATH OR WIRE LATH AND SHALL BE NOT LESS THAN TWO COATS WHEN APPLIED OVER MASONRY, CONCRETE, PRESSURE-PRESERVATIVE TREATED WOOD OR DECAY-RESISTANT WOOD AS SPECIFIED IN SECTION R317.1 OR GYPSUM BACKING. IF THE PLASTER SURFACE IS COMPLETELY COVERED BY VENEER OR OTHER FACING MATERIAL OR IS COMPLETELY CONCEALED, PLASTER APPLICATION NEED BE ONLY TWO COATS, PROVIDED THE TOTAL THICKNESS IS AS SET FORTH IN TABLE R702.1 (1).

ON WOOD-FRAME CONSTRUCTION WITH AN ON-GRADE FLOOR SLAB SYSTEM, EXTERIOR PLASTER SHALL BE APPLIED TO COVER, BUT NOT EXTEND BELOW, LATH, PAPER AND SCREED.

R319 SITE ADDRESS.
ON WOOD-FRAME CONSTRUCTION WITH AN R319.1 ADDRESS IDENTIFICATION. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM). WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.

DETAILS



SPLASH BLOCK / DRAIN DISCHARGE

DETAIL NOT TO SCALE

CITY STAMPS

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BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

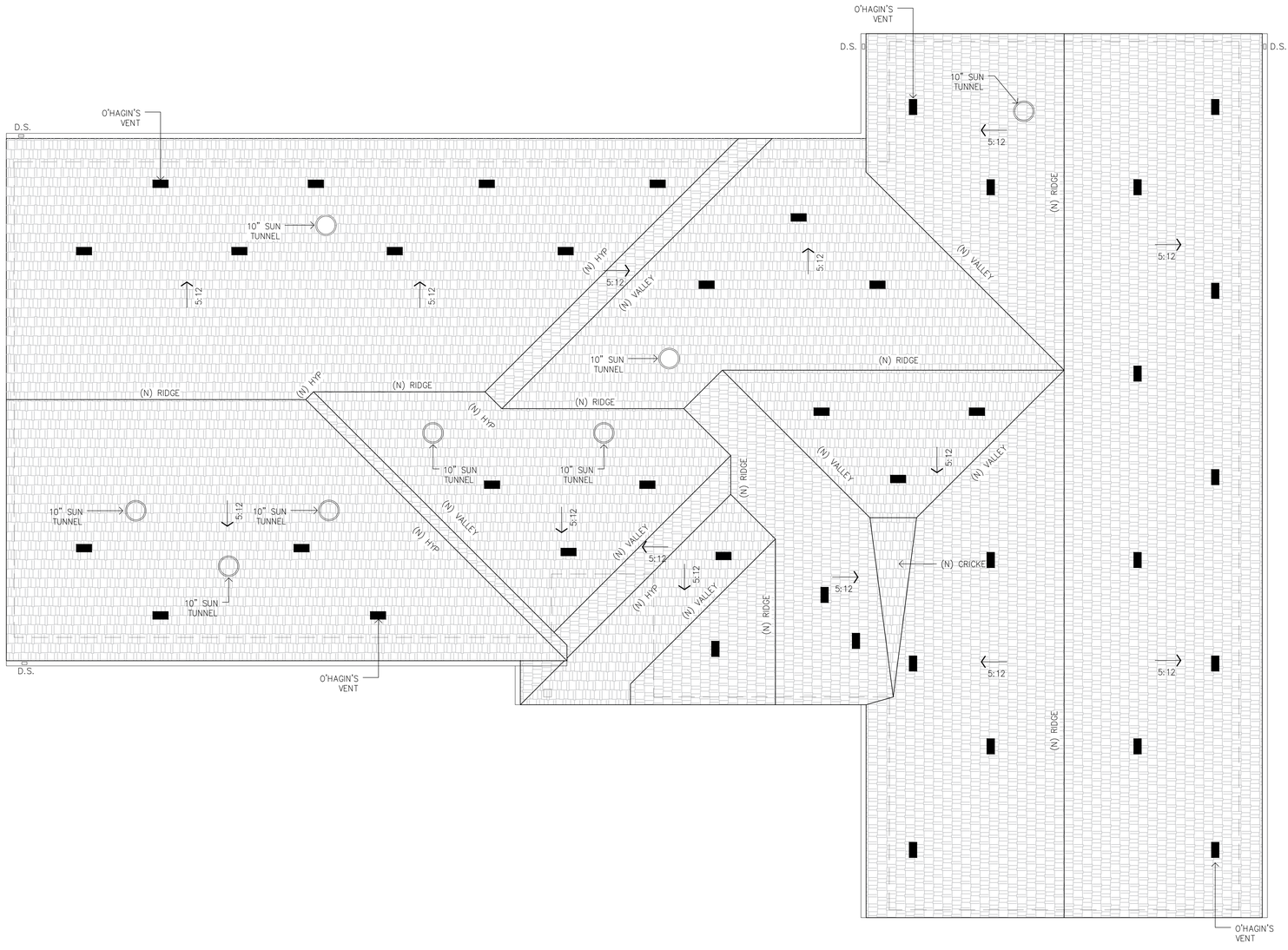
REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE:	10 / 16 / 2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

PROPOSED ELEVATIONS

SHEET NO.

A - 9



PROPOSED ROOF PLAN - 1/4"=1'

NORTH

SYMBOLOGY

SURFACE ROOF FLOW ARROW. SLOPE GRADE AT INDICATE.

GUTTER

D.S. DOWNSPOUT

NOTES.

SECTION 4710

MATERIALS, SYSTEMS AND METHODS OF CONSTRUCTION:

4710.1 ROOFING.

4710.1.1 GENERAL. ROOFS SHALL COMPLY WITH THE REQUIREMENTS OF THIS CHAPTER AND THE CALIFORNIA BUILDING CODE, CHAPTER 15. ROOFS SHALL HAVE A ROOFING ASSEMBLY INSTALLED IN ACCORDANCE WITH ITS LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

4710.1.2 ROOF COVERINGS. WHERE THE ROOF PROFILE ALLOWS A SPACE BETWEEN THE ROOF COVERING AND ROOF DECKING, THE SPACES SHALL BE CONSTRUCTED TO PREVENT THE INTRUSION OF FLAMES AND EMBERS, BE FIRESTOPPED WITH APPROVED MATERIALS OR HAVE ONE LAYER OF NO. 72 ASTM CAP SHEET INSTALLED OVER THE COMBUSTIBLE DECKING.

4710.1.3 ROOF VALLEYS. WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS 0.019–INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE) CORROSION–RESISTANT METAL INSTALLED OVER A MINIMUM 36–INCH–WIDE (914 MM) UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 72 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY.

4710.1.4 ROOF GUTTERS. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

4710.2 ATTIC VENTILATION.

4710.2.1 GENERAL. WHEN REQUIRED BY THE CALIFORNIA BUILDING CODE, CHAPTER 15, ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC AREA OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION–RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH ¼–INCH (6 MM) OPENINGS OR ITS EQUIVALENT.

4710.2.2 EAVE OR CORNICE VENTS. VENTS SHALL NOT BE INSTALLED IN EAVES AND CORNICES.

EXCEPTION: EAVE AND CORNICE VENTS MAY BE USED PROVIDED THEY RESIST THE INTRUSION OF FLAME AND BURNING EMBERS INTO THE ATTIC AREA OF THE STRUCTURE.

ATTIC VENTILATION CALCULATION.

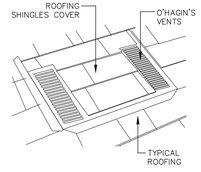
SPACE VENTILATION AREA =
2516 / 150 = 16.77 x 144 = 2415.3 S.I.

SPACE VENTILATION AREA
NEW ROOF AREA =
2990 S.F. / 150 = 19.93 x 144 = 2869.92 S.I.

VENTILATION REQUIRED : 2869.92
LOW PROFILE ATTIC VENT WITHIN 3'
OF EDGE AND NEAR THE RIDGE.

O'HAGIN'S VENTS 72 S.I.
No. OF O'HAGIN'S REQUIRED 2869.92 / 72 = 39.86

INSTALL MIN 40 O'HAGIN'S VENTS



O'HAGIN'S VENT (ROOF VENT)
DETAIL NOT TO SCALE

CITY STAMPS

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BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

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	10/16/2024	BUILDING SUBMITTAL

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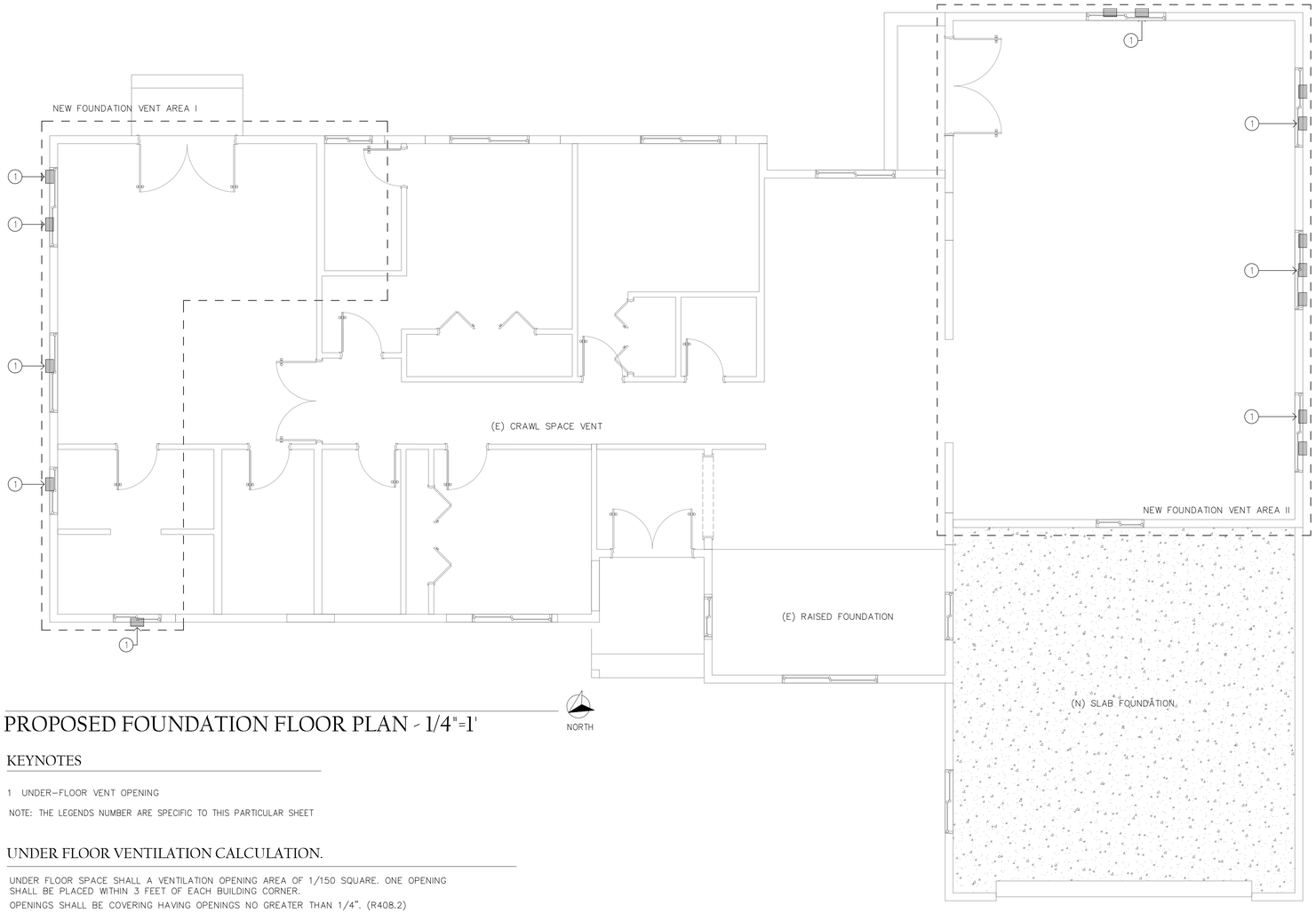
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

PROPOSED ROOF PLAN

SHEET NO.

A - 10



PROPOSED FOUNDATION FLOOR PLAN - 1/4"=1'

NORTH

KEYNOTES

1 UNDER-FLOOR VENT OPENING

NOTE: THE LEGENDS NUMBER ARE SPECIFIC TO THIS PARTICULAR SHEET

UNDER FLOOR VENTILATION CALCULATION.

UNDER FLOOR SPACE SHALL A VENTILATION OPENING AREA OF 1/150 SQUARE. ONE OPENING SHALL BE PLACED WITHIN 3 FEET OF EACH BUILDING CORNER.

OPENINGS SHALL BE COVERING HAVING OPENINGS NO GREATER THAN 1/4". (R408.2)

AREA I
(N)379.5 / 150 = 2.53 S.F. x 144 = 364.32 S.I.
REQUIRED VENT AREA = 364.32 S.I.

VENT SIZE = 6" x 14" = 84 S.I. (FREE)
No. OF VENTS REQUIRED 364.32 / 84 = 4.3

INSTALL MIN 5 VENTS

AREA II
(N)717 / 150 = 4.78 S.F. x 144 = 688.32 S.I.
REQUIRED VENT AREA = 688.32 S.I.

VENT SIZE = 6" x 14" = 84 S.I. (FREE)
No. OF VENTS REQUIRED 688.32 / 84 = 8.19

INSTALL MIN 9 VENTS

Specifications
Dimensions: H 11 in, W 9 in, D 12 in

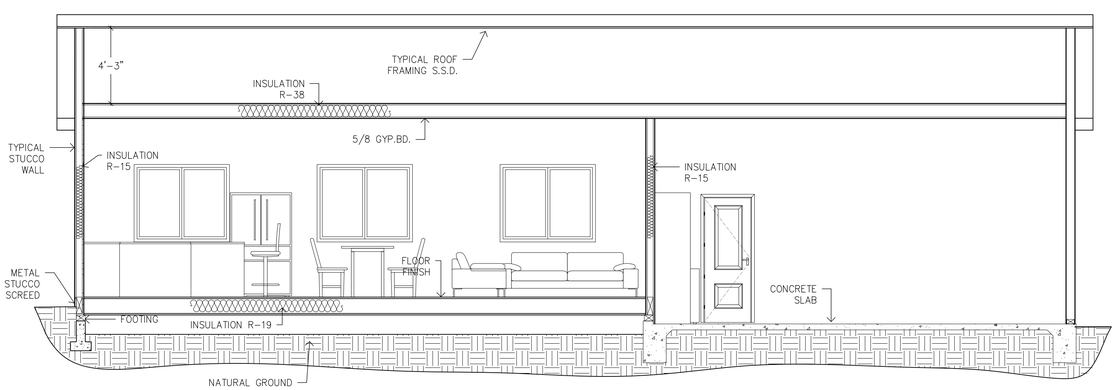
Sconce Type	Number of Lights	Light Direction
Barn	1 Light	Down
See Similar Items	See Similar Items	See Similar Items
Power Source	**Fixture Material**	**Durability**
Hardwired	Metal	Rust Resistant
See Similar Items	See Similar Items	Weather Resistant

Dimensions

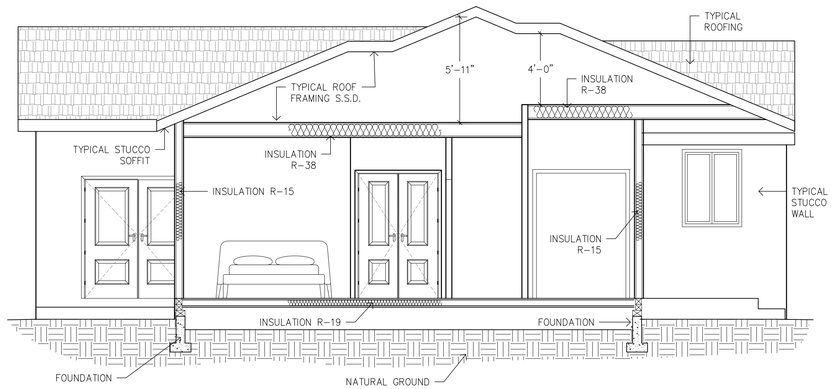
Mounting Plate Height (in.)	5
Mounting Plate Width (in.)	5
Product Depth (in.)	12 in
Product Height (in.)	11 in
Product Width (in.)	9 in

Details

Compatible Bulb Type	Eco-Incandescent, Incandescent, LED
Damp/Wet Rating	Damp Rated
Durability	Rust Resistant, Weather Resistant
Exterior Lighting Product Type	Sconce
Fixture Color/Finish	Black
Fixture Material	Metal
Included	Hardware Included
Indoor/Outdoor	Indoor, Outdoor
Light Bulb Base Code	E26
Light Bulb Type Included	No Bulbs Included
Light Direction	Down
Max. Bulb Wattage (W)	60 W
Number of Lights	1 Light
Outdoor Lighting Features	Dimmable
Package Quantity	1
Power Source	Hardwired
Product Size	Medium
Product Weight (lb.)	1.74 lb
Recommended Light Bulb Shape Code	A19
Returnable	90-Day
Sconce Type	Barn
Shade Material	Metal
Shape	Bowl
Style	Casual, Farmhouse
Voltage Type	Line Voltage



SECTION 1 - 1/4"=1'



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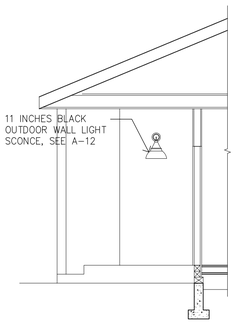

SECTION 3 - 1/4"=1'

CITY STAMPS

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TEL: 408-659-5580

BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

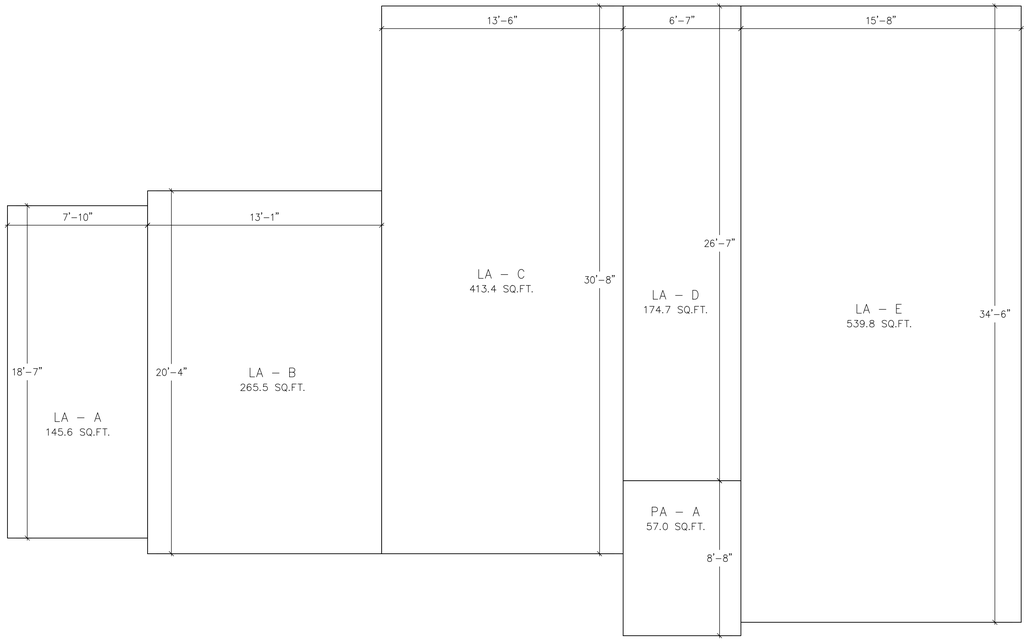
REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

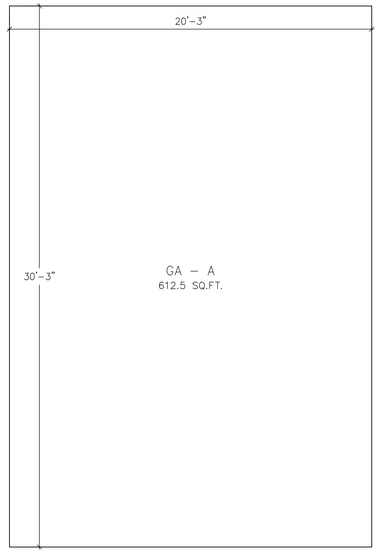
DATE:	10 / 16 / 2024
DESIGNER BY:	ESL
REVIEWED BY:	ESL
SCALE:	AS SHOW
JOB NO:	A - 21 - 21

FOUNDATION VENT AND SECTION

SHEET NO.

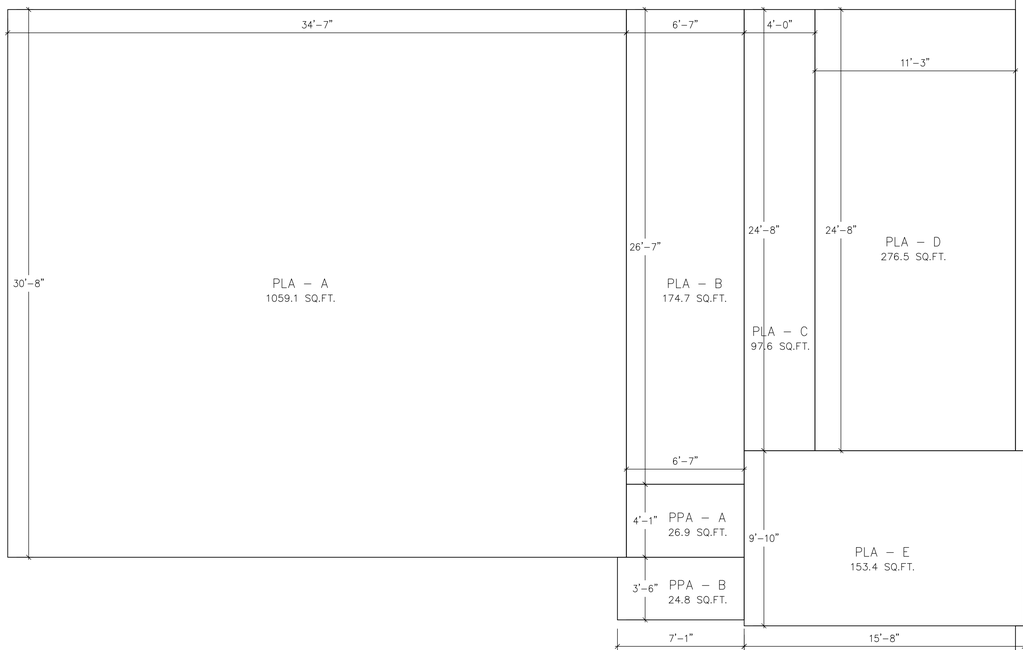
A - 11

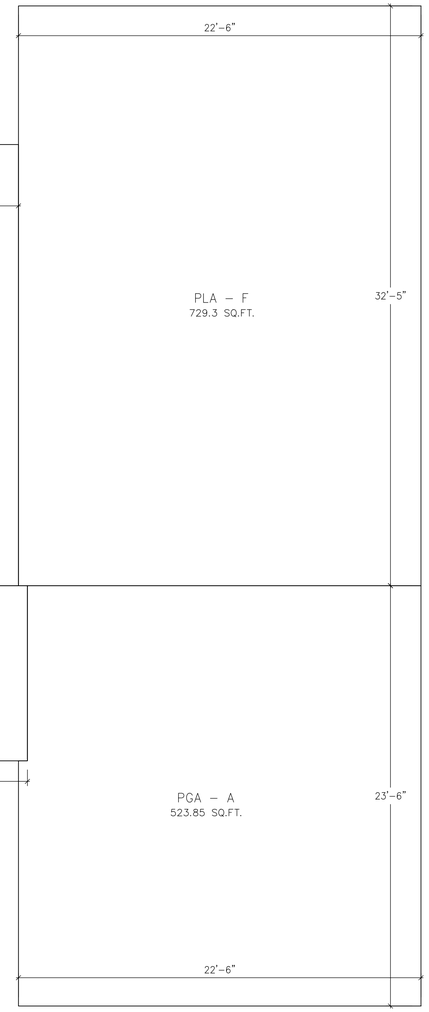




EXISTING AREAS - 1/4"=1'

AREA	DIMENSION (W*L)	AREA
EXISTING LIVING AREA (LA)		
LA – A	7'–10" X 18'–7"	145.6 SQ.FT.
LA – B	13'–1" X 20'–4"	265.5 SQ.FT.
LA – C	13'–6" X 30'–8"	413.4 SQ.FT.
LA – D	6'–7" X 26'–7"	174.7 SQ.FT.
LA – E	15'–8" X 34'–6"	539.8 SQ.FT.
EXISTING PORCH AREA (PA)		
PA – A	6'–7" X 8'–8"	57.0 SQ.FT.
EXISTING GARAGE AREA (GA)		
GA – A	20'–3" X 30'–3"	612.5 SQ.FT.
TOTAL		
LA		1539 SQ.FT.
PA		57.0 SQ.FT.
GA		612.5 SQ.FT.





AREA	DIMENSION (W*L)	AREA
PROPOSED LIVING AREA (PLA)		
PLA – A	34'–7" X 30'–8"	1059.1 SQ.FT.
PLA – B	6'–7" X 26'–7"	174.7 SQ.FT.
PLA – C	4'–0" X 24'–8"	97.6 SQ.FT.
PLA – D	11'–3" X 24'–8"	276.5 SQ.FT.
PLA – E	15'–8" X 9'–10"	153.4 SQ.FT.
PLA – F	22'–6" X 32'–5"	729.3 SQ.FT.
PROPOSED PORCH AREA (PPA)		
PPA – A	6'–7" X 4'–1"	26.9 SQ.FT.
PPA – B	7'–1" X 3'–6"	24.8 SQ.FT.
PROPOSED GARAGE AREA (PGA)		
PGA – A	23'–6" X 22'–6"	523.85 SQ.FT.
TOTAL		
PROPOSED LIVING AREA (PLA)		2490.6 SQ.FT.
PROPOSED PORCH AREA (PPA)		51.7 SQ.FT.
PROPOSED GARAGE AREA (PGA)		523.85 SQ.FT.

PROPOSED AREAS

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REVIEWED BY:	ESL
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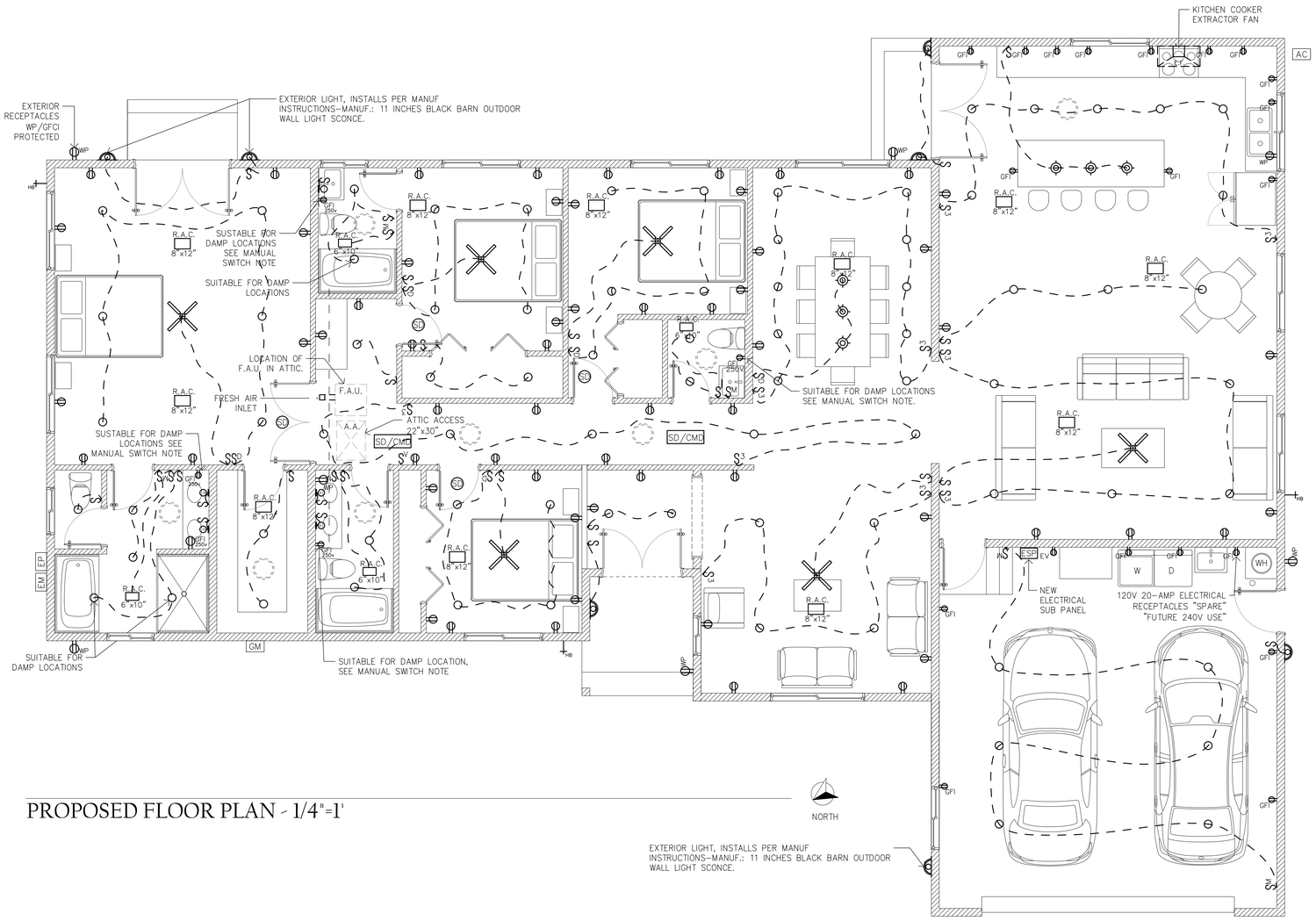
JOB NO:	A - 21 - 21

EXISTING AND PROPOSED AREAS

SHEET NO.
A - 12



PROPOSED FLOOR PLAN - 1/4"=1'

SYMBOLOGY

- HB — HOSE BIB WITH BACKFLOW PREVENTER DEVICE
- INDOOR WALL SCONCE LIGHT FIXTURE
- WIRING
- COMBINATION FAN/RECESSED FLUORESCENT LIGHT–FAN TO BE CONTINUOUS 20 CFM MIN. & MUST VENT TO EXTERIOR–FAN SHALL COMPLY WITH ASHRAE 62.2 SECTION 5 & SHALL BE ENERGY STAR COMPLIANT–FAN & LIGHT TO BE SWITCHED SEPARATELY–FAN TO BE CONTROLLWD BY A HUMIDITY CONTROL CAPABLE OF ADJUSTMENT FOR RELATIVE HUMIDITY RANGE OF 50–80% PER CALGREEN 4.506.1.2.
- S — SINGLE POLE SWITCH
- S^3 — 3–WAY SWITCH
- S^M — MANUAL–ON/AUTO–OFF VACANCY SENSOR SWITCH
- S^D — LIGHT SWITCH WITH DIMMER CONTROL
- S^V — THIS SWITCH CONTROLS THE INDOOR AIR QUALITY VENTILATION FOR THE HOME. LEAVE IT ON UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR. CECNC SECTION 150.0(O)1
- DUPLEX OUTLET
- GFI — DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER PER CEC 210–8(A)(B)
- WP — WATERPROOF RECEPTACLE WITH GROUND FAULT INTERRUPTOR PER CEC 210–8(A)(B)
- EV — CABINET FOR EV CAPABLE, WITH 208/240–VOLT BRANCH CIRCUIT
- EM — ELECTRICAL METER
- EP — ELECTRICAL PANEL 200 AMP
- LIGHTS HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME LOCK, OR BY AN ENERGY MANAGEMENT CONTROL SYSTEM, OR BY BOTH A MOTION SENSOR AND PHOTOCELL TYPE.

  ALL EXTERIOR LIGHTING TO BE DOWNWARD DIRECTED WITH THE BULB SHIELDED.
- HANGING LAMP
- 6" CEILING RECESSED LED LIGHT
- LIGHT/CEILING FAN COMBINATION
- KCF — KITCHEN COOKER EXTRACTOR FAN
- SD — HARDWIRED & INTERCONNECTED SMOKE DETECTOR WITH BATTERY BACK–UP TYPICAL THROUGHOUT HOUSE AT LOCATIONS SHOWN. SMOKE DETECTORS WITHIN 20 FEET OF A KITCHEN, OR A ROOM WITH A WOOD BURNING STOVE OR FIREPLACE, SHALL BE PHOTOELECTRIC. OTHER SMOKE DETECTORS TO BE DUAL SENSOR (PHOTO/ION)– INSTALL PER MANUF. INSTRUCTIONS. SEE NOTE 24 UNDER 4/A0.1a FOR ADDITIONAL SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR REQUIREMENTS.
- SD/CMD — HARDWIRE & INTERCONNECTED CARBON MONOXIDE DETECTOR WITH BATTERY BACK–UP–INSTALL PER MANUF. INSTRUCTIONS. DETECTOR TO BE LISTED AS COMPLYING WITH UL 2034 AND UL 2075 AND INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720.
- EXISTING WALL
- R.A.C. 8"x12" — REGISTER AIR CONDITIONER 8"x12"
- R.A.C. 6"x10" — REGISTER AIR CONDITIONER 6"x10"

LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY AN ASTRONOMICAL TIME LOCK, OR BY AN ENERGY MANAGEMENT CONTROL SYSTEM, OR BY BOTH A MOTION SENSOR AND PHOTOCELL TYP.

REPLACEMENT AND NEW PLUMBING FIXTURE NOTE

WATER CLOSETS WHIT A FLOW RATE IN EXCESS OF 1.6 GPF WILL NEED TO BE REPLACED WITH WATER CLOSETS WITH A MAXIMUM FLOW RATE OF 1.28 GPF SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GRATER THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

CALIFORNIA CIVIL ARTICLE 1101.4 AND CALGREES 4.303.1

NEW PLUMBING FIXTURES WILL MEET THE FOLLOWING REQUIREMENTS FOR MAXIMUM FLOW RATES FOR CALGREEN 4.303.1

WATER CLOSETS EFFECTIVE FLUSH VOLUME – 1.28 GPF

SINGLE SHOWERHEAD – 1.8 GMP @ 80 PSI

MULTIPLE SHOWERHEADS CONTROLLED BY A SINGLE VALVE – 1.8 GPM @ 80 PSI

LAVATORY FAUCETS – 1.2 GPM @ 60 PSI (MINIMUM 0.8 GPM @ 20 PSI)

KITCHEN FAUCETS – 1.5 GPM @ 60 PSI

MECHANICAL AND PLUMBING NOTES

THE HVAC SYSTEM IN THE ATTIC IT SHALL COMPLY WITH SECTION 904.11 CMC 2019, IT SHALL INCLUDE A SERVICE PLATFORM, CATWALK TO THE SCUTTLE, LIGHTING AND 110V POWER.

BATHROOMS REQUIRE 50 CFM MINIMUM HUMIDITY CONTROLLED EXHAUST FANS (BY FAN OR SWITCH) PER R405.6 AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEMS.

KITCHEN HOOD VENT TO HAVE DAMPER AND BE DUCTED TO THE EXTERIOR WITH SMOOTH WALL SHEET METAL PER MFG'S INSTALLATION REQUIREMENTS. EXHAUST FAN MUST PROVIDE A MINIMUM OF 100 CFM.

ALL PENETRATIONS INTO THE FIRE RATED FLOORS, WALLS, AND CEILINGS SHALL NOT COMPROMISE THE FIRE RATING, J–BOXES TO BE METAL, CAN LIGHTS TO BE SEALED IN 5/8 GYPSUM BOXES.

WEST VALLEY SANITATION DISTRICT (W.V.S.D.) REQUIRED CHECK VALVE IS TO BE PLACED 5' FROM THE HOUSE AND THE "PROPERTY LINE CLEANOUT" IS TO BE PLACED NEXT TO THE PROPERTY LINE

CLOTHING AND DISH WASHING MACHINES SHALL BE FITTED WITH WATER HAMMER ARRESTORS.

DRYER EXHAUST VENT PER 504.32019 CMC

THE DRYER MOISTURE EXHAUST DUCT SHALL NOT EXCEED 14' MIN OF 4" DIA WITH A BACKDRAFT DAMPER TO BE METAL OR MOISTURE RATED PVC WITH A SMOOTH INTERIOR SURFACE W/O SCREWS. DUCT SHALL TERMINATE AT LEAST 3' FROM OPENINGS INTO THE BUILDING.

SHEET NOTES

THE FINAL LOCATION OF ALL ELECTRICAL AND SIGNAL EQUIPMENT, PANEL BOARDS, FIXTURES, ETC., SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION.
TEST EXISTING ELECTRICAL SYSTEM TO VERIFY PROPER GROUNDING.
ELECTRIC RANGES AND CLOTHES DRYER SHALL BE PROVIDED WITH AN EQUIPMENT–GROUNDING CONDUCTOR BY MEANS OF THE METAL ENCLOSURE, BY AN EQUIPMENT GROUNDING CONDUCTOR OR BY A SEPARATE FLEXIBLE WIRE OR STRAP. CEC 250.140 (4 CONDUCTORS REQUIRED).
PROVIDE PROPER GROUNDING OF THE ELECTRICAL SERVICE TO CEC REQUIREMENTS, BOND TO 10' MINIMUM METAL COLD WATER PIPE LOCATED IN GROUND AND 20' LONG #4 REBAR UFFER OR 20' LONG NO. 4 BARE COPPER. ARTICLE CEC 250.50
SNAP SWITCHES, INCLUDING DIMMER AND SIMILAR CONTROL SWITCHES, SHALL BE EFFECTIVELY GROUNDED AND SHALL PROVIDE A MEANS TO GROUND METAL FACEPLATES, WHETHER OR NOT A METAL FACEPLATE IS INSTALLED. CEC 404.9(A).
MECHANICAL QUICK DISCONNECTS MUST BE READILY ACCESSIBLE.
GFCI RECEPTACLES: ALL 15 AND 20 AMP/ 120V RECEPTACLES IN WET LOCATIONS TO BE GFCI PROTECTED.
EXTERIOR WATERPROOF RECEPTACLES TO BE ALSO GFCI PROTECTED.
IF KNOB AND TUBE WIRING IS FOUND IN EXISTING STRUCTURE, IMMEDIATELY NOTIFY OWNER AND ARCHITECT FOR INSTRUCTIONS.

MANUAL SWITCH NOTE: THIS SWITCH CONTROLS THE INDOOW AIR WUALITY VENTILATION FOR THE HOME. LEAVE IT UNLESS THE OUTDOOR AIR QUALITY IS VERY POOR.CENC 150.
NOTE: ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCROACH ONTO ADJACENT PROPERTIES. ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECYED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMOSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY.
NOTE II: ALL LIGHTING SHALL BE HIGHT EFFICACY (I.E. PINBASED CFL; PULSE–STAR MH, HPS, GU–24 SOCKETS OTHER THAT LEDS, LED LUMINARIES WITH INTEGRAL SOURCE, ETC.) CEC TABLE 150.0–A
NOTE III: ANY NIGHT LIGHTS, STEP LIGHTS, AND PATH LIGHTS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR.CEC 150.0 (K) 1E.
NOTE IV: ANY LIGHTS SOURCE INTEGRAL TO DRAWERS,CABINETS AND LINEN CLOSETS MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR CEC 150.0(K) 1L
NOTE V: COMPLETED CF22–LTG–01E FORM MUST BE PROVIDED TO THE TOWN BUILDING INSPECTOR, PRIOR TO FINAL INSPECTION.

CITY STAMPS

ELECTRICAL GENERAL NOTES

CHECK LIST OF CIRCUITS SPECIFICALLY REQUIRED BY THE CEC

1. ONE LAUNDRY CIRCUIT, CEC 210.52 REQUIRED AMPACITY: 20A.
2. THE MINIMUM NUMBER OF BRANCH CIRCUITS SMALL BE DETERMINED FROM THE TOTAL CALCULATED LOAD AND THE SIZE RATING OF THE CIRCUITS USED, CEC 210.11(A) (REQUIRED AMPACITY: 20A).
3. IN ALL INSTALLATIONS, THE NUMBER OF CIRCUITS SHALL BE SUFFICIENT TO SUPPLY THE LOAD SERVED, CEC 210.11(A)(REQUIRED AMPACITY: 15A AND 20A).

CHECK LIST OF REQUIRED LIGHTING OUTLETS
(SEE CALIFORNIA ELECTRICAL CODE ARTICLE 210–70)

1. WALL SWITCHED LIGHT OR PLUG IN EACH LIVING ROOM, BEDROOM, ETC.
2. WALL SWITCHED LIGHT IN EACH KITCHEN, BATHROOM, ETC.
3. WALL SWITCHED LIGHT IN EACH HALLWAY.
4. WALL SWITCHED LIGHT IN THE BASEMENT
5. WALL SWITCHED LIGHT IN AN ATTACHED GARAGE.
6. WALL SWITCHED LIGHT EACH OUTDOOR ENTRANCE OR EXIT.
7. WALL SWITCHED LIGHT IN A DETACHED GARAGE WHEREVER SUCH GARAGE HAS ELECTRICAL POWER.
8. LIGHT NEAR ATTIC FURNACE EQUIPMENT SWITCHED NEAR ACCESS.
9. LIGHT OVER STAIRWAY WITH SWITCHES AT TOP AND BOTTOM.

CHECK LIST OF REQUIRED PLUG OUTLETS

(SEE CALIFORNIA ELECTRICAL CODE ARTICLE 210–50 AND 510–52)
IN ALL AREAS SPECIFIED IN 250.52 ALL RECEPTACLES SHALL BE TAMPER–RESISTANT. ATTACHED CORDS FOR MOST LAMPS ETC. ARE 6 FEET LONG AND FOR KITCHEN APPLIANCES ARE 24 INCHES LONG.

1. PLUG WITHIN 6 FEET OF ALL POINTS ALONG THE BASE OF WALLS.
2. PLUG IN ANY ISOLATED 2 FEET OR WIDER WALL SECTION ONE MIGHT PLACE A LAMP ETC.
3. OUTSIDE PLUG ACCESSIBLE AT GARAGE AT THE FRONT AND BACK OF DWELLING.
4. 120V PLUG WITHIN 6 FEET OF ANY OTHER LARGE APPLIANCE SUCH AS A FREEZER.
5. PLUG WITHIN 6 FEET OF ANY OTHER LARGE APPLIANCE SUCH AS A FREEZER.

CRC 314.2.2:
HARDWIRED SMOKE DETECTION IS REQUIRED IN EACH BEDROOM, COMBINATION SMOKE AND CARBON MONOXIDE DETECTION IS REQUIRED OUTSIDE EACH BEDROOM AND ON EACH FLOOR.

CEC ART. 406.12
ALL NEW AND REPLACED DUPLEX RECEPTACLES SHALL BE LISTED "TAMPER–RESISTANT RECEPTACLES".

ART. 210.12 AND ART. 210.8 CEC 2019:
ARC FAULT (AFCI) REQUIRED IN FAMILY RMS, DINING RMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC RMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATH RMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS.
COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS AND LAUNDRY AREAS.

ALL NEW LIGHTING SHALL BE HIGH–EFFICACY COMPLIANT TO TABLE 150.0A CEC.

SCREW–BASED PERMANENTLY INSTALLED LIGHT FIXTURES MUST CONTAIN SCREW–BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS. JA8 COMPLIANT LIGHT SOURCES IN CEILING RECESSED DOWNLIGHTS AND LED'S ARE TO BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.

EXHAUST FANS SHALL BE SWITCHED SEPARATELY FROM LIGHTING.

EXTERIOR LIGHTING SHALL BE CONTROLLED BY PHOTOCELL AND MOTION PER ENERGY 110.9

AT LEAST ONE FIXTURE IN EACH GARAGE IS TO BE CONTROLLED BY A VACANCY SENSOR.

AT LEAST ONE FIXTURE IN EACH LAUNDRY ROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.

AT LEAST ONE FIXTURE IN EACH UTILITY ROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.

AT LEAST ONE FIXTURE IN EACH BATHROOM IS TO BE CONTROLLED BY A VACANCY SENSOR.

UNDER CABINET LIGHTING SHALL BE CONTROLLED BY SEPARATE SWITCHING.

A 120V RECEPTACLE SHALL BE PLACED WITHIN 3' OF A WATER HEATER AND WITHING 25' OF AN A/C CONDENSER.

ROOM OUTLETS

IN EVERY KITCHEN, FAMILY ROOM, DINING ROOM, LIVING ROOM, PARLOR, LIBRARY, DEN, SUNROOM, BEDROOM, RECREATION ROOM, OR SIMILAR ROOM OR AREA OF DWELLING UNITS, RECEPTACLE OUTLETS SHALL BE INSTALLED IN ACCORDANCE WITH THE GENERAL PROVISIONS SPECIFIED IN 210.52.

(1) SPACING. RECEPTACLES SHALL BE INSTALLED SUCH THAT NO POINT MEASURED HORIZONTALLY ALONG THE FLOOR LINE IN ANY WALL SPACE IS MORE THAN 1.8 M (6 FT) FROM A RECEPTACLE OUTLET.
(2) WALL SPACE. AS USED IN THIS SECTION, A WALL SPACE SHALL INCLUDE THE FOLLOWING:
(A) ANY SPACE 600 MM (2 FT) OR MORE IN WIDTH (INCLUDING SPACE MEASURED AROUND CORNERS) AND UNBROKEN ALONG THE FLOOR LINE BY DOORWAYS, AND SIMILAR OPENINGS, FIREPLACES AND FIXED CABINETS.
(B) THE SPACE OCCUPIED BY FIXED PANELS IN EXTERIOR WALLS, EXCLUDING SLIDING PANELS
(C) THE SPACE AFFORDED BY FIXED ROOM DIVIDERS SUCH AS FREESTANDING BAR–TYPE COUNTERS OR RAILINGS
(3) FLOOR RECEPTACLES. RECEPTACLE OUTLETS IN OR ON FLOORS SHALL NOT BE COUNTED AS PART OF THE REQUIRED NUMBER OF RECEPTACLE OUTLETS UNLESS LOCATED WITHIN 450 MM (18 IN.) OF THE WALL.

SWITCH LOCATIONS
ALL LIGHT SWITCHES MOUNTING HEIGHT ABOVE FINISH FLOOR +42" AND WITHIN 16"OF ROOM DOOR (UNLESS OTHERWISE NOTED)
GARBAGE DISPOSAL SWITCH TYPICALLY IN BACKSPLASH ALINED WITH OUTLETS, TYPICALLY 42" A.F.F.

1. ALL BATHROOMS CONTAINING BATHTUB AND SHOWERS SHALL BE MECHANICALLY VENTILATED IN ACCORDANCE WITH SECTION 403.7 OF CMC OR SEC R303.3 OF CRC & SECTION 150–O OF CAL. ENERGY CODE & ANSI/ASHRAE STANDARD 62.2

2. ALL RECEPTACLE IN DWELLING UNITS FOR 125–VOLT, 15 & 20 AMP SHALL BE LISTED AS TEMPER–RESISTANT RECEPTACLES. SECTION 406.11 CEC.

3. LOCATION OF THE RECEPTACLE OUTLETS SHALL BE DESIGNED TO COMPLY WITH CEC SECTION 210.50 TO 215.0. AT LEAST ONE RECEPTACLE OUTLET ACCESSIBLE AT GRADE LEVEL AND NOT MORE THAN 6.5 FT ABOVE GRADE SHALL BE INSTALLED AT THE FRONT AND BACK OF THE DWELLING.

4. ALL 125–VOLT, SINGLE–PHASE, 15 & 20 AMP RECEPTACLES INSTALLED OUTDOORS SHALL HAVE GROUND–FAULT INTERRUPTER PROTECTION (GFCI) FOR PERSONNEL, SEC 210.8 CEC.

5. ALL 120–VOLT, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROECTED BY A LISTED ARC–FAULT CIRCUIT INTERRUPTER (AFCI) COMBINATION TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT, SEC 210.12 CEC.

6. VERIFY LOCATION OF RECESSED LIGHTING WITH CEILING JOISTS, NOTIFY ARCHITECT OF ANY CONFLICTS WITH LIGHTING DIMENSIONS AND CEILING JOISTS.

CFM CALCULATION

PROJECT DATA:
2466 SF TOTAL LIVING AREA
5 OCCUPANTS (4 BEDROOMS + 1)

CALCULATION DATA:
3 CFM PER 100 SF
7.5 CFM PER OCCUPANT

CALCULATION:
CFM PER SF.
2466 / 100 = 24.66
24.66 x 3 = 73.98
CFM PER OCCUPANT.
5 x 7.5 = 37.5

TOTAL
73.98 + 37.5 = 111.48 CFM

THE EXHAUST FAN SIZE SHALL BE MIN. 112 CFM.

GFCI OUTLETS (GROUND FAULT CIRCUIT INTERRUPTER) CEC210.8

IN DWELLING UNITS, ALL 120–VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED IN THE LOCATIONS SPECIFIED IN 210.8(A)(1) THROUGH (10) SHALL HAVE GFCI PROTECTION.

1) BATHROOMS – ALL RECEPTACLES IN A BATHROOM ARE REQUIRED TO BE GFCI PROTECTED.
2) GARAGES – THE PURPOSE OF GFCI'S IN GARAGE IS TO PROVIDE A DEGREE OF SAFETY FOR PERSONS USING PORTABLE HAND HELD TOOLS, GARDENING APPLIANCES, SNOW BLOWERS, ETC. THAT MIGHT BE CONNECTED TO RECEPTACLES IN GARAGES SINCE THEY ARE OFTEN THE LOCATION OF THE CLOSEST RECEPTACLE. ALSO, AUTO REPAIR WORK AND GENERAL WORKSHOP ELECTRICAL TOOL USAGE ARE PROTECTED.
3) OUTDOORS
4) CRAWL SPACE AT OR BELOW GRADE LEVEL
5) UNFINISHED BASEMENTS – AREAS NOT INTENDED AS HABITABLE ROOMS AND LIMITED TO STORAGE AREAS, WORK AREAS, AND THE LIKE. EXCEPTION TO (5): A RECEPTACLE SUPPLYING ONLY A PERMANENTLY INSTALLED FIRE ALARM OR BURGLAR ALARM SYSTEM SHALL NOT BE REQUIRED TO HAVE GFCI PROTECTION.
6) KITCHENS – WHERE THE RECEPTACLES ARE INSTALLED TO SERVE THE COUNTERTOP SURFACE. RECEPTACLES WITHIN 6 FEET OF A WET BAR SINK ARE REQUIRED TO BE GFCI PROTECTED.
7) SINKS – LOCATED IN AREAS OTHER THAN KITCHENS WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE SINK.
8) BOATHOUSES
9) BATHTUBS OR SHOWER STALLS – WHERE RECEPTACLES ARE INSTALLED WITHIN 6 FEET OF THE OUTSIDE EDGE OF THE BATHTUB OR SHOWER STALL
10) LAUNDRY AREAS

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BEDI RESIDENCE

16590 GARDEN LANE, LOS GATOS, CA

SIGN:

REVISION	DATE	DESCRIPTION
	10/16/2024	BUILDING SUBMITTAL

DATE: 10 / 16 / 2024
DESIGNER BY: ESL
REVIEWED BY: ESL
SCALE: AS SHOW
JOB NO: A - 21 - 21

PROPOSED ELECTRICAL FLOOR PLAN

SHEET NO.
E - 1

ARCHITECTURAL

WALL AND FLOOR FLASHING: ALL FLASHING AT WALLS, FLOORS, AND ROOF JUNCTURES TO VERTICAL SURFACES SHALL BE 26 GA. G.I. UNLESS NOTED OTHERWISE ON PLANS. FORM FABRICATE AND INSTALL FLASHING AS SHOWN ON DETAILS. SET ALL FLASHING IN PLASTIC CEMENT AND SET JOINTS IN BUTYL MASTIC. FLASHING SECTIONS SHALL HAVE AN END LAP OF 4" MIN.

DOORS: ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL FRENCH DOORS SHALL BE PAINT GRADE WOOD WITH TEMPERED, DOUBLE GLASS PANELS ARRANGED AS SHOWN ON PLANS AND DOOR SCHEDULE.

WINDOWS: ALL WINDOWS SHALL BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL WINDOWS ARE TO BE WOOD OR VINYL FRAMED. DOUBLE GLAZED WITH PANES AS SHOWN ON PLANS AND WINDOW SCHEDULE AND A MAXIMUM U-VALUE AS SET FORTH IN THE T-24 ENERGY CALCULATIONS.

BATH COUNTER TOPS: ALL BATH COUNTERTOPS AND SPLASHES SHALL BE CERAMIC TILE AS SELECTED BY OWNER UNLESS NOTED OTHERWISE ON THE PLANS. USE GRANITE OR MARBLE TILES OR SLAB WHERE NOTED ON PLANS AND INTERIOR ELEVATIONS.

WEATHER BARRIER: ALL WEATHER EXPOSED WALL SURFACES SHALL BE PROTECTED WITH AN UNDERLAYMENT OF (2) LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD WALL SHEATHING. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION WITH MIN. 2" LAP AT HORIZONTAL JOINTS AND MIN. 6" LAP AT VERTICAL JOINTS. UNDERLAYMENT SHALL BE FREE OF HOLES AND BREAKS OTHER THAN THOSE FROM NAILING TO PLYWOOD SHEATHING OR WALL STUDS.

INSULATION: FIBERGLASS BATH INSULATION SHALL BE INSTALLED ACCORDING TO THE T-24 REPORT. SEE T-24 REPORT FOR INSULATION VALUES.

CAULKING: ALL JOINTS AND PENETRATIONS AT EXTERIOR WALLS, CEILINGS AND FLOOR ASSEMBLIES SHALL BE FULLY CAULKED AND SEALED.

TUBS & SHOWERS: SHOWERS SHALL BE A MIN. SIZE OF 1024 SQ.IN AND ACCOMMODATE AT 30" CIRCLE. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE HARDIE SIDING, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR. SHOWER WALLS SHALL BE FINISHED WITH CERAMIC TILE OF OTHER SMOOTH, HARD NON-ABSORBENT COVERING. ALL TUB AND SHOWER GLAZING SHALL BE MADE OF SHATTER-RESISTANT TEMPERED GLASS. SWING DOORS SHALL OPEN OUTWARD WITH A MIN. OPENING CLEARANCE OF 22".

PRE-FABRICATED FIREPLACES: PRE-FABRICATED METAL FIREPLACES SHALL BE INSTALLED WITH INSULATED CHIMNEY FLUE, SPARK ARRESTOR AND ACCESSORIES ACCORDING TO MANUFACTURERS SPECIFICATIONS. FIREPLACE OPENING SHALL BE EQUIPPED WITH A TIGHT FITTING, CLOSEABLE METAL OR GLASS DOOR. FIREPLACE SHALL HAVE A FLUE DAMPER AND AN OUTSIDE AIR INTAKE WITH DAMPER. ONLY GAS APPLIANCE FIREPLACES ARE TO BE USED.

GLAZING: ALL GLAZING SHALL CONFORM TO FEDERAL GLAZING REGULATIONS AND THE CALIFORNIA RESIDENTIAL CODE. GLAZING IN HAZARDOUS LOCATIONS SHALL BE FULLY TEMPERED GLASS OR APPROVED PLASTIC AND IS PERMANENTLY IDENTIFIED BY THE MANUFACTURER OR INSTALLER.

MECHANICAL ROOM DOORS: ACCESS DOORS OF THE MECHANICAL ROOM SHALL BE SOLID CORE WITH MINIMUM 100 SQ. IN. LOUVERED VENT AT TOP OF DOORS AND MINIMUM 100 SQ. IN. LOUVERED VENT AT BOTTOM OF DOORS.

GYPSUM WALLBOARD: ALL INTERIOR WALL AND CEILING FACES ARE TO BE SHEATHED WITH 1/2" GYPSUM WALLBOARD EXCEPT WHERE NOTED TO USE 5/8" TYPE "X" WALLBOARD. TAPE, TEXTURE AND PAINT GYP. BOARD ACCORDING TO FINISH SCHEDULE. ALL GAPS AND PENETRATIONS AT 5/8" TYPE "X" WALLBOARD SHALL BE FILLED WITH TAPING CEMENT. NAIL ALL GYP. BOARD TO WALL STUDS, PLATES, BLOCKING, ETC., AS FOLLOWS: 1/2" WALLBOARD 4d CEMENT COATED BOX NAIL OR 1-3/8" x 14
GA. ACID-ETCHED, PHOSPHATE COATED NAIL OR 4d "DRYVITE" NAIL AT 7" O.C. 5/8" TYPE "X" WALLBOARD 6D "COOLER" NAILS AT 7" O.C.

ROOF VENTILATION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE OR 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENINGS OF AT LEAST 1/16" AND A MAXIMUM OF 1/8" DIMENSION. VENTS SHALL BE LOCATED SO AS TO PROVIDE CROSS VENTILATION OF EACH SEPARATE ATTIC SPACE AND SHALL PROTECT AGAINST THE ENTRANCE OF RAIN AND SNOW.

STAIR HANDRAILS: EVERY STAIRWAY OF 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL AND EVERY OPEN SIDE OF A STAIRWAY SHALL HAVE A GUARDRAIL. HANDRAILS MOUNTED ON A WALL SHALL HAVE A MIN. 1-1/2" SPACE BETWEEN THE WALL AND THE HANDRAIL. THE HANDGRIP PORTION OF HANDRAILS SHALL BE BETWEEN 1-1/4' AND 2" CROSS SECTION DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ALL HANDRAILS ARE TO BE PLACED 34" AND 38" ABOVE TREAD NOSING AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. GUARDRAILS:

GUARDRAILS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACE OR ADJACENT SEATBOARD. GUARDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO THE APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILL ERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO ONE SQUARE GUARDRAIL AND STAIR RAILINGS SHALL BETWEEN RAILS. OPEN BALUSTERS, PICKETS, ETC,. ARRANGED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH THE OPENINGS.

ARCHITECTURAL (CONT.)

SKYLIGHTS: ALL SKYLIGHTS ARE TO BE PRE-MANUFACTURED PLASTIC DOME TYPES WITH ANODIZED ALUMINUM FRAMES MOUNTED ON WOOD CURBS OR DIRECTLY TO ROOF DECK. FRAME COLOR IS TO MATCH OR BE SIMILAR TO THE ROOF COLOR. CURB HEIGHT ABOVE THE ADJACENT ROOF SURFACE IS TO BE 4" MINIMUM. THE DOME HEIGHT IS TO BE MINIMUM 5" OR 10% OF THE MAXIMUM SPAN OF THE DOME. SKYLIGHT UNITS SHALL MEET TITLE 24 REQUIREMENTS. SKYLIGHTS WITH INSTALLED GLAZING 12' ABOVE THE WALKING SURFACE SHALL BE CONSTRUCTED OF LAMINATED GLASS WITH A POLYVINYL BUTYRAL INTERLAYER AND A MINIMUM THICKNESS OF 0.030 INCHES (.76 mm).

EXTERIOR PLASTER LATH: EXTERIOR PLASTER LATH SHALL BE OF AN APPROVED, PAPER-BACKED, CORROSION RESISTANT METAL OR WIRE FABRIC AND SHALL BE SELF FURRING. (1/4" MIN.) APPLY LATH OVER WALL UNDERLAYMENT WITH THE LONG DIMENSION HORIZONTAL AND LAP A MIN. 1/2" AT THE SIDES AND MIN. 1" AT THE ENDS. WHERE END LAPS OF SHEETS DO NOT OCCUR OVER SUPPORTS, THEY SHALL BE SECURELY TIED TOGETHER WITH A MIN. 18 GA. WIRE. REINFORCEMENT SHALL BE USED AT ALL CORNERS OR THE LATH SHALL BE CARRIED AROUND CORNERS AT LEAST ONE SUPPORT. A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION LINE ON ALL EXTERIOR STUD WALLS A MIN. OF 4" ABOVE HIGHEST ADJACENT GRADE. THE SCREED SHALL ALLOW TRAPPED WATER TO DRAIN TO THE OUTSIDE. BOTH THE METAL LATH AND PAPER UNDERLAYMENT SHALL TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. NAILING OF METAL LATH SHALL BE AT A MAX. OF 6 O.C. EACH WAY USING EITHER 11 GA. X 1-1/2" LONG X 7/16" HEAD NAILS OR 16 GA. STAPLES WITH 7/8" LEGS.

EXTERIOR PLASTER: EXTERIOR PLASTER SHALL BE PORTLAND CEMENT APPLIED IN THREE COATS TO A MIN. THICKNESS OF 7/8". SEE EXTERIOR ELEVATIONS FOR TEXTURE VARIATIONS.

APPLIANCES: THE CONTRACTOR SHALL PROVIDE RESIDENTIAL EQUIPMENT WHICH IS U.L. LABELED. PROVIDE, TO THE OWNER, ALL MANUFACTURER'S STANDARD WRITTEN WARRANTIES, OWNER'S MANUALS, AND STANDARD ACCESSORIES. CONTRACTOR SHALL INSTALL THE APPLIANCES WHERE INDICATED ON DRAWINGS AND AS REQUIRED BY ALL CODES AND LISTINGS. APPLIANCE TYPES, STYLES, COLORS, ETC., SHALL BE SELECTED BY OWNER.

EMERGENCY EGRESS ESCAPE AND RESCUE WINDOWS: BASEMENTS OF DWELLING UNITS AND EVERY BEDROOM BELOW THE 4TH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE AND RESCUE DIRECTLY TO EXTERIOR. THE UNITS SHALL BE OPERABLE TO PROVIDE FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND HAVE A NET CLEAR OPENING OF NO LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL BE A MINIMUM OF 24" AND THE WIDTH SHALL BE A MINIMUM OF 20" WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4 INCH DIAMETER WHERE SUCH OPENING ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. WHERE SUCH WINDOW OPENINGS DO NOT COMPLY, WINDOW FALL PREVENTION DEVICES AND WINDOW GUARDS THAT COMPLY WITH ASTM F 2090, SHALL BE PROVIDED.

STREET ADDRESS: NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1 /2 INCH.

SPARK ARRESTORS: SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS INCLUDING OUTSIDE FIREPLACES.

GARAGE: 1-HR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6. 20 MINUTE, 1-3/4" SOLID WOOD FIRE RATED DOOR WITH SELF CLOSING AND SELF LATCHING DEVICES PER CRC SECTION R302.5

DIMENSIONS: ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

ELECTRICAL

CODES: ALL ELECTRICAL EQUIPMENT, WIRING AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS.

LISTINGS: ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

RECESSED FIXTURES: PROVIDE RECESSED FIXTURE CLEARANCE PER CODE. RECESSED FIXTURES IN INSULATED CEILINGS SHALL BE "IC" APPROVED FIXTURES.

DRYER LOADS: CLOTHES DRYER LOADS SHALL BE DETERMINED ON A LOAD OF 5000 WATTS PER APPLIANCE OR BY NAMEPLATE RATING.

ELECTRICAL BOXES: ELECTRIC SWITCH AND OUTLET BOXES ON EXTERIOR WALLS SHALL HAVE RUBBER GASKETS FOR MEDIUM INFILTRATION CONTROL.

KITCHEN AND BATH FIXTURES: ALL GENERAL LIGHTING FIXTURES AND BULBS IN KITCHEN AND BATH AREAS SHALL HAVE AN EFFICACY RATING OF 40 LUMENS PER WATT OR GREATER. FLUORESCENT FIXTURES WITH PLUG-IN (NOT SCREW-IN) FLUORESCENT LAMPS SHALL BE USED.

CLOSET LIGHTS: LIGHT FIXTURES IN CLOSETS/WARDROBES SHALL HAVE A MIN. 18" HORIZONTAL CLEARANCE TO SHELVES.

TUB/SHOWER LIGHTS: LIGHT FIXTURES MOUNTED WITHIN 5' OF A SPA/TUB SHALL BE MOUNTED AT LEAST 7'6" ABOVE THE MAXIMUM WATER LEVEL OF THE SPA/TUB AND SHALL BE GFCI PROTECTED.

DRYER/COOKING UNIT OUTLETS: CLOTHES DRYERS AND COOKING UNITS SHALL HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR-PRONG OUTLET.

OUTDOOR OUTLETS: PROVIDE OUTSIDE RECEPTACLES AT THE FRONT AND REAR OF THE HOME WITHIN 6'-6" OF GRADE WHICH ARE WATERPROOF AND GFCI PROTECTED. SEE PLAN FOR LOCATIONS.

KITCHEN BRANCH CIRCUITS: SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS IN THE KITCHEN WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS. THESE OUTLETS CANNOT SERVE DINING ROOM, OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES. ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS (INCLUDING REFRIGERATOR).

BATHROOM OUTLET CIRCUITS: REQUIRED BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT WHICH CANNOT SERVE ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS: ALL NEW NON-LOCKING TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES THAT ARE WITHIN 5 1/2' ABOVE FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ARC-FAULT AND GROUND FAULT OUTLETS: ARC-FAULT (AFCI) REQUIRED IN FAMILY ROOMS , DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC ROOMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY AREAS.

MECHANICAL

CODES: ALL HVAC EQUIPMENT, DUCT WORK AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CURRENT MECHANICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND MANUFACTURER'S SPECIFICATIONS. ALL PLUMBING WORK SHALL CONFORM WITH THE CURRENT CALIFORNIA PLUMBING CODE.

LISTINGS: ALL HVAC EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

EXHAUST FANS: ALL INTERIOR EXHAUST FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR OR MORE. EXHAUST FANS AND FAN SYSTEMS SHALL HAVE BACK-DRAFT DAMPER CONTROLS.

1 HOUR WALLS: HVAC DUCTS PENETRATING ONE HOUR WALLS (GARAGE/HOUSE WALL) SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL. 1 HOUR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6.

GAS PIPING: GAS PIPING SHALL NOT BE IMBEDDED IN OR BELOW CONCRETE SLABS SEWER PIPING: PLASTIC OR PVC SEWER LINE SHALL BE PLACED WITH MIN. 6" OF SAND BASE AND COVER.

FORCED AIR UNIT: FORCED AIR UNIT(S) SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS AND THOSE OF THE STRUCTURAL ENGINEER WHEN INSTALLED IN AN ATTIC SPACE.

GAS APPLIANCES: ALL GAS APPLIANCES AND EQUIPMENT SHALL HAVE INTERMITTENT IGNITION DEVICES WITH NO CONTINUOUS BURNING PILOTS. ALL APPLIANCES SHALL COMPLY WITH THE CURRENT CALIFORNIA MECHANICAL CODE.

WATER HEATERS: WATER HEATERS SHALL BE INSULATED WITH EXTERNAL BLANKETS OF R-12 OF GREATER. INSULATE HOT WATER INLET AND OUTLET PIPES (FIRST FIVE FEET IN UNCONDITIONED SPACES) WITH EXTERNAL WRAPPING OF R-4 OR GREATER. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. WATER HEATERS LOCATED IN NON-LIVING SPACES SHALL BE INSTALLED ON A PLATFORM SUCH THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN EIGHTEEN INCHES ABOVE THE FINISHED FLOOR.

TANKLESS WATER HEATERS: TANKLESS WATER HEATER SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION.

DRYER VENT: CLOTHES DRYERS SHALL VEaNT TO THE OUTSIDE OF THE BUILDING AND SHALL BE A MAXIMUM 14' IN LENGTH WITH TWO FEET REDUCTION FOR EACH 90 DEGREE ELBOW OVER TWO.

PLUMBING VENTS: ALL PLUMBING VENTS SHALL BE MINIMUM 10 FEET FROM OPERABLE SKYLIGHTS.

THERMOSTATS: ONLY "SETBACK" THERMOSTATS CERTIFIED BY THE CALIFORNIA ENERGY COMMISSION SHALL BE USED.

HOSE BIBS: HOSE BIBS AND WATER OUTLETSa WITH HOSE ATTACHMENTS SHALL HAVE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

FORCED AIR UNIT CLEARANCES: LISTED FURNACES SHALL BE INSTALLED IN CONFORMANCE WITH THE CONDITIONS OF THEIR LISTING. THE FURNACE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS ATTACHED TO THE APPLIANCE, CLEARANCES OF LISTED FURNACES FROM COMBUSTIBLES SHALL BE AS SPECIFIED IN THE LISTING OR ON THE FURNACE RATING PLATE. UNLISTED FURNACES SHALL HAVE THE FOLLOWING CLEARANCES FROM COMBUSTIBLES: ABOVE TOP OF CASING OR FURNACE 6" FROM TOP AND SIDES OF WARM-AIR BONNET OR PLENUM 6" FROM FRONT (UNLESS ACCESS REQUIREMENTS GREATER 18" FROM BACK OF FURNACE 6" FROM SIDES OF FURNACE 6" DISHWASHERS: DISHWASHING MACHINES CONNECTED DIRECTLY TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL SHALL HAVE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK/DRAIN BOARD, WHICH EVER IS HIGHER.

TUB AND SHOWER VALVES: TUB AND SHOWER VALVES SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE QUICK ACTING VALVES: ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED (SUCH AS DISHWASHERS, CLOTHES WASHERS, ETC.) SHALL BE APPROVED WITH DEVICES AS CLOSE TO QUICK ACTING VALVES AS POSSIBLE TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.

DUCT TERMINATIONS: ALL ENVIRONMENTAL AIR DUCT TERMINATIONS SHALL BE A MINIMUM OF (3) FEET FROM PROPERTY LINES AND/OR ANY OPENINGS INTO THE BUILDING.

CALGREEN:

JOINTS AND OPENINGS: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PRE-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.

HEATING AND AIR CONDITIONING SYSTEM DESIGN SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS . HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL S OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.

ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINTS SHALL COMPLY WITH VOC AND OTHER CONTENT LIMITS. SPECIFIED IN SECTION 4.504 OF THE CGBSC. ALL PRODUCT CONTAINERS SHALL REMAIN ON SITE FOR FIELD VERIFICATION. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION, AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 4.504

FINISHES: USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LETTER (GPL) VOCS REGARDLESS OF SHEEN) CGBSC 4.504.2.2 USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113 (CGBSC 4.504.2.3) DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC FINISH MATERIALS HAVE BEEN USED PER CGBSC 4.504.2.4 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) FLOORSCORE PROGRAM.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH TABLE 4.504.5. VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS. PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT IN ACCORDANCE WITH CGBSC SECTION 4.505.3.

ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CA CIVIL CODE SECTIONS 1101.01-1101.8.

ALL EXISTING TO REMAIN PLUMBING FIXTURES SHALL CONFORM TO THE FOLLOWING: TOILETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH TOILETS WITH A MAXIMUM OF 1.28 GPF.

SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM SHALL BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.

LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM SHALL BE REPLACED WITH A FAUCET WITH A MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

HVAC SYSTEMS INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE THE DISCIPLINE THEY ARE INSPECTING.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

CITY STAMPS

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GENERAL NOTES

SHEET NO.

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