

LA RINCONADA FACILITIES

17445 ZENA AVE.
LOS GATOS, CA 95030

ARCH & SITE RE-SUBMITTAL 03.19.2026



PROJECT DESCRIPTION

NEW GOLF COURES FACILITIES: DEMOLISH (2) EXISTING METAL BUILDINGS AND (1) CONVENTIONALLY FRAMED BUILDING, CONSTRUCTION OF (3) NEW METAL BUILDING STRUCTURES, MATERIAL STORAGE BINS AND TRASH ENCLOSURE, RELOCATION OF FUEL STATION & WASH DOWN AREAS AND REMOVAL OF MULTIPLE TREES.

PROJECT TEAM

CLIENT: LA RINCONADA COUNTRY CLUB
14595 CLEARVIEW DRIVE
LOS GATOS, CA 95032
ANDY KIMBALL

ARCHITECT: E2 ARCHITECTURE
307 ORCHARD CITY DRIVE, STE. 350
CAMPBELL, CA 95008
JEFFREY EATON, AIA
P: (408) 265-5255
E: jeffrey@e2astudio.com

CIVIL ENGINEER: HMM
1570 OAKLAND ROAD
SAN JOSE, CA 95131
STEPHAN KUEHN
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BLDG & OCCUPANCY TYPES

(N) Bldg 1
Construction : Type V-B
Occupancy : B

(E) Shade Structure
Construction : Type V-B
Occupancy : S-1

(N) Bldg 2
Construction : Type V-B
Occupancy : S-1

(E) Single Family Dwelling
Construction : Type V-B
Occupancy : R-1

(N) Bldg 3 - Chem Storage
Construction : Type V-A
Occupancy : S-1

SHEET INDEX LEGEND

□ SUBMITTED WITHOUT REVISION
■ SUBMITTED WITH REVISION
NOT SUBMITTED / REMOVED FROM SET

SHEET INDEX

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C7.1	EROSION CONTROL DETAILS	□	□	□	□	□
L1.01	LANDSCAPE PLAN	□	□	□	□	□
L1.02	PLANTING LEGEND AND NOTES	□	□	□	□	□
L1.03	PLANTING DETAILS	□	□	□	□	□
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T-1	TREE PROTECTION AND MITIGATION PLAN	□	□	□	□	□
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T-3	ARBORIST REPORT	□	□	□	□	□

LA RINCONADA FACILITIES

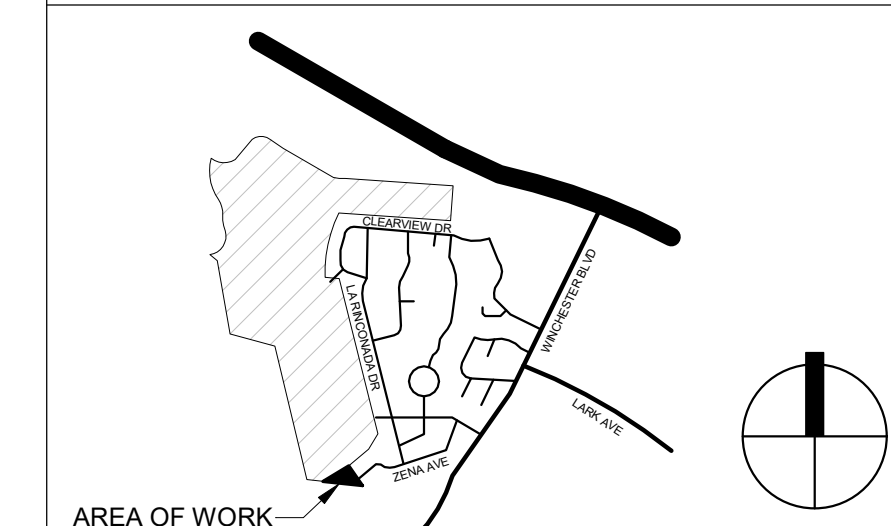
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1	ISSUED FOR PLANNING	10/01/25
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	ISSUED FOR RESUBMITTAL - S5	

Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: RP
Checked by: AE/JB/JE

Sheet Title:
GENERAL INFO

VICINITY MAP



P 0



FIRE PREVENTION PLAN REVIEW COMMENTS

PROJECT INFO: PROJECT NAME: AMMR - New Maintenance Building and Grading Permit

PREPARED BY: PROJECT INFO: FIRE DEPT PLAN REVIEW #: 251391 NAME/TITLE: Kenny Ip - Deputy Fire Marshal II

CITY/COUNTY PROJECT #: S-25-044 EMAIL: Kenny.Ip@sccfd.org

LOCATION: 17445 Zena Ave DATE: 03/04/2026

PROJECT NAME: AMMR - New Maintenance Building and Grading Permit

SCOPE OF WORK:

Alternate Means/Methods Application - Proposed new 2,970 SF Administration office and one new 4,175 SF Maintenance structure. Existing 3,470 SF shade structure remains.

Plan Status:

The alternate means/methods request is **APPROVED**.

Discussion:

This application proposes an alternate SCCFD Standard Fire Turnaround A.

Proposal:

-The purpose alternate turnaround A meets all turning requirements for fire lanes. 30' Radii are provided rather than the standard 20'. The standard turnaround details cannot be met due to the following site constraints: 1. Proposed site plan and building placement is ideal from an operational and grading standpoint. 2. The existing shade structure is proposed to remain. 3. The existing residence and driveway are proposed to remain.

-Autoturn vehicle turning analysis was conducted. The fire truck can safely enter, maneuver and existing the proposed turnaround area without encroachment with the proposed or existing structure.



Comments:

Note: although the current review is limited to the compliance of the proposed fire apparatus turnaround, the turnaround may be impacted by the final location of the proposed Maintenance Building. The following comments should be evaluated to confirm the Maintenance Building does not need to be relocated, potentially reducing the width of the proposed turnaround:

- It shall be determined whether the Maintenance Building is a separate structure from the Existing Shade Structure, or if these two structures will be considered portions of the same building for the application of CBC 503.1.2.
- If the buildings are considered portions of the same building, the Building Permit submittal will need to demonstrate compliance not exclusive of the following:
 - Allowable Height and Area
 - Construction Type
 - Fire Protection Systems
- If the buildings are considered separate buildings, the Building Permit will need to demonstrate how each building complies with CBC 705.3 based on the proposed fire separation distance.

-Sprinklers shall be provided for the new building and the existing shade structure as part of this AMMR approval condition.

"FIRE DEPARTMENT TURNAROUND ON SITE" sign shall be installed at the entrance of the roadway.

"NO PARKING - FIRE DEPARTMENT TURNAROUND" sign shall be installed at the turnaround.

-Make a note on the building permit covered sheet that this project has an approved AMMR.

-A copy of the Alternate Means/Methods application form with approval signature shall be made part of the building permit drawing set, to be routed to Santa Clara County Fire Department for final approval

-A copy of this comment letter shall be made part of the building permit drawing set.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

- THE APPLICANT HAS READ AND TAKES NO EXCEPTION TO THE CURRENT CONDITIONS OF APPROVAL.

CONDITIONS OF APPROVAL May 11, 2011

APPROVED

14595 Clearview Drive
Conditional Use Permit U-11-002

Requesting approval to increase the allowed membership for the La Rinconada Country Club on property zoned RC, R-1:12, and R-1:20. APNS 409-31-001,409-18-007 and 409-29-018
PROPERTY OWNER: Maxine Nevine
APPLICANT: La Rinconada Country Club

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:
(Planning Division)

- USE. Uses permitted include a private golf course with driving range, clubhouse, pool, and fitness facilities. The pool and fitness facilities are to be used by members and their guests only.
- HOURS OF OPERATION. Hours of operation for Club room facilities shall be limited from 7 a.m. to 1 a.m. daily. The maximum operating hours of the pool and fitness facilities is between 6 a.m. to 10 p.m. daily.
- MEMBERSHIP. A total of 446 "certified" members, and 125 "other" members, are permitted. The maximum number of certified and social members combined shall not exceed 571.
- COMMUNITY BENEFIT FUNDS. The applicant has offered to provide the Town of Los Gatos rights and access to install the necessary water lines and equipment to provide irrigation to the public Right of Way along Wedgewood Avenue. In addition the applicant has offered to provide the water for the landscaping improvements for a period of two years from the completion of installation.
- TRAFFIC IMPACT MITIGATION FEE. The developer shall pay a fee proportional to the project's share of transportation improvement needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit application is made. The fee shall be paid before the building permit is issued. The traffic impact mitigation fee for this project, using the current fee schedule and the preliminary plans is \$6,420.00. The final fee shall be calculated from the final plans using the rate schedule in effect at the time of the building permit application, using a trip generation rate based on the application for additional 50 members.
- SEATS. The maximum number of inside and outside seats in the dining area shall not exceed 252. The maximum number of inside and outside seats in the grill room and snack shack area shall not exceed a total of 68.
- OUTSIDE DINING. Patio meal service shall cease at 10 p.m.
- MUSIC. Music is permitted inside the club house and fitness buildings. There shall be no outdoor music.
- SERVICE VEHICLES. All service trucks and vendors shall only use the Wedgewood Avenue entrance and exit. The applicant shall request that vendor

deliveries occur between 9 a.m. and 3 p.m. No staging of delivery trucks shall occur on Town streets.

- SECURITY GUARDS. A uniformed security guard shall be present at all large party functions.
- SIGNS. Sign shall be posted at exit from parking lot reminding drivers to exercise caution as they're going through a residential area with poor visibility in some areas.
- CLUB POLICY. The management of the Club shall maintain a policy to inform club members on how to use the driving range to reduce errant golf balls.
- MEMBERSHIP NOTICE. The letter to the membership and the Country Club's web site shall continue to include a reminder on how to use the driving range.
- ANNUAL MEETINGS. The management of the Club shall hold annual meetings with their neighbors on Clearview Drive and Wedgewood Avenue to discuss issues or concerns.
- POLICING DRIVING RANGE. The driving range shall be policed by its members or staff at all times when in use to ensure the range is being used correctly. An employee shall be physically present at the range to observe and monitor all of the activities during the peak periods of errant golf balls on the days and hours stated in their letter, dated January 4, 2005, Exhibit B, of the report to the Planning Commission dated May 16, 2005. These days and hours may be modified if requested in writing by the La Rinconada Country Club and approved by Community Development Department.
- GOLF SIGNAGE. Signs shall be placed on all the ball machines to inform golfers to direct their golf shots towards the center of the driving range. Signage shall be maintained on the range reminding golfers to hit towards the center of the range and/or the targets.
- DRIVING RANGE. The direction of the first four stalls on the left side of the driving shall be maintained toward the center of the driving range
- INSPECTION. Country Club staff shall inspect along Wedgewood Avenue once a week for errant golf balls and document their findings.
- HITTING STALLS. The four stalls closest to Wedgewood Avenue shall prohibit the use of irons above seven. The stalls closest to Wedgewood Avenue shall be available for right handed golfers only.
- NOTICE TO NEIGHBORS. The applicant shall notify impacted neighbors the dates and times of proposed sand deliveries.

N:\DEV\CONDITNS2011\14595 Clearview.doc



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21150 W Prospector Way
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A CALIFORNIA CORPORATION

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CONDITIONS OF APPROVAL & APPROVED AMMR

P 0.1



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LEGEND

- PROPERTY LINE
- ⊥ XX.XX' LENGTH OF PROPERTY LINE
- [Cross-hatched box] EXISTING STRUCTURE TO BE DEMOLISHED
- [Diagonal hatched box] EXISTING STRUCTURE TO REMAIN

FLOOR AREAS OF EXISTING AREAS

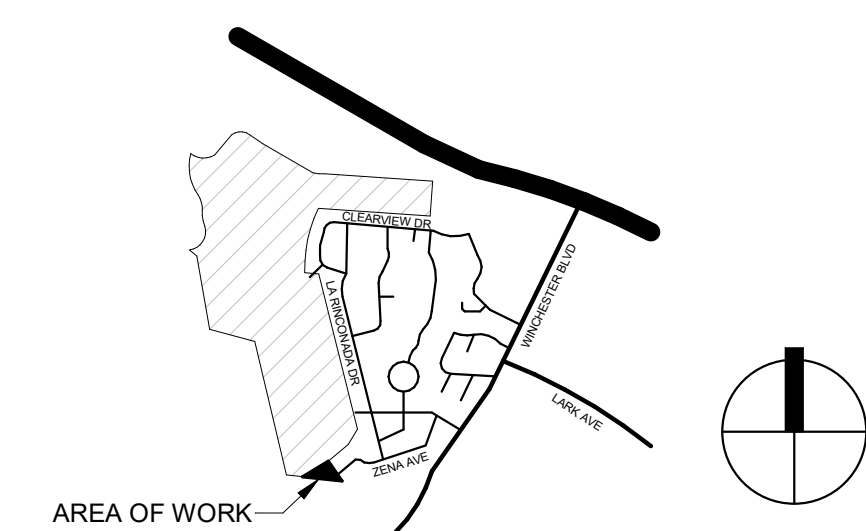
- Shade Structure**
Area: 3470 SF
- Single Family Dwelling**
Area: 1818 SF + 369 SF
- Metal Container**
Area: 133 SF
- Restroom**
Area: 248 SF
- Structure 1 - EQUIPMENT STORAGE:**
20' 6" x 70' 6"
Area: 1442 SF
- Structure 2 - EXISTING SHOP:**
60' 4" x 24' 7"
Area: 1483 SF
- Structure 3 - EXISTING OFFICE:**
24' 3" x 16' 5"
Area: 400 SF
- Fuel Area: 10' 2" x 8'**
Area: 80 SF

KEYNOTES

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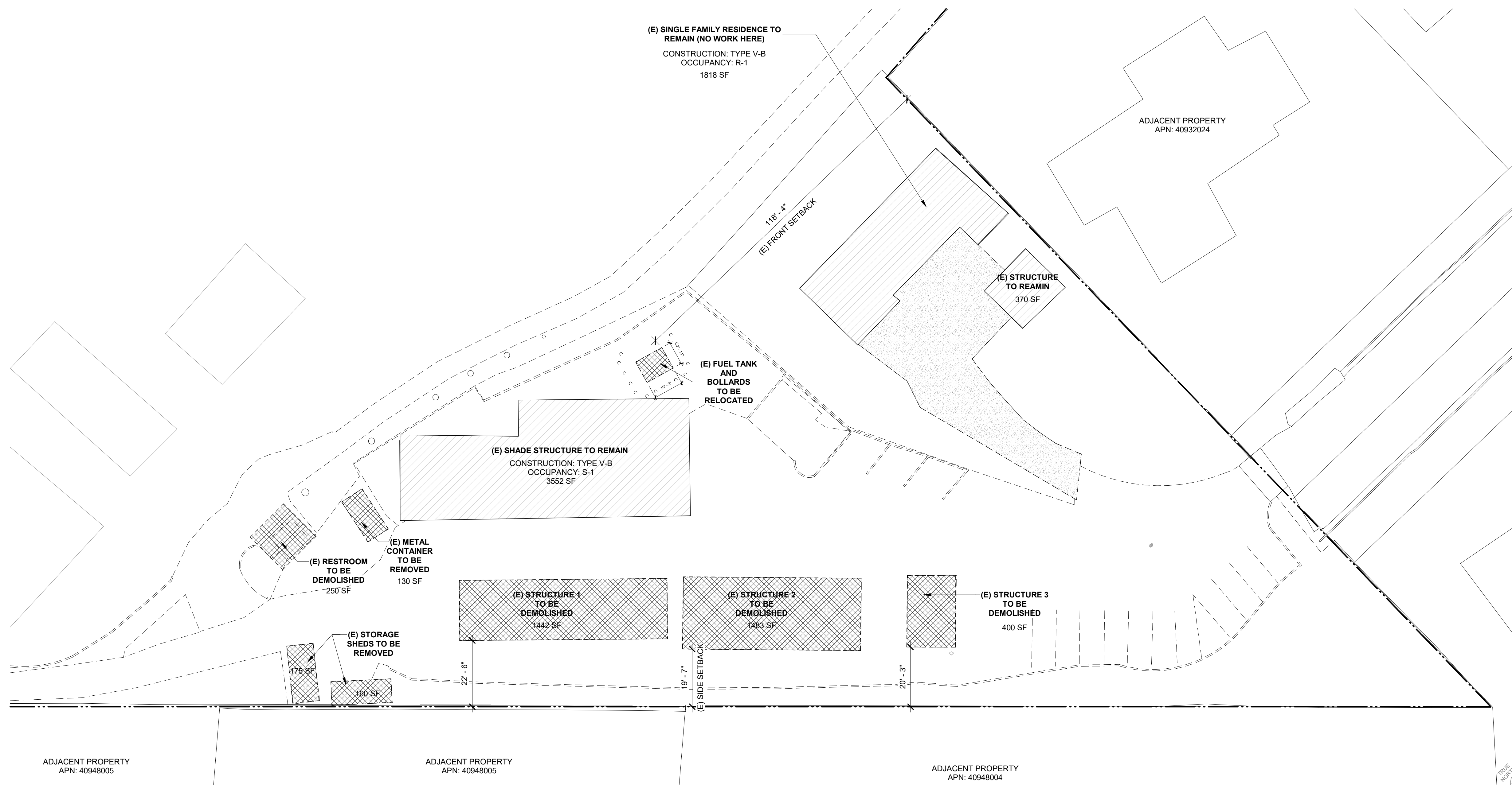
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VICINITY MAP



Sheet Title:
EXISTING SITE PLAN

P 1.1



EXISTING / DEMO SITE PLAN

1" = 20'-0"

1

FIXTURE CUT SHEET FOR OUTDOOR LIGHTING S1

FIXTURE SCHEDULE

KEYNOTES

LEGEND

GEOPAK SERIES SIZE 2 LED
Architectural Wallpack
TRP2/RD2/GSP2

Specifications
Applications:
Medium sized architectural wallpacks in three sleek shapes accentuate building architecture and provide excellent illumination and uniformity.
Construction:
Die-cast aluminum housing and door.
Seven powder coat standard finishes, plus custom color options.
LED:
24 or 32 high power LEDs deliver up to 10,200 lumens.
Up to 148 lumens per watt.
Different lenses offer a variety of distribution patterns: Type I, II, III, IV, and V (Forward Throw).
3000K - 70 CRI, 4000K - 70 CRI, and 5000K - 70 CRI CCT optional.
Electrical:
Optional Dual Drivers & Dual Power Feeds for 50, 70 and 90 watt versions.
120-277, 347 and 480 voltage, 50/60Hz.
Power factor > .90%.
THD (Total Harmonic Distortion) < 20%.
Ambient operating temperature -40°C to 40°C.
Installation/Mounting:
Quick-mount adapter with gasket seal provides easy installation to wall or to recessed junction box (4" square junction box). Fixture attaches to base flange-head hardware for tamper resistance.
Black box accessory available for surface control application.
Optional invert/step mounting (must specify when ordering).
Options/Controls:
Dimmers are 0-10V dimming standard.
Photocell and occupancy sensor options available for complete on/off and dimming control.

Product Images
Trapezoid, Radius, Quarter Sphere

Dimensions
GSP2: Height: 19.8in (504mm), Width: 18.0in (457mm), Depth: 9.8in (249mm)
RD2: Height: 18.0in (457mm), Width: 18.0in (457mm), Depth: 9.8in (249mm)
TRP2: Height: 18.0in (457mm), Width: 18.0in (457mm), Depth: 9.8in (249mm)

Photometric Reports
Photometric diagrams showing beam spread and footcandle distribution for various mounting heights (11' and 15').

Photometrics - Battery Backup
Photometric diagrams for battery backup configurations.

Shipping Information
Table with columns: Catalog Number, Family, Length, Width, Height, Weight.

Ordering Information
Table with columns: Family, LED Wattage, CCT, Distribution, Voltage, Finish, Control Options, Options.

Certifications/Lists
Logos for UL, DLC, ETL, and other certifications.

NOTES
LIGHTS SHALL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM VIEW, AND SHALL NOT SHINE ON TO NEIGHBORING PROPERTIES.

PHOTOMETRIC REPORTS
Diagrams showing beam spread and footcandle distribution for various mounting heights (11' and 15').

PHOTOMETRICS - BATTERY BACKUP
Diagrams for battery backup configurations.

E & ER EMERGENCY BATTERY BACKUP
Photometric diagrams for emergency lighting configurations.

INVERTED MOUNTING
Diagram showing inverted mounting capabilities for lighting applications.

COMFORT SHIELD
Diagram showing comfort shield option to reduce glare and improve uniformity.

CONTROL OPTIONS
Diagram showing photocell and occupancy sensor options.

KEYNOTES
01.13 WATER METER, SEE CIVIL DRAWINGS
01.20 SWITCH GEAR
01.27 (N) BIKE PARKING

LEGEND

- PROPERTY LINE
- LENGTH OF PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL: 48" MIN CLR, WIDTH, 5% MAX RUNNING SLOPE, AND 2% MIN CROSS SLOPE PER 2022 CBC 11B-403
- PARKING TOTAL
- EXISTING STRUCTURE TO BE DEMOLISHED
- EXISTING STRUCTURE TO REMAIN
- PROPOSED LANDSCAPE
- PROPOSED AC

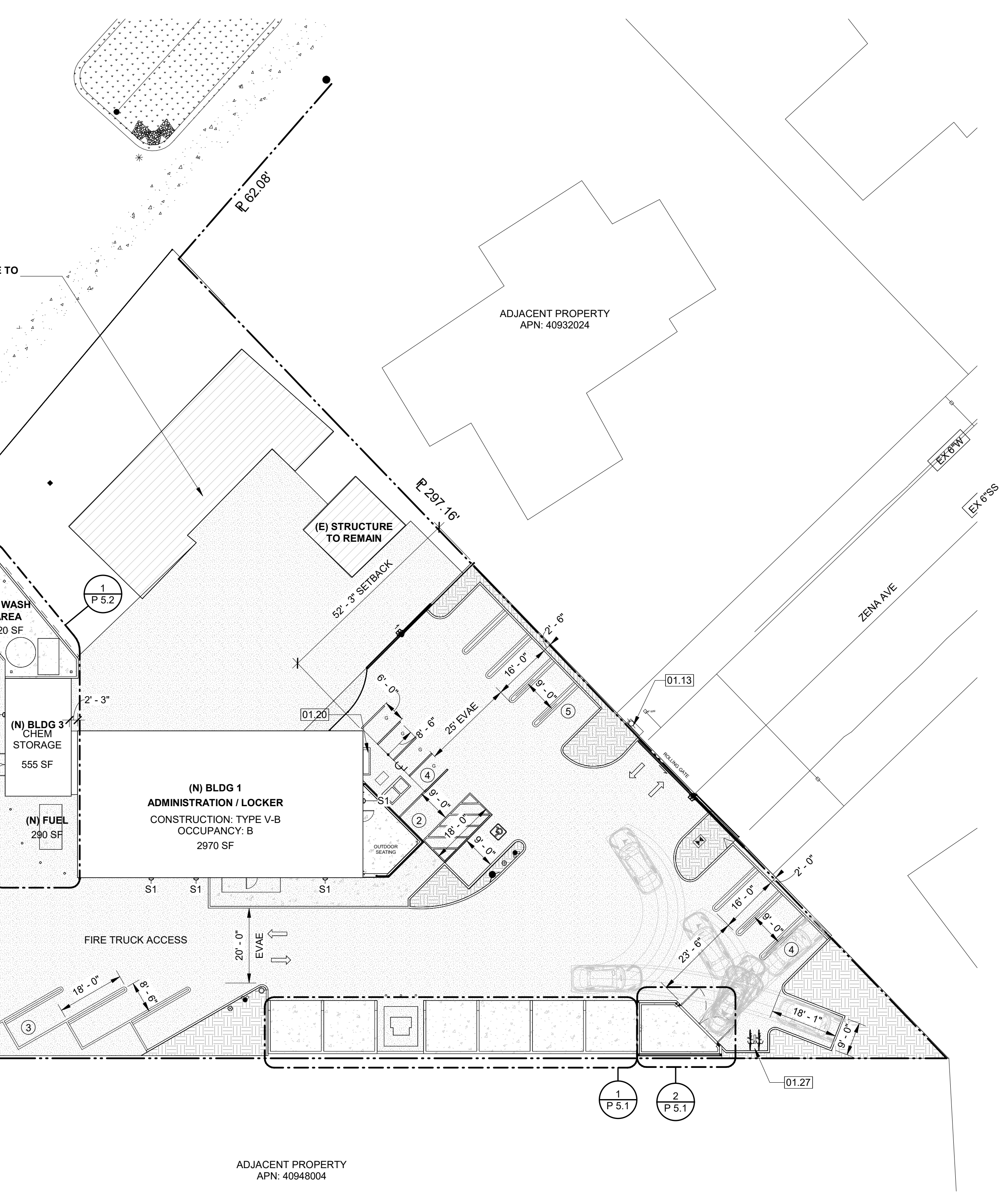
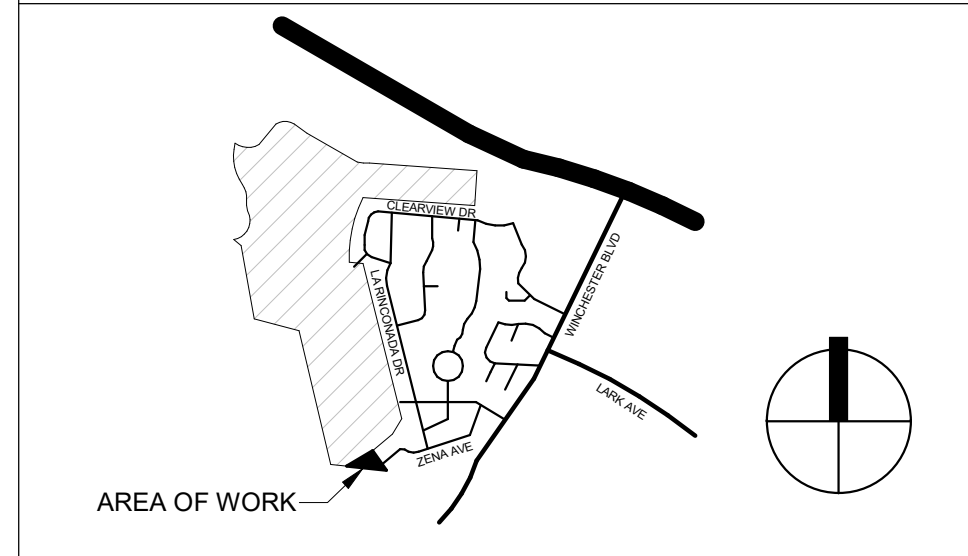
SITE TABULATIONS

	EXISTING	%	PROPOSED	%
AREA OF WORK	38,485 SF	100%	40,353 SF	100%
BUILDING AREA	6,795 SF	17%	11,395 SF	28%
HARDSCAPE AREA	N/A	N/A	27,464 SF	68%
LANDSCAPE AREA	N/A	N/A	1,494 SF	4%
BUILDING AREAS				
EXISTING AREAS				
BUILDING 1	1,442 SF	3%		
BUILDING 2	1,483 SF	3%		
BUILDING 3	400 SF	1%		
SHADE STRUCTURE	3,470 SF	9%		
METAL CONT.	130 SF	0.3%		
RESTROOM	250 SF	0.6%		
STORAGE SHED 1	175 SF	0.45%		
STORAGE SHED 2	160 SF	0.41%		
TOTAL	7,510 SF	19.5%		
PROPOSED AREAS				
BUILDING 1			2,970 SF	7%
BUILDING 2			4,175 SF	10%
BUILDING 3			555 SF	1%
SHADE STRUCTURE			3,470 SF	8%
TRASH ENCLOSURE			220 SF	0.5%
TOTAL			11,395 SF	28%

PARKING COUNT

	EXISTING	PROPOSED
CAR PARKING		
STANDARD STALLS	11	14
ACCESSIBLE STALLS		01
TOTAL	11	15
GOLF CART STALLS		04
BIKE		02

VICINITY MAP



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PROPOSED SITE PLAN

P 1.2



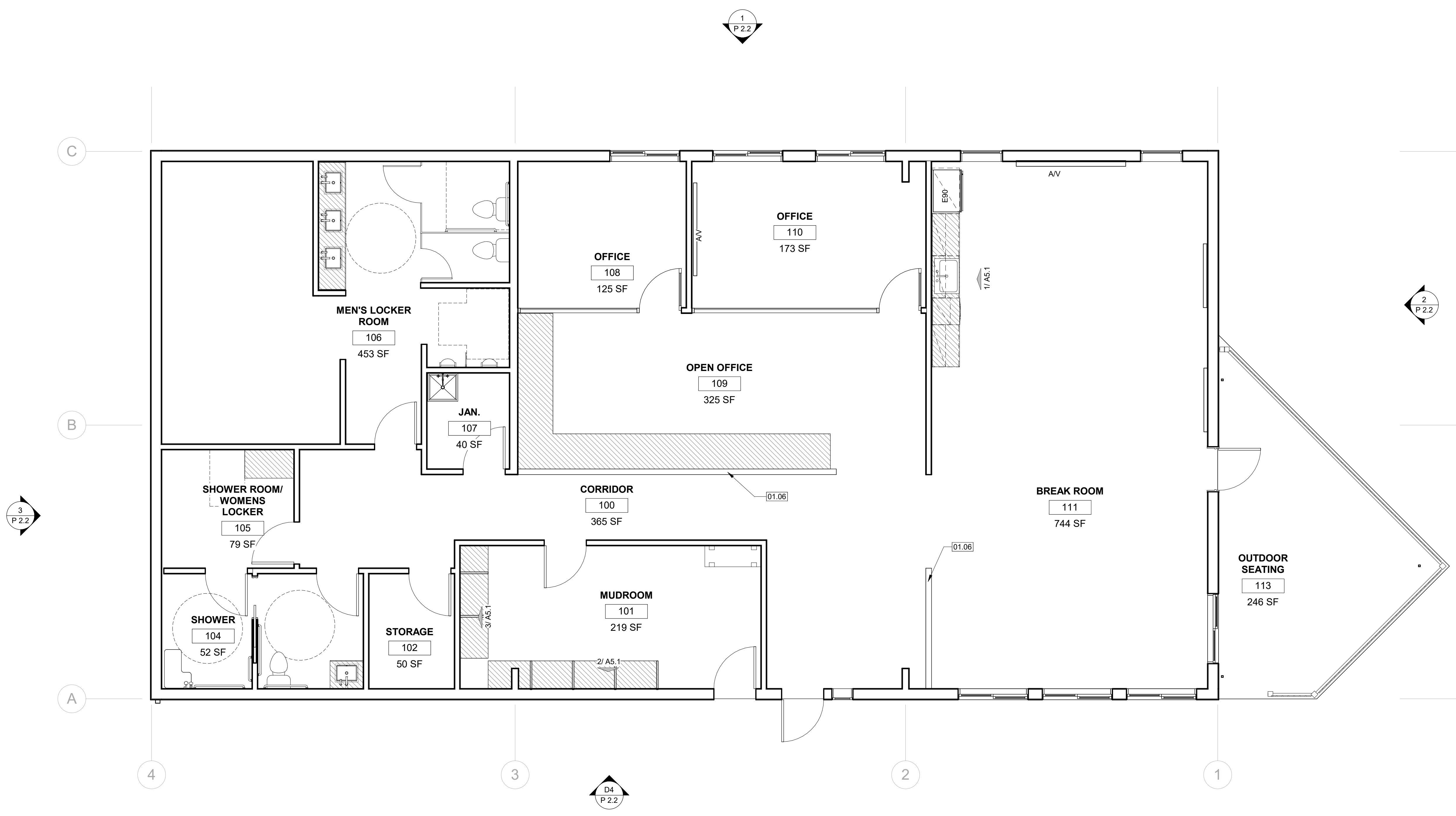
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LEGEND

- EXISTING WALL
- NEW WALL - REFER TO WALL LEGEND TYPE
- EXISTING DOOR
- PROPOSED DOOR
- PROPOSED WINDOW

KEYNOTES

01.06 LOW WALL



LA RINCONADA FACILITIES

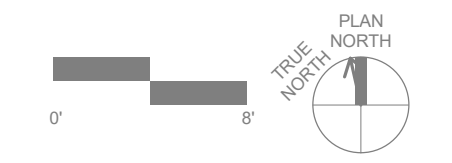
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BUILDING 1 FLOOR PLAN

BUILDING 1 - PROPOSED FLOOR PLAN 1
1/4" = 1'-0"



P 2.1

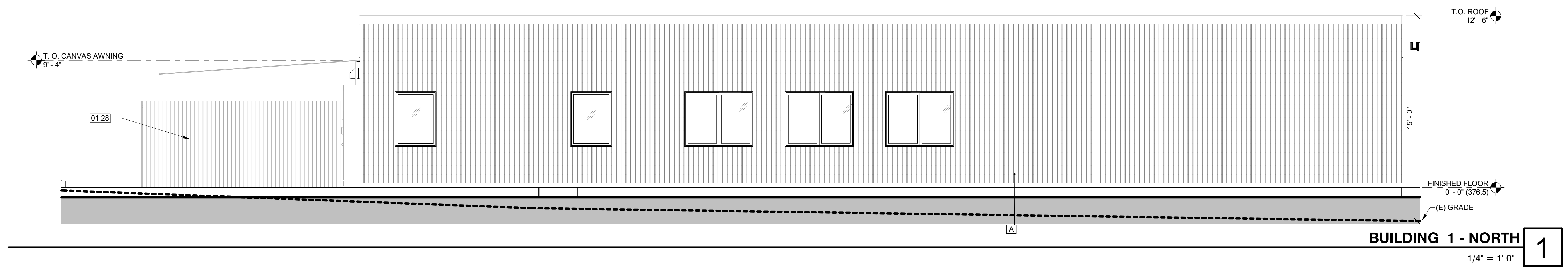
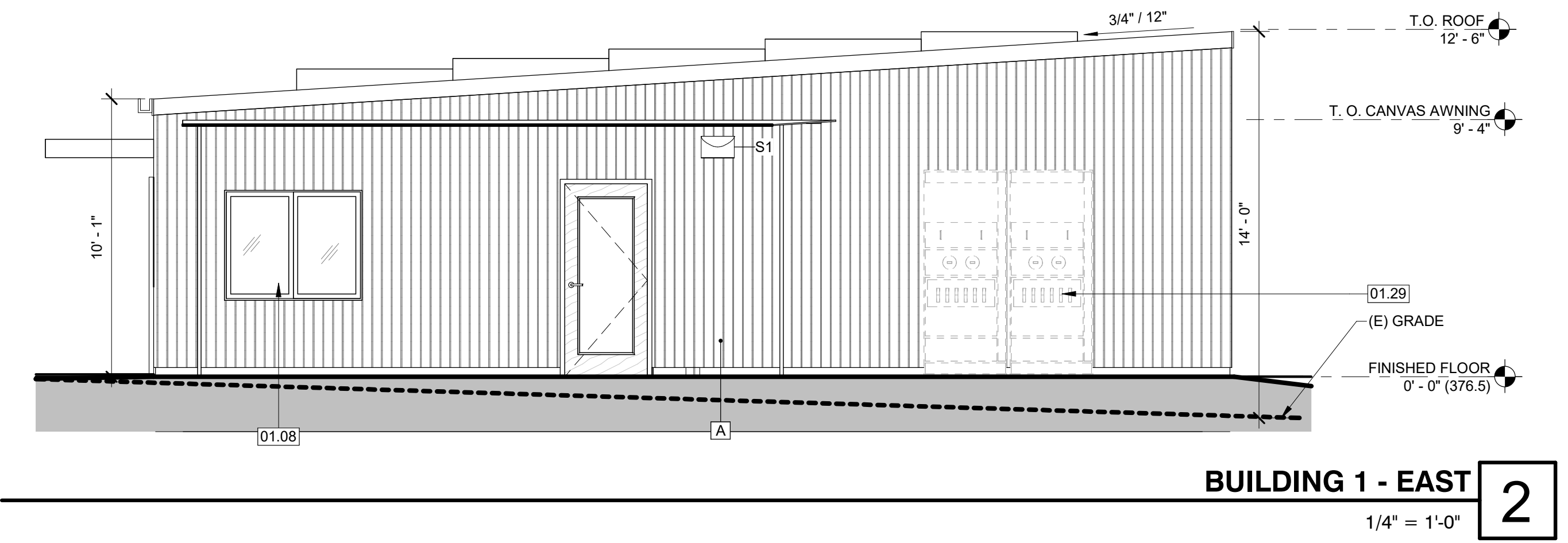
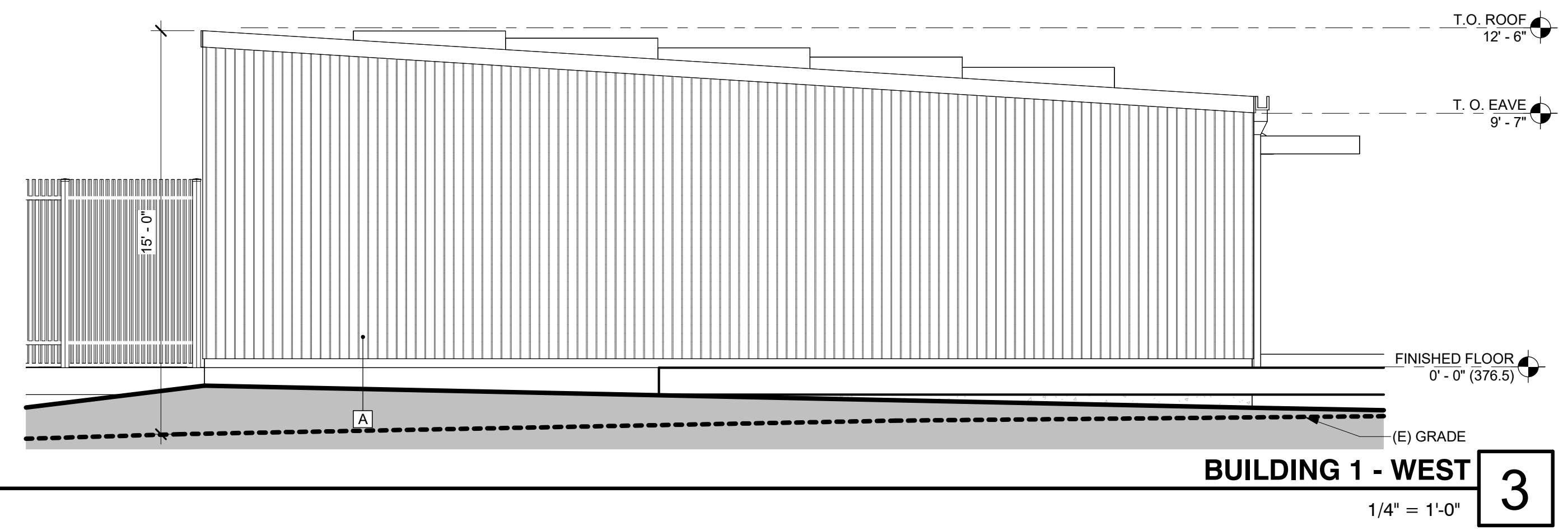
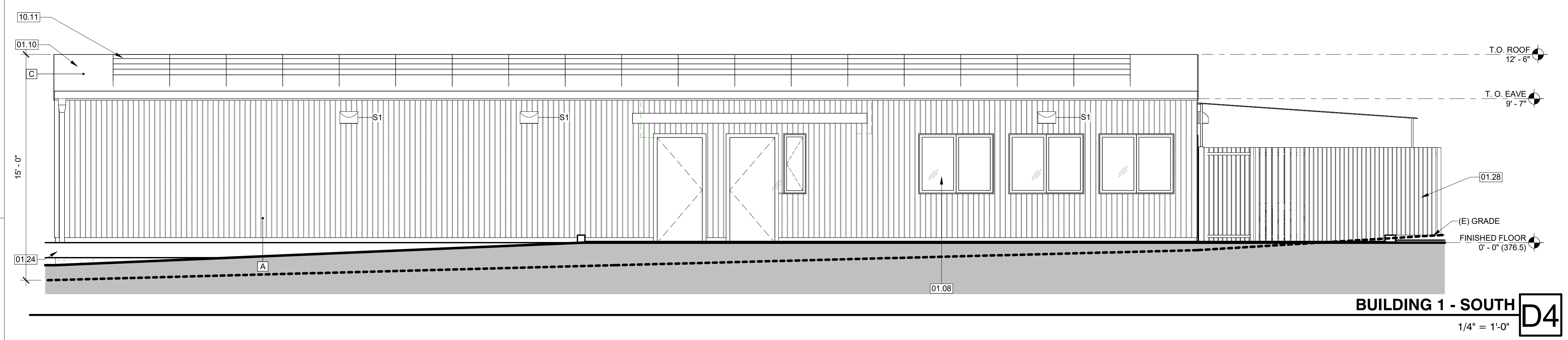
LEGEND

STYLE	COLOR	
		A PBU METAL PANEL WALL COLOR: MBCI DESERT SAND MANUFACTURER: MBCI
		B CMU COLOR: GREY MANUFACTURER: TBD
		C STANDING SEAM METAL ROOF COLOR: MBCI WHITE MANUFACTURER: MBCI, ULTRA DECK

EXTERIOR WALL MOUNTED LIGHT S1

KEYNOTES

01.08	PROPOSED OPERABLE WINDOWS
01.10	(N) STANDING SEAM ROOF
01.24	DOWNSPOUT
01.28	6' REDWOOD FENCE
01.29	SWITCH GEAR PRIMED AND PAINTED TO MATCH ADJACENT BUILDING
10.11	PROPOSED SOLAR PANELS

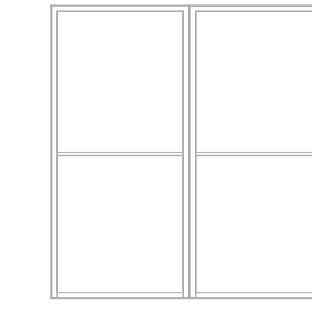


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BUILDING 1 ELEVATIONS

LEGEND



SOLAR PANEL

KEYNOTES

01.09	CANVAS AWNING FOR OUTDOOR SEATING
01.21	(N) STANDING SEAM ROOF



307 Orchard City Dr., Ste 350
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Buckeye, AZ 85396
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A CALIFORNIA CORPORATION

LA RINCONADA FACILITIES

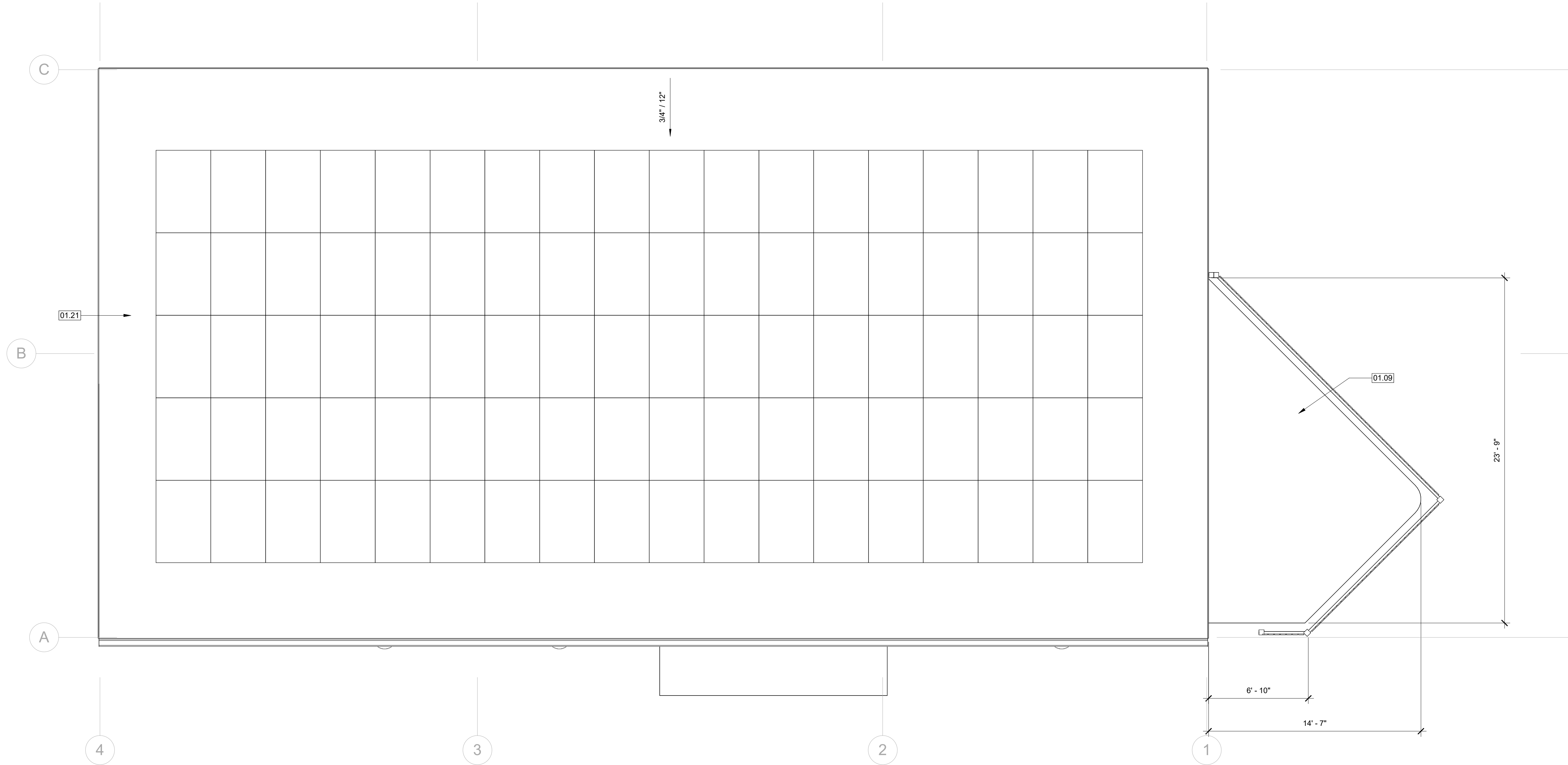
17445 ZENA AVE.
LOS GATOS, CA 95030
Client: LA RINCONADA

Rev. #	Description	Date
1	ISSUED FOR PLANNING	10/01/25
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3	ISSUED FOR RESUBMITTAL - S4	03/05/2026
4	ISSUED FOR RESUBMITTAL - S5	03/19/2026

Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: AE / RP
Checked by: JB / JE

Sheet Title:
**BUILDING 1 -
ROOF PLAN**

P 2.3



BUILDING 1 - PROPOSED ROOF PLAN 1
1/4" = 1'-0"



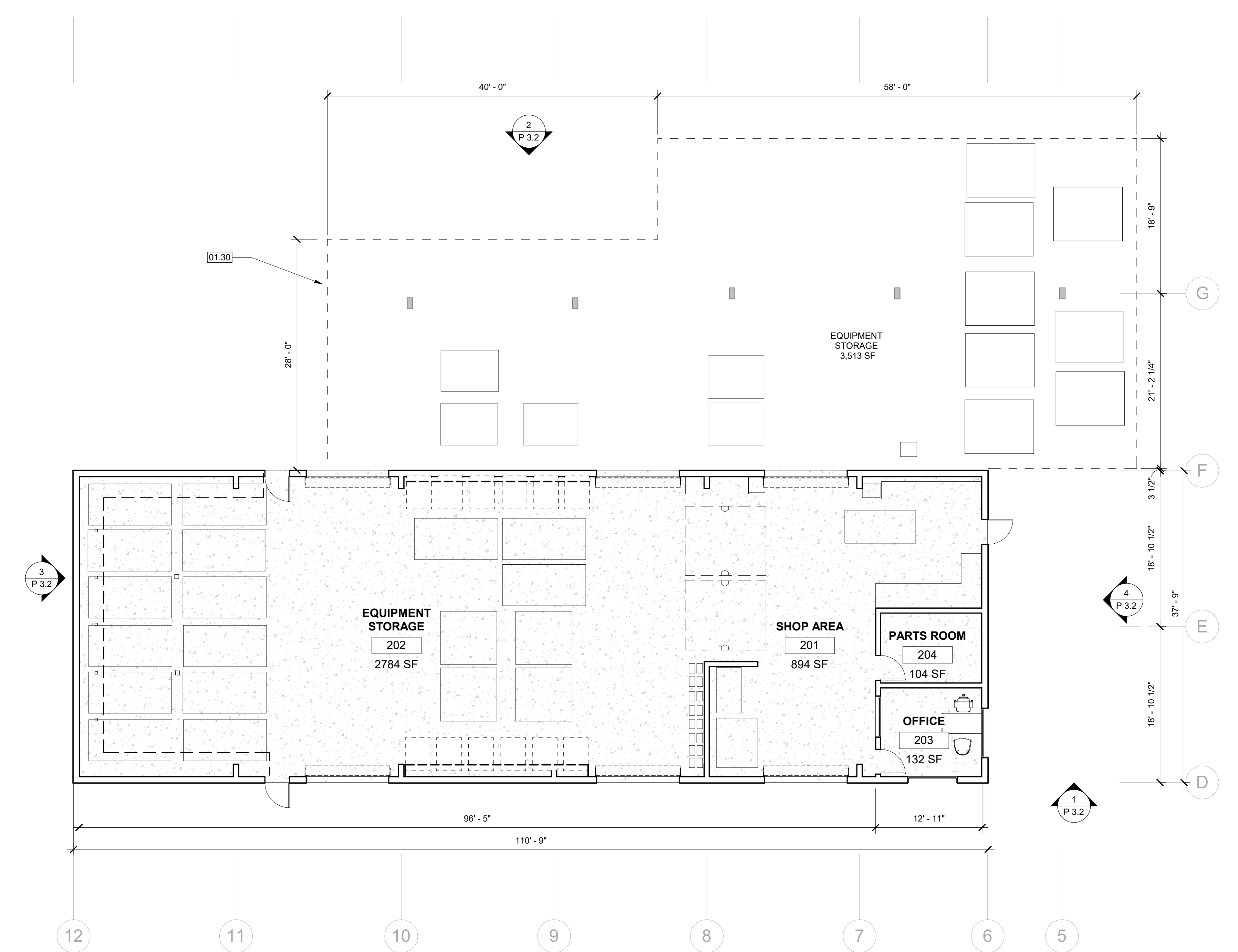
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LEGEND

- EXISTING WALL
- NEW WALL . REFER TO WALL LEGEND TYPE
- EXISTING DOOR
- PROPOSED DOOR
- PROPOSED WINDOW

KEYNOTES

01.30 LINE OF ROOF ABOVE



LA RINCONADA FACILITIES

17445 ZENA AVE.
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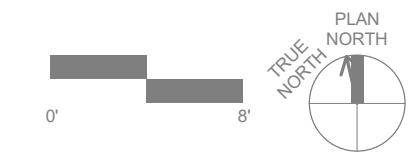
Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: RP
Checked by: JB / JE

Sheet Title:
BUILDING 2 FLOOR PLAN

BUILDING 2 - PROPOSED FLOOR PLAN

1

1/8" = 1'-0"



P 3.1

LEGEND

STYLE	COLOR	
		A PBU METAL PANEL WALL COLOR: MBCI DESERT SAND MANUFACTURER: MBCI
		B CMU COLOR: GREY MANUFACTURER: TBD
		C STANDING SEAM METAL ROOF COLOR: MBCI WHITE MANUFACTURER: MBCI, ULTRA DECK
		EXTERIOR WALL MOUNTED LIGHT S1

KEYNOTES

01.07	PROPOSED ROLL-UP DOORS
01.21	(N) STANDING SEAM ROOF
01.23	PROPOSED METAL DOOR AND FRAME, TYP.
10.11	PROPOSED SOLAR PANELS



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LA RINCONADA FACILITIES

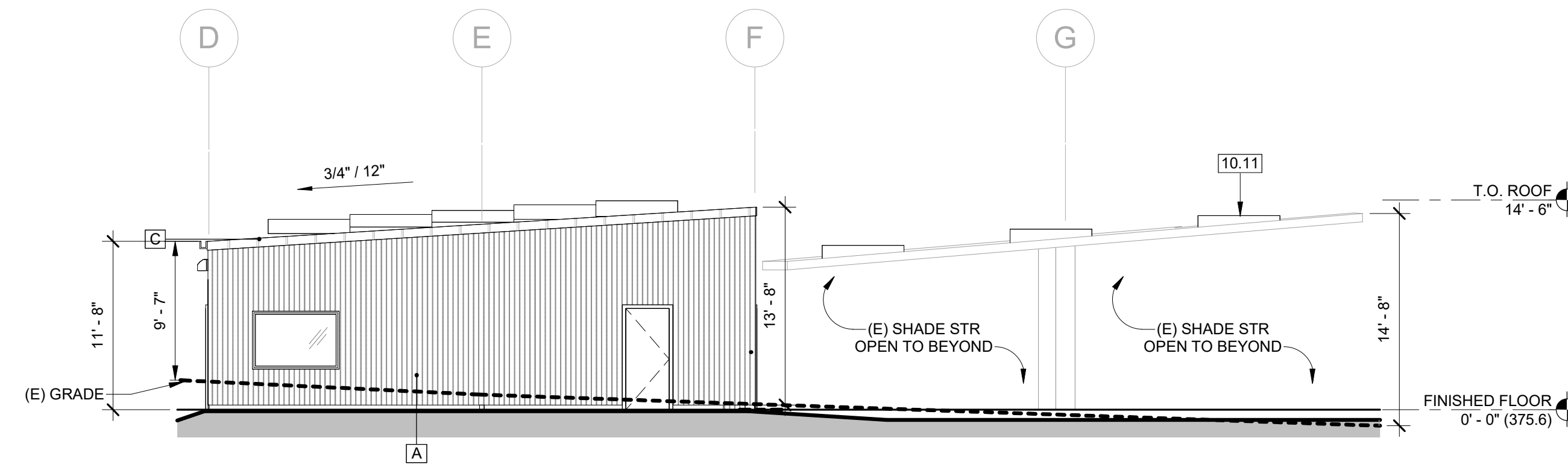
17445 ZENA AVE.
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Client: LA RINCONADA

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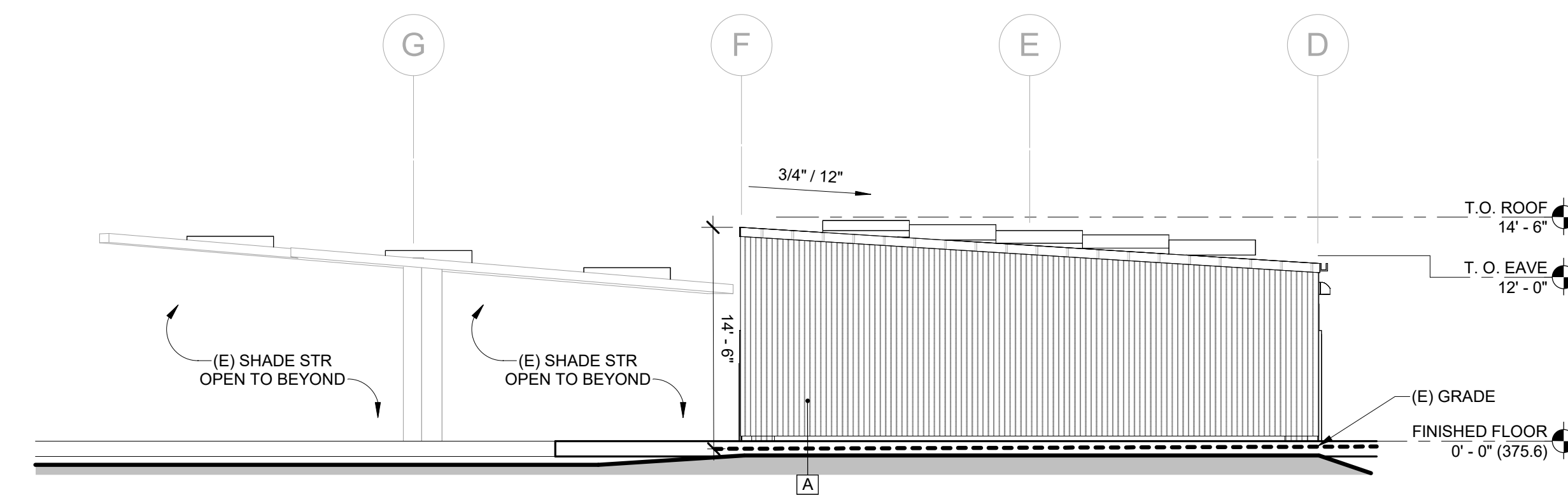
Sheet Title:
**BUILDING 2 -
EXTERIOR
ELEVATIONS**

P 3.2



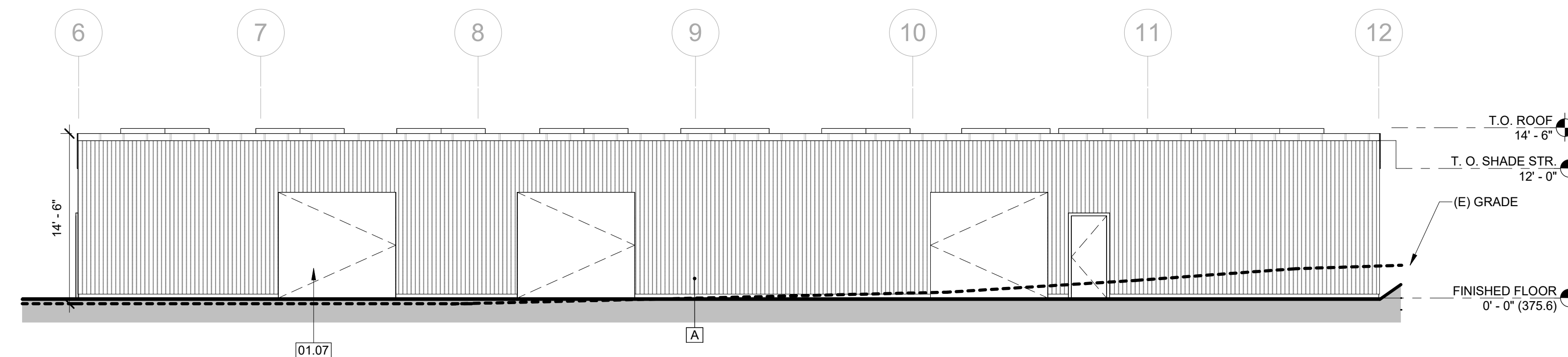
BUILDING 2 & SHADE STR. - EAST

1/8" = 1'-0" **4**



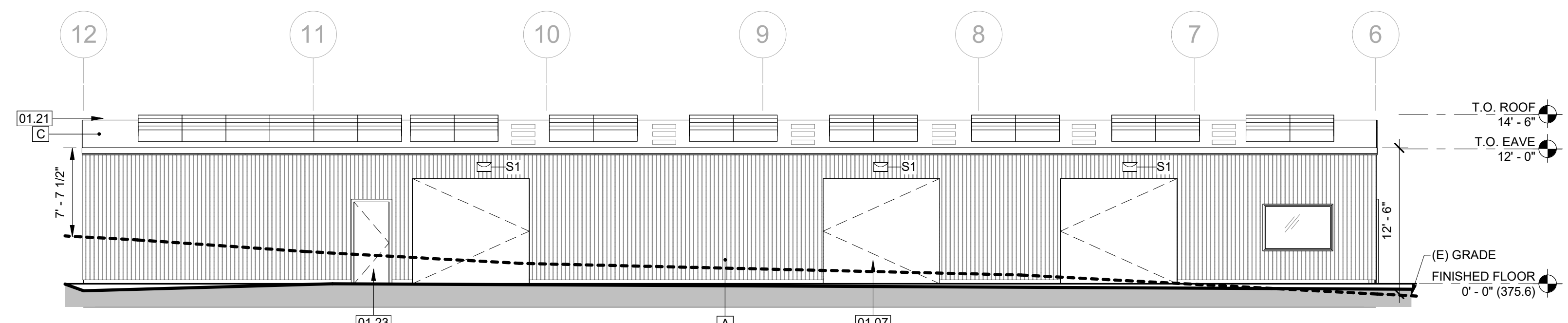
BUILDING 2 & SHADE STR. - WEST

1/8" = 1'-0" **3**



SHADE STRUCTURE - NORTH

1/8" = 1'-0" **2**



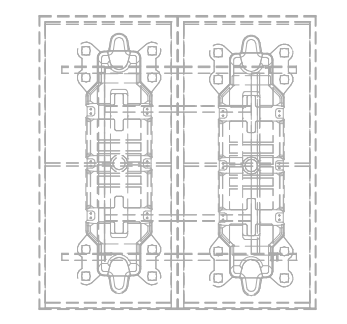
BUILDING 2 - SOUTH

1/8" = 1'-0" **1**

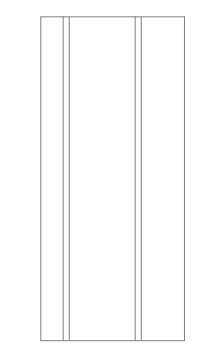


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LEGEND



SOLAR PANEL



PROPOSED CLEAR PANELS (SKYLIGHTS)

PLAN NOTES

- REFER TO GENERAL INFORMATION AND CONSTRUCTION NOTES SHEETS FOR ADD'L NOTES, LEGENDS, SYMBOLS, ABBREVIATIONS, & SCHED.
- EXISTING SHELL & CORE CONSTRUCTION SHOWN w/ POCHÉ & OR SCREENED.
- REFER TO MEP ROOF TOP EQUIPMENT LAYOUT, DIMENSIONS, ETC.

KEYNOTES

01.21	(N) STANDING SEAM ROOF
01.22	(N) SKYLIGHTS INTEGRATED WITHIN ROOF PANEL
10.11	PROPOSED SOLAR PANELS

LA RINCONADA FACILITIES

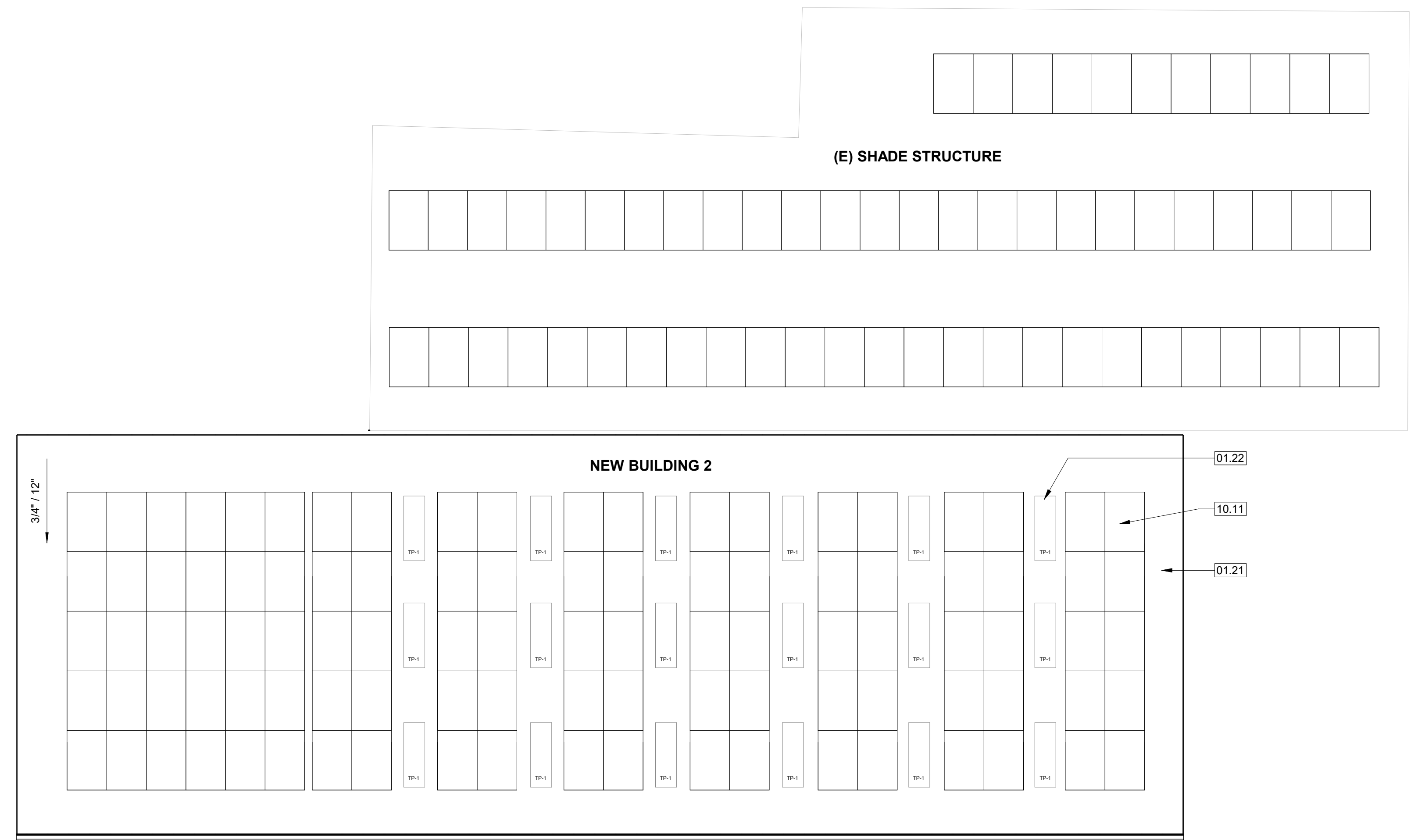
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Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: RP
Checked by: JB / JE

Sheet Title:
BUILDING 2 & SHADE STRUCTURE - ROOF PLAN

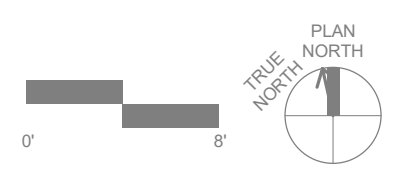
P 3.4

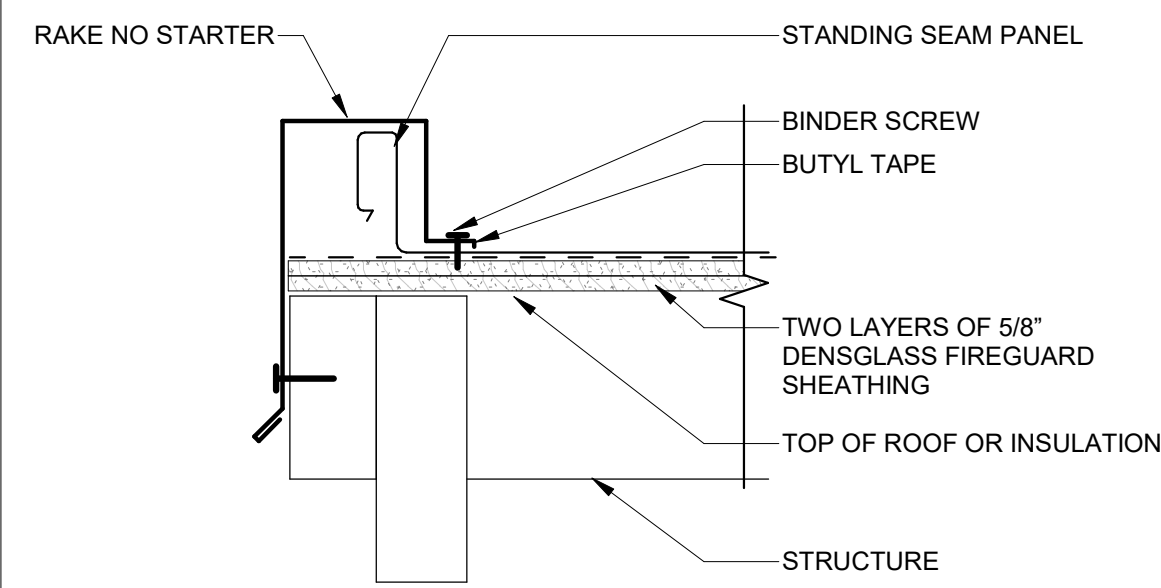


PROPOSED ROOF PLAN - BUILDING 2 & SHADE STRUCTURE

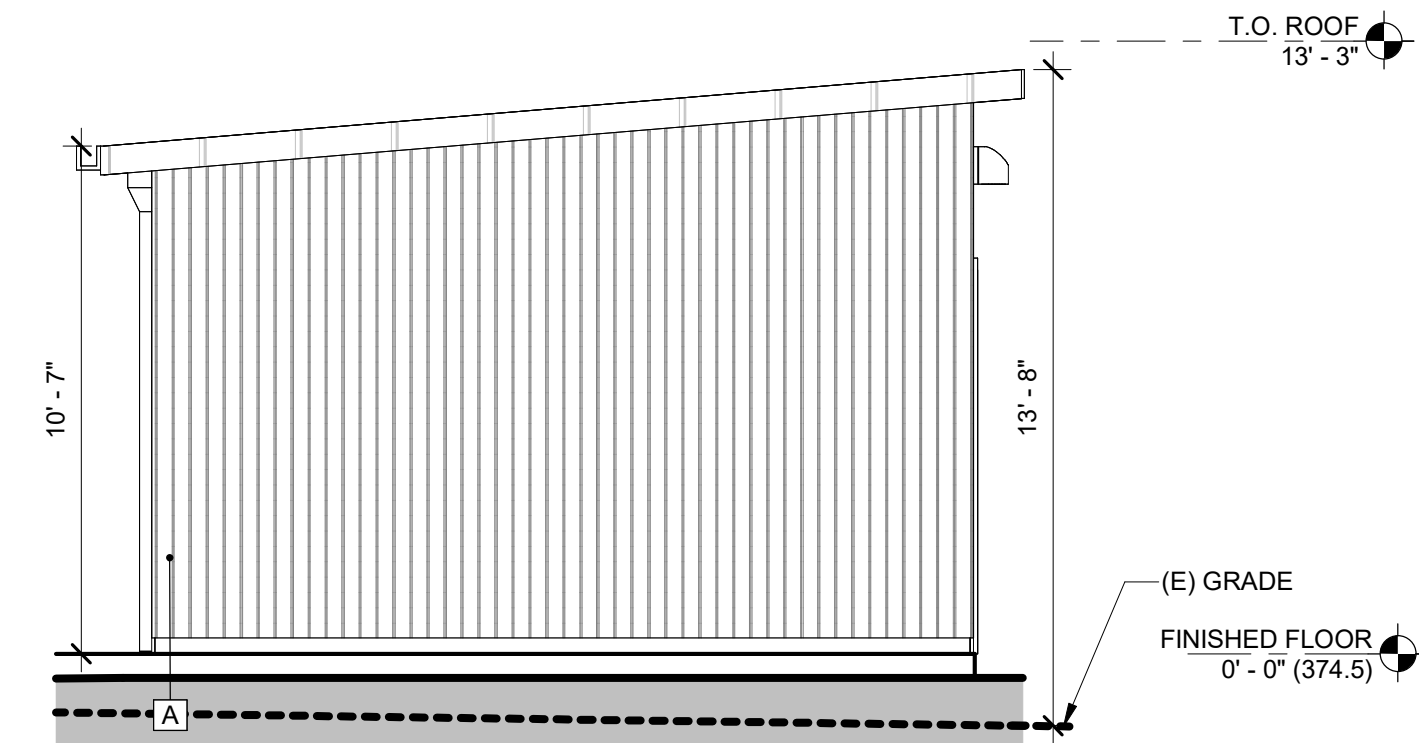
1/8" = 1'-0"

1

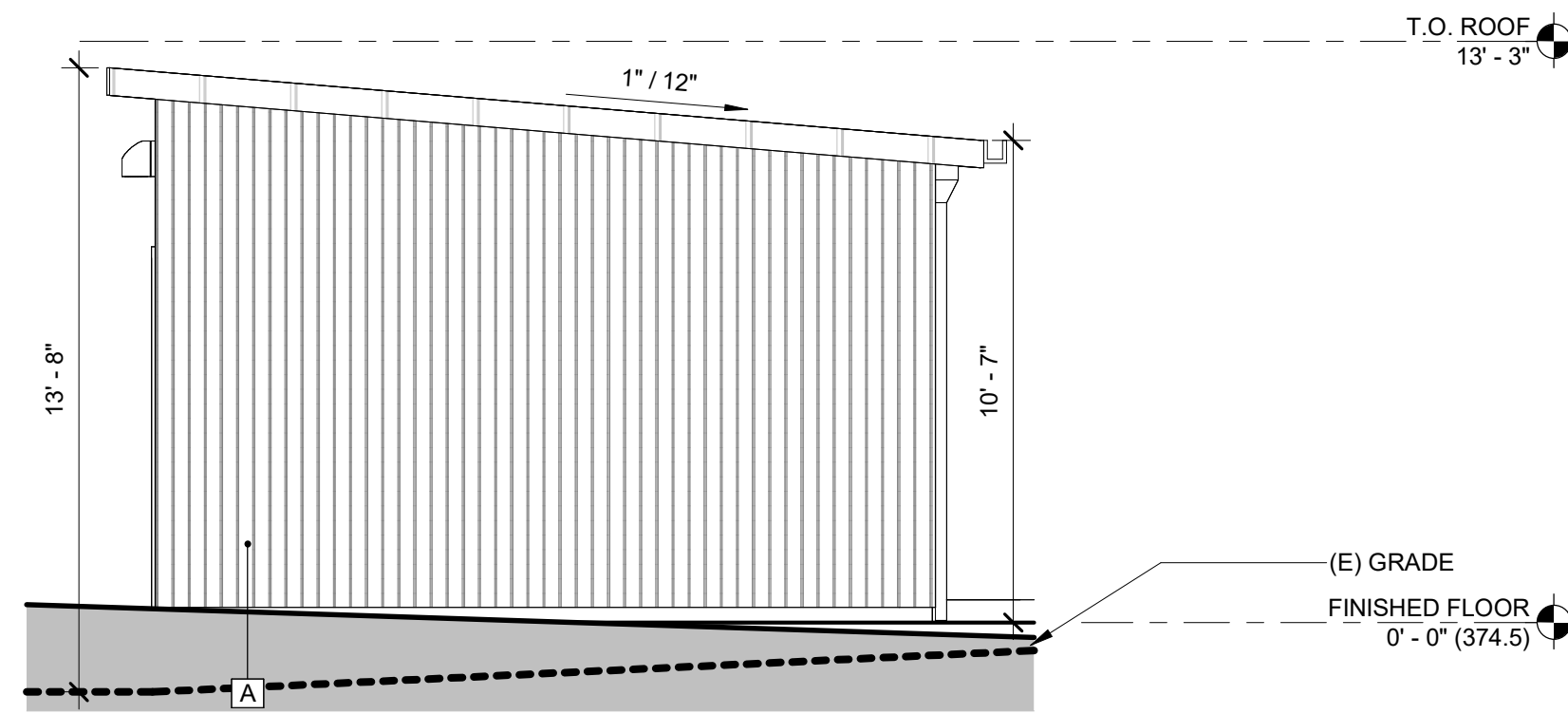




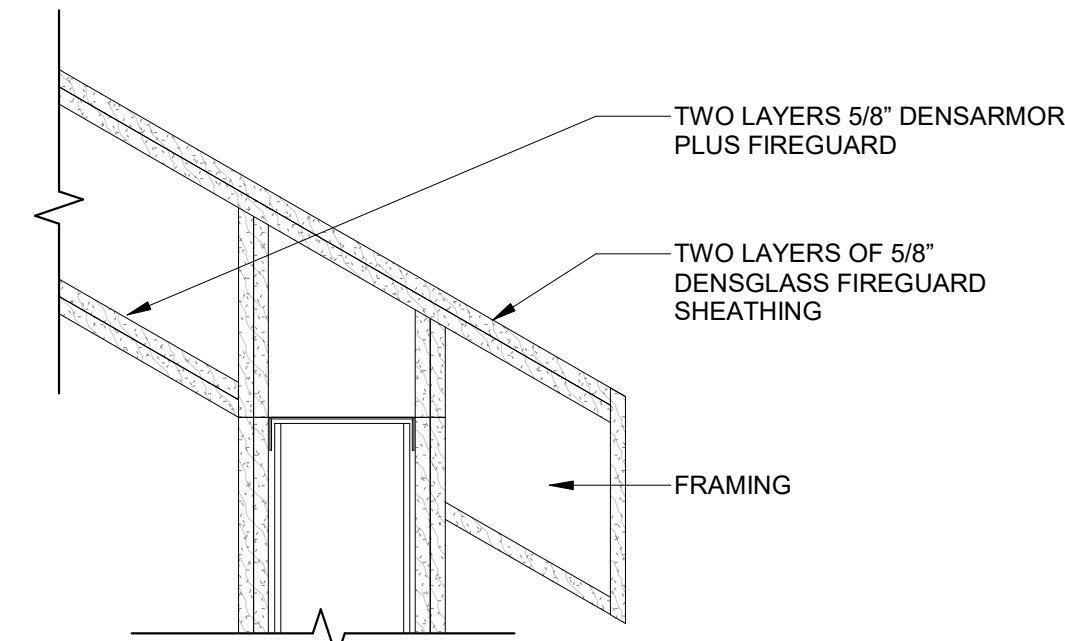
ROOF/RAKE 8
1 1/2" = 1'-0"



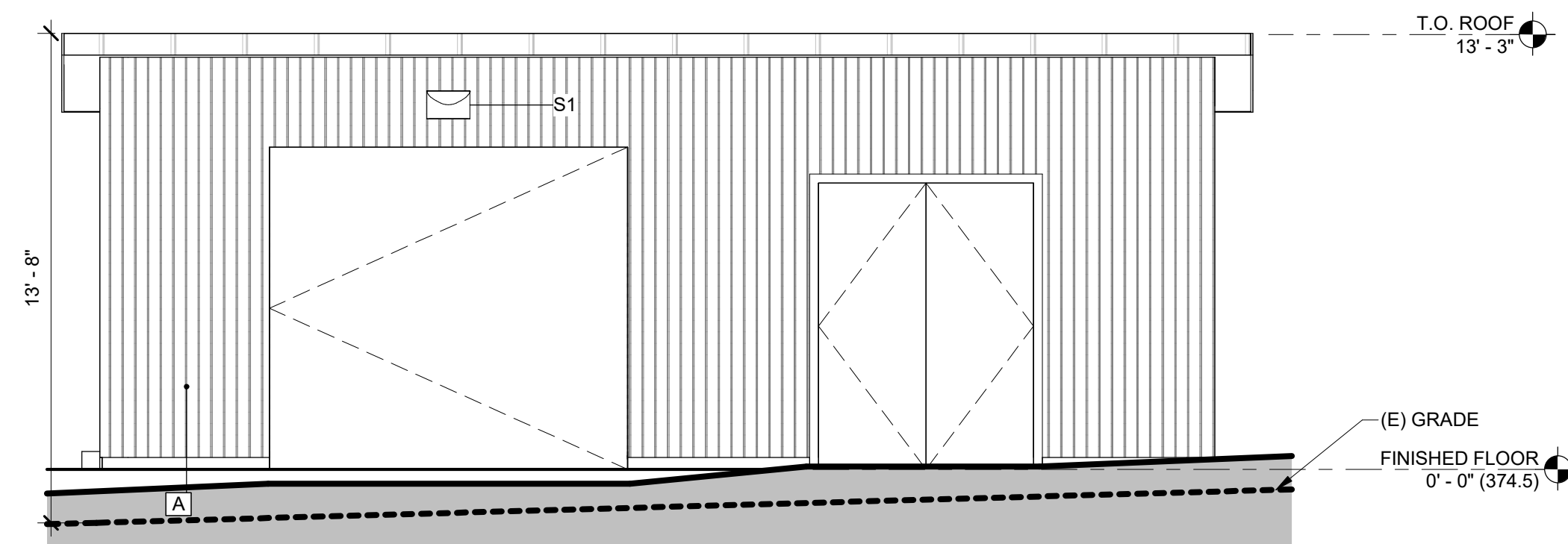
BLDG 3 - CHEM STORAGE - NORTH 6
1/4" = 1'-0"



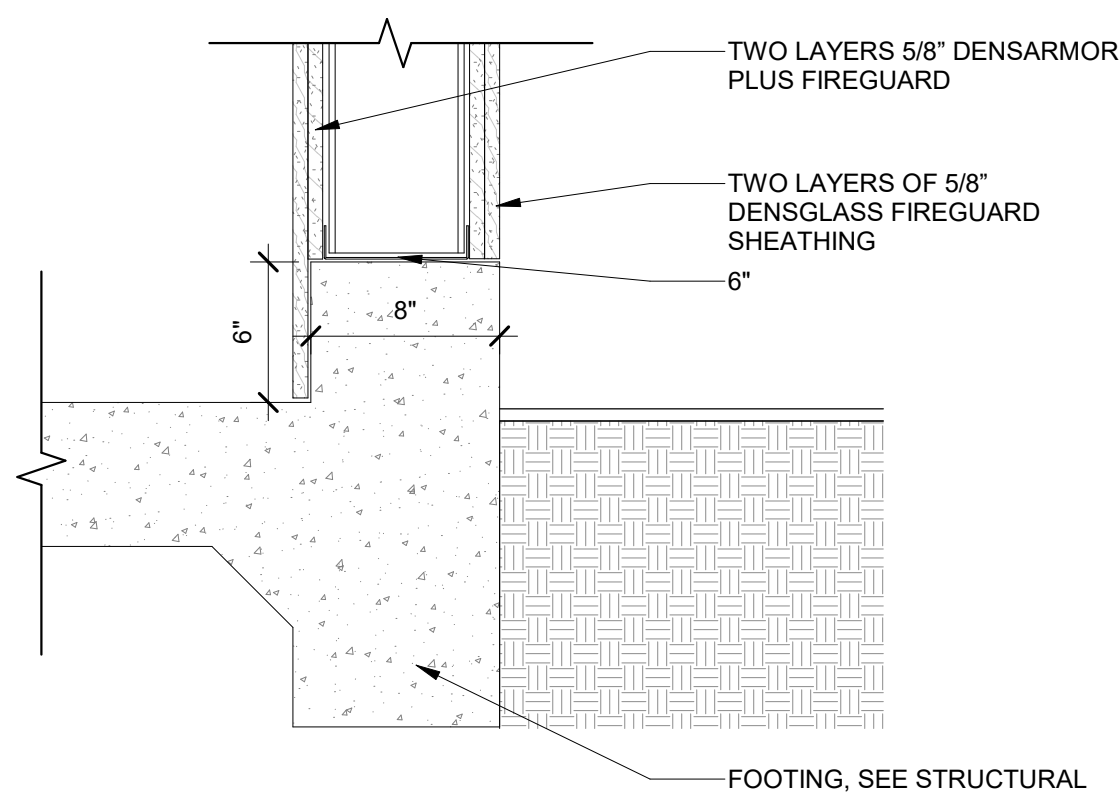
BLDG 3 - CHEM STORAGE - SOUTH 5
1/4" = 1'-0"



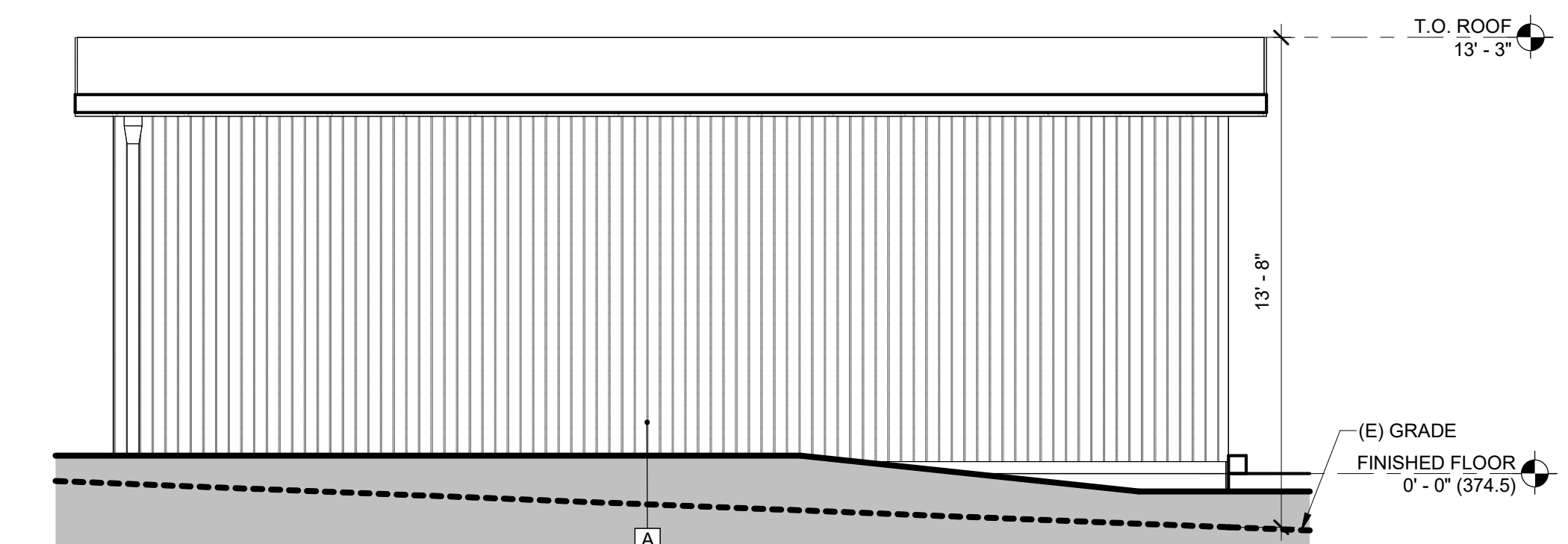
EAVE CONDITION 9
1 1/2" = 1'-0"



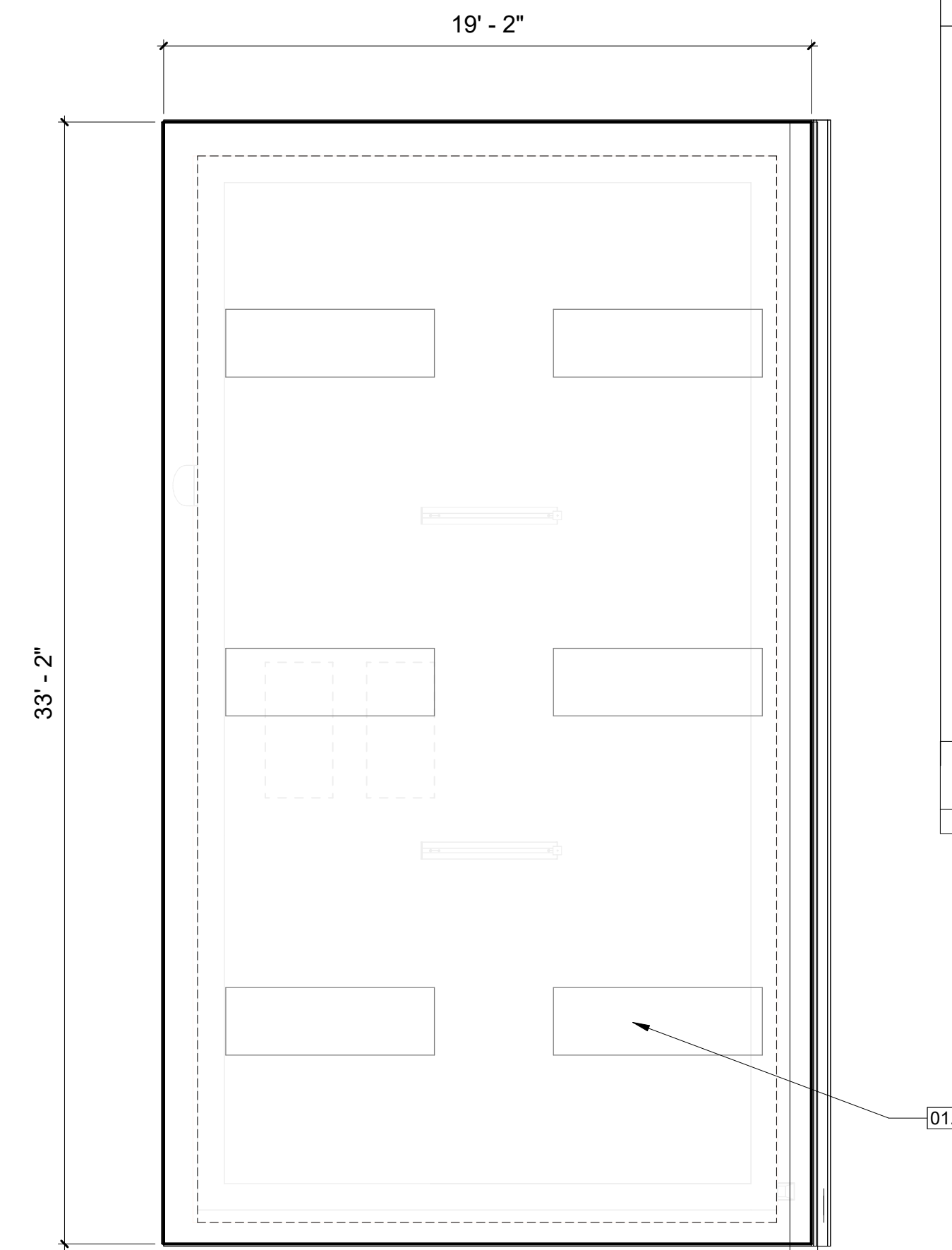
CHEM STORAGE-WEST 4
1/4" = 1'-0"



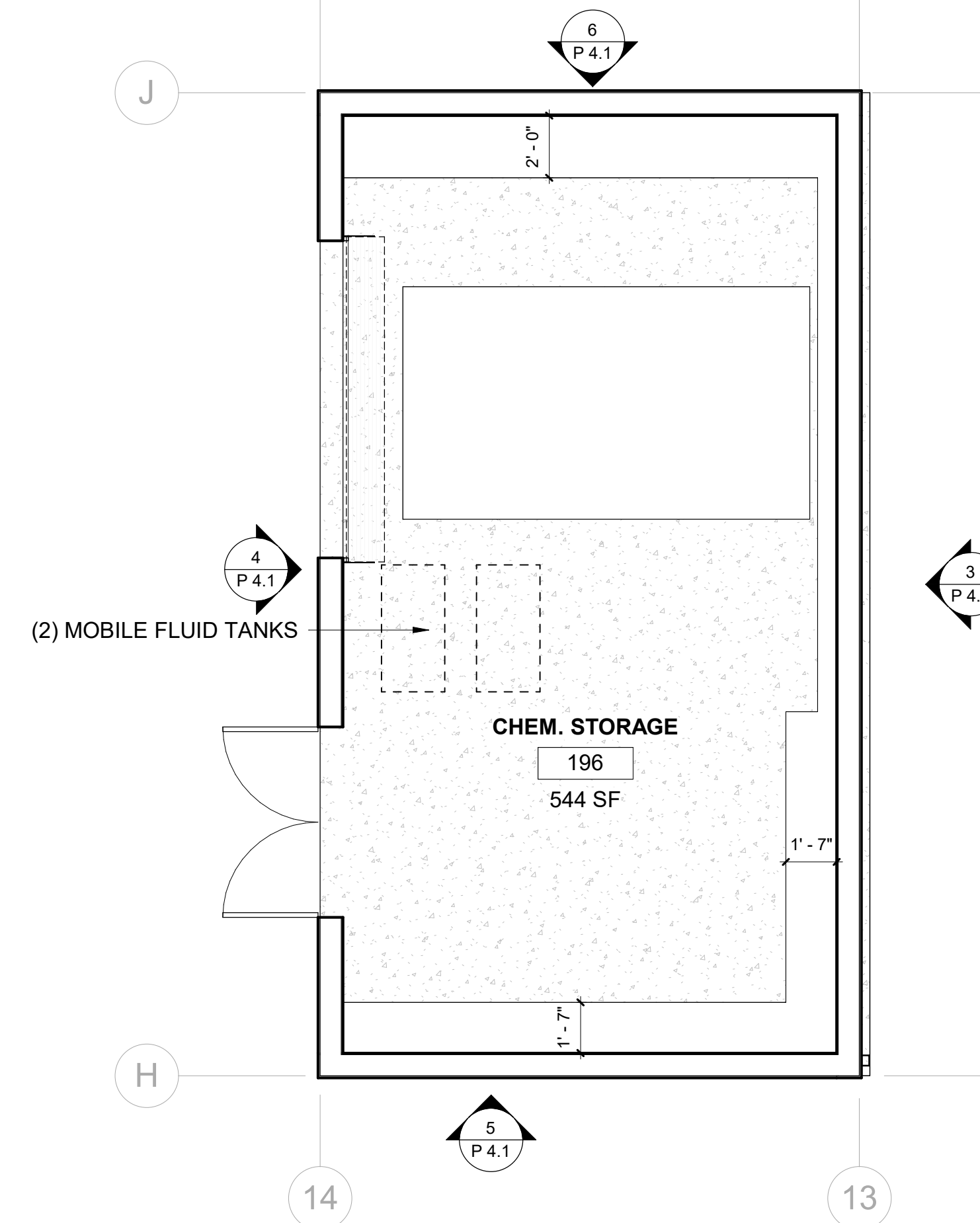
WALL DETAIL AT CURB 7
1 1/2" = 1'-0"



BLDG 3 - CHEM STORAGE - EAST 3
1/4" = 1'-0"



PROPOSED ROOF PLAN 2
1/4" = 1'-0"



BUILDING 3 - PROPOSED FLOOR PLAN 1
1/4" = 1'-0"

LEGEND

STYLE	COLOR	DESCRIPTION
		A PBU METAL PANEL WALL COLOR: MBCI DESERT SAND MANUFACTURER: MBCI
		B CMU COLOR: GREY MANUFACTURER: T&B
		C STANDING SEAM METAL ROOF COLOR: MBCI WHITE MANUFACTURER: MBCI, ULTRA DECK

KEYNOTES

01.22 (N) SKYLIGHTS INTEGRATED WITHIN ROOF PANEL

EXTERIOR WALL MOUNTED LIGHT S1

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LA RINCONADA FACILITIES
17445 ZENA AVE.
LOS GATOS, CA 95030
Client: LA RINCONADA

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03	ISSUED FOR PLANNING	10/11/25
04	ISSUED FOR RESUBMITTAL - S2	12/09/25

Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: RP / SS
Checked by: JB / JE

Sheet Title:
BUILDING 3 - CHEM STORAGE ROOF PLAN AND ELEVATIONS

P 4.1

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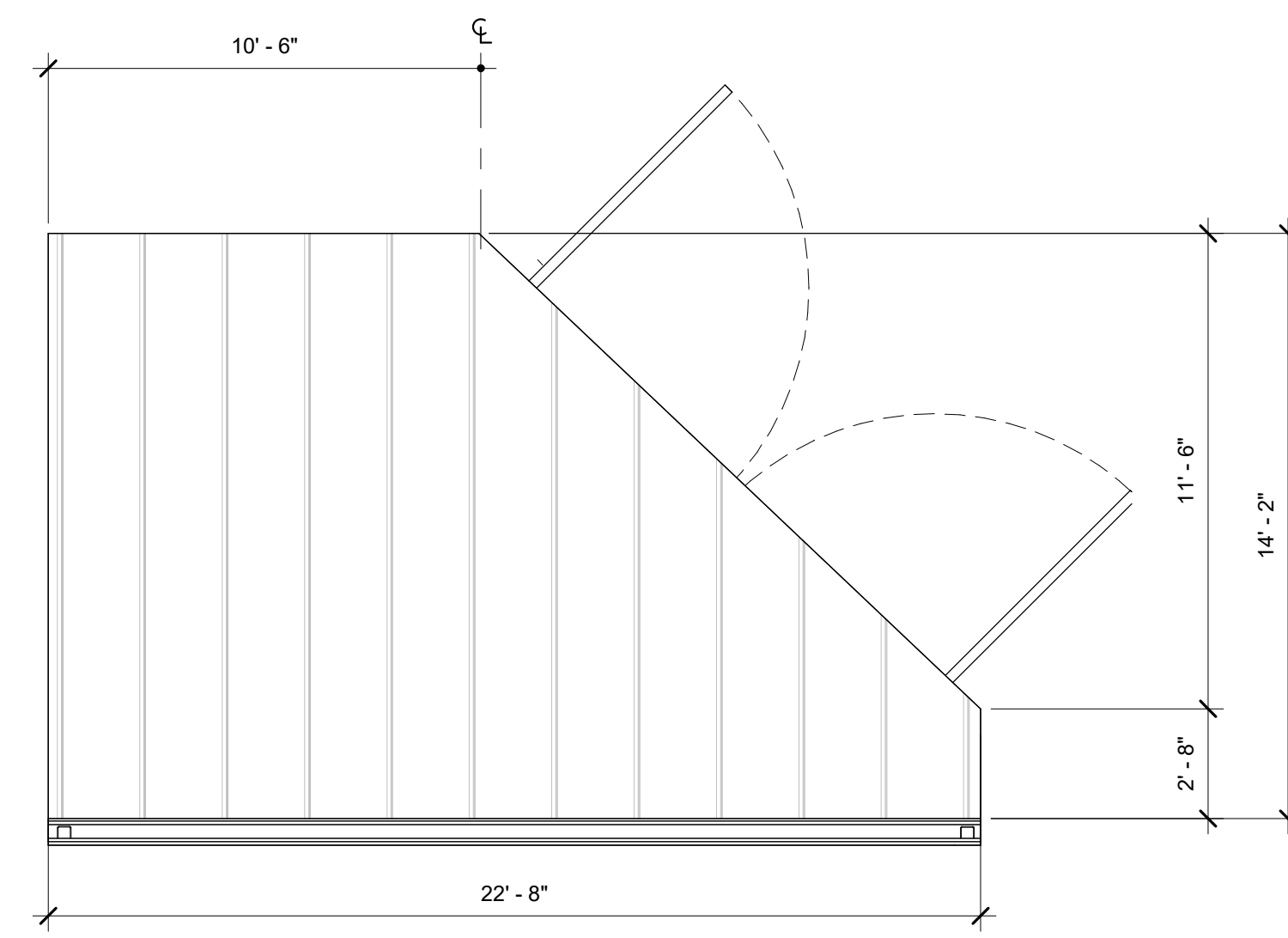
Sheet Title:
ENLARGED FLOOR PLANS - TRASH ENCLOSURE & MATERIAL STORAGE

LEGEND

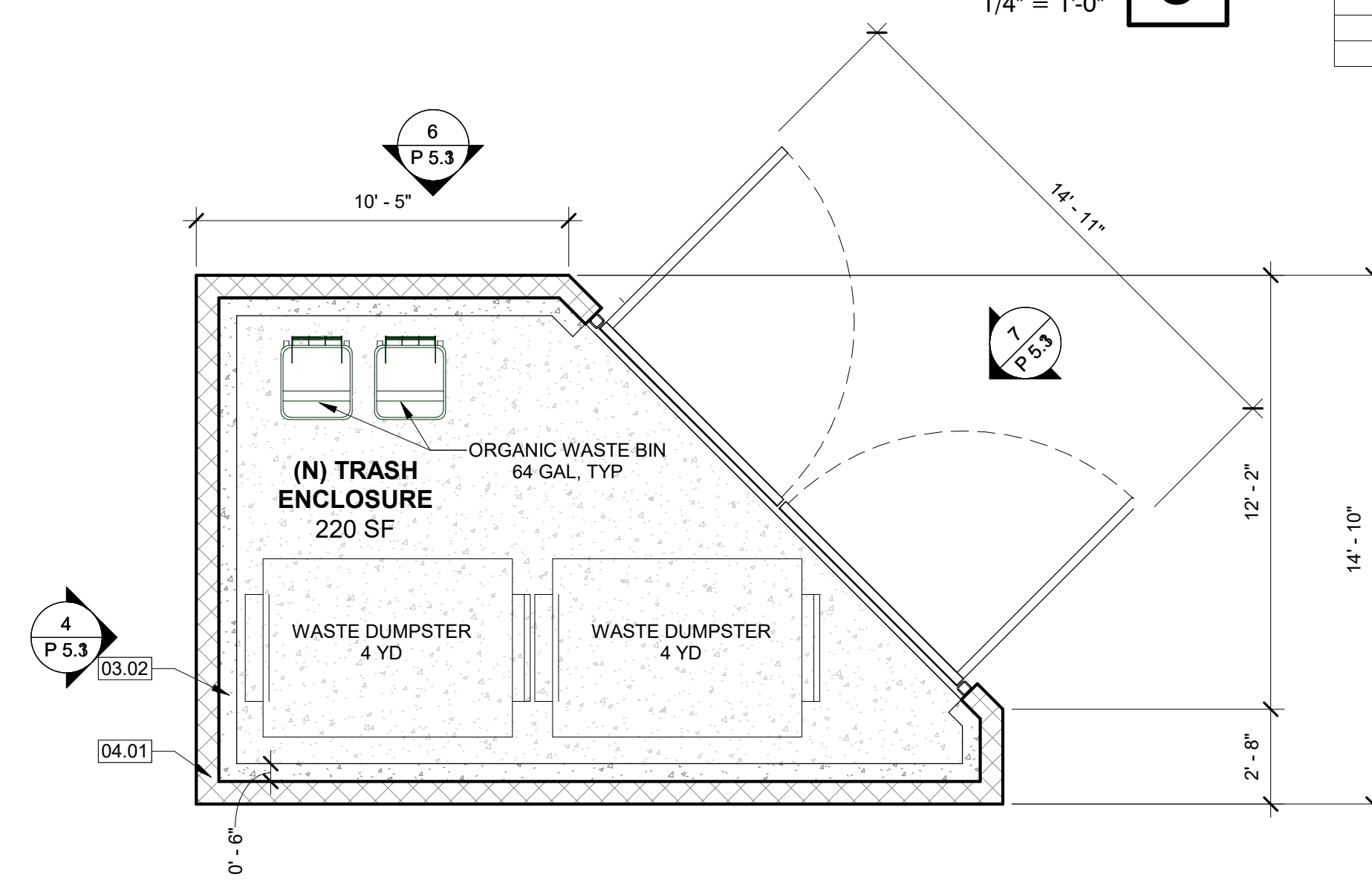
STYLE	COLOR	DESCRIPTION
		A PBU METAL PANEL WALL COLOR: MBCI DESERT SAND MANUFACTURER: MBCI
		B CMU COLOR: GREY MANUFACTURER: TBD
		C STANDING SEAM METAL ROOF COLOR: MBCI WHITE MANUFACTURER: MBCI, ULTRA DECK
		EXTERIOR WALL MOUNTED LIGHT S1
		CMU WALL, 1 HR RATED

KEYNOTES

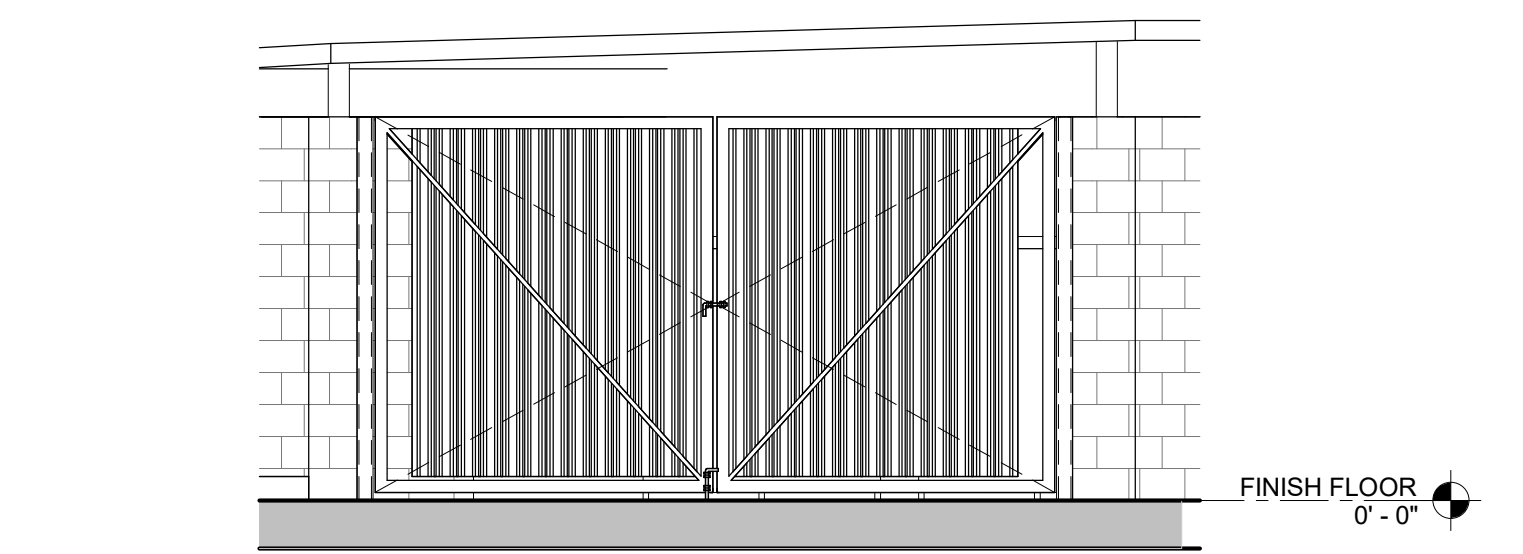
03.01	PROPOSED TRANSFORMER AND PAD.
03.02	6" x 6" CURB
04.01	CMU WALL, 1 HR RATED



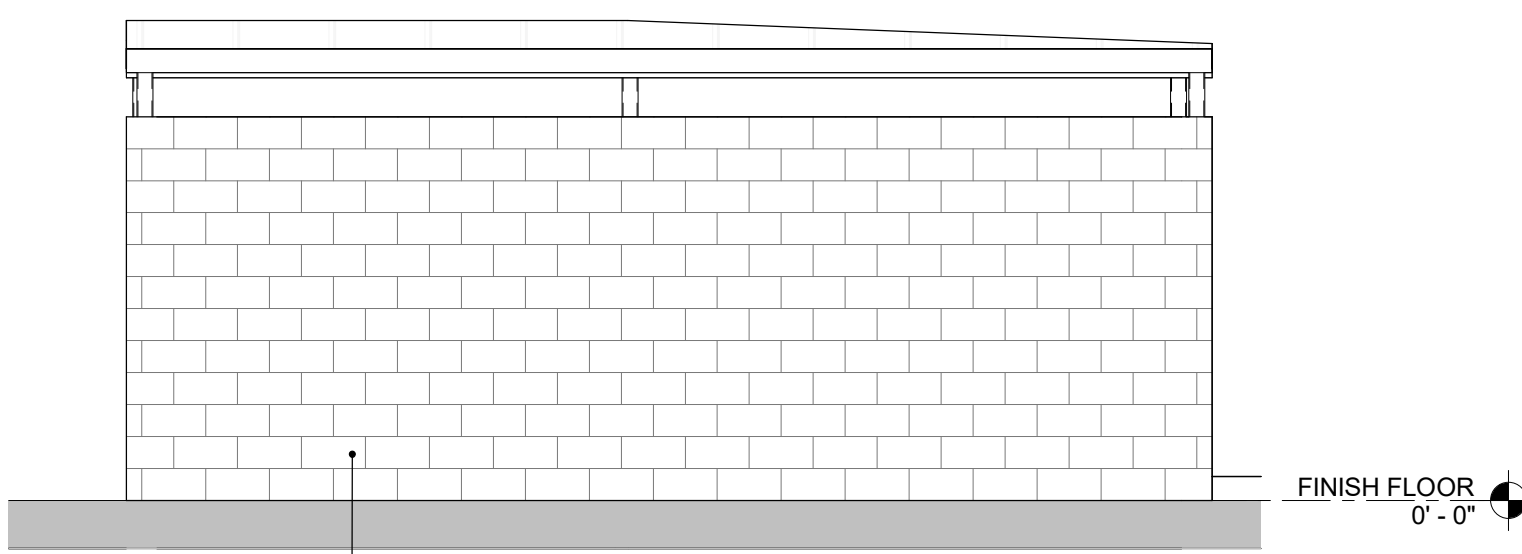
TRASH ENCLOSURE - PROPOSED ROOF PLAN 8



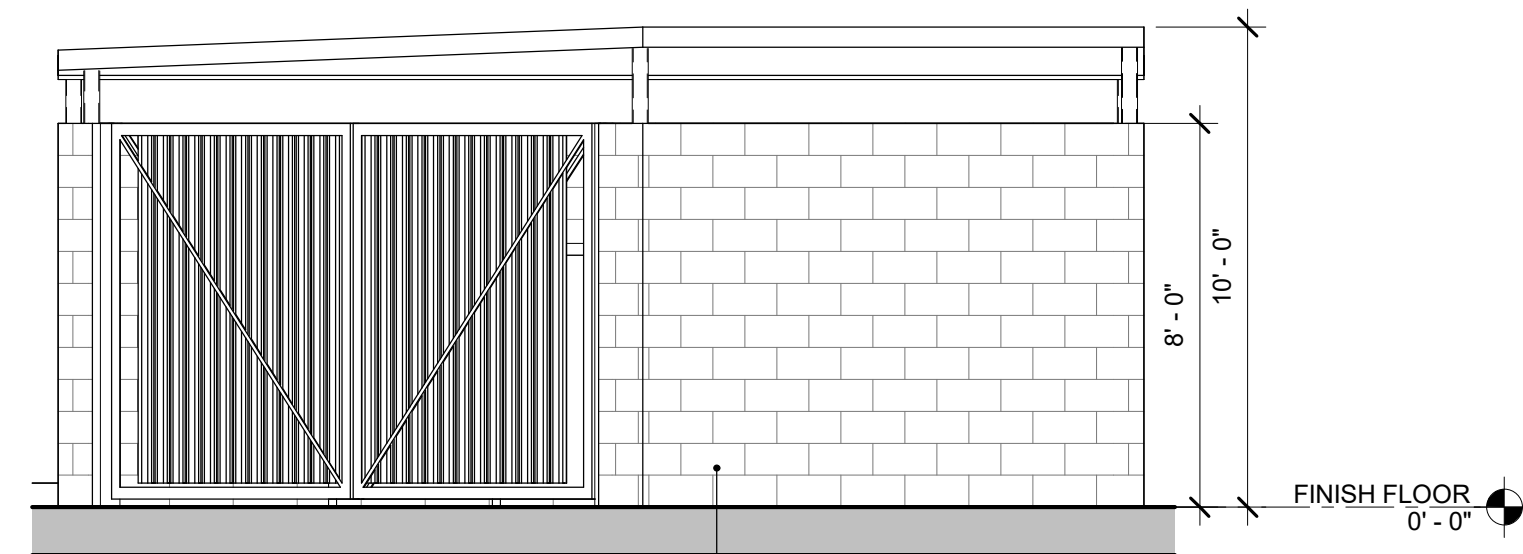
TRASH ENCLOSURE - PROPOSED FLOOR PLAN 2



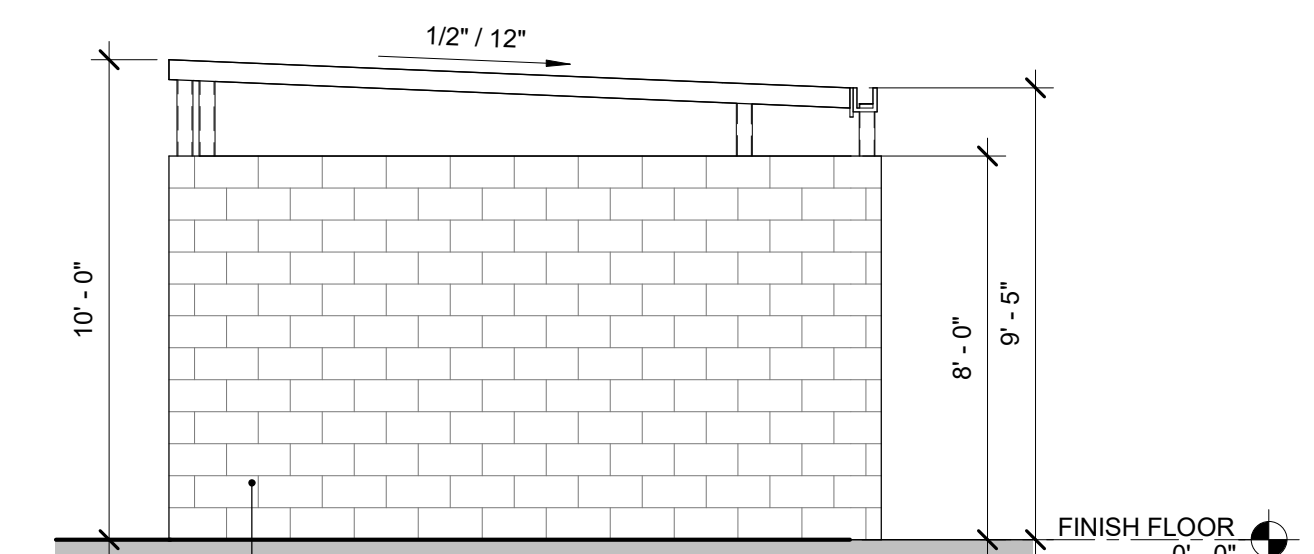
TRASH ENCLOSURE - NORTH EAST 7



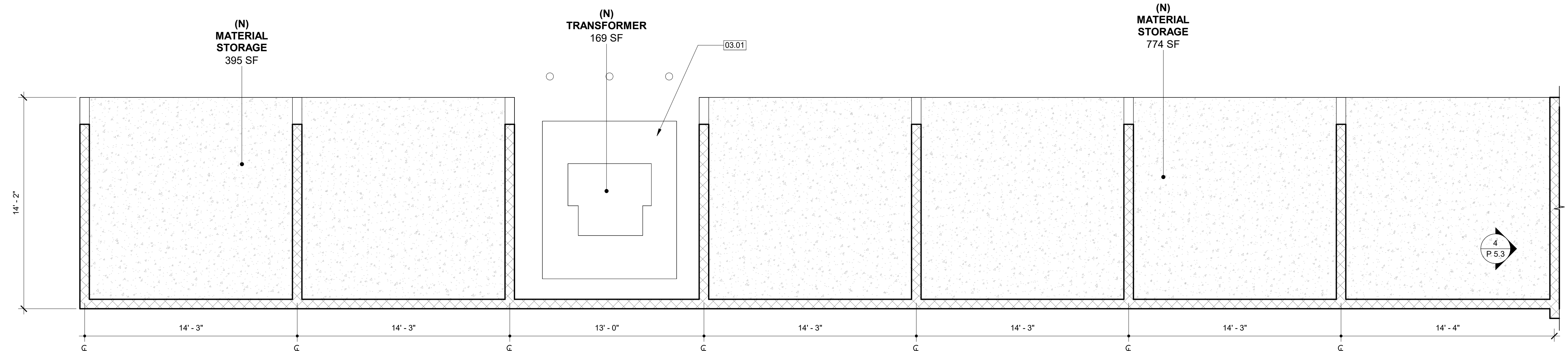
TRASH ENCLOSURE - SOUTH 5



TRASH ENCLOSURE - NORTH 6



TRASH ENCLOSURE - WEST 4



MATERIAL STORAGE - PROPOSED FLOOR PLAN 1

KEYNOTES

01.04	(N) BOLLARDS
01.05	(N) CONCRETE
01.15	MIX TANK
01.16	WASHDOWN CLARIFIER



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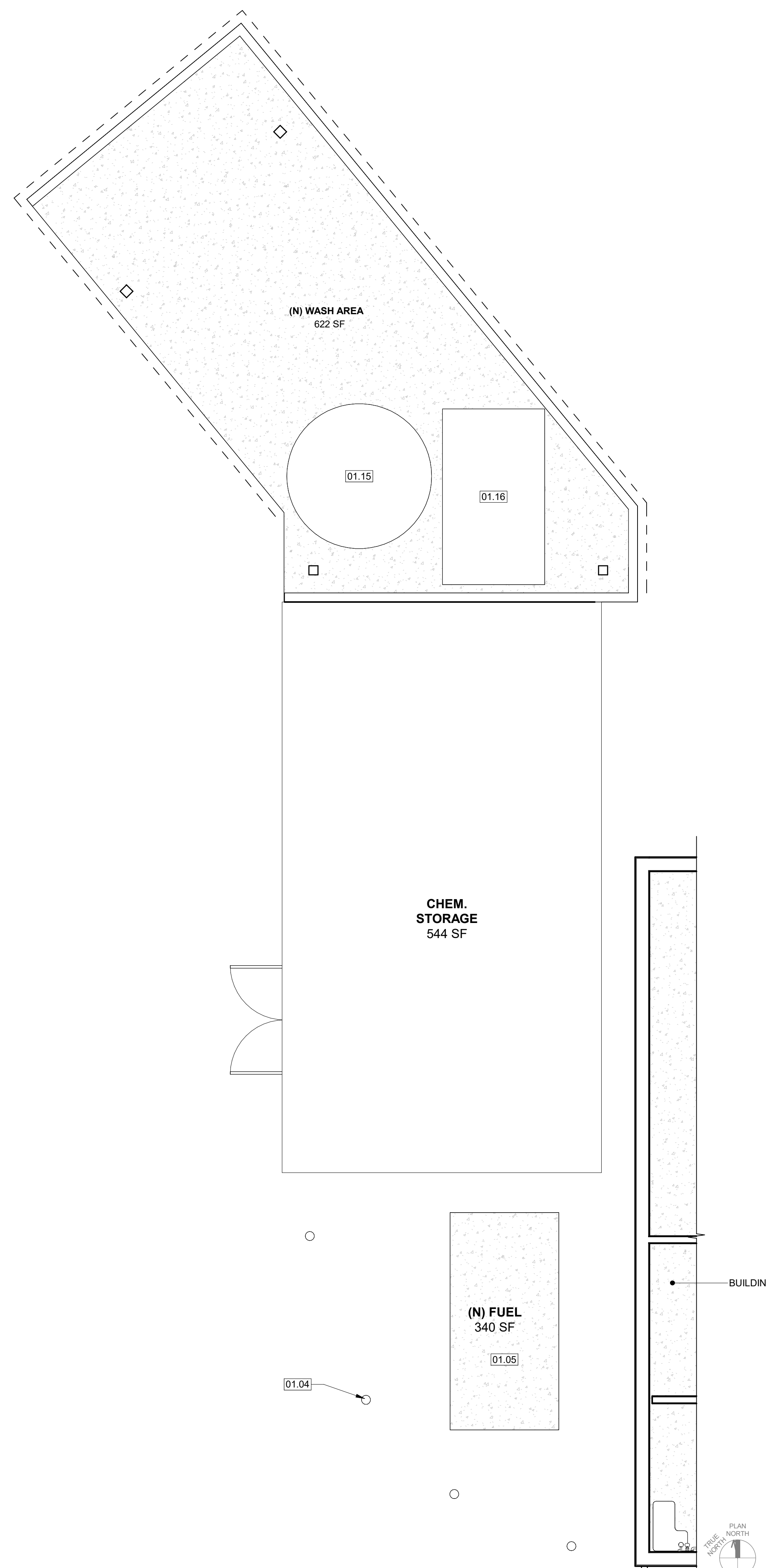
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Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: AE / RP
Checked by: JB / JE

Sheet Title:
ENLARGED FLOOR PLAN - WASH AND FUEL

P 5.2



WASH & FUEL - ENLARGED FLOOR PLAN

1/4" = 1'-0"

1



VIEW 8



VIEW 4



VIEW 2



VIEW 7



VIEW 3



VIEW 1



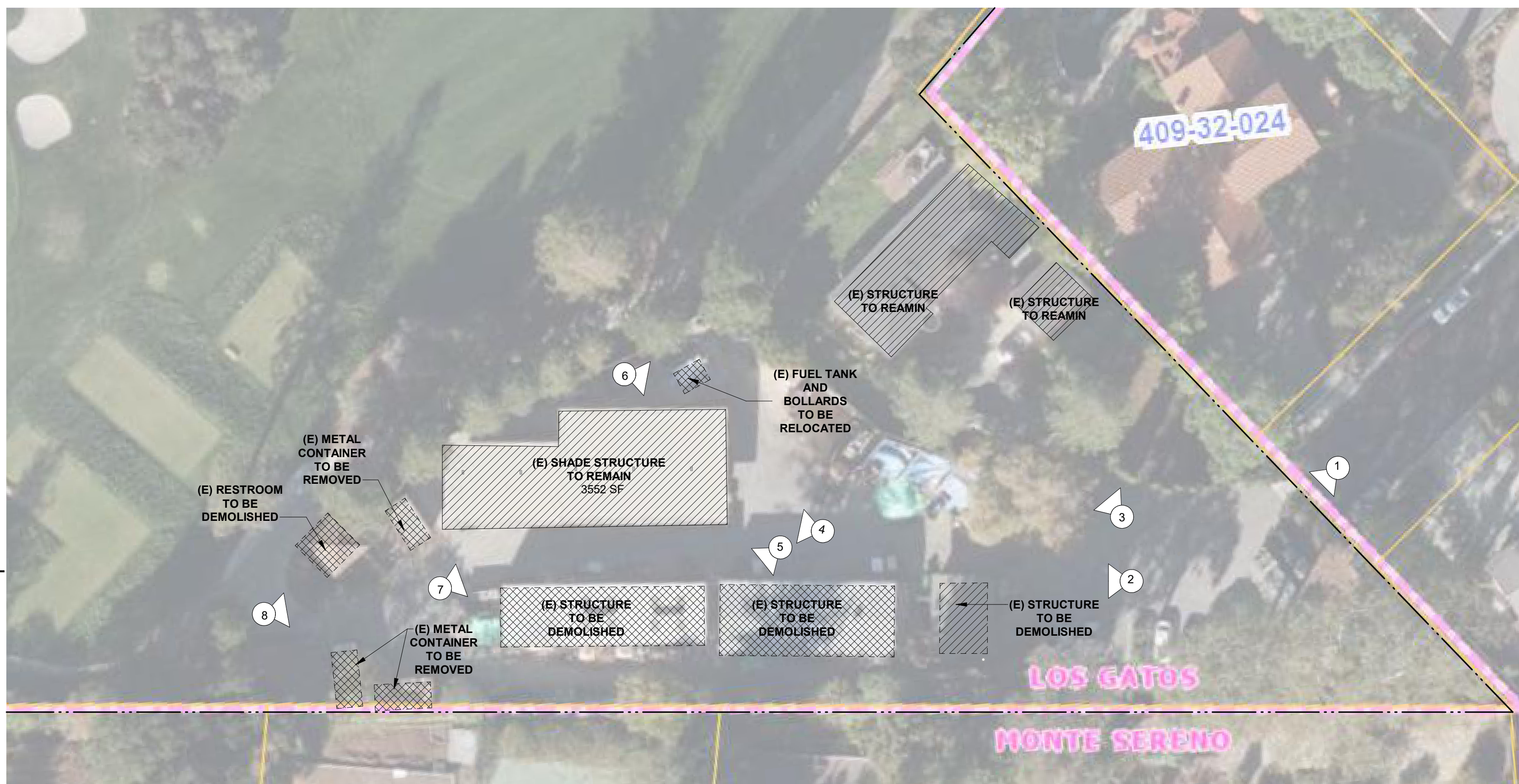
VIEW 6



VIEW 5

APPROX HEIGHT
12' - 0"

APPROX HEIGHT
14' - 0"



EXISTING AERIAL VIEW

1

1" = 30'-0"



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03	ISSUED FOR PLANNING	10/11/25
04	ISSUED FOR RESUBMITTAL - SS	12/09/25

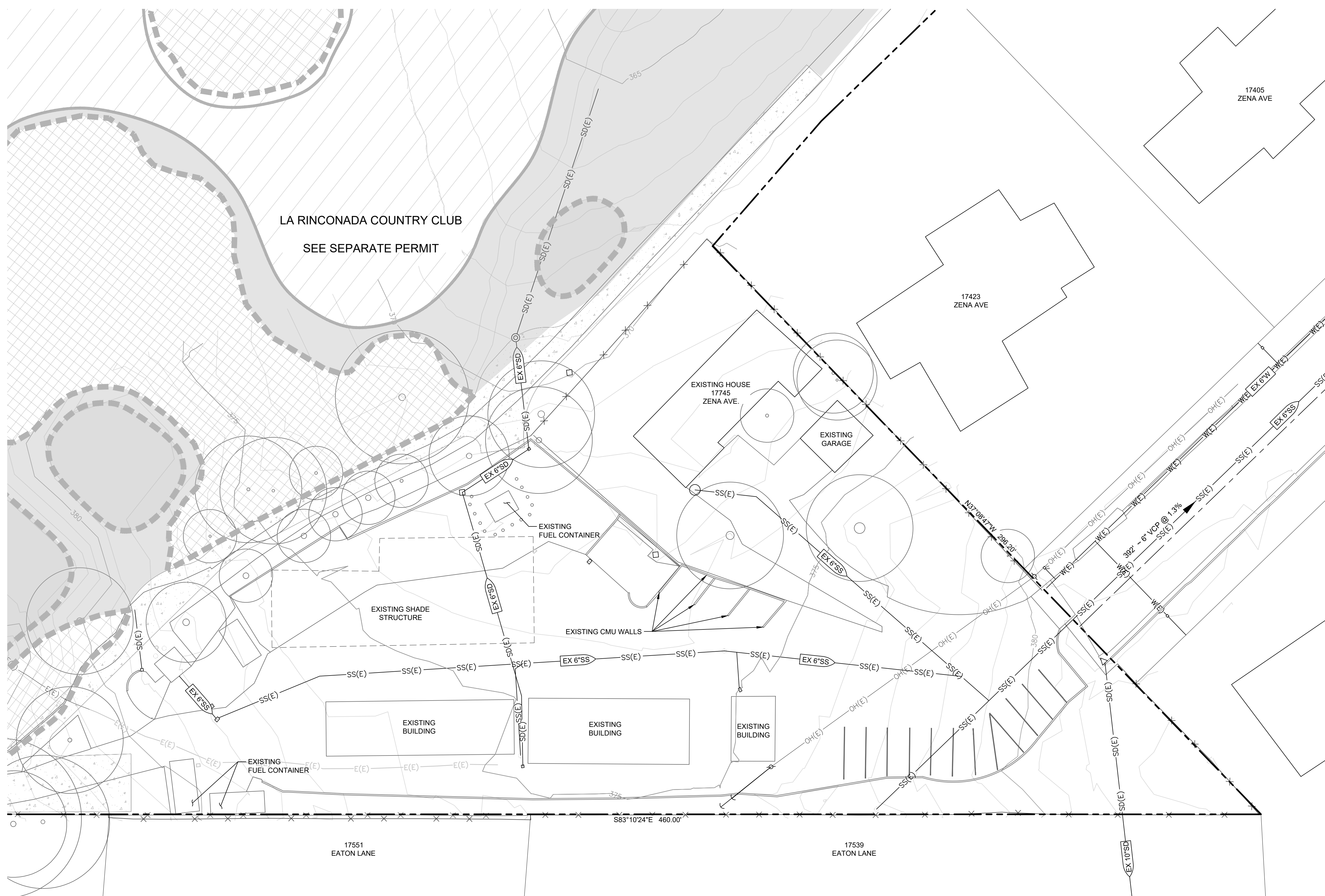
Project Number: 24057
Date: SEPT. 24, 2025
Drawn by: RP
Checked by: JB / JE

Sheet Title:
EXISTING SITE
PHOTOS

P 6.1



**LA RINCONADA COUNTRY CLUB
 MAINTENANCE YARD
 17445 ZENA AVE
 ARCHITECTURAL AND SITE REVIEW
 S-25-005**



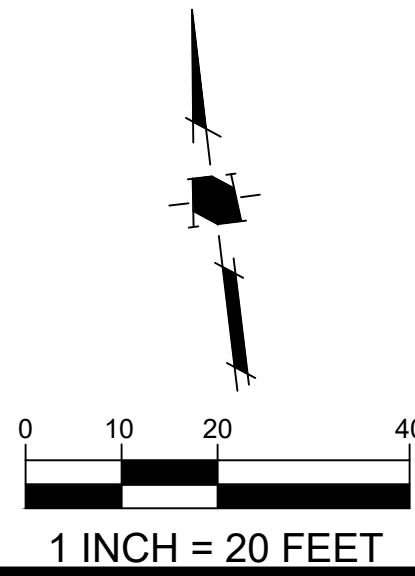
LEGEND

PROJECT BOUNDARY	---
EXISTING PROPERTY LINE	---
CENTERLINE	---
EXISTING MAJOR CONTOUR	---375---
EXISTING MINOR CONTOUR	---
EXISTING CURB	---
EXISTING FENCE	× ×
EXISTING STORM DRAIN	SD(E)
EXISTING SDMH	⊙
EXISTING SDFI	□
EXISTING SDCI	△
EXISTING SS LINE	SS(E)
EXISTING SSCO	○
EXISTING OVERHEAD POWER	OH(E)
EXISTING POWER POLE	⊕
EXISTING WATER LINE	W(E)
EXISTING WATER METER	⊙
TREE	○

ABBREVIATIONS

CMU	CONCRETE MASONRY UNIT
(E)	EXISTING
SD	STORM DRAIN
SDMH	STORM DRAIN MAN HOLE
SDFI	STORM DRAIN FIELD INLET
SDCI	STORM DRAIN CURB INLET
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEAN OUT

S:\PROJECTS\4500\PL\454502 MAINTENANCE YARD\PERMIT_ARCH & SITE REVIEW\PLOT DRAWINGS\454502AS01 - EXISTING CONDITIONS.DWG



NO	DATE	DESCRIPTION

PROJECT NO. 4545.02
 CAD DWG FILE: 454502AS01 - EXISTING CONDITIONS.DWG
 DESIGNED BY: CMTU
 DRAWN BY: CMTU
 CHECKED BY: SEK
 DATE: MARCH 4, 2026
 SCALE: AS SHOWN
 © HMH

**EXISTING
 CONDITIONS**

C1.0
 OF

PLOTTED: 3/19/2026 9:28 AM



RECYCLED WATER NOTE:
 CONTRACTOR SHALL ONLY USE RECYCLED WATER FOR DEMOLITION ACTIVITIES

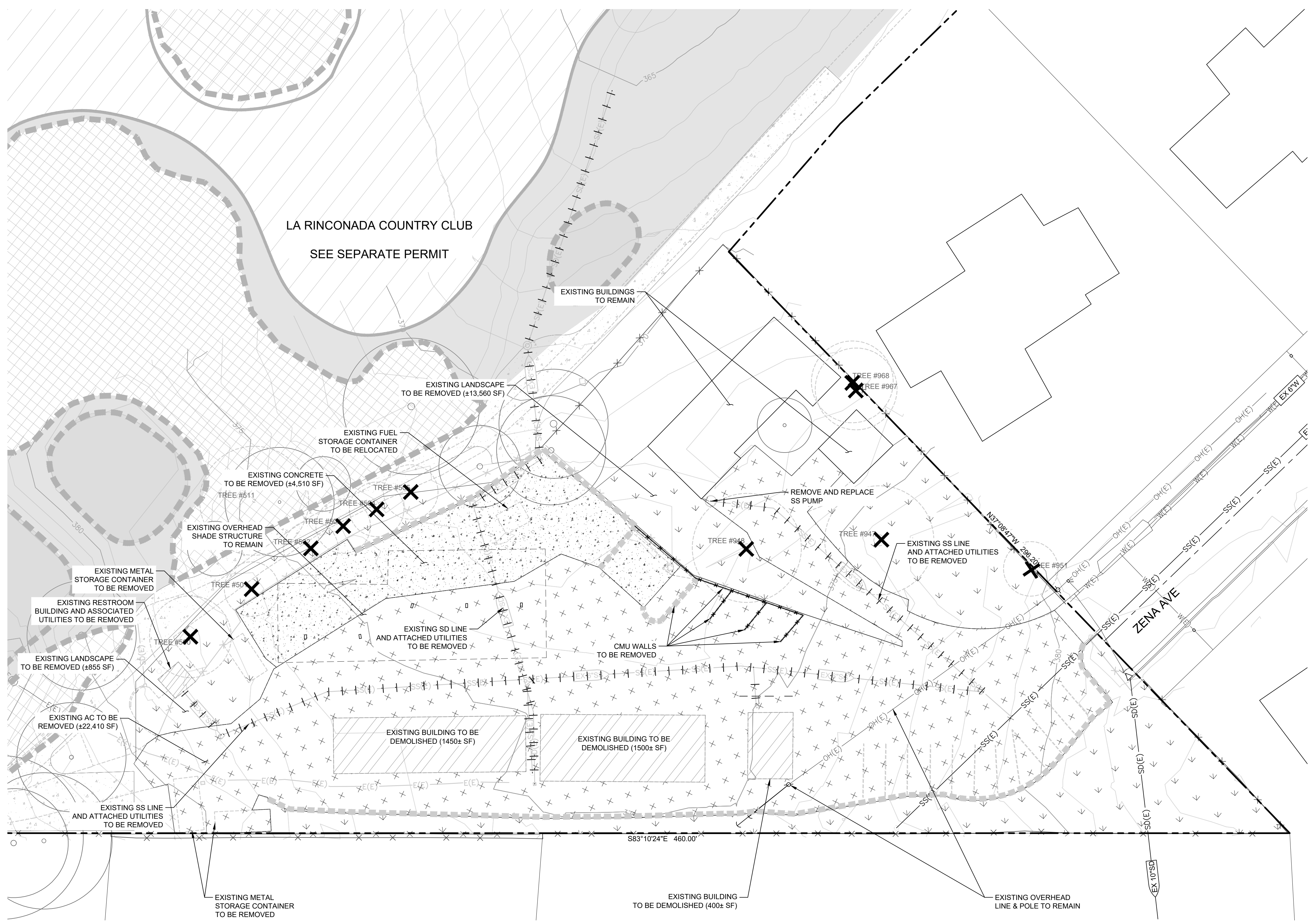
LEGEND

PROJECT BOUNDARY	
EXISTING PROPERTY LINE	
CENTERLINE	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
EXISTING CURB	
EXISTING FENCE	
EXISTING SD LINE	
EXISTING SDMH	
EXISTING SDFI	
EXISTING SDCI	
EXISTING SS LINE	
EXISTING SSCO	
EXISTING OVERHEAD POWER	
EXISTING POWER POLE	
EXISTING WATER LINE	
EXISTING WATER METER	
TREE	

DEMO LEGEND

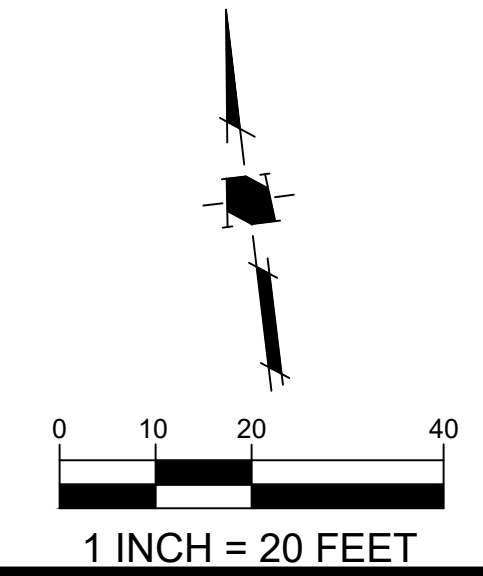
	EXISTING BUILDING & APPURTENANCES TO BE REMOVED
	REMOVE ALL SHRUBS AND VEGETATION WITHIN THE LIMIT OF WORK (SEE DEMOLITION NOTE 18)
	REMOVE ALL ASPHALT PAVEMENT, FENCES, ARBORS & APPURTENANCES
	REMOVE ALL CONCRETE, FENCES, ARBORS & APPURTENANCES
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE (SEE DEMOLITION NOTE 18)
	EXISTING FENCE OR WALL TO BE REMOVED
	EXISTING UNDERGROUND PIPE TO BE REMOVED
	EXISTING CURB & GUTTER TO BE REMOVED
	SAWCUT LINE

NOTE: ALL EXISTING UTILITIES LOCATED IN THE PUBLIC RIGHT OF WAY SHOULD BE PROTECTED IN PLACE UNLESS NOTED OTHERWISE.



DEMOLITION NOTES:

- ALL DEMOLITION ACTIVITIES ARE SUBJECT TO BAY AREA AIR QUALITY MANAGEMENT DISTRICT REQUIREMENTS.
- ALL WORK SHALL BE FULLY COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES, INCLUDING BUT NOT LIMITED TO PG&E AND THE PUBLIC WORKS DEPARTMENT. ALL WORK SHALL COMPLY WITH THE CITY'S STANDARD SPECIFICATIONS, LATEST EDITION.
- INFORMATION SHOWN ON THESE DRAWINGS REFLECT FIELD OBSERVATIONS AND/OR UTILITY AGENCY RECORDS. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATIONS OF ALL UTILITY COMPONENTS, USING HAND TOOLS TO CONFIRM ACTUAL CONDITIONS IF NECESSARY. CONTRACTOR SHALL UTILIZE THE SERVICES OF AN UNDERGROUND UTILITIES LOCATION CONTRACTOR (USA, ETC.) TO DETERMINE LOCATIONS OF ACTIVE UNDERGROUND UTILITIES. ALL CONTRACTORS SHALL CALL U.S.A. (CA. 1-800-227-2600) 48 HOURS BEFORE DIGGING, AND OBTAIN AN IDENTIFICATION NUMBER (SECTION 4210.1 OF THE GOVERNMENT CODE).
- CONTRACTOR SHALL COORDINATE WITH PG&E TO DE-ENERGIZE THE BUILDING. CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL DEMOLITION WORK FROM THE METER TO THE MAIN SOURCE IN CONFORMANCE WITH CITY AND UTILITY COMPANY STANDARDS.
- CONTRACTOR SHALL COORDINATE WITH PG&E BEFORE STARTING ANY WORK NEAR NATURAL GAS LINES.
- CONTRACTOR SHALL REMOVE ALL UTILITIES WITHIN THE LIMIT OF WORK ONCE ALL UTILITIES ARE DISCONNECTED FROM THE MAIN FEEDERS IN THE PUBLIC RIGHT-OF-WAY. LOCATIONS SHOWN ON PLANS SUBJECT TO VERIFICATION BY CONTRACTOR.
- UPON DISCOVERY OF ANY UNKNOWN EX. UNDERGROUND UTILITY ON THIS SITE, CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANY AND NOTIFY THE ENGINEER.
- CONTRACTOR TO VERIFY AND REMOVE ANY ELECTRICAL PANELS FROM SIDE OF BUILDINGS ONCE ELECTRICAL OVERHEAD SERVICE IS REMOVED BY OTHERS. CONTRACTOR SHALL PROTECT EXISTING GUY WIRES.
- CONTRACTOR SHALL VERIFY THAT TELEPHONE AND CABLE SERVICES ARE REMOVED (BY OTHERS) PRIOR TO BUILDING DEMOLITION.
- CONTRACTOR SHALL NOTIFY THE PROJECT INSPECTOR AT LEAST 48 HOURS PRIOR TO STARTING WORK.
- ALL DEMOLISHED MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR, SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN A LOCATION SUITABLE TO THE CLASSIFICATION OF THE MATERIAL REMOVED.
- UPON DISCOVERY OF HAZARDOUS MATERIAL THE CONTRACTOR SHALL PROMPTLY NOTIFY THE CITY IN WRITING OF ANY MATERIAL THAT THE CONTRACTOR BELIEVES MAY BE MATERIAL THAT IS HAZARDOUS WASTE AS DEFINED IN SECTION 25117 OF THE HEALTH AND SAFETY CODE, THAT IS REQUIRED TO BE REMOVED TO A CLASS I OR CLASS II, OR CLASS III DISPOSAL SITE IN ACCORDANCE WITH PROVISIONS OF EXISTING LAWS.
- IN THE EVENT THAT HUMAN REMAINS AND/OR CULTURAL MATERIALS ARE FOUND, ALL PROJECT-RELATED CONSTRUCTION SHOULD CEASE WITHIN A 100-FOOT RADIUS. THE CONTRACTOR SHALL, PURSUANT TO SECTION 7050.5 OF THE HEALTH AND SAFETY CODE, AND SECTION 5097.94 OF THE PUBLIC RESOURCES CODE OF THE STATE OF CALIFORNIA, NOTIFY THE CORONER IMMEDIATELY.
- CONTRACTOR SHALL REMOVE ALL U.S.A MARKINGS AS SOON AS THEY ARE NO LONGER NEEDED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND PRESERVE THE EXISTING MONUMENTS OF RECORD. SHOULD THE CONTRACTOR DESTROY OR DISTURB ANY MONUMENTS OF RECORD, THE CONTRACTOR SHALL, AT ITS SOLE EXPENSE, RETAIN A CALIFORNIA LICENSED LAND SURVEYOR TO REPLACE SAID MONUMENTS AND FILE AN APPROPRIATE CORNER RECORD WITH THE COUNTY SURVEYOR'S OFFICE PER SECTION 8773 OF THE PROFESSIONAL LAND SURVEYORS ACT.
- PROTECT NEIGHBORING PROPERTIES FROM DAMAGE DURING CONSTRUCTION AND DEMOLITION ACTIVITIES.
- PROTECT TREES TO REMAIN, BOTH ON-SITE AND ADJACENT PROPERTIES.
- TREE PROTECTION MEASURES SHALL BE PROVIDED BEFORE EQUIPMENT IS ALLOWED ON THE PROPERTY AND ANY DEMOLITION ACTIVITY. PRIOR TO REMOVAL, CONTRACTOR SHALL VERIFY ANY REQUIRED TREE REMOVAL PERMIT HAS BEEN OBTAINED AND IS AVAILABLE ON-SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL SAFETY AND TRAFFIC CONTROL REQUIRED ON EXISTING STREETS DURING CONSTRUCTION. COMPENSATION FOR THESE ITEMS SHALL BE INCLUDED IN THE PRICES OF THE VARIOUS ITEMS OF WORK.
- THE CONTRACTOR AND/OR HIS SUBCONTRACTORS SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE AT ALL TIMES UNTIL FINAL COMPLETION.
- PRIOR TO MOVING ANY MATERIALS TO OR FROM THE SITE, THE CONTRACTOR SHALL OBTAIN APPROVAL FOR HAUL ROUTE FROM THE CITY.
- PRACTICAL EROSION CONTROL MEASURES SHALL BE IN PLACE DURING DEMOLITION.
- THIS PLAN DOES NOT AUTHORIZE ANY CONSTRUCTION WITHIN THE PUBLIC RIGHT-OF-WAY.
- ALL ASPHALT SHALL BE REMOVED WITHIN THE LIMIT OF DEMOLITION BOUNDARY AND BE DISPOSED OF OR RECYCLED TO THE SATISFACTION OF THE GOVERNING AGENCY AND CLIENT.
- EXISTING GRADES AND CONFORM DESIGNS SHOWN ARE BASED OFF OF INTERMITTENT FIELD TOPO DATA AND MAY NOT INCLUDE ALL CONFORM SITUATIONS. CONTRACTOR SHALL REVIEW ALL CONFORM CONDITIONS AND NOTIFY ENGINEER OF ANY AREAS THAT MAY REQUIRE FIELD FIT ADJUSTMENTS. ALL PAVING AND HARDSCAPE CONFORMS MUST COMPLY WITH ADA REQUIREMENTS AND MAINTAIN POSITIVE DRAINAGE TO DRAIN INLETS.



**LA RINCONADA COUNTRY CLUB
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 S-25-005**

NO	DATE	DESCRIPTION

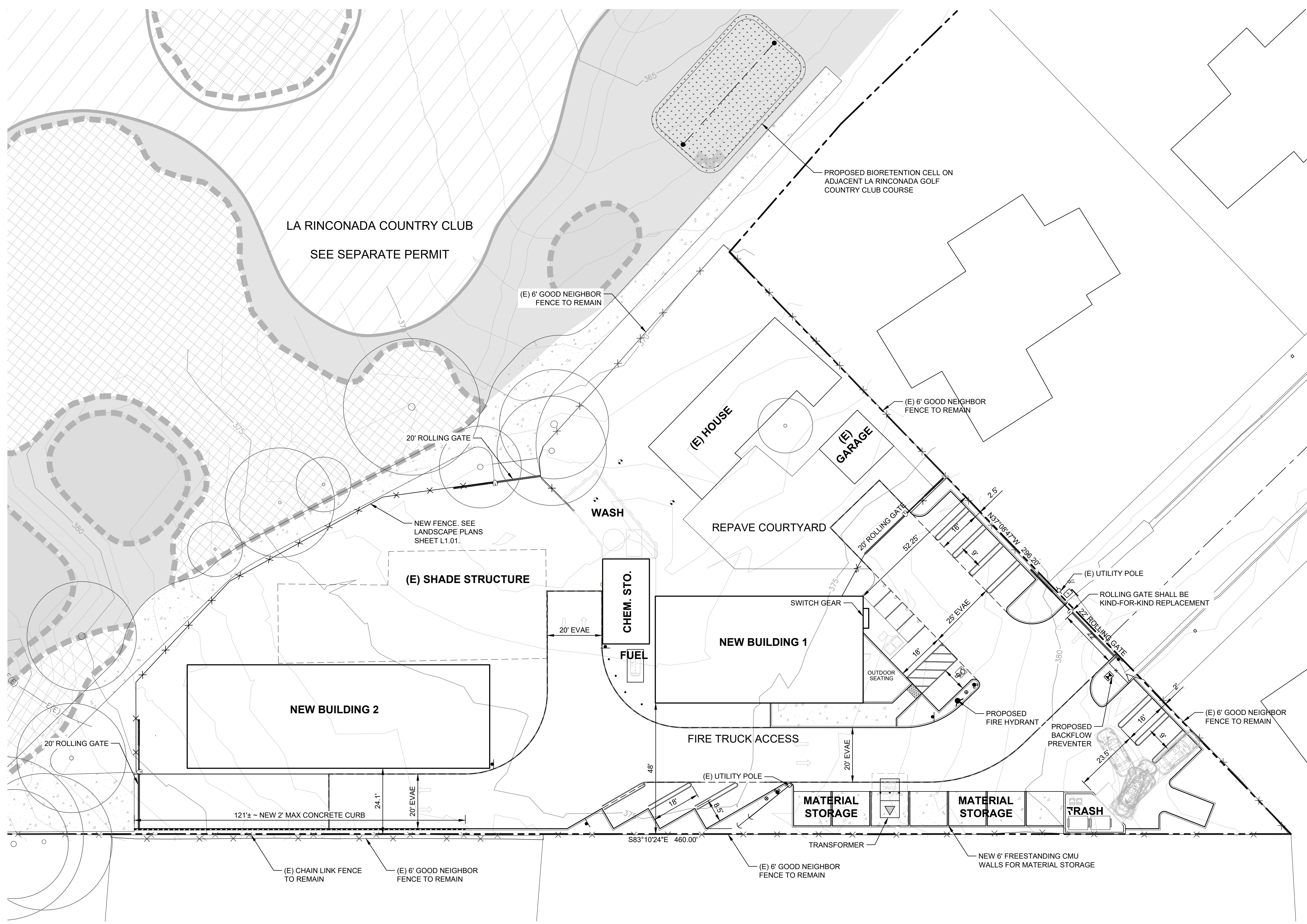
DEMOLITION PLAN

C1.1
 OF

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LEGEND

PROJECT BOUNDARY	---
EXISTING PROPERTY LINE	---
CURB	---
STRIPING	---
BUILDING	---
PAVED WALKWAY	---
CMU WALL	---

ABBREVIATIONS

CHEM. STO.	CHEMICAL STORAGE BUILDING
EX/(E)	EXISTING
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT

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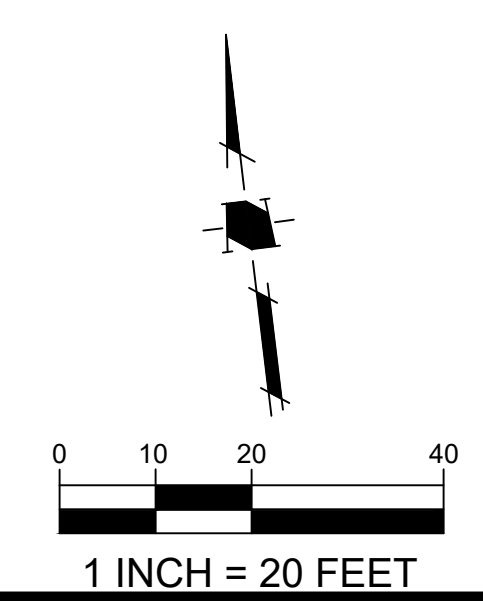
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NO	DATE	DESCRIPTION

PROJECT NO.	4545.02
CAD DWG FILE:	454502A303 - SITE PLAN.DWG
DESIGNED BY:	CMTU
DRAWN BY:	CMTU
CHECKED BY:	SEK
DATE:	MARCH 4, 2026
SCALE:	AS SHOWN

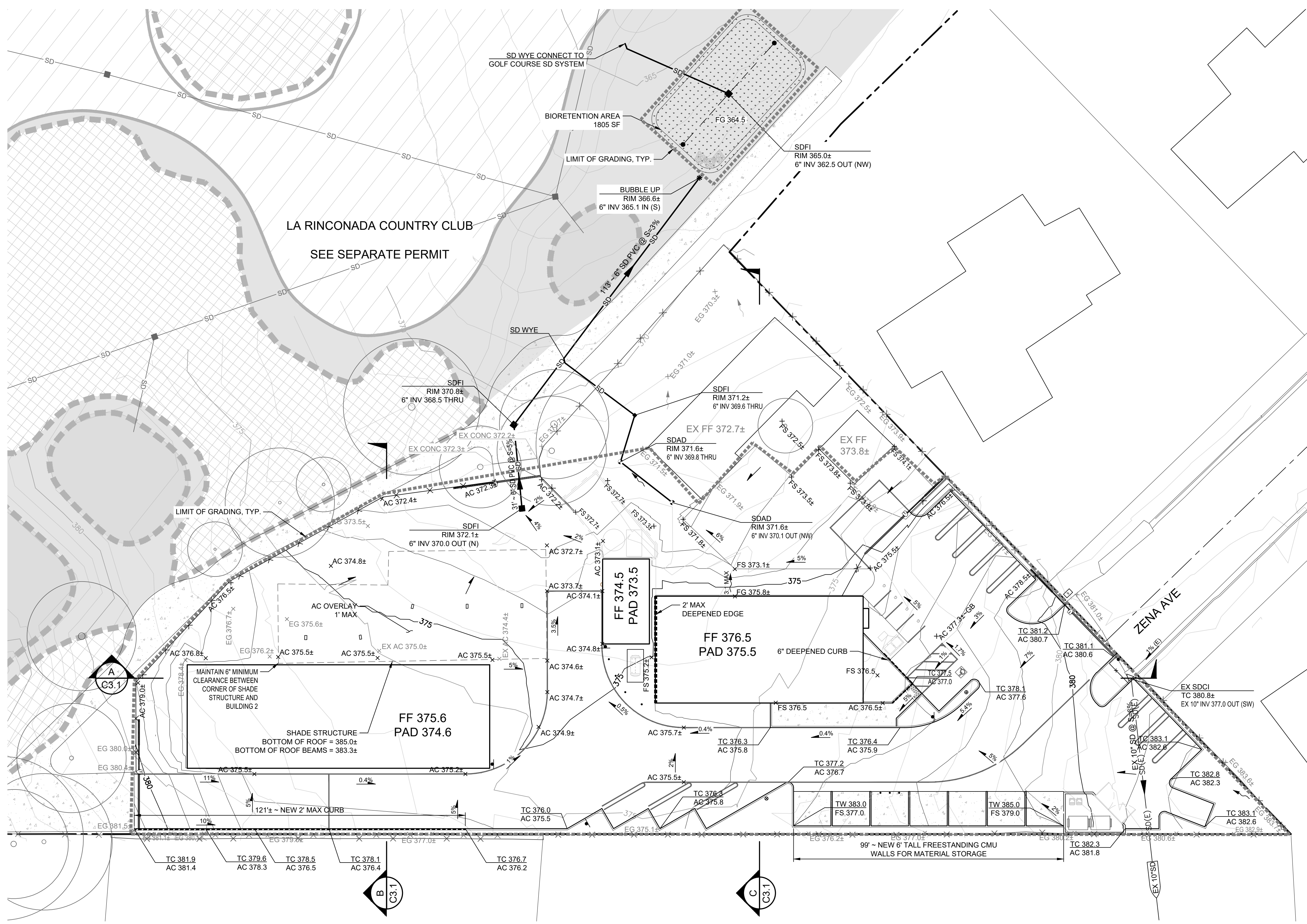
PROPOSED SITE PLAN

C2.0
OF



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NOTES

- ALL PARKING SPACES SHALL BE PAVED WITH A COMPACTED BASE NOT LESS THAN 4" THICK, SURFACED WITH ASPHALTIC CONCRETE OR PORTLAND CEMENT CONCRETE (P.C.C.) PAVING, OR OTHER SURFACING (E.G. PERMEABLE PAVING MATERIALS, INTERLOCKING PAVERS, AND RIBBON STRIP DRIVEWAYS) AS APPROVED BY THE TOWN ENGINEER.

LEGEND

- PROJECT BOUNDARY
- EXISTING PROPERTY LINE
- BUILDING
- LIMIT OF GRADING
- RETAINING WALL
- MAJOR CONTOURS 380
- MINOR CONTOURS
- EXISTING STORM DRAIN SD(E)
- EXISTING SDMH ⊙
- EXISTING SDFI □
- EXISTING SDCI △
- PROPOSED STORM DRAIN SD
- PROPOSED SDFI ■
- PROPOSED BUBBLE-UP *
- PROPOSED SDCO •

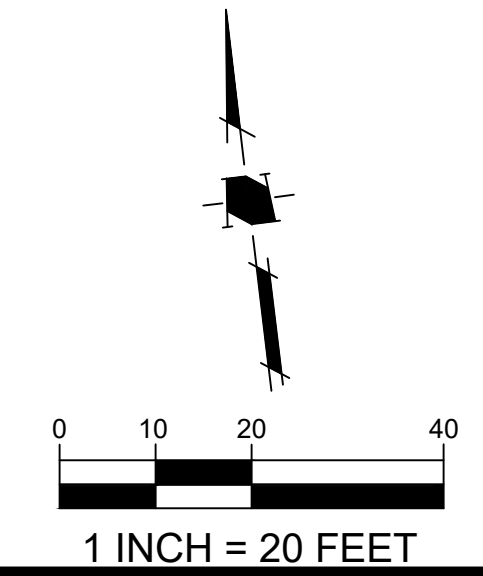
ABBREVIATIONS

- AC ASPHALT CONCRETE
- EG EXISTING GRADE
- EX(E) EXISTING
- FF FINISH FLOOR
- FS FINISHED SURFACE
- GB GRADE BREAK
- INV INVERT
- SD STORM DRAIN
- SDCO STORM DRAIN CLEANOUT
- SDCI STORM DRAIN CURB INLET
- SDFI STORM DRAIN FIELD INLET

TABLE OF PROPOSED EARTHWORK QUANTITIES

SITE ELEMENT	AVERAGE SLOPE: 6.5%		EARTHWORK/AGG (CY)		MAX CUT/FILL DEPTH (FT)		(CY)	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT		
DRIVEWAY/PARKING*	870	114	3.8	2.8	0	756		
BUILDING 1	0	152	0	2.9	152	0		
BUILDING 2	194	2	4.2	0.6	0	192		
CHEMICAL STORAGE BLDG	0	13	0	1	13	0		
PORCH/PATIO	-	-	-	-	-	-		
GARAGE	-	-	-	-	-	-		
LANDSCAPE	299	28	5.3	2.8	0	271		
MISC. HARDSCAPE	-	-	-	-	-	-		
BASEMENT/CELLAR	-	-	-	-	-	-		
POOL	-	-	-	-	-	-		
TOTAL	1363	309			0	1054		

* INCLUDES ALL HARDSCAPE



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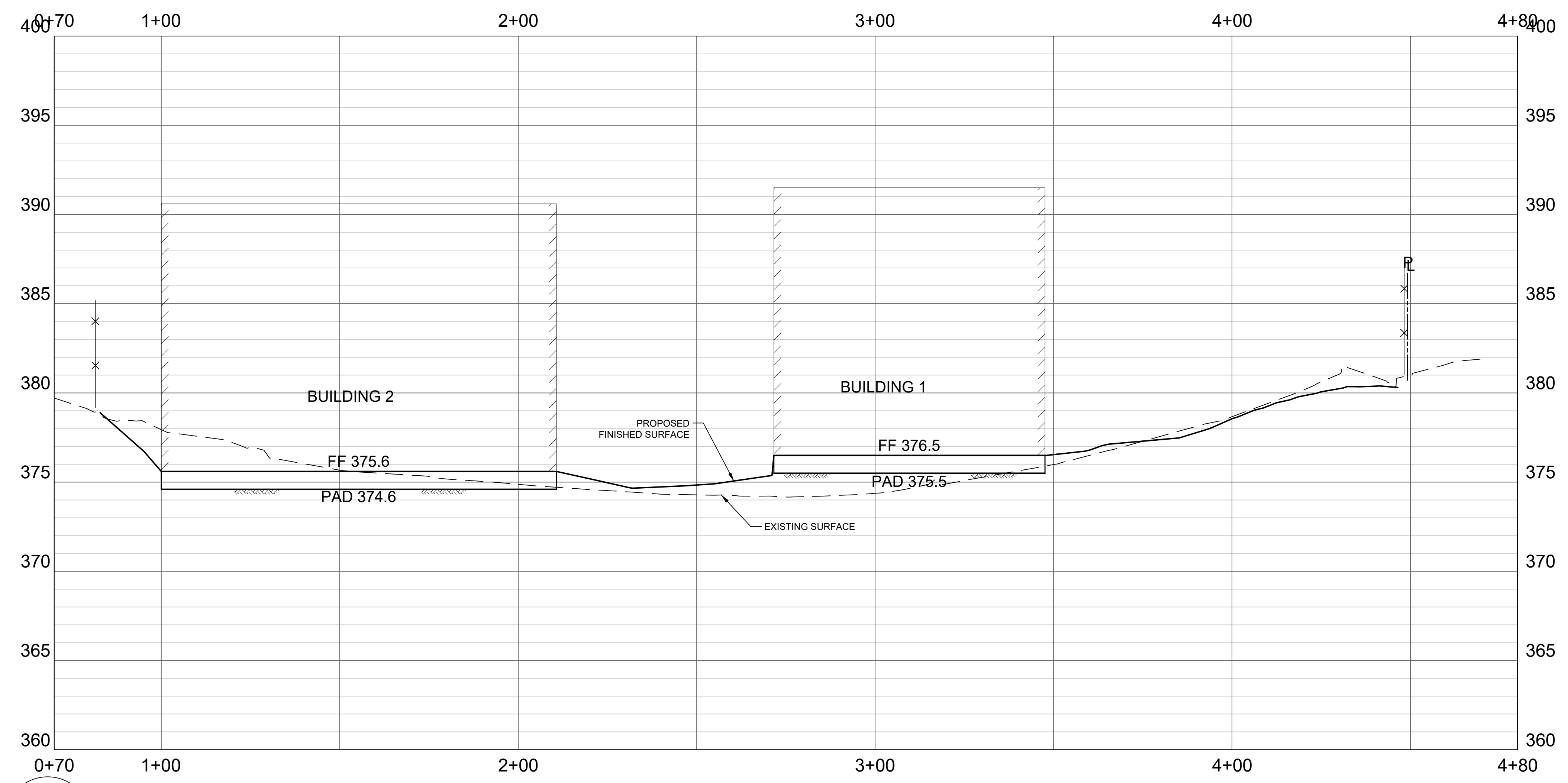
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		CAD DWG# 454500-04 - GRADING & DRAINAGE.DWG
		DESIGNED BY: CMTU
		DRAWN BY: CMTU
		CHECKED BY: SEK
		DATE: MARCH 4, 2026
		SCALE: AS SHOWN
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**GRADING &
 DRAINAGE PLAN**

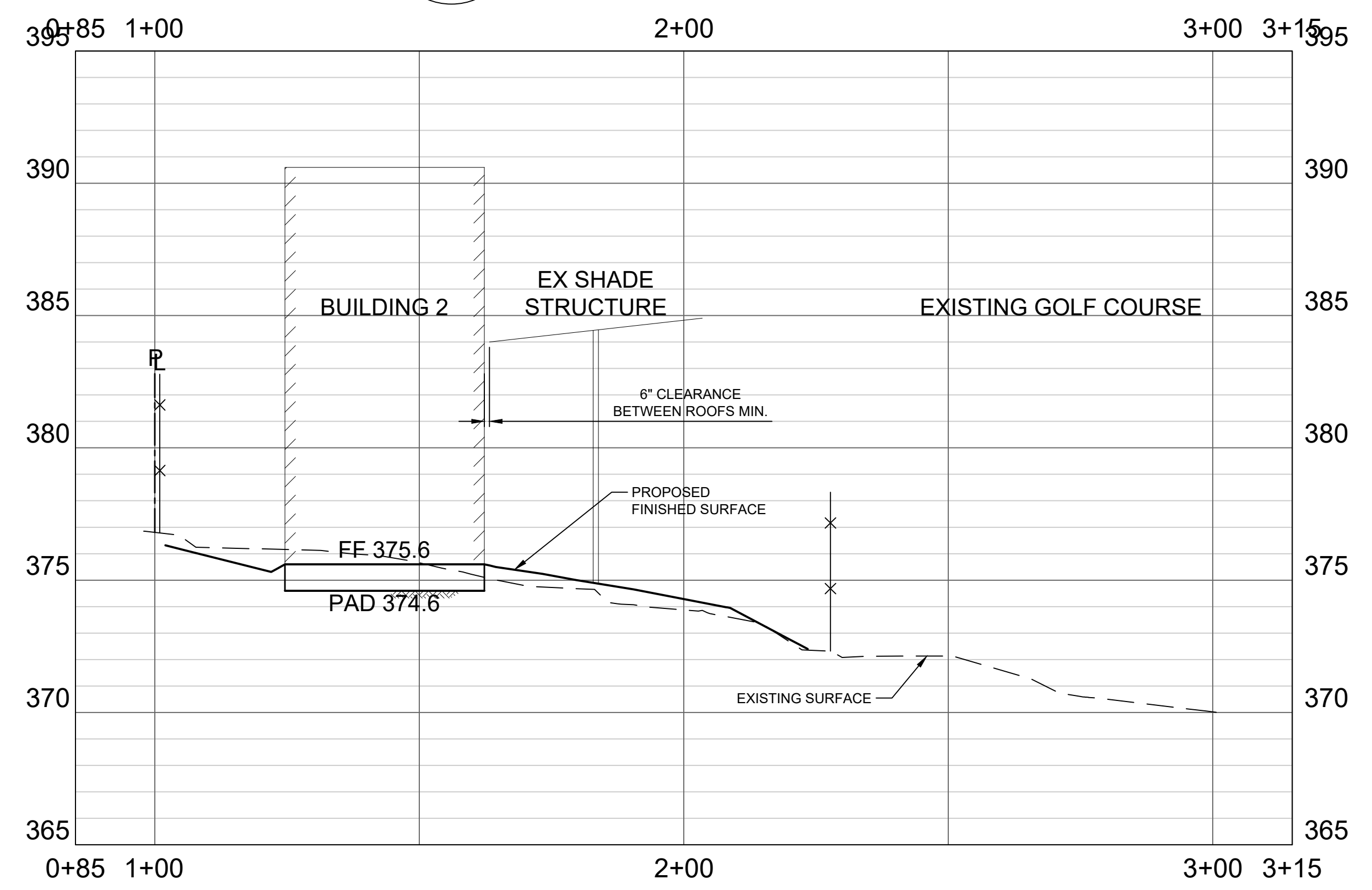
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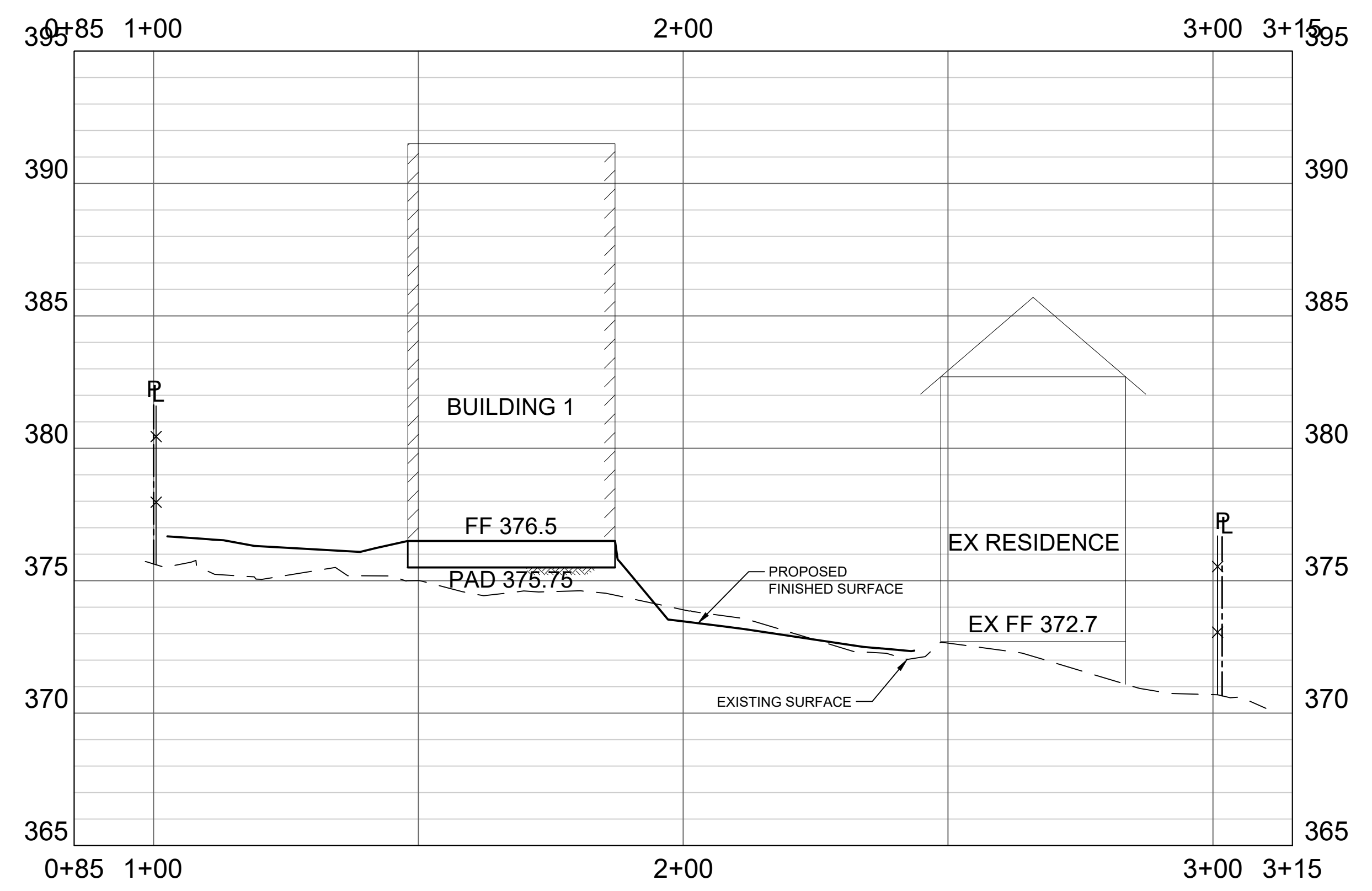
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A SECTION
 C3.1 HORIZONTAL: 1"=20' / VERTICAL 1" = 5'



B SECTION
 C3.1 HORIZONTAL: 1"=20' / VERTICAL 1" = 5'



C SECTION
 C3.1 HORIZONTAL: 1"=20' / VERTICAL 1" = 5'

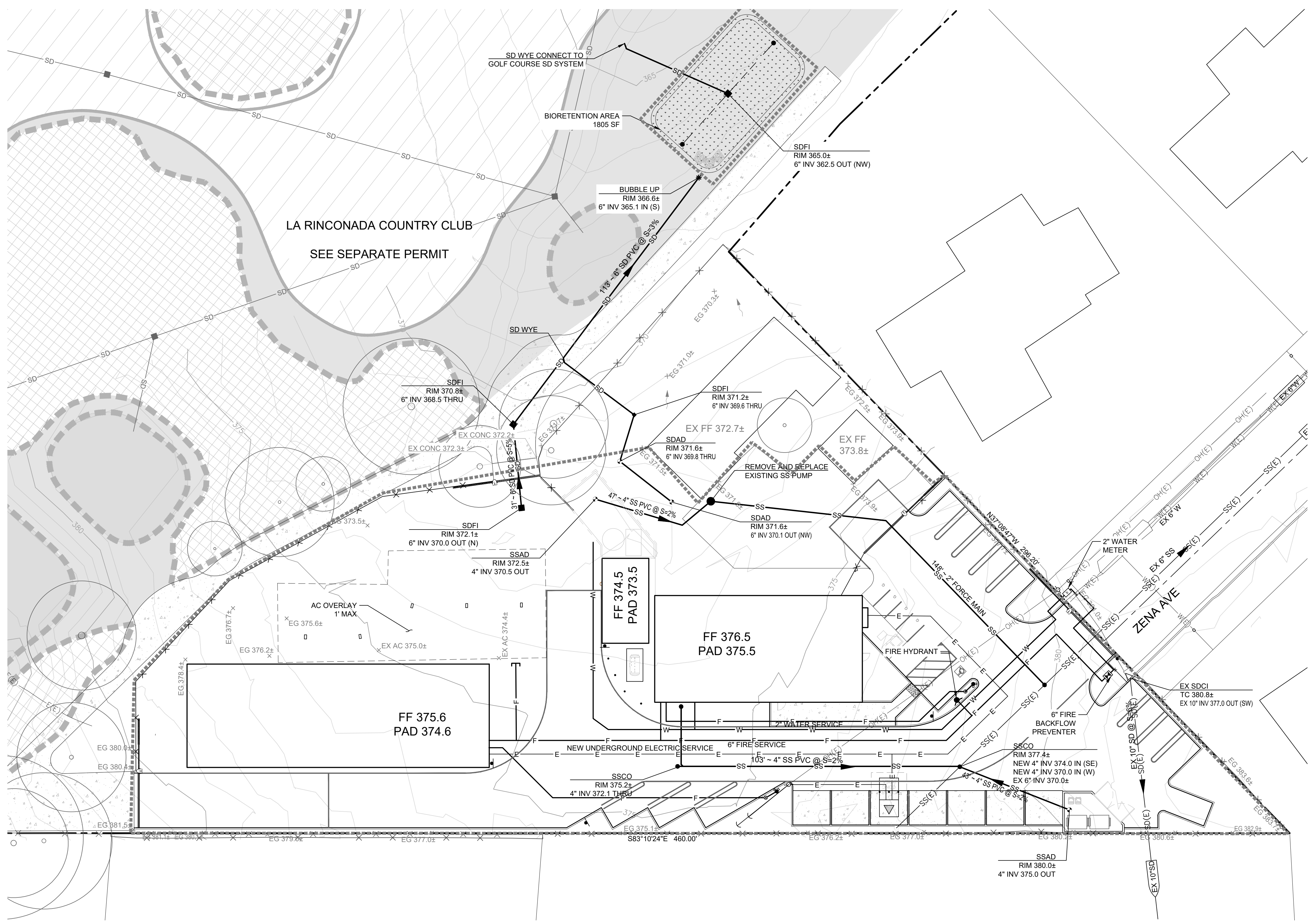
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CAD DWG NO.	4545.02	GRADING & DRAINAGE DWG
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SECTIONS

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NOTES

1. ALL NEW, RELOCATED, OR TEMPORARY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER, AND OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND.

LEGEND

PROJECT BOUNDARY	---
EXISTING PROPERTY LINE	---
BUILDING	---
RETAINING WALL	-----
EXISTING STORM DRAIN	SD(E)
EXISTING SDMH	⊙
EXISTING SDFI	□
EXISTING SDCI	△
EXISTING SANITARY SEWER	SS(E)
EXISTING SSCO	○
EXISTING OVERHEAD POWER	OH(E)
EXISTING POWER POLE	⊙
EXISTING WATER LINE	W(E)
EXISTING WATER METER	⊙
PROPOSED STORM DRAIN	SD
PROPOSED SDFI	■
PROPOSED BUBBLE-UP	*
PROPOSED SDCO	●
PROPOSED SANITARY SEWER	SS
PROPOSED SSCO	○
PROPOSED WATER LINE	W
PROPOSED WATER METER	⊙
PROPOSED FIRE SERVICE	F
PROPOSED FIRE HYDRANT	⊙
PROPOSED BACKFLOW	⊠
PROPOSED FIRE DEPARTMENT CONNECTION (FDC)	⊙
PROPOSED POST INDICATOR VALVE	⊙
PROPOSED UNDERGROUND SERVICE	E
PROPOSED TRANSFORMER	⊠

ABBREVIATIONS

AC	ASPHALT CONCRETE
EG	EXISTING GRADE
EX(E)	EXISTING
FF	FINISH FLOOR
FS	FINISHED SURFACE
GB	GRADE BREAK
INV	INVERT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SDCI	STORM DRAIN CURB INLET
SDFI	STORM DRAIN FIELD INLET

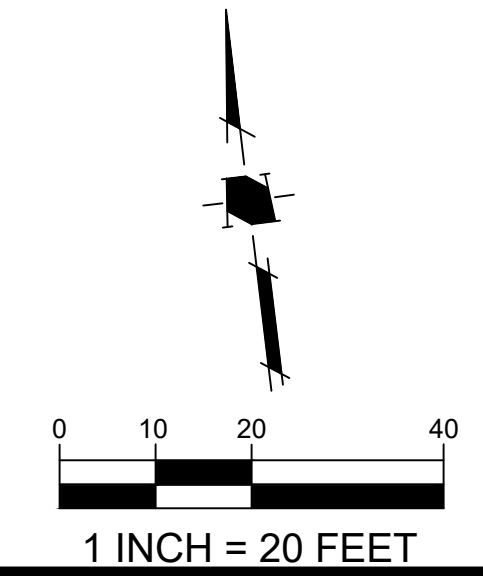
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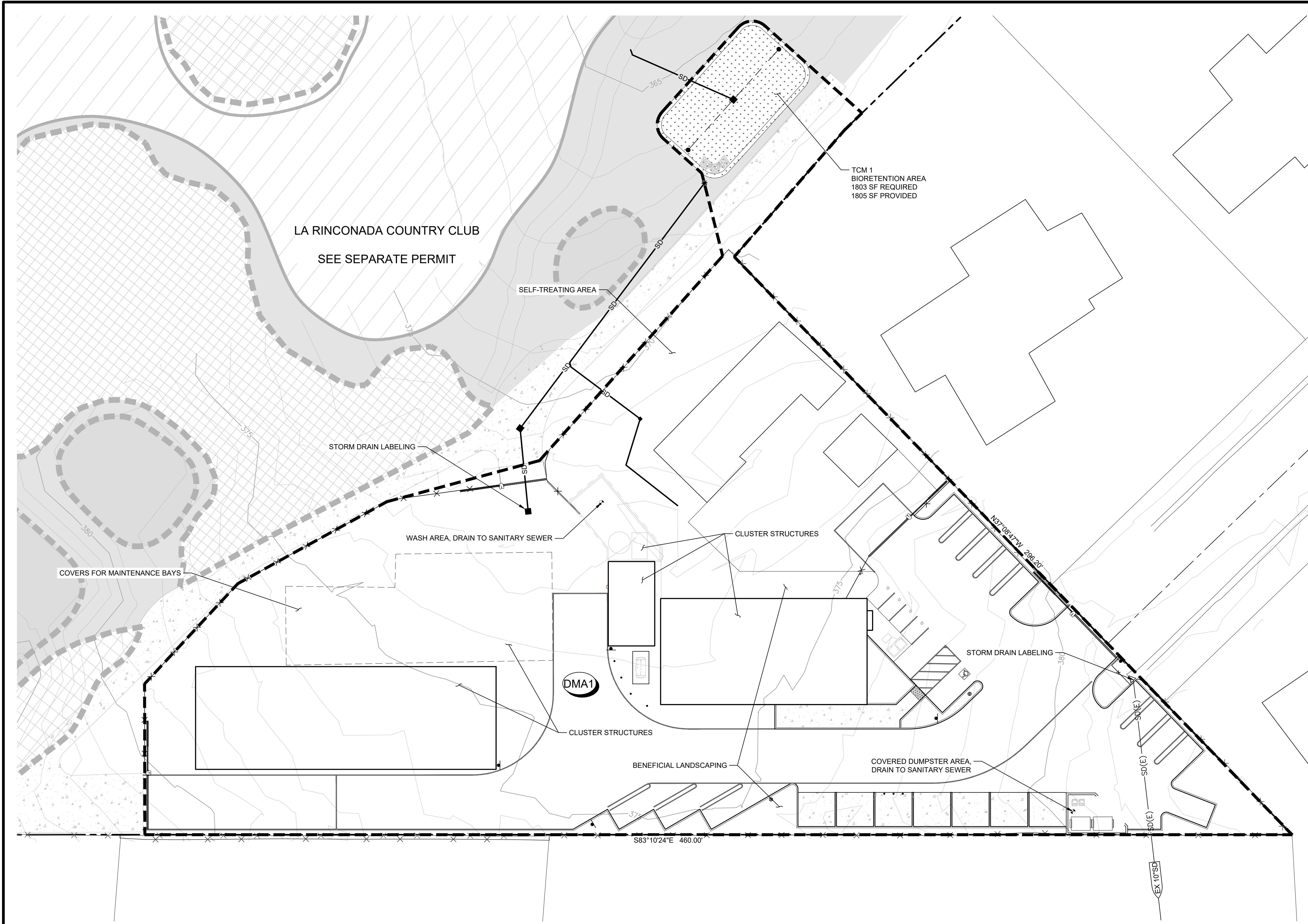
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REGISTERED PROFESSIONAL ENGINEER
 STEPHAN KUENY
 No. 57808
 CIVIL
 STATE OF CALIFORNIA

**LA RINCONADA COUNTRY CLUB
 MAINTENANCE YARD
 17445 ZENA AVE
 ARCHITECTURAL AND SITE REVIEW
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NO	DATE	DESCRIPTION
PROJECT NO:	4545.02	
CAD DWG FILE:	454502A905 - UTILITY PLAN.DWG	
DESIGNED BY:	CMTU	
DRAWN BY:	CMTU	
CHECKED BY:	SEK	
DATE:	MARCH 4, 2026	
SCALE:	AS SHOWN	
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LEGEND

PROJECT BOUNDARY	---
STORM DRAIN PIPE	—SD—SD—SD—
STORM DRAIN MANHOLE	⊙
STORM DRAIN MANHOLE (EXISTING)	⊙
CURB INLET (EXISTING)	△
CATCH BASIN	■
CATCH BASIN (EXISTING)	□



NOTES

- DISPOSITION AND TREATMENT OF STORM WATER WILL COMPLY WITH THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM STANDARDS AND IMPLEMENTATION STANDARDS ESTABLISHED BY THE SANTA CLARA VALLEY URBAN RUNOFF POLLUTION PREVENTION PROGRAM.

PROJECT SITE INFORMATION:

- SOILS TYPE: CLAY LOAM
- GROUND WATER DEPTH: 30 TO 50 FT
- NAME OF RECEIVING BODY: SAN TOMAS AQUINO CREEK
- FLOOD ZONE: ZONE X
- FLOOD ELEVATION (IF APPLICABLE): N/A

OPERATION AND MAINTENANCE INFORMATION:

- PROPERTY INFORMATION:**
 - PROPERTY ADDRESS: 17445 Zena Ave, Los Gatos, CA 95032
 - APN: 409-31-001
- PROPERTY OWNER: La Rinconada Country Club
- RESPONSIBLE PARTY FOR MAINTENANCE:**
 - CONTACT: La Rinconada Country Club
 - PHONE NUMBER OF CONTACT: (408) 402-7468
 - EMAIL: akimball@Larinconadaocc.com
 - ADDRESS: 14595 Clearview Drive, Los Gatos, CA 95032

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S-25-005**

TREATMENT CONTROL MEASURE SUMMARY TABLE

DMA #	TCM #	Location ¹	Treatment Type ²	LID or Non-LID	Sizing Method	Drainage Area (s.f.)	Impervious Area ⁴ (s.f.)	Pervious Area (Permeable Pavement) (s.f.)	Pervious Area (Other) (s.f.)	% Onsite / Offsite Area Treated by LID or Non-LID TCM	Bioretention			Comments
											Bioretention Area Required (s.f.)	Bioretention Area Provided (s.f.)	Overflow Riser Height (in)	
1	1	Onsite	Bioretention lined w/ underdrain	LID	2C. Flow: 4% Method ³	53,833	44,091	0	9,742	100.00%	1,803	1,805	6"	
Totals:						53,833	44,091	0	9,742	100.00%				

- SITE DESIGN MEASURES:**
- CLUSTER STRUCTURES / PAVEMENT
 - OTHER SELF-TREATING AREA (E.G. LANDSCAPED AREAS)

- SOURCE CONTROL MEASURES:**
- WASH AREA/RACKS, DRAIN TO SANITARY SEWER
 - COVERED DUMPSTER AREA, DRAIN TO SANITARY SEWER
 - BENEFICIAL LANDSCAPING (MINIMIZE IRRIGATION, RUNOFF, PESTICIDES AND FERTILIZERS, PROMOTES TREATMENT)
 - MAINTENANCE (PAVEMENT SWEEPING, CATCH BASIN CLEANING, GOOD HOUSEKEEPING)
 - STORM DRAIN LABELING

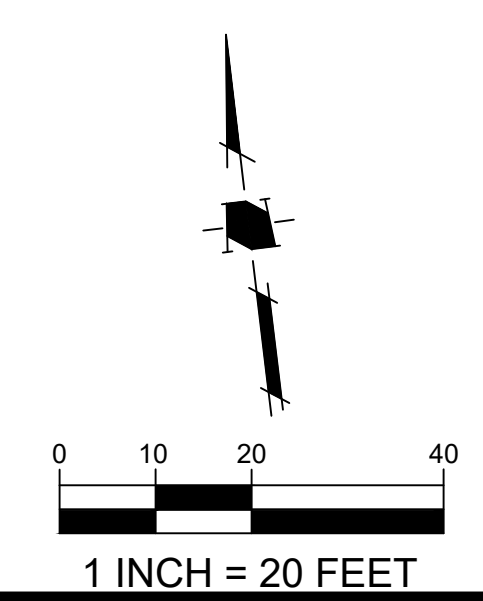
Footnotes:

- Per the Municipal Regional Stormwater Permit, sidewalks and other parts of the right-of-way should be included in the new and/or replaced impervious surface calculation and treated as required
- "Lined" refers to an impermeable liner placed on the bottom of a Bioretention basin or a concrete Flow-Through Planter, such that no infiltration into native soil occurs.
- Sizing for Bioretention Area Required calculated using the 4% Method (Impervious Area x 0.04)

BIORETENTION SIZING CALCULATION:

4 PERCENT METHOD PER SCVURPPP GUIDELINES:

BIORETENTION AREA REQUIRED = 0.04 * (IMPERVIOUS AREA + 0.1 * PERVIOUS AREA)
= 0.04 * (44,091 SF + 0.1 * 9,742 SF)
= 1,803 SF REQUIRED



NO	DATE	DESCRIPTION
PROJECT NO:		4545.02
CAD DWG FILE:		454502AS06 - STORMWATER.DWG
DESIGNED BY:		CM/TU
DRAWN BY:		CM/TU
CHECKED BY:		SEK
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STORMWATER CONTROL PLAN

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OF

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2. Project Size

a. Total Site Area: 53,833 (ft ²)		b. Total Land Area Disturbed During Construction: 48,172 (ft ²) (including clearing, grading, stockpiling, or excavating)			
Project Totals	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained ¹ (ft ²)	Existing Area Replaced ² (ft ²)	New Area Created ³ (ft ²)	Total Post-Project Area (ft ²)
Impervious Area (IA)					
c. Total on-site IA	35,258	5,661	29,597	8,833	44,091
d. Total off-site IA ³	0		0	0	0
e. Total project IA	35,258	5,661	29,597	8,833	44,091
f. Total new and replaced IA				38,430	
Pervious Area (PA)⁴					
g. Total on-site PA	18,575				9,742
h. Total off-site PA ³	0				0
i. Total project PA	18,575				9,742
j. Total Project Area (2.e.+2.i.)	53,833				53,833
k. Percent Replacement of IA in Redevelopment Projects: (Total Existing IA Replaced + Total Existing IA) x 100%	406943%				

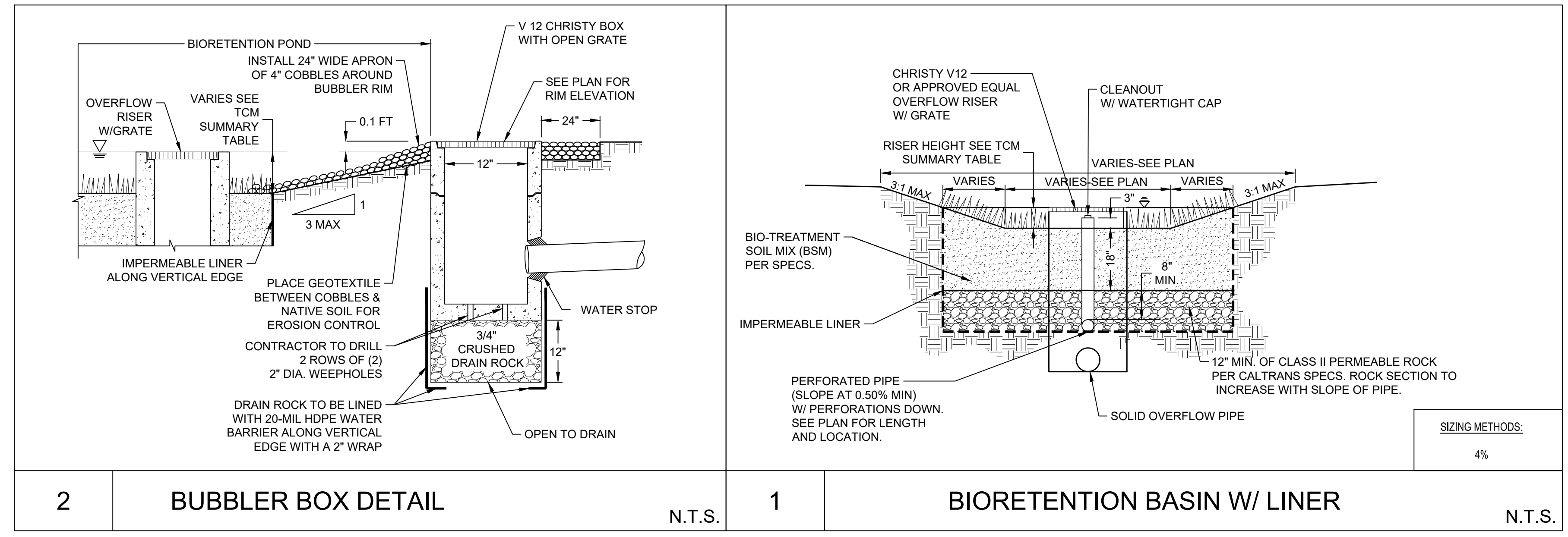
¹Retained" means to leave existing IA in place. An IA that receives surface treatment (e.g., pavement resurfacing/slurry seal/grind) only is considered "retained". This category does not apply to off-site areas.

²The "new" and "replaced" IA are based on the total project area and not specific locations within the project. Constructed IA on a project that does not exceed the total pre-project IA will be considered "replaced" IA. A project will have "new" IA only if the total post-project IA exceeds the total pre-project IA (total post-project IA - total pre-project IA = New IA).

³Off-site areas include sidewalks and other parts of the public right-of-way (e.g., roads, bike lanes, curbs, ramps, park strip) that are being reconstructed as part of the project footprint. Do not include frontage areas that are not being reconstructed as part of the project. Note that gravel is considered an impervious surface.

⁴Include bioretention areas, infiltration areas, green roofs, and pervious pavement in PA calculations.

C.3 DATA FORM



2	BUBBLER BOX DETAIL	N.T.S.	1	BIORETENTION BASIN W/ LINER	N.T.S.
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2. Project Size

a. Total Site Area: 5,161,341 (ft ²)		b. Total Land Area Disturbed During Construction: 4,149,944 (ft ²) (including clearing, grading, stockpiling, or excavating)			
Project Totals	Total Existing (Pre-project) Area (ft ²)	Existing Area Retained ¹ (ft ²)	Existing Area Replaced ² (ft ²)	New Area Created ³ (ft ²)	Total Post-Project Area (ft ²)
Impervious Area (IA)					
c. Total on-site IA	366,995	228,982	111,726	0	340,708
d. Total off-site IA ³	0		0	0	0
e. Total project IA	366,995	228,982	111,726	0	340,708
f. Total new and replaced IA				111,726	
Pervious Area (PA)⁴					
g. Total on-site PA	4,794,346				4,820,633
h. Total off-site PA ³	0				0
i. Total project PA	4,794,346				4,820,633
j. Total Project Area (2.e.+2.i.)	5,161,341				5,161,341
k. Percent Replacement of IA in Redevelopment Projects: (Total Existing IA Replaced + Total Existing IA) x 100%	466622%30.4%				

¹Retained" means to leave existing IA in place. An IA that receives surface treatment (e.g., pavement resurfacing/slurry seal/grind) only is considered "retained". This category does not apply to off-site areas.

²The "new" and "replaced" IA are based on the total project area and not specific locations within the project. Constructed IA on a project that does not exceed the total pre-project IA will be considered "replaced" IA. A project will have "new" IA only if the total post-project IA exceeds the total pre-project IA (total post-project IA - total pre-project IA = New IA).

³Off-site areas include sidewalks and other parts of the public right-of-way (e.g., roads, bike lanes, curbs, ramps, park strip) that are being reconstructed as part of the project footprint. Do not include frontage areas that are not being reconstructed as part of the project. Note that gravel is considered an impervious surface.

⁴Include bioretention areas, infiltration areas, green roofs, and pervious pavement in PA calculations.

C.3 DATA FORM FOR GOLF COURSE PROJECT (FOR REFERENCE ONLY)
SEE TOWN OF LOS GATOS GRADING PERMIT GR 25-444 FOR ADDITIONAL INFORMATION.

- BIORETENTION & FLOW-THROUGH PLANTER NOTES:**
- SEE GRADING PLAN FOR BASIN FOOTPRINT AND DESIGN ELEVATIONS.
 - PLACE 3 INCHES OF COMPOSTED, NON-FLOATABLE MULCH IN AREAS BETWEEN STORMWATER PLANTINGS AND SIDE SLOPE.
 - SEE LANDSCAPE PLAN FOR MULCH, PLANT MATERIALS AND IRRIGATION REQUIREMENTS
 - CURB CUTS SHALL BE A MINIMUM 18" WIDE AND SPACED AT MAXIMUM 10' O.C. INTERVALS AND SLOPED TO DIRECT STORMWATER TO DRAIN INTO THE BASIN. CURB CUTS SHALL ALSO NOT BE PLACED IN LINE WITH OVERFLOW CATCH BASIN. SEE GRADING PLAN FOR MORE DETAIL ON LOCATIONS OF CURB CUTS.
 - A MINIMUM 0.2' DROP BETWEEN STORM WATER ENTRY POINT (I.E. CURB OPENING, FLUSH CURB, ETC.) AND ADJACENT LANDSCAPE FINISHED GRADE.
 - DO NOT COMPACT NATIVE SOIL / SUBGRADE AT BOTTOM OF BASIN. LOOSEN SOIL TO 12" DEPTH.

- BIOTREATMENT SOIL REQUIREMENTS**
- BIORETENTION SOIL MIX SHALL MEET THE REQUIREMENTS AS OUTLINED IN APPENDIX C OF THE C.3 STORM WATER HANDBOOK AND SHALL BE A MIXTURE OF FINE SAND AND COMPOST MEASURED ON A VOLUME BASIS OF 60-70% SAND AND 30-40% COMPOST. CONTRACTOR TO REFER TO APPENDIX C FOR SAND AND COMPOST MATERIAL SPECIFICATIONS. CONTRACTOR MAY OBTAIN A COPY OF THE C3 HANDBOOK AT: [HTTPS://CLEANWATER.SCCGOV.ORG/SITES/G/FILES/EXJCPB461/FILES/SCVURPPP_C.PDF](https://cleanwater.sccgov.org/sites/g/files/exjcpb461/files/scvurppp_c.pdf)
 - PRIOR TO ORDERING THE BIOTREATMENT SOIL MIX OR DELIVERY TO THE PROJECT SITE, CONTRACTOR SHALL PROVIDE A BIOTREATMENT SOIL MIX SPECIFICATION CHECKLIST, COMPLETED BY THE SOIL MIX SUPPLIER AND CERTIFIED TESTING LAB.

TABLE 1
ROUTINE MAINTENANCE ACTIVITIES FOR BIORETENTION AREAS

NO.	MAINTENANCE TASK	FREQUENCY OF TASK
1	REMOVE OBSTRUCTIONS, WEEDS, DEBRIS AND TRASH FROM BIORETENTION AREA AND ITS INLETS AND OUTLETS; AND DISPOSE OF PROPERLY.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
2	INSPECT BIORETENTION AREA FOR STANDING WATER. IF STANDING WATER DOES NOT DRAIN WITHIN 2-3 DAYS, TILL AND REPLACE THE SURFACE BIOTREATMENT SOIL WITH THE APPROVED SOIL MIX AND REPLANT.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
3	CHECK UNDERDRAINS FOR CLOGGING. USE THE CLEANOUT RISER TO CLEAN ANY CLOGGED UNDERDRAINS.	QUARTERLY, OR AS NEEDED AFTER STORM EVENTS
4	MAINTAIN THE IRRIGATION SYSTEM AND ENSURE THAT PLANTS ARE RECEIVING THE CORRECT AMOUNT OF WATER (IF APPLICABLE).	QUARTERLY
5	ENSURE THAT THE VEGETATION IS HEALTHY AND DENSE ENOUGH TO PROVIDE FILTERING AND PROTECT SOILS FROM EROSION. PRUNE AND WEED THE BIORETENTION AREA. REMOVE AND/OR REPLACE ANY DEAD PLANTS.	ANNUALLY, BEFORE THE WET SEASON BEGINS
6	USE COMPOST AND OTHER NATURAL SOIL AMENDMENTS AND FERTILIZERS INSTEAD OF SYNTHETIC FERTILIZERS, ESPECIALLY IF THE SYSTEM USES AN UNDERDRAIN.	ANNUALLY, BEFORE THE WET SEASON BEGINS
7	CHECK THAT MULCH IS AT APPROPRIATE DEPTH (2 - 3 INCHES PER SOIL SPECIFICATIONS) AND REPLENISH AS NECESSARY BEFORE WET SEASON BEGINS. IT IS RECOMMENDED THAT 2' - 3' OF ARBOR MULCH BE REAPPLIED EVERY YEAR.	ANNUALLY, BEFORE THE WET SEASON BEGINS
8	INSPECT THE ENERGY DISSIPATION AT THE INLET TO ENSURE IT IS FUNCTIONING ADEQUATELY, AND THAT THERE IS NO SCOUR OF THE SURFACE MULCH. REMOVE ACCUMULATED SEDIMENT.	ANNUALLY, BEFORE THE WET SEASON BEGINS
9	INSPECT OVERFLOW PIPE TO ENSURE THAT IT CAN SAFELY CONVEY EXCESS FLOWS TO A STORM DRAIN. REPAIR OR REPLACE DAMAGED PIPING.	ANNUALLY, BEFORE THE WET SEASON BEGINS
10	REPLACE BIOTREATMENT SOIL AND MULCH, IF NEEDED. CHECK FOR STANDING WATER, STRUCTURAL FAILURE AND CLOGGED OVERFLOWS. REMOVE TRASH AND DEBRIS. REPLACE DEAD PLANTS.	ANNUALLY AT THE END OF THE RAINY SEASON, AND/OR AFTER LARGE STORM EVENTS
11	INSPECT BIORETENTION AREA USING THE ATTACHED INSPECTION CHECKLIST.	ANNUALLY, BEFORE THE WET SEASON

STANDARD STORMWATER CONTROL NOTES

- STANDING WATER SHALL NOT REMAIN IN THE TREATMENT MEASURES FOR MORE THAN FIVE DAYS. TO PREVENT MOSQUITO GENERATION. SHOULD ANY MOSQUITO ISSUES ARISE, CONTACT THE SANTA CLARA VALLEY VECTOR CONTROL DISTRICT (DISTRICT). MOSQUITO LARVICIDES SHALL BE APPLIED ONLY WHEN ABSOLUTELY NECESSARY, AS INDICATED BY THE DISTRICT, AND THEN ONLY BY A LICENSED PROFESSIONAL OR CONTRACTOR. CONTACT INFORMATION FOR THE DISTRICT IS PROVIDED BELOW.
- WEBSITE: [HTTPS://VECTOR.SCCGOV.ORG/HOME](https://vector.sccgov.org/home)
- PHONE: (408) 918-4770
- DO NOT USE PESTICIDES OR OTHER CHEMICAL APPLICATIONS TO TREAT DISEASED PLANTS. CONTROL WEEDS OR REMOVED UNWANTED GROWTH. EMPLOY NON-CHEMICAL CONTROLS (BIOLOGICAL, PHYSICAL AND CULTURAL CONTROLS) TO TREAT A PEST PROBLEM. PRUNE PLANTS PROPERLY AND AT THE APPROPRIATE TIME OF YEAR. PROVIDE ADEQUATE IRRIGATION FOR LANDSCAPE PLANTS. DO NOT OVER WATER.

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Land Use Entitlements
Land Planning
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1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMH.ca.com



LA RINCONADA COUNTRY CLUB
MAINTENANCE YARD
17445 ZENA AVE
ARCHITECTURAL AND SITE REVIEW
S-25-005

NO.	DATE	DESCRIPTION
PROJECT NO:		4545.02
CAD DWG FILE:		454502A506 - STORMWATER.DWG
DESIGNED BY:		CM/TU
DRAWN BY:		CM/TU
CHECKED BY:		SEK
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SCALE:		AS SHOWN
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STORMWATER CONTROL PLAN NOTES & DETAILS

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STRIPING NOTES:

1. ALL STRIPING, MARKINGS AND SIGNING INSTALLATION TO BE PERFORMED BY THE CONTRACTOR. (EXCEPT AS NOTED)
2. ALL TEMPORARY STRIPING AND PAVEMENT MARKINGS MUST BE REINSTALLED BACK TO ORIGINAL CONFIGURATION UPON PROJECT COMPLETION.
3. CONTRACTOR TO USE RED THERMOPLASTIC PAINT TO OUTLINE THE FIRE ACCESS PATHWAY. CONTRACTOR TO INDICATE "FIRE LANE" WITH WHITE THERMOPLASTIC PAINT INSIDE OF FIRE ACCESS LANE PER SANTA CLARA COUNTY FIRE DEPARTMENT STANDARD DETAILS AND SPECIFICATIONS REQUIREMENT III.A.2.

FIRE ACCESS NOTES:

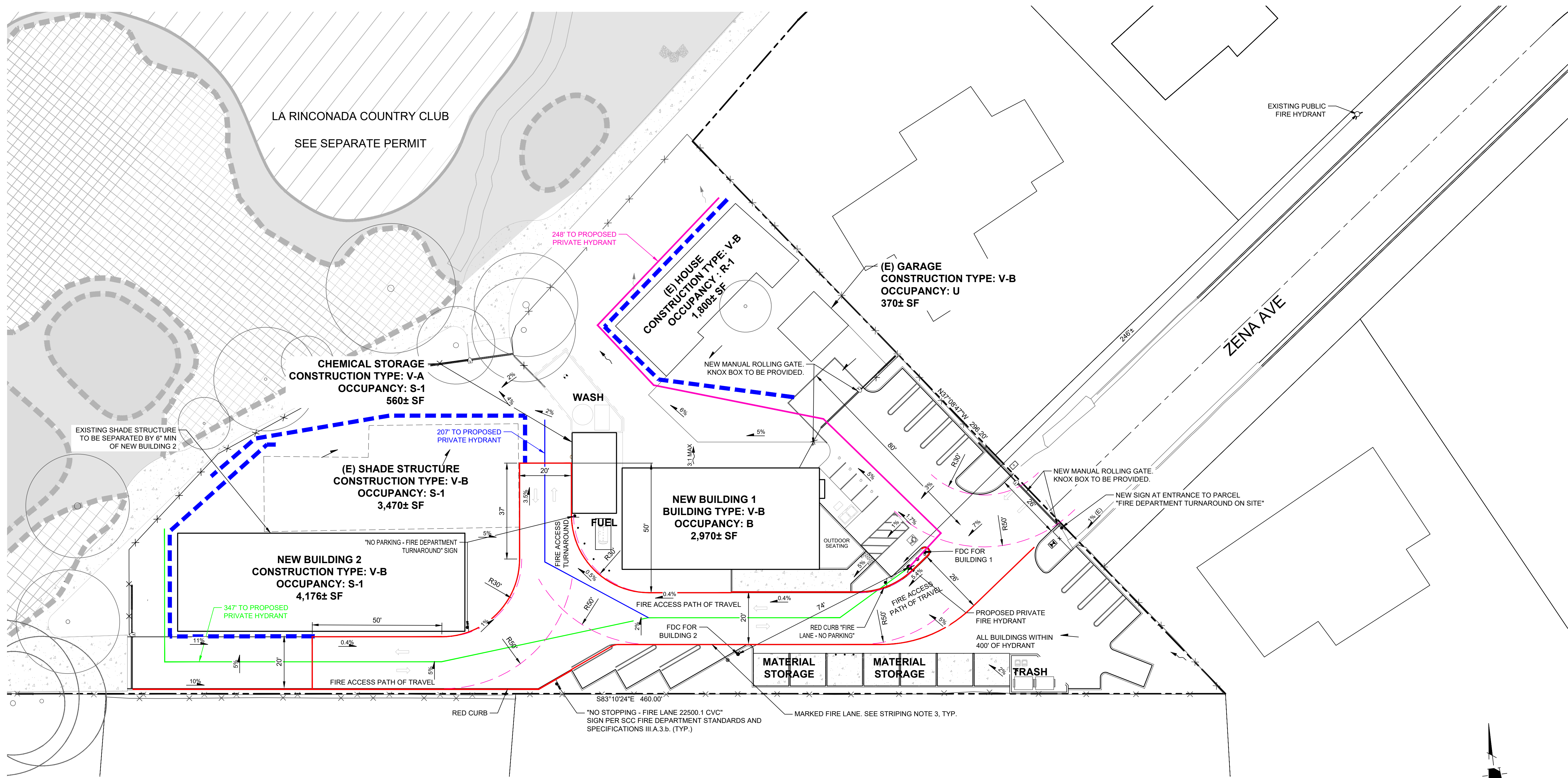
1. PRIVATE FIRE HYDRANT TO BE INSTALLED. SEE PLAN FOR LOCATION.
2. THE PAVEMENT SECTION SHALL BE A MINIMUM OF 3" AC OVER 8" CLASS 2 AB WITH A TRAFFIC INDEX OF 5. SEE GEOTECH REPORT.
3. ACCESS TO FIRE DEPARTMENT VIA ROLLING GATE ALONG ZENA AVE TO REMAIN.
4. ALL STRUCTURES WITHIN THE PROJECT SITE ARE WITHIN A 400' RADIUS OF THE PROPOSED PRIVATE HYDRANT.
5. FIRE SPRINKLERS SHALL BE PROVIDED FOR ALL NEW STRUCTURES. NFPA 13 SHALL BE INSTALLED IN ALL NEW BUILDINGS.
6. EXISTING SHADE STRUCTURE WILL BE PROVIDED WITH SPRINKLERS PER APPROVED AMMR PC 251391.
7. KNOX BOX SHALL BE PROVIDED FOR ROLLING GATE ON ZENA AVENUE. KNOX BOX SHALL BE PROVIDED FOR ALL STRUCTURE ACCESS.
8. PAVEMENT ALONG FIRE ACCESS PATH SHALL BE DESIGNED TO SUPPORT 75,000 LBS. PER

GEOTECHNICAL RECOMMENDATIONS, 3" AC ON 8" AB WILL BE PROVIDED.

9. AUTOMATIC FIRE ALARMS WILL BE INSTALLED IN THE NEW MAINTENANCE BUILDINGS. FULL FIRE ALARM REQUIREMENTS WILL BE DETERMINED DURING BUILDING PERMIT PHASE.
10. THIS PROJECT HAS AN APPROVED AMMR FOR A MODIFIED TURNAROUND. THE AMMR COMMENTS SHEET AND APPLICATION WITH SIGNATURE SHALL BE INCLUDED AS PART OF THE BUILDING PERMIT SET.

LEGEND:

- FIRE TRUCK TURN RADIUS (50' OUTSIDE)
- 150' HOSE PULL LENGTH
- PROPOSED FIRE HYDRANT
- PROPOSED BACKFLOW
- PROPOSED FIRE DEPARTMENT CONNECTION (FDC)
- PROPOSED POST INDICATOR VALVE



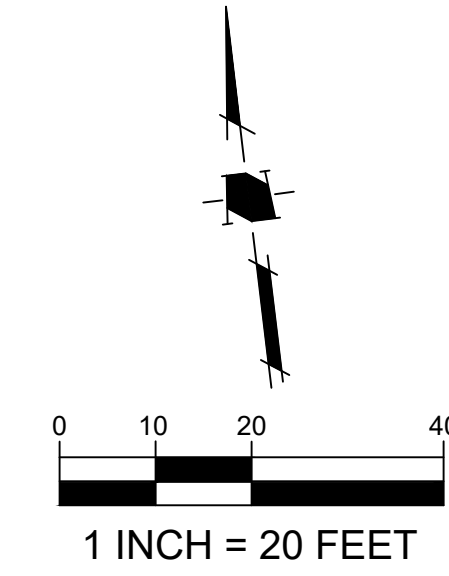
**LA RINCONADA COUNTRY CLUB
 MAINTENANCE YARD
 17445 ZENA AVE
 ARCHITECTURAL AND SITE REVIEW
 S-25-005**

NO	DATE	DESCRIPTION

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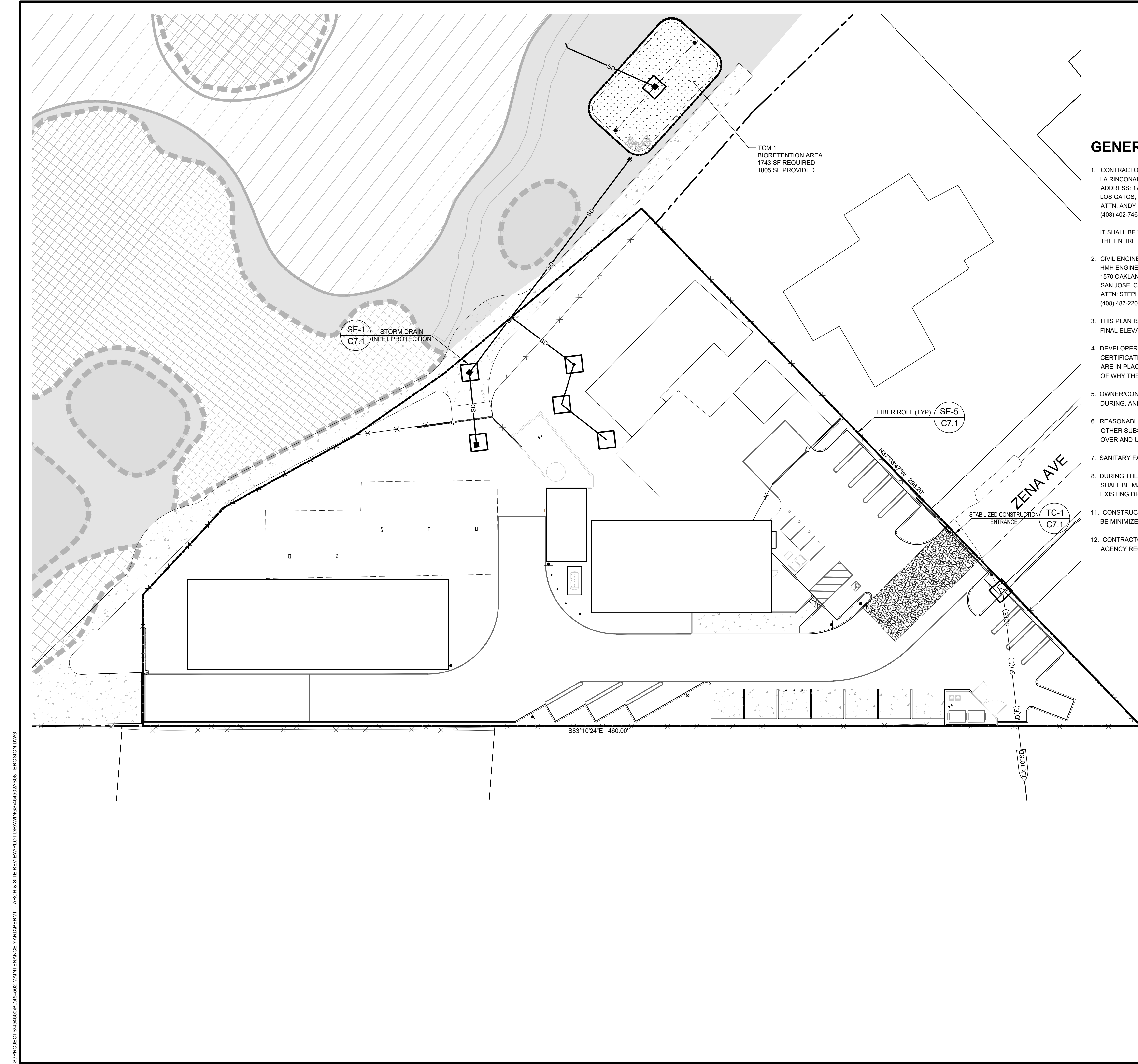
FIRE ACCESS PLAN

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OF



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LEGEND

FIELD INLET SEDIMENT BARRIER

FIBER ROLL

STABILIZED CONSTRUCTION ENTRANCE

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. CONTRACTOR/OWNER:
LA RINCONADA COUNTRY CLUB
ADDRESS: 17445 ZENA AVE.
LOS GATOS, CA 95030
ATTN: ANDY KIMBALL
(408) 402-7468

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
2. CIVIL ENGINEER:
HMH ENGINEERS
1570 OAKLAND ROAD, SUITE 200
SAN JOSE, CA 95131
ATTN: STEPHAN KUEHN
(408) 487-2200
3. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
4. DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 1ST AND APRIL 30TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
5. OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
6. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
7. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
8. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
11. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
12. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

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NO	DATE	DESCRIPTION

PROJECT NO:	4545.02
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DESIGNED BY:	CMTU
DRAWN BY:	CMTU
CHECKED BY:	SEK
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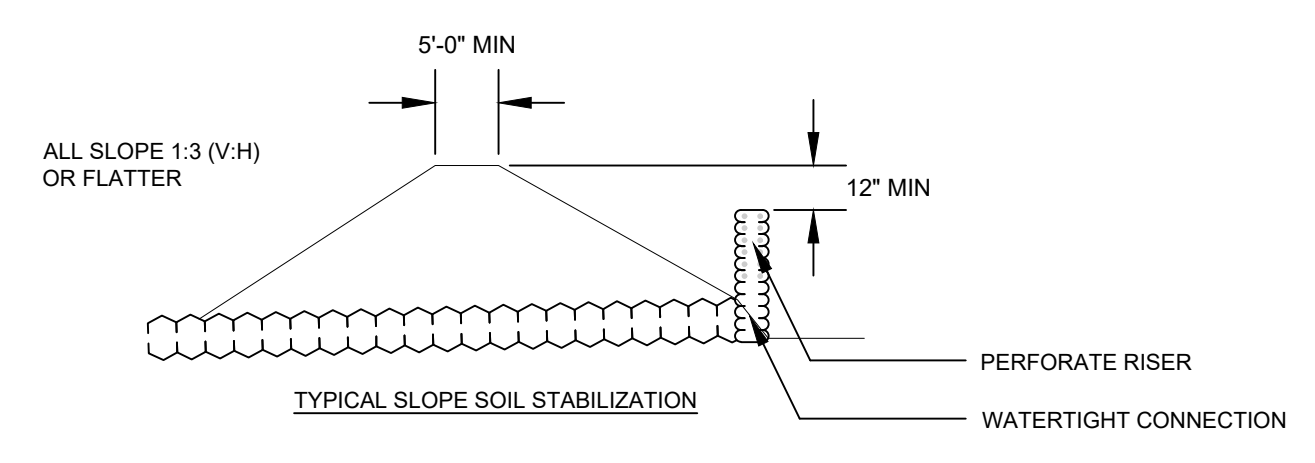
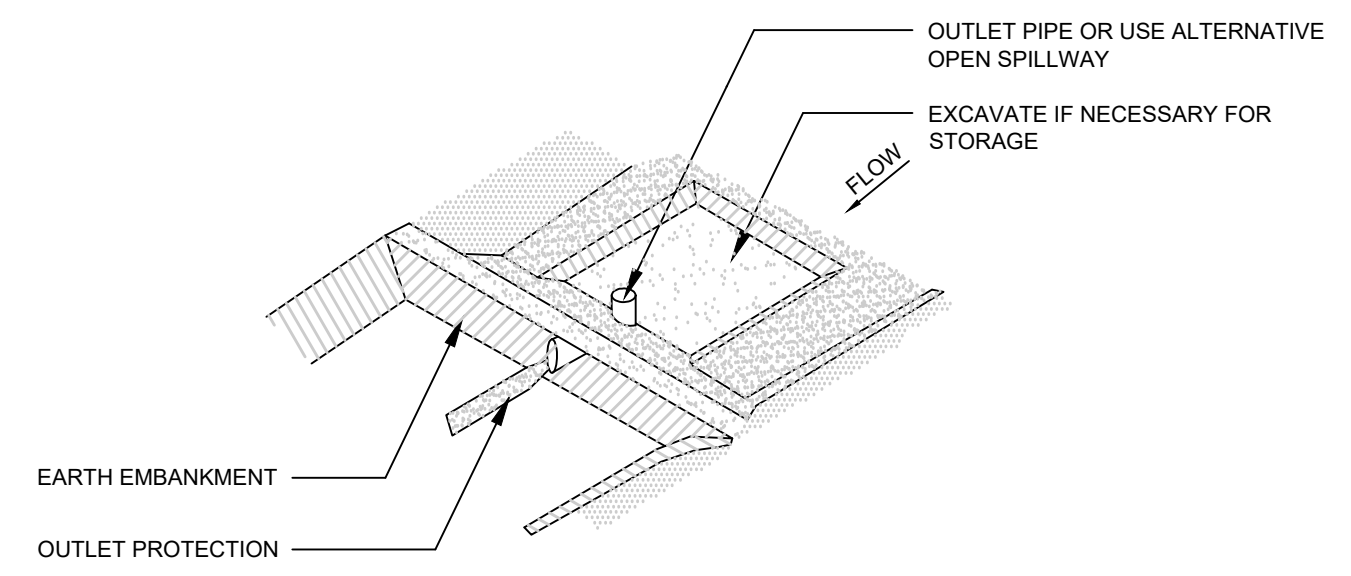
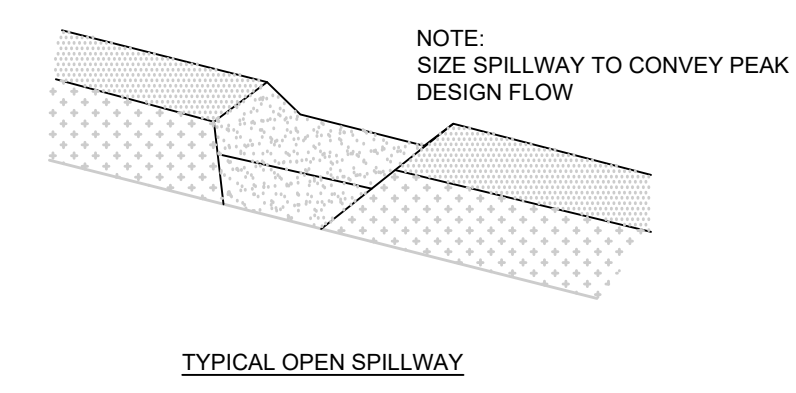
EROSION CONTROL PLAN

C7.0
OF

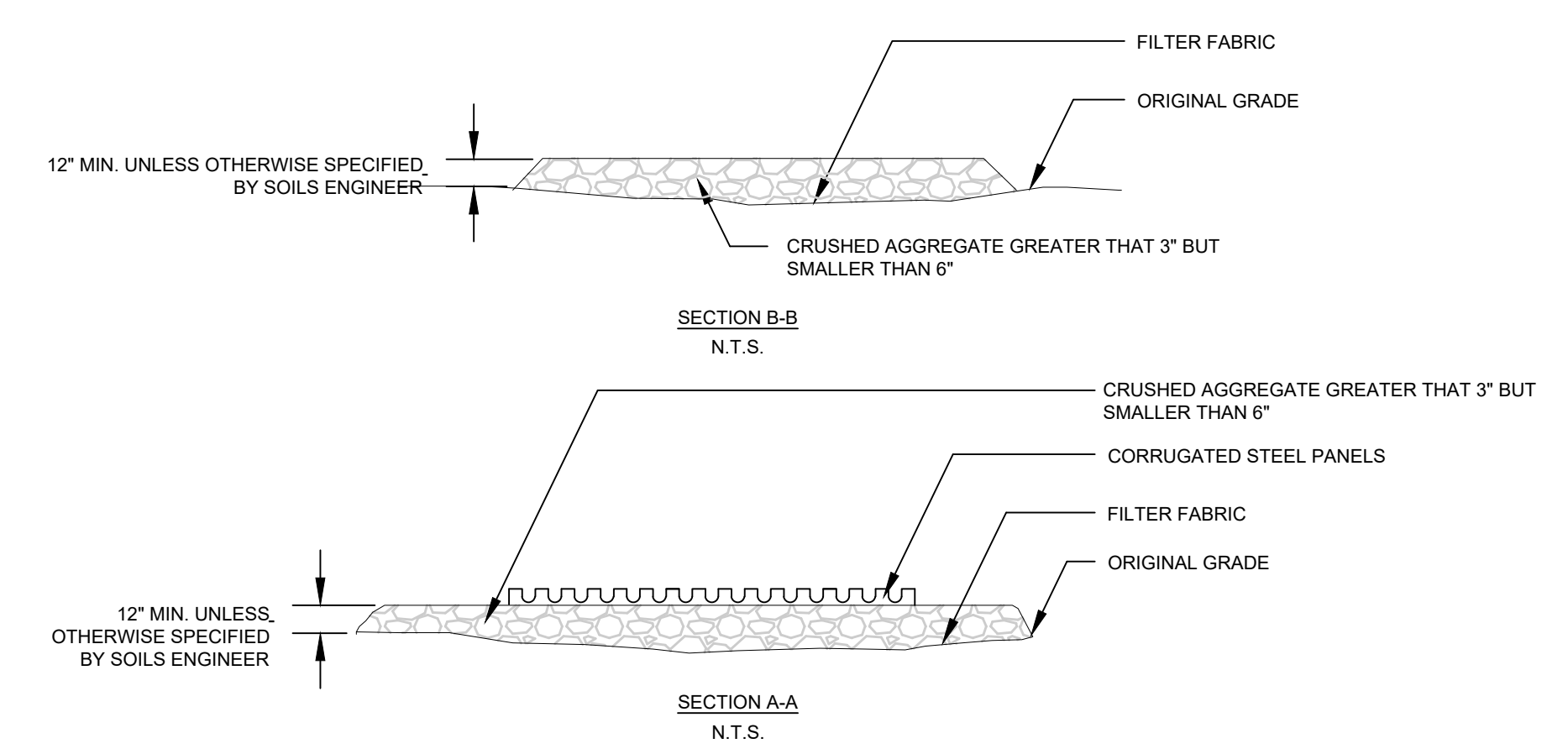
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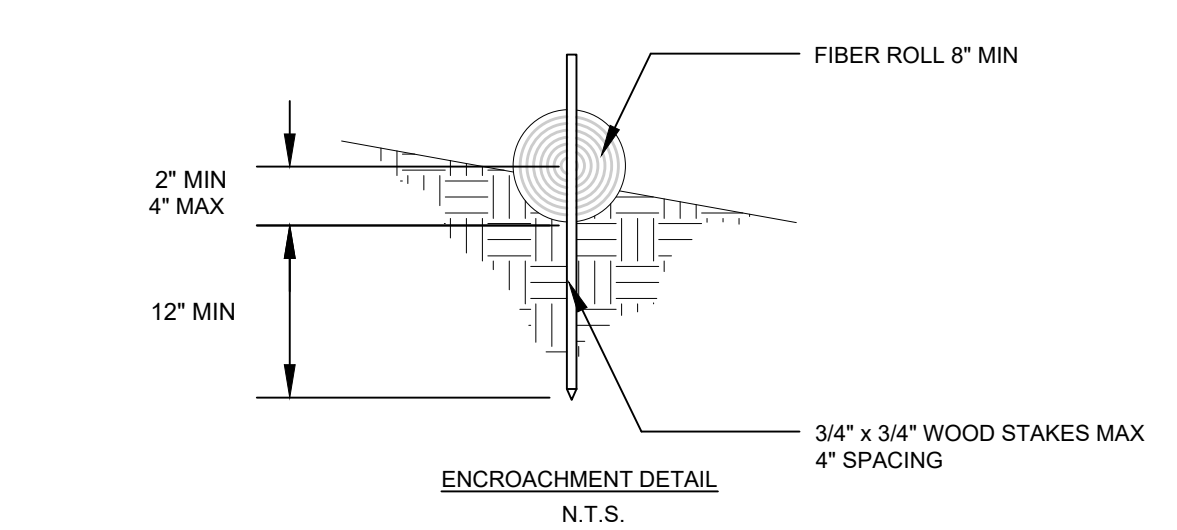
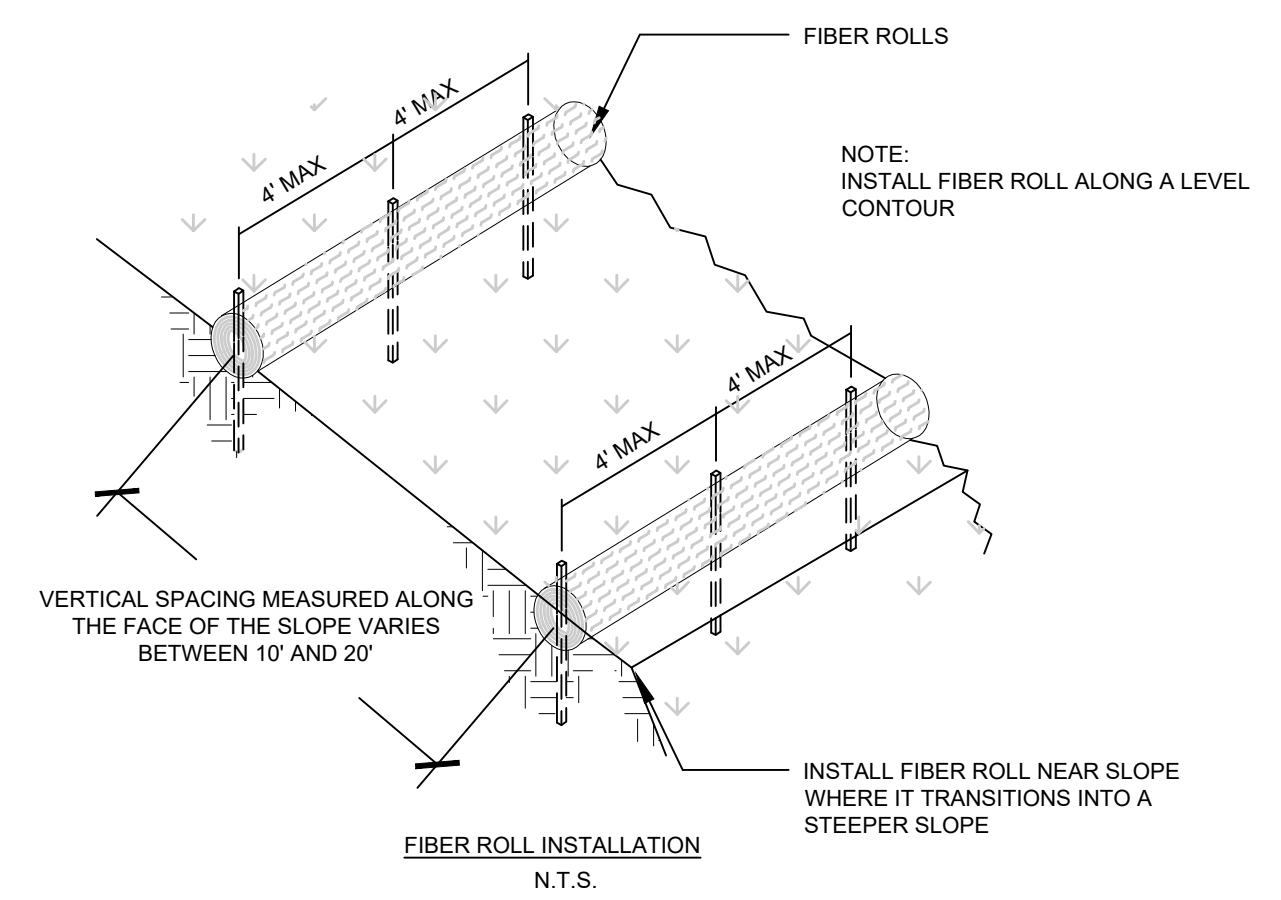
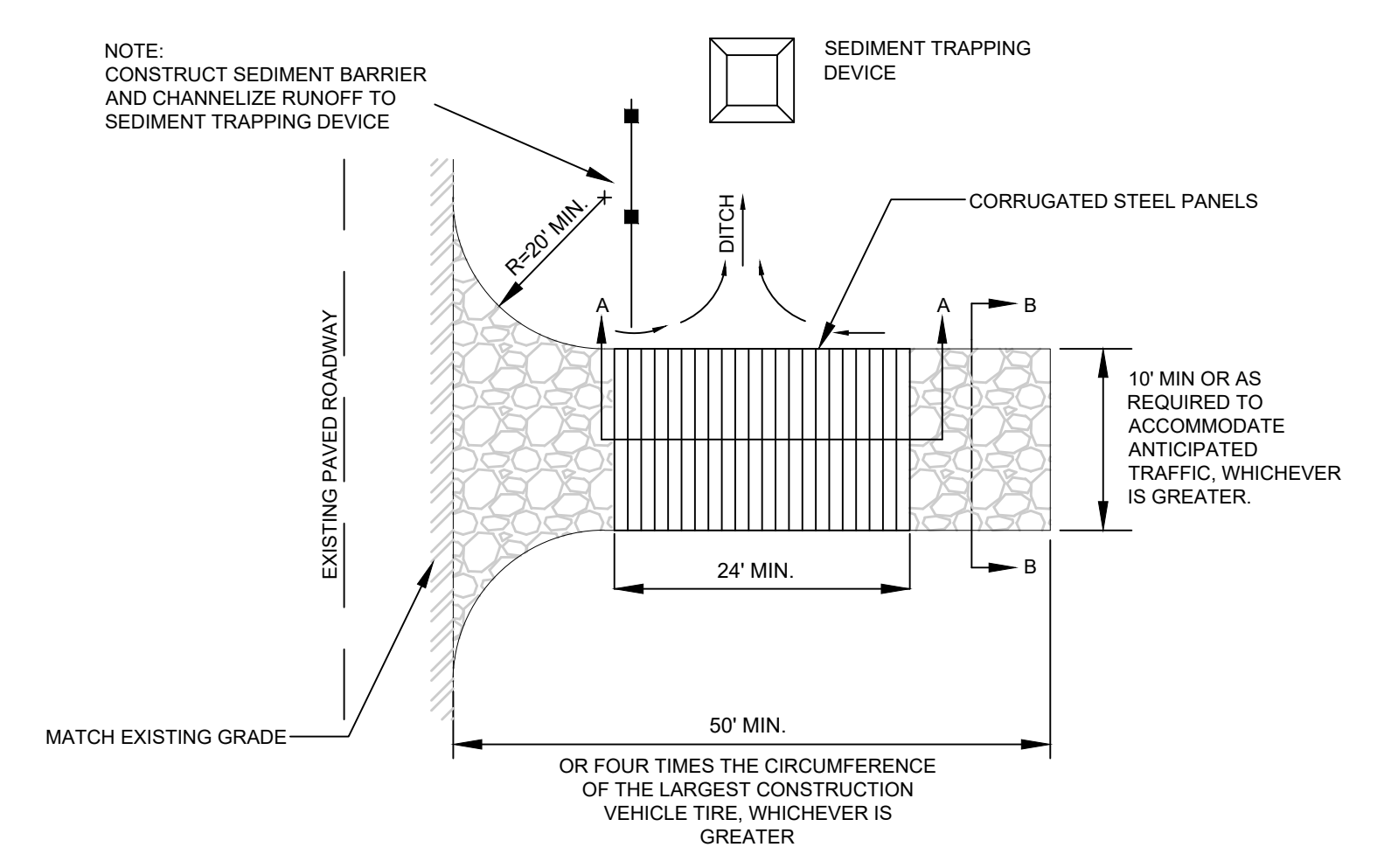
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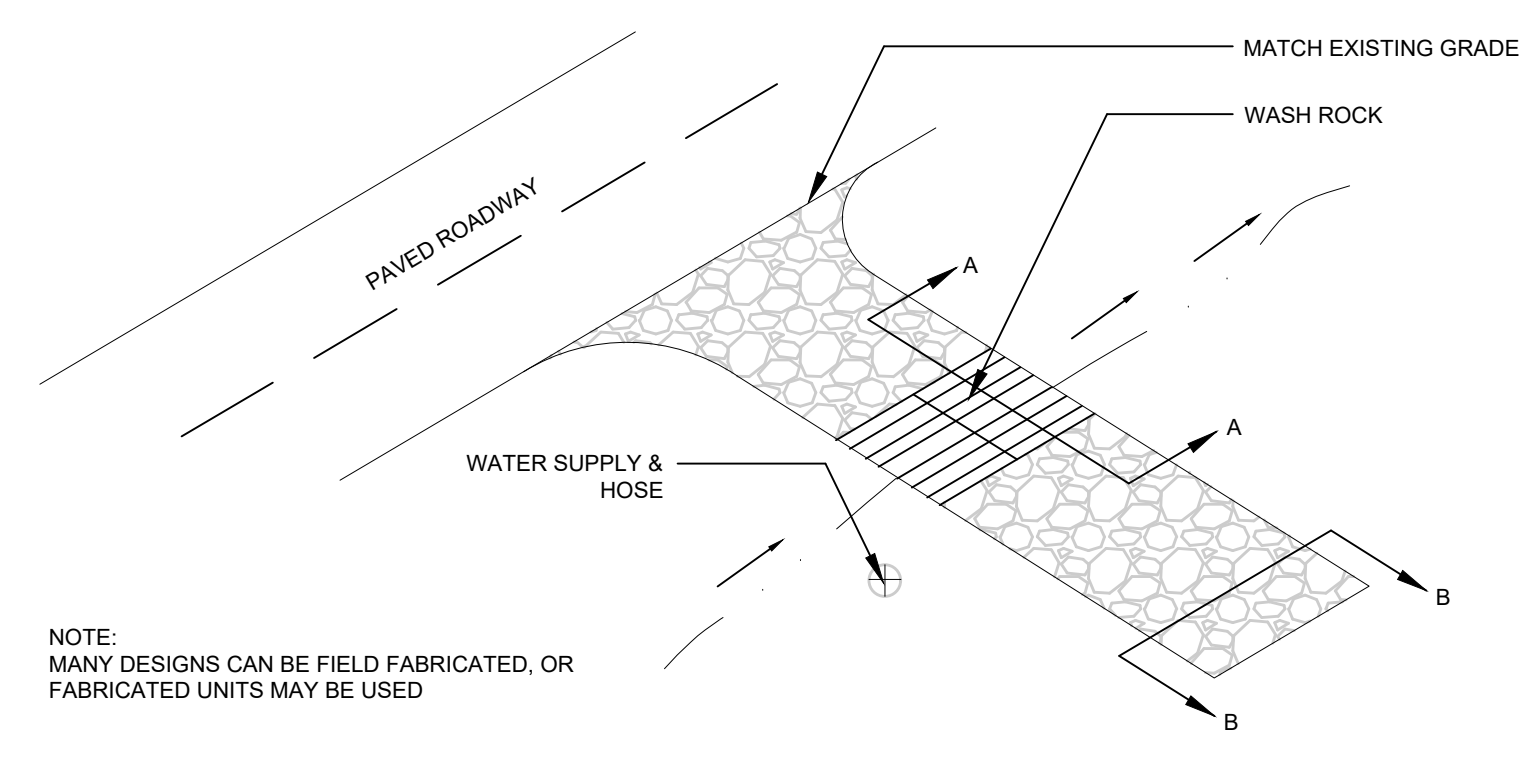
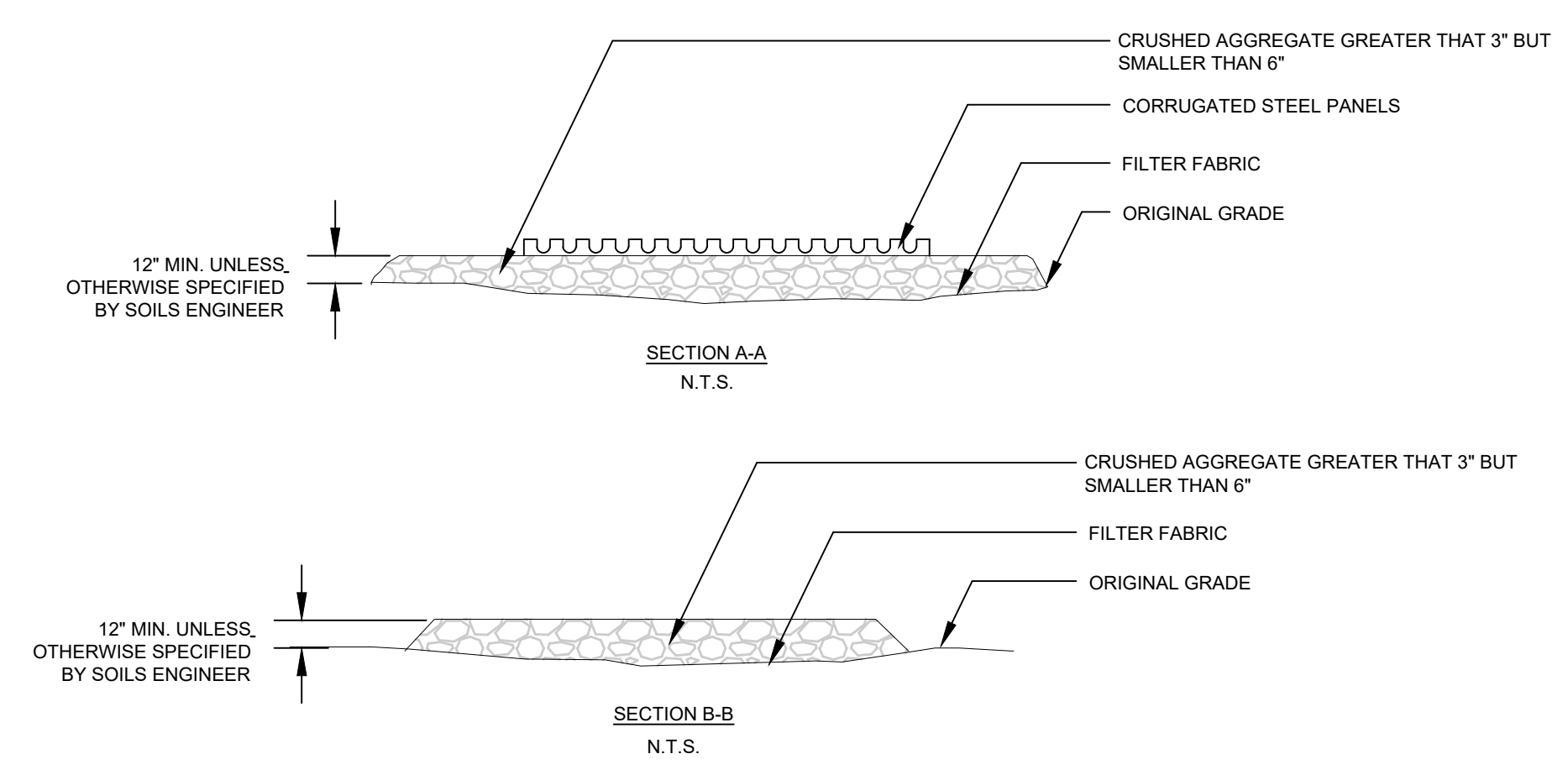
SE-3 SEDIMENT TRAP
 N.T.S.



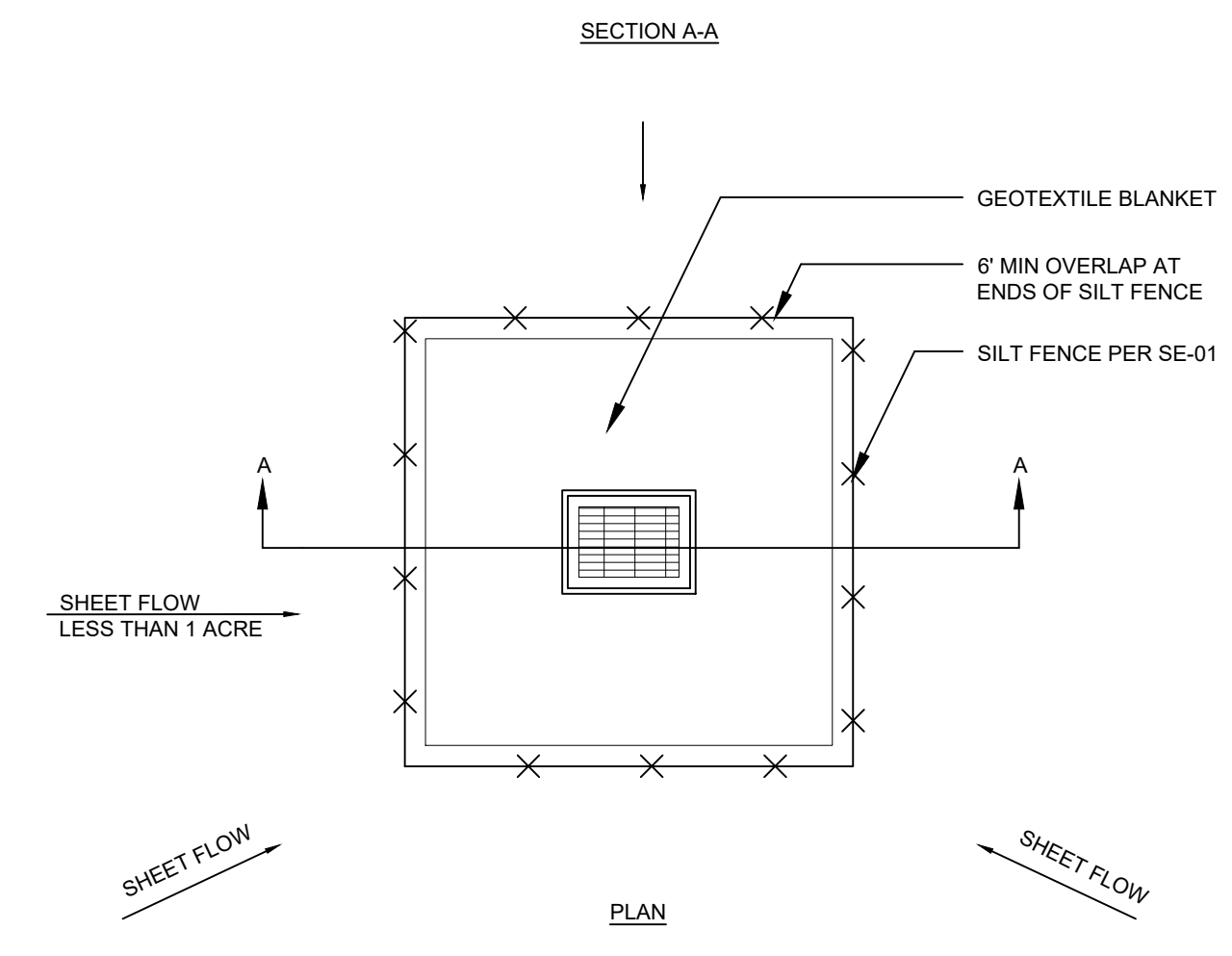
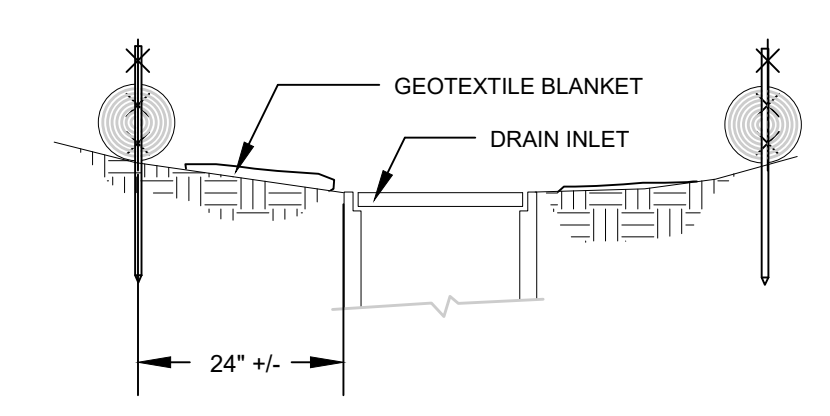
TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
 N.T.S.



SE-5 FIBER ROLLS
 N.T.S.

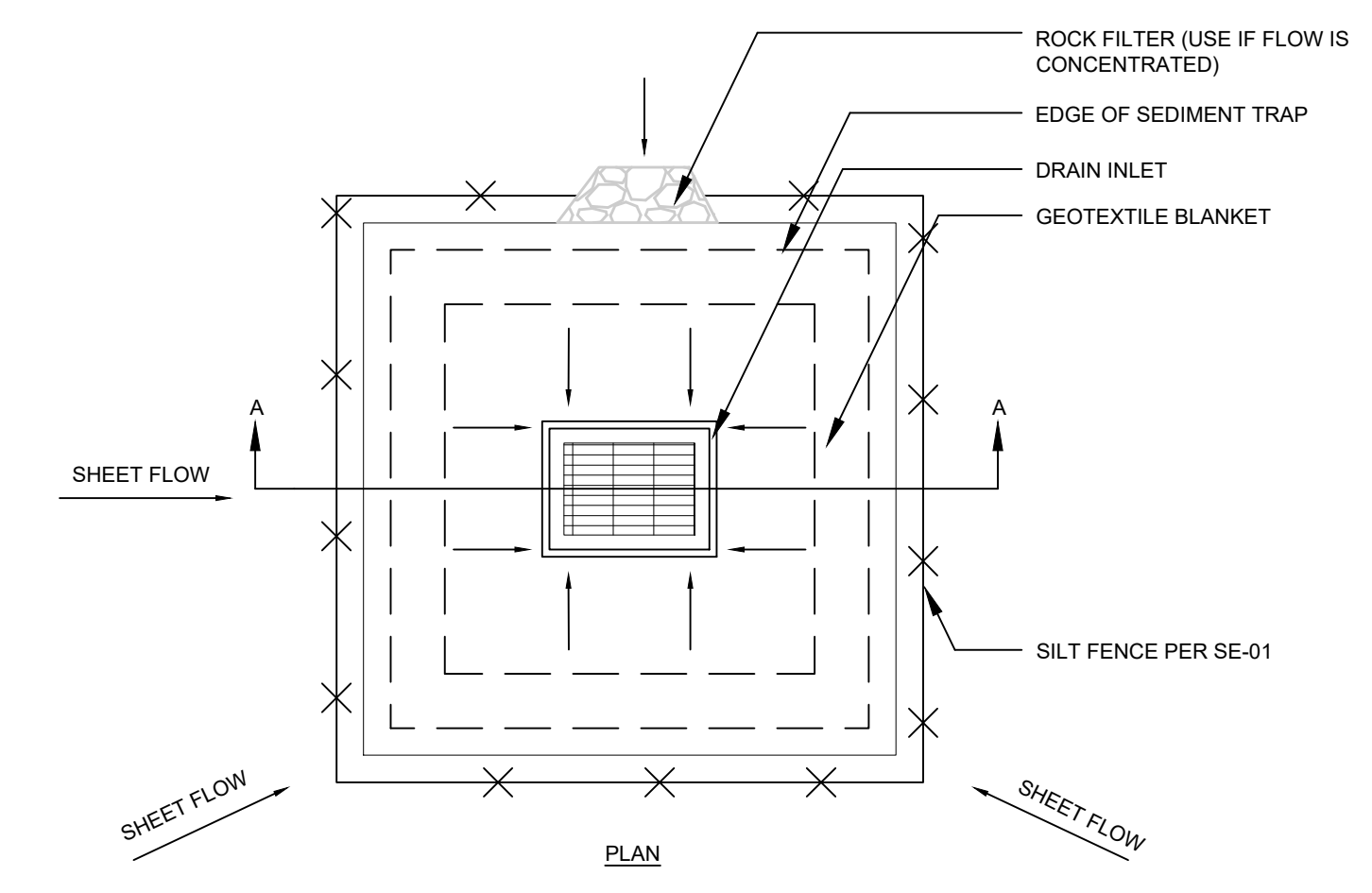
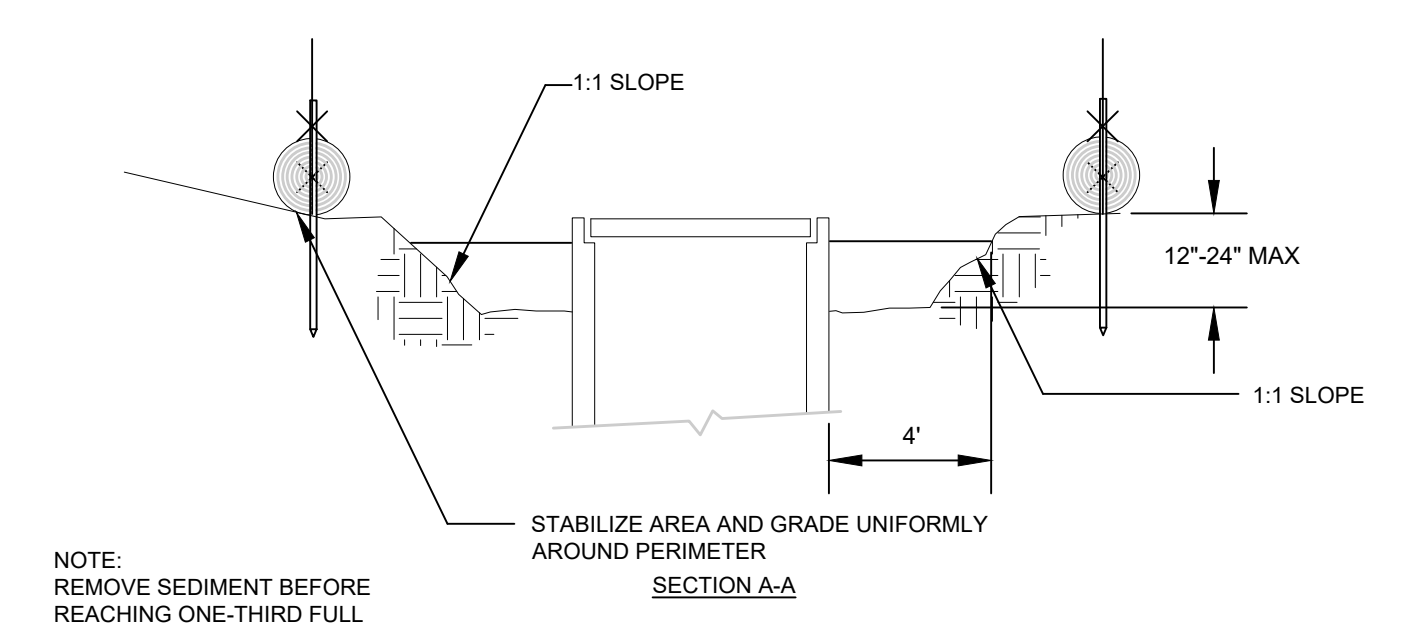


TC-3 ENTRANCE / OUTLET TIRE WASH
 N.T.S.



- NOTES:
 1. FOR USE IN AREAS WHERE GRADING HAS BEEN COMPLETED AND FINAL SOIL STABILIZATION AND SEEDING ARE PENDING SHAPE BASIN SO THAT LONGEST INFLOW AREA FACES LONGEST LENGTH OF TRAP
 2. NOT APPLICABLE IN PAVED AREAS
 3. NOT APPLICABLE WITH CONCENTRATED FLOWS

SE-10 STORM DRAIN INLET PROTECTION - TYPE 1
 N.T.S.



- NOTES:
 1. FOR USE IN CLEARED AND GRUBBED AND IN GRADED AREAS
 2. SHAPE BASIN SO THAT LONGEST INFLOW AREA FACES LONGEST LENGTH OF TRAP
 3. FOR CONCENTRATED FLOWS SHAPE BASIN IN 2:1 RATIO WITH LENGTH ORIENTED TOWARDS DIRECTION FLOW

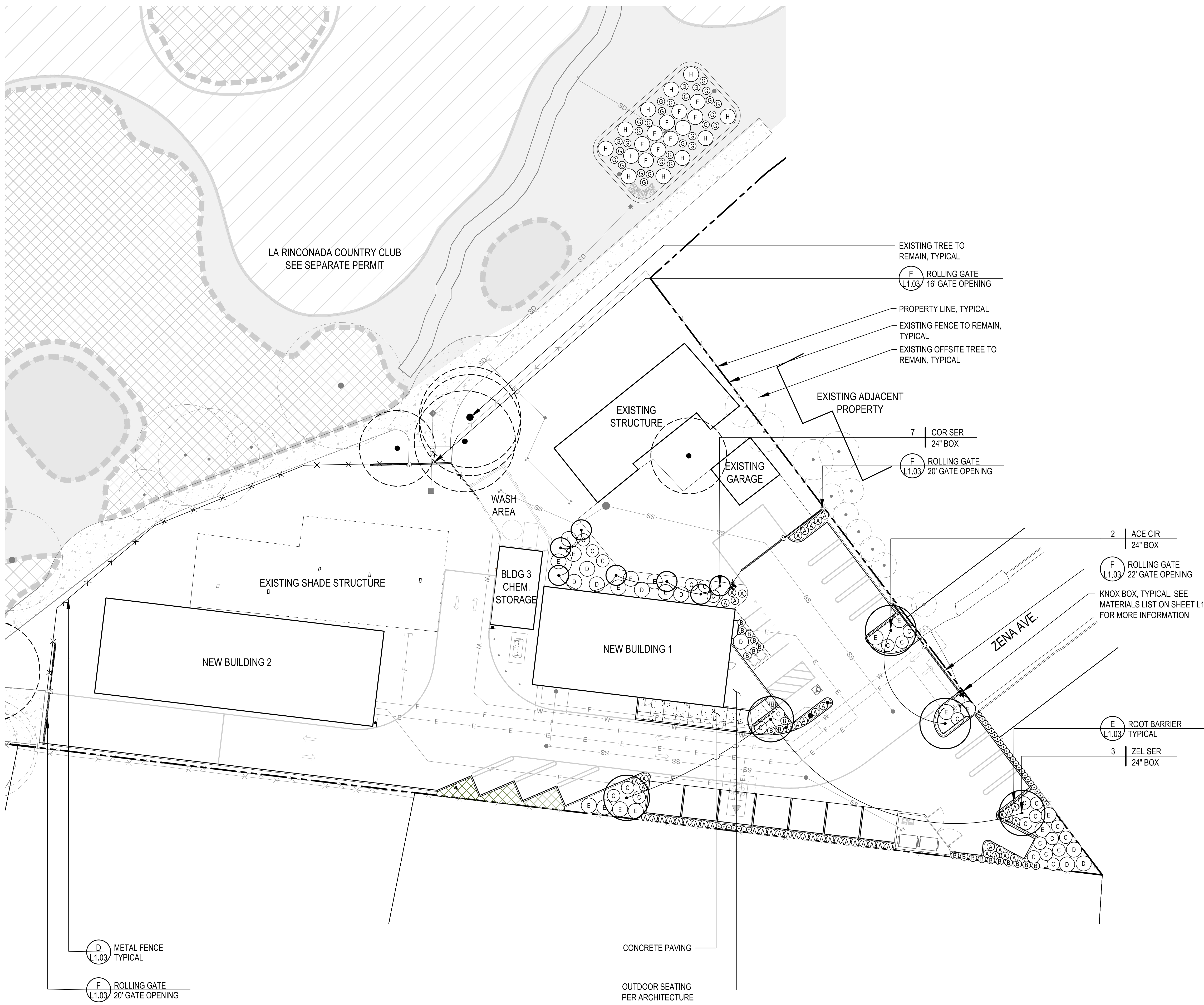
SE-10 STORM DRAIN INLET PROTECTION - TYPE 2
 N.T.S.

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CHECKED BY:	SEK	
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**EROSION CONTROL
 PLAN DETAILS**

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PROPOSED PLANT PALETTE	
SYMBOL	BOTANICAL NAME
TREES	
ACE CIR	ACER CIRCINATUM *
COR SER	CORNUS SERICEA *
ZEL SER	ZELKOVA SERRATA
SHRUBS	
(A)	BOUTELLOUA GRACILIS *
(B)	EPILOBIUM CANUM *
(C)	LOMANDRA LONGIFOLIA **
(D)	PHORMIUM TENAX **
(E)	SALVIA LEUCOPHYLLA *
GROUNDCOVERS	
(X)	BARK MULCH
(O)	ERIGERON GLAUCUS *
BIOTREATMENT	
(F)	CHONDROPETALUM ELEPHANTINUM **
(G)	JUNCUS PATENS *
(H)	STIPA PULCHRA *
LANDSCAPE NOTES:	
<ol style="list-style-type: none"> SEE SHEET L1.01 FOR LANDSCAPE PLAN. SEE SHEET L1.02 FOR PLANTING LEGEND AND NOTES. SEE SHEET L1.03 FOR LANDSCAPE DETAILS. SEE SHEET L1.04 FOR HYDROZONE PLAN. SEE SHEET L1.05 FOR IRRIGATION DETAILS. SEE SHEET T-1 FOR TREE MITIGATION PLAN. SEE SHEET T-2 FOR TREE PROTECTION NOTES, DEMOLITION NOTES, AND DETAIL. SEE SHEET T-3 FOR TREE LOCATION MAP, PROTECTION ZONE MAP, PROTECTION DETAILS, AND INVENTORY AND VALUATION APPRAISAL. 	

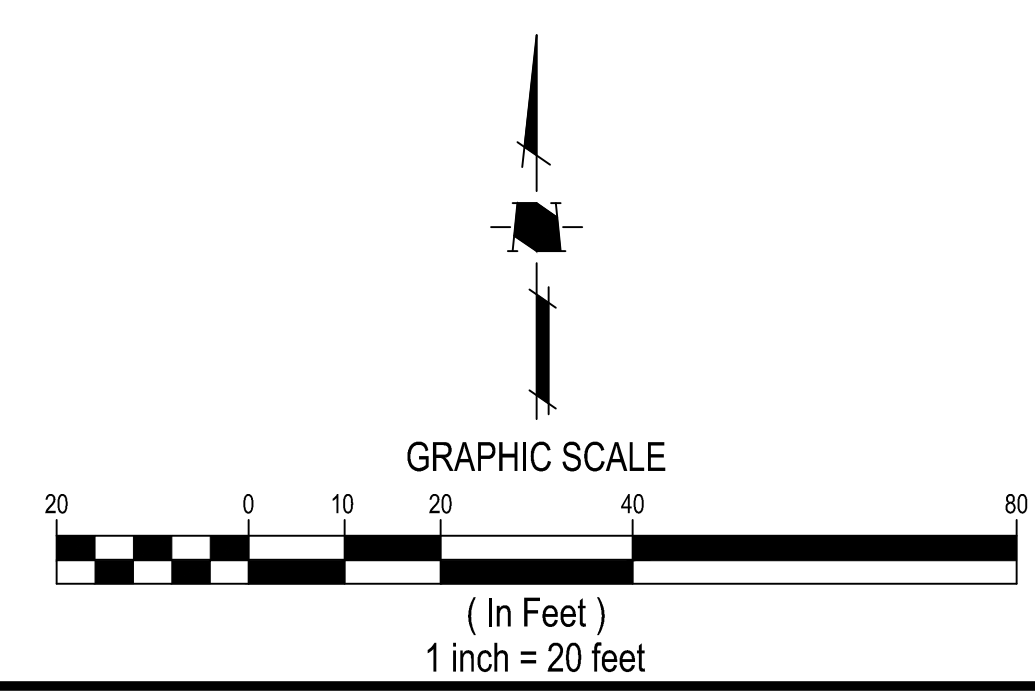


**LA RINCONADA COUNTRY CLUB
MAINTENANCE YARD
17445 ZENA AVE
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S-25-005**

NO	DATE	DESCRIPTION

PROJECT NO:	4545.02
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SCALE:	1" = 20'
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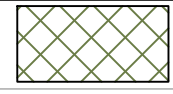
LANDSCAPE PLAN



L1.01

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PROPOSED PLANT PALETTE							
SYMBOL	BOTANICAL NAME	COMMON NAME	MINIMUM CONTAINER SIZE	HxW EXPECTED MATURE SIZE	WUCOLS	NOTES	OTHER FIRE RESISTANT PLANTS
TREES							
ACE CIR	ACER CIRCINATUM *	VINE MAPLE	24" BOX	20' X 20'	M	STANDARD FORM	
COR SER	CORNUS SERICEA *	RED OSIER DOGWOOD	24" BOX	9' X 8'	M	MULTI-TRUNK	
ZEL SER	ZELKOVA SERRATA	CITY SPRITE	24" BOX	24' X 18'	M	TREE FORM ONLY	
SHRUBS							
(A)	BOUTELOUA GRACILIS *	BLUE GRAMA	1 GALLON	3' X 3'	L		
(B)	EPILOBIUM CANUM *	CALIFORNIA FUCHSIA	1 GALLON	2' X 3'	L		
(C)	LOMANDRA LONGIFOLIA **	PLATINUM BEAUTY LOMANDRA	1 GALLON	3' X 5'	L		X
(D)	PHORMIUM TENAX **	NEW ZEALAND FLAX	1 GALLON	6' X 6'	L		
(E)	SALVIA LEUCOPHYLLA *	PURPLE SAGE	1 GALLON	3' X 6'	L		X
GROUNDCOVERS				SPREAD			
	BARK MULCH						
(O)	ERIGERON GLAUCUS *	WAYNE RODERICK	1 GALLON	1' X 2'	L		
BIOTREATMENT				SPREAD			
(F)	CHONDROPETALUM ELEPHANTINUM **	LARGE CAPE RUSH	1 GALLON	5' X 6'		BASIN / BANKS / UPLAND PLANTING ZONES	
(G)	JUNCUS PATENS *	CALIFORNIA GREY RUSH	1 GALLON	3' X 3'		BASIN / BANKS / UPLAND PLANTING ZONES	
(H)	STIPA PULCHRA *	PURPLE NEEDLEGRASS	1 GALLON	6' X 6'		BASIN / BANKS / UPLAND PLANTING ZONES	
NOTES: 1. * NATIVE PLANT 2. ** ADAPTIVE PLANT 3. PLANTING AREAS TO RECEIVE A 3" THICK LAYER OF BARK MULCH. 4. BIOTREATMENT PLANTING AREAS TO RECEIVE A 3" THICK LAYER OF NON-FLOATABLE BARK MULCH. 5. BIOTREATMENT PLANT SPECIES MEET PLANTING ZONE BASIN, BANKS, AND UPLAND REQUIREMENTS PER APPENDIX D OF THE SCVURPPP C.3 STORMWATER HANDBOOK. 6. TREE SPECIES TO BE APPROVED BY TOWN ARBORIST.							

PLANTING NOTES:

CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO FURNISH AND INSTALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND AS DESCRIBED IN THE SPECIFICATIONS.

UNLESS DESIGNATED ON THE DRAWINGS OTHERWISE, STRUCTURAL IMPROVEMENTS AND HARDSCAPE SHALL BE INSTALLED PRIOR TO PLANTING OPERATIONS.

PLANT LIST ON THE DRAWINGS SHALL BE USED AS A GUIDE ONLY. CONTRACTOR SHALL TAKEOFF AND VERIFY SIZES AND QUANTITIES BY PLAN CHECK.

A SOIL MANAGEMENT REPORT SHALL BE PROVIDED BY LANDSCAPE CONTRACTOR AND SOIL AMENDMENTS SHALL BE FOLLOWED PER THE REPORT. PHYSICAL COPIES OF THE SOIL MANAGEMENT REPORT SHALL BE PROVIDED TO THE CLIENT, PROJECT LANDSCAPE ARCHITECT AND LOCAL AGENCY AS REQUIRED. THE SOIL MANAGEMENT REPORT SHALL CONFORM TO STATE AB1881 WATER EFFICIENT LANDSCAPE ORDINANCE (WELO) OR LOCAL AGENCY ADOPTED WELO. CONTRACTOR SHALL OBTAIN A SOILS MANAGEMENT REPORT AFTER GRADING OPERATIONS AND PRIOR TO PLANT INSTALLATION.

SAMPLES OF FERTILIZERS, ORGANIC AMENDMENT, SOIL CONDITIONERS, AND SEED SHALL BE SUBMITTED PRIOR TO INCORPORATION. CONTRACTOR SHALL FURNISH TO THE OWNER'S AUTHORIZED REPRESENTATIVE A CERTIFICATE OF COMPLIANCE FOR SUCH FURNISHED MATERIALS.

ALL WORK ON THE IRRIGATION SYSTEM, INCLUDING HYDROSTATIC, COVERAGE, AND OPERATIONAL TESTS AND THE BACKFILLING AND COMPACTION OF TRENCHES SHALL BE PERFORMED PRIOR TO PLANTING OPERATIONS.

LOCATIONS OF PLANT MATERIAL SHALL BE REVIEWED ON SITE BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.

TREES SHALL BE PLANTED NO CLOSER THAN TEN FEET (10') FROM UTILITIES.

TREES PLANTED WITHIN FIVE FEET (5') OF HARDSCAPE OR STRUCTURES SHALL BE INSTALLED WITH A ROOT BARRIER AS APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. CONTRACTOR MUST CONTACT THE TOWN OF LOS GATOS ARBORIST TO VERIFY SPECIES (EVEN IF SHOWN ON THE PLANS), LOCATIONS, AND QUANTITIES OF ALL STREET TREES PRIOR TO ORDERING MATERIAL. IF STREET TREES ARE TO BE PLANTED IN TREE WELLS, FINAL LOCATION OF TREE WELLS SHALL BE DETERMINED BY THE ARBORIST PRIOR TO INSTALLATION OF SIDEWALK.

ALL PLANT MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1) FOR STANDARD FORM TREES, CALIPER SIZE SHALL BE MEASURED 6" ABOVE THE SOIL LINE FOR CALIPERS EQUAL TO OR LESS THAN 4" FOR CALIPERS GREATER THAN 4", CALIPER SHALL BE MEASURES 12" ABOVE THE SOIL LINE. FOR MULTI-TRUNK TREES THE CALIPER SHALL BE ESTABLISHED BY TAKING THE AVERAGE OF THE CALIPER OF THE TWO LARGEST TRUNKS. CALIPER IS MEASURED 6" ABOVE ORIGINATION POINT OF THE SECOND LARGEST TRUNK OR 6" ABOVE GROUND IF ALL TRUNKS ORIGINATE FROM THE SOIL.

CALIPER SIZES STANDARDS:
15 GALLON: 0.75-1.25"
24" BOX: 1.25-2"
36" BOX: 2-3.5"
48" BOX: 3.5-5"
60" BOX: 4-6"

WATER NEEDS CATEGORY BASED ON WUCOLS IV (JANUARY 2014)
LANDSCAPE COEFFICIENT METHOD:
CATEGORY PERCENTAGE OF ETO
(H) HIGH: 0.7-0.9 0.4-0.6
(M) MEDIUM: 0.1-0.3
(L) LOW: 0.1-0.3
(VL) VERY LOW: <0.1



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NO	DATE	DESCRIPTION

PROJECT NO:	4545.02
CAD DWG FILE:	454502CL.DWG
DESIGNED BY:	TC:KM
DRAWN BY:	TC:KA
CHECKED BY:	CM
DATE:	MARCH 4, 2026
SCALE:	NONE
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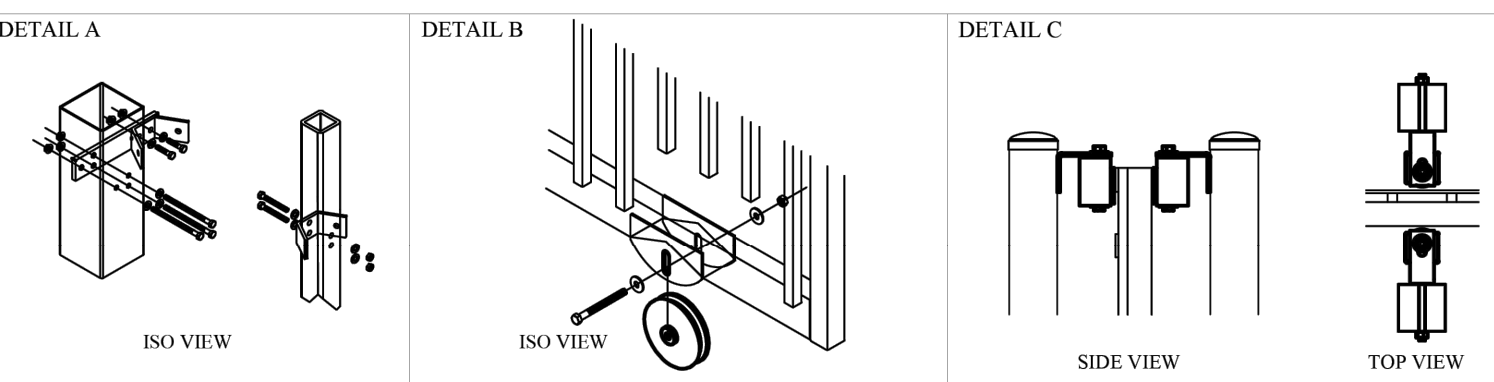
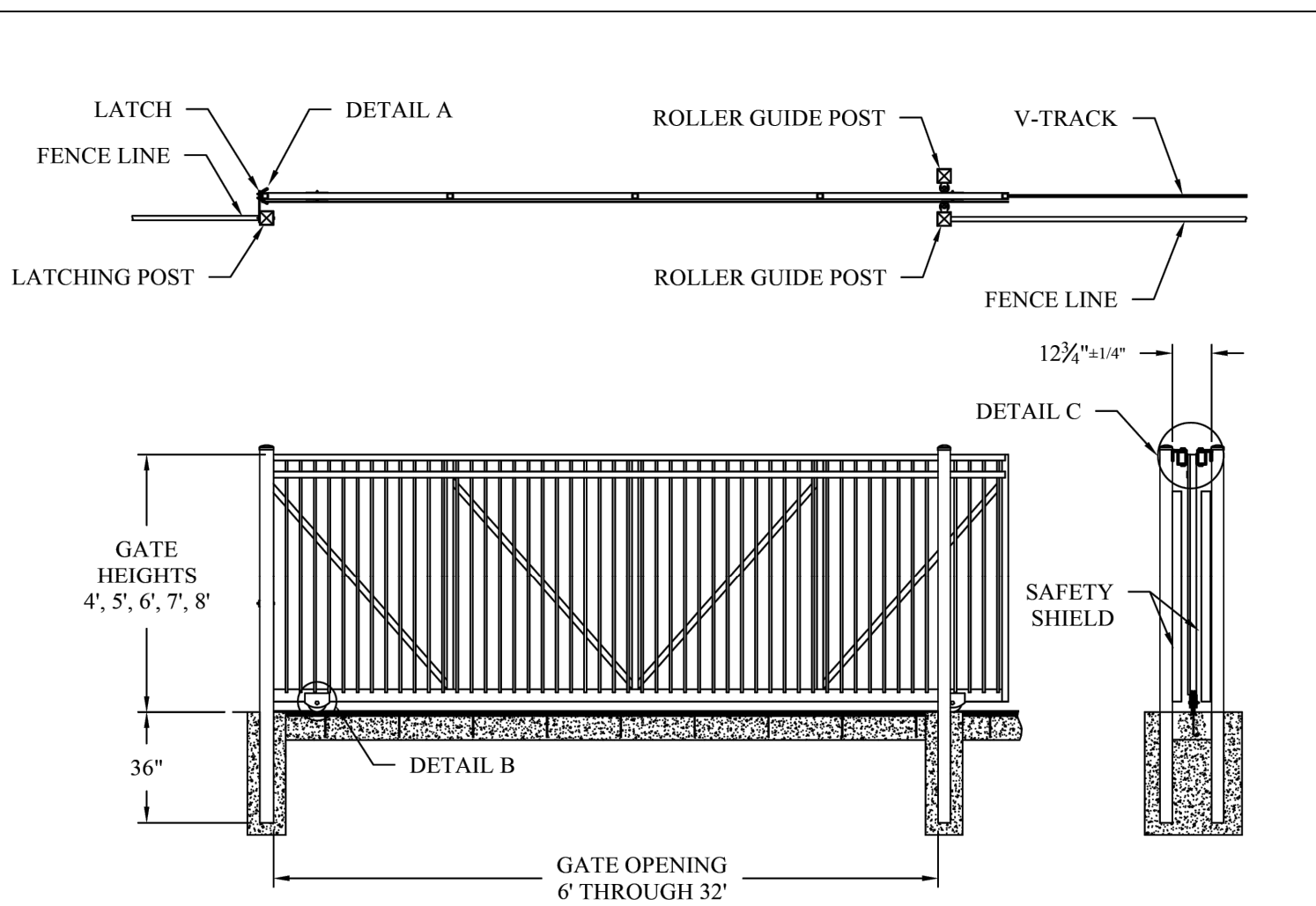
PLANTING LEGEND AND NOTES

L1.02

MATERIALS LIST

ROLLING GATE: SHALL BE PASSPORT COMMERCIAL ORNAMENTAL ROLL GATE BY AMERISTAR. INSTALL PER MANUFACTURER RECOMMENDATIONS. HEIGHT: 6'-0". STYLE: MAJESTIC, 3 RAIL PANELS, 4" STANDARD PICKET AIRSPACE, NON-CLIMBABLE. COLOR BLACK.

KNOX BOX: SHALL BE KNOX KNOXBOX 3200. INSTALL PER MANUFACTURER RECOMMENDATIONS. COLOR BLACK, SURFACE MOUNT, NO TAMPER SWITCH TYPE.



PassPort® Commercial Ornamental Roll Gate

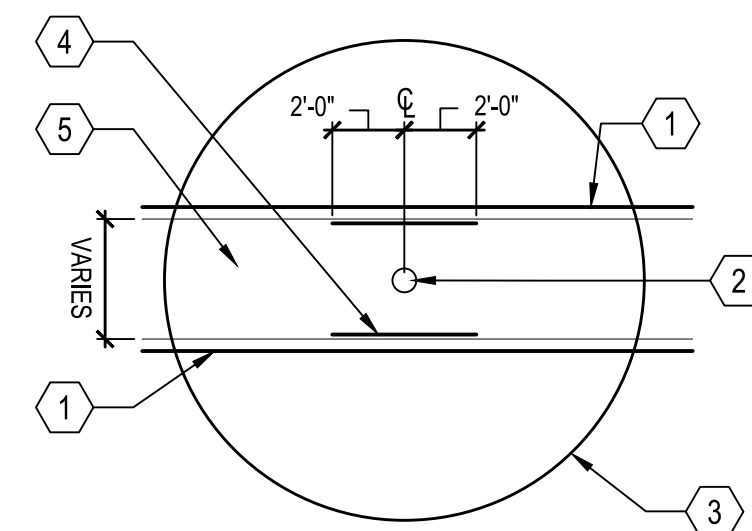
Ornamental Pickets: 1/2" Square
 Top Rail(s), Uprights and Diagonals Braces: 2" Square
 Bottom Rail: 2" x 4" (Notched & Plated for V-track Wheels)
 Roll Gate Hardware: Kit #PGKOD
 Available in Profiles of 2-Rail, 3-Rail, & 3-Rail w/Rings

PASSPORT MAJESTIC COMMERCIAL ROLL GATE		1555 N. Mingo Tulsa, OK 74116 1-888-333-3422 www.ameristarfence.com
DWN: LJM	SH: 1 of 1	SCALE: DO NOT SCALE
ECR: PA180108	Date: 10/12/18	REV: E

F ROLLING GATE
SCALE: N.T.S.

NOTES:
 1. ROOT CONTROL BARRIER SHALL BE USED WHEN TREE IS LOCATED 10' OR LESS FROM WATER, STORM, AND SEWER UTILITIES.
 2. INSTALL AN 18" DEEP 'DEEP ROOT' CONTROL BARRIER AT EDGE OF SIDEWALK.
 3. INSTALL A 24" DEEP 'DEEP ROOT' CONTROL BARRIER AT BACK OF CURB OR INSTALL A 36" DEEP 'DEEP ROOT' CONTROL BARRIER AT BACK OF CURB WHEN WITHIN 6' FROM WATER AND SEWER LATERAL LINES.
 4. NO ROOT CONTROL BARRIERS SHALL BE WITHIN 5' FROM WATER AND SEWER LINES.

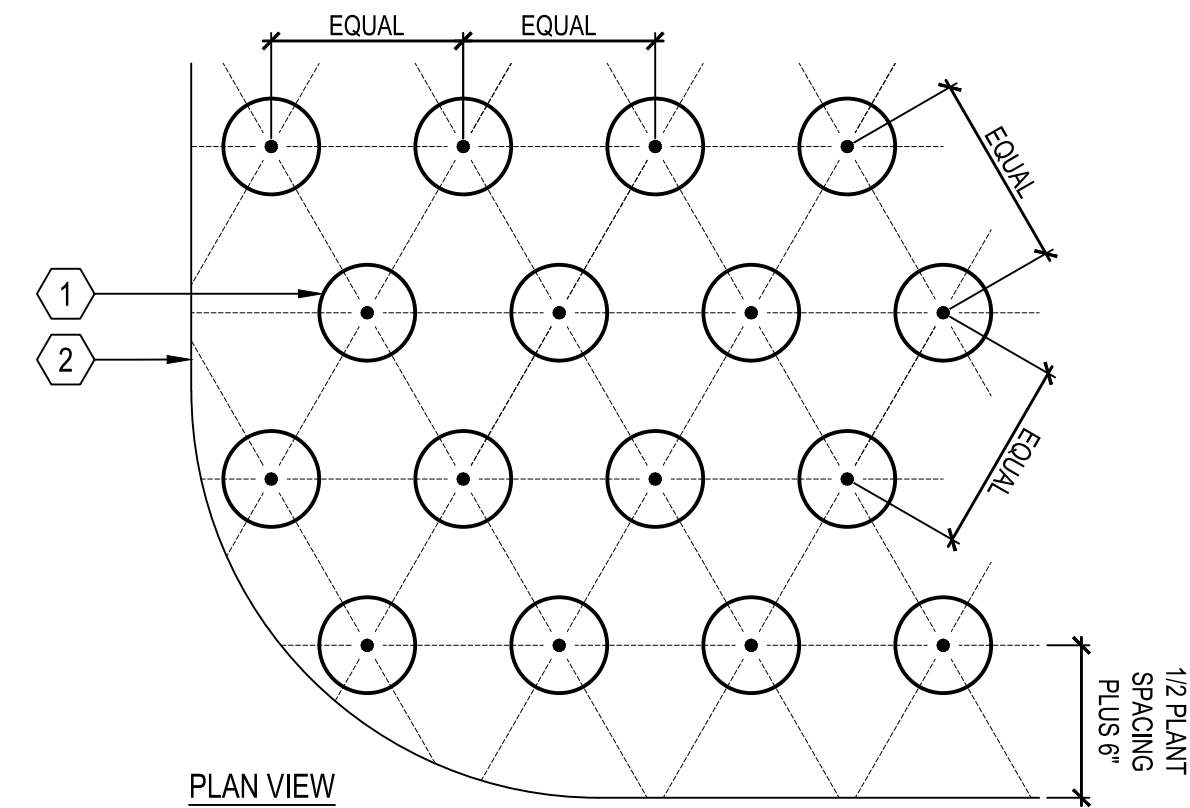
- 1 HARDSCAPE EDGE. SEE PLANS.
- 2 TREE TRUNK
- 3 TREE CANOPY
- 4 ROOT BARRIER
- 5 PLANTER AREA



E ROOT BARRIER
SCALE: N.T.S.

NOTES:
 1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 2. SPACING SHALL BE TRIANGULATED UNLESS OTHERWISE NOTED.
 3. INFILL PLANTS AS REQUIRED TO MAINTAIN SPACING AT IRREGULAR EDGES.

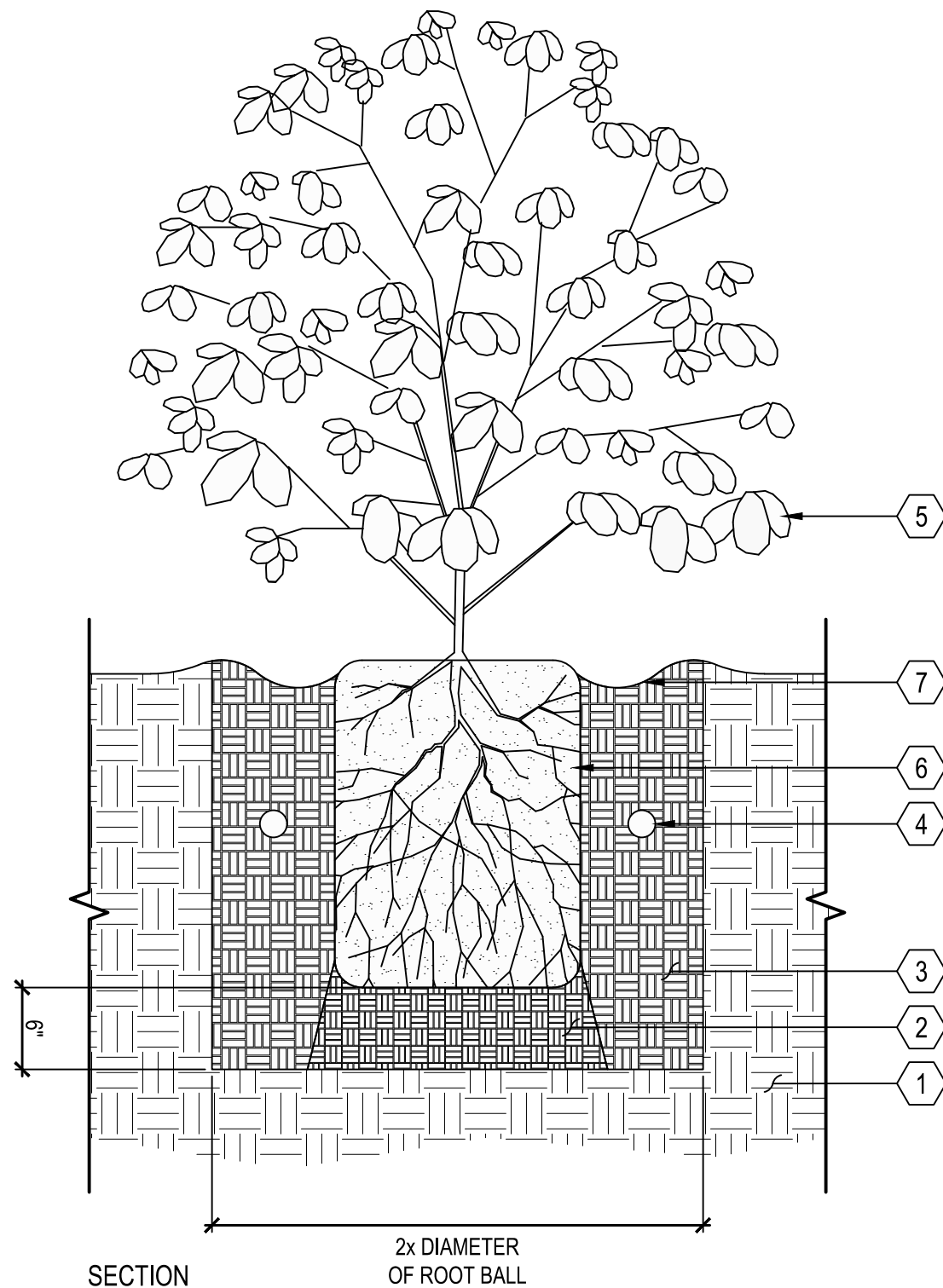
- 1 PLANT, SPACING VARIES, SEE PLANTING LEGEND
- 2 EDGE OF PLANTING AREA



C GROUNDCOVER
SCALE: 1" = 1'-0"

NOTES:
 1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 2. ROOT BALL CROWN SHALL EXTEND 1" ABOVE FINISH GRADE.

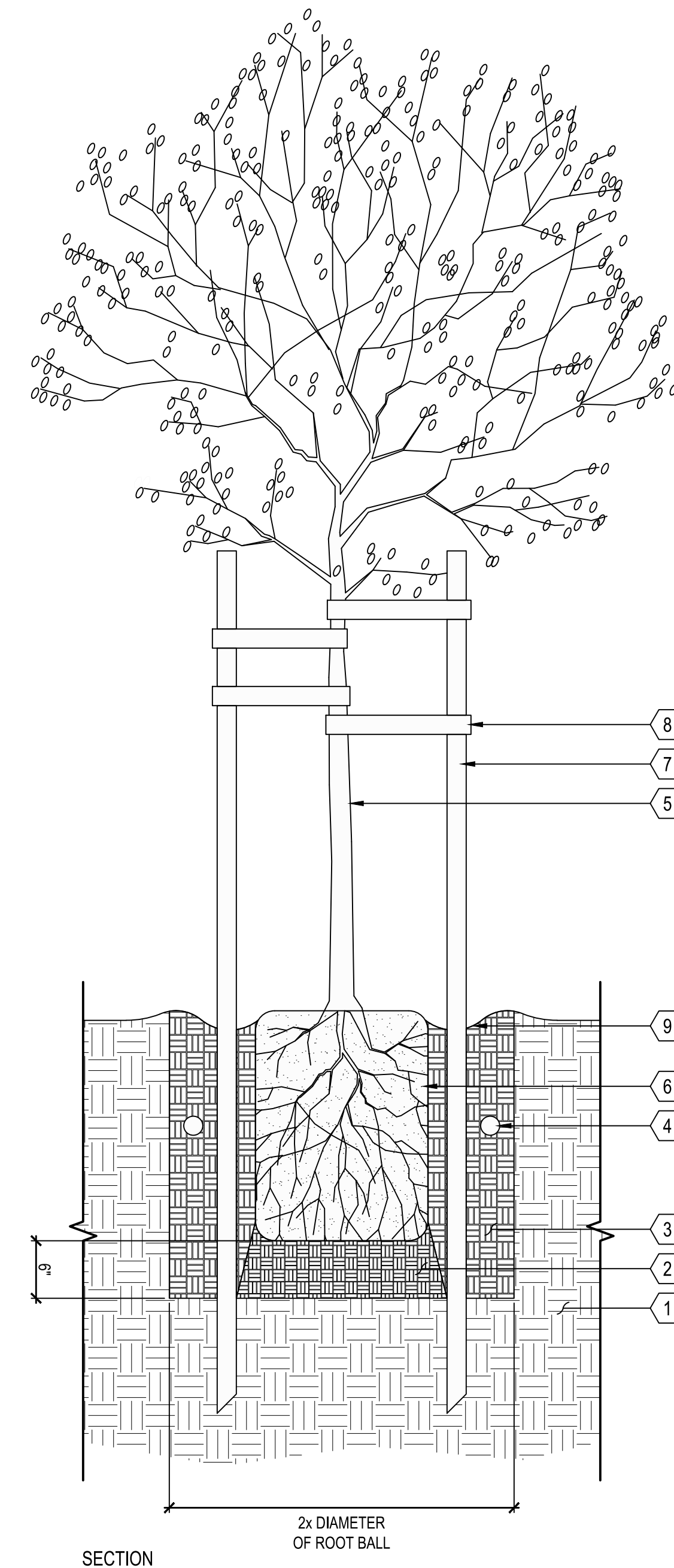
- 1 NATIVE GRADE
- 2 FOOT TAMP BASE
- 3 BACKFILL, PUDDLE AND SETTLE PRIOR TO PLANTING SHRUB
- 4 AGRIFORM PLANT TABLETS, 3 PER SHRUB
- 5 SHRUB
- 6 ROOT BALL
- 7 2" DEEP BASIN AROUND ROOT BALL



B SHRUB
SCALE: 1" = 1'-0"

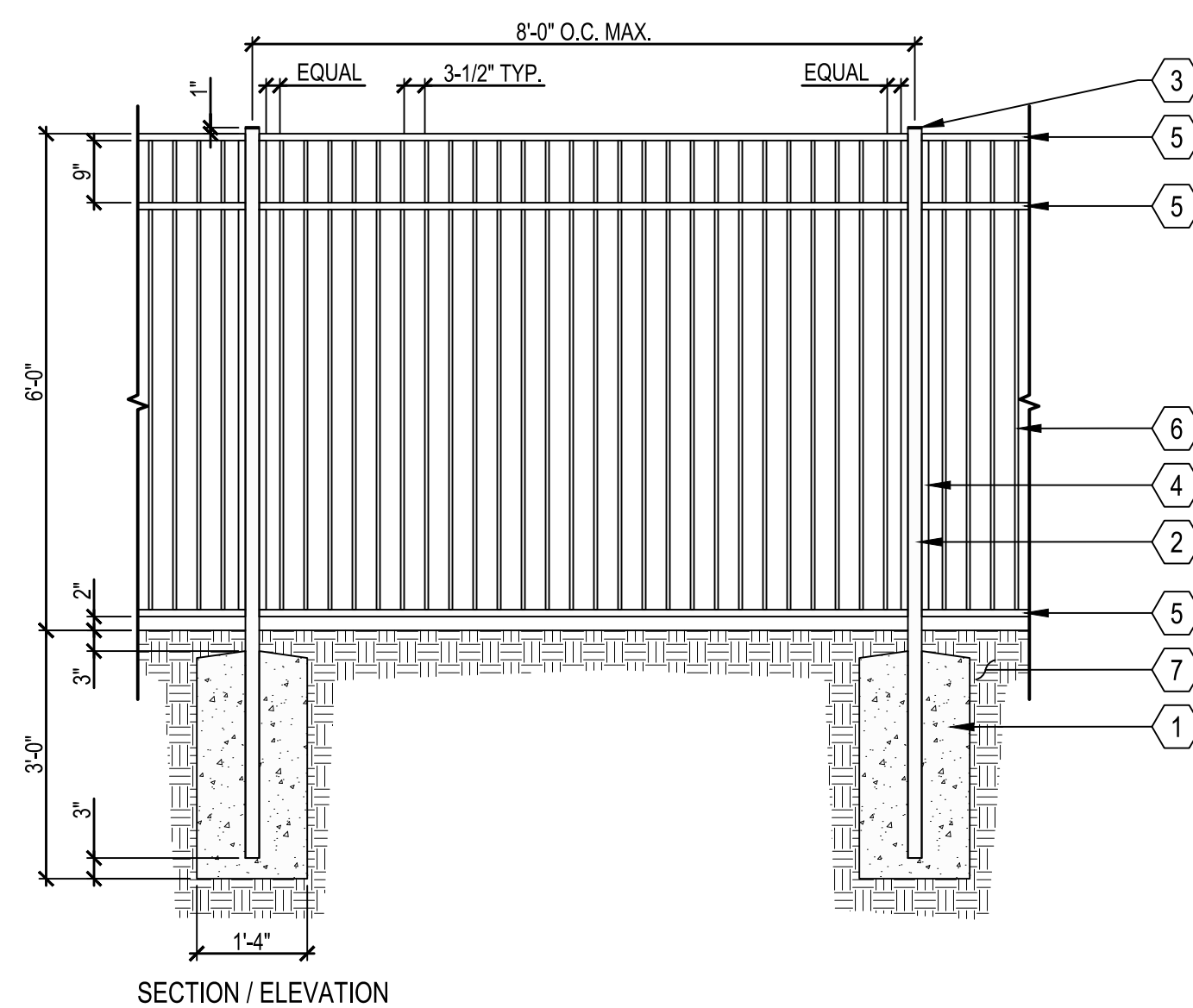
NOTES:
 1. SEE PLANTING SPECIFICATIONS PRIOR TO INSTALLATION OF PLANT MATERIALS.
 2. ROOT BALL CROWN SHALL EXTEND 1" ABOVE FINISH GRADE.
 3. TREE INSTALLED IN TURF AREAS SHALL BE INSTALLED WITH 'ARBOR-GUARD' AT BASE OF TRUNK.

- 1 NATIVE GRADE
- 2 FOOT TAMP BASE
- 3 BACKFILL, PUDDLE AND SETTLE PRIOR TO PLANTING TREE
- 4 AGRIFORM PLANT TABLETS, 3 PER 15 GALLON, 6 PER 24" BOX, AND 8 FOR 36" BOX
- 5 TREE
- 6 ROOT BALL
- 7 PINE LODGE POLE STAKE, 2" DIAMETER, PLACED ON WINDWARD SIDES OF TREE AND OUTSIDE OF ROOT BALL
- 8 CINCH TIE
- 9 2" DEEP BASIN AROUND ROOT BALL, TREES PLANTED IN TURF SHALL NOT HAVE BASINS



A TREE
SCALE: 1" = 1'-0"

NOTES:
 1. SEE MATERIALS LIST FOR COLOR, TYPE, AND FINISH.
 2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL BY THE LANDSCAPE ARCHITECT.
 3. ALL METAL SURFACES INVOLVED SHALL BE THOROUGHLY CLEANED PRIOR TO APPLICATION OF PAINT OR OTHER SURFACE TREATMENTS.
 4. ALL METAL PARTS SHALL BE PRIMED WITH TWO (2) COATS OF 'RUSTOLEUM' OR APPROVED EQUAL, AND RECEIVE TWO (2) COATS OF FLAT BLACK PAINT.
 5. ALL WELDS SHALL BE CLEANED WITH NO SHARP END EDGES, OR BURRS AND SHALL BE GROUND FOR SMOOTHNESS.



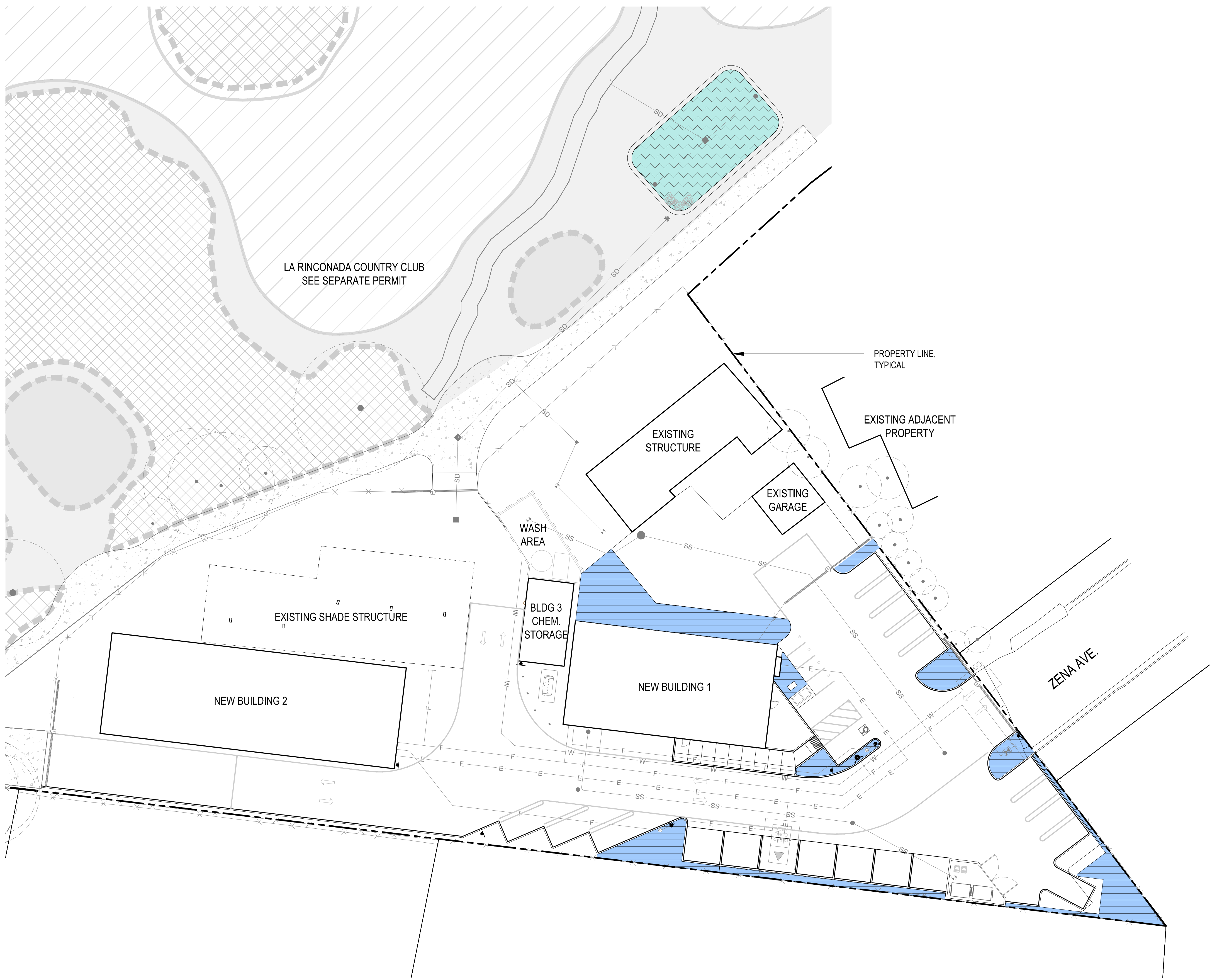
- 1 CONCRETE FOOTING. SLOPE TOP OF FOOTING TO DRAIN AWAY FROM POST
- 2 2x2 TUBULAR STEEL POST
- 3 STEEL POST CAP, FULLY WELDED TO POST
- 4 1x1-1/2 TUBULAR STEEL FRAME
- 5 1x1-1/2 TUBULAR STEEL TOP, MIDDLE, AND BOTTOM RAIL
- 6 1/2x1/2 SOLID STEEL PICKET
- 7 NATIVE GRADE

D METAL FENCE
SCALE: 1/2" = 1'-0"

NO	DATE	DESCRIPTION

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SCALE:	AS NOTED

LANDSCAPE DETAILS AND MATERIALS LIST



HYDROZONE LEGEND DESCRIPTION	SYMBOL
LOW VOLUME BUBBLERS AND DRIP FOR ON-SITE TREES, SHRUBS AND GROUNDCOVER	
DRIP IRRIGATION FOR LOW WATER USE BIOTREATMENT AREAS	

Land Use Entitlements
Land Planning
Landscape Architecture
Civil Engineering
Utility Design
Land Surveying
Stormwater Compliance

1570 Oakland Road (408) 487-2200
San Jose, CA 95131 HMHca.com

- IRRIGATION DESIGN CRITERIA**
- FINAL DESIGN SHALL CONFORM TO AB1881 OR CITY ADOPTED WATER EFFICIENT LANDSCAPE ORDINANCE.
 - ALL PLANTING AREAS SHOWN WILL BE COMMONLY MAINTAINED BY THE OWNER AND IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.
 - IRRIGATION SYSTEMS WILL BE PERMANENT BELOW GROUND AUTOMATED SYSTEMS ADEQUATE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. THESE SYSTEMS WILL BE INSTALLED AS SOON AS PRACTICAL AFTER GRADING AND PRIOR TO PLANT MATERIAL INSTALLATION AND HYDROSEEDING.
 - ALL TURF, TREE, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED BY A PERMANENT, AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. ALL SPRAY AREAS WILL BE IRRIGATED BY HIGH EFFICIENCY MATCHED PRECIPITATION RATE POP-UP SPRAY HEADS. TURF, TREE, SHRUB, AND GROUND COVER AREAS SHALL BE ON SEPARATE VALVES ACCORDING TO PLANT WATER REQUIREMENTS AND EXPOSURE.
 - ALL IRRIGATION SYSTEMS SHALL BE DESIGNED, MAINTAINED AND MANAGED TO MEET OR EXCEED MINIMUM EFFICIENCY.
 - ALL IRRIGATION EQUIPMENT SHALL BE SCREENED APPROPRIATELY FROM VIEW IN PUBLIC AREAS TO THE MAXIMUM EXTENT POSSIBLE.
 - THE FINAL IRRIGATION PLAN SHALL ACCURATELY AND CLEARLY IDENTIFY:
 - LOCATIONS AND SIZES OF WATER POINTS OF CONNECTION.
 - LOCATION, TYPE AND SIZE OF ALL COMPONENTS OF THE IRRIGATION SYSTEM, INCLUDING AUTOMATIC CONTROLLERS, MAIN AND LATERAL LINES, VALVES, SPRINKLER HEADS, RAIN SWITCHES, AND QUICK COUPLERS.
 - STATIC WATER PRESSURE AT THE POINTS OF CONNECTION.
 - FLOW RATE (GALLONS PER MINUTE), REMOTE CONTROL VALVE SIZE, AND DESIGN OPERATING PRESSURE (PSI) FOR EACH STATION.
 - HYDROZONE INFORMATION TABLE.
 - WATER USE CALCULATIONS.
 - A NEW IRRIGATION WATER METER SHALL BE INSTALLED AS PART OF LANDSCAPE IMPROVEMENTS, LOCATION TO BE DETERMINED.
 - PUBLIC PLANTED TCM'S SHALL HAVE THEIR OWN AND DISTINCT IRRIGATION SERVICE SEPARATE FROM THE ON-SITE. STREET TREES SHALL BE IRRIGATED FROM ON-SITE SOURCE.
 - THIS PROJECT IS NOT A PART OF THE SOUTH BAY WATER RECYCLING PROGRAM. POTABLE WATER WILL BE USED FOR IRRIGATION.

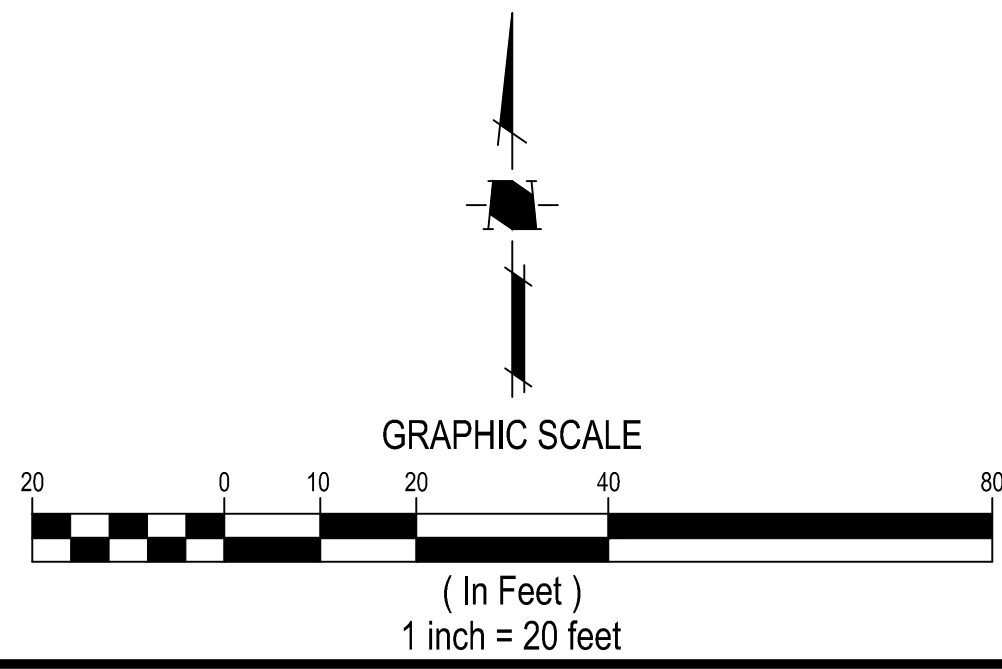
- LANDSCAPE NOTES:**
- SEE SHEET L1.01 FOR LANDSCAPE PLAN.
 - SEE SHEET L1.02 FOR PLANTING LEGEND AND NOTES.
 - SEE SHEET L1.03 FOR LANDSCAPE DETAILS.
 - SEE SHEET L1.04 FOR HYDROZONE PLAN.
 - SEE SHEET L1.05 FOR IRRIGATION DETAILS.
 - SEE SHEET T-1 FOR TREE MITIGATION PLAN.
 - SEE SHEET T-2 FOR TREE PROTECTION NOTES, DEMOLITION NOTES, AND DETAIL.
 - SEE SHEET T-3 FOR TREE LOCATION MAP, PROTECTION ZONE MAP, PROTECTION DETAILS, AND INVENTORY AND VALUATION APPRAISAL.

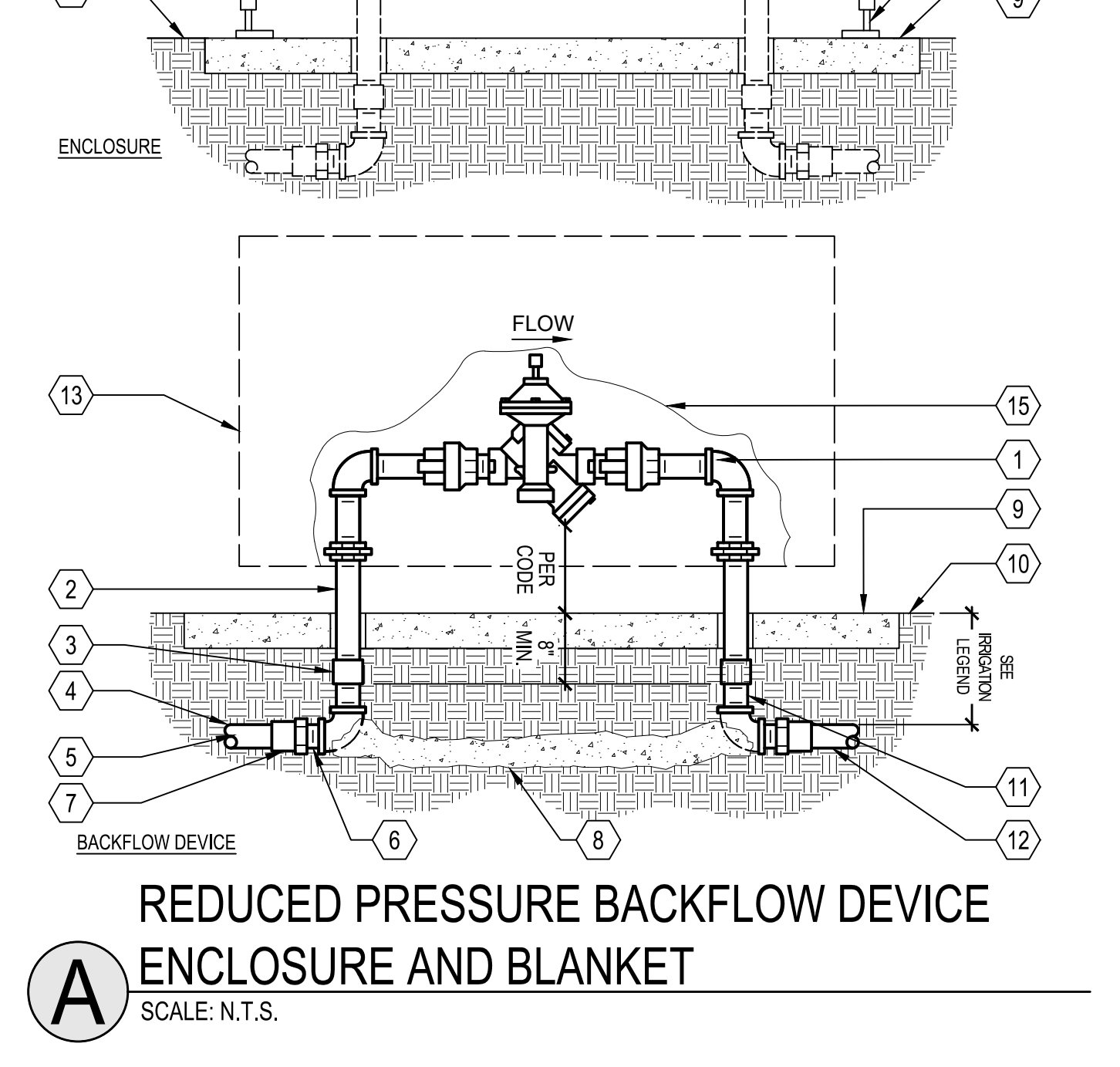
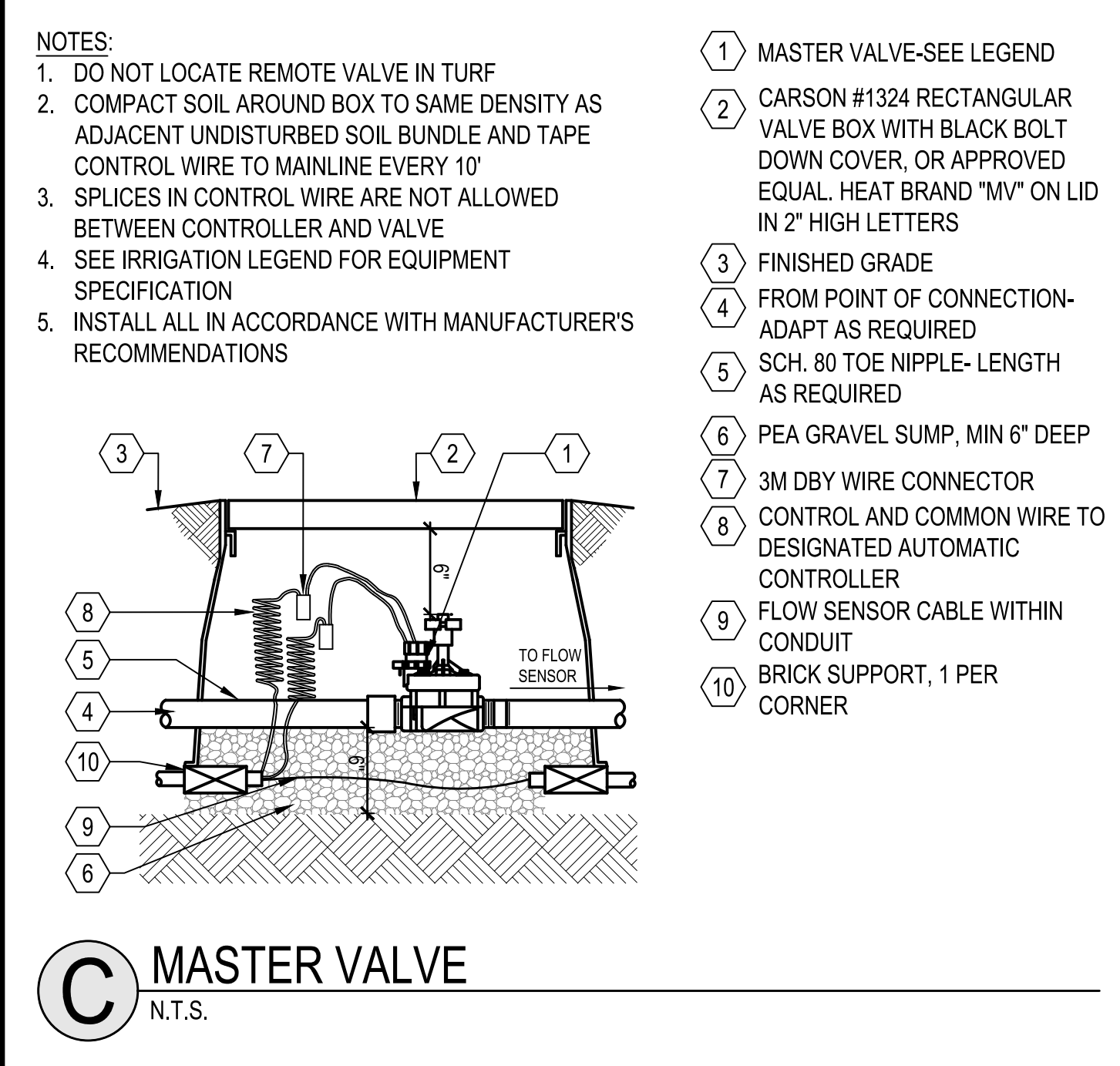
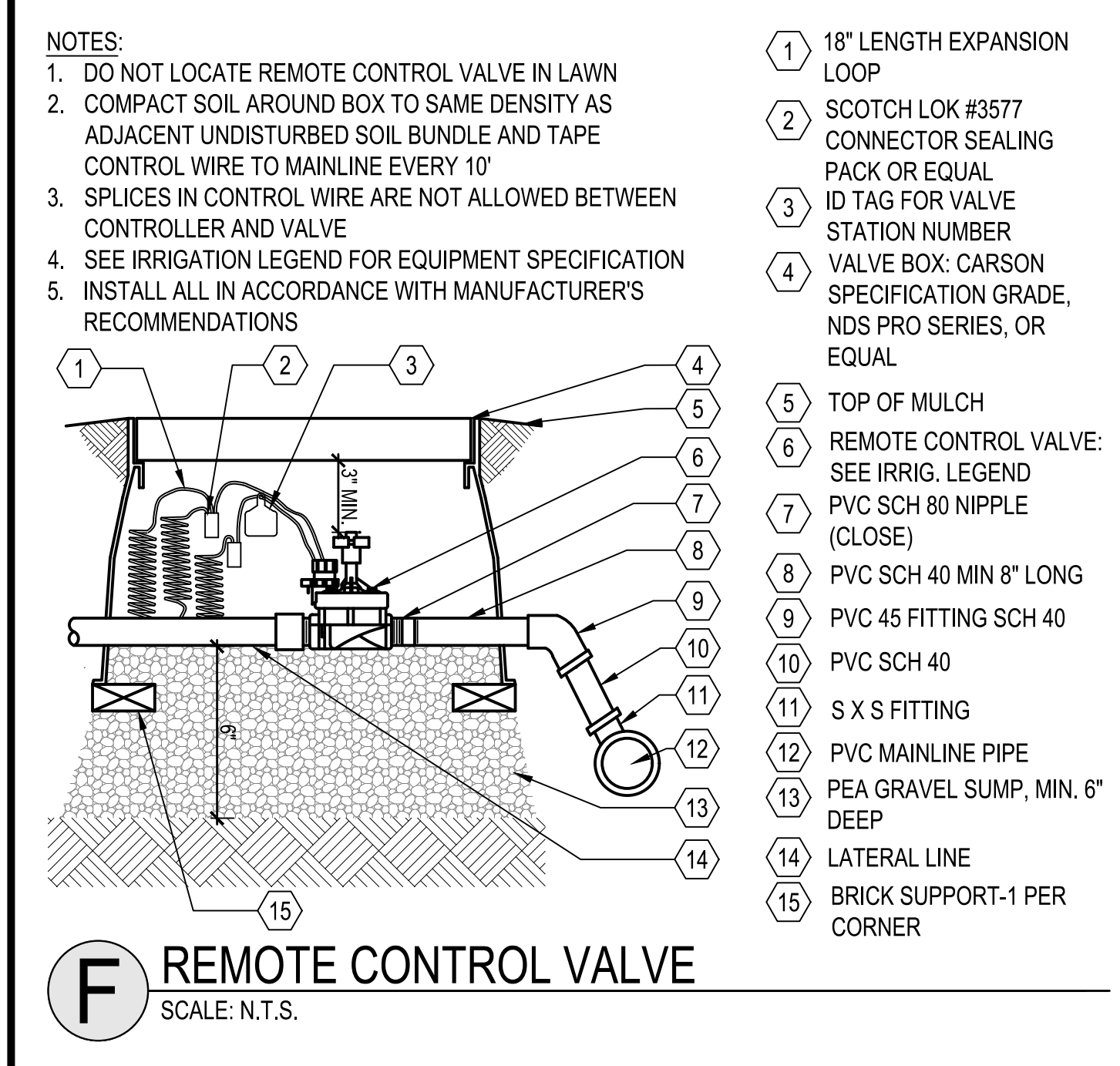
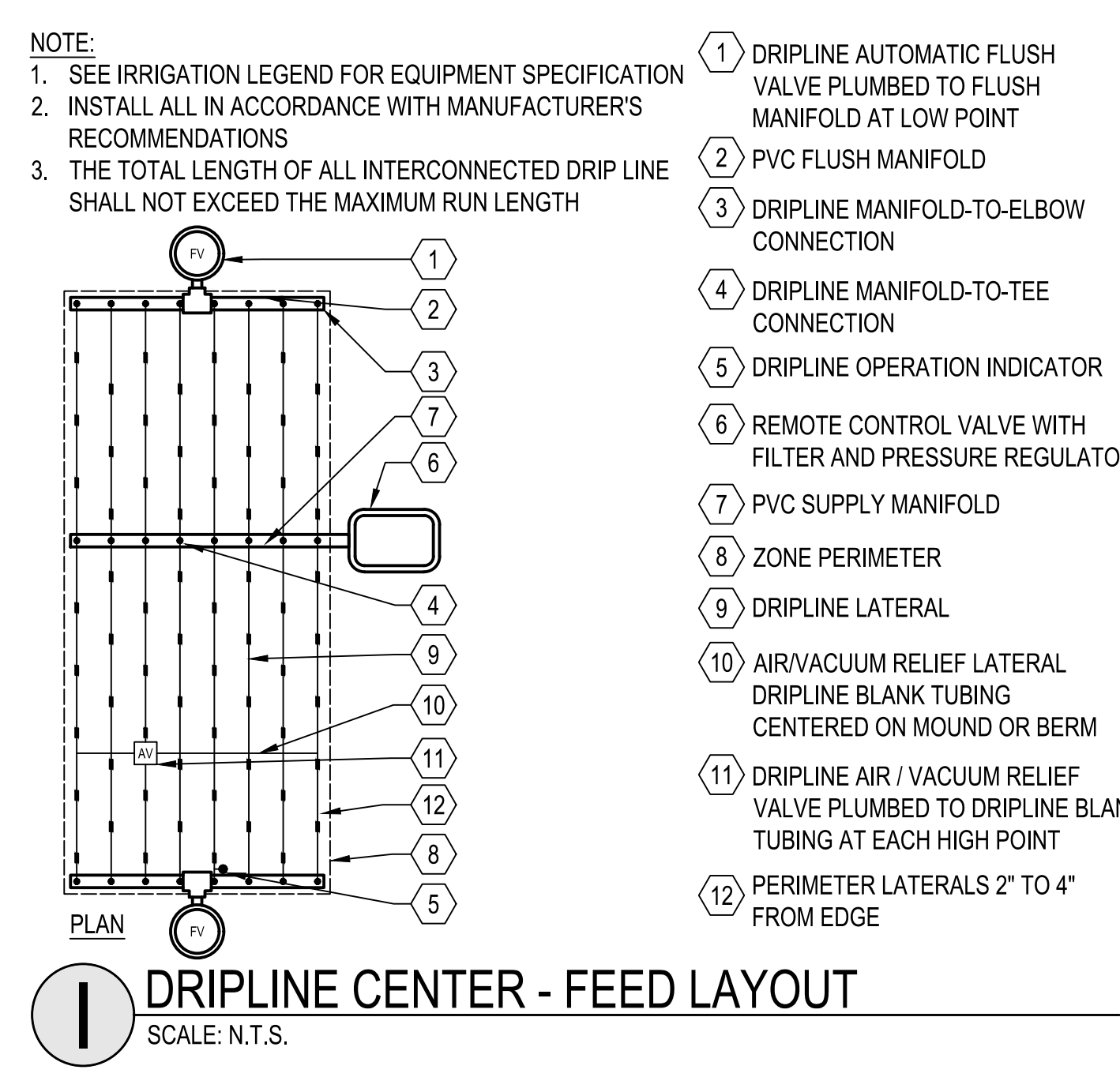
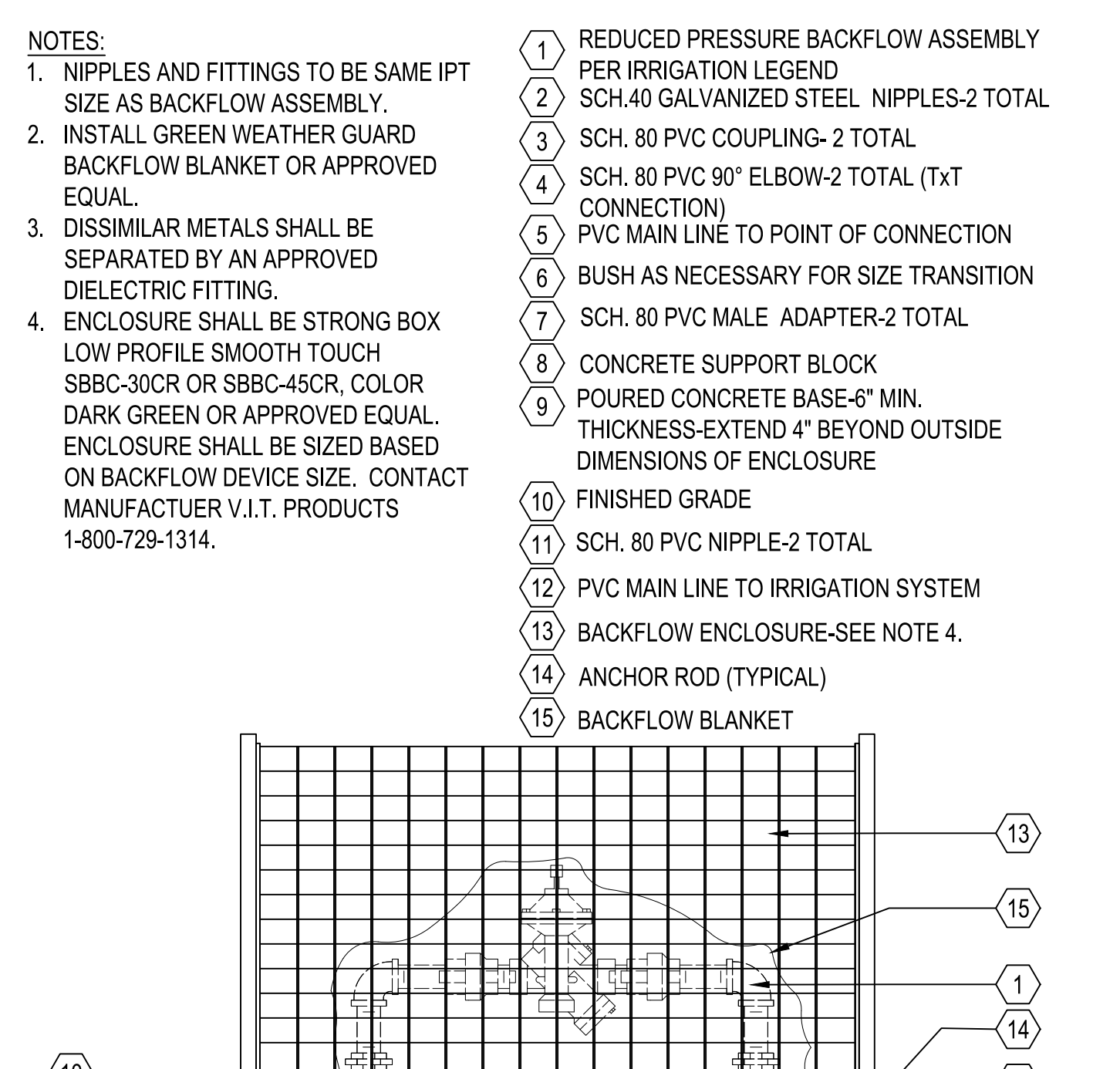
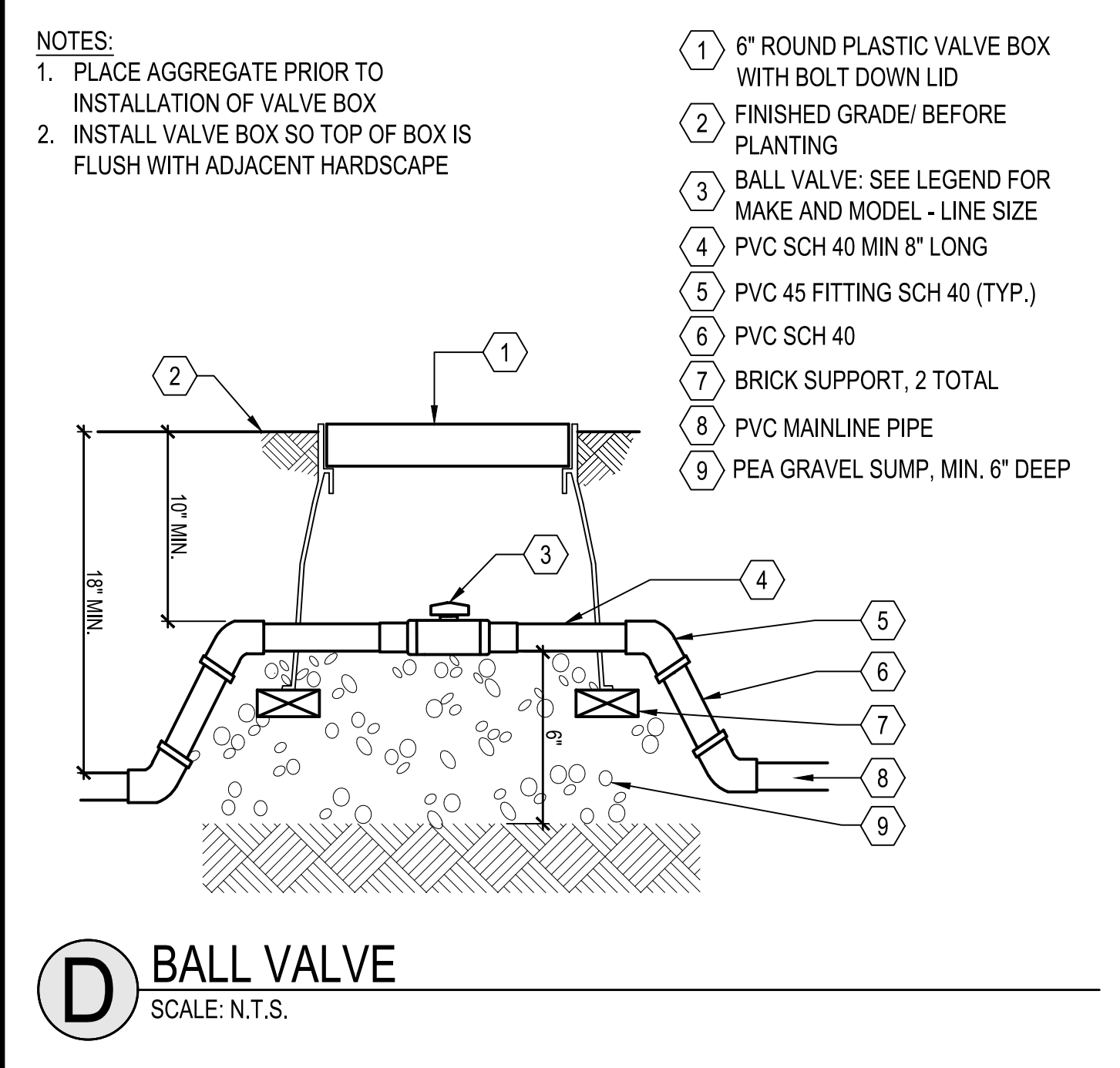
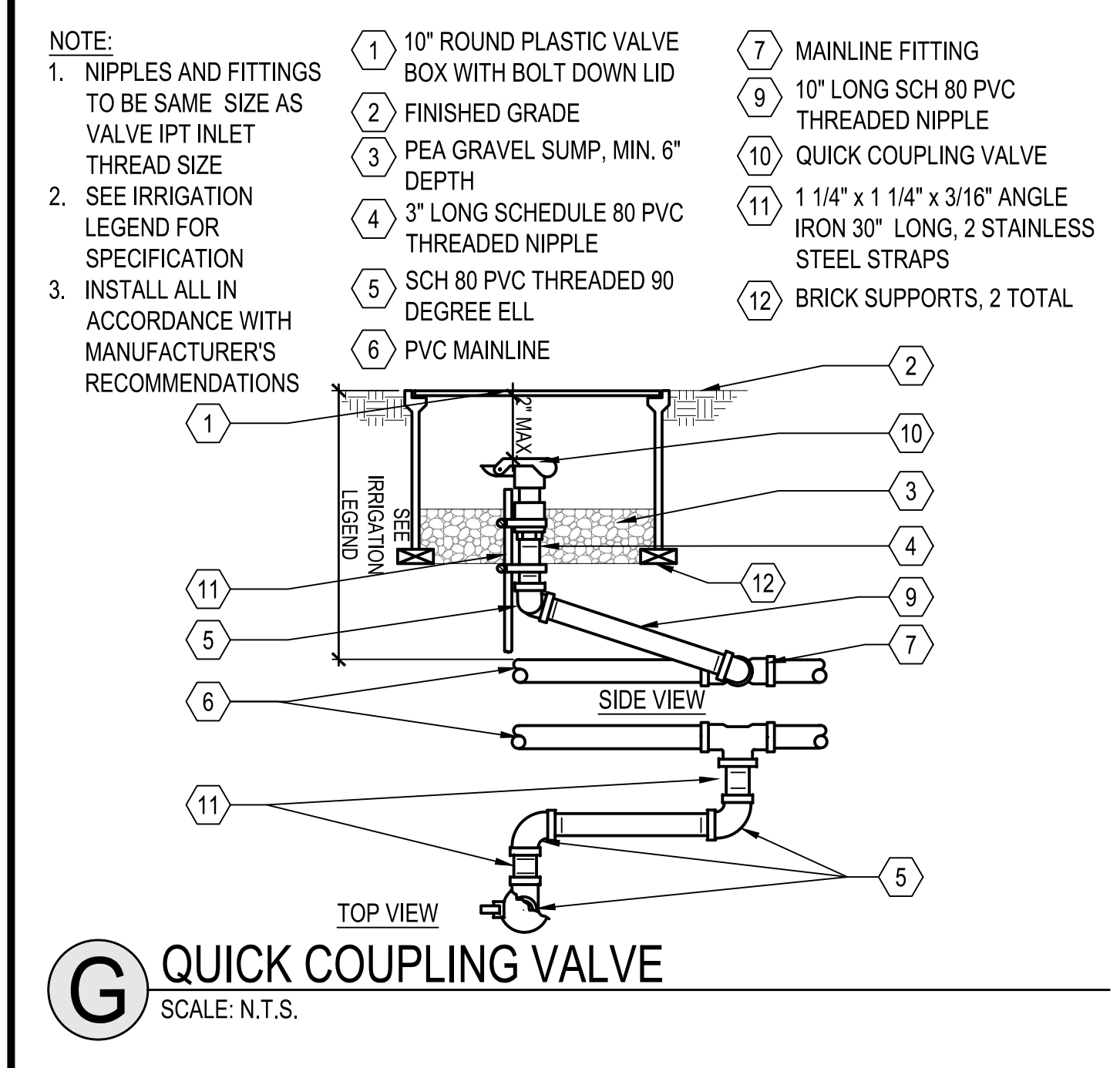
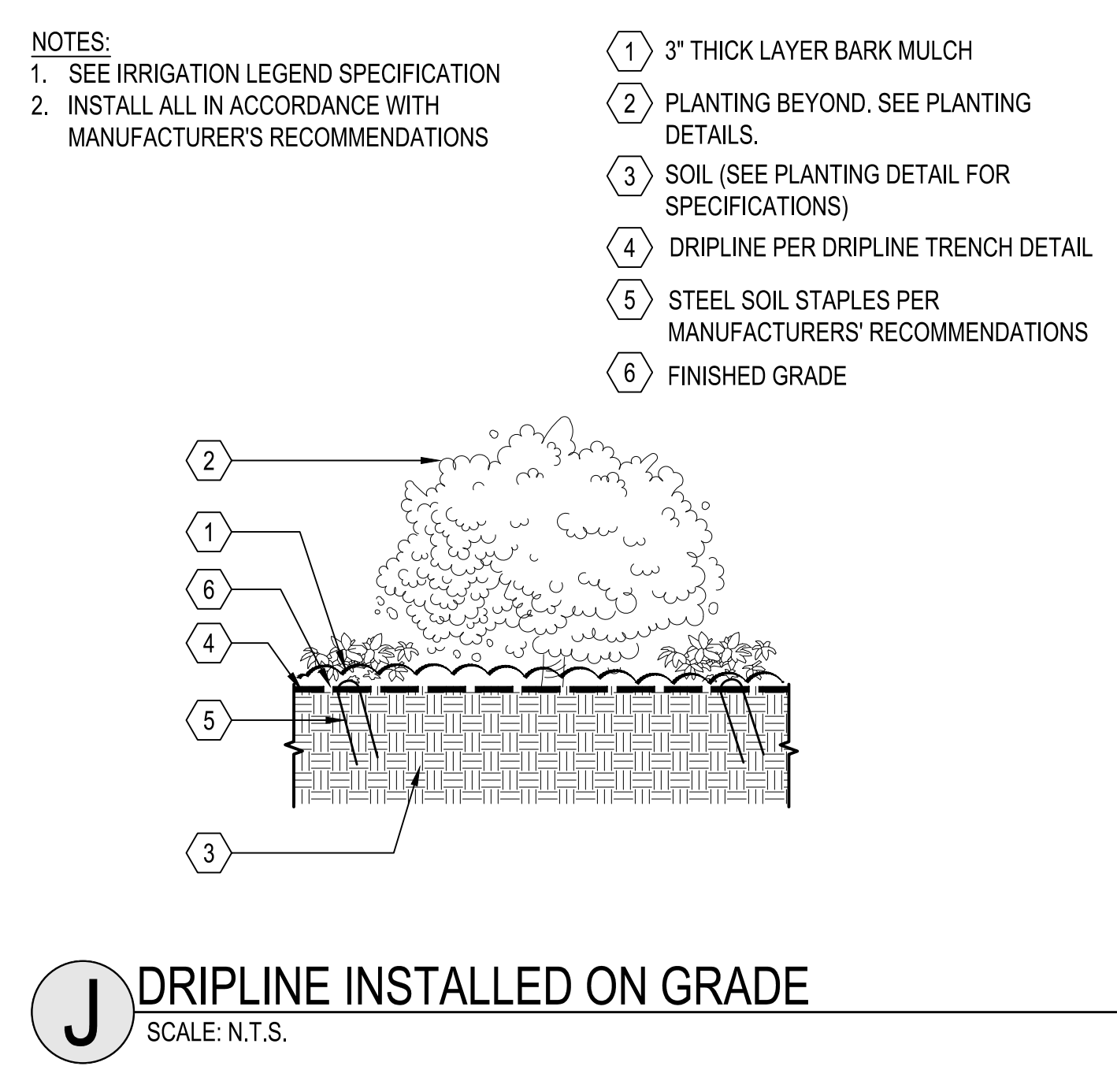
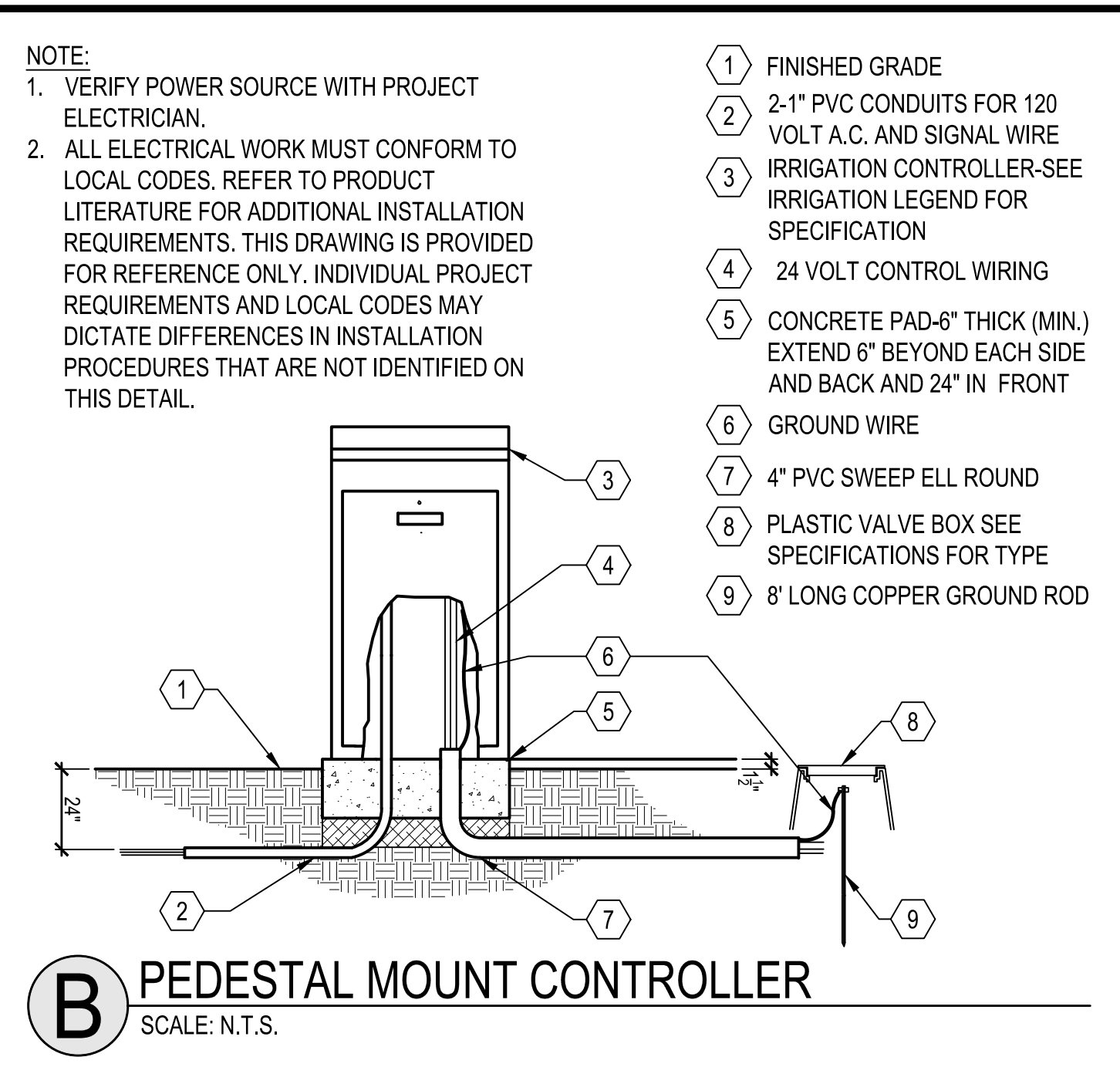
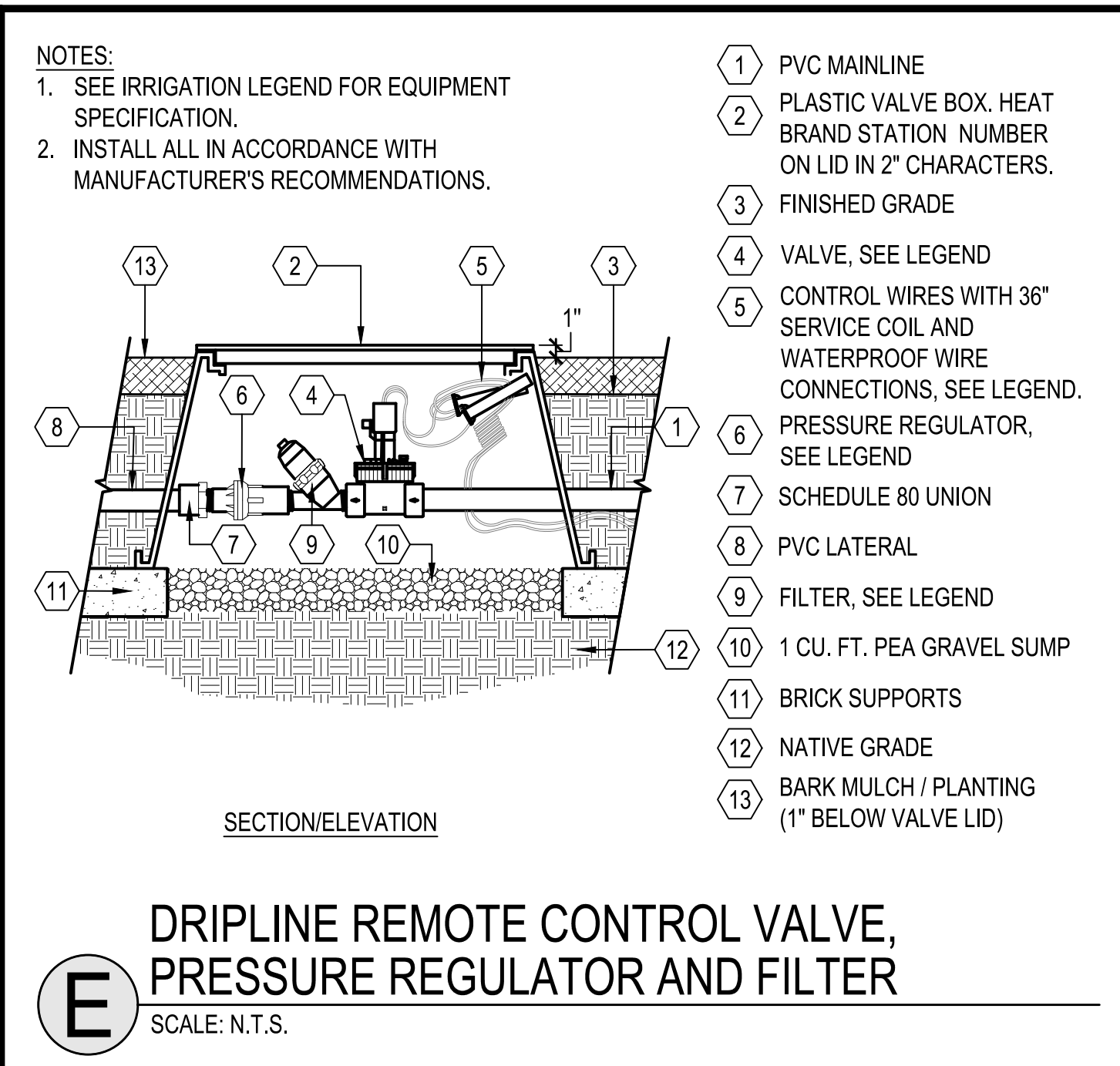
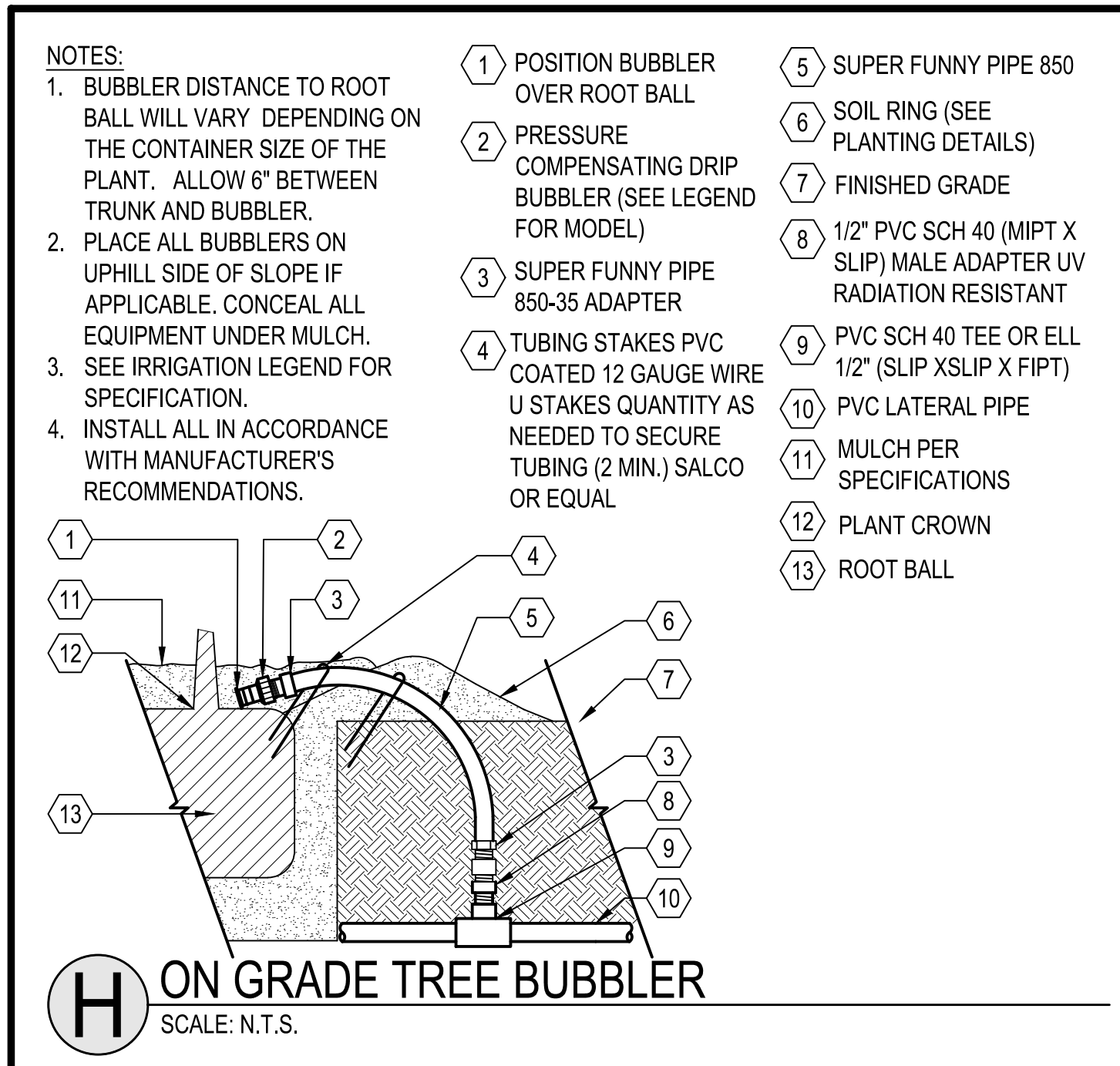
LA RINCONADA COUNTRY CLUB
MAINTENANCE YARD
17445 ZENA AVE
ARCHITECTURAL AND SITE REVIEW
S-25-005

NO	DATE	DESCRIPTION

HYDROZONE PLAN

L1.04



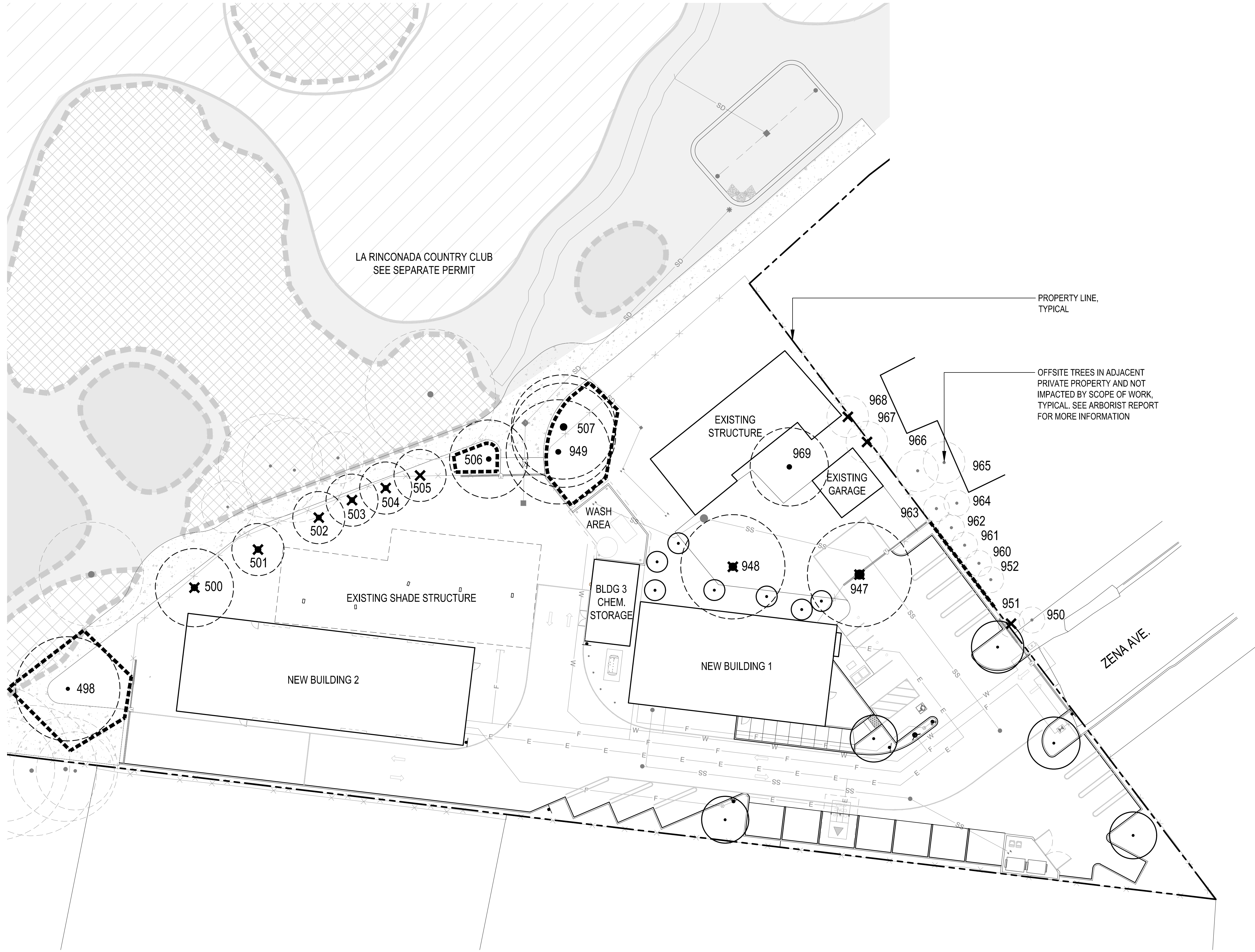


LA RINCONADA COUNTRY CLUB
MAINTENANCE YARD
 17445 ZENA AVE
 ARCHITECTURAL AND SITE REVIEW
 S-25-005

NO	DATE	DESCRIPTION
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SCALE:		AS NOTED
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IRRIGATION DETAILS

L1.05



LA RINCONADA COUNTRY CLUB
SEE SEPARATE PERMIT

PROPERTY LINE,
TYPICAL

OFFSITE TREES IN ADJACENT
PRIVATE PROPERTY AND NOT
IMPACTED BY SCOPE OF WORK,
TYPICAL. SEE ARBORIST REPORT
FOR MORE INFORMATION

TREE PROTECTION LEGEND	SYMBOL
TREE TO REMAIN AND PROTECT	
TREE TO BE REMOVED	
PROPOSED TREE	
TREE PROTECTION FENCING	

EXISTING TREE SUMMARY	
DESCRIPTION	QUANTITY
TREES WITHIN AREA OF WORK	17
TREES TO REMAIN AND PROTECT	4
PROTECTED TREES TO BE REMOVED	13
NON-PROTECTED TREES TO BE REMOVED	0

TREE REPLACEMENT RATIOS			
CANOPY SIZE	QTY REMOVED	MITIGATION RATIO	QTY REQUIRED
< 10'	2	(2) 24" BOX:1	4 - 24" BOX
> 10' - 25'	9	(3) 24" BOX :1	27 - 24" BOX
> 25' - 40'	0	(4) 24" BOX :1 OR (2) 36" BOX :1	0 - 24" BOX OR 0 - 36" BOX
> 40' - 55'	0	(6) 24" BOX :1 OR (3) 36" BOX :1	0 - 24" BOX OR 0 - 36" BOX
> 55'	0	(10) 24" BOX :1 OR (5) 36" BOX :1	0 - 24" BOX OR 0 - 36" BOX

TREE MITIGATION SUMMARY		
DESCRIPTION	QUANTITY	SIZE
MITIGATION TREES REQUIRED	31	24" BOX
	0	36" BOX
PROPOSED ON-SITE TREES	12	24" BOX
	0	36" BOX

- #### TREE MITIGATION NOTES
- ALL NON STREET TREES SHOWN ARE INTENDED TO APPLY TO MITIGATION REQUIREMENTS. EXACT LOCATIONS AND QUANTITIES SUBJECT TO UTILITY COORDINATION. IF THE QUANTITY OF PROPOSED TREES ARE NOT EQUAL TO OR GREATER THAN THE MITIGATION TREES REQUIRED, THE PROJECT IS SUBJECT TO PLANTING REPLACEMENT TREES OFF-SITE OR PAYING IN LIEU MITIGATION FEES PER THE TOWN.
 - SEE ARBORIST REPORT BY LISA EDWARDS AND STRAUN EDWARDS, CERTIFIED ARBORISTS WE-5055A & WE-5612A, DATED: JULY 1, 2025.
 - TREES GREATER THAN OR EQUAL TO 38" CIRCUMFERENCE SHALL NOT BE REMOVED UNLESS A TREE REMOVAL PERMIT, OR EQUIVALENT, HAS BEEN APPROVED. FOR MULTI-FAMILY RESIDENTIAL, COMMERCIAL, AND INDUSTRIAL PROPERTIES, A PERMIT IS REQUIRED FOR REMOVAL OF TREES OF ANY SIZE.
 - 100 PERCENT OF TREES, STUMPS, ROCKS, AND ASSOCIATED VEGETATION AND SOIL RESULTING FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. EXCEPTION: VEGETATION OR SOIL CONTAMINATED BY DISEASE OR PEST.
 - TREE PROTECTION WARNING SIGN SHALL BE ON EACH TREE PROTECTION FENCING. WARNING SIGN SHALL BE 8 1/2" X 11" SIGN STATING "WARNING- TREE PROTECTION ZONE- THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."



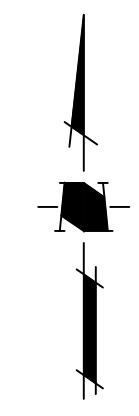
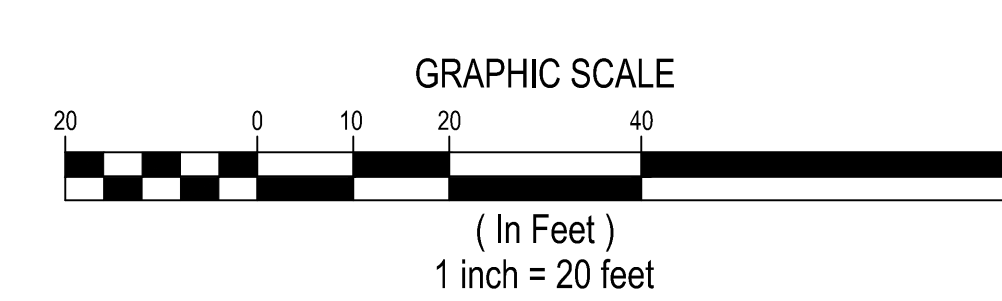
LA RINCONADA COUNTRY CLUB
MAINTENANCE YARD
 17445 ZENNA AVE
 ARCHITECTURAL AND SITE REVIEW
 S-25-005

NO	DATE	DESCRIPTION

TREE PROTECTION AND MITIGATION PLAN

T-1

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TREE REMOVAL NOTES
<p>1. CONSTRUCTION PROTECTION FOR TREES MUST BE PROVIDED BEFORE GRADING OR OTHER EQUIPMENT IS ALLOWED ON THE PROPERTY. SEE DETAILS AND NOTES ON THIS SHEET.</p> <p>2. ALL TREES SHOWN FOR REMOVAL ARE PERMITTED UNDER CITY PD PERMIT. A NESTING BIRD SURVEY MAY BE REQUIRED IF TREE REMOVAL IS TO TAKE PLACE BETWEEN FEBRUARY 1 AND AUGUST 31. A QUALIFIED BIOLOGIST MUST COMPLETE THIS REPORT PRIOR TO TREE REMOVAL DONE DURING THE NESTING SEASON. REFER TO CONDITIONS OF THE PERMIT FOR ADDITIONAL INFORMATION.</p> <p>3. CONTRACTOR SHALL TAKE CARE WHEN REMOVING TREES ADJACENT TO TREES TO REMAIN. PROVISIONS FOR THE PROTECTION OF EXISTING TREES MUST BE TAKEN INCLUDING WRAPPING THE TRUNK OF THE ADJACENT TREE PER THE TREE PROTECTION DETAIL. WHEN REMOVING ROOTS, CARE MUST BE TAKEN NOT TO DAMAGE ROOTS OF TREE TO REMAIN. ROOT PRUNING MAY BE NECESSARY AND MUST BE DONE UNDER THE SUPERVISION OF THE ARBORIST.</p> <p>4. THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO DETERMINE THE EXACT EXTENT OF ALL SITE DEMOLITION ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. HE SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND CONDITIONS PRIOR TO COMMENCEMENT OF WORK.</p> <p>5. THESE PLANS MAY NOT SHOW ALL EXISTING CITY ELECTRICAL FACILITIES INCLUDING, BUT NOT LIMITED TO, TRAFFIC SIGNALS, STREETLIGHT AND TRAFFIC SIGNAL COMMUNICATION EQUIPMENT, CONDUIT, PULL BOXES, AND WIRING.</p> <p>6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL SUCH FACILITIES AND FOR REPAIRING ANY SUCH FACILITIES THAT ARE DAMAGED DURING CONSTRUCTION. PAYMENT FOR LOCATING, COORDINATING, AND REPAIRING EXISTING CITY ELECTRICAL FACILITIES WILL BE DEEMED INCLUDED IN OTHER ITEMS OF WORK, AND NO ADDITIONAL COMPENSATION SHALL BE MADE THEREOF. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS & DETAILS.</p> <p>7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT. CALL U.S.A. AT (800) 624-2444</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING, AT HIS OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, OR PLANT LIFE DAMAGED OR DESTROYED BY HIS OPERATION. LIKEWISE, HE SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES, OCCURRING BY HIS OPERATION, ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS SHALL BE RESTORED TO THERE ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE PROJECT SUPERINTENDENT.</p> <p>9. THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL STREET RIGHT-OF-WAYS CLEAN TO THE SATISFACTION OF THE PROJECT SUPERINTENDENT ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF FROM THE PROJECT SITE, EXCEPT ITEMS INDICATED TO BE RE-INSTALLED.</p> <p>10. ALL TREES TO BE REMOVED SHALL HAVE THEIR STUMPS GROUND DOWN TO A MINIMUM DEPTH OF 24" REMOVE ALL LARGE ROOTS FROM PLANTING AREAS A MINIMUM DISTANCE OF 5' BEYOND THE DRIP LINE OF THE TREE.</p>

TREE PROTECTION NOTES

<p>SITE PREPARATION: ALL EXISTING TREES SHALL BE FENCED WITHIN OR AT THE DRIP LINE (FOLIAR SPREAD) OF THE TREE. DEPENDING ON THE LOCATION OF THE TREE THE FENCING MAY NOT BE ABLE TO BE AT THE DRIPLINE. EXAMPLES OF THIS WOULD BE PUBLIC RIGHT OF WAY, NEAR PROPERTY LINE, TYPICALS OR AROUND EXISTING STRUCTURES TO REMAIN. WHERE COMPLETE DRIP LINE FENCING IS NOT POSSIBLE, THE ADDITION OF STRAW WADDLES AND ORANGE SNOW FENCING WRAPPING THE TRUNK SHALL BE INSTALLED PER THE TREE PROTECTION DETAIL. THE FENCE SHOULD BE A MINIMUM OF SIX FEET HIGH, MADE OF GALVANIZED 11-GAUGE WIRE MESH WITH GALVANIZED POSTS OR ANY MATERIAL SUPERIOR IN QUALITY. A TREE PROTECTION ZONE (TPZ) SIGN SHALL BE AFFIXED TO FENCING AT APPROPRIATE INTERVALS AS DETERMINED BY THE ARBORIST ON SITE. SEE TREE PROTECTION DETAIL FOR ADDITIONAL INFORMATION, INCLUDING TREE PROTECTION ZONE SIGN. IF THE FENCE IS WITHIN THE DRIP LINE OF THE TREES, THE FOLIAR FRINGE SHALL BE RAISED TO OFFSET THE CHANCE OF LIMB DAMAGE FROM ACTIVE CONSTRUCTION.</p> <p>ACTIVE CONSTRUCTION: ALL CONTRACTORS, SUBCONTRACTORS AND OTHER PERSONNEL SHALL BE WARNED THAT ENCROACHMENT WITHIN THE FENCED AREA AND DRIPLINE IS PROHIBITED WITHOUT THE CONSENT OF THE CERTIFIED ARBORIST ON THE JOB. THIS INCLUDES, BUT IS NOT LIMITED TO, STORAGE OF LUMBER AND OTHER MATERIALS, DISPOSAL OF PAINTS, SOLVENTS OR OTHER NOXIOUS MATERIALS, PARKED CARS, GRADING EQUIPMENT OR OTHER HEAVY EQUIPMENT. IF CONSTRUCTION ACTIVITY NEEDS TO HAPPEN IN THE TPZ THE FENCE CAN BE MOVED TEMPORARILY FOR DELIVERY OF CONSTRUCTION MATERIALS. THE CONTRACTOR SHOULD MAKE ACCOMMODATIONS TO OFF LOAD ITEMS SUCH AS TRUSSES, TIMBER, PLASTERBOARD, WALLBOARD, CONCRETE, GYPSUM BOARD, FLOORING, ROOFING OR ANY OTHER HEAVY CONSTRUCTION MATERIAL OUTSIDE THE FOLIAR SPREAD OF THE TREE SO THERE IS NO HEAVY EQUIPMENT NEEDED THAT COULD CAUSE DAMAGE TO THE CANOPY OF THE TREE OR COMPACT THE ROOT ZONE. THE TREE PROTECTION FENCING SHOULD BE REESTABLISHED PER THE PLANS AND DETAILS IMMEDIATELY AFTER ANY ACTIVITY THROUGH THE TPZ. PENALTIES, BASED ON THE COST OF REMEDIAL REPAIRS AND THE EVALUATION GUIDE PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE, SHALL BE ASSESSED FOR DAMAGES TO THE TREES.</p> <p>GRADING/EXCAVATING: ALL GRADING PLANS THAT SPECIFY GRADING WITHIN THE DRIP LINE OF ANY TREE, OR WITHIN THE DISTANCE FROM THE TRUNK AS OUTLINED IN THE SITE PREPARATION SECTION ABOVE WHEN SAID DISTANCE IS OUTSIDE THE DRIP LINE, SHALL FIRST BE REVIEWED BY A CERTIFIED ARBORIST. PROVISIONS FOR AERATION, DRAINAGE, PRUNING, TUNNELING BENEATH ROOTS, ROOT PRUNING OR OTHER NECESSARY ACTIONS TO PROTECT THE TREES SHALL BE OUTLINED BY AN ARBORIST. IF TRENCHING IS NECESSARY WITHIN THE AREA AS DESCRIBED ABOVE, SAID TRENCHING SHALL BE UNDERTAKEN BY HAND LABOR AND DUG DIRECTLY BENEATH THE TRUNK OF THE TREE. ALL ROOTS 2 INCHES OR LARGER SHALL BE TUNNELED UNDER AND OTHER ROOTS SHALL BE CUT SMOOTHLY TO THE TRUNK SIDE OF THE TRENCH. THE TRUNK SIDE SHOULD BE DRAPED IMMEDIATELY WITH TWO LAYERS OF UNTREATED BURLAP TO A DEPTH OF 3 FEET FROM THE SURFACE. THE BURLAP SHALL BE SOAKED NIGHTLY AND LEFT IN PLACE UNTIL THE TRENCH IS BACK FILLED TO THE ORIGINAL LEVEL. AN ARBORIST SHALL EXAMINE THE TRENCH PRIOR TO BACK FILLING TO ASCERTAIN THE NUMBER AND SIZE OF ROOTS CUT, SO AS TO SUGGEST THE NECESSARY REMEDIAL REPAIRS.</p> <p>REMEDIAL REPAIRS: AN ARBORIST SHALL HAVE THE RESPONSIBILITY OF OBSERVING ALL ONGOING ACTIVITIES THAT MAY AFFECT THE TREES AND PRESCRIBING NECESSARY REMEDIAL WORK TO ENSURE THE HEALTH AND STABILITY OF THE TREES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL ARBORIST ACTIVITIES BROUGHT OUT IN THE PREVIOUS SECTIONS. IN ADDITION, PRUNING, AS OUTLINED IN INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES: PRUNING AND ANSI A300 PART 1 STANDARD PRACTICES: PRUNING, SHALL BE PRESCRIBED AS NECESSARY. FERTILIZING, AERATION, IRRIGATION, PEST CONTROL AND OTHER ACTIVITIES SHALL BE PRESCRIBED ACCORDING TO THE TREE NEEDS, LOCAL SITE REQUIREMENTS, AND STATE AGRICULTURAL PEST CONTROL LAWS. ALL SPECIFICATIONS SHALL BE IN WRITING. FOR PEST CONTROL OPERATIONS, CONSULT THE LOCAL COUNTY AGRICULTURAL COMMISSIONER'S OFFICE FOR INDIVIDUALS LICENSED AS PEST CONTROL ADVISORS OR PEST CONTROL OPERATORS.</p> <p>FINAL INSPECTION: UPON COMPLETION OF THE PROJECT, THE ARBORIST SHALL REVIEW ALL WORK UNDERTAKEN THAT MAY IMPACT THE EXISTING TREES. SPECIAL ATTENTION SHALL BE GIVEN TO CUTS AND FILLS, COMPACTING, DRAINAGE, PRUNING AND FUTURE REMEDIAL WORK. AN ARBORIST SHOULD SUBMIT A FINAL REPORT IN WRITING OUTLINING THE ONGOING REMEDIAL CARE FOLLOWING THE FINAL INSPECTION.</p>
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TREE PROTECTION NOTES (CONT'D)
<p>SEC. 29.10.1005. PROTECTION OF TREES DURING CONSTRUCTION</p> <p>(A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:</p> <p>(1) SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN 10-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.</p> <p>(2) AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP: CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN); ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH 2-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.</p> <p>(3) DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.</p> <p>(4) WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN 8.5 X 11-INCH SIGN STATING: "WARNING—TREE PROTECTION ZONE-THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025".</p> <p>(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:</p> <p>(1) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.</p> <p>(2) PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.</p> <p>(3) PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.</p> <p>(4) PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.</p> <p>(5) DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.</p> <p>(6) RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.</p> <p>(7) THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED. (ORD. NO. 2114, §§ I, II, 8-4-03)</p> <p>SEC. 29.10.1010. PRUNING AND MAINTENANCE</p> <p>ALL PRUNING SHALL BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE INTERNATIONAL SOCIETY OF ARBORICULTURE BEST MANAGEMENT PRACTICES—TREE PRUNING AND ANSI A300-PART 1 TREE, SHRUB AND OTHER WOODY PLANT MANAGEMENT—STANDARD PRACTICES, (PRUNING) AND ANY SPECIAL CONDITIONS AS DETERMINED BY THE DIRECTOR. FOR DEVELOPMENTS, WHICH REQUIRE A TREE PRESERVATION REPORT, A CERTIFIED OR CONSULTING ARBORIST SHALL BE IN REASONABLE CHARGE OF ALL ACTIVITIES INVOLVING PROTECTED TREES, INCLUDING PRUNING, CABLING AND ANY OTHER WORK IF SPECIFIED.</p> <p>(1) ANY PUBLIC UTILITY INSTALLING OR MAINTAINING ANY OVERHEAD WIRES OR UNDERGROUND PIPES OR CONDUITS IN THE VICINITY OF A PROTECTED TREE SHALL OBTAIN PERMISSION FROM THE DIRECTOR BEFORE PERFORMING ANY WORK, INCLUDING PRUNING, WHICH MAY CAUSE INJURY TO A PROTECTED TREE. (E.G. CABLE TV/FIBER OPTIC TRENCHING, GAS, WATER, SEWER TRENCH, ETC.).</p> <p>(2) PRUNING FOR CLEARANCE OF UTILITY LINES AND ENERGIZED CONDUCTORS SHALL BE PERFORMED IN COMPLIANCE WITH THE CURRENT VERSION OF THE AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) A300 (PART 1)- PRUNING, SECTION 5.9 UTILITY PRUNING. USING SPIKES OR GAFFS WHEN PRUNING, EXCEPT WHERE NO OTHER ALTERNATIVE IS AVAILABLE, IS PROHIBITED.</p> <p>(3) NO PERSON SHALL PRUNE, TRIM, CUT OFF, OR PERFORM ANY WORK, ON A SINGLE OCCASION OR CUMULATIVELY, OVER A THREE-YEAR PERIOD, AFFECTING TWENTY-FIVE PERCENT OR MORE OF THE CROWN OF ANY PROTECTED TREE WITHOUT FIRST OBTAINING A PERMIT PURSUANT TO THIS DIVISION EXCEPT FOR POLLARDING OF FRUITLESS MULBERRY TREES (MORUS ALBA) OR OTHER SPECIES APPROVED BY THE TOWN ARBORIST. APPLICATIONS FOR A PRUNING PERMIT SHALL INCLUDE PHOTOGRAPHS INDICATING WHERE PRUNING IS PROPOSED.</p> <p>(4) NO PERSON SHALL REMOVE ANY HERITAGE TREE OR LARGE PROTECTED TREE BRANCH OR ROOT THROUGH PRUNING OR OTHER METHOD GREATER THAN FOUR (4) INCHES IN DIAMETER (12.5" IN CIRCUMFERENCE) WITHOUT FIRST OBTAINING A PERMIT PURSUANT TO THIS DIVISION.</p>

DEMOLITION NOTES:
<p>THE CONTRACTOR SHALL VISIT THE PROJECT SITE PRIOR TO BIDDING TO DETERMINE THE EXACT EXTENT OF ALL SITE DEMOLITION ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE VERIFICATION OF ALL EXISTING UTILITIES IN THE FIELD PRIOR TO CONSTRUCTION. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE FOR GENERAL INFORMATION ONLY. HE SHALL BE RESPONSIBLE FOR MAKING HIMSELF FAMILIAR WITH ALL UNDERGROUND CONDITIONS PRIOR TO COMMENCEMENT OF WORK.</p> <p>THESE PLANS MAY NOT SHOW ALL EXISTING CITY ELECTRICAL FACILITIES INCLUDING, BUT NOT LIMITED TO, TRAFFIC SIGNALS, STREETLIGHT AND TRAFFIC SIGNAL COMMUNICATION EQUIPMENT, CONDUIT, PULL BOXES, AND WIRING.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL SUCH FACILITIES AND FOR REPAIRING ANY SUCH FACILITIES THAT ARE DAMAGED DURING CONSTRUCTION. PAYMENT FOR LOCATING, COORDINATING, AND REPAIRING EXISTING CITY ELECTRICAL FACILITIES WILL BE DEEMED INCLUDED IN OTHER ITEMS OF WORK, AND NO ADDITIONAL COMPENSATION SHALL BE MADE THEREOF. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS & DETAILS.</p> <p>THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS, AND SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK SHOWN ON THESE PLAN AS DESCRIBED IN THE SPECIFICATIONS.</p> <p>THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT (U.S.A.) AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION ON THIS PROJECT. CALL U.S.A. AT (800) 624-2444</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE UNDER THIS CONTRACT FOR REPAIRING AND REPLACING, AT HIS OWN EXPENSE, ANY STRUCTURES, FENCES, WALLS, OR PLANT LIFE DAMAGED OR DESTROYED BY HIS OPERATION. LIKEWISE, HE SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY AND ALL DAMAGES, OCCURRING BY HIS OPERATION, ON ADJACENT PROPERTIES AND ANYWHERE OUTSIDE THE CONTRACT LIMIT LINES. THE DAMAGED ITEMS SHALL BE RESTORED TO THERE ORIGINAL CONDITIONS AND TO THE SATISFACTION OF THE PROJECT SUPERINTENDENT.</p> <p>THE CONTRACTOR SHALL BE RESPONSIBLE TO KEEP ALL STREET RIGHT-OF-WAYS CLEAN TO THE SATISFACTION OF THE PROJECT SUPERINTENDENT ALL ITEMS INDICATED TO BE REMOVED SHALL BE DISPOSED OF FROM THE PROJECT SITE, EXCEPT ITEMS INDICATED TO BE RE-INSTALLED.</p> <p>FURNISH AND PLACE APPROVED IMPORT TOPSOIL WHERE SHOWN ON THE PLANS. CROSS-RIP THE ENTIRE EXPOSED SOIL SUBGRADE TO A MINIMUM DEPTH OF TEN INCHES (10") PRIOR TO PLACING ANY IMPORT TOPSOIL.</p> <p>ALL TREES TO BE REMOVED SHALL HAVE THEIR STUMPS GROUND DOWN TO A MINIMUM DEPTH OF 24" REMOVE ALL LARGE ROOTS FROM PLANTING AREAS A MINIMUM DISTANCE OF 5' BEYOND THE DRIP LINE OF THE TREE.</p>



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TREE PROTECTION NOTES, DEMOLITION NOTES, AND DETAIL

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