



15310 SUVIEW DRIVE

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VICINITY MAP	SCOPE OF WORK	PROJECT DIRECTORY (A - Z)	SHEET INDEX																																																																																									
	<p>THE PROPOSED SCOPE OF WORK CONSISTS OF DEMOLITION OF EXISTING SINGLE FAMILY HOME STRUCTURE, DETACHED IN-LAW UNIT AND CARPORT TO CONSTRUCT A ONE STORY SINGLE FAMILY RESIDENCE WITH ATTACHED GARAGE.</p> <p>ALL WORK DESCRIBED IN THESE DOCUMENTS SHALL COMPLY WITH THE LATEST BUILDING CONSTRUCTION CODES AND THOSE CODES AMENDED AND ADOPTED BY THE TOWN OF LOS GATOS.</p> <p>ALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING CODES:</p> <p>2016 CALIFORNIA BUILDING CODE. 2016 CALIFORNIA ELECTRICAL CODE. 2016 CALIFORNIA ENERGY CODE. 2016 CALIFORNIA FIRE CODE. 2016 CALIFORNIA GREEN BUILDING STANDARDS. 2016 CALIFORNIA MECHANICAL CODE. 2016 CALIFORNIA PLUMBING CODE. 2016 CALIFORNIA RESIDENTIAL CODE</p>	<p>ARCHITECTS: CAMARGO & ASSOCIATES ARCHITECTS 3953 YOLO DR. SAN JOSE, CA. 95136 MAURICE@CAMARGO.COM T: 408.489.1077</p> <p>CIVIL ENGINEERS: HANNA-BRUNETTI, INC. 7651 EIGLEBERRY ST/ GILROY, CA. 95020 ENGINEERING@HANNABRUNETTI.COM T: 408.842.2173</p> <p>GOVERNMENT: TOWN OF LOS GATOS 110 E. MAIN ST. LOS GATOS, CA. 95030 T. 408.354.6834</p> <p>LANDSCAPE ARCHITECTS: AITKEN ASSOCIATES LANDSCAPE ARCHITECTS 8262 RANCHE REAL GILROY, CA. 95020 T: 408.842.0245</p> <p>OWNERS: JIM & HOLLY VERGARA 15310 SUVIEW DR. LOS GATOS, CA. 95032</p>	<table border="1"> <tr><td>A- 0.01</td><td>TITLE SHEET</td></tr> <tr><td>A- 0.02</td><td>GENERAL NOTES</td></tr> <tr><td>A-1.02</td><td>ARCHITECTURAL SITE PLAN</td></tr> <tr><td>A-1.05</td><td>FLOOR PLANS</td></tr> <tr><td>A-1.07</td><td>ROOF PLANS</td></tr> <tr><td>A-2.01</td><td>EXTERIOR ELEVATIONS</td></tr> <tr><td>A-3.01</td><td>BUILDING SECTIONS</td></tr> <tr><td>A-3.02</td><td>BUILDING SECTIONS</td></tr> <tr><td>A-801</td><td>AREA CALCULATIONS</td></tr> <tr><td>GPR</td><td>BUILD IT GREEN GREEN POINT RATED CHECKLIST</td></tr> <tr><td></td><td>3D VIEWS</td></tr> <tr><td>V-001</td><td>SITE SECTIONS / VISIBILITY ANALYSIS</td></tr> </table>	A- 0.01	TITLE SHEET	A- 0.02	GENERAL NOTES	A-1.02	ARCHITECTURAL SITE PLAN	A-1.05	FLOOR PLANS	A-1.07	ROOF PLANS	A-2.01	EXTERIOR ELEVATIONS	A-3.01	BUILDING SECTIONS	A-3.02	BUILDING SECTIONS	A-801	AREA CALCULATIONS	GPR	BUILD IT GREEN GREEN POINT RATED CHECKLIST		3D VIEWS	V-001	SITE SECTIONS / VISIBILITY ANALYSIS																																																																	
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EXHIBIT 9

VERGARA RESIDENCE
 15310 Suview Drive • Los Gatos • California

CAMARGO & ASSOCIATES ARCHITECTS

3953 Yolo Drive
 San Jose, CA. 95136
 (408) 266-3442
 www.camargo.com

Date	1/6/2020
Project	SUVIEW
Drawn	FRANCISCO TORRES
Sheet	A- 0.01

FIRE COMMENTS:

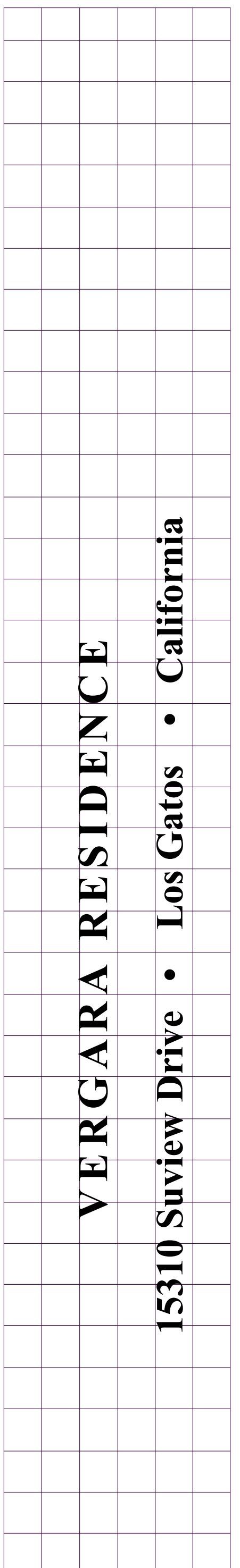
1. **REVIEW OF THIS DEVELOPMENTAL PROPOSAL IS LIMITED TO ACCEPTABILITY OF SITE ACCESS, WATER SUPPLY AND MAY CONSTRUED AS A SUBSTITUTE FOR A FORMAL PLAN REVIEW TO DETERMINE COMPLIANCE WITH ADOPTED MODEL CODES. PRIOR TO PERFORMING ANY WORK, THE APPLICANT SHALL MAKE APPLICATION TO, AND RECEIVE FROM, THE BUILDING DEPARTMENT ALL APPLICABLE BUILDING PERMITS.**
2. **FIRE SPRINKLERS REQUIRED:** FIRE SPRINKLERS REQUIRED TO BE INSTALLED IN BOTH, A SINGLE FAMILY HOME, AND ANY SECONDARY DWELLING UNIT. AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE- AND TWO-FAMILY DWELLING AS FOLLOWS: IN ALL NEW ONE- AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE- AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQFT. **EXCEPTION:** A ONE-TIME ADDITION TO AN EXISTING BUILDING THAT DOES NOT TOTAL MORE THAN 1,000SQFT. OF BUILDING AREA. **NOTE:** THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A PERMIT APPLICATION, AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING WORK. CRC SECT. 313.2 AS ADOPTED AND AMENDED BY LGTC.
3. **REQUIRED FIRE FLOW:** THE FIRE FLOW FOR THIS PROJECT IS 2,250 GPM AT 20 PSI RESIDUAL PRESSURE FROM A SINGLE HYDRANT. IF ANY AUTOMATIC FIRE SPRINKLER SYSTEM WILL BE INSTALLED, THE FIRE FLOW WILL BE REDUCED BY 50% ESTABLISHING A REQUIRED ADJUSTED FIRE FLOW OF 1125 GPM AT 20PSI RESIDUAL PRESSURE. DOCUMENTATION OF THE AVAILABILITY OF FLOW AND HOW IT WILL BE OBTAINED REQUIRED.
4. **FIRE HYDRANT SYSTEM REQUIRED:** WHERE A PORTION OF THE FACILITY OR BUILDING HEREAFTER CONSTRUCTED OR MOVED IN TO, OR WITHIN THE JURISDICTION IS MORE THAN 400FT FROM A HYDRANT ON A FIRE APPARATUS ACCESS ROAD, AS A MEASURE BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE FACILITY OR BUILDING, ON SITE FIRE HYDRANTS AND MAINS SHALL BE PROVIDED WHERE REQUIRED BY THE FIRE CODE OFFICIAL. **EXCEPTION:** FOR GROUP R-3 AND GROUP U OCCUPANCIES, EQUIPPED THROUGHOUT WITH AN APPROVED AUTOMATIC SPRINKLER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1, 903.3.1.2, OR 903.3.1.3, THE DISTANCE REQUIREMENT SHALL BE NOT MORE THAN 600FT.
5. **WATER SUPPLY REQUIREMENTS:** POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSE BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND / OR FIRE SUPPRESSION WATER SUPPLY SYSTEM OR STORAGE

CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY APPLICANT(S). 2016 CFC SECT. 903.3.4 AND HEALTH AND SAFETY CODE 13114.7.

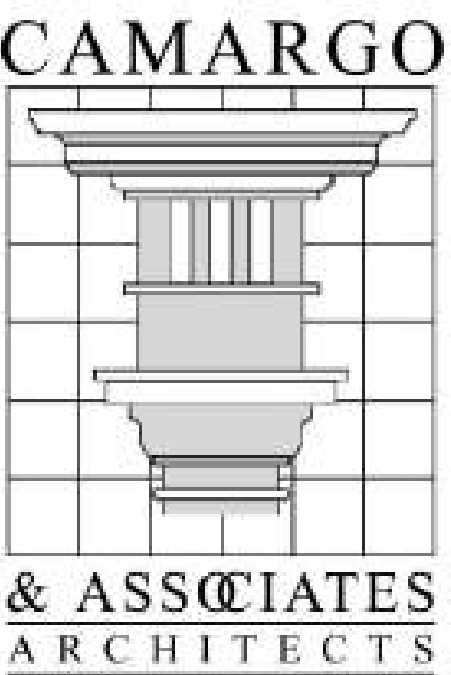
ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC FONT NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7MM), WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SECT. 505.1

CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33.

WILDLAND-URBAN INTERFACE: THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A. **NOTE:** VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECTION 701A.3.2.4 REQUIREMENTS.

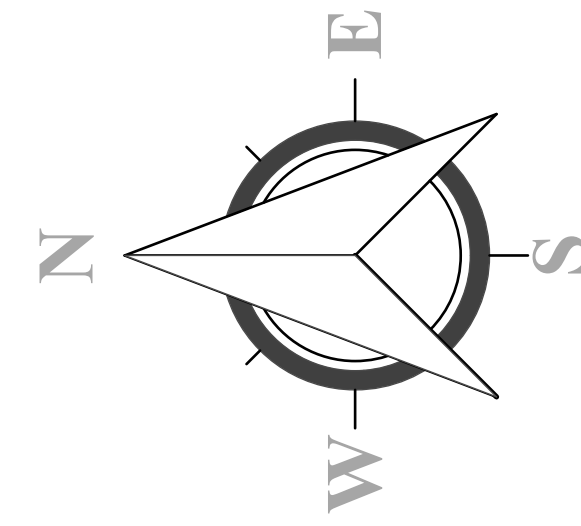


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




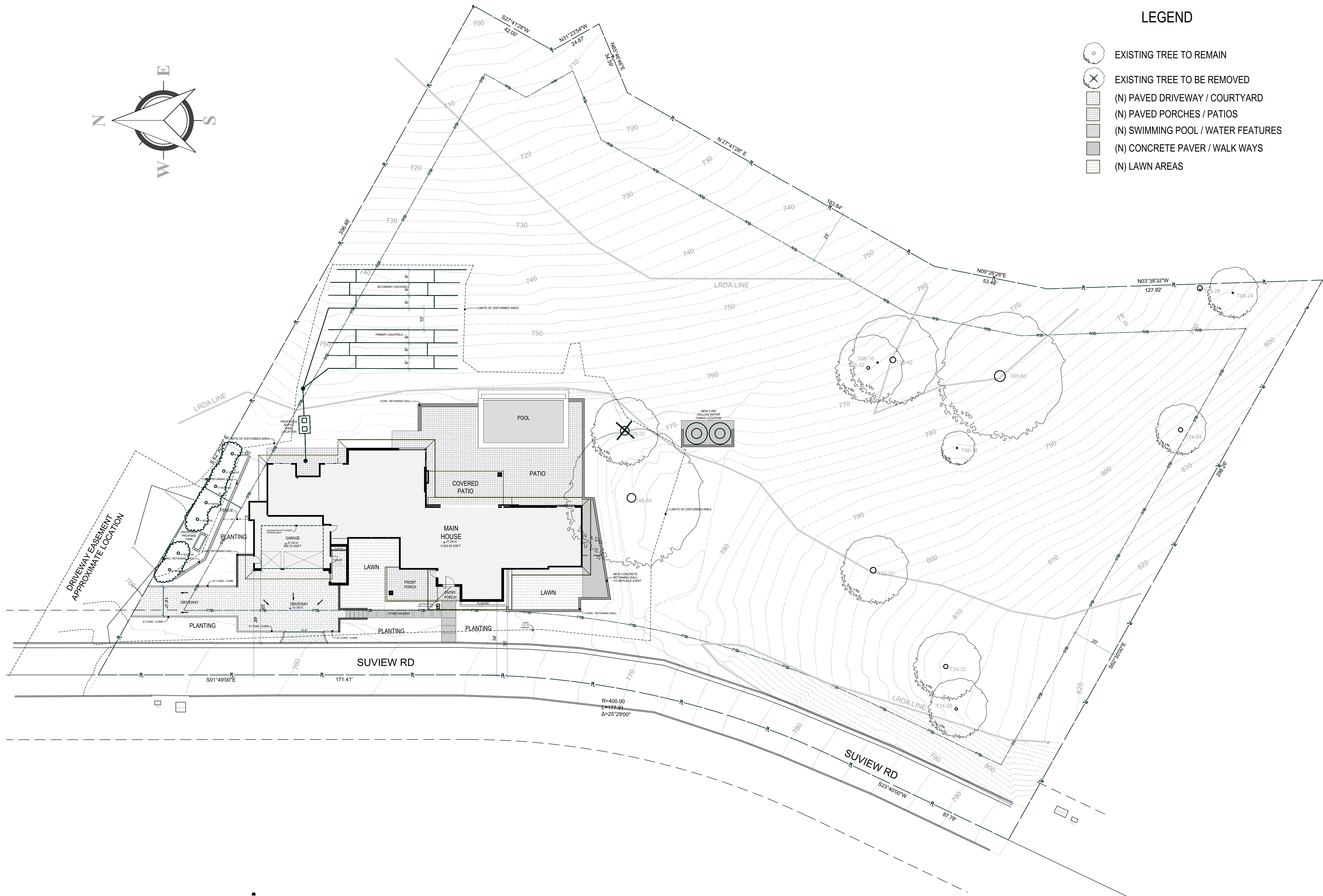
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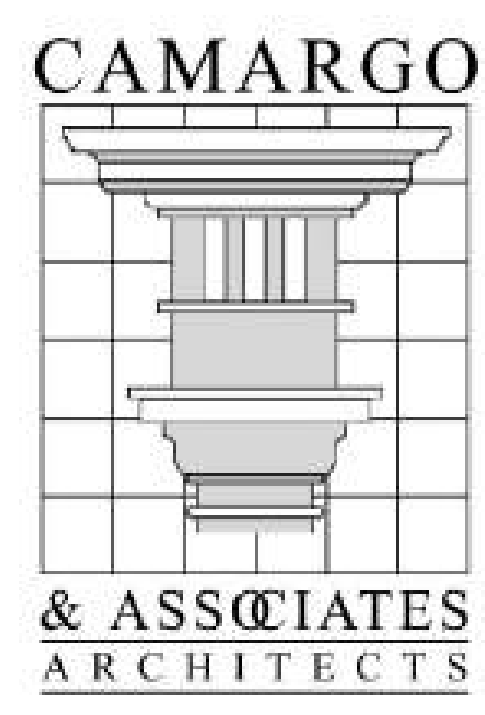


LEGEND

-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED
-  (N) PAVED DRIVEWAY / COURTYARD
-  (N) PAVED PORCHES / PATIOS
-  (N) SWIMMING POOL / WATER FEATURES
-  (N) CONCRETE PAVER / WALK WAYS
-  (N) LAWN AREAS



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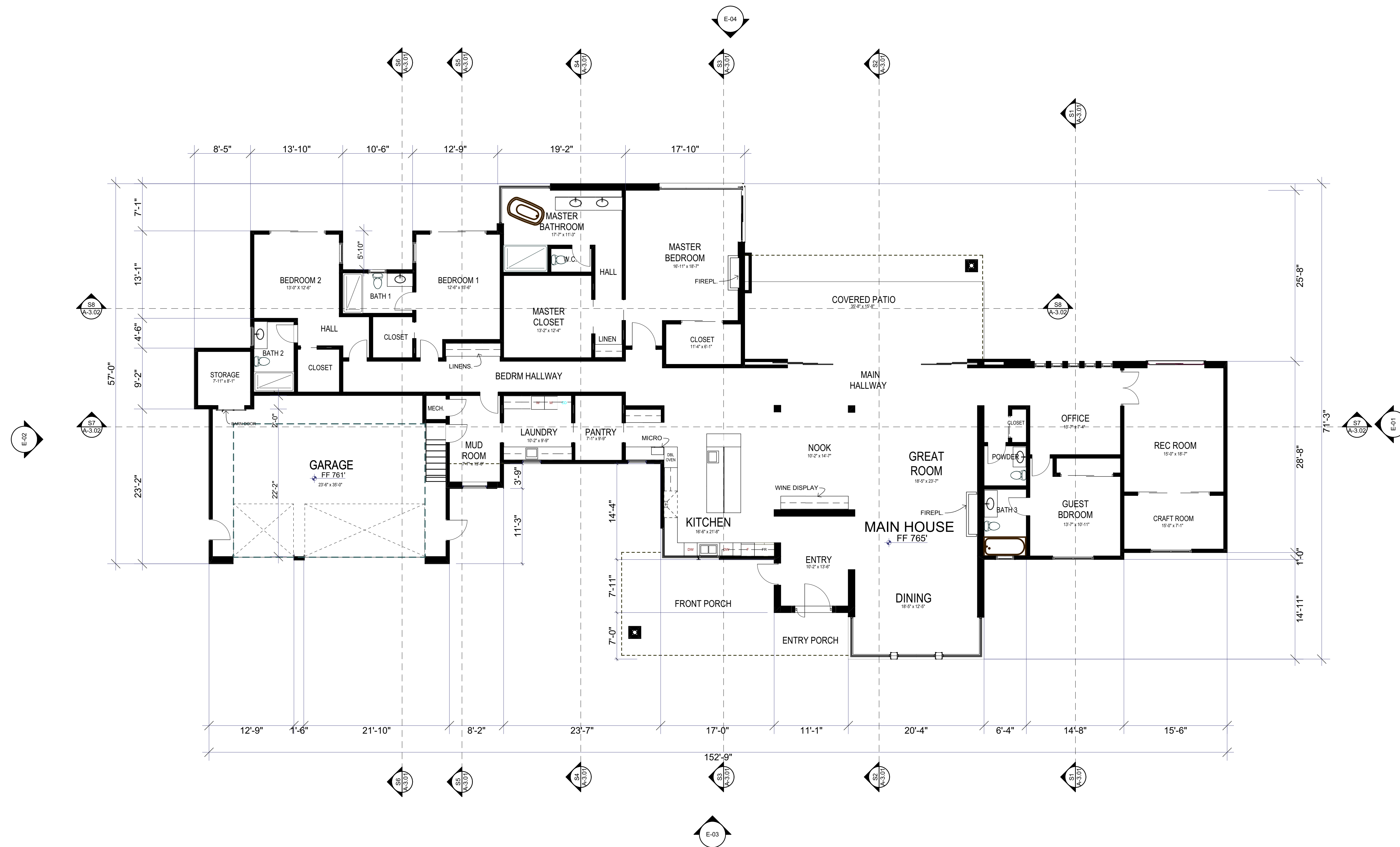
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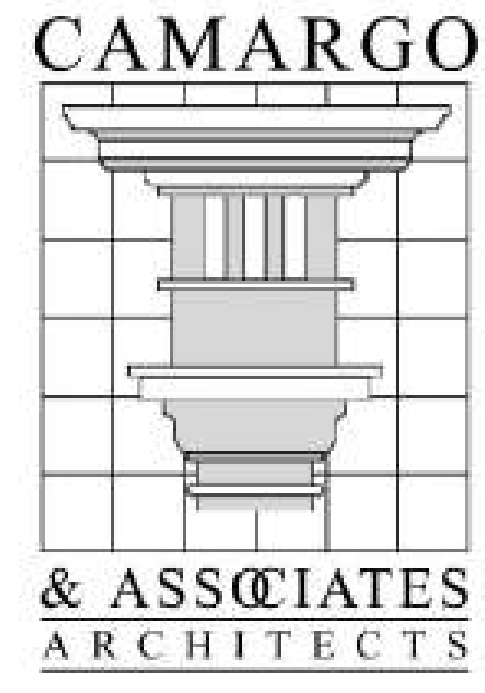
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ARCHITECTURAL SITE PLAN

SCALE: 1' = 20'



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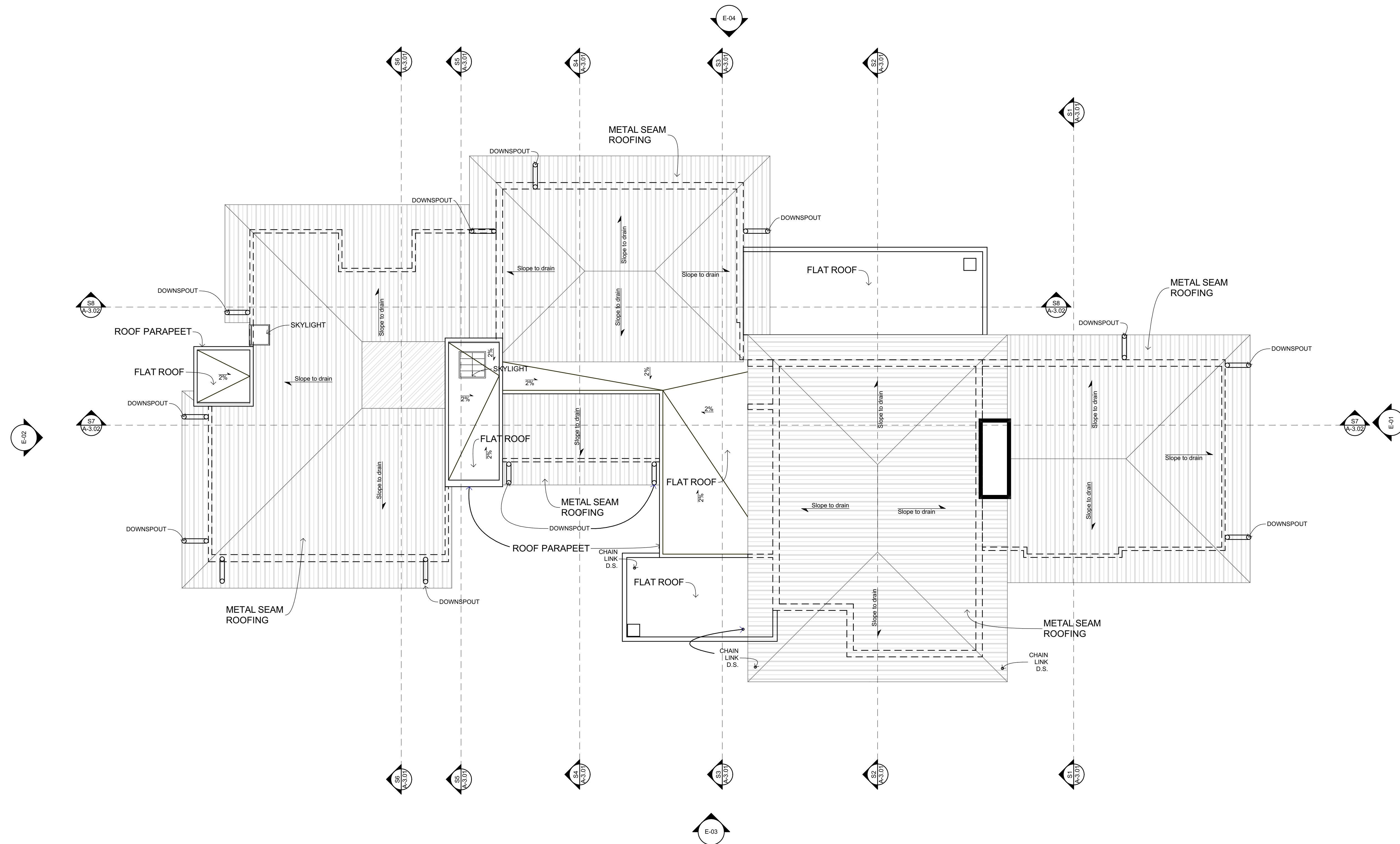
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FLOOR PLAN

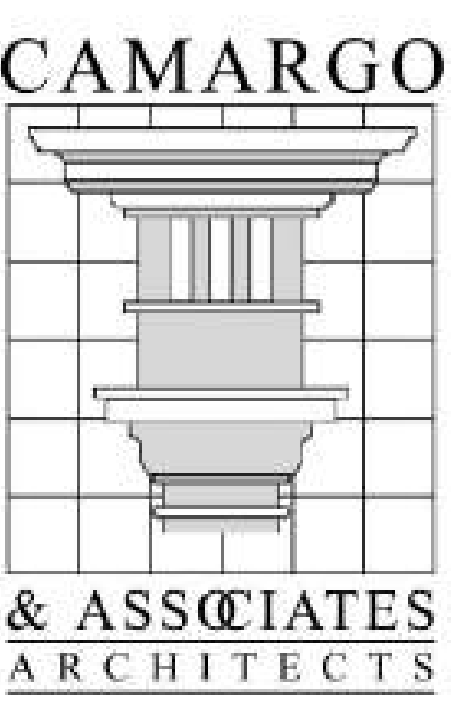
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ROOF PLAN

SCALE: 1/8" = 1'-0"

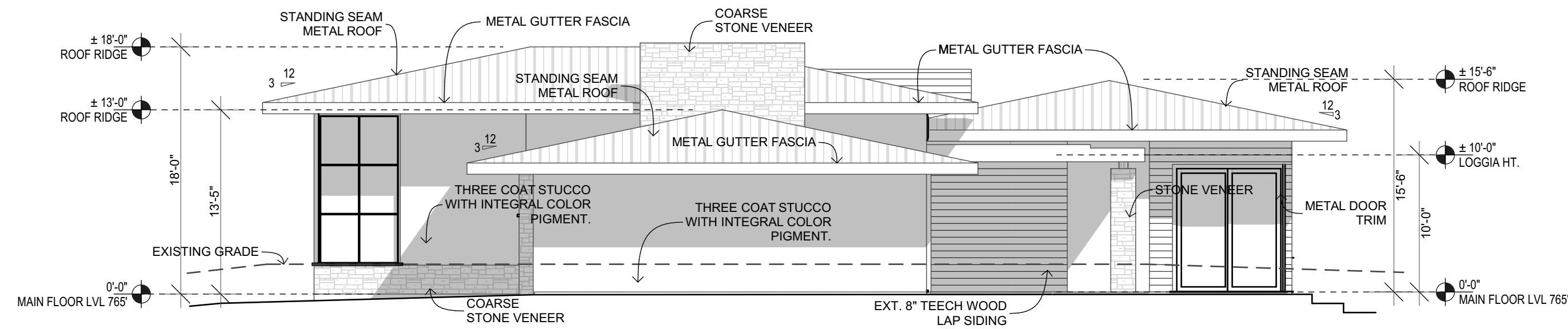
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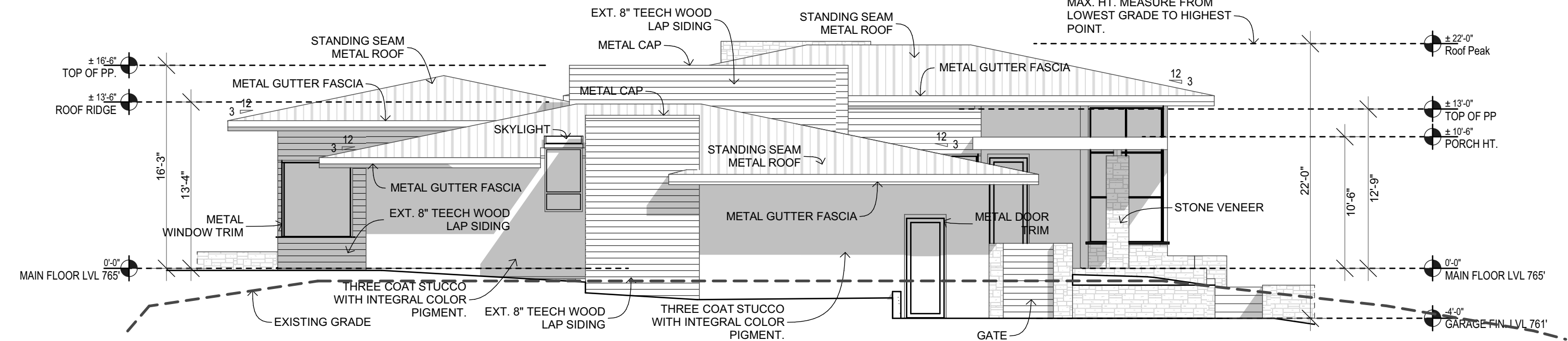
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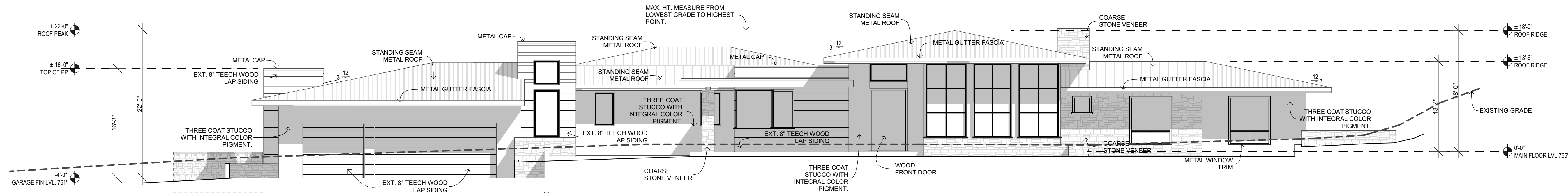
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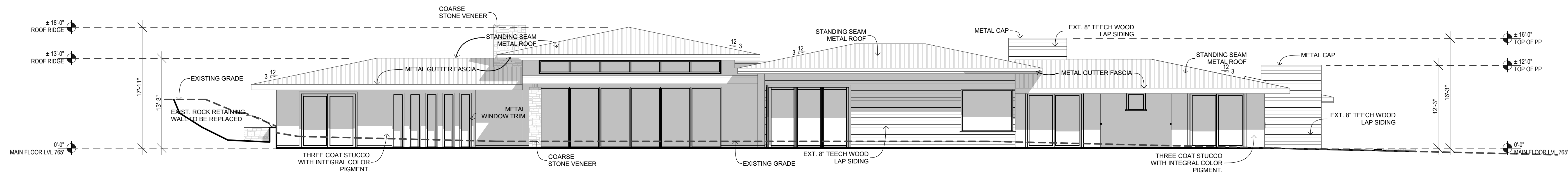
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E-02 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

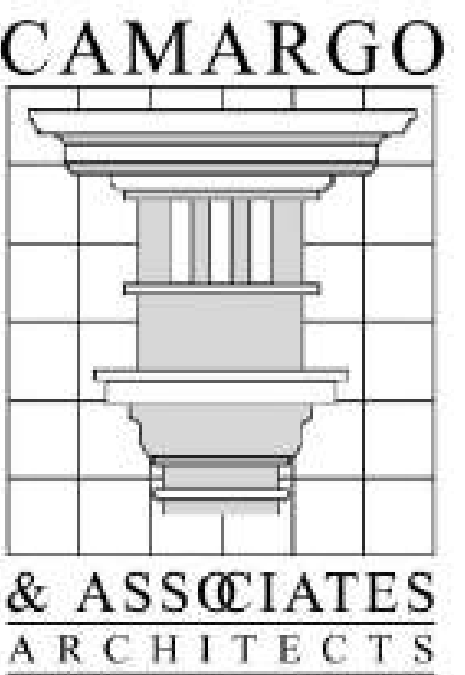


E-03 WEST ELEVATION



E-04 EAST ELEVATION

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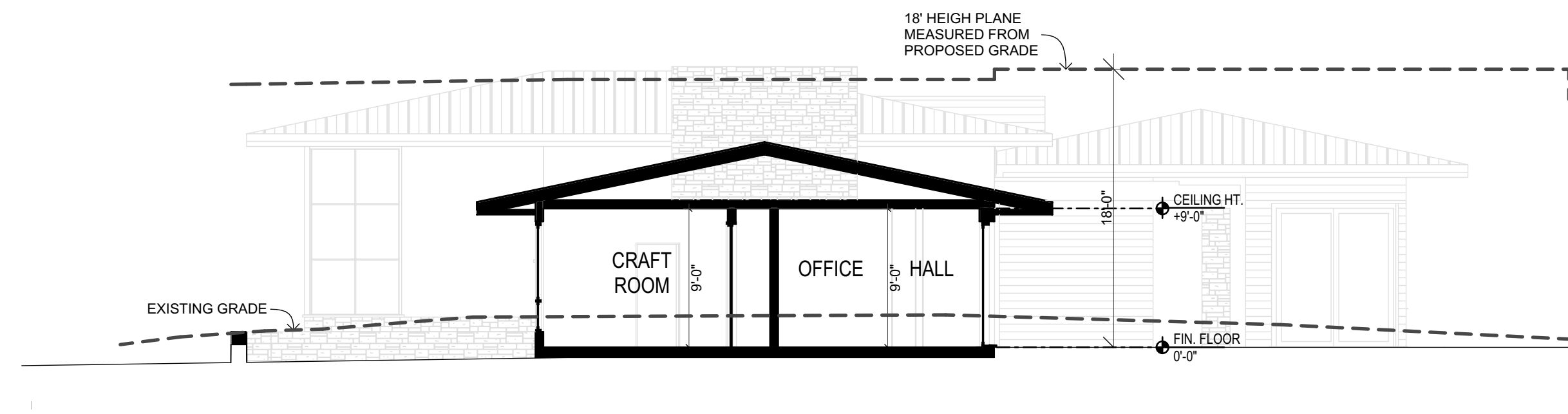


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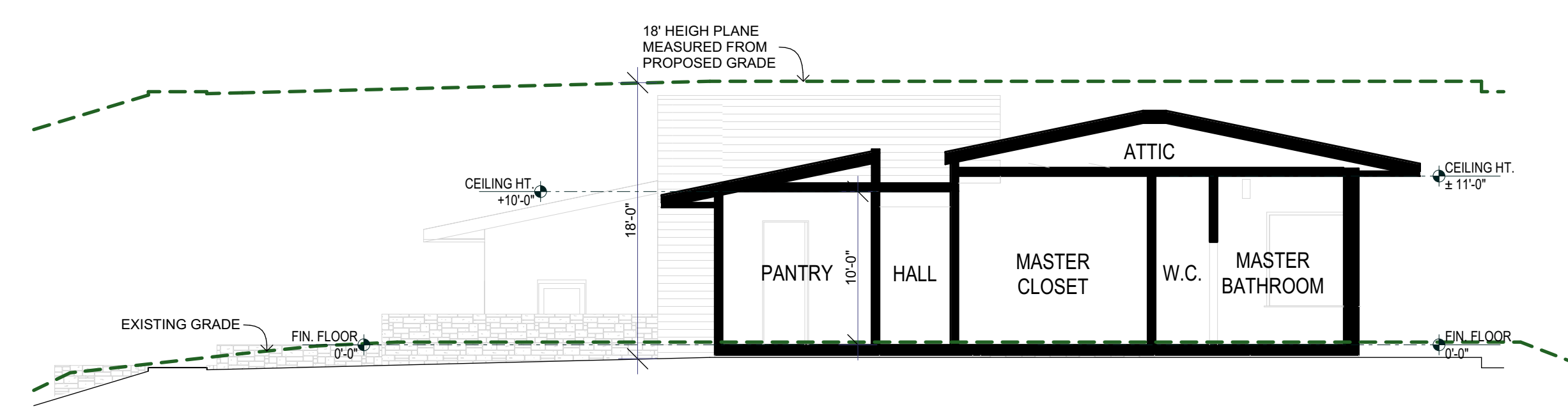
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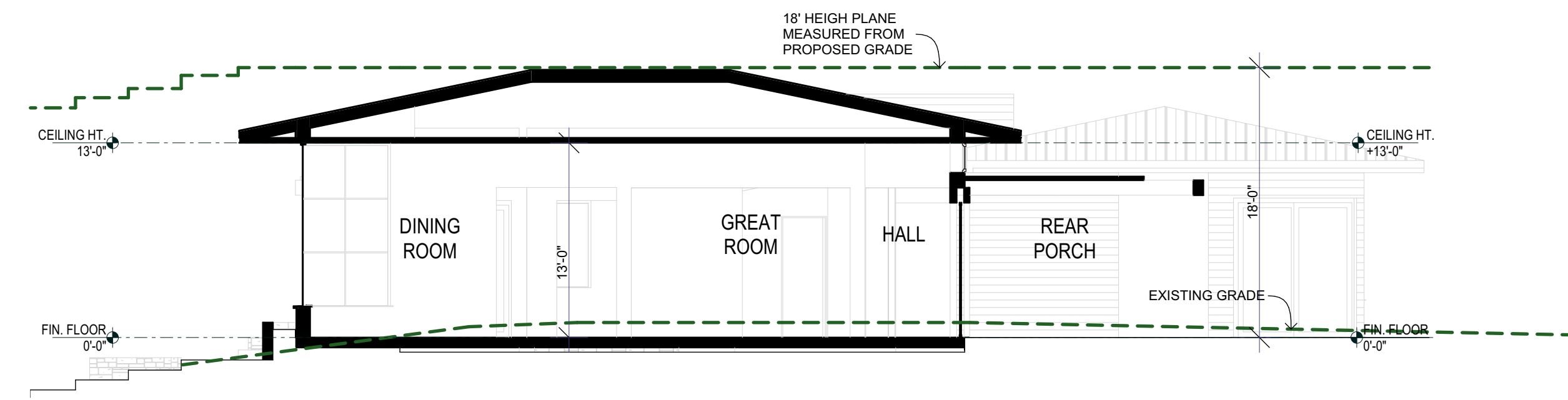
EXTERIOR ELEVATIONS



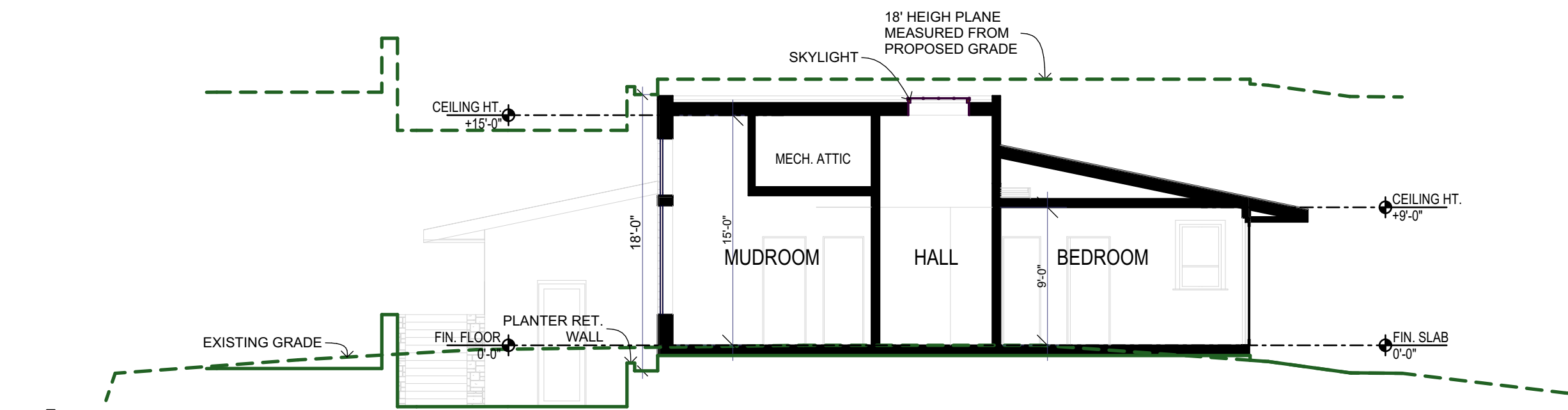
S1 Building Section A
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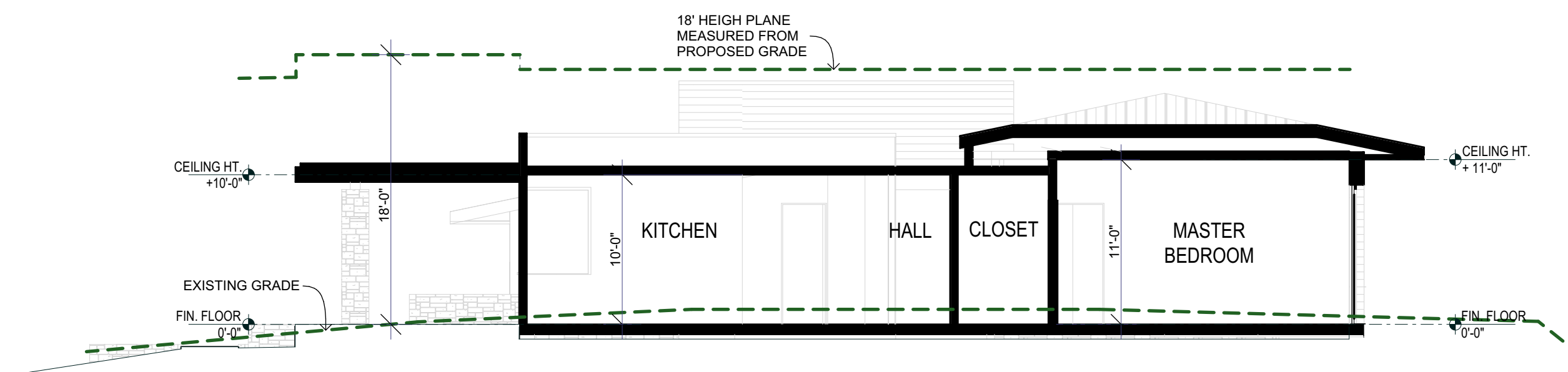
S4 Building Section D
SCALE: 1/8" = 1'-0"



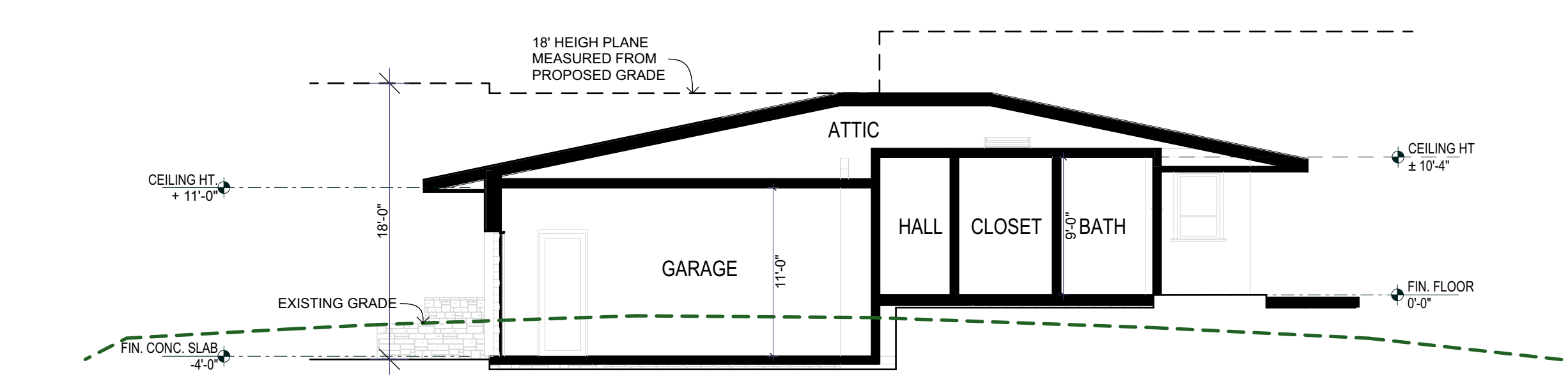
S2 Building Section B
SCALE: 1/8" = 1'-0"



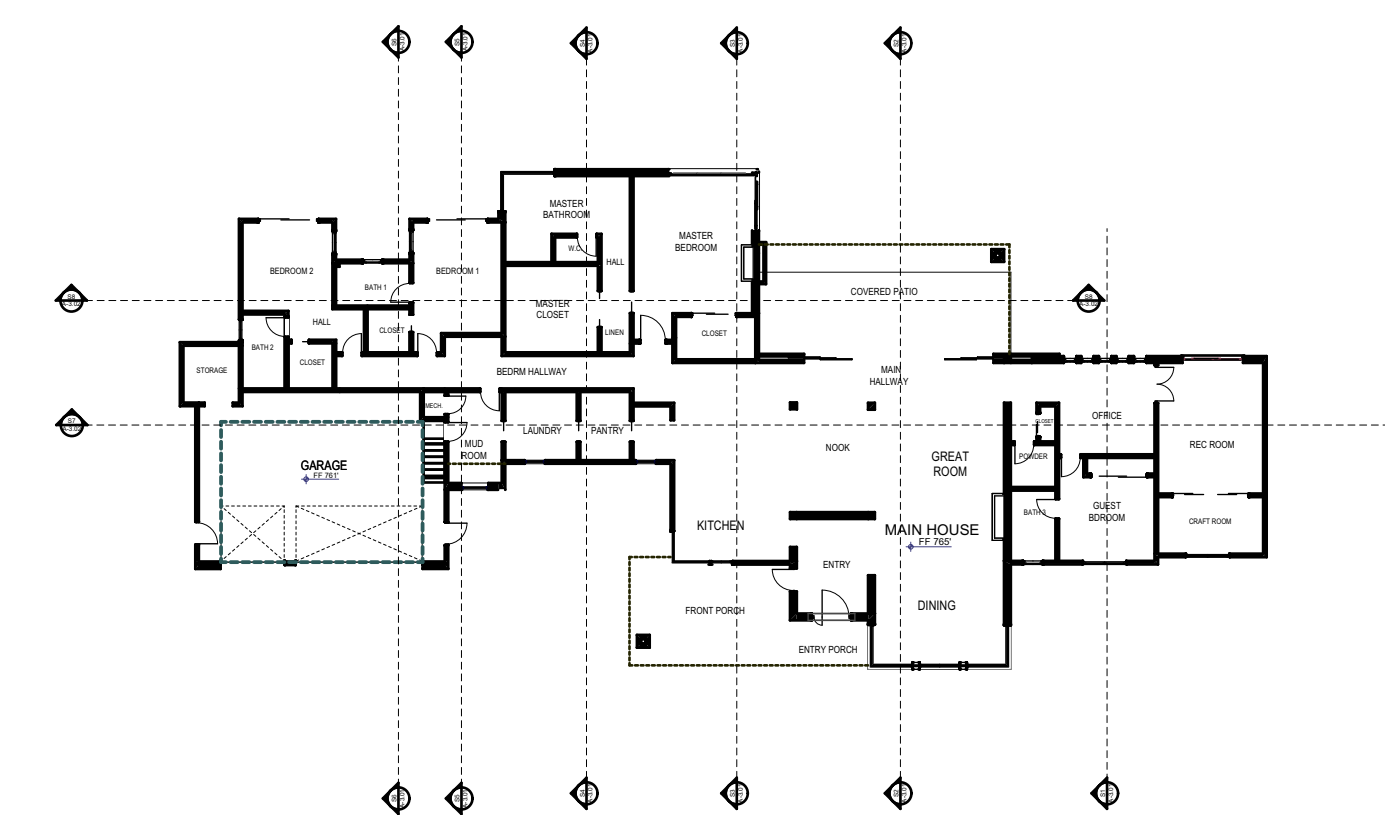
S5 Building Section E
SCALE: 1/8" = 1'-0"



S3 Building Section C
SCALE: 1/8" = 1'-0"



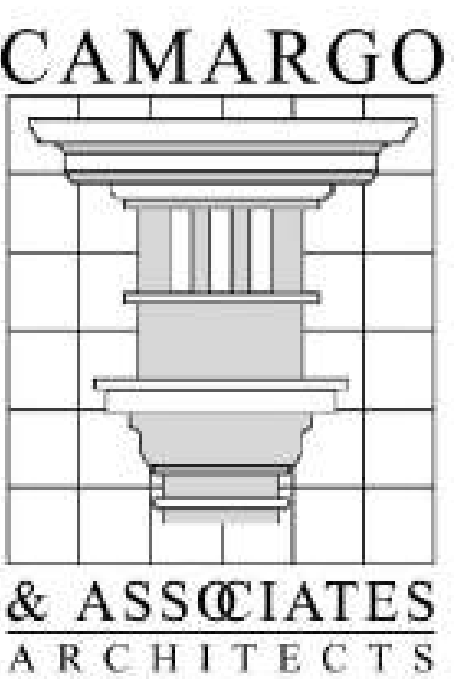
S6 Building Section F
SCALE: 1/8" = 1'-0"



SECTION KEY MAP

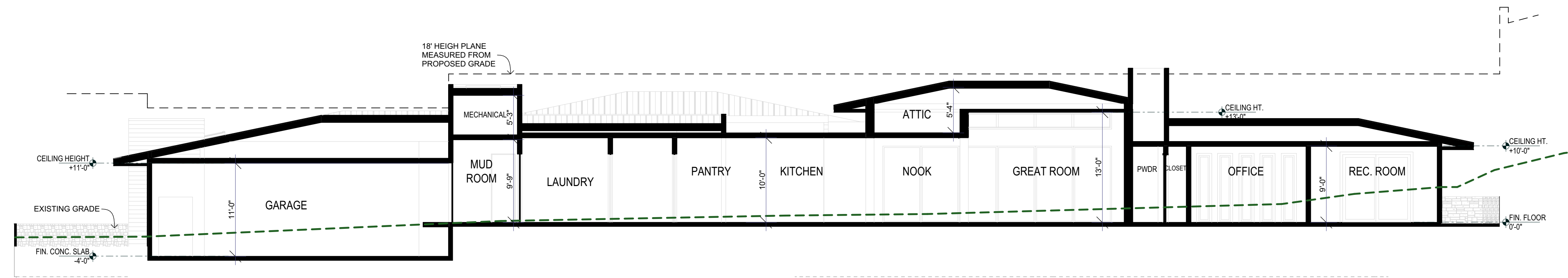
EXTERIOR ELEVATIONS

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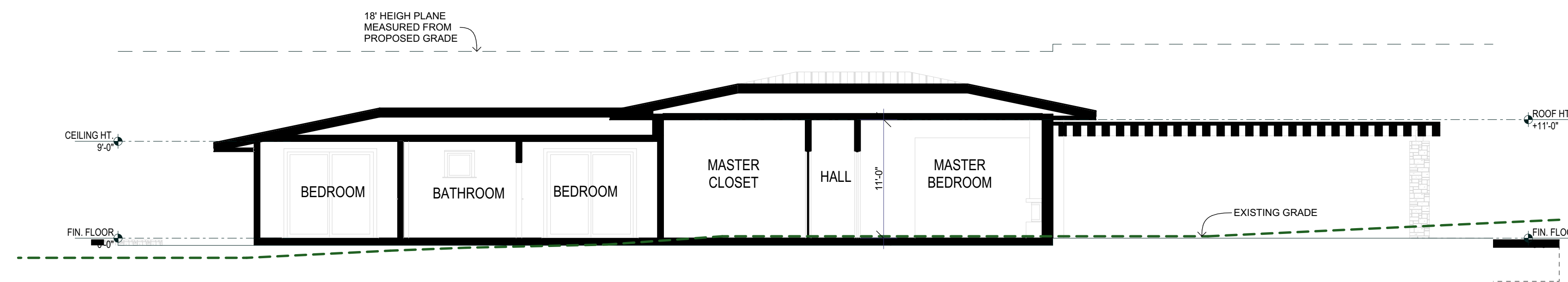


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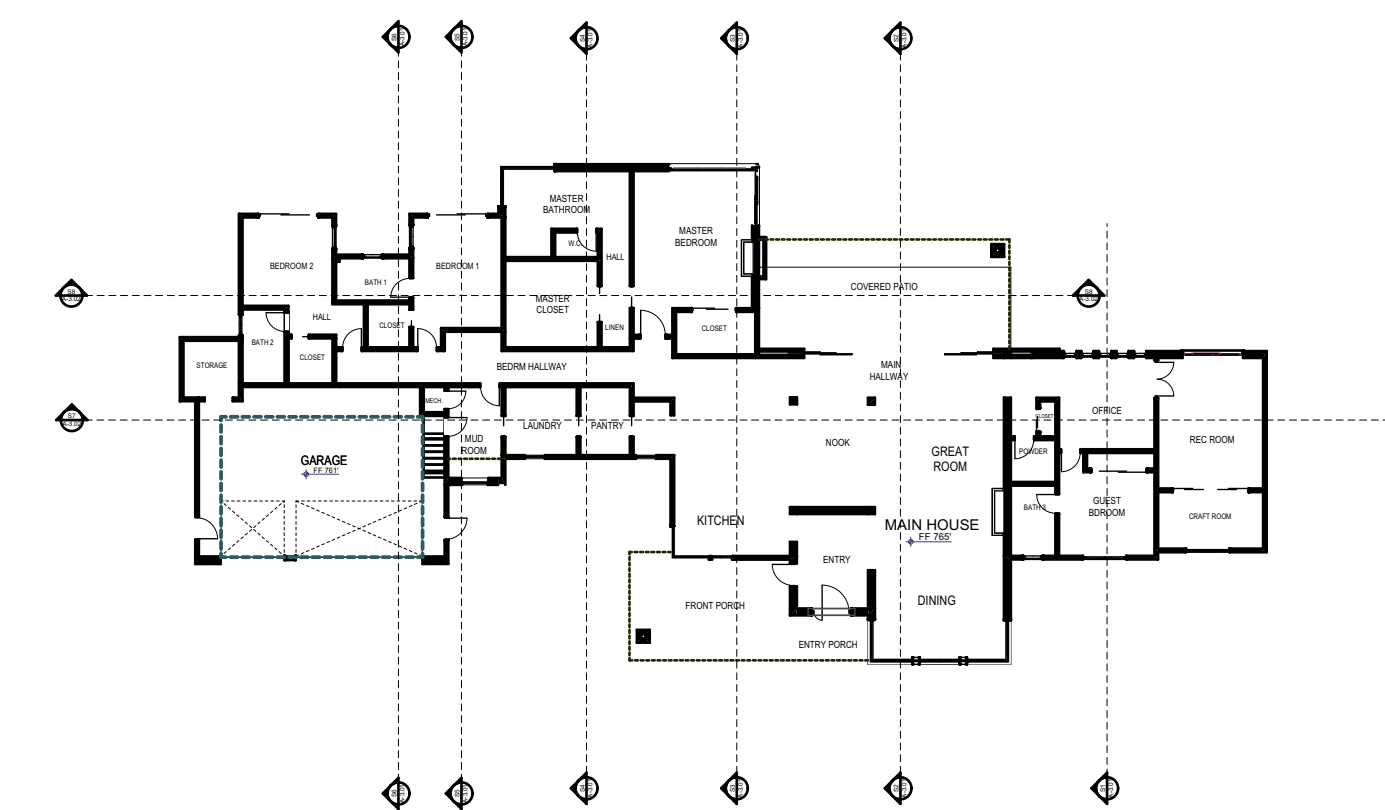
Date	1/6/2020
Project	SUVIEV
Drawn	FRANCISCO TORRES
Sheet	A-3.01



S7 Building Section H
SCALE: 1/8" = 1'-0"



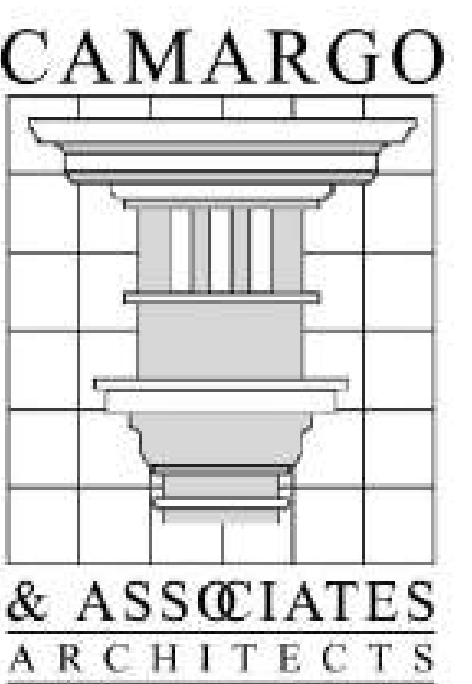
S8 Building Section I
SCALE: 1/8" = 1'-0"



SECTION KEY MAP

BUILDING SECTIONS

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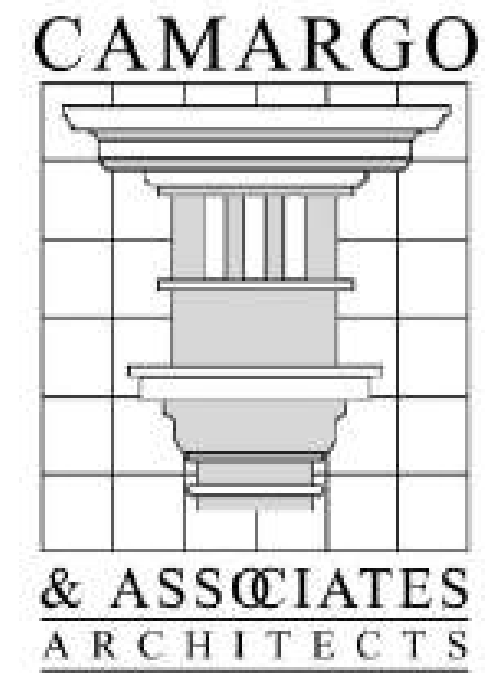
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FLOOR AREAS

MAIN HOUSE FLOOR AREA	5,203.25 SQFT
GARAGE FLOOR AREA	926.75 SQFT
EXCLUDED:	-400 SQFT
TOTAL FLOOR AREA:	5,730 SQFT
MAX. ALLOWED FAR:	6,000 SQFT
COVERED PORCHES:	934 SQFT
TOTAL:	6,663.50 SQFT



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Sheet	A-801

AREA CALCULATIONS

GreenPoint RATED
A PROGRAM OF BUILD IT GREEN

NEW HOME RATING SYSTEM, VERSION 6.0
SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a nonprofit whose mission is to promote healthy, safe and more affordable housing in California.

The minimum requirements of GreenPoint Rated are verification of 50 or more points. Earn the following minimum points per category: Community (3), Energy (2), Indoor Air Quality/Health (3), Resources (3), and Water (3), and meet the prerequisites CALGreen Mandatory, HB 1, JA 1, 01, 07.

The criteria for the green building practices listed below are described in the GreenPoint Rated Single Family Rating Manual. For more information please visit www.builditgreen.org/greenpoint-rated.

Build It Green is not a code enforcement agency.

Points Achieved: **63**

Certification Level: **Certified**

POINTS REQUIRED

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

Single Family New Home Version 6.0.2

15310 SUVIEV DR.

MEASURES	Possible Points						NOTES
	Area	Community	Energy	Indoor Air Quality/Health	Resources	Water	
CAL GREEN							
A. SITE	Yes	4	1	1	1	1	
B. FOUNDATION	Yes	1	2	1	1	1	
C. LANDSCAPE	Yes	1	1	1	1	1	
D. STRUCTURAL FRAME AND FINISHES CHECKLIST	Yes	1	1	1	1	1	

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Single Family New Home Version 6.0.2

MEASURE	Points	Area	Community	Energy	Indoor Air Quality/Health	Resources	Water
05. FSC-Certified Wood	6						
06. Solid Wood Products	3						
07. Energy on Roof Trusses	1						
08. Overhangs and Gutters	1						
09. Insulation	2						
10. Exterior	2						
11. Plumbing	1						
12. Heating, Ventilation and Air Conditioning	2						
13. Renewable Energy	1						

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Single Family New Home Version 6.0.2

MEASURE	Points	Area	Community	Energy	Indoor Air Quality/Health	Resources	Water
2. BUILDING PERFORMANCE AND TESTING	1						
3. FINISHES	0						
4. FLOORING	0						
5. APPLIANCES AND LIGHTING	2						
6. COMMUNITY	2						
7. OTHER	0						
Summary	63	20	9.5	11.0	27.0	13.5	

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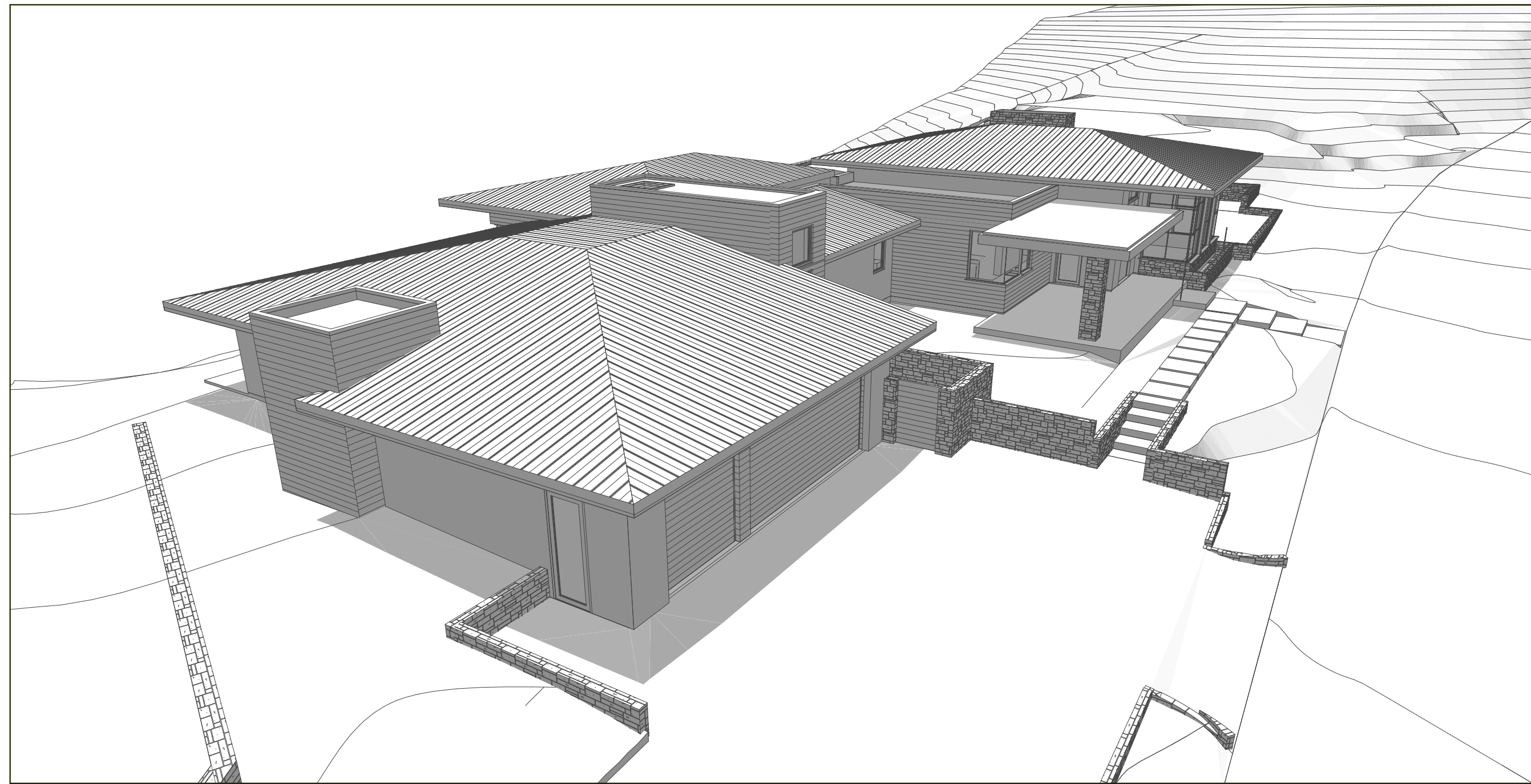
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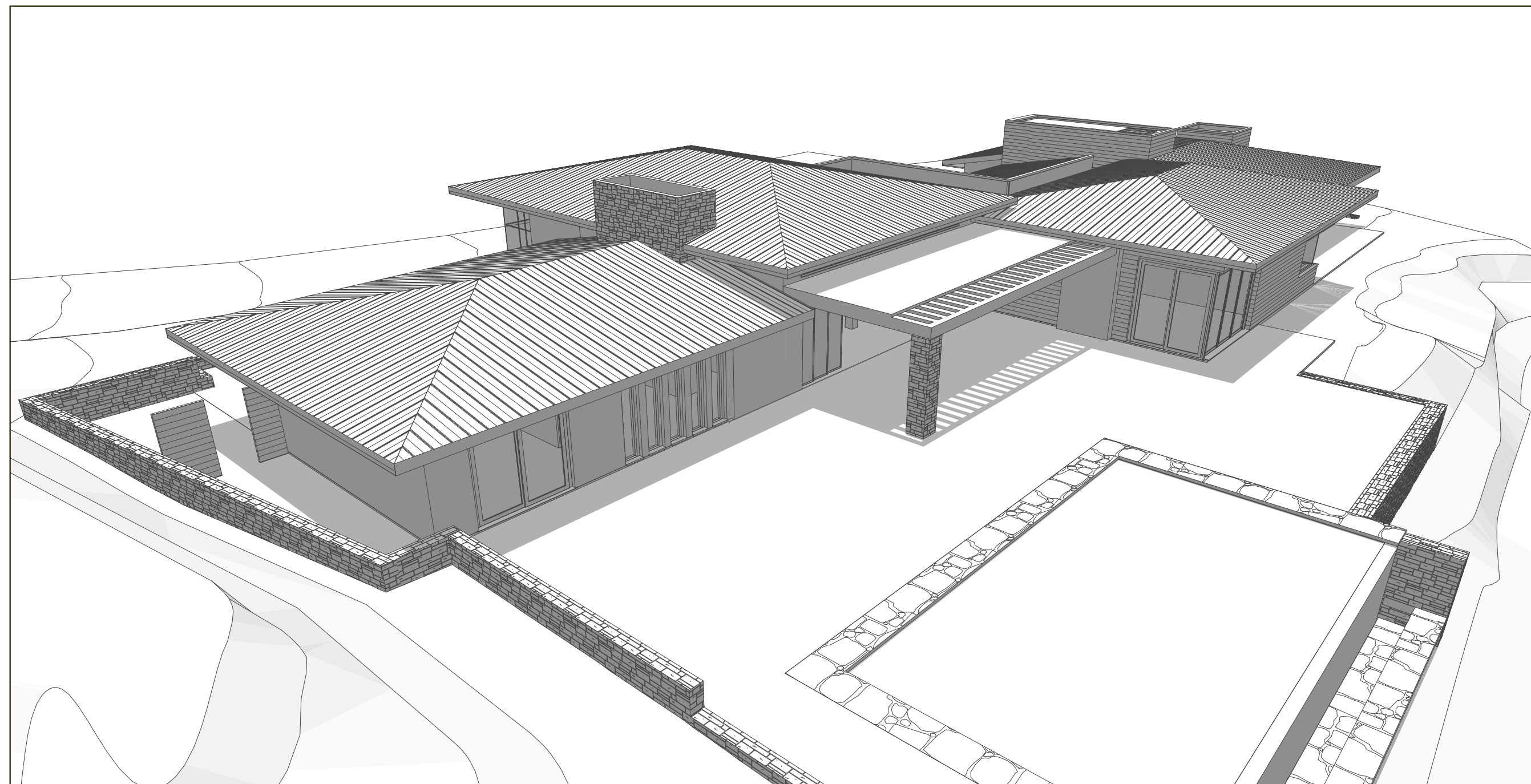
GREEN POINTS RATING CHECKLIST



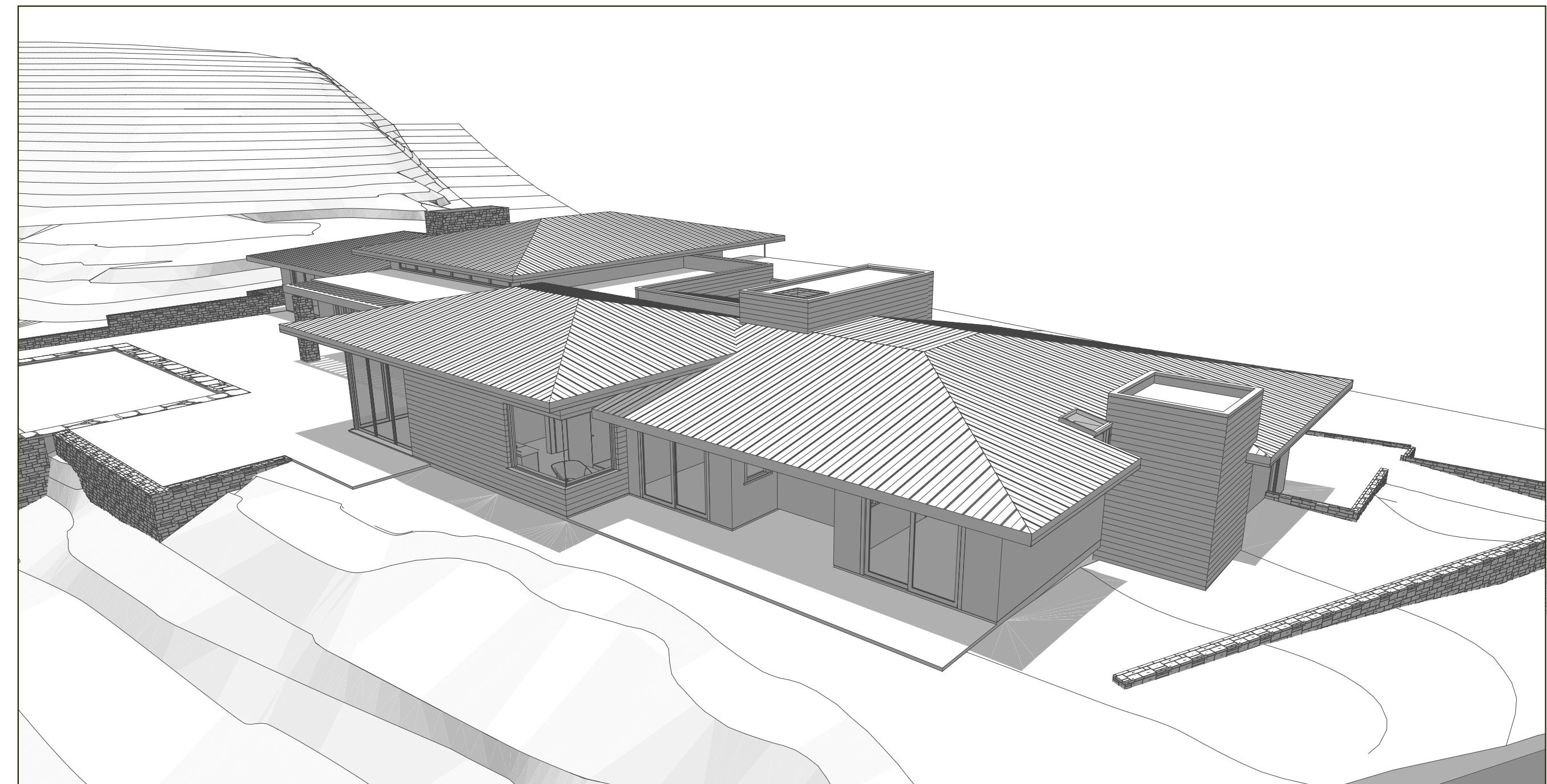
○ NW BIRDS EYE 3D VIEW
NOT TO SCALE



○ SW BIRDS EYE 3D VIEW
NOT TO SCALE

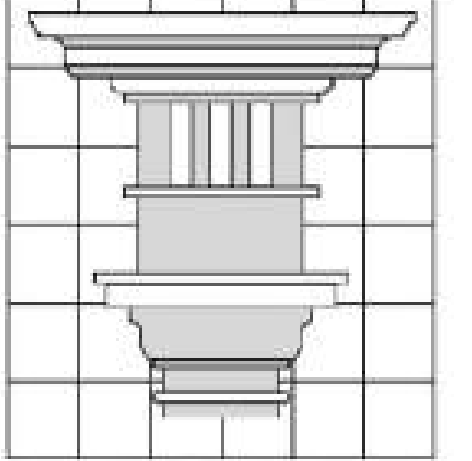


○ SE BIRDS EYE 3D VIEW
NOT TO SCALE



○ NE BIRDS EYE 3D VIEW
NOT TO SCALE

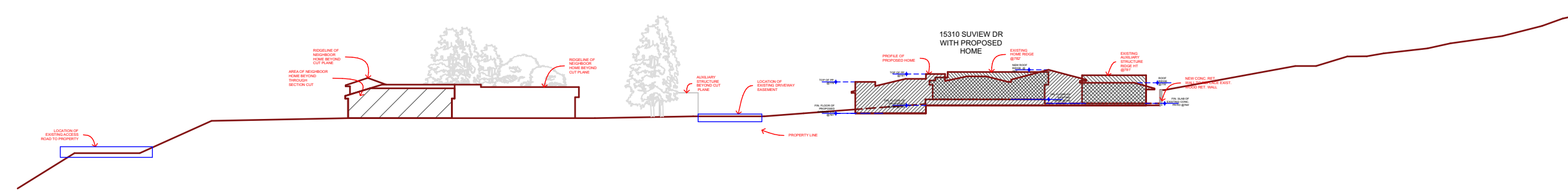
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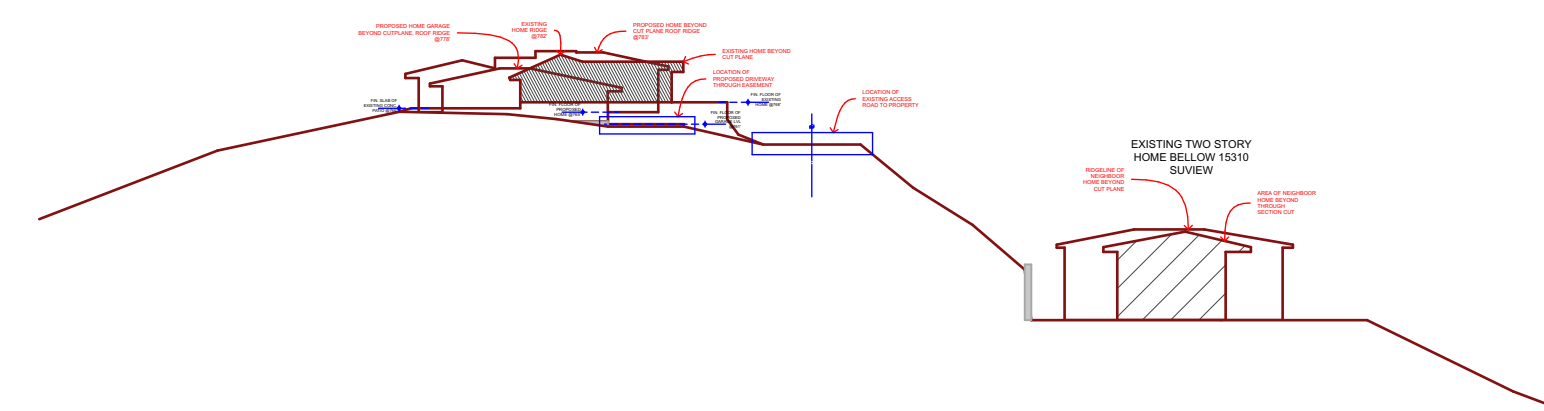
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Sheet	

3D VIEWS
 SCALE: NTS



SECTION A
SECTION CUT TAKEN FOLLOWING THE RIDGELINE OF EXISTING HOME



SECTION B
SECTION CUT TAKEN PERPENDICULAR TO SECTION A THROUGH DRIVEWAY EASEMENT

ALL ELEVATIONS HEIGHTS AND DISTANCES ABOVE AND BELOW THE PROPERTY LINES WERE ACQUIRED FROM GOOGLE EARTH.

VIEW POINT A

Fig. 1 : Existing house at 50mm range



Fig. 2 : Existing house at 300mm range.

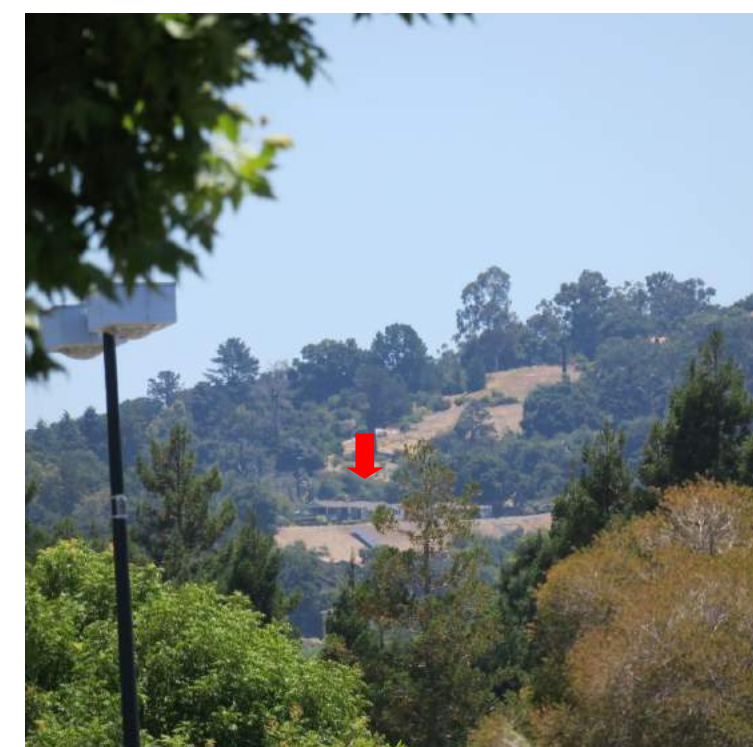


Fig. 3 : Profile of proposed home at 50mm range



Fig. 4 : Profile of proposed home at 300mm range.



VIEW POINT B

Fig. 1 : Existing home at 50mm range.



Fig. 2 : Existing home at 300mm range.

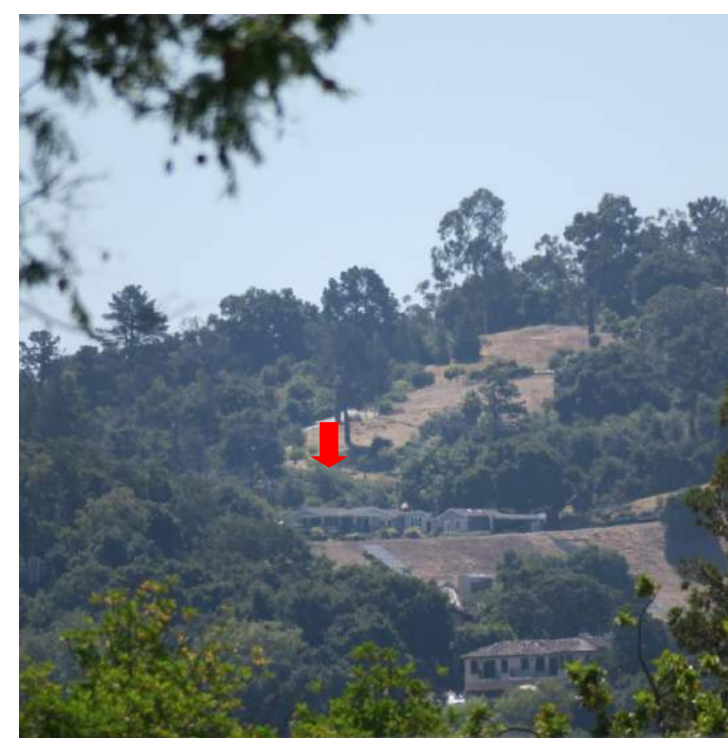


Fig. 3 : Profile of proposed home at 50mm range.



Fig. 4 : Profile of proposed home at 300mm range.



VIEW POINT C

Fig. 1 : Existing house at 50mm range.



Fig. 2 : Existing house at 300mm range.

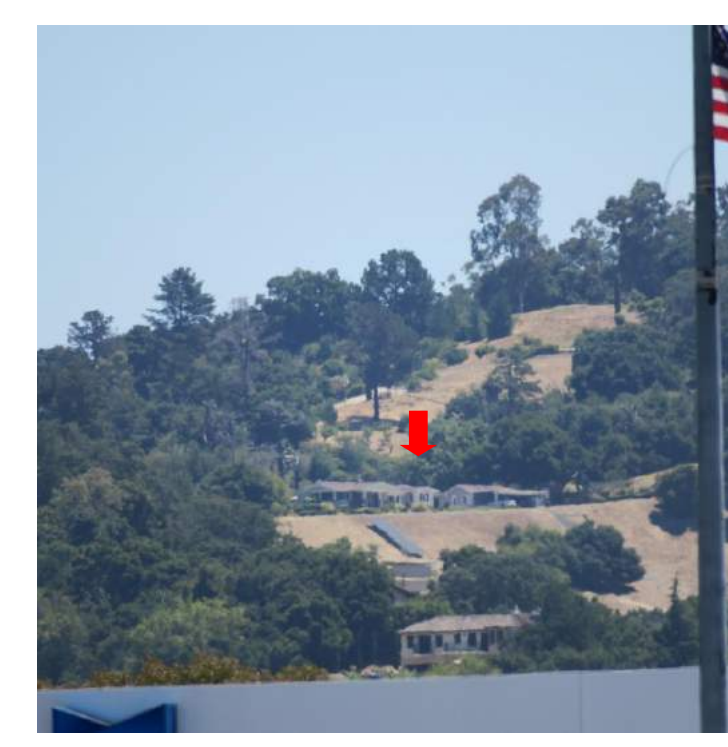


Fig. 3 : Profile of proposed home at 50mm range.



Fig. 4 : Profile of proposed home at 300mm range.



Exhibit 1: Town of Los Gatos Hillside Area Viewing Map.
The orange circled area represents the Viewing area at the Southwest Corner of Blossom Hill Road and Los Gatos Boulevard where the property in question is visible. The red circle represents the property.

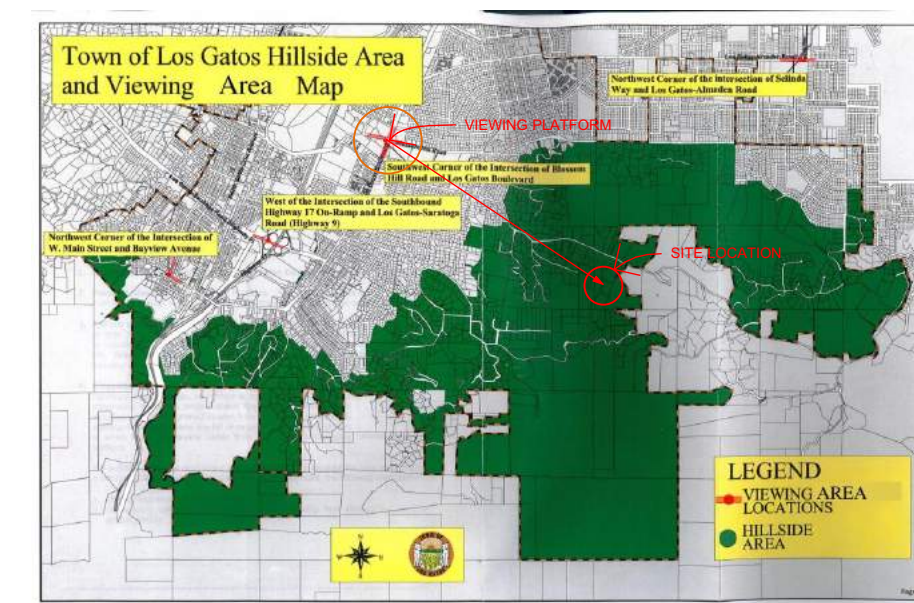
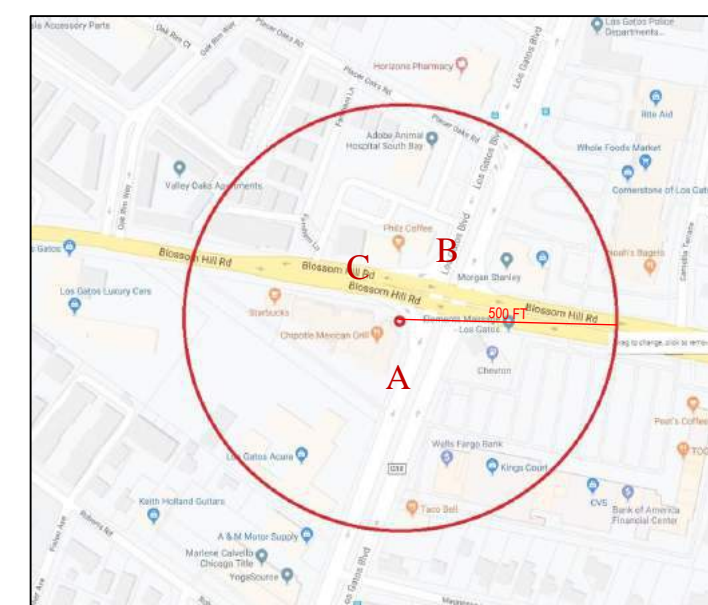


Exhibit 2: Viewing area Blossom Hill Road and Los Gatos Boulevard.
The red circled area represents a 500ft radius from the Southwest corner of Blossom Hill Road and Los Gatos Boulevard. Points A, B, and C, represent areas from where the existing house is visible.



The existing home is currently visible from the view platform located at Blossom Hill Road and Los Gatos Boulevard where the house is visible in its entirety. The new home will be located towards the north side of the property which reduces visibility by 30% of surface area.



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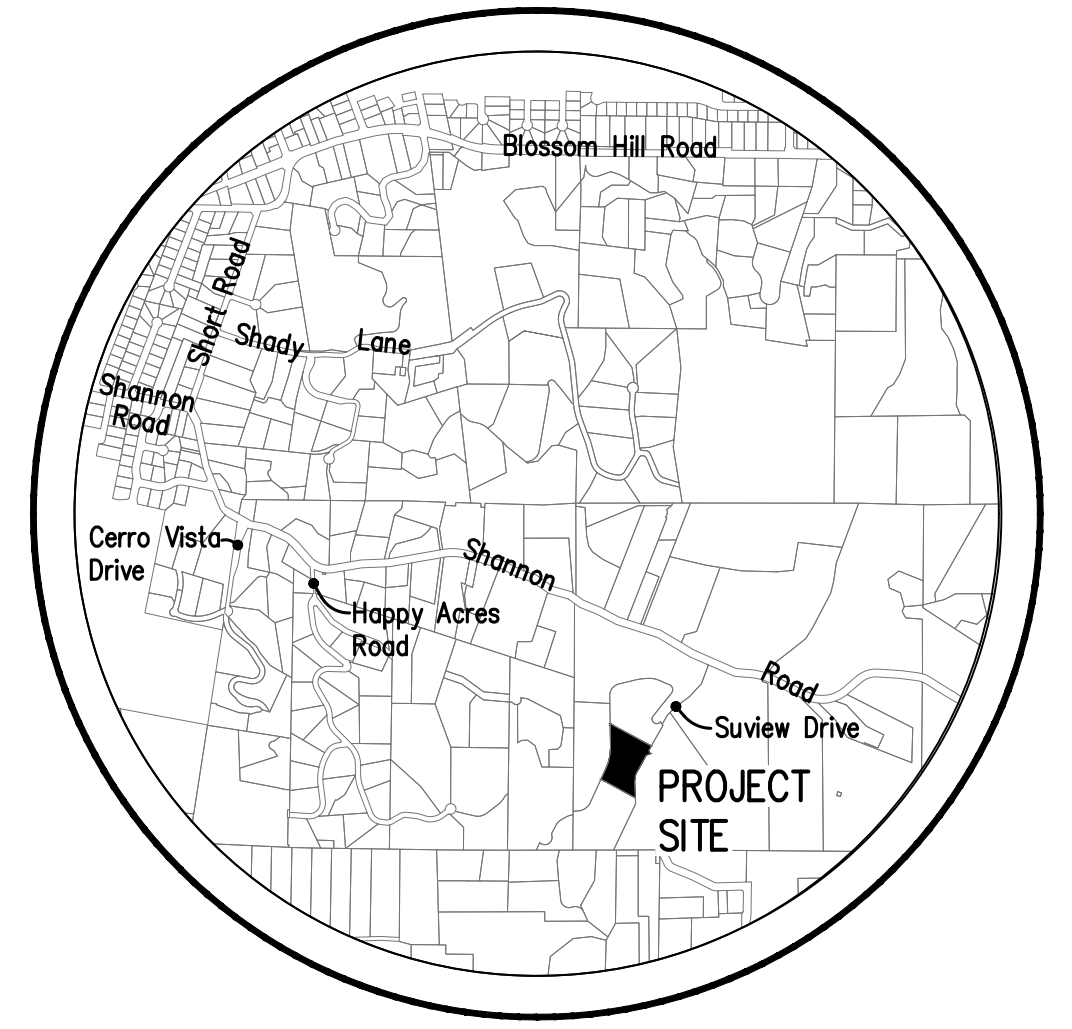
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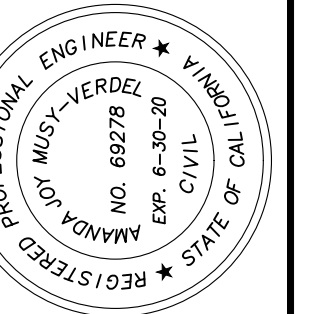
SITE SECTIONS / VISIBILITY ANALYSIS

GRADING AND DRAINAGE PLANS

15310 SUVIEW ROAD, LOS GATOS, CA 95032
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
ASSESSORS PARCEL NO. 537-24-024



VICINITY MAP



DATE: JANUARY 13, 2020
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 16075

GRADING AND DRAINAGE PLANS
LANDS OF VERGARA - 15310 SUVIEW ROAD
TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024
PARKS AND PUBLIC WORKS DEPARTMENT
TOWN OF LOS GATOS

TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OR THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
 - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.

SOILS ENGINEER _____
REFERENCE REPORT NO. _____, DATED _____, 20____
LETTER NO. _____, DATED _____, 20____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/ LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: JIM VERGARA PHONE: 408 640-4291
- GENERAL CONTRACTOR: _____ PHONE: _____
- GRADING CONTRACTOR: _____ PHONE: _____
- CUT: ±2,489 CY EXPORT: ±2,485 CY
FILL: ±4 CY

- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ON TO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDUES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

GENERAL NOTES

- PROPERTY ADDRESS: 15310 SUVIEW ROAD
- PROPERTY OWNER: VERGARA
- ASSESSORS PARCEL NUMBER: 537-24-024
- EXISTING USE: HILLSIDE RESIDENTIAL
- EXISTING ZONING: HR-2 1/2
- PROPOSED USE: HILLSIDE RESIDENTIAL
- PROPOSED ZONING: HR-2 1/2
- SITE AREA: 112,896 SQ. FT. / 2.59 ACRES
- APPLICANT/DEVELOPER: VERGARA
- CONSULTANTS:
- WATER SUPPLY: SAN JOSE WATER COMPANY
- SANITARY SEWER DISPOSAL: ONSITE SEPTIC SYSTEM
- GAS AND ELECTRIC: PACIFIC GAS AND ELECTRIC
- TELEPHONE: FRONTIER
- CALL:
- STORM DRAIN: TOWN OF LOS GATOS
- FIRE PROTECTION: SANTA CLARA COUNTY FIRE DEPARTMENT
- DATUM: NAVD88 (GPS)
- BASIS OF BEARINGS: THE BEARINGS AND DISTANCES ARE BASED ON THE MONUMENTS FOUND AS RECORDED ON THE PARCEL MAP IN BOOK 362 OF MAPS AT PAGE 40 ON OCTOBER 15th, 1975.
- BENCHMARK INFORMATION: TOPOGRAPHIC SURVEY BENCHMARK ELEVATION BY GPS

SHEET INDEX

- TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- SITE PLAN
- GRADING & DRAINAGE PLAN
- OFFSITE SEWER CONNECTION, SECTIONS & DETAILS
- EROSION CONTROL PLAN

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

FLOODZONE STATEMENT

COMMUNITY PANEL NUMBER: 06085C0377H
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE D

ZONE D
AN AREA OF UNDETERMINED BUT POSSIBLE FLOOD HAZARDS

LEGEND

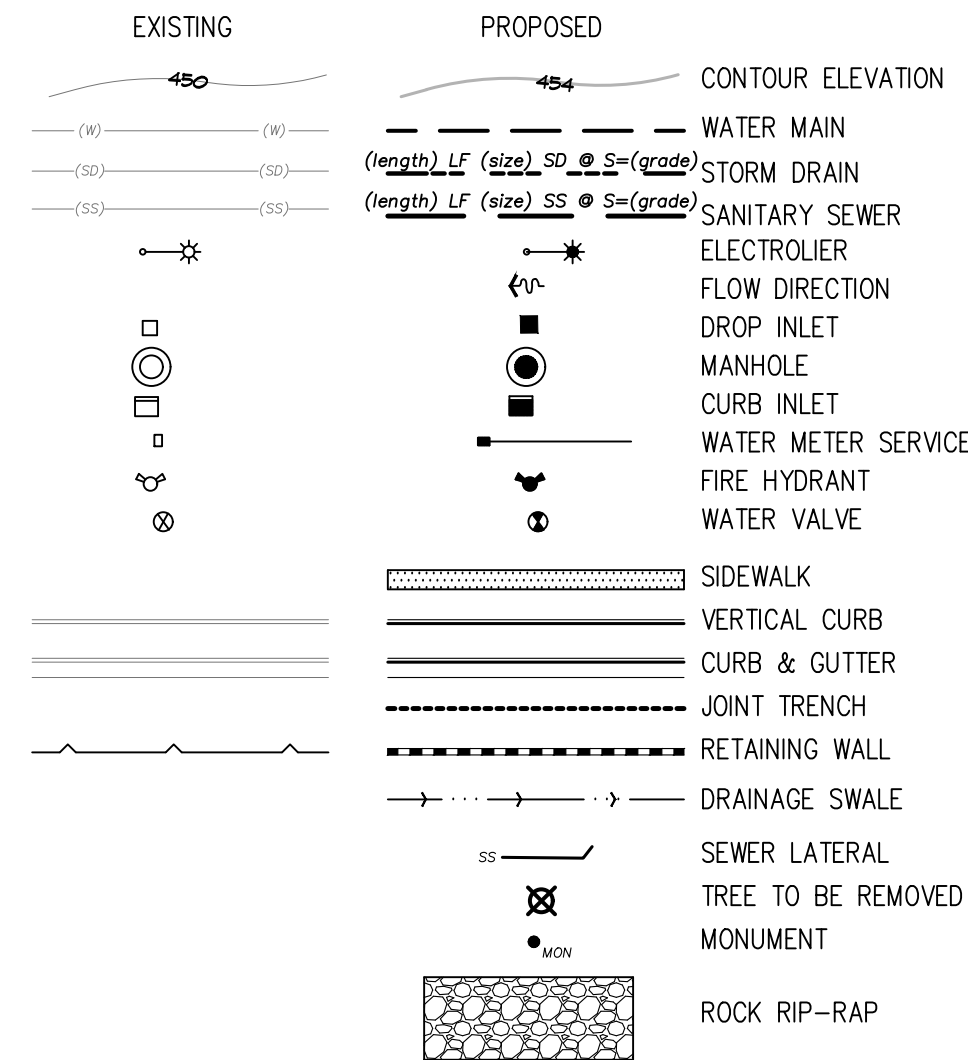


TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS AREAS			
TOTAL SITE AREA: 112,820 SF	TOTAL SITE AREA DISTURBED: (INCLUDING CLEARING, GRADING OR EXCAVATING) 27,918 SF		
EXISTING AREA (SF)	PROPOSED AREA (SF)	REPLACED	NEW
16,363 SF	9,650	4,590 SF	5,060 SF
IMPERVIOUS AREA			
TOTAL NEW & REPLACED IMPERVIOUS AREA		14,240 SF	
PERVIOUS AREA	96,457 SF		

TABLE OF PROPOSED EARTHWORK QUANTITIES				
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (FT)	FILL (CY)	MAX FILL DEPTH (FT)
HOUSE FOOTPRINT	±811	±3.1		
CELLAR				
ATTACHED GARAGE	±224	±4.7		
ACCESSORY BUILDING				
POOL	±380	±13.7		
DRIVEWAY / ACCESS	±299	±4.5		
LANDSCAPE / OUTDOOR	±775	±3.6	±4	±2.7
TOTAL	±2,489		±4	±2,485

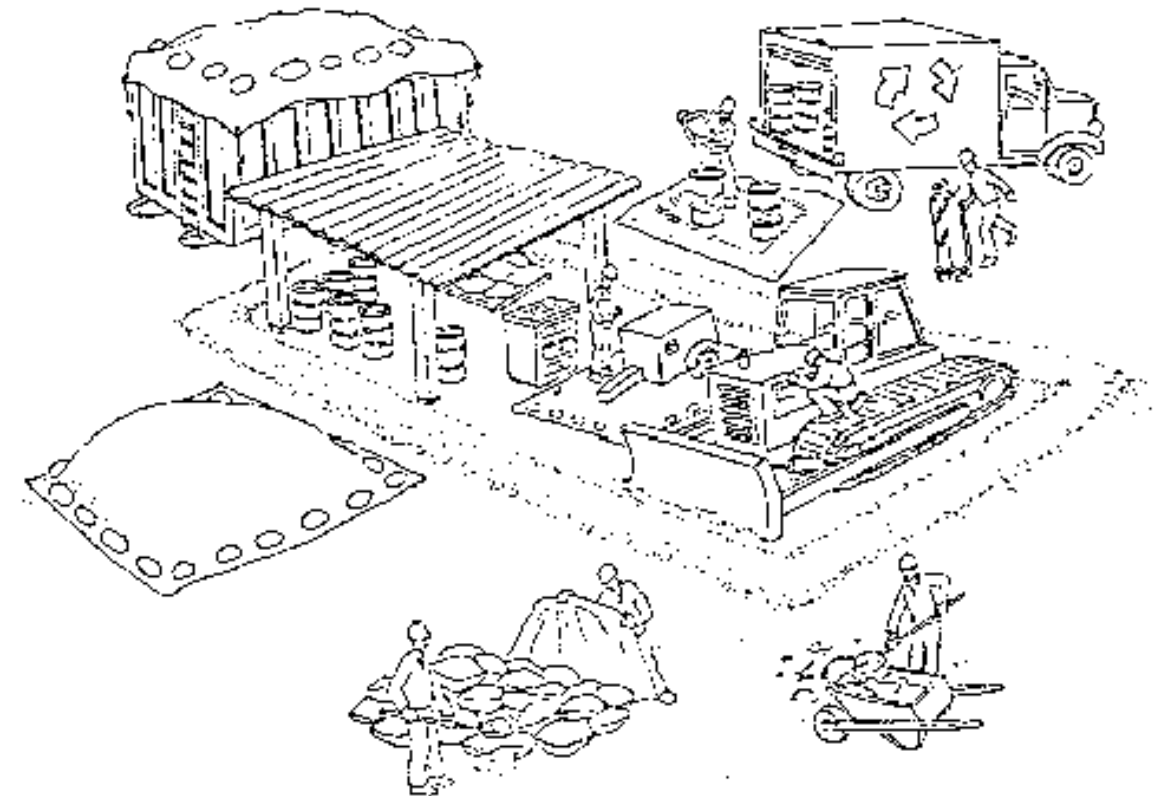
ABBREVIATIONS

AB	AGGREGATE BASE	G	GAS	RCP	REINFORCED CONCRETE PIPE
AC	ASPHALT CONCRETE	GA	GAUGE	RIM	RIM ELEVATION
AD	AREA DRAIN	GB	GRADE BREAK	R/W	RIGHT-OF-WAY
ARV	AIR RELEASE VALVE	GM	GAS METER	S	SOUTH
BC	BACK OF CURB	GS	GAS SERVICE	S	SLOPE
BFP	BACKFLOW PREVENTER	HDPE	HIGH-DENSITY POLYETHYLENE	SCC	SANTA CLARA COUNTY
BW	BOTTOM OF WALL	HP	HIGH POINT	SCCFD	SANTA CLARA COUNTY FIRE DEPARTMENT
CATV	CABLE TELEVISION	IEE	INGRESS/EGRESS EASEMENT	SD	STORM DRAIN
CB	CATCH BASIN	IN	INCH	SDCO	STORM DRAIN CLEANOUT
CFS	CUBIC FEET PER SECOND	INV	INVERT ELEVATION	SDE	STORM DRAIN EASEMENT
C/L	CENTERLINE	LAT	LATERAL	SDMH	STORM DRAIN MANHOLE
CMP	CORRUGATED METAL PIPE	LIP	LIP OF GUTTER	SDR	STANDARD DIMENSION RATIO
CO	CLEANOUT	LP	LOW POINT	SF	SQUARE FEET
CO	CUBIC YARD	MAX	MAXIMUM	SJWC	SAN JOSE WATER COMPANY
DCVA	DOUBLE CHECK VALVE ASSEMBLY	MH	MANHOLE	SS	SANITARY SEWER
DI	DROP INLET	MIN	MINIMUM	SSCO	SANITARY SEWER CLEANOUT
DIA	DIAMETER	MPH	MILES PER HOUR	SSE	SANITARY SEWER EASEMENT
DIP	DUCTILE IRON PIPE	(N)	NORTH	SSMH	SANITARY SEWER MANHOLE
DWY	DRIVEWAY	N.T.S.	NOT TO SCALE	STD	STANDARD
(E)	EAST	O.C.	ON CENTER	S/W	SIDEWALK
EG	EXISTING GRADE	O.D.	OUTSIDE DIAMETER	TC	TOP OF CURB
ELEC	ELECTRICAL	PAD	PAD ELEVATION	TELE	TELEPHONE
EP	EDGE OF PATH	PCC	PORTLAND CEMENT CONCRETE	TLG	TOWN OF LOS GATOS
EVAE	EMERGENCY VEHICLE ACCESS EASEMENT	PERF	PERFORATED	TW	TOP OF WALL
EX	EXISTING	PG&E	PACIFIC GAS & ELECTRIC COMPANY	TPY	TYPICAL
FC	FACE OF CURB	PIEE	PRIVATE INGRESS/EGRESS EASEMENT	VCP	VITRIFIED CLAY PIPE
FDC	FIRE DEPARTMENT CONNECTION	PL	PROPERTY LINE	(W)	WEST
FF	FINISHED FLOOR ELEVATION	PR	PROPOSED	W	WATER
FG	FINISHED GRADE	PSDE	PRIVATE STORM DRAIN EASEMENT	WM	WATER METER
FH	FIRE HYDRANT	PSE	PUBLIC SERVICE EASEMENT	WS	WATER SERVICE
FL	FLOW LINE	PSSE	PRIVATE SANITARY SEWER EASEMENT	WV	WATER VALVE
FM	FORCED MAIN	PUE	PUBLIC UTILITY EASEMENT	WVSD	WEST VALLEY SANITATION DISTRICT
FS	FIRE SERVICE	PVC	POLYVINYL CHLORIDE	XING	CROSSING
FT	FEET	R	RADIUS		

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

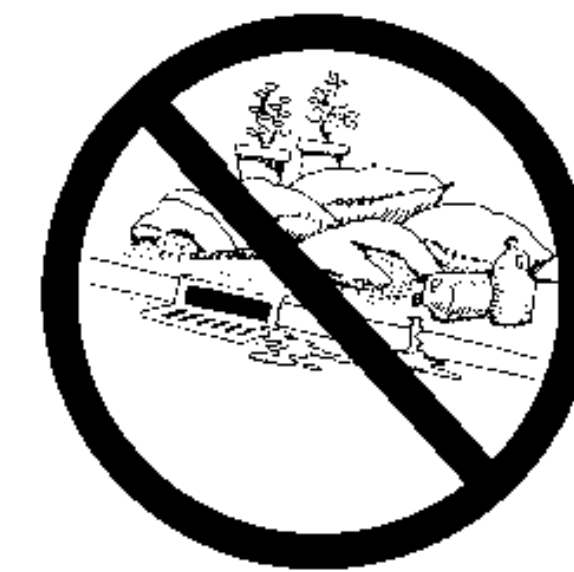
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



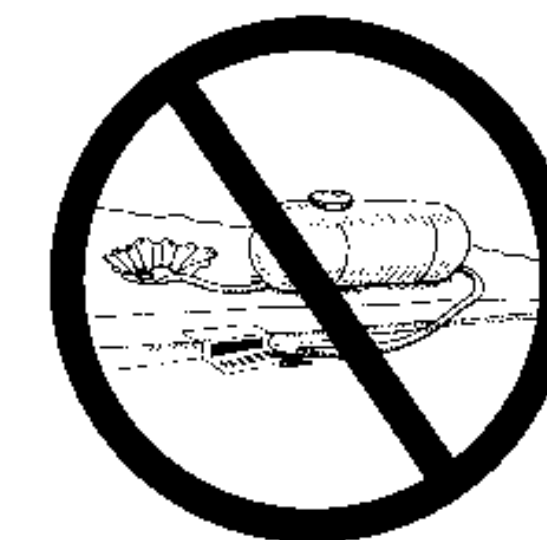
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

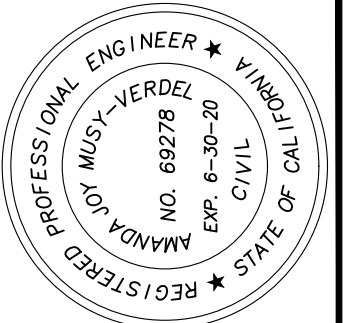


Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



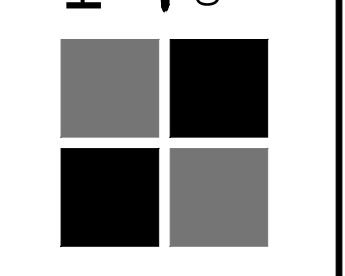
CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL ENSURE, THROUGHOUT THE PROJECT, THAT THE REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS.



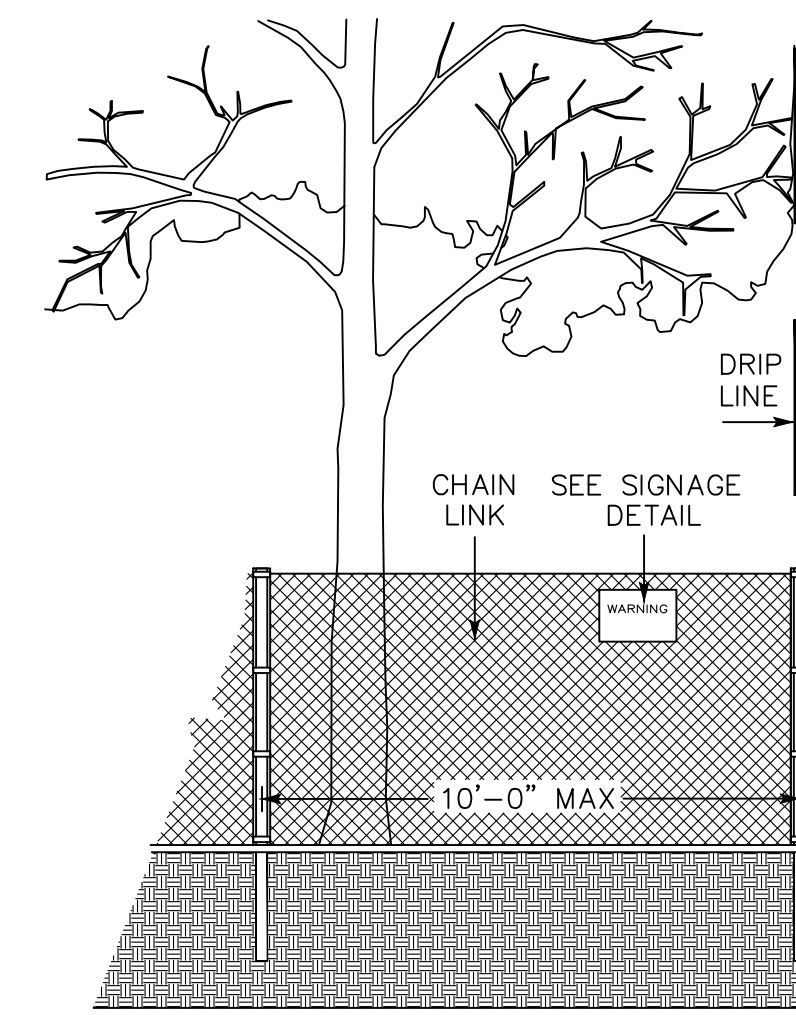
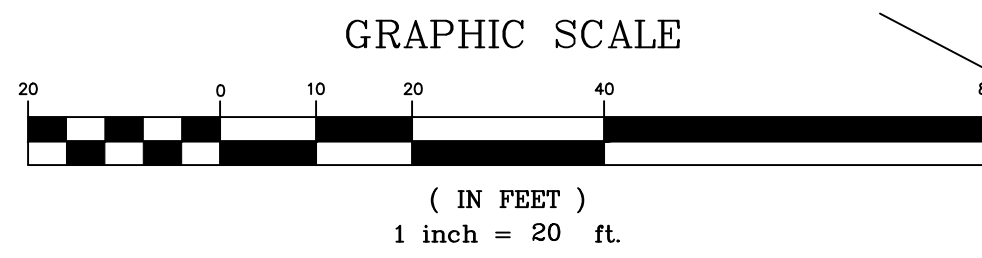
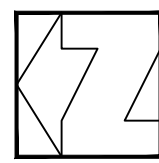
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ENGR:	AM
PROJECT NO.:	18075

PLAN FOR THE IMPROVEMENT OF
LANDS OF VERGARA - 15310 SUVVIEW ROAD
BLUEPRINT FOR A CLEAN BAY
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
EST. 1910
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

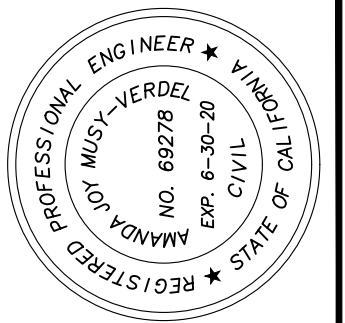


REVISIONS	DATE	BY



EXISTING TREE PROTECTION DETAILS

1. PRIOR TO THE COMMENCEMENT OF ANY GRADING, TREE PROTECTIVE FENCING SHALL BE IN PLACE IN ACCORDANCE WITH THE TREE PRESERVATION PLAN AND INSPECTED BY A CERTIFIED ARBORIST. THE ARBORIST SHALL MONITOR CONSTRUCTION ACTIVITY TO ENSURE THAT THE TREE PROTECTION MEASURES ARE IMPLEMENTED AND ADHERED TO DURING CONSTRUCTION. THIS CONDITION SHALL BE INCORPORATED INTO THE GRADING PLANS.
2. FENCE SHALL BE MINIMUM 6 FEET TALL CONSTRUCTED OF STURDY MATERIAL (CHAIN-LINK OR EQUIVALENT STRENGTH/ DURABILITY).
3. FENCE SHALL BE SUPPORTED BY VERTICAL POSTS DRIVEN 2 FEET (MIN) INTO THE GROUND AND SPACED NOT MORE THAN 10 FEET APART.
4. TREE FENCING SHALL BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD, INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION, REPAIRED AS NECESSARY TO PROVIDE A PHYSICAL BARRIER FROM CONSTRUCTION ACTIVITIES, AND REMAIN IN PLACE UNTIL THE FINAL INSPECTION.
5. A SIGN THAT INCLUDES THE WORDS, "WARNING: THIS FENCE SHALL NOT BE REMOVED WITHOUT THE EXPRESSED PERMISSION OF THE SANTA CLARA COUNTY PLANNING OFFICE," SHALL BE SECURELY ATTACHED TO THE FENCE IN A VISUALLY PROMINENT LOCATION.



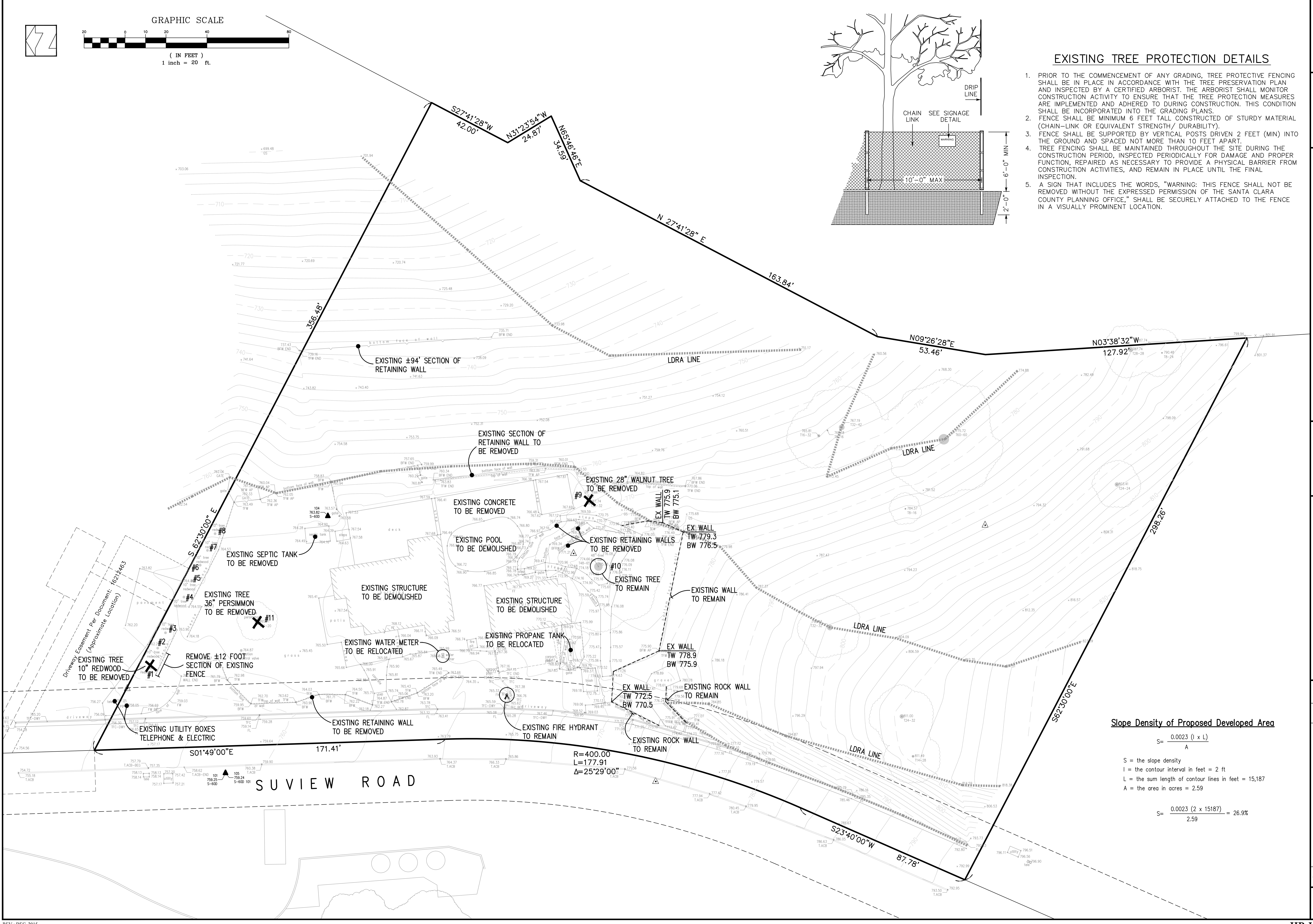
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PLAN FOR THE IMPROVEMENT OF
LANDS OF VERGARA - 15310 SUVIEW ROAD
EXISTING TOPOGRAPHY MAP
 ARCHITECTURE AND SITE APPLICATION NO. S-19-025
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 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
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 CIVIL ENGINEERS • LAND SURVEYORS
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CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL UTILITIES, FENCES, AND ALL OTHER STRUCTURES, INCLUDING THE PERFORMANCE OF WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE ENGINEER.



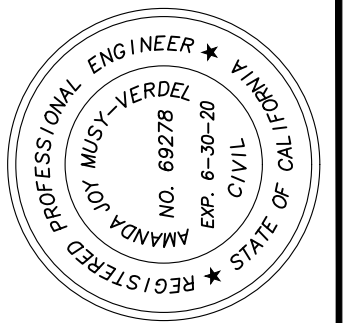
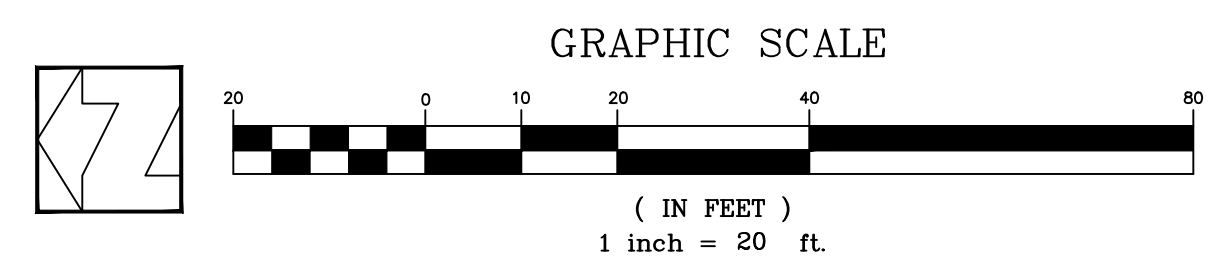
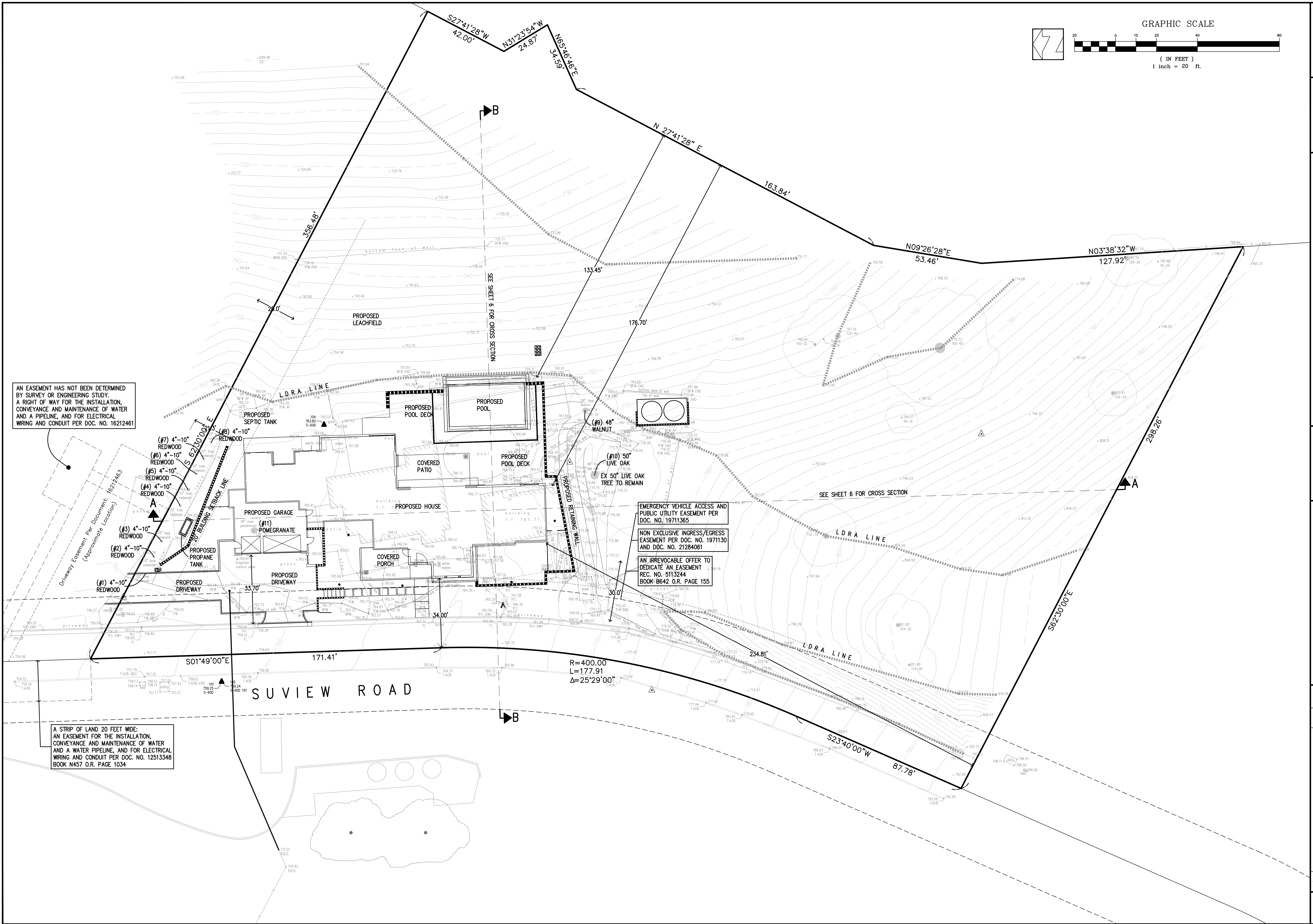
Slope Density of Proposed Developed Area

$$S = \frac{0.0023 (l \times L)}{A}$$

S = the slope density
 l = the contour interval in feet = 2 ft
 L = the sum length of contour lines in feet = 15,187
 A = the area in acres = 2.59

$$S = \frac{0.0023 (2 \times 15187)}{2.59} = 26.9\%$$

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF HIS WORK ON THIS PROJECT, ACCEPTING FULL RESPONSIBILITY FOR THE QUALITY AND SAFETY OF HIS WORK.



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PLAN FOR THE IMPROVEMENT OF
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SITE PLAN
 ARCHITECTURE AND SITE APPLICATION NO. S-19-025
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 TOWN OF LOS GATOS
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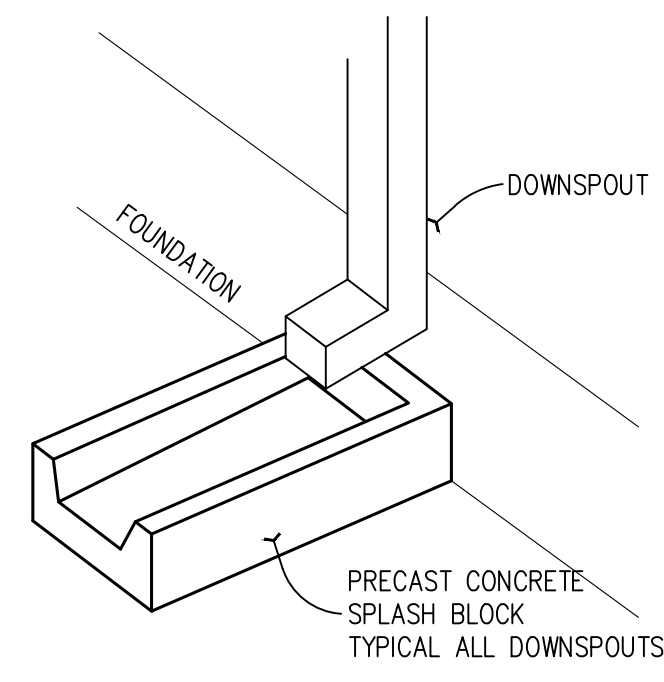
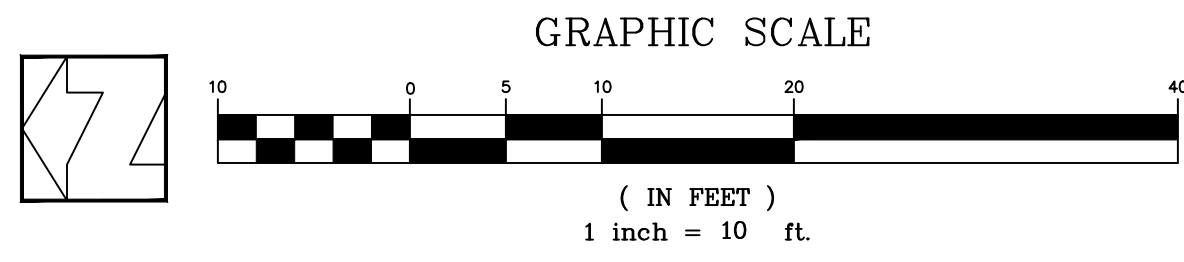
AN EASEMENT HAS NOT BEEN DETERMINED BY SURVEY OR ENGINEERING STUDY. A RIGHT OF WAY FOR THE INSTALLATION, CONVEYANCE AND MAINTENANCE OF WATER AND A PIPELINE, AND FOR ELECTRICAL WIRING AND CONDUIT PER DOC. NO. 16212461

EMERGENCY VEHICLE ACCESS AND PUBLIC UTILITY EASEMENT PER DOC. NO. 19711365
 NON EXCLUSIVE INGRESS/EGRESS EASEMENT PER DOC. NO. 1971130 AND DOC. NO. 21284061
 AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT REC. NO. 5113244 BOOK B642 O.R. PAGE 155

A STRIP OF LAND 20 FEET WIDE: AN EASEMENT FOR THE INSTALLATION, CONVEYANCE AND MAINTENANCE OF WATER AND A WATER PIPELINE, AND FOR ELECTRICAL WIRING AND CONDUIT PER DOC. NO. 12513348 BOOK N457 O.R. PAGE 1034

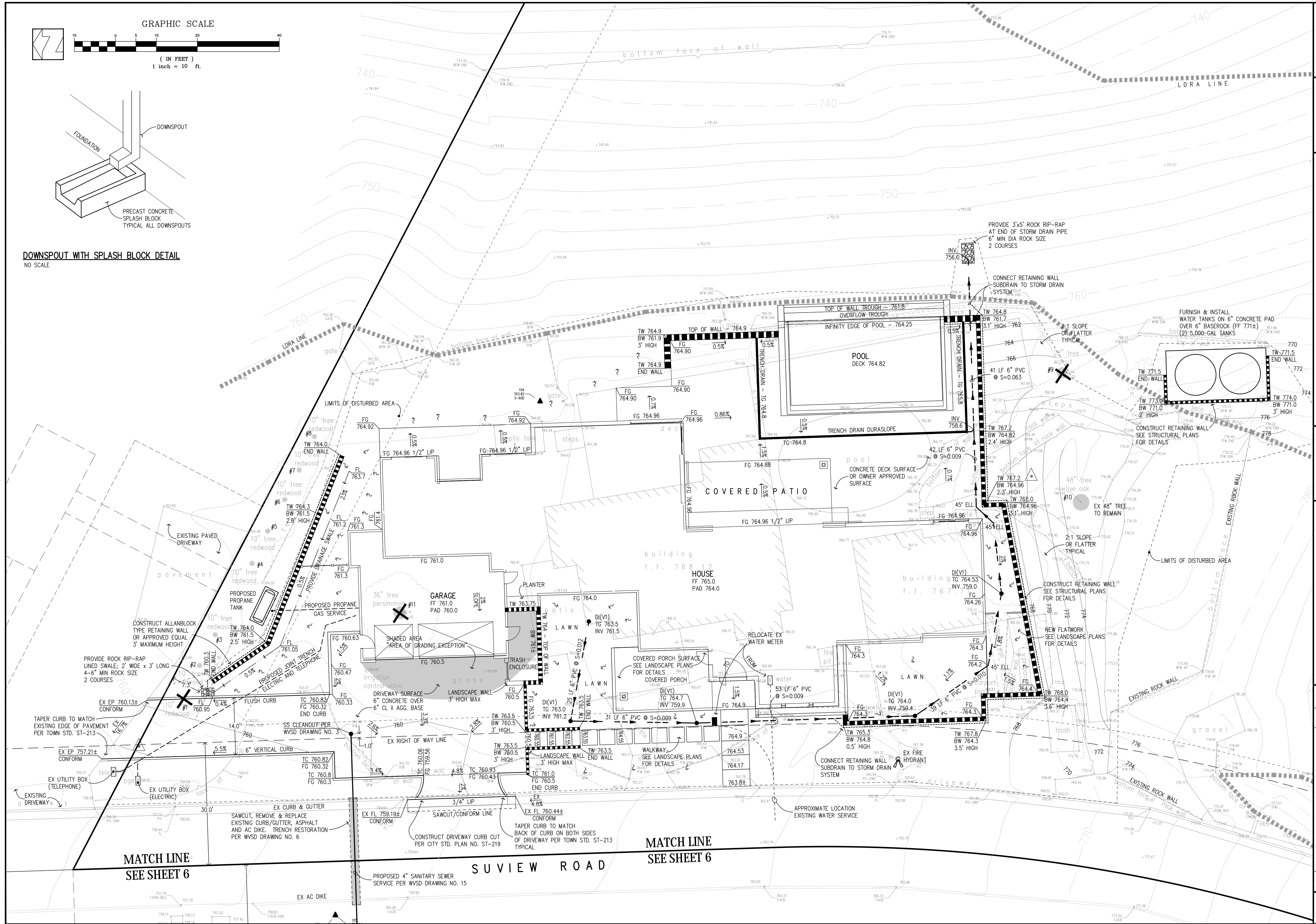
HANNA-BRUNETTI
 EST. 1910
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 CONSTRUCTION MANAGERS

REVISIONS	DATE



DOWNSPOUT WITH SPLASH BLOCK DETAIL
NO SCALE

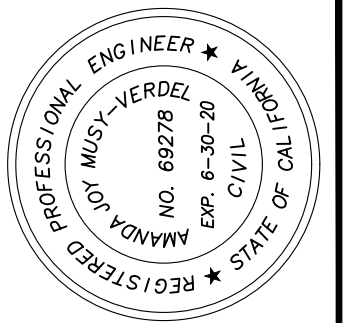
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MATCH LINE
SEE SHEET 6

MATCH LINE
SEE SHEET 6

SUVIEW ROAD



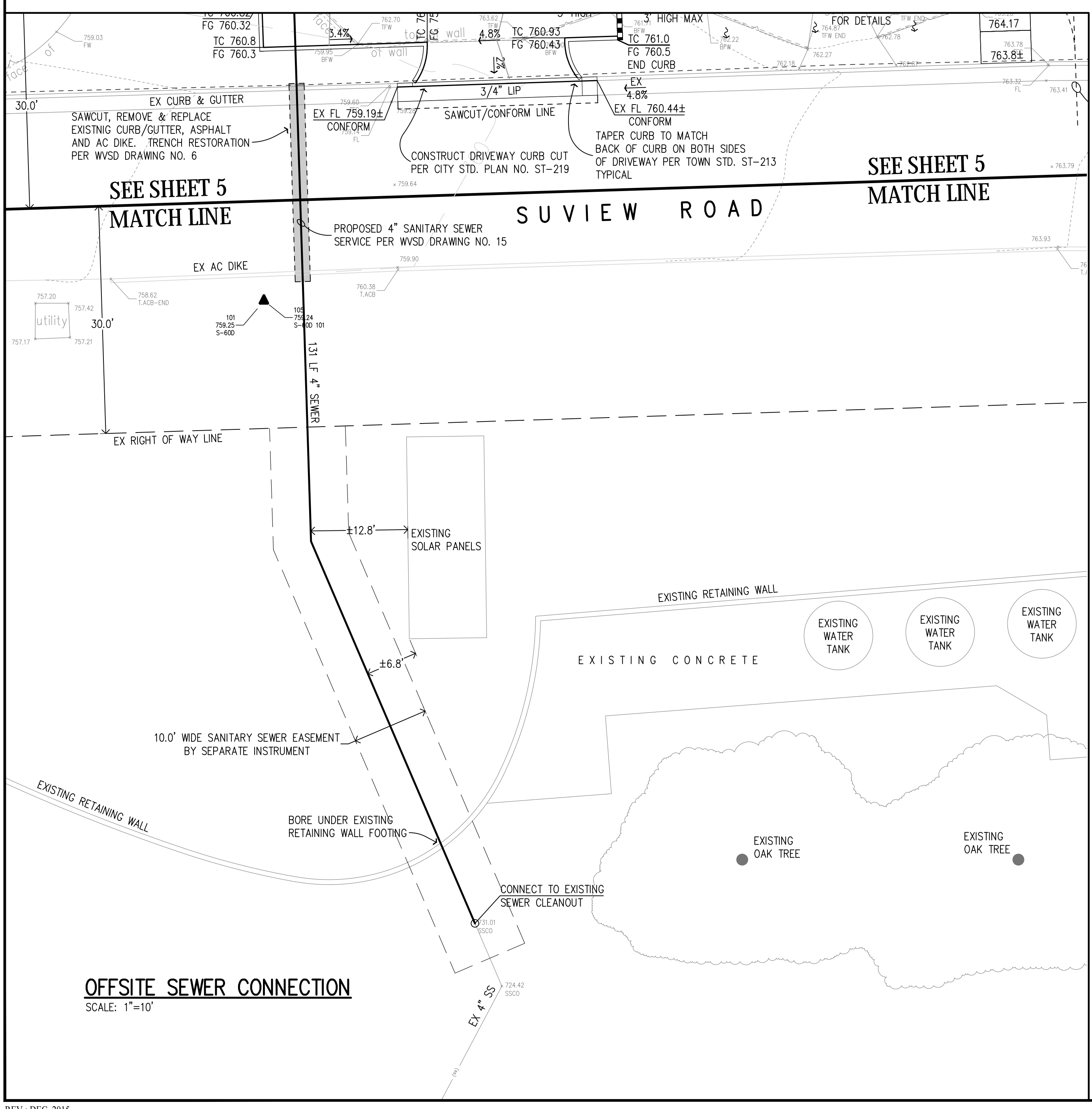
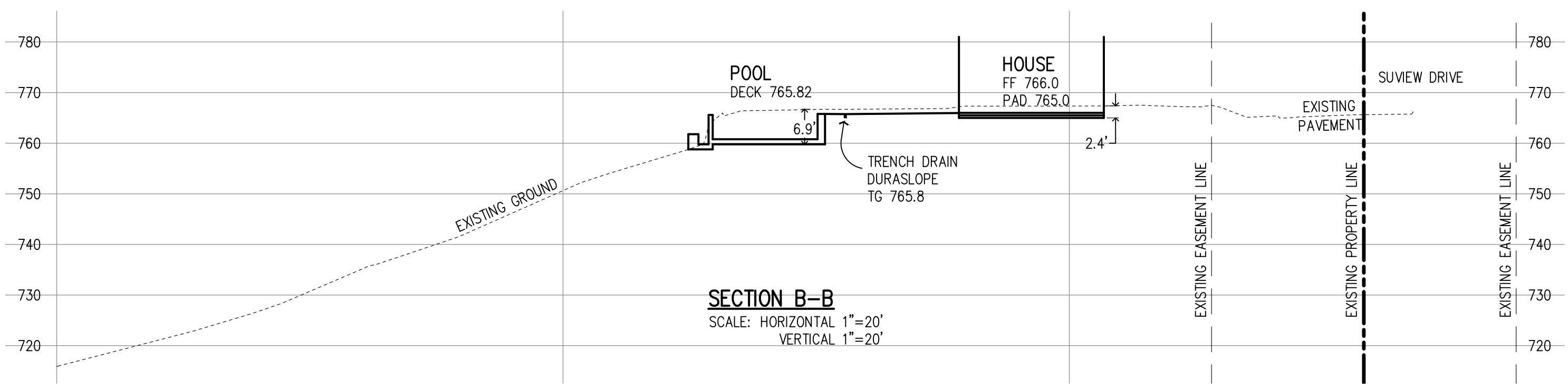
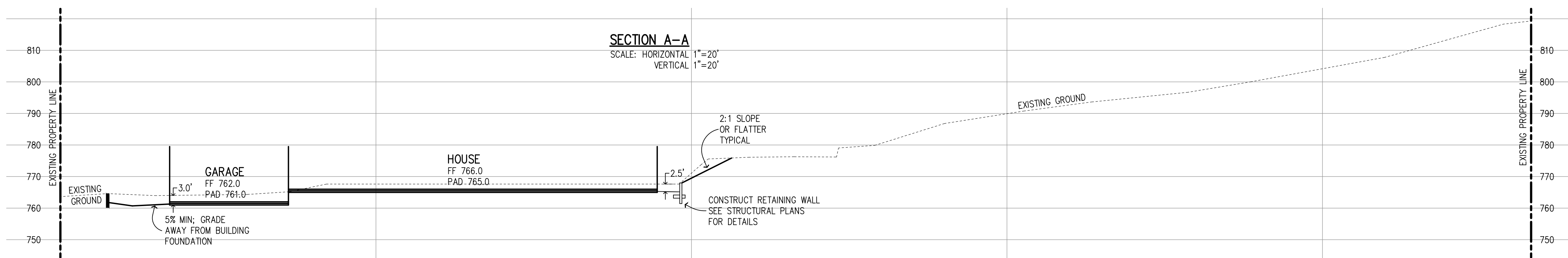
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PLAN FOR THE IMPROVEMENT OF
LANDS OF VERGARA - 15310 SUVIEW ROAD
GRADING & DRAINAGE PLAN
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
EST. 1910
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS

REVISIONS	DATE	BY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL OBTAIN, MAINTAIN AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, RISK OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE NEGLIGENCE OF THE CONTRACTOR OR THE ENGINEER.



Christy V1 Drain Box 8-5/8" I.D. x 12"

- Etched Polyethylene Face
- Face Anchored in Concrete
- Ultraviolet Inhibitor

A reinforced concrete dual purpose box designed for either light purpose drainage installations or enclosing sewer cleanouts in foot traffic areas. Tapered shoulders prevent settling. Notch accommodates up to approximately 4" O.D. pipe or drain tile. Approximate dimensions shown.

CHRISTY ORDERING CODE	ITEM	APPROX. SHIPPING WEIGHT	DESCRIPTION
V1BOX	Drain Box	45	V1 Drain Box (8-1/2" I.D. x 11-3/4" high) — 24 Per Pallet
F8D	Lid	9	D210 Reinforced Concrete
F8C	Lid	7	C210 Cast Iron
V1-71C	Grate	10	71C213 Cast Iron

TO FIND CENTIMETERS MULTIPLY INCHES BY 2.5
TO FIND KILOGRAMS MULTIPLY POUNDS BY .45

QUALITY PRECAST CONCRETE PRODUCTS

NDS

DURA SLOPE™ TRENCH DRAIN - PRE-SLOPED (PATENTED)

Product Features & Benefits

- Interlocking tongue and groove joints
- Secure alignment
- Excuse straight channel runs
- Easy assembly and installation
- DuraLoc™ integral joint lock
- Eliminates joint movement during installation
- No extra clamps or screws needed

Various grating options

- ADA compliant, Heat-Proof options
- Plastic grates
- Array of colors
- Pedestrian and light traffic rated
- Galvanized & stainless steel
- Pedestrian & heavy traffic rated
- Cast & ductile iron
- Class D heavy traffic rated (with frame)
- Decorative grates (cast iron)
- Standard black electroplated coating or raw iron Class C traffic rated

Lightweight 4 ft. modular sections

- Easier handling and installation
- Lower freight costs

Blank grate insert

- Eliminates use of plywood
- Slides for overlapping of channel sections
- Includes grates screws

Smooth HDPE interior

- Virtually no water absorption

HDPE material

- Durable
- Impervious
- Less leakage versus concrete
- Chemical resistance

0.7% Built-in slope

- Maintains optimum flow rates throughout system
- Also available in neutrals; non-sloped sections
- Pre-sloped and neutrals available in depths from 4" to 12"

Bottom outlet on each channel section

- System versatility
- Requires fewer accessories

2" radius bottom

- Minimizes debris build-up

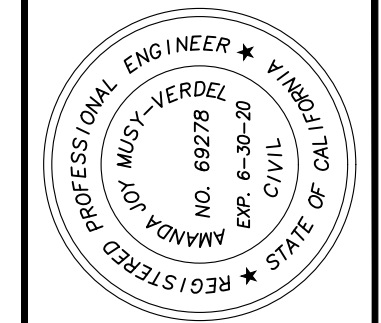
LevelLoc™ re-bar supports with integral protruding knob

- Levels channel and grates re-bar
- Requires fewer accessories

ProFIT™ locking system

- Locks grate to integral frame
- Supports product in shipping and installation (optional)

Product Catalog 2016/2017



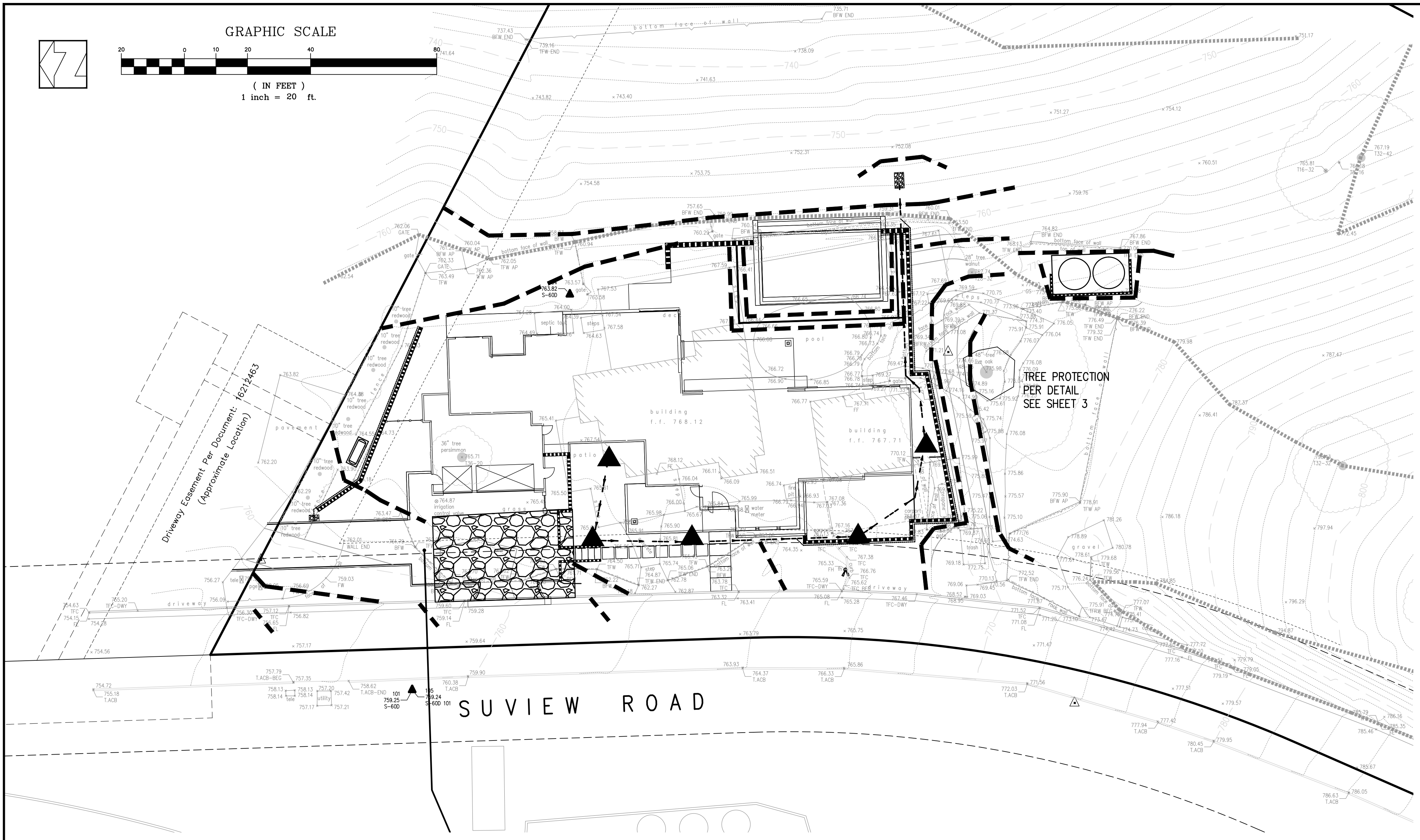
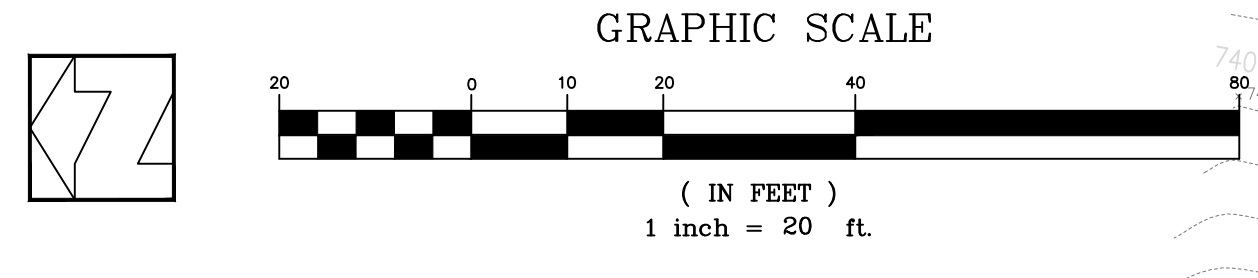
DATE: OCTOBER 31, 2019
SCALE: AS SHOWN
DESIGN: AM
DRAWN: TM
CHECK: XX
ENCR: AM
PROJECT NO.: 16075

PLAN FOR THE IMPROVEMENT OF
LANDS OF VERGARA - 15310 SUVIEW ROAD
OFFSITE SEWER CONNECTION,
SECTIONS & DETAILS
ARCHITECTURE AND SITE APPLICATION NO. S-19-025
APN 537-24-024
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
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EROSION CONTROL NOTES

- EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
- NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
- A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALLED ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
- ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
- THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
- PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
- ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
- ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
- ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
- INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
- IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

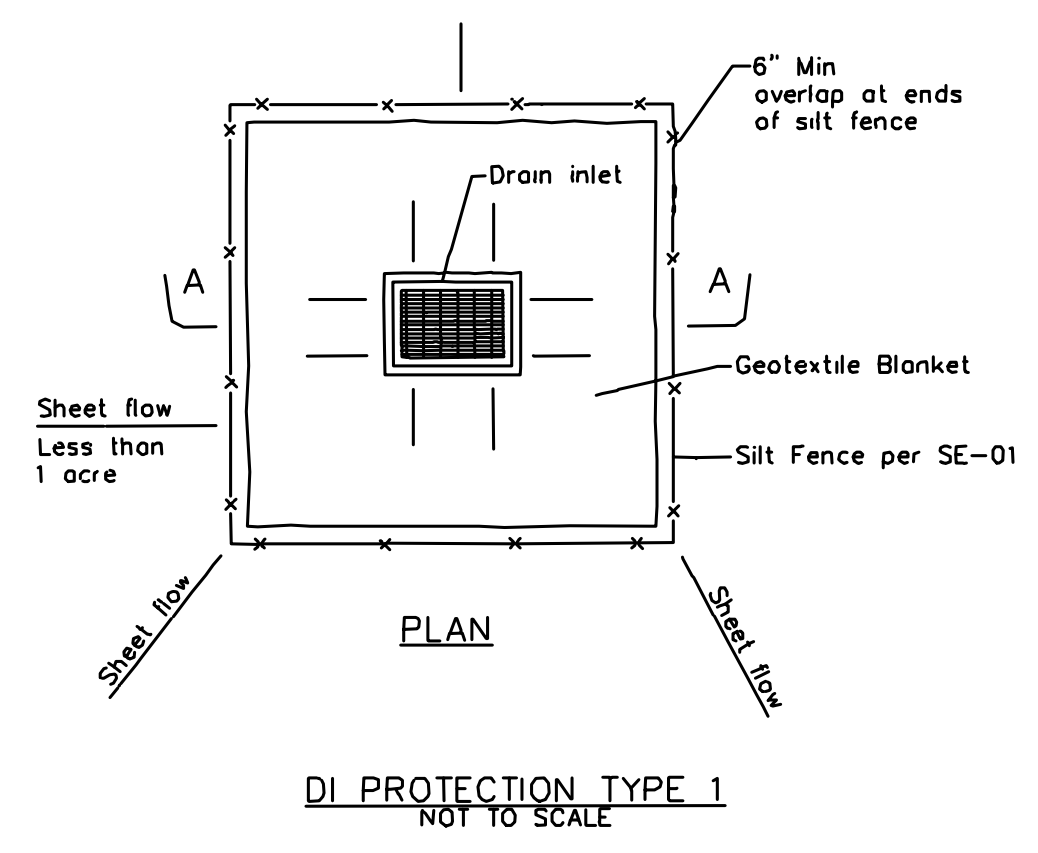
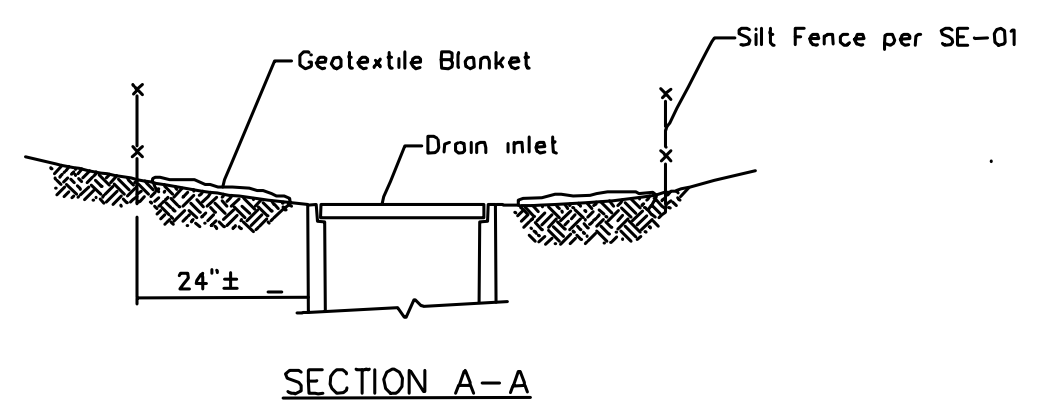
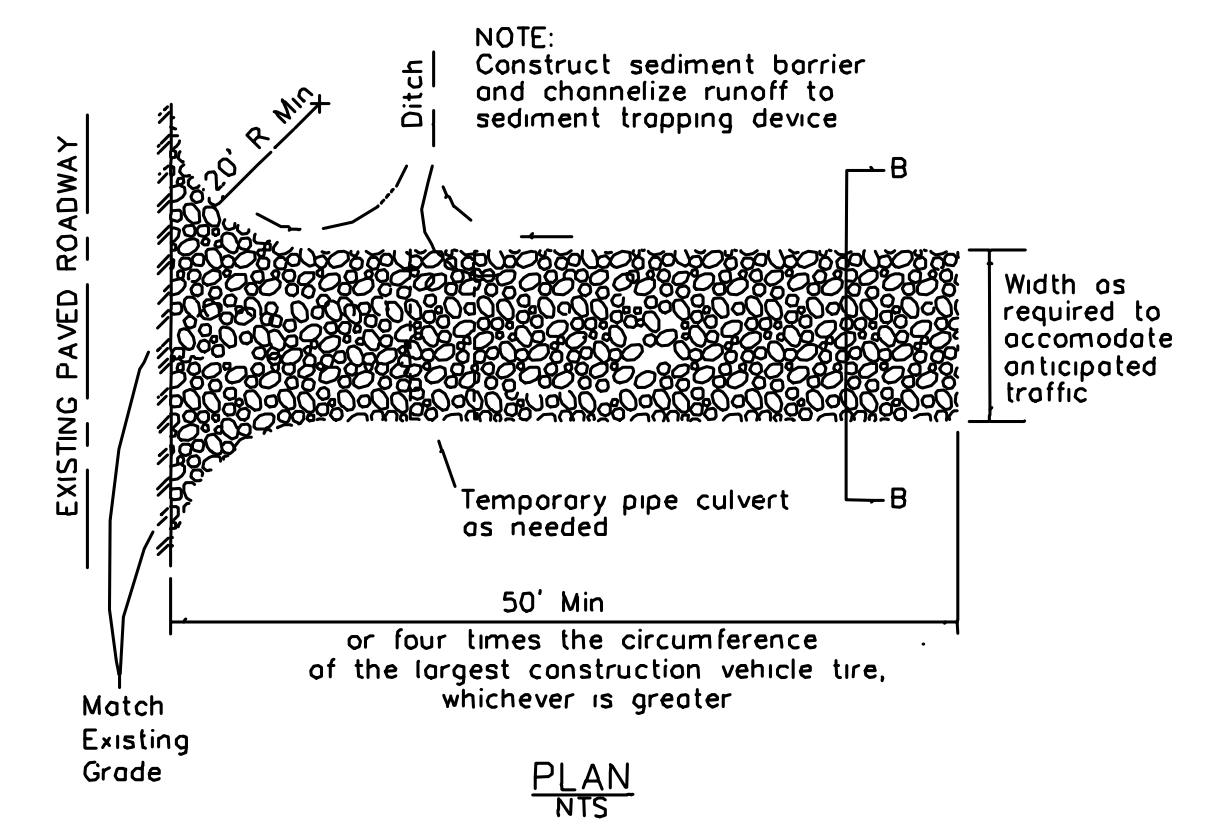
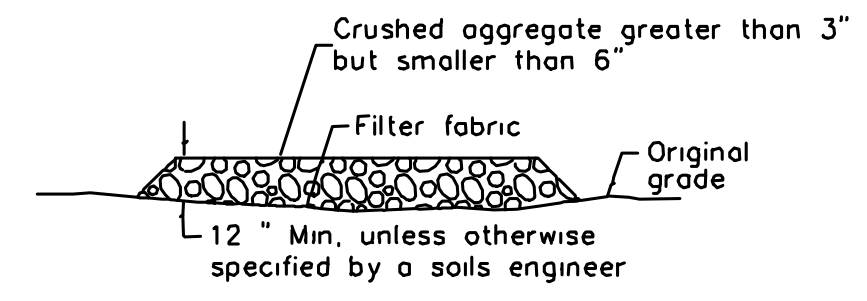
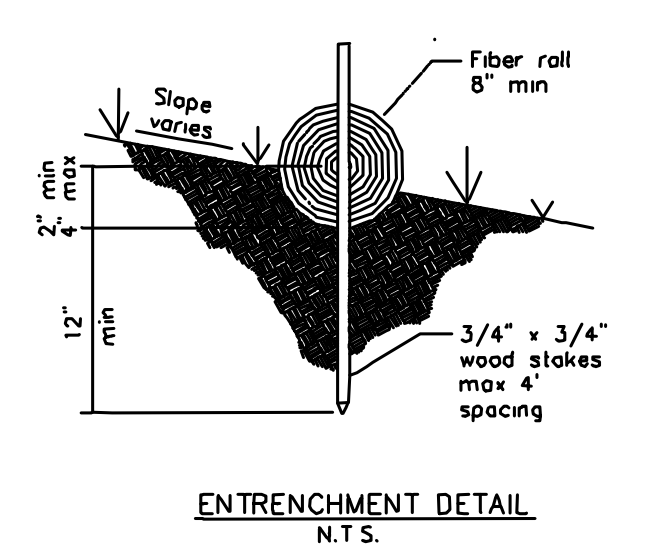
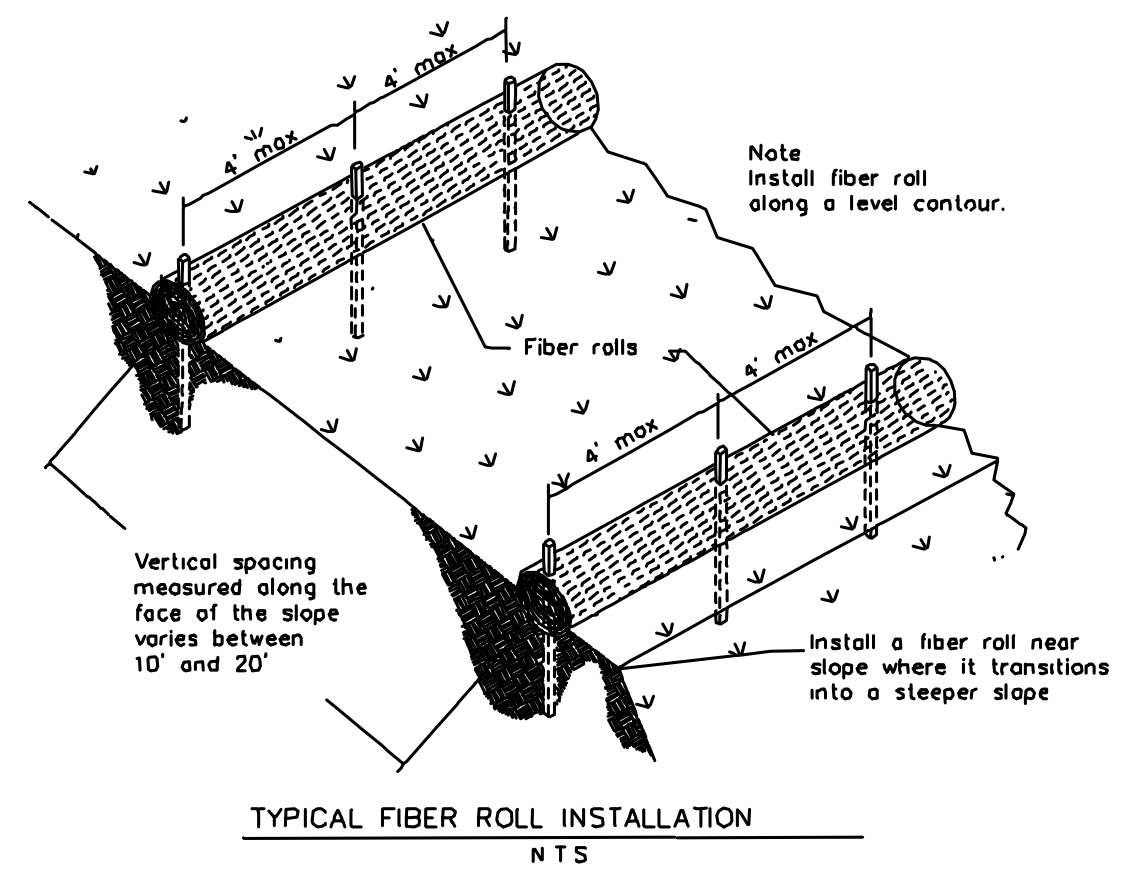
HYDROSEED TABLE

ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

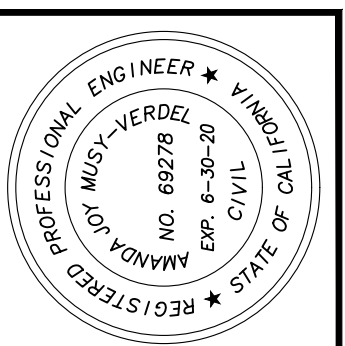
LEGEND

- CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1
- FIBER ROLL BARRIER PER DETAIL SE-5
- STORM DRAIN INLET PROTECTION PER DETAIL SE-10

SE-5 Fiber Rolls Stabilized Construction Entrance/Exit TC-1 SE-10 Storm Drain Inlet Protection



- NOTES**
- For use in areas where grading has been completed and final soil stabilization and seeding are pending
 - Not applicable in paved areas
 - Not applicable with concentrated flows.



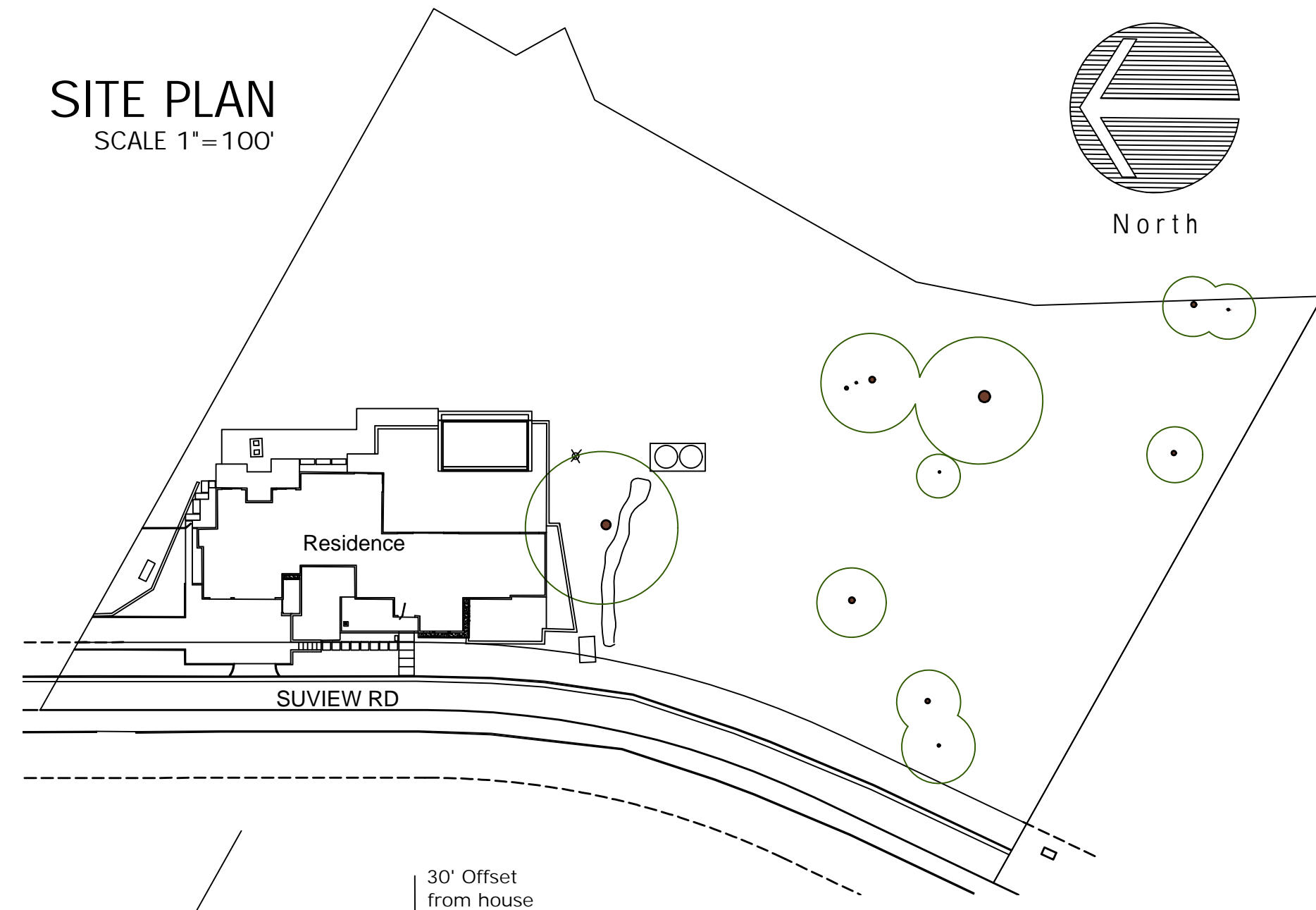
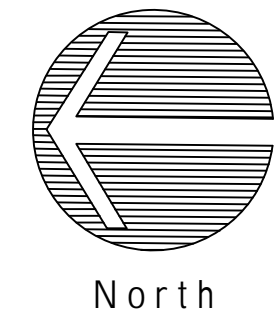
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PLAN FOR THE IMPROVEMENT OF
LANDS OF VERGARA - 15310 SUVIEW ROAD
EROSION CONTROL PLAN
 ARCHITECTURE AND SITE APPLICATION NO. S-19-025
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA-BRUNETTI
 EST. 1910
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS

REVISIONS	DATE	BY

SITE PLAN
SCALE 1"=100'

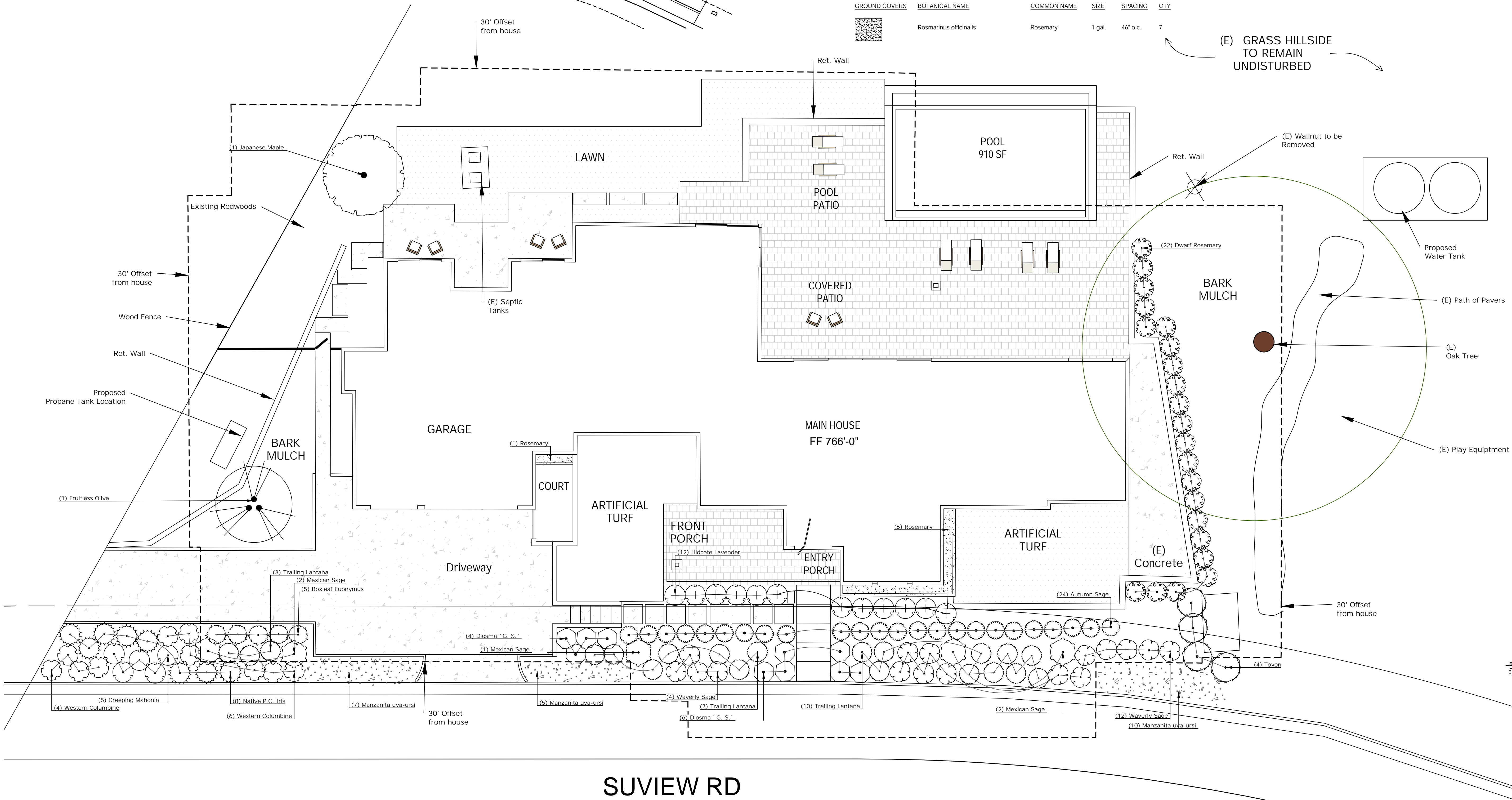


PLANT SCHEDULE PLANTING LIST INSIDE 30' ZONE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	<i>Acer palmatum</i>	Japanese Maple	24"	1	
	<i>Olea europaea</i> 'Fruitless'	Fruitless Olive	24"box	1	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	<i>Coleonema pulchrum</i> 'Sunset Gold'	Diosma 'G. S.'	1 gal	10	
	<i>Euonymus japonicus</i> 'Microphylla'	Boxleaf Euonymus	5 gal.	5	
	<i>Heteromeles arbutifolia</i>	Toyon	5 gal.	3	
	<i>Lantana montevidensis</i>	Trailing Lantana	5 gal.	20	
	<i>Lavandula angustifolia</i> 'Hidcote Blue'	Hidcote Lavender	5 gal.	12	
	<i>Rosmarinus officinalis</i> 'Prostratus'	Dwarf Rosemary	5 gal.	22	
	<i>Salvia</i> 'Waverly'	Waverly Sage	5 gal.	16	
	<i>Salvia greggii</i> 'Lipslick'	Autumn Sage	5 gal.	24	
	<i>Salvia leucantha</i>	Mexican Sage	5 gal.	5	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	<i>Rosmarinus officinalis</i>	Rosemary	1 gal.	46" o.c.	7

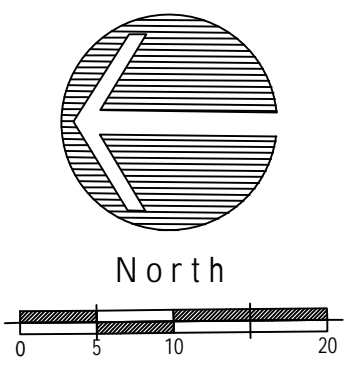
PLANT SCHEDULE PLANT LIST OUTSIDE 30' ZONE

SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	QTY	
	<i>Aquilegia formosa</i>	Western Columbine	5 gal.	10	
	<i>Heteromeles arbutifolia</i>	Toyon	5 gal.	1	
	<i>Iris x pacifica</i> 'Native Warrior'	Native P.C. Iris	5 gal.	8	
	<i>Mahonia repens</i>	Creeping Mahonia	5 gal.	5	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY
	<i>Arctostaphylos uva-ursi</i>	Manzanita uva-ursi	1 gal.	50" o.c.	22



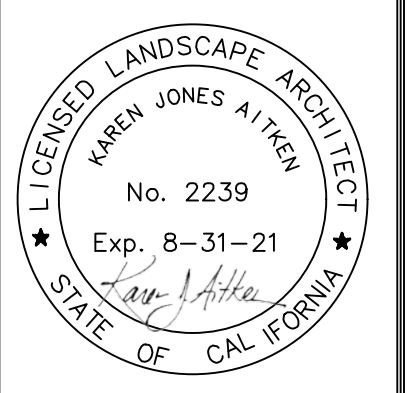
(E) GRASS HILLSIDE TO REMAIN UNDISTURBED

(E) Walnut to be Removed



AITKEN ASSOCIATES
LANDSCAPE ARCHITECTS
8262 Rancho Real Gilroy, CA 95020
Calif. Reg. #22339 (408) 842-0245
aitkenassociates@gmail.com

VERGARA RESIDENCE
15310 Suview Drive, Los Gatos, CA
LANDSCAPE PLAN



DATE 02-14-20
SCALE 1"=10'-0"
DRAWN IN
JOB VERGARA

L-1

* NOTES (E) = Existing