



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

May 6, 2019

Henry Riggs
47 Callie Lane
Menlo Park 94025

RE: 244 Harding Avenue
Architecture and Site Application S-19-016

Requesting approval to construct a new second story addition to an existing single-family residence and a grading permit on property zoned R-1.8. APN 532-36-049.
PROPERTY OWNER/APPLICANT: Henry Riggs/Jadie Yan

At its meeting of April 30, 2019, the Town of Los Gatos Development Review Committee approved the above referenced application subject to the enclosed conditions.

PLEASE NOTE: Pursuant to Section 29.20.257 of the Town Code, this approval may be appealed to the Planning Commission within 10 days of the date the approval is granted. Therefore, this decision should not be considered final and no permits by the Town will be issued until the appeal period has passed.

All approvals will expire two years from the date of approval (April 30, 2021), unless the approval has been vested. Section 29.20.335 of the Town Code defines what constitutes vesting an approval. Reasonable extensions of the time not exceeding one year may be granted upon application to and approval by the Development Review Committee. Extensions can be granted only if approved by the Committee prior to the expiration of the approval. Therefore, it is recommended that applications for a time extension be filed with the Community Development Department at least 60 days prior to the expiration of the approval.

If you have any questions, please contact me at (408) 354-6806 or akhan@losgatosca.gov

Sincerely,
Azhar Khan
Assistant Planner

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DEVELOPMENT REVIEW COMMITTEE - April 30, 2019
CONDITIONS OF APPROVAL

244 Harding Avenue
Architecture and Site Application S-19-016

Requesting approval to construct a new second story addition to an existing single-family residence and a grading permit on property zoned R-1.8. APN 532-36-049.
PROPERTY OWNER: Marcus Thordal
APPLICANT: Henry Riggs

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

- 1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. EXPIRATION OF APPROVAL: The Architecture and Site application will expire two years from the date of approval unless the approval is used before expiration. Section 29.20.335 defines what constitutes the use of an approval granted under the Zoning Ordinance.
3. STORY POLES: The story poles on the project site shall be removed within 30 days of approval of the Architecture and Site application.
4. GENERAL: All existing trees shown on the plan, and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
5. ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations made by Deborah Ellis, MS, identified in the Arborist reports, dated as received January 28, 2016, respectively, on file in the Community Development Department. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable.
6. TREE FENCING: Protective tree fencing shall be placed at the drip line of existing trees and shall remain through all phases of construction. Fencing shall be six foot high cyclone attached to two-inch diameter steel posts drive 18 inches into the ground and spaced no further than 10 feet apart. Include a tree protection fencing plan with the construction plans.
7. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
8. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
9. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights

shall be used unless first approved by the Planning Division. The outdoor lighting plan can be reviewed during building plan check. Any changes to the lighting plan shall be approved by the Planning Division prior to installation.

- 10. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval.
11. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.
12. Building Division
PERMITS REQUIRED: A Demolition Permit and Building Permit shall be required for the demolition of portions of the existing single-family residence and for the construction of the new single-family residence additions and alterations. These are combination Permits which include all required electrical, mechanical, and plumbing work as necessary. A separate Site Retaining Walls Permit may become necessary depending on the grading plan and the final overall heights required.
13. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue-lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
14. SIZE OF PLANS: Submit four sets of construction plans, minimum size 24" x 36", maximum size 30" x 42".
15. DEMOLITION REQUIREMENTS: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter along with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
16. SOILS REPORT: A Soils Report (Geotechnical Investigation), prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics. As an alternate, the necessary foundation elements can be designed by a licensed civil engineer to the minimum requirements of Chapter 4 of the 2017 California Residential Code using the load-bearing values in CRC Table R401.4.1.
17. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed Civil Engineer or Land Surveyor shall be submitted to the project Building Inspector at the foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report and that the building pad elevations and on-site retaining wall locations

- and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
a. Building pad elevations
b. Finish floor elevations
c. Foundation corner locations
18. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a sheet of the plans.
19. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
20. FIRE ZONE: This project will require Class A Roof Assemblies.
21. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building
22. BLUE PRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara County Valley Nonpoint Source Pollution Control Program Sheet (24"x36") shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blue Print for a fee or online at www.losgatosca.gov/building
23. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a Building Permit:
a. Community Development - Planning Division: Jocelyn Puga at (408) 354-6875
b. Engineering/Parks & Public Works Department: Mike Weisz at (408) 354-5236
c. Santa Clara County Fire Department: (408) 378-4010
d. West Valley Sanitation District: (408) 378-2407
e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.
f. Bay Area Air Quality Management District: (415) 771-6000

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

- Engineering Division
24. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the

- end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Applicant's expense.
25. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
26. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security. It is the responsibility of the Applicant to obtain any necessary encroachment permits from affected agencies and private parties, including but not limited to, Pacific Gas and Electric (PG&E), AT&T, Comcast, Santa Clara Valley Water District, California Department of Transportation (Caltrans). Copies of any approvals or permits must be submitted to the Town Engineering Division of the Parks and Public Works Department prior to releasing any permit.
27. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and a copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to the issuance of any permits.
28. PUBLIC WORKS INSPECTIONS: The Applicant or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of work that went on without inspection.
29. RESTORATION OF PUBLIC IMPROVEMENTS: The Applicant shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Applicant's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector, and shall comply with all Title 24 Disabled Access provisions. The Applicant shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing

- conditions.
30. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
31. STREET CLOSURE: Any proposed blockage or partial closure of the street requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
32. PLAN CHECK FEES: Plan check fees shall be deposited with the Town prior to plan review at the Engineering Division of the Parks and Public Works Department.
33. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of any permits.
34. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California, and submitted to the Town Engineer for review and approval. Additionally, any studies imposed by the Planning Commission or Town Council shall be funded by the Applicant.
35. DRIVEWAY: The driveway conform to existing pavement on Harding Avenue shall be constructed in a manner such that the existing drainage patterns will not be obstructed.
36. DRAINAGE IMPROVEMENT: Prior to the issuance of any grading/improvement permits, the Applicant shall: a) design provisions for surface drainage; and b) design all necessary storm drain facilities extending to a satisfactory point of disposal for the proper control and disposal of storm runoff; and c) provide a recorded copy of any required easements to the Town.
37. SURVEYING CONTROLS: Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the retaining wall top of wall elevations and locations.
38. RETAINING WALLS: A building permit, issued by the Building Department at 110 E. Main Street, may be required for site retaining walls. Walls are not reviewed or approved by the Engineering Division of Parks and Public Works during the grading permit plan review process.
39. SOILS REPORT: One copy of the soils and geologic report shall be submitted with the application. The soils report shall include specific criteria and standards governing site grading, drainage, pavement design, retaining wall design, and erosion control. The reports shall be signed and "wet stamped" by the engineer or geologist, in conformance with Section 6735 of the California Business and Professions Code.
40. GEOLOGY AND SOILS MITIGATION MEASURE: A geotechnical investigation shall be conducted for the project to determine the surface and sub-surface conditions at the site and to determine the potential for surface fault rupture on the site. The geotechnical study shall provide recommendations for site grading as well as the design of foundations, retaining walls, concrete slab-on-grade construction, excavation, drainage, on-site utility trenching and pavement sections. All recommendations of the investigation shall be incorporated into project plans.
41. SOILS REVIEW: Prior to issuance of any permits, the Applicant's engineers shall prepare and submit a design-level geotechnical/geological investigation for review and approval by the Town. The Applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site

- drainage are in accordance with their recommendations and the peer review comments. Approval of the Applicant's soils engineer shall then be conveyed to the Town either by letter or by signing the plans.
42. SOIL RECOMMENDATIONS: The project shall incorporate the geotechnical/geological recommendations contained in the Geotechnical Investigation by Murray Engineers, Inc., dated April 27, 2015, and any subsequently required report or addendum. Subsequent reports or addendum are subject to peer review by the Town's consultant and costs shall be borne by the Applicant.
43. WATER DESIGN: In the event of any required improvements to the existing water service and/or meter, water plans prepared by San Jose Water Company must be reviewed and approved before prior to issuance of any permit.
44. FRONTAGE IMPROVEMENTS: The Applicant shall be required to improve the project's public frontage to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach, etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
45. UTILITIES: The Applicant shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Applicant is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
46. DRIVEWAY APPROACH: The Applicant shall install one (1) Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
47. FENCING: Any fencing proposed within two hundred (200) feet of an intersection shall comply with Town Code Section §23.10.080.
48. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limited to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
49. FENCES: Fences between all adjacent parcels will need to be located on the property lines/boundary lines. Any existing fences that encroach into the neighbor's property will need to be removed and replaced to the correct location of the boundary lines before a Certificate of Occupancy for any new building can be issued. Waiver of this condition will require signed and notarized letters from all affected neighbors.
50. CONSTRUCTION STREET PARKING: No vehicle having a manufacturer's rated gross weight exceeding ten thousand (10,000) pounds shall be allowed to park on the portion of a street which abuts property in a residential zone without prior to approval from the

- Town Engineer.
51. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Applicant shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under conditions when soil is hauled on or off of the project site. This may include, but is not limited to provisions for the Applicant/Owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
52. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m., weekends and holidays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Applicant shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
53. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 8:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m. weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
54. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any permits, the Applicant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), concrete washout(s) and proposed outdoor location(s). Please refer to the Town's Construction Management Plan Guidelines document for additional information.
55. WVSD (West Valley Sanitation District): A Sanitary Sewer Clean-out is required for each property at the property line.
56. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on

- whether a backwater device is needed shall be provided prior to the issuance of a building permit.
BEST MANAGEMENT PRACTICES (BMPs): The Applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.
EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty-five (25) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.
CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.

- 61. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.1 of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If dry wells are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
62. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
63. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Applicant's expense.
64. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

- 65. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the Santa Clara County Fire Department Standard Detail and Specification SI-7 and Chapter 33 of the currently adopted edition of the California Fire Code. This must be submitted to, and approved by this office prior to commencing demolition/construction activities.
66. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.

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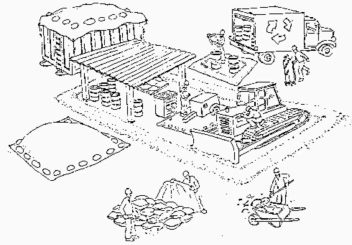
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Henry L. Riggs, AIA
47 Callie Ln
Menlo Park, CA 94025
Tel: (650) 327-1166
Fax: (650) 327-2105

THORDAL REMODEL AND ADDITION
244 Harding Street, Los Gatos, CA
APPROVAL LETTER AND
CONDITIONS OF APPROVAL

DATE: 5/6/19
SCALE:
SHEET: A1

# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



### Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

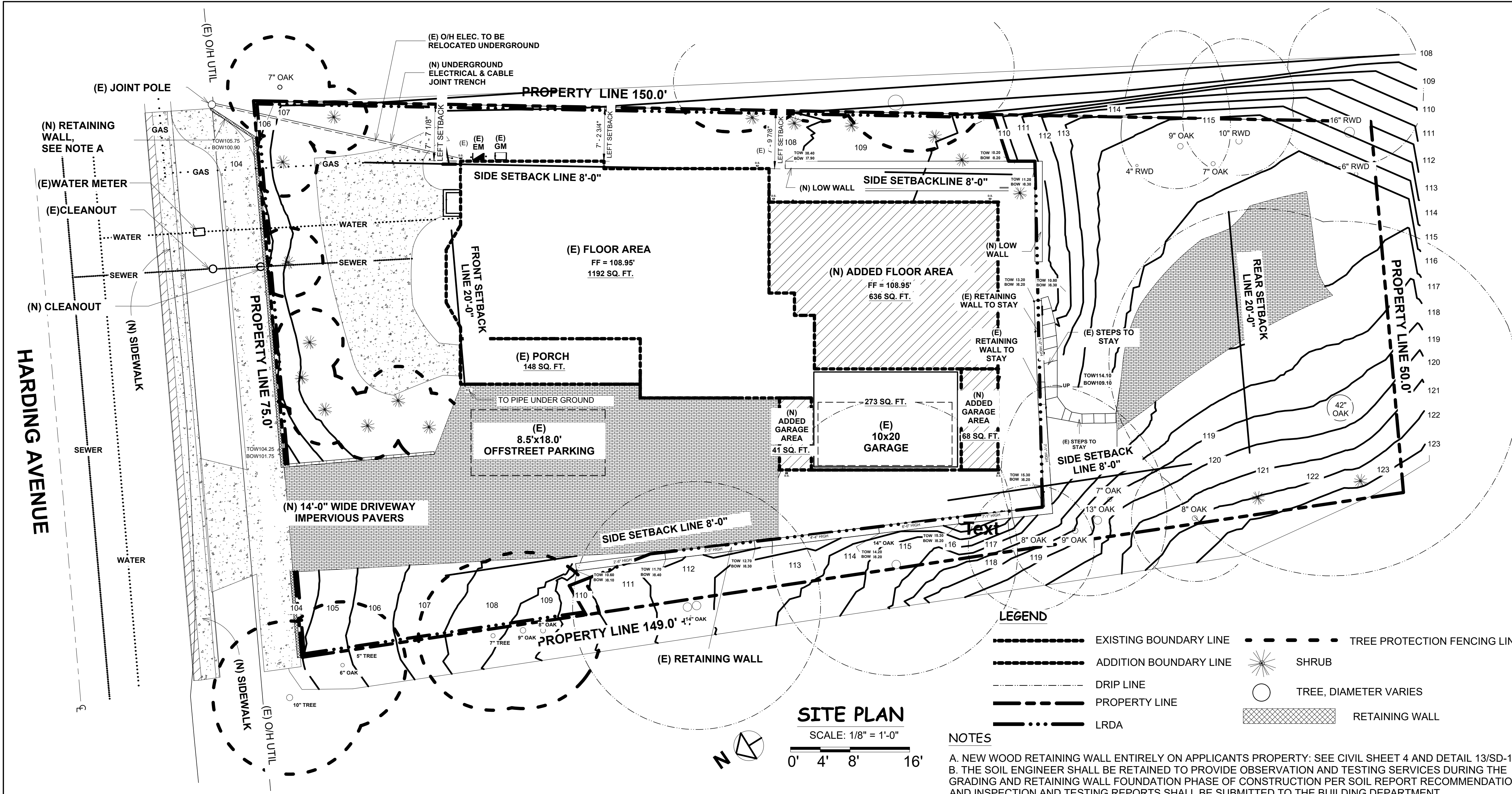


### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!



**IMPERVIOUS AREA & PERCENTAGE**

TOTAL SITE AREA: 0.212 ACRE	TOTAL SITE AREA DISTURBED: 0.0038 ACRE (INCLUDING CLEARING, GRADING OR EXCAVATING)		
	EXISTING AREA (SQ.FT.)	PROPOSED AREA (SQ.FT.)	TOTAL POST-PROJECT AREA (SQ.FT.)
		REPLACED	NEW
<b>IMPERVIOUS AREA</b>			
ROOF (NOT GREEN ROOF)	1869.00	314.00	2183.00
PARKING	273.00	109.00	382.00
SIDEWALKS & STREETS		270.00	270.00
TOTAL IMPERVIOUS AREA	2142.00	314.00	2456.00
<b>PERVIOUS AREA</b>			
LANDSCAPING	6058.00	1978.00	4080.00
PERVIOUS PAVING	600.00		600.00
TOTAL PERVIOUS AREA	6658.00	1978.00	4680.00
<b>PERCENT REPLACEMENT OF IMPERVIOUS AREA IN REDEVELOPMENT PROJECTS</b>			
(REPLACED TOTAL IMPERVIOUS AREA / EXISTING TOTAL IMPERVIOUS AREA) * 100% = 15%			

- NOTES**
1. AVERAGE SLOPE OF PROPERTY : 13.1%
  2. AVERAGE SLOPE OF AREA OF DEVELOPMENT : 8.3%
  3. SHRUBS ALONG THE FRONT OF RESIDENCE ARE PROPOSED TO REMAIN.
  4. NO TREES ARE PROPOSED TO BE REMOVED OR TRIMMED.
  5. SANITARY SEWER CLEAN OUT EXISTS, BUT WILL BE RELOCATED DUE TO CITY MANDATED SIDEWALK CONSTRUCTION.

**SITE AREA CALCULATION**

SITE	EXISTING		PROPOSED	
	AREAS (SQ.FT.)	PERCENTAGE (%)	AREA (SQ.FT.)	PERCENTAGE (%)
BUILDING COVERAGE <sup>1</sup>	1513	16	2182	28
PORCH	148	2	148	2
GRAVEL PAVING	600	6	600	8
CONC. PAVING	920	10	750	9
LANDSCAPING	6058	66	4080	53
TOTAL LOT	9236	100	7760 <sup>2</sup>	100

<sup>1</sup> INCLUDING GARAGE  
<sup>2</sup> ADJUSTED LOT AREA

**DRAWING SHEET INDEX**

SHEET NUMBER	SHEET NAME
A1	APPROVAL LETTER & CONDITION OF APPROVAL
A2	CLEAN BAY SHEET
A3	COVER SHEET
A4	TREE PROTECTION FENCING PLAN & PROFESSIONAL CONTACT INFO
A5	PROJECT NOTES, DOOR & WINDOWS SCHEDULE
A6	EXISTING FLOOR PLAN
A7	EXISTING BUILDING ELEVATIONS
A8	DEMOLITION PLAN
A9	PROPOSED PLAN - 1ST FLOOR
A10	PROPOSED PLAN - 2ND FLOOR
A11	EXISTING & PROPOSED ROOF PLANS
A12	BUILDING ELEVATIONS
A13	BUILDING ELEVATIONS
A14	REFLECTED CEILING PLANS
A15	OUTLET PLAN - 1ST FLOOR
A16	OUTLET PLAN - 2ND FLOOR
A17	SECTIONS
A18	DETAILS
A19	DETAILS
A20	DETAILS
A21	DETAILS
A22	INTERIOR ELEVATIONS
A23	INTERIOR ELEVATIONS
A24	INTERIOR ELEVATIONS
A25	AREA PLAN & STREET ESCAPE
A26	AREA CALCULATION PLAN
A27	DETAILS
A28	FOUNDATION VENTILATION PLAN
T1	TITLE 24 REPORT
T2	TITLE 24 REPORT
T3	TITLE 24 REPORT
T4	TITLE 24 REPORT
S-1	FOUNDATION PLAN
S-2	2ND FLOOR FRAMING PLAN
S-3	ROOF FRAMING PLAN
SD-1	STRUCTURE NOTES & SPECIFICATIONS
SD-2	STRUCTURE DETAILS
SD-3	STRUCTURE DETAILS
SD-4	STRUCTURE DETAILS & WALL SCHEDULE
SD-5	DETAILS & HOLD-DOWN ANCHOR BOLT SCHEDULE
SD-6	STRUCTURE DETAILS
SD-7	STRUCTURE DETAILS
SD-8	STRUCTURE DETAILS
SD-9	STRUCTURE DETAILS
SD-10	STRUCTURAL DETAILS
HFX1	ANCHORAGE DETAILS - HFX PANELS
HFX2	FRAMING DETAILS - HFX PANELS
HFX3	FLOOR SYSTEM DETAILS - HFX PANELS
C1	TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
C2	BLUEPRINT FOR A CLEAN BAY SHEET
C3	EROSION CONTROL PLAN
C4	GRADING AND DRAINAGE PLAN
C5	STORM DRAIN PLAN
C6	SECTIONS
C7	NOTES AND DETAILS

**REVISIONS**

REVISIONS	BY
10/7/2015	J.Y.
12/18/2015	J.Y.
1/4/2016	J.Y.
5/3/2016	J.Y.
8/10/2016	J.Y.
12/21/2016	J.Y.
1/5/2017	J.Y.
2/2/2017	J.Y.
2/20/2017	J.Y.
11/16/2017	J.Y.
3/8/2018	J.Y.
10/7/2015	J.Y.
08/14/2018	H.R.
11/21/2018	H.R.
01/10/2019	H.R.



**AVERAGE SLOPE CALCULATION**

CONTOUR INTERVAL I (F.T.)	COMBINED LENGTH OF CONTOUR LINES L (F.T.)	GROSS AREA A (ACRES)	AVERAGE SLOPE
1	1,211.28	0.212	$S = 0.0023 * I * L / A$ $= 0.0023 * 1 * 1211.28 / 0.212$ $= 13.14$ $= 13.1$

**NEW NET LOT CALCULATION**

PERCENT OF NET SITE TO BE DEDUCTED	VALUE
10% + 3*2%	= 16%
EXISTING NET LOT ARE (SQ.FT.)	9238
NEW NET LOT AREA (SQ.FT.)	$9238 - 9238 * 0.16 = 7759.92 = 7760$

**PROJECT SUMMARY**

PROJECT APN# :	532-36-049
SCOPE OF WORK:	2- STORY ADDITION TO 1-STORY HOUSE, WINDOW REPLACEMENT, BATH & GARAGE REMODELS
CONSTRUCTION:	TYPE 5B WOOD FRAME
OCCUPANCY:	R3/U
BUILDING CODE:	2016 CBC, CRC, CPC, CMC, CEC, CalGreen & Cal Energy
EXISTING NET LOT AREA:	9,238 S.F.
AVERAGE LOT SLOPE:	13.1
REDUCED NET LOT AREA:	1,478 S.F.
NEW NET LOT AREA:	7,760 S.F.
ZONING:	R 1:8
FAR:	0.316
MAX ALLOWED FLOOR AREA:	2,452 S.F.
GAR:	0.0881
MAX ALLOWED GARAGE AREA:	684 S.F.
EXISTING FLOOR AREA:	1192 S.F.
EXISTING GARAGE AREA:	314 S.F.
NEW FLOOR AREA (1ST FLR)	636 S.F.
NEW FLOOR AREA (2ND FLR)	602 S.F.
NEW GARAGE AREA:	68 S.F.
REMODEL AREA:	205 S.F.
LINEAR FOOTAGE OF NEW RETAINING WALL:	48 FEET
TOTAL FLOOR AREA:	2430 S.F.
TOTAL GARAGE AREA:	382 S.F.
ELECTRICAL POWER:	110V, 240V, 200AMPS
FIRE SPRINKLERS:	NO

**DEFERRED SUBMITTAL NOTES**

- ATRIUM SKYLIGHT
- SOLAR HOT WATER HEATING

THESE DEFERRED SUBMITTALS SHALL FIRST BE SUBMITTED TO THE PROJECT ARCHITECT AND ENGINEER FOR REVIEW AND COORDINATION; FOLLOWING THE COMPLETION OF PROJECT ARCHITECT AND ENGINEER REVIEW AND COORDINATION A SUBMITTAL TO THE TOWN SHALL BE MADE (FOR TOWN REVIEW AND APPROVAL), WHICH SHALL INCLUDE A LETTER STATING THIS REVIEW AND COORDINATION HAS BEEN PERFORMED AND FOUND TO BE ACCEPTABLE (E.G. WITH REGARD TO GEOMETRY, LOAD CONDITIONS, ETC.) WITH NO EXCEPTIONS.

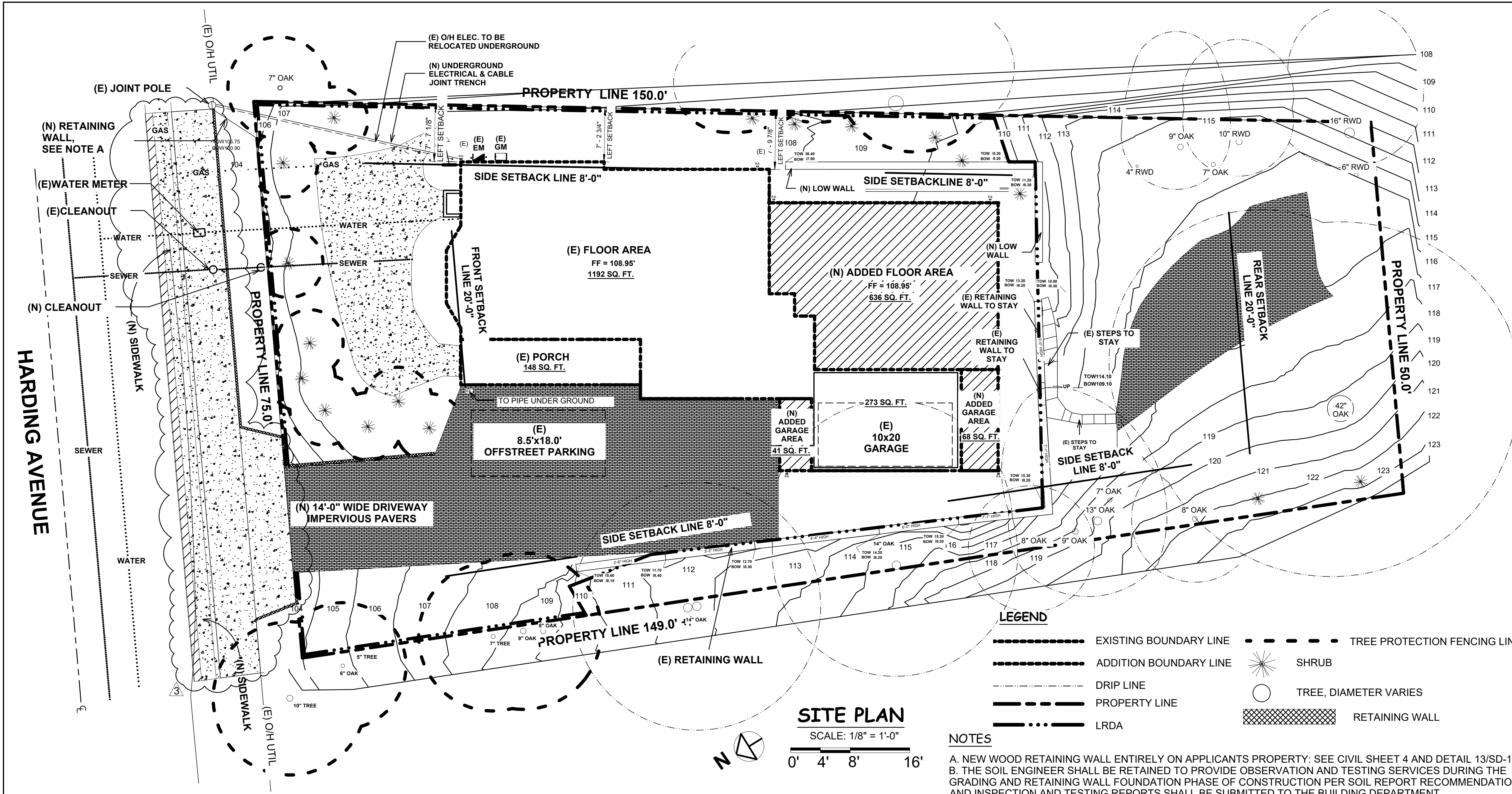
**THOR DAL REMODEL & ADDITION**  
244 Harding Ave., Los Gatos, CA

**COVER SHEET**

**As Approved April 30 2019**

DATE: 01/10/2019  
SCALE: As indicated  
DRAWN: H.R.  
JOB:  
SHEET: **A3**  
OF 46 SHEETS

Henry L. Riggs, AIA  
47 Callie Ln  
Menlo Park, CA 94025  
Tel. (650)327-6198  
Fax. (650)327-2105



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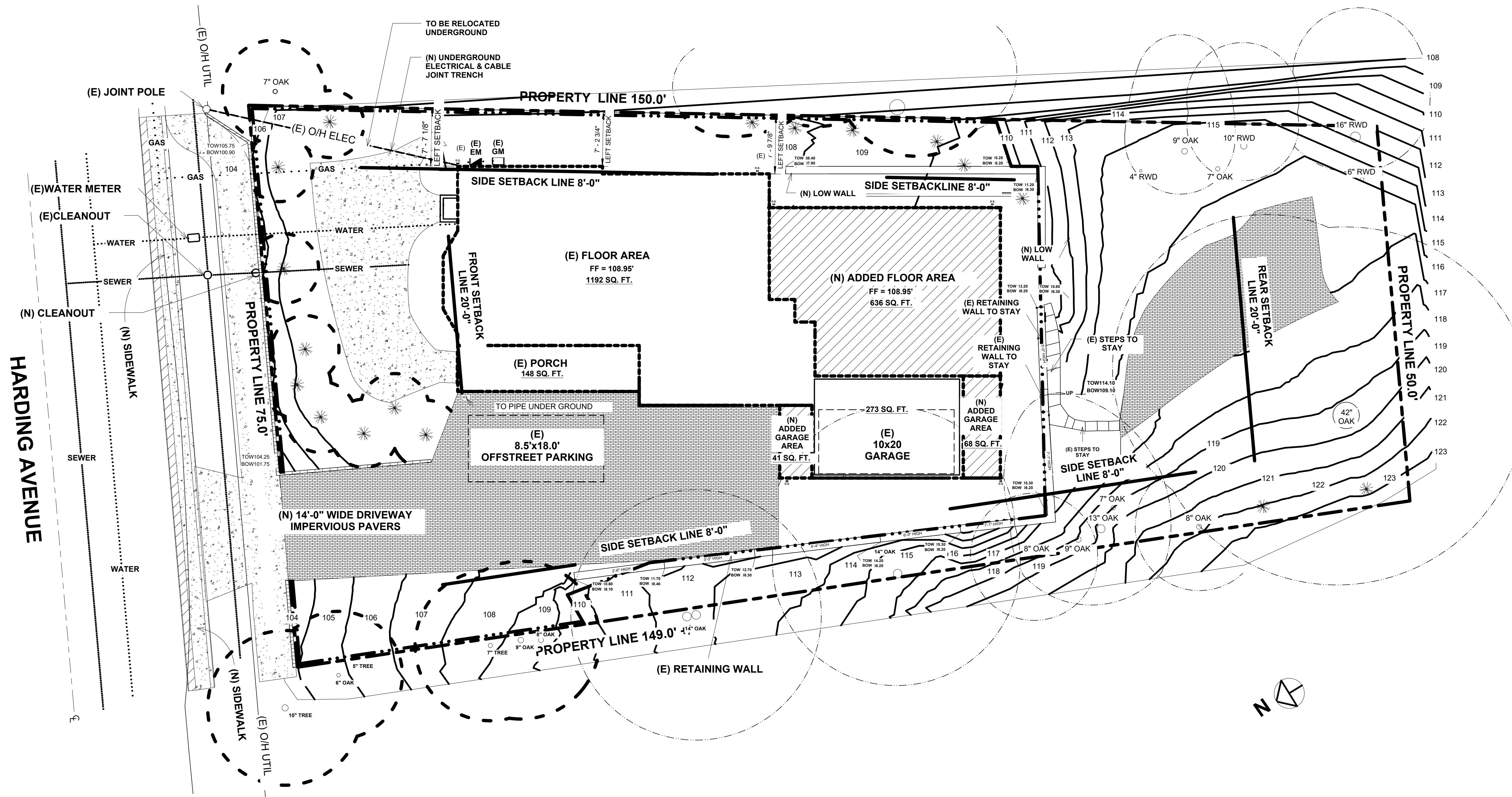
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REVISIONS	BY
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01/10/2019	H.R.
07/06/2021	H.R.

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 47 Callie Ln  
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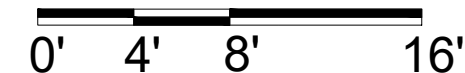
THORDAL REMODEL & ADDITION  
 244 Harding Ave., Los Gatos, CA  
 COVER SHEET  
 Proposed Sidewalk Revision

DATE	07/06/2021
SCALE	As indicated
DRAWN	H.R.
JOB	
SHEET	A3
OF	46 SHEETS



**TREE PROTECTION FENCING PLAN**

SCALE: 1/8" = 1'-0"



**LEGEND**

- EXSITING BOUNDARY LINE
- ADDITION BOUNDARY LINE
- - - DRIP LINE
- PROPERTY LINE
- LRDA
- - - TREE PROTECTION FENCING LINE
- ✱ SHRUB
- TREE, DIAMETER VARIES
- ▨ RETAINING WALL

**NOTES**

Protective tree fencing will be placed at the drip line of existing trees and remain through all phases of construction. Fencing is 6-foot high cyclone attached to 2-inch diameter steel posts drive 18-inch into the ground and spaced no further than 10-feet apart.

**ARCHITECT & DESIGNER**

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 JADIE YAN, CID#  
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 FAX. (408) 229-8157

**SOIL DESIGNER**

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 MURRAY ENGINEERS, INC.  
 935 FREMONT AVE  
 LOS ALTOS, CA 94024  
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 FAX. (650) 559-9985

**TITLE 24 DESIGNER**

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 CARSTAIRS ENERGY  
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**ARBORIST**

DEBORAH ELLIS, MS  
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**ROOF CONSULTANT**

CHRIS NELSON, SR. CONSULTANT  
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 CONCORD, CA 94520  
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REVISIONS	BY
08/14/2018	H.R.

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**THORDAL REMODEL & ADDITION**  
 244 Harding Ave., Los Gatos, CA  
**TREE PROTECTION FENCING PLAN & PROFESSIONAL CONTACT INFO**  
 As Approved April 30 2019

DATE 8/14/2018

SCALE As indicated

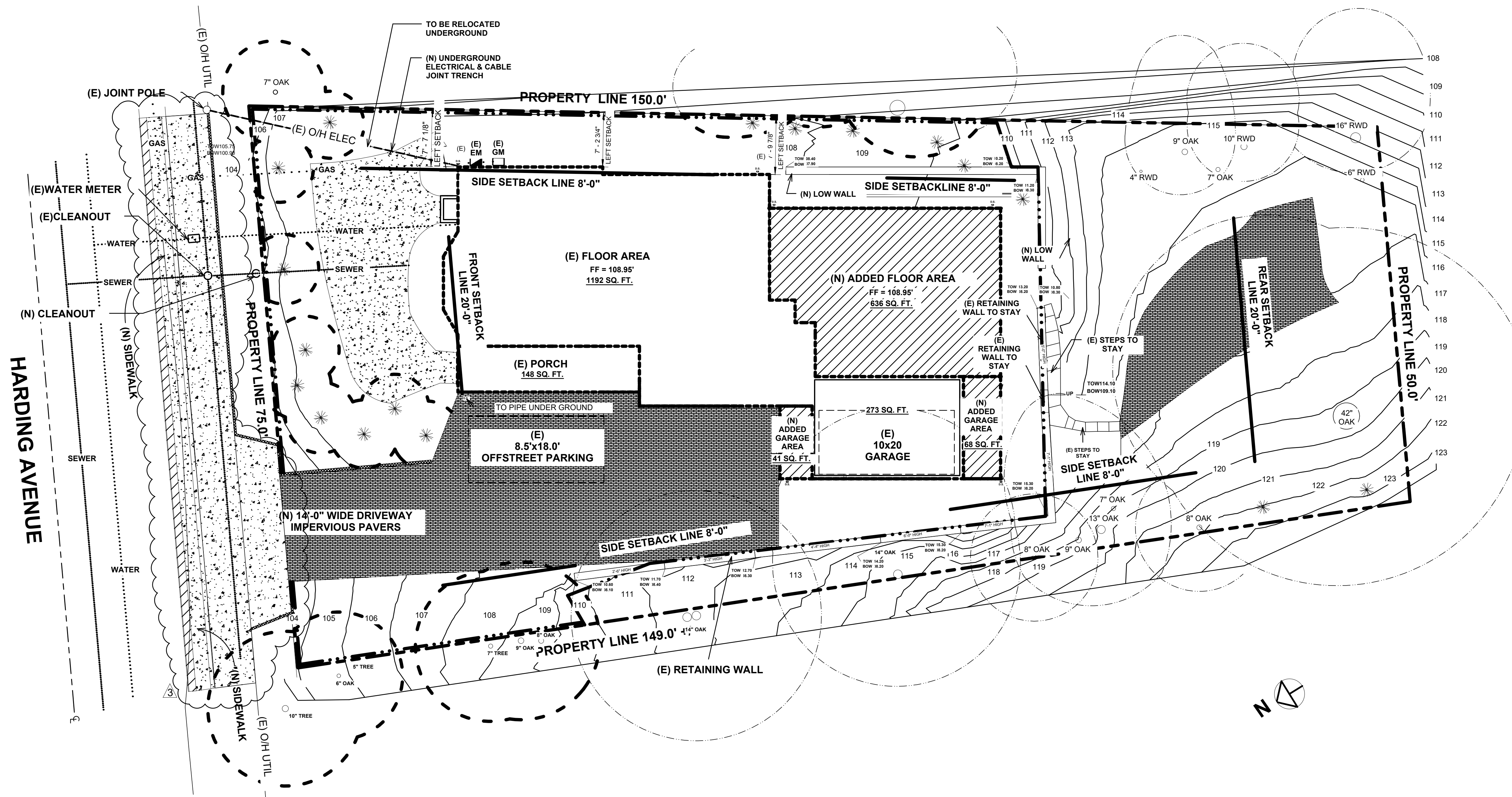
DRAWN H.R.

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SHEET

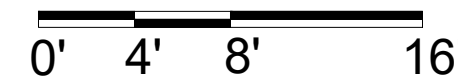
**A4**

OF 46 SHEETS



**TREE PROTECTION FENCING PLAN**

SCALE: 1/8" = 1'-0"



**LEGEND**

- EXSITING BOUNDARY LINE
- ADDITION BOUNDARY LINE
- - - DRIP LINE
- PROPERTY LINE
- LRDA
- - - TREE PROTECTION FENCING LINE
- SHRUB
- TREE, DIAMETER VARIES
- RETAINING WALL

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REVISIONS	BY
08/14/2018	H.R.
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THORDAL REMODEL & ADDITION  
 244 Harding Ave., Los Gatos, CA  
 TREE PROTECTION FENCING PLAN &  
 PROFESSIONAL CONTACT INFO  
 Proposed Sidewalk Revision

DATE 7/6/2021

SCALE As indicated

DRAWN H.R.

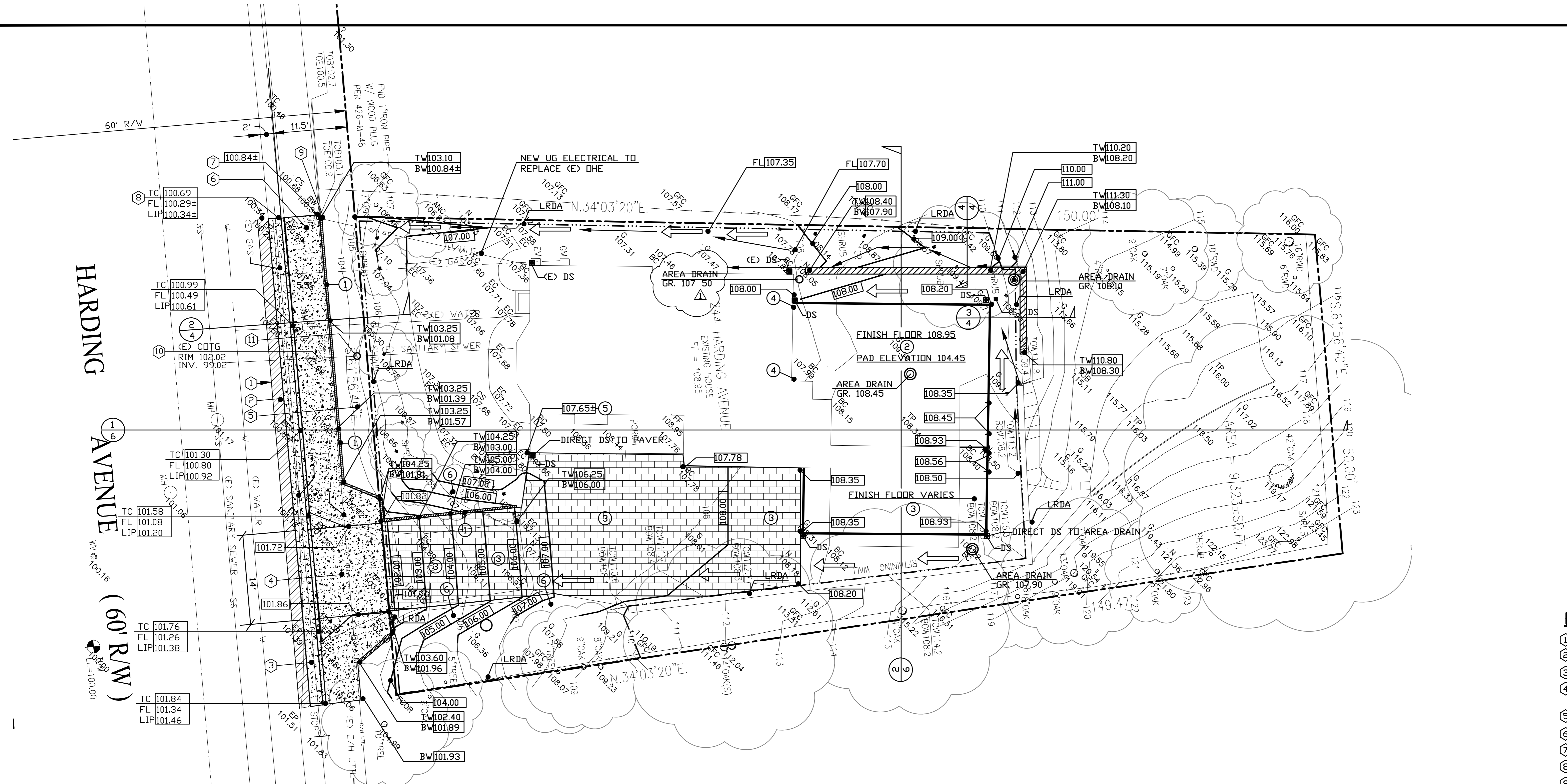
JOB

SHEET

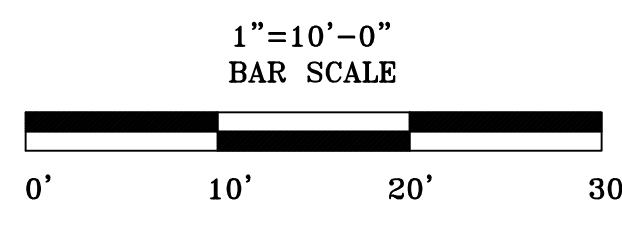
A4

OF 46 SHEETS

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.



**GRADING AND DRAINAGE PLAN**



PROPOSED	EXISTING
TC 109.40	+110.84
FL 110.00	110
TC	TC (E)
EP	EP (E)
FL	FL (E)
CNC	
AC	
GRD	
TW	
BOT	
BW	

- PROPERTY LINE
- SPOT ELEVATION
- SURFACE CONTOUR
- TOP OF CURB
- EDGE OF PAVEMENT
- FLOW LINE
- CONCRETE
- ASPHALIC CONCRETE
- GROUND SURFACE
- TOP OF WALL
- BOTTOM OF WALL
- BACK OF WALK
- SURFACE VALLEY
- SURFACE RIDGE
- MATCH EXISTING GRADE
- A.C. PAVING
- CONCRETE
- IMPERVIOUS PAVERS
- CURB
- STORM DRAIN
- SANITARY SEWER
- WATER
- CATCH BASIN
- JUNCTION BOX
- CLEANOUT TO GRADE
- STORM MANHOLE
- SANITARY MANHOLE
- OVERLAND RELEASE
- REMOVE EXISTING TREE
- AREA OF DISTURBANCE

**KEY NOTES FOR THE WORK ON PUBLIC R/W**

- ① SAWCUT (E) AC PAVING AND REMOVE.
- ② PROVIDE AC PATCH. PROVIDE 8" DEEP LIFT ASPHALT.
- ③ PROVIDE VERTICAL CURB AND GUTTER PER TOWN STANDARD DETAIL 210.
- ④ REMOVE (E) DRIVEWAY AND PROVIDE NEW DRIVEWAY PER TOWN STANDARD DETAIL #218.
- ⑤ PROVIDE 5' CONCRETE WALK WITH MAX. 2% CROSS-SLOPE PER TOWN STANDARD DETAIL 216.
- ⑥ PROVIDE MIN. 4' CLEARANCE AROUND (E) UTILITY POLE.
- ⑦ MATCH EXISTING WALK GRADE.
- ⑧ MATCH EXISTING CURB AND GUTTER GRADE.
- ⑨ MATCH EXISTING WOOD RETAINING WALL ELEVATION.
- ⑩ RELOCATE (E) SANITARY SEWER CLEANOUT.
- ⑪ PROVIDE SANITARY SEWER CLEANOUT AT (E) SANITARY SEWER. RIM ELEVATION 101.24, INV. 99.14± VIF.

**KEY NOTES**

- ① PROVIDE WOOD RETAINING WALL. SEE STRUCTURAL DRAWINGS.
- ② STRUCTURAL FLOOR SYSTEM - SEE STRUCTURAL DRAWINGS.
- ③ INTERLOCKING PAVER OVER 20" CL.2 AGGREGATE BASE. SEE ARCHITECTURAL PLAN FOR DETAIL.
- ④ MATCH (E) FINISH FLOOR ELEVATION. VIF.
- ⑤ PROVIDE INTERLOCKING PAVER FLUSH WITH (E) PORCH GRADE. VIF.
- ⑥ PROVIDE MAX. 2:1 (H:V) SLOPE PER GEOTECHNICAL REPORT.

**GENERAL NOTES**

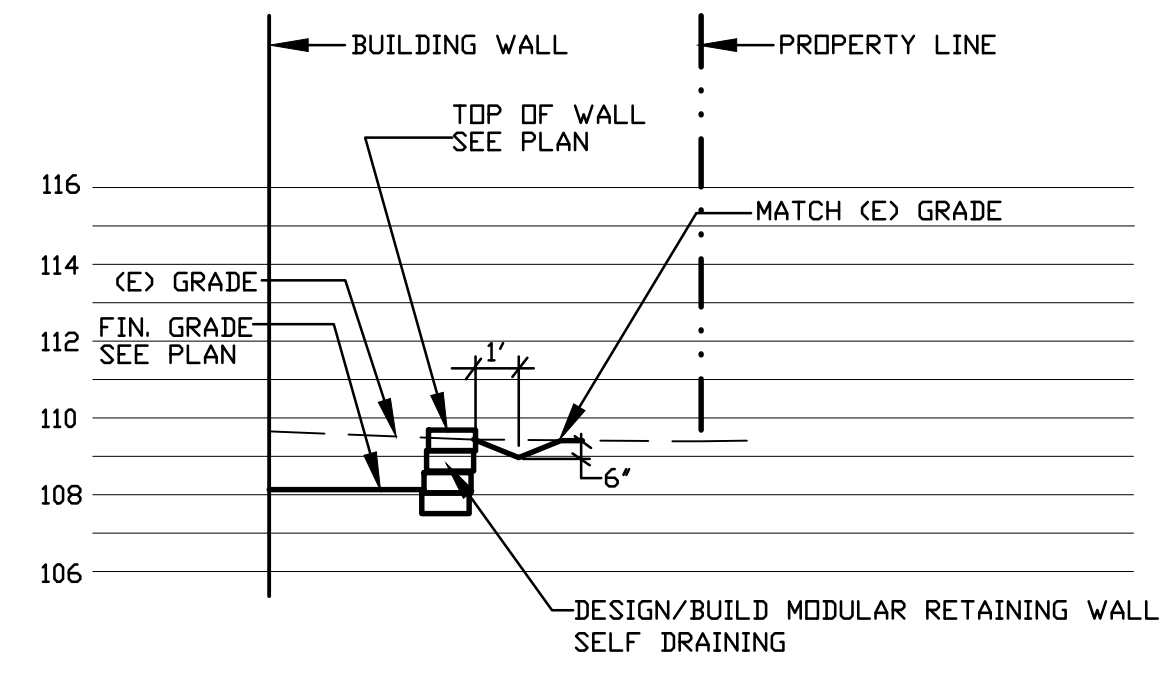
1. ALL GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING THE PLACEMENT AND COMPACTION OF ENGINEERED FILL, SPREAD FOOTING FOUNDATION EXCAVATIONS, RETAINING WALL BACKDRAINS AND BACKFILL, SLAB AND DRIVEWAY SUBGRADE PREPARATION, BACKFILL OF UTILITY TRENCHES, AND INSTALLATION OF SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT BY MURRAY ENGINEERS, INC. DATED APRIL 27, 2015. MURRAY ENGINEERS, INC. SHOULD BE PROVIDED AT LEAST 48 HOURS ADVANCE NOTIFICATION (650-559-9980) OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE THE EARTHWORK AND FOUNDATION INSTALLATION PHASES OF THE PROJECT.
2. THE GEOTECHNICAL ENGINEER SHALL BE RETAINED TO PROVIDE OBSERVATION AND TESTING SERVICES DURING THE GRADING AND RETAINING WALL FOUNDATION PHASE OF CONSTRUCTION PER THE GEOTECHNICAL REPORT RECOMMENDATIONS AND THAT INSPECTION AND TESTING REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT.

**AVERAGE SLOPE**  
THE AVERAGE SLOPE FOR THE LOT IS 13.1%.

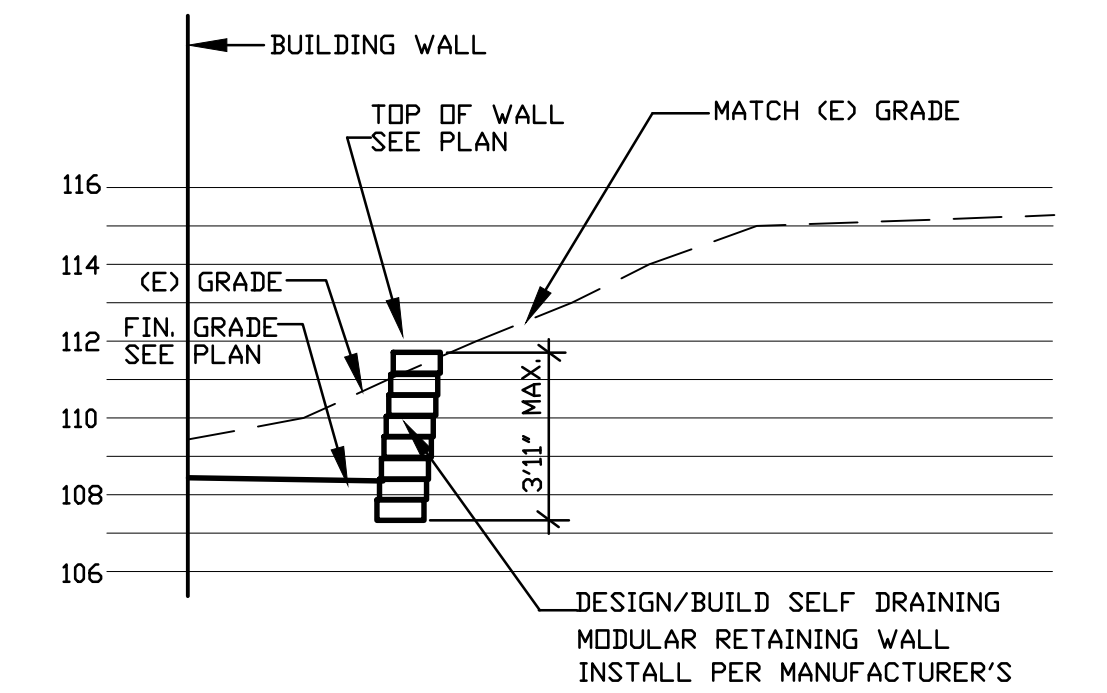
**ESTIMATED EARTHWORK QUANTITIES** :\*

\* QUANTITIES SHOWN ARE FOR THE TOWN OF LOS GATOS PURPOSES ONLY AND ARE NOT TO BE USED FOR BIDDING. CONTRACTOR TO VERIFY EARTHWORK QUANTITIES FOR BIDDING PURPOSES.

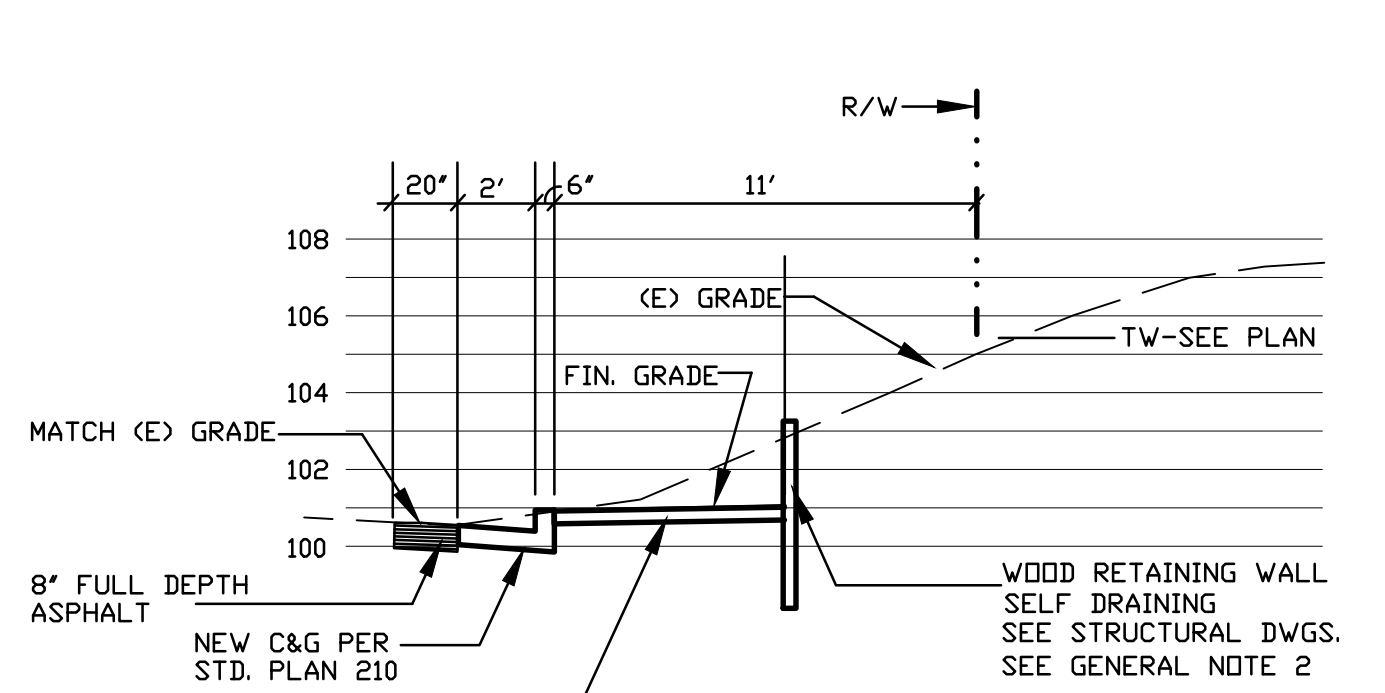
	CUT (CY)	FILL (CY)
BUILDING	98	-
GARAGE	61	-
ON-SITE OUTSIDE OF STRUCTURE	112	4
STREET R/W	37	-



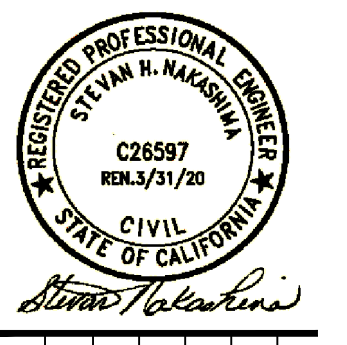
**SECTION 4**  
SCALE: NONE



**SECTION 3**  
SCALE: NONE



**SECTION 2**  
SCALE: NONE



DATE:	MARCH 14, 2019
SCALE:	AS SHOWN
DESIGN:	SN
DRAWN:	SN
CHECK:	SN
ENGR:	SN
PROJECT NO.:	1539

**THORDAL REMODEL & ADDITION  
GRADING AND DRAINAGE PLAN**

GRADING AND DRAINAGE PLANS  
GRADING PERMIT APPLICATION NO. GR18-154  
TOWN OF LOS GATOS  
PARKS AND PUBLIC WORKS DEPARTMENT

**STEVAN NAKASHIMA**  
CONSULTING CIVIL ENGINEER  
1420 HOLLY AVENUE  
LOS GATOS, CA 94024  
PHONE (650) 884-3229  
FAX (650) 884-3229  
SN@NAKASHIMA.COM

REVISIONS	BY	DATE
STORM DRAIN FIELD REVISIONS	SHN	10/09/19

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