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E1.0 ELECTRICAL PLAN E1.1 **ELECTRICAL NOTES**

CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE AND FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION. WINDOW, DOOR AND CABINET DIMENSIONS MUST BE VIF BY CONTRACTOR, INSTALLER OR FABRICATOR PRIOR TO ORDERING. ANY DISCREPANCY FOUND BETWEEN PLANS AND ACTUAL FIELD CONDITION MUST BE BROUGHT TO THE ATTENTION OF D3 DESIGNS AND THE STRUCTURAL ENGINEER INVOLVED IN THE PROJECT. FAILURE TO DO SO VOIDS D3 DESIGNS AND THE ENGINEER OF RESPONSIBILITY TO WORK PERFORMED BY CONTRACTOR. D3 DESIGNS IS NOT RESPONSIBLE FOR ON SITE INSPECTION TO ASSURE COMPLIANCE WITH MATERIALS OR WORKMANSHIP SPECIFIED HEREIN, UNLESS BY SECONDARY **AGREEMENT**

VICINITY MAP OFFICE OF COUNTY ASSESSOR —— SANTA CLARA COUNTY, CALIFORNIA 510 PAGE 14 **PARCELQUEST** _____ LOS GATOS — SARATOGA (FMLY. SARATOGA AVE.) ROAD R.O.S. 942/12 0.63 AC. PLAN. WNERS REQ 7 8 (43) 92 (44) -349 MASSOL AVE.-BOOK 529 ALMENDRA MASSOL &UBDIVISION R.O.S. 924/53 2.685 Ac. <u>26 | 27 | 28</u> PCL. 1 | PCL. 3 <u>77</u> 110.95 k PCL. 2 78 R.O.S. 932/31 ⁹ P.M. 638-M-41 **BACHMAN** LAWRENCE E. STONE - ASSESSOR

DESIGNER DONNA CHIVERS 4716 BRYCE CIR. CARLSBAD, CA 92008 510-714-8309

310 TAIT AVE. LOS GATOS, CA 95030 APN: 510-14-058

TITLE 24 DAVID HENSEL. PE P.O. Box 1442 SAN MARCOS, CA 92079 (619) 665-3259

donnachivers@gmail.com

ENGINEER

OWNER

SCOPE OF WORK

PROVIDE PROPERLY PLACED BLOCKING AND BACKING IN ALL BATHROOMS AND CLOSETS FOR THE PROPER INSTALLATION OF TOWEL BARS, TOILET PAPER HOLDERS, SHELVING AND ANY WALL MOUNTED FIXTURE OR LIGHT.

BUILD 301 S.F. LOWER LEVEL ADDITION PER PLAN BUILD NEW 415 S.F. UPPER LEVEL ADDITION PER PLAN INSTALL WINDOWS, DOORS AND SKYLIGHTS PER PLAN

INSTALL FLOORING PER HOMEOWNER

INSTALL CABINETS, COUNTERS, PLUMBING FIXTURES AND APPLIANCES

INSTALL TILE

INSTALL GLASS SHOWER ENCLOSURE

TAPE, TEXTURE AND PAINT INTERIOR. COLOR TBD BY HOMEOWNER

INSTALL EXTERIOR SIDING. COLOR TBD BY HOMEOWNER

INSTALL ELECTRICAL FIXTURES, OUTLETS AND SWITCHES PER ELECTRICAL PLAN

INSULATE PER TITLE 24 REQUIREMENTS

INSTALL HVAC AND WATER HEATER PER TITLE 24 REQUIREMENTS

GENERAL NOTES

CONTRACTOR SHALL, AS PART OF THIS CONTRACT, FURNISH ALL INSURANCE REQUIRED BY THE OWNER AND FURNISH ALL MATERIAL, LABOR TRANSPORTATION AND EQUIPMENT AND PROPERLY INSTALL ALL WORK SPECIFIED HEREIN, SHOWN ON THE DRAWINGS, OR REASONABLY IMPLIED TO COMPLETE THE CONSTRUCTION, INCLUDED AS PART OF THE WORK OF THESE SECTIONS, NOT NECESSARILY LIMITED BY THEM, ARE THE FOLLOWING: ALL MATERIALS, LABOR, TOOLS AND EQUIPMENT REQUIRED TO PROPERLY EXECUTE AND COMPLETE HIS WORK ACCORDING TO THE PLANS AND SPECIFICATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE FINISHING OF HIS WORK IN THE MANNER AND FORM PRESCRIBED BY THE PLANS AND SPECIFICATIONS. REPORT DISCREPANCIES OR ERRORS AND OMISSIONS IN THE PLANS AND SPECIFICATIONS FOR THE WORK PRIOR TO SUBMITTING BID CONTRACTORS ARE TO PROTECT ALL PROPERTY AND THE WORK OF ALL APPLICABLE LOCAL

STATE AND NATIONAL CODES WHICH GOVERN THIS AREA. ALL CONSTRUCTION AND INSTALLATION SHALL COMPLY ALL APPLICABLE LOCAL, STATE AND

NATIONAL CODES WHICH GOVERN THIS AREA. CONTRACTORS SHALL INDIVIDUALLY WARRENT FOR ONE YEAR ALL MATERIALS AND WORKMANSHIP EXCEPT AS OTHERWISE AGREES. IN CASE OF CONCONFLICT, NOTES AND SPECIFIC DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE "GENERAL NOTES AND

WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.

ITEMS SPECIFIED ON PLANS AND SPECIFICATIONS REPRESENT THE TYPE AND QUALITY REQUIRED. SUBCONTRACTORS MAY SUBSTITUTE "EQUAL" ITEMS IN THEIR BID WHEN APPROVED BY THE OWNER AND ARCHITECT.

CONTRACTORS SHALL, UPON COMPLETION OF THIS WORK, CLEAN AND CLEAR THE AREA OF ALL DEBRIS OR ANY OTHER MATTER CAUSED BY HIS OPERATION.

THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR THE WAY IN WHICH FIELD WORK IS PERFORMED, SAFETY IN, ON OR AROUND THE JOBSITE, METHODS OF PERFORMANCE OR TIMELINESS OF PERFORMANCE OF THE WORK

THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONTRACT DOCUMENTS AND SHALL AT ONCE REPORT TO THE ARCHITECT ANY DISCREPANCY OR OMISSION HE MAY DISCOVER.

11. FENCES AND FREE STANDING MASONRY WALLS UP TO 36" IN HEIGHT DO NOT REQUIRE A BUILDING PERMIT. ALL THOSE OVER 36" IN HEIGHT REQUIRED A SEPARATE BUILDING PERMIT.

12. SIGNS REQUIRE A SEPARATE PERMIT

13. WHERE CONTINUOUS OR SPECIAL INSPECTION IS REQUIRED BY THESE PLANS, A REGISTERED DEPUTY INSPECTOR APPROVED BY AND RESPONSABLE TO THE ARCHITECT AND BUILDING DEPARTMENT SHALL BE EMPLOYED BY THE OWNER

14. SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL

15. "PENETRATIONS OF FIRE-RESISTIVE WALLS, FLOOR-CEILINGS AND ROOF-CEILINGS SHALL BE

PROTECTED AS REQUIRED IN CRC SECTION R302.4.

SPECIFICATIONS" AND OVER TYPICAL DETAILS.

16. THESE DRAWINGS SHOW ONLY REPRESENTATIVE ABD TYPICAL DETAILS TO ASSIST THE CONTRACTOR. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. ALL ATTACHMENTS CONNECTIONS, FASTENINGS, ETC. SHALL BE PROPERLY SECURED IN CONFORMANCE WITH BEST PRACTICE, AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING THE SAME. ALL SPECIFICATIONS AND DETAILS INCLUDED ON THESE DRAWINGS ARE INTENDED TO INDICATE A PARTICULAR LEVEL OF QUALITY FOR THE PROJECT. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL ALL MATERIALS AND SYSTEMS IN STRICT ACCORDANCE WITH EACH SPECIFIC MANUFACTURERS INSTALLATION INSTRUCTIONS. ALL MANUFACTURERS RECOMMENDATIONS FOR MATERIAL INSTALLATION SHALL TAKE PRECEDENCE OVER ANY METHOD IMPLIED IN THESE CONSTRUCTION DOCUMENTS.

17. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS PRIOR TO

COMMENCING WORK AND NOTIFY ARCHITECT OF AN DISCREPANCIES 18. ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. DO NOT SCALE

ANY DRAWINGS. NOTIFY ARCHITECT OF ANY DISCREPANCIES. 19. THE BUILDING INSPECTOR WILL RECHECK FOR EXPANSIVE SOILS AND/OR GRADING

REQUIREMENTS AT THE FIRST INSPECTION

20. THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410.

GOVERNING CODE

ALL 2022 CALIFORNIA CODES

ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO THE REQUIREMENTS OF THE FOLLOWING AND ANY OTHER STATE AND LOCAL CODES HAVING JURISDICTION:

2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARD CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA FIRE CODE

2022 CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS

ALL PERMITS EXCEEDING \$1,000 IN VALUATION SHALL REQUIRE INSTALLATION OF APPROVED SMOKE AND CARBON MONOXIDE DETECTORS WITHIN THE DWELLING.

ALL PERMITS EXCEEDING \$10,000 IN VALUATION SHALL REQUIRE THE INSTALLATION OF AN APPROVED AUTOMATIC GAS SHUT-OFF DEVICE ON THE CUSTOMER OWNED PIPING AT THE UTILITY METER.

BUILDING ADDRESS NUMBERS MUST BE A MINIMUM OF 4 INCHES IN HEIGHT OR 3 INCHES IN HEIGHT AND SELF-ILLUMINATED.

PER THE GREEN BUILDING STANDARDS CODE, THE CONSTRUCTION AND DEMOLITION ORDINANCE (C & D) APPLIES

TRUSS CALCULATIONS TO BE A DEFERRED SUBMITTAL

GAS LINE DIAGRAM TO BE A DEFERRED SUBMITTAL

SITE DATA

PROJECT ADDRESS: 310 TAIT AVE., LOS GATOS, CA 95030 LOT SIZE: 2649 S.F. 510-14-058

15'

20'

ZONING DATA

SETBACKS:

ZONING DESIGNATION: R1-D:LHP **OVERLAY DESIGNATIONS:** NONE

BASE FAR: **OCCUPANCY GROUP:**

R-3/U **RESIDENTIAL EXISTING USE:** PROPOSED USE: RESIDENTIAL

FRONT YARD SETBACK: SIDE YARD SETBACK: REAR YARD SETBACK:

MAX. ALLOWABLE HEIGHT

BUILDING DATA

V-B **CONSTRUCTION TYPE:** 1918 YEAR BUILT: **EXISTING # OF STORIES:** PROPOSED # OF STORIES PROPOSED BUILDING HEIGHT: 24' - 3" FIRE SPRINKLERS: NO NO FIRE ALARM:

AREA CALCULATION

(N) BUILDING AREA 662 S.F. (N) LOWER LEVEL (N) UPPER LEVEL 415 S.F. 370 S.F. (N) ADU TOTAL 1447 S.F.

TITLE 24 SUMMARY

SEE FULL TITLE 24 REPORT FOR ALL REQUIREMENTS

COMPLIANCE NOTES

COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

ALL PROPOSED BUILDING, STRUCTURES, ADDITIONS, MODIFICATIONS TO BUILDINGS/STRUCTURES MUST COMPLY WITH THE APPROVED LOCATION, AS SHOWN ON THE COUNTY APPROVED PLOT PLAN. AT THE DISCRETION OF THE COUNTY, THE PROPERTY OWNER MAY BE REQUIRED TO PROVIDE PROOF OF CURRENT PLACEMENT OF EACH ON THE PARCEL. THIS WAY INCLUDE A STAMPED AND SIGNED SETBACK CERITIFATE PREPARED BY A CALIFORNIA LICENSED SURVEYOR OR CIVIL ENGENNER. (COUNTY BUILDING CODE 91.1.107.2).

REVISIONS

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CLIENT

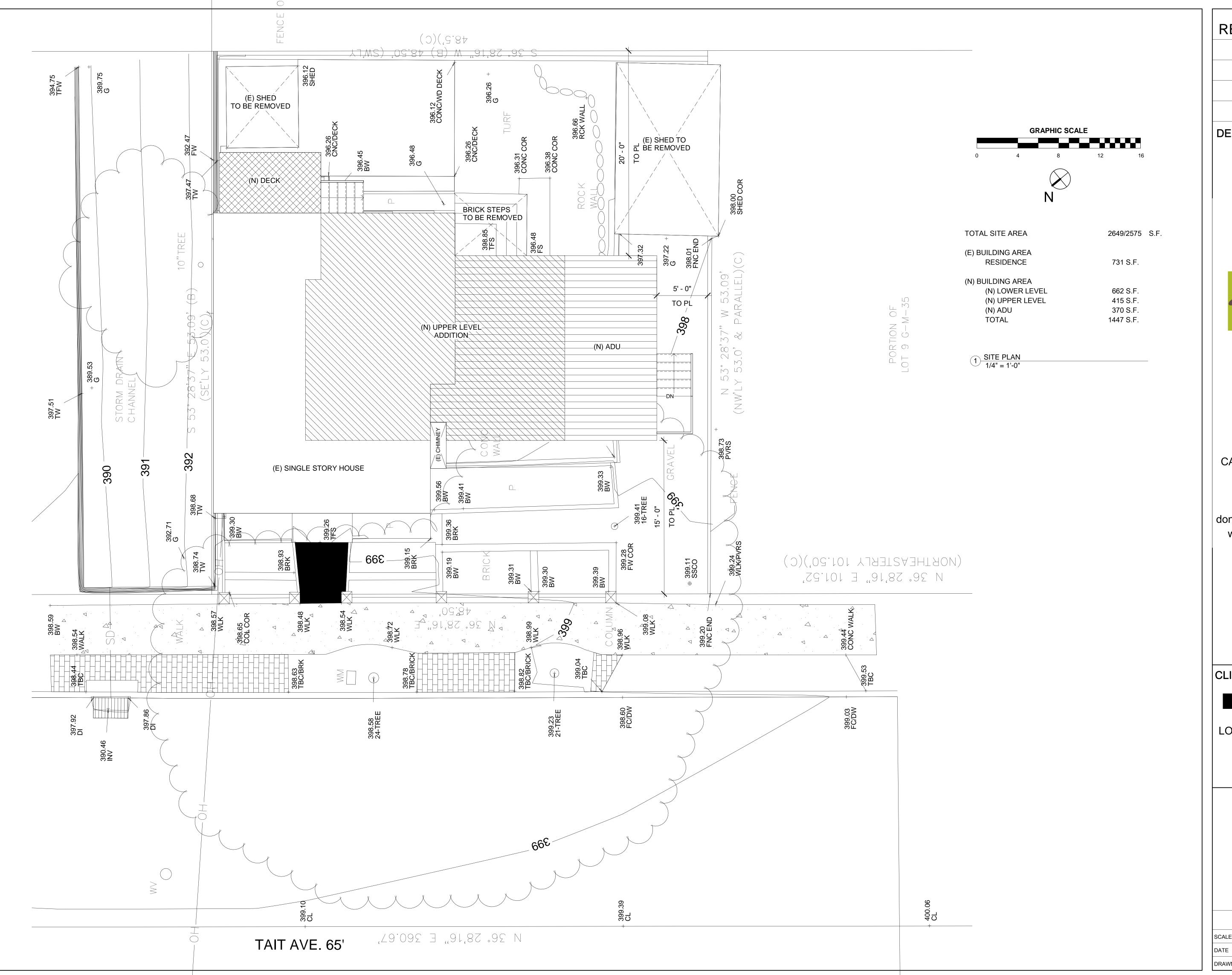
310 TAIT AVE. LOS GATOS, CA 95030 APN: 510-14-058

COVER SHEET

310 TAIT AVE. LOS GATOS, CA

SCALE SHEET DATE 3/5/2025

5:58:04 PM DRAWN BY Author ATTACHMENT 3



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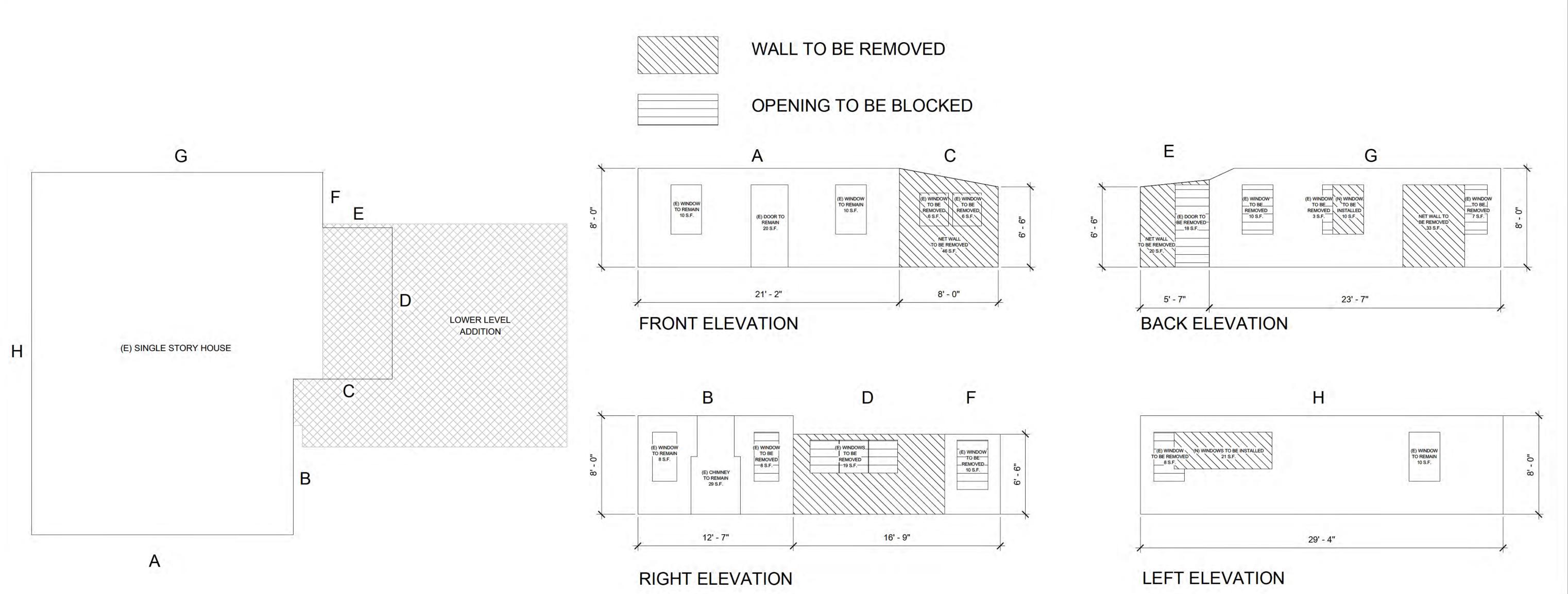
SITE PLAN

310 TAIT AVE. LOS GATOS, CA

SCALE 1/4" = 1'-0" SHEET

DATE 3/5/2025 5:59:57 PM DRAWN BY Author

A1.0



A. EXISTING WALL SURFACE AREA

WALL SECTION	LXH	TOTAL WALL SURFACE (GROSS)	(WINDOWS AND DOORS)	NET WINDOWS AND DOORS TO BE REMOVED	NET WINDOWS AND DOORS TO REMAIN		WALLS TO REMAIN	CONTIGUOUS WALL TO REMAIN
A	21' 2" X 8'	169 S.F.	40 S.F.	0	40 S.F.	0	169-40-0	129 S.F.
В	12' 7" X 8'	101 S.F.	45 S.F.	8 S.F.	37 S.F.	0	101-45-0	56 S.F.
С	8' X 6' 6"	58 S.F.	12 S.F.	12 S.F.	0	46 S.F.	58-12-46	0
D	12' 3" X 6' 6"	78 S.F.	19 S.F.	19 S.F.	0	59 S.F.	78-19-59	0
E	5 7" X 6' 6"	38 S.F.	18 S.F.	18 S.F.	0	20 S.F.	38-18-20	0
F	4' 6" X 6' 6"	31 S.F.	10 S.F.	10 S.F.	0	0	31-10-0	21 S.F.
G	23' 7" X 8'	188 S.F.	30 S.F.	20 S.F.	0	43 S.F.	188-30-43	115 S.F.
H	29' 4" X 8'	235 S.F.	20 S.F.	8 S.F.	10 S.F.	21 S.F.	235-20-21	194 S.F.
TOTAL		898 S.F.	194 S.F.					512 S.F.

- B. CALCULATE 50% OF EXISTING WALL SURFACE (GROSS) = 898/2 = 449 S.F.
- C. CALCULATE 50% OF EXISTING WALL SURFACE (NET) = 898-194/2 = 352 S.F.
- D. TOTAL CONTIGUOUS NET WALL AREA TO REMAIN = 512 S.F. = 57%

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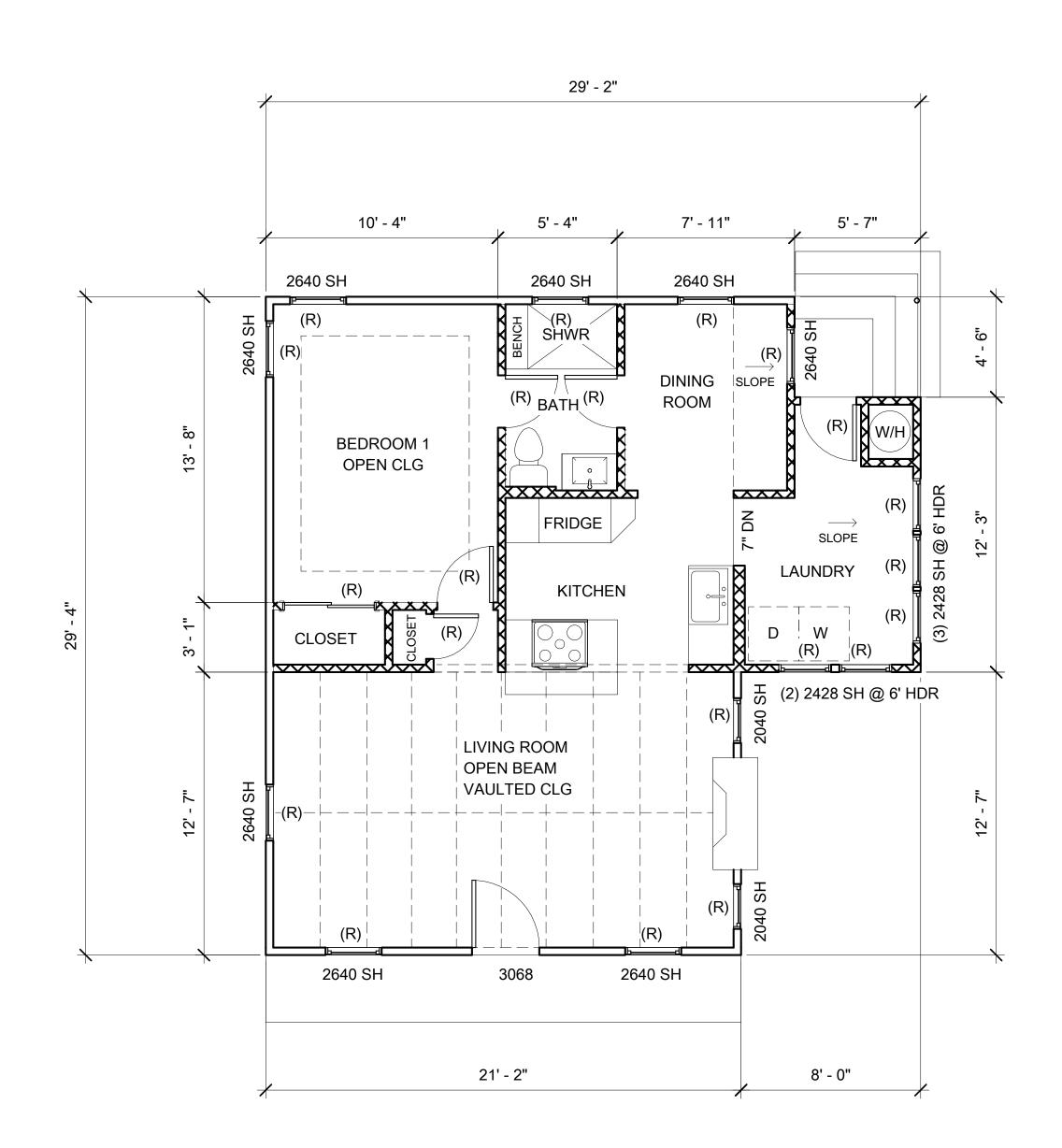
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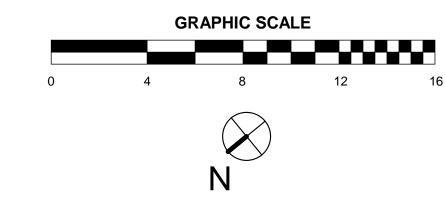
DEMO CALCULATIONS

310 TAIT AVE. LOS GATOS, CA SCALE 1/4" = 1'-0" SHEET

DATE 3/13/2025
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1 MAIN FLOOR 1/4" = 1'-0"



TOTAL SITE AREA

2649/2575 S.F.

(E) BUILDING FOOTPRINT RESIDENCE

731 S.F.

INDICATES WALLS TO BE REMOVED

(R) INDICATES DOORS/WINDOWS TO BE REMOVED

DEMO NOTES:

- REMOVE DOORS AND WINDOWS AS INDICATED
- 2. REMOVE WALLS AS INDICATED
- 3. REMOVE ROOF
- 4. REMOVE CABINETS, COUNTERS, PLUMBING FIXTURES AND APPLIANCES THROUGHOUT
- 5. REMOVE FIREPLACE AND CHIMNEY
- 6. REMOVE ALL HVAC AND WH UNITS
- 7. REMOVE BRICK STAIRS IN BACK
- 8. REMOVE EXTERIOR MATERIALS THROUGHOUT
- 9. REMOVE FIREPLACE AND CHIMNEY

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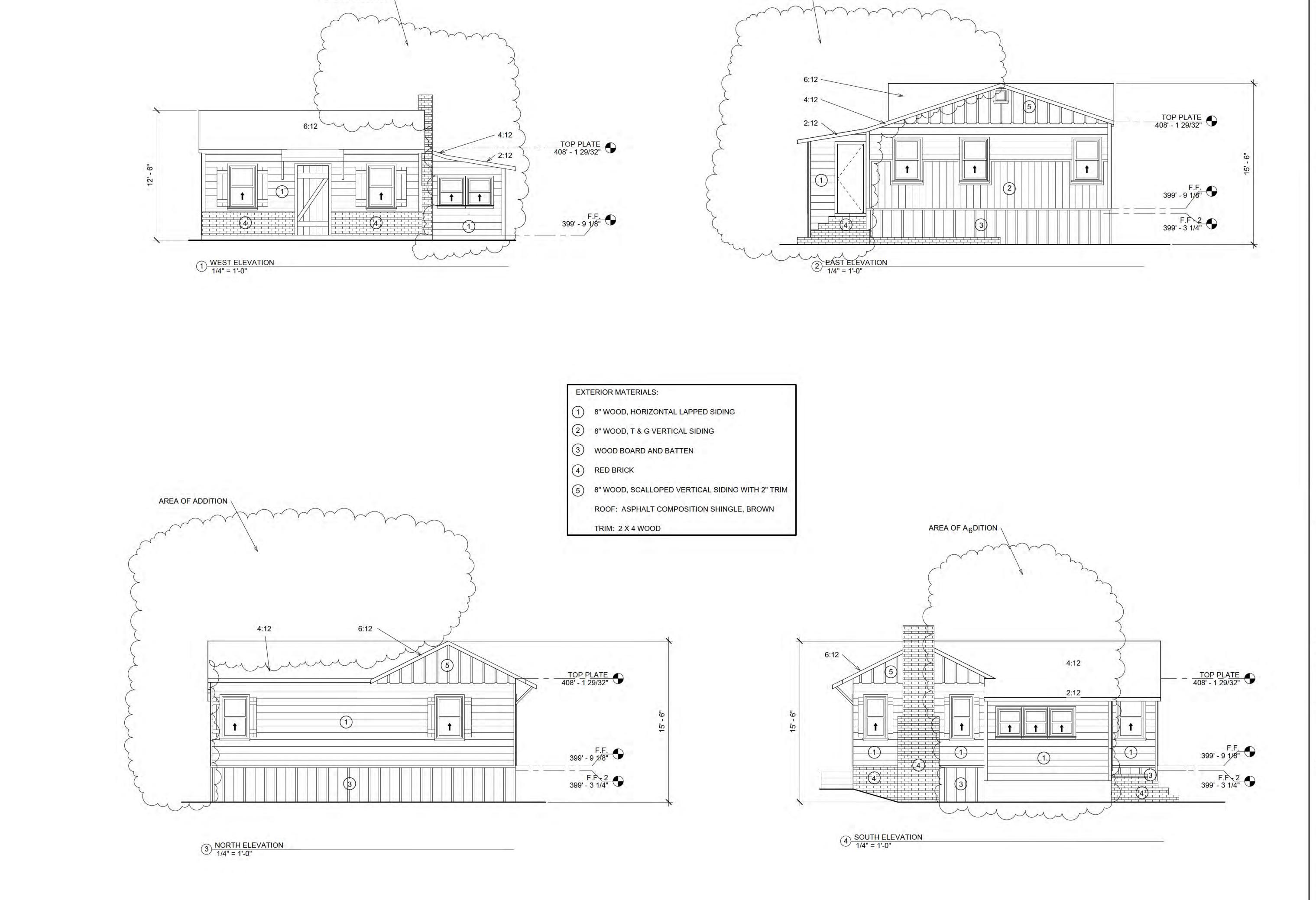
EXISTING FLOOR
PLAN AND DEMO
PLAN

310 TAIT AVE. LOS GATOS, CA

SCALE 1/4" = 1'-0" SHEET

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A2.0



AREA OF ADDITION

AREA OF ADDITION

BY **REVISIONS**

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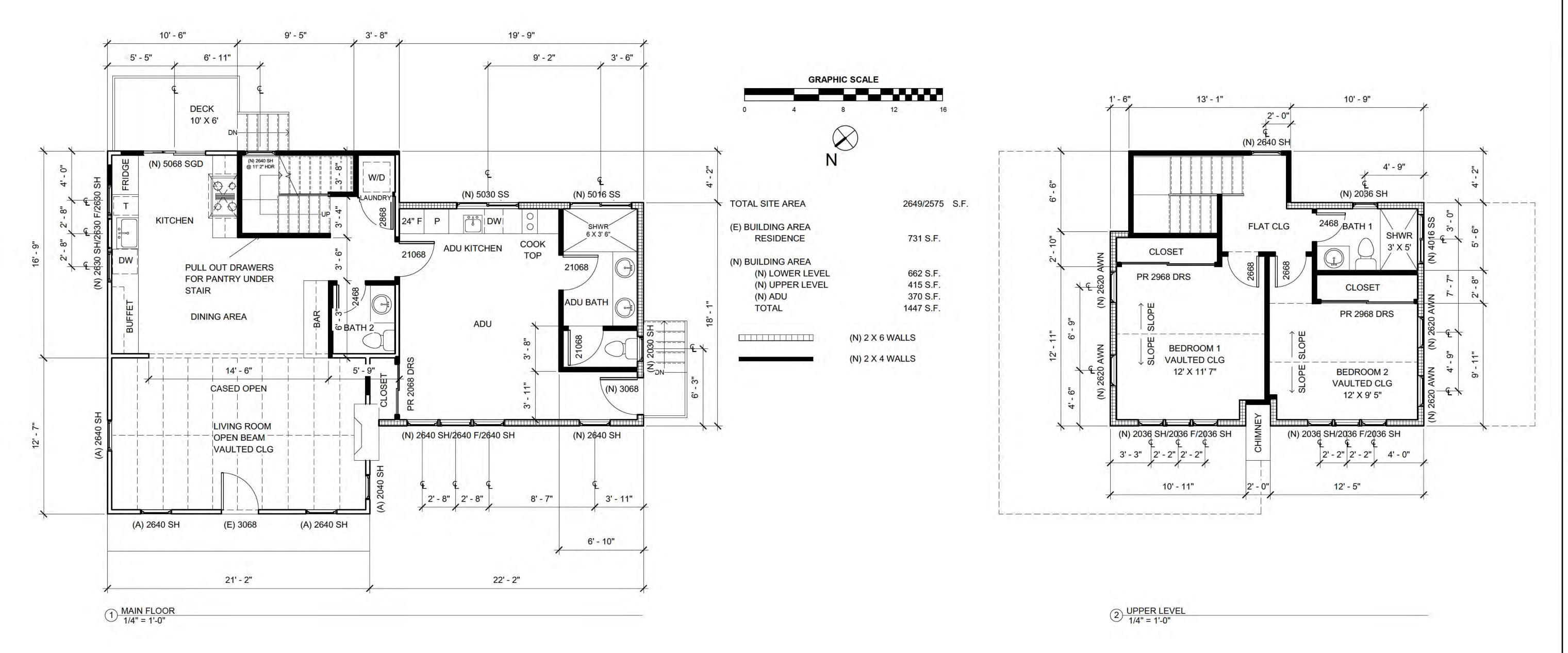
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> **EXISTING ELEVATIONS**

310 TAIT AVE. LOS GATOS, CA SCALE 1/4" = 1'-0" SHEET

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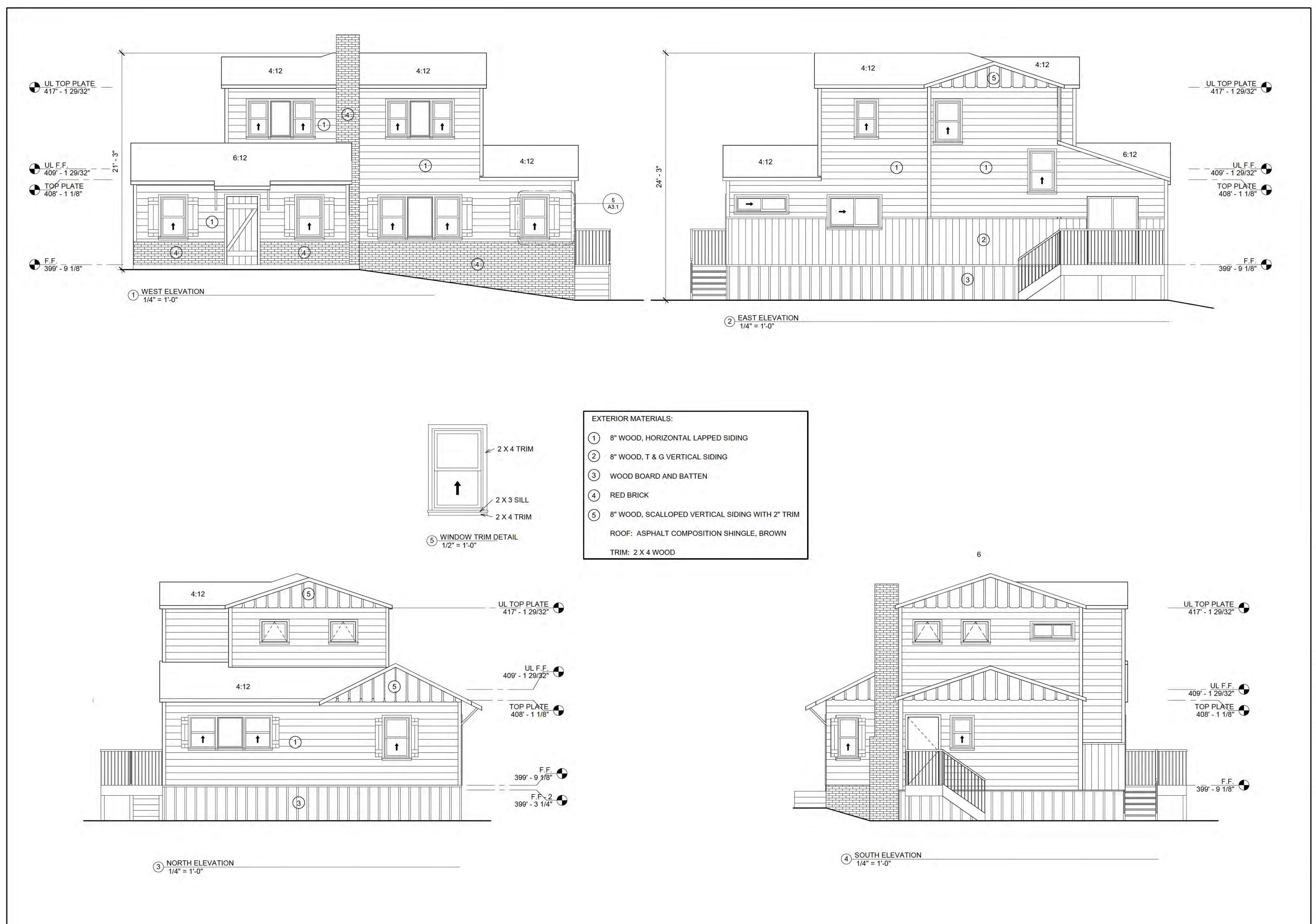
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> NEW FLOOR PLANS

310 TAIT AVE. LOS GATOS, CA SCALE 1/4" = 1'-0" SHEET 95030

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A3.0



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310 TAIT AVE. LOS GATOS, CA 95030 APN: 510-14-058

> NEW ELEVATIONS

310 TAIT AVE. LOS GATOS, CA 95030 SCALE As indicated SHEET

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A3.1

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