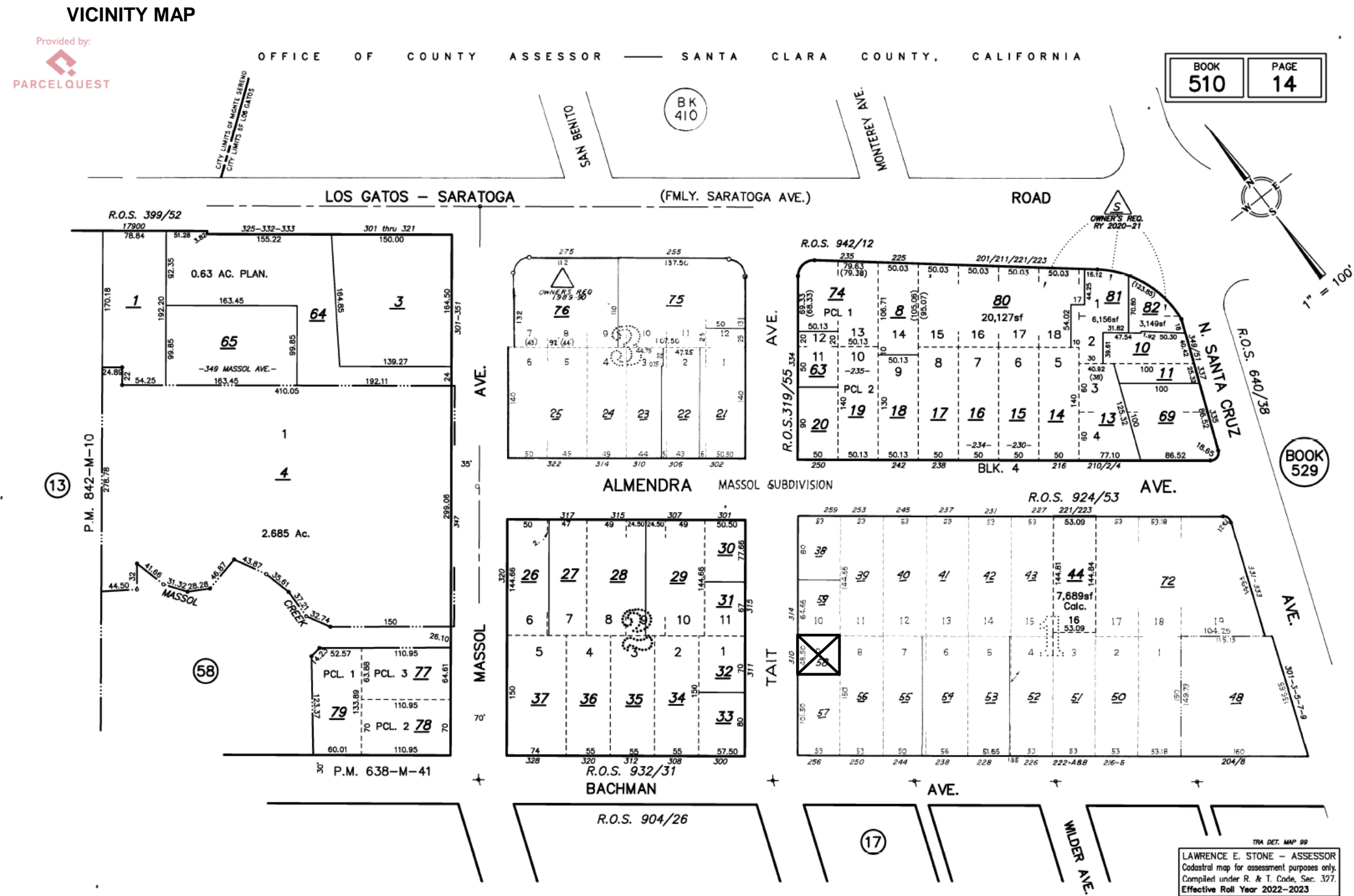


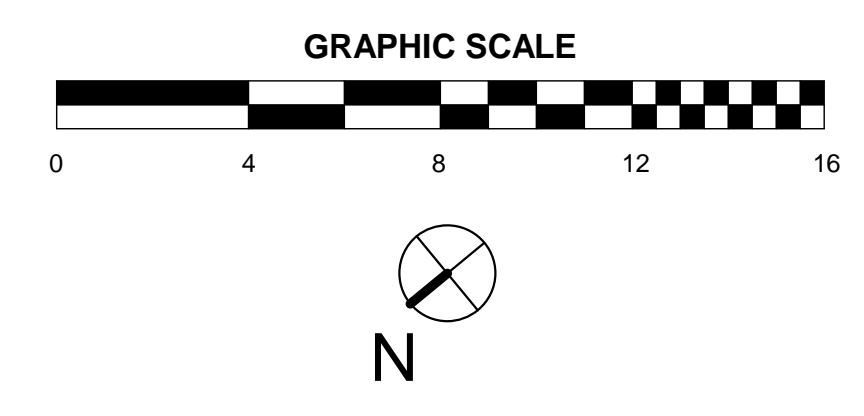
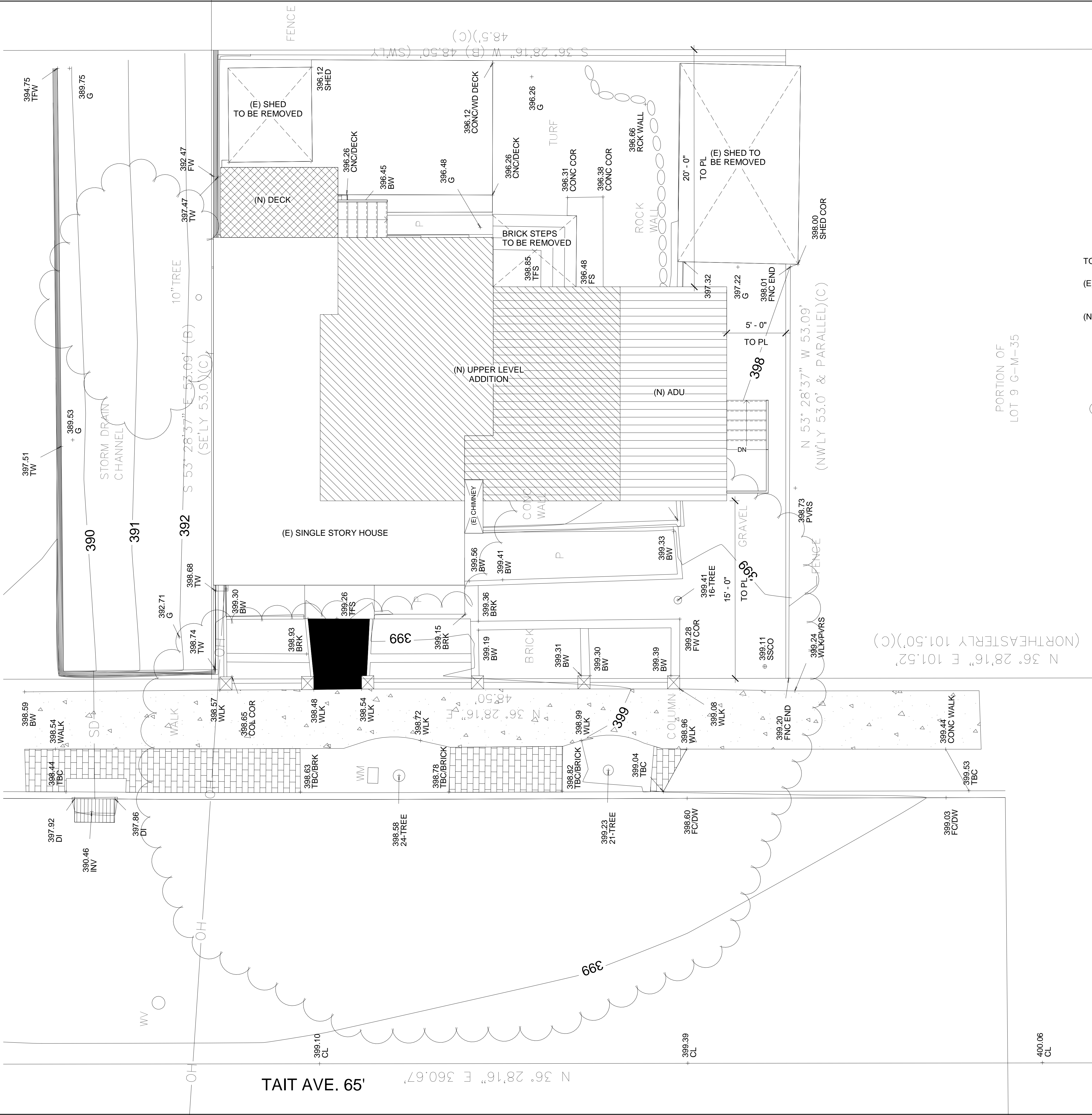
ALLENDE ADDITION

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A1.1	DEMO CALCULATIONS
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CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL SITE AND FIELD CONDITIONS PRIOR TO AND DURING CONSTRUCTION. WINDOW, DOOR AND CABINET DIMENSIONS MUST BE VIF BY CONTRACTOR, INSTALLER OR FABRICATOR PRIOR TO ORDERING. ANY DISCREPANCY FOUND BETWEEN PLANS AND ACTUAL FIELD CONDITION MUST BE BROUGHT TO THE ATTENTION OF D3 DESIGNS AND THE STRUCTURAL ENGINEER INVOLVED IN THE PROJECT. FAILURE TO DO SO VOIDS D3 DESIGNS AND THE ENGINEER OF RESPONSIBILITY TO WORK PERFORMED BY CONTRACTOR. D3 DESIGNS IS NOT RESPONSIBLE FOR ON SITE INSPECTION TO ASSURE COMPLIANCE WITH MATERIALS OR WORKMANSHIP SPECIFIED HEREIN, UNLESS BY SECONDARY AGREEMENT.

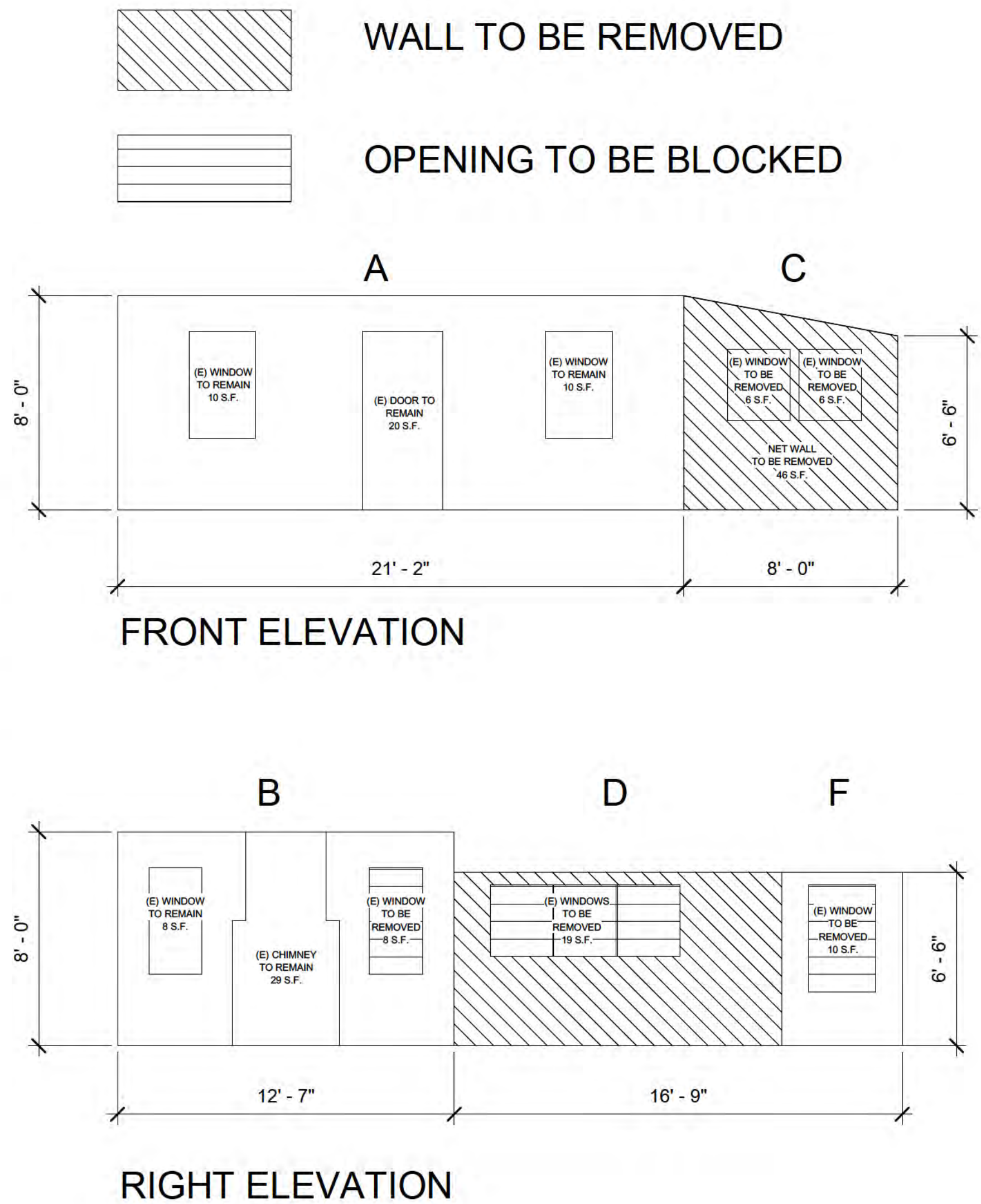
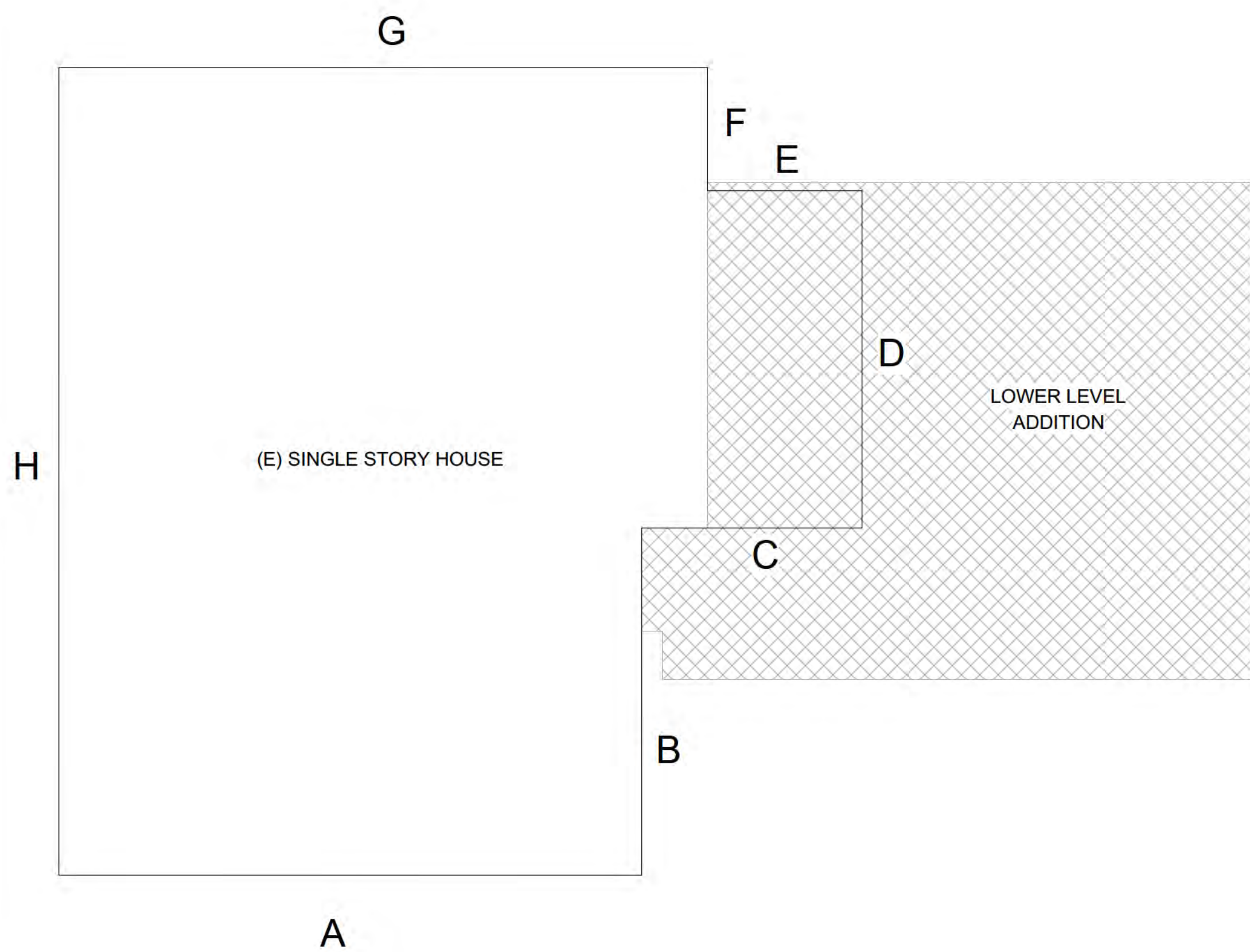




TOTAL SITE AREA	2649/2575 S.F.
(E) BUILDING AREA RESIDENCE	731 S.F.
(N) BUILDING AREA (N) LOWER LEVEL	662 S.F.
(N) UPPER LEVEL	415 S.F.
(N) ADU	370 S.F.
TOTAL	1447 S.F.

1 SITE PLAN
1/4" = 1'-0"

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donnachivers@gmail.com www.d-3-design.com	
CLIENT	
 310 TAIT AVE. LOS GATOS, CA 95030 APN: 510-14-058	
SITE PLAN	
310 TAIT AVE. LOS GATOS, CA 95030	
SCALE 1/4" = 1'-0"	SHEET
DATE 3/5/2025 5:59:57 PM	A1.0
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A. EXISTING WALL SURFACE AREA

WALL SECTION	L X H	TOTAL WALL SURFACE (GROSS)	EXISTING NET OPENING (WINDOWS AND DOORS)	NET WINDOWS AND DOORS TO BE REMOVED	NET WINDOWS AND DOORS TO REMAIN	WALLS TO BE REMOVED	WALLS TO REMAIN	CONTIGUOUS WALL TO REMAIN
A	21' 2" X 8'	169 S.F.	40 S.F.	0	40 S.F.	0	169-40-0	129 S.F.
B	12' 7" X 8'	101 S.F.	45 S.F.	8 S.F.	37 S.F.	0	101-45-0	56 S.F.
C	8' X 6' 6"	58 S.F.	12 S.F.	12 S.F.	0	46 S.F.	58-12-46	0
D	12' 3" X 6' 6"	78 S.F.	19 S.F.	19 S.F.	0	59 S.F.	78-19-59	0
E	5' 7" X 6' 6"	38 S.F.	18 S.F.	18 S.F.	0	20 S.F.	38-18-20	0
F	4' 6" X 6' 6"	31 S.F.	10 S.F.	10 S.F.	0	0	31-10-0	21 S.F.
G	23' 7" X 8'	188 S.F.	30 S.F.	20 S.F.	0	43 S.F.	188-30-43	115 S.F.
H	29' 4" X 8'	235 S.F.	20 S.F.	8 S.F.	10 S.F.	21 S.F.	235-20-21	194 S.F.
TOTAL		898 S.F.	194 S.F.					512 S.F.

- B. CALCULATE 50% OF EXISTING WALL SURFACE (GROSS) = $898/2 = 449$ S.F.
- C. CALCULATE 50% OF EXISTING WALL SURFACE (NET) = $898-194/2 = 352$ S.F.
- D. TOTAL CONTIGUOUS NET WALL AREA TO REMAIN = 512 S.F. = 57%

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DEMO
CALCULATIONS

310 TAIT AVE. LOS GATOS, CA 95030

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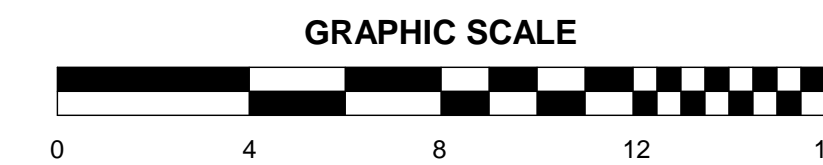
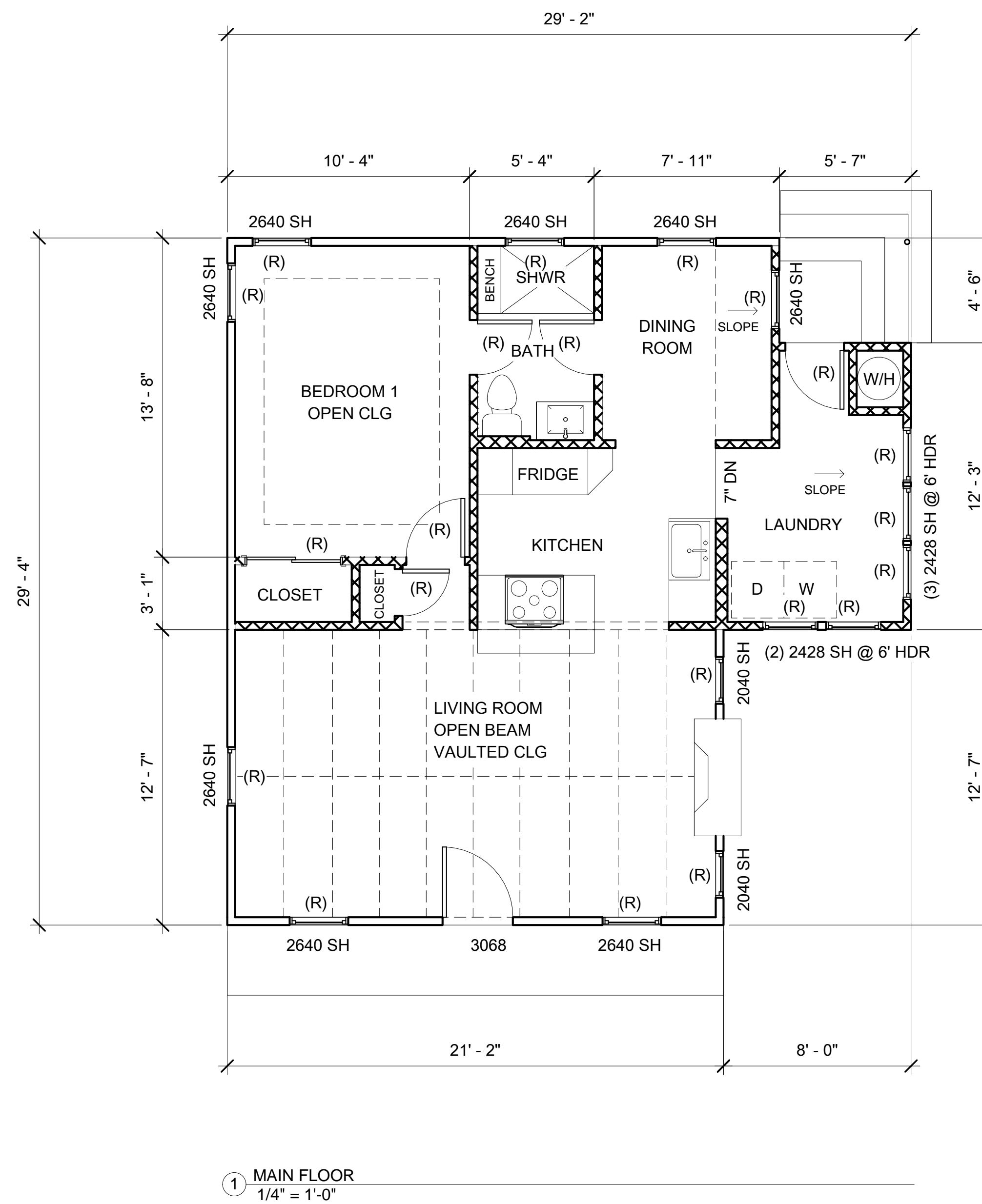
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LOS GATOS, CA 95030
APN: 510-14-058

EXISTING FLOOR
PLAN AND DEMO
PLAN

310 TAIT AVE. LOS GATOS, CA

SCALE	1/4" = 1'-0"	SHEET	95030
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TOTAL SITE AREA	2649/2575	S.F.
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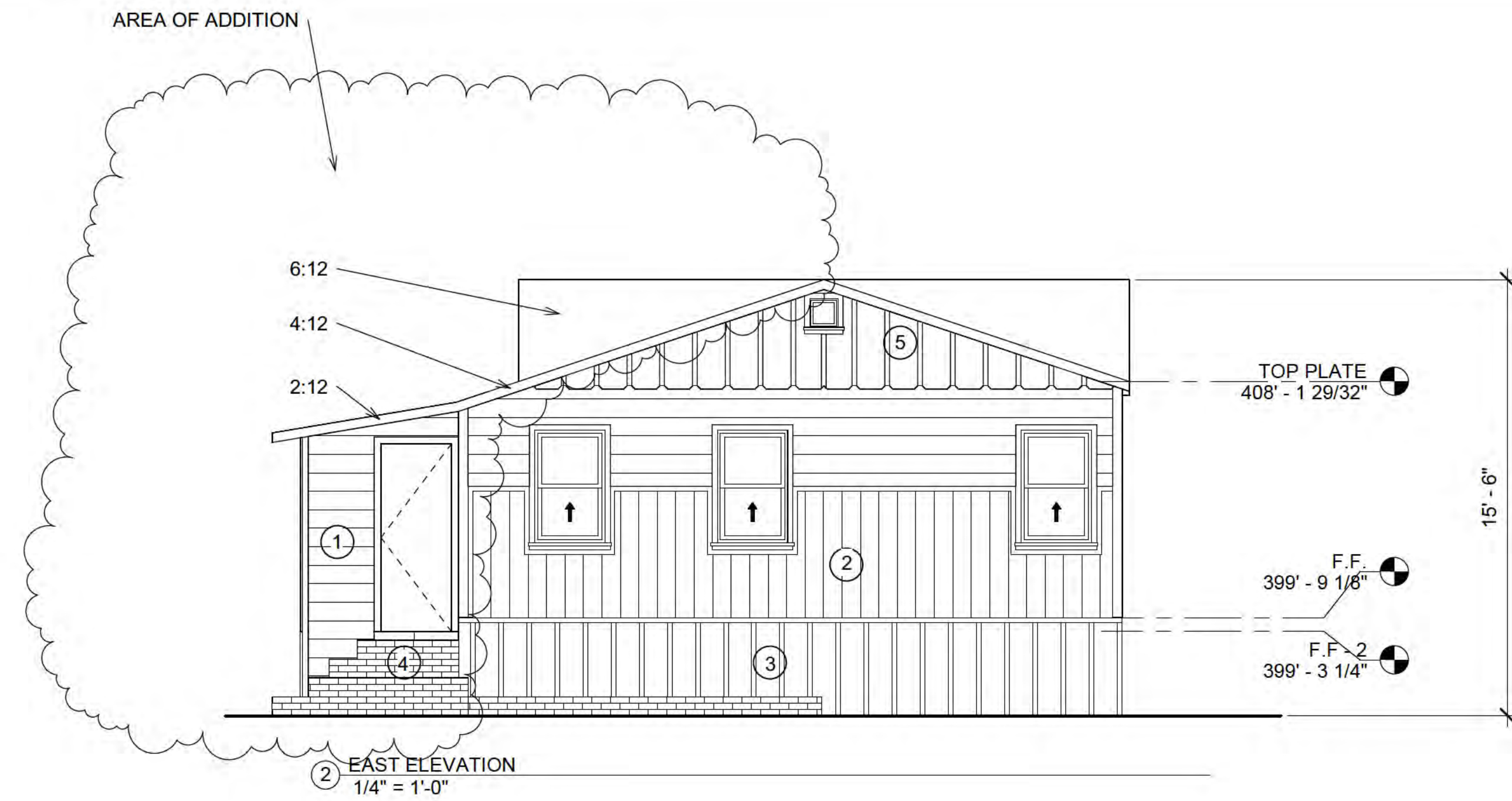
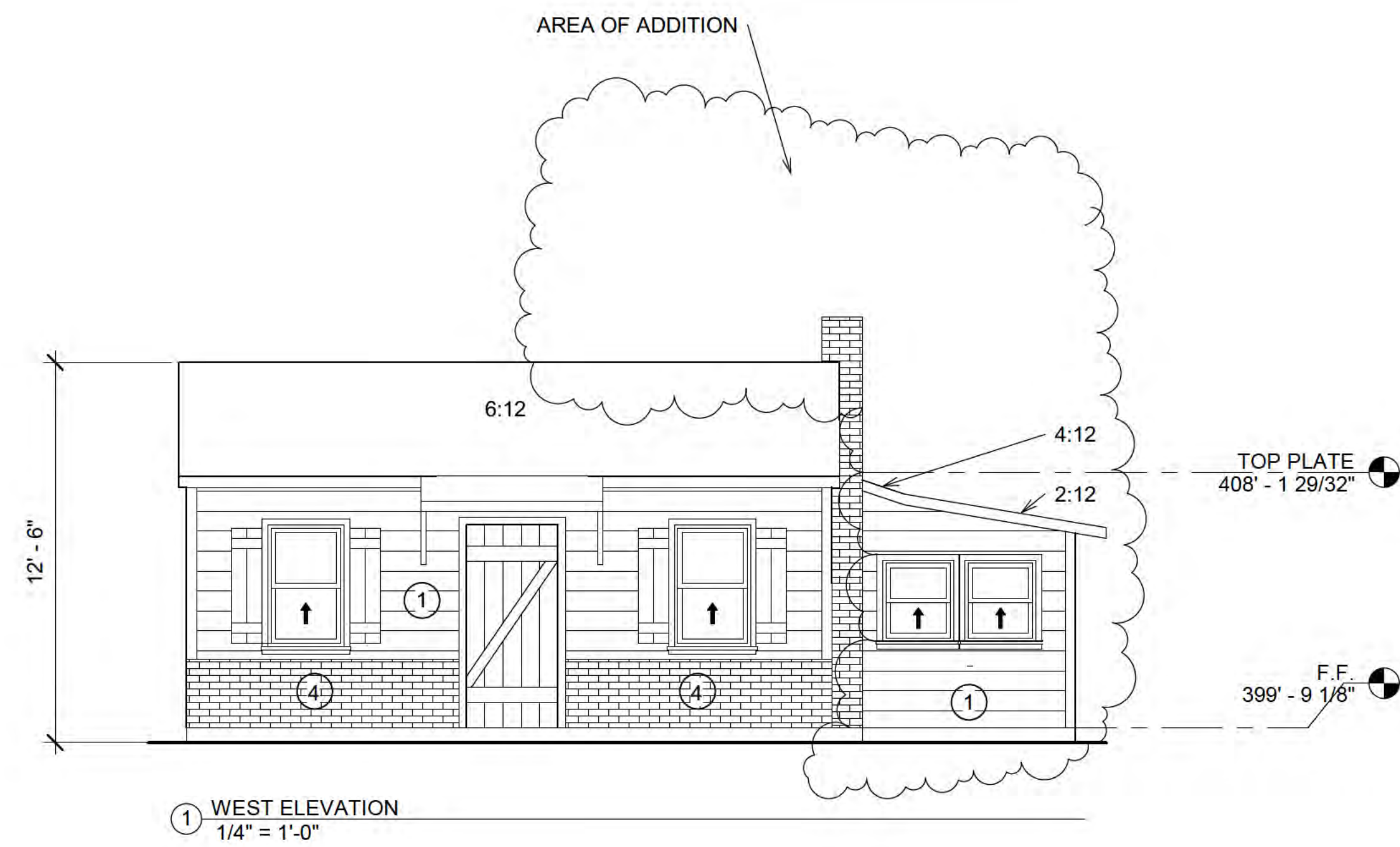
(E) BUILDING FOOTPRINT
RESIDENCE 731 S.F.

 INDICATES WALLS TO BE REMOVED

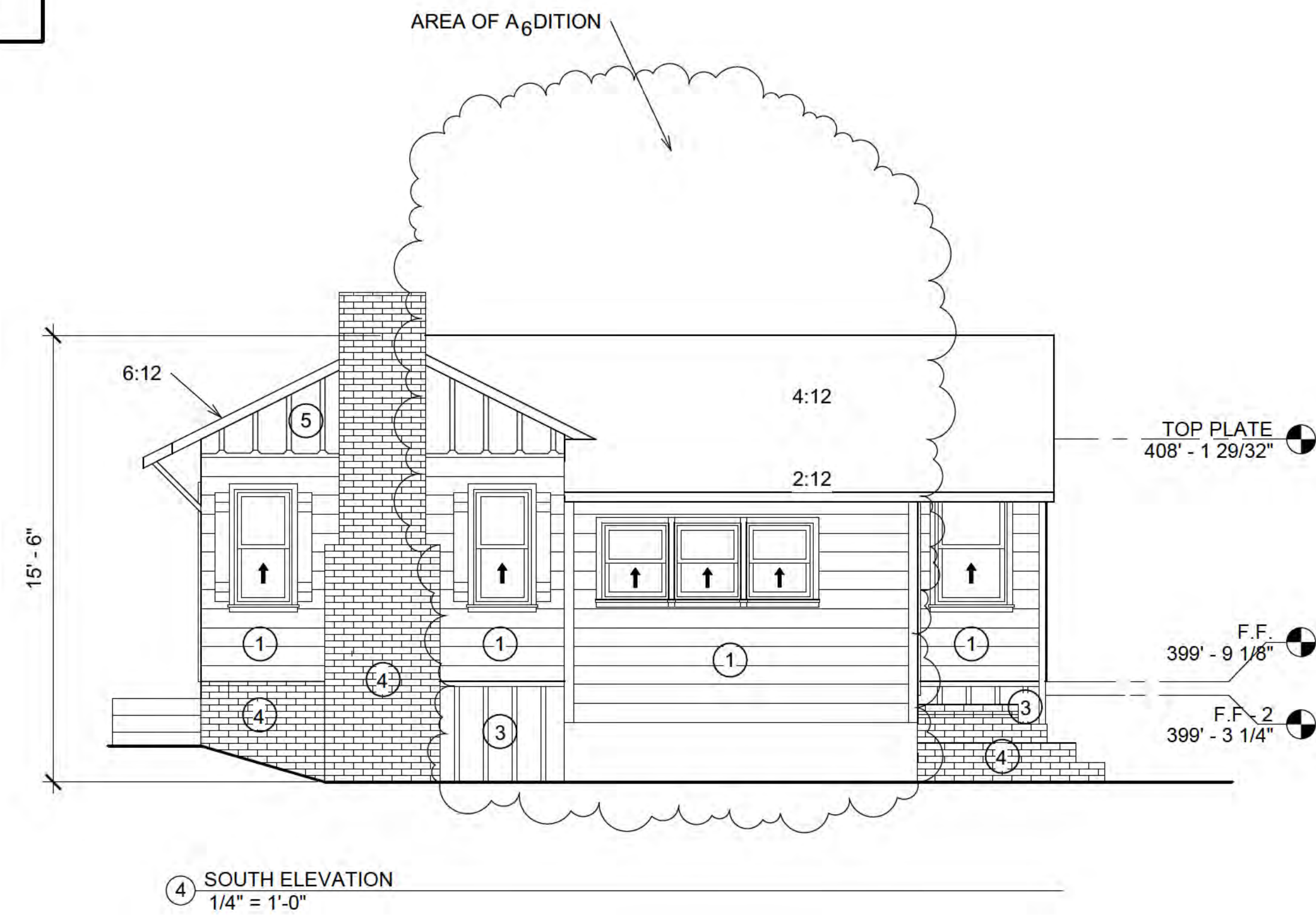
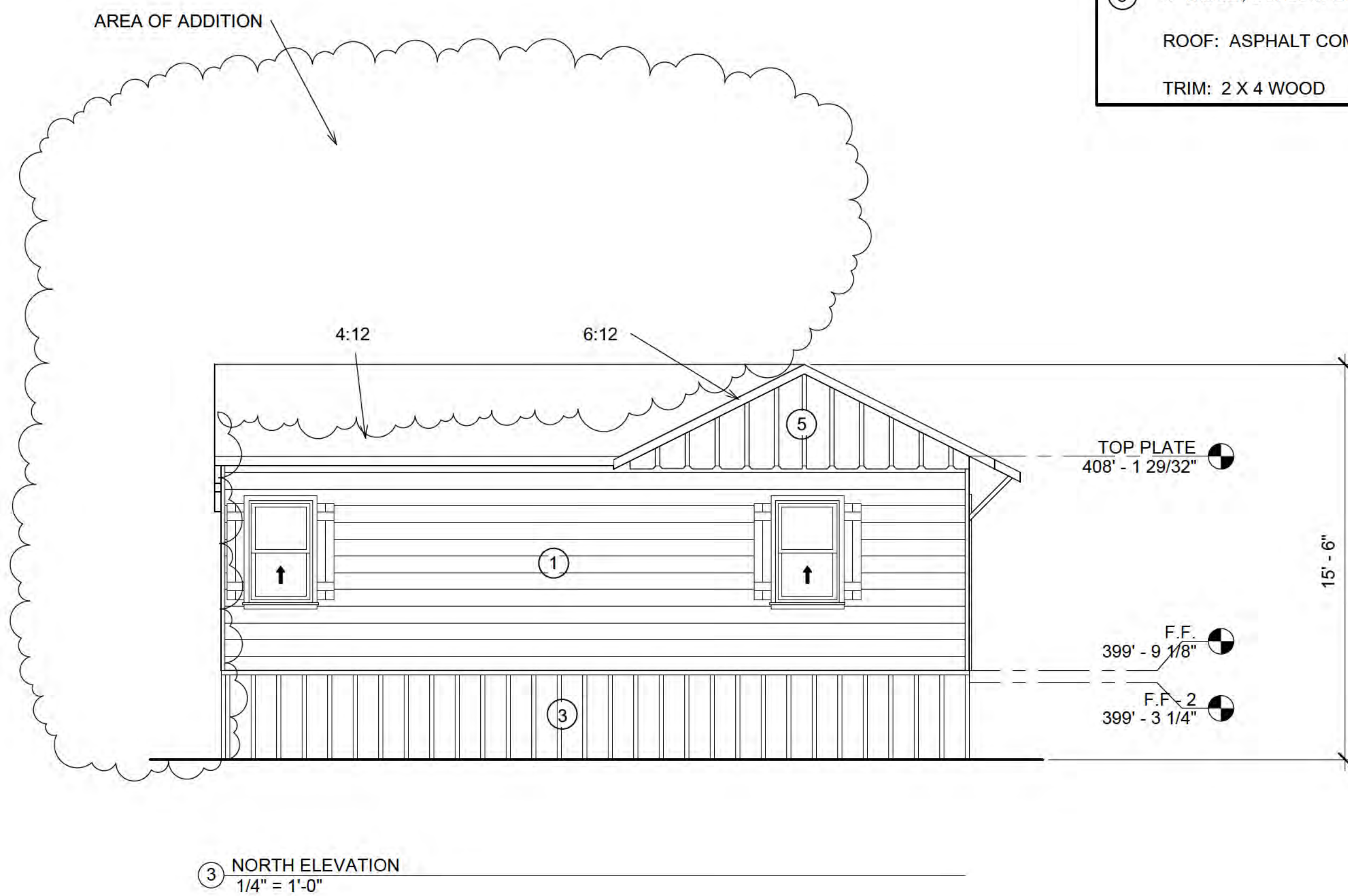
(R) INDICATES DOORS/WINDOWS TO BE REMOVED

DEMO NOTES:

1. REMOVE DOORS AND WINDOWS AS INDICATED
2. REMOVE WALLS AS INDICATED
3. REMOVE ROOF
4. REMOVE CABINETS, COUNTERS, PLUMBING FIXTURES AND APPLIANCES THROUGHOUT
5. REMOVE FIREPLACE AND CHIMNEY
6. REMOVE ALL HVAC AND WH UNITS
7. REMOVE BRICK STAIRS IN BACK
8. REMOVE EXTERIOR MATERIALS THROUGHOUT
9. REMOVE FIREPLACE AND CHIMNEY



- EXTERIOR MATERIALS:
- 1 8" WOOD, HORIZONTAL LAPPED SIDING
 - 2 8" WOOD, T & G VERTICAL SIDING
 - 3 WOOD BOARD AND BATTEN
 - 4 RED BRICK
 - 5 8" WOOD, SCALLOPED VERTICAL SIDING WITH 2" TRIM
- ROOF: ASPHALT COMPOSITION SHINGLE, BROWN
- TRIM: 2 X 4 WOOD



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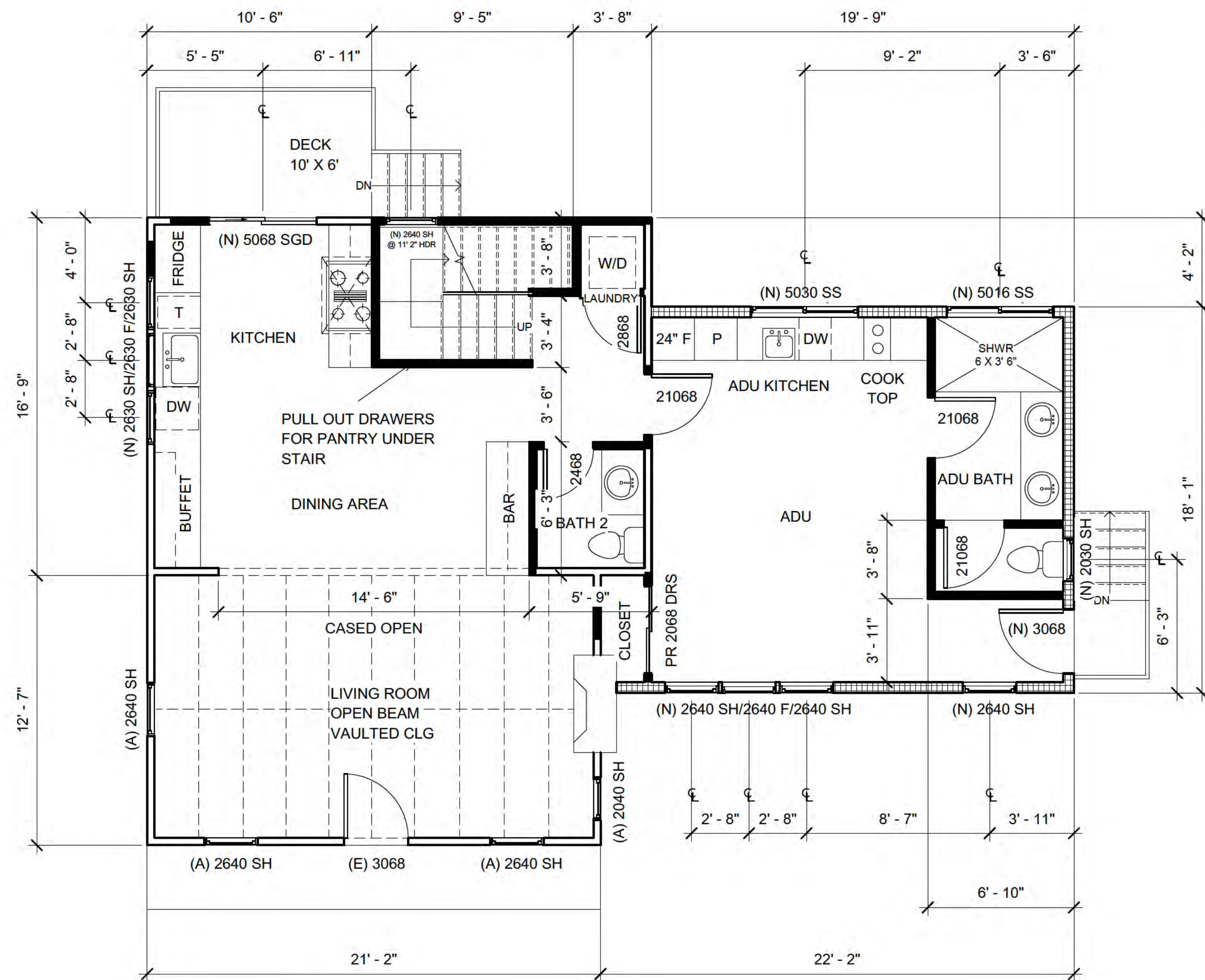
310 TAIT AVE.
LOS GATOS, CA 95030
APN: 510-14-058

EXISTING
ELEVATIONS

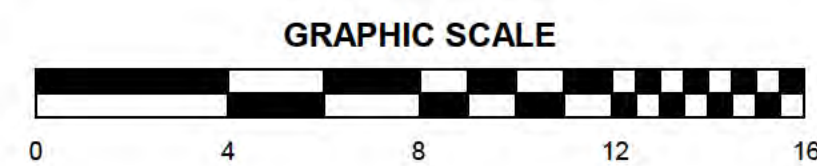
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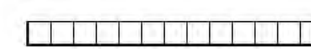
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① MAIN FLOOR
1/4" = 1'-0"

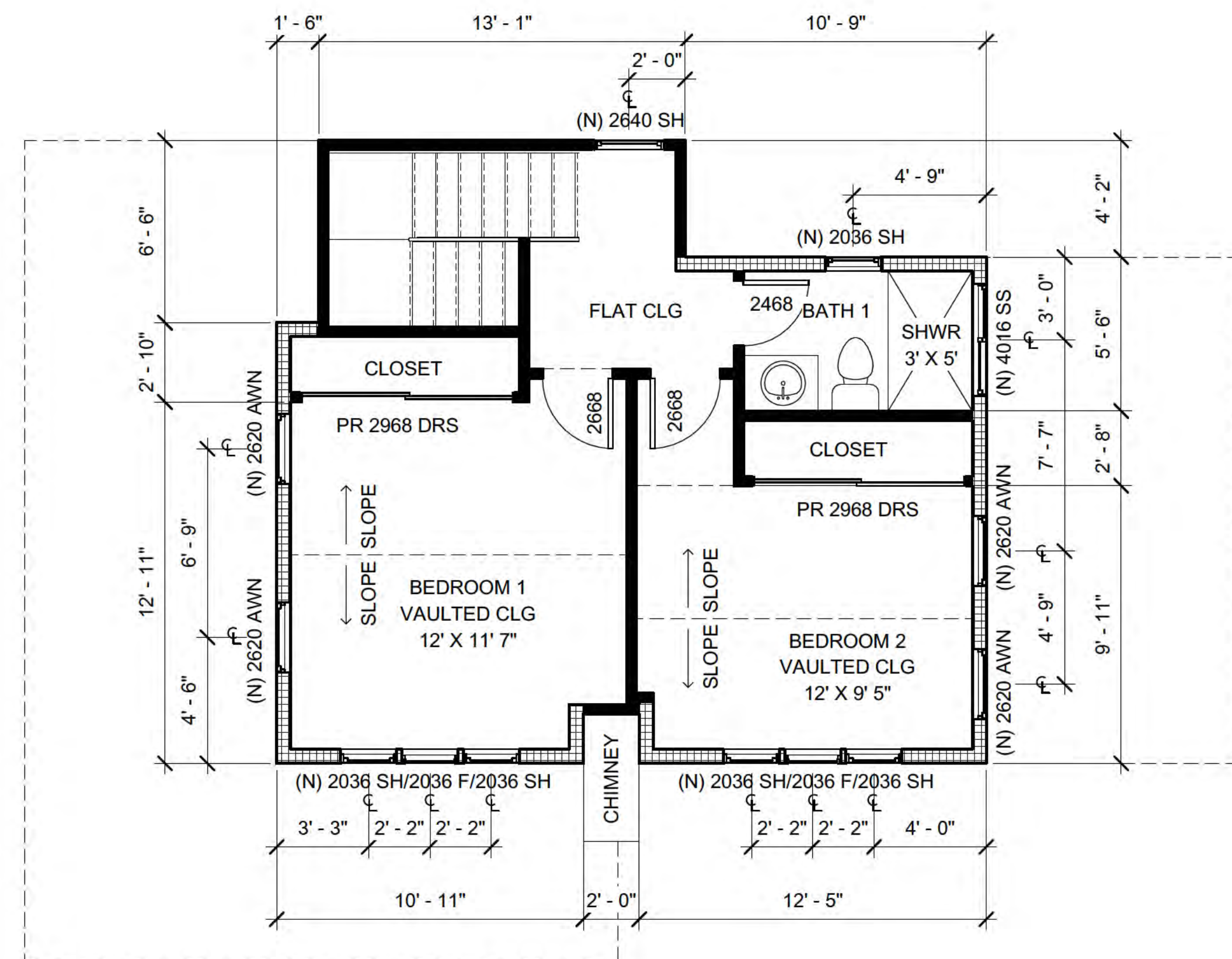


TOTAL SITE AREA	2649/2575 S.F.
(E) BUILDING AREA RESIDENCE	731 S.F.
(N) BUILDING AREA	
(N) LOWER LEVEL	662 S.F.
(N) UPPER LEVEL	415 S.F.
(N) ADU	370 S.F.
TOTAL	1447 S.F.



(N) 2 X 6 WALLS

(N) 2 X 4 WALLS



② UPPER LEVEL
1/4" = 1'-0"

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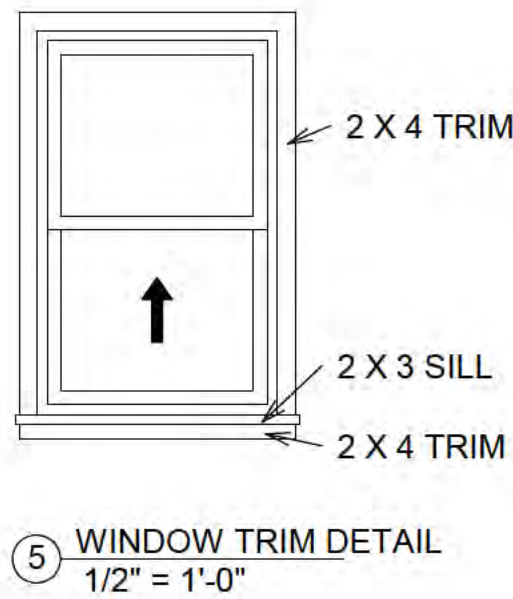
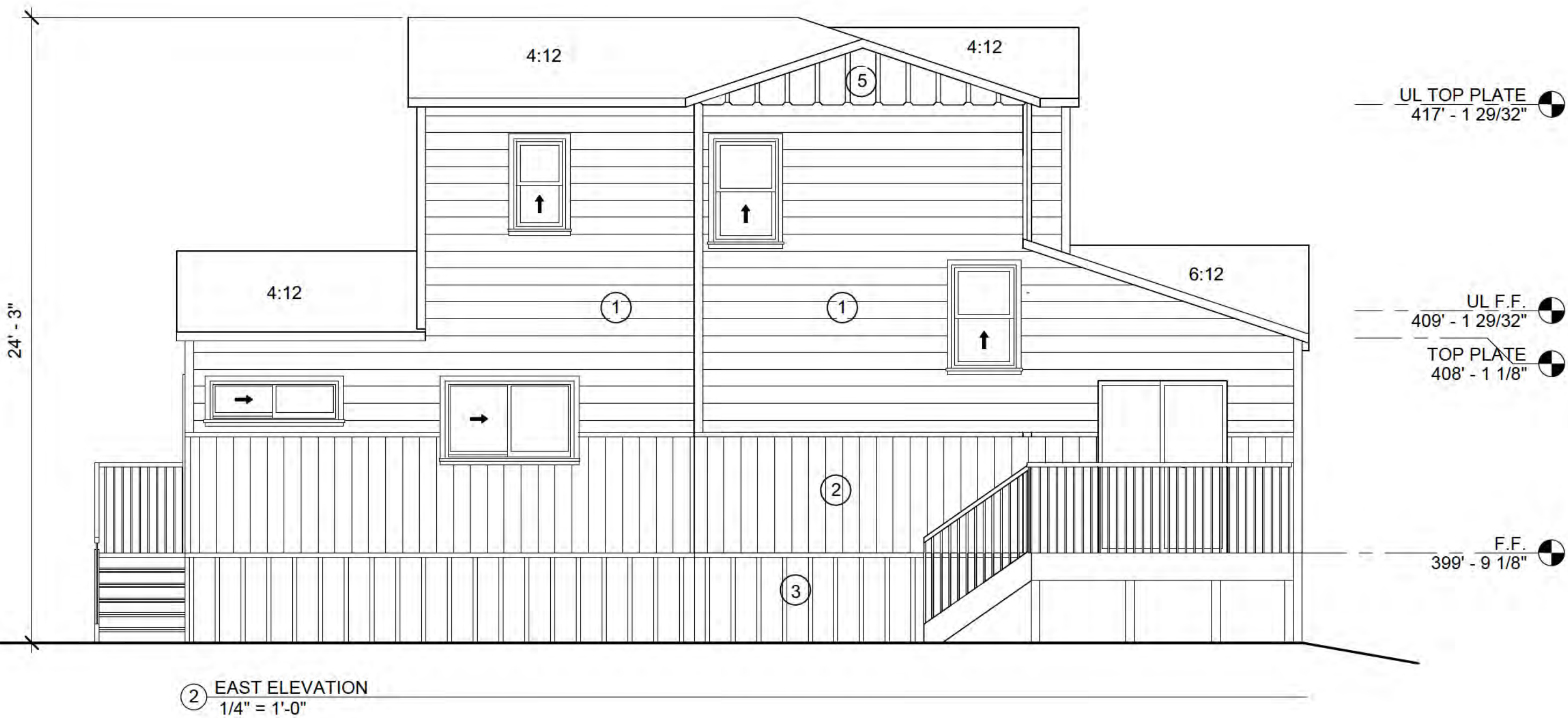
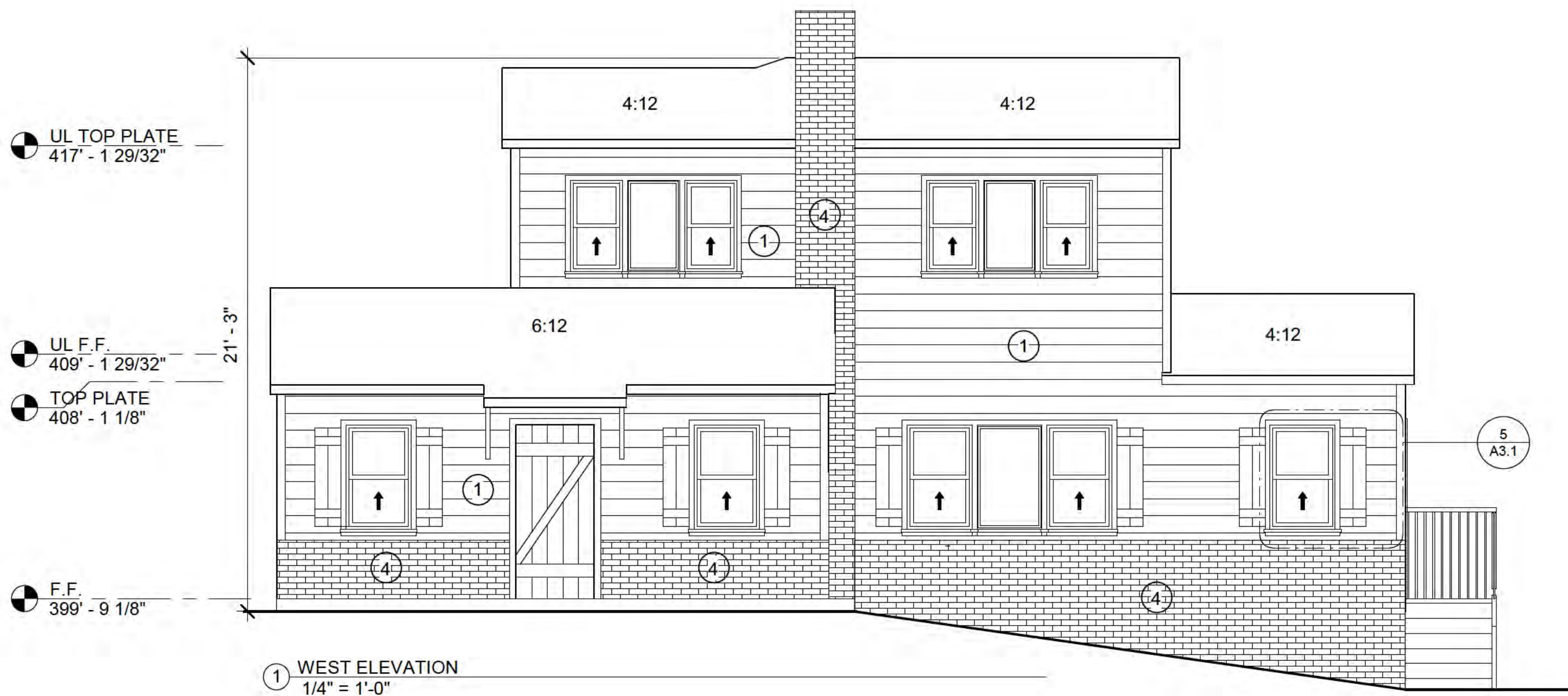
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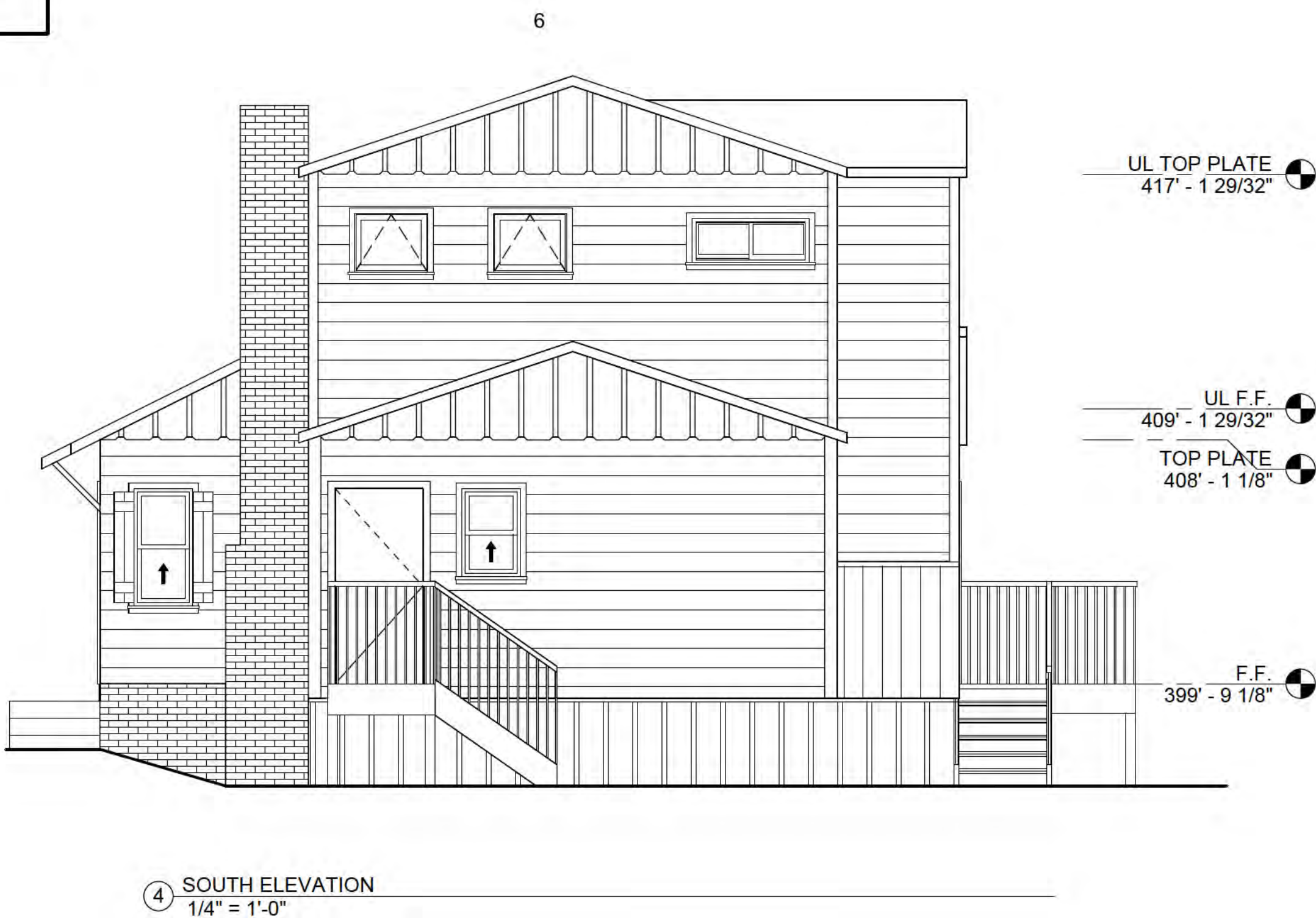
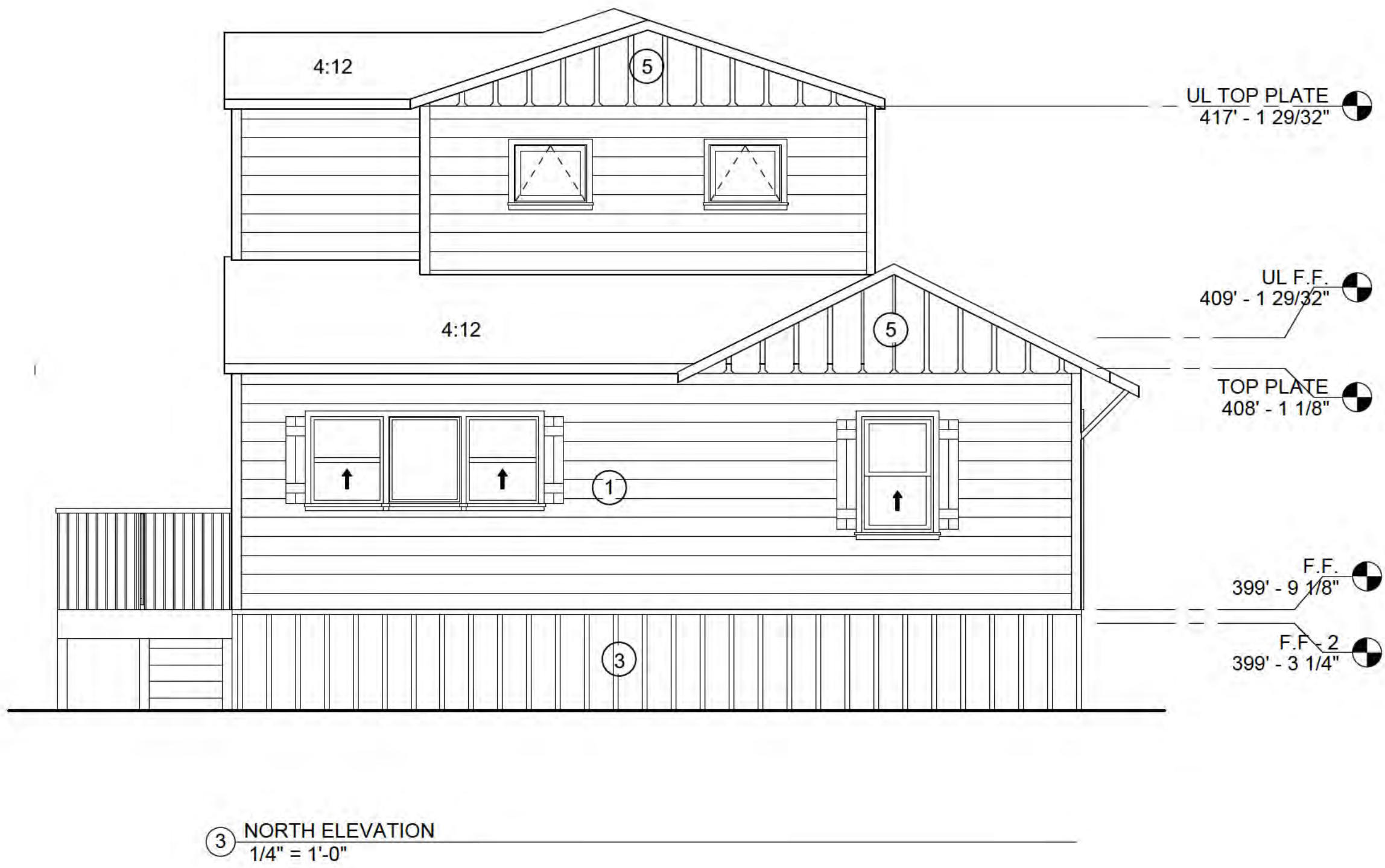
NEW FLOOR
PLANS

310 TAIT AVE. LOS GATOS, CA 95030

SCALE 1/4" = 1'-0"	SHEET
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- EXTERIOR MATERIALS:
- ① 8" WOOD, HORIZONTAL LAPPED SIDING
 - ② 8" WOOD, T & G VERTICAL SIDING
 - ③ WOOD BOARD AND BATTEN
 - ④ RED BRICK
 - ⑤ 8" WOOD, SCALLOPED VERTICAL SIDING WITH 2" TRIM
- ROOF: ASPHALT COMPOSITION SHINGLE, BROWN
- TRIM: 2 X 4 WOOD



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NEW
ELEVATIONS

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SCALE As indicated
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