



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT BUILDING DIVISION

PHONE: (408) 354-6876 FAX: (408) 354-7593
www.losgatosca.gov/building

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

Application #

BUILDING DIVISION PERMIT APPLICATION

B10-262

SITE ADDRESS 37 Ellenwood Avenue Suite _____ Today's Date _____

TYPE OF WORK TO BE DONE ☒ New ☐ Addition ☐ Alteration ☐ Repair ☐ Reroof ☐ Deck ☐ Pool/Spa ☐ Ret Wall

DETAILED DESCRIPTION OF WORK TO BE DONE Demo'd existing patio cover + shed (379 sq ft)
Build new shed (256 sq ft.)

PROJECT AREA	New/Add Sq. Ft.	Remodel/Alter Sq. Ft.	Reroof/Pool/Porch/Deck SF	Retaining Wall L.F.
1 st Floor	<u>256</u>			
2 nd Floor				
Attic/Basement/Cellar/Porch				
Attached/Detached Garage				

CONSTRUCTION VALUATION (Required): \$2,000.00 Include costs of all labor and materials

BUILDING DETAILS: Heated? ☐ Cooled? ☐ # of Stories 1 ☐ Pre 1941/Historic District ☐ Has A Fire Sprinkler System

Is there a Swimming Pool and/or Spa located at this address: ☐ Yes ☒ No

Proposed Use of Building: Tool + storage shed Construction Type wood frame Occupancy Type none

CONTACT NAME [REDACTED] Phone [REDACTED] Fax [REDACTED]

Address 37 Ellenwood Ave City Los Gatos Zip 95030

Property Owner Name [REDACTED] Phone (Required) [REDACTED]

Address 37 Ellenwood Ave City Los Gatos Zip 95030

Architect/Engineer/Designer none License # _____ Phone _____

Address _____ City _____ Zip _____

Contractor Name owner/builder

State License No. _____ License Type _____ Expires _____ Town Business Lic. No. _____

Commercial Tenant n/a Phone _____

Address _____ City _____ Zip _____

Please complete the Electrical, Mechanical & Plumbing details on reverse side

NADEVIFORMS\Building\BldgApplication.wpd

INCORPORATED AUGUST 10, 1887





TOWN of LOS GATOS
Community Development
Building Permit

Permit ID/Type:	B10-0262 BUILDING/BUILDING/RESIDENTIAL/ADDITION	Applied:	04/21/2010
Work Description:	ADDITION OF STORAGE TO (E) DETACHED GARAGE 256 SF	Approved:	04/21/2010
Status:	ISSUED	Issued:	06/03/2010
Address:	37 ELLENWOOD AVE, LOS GATOS, CA 95030	Expires:	11/29/2010
Owner:	[REDACTED] 37 ELLENWOOD AVE LOS GATOS, CA 95030	Phone:	[REDACTED] 5
Contractor:	OWNER/BUILDER SAMELOS GATOS, CA	Phone:	
License No.:	000000		

Job Value:	\$20,190.72	Buildings:	1
Total Sq. Ft.:		Houses:	0
Building Use:	Private Garages	Census #:	438
Occupancy Type:	U	Construction Type:	V-B

Total Fees	\$1226.64
Total Payments	\$189.28
Balance Due	\$1037.36

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ California Contractor License No. _____
Expiration Date _____ Contractor Signature _____

WORKERS' COMPENSATION DECLARATION WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

____ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____ Expiration Date _____

Name of Agent _____ Phone # _____

☒ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

[REDACTED] 6/3/10
Signature of Applicant Date

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions

Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500.):

☒ I, as owner of the property, or my employees with wages as their sole compensation, will do ☒ all of or ☐ portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

☐ I am exempt from licensure under the Contractors' State License Law for the following reason:

By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following. Web site: <http://www.leginfo.ca.gov/calaw.html>

Date 6/3/10 Signature of Property Owner or Authorized agent [REDACTED]

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____ Lender's Address _____

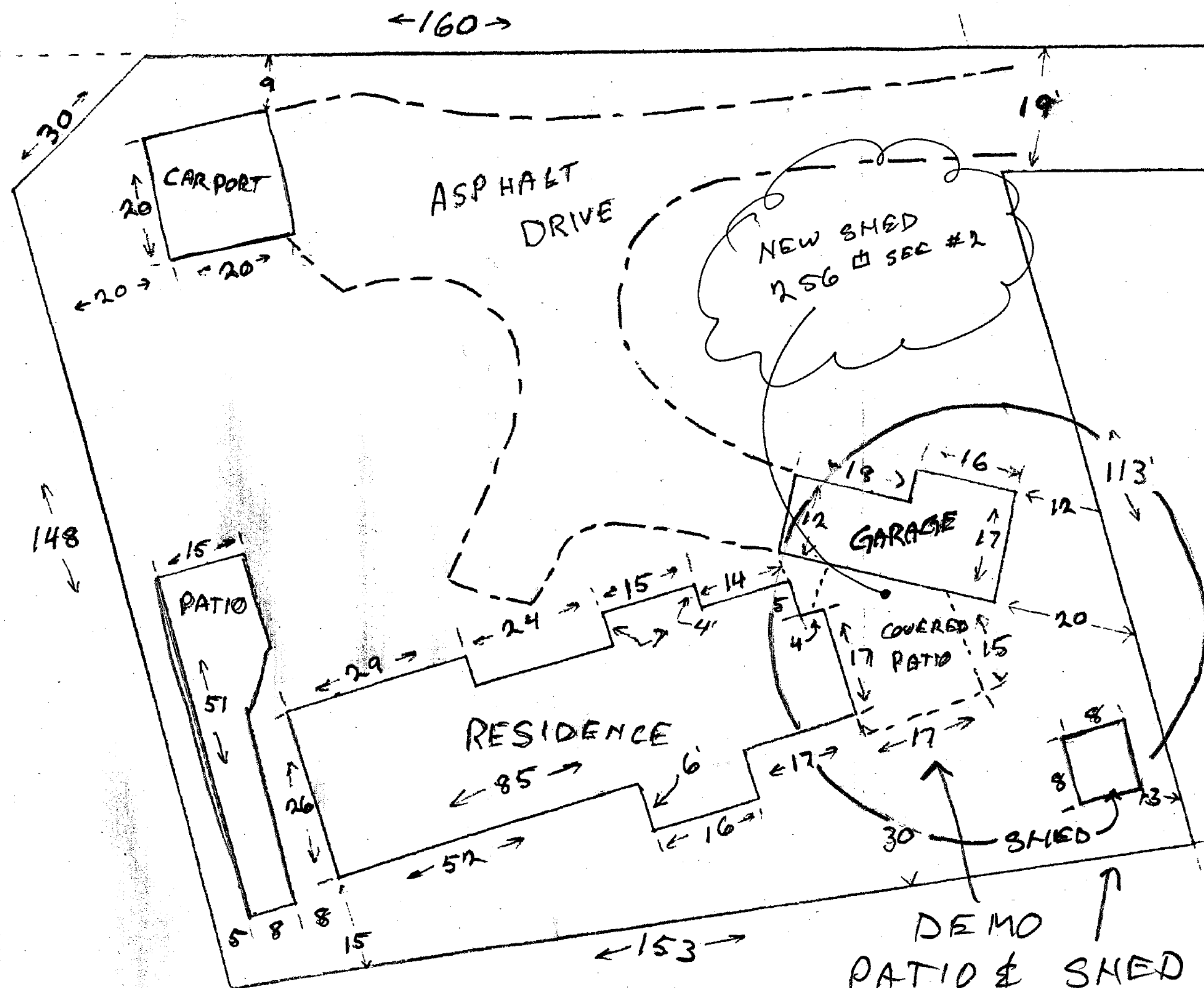
By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf. I have read this application and the information I have provided is correct. I agree to comply with all applicable city and county ordinances and state laws relating to building construction. I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

[REDACTED]
Signature of Property Owner or Authorized Agent

6/3/10
Date

STORAGE SHED



37 ELLEN WOOD AV
LOS GATOS CA 95030

LOT # 15
SHORT SUBDIVISION # 1
APPROX 75960 SQ FT.

RESIDENCE

2044 SQ FT.

GARAGE

488 SQ FT.

CAR PORT

400 SQ FT.

PATIO

682 SQ FT.

TOTAL ROOF 3614 SQ FT.

14%

R-3/1 Bldg. occupancy Group

2007 CBC-CPC-CMC-CEC

2007 ENERGY CODE

2008 ENERGY CODE

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.
2 Jun '10

Town of Los Gatos
BUILDING DIVISION
PLAN APPROVED
DATE 5/27/10
BY [Signature]
I can check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations

Resubmittal

RECEIVED

MAY 24 2010

TOWN OF LOS GATOS
BUILDING DIVISION

B10-262

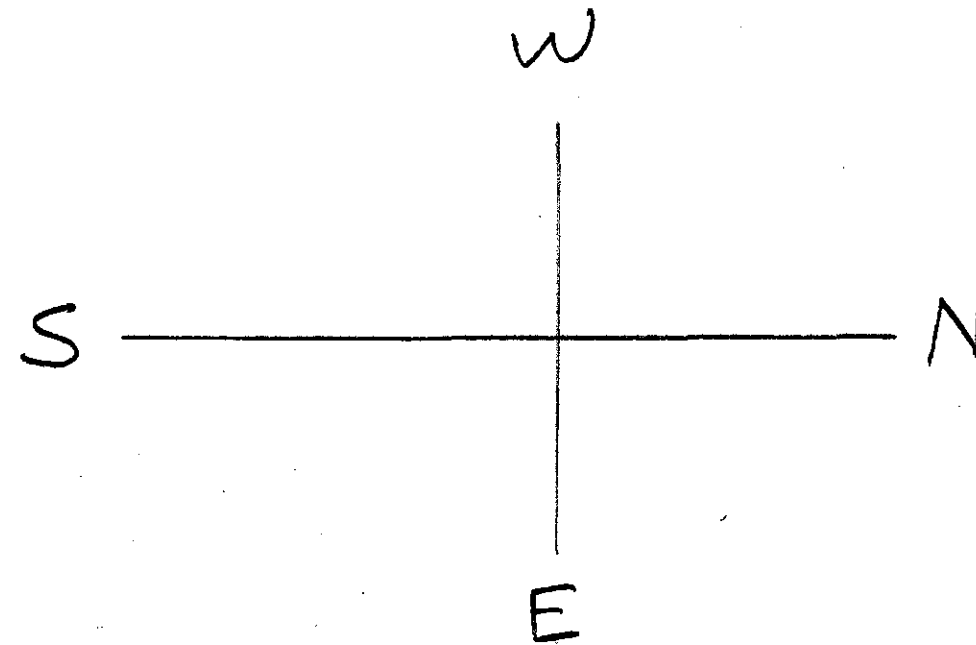
PAGE

- 1- PLOT PLAN
- 2- LAY OUT & SET BACK
- 3- NORTH & SOUTH ELEVATION
- 4- EAST & WEST ELEVATION
- 5- FLOOR PLAN
- 6- FRAMING PLAN
- 7- ROOF FRAMING
- 8- UNDER FLOOR PLANS (S)
- 9- CONCRETE PIERS & COLLOR TIES
- 10- POST BRACING
- 11- BRACING SPANS

5-20-10

[Signature]

#1



150 AMP
ELECT
PANEL

EXISTING ROOF
DEMO OUT

3614	sq ft
379	sq ft
3235	sq ft
256	sq ft
3491	sq ft

1/4" = 1'

NEW SHED
NEW TOTAL

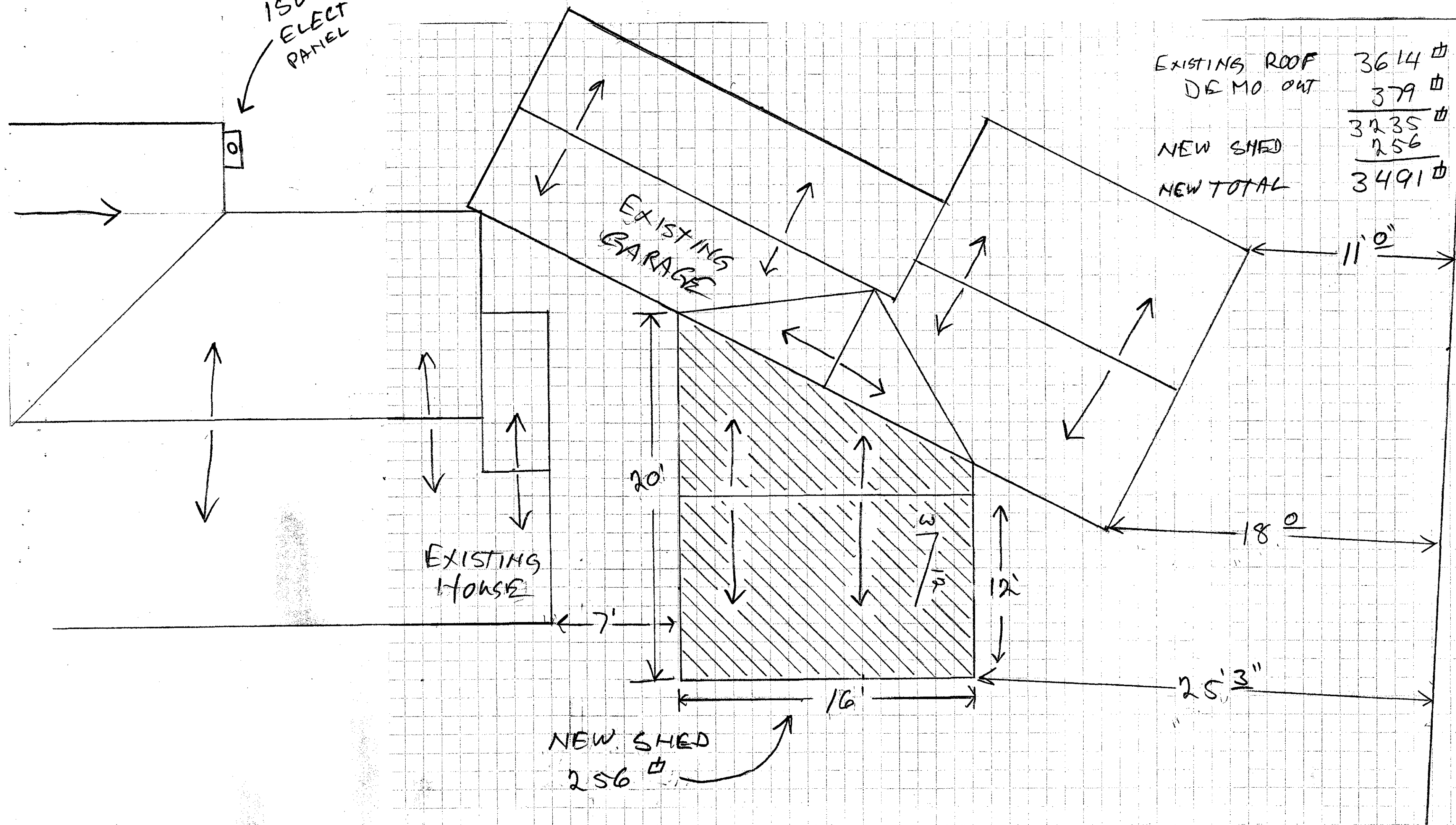
EXISTING
GARAGE

EXISTING
HOUSE

NEW SHED
256 sq ft

PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

#2

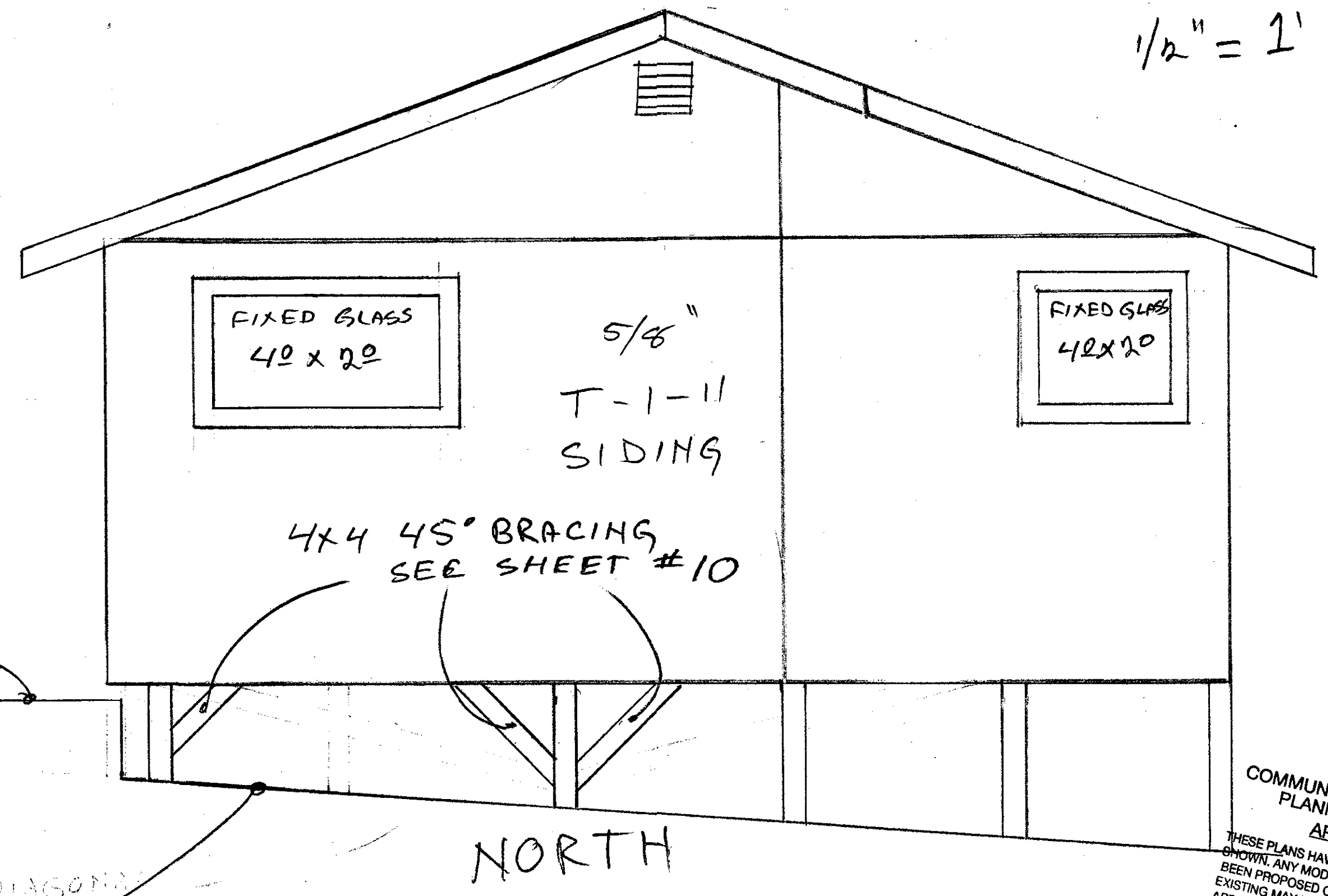


1/2" = 1'

EXISTING
WALK WAY

EXISTING
PATIO

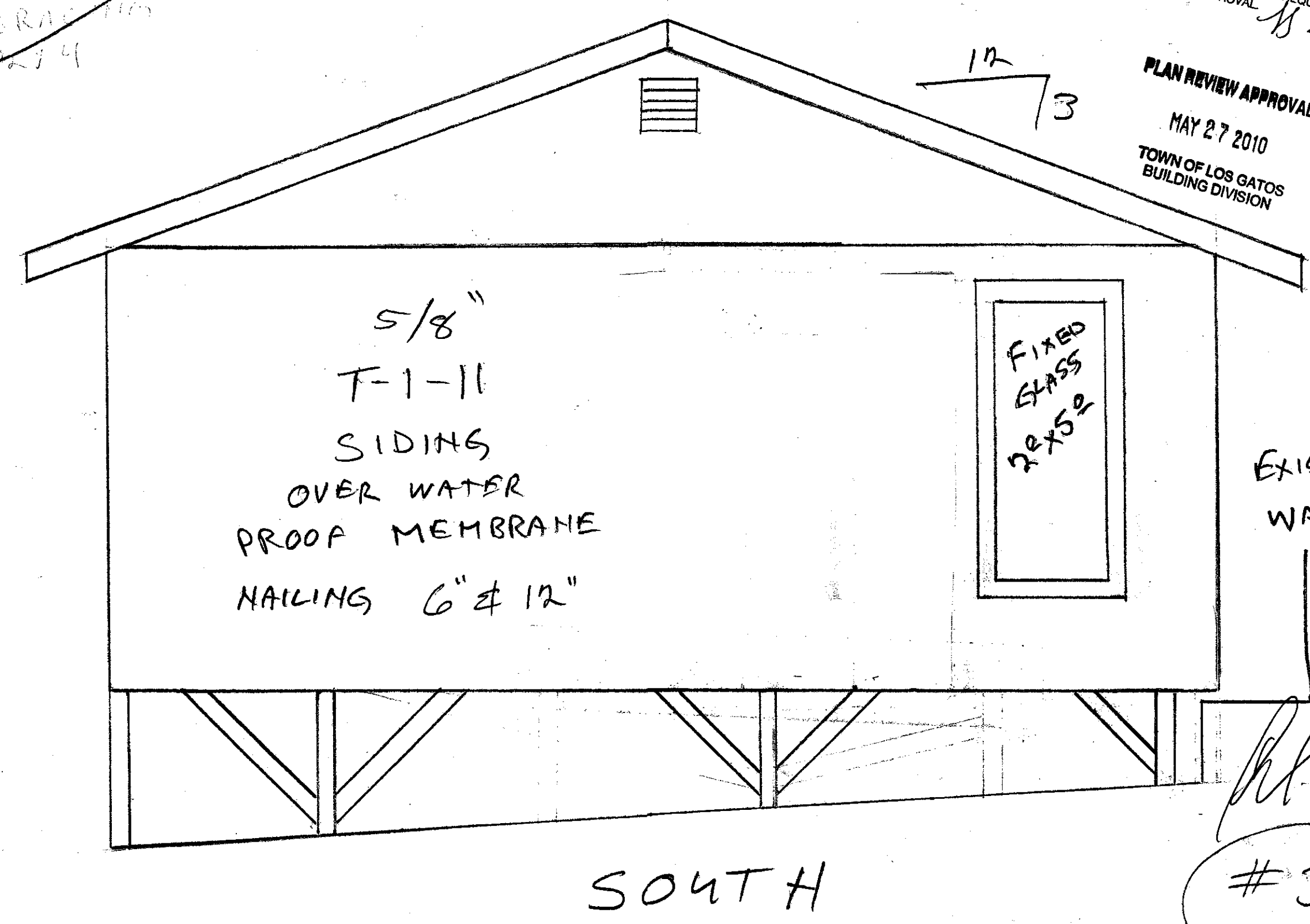
DIAGONAL
BRACING
2x4



COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
THESE PLANS HAVE BEEN APPROVED AS
SHOWN. ANY MODIFICATION TO WHAT HAS
BEEN PROPOSED OR TO WHAT IS SHOWN AS
EXISTING MAY REQUIRE A SEPARATE
APPROVAL
2 JUN 10

PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

12
3

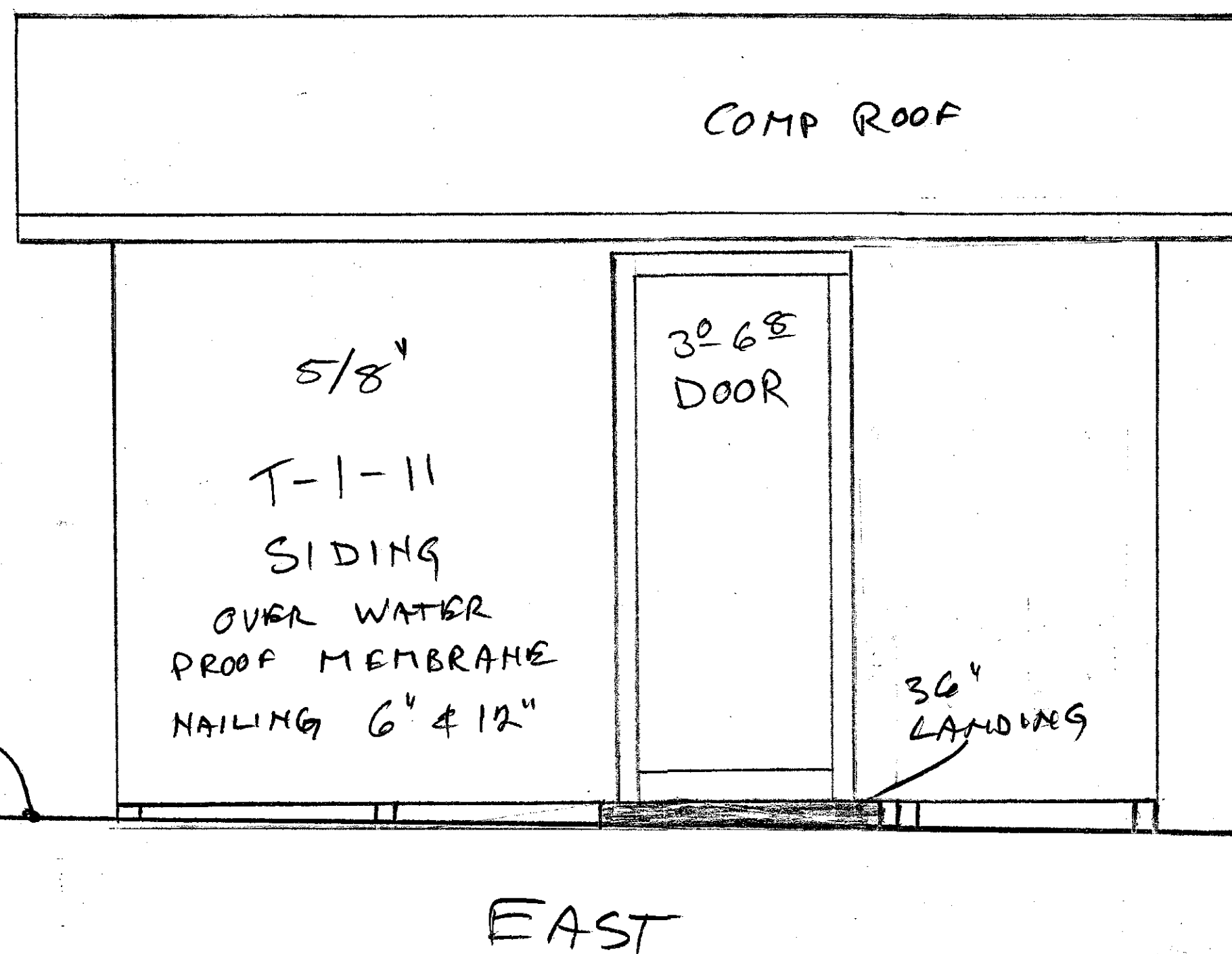
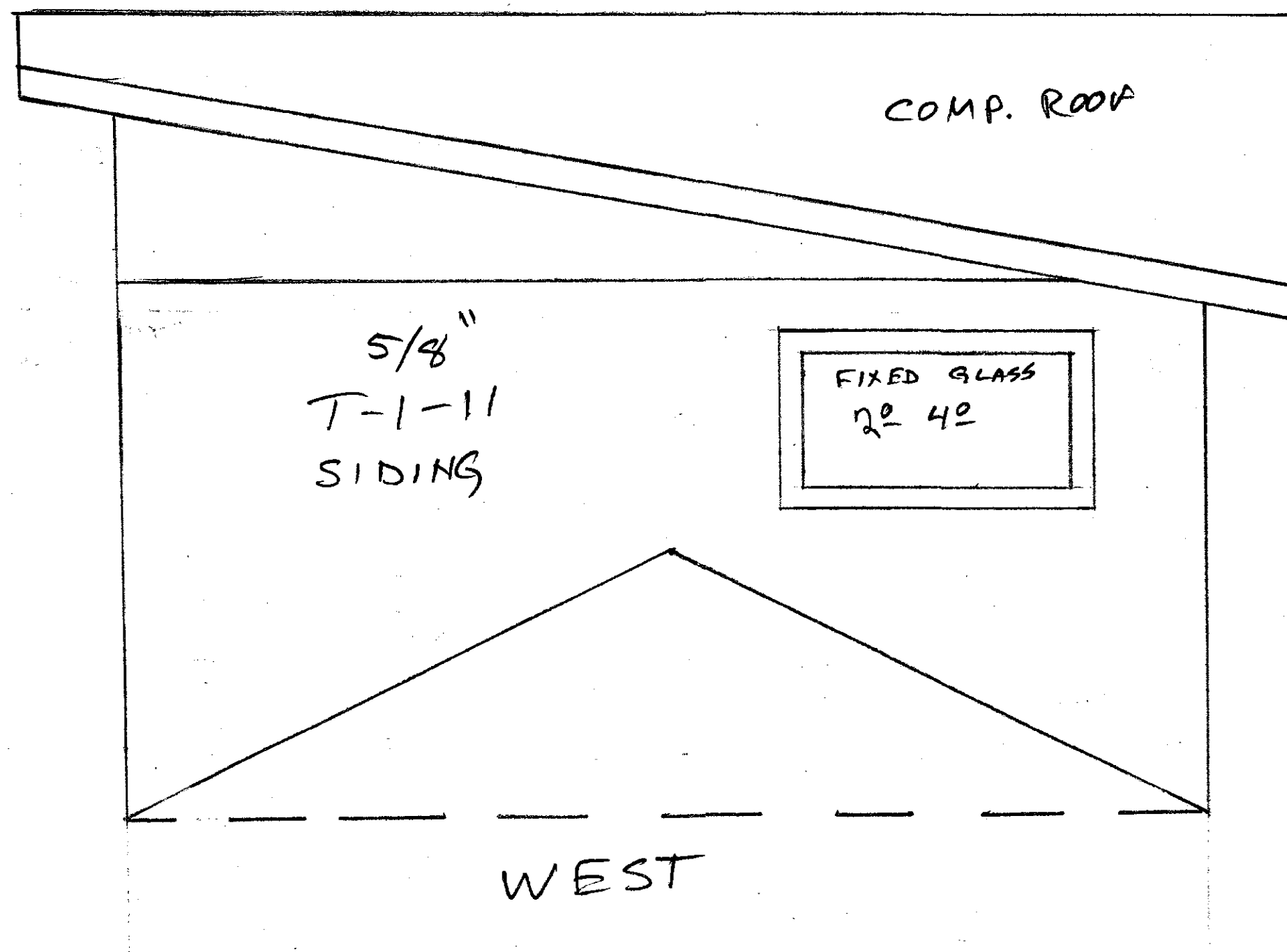


EXISTING
WALK

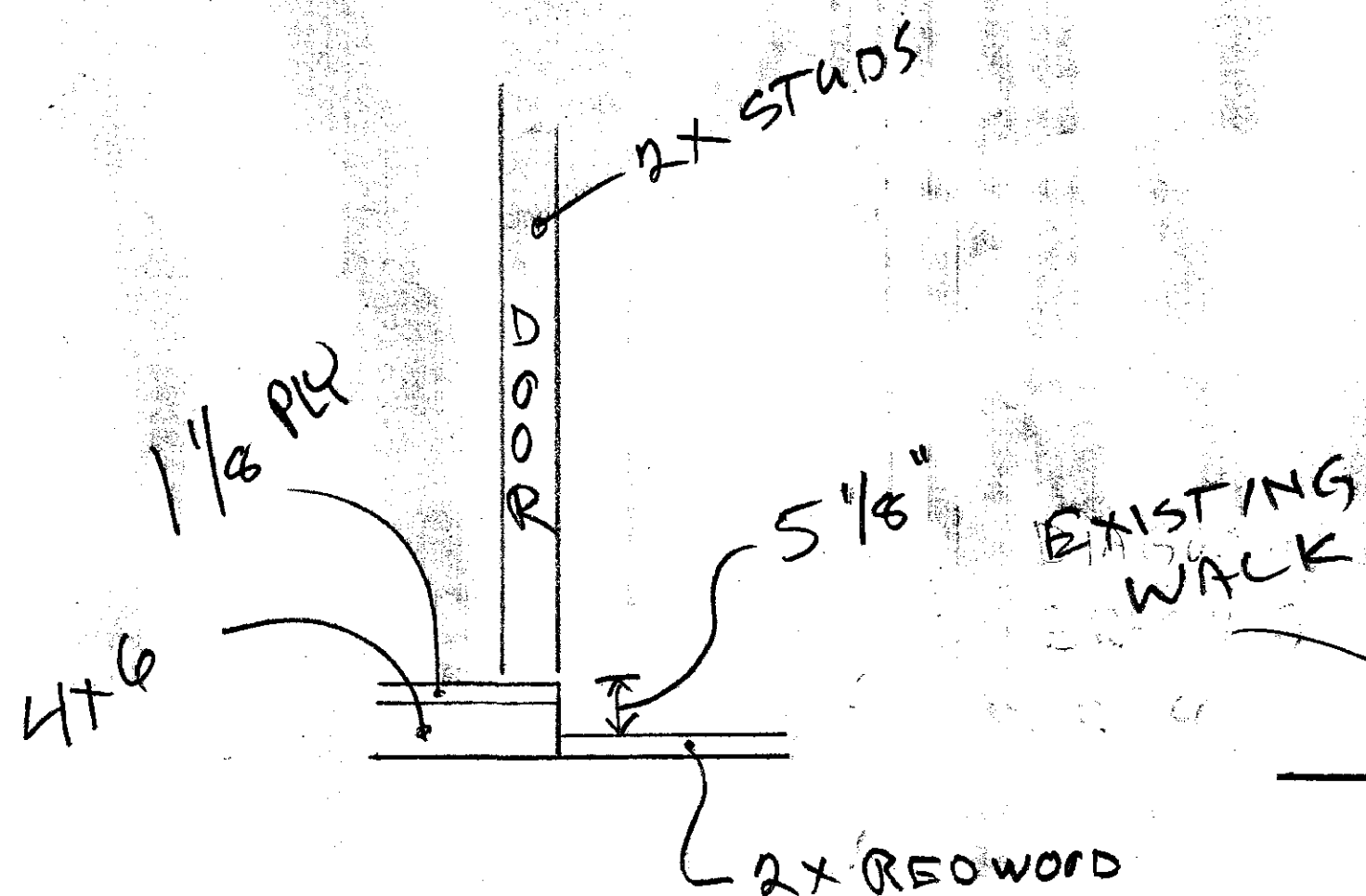
Handwritten signature

#3

1/2" = 1'

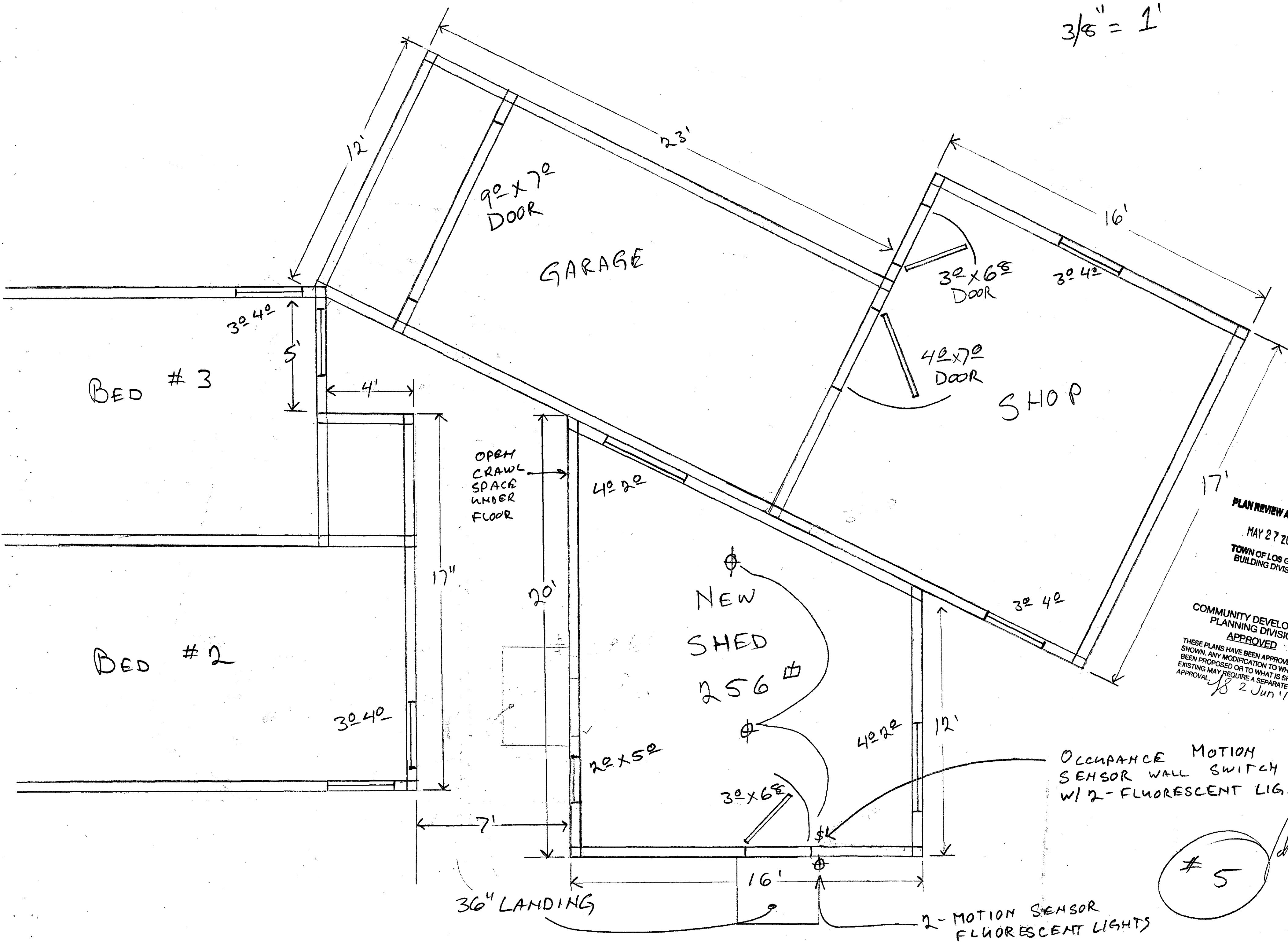


PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION



[Signature]
4

3/8" = 1'



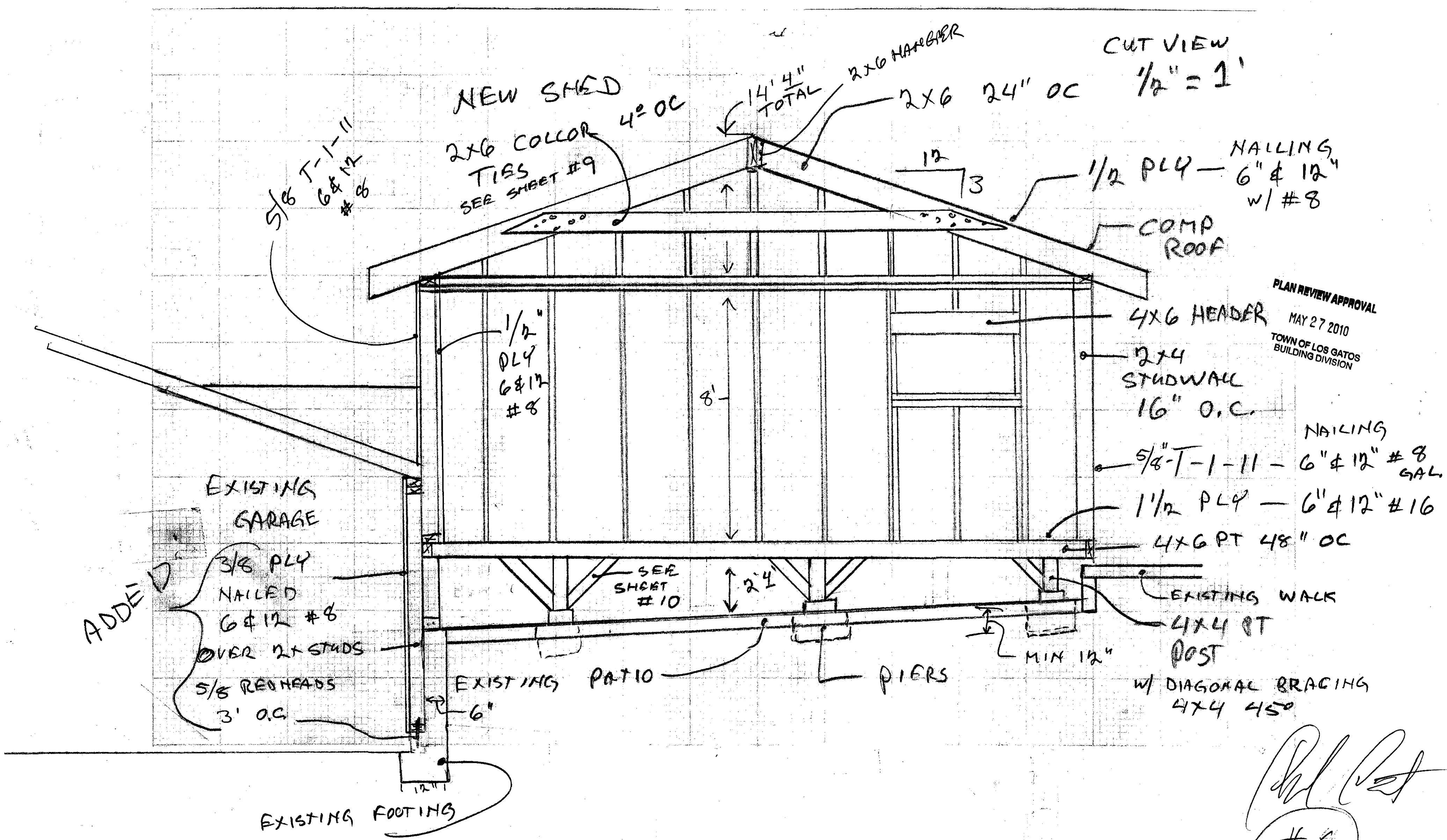
PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
THESE PLANS HAVE BEEN APPROVED AS
SHOWN. ANY MODIFICATION TO WHAT HAS
BEEN PROPOSED OR TO WHAT IS SHOWN AS
EXISTING MAY REQUIRE A SEPARATE
APPROVAL
JUN 2 2010

OCCUPANCE MOTION
SENSOR WALL SWITCH
W/ 2-FLUORESCENT LIGHTS

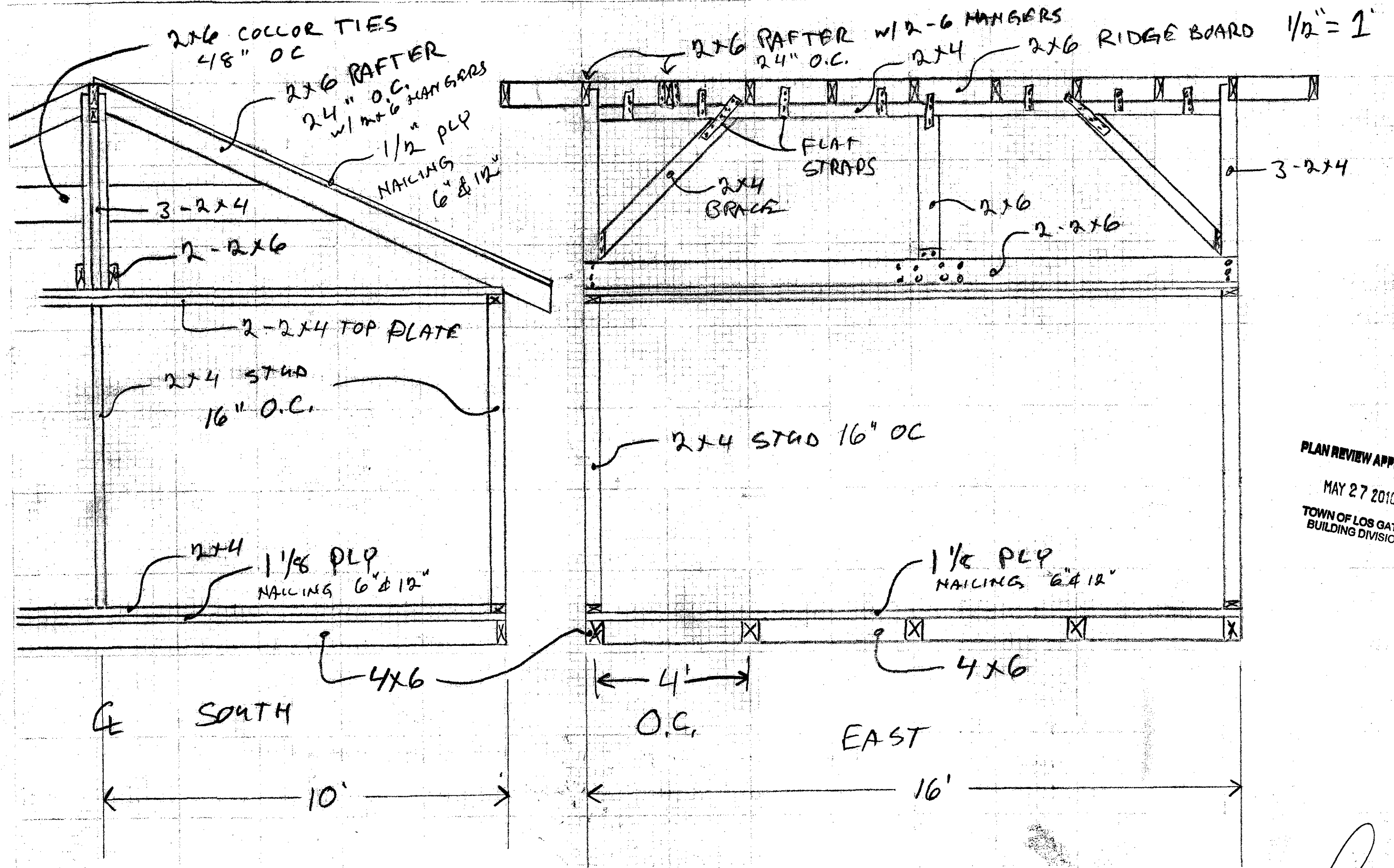
2- MOTION SENSOR
FLUORESCENT LIGHTS

#5



PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

[Signature]
#6



PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

Phil [Signature]
#7

THIS MAILING SCHEDULE TO BE USED ONLY IF NOT SPECIFIED ELSEWHERE IN THESE STRUCTURAL DRAWINGS.

1. ALL MAILING SPECIFIED ON DRAWING AND THIS SCHEDULE SHALL BE IN ACCORDANCE WITH 2007 CBC TABLE 2304.9.1

A. JOIST TO SILL OR GIRDER, TOENAIL		3-8d
B. BRIDGING TO JOIST, TOENAIL EACH END		2-8d
C. SOLE PLATE TO JOIST OR BLOCKING, TYPICAL FACE NAIL		16d @ 16" o.c.
(ALSO, SEE SHEAR WALL SCHEDULE)		
SOLE PLATE TO JOIST OR BLOCKING, AT BRACED WALL PANELS		3-16d per 16'
(ALSO, SEE SHEAR WALL SCHEDULE)		
D. TOP PLATE TO STUD, END NAIL		2-16d
E. STUD TO SOLE PLATE		4-8d, toenail or 2-16d, end nail
F. MULTIPLE STUDS, FACE NAIL		16d @ 12" o.c.
G. DOUBLE TOP PLATES, TYPICAL FACE NAIL		16d @ 6" o.c.
DOUBLE TOP PLATES, LAP SPlice		
		5-16d
H. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL		3-8d
I. RM. JOIST TO TOP PLATE, TOENAIL		6d @ 6" o.c.
J. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL		2-16d
K. CONTINUOUS HEADER, TWO PIECES		16d @ 16" o.c., stores each end
L. CEILING JOISTS TO PLATE, TOENAIL		3-8d
M. CONTINUOUS HEADER TO STUD, TOENAIL		4-8d
N. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL		3-16d
O. CEILING JOISTS, TO PARALLEL RAFTERS, FACE NAIL		3-16d
P. RAFTER TO PLATE, TOENAIL		3-8d
Q. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL		2-8d
R. BULB-UP CORNER STUDS		16d @ 24" o.c.
S. 2" x 12" GIRDER AND BEAMS		For using multiple members and interconnect

adjacent pieces as follows:

- 2 MEMBERS TO 11 1/4" DEPTH
- 2 MEMBERS OVER 11 1/4" DEPTH
- 3 STUDS, POSTS, OR MULLIONS TO BEARING
- 2 TOP PLATES, SPICE, NON-SHEAR WALLS ONLY
- (PLATES OVERLAPPED NOT LESS THAN 40")
- V. PLATE TO END OF RAFTER

2-rows 16d @ 16" o.c.	
1/2" 2" x 8 N.S. @ 24" o.c. stagger, 2" min. from edges	
2-8d toenails each side, each and into plates	
6-16d each side of splice	
16d @ 16" o.c. staggered along full length	
2-6d, staggered	

2. ANY CONTINUOUS WALL LINES CONTAINING SHEAR WALL SEGMENTS SHALL HAVE THEIR TOP PLATES SPLICED ACCORDING TO THE DETAIL "TYPICAL TOP PLATES SPLICE" LOCATED ON SHEET S02.
3. ALL MACHINE BOLTS SHALL CONFORM TO ASTM A307.
4. BOLT HOLES SHALL BE 1/32" TO 1/16" LARGER THAN THE BOLT DIAMETER.
5. A METAL PLATE, METAL SHEAR, OR WASHER NOT LESS THAN A STANDARD CLIP WASHER SHALL BE BETWEEN THE WOOD AND THE BOLT HEAD AND BETWEEN THE WOOD AND THE NUT.
6. HOLES FOR NAILS SHALL BE PRE-DRILLED WHERE SPLITTING OF WOOD MAY OCCUR.

- STRUCTURAL STEEL SHALL CONFORM TO A.S.T.M. (A-36) SPECIFICATIONS AND TO THE A.I.S.C. SPECIFICATIONS FOR FABRICATION AND ERECTION.
- ALL BOLTS SHALL CONFORM TO A.S.T.M. (A-307) FOR UNFINISHED BOLTS.
- ALL BOLT HOLES IN STEEL MEMBERS SHALL BE TRUE, BURNING OF HOLES FOR CONNECTIONS WILL NOT BE PERMITTED.
- PROVIDE FULL BEARING ON UNTHREADED PORTION OF BOLT SHANK FOR ALL STEEL CONNECTIONS.
- PROVIDE LEVELING NUTS FOR ALL BOLTS AT BEAM SEATS AND COLUMN BASE PLATES.
- ALL NUTS FOR STRUCTURAL STEEL CONNECTIONS SHALL BE HEAVY HEXAGONAL NUTS.
- ALL WELDING SHALL BE AS INDICATED ON THE DETAILS AND PERFORMED IN A QUALIFIED SHOP, UNDER CONTINUOUS INSPECTION PER CBC 1704. FIELD WELDING, OTHER THAN MISCELLANEOUS TACK WELDING, IS NOT PERMITTED, UNLESS NOTED OTHERWISE IN THE DETAILS.
- THE FABRICATION SHOP SHALL BE "REGISTERED & APPROVED BY THE CITY BUILDING DEPARTMENT".

- CONCRETE FOR SLABS ON GROUND, BEAM FOOTINGS, OR PIERS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 psi AT 28 DAYS, UNLESS NOTED OTHERWISE ON PLANS.
- MAXIMUM AGGREGATE SIZE SHALL BE 3/4" AND A MAXIMUM SLUMP OF 4-1/2".
- ANCHOR BOLTS, HOLDOWN BOLTS, DOWELS, AND OTHER REQUIRED INSERTS, SHALL BE POSITIONED AND FIRMLY SECURED IN PLACE BEFORE CONCRETE IS POURED.

- CONTRACTOR SHALL TAKE ALL THE NECESSARY MEASURES TO PROVIDE A PROPER COMPACTION OF THE CONCRETE.
- THE EXCAVATED BOTTOM OF ALL FOOTINGS SHALL EXTEND TO ELEVATIONS SHOWN ON THE DETAILS, AND THE FOOTINGS SHALL BE POURED IN NEAT EXCAVATIONS, WITHOUT SIDE FORMS AS POSSIBLE.

-REINFORCING STEEL SHALL BE DEFORMED BARS, CONFORMING TO
ASTM A615-40 REQUIREMENTS AND WELDED WIRE MESH PER
ASTM SPECIFICATION A-185.

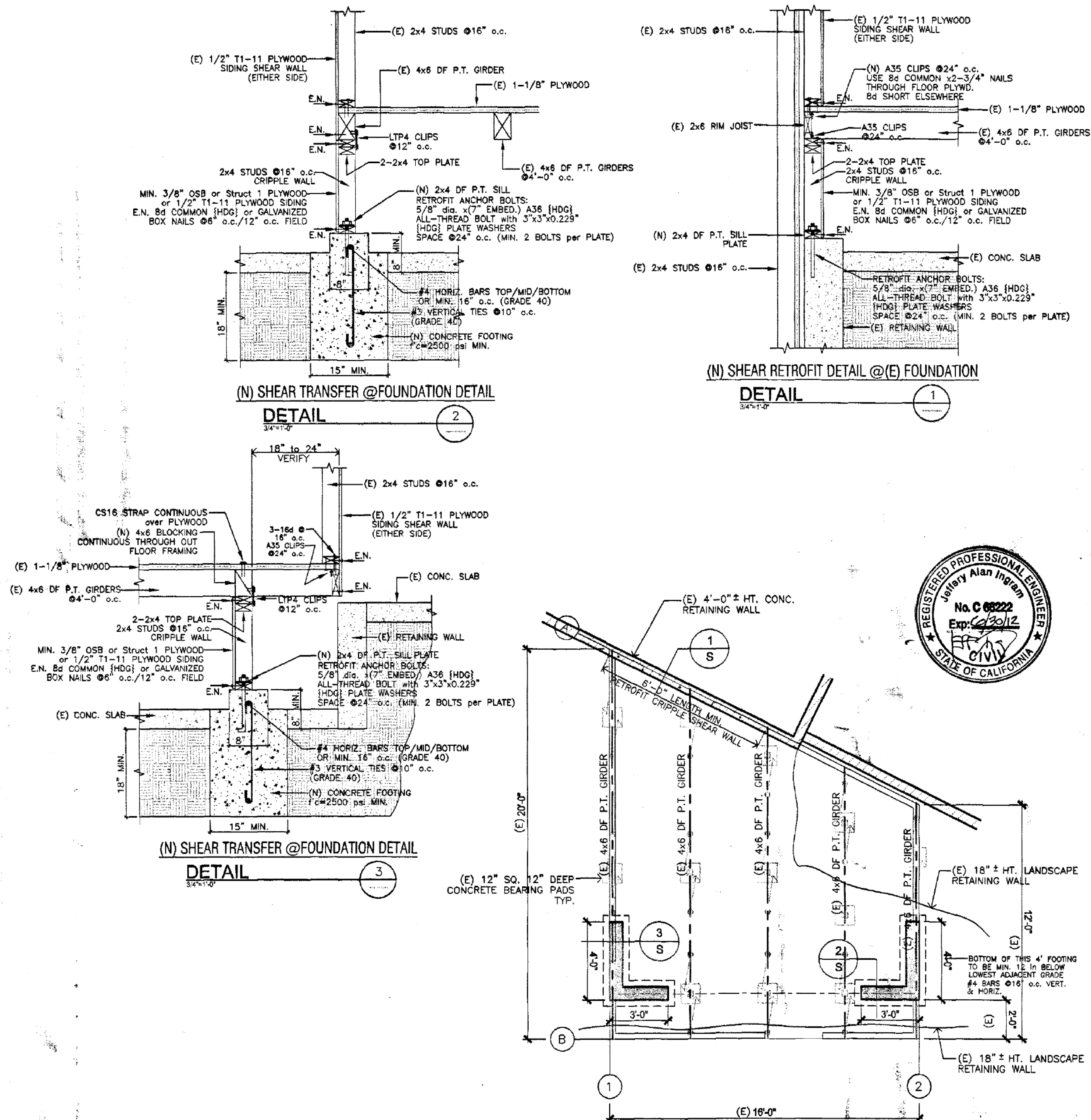
-BARS NO. 4 AND SMALLER SHALL BE OF GRADE 40, AND BARS NO. 5 AND GREATER SHALL BE OF GRADE 60. LAP BARS 40 DIAMETERS AT SPLICES.

-ALL REINFORCING BARS SHALL BE CLEAN OF ANY RUST OR FOREIGN MATERIALS.

-CONCRETE COVER FOR REINFORCEMENT SHALL BE:

- a) 3" WHERE POURED AGAINST EARTH
- b) 2" WHERE POURED AGAINST FORMS
- c) 1" FOR SLABS POURED AGAINST FORMS

-SEE PLAN FOR QUANTITY AND LOCATION OF ANCHOR BOLTS,
LOCATE BOLTS WITHIN 12" FROM CORNERS AND BUTT JOINTS.



ALL SILL ANCHOR BOLTS (AND ALL CONNECTION HARDWARE THAT WILL BE IN CONTACT TO PRESSURE TREATED LUMBER) SHALL BE HOT-DIPPED GALVANIZED OR AN APPROVED EQUAL CORROSION RESISTANT MATERIAL.

Anchor bolt washers in Seismic Design Category D, E, or F shall be 0.229" x3"x3", see shear wall schedule (note 3) for more info. 2007 CBC 2305.3.11

SCOPE OF WORK:
FOUNDATION RETROFIT FOR LATERAL LOADS ONLY.

Scale 1/4"=1'-0"

STRUCTURAL PLAN

SHEET:

#8-S



Ingram Structural Engineering

Jeff Ingram, P.E.

CIVIL ENGINEER
License No. C 66222

338 Burning Tree Drive
San Jose, CA 95119

Tel: (408) 836-6602

Fax: (408) 624-5843
e-mail: info@improvements.com

email: jenn@ingramsa.com**JOB TITLE**

Residence
37 Ellenwood Ave.
Los Gatos, CA 95030

PLAN REVIEW APPROVAL

MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

REVISION

PLAN CHECK

ENGINEERING

THESE STRUCTURAL DRAWINGS WERE PRODUCED BY ISE. THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED, AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE, RE-USE, REPRODUCTION, OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. FURTHERMORE, TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH ISE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS CONSTITUTE PROOF OF ACCEPTANCE OF ALL RESTRICTIONS.

PROJECT #:

DRAWN BY: Jeff

PROJECT MANAGER:

ENGINEERED BY: Jeff

REVIEWED BY:

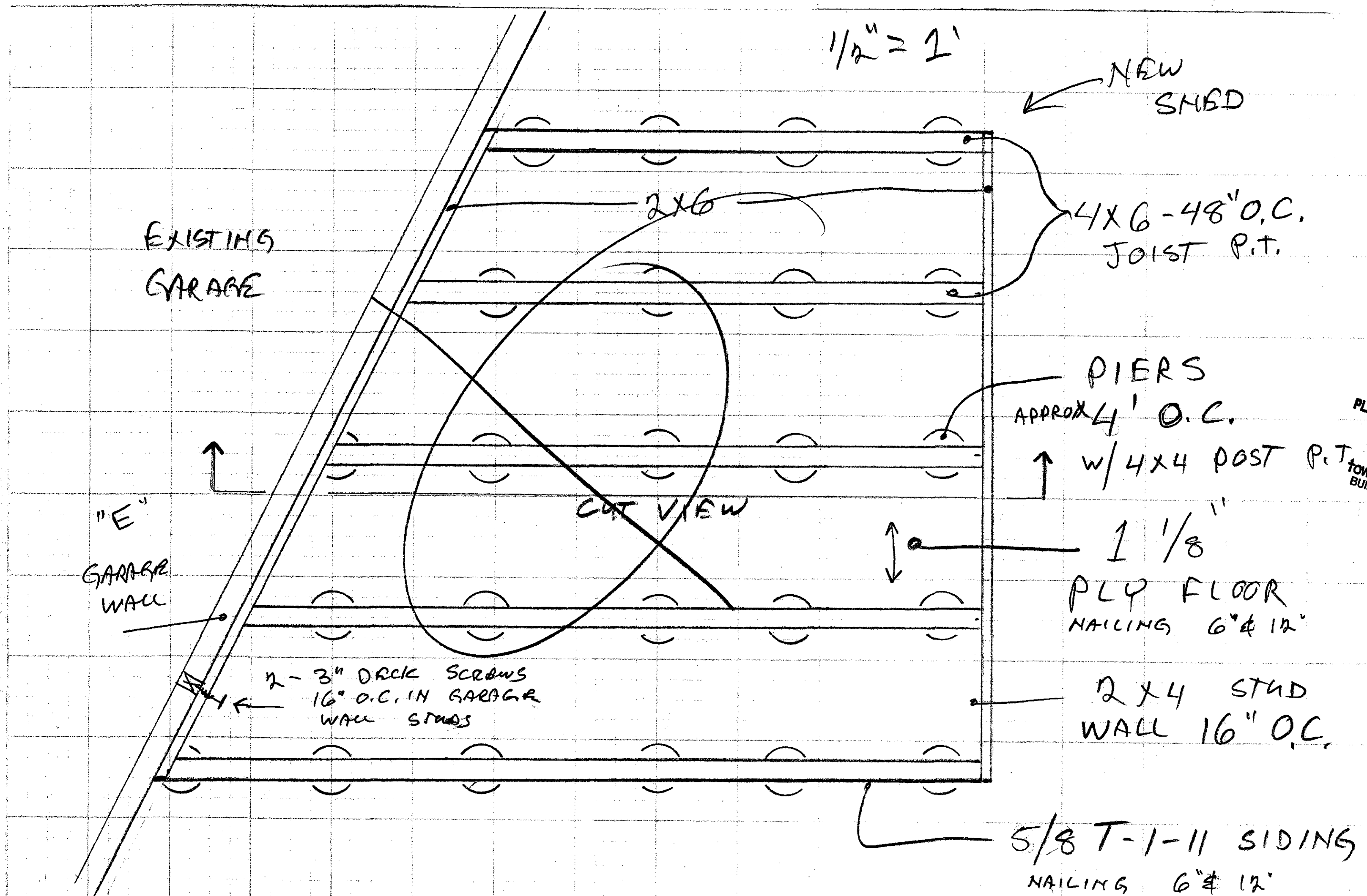
DATE: 5/12/2010

SCALE: AS NOTED

STRUCTURAL PLAN

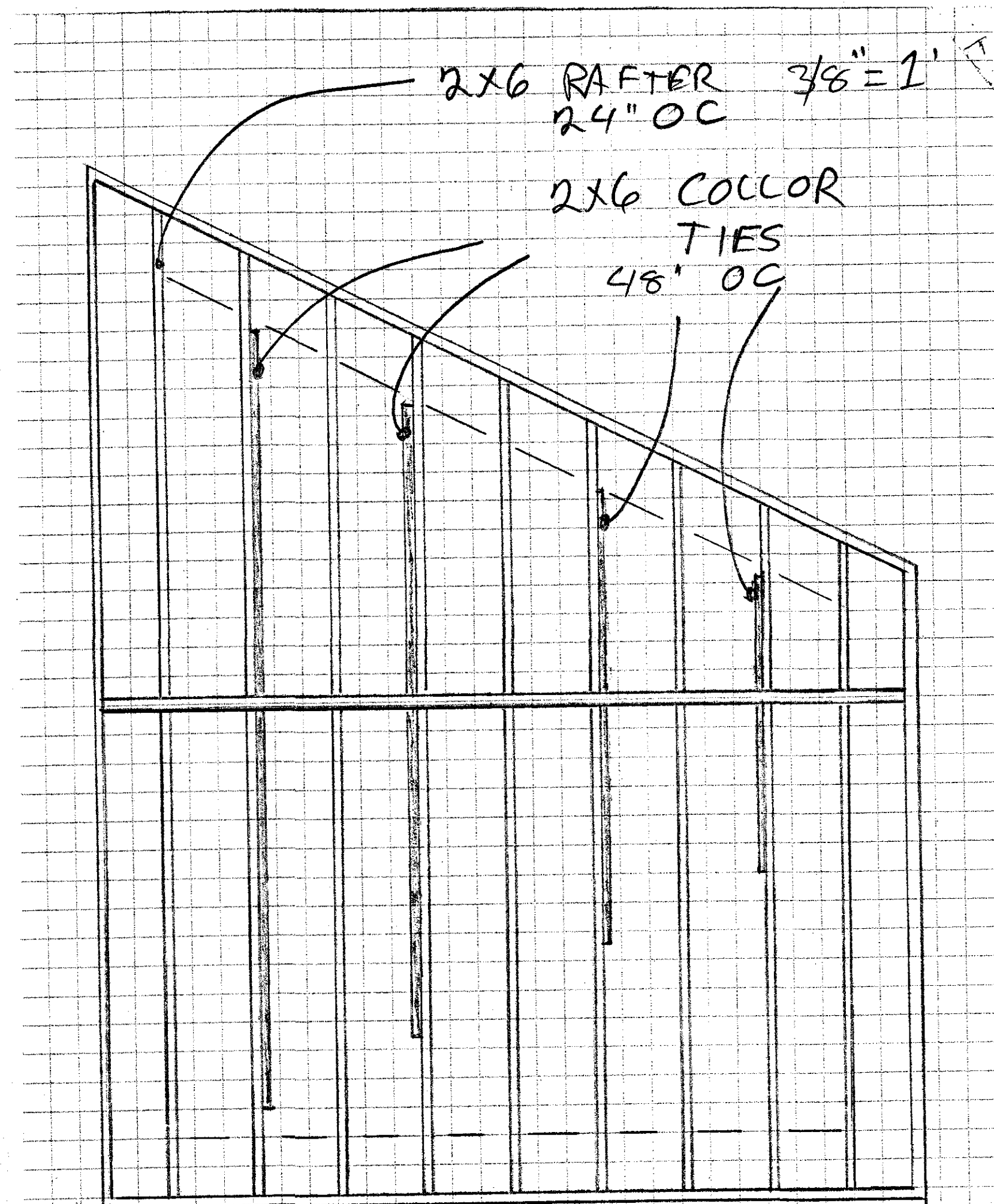
SHEET:

#8-S

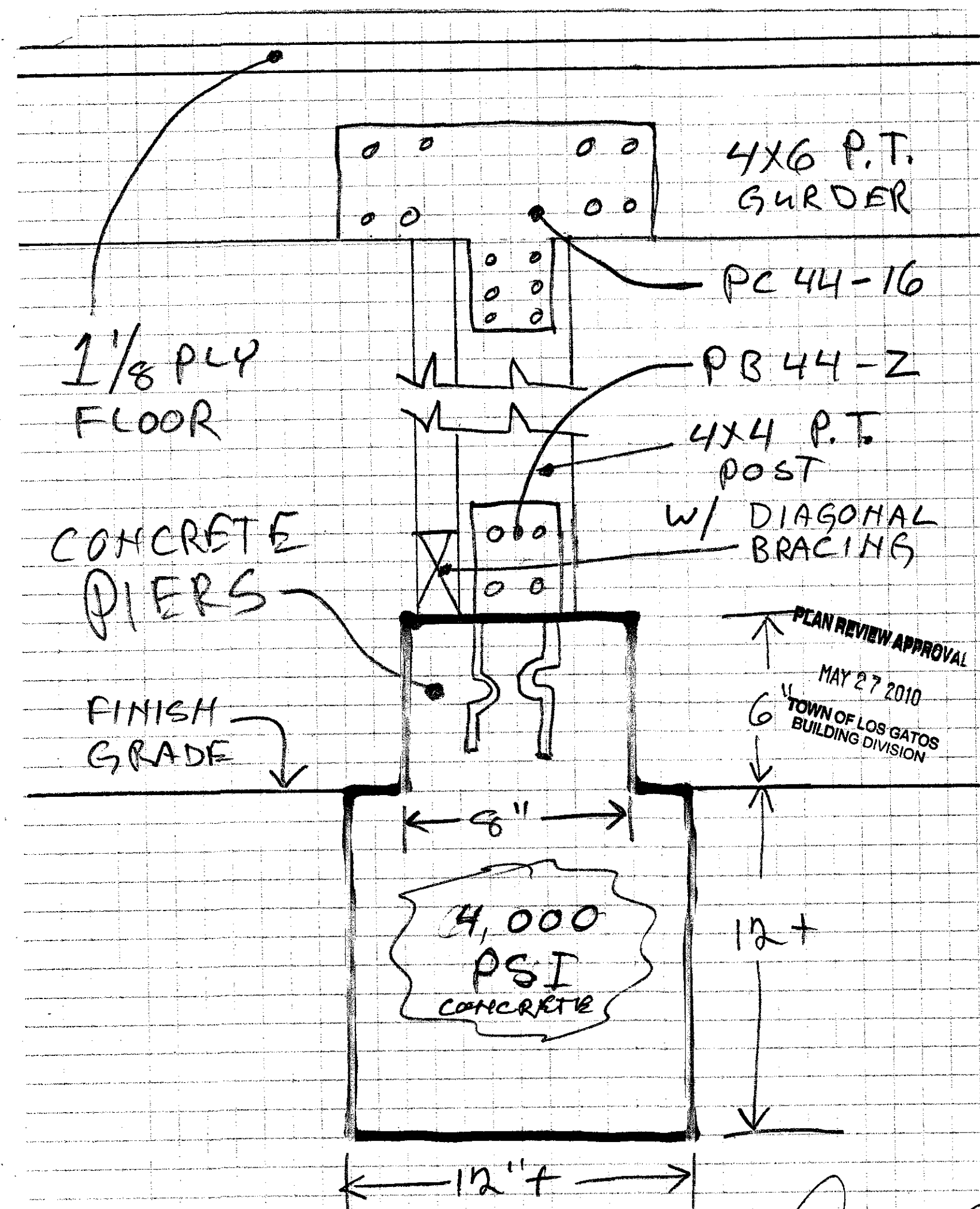


PLAN REVIEW APPROVAL
MAY 27 2010
TOWN OF LOS GATOS
BUILDING DIVISION

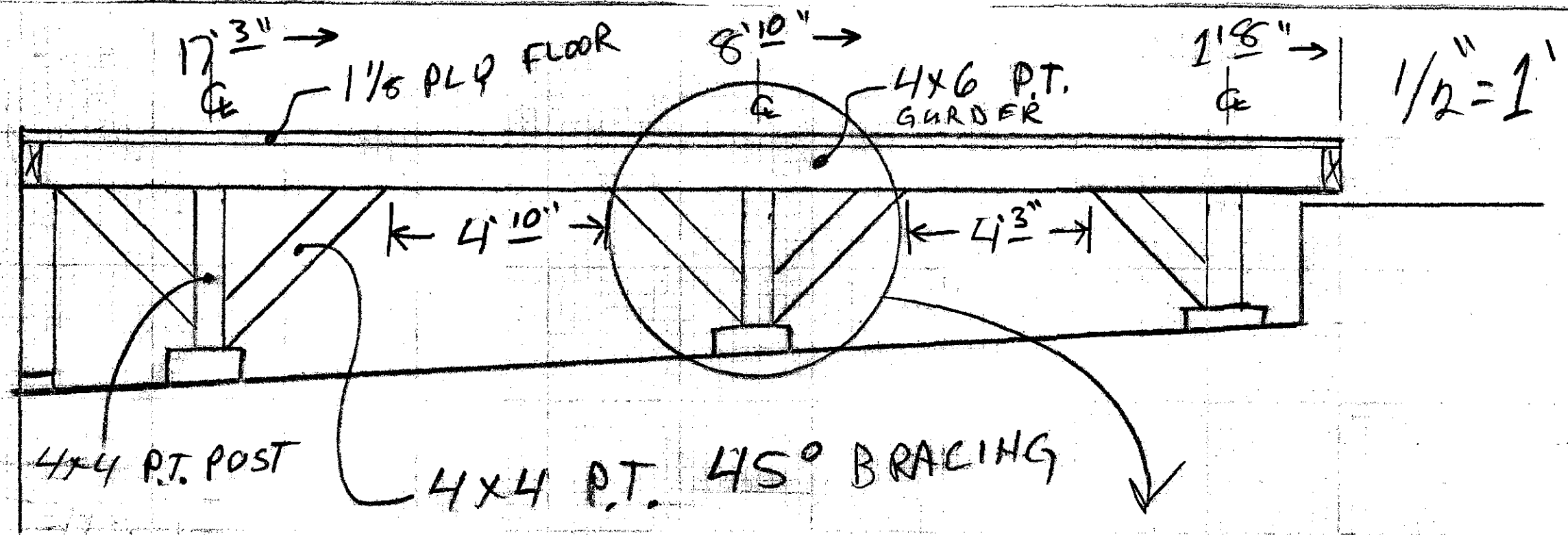
#8



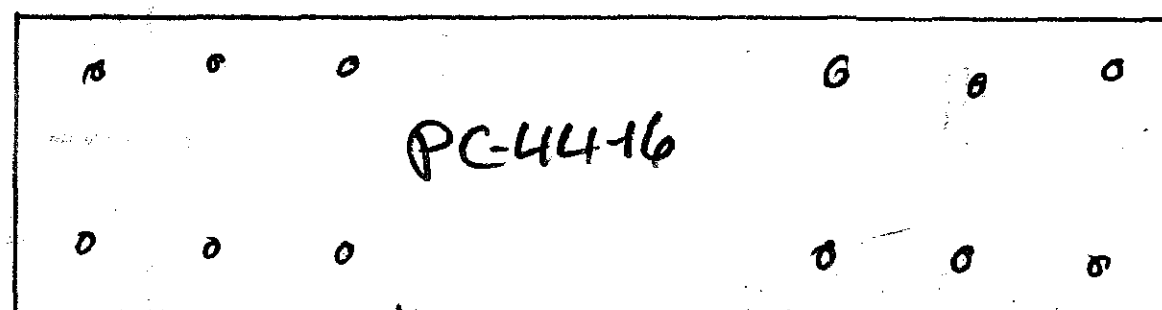
3" = 1'



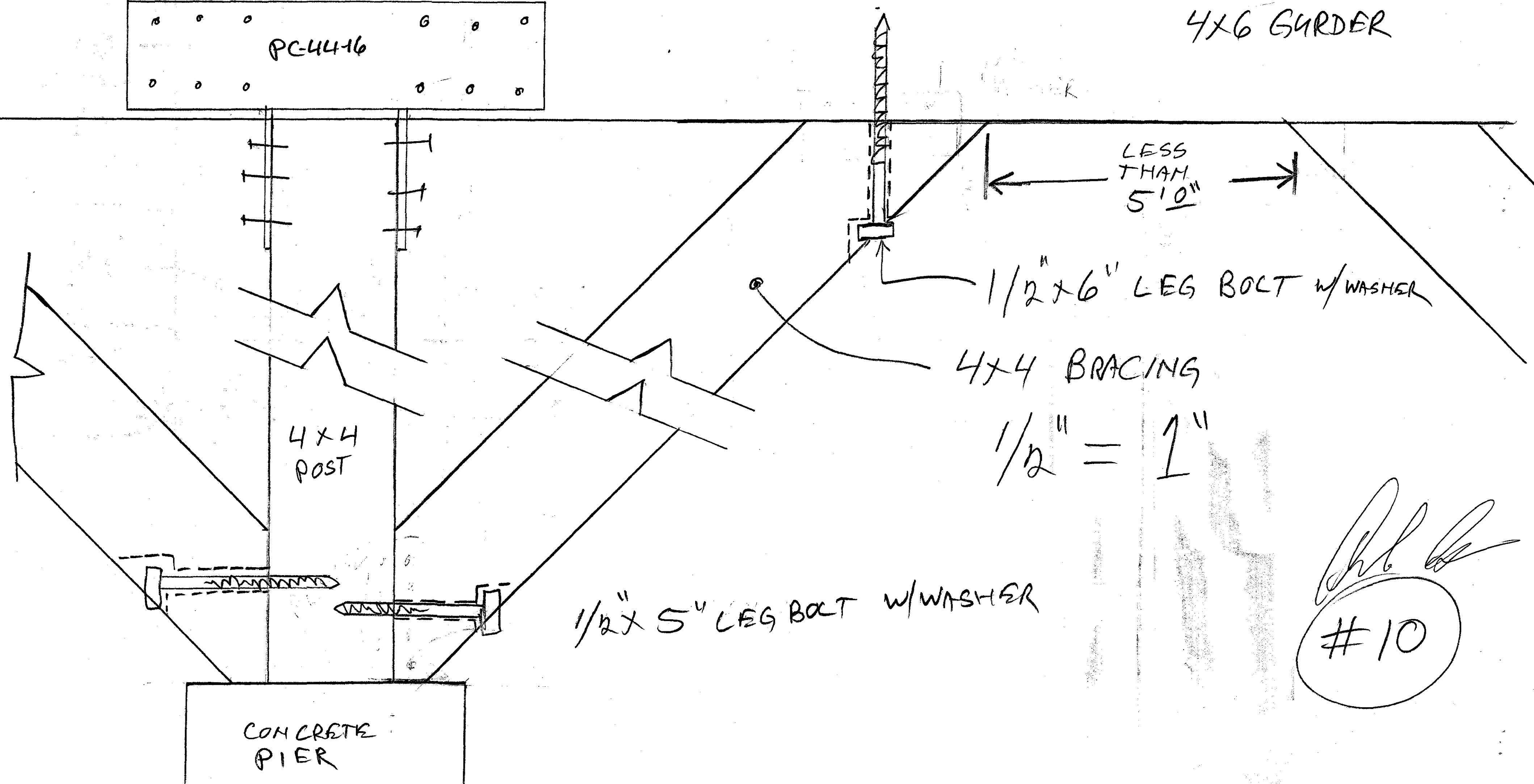
#9



1 1/8 PLYWOOD T&G



4x6 GIRDER



LESS
THAN
5'0"

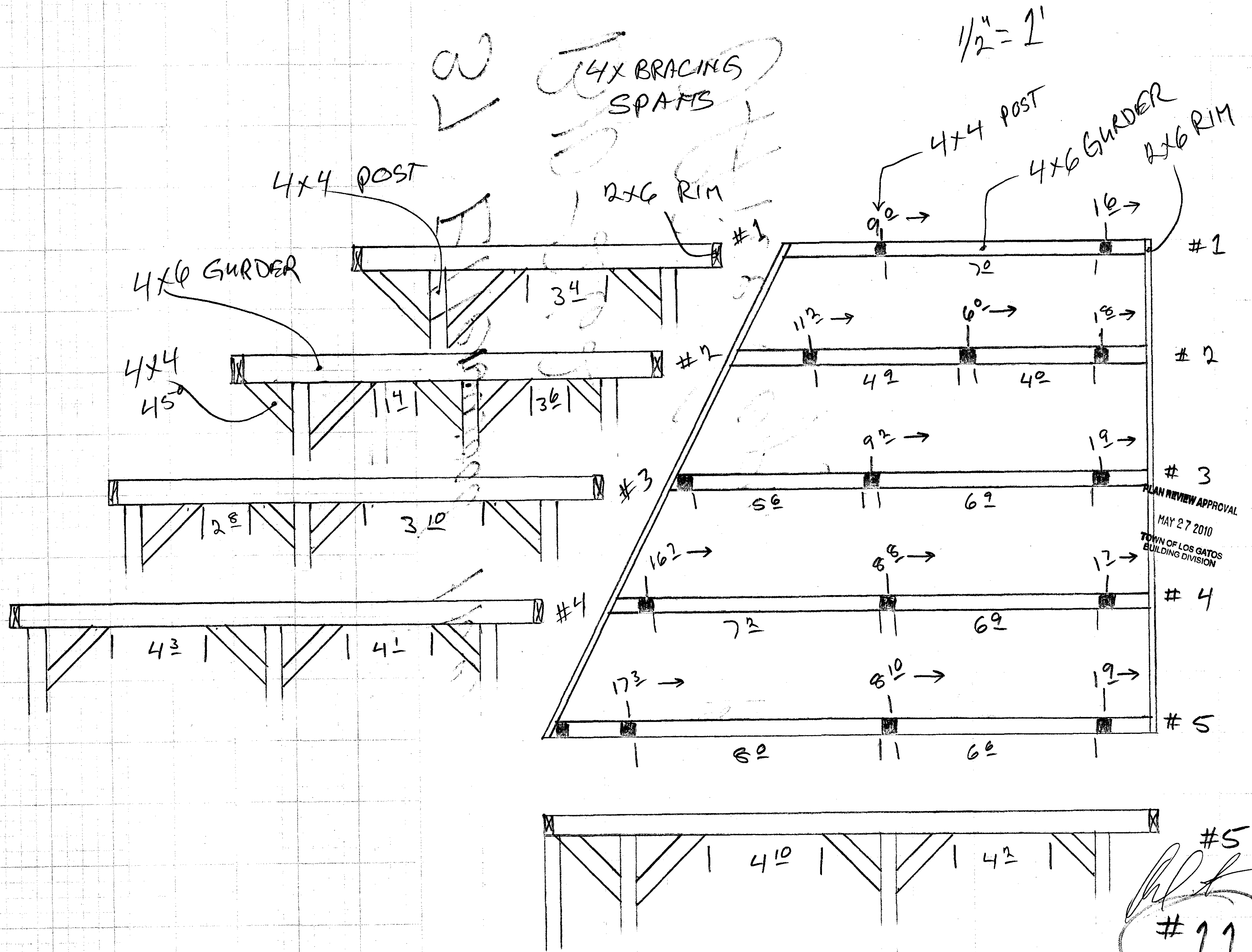
1 1/2" x 6" LEG BOLT W/WASHER

4x4 BRACING

1/2" = 1"

1/2" x 5" LEG BOLT W/WASHER

#10



#5

#11

***This Page
Intentionally
Left Blank***