GOVERNING CODES:

2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA GREEN BUILDING CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA MECHANICAL CODE

THIS PROJECT SHALL COMPLY WITH THE FOLLOWING: CALIFORNIA FIRE (CFC) & BUILDING (CBC) CODE. 2019 EDITION, AS ADOPTED BY THE TOWN OF LOS GATOS TOWN CODE (LGTC), CALIFORNIA CODE OF REGULATIONS (CCR) AND HEALTH & SAFETY CODE 2019 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS TITLE 24. PARTS 1–12. INCLUDING LOCALLY ADOPTED ENERGY ROACH CODES.

GENERAL NOTES

1. ANY DESCREPANCY DISCOVERED BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE START OF ANY RELATED WORK. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDTIONS AND DIMENSIONS ON SITE PRIOR TO CONSTRUCTION.

2. THE CONTRACTOR ASSUMES REPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE DESIGNER HARMLESS FROM ANY LIABILITY IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM SOLE NEGLIGENCE OF THE OWNER OR DESIGNER.

3. THE CONTRACTOR SHALL REVIEW ALL DETAILS & PLANS AND VERIFY ALL DIMENSIONS AND FIELD CONDITIONS AND SHALL CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE REPORTED TO THE DESIGNER FOR CLARIFICATION PRIOR TO THE START OF ANY RELATED WORK.

4. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED AND ACTED UPON BY THE DESIGNER.

5. DO NOT SCALE DRAWINGS. DIMENSIONS NOT GIVEN ARE TO BE CALCULATED IN THE FIELD FROM AVAILABLE DATA ELSEWHERE IN THESE SET OF PLANS OR MANUFACTURER'S SPECIFICATIONS.

6. THESE DRAWINGS ARE THE SOLE PROPERTY OF THE DESIGNER. ANY REPRODUCTION, COPYING, ALTERATION OR USE OF THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER IS PROHIBITED.

DEMOLITION, BRACING AND SHORING NOTES

 DEMOLITION WORK CONSISTS OF FURNISHING ALL MATERIAL. SUPPLIES, EQUIPMENT, TOOLS, TRANSPORTATION, AND PERFORMING ALL LABOR AND SERVICES NECESSARY FOR, REQUIRED IN CONNECTION WITH OR PROPERLY INCIDENTAL TO PERFORMING THE DEMOLITION DRILLING, SAWCUTING, BRACING AND SHORING, FOR STRUCTURAL MEMVERS TO PREVENT THE STRUCTURE FROM BECOMING UNSAFE DURING DEMOLITION AS SHOWN ON THE ACCOMPANY DRAWINGS

2. THE CONTRACTOR SHALL TAKE THE FOLLOWING PROTECTIVE

- MEASURES FOR DEMOLITION OF THE STRUCTURE: A. PROVIDE, ERECT AND MAINTAIN LIGHTS, BARRIERS, WEATHER
 - PROTECTION AND OTHER ITEMS AS REQUIRED FOR PROTECTION OF WORKMEN ENGAGE IN DEMOLITION OPERATION AND ADJACENT RESIDENCE OCCUPANTS.
 - B. DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT PROPER PERMITS
 - C. PROTECT PRIVATE PROPETY ADJACENT TO OR ON JOBSITE, INCLUDING VENTS, UTILITY LINES, SIDEWALKS, MAIL BOXES.
 - D. PROTECT AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE DESINATED TO REMAIN WHERE DEMOLITION AND REMOVAL WORK IS BEING DONE.

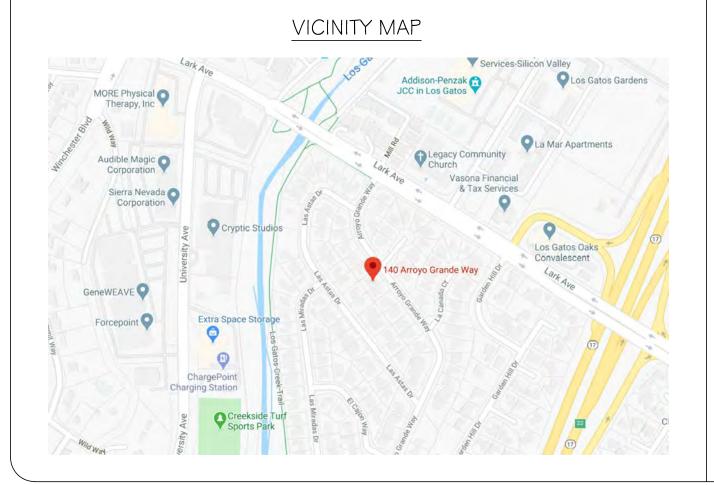
3. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURE AND THE SURROUNDING AREAS TO REMAIN.

4. SPECIAL CARE SHALL BE EXCERSICED TO PREVENT DAMAGE TO EXISTING UNDERGROUND UTILITIES WHICH ARE TO REMAIN DURING EXECUTION OF THIS WORK. ANY DAMAGE SHALL BE REPAIRED TO NEW CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.

5. REMOVE DEMOLISHED MATERIAL FROM SITE. CLEAN UP ALL WORK RELATED TO DEMOTION. LEAVING THE PROPERTY AND ADJACENT AREAS IN A CLEAN CONDITION.

6. THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION SHALL BE MAINTAINED AT LEVELS GENERALLY ACCEPTABLE WITHIN THE CONSTRUCTION INDUSTRY BY THE USE OF BRACING, SHORING AND UNDERPINNING UNTIL THE PROPOSE STRUCTURE MODIFICATIONS ARE COMPLETED. IN NO CASE SHALL THE EXISTING STRUCTURE BE ALLOWED TO BECOME UNSAFE DURING CONSTRUCTION.

7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION AND SHALL DESIGN AND PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION.



PROPERTY LINE

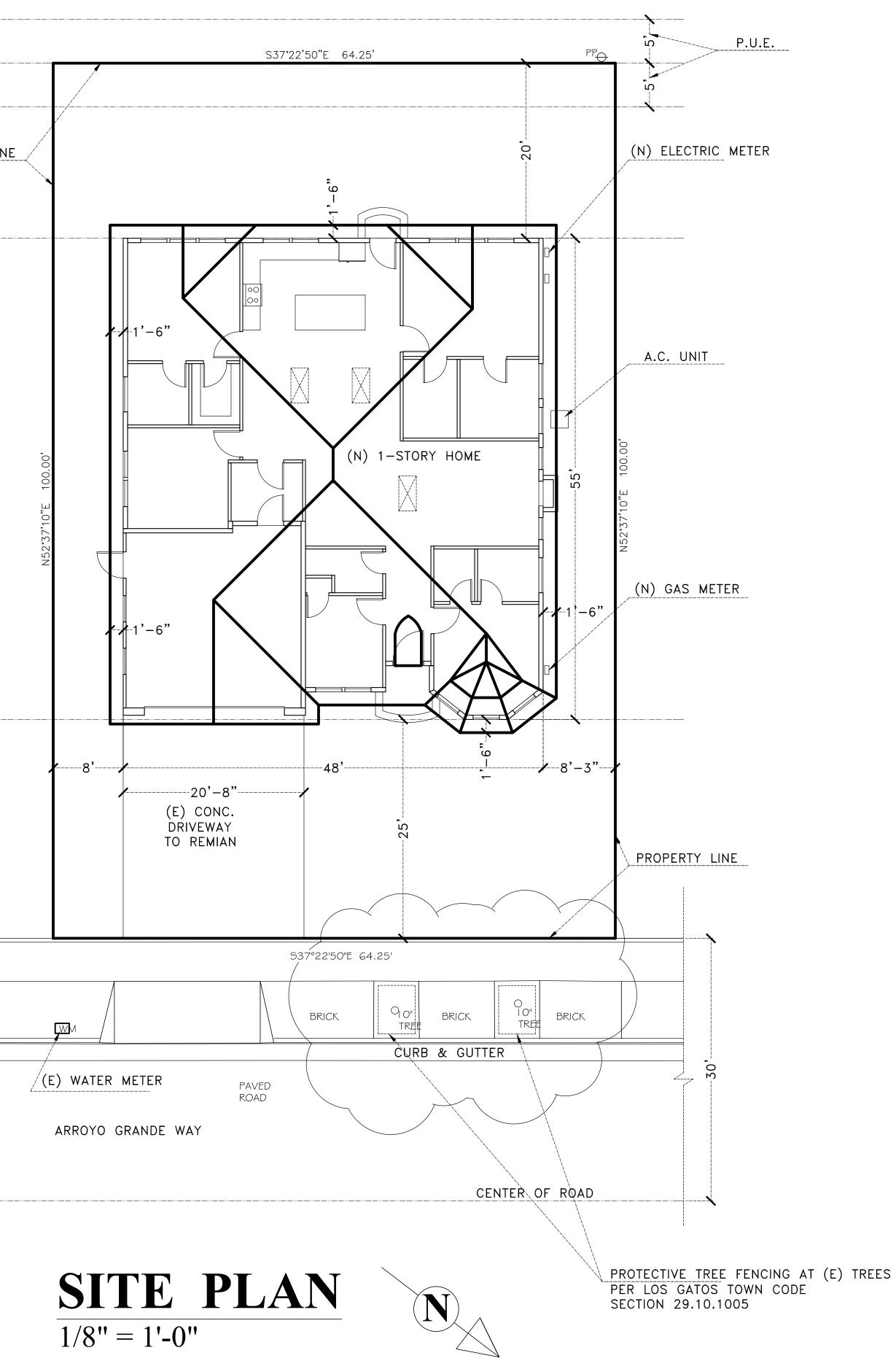
FIRE DEPARTMENT NOTES:Water Supply Requirements: Potable water supplies shall be protected from contaminationcaused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying thesite of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliancecapable of causing contamination

of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7Address identification:New and existing buildings shall have approved address numbers, building numbers or approved building identification placedin a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. CFC Chp. 33.

PUBLIC WORKS NOTES:1. Contractor shall relocate the existing water meter outside of the Arroyo Grande Way right-of-way per Public Works Department requirements.2. Contractor shall relocate the existing sanitary sewer cleanout or install a new sanitary sewer lateral clean-out (if one does not already exist) to a location on or within one foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town of Los Gatos.3. Per Los Gatos' Undergrounding Requirements, all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines shall be installed underground. 4. See Utility Plan on sheet A8.4 for more information.

YOGESH JHAMB RESIDENCE

140 Arroyo Grande Way, Los Gatos, CA 95032



SCOPE OF WORK

DEMO EXISTING ONE-STORY HOME AND BUILD A NEW ONE-STORY HOME WITH 4 BEDROOMS \$ 4 BATHS

PROJECT INFORMATION

ASSESSOR'S PARCEL NO .: ZONING: R-1:8 ONE-STORY WOOD-FRAMED HOUSE WITH STONE ¢ STUCCO FINISH AND COMP. SHINGLE ROOF OCCUPANCY GROUP: R3 & U TYPE OF CONTRUCTION: VB BUILDING CODES: 2019 CBC \$ 2019 CRC BUILDING HEIGHT: 23'-10.5" ABOVE GRADE FIRE SPRINKLER: YES YEAR BUILT: 1958 FIRE SPRINKLERS WILL BE PROVIDED UNDER A DEFERRED SUBMITTAL

FLOOR AREA BREAKDOWN

LOT SIZE = 6425 SF.

EXISTING HOME IST FLOOR AREA = 1150 SFGARAGE = 428 SE

NEW HOME

 $\overline{|ST|FLOOR}$ AREA = 2|23 SF GARAGF = 428 SF(SEE FLOOR AREA CALCULATIONS ON SHEET A4)

FLOOR AREA RATIO CALCULATION (INCLUDING GARAGE): FLOOR AREA RATIO (FAR) = 0.35 - (6.425-5)/25 = 0.3386ALLOWABLE FAR = $0.3386 \times 6425 = 2176$ SF ACTUAL FAR = 2128 SF (LIVING SPACE, EXCLUDING GARAGE)

GARAGE FLOOR AREA RATIO CALCULATIONS: FLOOR AREA RATIO (FAR) = 0.10 - (6.425 - 5)/25 = 0.09601ALLOWABLE FAR = $0.09601 \times 6425 = 616.9 \text{ SF}$ ACTUAL FAR = 428 SF

LOT COVERAGE CALCULATIONS: LIVING SPACE FLOOR AREA: 2123 SF. GARAGE FLOOR AREA: 428 SF. PORCH AREA: 15 SE LOT COVERAGE: (2|23 + 428 + |5)/6425 = 0.3993 OR 39.93%

PROJECT CONTACTS

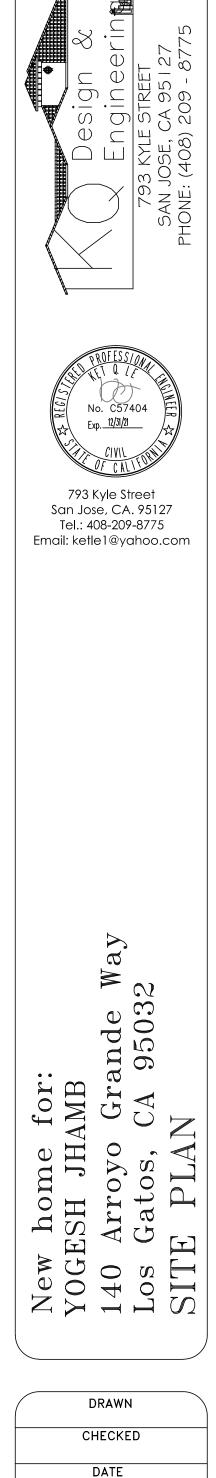
OWNER YOGESH JHAMB (408) 806-8553 DESIGNER & STRUCTURAL ENGINEER KET LE 793 KYLE STREET, SAN JOSE, CA 95127 CELL : (408) 209 - 8775 EMAIL: KETLE I @YAHOO.COM

SHEET INDEX

- AI-SITE PLAN & PROJECT INFO
- A2 EXISTING SITE PLAN & SITE PHOTOS
- A3. I EXISTING NEIGHBORHOOD SITE PLAN
- A3.2 NEW NEIGHBORHOOD SITE PLAN
- A3.3 STREETSCAPE FRONT ELEVATIONS
- A3.4 FRONT ELEVATION WITH COLOR & EXTERIOR MATERIALS
- A4 NEW IST FLOOR PLAN
- A5 NEW ELEVATIONS
- AG NEW ROOF PLAN
- A7 DRAINAGE PLAN
- A8 SECTIONS
- A8.1 EROSION CONTROL PLAN
- A8.2 GRADING PLAN
- A8.3 BUILD IT GREEN CHECKLIST
- A8.4 UTILITY PLAN
- A8.5 GROUND COVER PLAN

S1 - SURVEY PLAN

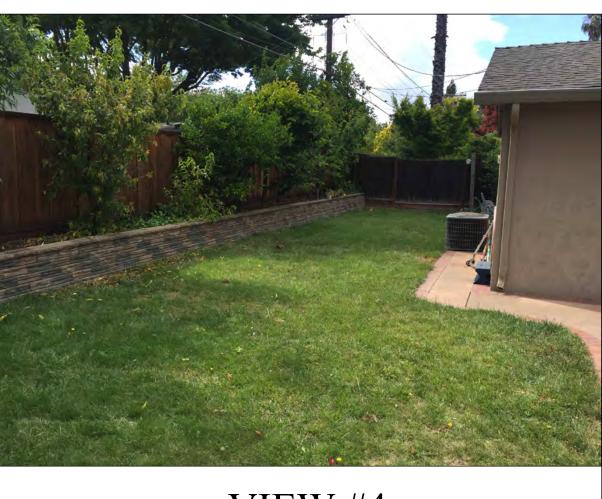
REVISIONS BY



SCALE JOB NO. SHEET A

EXHIBIT 12

SHEETS



VIEW #4



VIEW #5





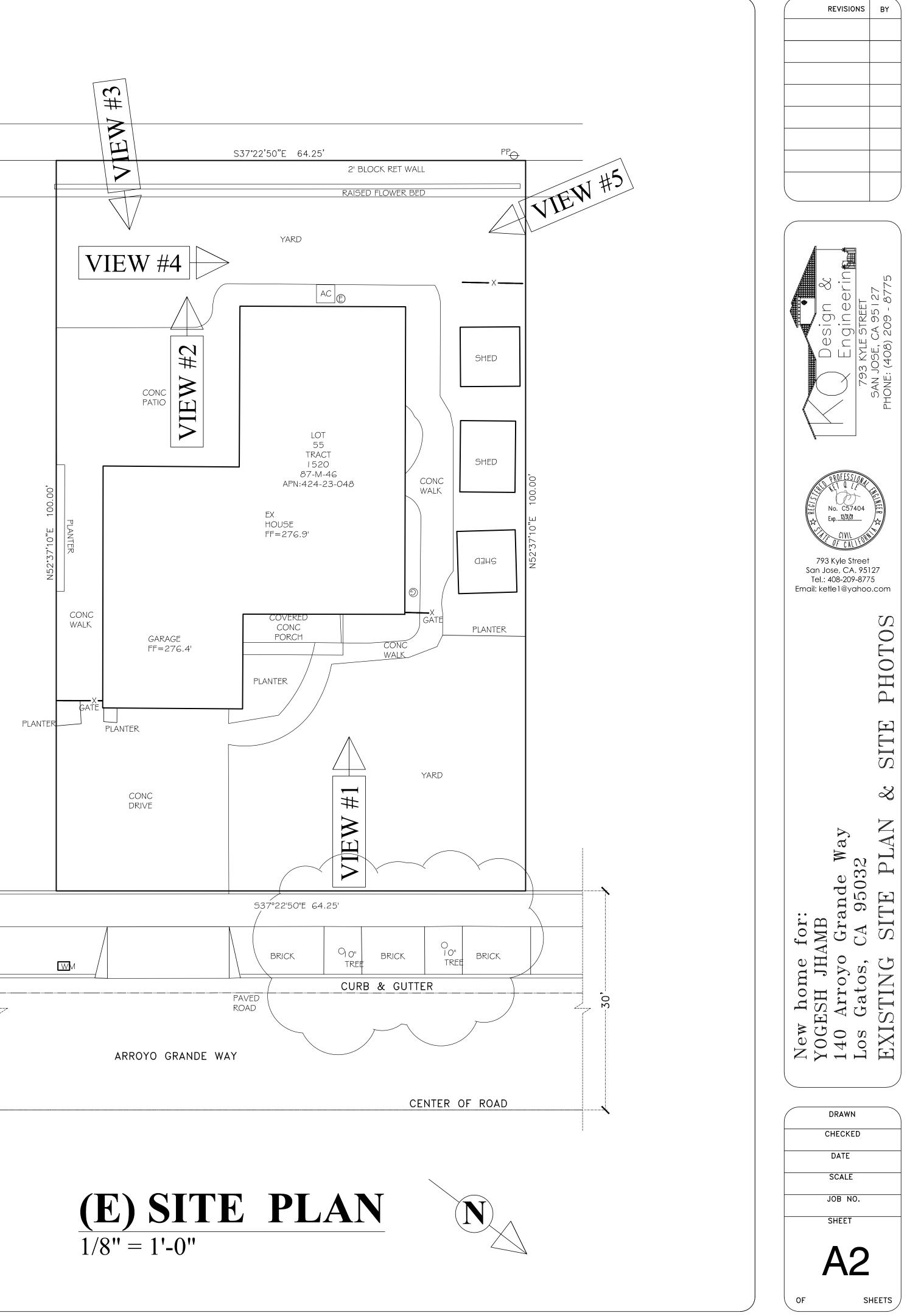


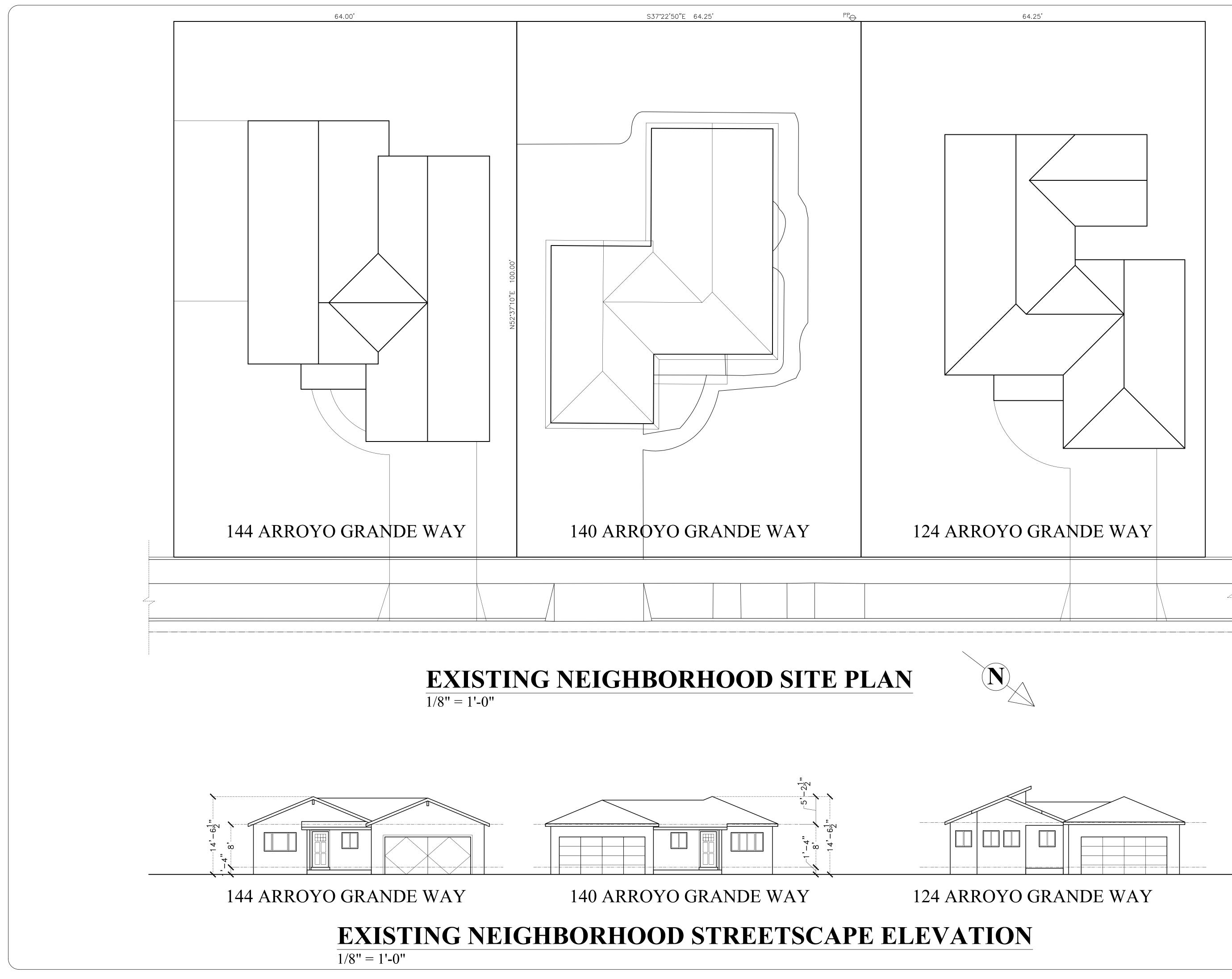
VIEW #3



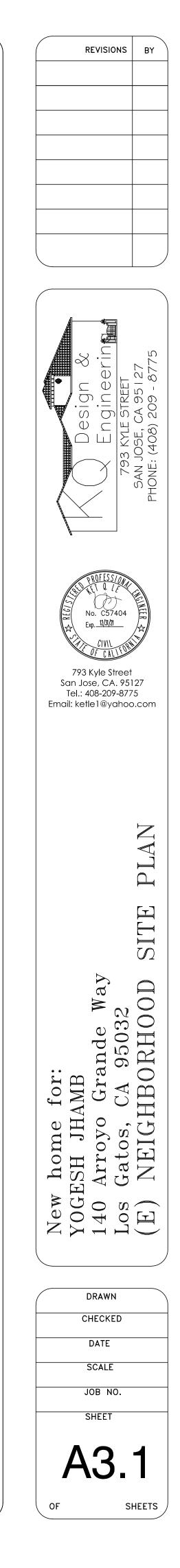
VIEW #1

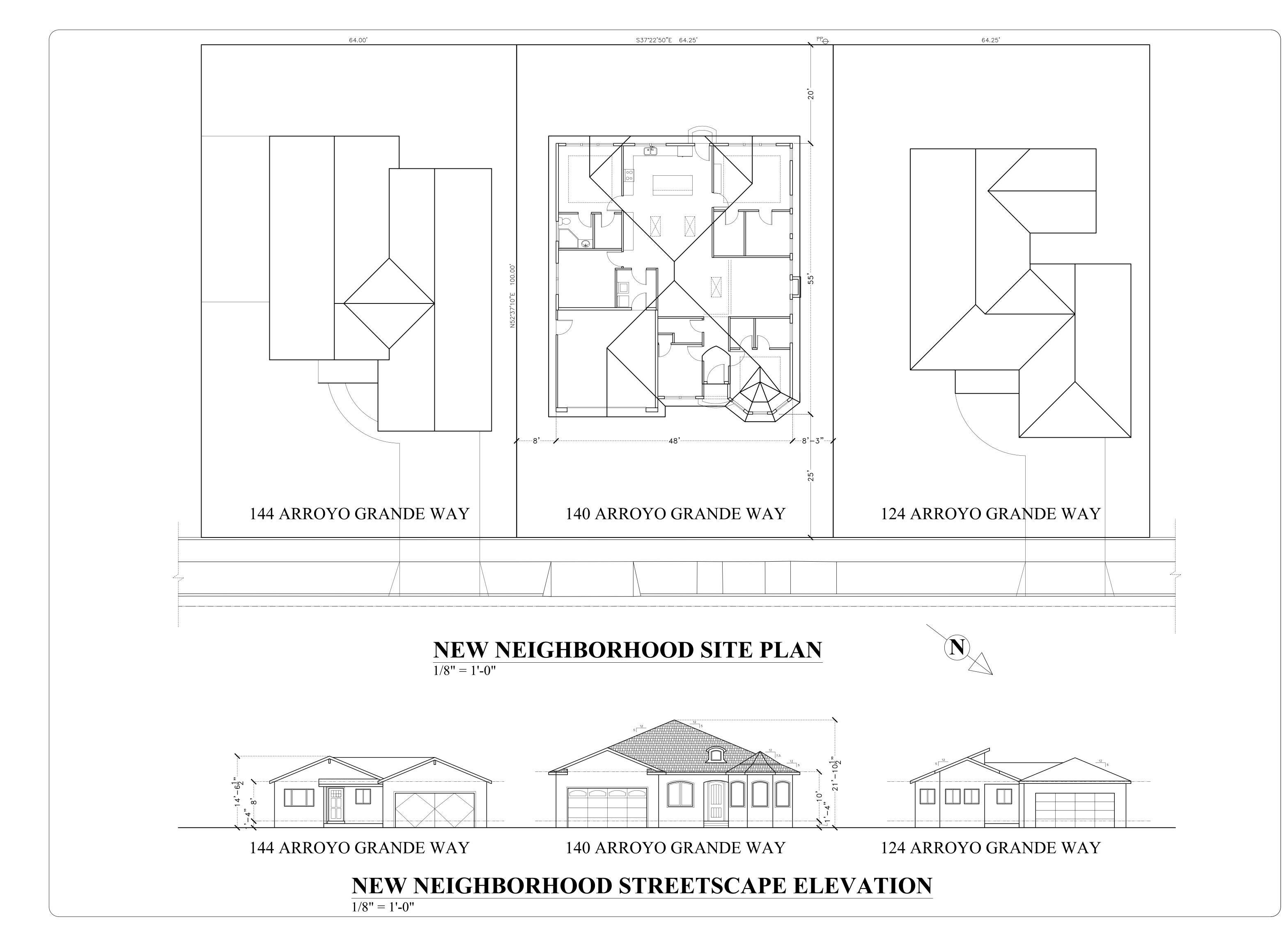












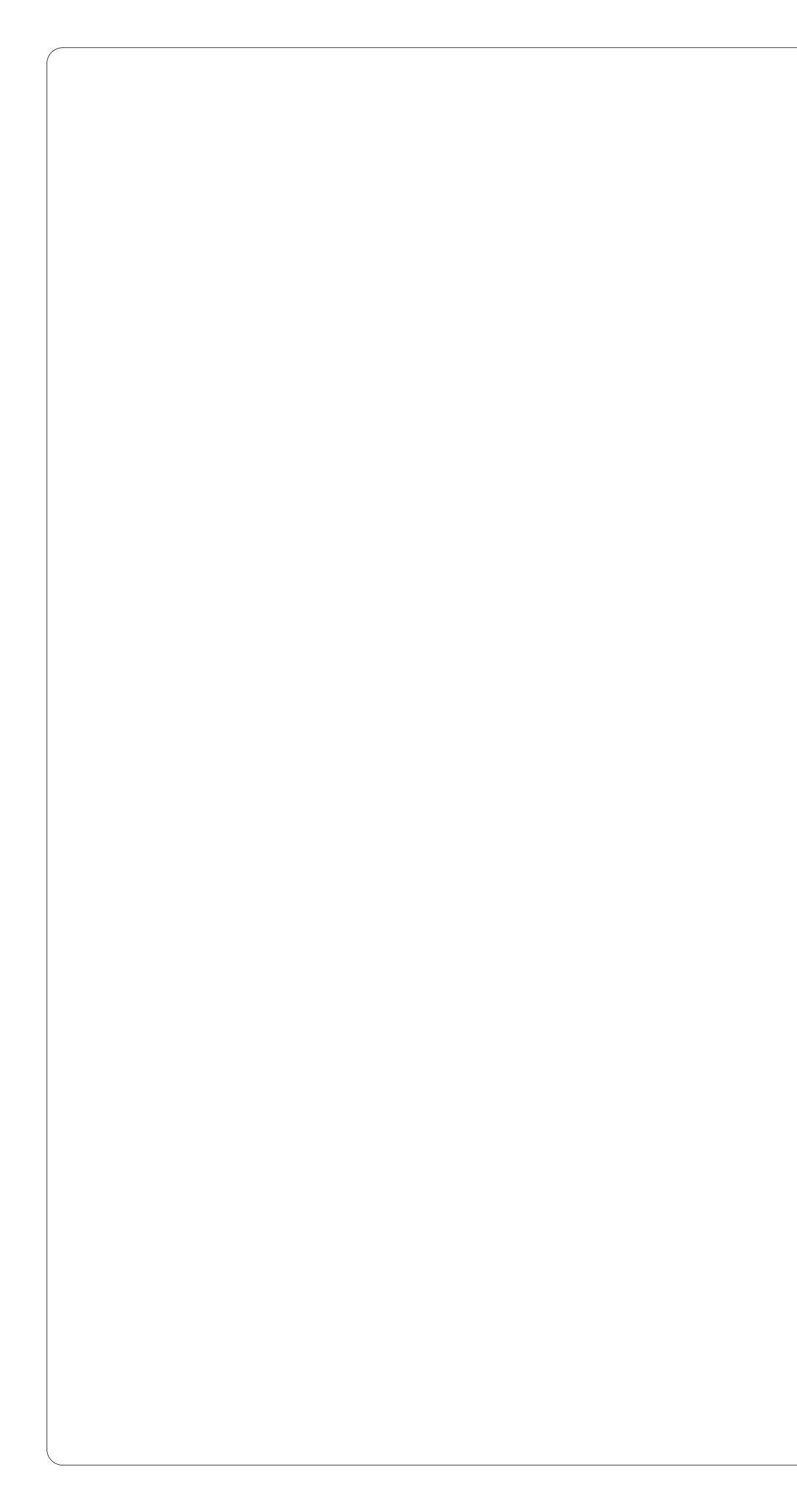










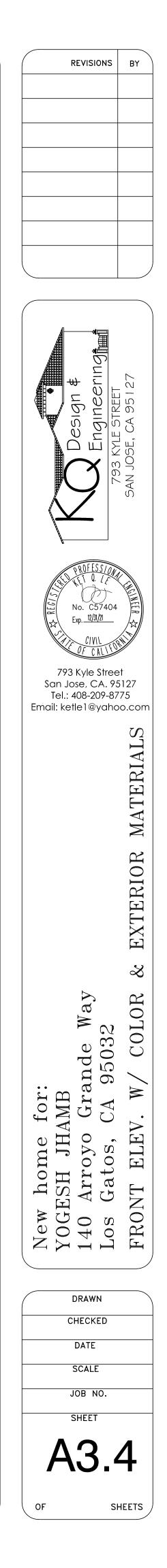




FRONT ELEVATION 1/4" = 1'-0"

Gray Look Front Elevation

- Roofing: GAF Shingles Antique Slate (GAF-antique-slate.jpg)
- Smooth stucco finish, Paint Color: Behr Weathered Moss (https://www.behr.com/consumer/ColorDetailView/N380-3)
- Front Door Wood front door by Anderson Windows & Doors with Dark Gray Color, rear door and side garage door similar Front door link: https://www.andersenwindows.com/windows-and-doors/doors/entry-doors/residential-entry-door/
- Garage Door Wood garage door by Overhead Door Company with same Dark Gray color as front door Garage door link: https://www.overheaddoor.com/traditional-wood-garage-doors
- Windows Wood windows by Anderson Windows with dark gray frame, wood trim with matching dark gray color Anderson wood window link: https://www.andersenwindows.com/windows-and-doors/materials/wood-windows-doors/ NOTE: wood trim shall be installed around all windows and trim width shall not be less than 3-1/2 inches wide



OVERALL FOOTPRINT: 2122.93 + 427.63 + 15.00 = 2565.52 SF LOT COVERAGE: 2565.52 / 6425 = 0.3993 OR 39.93%

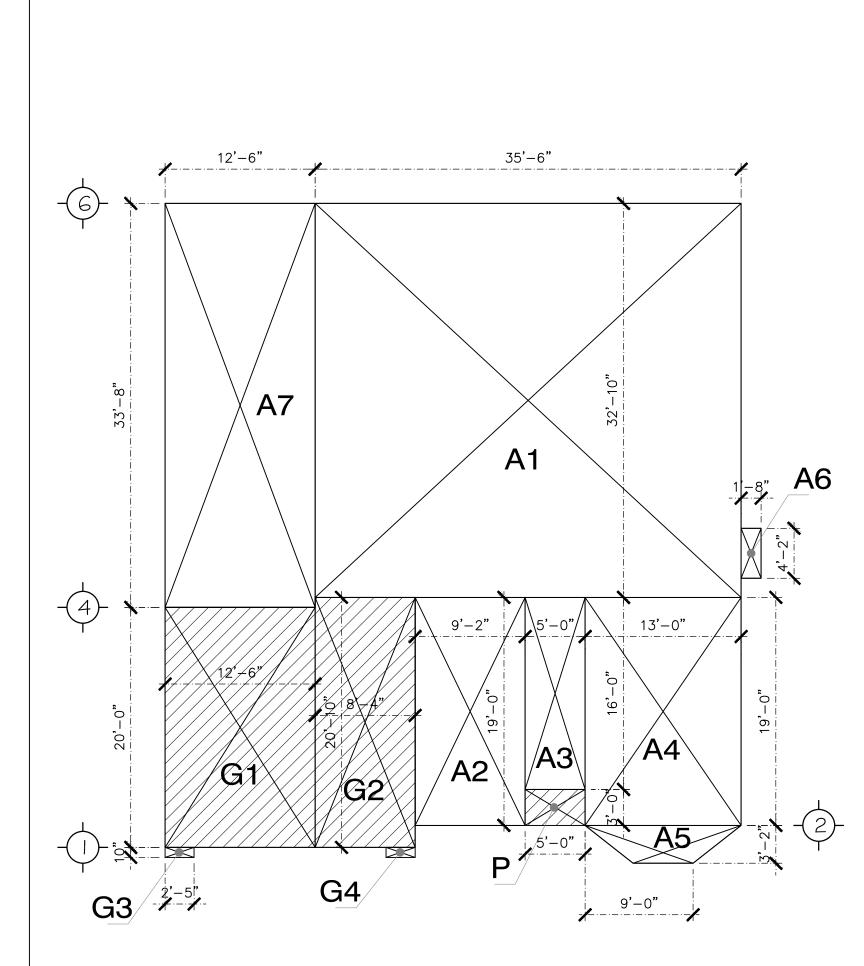
PORCH AREA CALCULATIONS: $P = (03'-00'' \times 05'-00'') = 15.00 \text{ SF}$

G1= (12'-06" X 20'-00") =	250.00	SF
G2= (08'-04" X 20'-10") =	173.61	SF
G3= (00'-10" X 02'-05") =	2.01	SF
G4= (00'-10" X 02'-05") =	2.01	SF
TOTAL=	427.63	SF

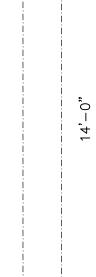
GARAGE AREA CALCULATIONS:

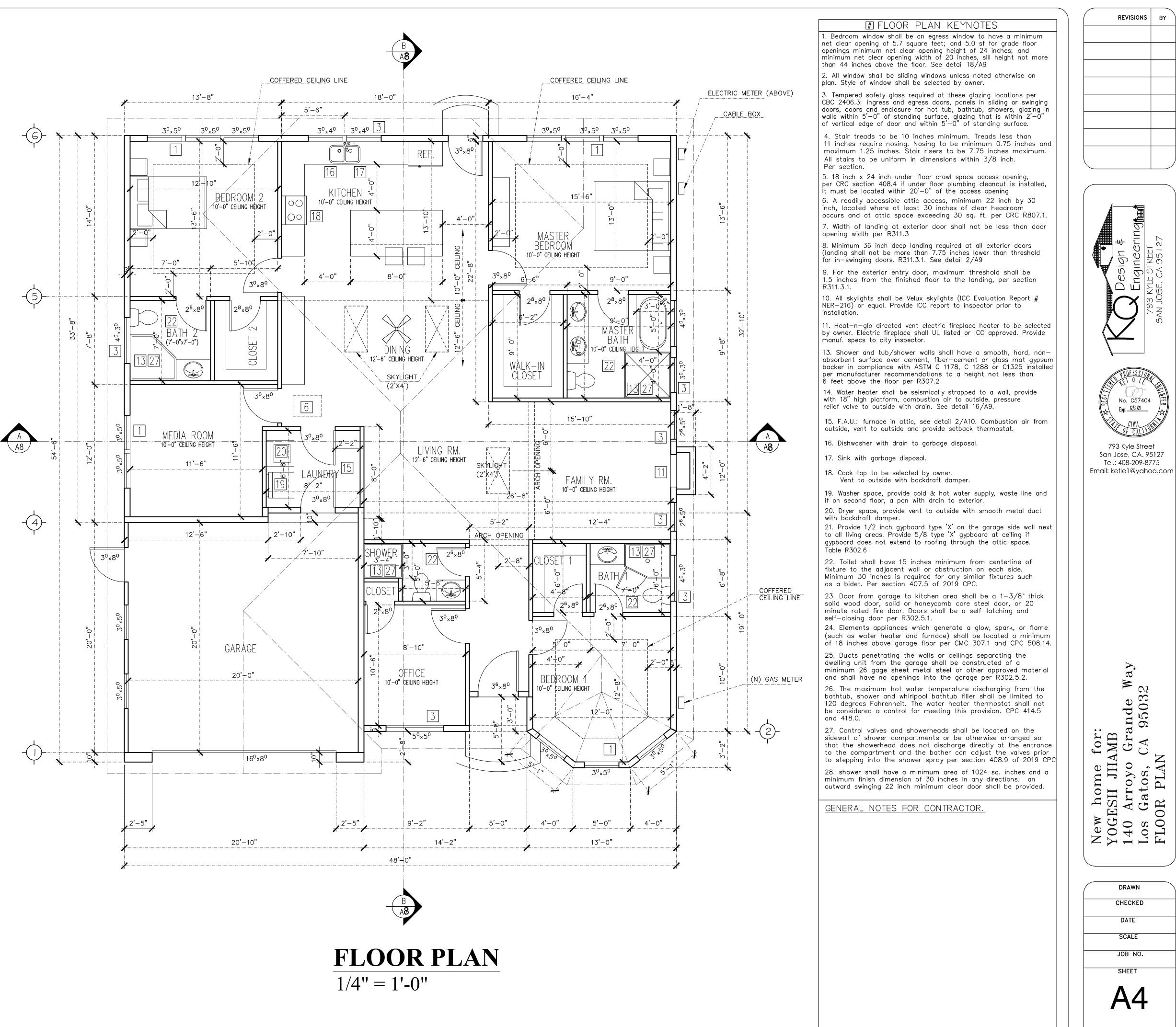
A1= (35'-06" X 32'-10") =	1165.58 SF
A2= (09'-02" X 19'-00") =	174.17 SF
A3= (05'-00" X 16'-00") =	80.00 SF
A4= (13'-00" X 19'-00") =	247.00 SF
A5= (09'-00" X 03'-02") =	28.41 SF
A6= (01'-08" X 04'-02") =	6.94 SF
A7= (12'-06" X 33'-08") =	420.83 SF
TOTAL=	2122.93 SF

FLOOR AREA CALCULATIONS:

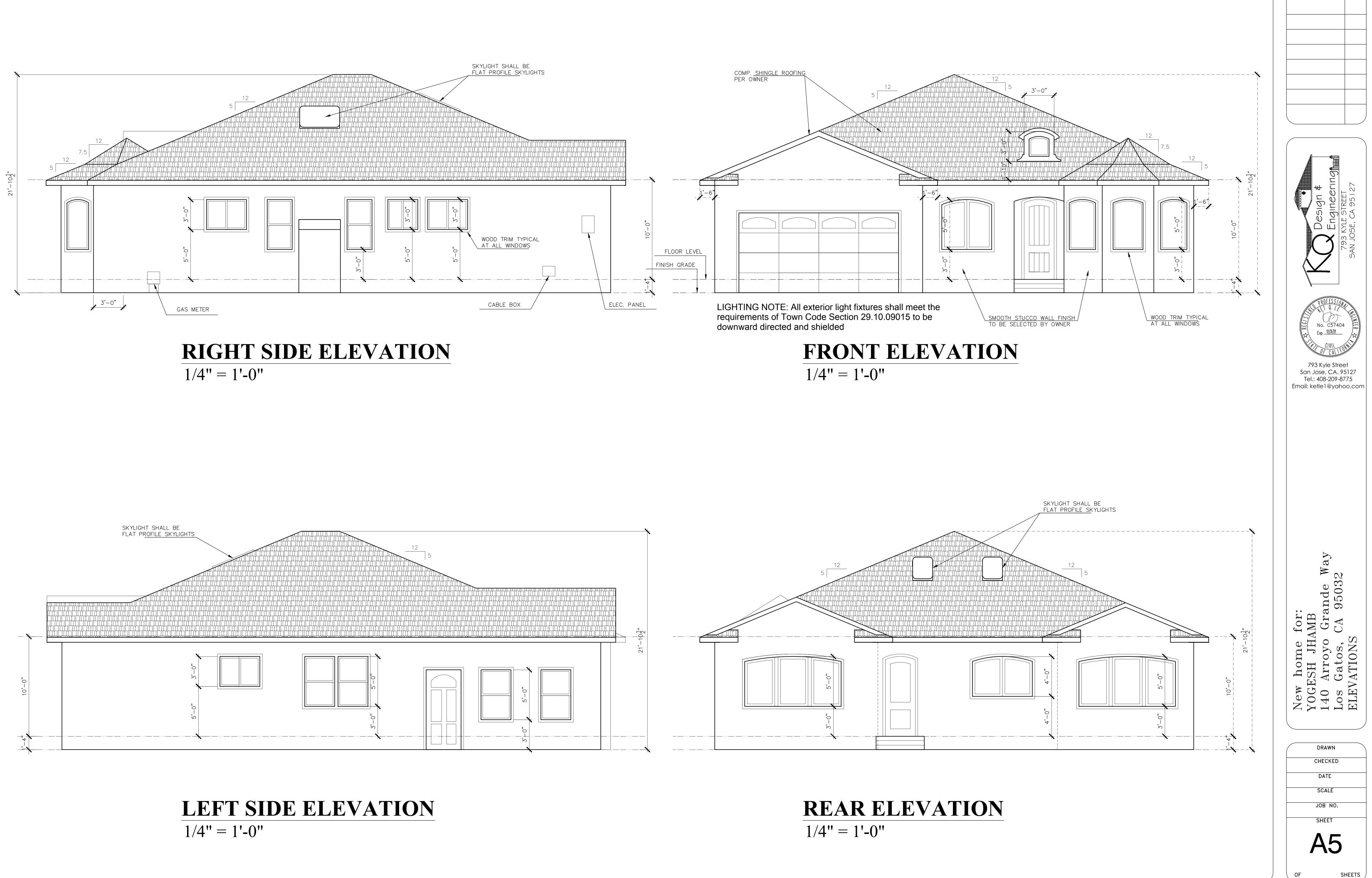


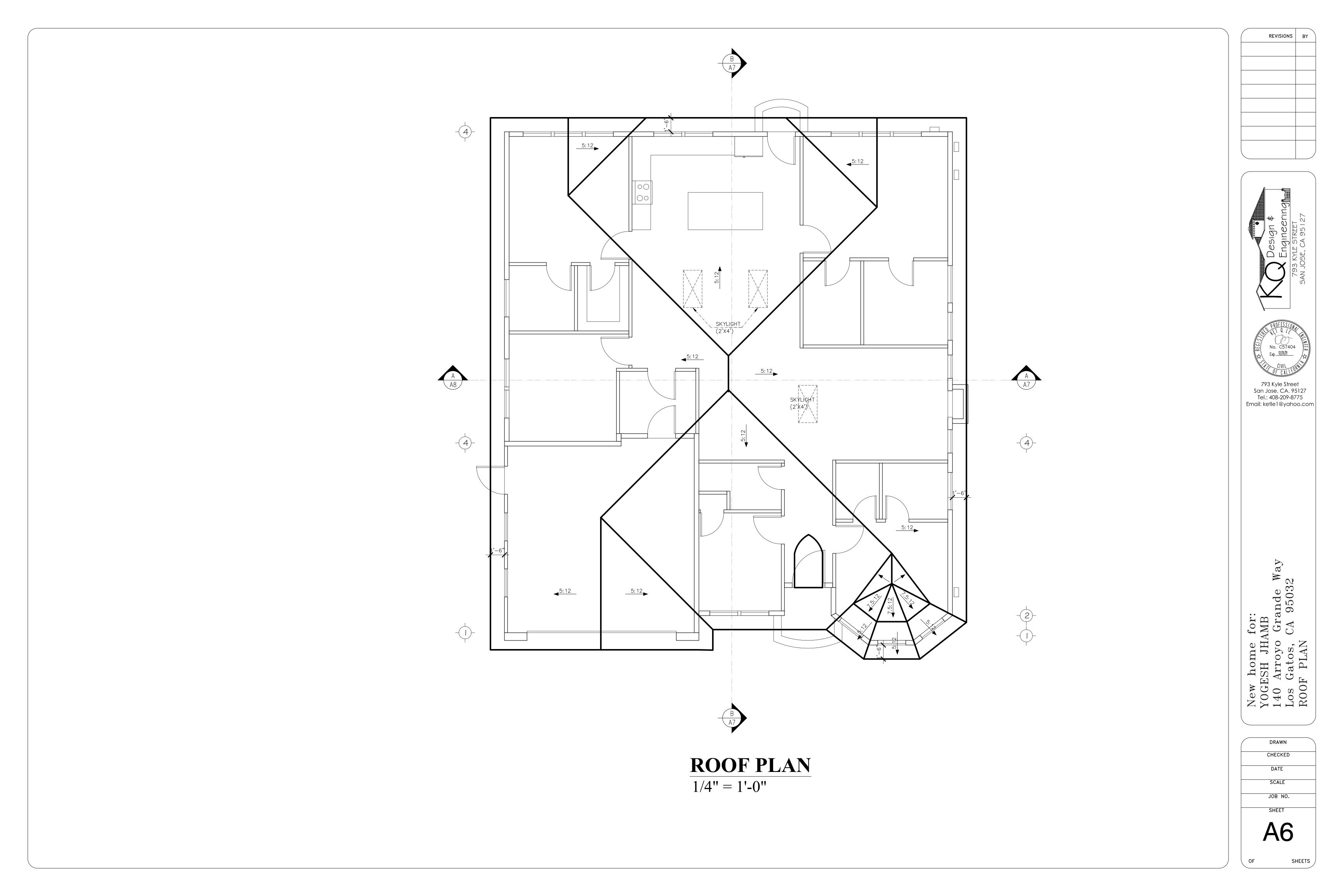


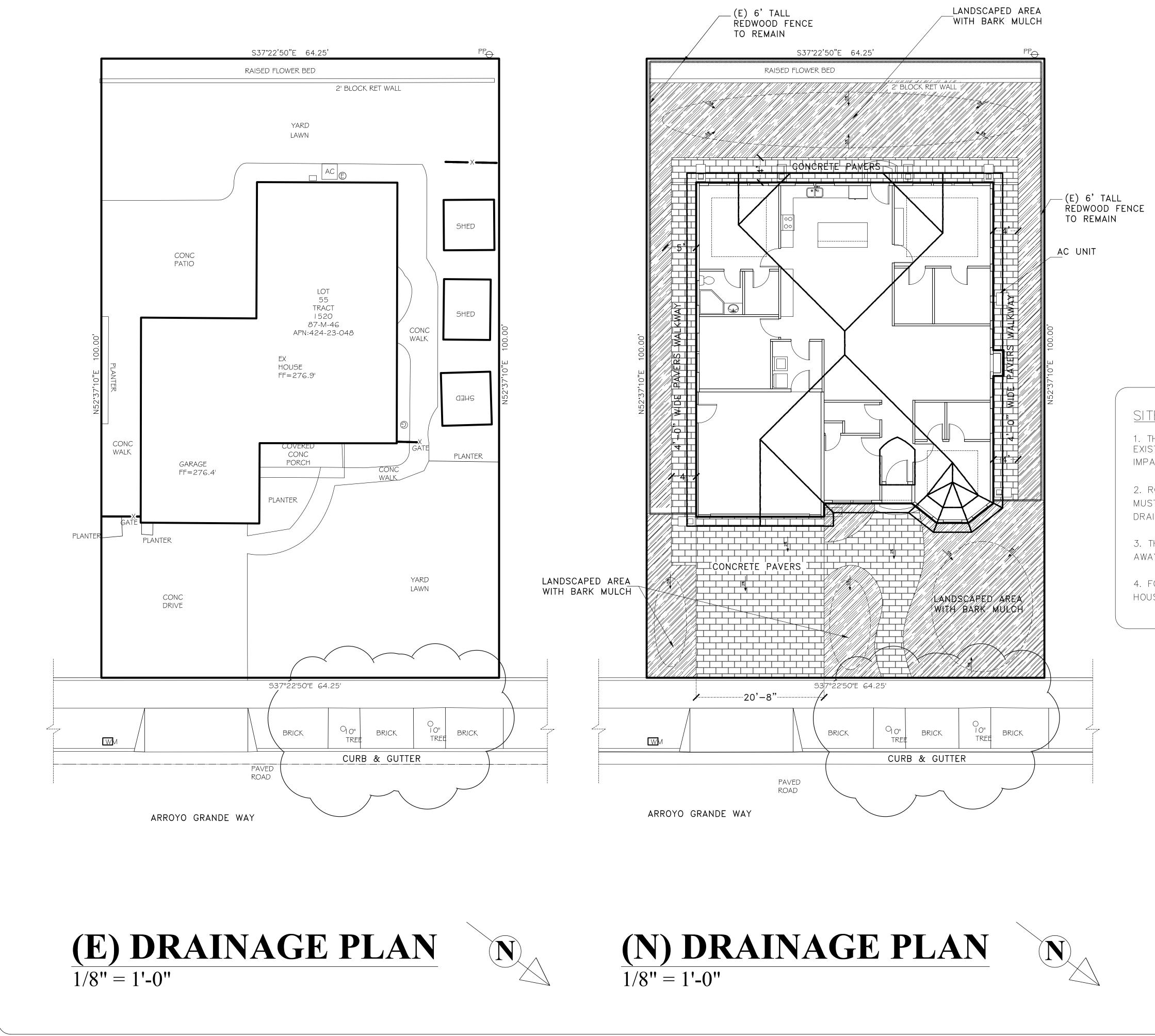




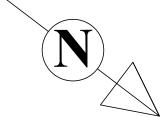
SHEETS

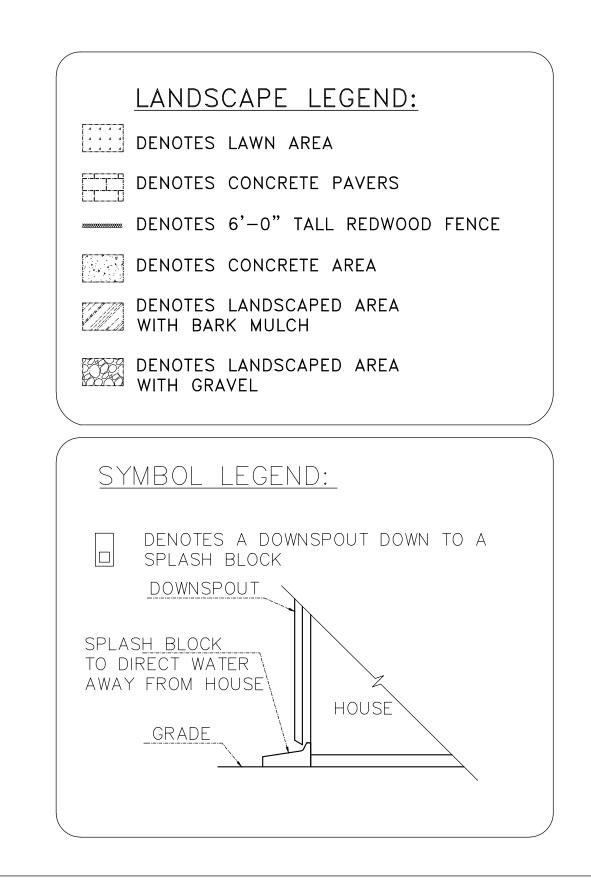












<u>SITE DRAINAGE NOTE:</u>

1. THE CONTRACTOR SHALL NOT ALTER PRE-EXISTING DRAINAGE PATTERNS EXISTING FROM ADJACENT PROPERTIES IN A MANNER THAT NEGATIVELY IMPACTS THOSE PROPERTIES.

2. ROOF WATER DOWN SPOUTS DISCHARGING TO SPLASH BLOCKS MUST BE PROVIDED TO CARRY RAIN WATER AWAY FROM FOUNDATION. DRAINAGE CAN NOT DRAIN INTO ADJACENT PROPERTIES.

3. THE SITE SHALL BE FINE GRADED TO PROVIDED A MINIMUM OF 5% SLOPE AWAY FROM HOUSE FOR THE FIRST 10 FT., FOR PERVIOUS SURFACE.

4. FOR IMPERVIOUS SURFACE, GRADE TO BE 2% MINIMUM AWAY FROM HOUSE FOR THE FIRST 10 FT.

(F	REVISI	ONS	BY
	Design &		93 KYLE STREET	N JOSE, CA 95127 E: (408) 209 - 8775
				SAN JO PHONE: (2
PLA		ROFES ET Q. No. C5 xp. 12/31/	[]] 7404	THE REP.
<i>\</i>		xp. <u>12/37</u> <u>CIVIV</u> <u>OFCA</u>		
	an Jo Tel.: 4	08-20	4. 951 9-877	5
Emc	ul: ket	iel@y	ahoc	o.com
		'ay		
		140 Arroyo Grande Way)32	
e e -	_ =	and	Los Gatos, CA 95032	DRAINAGE PLAN
New home for:	YOGESH JHAMB	Gr	CA	
me	JH_{L}	oyo	0S,	E L L
hoi	HSI	Arr	Gat	ZZ
e W	OGE	40	0 S	R A
Ζ	Y	Ţ	Ĺ	
		•••		
		DRAW HECK		
		DATE		
	2	HEET	-	
	Δ	$\overline{7}$	7	
OF	-		SI	HEETS





Puluouibuj Puluouibuj Pulosod Pulos	ower and the second sec
New home for: YOGESH JHAMB 140 Arroyo Grande Way Los Gatos, CA 95032 SFCTIONS	
DRAWN CHECKED	
DATE SCALE	
JOB NO. SHEET	
A8	
OF SHEE	ts)

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.

2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.

3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways. 4. Contractor shall maintain stabilized entrance at each vehicle

access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.

5. If hydroseeding is not used or or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.

6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.

7. Lots with houses under construction will not be hydroseeded Erosion protection for each lot with a house under construction shall confirm to the Typical Lot Erosion Control Detail shown on this sheet. 8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan

control prior, during, and after storm events.

in the field. Notify the city representative of any field changes. 9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements. 10. Contractor shall be responsible for monitoring erosion and sediment

water courses.

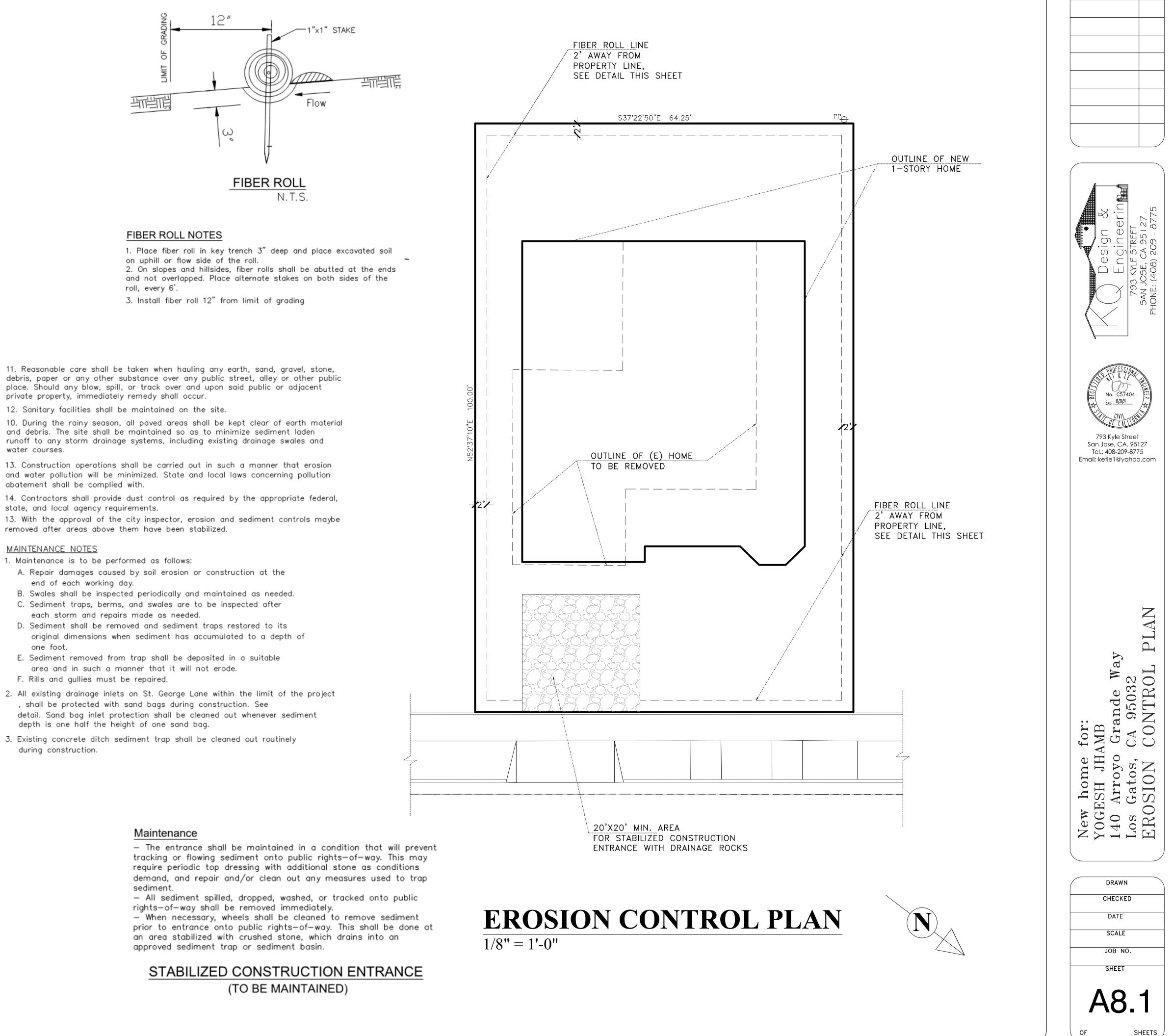
abatement shall be complied with. state, and local agency requirements.

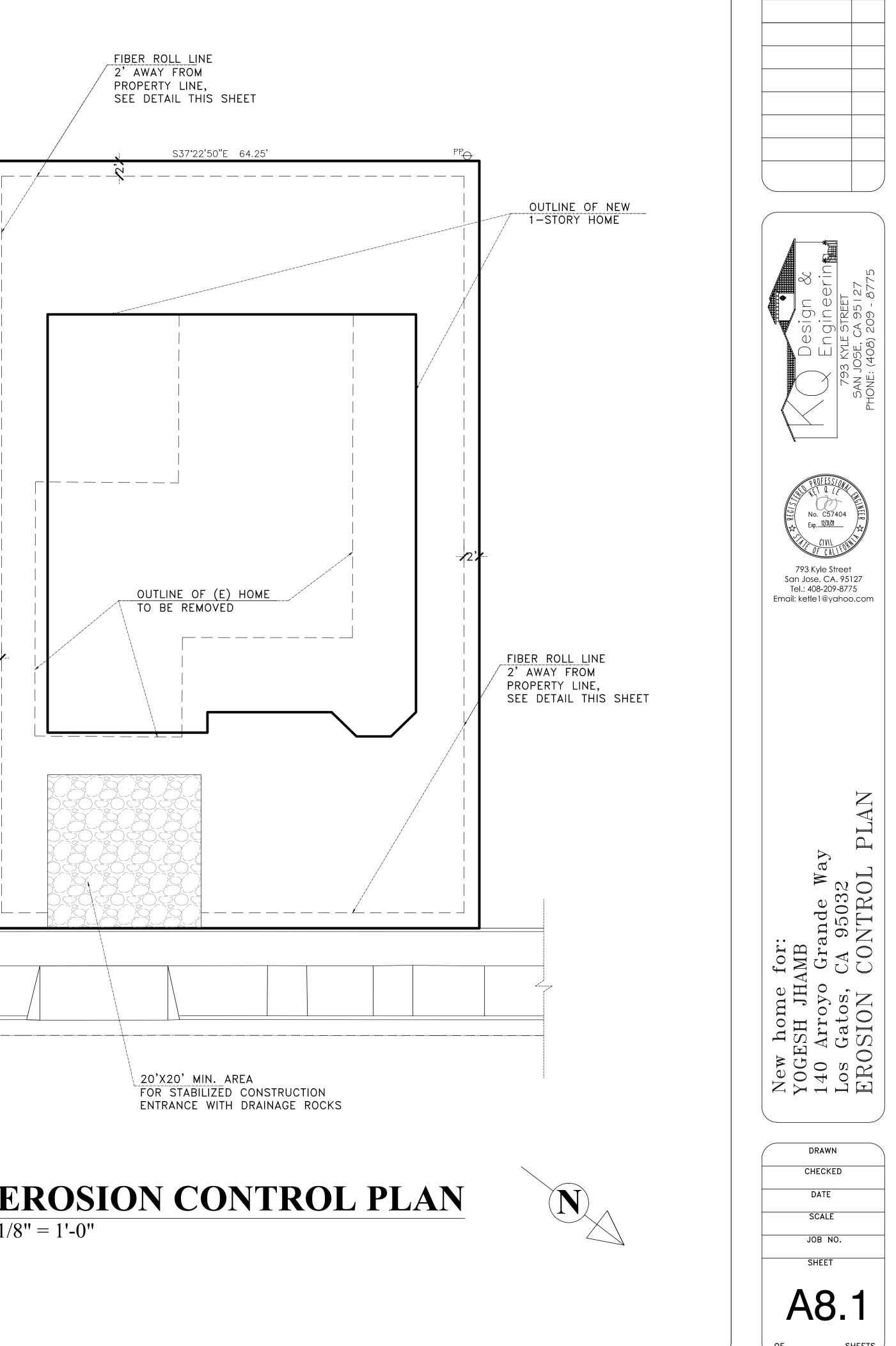
MAINTENANCE NOTES

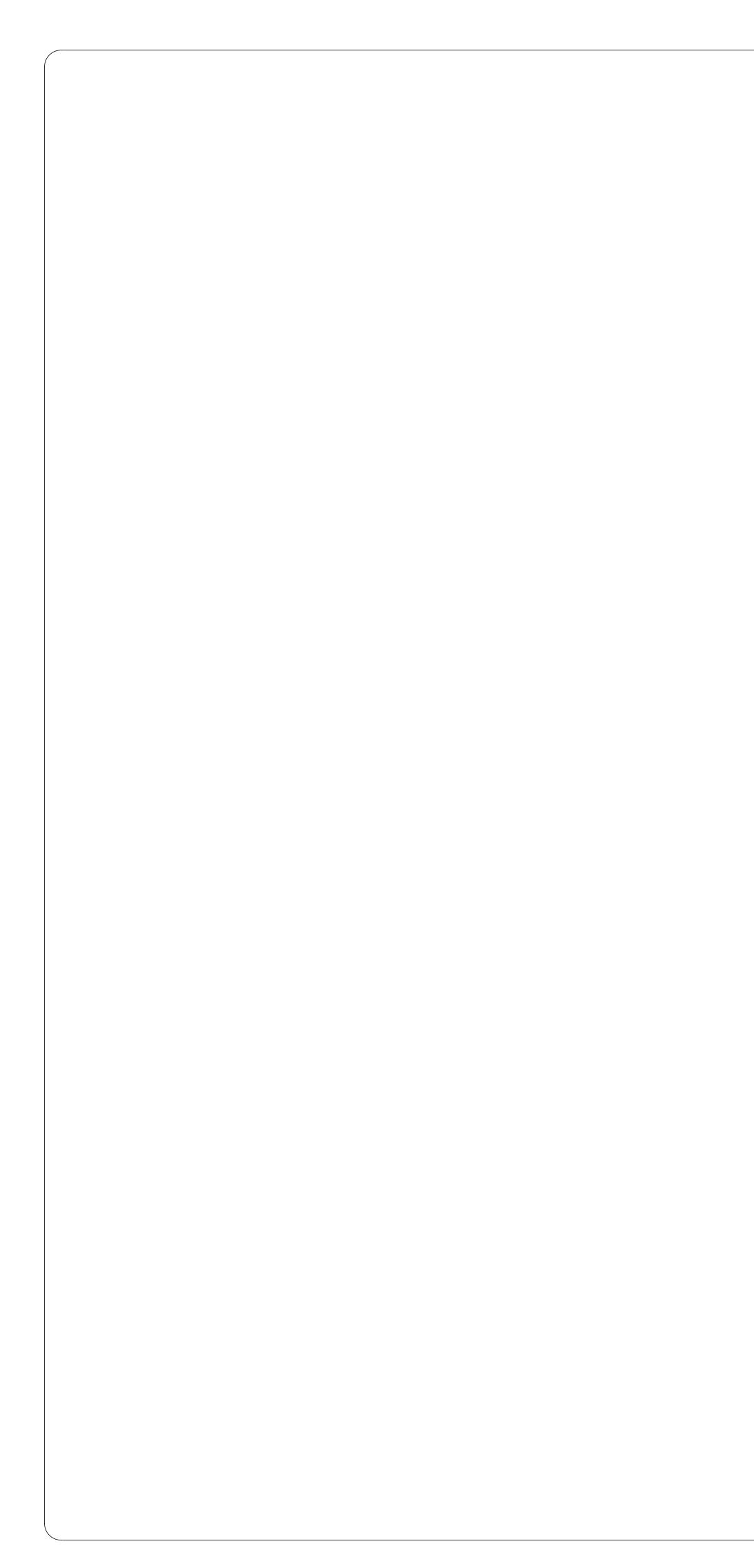
- end of each working day.

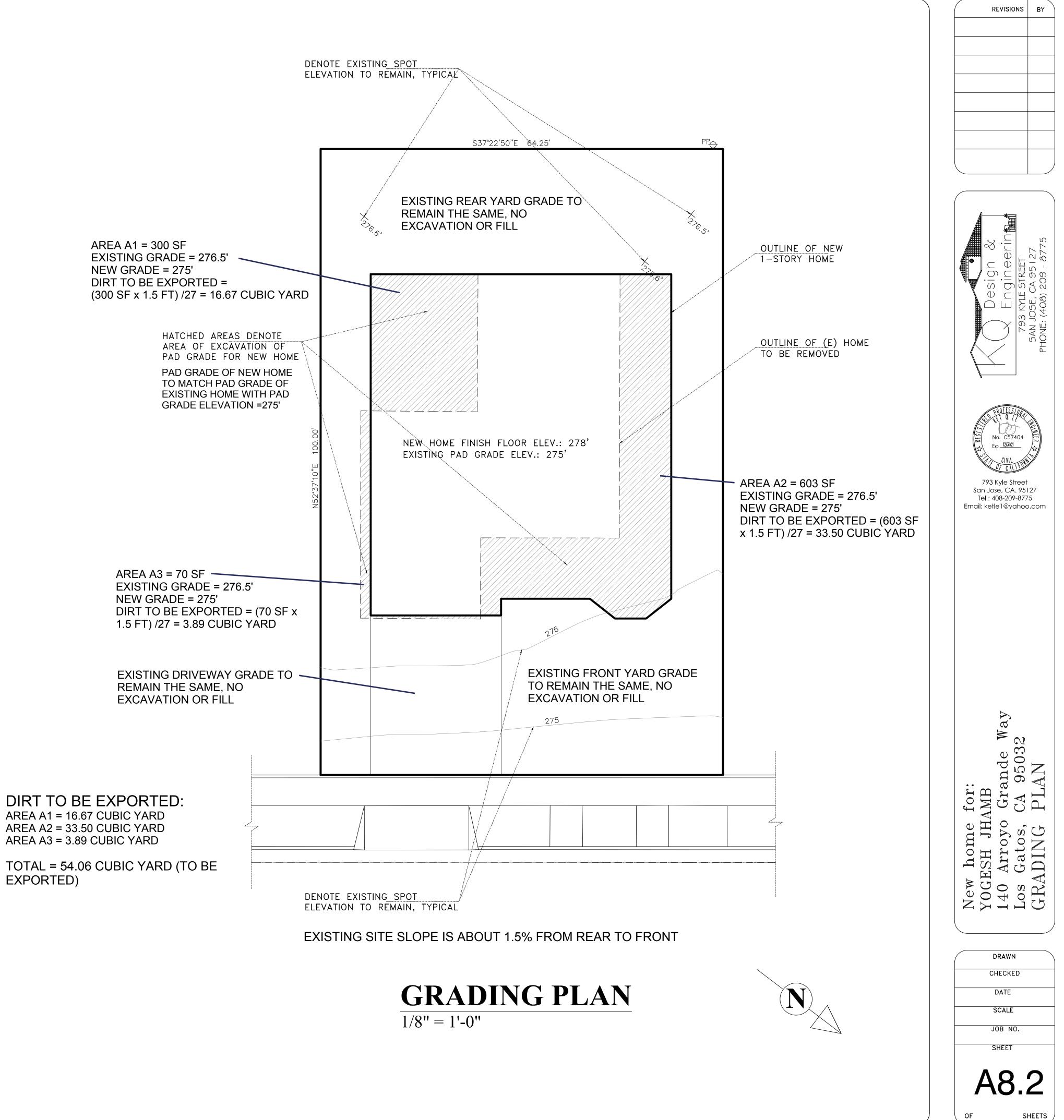
- one foot.

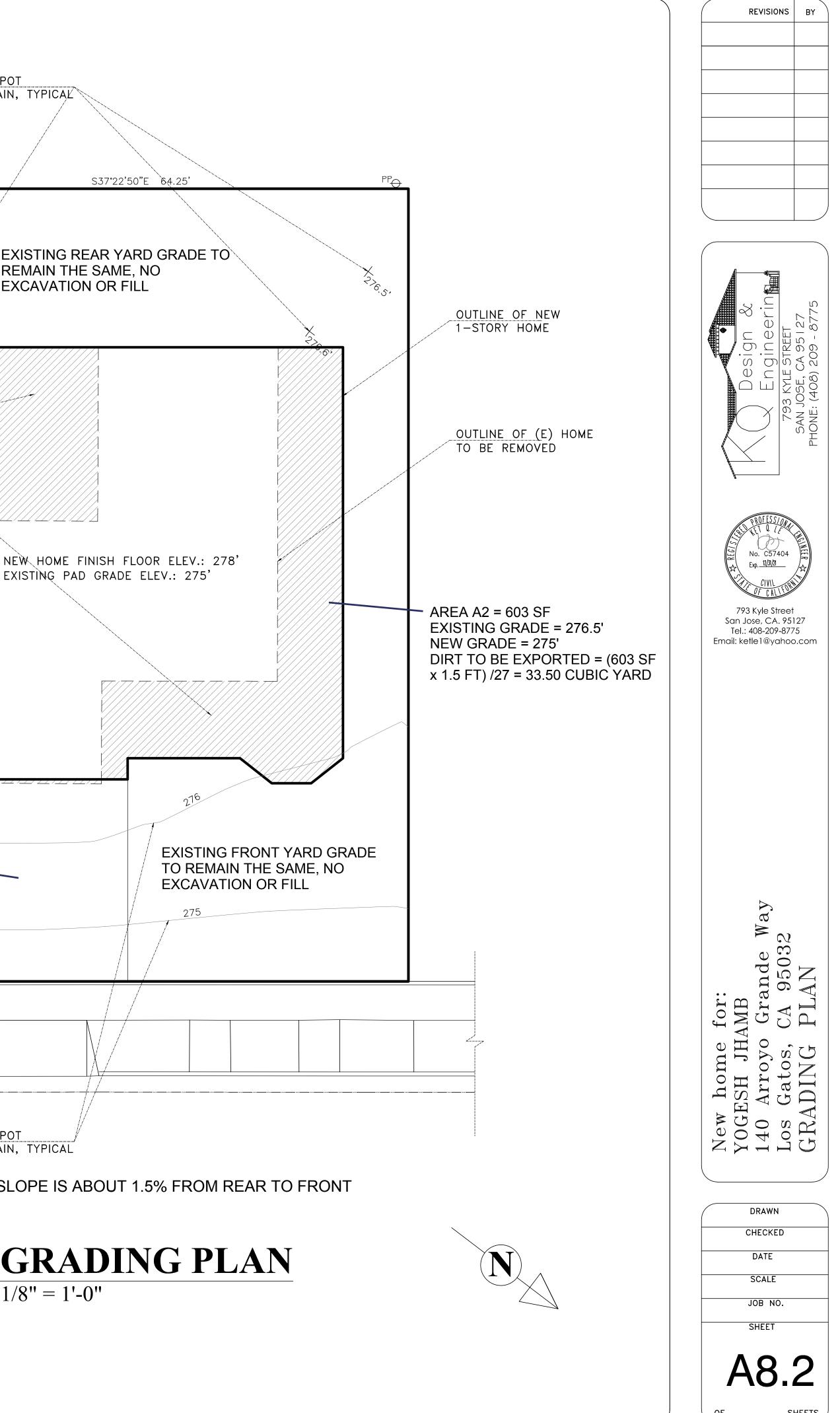
- during construction.











<form></form>		Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. Rated is provided as a public service by Build It Green, a professional non-profit whose mission is				Poin		ALE	D
	oromote h e minimun	ealthy, energy and resource efficient buildings in California. In requirements of GreenPoint Rated are: verification of 50 or more points; Earn the following	P					GREI	EN
<form></form>	nimum poi et the pre	nts per category: Energy (30), Indoor Air Quality/Health (5), Resources (6), and Water (9); and requisites A.2.a, H10a., J.2, K7., and N.1. Projects meeting measure J4. Obtain EPA Indoor			5.110			-	1
	se 29 mea	asures will be highlighted in blue for your			30				
				0 0	0	0_ ⁵	0_6	9	
	igle Fami	y New Home 4.0 / 2008 Title 24							
	nter	Project Name	ts eve	munity	gy	Health	ources	تر ا	
	SITE		Poin Achi	Con				Wat	Notes
2 Derechtinger Aus Bis Contraction Wass 1 1 1 100 Derechtinger Aussite Bis Contraction 2 1 1 100 Derechtinger Aussite Bis Contraction 3 1 2 1 100 Derechtinger Aussite Bis Contraction 3 1 2 1 100 Derechtinger Aussite Bis Contraction 3 1 2 1 100 Derechtinger Aussite Bis Contraction 3 1 2 1 101 Derechtinger Aussite Bis Contraction 3 1 2 1 101 Derechtinger Aussite Bis Contraction 3 1 2 1 101 Derechtinger Aussite Bis Contraction 3 1 3 1 101	TBD	a. Protect Topsoil and Reuse after Construction		1				1	
		2. Divert/Recycle Job Site Construction Waste	0					1	
The North Market Application Application and RES by application RES		 a. Required: Divert 50% (by weight) of All Construction and Demolition Waste (Recycling or Reuse) 							
Image Provide by a to the day black Image Image <t< td=""><td>TBD</td><td>c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials</td><td>-</td><td></td><td></td><td></td><td></td><td></td><td></td></t<>	TBD	c. Divert 100% of Asphalt and Concrete and 80% (by weight) of Remaining Materials	-						
The Local Size Enclose that label effect On Size 0 1	TBD TBD	a. Walkway and Driveway Base b. Roadway Base							
International and the second secon		5. Construction Environmental Quality Management Plan, Duct Sealing,		1		2			
Image is a Register Portisine Construction in Control water (EQC Ginange) 0 2 2 Image is a Register Portisine Construction in Cold Acass (ERC Ginange) 0 2 2 1 Image is a Register Portisine Construction in Cold Acass (ERC Ginange) 0 2 2 1 Image is a Register Portisine Construction in Cold Acass (ERC Ginange) 0 2 2 1		J4: EPA IAP] Total Points Available in Site = 12							
Instructure		1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or	0		Pose	sible P			
Image: Section Processing of the Section Processing of the Section Processing of the Section Processing Procestop Procestop Processing Processing Processing Processing Process	IBD	2. Use Frost-Protected Shallow Foundation in Cold Areas (CEC Climate Zone 16)	0				2		
O Build Crown New Home Vacuus 4.0 Page 1 of 11 Inter Project Name y 200 y 200 y 200 </td <td>TBD</td> <td></td> <td>0</td> <td></td> <td></td> <td>2</td> <td></td> <td></td> <td></td>	TBD		0			2			
Str EEDOF Image: Str EEDOF	© Bu								Page 1 of 11
Str EEDOF Image: Str EEDOF				<u>i</u>		Ļ	s		
CT BEOR Image Bolt Montennally Protectable Deckling Image Bolt Bolt Bolt Montennally Protectable Deckling Image Bolt Bolt Bolt Bolt Bolt Bolt Bolt Bolt	nter	Project Name	lints hieve	unuuk	tergy	Q/Healt	source	ater	
Top Planking issualized and Third-Party Vortified 0 1 1 Top Planking issualized and Third-Party Vortified 0 1 1 Top Planking issualized and Third-Party Vortified 0 1 1 Top Structure Vall System 0 1 1 Top Structure Vall System 0 1 2 Top Structure Vall System 0 1 1 Top Structure Vall System 0 1 1 1 Top Structure Vall System 0 1 1 1 Structure Vall System Top Structure Vall System 0 1 1 1 Structure Vall System Top Structure Vall System 0 1 </td <td></td> <td></td> <td></td> <td>о С</td> <td></td> <td></td> <td>oints</td> <td> >></td> <td>Notes</td>				о С			oints	>>	Notes
Time Install aftall Screen Weil System 0 2 2 Bit Use Durine and Mon Combusible Stilling Materials or Assembly 0 1 1 1 Time Use Durine and Mon Combusible Stilling Materials or Assembly 0 1 1 1 Time Number And Mon Combusible Stilling Materials or Assembly 0 1 1 1 Time Install mulaison with 75% Recycled Content 0 0 1 1 1 1 Time Install mulaison with 75% Recycled Content 0	TBD	2. Flashing Installation Techniques Specified and Third-Party Verified [*This credit is a requirement associated with J4: EPA IAP]	0				1		
Total Points Available In Exterior = 0 O Periable Points 10 1. Install includion with 75%. Recycled Context 0	TBD	3. Install a Rain Screen Wall System 4. Use Durable and Non-Combustible Siding Materials	0				1		
TEO a. Walk 0 1 1 1 BD b. Collings c. Root Table Points Available in Insulation = 3 0 1<		Total Points Available in Exterior = 8			Pos	sible P			
Table C. Floor 0 1 1 1 FLUMENC Provide Provide Proceedings of State Proce	TBD	a. Walls							
 Ibitribute Densetti Hol Water Efficiently (Mat. 5 point, Qat. 18 percendula for Other) a. Insulate All Hol Water Pipes The certain a sequence with JA: EPA IAP] D. Use Engineered Parallel Punching c. Exercise a requirement associated with JA: EPA IAP] D. Use Engineered Parallel Punching c. Exercise a requirement associated with JA: EPA IAP] D. Use Engineered Parallel Punching c. Canadia Computing and Dig Plumbing with Demand Controlled Circulation Loop(s) c. Canadia Computing and Dig Plumbing with Demand Controlled Circulation Loop(s) c. Canadia Computing and Dig Plumbing c. Canadia Computing and Dig Plumbing c. Canadia Computing Arrivation c. Hold Efficiency Nuclein and Dig Plumbing 20 c. Canadia Computing Arrivation c. How Efficiency Nuclein and Dig Plumbing c. How Plumbing c. How Plumbing Computing Arrivation c. How Plumbing c. Plumbing Plumbing Areliable Plumbing c. Plumbing	TBD	c. Floors Total Points Available in Insulation = 3	0		P		1		
TBD a. Instalia All Mollais Pupes D 1 1 1 1 TBD b. Use Engineered Parallel Punching D 0 1 1 1 1 TBD b. Use Engineered Parallel Punching 0 1 1 1 1 TBD b. Use Engineered Parallel Punching 0 1 1 1 1 TBD b. Use Engineered Parallel Punching 0 1 1 1 1 1 Public Construction Long(h) Construction Long(h) 0 1 1 1 1 1 BD b. High Efficiency Stores 2.0 Galons Per Minute (gm) at 80 pd 0 1 1 1 1 BD b. High Efficiency Stores and Perform Diagnostic Testing 0 1 1 1 1 1 BD D. Stores and Stares 2.0 Stares and Perform Diagnostic Testing 0 1 1 1 1 BD D. Test Toral Supply Ar Flow Rates Construction Stares 2.0 Stares 2 2 2 2 <td></td> <td>1. Distribute Domestic Hot Water Efficiently</td> <td></td> <td></td> <td>Pos</td> <td>siule P</td> <td>UINTS</td> <td></td> <td></td>		1. Distribute Domestic Hot Water Efficiently			Pos	siule P	UINTS		
TBD c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s) 0 1 1 1 TBD d. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s) 0 1 1 1 TBD d. Use Environment Standbard Twike Plumbing with Demand Controlled Circulation Loop(s) 0 1 1 1 BD d. High Efficiency Standbard S2.0 Gallons Per Minute (gm) at 80 psi 0 1 1 1 D L. High Efficiency Standbard S2.0 Gallons Per Minute (gm) at 80 psi 0 1 1 1 TBD L. High Efficiency Standbard Plumbing with Demand Controlled Circulation Loop(s) 0 1 1 1 D L. High Efficiency Standbard Plumbing with Demand Controlled Circulation Loop(s) 0 1 1 1 D D. Stand Only High Efficiency Tolles 2.0 gam 0 1 2 1 TBD J. Instand Mix (gP) Total Plumbing With J. C PA High Plumbing With J. D. and S Recommendations 0 4 1 1 TBD C. Third Pary Teating of Mechanical Werldation Rates for IAO (Instand RASHRAE 62.2) 0		 a. Insulate All Hot Water Pipes [*This credit is a requirement associated with J4: EPA IAP] 			1				
International concepts Image: Circulation Loop(s) Ima	TBD	c. Use Engineered Parallel Plumbing with Demand Controlled Circulation Loop(s) d. Use Traditional Trunk, Branch and Twig Plumbing with Demand Controlled	0		1			1	
TBD a. High Efficiency Showeheads 2:0 Galons Per Mnube (gm) at 80 psi 0 3 3 TBD b. High Efficiency Kinchen and Utiliy Faucets 2:0 gpm 0 1 1 TBD a. High Efficiency Kinchen and Utiliy Faucets 2:0 gpm 0 1 1 TBD a. High Efficiency Kinchen and Utiliy Faucets 2:0 gpm 0 1 1 TBD a. High Efficiency Tolies (Dual-Fluxh or 51:28 Galons Per Fluxh (gpf)) 0 1 2 TBD Tolie Points Analable in Plumbing = 12 0 2	TBD	Circulation Loop(s) e. Use Central Core Plumbing	-		1		1		
TeD 3. Install Only High Efficiency Toilets (Dual-Flush or \$1.28 Galons Per Fush (gpf)) 0 2 Total Points Available in Plumbing = 12 0 1. Properly Design HVAC System and Perform Diagnostic Testing 1. Properly Design and Install HVAC System to ACCA Manual J. D. and S Recommendations ("This oregin and Install HVAC System to ACCA Manual J. D. and S Recommendations ("This arequirement associated with J4: EPA IAP] 0 1 1 1 1. Install Seade Combustion Units (This arequirement associated with J4: EPA IAP] 0 1 1 1 1. Install Seade Combustion Units (This arequirement associated with J4: EPA IAP] 0 1 1 1 2. Install Seade Combustion Units (This arequirement associated with J4: EPA IAP] 0 2 1 1 a. Furnaces 0 2 0 1 1 1 1 8. Unaces Single Family Checklist New Home Version 4.0 1 1 1 1 9. Build It Green Single Family Checklist New Home Version 4.0 9 9 9 9 9. Exclose Sign Sk Mininum 0 1 1 1 1 1	TBD TBD	a. High Efficiency Showerheads ≤2.0 Gallons Per Minute (gpm) at 80 psi b. High Efficiency Bathroom Faucets ≤ 1.5 gpm at 60psi	0					1	
Total Points Available in Plumbing 12 0 Properly Design HMAC System and Perform Diagnostic Testing 1. Properly Design HMAC System AND Perform Diagnostic Testing 0 4 1 1 18D D. Properly Design HMAC System AND Perform Diagnostic Testing 0 4 1 1 1 18D D. Properly Design HMAC System AND PErformance associated with J4: EPA IAP] 0 1		3. Install Only High Efficiency Toilets (Dual-Flush or ≤1.28 Gallons Per							
Balance 0 4 0 0 4 0 </td <td></td> <td>Total Points Available in Plumbing = 12 G, VENTILATION & AIR CONDITIONING</td> <td>2 0</td> <td></td> <td>Pos</td> <td>sible P</td> <td>oints</td> <td></td> <td></td>		Total Points Available in Plumbing = 12 G, VENTILATION & AIR CONDITIONING	2 0		Pos	sible P	oints		
TBD b. Test Total Supply Air Flow Rates 0 1 0 1 0 1 0 0 1 0 0 1 0 0 1 0 0 1 0 0 0 1 0 0 0 1 0 0 0 0 1 0		a. Design and Install HVAC System to ACCA Manual J, D, and S Recommendations	0		4				
2. Install Sealed Combustion Units [This credit is a requirement associated with J4: EPA IAP] a. Furnaces b. Water Heaters b. Unter Mean Heaters b. Interior Tim (50% Minimum) c. Shelving (50% Minimum) b. Interior Tim (50% Minimum) c. Shelving (50% Minimum) c. Countertops (50% Minimum) b. Countertops (50% Minimum) c. Countertops (50% Minimum) c. Countertops (50% Minimum) c. Countertops (50% Minimum) b. There Trinsh - Meet Current CAB Alrborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates Finite Aredue Formaldehyde In Interior Finish - Meet Current CAB Barborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory C		 b. Test Total Supply Air Flow Rates [*This credit is a requirement associated with J4: EPA IAP] 			1				
TBD b. Water Heaters 0 2 1 TBD 3. Install High Performing Zoned Hydronic Radiant Heating 0 1 1 1 Image: Single Family Checklist New Home Version 4.0 Single Family Checklist New Home Version 4.0 Page 4 of 11 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Page 4 of 11 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Page 4 of 11 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Page 4 of 11 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Page 4 of 11 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Page 4 of 11 Image: Single Family Checklist New Home Version 4.0 Image: Single Family Checklist New Home Version 4.0 Image: Single		2. Install Sealed Combustion Units [*This credit is a requirement associated with J4: EPA IAP]							
Build It Green Single Family Checklis New Home Version 4.0 Page 4 of 11 Inter Project Name	TBD	b. Water Heaters	0		1	_			
© Build IG Green New Home Version 4.0 Page 4 of 11 Inter Project Name New Home Version 4.0 New Home Version 4.0 Page 4 of 11 Inter Project Name Notes Notes Notes Subject								J	<u> </u>
6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local 0 3	© Bı								Page 4 of 11
6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local 0 3				lity		ţ	SS		
6. Use Environmentally Preferable Materials for Interior Finish A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content or E) Finger-Jointed F) Local 0 3	nter	Project Name	o <mark>ints</mark> chieve	ommur	nergy	\Q/Heal	esource	/ater	
E) Finger-Jointed F) Local 0		•	Ϋ́Α	Ö	L Ū	<u> </u>	<u>l</u> œ	\$	Notes
TBD b. Interior Trim (50% Minimum) 0 0 2 Image: Constraint of the second secon	TRD	E) Finger-Jointed F) Local	0		1		2	1	
TBD d. Doors (50% Minimum) 0 0 2 Image: Constant of the second s	TBD TBD	b. Interior Trim (50% Minimum) c. Shelving (50% Minimum)	0				2 2		
TBD CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates [*This credit is a requirement associated with J4: EPA IAP] N R	TBD TBD	d. Doors (50% Minimum) e. Countertops (50% Minimum)	-				2		
[*This credit is a requirement associated with J4: EPA IAP]		CARB Airborne Toxic Control Measure (ATCM) for Composite Wood	N			R			
8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory		[*This credit is a requirement associated with J4: EPA IAP] 8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB		-					
	BD	Compliance Dates a. Doors (90% Minimum) b. Cabinets & Countertops (90% Minimum)	0			1			

	Tormaldenyde Limits by Mandatory Compliance Dates						
	[*This credit is a requirement associated with J4: EPA IAP]						
	8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB						
	ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory						
	Compliance Dates						
TBD	a. Doors (90% Minimum)	0		1			
TBD	b. Cabinets & Countertops (90% Minimum)	0		2			
TBD	c. Interior Trim and Shelving (90% Minimum)	0		1			
TBD	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde	0		3			
IDD	Level <27ppb	0		5			
	Total Available Points in Finishes = 27	0					
L. FLOOR	ING		Poss	sible P	oints		
	1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area)						
TBD	A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable,	0			4		
IBD	D) Recycled-Content, E) Exposed Concrete, F) Local. Flooring Adhesives Must	0			4		
	Meet SCAQMD Rule 1168 for VOCs.						
TBD	2. Thermal Mass Floors (Minimum 50%)	0	1				
TBD	3. Low Emitting Flooring (Section 01350, CRI Green Label Plus,	0		3			
TBD	Floorscore [*This credit is a requirement associated with J4: EPA IAP]	0		5			
	Total Available Points in Flooring = 8	0					
M. APPLI	ANCES AND LIGHTING		Poss	sible P	oints		
TBD	1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)	0	1			1	
	2. Install ENERGY STAR Clothes Washer						
TBD	a. Meets ENERGY STAR and CEE Tier 2 Requirements	0	1			2	
IBD	(Modified Energy Factor 2.0, Water Factor 6.0 or less)	0	I			~	
TBD	b. Meets ENERGY STAR and CEE Tier 3 Requirements	0				2	
TDD	(Modified Energy Factor 2.2, Water Factor 4.5 or less)	0				~	
	3. Install ENERGY STAR Refrigerator						
TBD	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	0	1				
TBD	b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity	0	1				
-							

© Build It Green

Single Family Checklist New Home Version 4.0

Page 7 of 11

	Project Name	Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	4. Install a Foundation Drainage System	0				2		
	[*This credit is a requirement associated with J4: EPA IAP]	0				2		
TBD	5. Moisture Controlled Crawlspace	0			2			
IDD	[*This credit is a requirement associated with J4: EPA IAP]	0			2			
	6. Design and Build Structural Pest Controls							
TBD	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections	0				1		
TBD	b. All Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	0				1		
	Total Points Available in Foundation = 12	0						
LANDSC	CAPE			Poss	ible Po	oints		
	Enter in the % of landscape area. (Projects with less than 15% of the total site area (i.e. total lot							
0%	size) as landscape area are capped at 6 points for the following measures: C1 through C7 and							
	C9 through C11.							
TBD	1. Group Plants by Water Needs (Hydrozoning)	0					2	
	2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water						-	
TBD	Ordinance Requirement	0					2	
	3. Construct Resource-Efficient Landscapes		_					
TBD	a. No Invasive Species Listed by Cal-IPC Are Planted	0					1	
TBD	b. No Plant Species Will Require Shearing	0				1	-	
TBD	 c. 75% of Plants Are Drought Tolerant, California Natives or Mediterranean Species or Other Appropriate Species 	0					3	
	4. Minimize Turf in Landscape Installed by Builder				`			
TBD	 a. Turf Shall Not Be Installed on Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less than 8 Feet Wide 	0					2	
TBD	b. Turf is Small Percentage of Landscaped Area (2 Points for ≤33%, 4 Points for ≤10%)	0					4	
	5. Plant Shade Trees	0	1	1			1	
	6. Install High-Efficiency Irrigation Systems							
TBD	a. System Uses Only Low-Flow Drip, Bubblers, or Sprinklers	0					2	
TBD	b. System Has Smart (Weather-Based) Controller	0					3	
TBD	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	0					3	
	8. Rain Water Harvesting System							
TBD	a. Cistern(s) is Less Than 750 Gallons	0					1	
TBD	b. Cistern(s) is 750 to 2,500 Gallons	0					1	
TBD	c. Cistern(s) is Greater Than 2,500 Gallons	0					1	
TBD	9. Irrigation System Uses Recycled Wastewater	0					1	
TBD	10. Submetering for Landscape Irrigation	0					1	
	11. Design Landscape to Meet Water Budget							
TBD	 a. Install Irrigation System That Will Be Operated at ≤70% Reference ET (Prerequisites for Credit are C1. and C2.) 	0					1	
TBD	 b. Install Irrigation System That Will Be Operated at ≤50% Reference ET (Prerequisites for Credit are C1, C2, and C6a or C6b.) 	0					1	

							-	
Entei		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
	12. Use Environmentally Preferable Materials for 70% of Non-Plant							
TBD	Landscape Elements and Fencing A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content E) Finger-Jointed or F) Local	0				1		
TBD	13. Reduce Light Pollution by Shielding Fixtures and Directing Light Downward	0	1					
	Total Points Available in Landscape = 35	0				- ·		
D. STRUC	TURAL FRAME & BUILDING ENVELOPE			Poss	ible P	oints		
	1. Apply Optimal Value Engineering							
TBD	a. Place Joists, Rafters and Studs at 24-Inch On Center	0				3		
TBD	b. Door and Window Headers are Sized for Load	0				1		
TBD	c. Use Only Cripple Studs Required for Load	0				1		
	2. Construction Material Efficiencies							
TBD	a. Wall and Floor Assemblies (Excluding Solid Wall Assemblies) are Delivered Panelized from Supplier (Minimum of 80% Square Feet)	0				2		
TBD	 b. Modular Components Are Delivered Assembled to the Project (Minimum 25%) 	0				6		
	3. Use Engineered Lumber							
TBD	a. Engineered Beams and Headers	0				1		
TBD	b. Wood I-Joists or Web Trusses for Floors	0				1		
TBD	c. Engineered Lumber for Roof Rafters	0				1		
TBD	d. Engineered or Finger-Jointed Studs for Vertical Applications	0				1		
TBD	e. Oriented Strand Board for Subfloor	0				1		
TBD	f. Oriented Strand Board for Wall and Roof Sheathing	0				1		
TBD	4. Insulated Headers	0		1				
	5. Use FSC-Certified Wood							
TBD	a. Dimensional Lumber, Studs and Timber (Minimum 40%)	0				6		
TBD	b. Panel Products (Minimum 40%)	0				3		
	6. Use Solid Wall Systems (Includes SIPS, ICFs, & Any Non-Stick Frame							
TBD	Assembly)	0				2		
TBD	a. Floors b. Walls	0				2		
TBD	c. Roofs	0				1		
	7. Energy Heels on Roof Trusses							
TBD	(75% of Attic Insulation Height at Outside Edge of Exterior Wall)	0		1				
	8. Install Overhangs and Gutters							
TBD	a. Minimum 16-Inch Overhangs and Gutters	0	Î	1		1		
TBD	b. Minimum 24-Inch Overhangs and Gutters	0		1				
	9. Reduce Pollution Entering the Home from the Garage	Ţ						
	[*This credit is a requirement associated with J4: EPA IAP]							
TBD	a. Install Garage Exhaust Fan OR Build a Detached Garage	0			1			
	b. Tightly Seal the Air Barrier between Garage and Living Area (Performance Test				_			
TBD	Required)	0			1			
	Total Points Available in Structural Frame and Building Envelope = 39	0						

© Bı	uild It Green Single Family Chee New Home Version							Page 2 of 11	© E	uild It Green
Enter	Project Name	Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes	Ente	r Project Name
TBD	4. Install High Efficiency Air Conditioning with Environmentally	0	1						J. BUILDI	NG PERFORMANCE
	Preferable Refrigerants	0	'							1. Building Envelope Diagnostic Evaluatio
	5. Design and Install Effective Ductwork	0		4					TBD	a. Verify Quality of Insulation Installation &
TBD	a. Install HVAC Unit and Ductwork within Conditioned Space b. Use Duct Mastic on All Duct Joints and Seams	0		1						[*This credit is a requirement associated b. House Passes Blower Door Test
TBD	[*This credit is a requirement associated with J4: EPA IAP]	0		1					TBD	[*This credit is a requirement associated
	c. Pressure Relieve the Ductwork System									
TBD	[*This credit is a requirement associated with J4: EPA IAP]	0		1					TBD	c. Blower Door Results are Max 2.5 ACH ₅₀
TBD	6. Install High Efficiency HVAC Filter (MERV 6+)	0			4				100	or Max 1.0 ACH ₅₀ for Balanced Systems
	[*This credit is a requirement associated with J4: EPA IAP]	U							TBD	d. House Passes Combustion Safety Backd
	7. No Fireplace OR Install Sealed Gas Fireplace(s) with Efficiency									2. Required: Building Performance Exceed
TBD	Rating >60% using CSA Standards	0			1				0%	(Enter the Percent Better Than Title 24,
	[*This credit is a requirement associated with J4: EPA IAP]								TBD	3. Design and Build Near Zero Energy Hom
	8. Install ENERGY STAR Bathroom Fans on Timer or Humidistat	0			1				IBD	(Enter number of points, minimum of 2 and
	9. Install Mechanical Ventilation System for Cooling (Max. 4 Points)	0		4			-		TBD	4. Obtain EPA Indoor airPlus Certification
TBD	a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & All Bedrooms	0		1						(Total 42 points, not including Title 24 perfo
TBD	b. Install Whole House Fan with Variable Speeds (Credit Not Available if H9c Chosen)	0		1					TBD	5. Title 24 Prepared and Signed by a CABE
TBD	c. Automatically Controlled Integrated System with Variable Speed Control	0		3						Examiner (CEPE) 6. Participation in Utility Program with Thir
	10. Advanced Mechanical Ventilation for IAQ		- i				-			a. Energy Efficiency Program
	a. Required: Compliance with ASHRAE 62.2 Mechanical Ventilation Standards (as								TBD	[*This credit is a requirement associated
TBD	adopted in Title 24 Part 6) [*This credit is a requirement associated with J4: EPA IAP]	Ν			R				TDD	b. Renewable Energy Program with Min. 30
	·								TBD	Home)
TBD	b. Advanced Ventilation Practices (Continuous Operation, Sone Limit, Minimum	0			1					Тс
TBD	Efficiency, Minimum Ventilation Rate, Homeowner Instructions) c. Outdoor Air Ducted to Bedroom and Living Areas of Home	0			2				K. FINISH	
עסו	11. Install Carbon Monoxide Alarm(s) (or No Combustion Appliances in Living	0			2				TBD	1. Design Entryways to Reduce Tracked-In
TBD	Space and No Attached Garage)	0			1					2. Use Low-VOC or Zero-VOC Paint (Maxim
100	[*This credit is a requirement associated with J4: EPA IAP]	Ŭ								a. Low-VOC Interior Wall/Ceiling Paints
	Total Points Available in Heating, Ventilation and Air Conditioning = 27	0	-						TBD	(<50 Grams Per Liter (gpl) VOCs Regard
RENEWA	ABLE ENERGY			Poss	ible P	oints			TBD	[*This credit is a requirement associated b. Zero-VOC: Interior Wall/Ceiling Paints (<
	1. Pre-Plumb for Solar Water Heating	0				1				3. Use Low-VOC Coatings that Meet SCAQ
	2. Install Wiring Conduit for Future Photovoltaic Installation & Provide	0				А			TBD	[*This credit is a requirement associated wi
TBD	200 ft ² of South-Facing Roof	0				1				4. Use Low-VOC Caulks, Construction Adh
	3. Offset Energy Consumption with Onsite Renewable Generation		ĺ	i	ĺ				TBD	Meet SCAQMD Rule 1168
0.0%	(Solar PV, Solar Thermal, Wind)	0		25					TBD	5. Use Recycled-Content Paint
	Enter % total energy consumption offset, 1 point per 4% offset									
	Total Available Points in Renewable Energy = 27	0								

© Bui	ld It Green Single Family Che New Home Versio							Page 5 of 11
Enter	Project Name	Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD TBD	 Install Built-In Recycling Center or Composting Center Built-In Recycling Center Built-In Composting Center 	0 0				1		
TBD	 Install High-Efficacy Lighting and Design Lighting System Install High-Efficacy Lighting 	0		1				
TBD	b. Install a Lighting System to IESNA Footcandle Standards or Hire Lighting Consultant	0		1				
OTHER	Total Available Points in Appliances and Lighting = 13	0		Pos	sible P	ointe		
OTHER	I. Required: Incorporate GreenPoint Rated Checklist in Blueprints			103				
TBD	[*This credit is a requirement associated with J4: EPA IAP]	N				R		
	2. Pre-Construction Kick-Off Meeting with Rater and Subs	0	1					
TBD	B. Homebuilder's Management Staff are Certified Green Building Professionals	0	1					
TBD	Develop Homeowner Manual of Green Features/Benefits and Conduct Walkthroughs [*This credit is a requirement associated with J4: EPA IAP]	0		1	1		1	
TBD	5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program	0		1				
	Total Available Points in Other = 6	0						
	NITY DESIGN & PLANNING			Pos	sible P	oints		
TBD	I . Develop Infill Sites a. Project is an Urban Infill Development	0	1			1		
TBD	b. Home(s)/Development is Located within 1/2 Mile of a Major Transit Stop	0	2					
	2. Build on Designated Brownfield Site	0	3					
TBD	Cluster Homes & Keep Size in Check a. Cluster Homes for Land Preservation	0	1			1		
TBD	b. Conserve Resources by Increasing Density (10 Units per Acre or Greater)	0	2			2		
	c. Home Size Efficiency	0				9		
0	i. Enter Average Unit Square Footage						-	
0	ii. Enter Average Number of Bedrooms/Unit							
0	 I. Design for Walking & Bicycling a. Site Has Pedestrian Access Within 1/2 Mile of Community Services: TIER 1: Enter Number of Services Within 1/2 Mile 1) Day Care 2) Community Center 3) Public Park 4) Drug Store 5) Restaurant 6) School 7) Library 8) Farmer's Market 9) After School Programs 10) Convenience Store Where Meat & Produce are Sold 							
0	 TIER 2: Enter Number of Services Within 1/2 Mile 1) Bank 2) Place of Worship 3) Laundry/Cleaners 4) Hardware 5) Theater/Entertainment 6) Fitness/Gym 7) Post Office 8) Senior Care Facility 9) Medical/Dental 10) Hair Care 11) Commercial Office or Major Employer 12) Full Scale Supermarket i. 5 Services Listed Above (Tier 2 Services Count as 1/2 Service Value) 	0	1					
© Bui	ii. 10 Services Listed Above (Tier 2 Services Count as 1/2 Service Value) Single Family Che Id It Green New Home Versic		1					Page 8 of 11

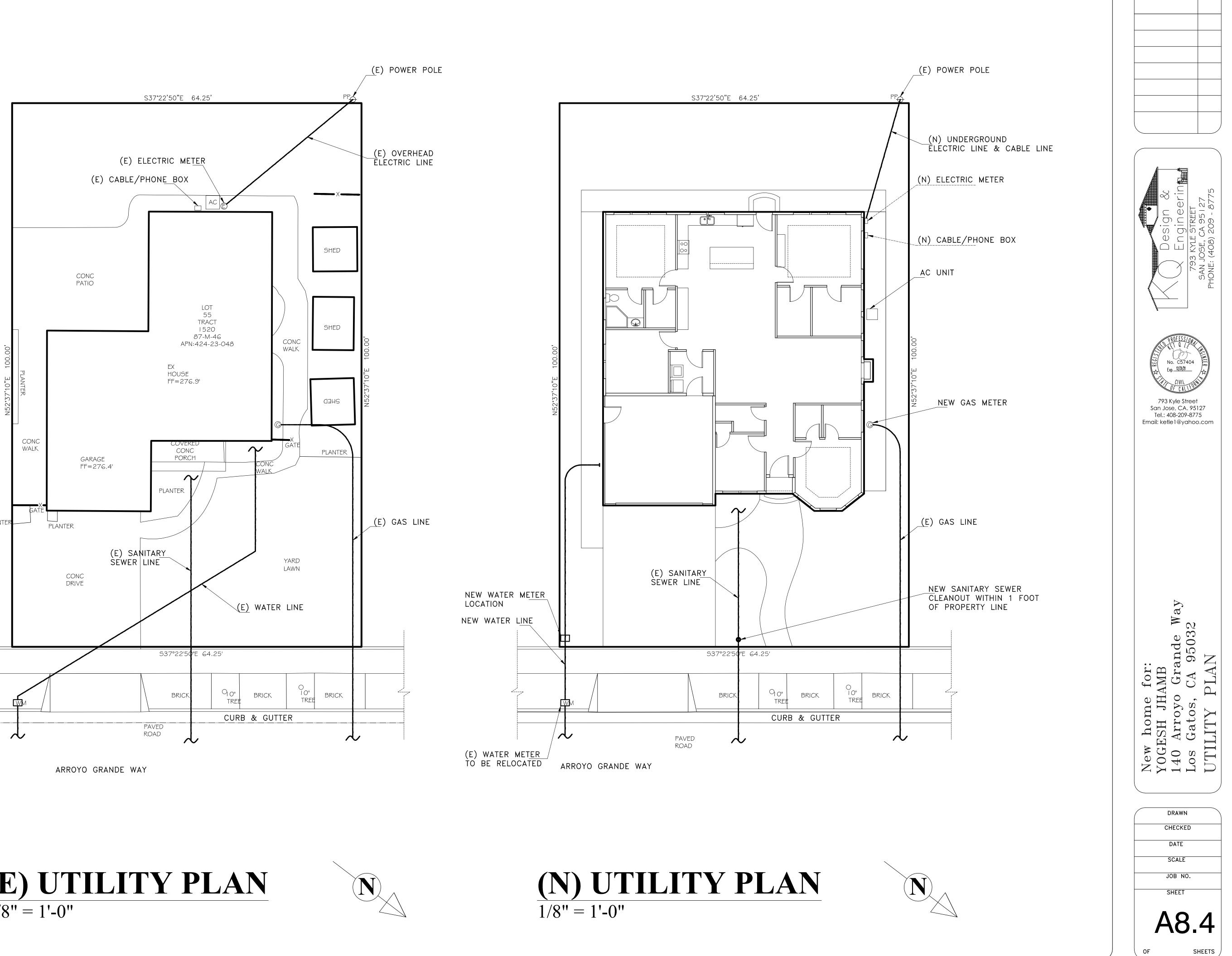
IBD	Meet SCAQMD Rule 1168
TBD	5. Use Recycled-Content Paint
© Bi	uild It Green
© D(
Entor	Project Name
	i i oject Mairie
	G. Plumbing
TBD	1. Greywater Pre-Plumbing (Includes Clo
TBD	2. Greywater System Operational (Includ
TBD	3. Innovative Wastewater Technology (C
TBD	4. Composting or Waterless Toilet
TBD	5. Install Drain Water Heat-Recovery Sys
TBD	6. Install a Hot Water Desuperheater
	H. Heating, Ventilation, and Air Condit 1. Humidity Control Systems (Only in Ca
TBD	[*This credit is a requirement associat
TBD	2. Design HVAC System to Manual T for
	K. Finishes
TBD	1. Materials Meet SMaRT Criteria (Selec
	N. Other
TBD	1. Detailed Durability Plan and Third-Par
	2. Educational Signage of Project's Gree
TBD	a. Promotion of Green Building Practic
TBD	b. Installed Green Building Educationa
	2 Innovation: List innovative measures
	Innovation: List innovative measures number of points in each category for
	blue cells. Points achieved column wil
	points in each category. Points and m
	,
TBD	Innovation: Enter up to 4 Points at right.
TBD	Innovation: Enter up to 4 Points at right.
TBD	Innovation: Enter up to 4 Points at right.
TBD	Innovation: Enter up to 4 Points at right.
TBD	Innovation: Enter up to 4 Points at right.
Summe	F\/
Summa	i y

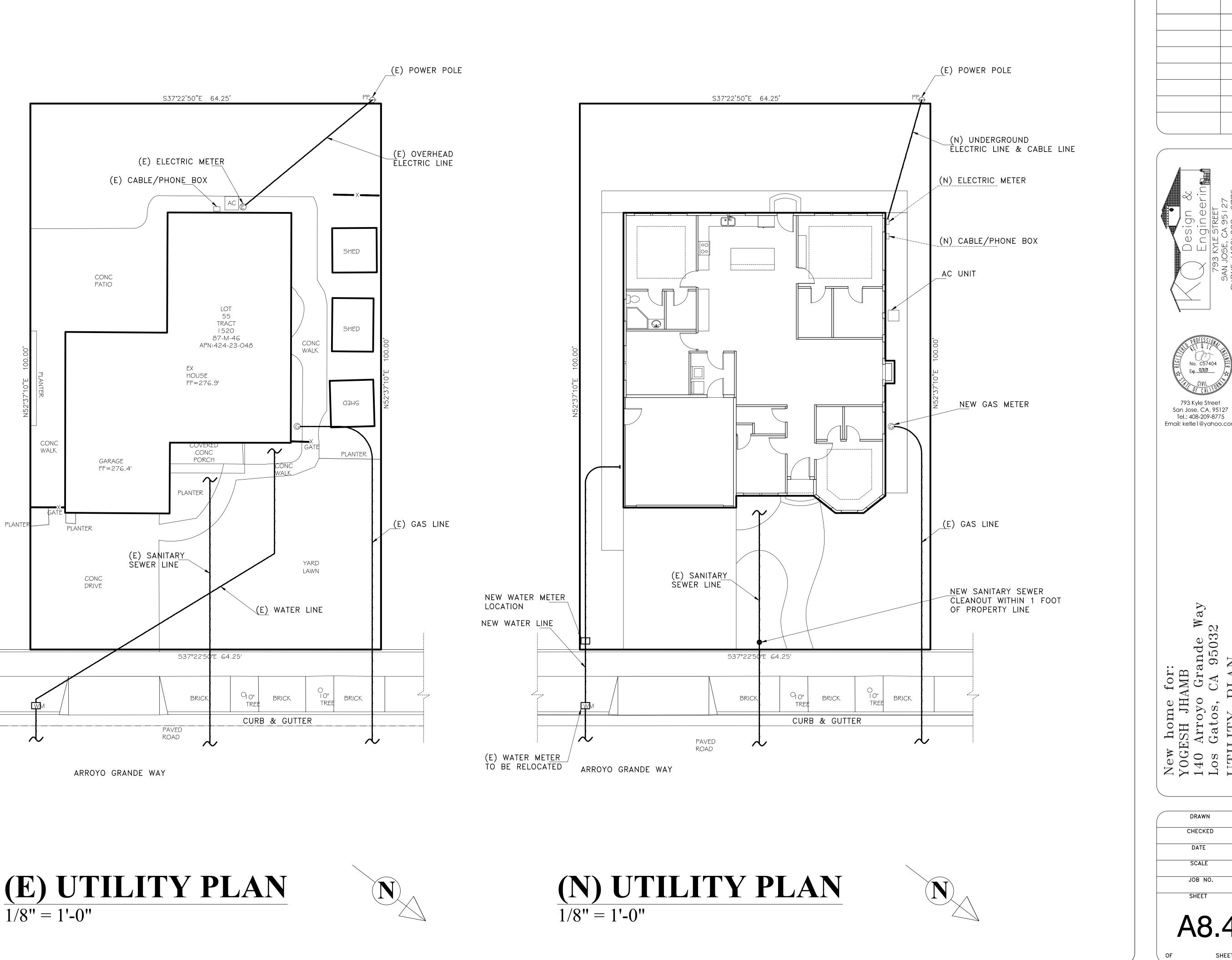
© Build It Green

Single Family Che							
It Green New Home Versio	n 4.0						Page 3 of 11
Project Name	Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
PERFORMANCE			Poss	sible F	oints		
Building Envelope Diagnostic Evaluations a. Verify Quality of Insulation Installation & Thermal Bypass Checklist before Drywall [*This credit is a requirement associated with J4: EPA IAP]	0		1				
 House Passes Blower Door Test [*This credit is a requirement associated with J4: EPA IAP] 	0		1				
c. Blower Door Results are Max 2.5 ACH ₅₀ for Unbalanced Systems (Supply or Exhaust) or Max 1.0 ACH ₅₀ for Balanced Systems (2 Total Points for J1b. and J1c.)	0		1				
d. House Passes Combustion Safety Backdraft Test	0			1			
Required: Building Performance Exceeds Title 24 (Minimum 15%) (Enter the Percent Better Than Title 24, Points for Every 1% Better Than Title 24)	0		≥30				
Design and Build Near Zero Energy Homes (Enter number of points, minimum of 2 and maximum of 6 points)	0		6				
Obtain EPA Indoor airPlus Certification (Total 42 points, not including Title 24 performance; read comment)	0			2			
Title 24 Prepared and Signed by a CABEC Certified Energy Plans Examiner (CEPE)	0		1				
Participation in Utility Program with Third Party Plan Review							
 a. Energy Efficiency Program [*This credit is a requirement associated with J4: EPA IAP] 	0		1				
 Renewable Energy Program with Min. 30% Better Than Title 24 (High Performing Home) 	0		1				
Total Available Points in Building Performance = 45+	0		_				
			Poss	sible F	oints		
Design Entryways to Reduce Tracked-In Contaminants	0			1			
Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)		ļ,					ļ
 a. Low-VOC Interior Wall/Ceiling Paints (<50 Grams Per Liter (gpl) VOCs Regardless of Sheen) [*This credit is a requirement associated with J4: EPA IAP] 	0			1			
b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpl VOCs Regardless of Sheen)	0			2			
Use Low-VOC Coatings that Meet SCAQMD Rule 1113	0			2			
[*This credit is a requirement associated with J4: EPA IAP]	0			4			
Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 1168	0			2			
Use Recycled-Content Paint	0				1		
				-	-		

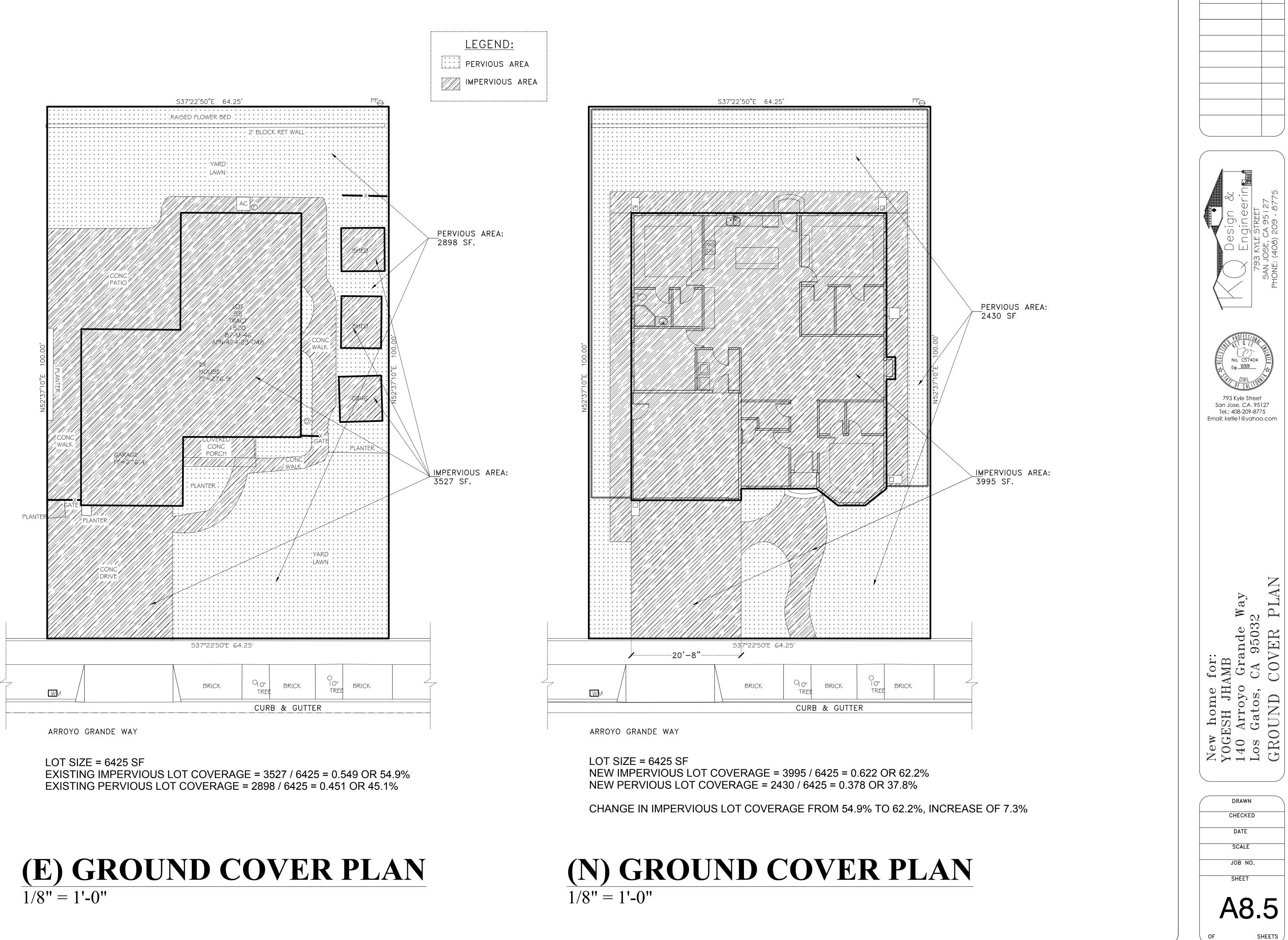
	2					
Points Abiato	Achieve Community	Energy	IAQ/Health	Resources	Water	Notes
othes Washer at Minimum) 0 des Clothes Washer at Minimum) 0					1	
Constructed Wetland, Sand Filter, Aerobic System)					1	
stem 0 0		1			2	
tioning Ilifornia Humid/Marine Climate Zones 1,3,5,6,7) ed with J4: EPA IAP] · Register Design 0			1			
t the number of points, up to 5 points) 0				5		
ty Verification of Plan Implementation 0 en Features 0 ces 0				2		
Il Signage 0 that meet green building objectives. Enter in the a maximum of 4 points for the measure in the Il be automatically fill in based on the sum of the easures will be evaluated by Build It Green.	1					
Enter description here 0						
Enter description here 0						
Enter description here 0						
Enter description here 0						
Enter description here 0						
Total Achievable Points in Innovation = 33+ 0						
Total Available Points in Specific Categories	35	96+	44	110	56	
Minimum Points Required in Specific Categories 50	0 C	30	5	6	9	
Total Points Achieved 0		0	0	0	0	

New home for: You could be home I 400 Arroyo Grande Way Los Gatos, CA 95032 Los Gatos, CA 95032 Los Gatos, CA 95032 Los Gatos, CA 95032 Date Date Date Scyle Formation for the formation of the formati
New home for: YOGESH JHAMB 140 Arroyo Grande Way Los Gatos, CA 95032 BUILD IT GREEN
CHECKED DATE SCALE
SCALE
JOB NO.
SHEET

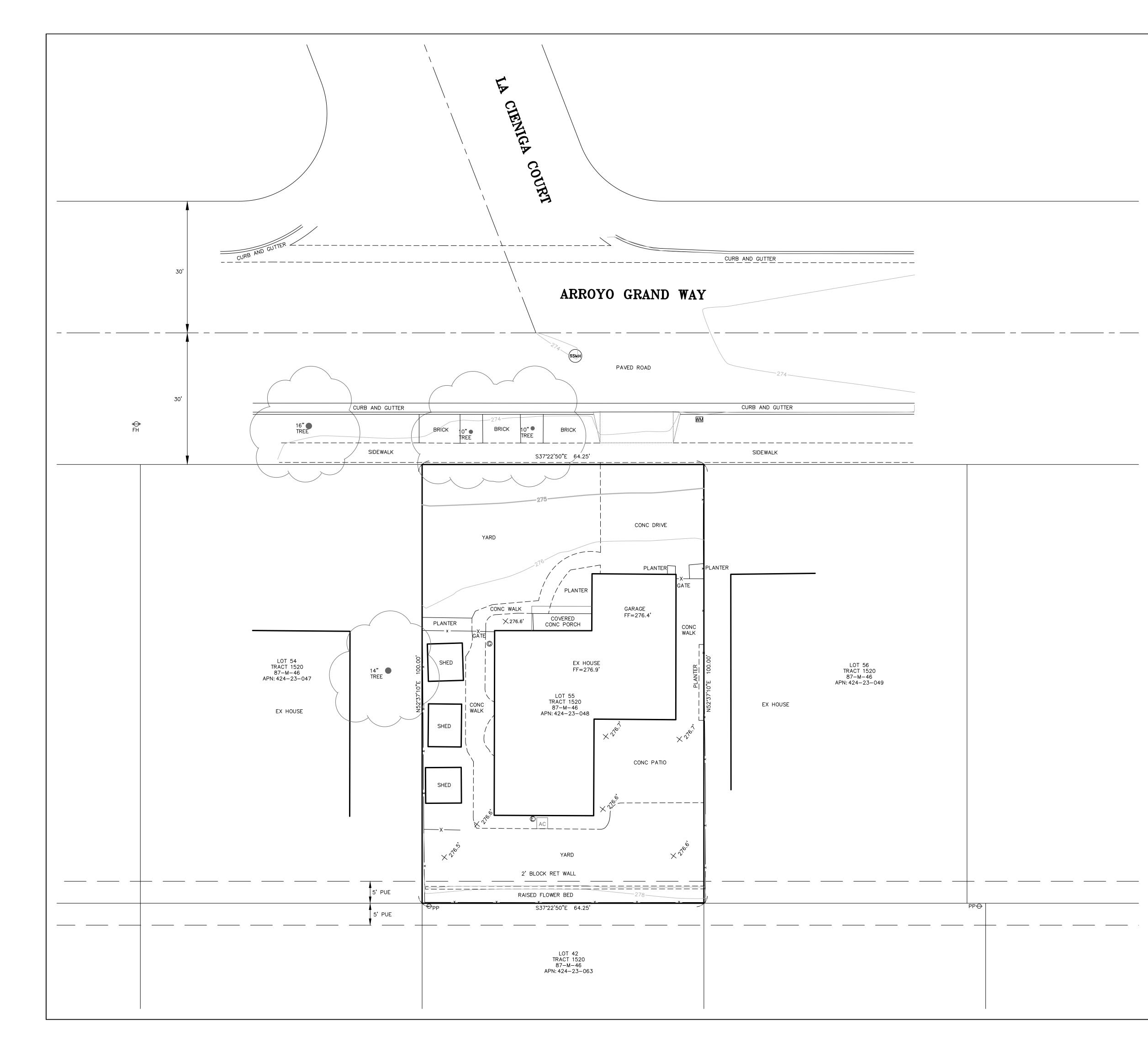


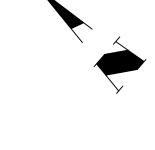


1/8" = 1'-0"



REVISIONS





LEGEND

	- x —
•••••	•••••••

PROPERTY BOUNDARY LOT LINE CENTER LINE EASEMENT LINE PAVEMENT CONCRETE/LIP OF GUTTER FENCE FLOW LINE TIELINE

ABBREVIATIONS

AC	AIR CONDITIONER UNIT
CH	CHIMNEY
CP	COVERED PORCH
DI	DRAIN INLET
DL	DRIP LINE
DW	DRY WELL
Е	ELECTRICAL METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
G	GAS METER
ĨĊV	IRRIGATION CONTROL VALVE
PP	POWER POLE
R.O.W.	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE POLE
WM	WATER METER
WV	WATER VALVE
PUE	PUBLIC UTILITY EASEMENT
I UL	I ODLIG OTLITT LASLMENT

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



	CAINED & ADDUCIALED	9505 SUGAR BABE DRIVE	GILROY, CALIFORNIA 95020						
REVISION									
No. DATE									
	TOPOGRAPHIC MAP FOR YOGESH JHAMB 140 ARROYO GRANDE WAY TOWN OF LOS GATOS, CALIF.								
DATE : 11_06_10	SCALE :	1"=10 [°]	UKAWN BI : T.W.	PROJ. MANAGER : D.E.					
SHEET		0F		Job No. 19107 DWG: JHAMB TP					

This Page Intentionally Left Blank