







VIEW #4



VIEW #1



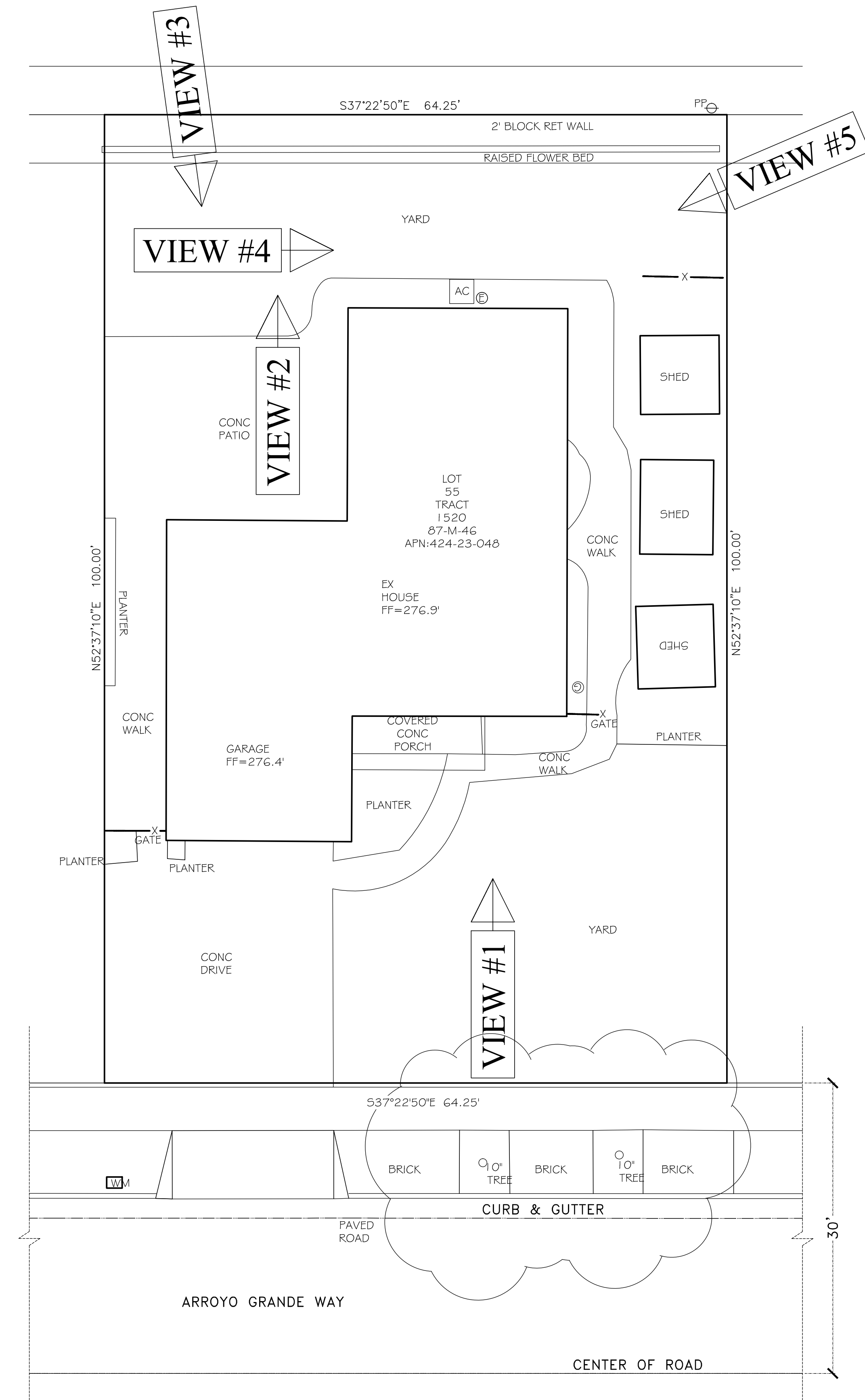
VIEW #5



VIEW #2

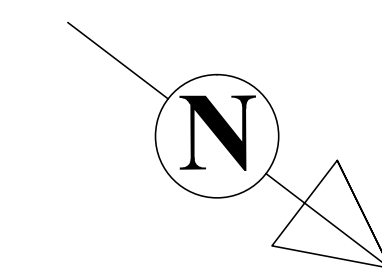


VIEW #3



**(E) SITE PLAN**

1/8" = 1'-0"



REVISIONS	BY

**KQ Design & Engineering**  
 793 KYLE STREET  
 SAN JOSE, CA 95127  
 PHONE: (408) 209-8775

**KYLE Q. KYLE & ASSOCIATES**  
 No. C57404  
 CIVIL  
 793 Kyle Street  
 San Jose, CA. 95127  
 Tel.: 408-209-8775  
 Email: kettel1@yahoo.com

New home for:  
**YOGESH JHAMB**  
 140 Arroyo Grande Way  
 Los Gatos, CA 95032  
**EXISTING SITE PLAN & SITE PHOTOS**

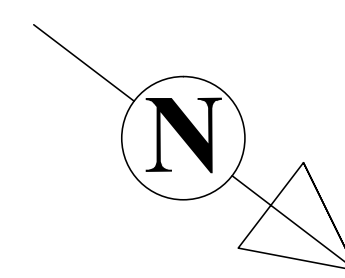
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**A2**  
 OF SHEETS





**EXISTING NEIGHBORHOOD SITE PLAN**  
1/8" = 1'-0"



**EXISTING NEIGHBORHOOD STREETSCAPE ELEVATION**  
1/8" = 1'-0"

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**KQ Design & Engineering**  
793 KYLE STREET  
SAN JOSE, CA 95127  
PHONE: (408) 209-8775

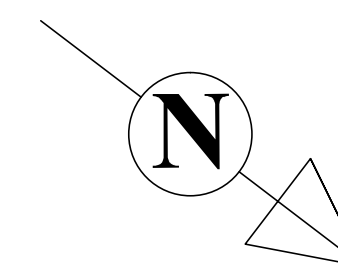
**REGISTERED PROFESSIONAL ENGINEER**  
No. C57404  
Exp. 12/31/2020  
CIVIL  
793 Kyle Street  
San Jose, CA, 95127  
Tel.: 408-209-8775  
Email: kettel1@yahoo.com

New home for:  
**YOGESH JHAMB**  
140 Arroyo Grande Way  
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**(E) NEIGHBORHOOD SITE PLAN**

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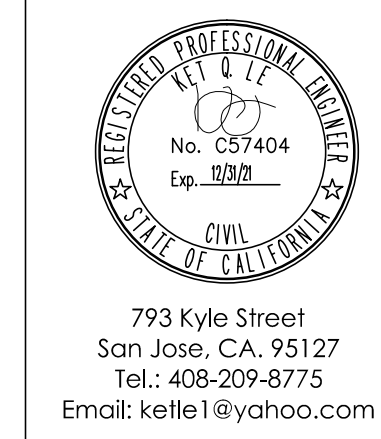
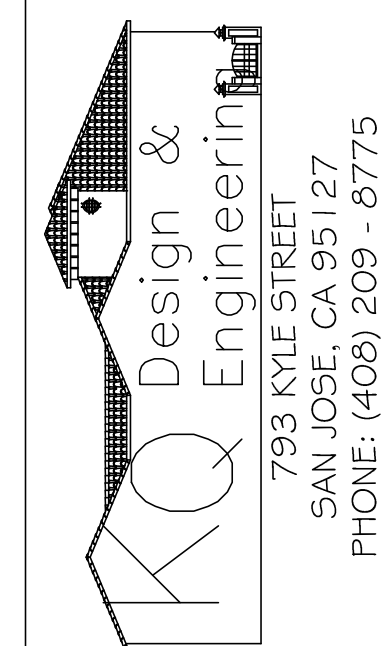


**NEW NEIGHBORHOOD SITE PLAN**  
1/8" = 1'-0"



**NEW NEIGHBORHOOD STREETSCAPE ELEVATION**  
1/8" = 1'-0"

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NEW NEIGHBORHOOD SITE PLAN

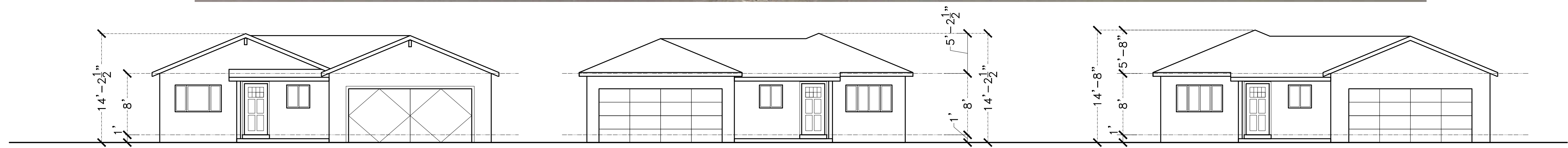
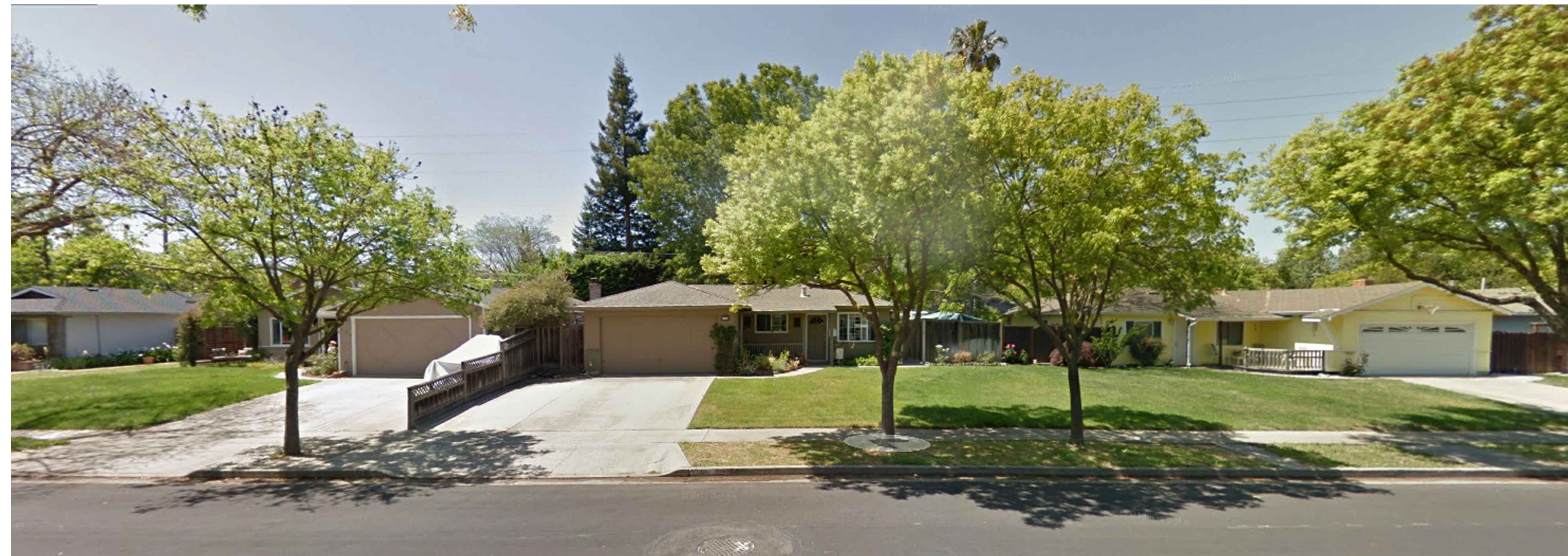
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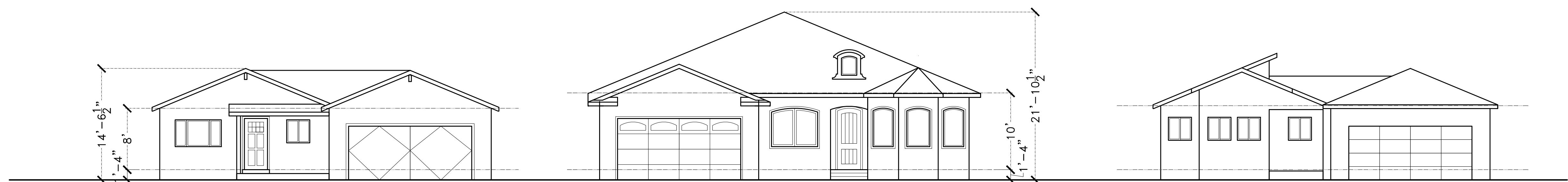
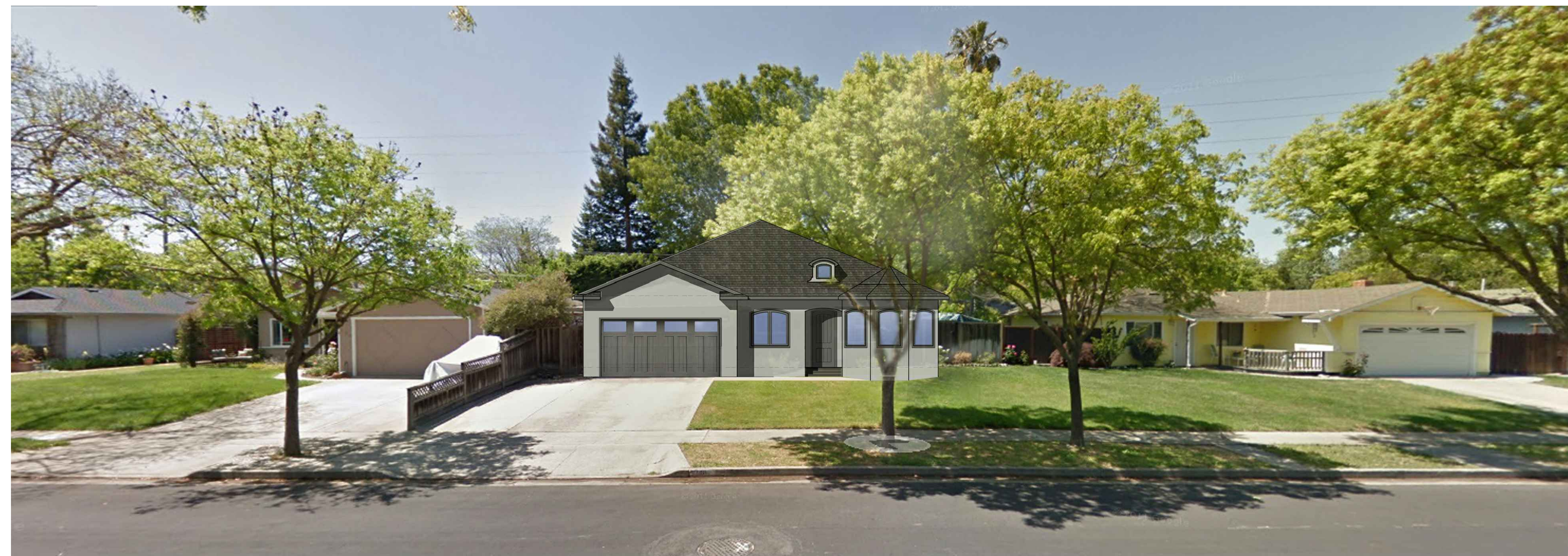
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OF SHEETS



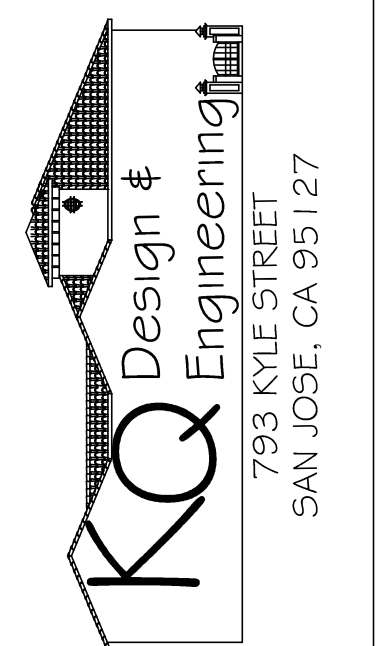


**EXISTING STREET VIEW**  
 1/8" = 1'-0"



**NEW STREET VIEW**  
 1/8" = 1'-0"

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793 Kyle Street  
 San Jose, CA, 95127  
 Tel: 408-209-8775  
 Email: kettle1@yahoo.com

New home for:  
**YOGESH JHAMB**  
 140 Arroyo Grande Way  
 Los Gatos, CA 95032  
**STREETSCAPE FRONT ELEVATIONS**

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**A3.3**  
 OF SHEETS

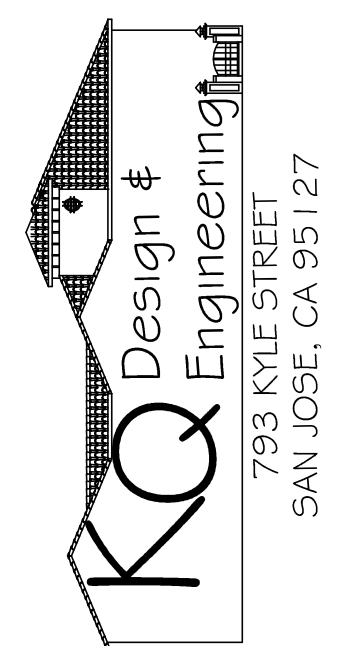


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**FRONT ELEVATION**  
1/4" = 1'-0"

Gable Front Elevation  
 Roofing: GAF Stormshield Asphalt Shale (GAF Advantage Series)  
 Siding: Plywood, Paint Color: Behr Weathered Moss (www.behr.com/interior/ColorDecorative/N3803)  
 Front Door: Wood finished Andersen Window Door Company, rear door and side garage door  
 Front door: www.andersenwindow.com/windowdoors/door/entrydoor/redecorateddoor/  
 Garage Door: Wood garage door Overhead Door Company Garage Door  
 Garage door: www.overheaddoor.com/radicalgaragedoors/  
 Windows: Wood finished Andersen Window Company, side windows  
 Andersen window: www.andersenwindow.com/windowdoors/window/area/windowdoor/  
 NOTE: Wood finish painted around and in door area 3 1/2 inches wide

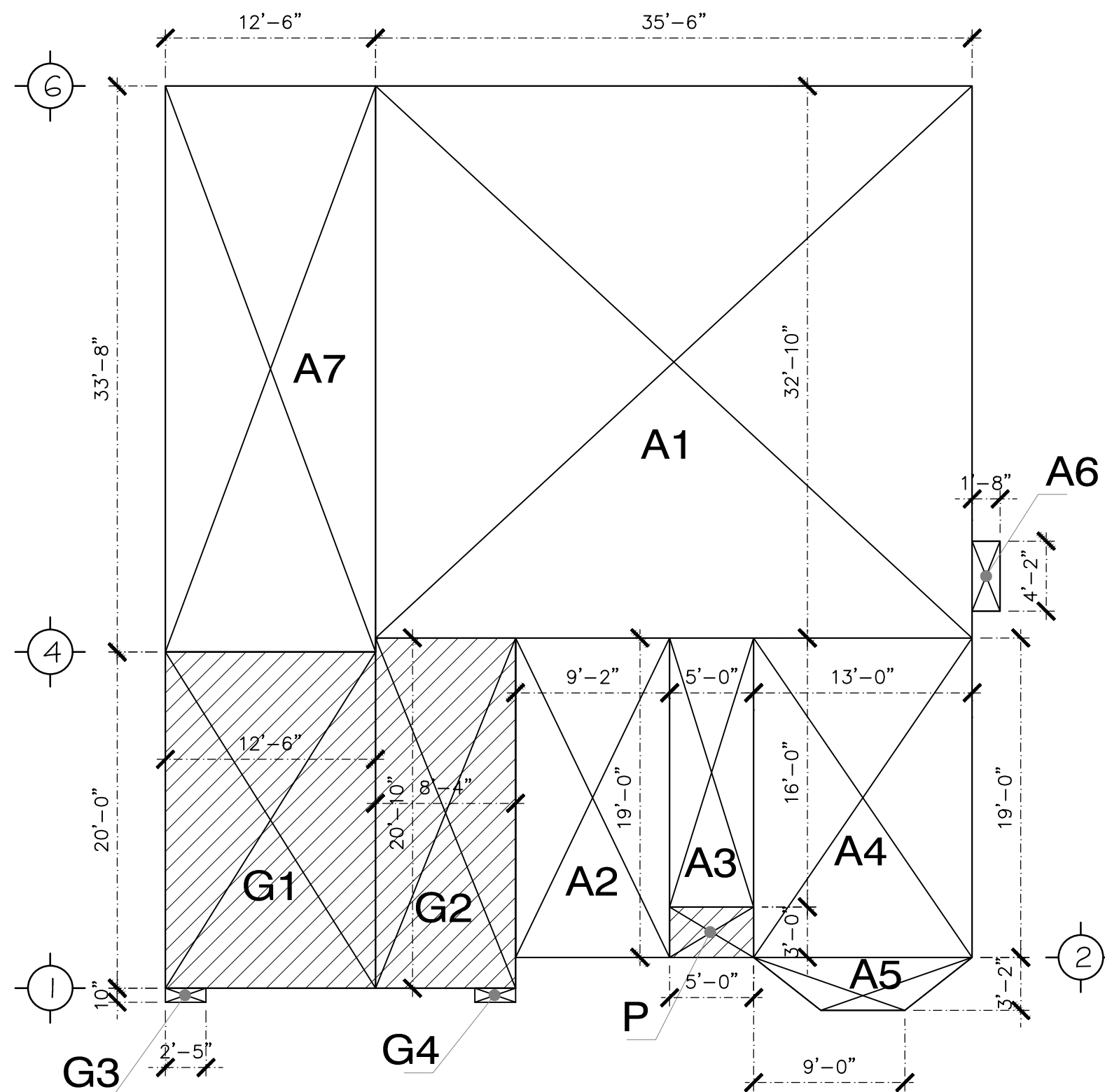


793 Kyle Street  
San Jose, CA, 95127  
Tel: 408-209-8775  
Email: kette1@yahoo.com

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 YOGESH JHAMB  
 140 Arroyo Grande Way  
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 FRONT ELEV. W/ COLOR & EXTERIOR MATERIALS

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**A3.4**



**FLOOR AREA CALCULATIONS:**

A1 = (35'-06" X 32'-10") =	1165.58 SF
A2 = (09'-02" X 19'-00") =	174.17 SF
A3 = (05'-00" X 16'-00") =	80.00 SF
A4 = (13'-00" X 19'-00") =	247.00 SF
A5 = (09'-00" X 03'-02") =	28.41 SF
A6 = (01'-08" X 04'-02") =	6.94 SF
A7 = (12'-06" X 33'-08") =	420.83 SF
<b>TOTAL =</b>	<b>2122.93 SF</b>

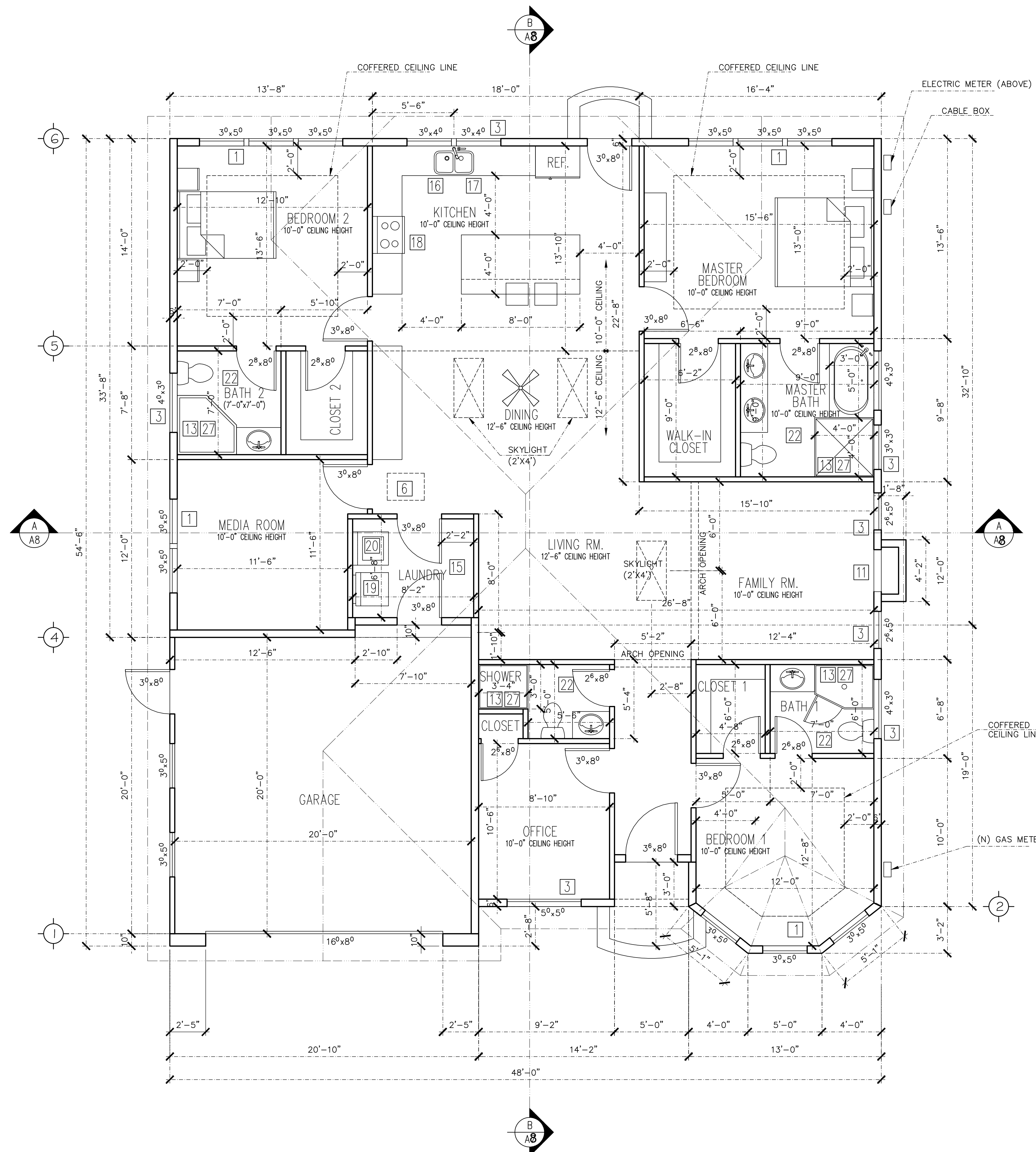
**GARAGE AREA CALCULATIONS:**

G1 = (12'-06" X 20'-00") =	250.00 SF
G2 = (08'-04" X 20'-10") =	173.61 SF
G3 = (00'-10" X 02'-05") =	2.01 SF
G4 = (00'-10" X 02'-05") =	2.01 SF
<b>TOTAL =</b>	<b>427.63 SF</b>

**PORCH AREA CALCULATIONS:**

P = (03'-00" X 05'-00") = 15.00 SF

OVERALL FOOTPRINT: 2122.93 + 427.63 + 15.00 = 2565.52 SF  
 LOT COVERAGE: 2565.52 / 6425 = 0.3993 OR 39.93%



**FLOOR PLAN**  
 1/4" = 1'-0"

**FLOOR PLAN KEYNOTES**

- Bedroom window shall be an egress window to have a minimum net clear opening of 5.7 square feet; and 5.0 sf for grade floor openings minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches, sill height not more than 44 inches above the floor. See detail 18/A9
- All window shall be sliding windows unless noted otherwise on plan. Style of window shall be selected by owner.
- Tempered safety glass required at these glazing locations per CBC 2406.3: ingress and egress doors, panels in sliding or swinging doors, doors and enclosure for hot tub, bathtub, showers, glazing in walls within 5'-0" of standing surface, glazing that is within 2'-0" of vertical edge of door and within 5'-0" of standing surface.
- Stair treads to be 10 inches minimum. Treads less than 11 inches require nosing. Nosing to be minimum 0.75 inches and maximum 1.25 inches. Stair risers to be 7.75 inches maximum. All stairs to be uniform in dimensions within 3/8 inch. Per section.
- 18 inch x 24 inch under-floor crawl space access opening, per CRC section 408.4 if under floor plumbing cleanout is installed, it must be located within 20'-0" of the access opening
- A readily accessible attic access, minimum 22 inch by 30 inch, located where at least 30 inches of clear headroom occurs and at attic space exceeding 30 sq. ft. per CRC R807.1.
- Width of landing at exterior door shall not be less than door opening width per R311.3
- Minimum 36 inch deep landing required at all exterior doors (landing shall not be more than 7.75 inches lower than threshold for in-swinging doors. R311.3.1. See detail 2/A9
- For the exterior entry door, maximum threshold shall be 1.5 inches from the finished floor to the landing, per section R311.3.1.
- All skylights shall be Velux skylights (ICC Evaluation Report # NER-216) or equal. Provide ICC report to inspector prior to installation.
- Heat-n-glo directed vent electric fireplace heater to be selected by owner. Electric fireplace shall UL listed or ICC approved. Provide manuf. specs to city inspector.
- Shower and tub/shower walls shall have a smooth, hard, non-absorbent surface over cement, fiber-cement or glass mat gypsum backer in compliance with ASTM C 1178, C 1288 or C1325 installed per manufacturer recommendations to a height not less than 6 feet above the floor per R307.2
- Water heater shall be seismically strapped to a wall, provide with 18" high platform, combustion air to outside, pressure relief valve to outside with drain. See detail 16/A9.
- F.A.U.: furnace in attic, see detail 2/A10. Combustion air from outside, vent to outside and provide setback thermostat.
- Dishwasher with drain to garbage disposal.
- Sink with garbage disposal.
- Cook top to be selected by owner. Vent to outside with backdraft damper.
- Washer space, provide cold & hot water supply, waste line and if on second floor, a pan with drain to exterior.
- Dryer space, provide vent to outside with smooth metal duct with backdraft damper.
- Provide 1/2 inch gypboard type 'X' on the garage side wall next to all living areas. Provide 5/8 type 'X' gypboard at ceiling if gypboard does not extend to roofing through the attic space. Table R302.6
- Toilet shall have 15 inches minimum from centerline of fixture to the adjacent wall or obstruction on each side. Minimum 30 inches is required for any similar fixtures such as a bidet. Per section 407.5 of 2019 CPC.
- Door from garage to kitchen area shall be a 1-3/8" thick solid wood door, solid or honeycomb core steel door, or 20 minute rated fire door. Doors shall be a self-latching and self-closing door per R302.5.1.
- Elements appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor per CMC 307.1 and CPC 508.14.
- Ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 26 gage sheet metal steel or other approved material and shall have no openings into the garage per R302.5.2.
- The maximum hot water temperature discharging from the bathtub, shower and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for meeting this provision. CPC 414.5 and 418.0.
- Control valves and showerheads shall be located on the sidewall of shower compartments or be otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment and the bather can adjust the valves prior to stepping into the shower spray per section 408.9 of 2019 CPC
- shower shall have a minimum area of 1024 sq. inches and a minimum finish dimension of 30 inches in any directions. an outward swinging 22 inch minimum clear door shall be provided.

**GENERAL NOTES FOR CONTRACTOR.**

REVISIONS	BY

**KQ Design & Engineering**  
 793 KYLE STREET  
 SAN JOSE, CA 95127

793 Kyle Street  
 San Jose, CA. 95127  
 Tel: 408-209-8775  
 Email: ketel1@yahoo.com

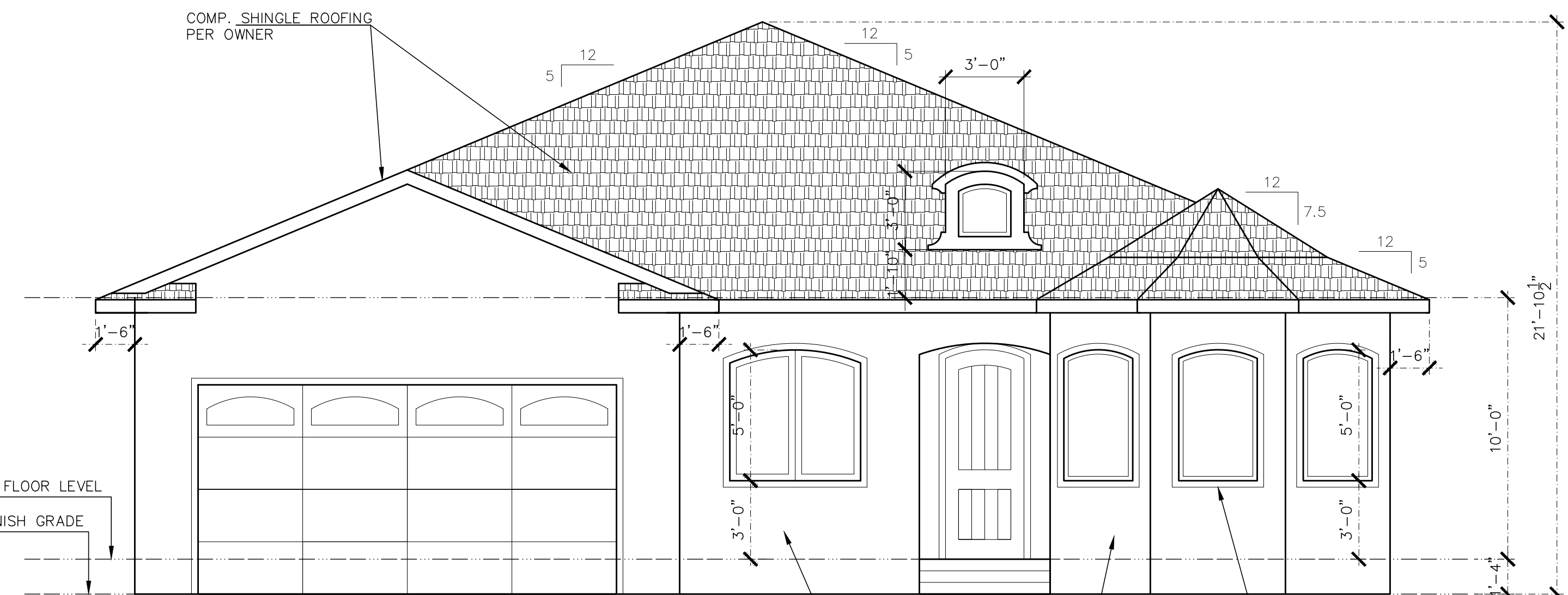
New home for:  
**YOGESH JHAMB**  
 140 Arroyo Grande Way  
 Los Gatos, CA 95032  
**FLOOR PLAN**

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**RIGHT SIDE ELEVATION**

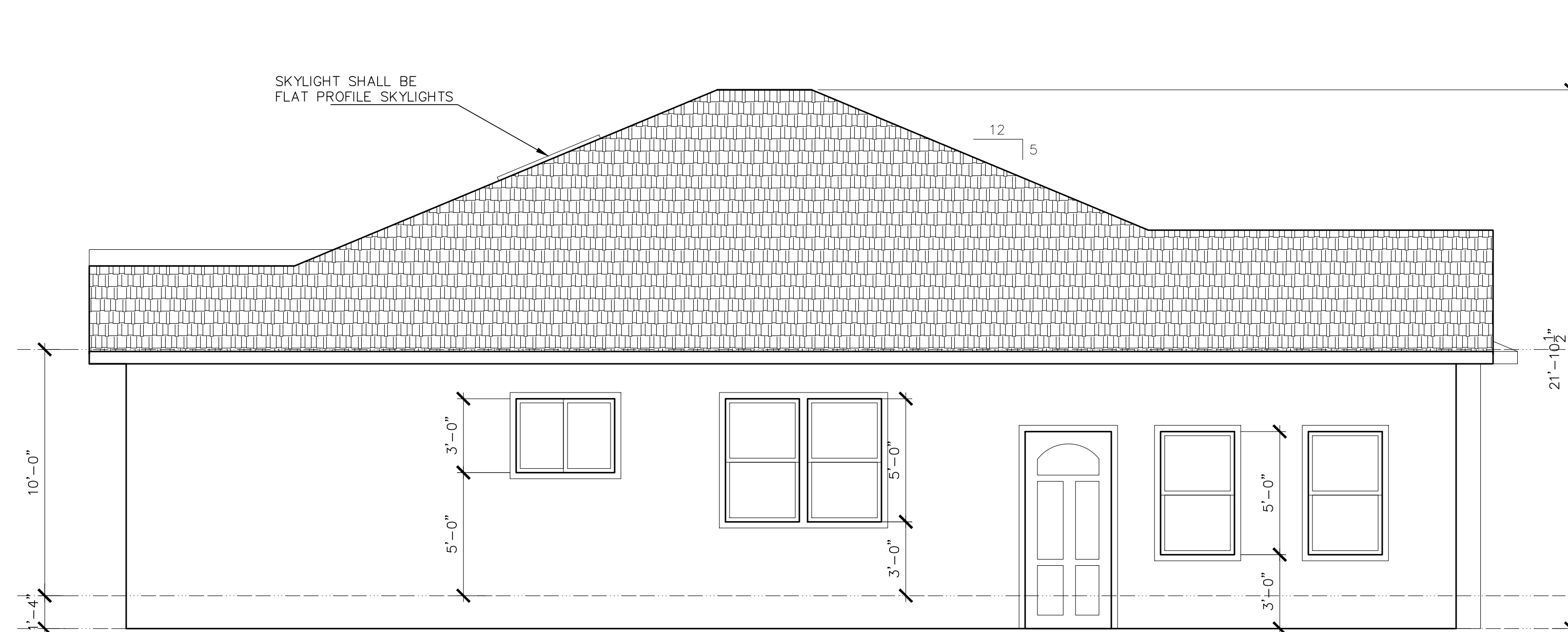
1/4" = 1'-0"



**FRONT ELEVATION**

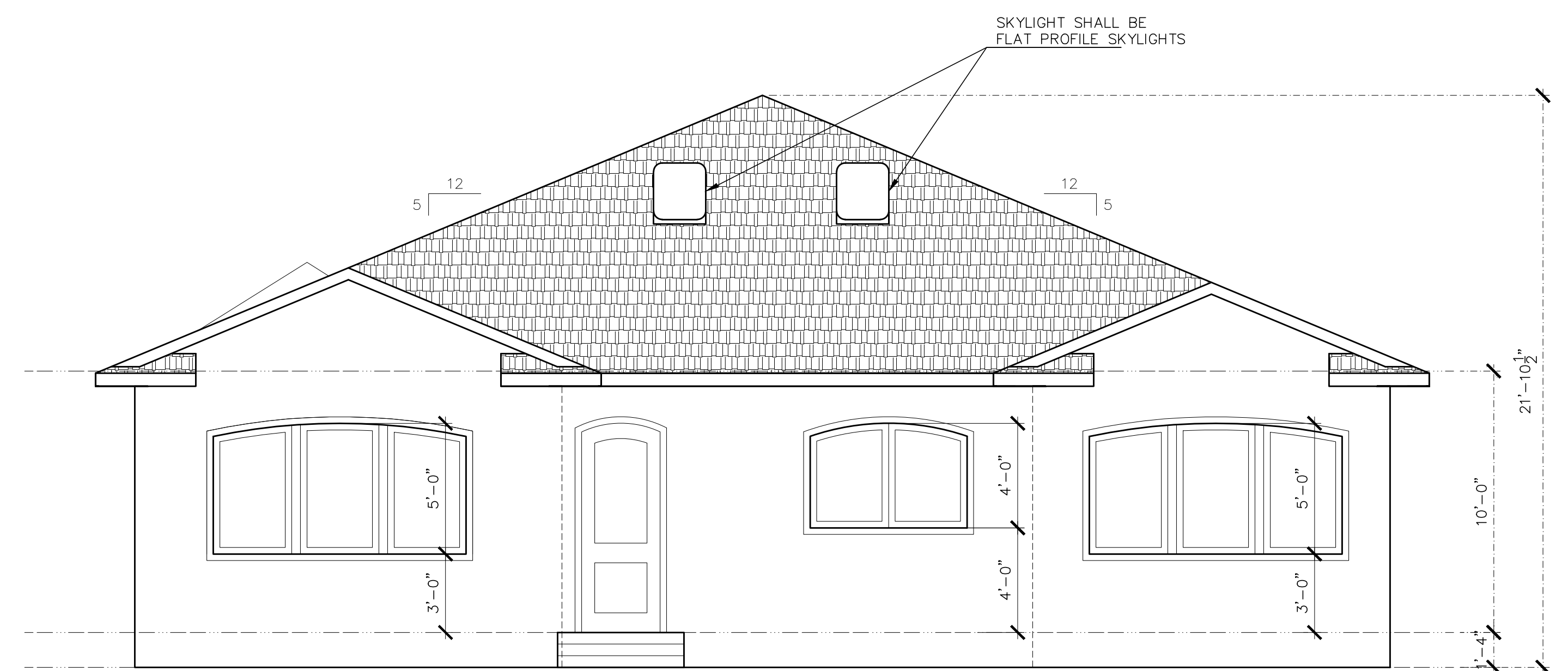
1/4" = 1'-0"

LIGHTING NOTE: All exterior lighting shall be recessed and shielded. All lighting shall be in accordance with the City of San Jose Ordinance 29.10.09015 and the applicable code requirements.



**LEFT SIDE ELEVATION**

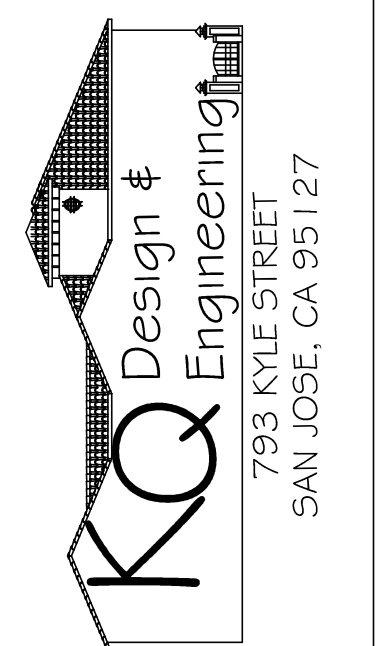
1/4" = 1'-0"



**REAR ELEVATION**

1/4" = 1'-0"

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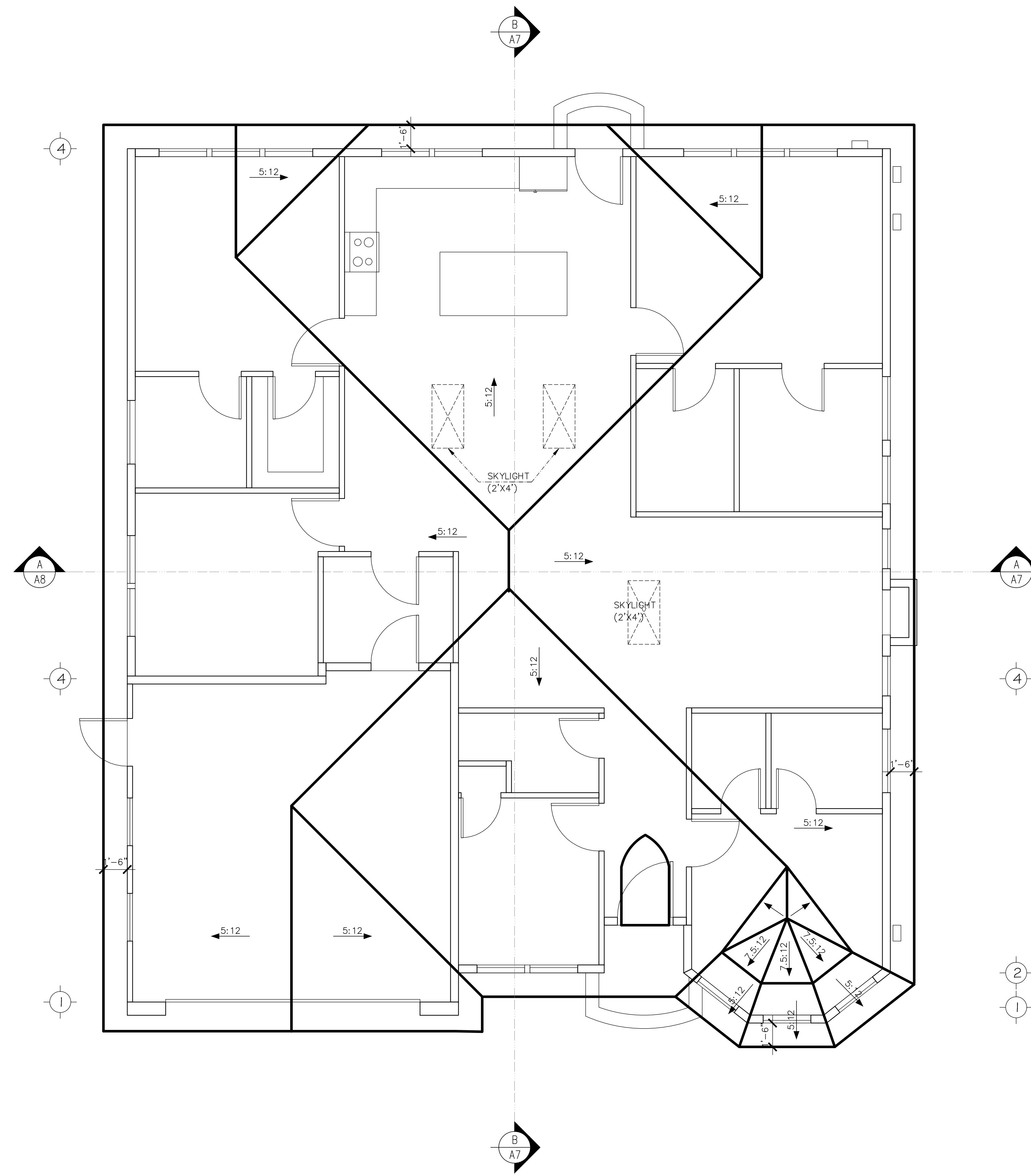
793 Kyle Street  
San Jose, CA, 95127  
Tel: 408-209-8775  
Email: kette1@yahoo.com

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Los Gatos, CA 95032  
ELEVATIONS

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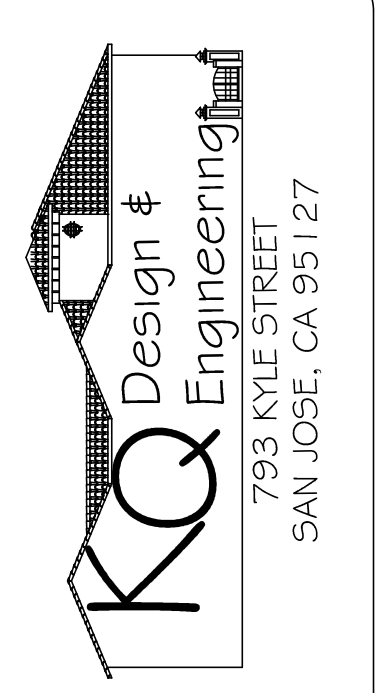
**A5**





**ROOF PLAN**  
1/4" = 1'-0"

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793 Kyle Street  
San Jose, CA, 95127  
Tel: 408-209-8775  
Email: kette1@yahoo.com

New home for:  
**YOGESH JHAMB**  
140 Arroyo Grande Way  
Los Gatos, CA 95032  
**ROOF PLAN**

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**A6**



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**KQ Design & Engineering**  
 793 KYLE STREET  
 SAN JOSE, CA 95127  
 PHONE: (408) 209-8775

**REGISTERED PROFESSIONAL ENGINEER**  
 No. C57404  
 Exp. 03/31  
 CIVIL  
 STATE OF CALIFORNIA  
 793 Kyle Street  
 San Jose, CA. 95127  
 Tel.: 408-209-8775  
 Email: kettel@yahoo.com

New home for:  
**YOGESH JHAMB**  
 140 Arroyo Grande Way  
 Los Gatos, CA 95032  
**DRAINAGE PLAN**

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**A7**  
 OF SHEETS

**LANDSCAPE LEGEND:**

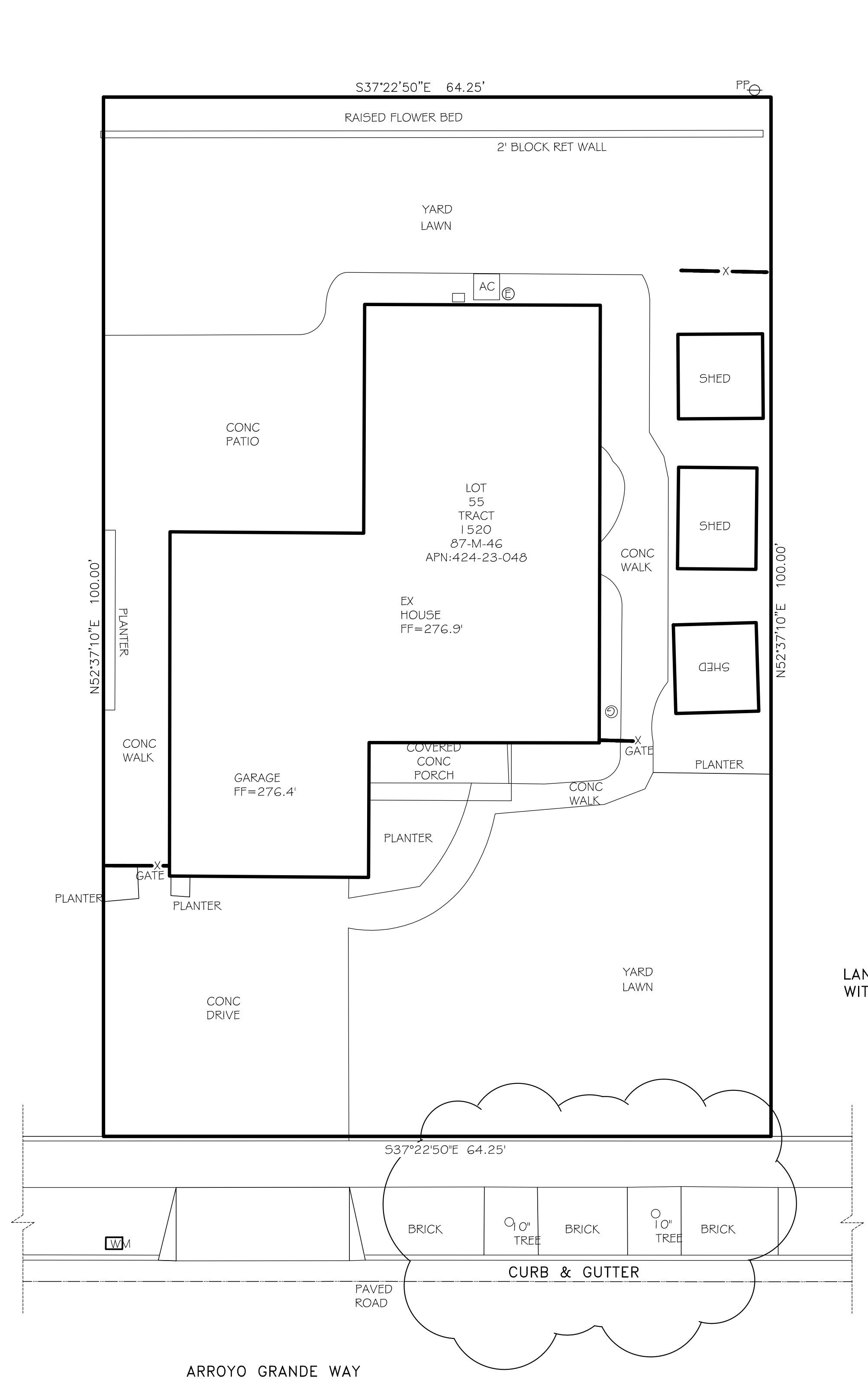
- DENOTES LAWN AREA
- DENOTES CONCRETE PAVERS
- DENOTES 6'-0" TALL REDWOOD FENCE
- DENOTES CONCRETE AREA
- DENOTES LANDSCAPED AREA WITH BARK MULCH
- DENOTES LANDSCAPED AREA WITH GRAVEL

**SYMBOL LEGEND:**

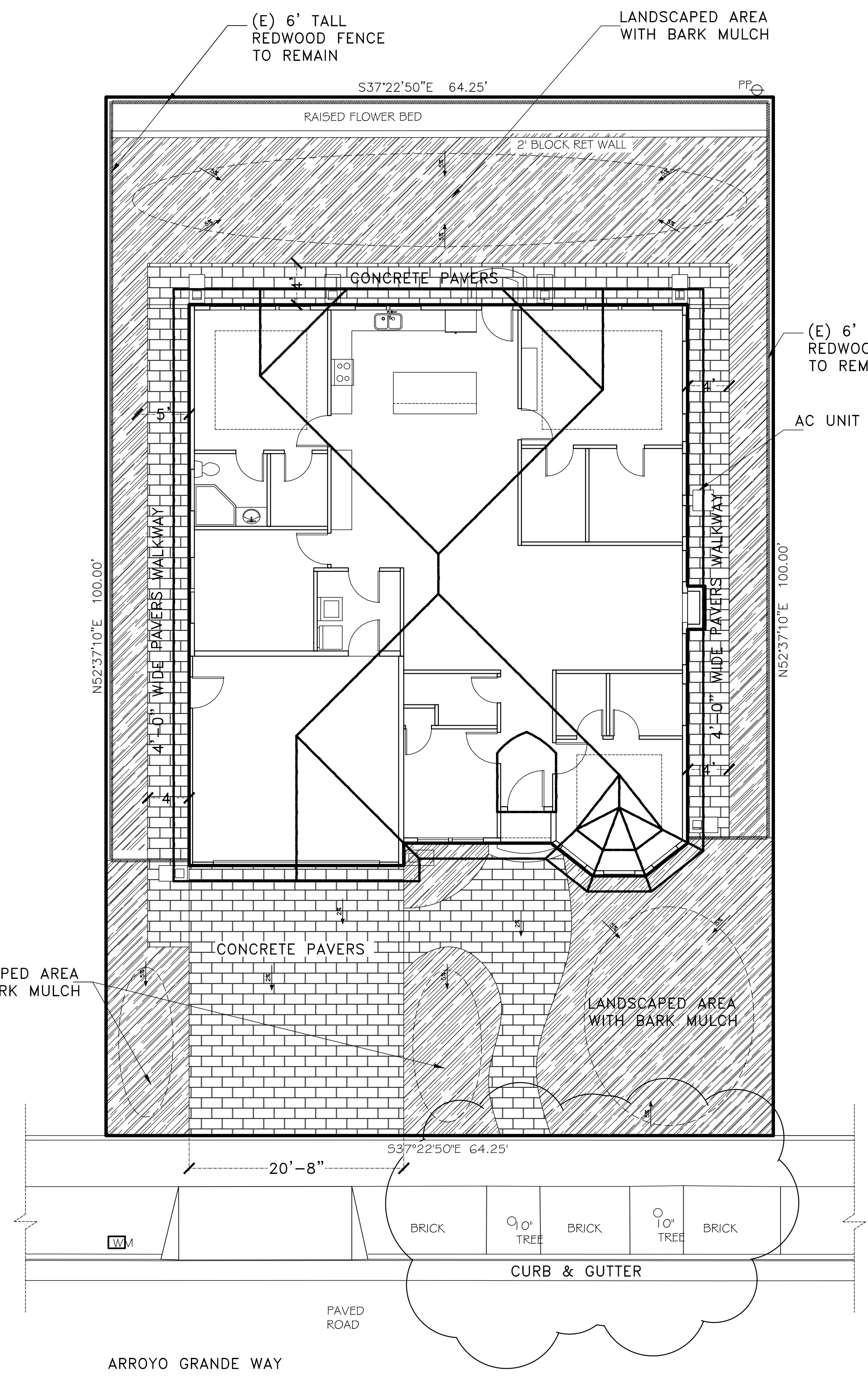
- DENOTES A DOWNSPOUT DOWN TO A SPLASH BLOCK
- DOWNSPOUT
- SPLASH BLOCK TO DIRECT WATER AWAY FROM HOUSE
- GRADE

**SITE DRAINAGE NOTE:**

1. THE CONTRACTOR SHALL NOT ALTER PRE-EXISTING DRAINAGE PATTERNS EXISTING FROM ADJACENT PROPERTIES IN A MANNER THAT NEGATIVELY IMPACTS THOSE PROPERTIES.
2. ROOF WATER DOWN SPOUTS DISCHARGING TO SPLASH BLOCKS MUST BE PROVIDED TO CARRY RAIN WATER AWAY FROM FOUNDATION. DRAINAGE CAN NOT DRAIN INTO ADJACENT PROPERTIES.
3. THE SITE SHALL BE FINE GRADED TO PROVIDED A MINIMUM OF 5% SLOPE AWAY FROM HOUSE FOR THE FIRST 10 FT., FOR PERVIOUS SURFACE.
4. FOR IMPERVIOUS SURFACE, GRADE TO BE 2% MINIMUM AWAY FROM HOUSE FOR THE FIRST 10 FT.

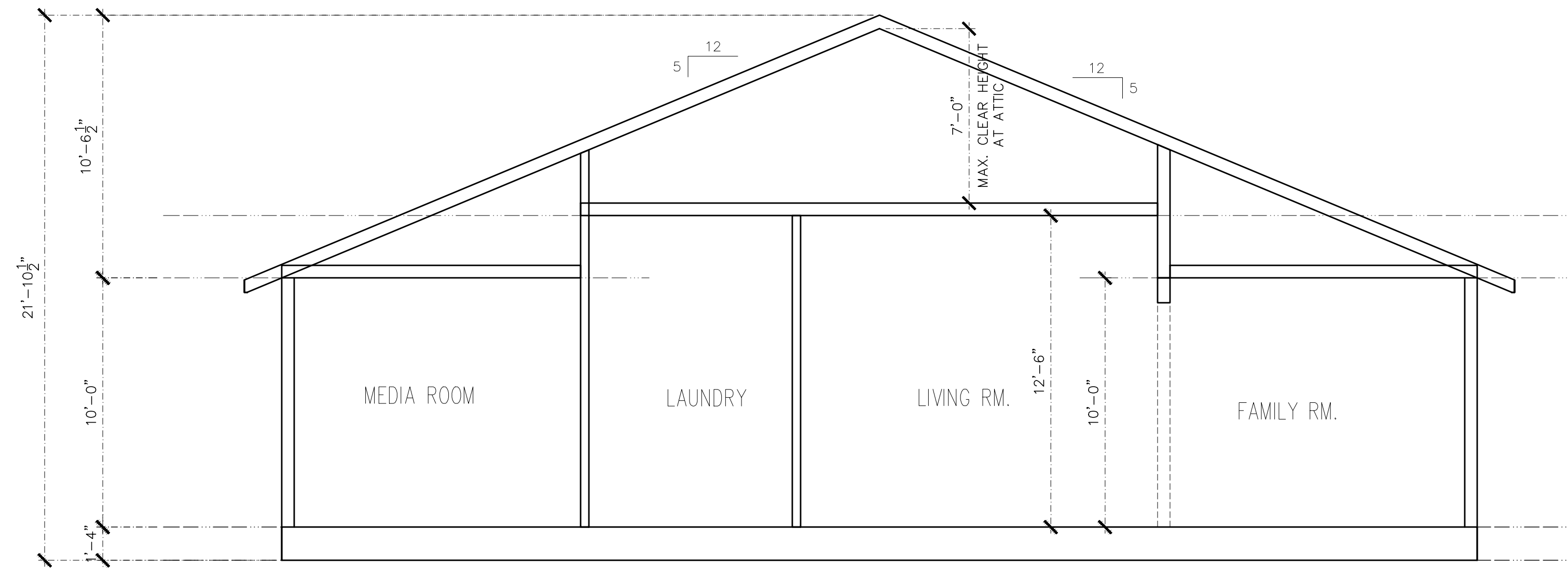


**(E) DRAINAGE PLAN**  
 1/8" = 1'-0"



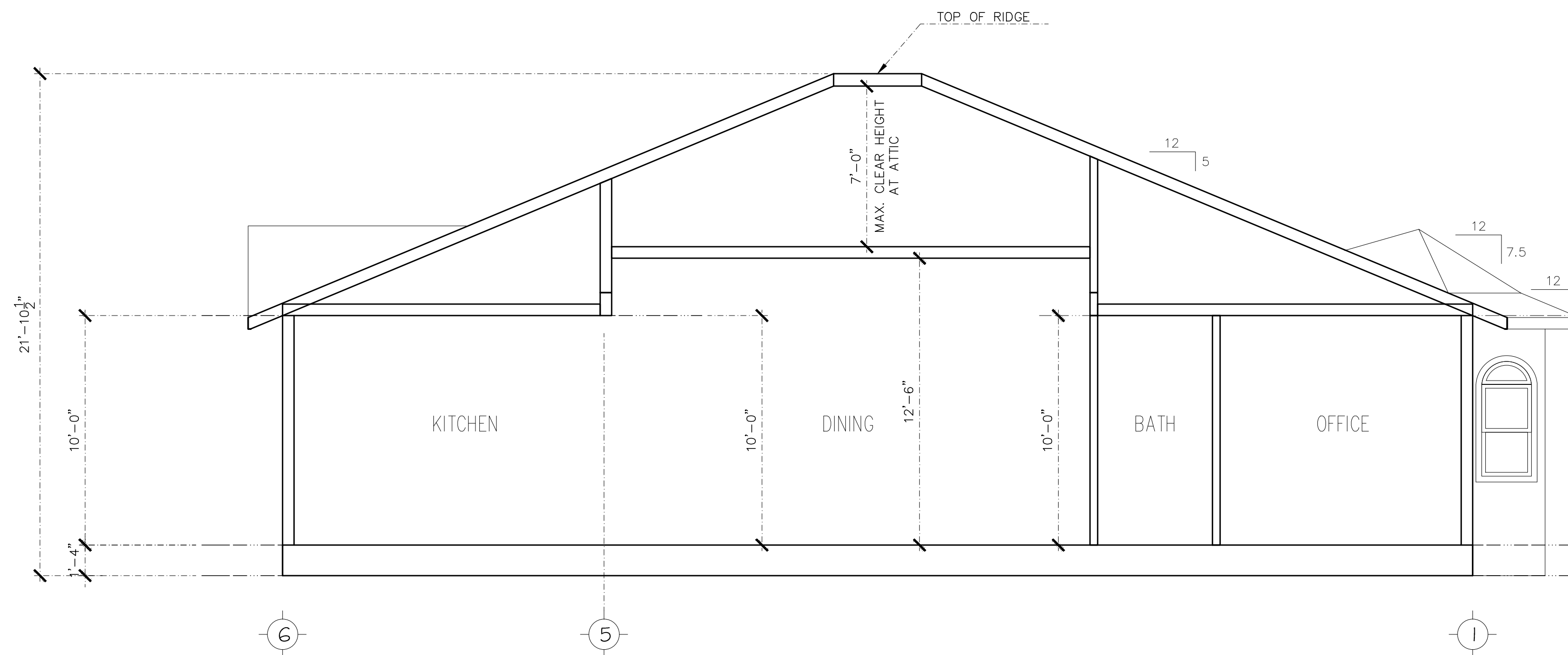
**(N) DRAINAGE PLAN**  
 1/8" = 1'-0"





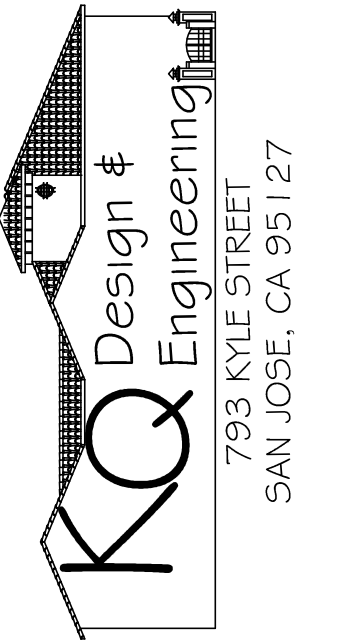
**SECTION A-A**

1/4" = 1'-0"

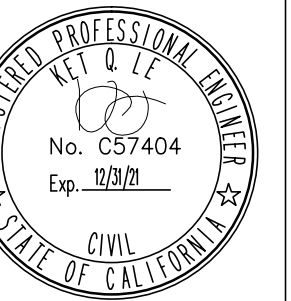


**SECTION B-B**

1/4" = 1'-0"



793 KYLE STREET  
SAN JOSE, CA 95127



793 Kyle Street  
San Jose, CA, 95127  
Tel: 408-209-8775  
Email: kettle1@yahoo.com

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SECTIONS

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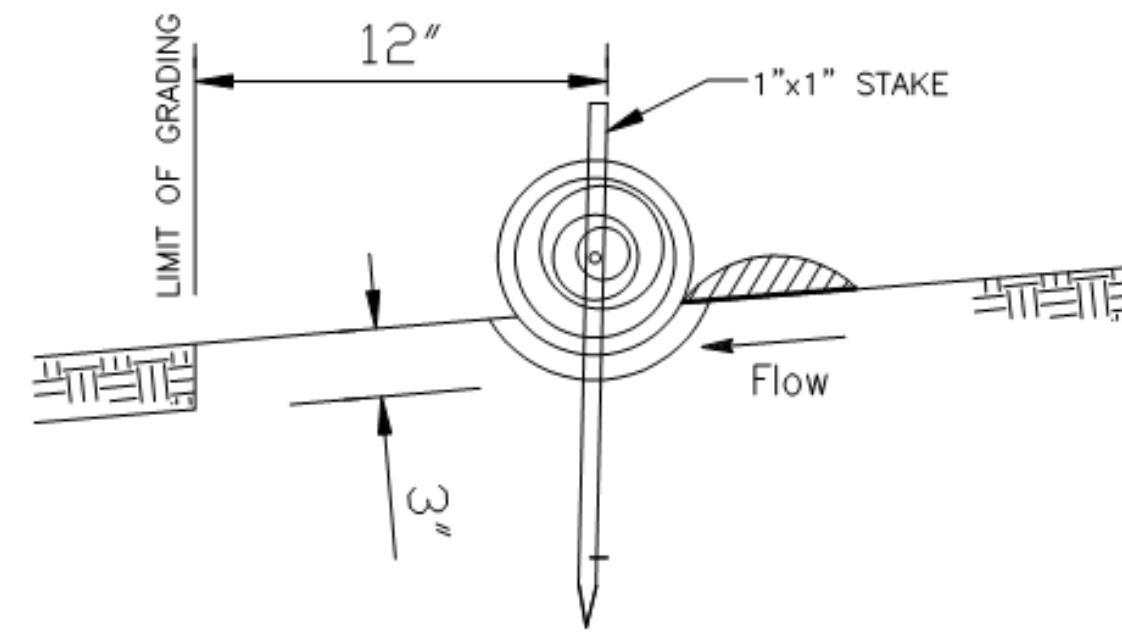
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**A8**

OF

SHEETS





**FIBER ROLL**  
N.T.S.

**FIBER ROLL NOTES**

1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading

**EROSION AND SEDIMENT CONTROL NOTES AND MEASURES**

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall confirm to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls maybe removed after areas above them have been stabilized.

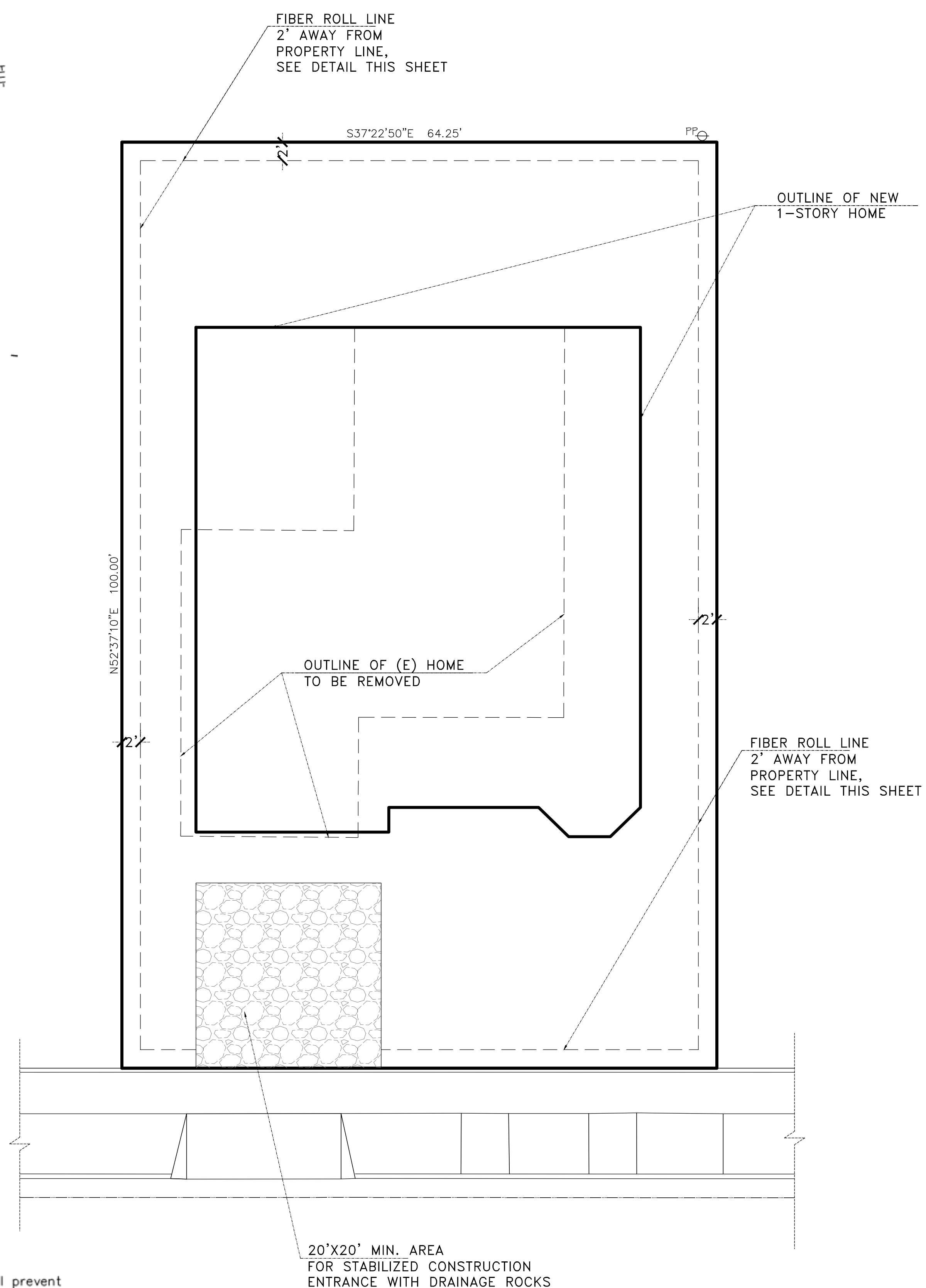
**MAINTENANCE NOTES**

1. Maintenance is to be performed as follows:
  - A. Repair damages caused by soil erosion or construction at the end of each working day.
  - B. Swales shall be inspected periodically and maintained as needed.
  - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
  - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
  - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
  - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project, shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

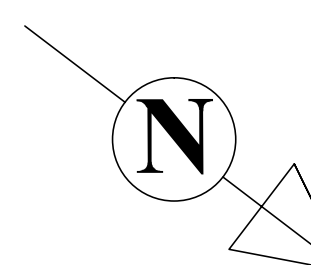
**Maintenance**

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

**STABILIZED CONSTRUCTION ENTRANCE  
(TO BE MAINTAINED)**



**EROSION CONTROL PLAN**  
1/8" = 1'-0"



REVISIONS	BY

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793 KYLE STREET  
SAN JOSE, CA 95127  
PHONE: (408) 209-8775

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**EROSION CONTROL PLAN**

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**KQ Design & Engineering**  
 793 KYLE STREET  
 SAN JOSE, CA 95127  
 PHONE: (408) 209-8775



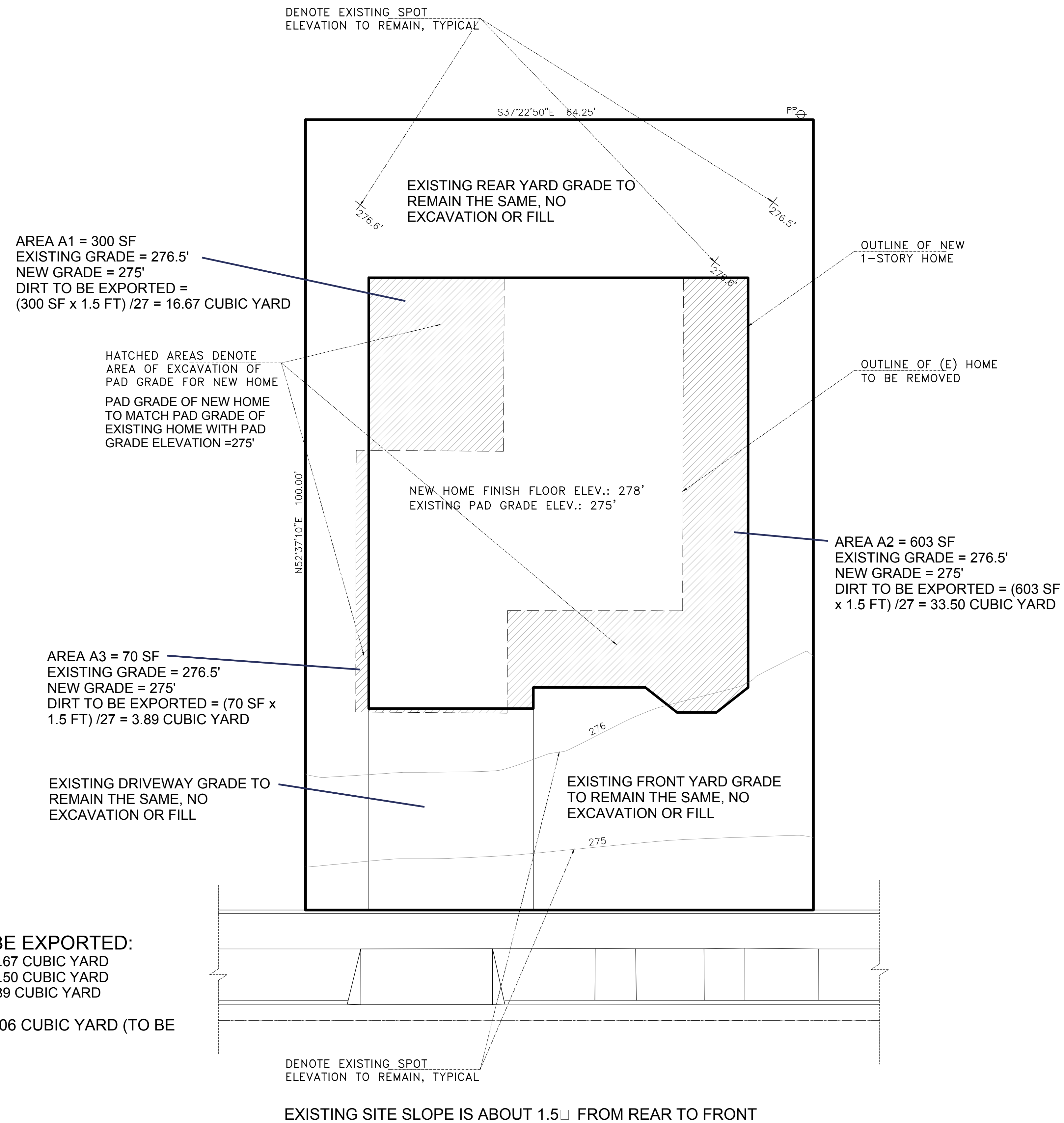
793 Kyle Street  
 San Jose, CA. 95127  
 Tel.: 408-209-8775  
 Email: kette1@yahoo.com

New home for:  
**YOGESH JHAMB**  
 140 Arroyo Grande Way  
 Los Gatos, CA 95032  
**GRADING PLAN**

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

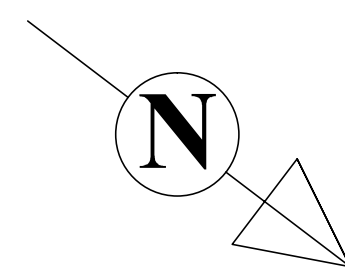
**A8.2**

OF SHEETS



**DIRT TO BE EXPORTED:**  
 AREA A1 = 16.67 CUBIC YARD  
 AREA A2 = 33.50 CUBIC YARD  
 AREA A3 = 3.89 CUBIC YARD  
**TOTAL = 54.06 CUBIC YARD (TO BE EXPORTED)**

**GRADING PLAN**  
 1/8" = 1'-0"



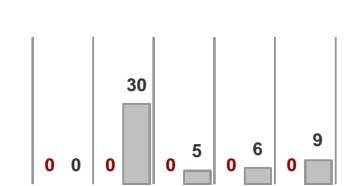


GreenPoint Rated Checklist: Single Family

The GreenPoint Rated Checklist is a free resource available to all home builders. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.



Points Achieved: 0



Single Family New Home 4.0 / 2008 Title 24

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section A: SITE includes items like 1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees, 2. Diver/Recycle Job Site Construction Waste, 3. Use Recycled Content Aggregate (Minimum 25%), 4. Cool Site: Reduce Heat Island Effect On Site.

Build It Green

State Fair Center, No. Hildebrand

Page 1 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section C: LANDSCAPE includes items like 1. Group Plants by Water Needs (Hydrozoning), 2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement, 3. Construct Resource-Efficient Landscapes.

Build It Green

State Fair Center, No. Hildebrand

Page 2 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section D: STRUCTURAL FRAME & BUILDING ENVELOPE includes items like 1. Apply Optimal Value Engineering, 2. Construction Material Efficiencies, 3. Use Engineered Lumber, 4. Insulated Headers, 5. Use FSC-Certified Wood.

Build It Green

State Fair Center, No. Hildebrand

Page 3 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section E: EXTERIOR includes items like 1. Use Environmentally Preferable Decking, 2. Flashing Installation Techniques Specified and Third-Party Verified, 3. Install a Rain Screen Wall System.

Build It Green

State Fair Center, No. Hildebrand

Page 4 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section I: RENEWABLE ENERGY includes items like 1. Pre-Plumb for Solar Water Heating, 2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200' of South-Facing Cable Tray.

Build It Green

State Fair Center, No. Hildebrand

Page 5 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section J: BUILDING PERFORMANCE includes items like 1. Building Envelope Diagnostic Evaluations, 2. Required: Building Performance Exceeds Title 24 (Minimum 15%), 3. Design and Build Near Zero Energy Homes.

Build It Green

State Fair Center, No. Hildebrand

Page 6 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section L: FLOORING includes items like 1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area), 2. Thermal Mass Floors (Minimum 50%), 3. Low Emitting Flooring (Section 01350, CRI Green Label Plus).

Build It Green

State Fair Center, No. Hildebrand

Page 7 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section O: COMMUNITY DESIGN & PLANNING includes items like 1. Develop Infill Sites, 2. Build on Designated Brownfield Site, 3. Cluster Homes & Keep Size in Check.

Build It Green

State Fair Center, No. Hildebrand

Page 8 of 11

Enter Project Name

Table with columns: Points Achieved, Community, Energy, IAQ/Health, Resources, Water, Notes. Section P: PLUMBING includes items like 1. Grease Pre-Prevention (Under-Cabinet Water Mop), 2. Grease Sub-Overlays (Under-Cabinet Water Mop), 3. Insulate Water Heater (Insulated Water and Sediment Filter, Aerobic Strainer).

Build It Green

State Fair Center, No. Hildebrand

Page 10 of 11

Table with columns: REVISIONS, BY. Empty table for tracking changes.

KQ Design & Engineering logo and contact information: 793 KYLE STREET, SAN JOSE, CA 95127, PHONE: (408) 209-8775.

Professional Engineer seal for K. Q. Design & Engineering, No. C57404, Exp. 03/31.

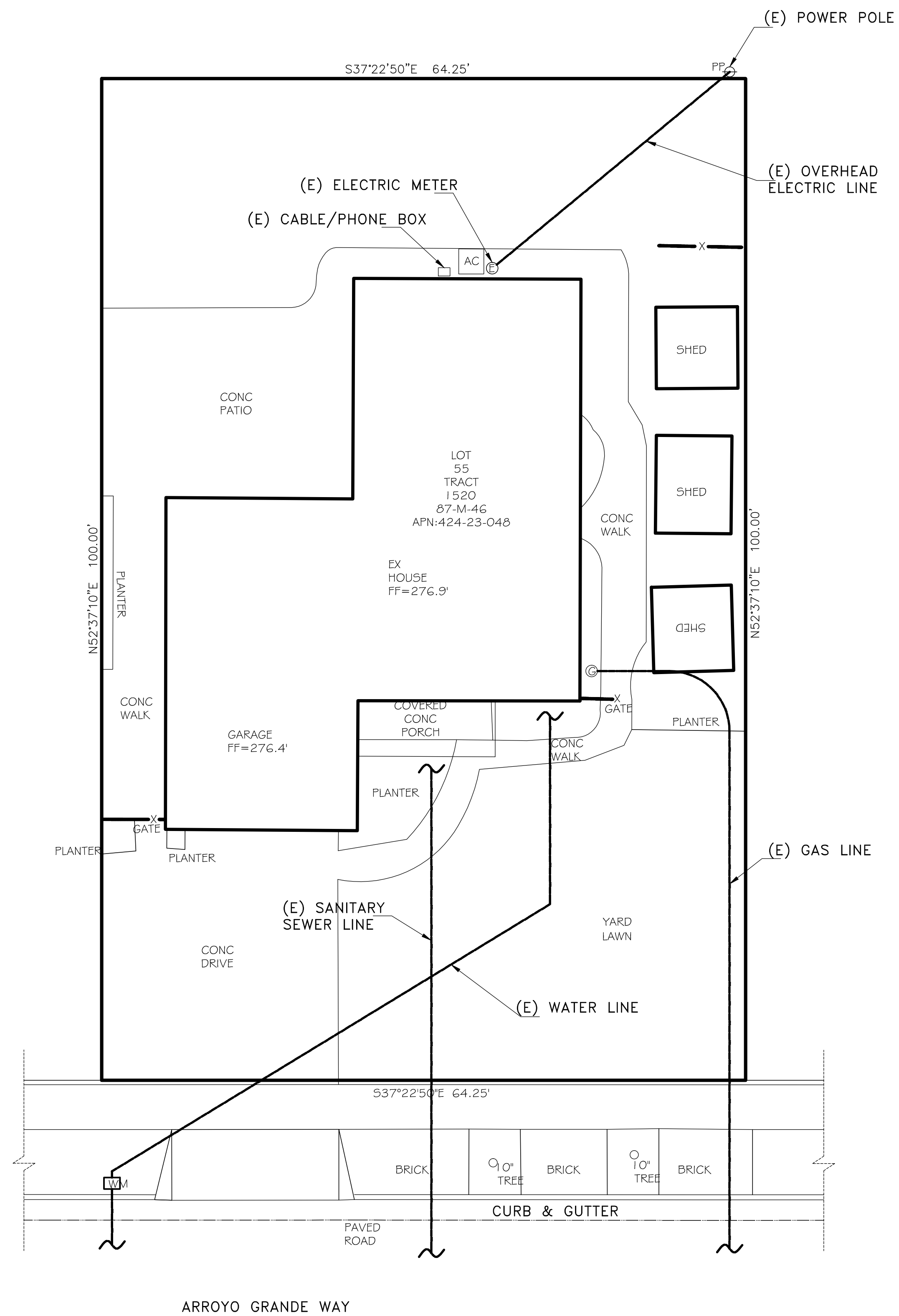
793 Kyle Street, San Jose, CA 95127, Tel: 408-209-8775, Email: kette1@yahoo.com

New home for: YOGESH JHAMB, 140 Arroyo Grande Way, Los Gatos, CA 95032. BUILD IT GREEN CHECKLIST.

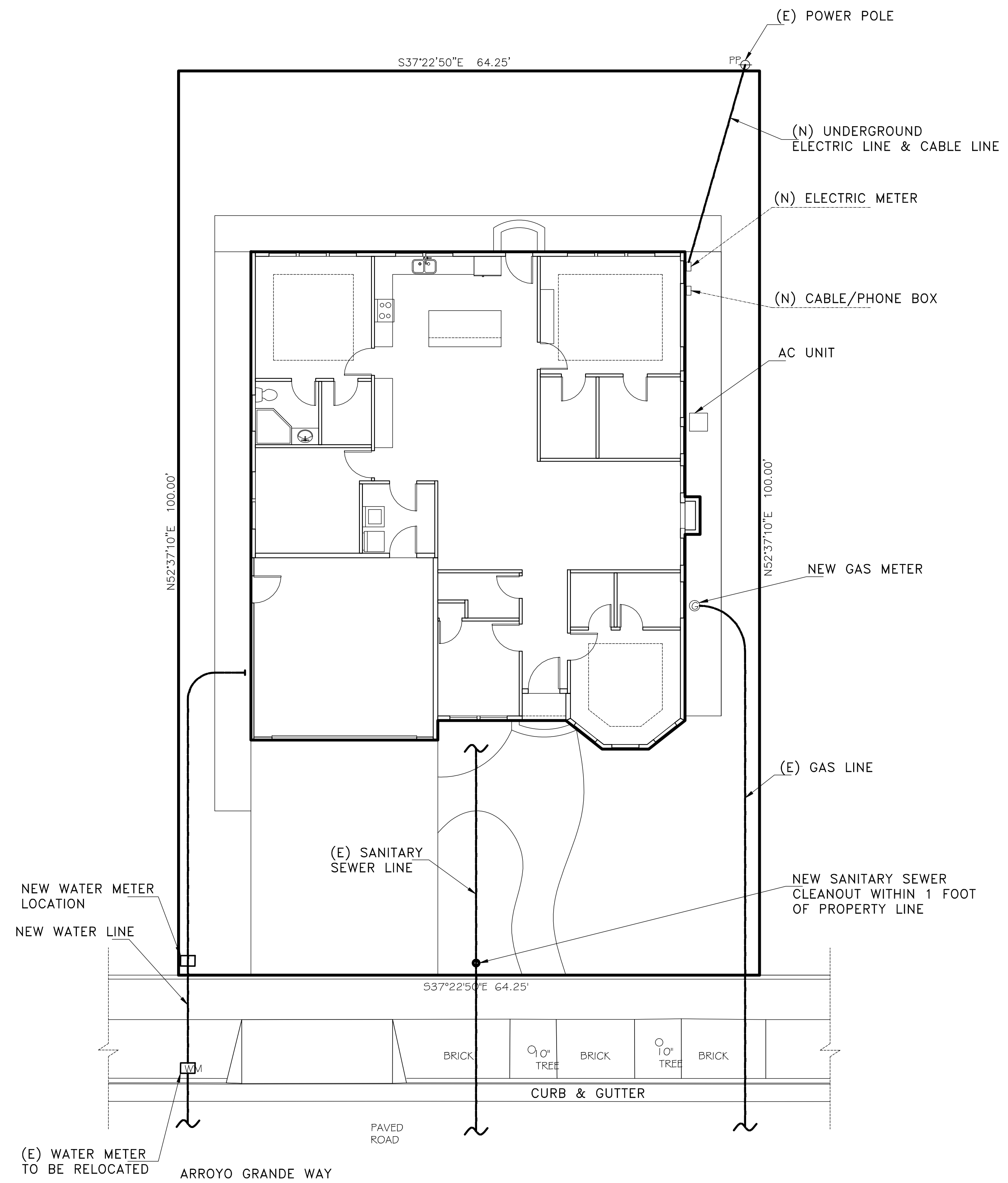
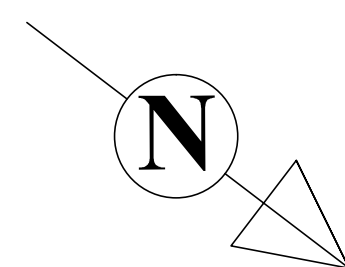
DRAWN, CHECKED, DATE, SCALE, JOB NO., SHEET.

A8.3 OF SHEETS

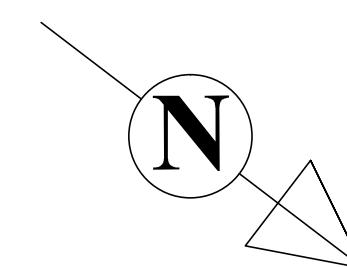




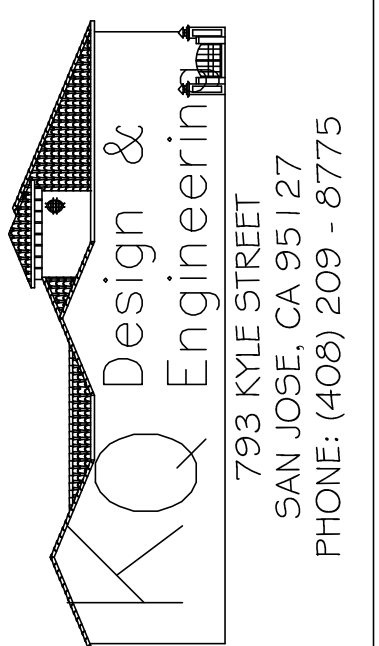
**(E) UTILITY PLAN**  
1/8" = 1'-0"



**(N) UTILITY PLAN**  
1/8" = 1'-0"



REVISIONS	BY



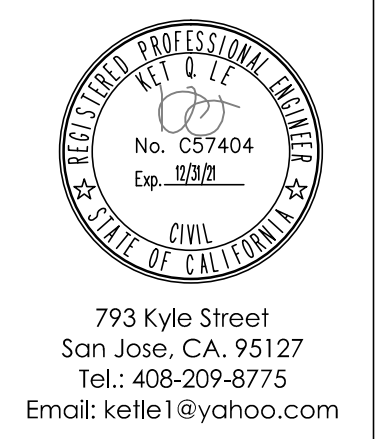
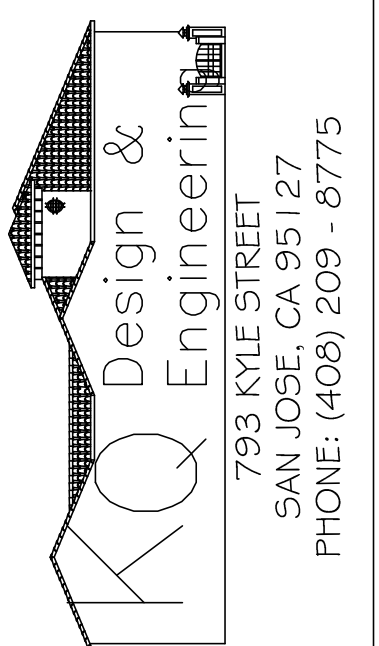
New home for:  
**YOGESH JHAMB**  
140 Arroyo Grande Way  
Los Gatos, CA 95032  
**UTILITY PLAN**

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET

**A8.4**  
OF SHEETS



REVISIONS	BY



New home for:  
**YOGESH JHAMB**  
140 Arroyo Grande Way  
Los Gatos, CA 95032  
**GROUND COVER PLAN**

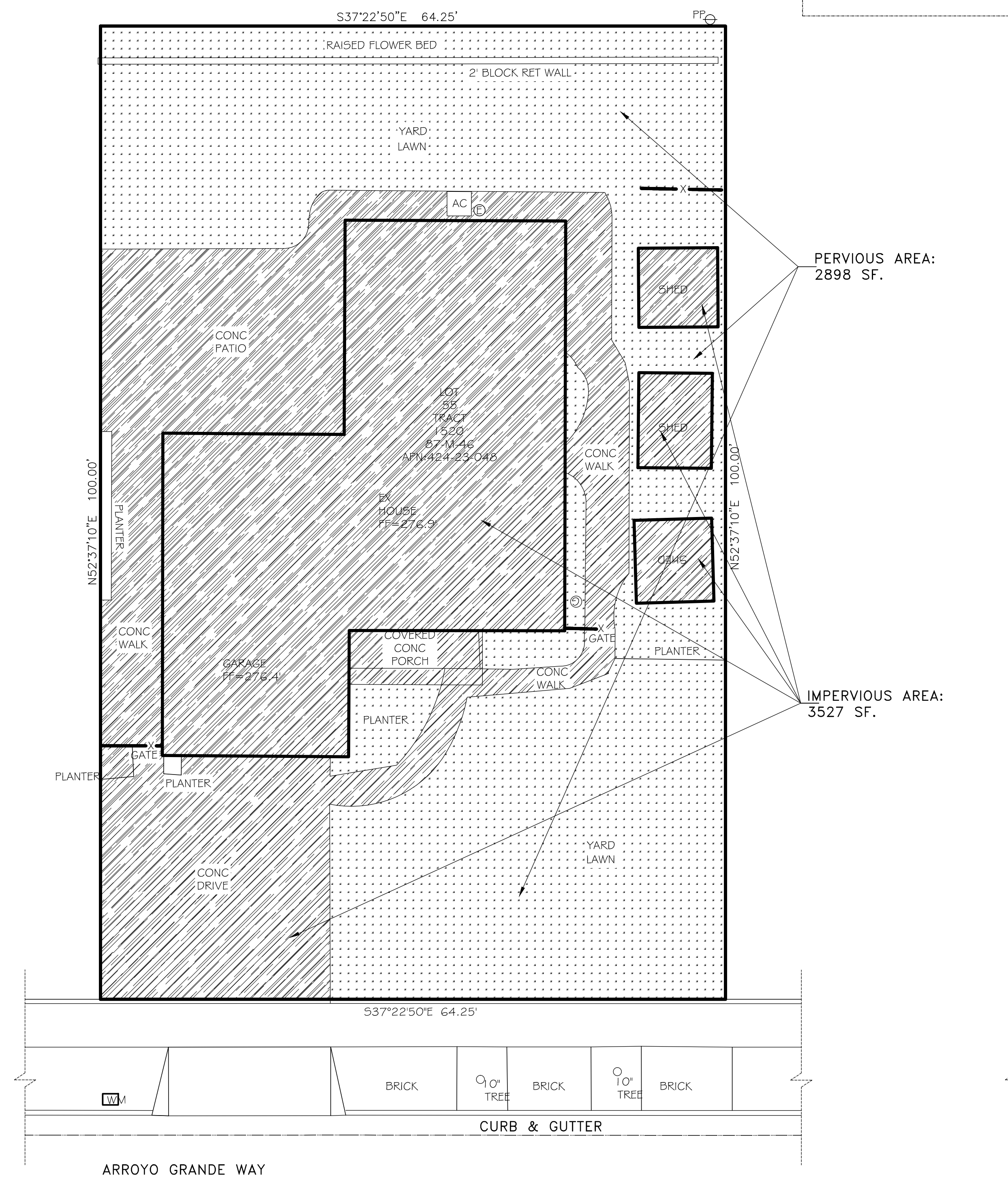
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DATE
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JOB NO.
SHEET

**A8.5**  
OF SHEETS

**LEGEND:**

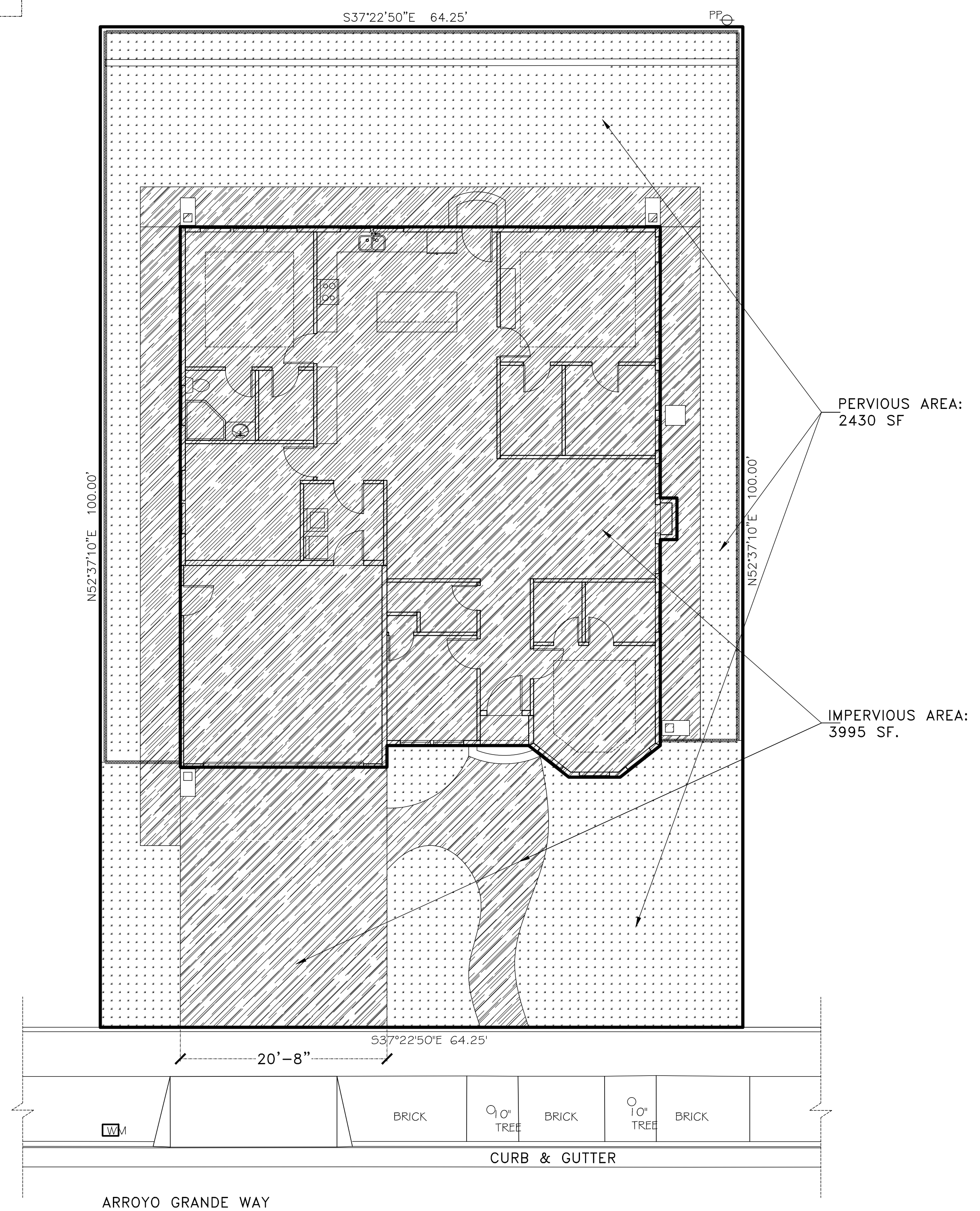
PERVIOUS AREA

IMPERVIOUS AREA



LOT SIZE = 6425 SF  
 EXISTING IMPERVIOUS LOT COVERAGE = 3527 / 6425 = 0.549 OR 54.9%  
 EXISTING PERVIOUS LOT COVERAGE = 2898 / 6425 = 0.451 OR 45.1%

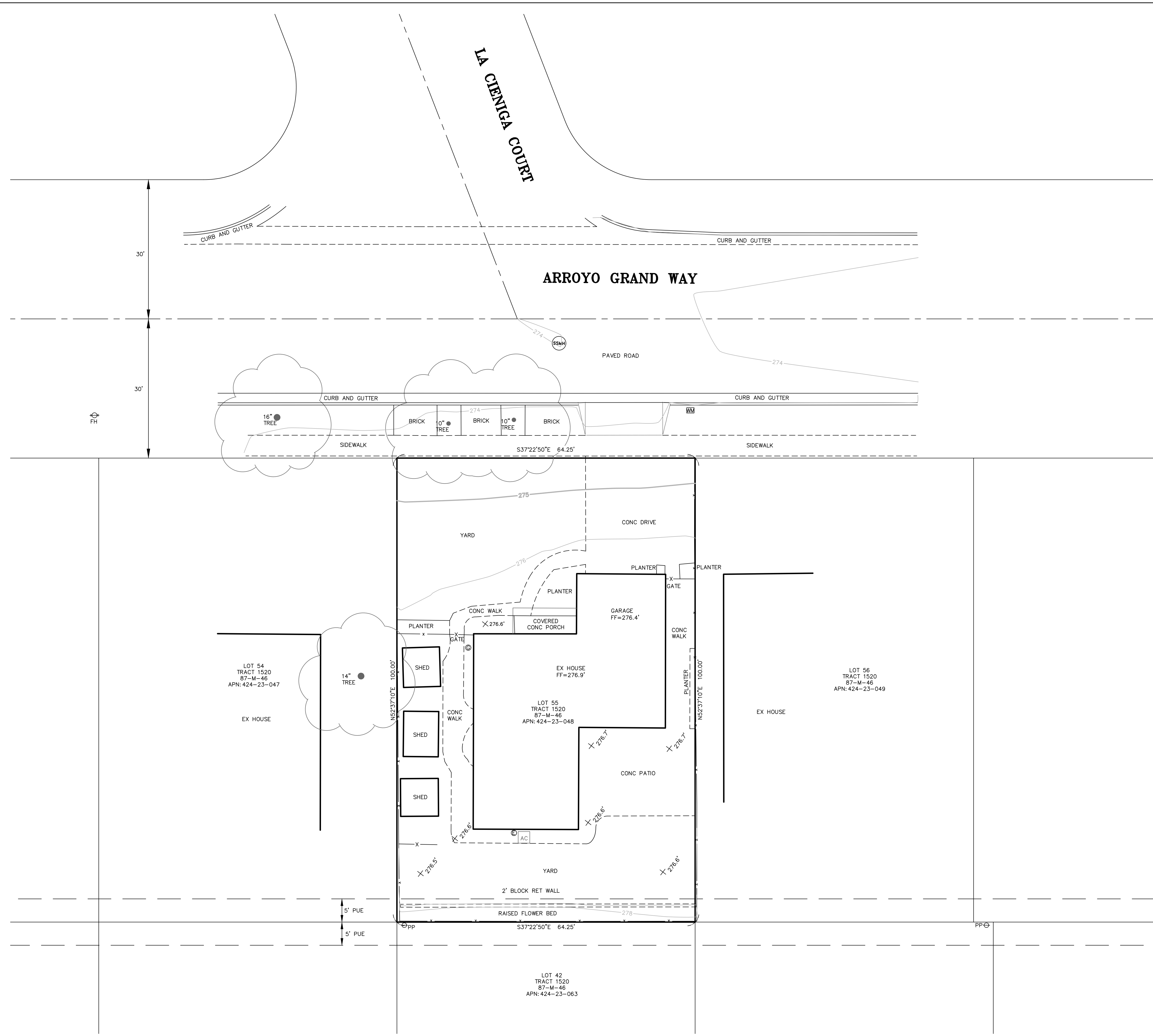
**(E) GROUND COVER PLAN**  
1/8" = 1'-0"



LOT SIZE = 6425 SF  
 NEW IMPERVIOUS LOT COVERAGE = 3995 / 6425 = 0.622 OR 62.2%  
 NEW PERVIOUS LOT COVERAGE = 2430 / 6425 = 0.378 OR 37.8%  
 CHANGE IN IMPERVIOUS LOT COVERAGE FROM 54.9% TO 62.2%, INCREASE OF 7.3%

**(N) GROUND COVER PLAN**  
1/8" = 1'-0"





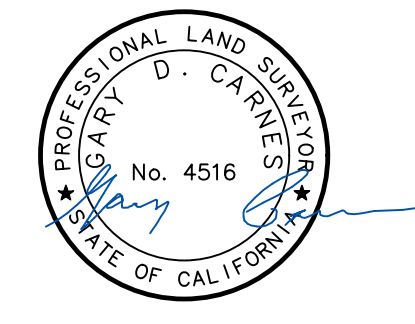
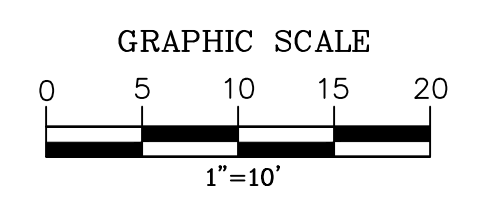
**LEGEND**

---	PROPERTY BOUNDARY
---	LOT LINE
---	CENTER LINE
---	EASEMENT LINE
---	PAVEMENT
---	CONCRETE/LIP OF GUTTER
-x-	FENCE
---	FLOW LINE
---	TIELINE

**ABBREVIATIONS**

AC	AIR CONDITIONER UNIT
CH	CHIMNEY
CP	COVERED PORCH
DI	DRAIN INLET
DL	DRIP LINE
DW	DRY WELL
E	ELECTRICAL METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
G	GAS METER
ICV	IRRIGATION CONTROL VALVE
PP	POWER POLE
R.O.W.	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE POLE
WM	WATER METER
WV	WATER VALVE
PUE	PUBLIC UTILITY EASEMENT

- NOTES**
- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
  - (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
  - (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
  - (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
  - (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



**CARNES & ASSOCIATES**  
 9505 SUGAR BABE DRIVE  
 GILROY, CALIFORNIA 95020  
 408-847-2013

REVISION	DATE	No.

**TOPOGRAPHIC MAP  
 FOR YOGESH JHAMB  
 140 ARROYO GRANDE WAY  
 TOWN OF LOS GATOS, CALIF.**

<b>SHEET</b>	<b>DATE :</b>	<b>SCALE :</b>	<b>DRAWN BY :</b>	<b>PROJ. MANAGER :</b>
1	11-06-19	1"=10'	T.W.	D.E.
OF				
1				
Job No. 19107				
DWG: JHAMB TP				



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