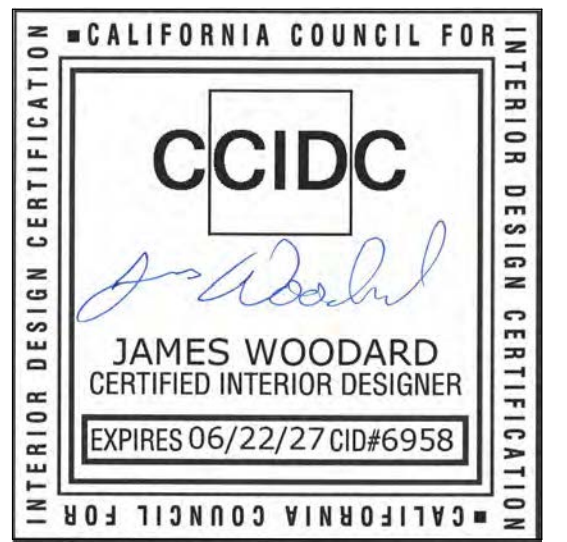


VINCINTY MAP
NTS

[illegible][illegible]

	DOOR
	WINDOW
	CABINET
	FINISH
	PLAN NOTES
	COMPLIANCE NOTES

[illegible][illegible]

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

A1.0
EXHIBIT 11

GreenPoint Rated Existing Home Checklist

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green. GreenPoint Rated is provided as a public service by Build It Green, a professional non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

This checklist is used to track projects seeking a Whole House or Elements Label using the GreenPoint Rated Existing Home Rating System. The minimum requirements for each label are listed in the project summary at the end of this checklist. Selected measures can be awarded points allocated by the percentage of presence of the measure in the home. The measure or practice must be found in at least 10% of the home to earn points.

The criteria for the green building practices listed below are described in the GreenPoint Rated Existing Home Rating Manual, available at www.builditgreen.org/greenpointrated

GreenPoint Rated Existing Home Checklist Version 2.1.3

Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
AA. COMMUNITY						
TBD	1. Home is Located within 1/2 Mile of a Major Transit Stop					
TBD	2. Compact Development & House Size					
TBD	3. Pedestrian and Bicycle Access/Alternative Transportation					
TBD	4. Safety & Social Gathering					
TBD	5. Diverse Households					
TBD	A. SITE					

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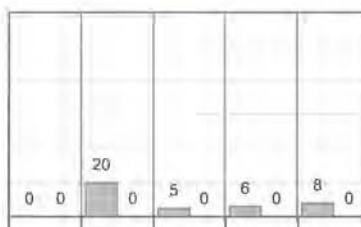
GreenPoint Rated Existing Home Checklist v2.1.3

1



Enter Label: Whole House

Points Achieved:



Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
B. FOUNDATION						
TBD	1. Replace Portland Cement in Concrete with Recycled Flyash or Slag					
TBD	2. Moisture Source Verification and Correction (Required for Whole House)					
TBD	3. Pest Inspection and Correction					
TBD	4. Design and Build Structural Pest Controls					
TBD	5. Radon Testing and Correction or Radon Resistant Construction					
C. LANDSCAPE						
TBD	1. Resource-Efficient Landscapes					
TBD	2. Fire-Safe Landscaping Techniques					
TBD	3. Shade Trees Planted					
TBD	4. Plants Grouped by Water Needs (Hydrozoning)					
TBD	5. High-Efficiency Irrigation Systems Installed					
TBD	6. Compost and Recycle Garden Trimmings on Site					
TBD	7. Mulch in All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement					
TBD	8. Use Environmentally Preferable Materials for Non-Plant Landscape Elements and Fencing					
TBD	9. Rain Water Harvesting System (1 point for < 5350 gallons, 2 points for > 350 gallons)					
TBD	10. Light Pollution Reduced by Shielding Fixtures and Directing Light Downward					
TBD	11. Rain Water Harvesting System (1 point for < 5350 gallons, 2 points for > 350 gallons)					
TBD	12. Solid Amended with Compost					
D. STRUCTURAL FRAME & BUILDING ENVELOPE						
TBD	1. Optimal Value Engineering					
TBD	2. Use Engineered Lumber					
TBD	3. FSC Certified Wood					
TBD	4. Solid Wall Systems (includes SIPs, ICFs, & Any Non-Stick Frame Assembly)					

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GreenPoint Rated Existing Home Checklist v2.1.3

2

Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
5. Reduce Pollution Entering the Home from the Garage						
TBD	6. Energy Heels on Roof Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)					
TBD	7. Overhangs and Gutters					
TBD	8. Reinforce Upgrade Structure for Lateral Load Reinforcement for Wind or Seismic					
TBD	9. Sound Exterior Assemblies (Required for Whole House)					
E. EXTERIOR FINISH						
TBD	1. Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking					
TBD	2. Rain Screen Wall System Installed					
TBD	3. Durable & Noncombustible Cladding Materials					
TBD	4. Durable & Fire-Resistant Roofing Materials or Assembly					
F. INSULATION						
TBD	1. Install Insulation with 30% Post-Consumer Recycled Content					
TBD	2. Install Insulation that is Low-Emitting (Certified CA Residential Section 01350)					
TBD	3. Inspect Quality of Insulation Installation before Applying Drywall					
G. PLUMBING						
TBD	1. Distribute Domestic Hot Water Efficiently					
TBD	2. High-Efficiency Toilets (Dual-Flush or < 1.28 gpf)					
TBD	3. Water Efficient Fixtures					
TBD	4. Plumbing Survey (No Plumbing Leaks) (Required for Whole House and Elements)					
H. HEATING, VENTILATION & AIR CONDITIONING						
TBD	1. General HVAC Equipment Verification and Correction					
TBD	2. Sealed Combustion Units					
TBD	3. High Efficiency Air Conditioning Air conditioning with Environmentally Responsible Refrigerants					
TBD	4. Effective Ductwork Installation					
TBD	5. No Fireplace OR Sealed Gas Fireplaces with Efficiency Rating 200% using CSA Standards					
TBD	6. Effective Exhaust Systems Installed in Bathrooms and Kitchens					
TBD	7. High Efficiency HVAC Filter (MERV 13+)					
TBD	8. No Fireplace OR Sealed Gas Fireplaces with Efficiency Rating 200% using CSA Standards					
TBD	9. Effective Exhaust Systems Installed in Bathrooms and Kitchens					
TBD	10. ENERGY STAR Bathroom Fans Vented to the Outside					
TBD	11. All Bathroom Fans are on Timer or Humidistat					
TBD	12. Kitchen Range Hood Vented to the Outside					

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GreenPoint Rated Existing Home Checklist v2.1.3

3

Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
10. Mechanical Ventilation System for Cooling Installed						
TBD	11. Mechanical Ventilation for Fresh Air Installed					
TBD	12. Carbon Monoxide					
TBD	13. Combustion Safety Backdraft Test (Required for Whole House and Elements)					
I. RENEWABLE ENERGY						
TBD	1. Offsite Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)					
J. BUILDING PERFORMANCE						
TBD	1. Energy Survey and Education (Required for Elements or Meet J3)					
TBD	2. Energy Upgrades (Available for Elements Rating Only, Mutually Exclusive with J3, 2 point minimum and 6 point maximum credit required)					
TBD	3. TIER 1: Practices in Tier 1 Are Worth Full Value (1 point)					
TBD	4. TIER 2: Practices in Tier 2 Are Worth Half Value (0.5 points)					
TBD	5. TIER 3: Practices in Tier 3 Are Worth Quarter Value (0.25 points)					
TBD	6. Comprehensive Utility Bill Analysis					
K. FINISHES						
TBD	1. Entryways Designed to Reduce Tracked in Contaminants					
TBD	2. Low/No-VOC Paint					
TBD	3. Coatings Meet SCAQMD Rule 1113 for Low VOCs					
TBD	4. Low-VOC Caulks & Construction Adhesives (Meet SCAQMD Rule 1168)					
TBD	5. Recycled-Content Paint					
TBD	6. Environmentally Preferable Materials for Interior Finish: A) FSC Certified Wood B) Recycled Materials C) Rapidly Renewable D) Recycled-Content E) Finger-Jointed or F) Local					
TBD	7. For Newly Installed Products, Reduce Formaldehyde in Interior Finish - Meet Current CARB Airborne Toxic Control Measure (ATCM) for Composite Wood Formaldehyde Limits by Mandatory Compliance Dates (Required for Whole Building & Elements)					

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GreenPoint Rated Existing Home Checklist v2.1.3

4

Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water
8. Reduce Formaldehyde in Interior Finish - Exceed Current CARB ATCM for Composite Wood Formaldehyde Limits Prior to Mandatory Compliance Dates						
TBD	9. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb					
L. FLOORING						
TBD	1. Environmentally Preferable Flooring: A) FSC-Certified Wood B) Reclaimed or Refinished C) Rapidly Renewable D) Recycled-Content E) Exposed Composite F) Local Flooring Adhesives Must Have <20 gpl VOCs and sealer must meet SCAQMD Rule 1113.					
TBD	2. Thermal Mass Floors					
TBD	3. Flooring Meets CA Section 01350 or CRI Green Label Plus Requirements					
M. APPLIANCES AND LIGHTING						
TBD	1. ENERGY STAR Dishwasher (Must Meet Current Specifications) (Mutually Exclusive with J3)					
TBD	2. ENERGY STAR Clothes Washing Machine with Water Factor of 3.2 or Less					
TBD	3. ENERGY STAR Refrigerator Installed					
TBD	4. Built-In Recycling & Composting Center					
TBD	5. Electrical Survey (Required for Whole House)					
TBD	6. Verification of Entire Electrical System					
TBD	7. Energy Efficient Lighting					
TBD	8. Low-Mercury Lamps (Linear and Compact Fluorescent)					
TBD	9. Lighting Controls Installed					
N. OTHER						
TBD	1. Incorporate GreenPoint Checklist in Blueprints Or Distribute Checklist (Required for Whole House and Elements)					
TBD	2. Develop Homeowner Manual of Green Features/Benefits					
TBD	3. Hazardous Waste Testing					
TBD	4. Gas Shut Off Valve (motion/non-motion)					
P. INNOVATIONS						
AA. Community: No Innovation Measures At This Time						
TBD	A. Site					
TBD	B. Foundation: No Innovation Measures At This Time					
TBD	C. Landscaping					
TBD	D. Structural Frame and Building Envelope					
TBD	E. Localize All Wood (Siding, Trim, Structure) At Least 12 inches Above Soil					
TBD	F. All Wood Framing 3 Feet from the Foundation is Treated with Borates (or Use Factory-impregnated Materials) OR Walls are Not Made of Wood					
TBD	G. Use Moisture Resistant Materials and Practices in Wet Areas of Kitchen, Bathrooms, Utility Rooms, and Basements					
TBD	H. Use FSC-Certified Engineered Lumber					
TBD	I. Engineered Beams and Headers					
TBD	J. Insulated Engineered Headers					
TBD	K. Wood Joists or Web Trusses for Floors					
TBD	L. Wood Joists for Roof Rafters					
TBD	M. Engineered or Finger-Jointed Studs for Vertical Applications					
TBD	N. Roof Trusses					

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GreenPoint Rated Existing Home Checklist v2.1.3

5

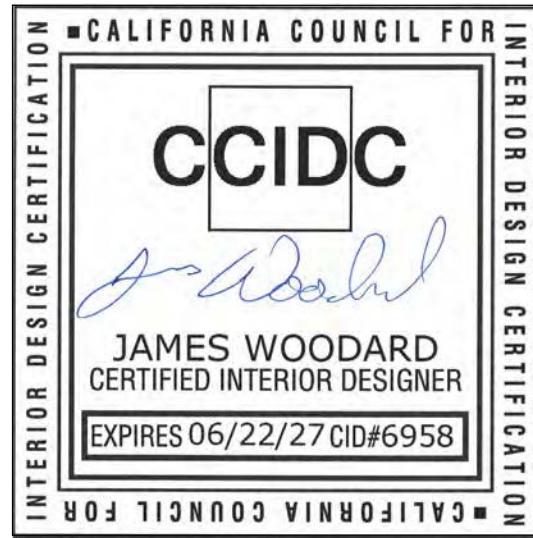
Project Name	Points Achieved	Community	Energy	IAQ/Health	Resources	Water	
E. Exterior Finish							
TBD	F. Insulation: No Innovation Measures At This Time						
TBD	G. Plumbing						
TBD	H. Heating, Ventilation and Air Conditioning (HVAC)						
TBD	I. Renewable Energy: No Innovation Measures At This Time						
TBD	J. Building Performance						
TBD	K. Finishes: No Innovation Measures At This Time						
TBD	L. Flooring: No Innovation Measures At This Time						
TBD	M. Appliances: No Innovation Measures At This Time						
TBD	N. Other						
TBD	1. Homebuilder's Management Staff Are Certified Green Building Professionals						
TBD	2. Comprehensive Owner's Manual and Homeowner Education Walkthroughs						
TBD	3. Additional Innovations: List innovative measures that meet green building objectives. Points will be assessed by Build It Green and the GreenPoint Rater.						
TBD	4. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	5. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	6. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	7. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	8. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	9. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	10. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	11. Describe Innovation Here and Enter Possible Points in Columns L-P						
TBD	12. Describe Innovation Here and Enter Possible Points in Columns L-P						
Summary							
Total Available Points		224+	25	83	46	76	47
Minimum Points Required (Whole House)		50	20	5	6	8	8
Minimum Points Required (Elements)		25	8	2	2	4	4
Total Points Achieved							

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GreenPoint Rated Existing Home Checklist v2.1.3

6

SEIGO designs

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SEIGO DESIGNS & INTERIORS

6754 BERNAL AVE. #740-118

PLEASANTON, CA 94566

(925)399-1487

DATE: 7/31/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032SHEET NAME:
BUILD IT GREEN
CHECKLIST

A1.1

SAMPLE OF EXISTING 2-STORY HOMES IN NEIGHBORHOOD:

- 211 Howes Dr

• 219 Howes Dr

• 259 Howes Ct

• 255 Howes Ct

• 253 Howes Ct

• 123 Anne Way

• 127 Anne Way
- 135 Anne Way

• 139 Anne Way

• 144 Anne Way

• 105 Hildebrand Dr

• 293 Herschner Ct

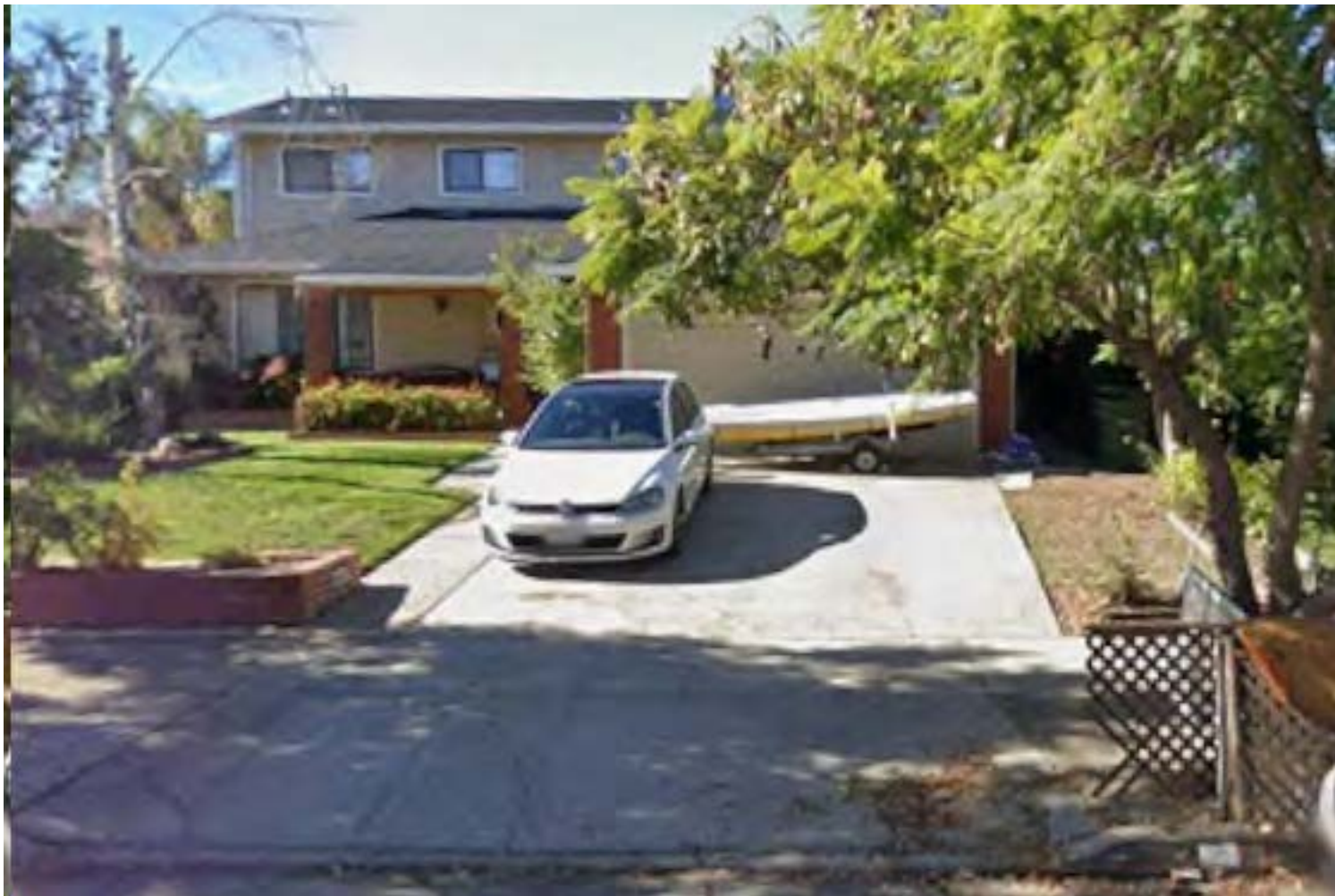
• 295 Herschner Ct

• 287 Herschner Ct

• 259 Herschner Ct



211 HOWES DR



219 HOWES DR



259 HOWES CT



255 HOWES CT



253 HOWES CT



127 ANNE WAY



123 ANNE WAY

PROJECT DESCRIPTION LETTER:

Los Gatos Planning Division
110 E. Main Street, Los Gatos, CA 95030
408.354.6872

December 3, 2025

PROJECT DESCRIPTION & LETTER OF JUSTIFICATION
193 Howes Drive – Minor Residential Application (MR-25-012)
Applicant: Seigo Designs | **Owner:** Neeraj Goel | **APN:** 527-43-021 | **Zoning:** R-1:8

1. Project Overview
This project proposes a **modest second-story addition** totaling **1,240 sq. ft.** to an existing one-story home on a uniquely shaped lot adjacent to the **Howes Drive Play Lot**. The design maintains a predominantly **one-story appearance from the street**, places the second story toward the center of the lot, and incorporates revisions responding to Town comments and recommendations from the **Cannon Design Group**.

2. Response to Los Gatos Comment #6
6a. Largest FAR in the Immediate Neighborhood?
No. The proposed FAR is **not the largest**. Several surrounding homes, including **127 Anne Way (two-story)** and larger one-story homes at **201, 205, and 206 Howes Drive**, present equal or greater visible massing. Due to the parcel’s narrowed frontage and adjacency to open space, the proposed mass appears smaller than many nearby structures.
6b. Tallest in the Immediate Neighborhood?
No. The proposed ridge of **~23’6”** is **lower than** the nearby two-story home at **127 Anne Way (~26 ft)** and is consistent with neighborhood height patterns. The second story is recessed behind the front façade, reducing perceived height.
6c. RDG Compliance
The project complies with the Residential Design Guidelines:

- Massing (RDG 3.3):** The revised design adds articulation, varied roof planes, and breaks in wall surfaces to reduce two-story massing.
- Windows (RDG 3.7):** Upper-level windows now follow consistent proportions and patterns, reduced in variety per consultant recommendations.
- Materials (RDG 3.8):** Stucco and painted wood trim match surrounding homes; final material revisions follow consultant guidance.
- Neighborhood Context:** The design retains ranch-style proportions and a low street profile.

6d. Compatibility with the Immediate Neighborhood
Compatibility is achieved through:

- Centered second story** away from adjacent properties
- Deep front setback** matching neighborhood rhythm
- Traditional roof forms** (4:12 pitch) consistent with nearby homes
- Shadow study** showing minimal impacts and most shading falling on the play lot
- Open-space adjacency** which significantly reduces visibility from neighbors’ private yards

6754 Bernal Ave.
#740-118
Pleasanton, CA 94566
USA

Phone
Email
Web site

925 399-1487
info@seigodesigns.com
www.seigodesigns.com

6e. Privacy Standards Compliance

- No second-story windows directly face neighboring primary living areas.
- East/west windows use higher sill heights or modest sizing.
- Most upper-story glazing faces the **play lot**, not private yards.
- Window revisions follow RDG privacy guidelines and Cannon Design Group recommendations.

3. Response to Cannon Design Group Recommendations
Revisions include:

- Additional articulation and eave extensions to break up two-story rear massing
- More uniform window sizing and layout
- Simplified window patterns in the Great Room
- Materials adjusted for neighborhood sensitivity

These revisions meet or exceed the consultant’s recommendations.

4. Neighbor Outreach Summary (Los Gatos Requirement #9)
From **10/19/2025 to 11/08/2025**, outreach was completed to 13 nearby properties on Howes Dr, Barbara Dr, Anne Way, Regent Dr, and Leigh Ave.
All neighbors who responded expressed support or no objection.
No concerns were raised regarding height, FAR, massing, privacy, or shading.
Key Findings:

- No privacy concerns were raised.
- Neighbors noted that the second story faces the **play lot**, reducing visual impact.
- Several expressed support for improving the home.
- No objections were received

A spreadsheet of neighbor responses shall be submitted.

5. Conclusion
The revised project at **193 Howes Drive:**

- Is **not the tallest** nor the **largest FAR** in the immediate neighborhood
- Complies fully with the **Residential Design Guidelines**
- Incorporates all Town and consulting architect recommendations
- Demonstrates minimal massing, shadow, and privacy impacts
- Has **clear neighbor support and no objections**

The applicant respectfully requests approval of the revised design.

Thank you,
James Woodard, Seigo Designs and Interiors, LLC

6754 Bernal Ave.
#740-118
Pleasanton, CA 94566
USA

Phone
Email
Web site

925 399-1487
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CALIFORNIA COUNCIL FOR
INTERIOR DESIGN CERTIFICATION
CCIDC
JAMES WOODARD
CERTIFIED INTERIOR DESIGNER
EXPIRES 06/22/27 CID#6958

SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 7/31/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

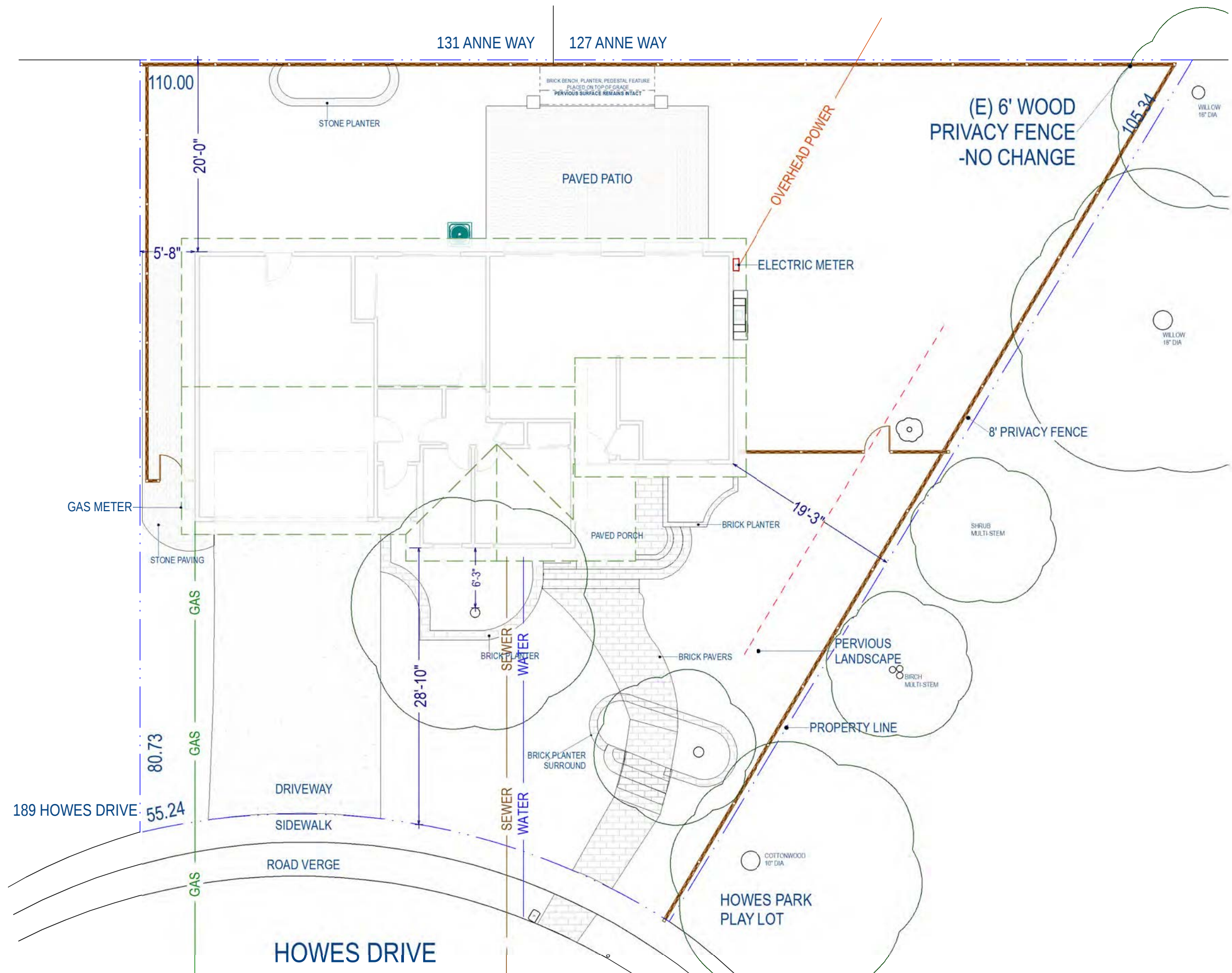
SHEET NAME:
PROJECT DESCRIPTION

A1.4

- NOTE: A SURVEY WAS NOT PREPARED FOR THIS PROJECT. VERIFY IN FIELD.
SITE MEASUREMENTS ARE BASED ON PHYSICAL LANDMARKS. LOT DIMENSIONS ARE PER ASSESSOR'S MAP.
- NO TREES OF NOTABLE SIZE ON THE PROPERTY. (E) TREES SHALL NOT BE AFFECTED
- AVERAGE SLOPE OF LOT: APPROXIMATELY 0% (ESSENTIALLY FLAT, WITH ONLY REQUIRED DRAINAGE AWAY FROM STRUCTURE).

FLOOR AREA SUMMARY:

	EXISTING	PROPOSED	TOTAL
2ND FLOOR	N/A	876 S.F.	876 S.F.
1ST FLOOR	1,088 S.F.	364 S.F.	1,452 S.F.
TOTAL	1,088 S.F.	1,240 S.F.	2,328 S.F.
(MAX ALLOWED HOUSE)		2,328 S.F.	
GARAGE	499 S.F.	0 S.F.	499 S.F.
(MAX ALLOWED GARAGE)		659 S.F.	



1 EXISTING

SCALE: 3/32" = 1'-0"

SITE PLAN NOTES:

- SEE SHEETS NOTES A/NOTES B FOR GENERAL NOTES AND CODE COMPLIANCE
- CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 OR 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.**
- THE BUILDING ADDRESS NUMBERS SHALL BE ILLUMINATED AND PLACED IN APPPOSITION THAT IS LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY (2022 CRC R319). THE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE OF 1/2".
- SEISMIC AUTOMATIC SHUT-OFF VALVE TO BE INSTALLED AT THE GAS METER OR PROPANE TANK
- EXISTING UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATIONS DERIVED FROM AVAILABLE RECORDS.
- DRAINAGE SLOPE OF GRADE AWAY FROM EXTERIOR FOUNDATIONS TO BE 6 INCHES MINIMUM WITHIN 10 FEET (5% MINIMUM). AT IMPERVIOUS SURFACES, A MINIMUM 2% SLOPE IS PERMITTED. [CRC §R401.3]

*TREES SHALL BE SHALL BE PROTECTED PER MUNICIPAL CODE 17.16:
17.16.070 PROTECTION OF EXISTING TREES.

ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:

- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL A STURDY FENCE AT THE DRIPLINE OF ANY TREE WHICH WILL BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS INSIDE THE FENCE. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCROACHMENT OF THE CONSTRUCTION.
- PROHIBIT EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.
- PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE.
- PROHIBIT THE ATTACHMENT OF WIRES, SIGNS AND ROPES TO ANY HERITAGE TREE.
- DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.
- RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE CERTIFIED OR CONSULTING ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED.
- THE DIRECTOR SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

TRENCH DEPTH FOR BOTH SEWER AND WATER SHALL BE CPC 314-314.4 COMPLIANT
ELECTRICAL TRENCH SHALL COMPLY WITH CEC 300.5

TRENCH DEPTH NOTES:

ELECTRICAL

- * CAUTION TAPE REQUIRED 6" BELOW GRADE
- * ALL BURIED CONDUIT IN FLOOD ZONE WILL BE REQUIRED TO BE WATER TIGHT TO 1 FOOT ABOVE BFE.

DIRECT BURIAL CABLES

- 24" MIN BELOW GRADE OR BY LISTING SPECIFICATION OF CABLE
- RIGID CONDUIT WITH CONDUCTORS
- 18" MIN BELOW GRADE
- 24" MIN UNDER DRIVEWAYS, STREET, ETC.
- RIGID NONMETALLIC CONDUIT WITH CONDUCTORS

- 18" MIN BELOW GRADE
- SCH 80 FOR RISER PROTECTION TO PANEL BOX OR
- 8 FT ABOVE GROUND
- 24" MIN UNDER DRIVEWAYS, STREETS, ETC.

RESIDENTIAL BRANCH CIRCUITS

- 120 VOLTS OR LESS WITH GFCI PROTECTION (MAX 20 AMPS)
- 12" MIN BELOW GRADE IN RIGID CONDUIT
- CIRCUITS FOR CONTROL OF LANDSCAPE LIGHTING OR IRRIGATION
- 30 VOLTS OR LESS WITH TYPE OF CABLES
- 6" MIN BELOW GRADE
- * LOW VOLTAGE DOES NOT REQUIRE CAUTION TAPE

WATER PLUMBING

P.V.C. (APPROVED FOR EXTERIOR LOCATIONS ONLY)

- 12" MIN BELOW GRADE, PROTECTED AT ALL OTHER LOCATIONS
- FERROUS METAL OR NONFERROUS METAL
- 12" MIN BELOW GRADE

GAS PLUMBING

- * NO LP GAS PLUMBING APPROVED UNDER CONCRETE SLABS
- * ALL CONNECTIONS TO BE WRAPPED
- FERROUS (COATED METAL) GAS PLUMBING
- 12" BELOW GRADE
- 18" BELOW GRADE FOR MOBILE HOME INSTALLATIONS

PLASTIC GAS PIPING (WITH LISTED METALLIC RISERS)

- 18" BELOW GRADE (TO A POINT 6" ABOVE GRADE) WITH ELECTRICALLY CONTINUOUS INSULATED #18 AWG YELLOW COPPER
- TRACER WIRE OR APPROVED TRACER TAPE AND SHALL TERMINATE ABOVE GRADE AT EACH END

SEWER PLUMBING (UPC 7183)

ABS

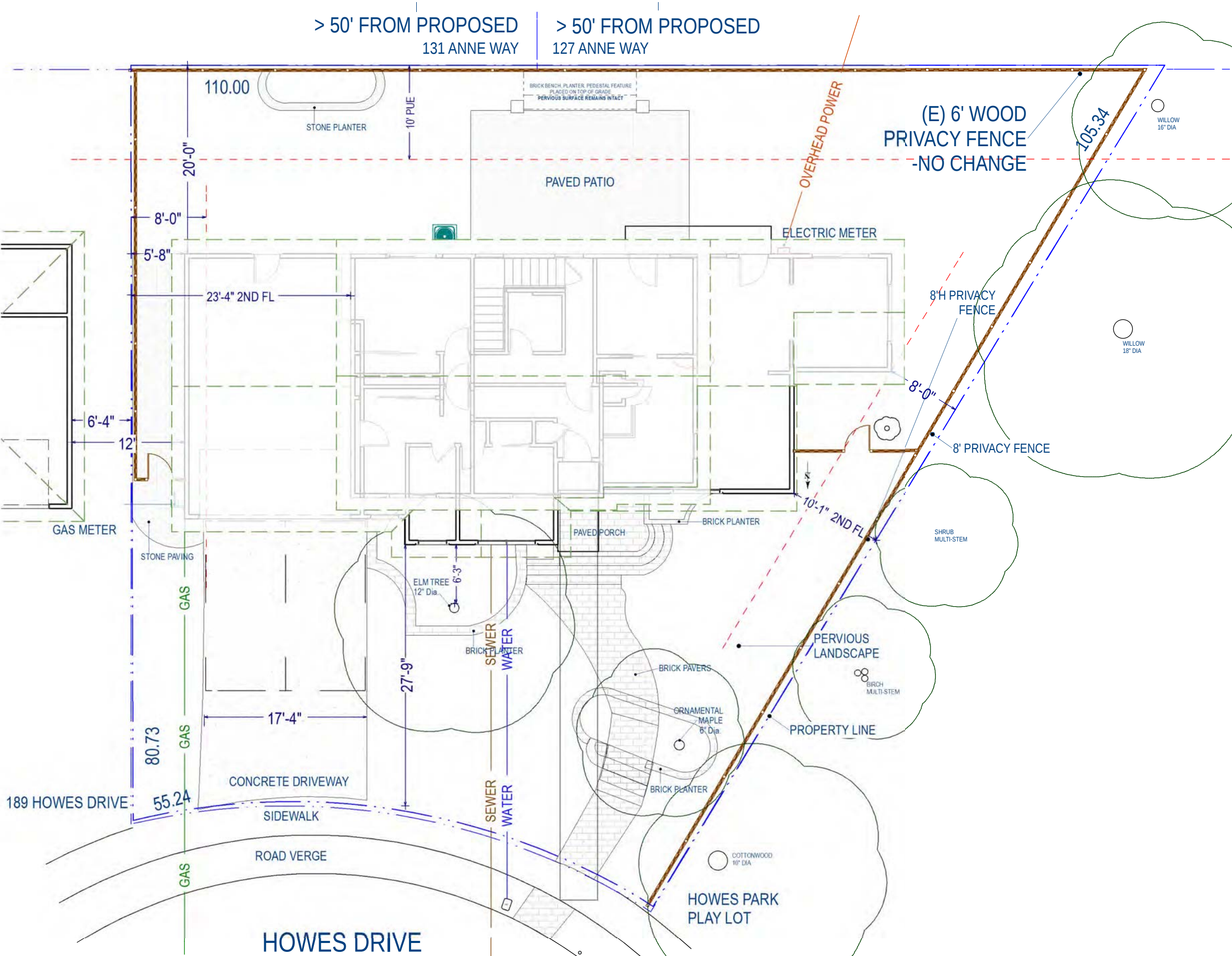
- MIN 12" BELOW GRADE WITHIN 2' OF ANY STRUCTURE ALL OTHER AREAS PROTECTED FROM SUN LIGHT, PHYSICAL DAMAGE AND FROST.
- ALL ELECTRICAL, GAS, WATER & ABS PLUMBING SUGGESTED TO BE MIN OF 4" SEPARATION SAME TRENCH
- * TIP: SEPARATION OF PIPES IS SUGGESTED. IF THERE IS EVER A PROBLEM, IT IS EASIER TO FIX/REPAIR WHEN SEPARATED.

SETBACK JUSTIFICATION:

1. THE PROPOSED ADDITION DOES NOT INCREASE ANY NONCONFORMITY.
THE ENCROACHED EAST (LEFT) SIDE SETBACK OF 5'-8" IS EXISTING. OTHERWISE THE R-1:8 SETBACKS ARE COMPLIANT.

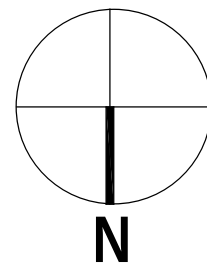
2. DUE TO THE PROPERTY'S IRREGULAR LOT SHAPE, THE EXISTING STRUCTURE WAS BUILT WITH A LEGAL NONCONFORMING LEFT-SIDE SETBACK. THE PROPOSED WORK DOES NOT EXPAND OR INCREASE THIS CONDITION IN ANY WAY; ALL NEW CONSTRUCTION IS PLACED FULLY WITHIN THE EXISTING FOOTPRINT. THE PROJECT THEREFORE MAINTAINS THE EXISTING NONCONFORMITY WITHOUT INTENSIFYING IT.

3. THE SECOND STORY IS PLACED ENTIRELY WITHIN THE EXISTING FOOTPRINT, ENSURING NO FURTHER REDUCTION OF THE 25-FT FRONT, 8-FT SIDE, OR 20-FT REAR SETBACKS. BECAUSE THE LOT SHAPE AND THE ADJACENCY TO THE PUBLIC PLAY LOT LIMIT EXPANSION OPTIONS, PLACING NEW AREA ABOVE THE EXISTING STRUCTURE YIELDS THE **LEAST IMPACTFUL SOLUTION**



2 PROPOSED

SCALE: 3/32" = 1'-0"



IMPERVIOUS SURFACES:

- EXISTING: 1400 SF
- PROPOSED: 2084

SITE INFORMATION

APN 527-43-021
ZONING R1:8
LOT AREA 6970 SQ FT (IRREGULAR SHAPE)

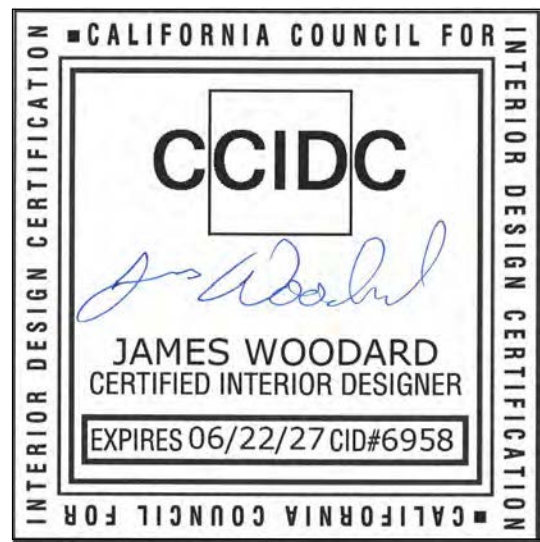
EXISTING	SQUARE FOOTAGE	1088
	BEDROOMS	2
	BATHS	1.5
	GARAGE SF	482
	FAR	15.61%
	FOOTPRINT	1546
	LOT COVERAGE	22.2%

PROPOSED	ADDITION SF	1240
	TOTAL SF	2328
	BEDROOMS	4
	BATHS	3
	GARAGE SF	482
	FAR	33.4%
	FOOTPRINT	1935
	LOT COVERAGE	27.8%
	HEIGHT ABOVE GRADE	23'-6"

SETBACKS	FRONT (NO CHANGE)	27'-9"
	REAR (NO CHANGE)	20'-0"
	LEFT (NO CHANGE)	5'-8"
	RIGHT (PROPOSED 8'-0")	19'-3"

R-1:8 REQUIREMENTS:	
FRONT	25'
REAR	20'
SIDE	8'

PARKING SPACES: 2
THE PARCEL DOES NOT CONTAIN APPRECIABLE NATURAL SLOPE. ONLY STANDARD FOUNDATION DRAINAGE (5% MINIMUM FOR 10 FT) EXISTS, WHICH DOES NOT AFFECT THE AVERAGE LOT SLOPE DETERMINATION.



SEIGO DESIGNS & INTERIORS

6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 7/31/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

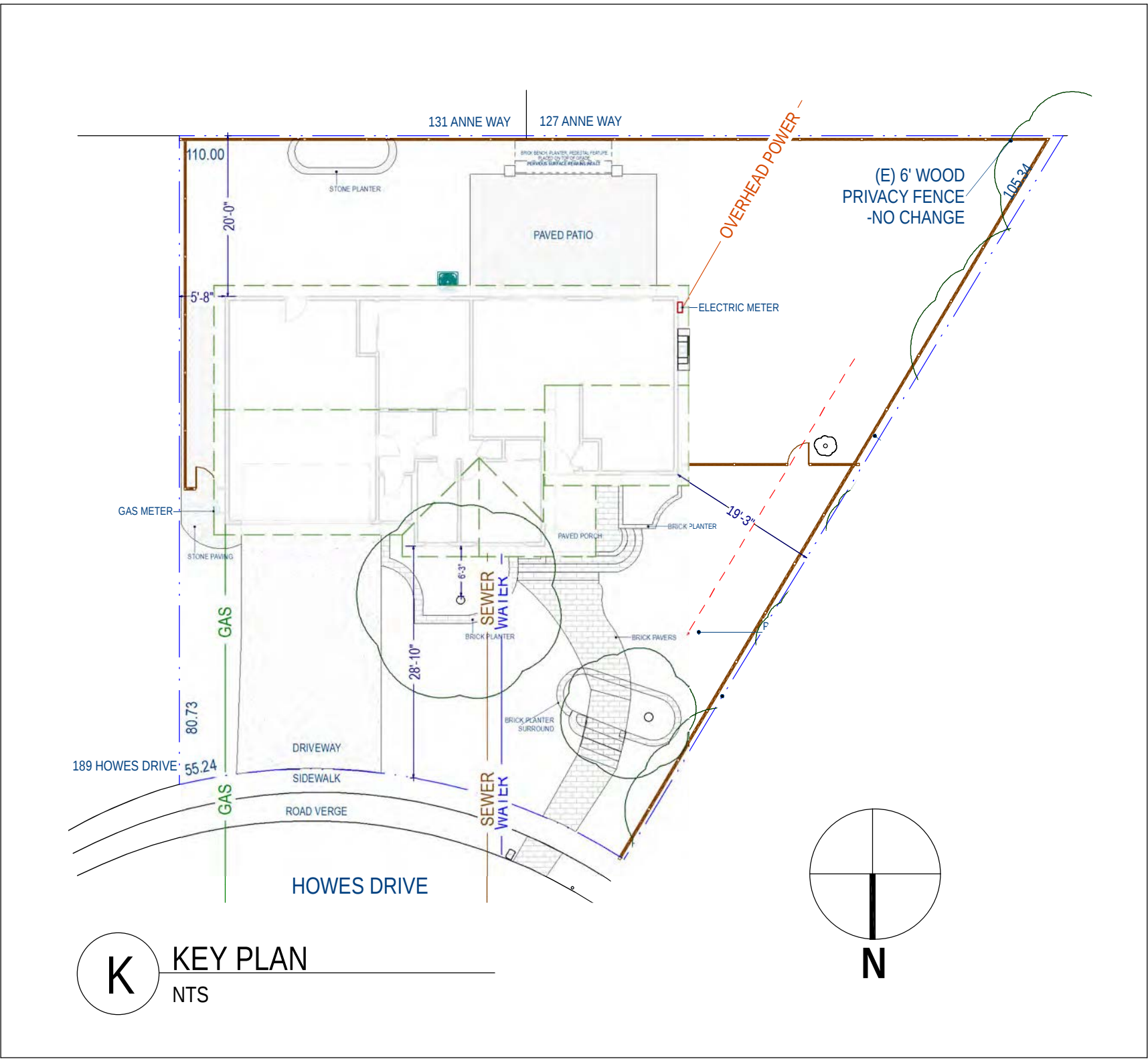
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
SITE PLAN

A2.0



1 FRONT -NORTH
NTS



2 LEFT -EAST
NTS



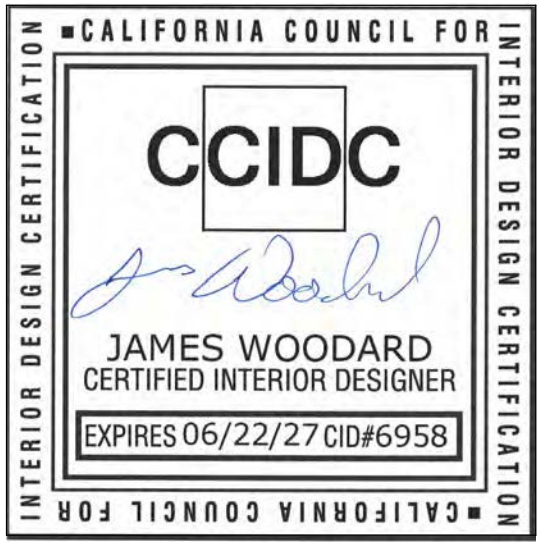
5 PLAYLOT'S FENCELINE TREES
NTS



3 REAR -SOUTH
NTS



4 RIGHT -WEST
NTS



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DRAWN BY: JMW / LCC

REVISIONS				
NO	DATE	DESCRIPTION	BY	
1	7/27/26	commission comment rev	jmw	

PROJECT: MULTI-LEVEL ADDITIONS

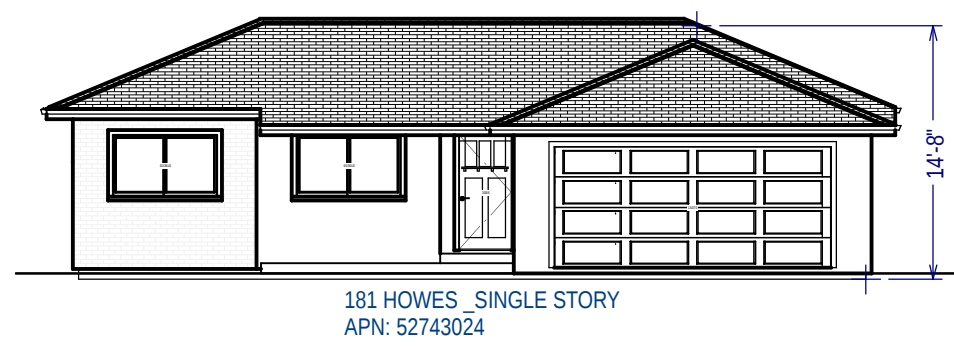
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
PHOTOS OF EXISTING

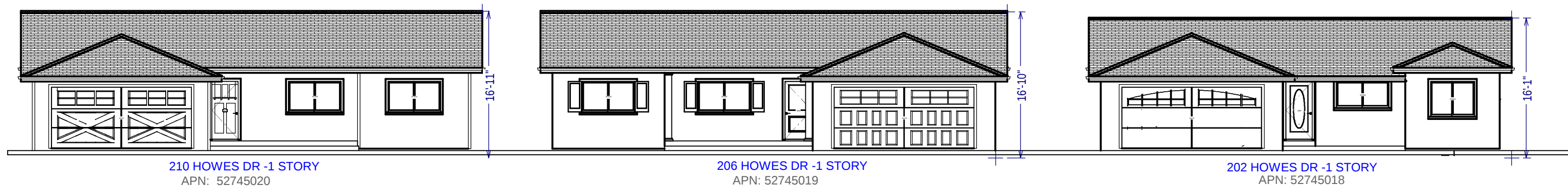
A2.1



ST1 SOUTH VIEW- SAME SIDE
A2.3 NTS



- EXISTING 2-STORY HOMES IN NEIGHBORHOOD:
- 211 Howes Dr
 - 219 Howes Dr
 - 259 Howes Ct
 - 255 Howes Ct
 - 253 Howes Ct
 - 123 Anne Way
 - 127 Anne Way
 - 135 Anne Way
 - 139 Anne Way
 - 144 Anne Way
 - 105 Hildebrand Dr
 - 293 Herschner Ct
 - 295 Herschner Ct
 - 287 Herschner Ct
 - 259 Herschner Ct



SOUTH VIEW -SAME SIDE -181 HOWES DR (adu & jadu permits 2024)



SOUTH VIEW -SAME SIDE -185 HOWES DR



SOUTH VIEW -SAME SIDE -189 HOWES DR



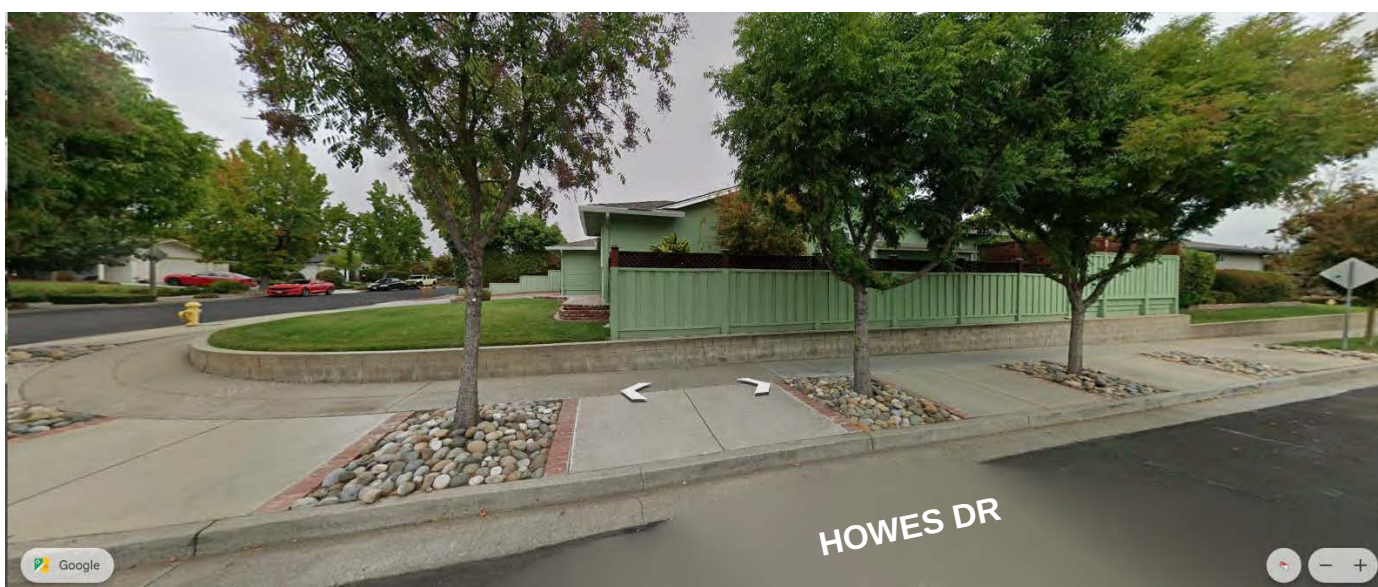
SOUTH VIEW -SAME SIDE -193 HOWES DR

HOWES PLAY LOT



HOWES PLAY LOT -AT THE BEND IN HOWES

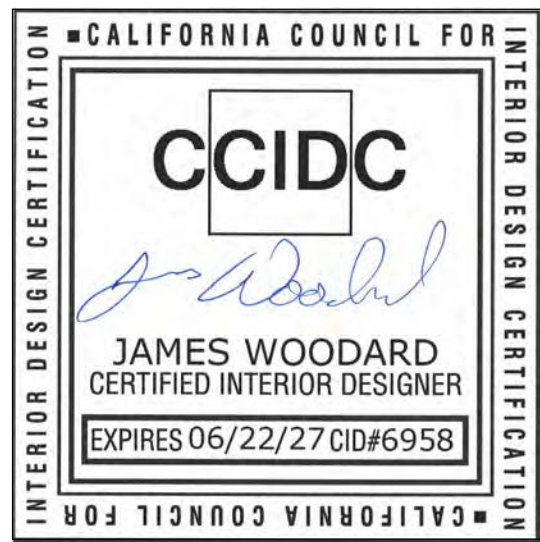
NORTH(west) VIEW -201 HOWES DR



NORTH VIEW -202 HOWES DR



NORTH VIEW -203 BARBARA DR



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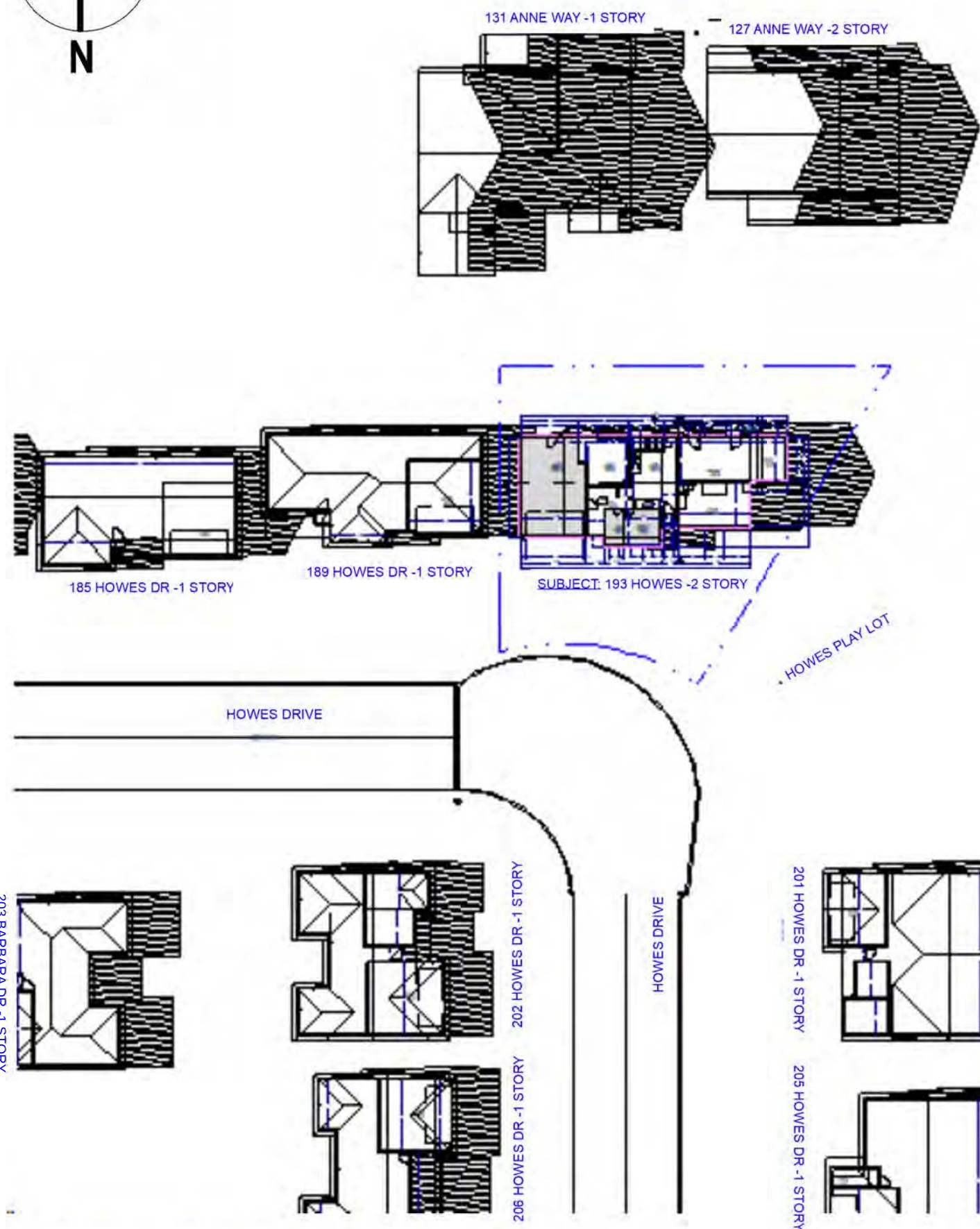
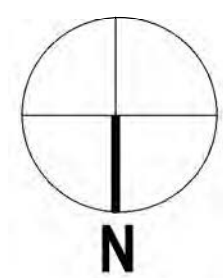
REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS

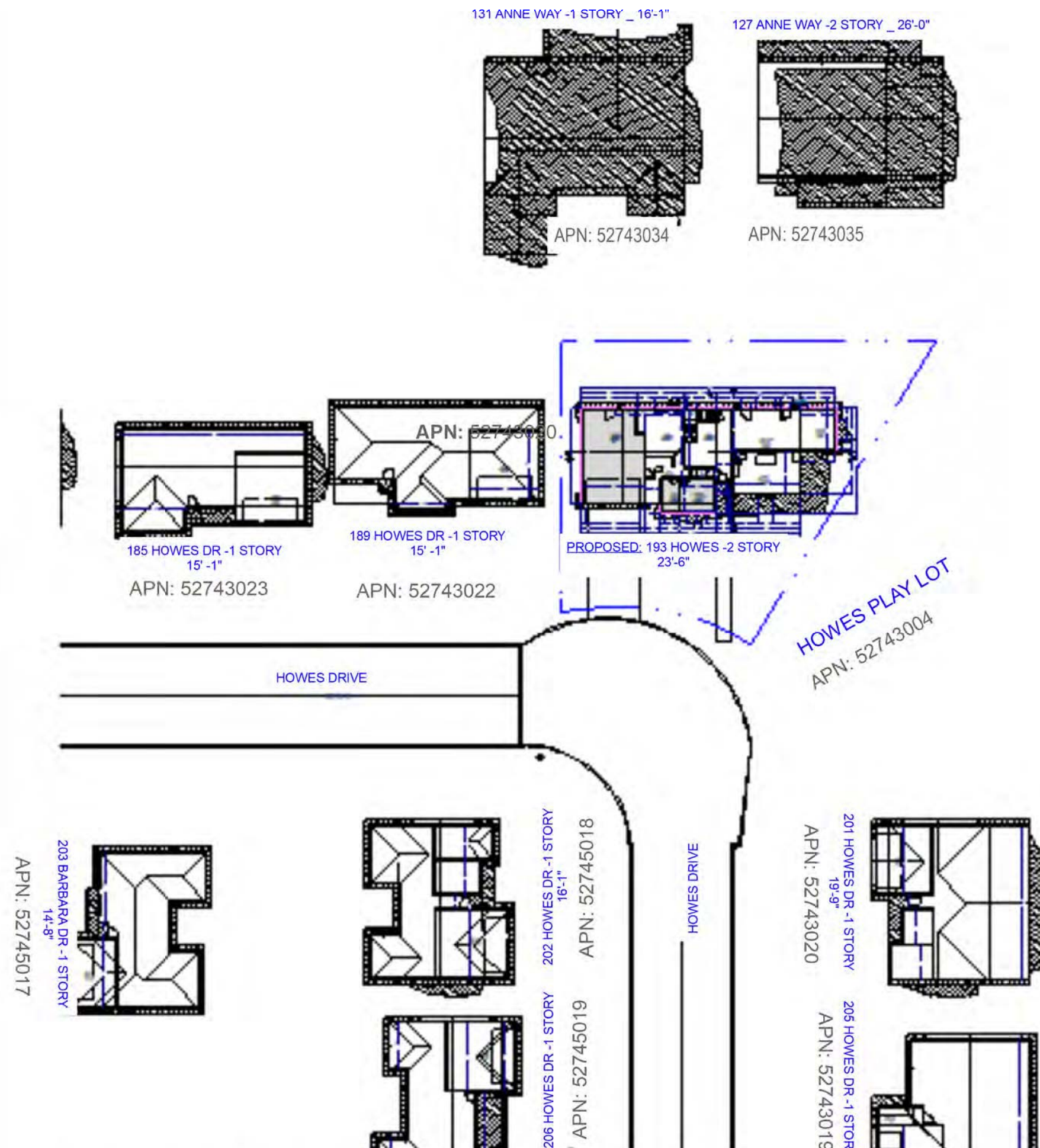
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
STREETSCAPE

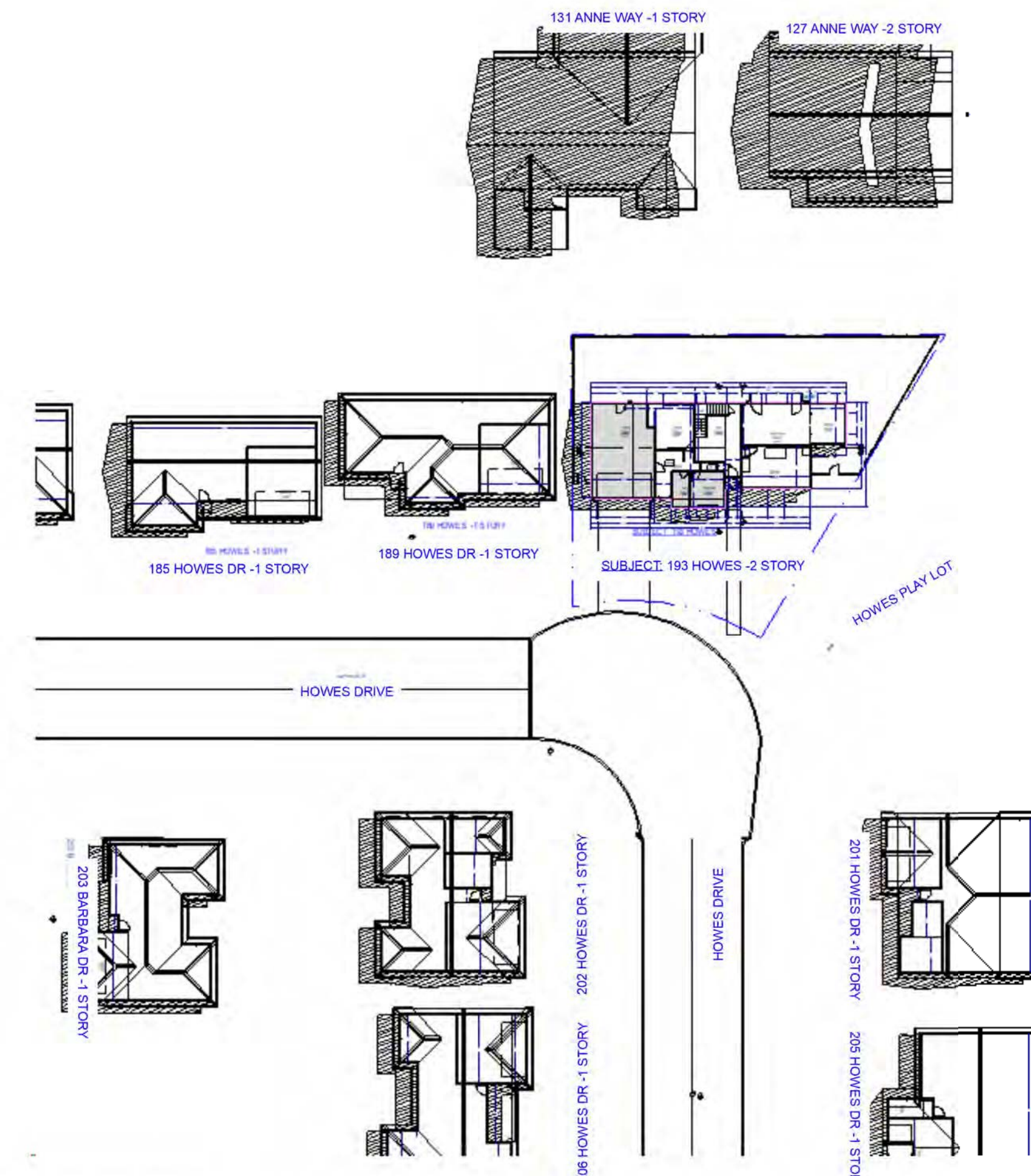
A2.3



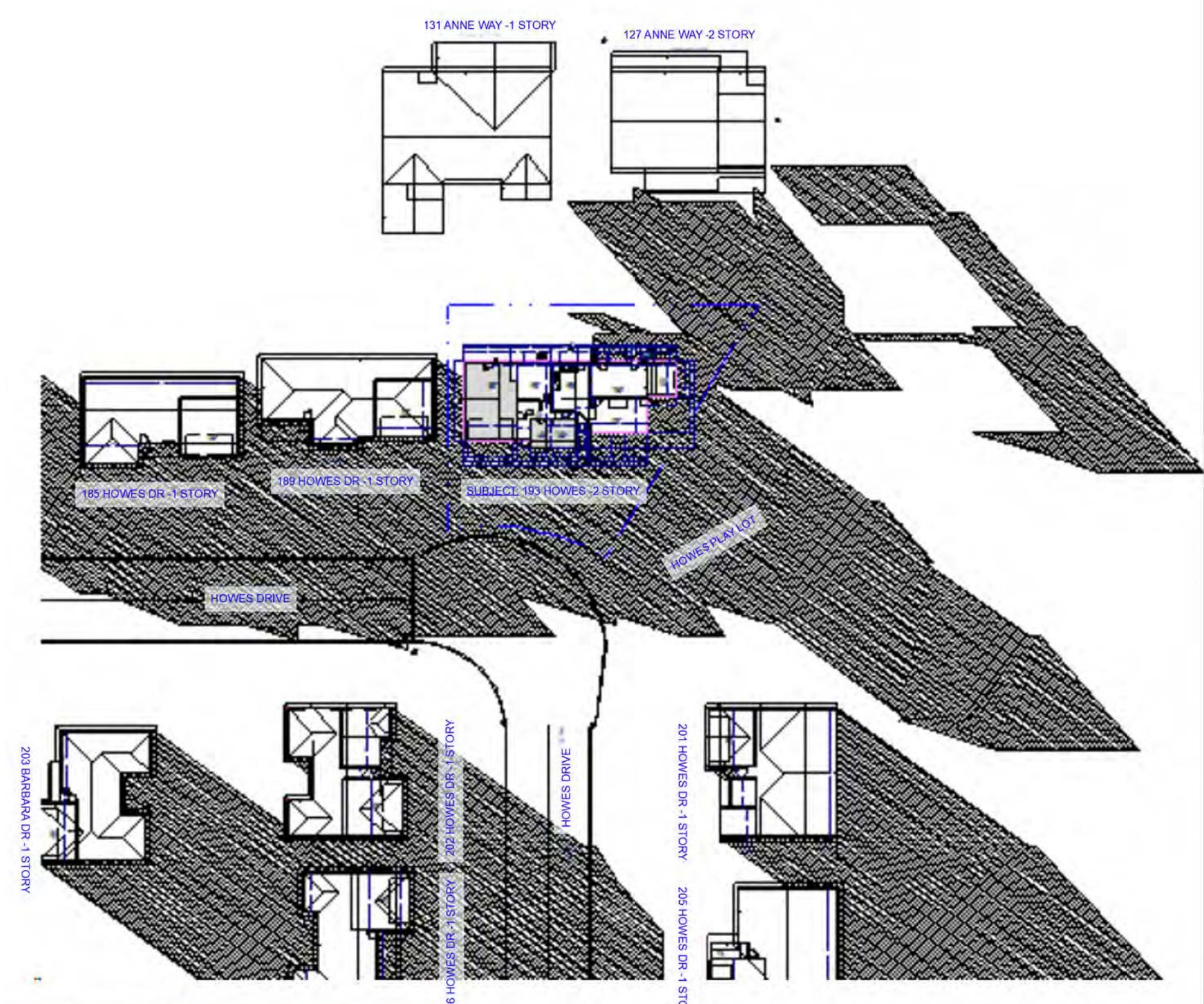
JUNE 21, 9AM



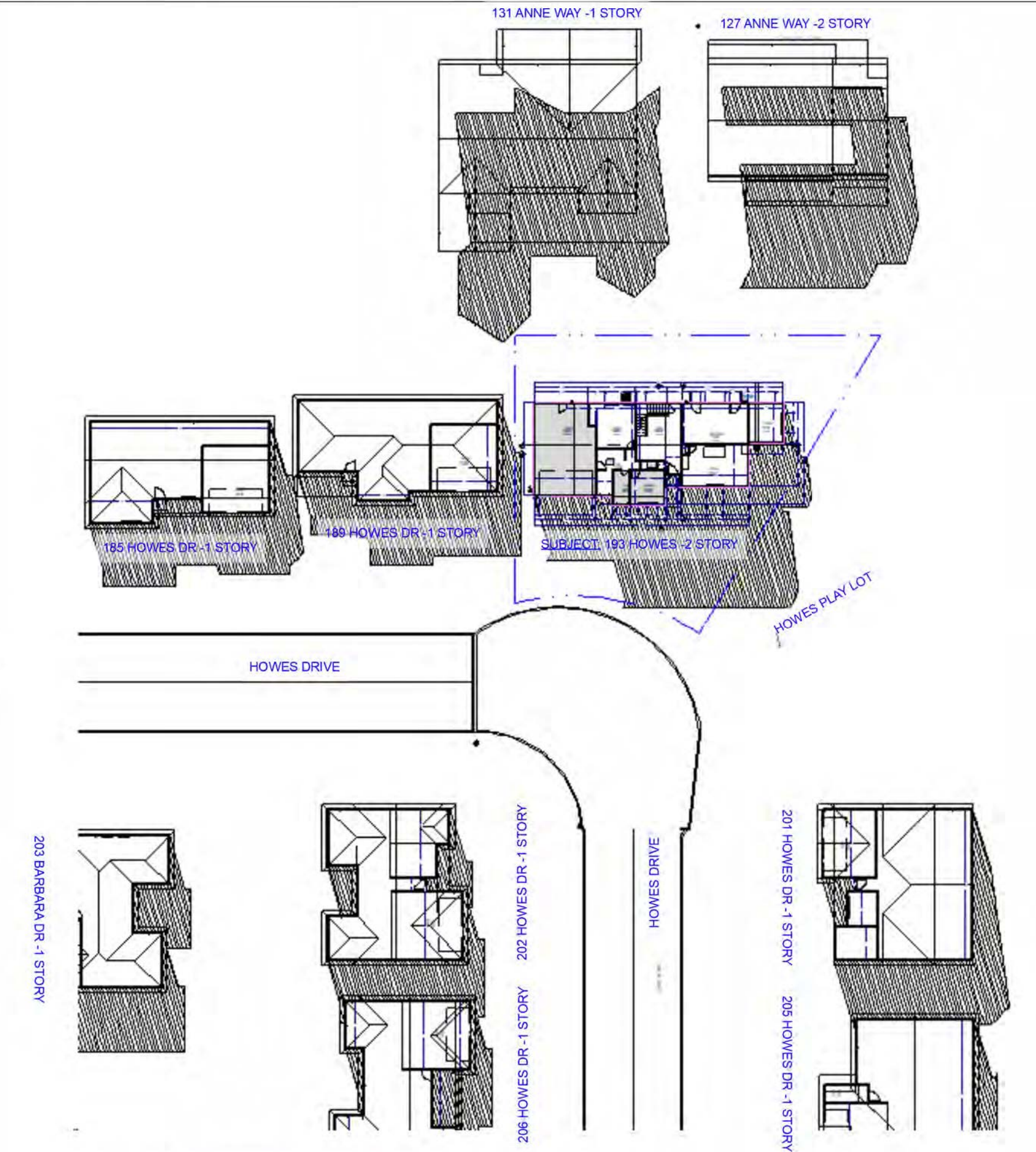
JUNE 21, NOON



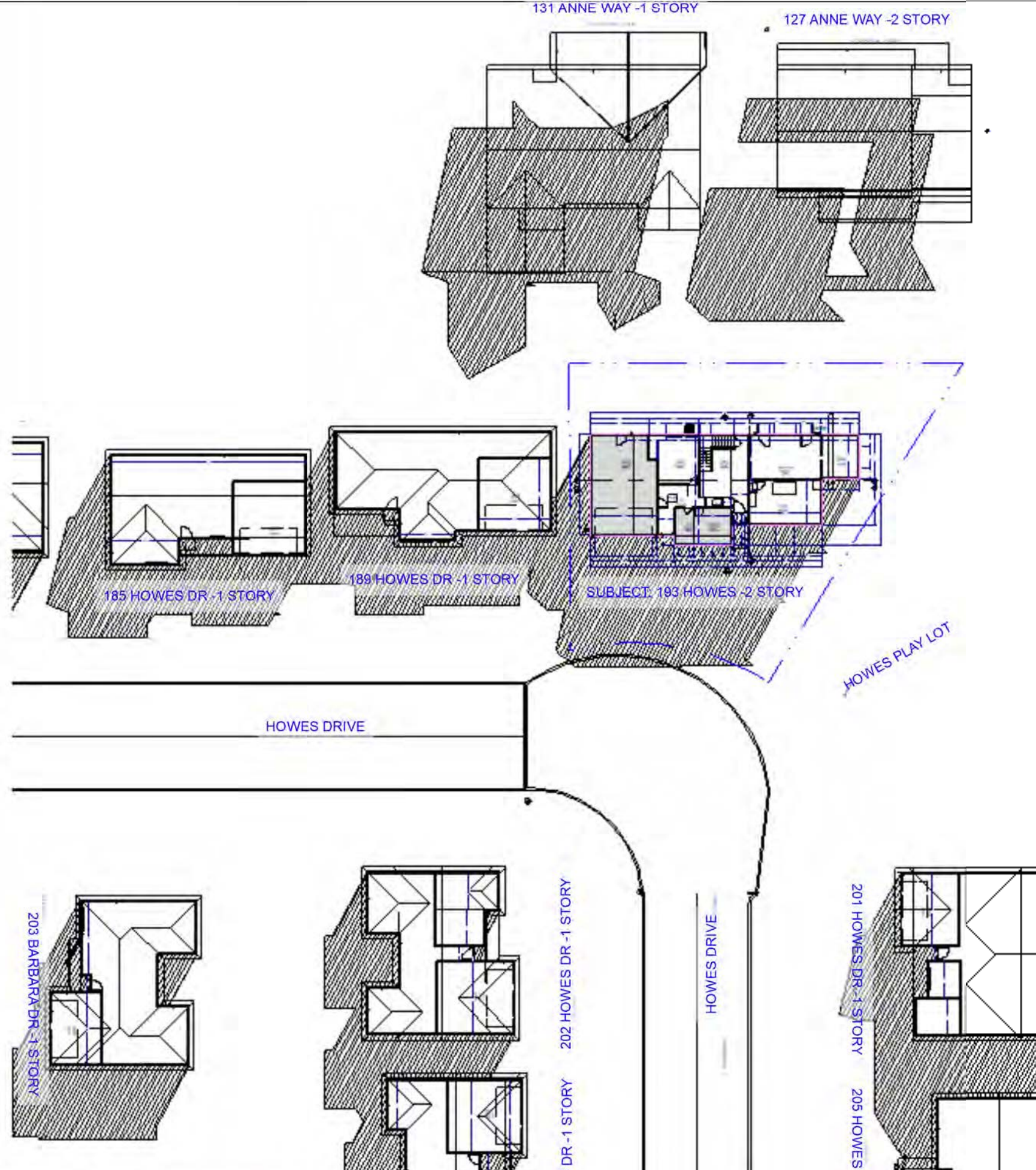
JUNE 21, 3PM



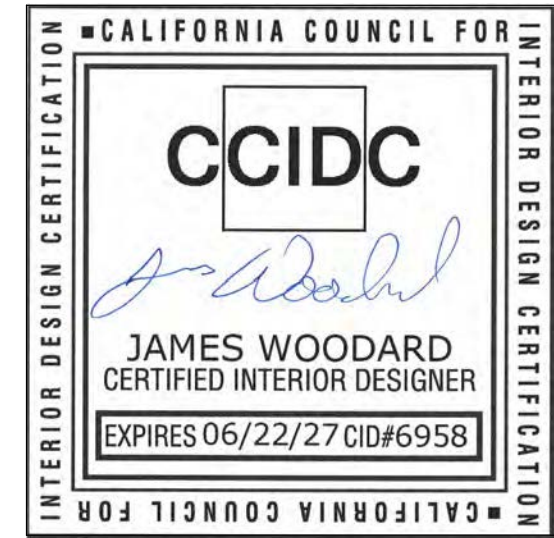
DECEMBER 21, 9AM



DECEMBER 21, NOON



DECEMBER 21, 3PM



SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 7/31/2026
SCALE: AS NOTED
DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
SHADOW STUDY

A2.4

- EXISTING NOTES:
- SEE NOTES A/NOTES B FOR GENERAL NOTES & CODE COMPLIANCE
 - FIELD VERIFICATION OF EXISTING CONDITIONS & DIMENSIONS PER BUILDER PRIOR TO DEMO
 - HW & HVAC **PER T24**
 - NO WORK IN NOTED GRAY AREAS
 - ELECTRICAL PANEL 100A, SERVICE SHALL BE UPGRADED

KEY NOTES

DESIGN NOTES	
①	AREA OF 620 SF LEVEL 1 ADDITION
②	RELOCATE AND UPDATE 100A ELECTRICAL PANEL AND METER
③	GAS METER
④	EXPAND KITCHEN
⑤	DEMO BRICK FIREPLACE
⑥	4X12 BEAM 97" AFF
⑦	ALTER LIVING TO FACILITATE STAIR ACCESS TO LEVEL 2
⑧	CONVERT BEDROOM TO OFFICE
⑨	REMOVE DOORS, DOORWAY TO REMAIN
⑩	OPEN AND EXPAND LAUNDRY WITH STORAGE
⑪	DEMOLISH POWDER FOR CABINETRY STORAGE
⑫	LIKE-FOR-LIKE REMODEL
⑬	NO WORK

TECHNICAL DEMOLITION CALCULATION:

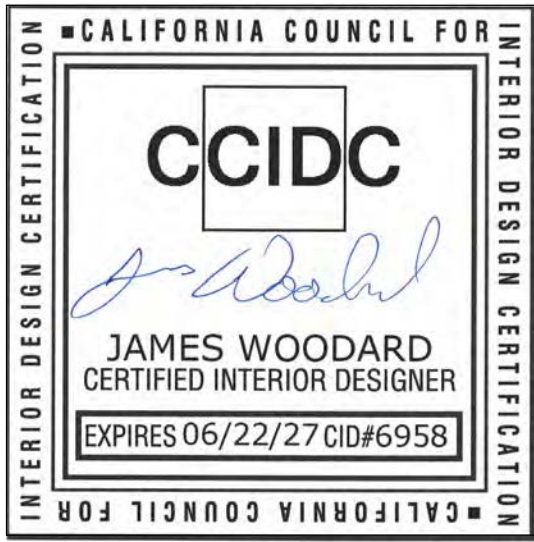
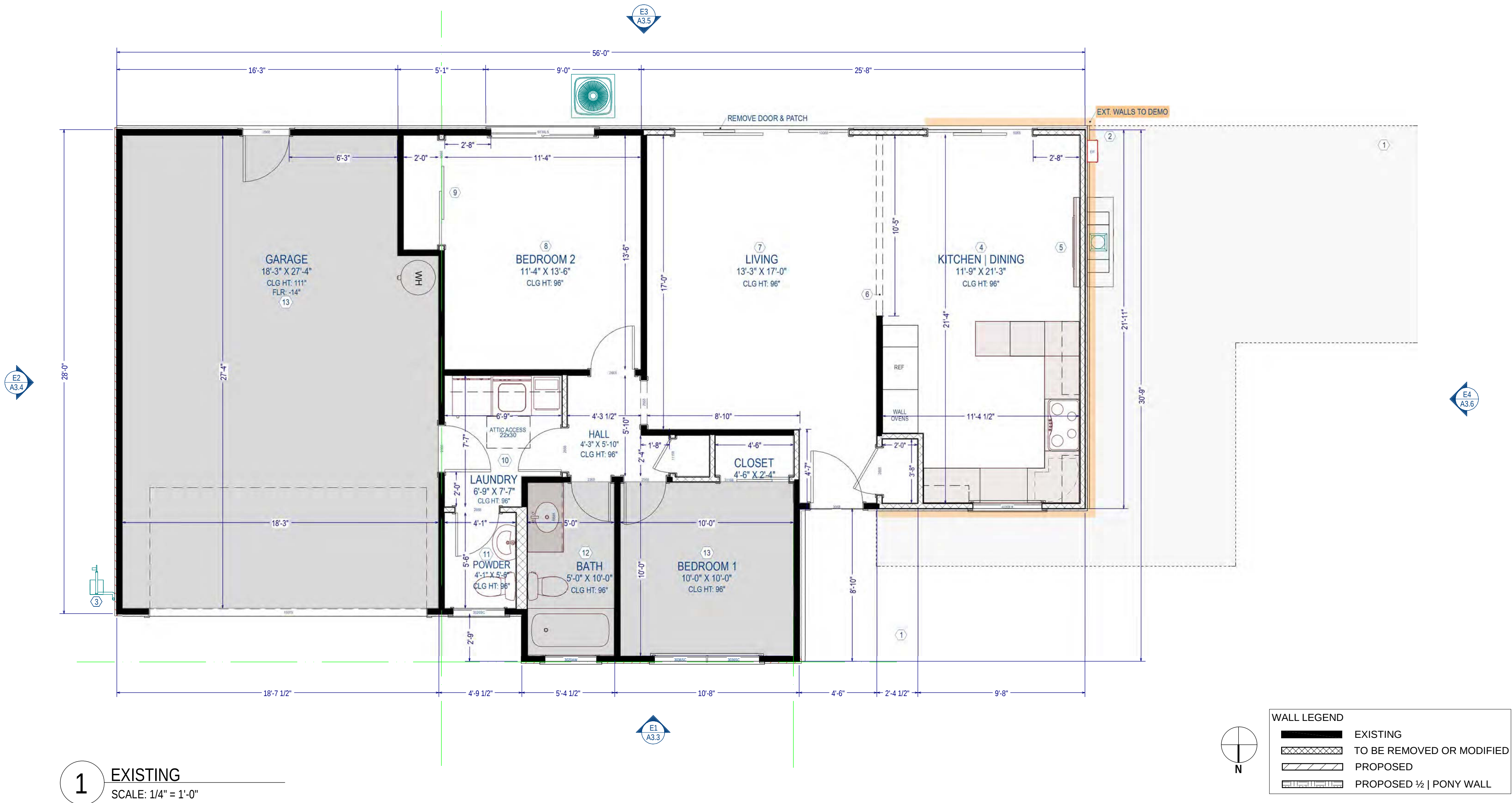
(Per Town of Los Gatos Demolition Policy – Zoning Regulations 29.10.020)

Existing Structure | Preserved Wall Framing (LF) | Demolished Wall Framing (LF)

1st Floor: 174'-4" LF | 146'-4" LF | 28'-2" LF
2nd Floor: 0 LF | 0 LF | 0 LF
Total: 174'-4" LF | 146'-4" LF | 28'-2" LF

- Preserved = 146'-4" LF
 - Demolished = 28'-2" LF
- 140 LF > 35 LF → NO TECH DEMO

* MEASUREMENTS ILLUSTRATED ON EXTERIOR ELEVATIONS



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PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
EXISTING FLOOR PLAN

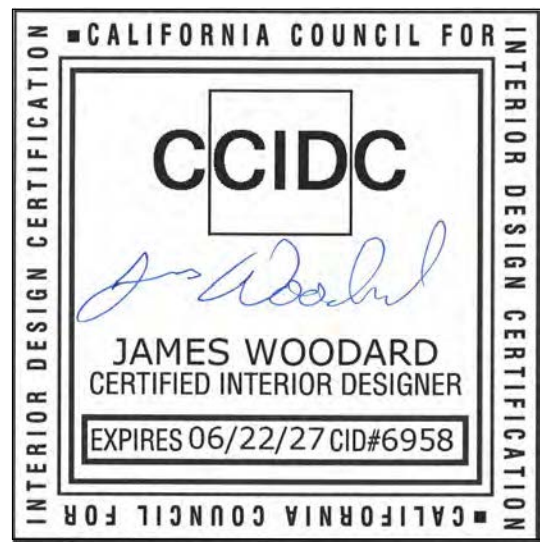
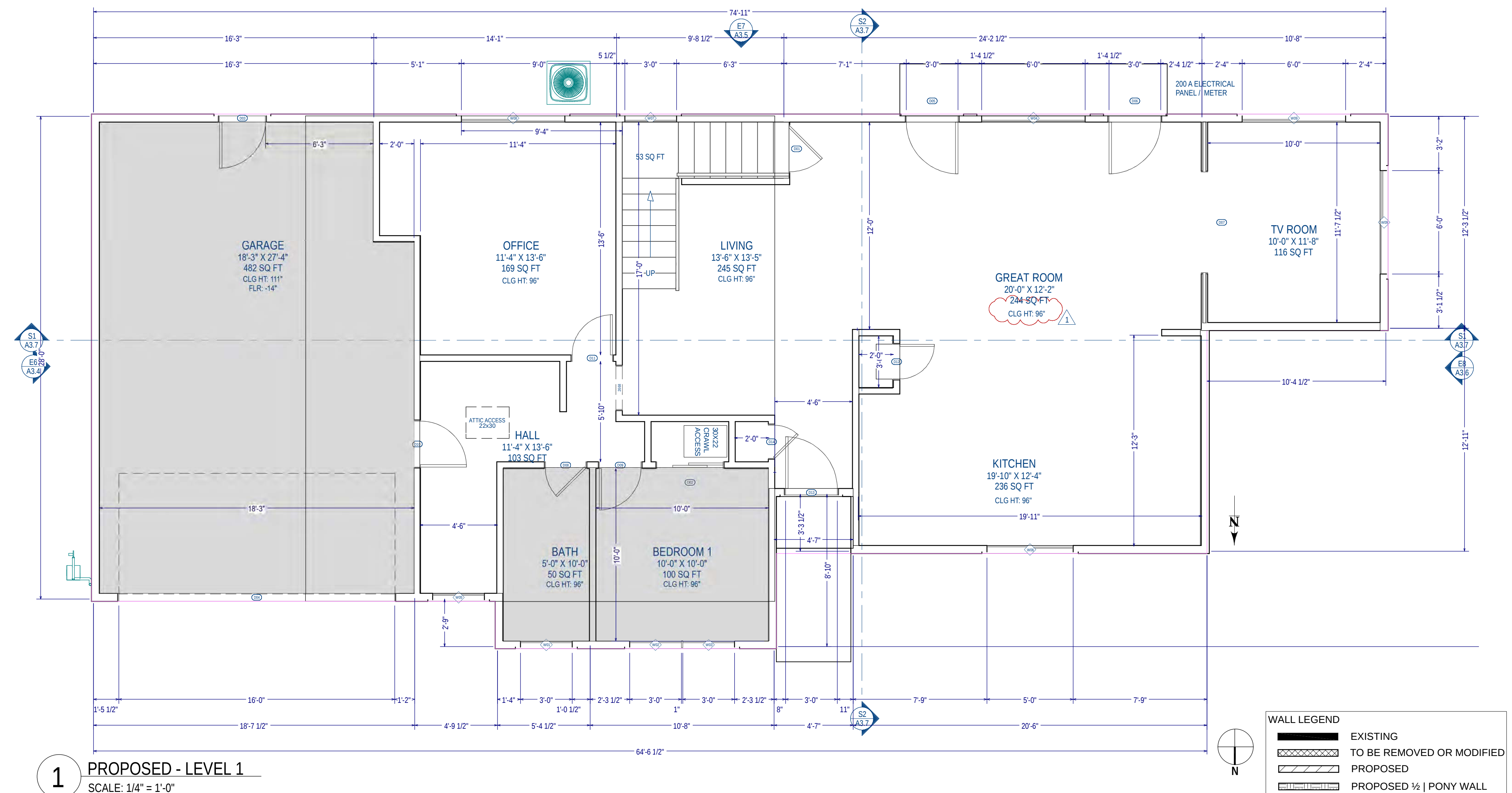
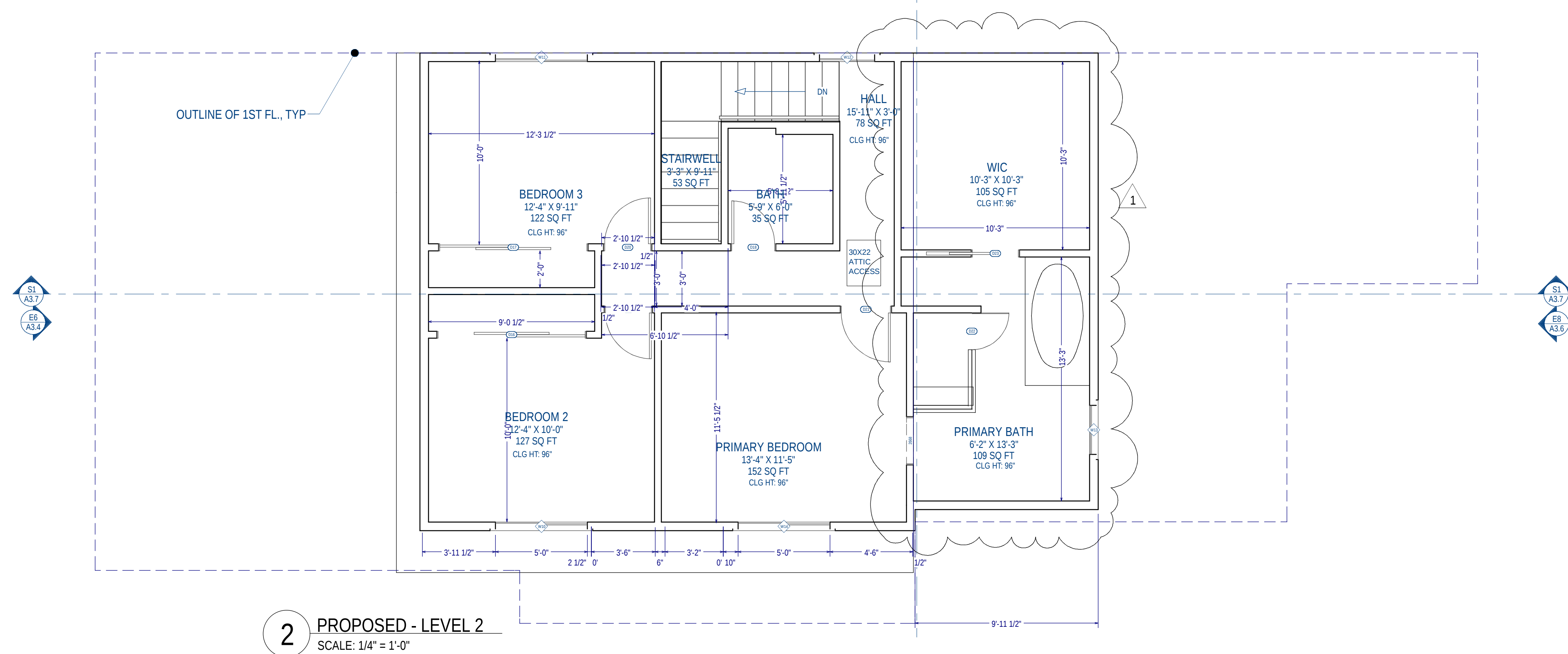
A3.0

- SEE SHEETS NOTES A/NOTES B FOR CODE COMPLIANCE
- HW & HVAC Gas
- EXISTING WINDOWS AND DOORS TO REMAIN UNLESS OTHERWISE NOTED; HEADER SIZES / OPENINGS ARE NOMINAL AND SHALL BE VERIFIED IN FIELD.
- SHOWER DRAIN TO BE CENTERED UON
- CABINETS IN PLAN AND SCHEDULE FOR REFERENCE ONLY. SEE CABINET MANUFACTURER / VENDOR SPECIFICATIONS, DETAILS PER DRAWINGS (NOT ATTACHED); CONTRACTOR TO PROVIDE BACKING IN WALLS WHERE REQUIRED TO SUPPORT CABINET
- ELECTRIC PANEL 100A
- STAIRWELLS ARE INCLUDED IN SQUARE FOOTAGE PROVIDED

PLAN NOTES	
①	100A ELECTRICAL PANEL
②	DEMO NON-STRUCTURAL WALL
③	ELECTRIC METER
④	GAS METER
⑤	HEADER CHANGE
⑥	INDUCTION COOKTOP, HOOD VENT 100 CFM MIN
⑦	LAUNDRY, DEDICATED CIRCUIT, !!NOTE VENTING!!
⑧	NEW DRYER, WASHER, WATER HOOKUP
⑨	NO WORK OR CHANGES IN GRAY AREAS
⑩	PROPOSED 221 SF ADDITION
⑪	PROPOSED 85 SF COND. SPACE TO (E) DWELLING
⑫	RANGE, ??GAS LINE MOVED??
⑬	RELOCATE ENTRANCE
⑭	TANKLESS WATER HEATERS, GAS

- FIRE-RESISTANT CONSTRUCTION: GARAGE / CARPORTS
 - SOLID WOOD / SOLID/HONEYCOMB-CORE STEEL 1-3/8" OR THICKER DOOR OR 20-MINUTE FIRE-RATED DOOR BETWEEN THE GARAGE AND RESIDENCE. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE - 2022 CRC R302.5.1
 - PARTITION 1/5" OR GREATER GYPSUM BOARD (OR EQ) APPLIED TO THE GARAGE SIDE - 2022 CRC R302.6, TITLE 24 PART 2.5
 - CEILING SEPARATION 5/8" TYPE X GYPSUM BOARD (OR EQ) - 2022 CRC R302.6
- (B) EGRESS WITH NET OPENING 5.7 SQFT, HEIGHT OF 24", WIDTH 20", BOTTOM AFF 44" OR GREATER. - CRC R310.2.1-3, 2022
- (C) BATH EXHAUST FANS:
 - BATHROOM EXHAUST FANS SHALL PROVIDE A RATE OF 50CFM MINIMUM FOR INTERMITTENT OPERATION AND 20CFM MINIMUM FOR CONTINUOUS OPERATION. 2022 CMC 405.3.1
 - ALL BATH FANS THAT SERVE A TUB OR SHOWER AREA SHALL BE ENERGY STAR COMPLIANT WITH HUMIDITY CONTROLS AND TERMINATING TO THE EXTERIOR OF THE BUILDING. EXHAUST FANS SHALL BE ENERGY STAR RATED DEVICES WITH 50-80 HUMIDITY CONTROL. 2022 CGBSC 4.506.1
- (D) SHOWER CONTROL VALVES TO HAVE AN ANTI-SCALD CAPACITY WITH A HIGH LIMIT STOP OF 120° - 2022 CPC 408.3.2
- (E) RANGE HOOD SHALL HAVE A CAPTURE EFFICIENCY (CE) RATING OF 85% OR A MINIMUM FLOW RATE OF 280 CFM. CENC 150.0(J)1G
- (F) 20AMP DEDICATED CIRCUIT TO BE INSTALLED FOR 240-VOLT CLOTHES DRYER. CEC 210.11(C)(2), 210.52(F); 2022 TITLE 24 105.0(V)
- (G) EXTERIOR RECEPTACLE OUTLET TO BE READILY ACCESSIBLE FROM GRADE AND LESS THAN 6.5 FEET ABOVE GRADE AT THE FRONT AND BACK OF THE DWELLING. CEC 210.52(E)(1)
- (H) EXTERIOR LIGHTING SHALL BE CONTROLLED BY A MANUAL ON AND OFF SWITCH WITH ACTIONS OF EITHER:
 - A PHOTOCELL OR EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL; OR
 - AN ASTRONOMICAL TIME CLOCK CONTROL, CENC 150.0(K)3

FLOOR AREA BREAKDOWN (LGMC §29.10.020)			
	Existing	Proposed	Total
1st Floor (Living)	1,088 s.f.	364 s.f.	1,452 s.f.
2nd Floor (Living)	N/A	823 s.f.	823 s.f.
Stairwell (counted on 2nd floor only)	N/A	53 s.f.	53 s.f.
TOTAL HOUSE (FAR (MAX ALLOWED HOUSE))	1,088 s.f.	1,240 s.f.	2,328 s.f. 2,328 s.f.



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PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
PROPOSED FLOOR PLAN

A3.1

EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

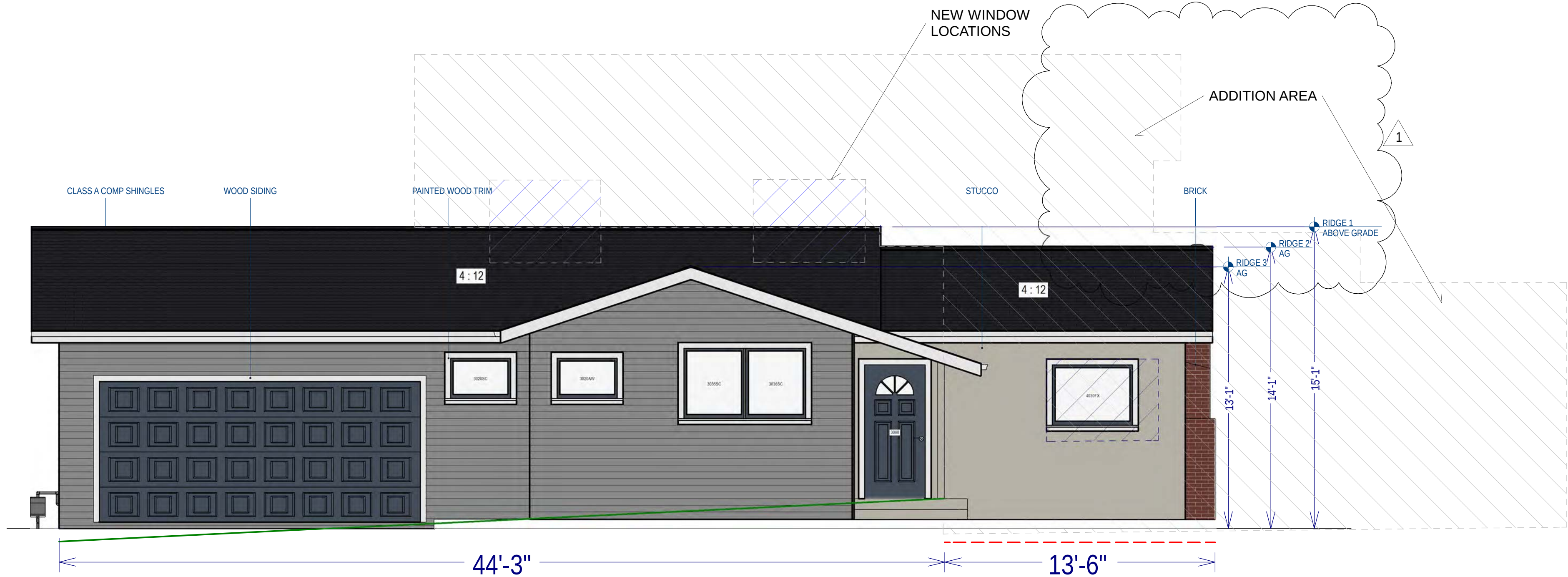
WALL DEMO

PRESERVE- LINEAR FT —

DEMO- LINEAR FT - - -

E1
A3.3

FRONT -NORTH
SCALE: 1/4" = 1'-0"



PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT - STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

WINDOWS # DOORS

- NEW WINDOWS TO MATCH THE EXISTING ONES IN STYLE AND MATERIAL., WHITE VINYL
- ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.
- NO SKYLIGHTS ARE PROPOSED.

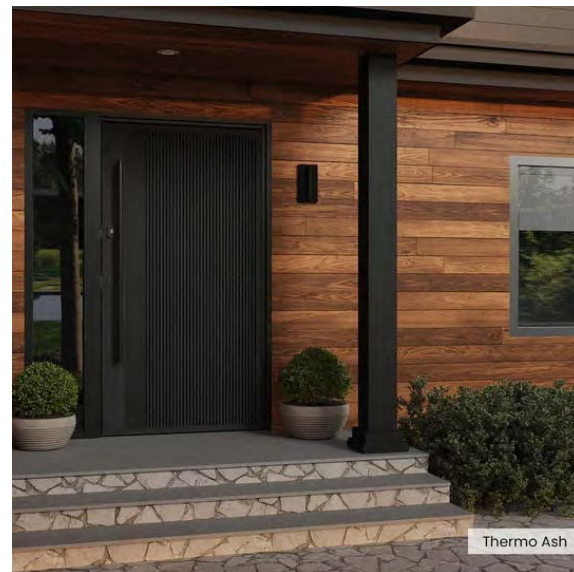


E5
A3.3

FRONT -NORTH
SCALE: 1/4" = 1'-0"

NOTE:
EXTERIOR FROSTED GLASS
INTERIOR BLACKOUT TO
ELIMINATE LIGHT BLEED

MATERIAL BOARD



WOOD SIDING
MAUNFACTURE:
WOODPLANK
LINE:
MODERN EXTERIOR
WOOD CLADDING
COLOR: THERMO ASH



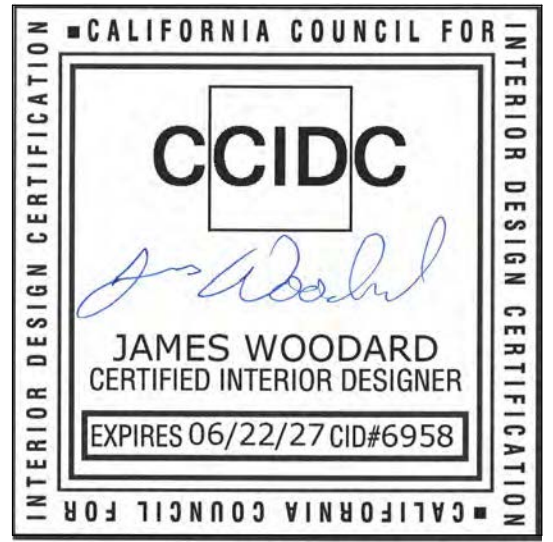
ROOFING
MAUNFACTURE:
CERTANTEED
LINE:
LANDMARK PRO
COLOR: CHARCOAL
BLACK



EXTERIOR WALL FINISH
STUCCO TEXTURE:
MATCH EXISTING

BODY COLOR:
SHERWIN WILLIAMS
COLOR: NUANCE
SW7049
SHEEN: FLAT

TRIM COLOR:
BODY COLOR:
SHERWIN WILLIAMS
COLOR: IRON ORE
SW7069
SHEEN: SEMI-GLOSS



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PROJECT: MULTI-LEVEL ADDITIONS

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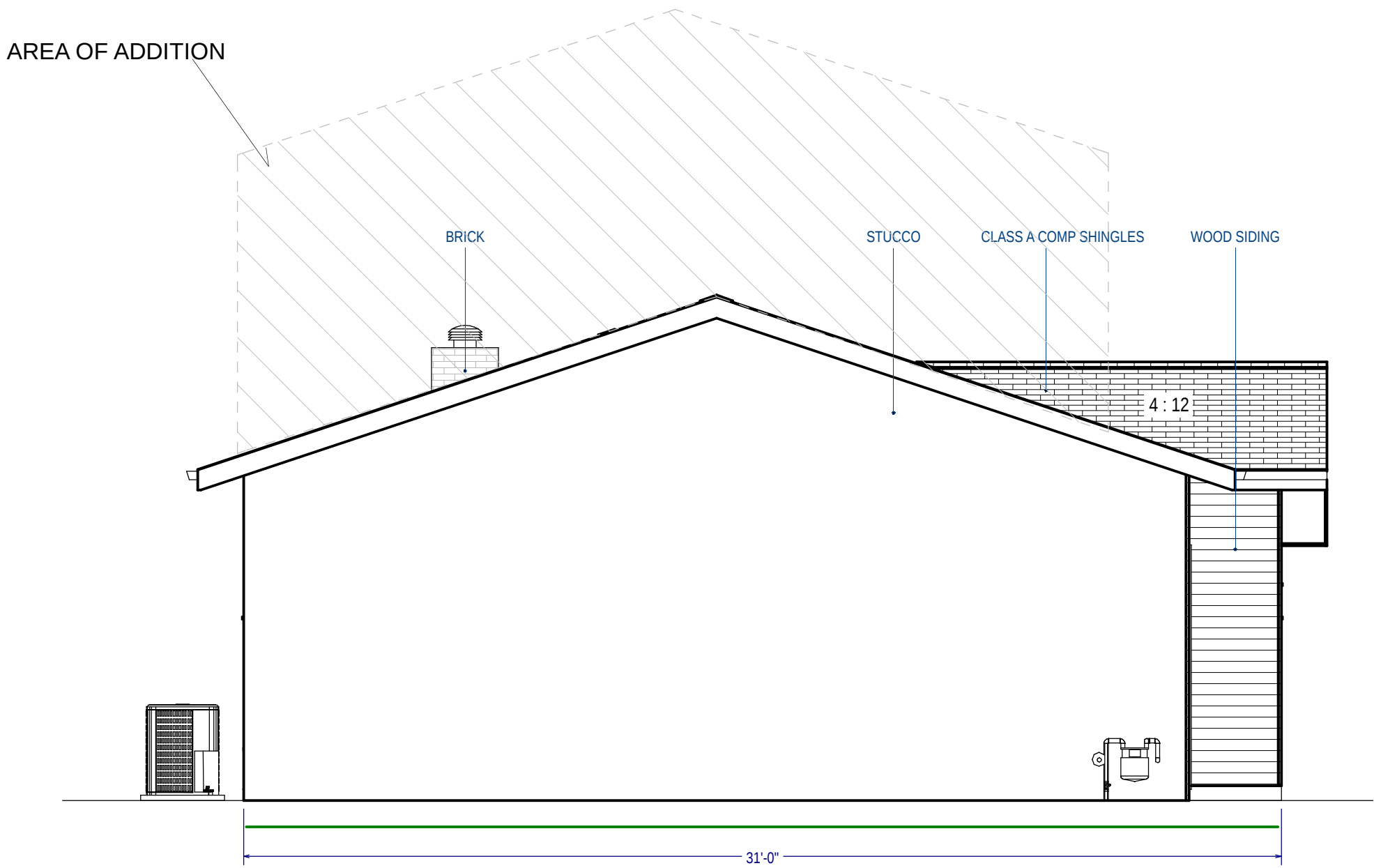
SHEET NAME:
EXTERIOR ELEVATIONS

A3.3

EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO	
PRESERVE- LINEAR FT	
DEMO- LINEAR FT	



E2 LEFT -EAST
A3.4 SCALE: 1/4" = 1'-0"

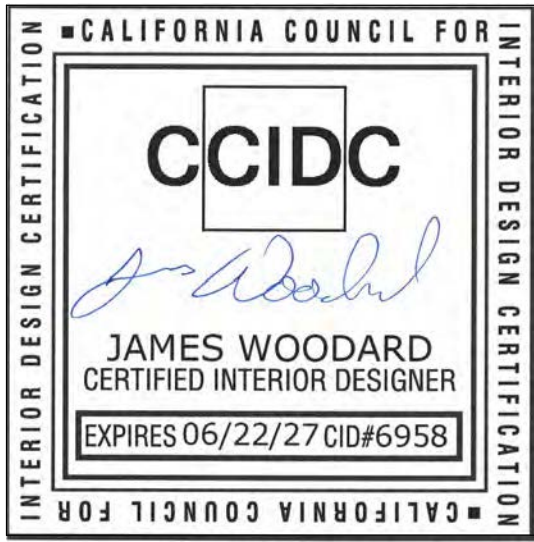
PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT -STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

WINDOWS # DOORS



E6 LEFT -EAST
A3.4 SCALE: 1/4" = 1'-0"



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LOS GATOS, CA 95032

SHEET NAME:
EXTERIOR ELEVATIONS

A3.4

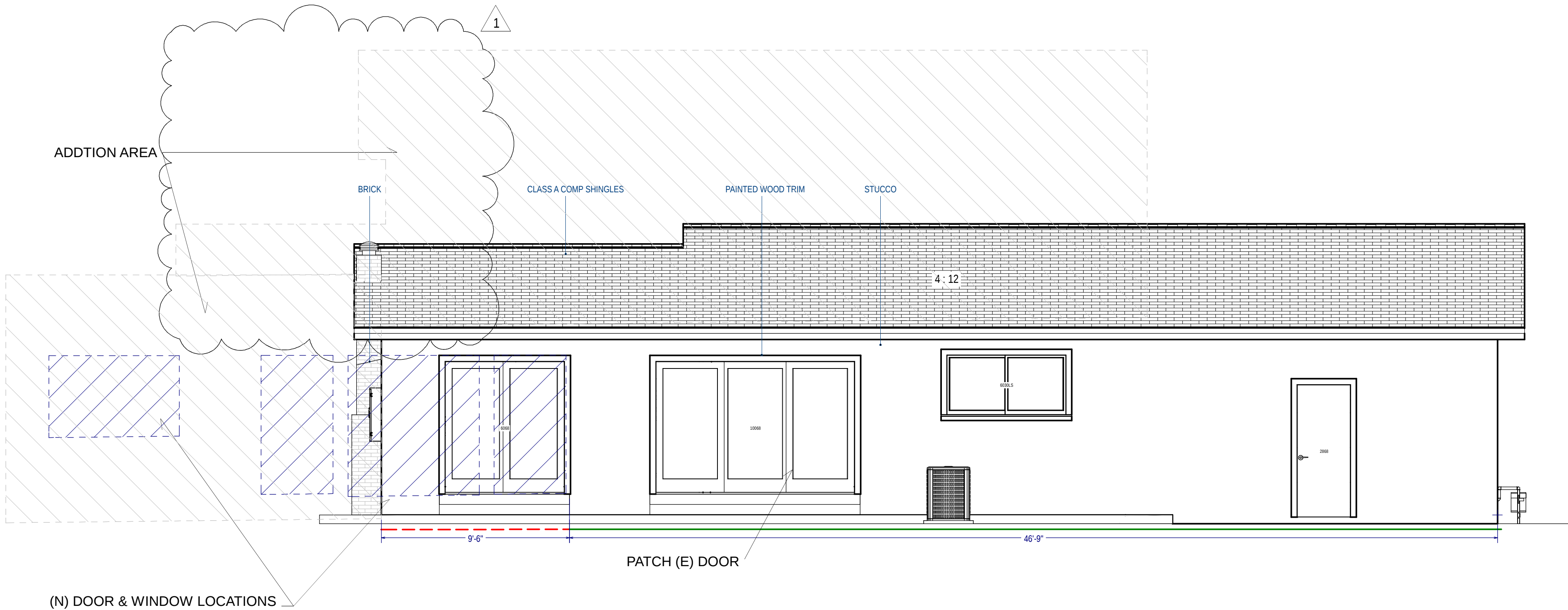
EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO

PRESERVE- LINEAR FT —

DEMO- LINEAR FT - - -



E3 REAR-SOUTH
A3.5 SCALE: 1/4" = 1'-0"

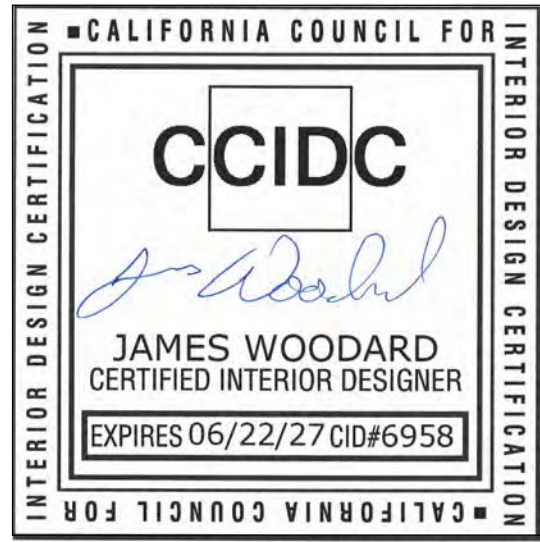
PROPOSED EXT. ELEVATION NOTES:

- DOORS AND WINDOWS AS LABELED, SEE SCHEDULES
- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT -STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
- ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108

WINDOWS # DOORS



E7 REAR-SOUTH
A3.5 SCALE: 1/4" = 1'-0"



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REVISIONS			
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PROJECT: MULTI-LEVEL ADDITIONS

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LOS GATOS, CA 95032

SHEET NAME:
EXTERIOR ELEVATIONS

A3.5

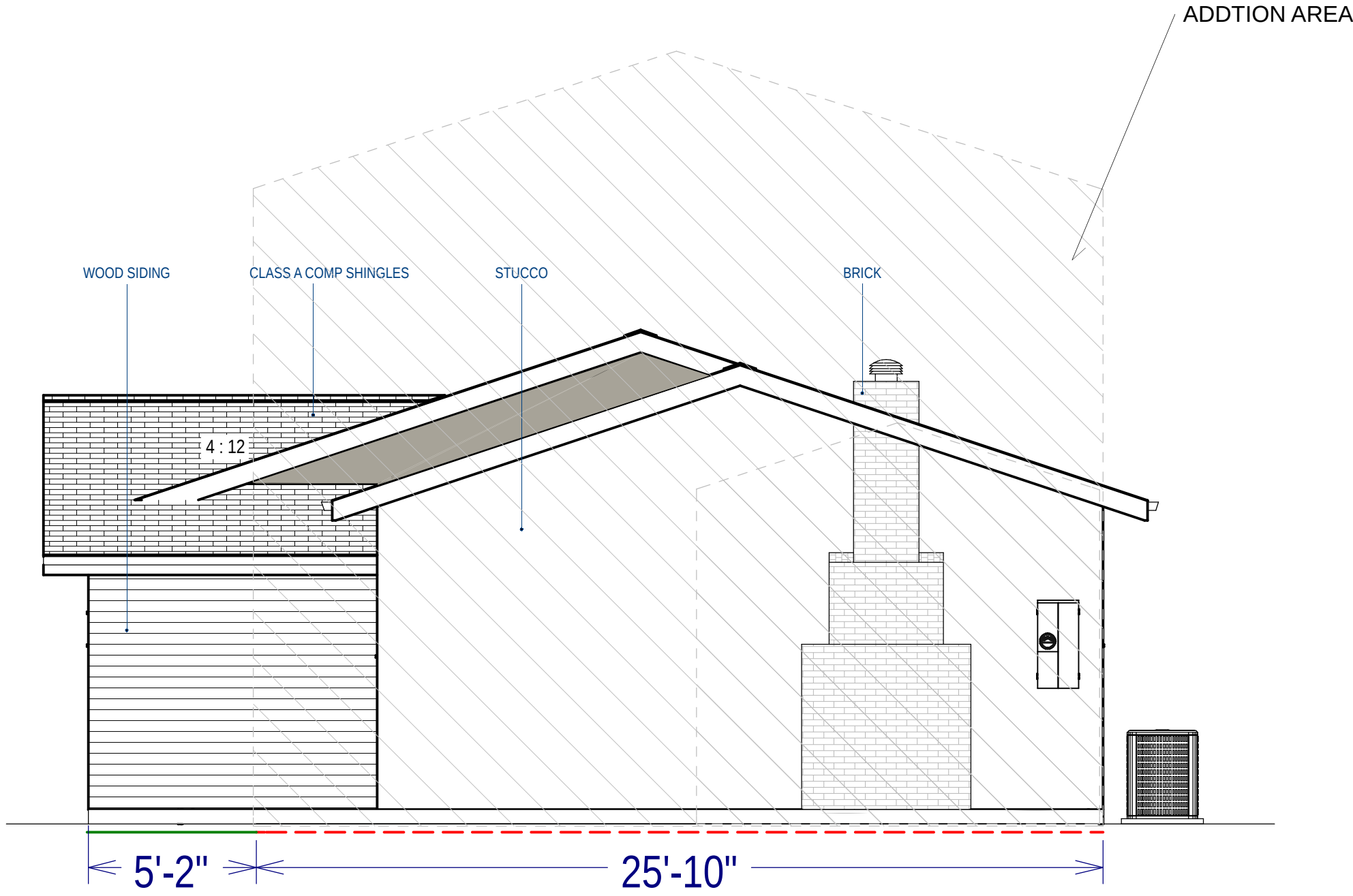
EXISTING EXT. ELEVATION NOTES:

- MATERIALS/FINISHES AS SHOWN
- NO CHANGE TO GRADE

WALL DEMO

PRESERVE- LINEAR FT —————

DEMO- LINEAR FT - - - - -



E4
A3.6 RIGHT -WEST
SCALE: 1/4" = 1'-0"

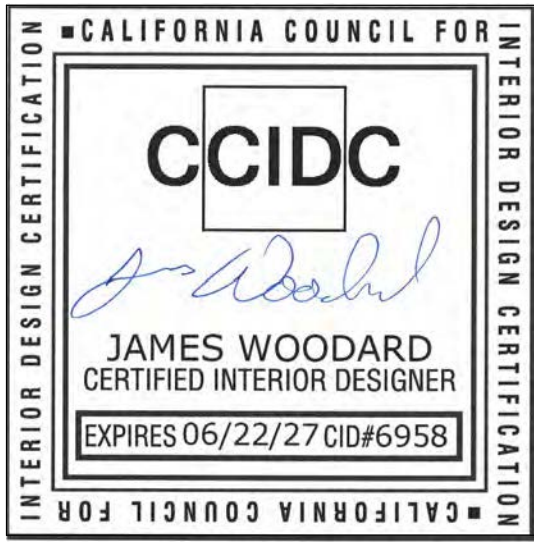
PROPOSED EXT. ELEVATION NOTES:

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- NEW EXTERIOR MATERIALS
 - ROOF - COMP SHINGLES, CLASS A
 - WALLS - STUCCO
 - WALL ACCENT -STAINED WOOD V BOARDS
 - TRIM - PAINTED WOOD
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WINDOWS # DOORS



E8
A3.6 RIGHT -WEST
SCALE: 1/4" = 1'-0"



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PROJECT: MULT-LEVEL ADDITIONS

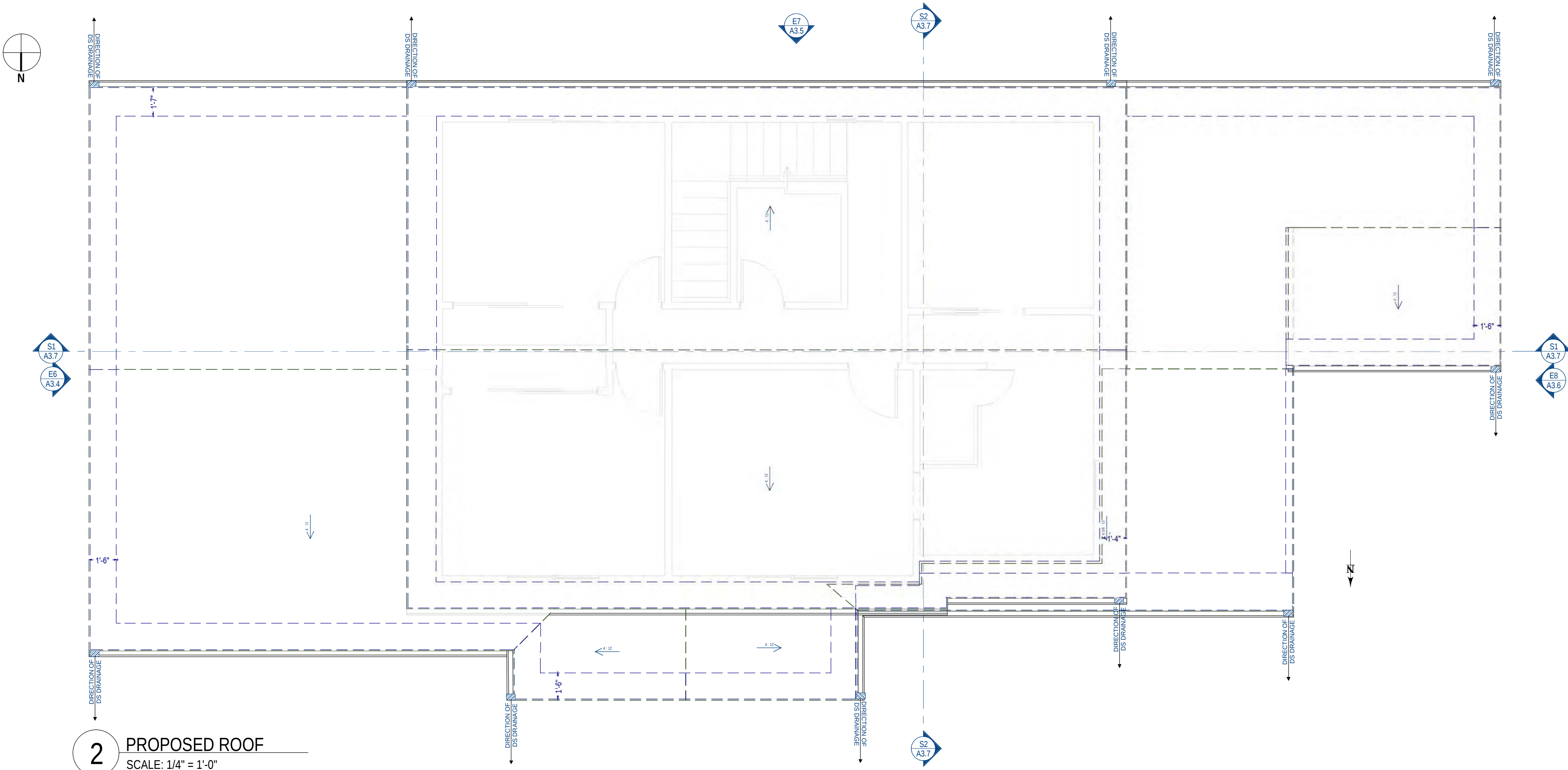
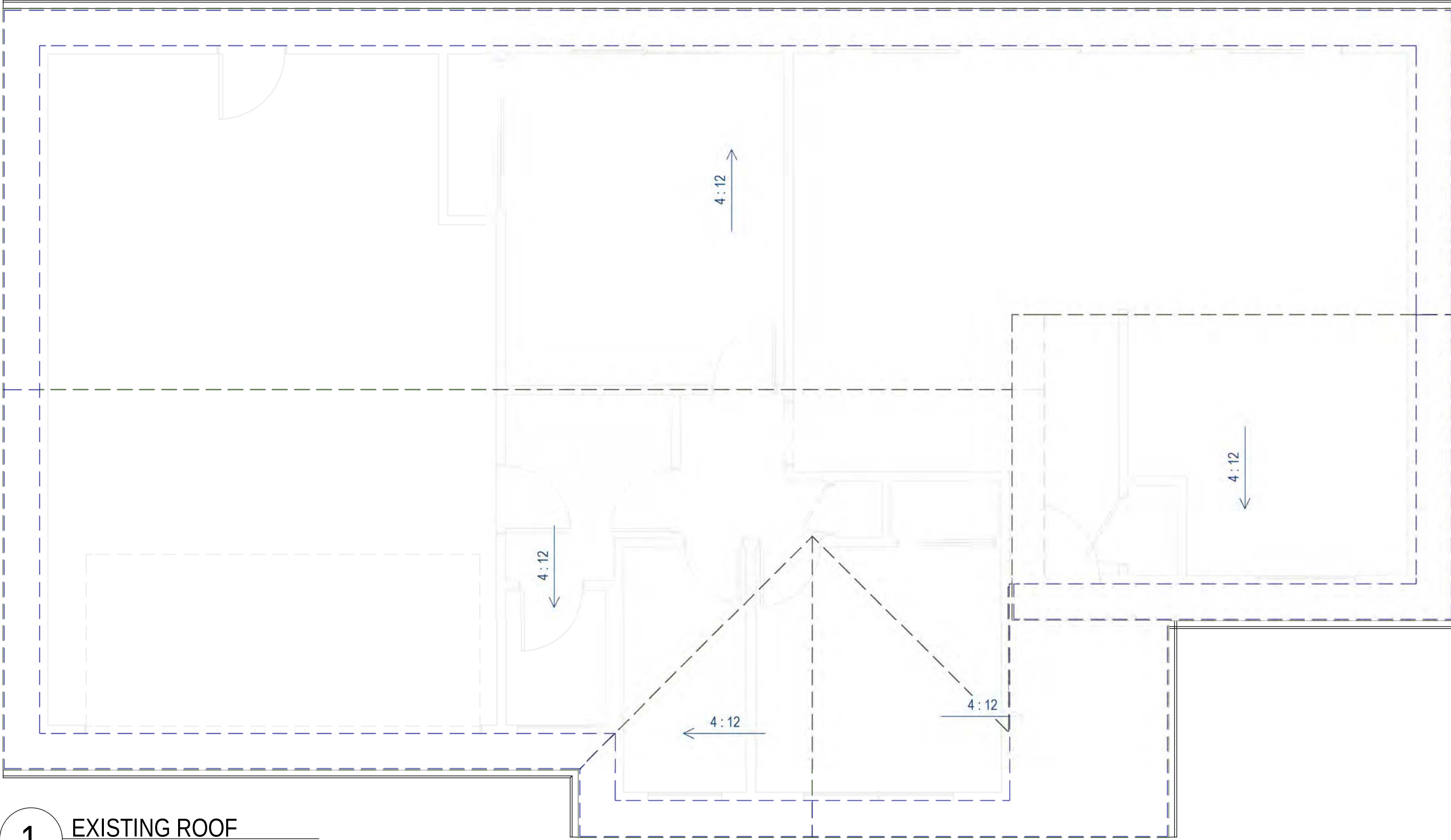
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
EXTERIOR ELEVATIONS

A3.6

ROOF PLAN

- NOTES:
- MATCH EXISTING ROOF PITCH, EAVE DEPTH
 - VERIFY IN FIELD ROOF PITCH, EAVE DEPTH. ROOF PITCH AND EAVES SHALL EQUAL EXISTING.
 - ROOFING SHALL BE TESTED IN ACCORDANCE WITH UL790 OR ASTM E108
 - NO SKYLIGHTS PROPOSED

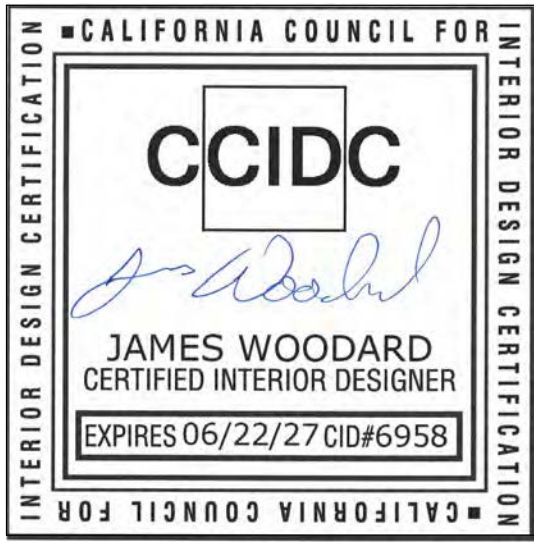
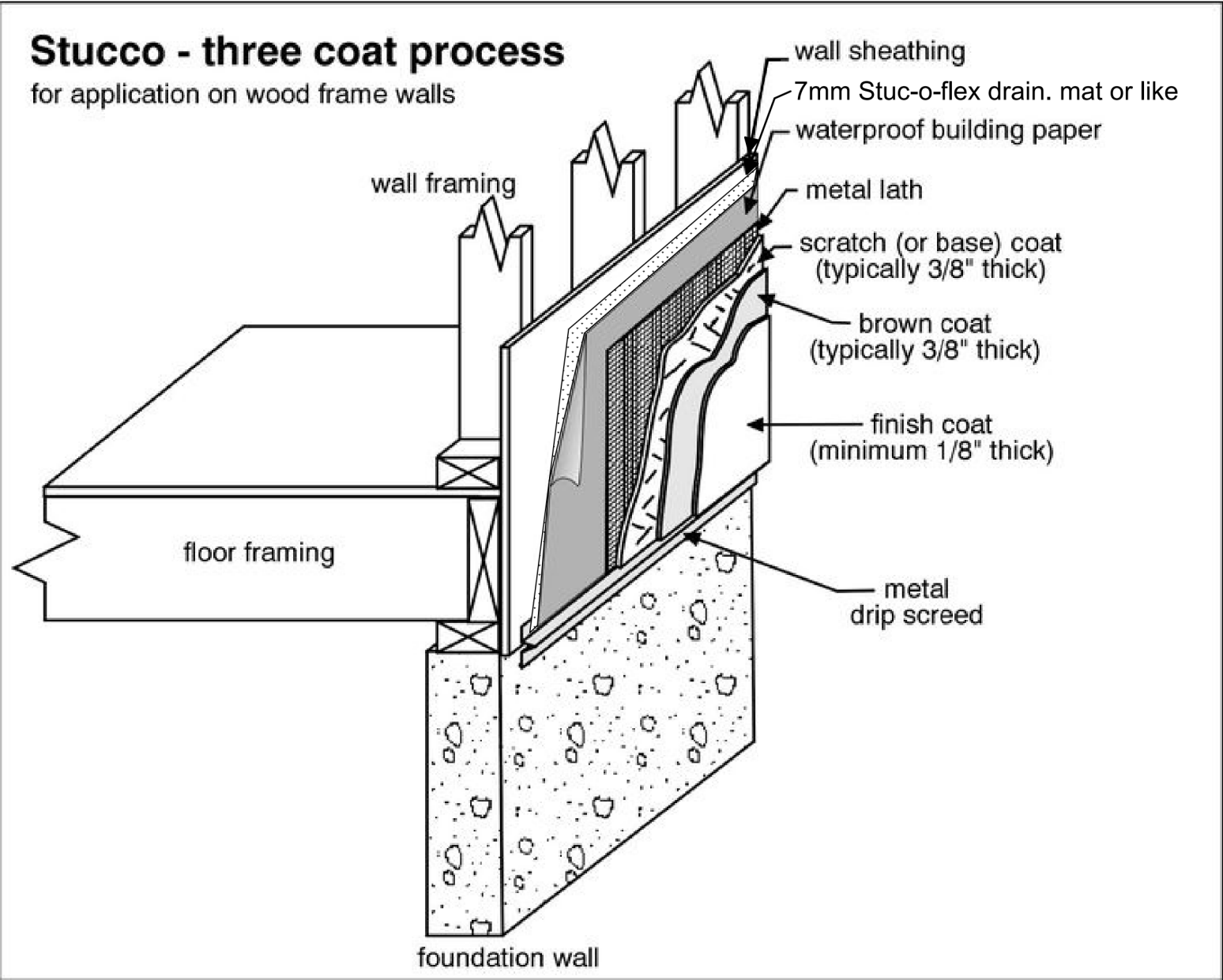


VENTILATION

ATTIC VENTILATION
ROOF VENT = 12.5 SQ. IN. NFA / LF
OWENS CORNING VENTSURE RIGID ROLL RIDGE VENT OR EQUAL
EAVE VENT = 10 SQ. IN. NFA / LF
OWENS CORNING VENTSURE INFLOW INTAKE VENT OR EQUAL
[NFA - NET FREE AREA]

ATTIC AREA = 1061 SF
DIVIDED BY 150 SF = REQUIRED VENT AREA = 7.10 SF
INTAKE FREE AIR NEEDED: 3.55 SF / 511 SQ. IN.
EXHAUST FREE AIR NEEDED: 3.55 SF / 511 SQ. IN.
PROVIDE 41 LF RIDGE VENT = 3.56 SF
PROVIDE 52 LF EAVE VENT = 3.61 SF
VENTILATION PROVIDED = 7.17 SF

FOUNDATION VENTILATION
UNDER FLOOR AREA = 484 SF
DIVIDE BY 150 SF = REQUIRED AREA OF 3.23 SF / 465 SQ. IN.
FOUNDATION VENT 8"x16" = 128 SQ. IN. / VENT (0.89 SF / VENT)
SILVER METALS V26F OR EQUAL
PROVIDE 4 V26F = 3.56 SF



SEIGO DESIGNS & INTERIORS
6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 7/31/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

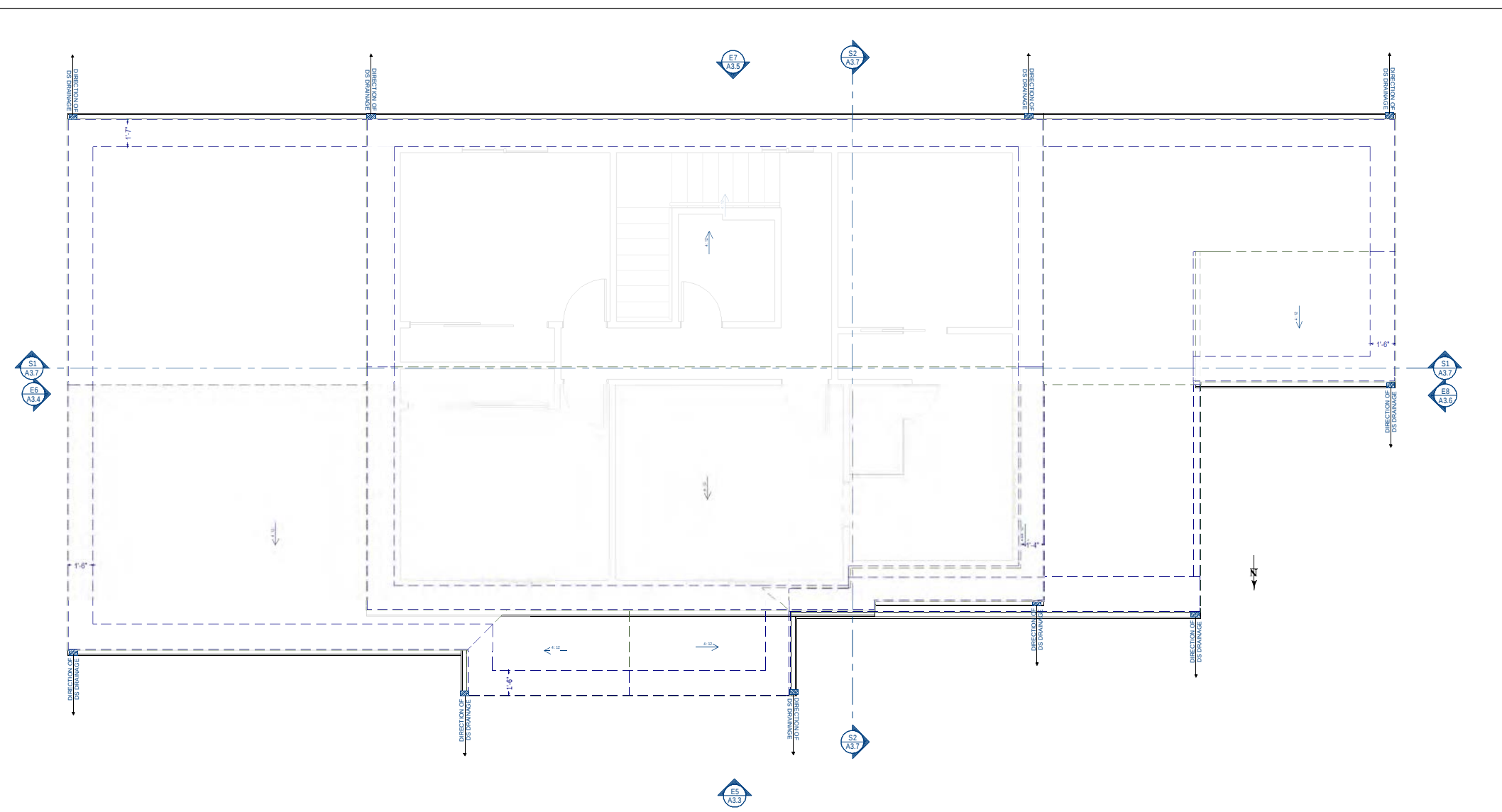
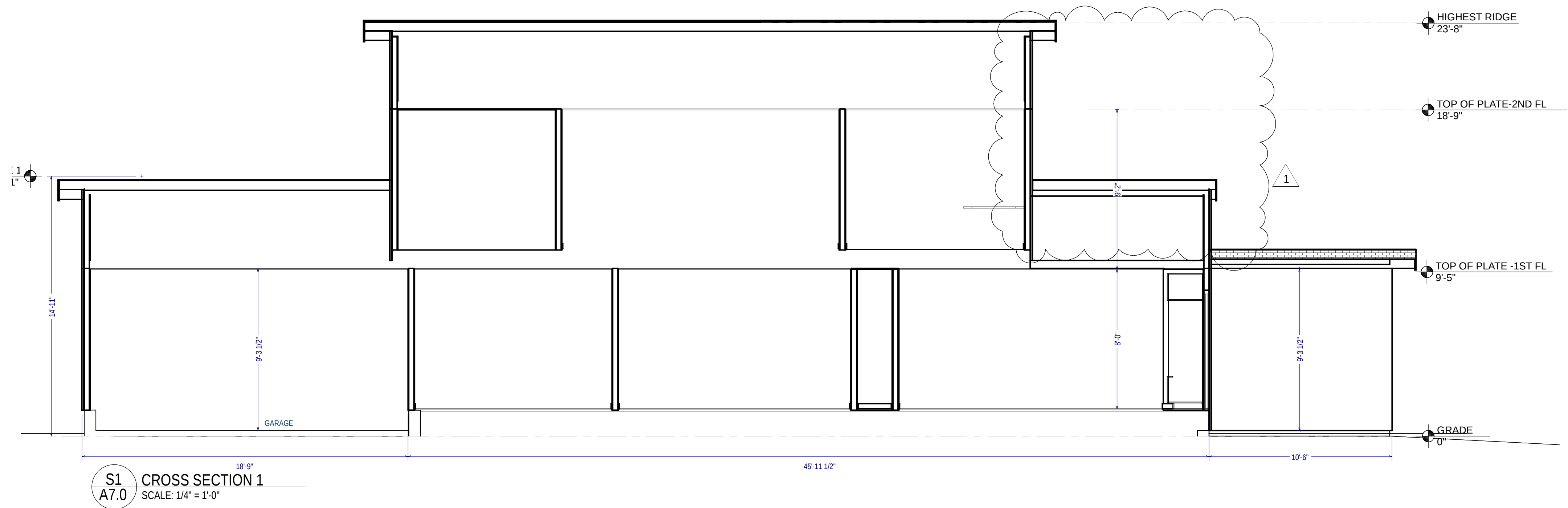
PROJECT: MULTI-LEVEL ADDITIONS
GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
ROOF PLAN

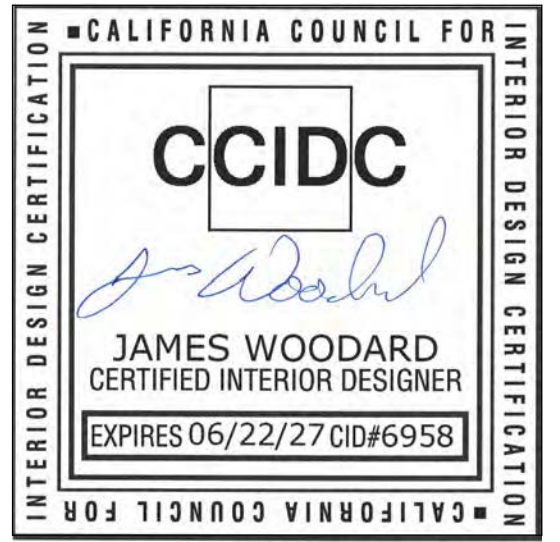
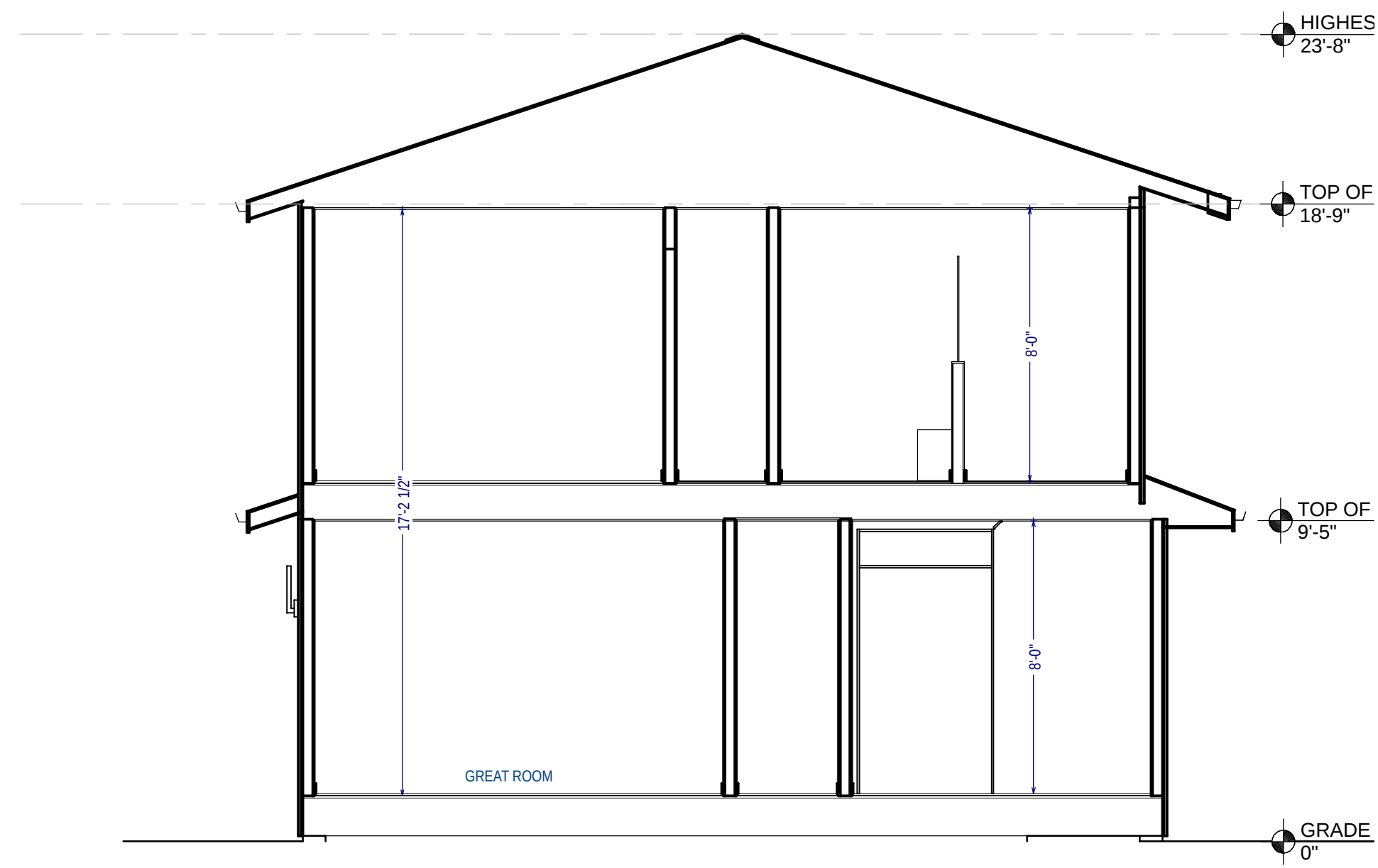
A3.7

CROSS SECTIONS

- NOTES:
- R-1bd INSULATION IN NEW EXTERIOR WALLS
 - R-TBD INSULATION IN ATTIC



K KEY PLAN
SCALE: 1/8" = 1'-0"



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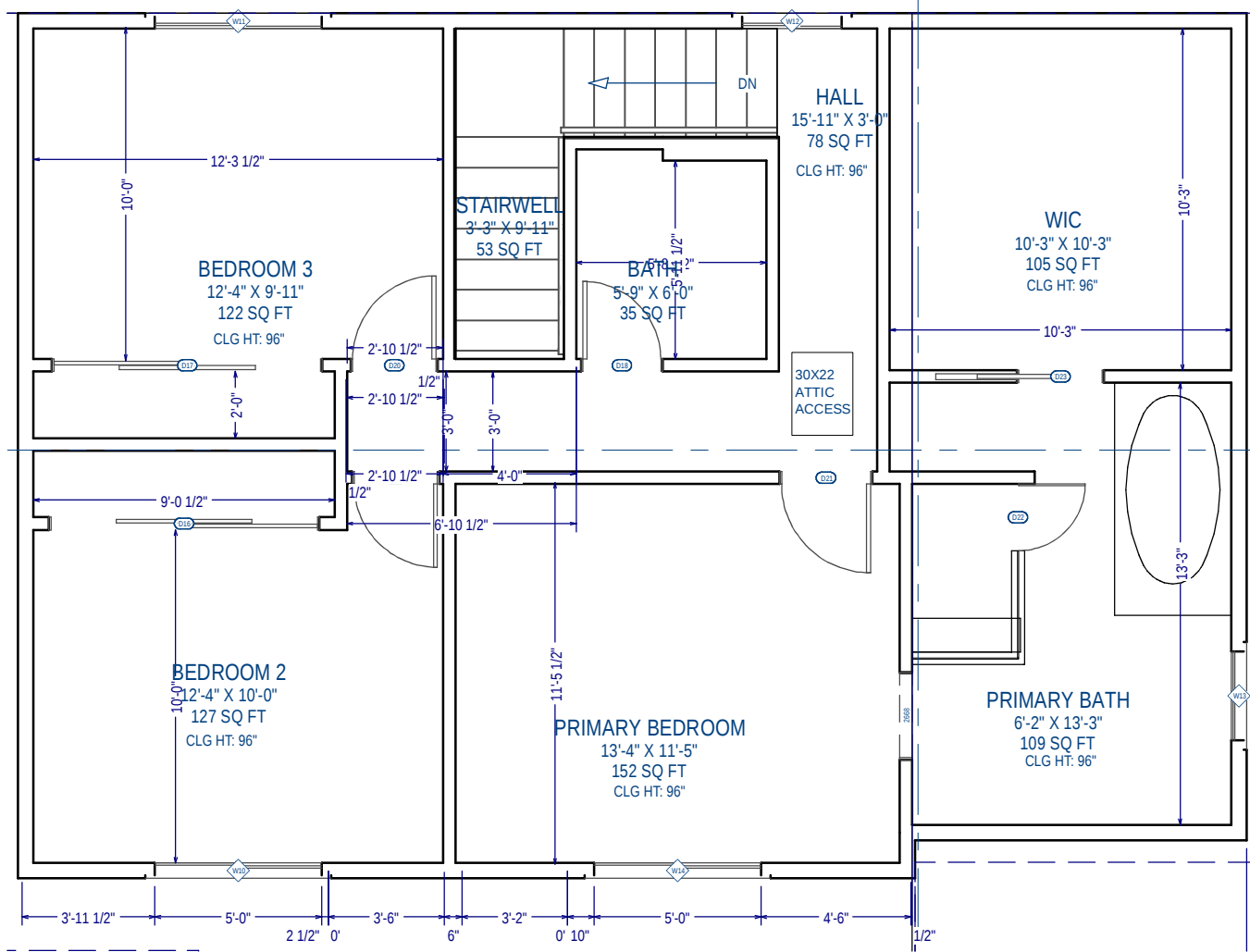
PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
CROSS SECTIONS

A3.8

SCHEDULES



2 PROPOSED - LEVEL 2
SCALE: 1/4" = 1'-0"

*E/N - EXISTING / NEW
EXISTING WINDOW AND DOORS TO REMAIN UNLESS OTHERWISE NOTED

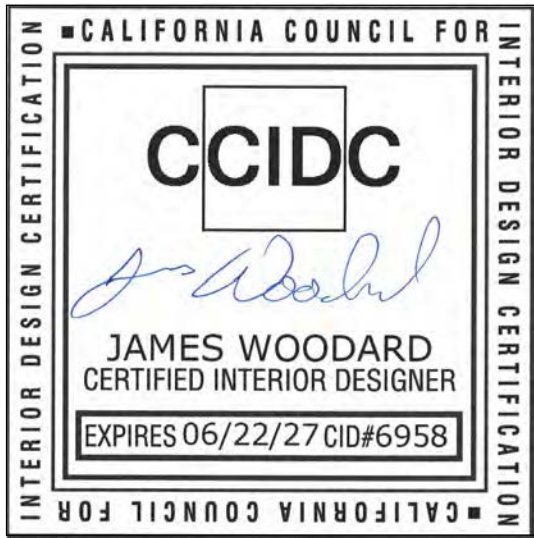
DOOR SCHEDULE						
#	E/N/R	FLR	ROOM	DESCRIPTION	DIMENSIONS	QTY COMMENTS
D01	N	1	UNDER-STAIRS	HINGED-DOOR P04	32"x80"x1 3/8" L IN	1
D02	1	1	CLOSET/BEDROOM 1	SLIDER-DOOR P04	(2) 24"x80"x1 3/8" R IN	1
D03	E	1	GARAGE	EXT. HINGED-SLAB	32"x80"x1 3/4" R EX	1
D04	E	1	GARAGE	GARAGE-AVANTE 2 PANEL 21"	192"x84"x1 3/4"	1
D05	N	1	GREAT ROOM	EXT. HINGED-GLASS PANEL	36"x80"x1 3/4" L EX	1
D06	N	1	GREAT ROOM	EXT. HINGED-GLASS PANEL	36"x80"x1 3/4" R EX	1
D07	N	1	GREAT ROOM /TV ROOM	EXT. DOUBLE POCKET-GLASS PANEL	(2) 35"x80"x1 3/4" L/R EX	1
D08	E	1	HALL/BATH	HINGED-DOOR P04	28"x80"x1 3/8" L IN	1
D09	E	1	HALL/BEDROOM 1	HINGED-DOOR P04	28 15/16"x80"x1 3/8" R IN	1
D10	E	1	HALL/GARAGE	EXT. HINGED-SLAB	32"x80"x1 3/4" R EX	1 FIRE-RATED
D11	1	1	HALL/OFFICE	HINGED-DOOR P04	28"x80"x1 3/8" R IN	1
D12	1	1	KITCHEN/CLOSET	HINGED-GLASS PANEL	24"x80"x1 3/8" L IN	1
D13	E	1	LIVING	EXT. HINGED-DOOR E10	36"x80"x1 3/4" L EX	1
D14	1	1	LIVING/CLOSET	HINGED-DOOR P04	23"x80"x1 3/8" R IN	1
D15	1	1	UNSPECIFIED	EXT. HINGED-DOOR E21	36"x80"x1 3/4" L EX	2
D16	2	2	CLOSET/BEDROOM 2	SLIDER-DOOR P04	(2) 49"x80"x1 3/8" L IN	1
D17	2	2	CLOSET/BEDROOM 3	SLIDER-DOOR P04	(2) 49"x80"x1 3/8" L IN	1
D18	2	2	HALL/BATH	HINGED-DOOR P04	28"x80"x1 3/8" L IN	1
D19	2	2	HALL/BEDROOM 2	HINGED-DOOR P04	30"x80"x1 3/8" L IN	1
D20	2	2	HALL/BEDROOM 3	HINGED-DOOR P04	30"x80"x1 3/8" R IN	1
D21	2	2	HALL/PRIMARY BEDROOM	HINGED-DOOR P04	32"x80"x1 3/8" L IN	1
D22	2	2	PRIMARY BATH/PRIMARY BATH	SHOWER-GLASS SLAB	24"x80"x1/2" L	1
D23	2	2	PRIMARY BATH/WIC	POCKET-DOOR P04	30"x80"x1 3/8" L	1

NO SKYLIGHTS PROPOSED

WINDOW SCHEDULE							
#	E/N/R	FLR	ROOM	DESCRIPTION	DIMENSIONS	AFF	QTY COMMENTS
W01	E	1	BATH	SINGLE AWNING	36"x24"AW	56"	1 TEMPERED
W02	E	1	BEDROOM 1	SINGLE CASEMENT-HL	36"x42"SC	38"	1 EGRESS
W03	E	1	BEDROOM 1	SINGLE CASEMENT-HR	36"x42"SC	38"	1 EGRESS
W04	N	1	GREAT ROOM	FIXED GLASS	72"x80"FX	0"	1
W05	E	1	HALL	SINGLE CASEMENT-HL	36"x24"SC	60"	1 TEMPERED
W06	E	1	KITCHEN	LEFT SLIDING	60"x42"LS	38"	1
W07	N	1	LIVING	FIXED GLASS	36"x48"FX	142"	1
W08	E	1	OFFICE	LEFT SLIDING	72"x36"LS	44"	1 EGRESS
W09	N	1	TV ROOM	LEFT SLIDING	72"x42"LS	38"	2
W10	N	2	BEDROOM 2	LEFT SLIDING	60"x42"LS	38"	1
W11	N	2	BEDROOM 3	LEFT SLIDING	60"x48"LS	32"	1
W12	N	2	HALL	LEFT SLIDING	36"x48"LS	32"	1
W13	2	2	PRIMARY BATH	SINGLE HUNG	32"x48"SH	32"	1
W14	N	2	PRIMARY BEDROOM	LEFT SLIDING	60"x42"LS	38"	1

CABINETS IN PLAN AND SCHEDULE FOR REFERENCE ONLY.
SEE CABINET MANUFACTURER / VENDOR SPECIFICATIONS FOR INSTALL

CABINET SCHEDULE					
#	FLR	ROOM	DESCRIPTION	DIMENSIONS	QTY
C01	1	HALL	BASE CABINET	72"x18"x18"	1
C02	1	HALL	WALL CABINET	72"x12"x24"	1
C03	1	HALL	BASE CABINET	30"x24"x36"	1
C04	1	HALL	WALL CABINET	30"x12"x39"	1
C05	1	HALL	WALL CABINET	33"x12"x39"	2
C06	1	KITCHEN	BASE CABINET	24"x24"x36"	4
C07	1	KITCHEN	BASE CABINET	36"x24"x36"	3
C08	1	KITCHEN	UTILITY CABINET	48"x24"x93"	1
C09	1	KITCHEN	BASE CABINET	18"x24"x36"	1
C10	1	KITCHEN	UTILITY CABINET	30"x24"x93"	1
C11	1	KITCHEN	BASE CABINET	48"x12"x18"	2
C12	1	KITCHEN	BASE CABINET	45"x24"x36"	2
C13	1	KITCHEN	CORNER WALL CABINET	24"x24"x39"	2
C14	1	KITCHEN	WALL CABINET	24"x12"x39"	2
C15	1	KITCHEN	BASE CABINET	30"x24"x36"	2
C16	1	KITCHEN	WALL CABINET	30"x12"x39"	1
C17	1	KITCHEN	BASE CABINET	4"x36"x36"	2
C18	1	KITCHEN	BASE CABINET	27"x24"x36"	2
C19	1	KITCHEN	WALL CABINET FILLER	1 7/16"x12"x39"	1
C20	1	KITCHEN	WALL CABINET	54"x12"x39"	2
C21	2	BEDROOM 2	BASE CABINET	41 1/4"x24"x30"	1
C22	2	BEDROOM 2	BASE CABINET	65"x18"x18"	1
C23	2	BEDROOM 2	UTILITY CABINET	41 1/8"x18"x93"	1
C24	2	BEDROOM 2	WALL CABINET	41 1/8"x12"x63"	1
C25	2	BEDROOM 3	BASE CABINET	63"x18"x18"	1
C26	2	BEDROOM 3	BASE CABINET	39"x24"x30"	1
C27	2	BEDROOM 3	WALL CABINET	39"x12"x63"	1
C28	2	BEDROOM 3	UTILITY CABINET	39"x18"x93"	1
C29	2	PRIMARY BATH	UTILITY CABINET	18"x24"x93"	1
C30	2	PRIMARY BEDROOM	BASE CABINET	39"x24"x30"	1
C31	2	PRIMARY BEDROOM	BASE CABINET	39 15/16"x18"x18"	2
C32	2	PRIMARY BEDROOM	UTILITY CABINET	38"x18"x93"	1
C33	2	PRIMARY BEDROOM	WALL CABINET	39"x12"x63"	1



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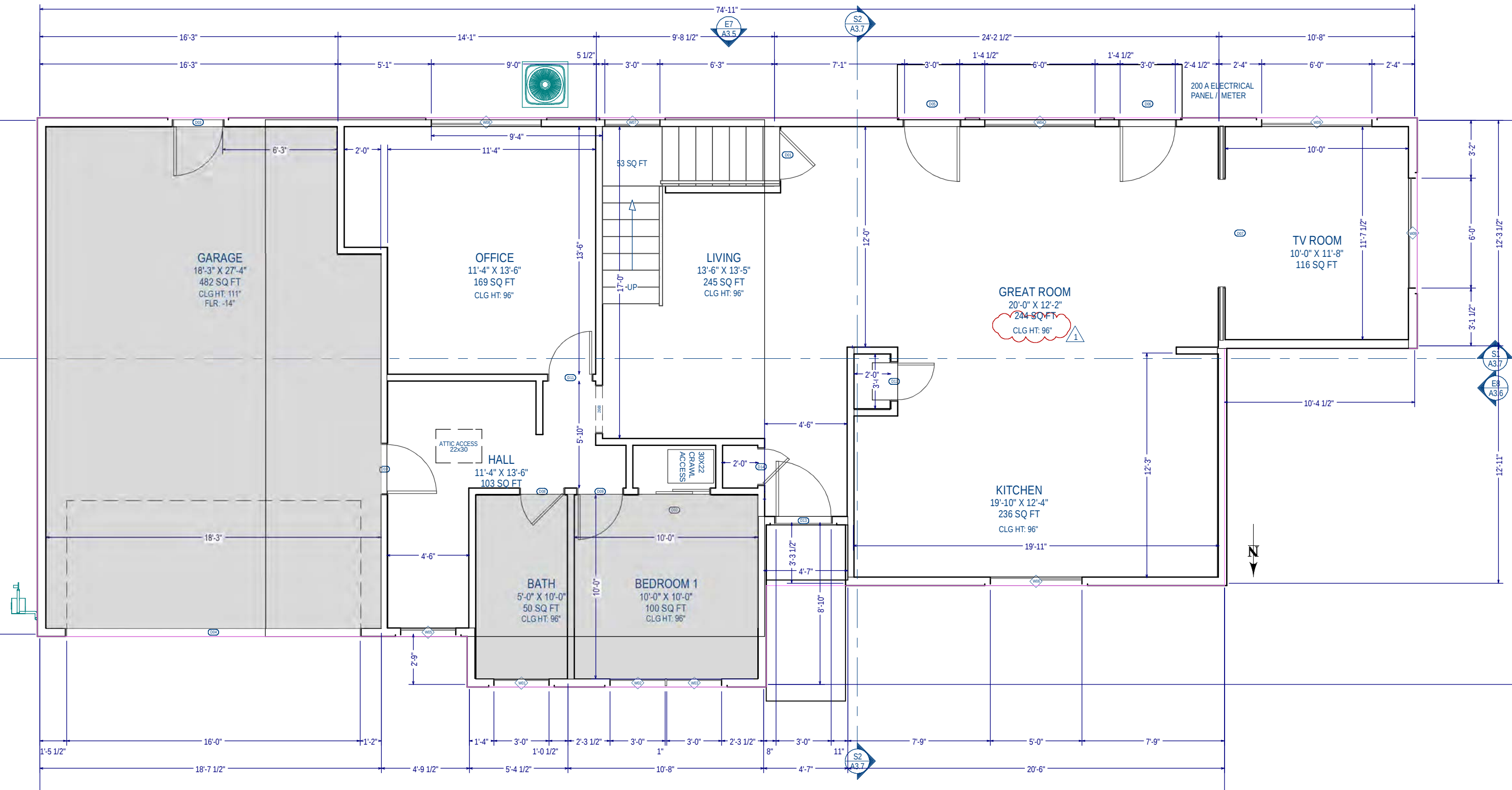
REVISIONS			
NO	DATE	DESCRIPTION	BY
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PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
SCHEDULES

A4.0



1 PROPOSED - LEVEL 1
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- A BUILDING CODES: ALL WORK SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, AS WELL AS THE STATE AND LOCAL BUILDING CODES.
- B SHOULD ERRORS, OMISSIONS, OR DISCREPANCIES APPEAR IN DRAWINGS OR SPECIFICATIONS OR IN THE WORK DONE BY OTHERS AFFECTING THIS WORK, THE DESIGNER SHALL BE NOTIFIED AT ONCE AND SHALL ISSUE INSTRUCTIONS AS TO PROCEED. IF THE CONTRACTOR PROCEEDS WITHOUT CONTACTING THE DESIGNER AND/OR OWNER, THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSIVE THAT MAY RESULT.
- C DETAILED DRAWING AND SPECIFICATIONS TAKE PRECEDENCE OVER GENERAL DRAWING AND SPECIFICATIONS, DIMENSIONS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.
- D THE CONTRACTOR SHALL CONFORM TO AND ABIDE BY ALL LOCAL, CITY, COUNTY, AND STATE BUILDING AND SAFETY LAWS. SUCH LAWS SHALL BE CONSIDERED A PART OF THESE SPECIFICATIONS AND THE PROVISIONS OF SUCH REGULATIONS SHALL BE OBSERVED. THE CONTRACTOR SHALL NOTIFY THE DESIGNER IF DRAWINGS OR SPECIFICATIONS THAT ARE AT VARIANCE. SHOULD THE CONTRACTOR PERFORM ANY WORK CONTRARY TO SUCH LAWS OR REGULATIONS. THE CONTRACTOR SHALL BEAR ALL SUCH COSTS ARISING.
- E SCOPE: ALL WORK NECESSARY, INDICATED OR REASONABLY INFERRED, OR REQUIRED BY CODES AS LISTED IN 'A' SHALL BE COMPLETED FOR A COMPLETE AND PROPER FINISHED JOB.
- F PERMITS: THE GENERAL BUILDING PERMIT & PLAN CHECK FEES SHALL BE SECURED & PAID FOR BY THE OWNER. ALL OTHER PERMITS SHALL BE TAKEN OUT & PAID FOR BY EITHER THE GENERAL BUILDING CONTRACTOR OR BY THE SUBCONTRACTOR DIRECTLY RESPONSIBLE.
- G ALTERNATES: DESIGNS, MATERIALS, EQUIPMENT, PRODUCTS, & CONSTRUCTION METHODS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED THEY ARE FIRST APPROVED IN WRITING BY THE OWNER, DESIGNER, PREVAILING ENGINEER, & GOVERNING AUTHORITY.
- H INTENTION: THE INTENTION OF THE DOCUMENTS IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT & TRANSPORTATION NECESSARY FOR THE COMPLETION OF THE WORK.
- I CHANGE ORDERS: THE OWNER MAY ORDER EXTRA WORK OR MAKE CHANGES BY ALTERING, ADDING TO OR DEDUCTING FROM THE SCOPE OF WORK, THE CONTRACT SUM BEING ADJUSTED ACCORDINGLY.
- J CUTTING & PATCHING: ALL TRADES SHALL DO THEIR OWN CUTTING, FITTING, PATCHING, ETC.
- K CLEAN UP: ALL TRADES SHALL, AT ALL TIMES, KEEP THE PREMISES FREE FROM ACCUMULATIONS OF WASTE MATERIALS OR RUBBISH FROM & ABOUT THE BUILDING AND ALL THEIR TOOLS, SCAFFOLDING, & SURPLUS MATERIALS & LEAVE THE JOB IN A BROOM-CLEAN CONDITION INCLUDING REMOVING ALL LABELS, STICKERS, PAINT SMEARS, ETC., FROM LIGHTING FIXTURES, PLUMBING FIXTURES, GLASS SURFACES FINISH HARDWARE, CABINETS, COUNTERTOP, ETC.
- L TEMPORARY TOILETS: THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY TOILET FACILITIES FOR ALL TRADES UNTIL THE COMPLETION OF THE PROJECT.
- M LINES & LEVELS: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES & LEVELS. THE CONTRACTOR SHALL COMPARE CAREFULLY THE LINES & LEVELS SHOWN ON THE DRAWINGS WITH EXISTING LEVELS FOR LOCATION & CONSTRUCTION OF THE WORK & DISCREPANCIES BEFORE PROCEEDING WITHOUT CONTACTING THE OWNER & DESIGNER. THE CONTRACTOR SHALL BE LIABLE FOR ANY EXPENSE THAT MAY RESULT.
- N HOMEOWNER WILL TAKE ANY NECESSARY PRECAUTIONS TO REMOVE OR RELOCATE ITEMS OF VALUE TO BE REUSED AND/OR SAVED, OR IN ANY DANGER OR BEING DAMAGED DUE TO THE CONSTRUCTION PROCESS.

SITE NOTES:

1. CALL BEFORE YOU DIG! CONTACT UNDERGROUND SERVICE ALERT (USA) AT 1-800-227-2600 AT LEAST 2 WORKING DAYS BEFORE EXCAVATING.
2. NEW RAINWATER DOWNSPOUTS, IF ANY, SHALL BE DISCONNECTED AND DIRECT RUNOFF TO A LANDSCAPED AREA. DOWNSPOUTS MAY BE CONNECTED TO A POP-UP DRAINAGE EMITTER IN THE LANDSCAPED AREA OR MAY DRAIN TO SPLASH BLOCKS OR COBBLESTONES THAT DIRECT WATER AWAY FROM THE BUILDING. RUNOFF SHALL REMAIN WITHIN PROPERTY LINES.
3. ADDRESS IDENTIFICATION
BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE A MINIMUM OF 4 INCHES (102 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH (12.7MM). PER CBC [F] 502.1, CRC R319.1
4. SEISMIC AUTOMATIC SHUT-OFF VALVE TO BE INSTALLED AT THE GAS METER OR PROPANE TANK.

2025 CAL GREEN CODE- EFFECTIVE 01/01/26

- WATER CONSERVING PLUMBING FIXTURES & FITTINGS
 - * ALL NONCOMPLIANT PLUMBING FIXTURES WILL BE REPLACED WITH WATER-CONSERVING PLUMBING FIXTURES PER CALIFORNIA CIVIL CODE 1101.1
 - 4.303.1.1 WATER CLOSETS: LESS THAN OR EQUAL TO 1.28GAL/FLUSH
 - 4.303.1.2 URINALS: LESS THAN OR EQUAL TO 0.125 GAL/FLUSH FOR WALL MOUNT AND 0.5 GAL/FLUSH FOR ALL OTHER URINALS
 - 4.303.1.3.1 SINGLE SHOWERHEADS: LESS THAN OR EQUAL TO 1.8 GPM @ 80 PSI.
 - 4.303.1.3.2 MULTIPLE SHOWERHEADS: COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GPM @ 80 PSI OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT ONE TIME
 - 4.303.1.4.1 LAVATORY FAUCET TO BE 1.2 GM @ 60PSI MAXIMUM THE MINIMUM FLOW RATE SHALL NOT BE LESS THAN 0.8 GPM @ 20 PSI
 - 4.303.1.4.2 LAVATORY FAUCETS IN COMMON AND PUBLIC USE AREAS OF RESIDENTIAL BUILDING: LESS THAN OR EQUAL TO 0.5 GPM @ 60 PSI
 - 4.303.1.4.3 METERING FAUCETS: LESS THAN OR EQUAL TO 0.2 GALLONS PER CYCLE
 - 4.303.1.4.4 KITCHEN FAUCETS: LESS THAN OR EQUAL TO 1.8 GPM @ 60 PSI;
 - 4.506.1 EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN "ENERGY STAR" COMPLIANT EXHAUST FAN, BE DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND BE CONTROLLED BY A HUMIDITY CONTROL. HUMIDITY CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF LESS THAN 50% TO A MAXIMUM OF 80%
 - 4.503.3.1 TOILETS [TO HAVE] A MAXIMUM FLOW RATE OF 1.28 GPF.
- FENESTRATION
 - NEW AND REPLACEMENT WINDOWS AND SKYLIGHTS SHALL COMPLY WITH THE FENESTRATION REQUIREMENTS IN THE CALIFORNIA ENERGY CODE, TITLE 24 PART 6 SECTION 110.6
 - FIREPLACES
 - 4.503.1 ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE

EMERGENCY ESCAPE AND RESCUE OPENINGS AND DOORS

- 2025 CRC, TITLE 24 PART 2.5
- R310.2.1 EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQUARE FEET (0.530 M²)
- R310.2.2 THE NET CLEAR OPENING HEIGHT SHALL BE 24 INCHES (610MM), WIDTH SHALL BE 20 INCHES (508 MM)
- R310.2.3 THE BOTTOM OF THE CLEAR OPENING SHALL NOT BE GREATER THAN 44 INCHES (1118MM) MEASURED FROM THE FLOOR
- R310.3 WHERE A DOOR IS PROVIDED AS THE REQUIRED EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL BE A SIDE-HINGED DOOR OR A SLIDING DOOR

MEANS OF EGRESS

- 2025 CBC, TITLE 24 PART 2
- 1003.2 CEILING HEIGHT: SHALL NOT BE LESS THAN 7 FEET 6 INCHES ABOVE THE FINISHED FLOOR
- 2025 CRC, TITLE 24 PART 2.5
- R310.2.1 ALL NEW/REMODELED BEDROOMS TO HAVE EMERGENCY EGRESS WINDOWS WITH A MINIMUM 24" HEIGHT, MINIMUM 20" WIDTH OR A MINIMUM 5.7SQFT OPENING; FINISHED SILL NO HIGHER THAN 44" AFF
- R311.1 THE MEANS OF EGRESS SHALL PROVIDE A CONTINUOUS AND UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF THE DWELLING TO THE REQUIRED EGRESS DOOR WITHOUT REQUIRING TRAVEL THROUGH A GARAGE. THE REQUIRED EGRESS DOOR SHALL OPEN DIRECTLY INTO A PUBLIC WAY OR TO A YARD OR COURT THAT OPENS TO A PUBLIC WAY.
- R319.2 NOT LESS THAN ONE EGRESS DOOR SHALL BE PROVIDED FOR EACH DWELLING UNIT. THE EGRESS DOOR SHALL BE SIDE-HINGED AND SHALL PROVIDE CLEAR MINIMUM WIDTH OF 32 INCHES AT A 90-DEGREE OPENING. THE CLEAR HEIGHT OF THE OPENING SHALL BE A MINIMUM OF 78 INCHES (1961MM).
- R311.3 THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH OF THE LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. LANDINGS SHALL BE A MINIMUM OF 36 INCHES (914MM) MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2%).
- R311.3.1 LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1.5 INCHES (38MM) LOWER THAN THE TOP OF THE THRESHOLD.
- R311.6 THE WIDTH OF THE HALLWAY SHALL NOT BE LESS THAN 3 FEET (914MM)
- R311.7.1 STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES (914MM) IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEAD ROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT SHALL NOT BE LESS THAN 31.5 INCHES (787MM) WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES (698MM) WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
- R311.7.2 THE HEADROOM IN STAIRWAYS SHALL NOT BE LESS THAN 6 FEET 8 INCHES (2032MM) MEASURED VERTICALLY FROM THE SLOPED LINE ADJOINING THE TREAD NOSING OR FROM THE FLOOR SURFACE OF THE LANDING OR PLATFORM ON THAT PORTION OF THE STAIRWAY.
- R311.7.3 A FLIGHT OF STAIRS SHALL NOT HAVE A VERTICAL RISE GREATER THAN 12 FEET 7 INCHES (3835 MM) BETWEEN FLOOR LEVELS OR LANDINGS.
- R311.7.6 THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN THE WIDTH OF THE FLIGHT SERVED. WHERE THE STAIRWAY HAS A STRAIGHT RUN, THE DEPTH IN THE DIRECTION OF TRAVEL SHALL NOT BE LESS THAN 36 INCHES (914MM).
- R311.7.7 THE WALKING SURFACE OF TREADS AND LANDINGS OF STAIRWAYS SHALL BE SLOPED NOT STEEPER THAN 1 UNIT VERTICAL IN 48 UNITS HORIZONTAL (2% SLOPE).

FIRE-RESISTANT CONSTRUCTION: GARAGE / CARPORTS

- 2025 CRC, TITLE 24 PART 2.5
- R302.5.1 OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING SHALL NOT BE PERMITTED. OTHER OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES (35MM) IN THICKNESS, SOLID OR HONEYCOMB-CORE STEEL DOORS NOT LESS THAN 1-3/8 INCHES (35MM) THICK, OR 20-MINUTE FIRE-RATED DOORS. DOORS SHALL BE SELF-LATCHING AND EQUIPPED WITH A SELF-CLOSING OR AUTOMATIC-CLOSING DEVICE.
- R302.6 THE GARAGE AND/OR CARPORT SHALL BE SEPARATED AS REQUIRED:
 - FROM THE RESIDENCE AND ATTICS - NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE GARAGE SIDE
 - FROM HABITABLE ROOMS ABOVE THE GARAGE/CARPORT - NOT LESS THAN 5/8-INCH TYPE X GYPSUM BOARD OR EQUIVALENT
 - GARAGES LOCATED LESS THAN 3 FEET FROM A DWELLING UNIT ON THE SAME LOT - NOT LESS THAN 1/2-INCH GYPSUM BOARD OR EQUIVALENT APPLIED TO THE INTERIOR SIDE OF EXTERIOR WALLS THAT ARE WITHIN THIS AREA

VENTILATION NOTES:

- ENVIRONMENTAL AIR DUCT EXHAUST FOR THE LAUNDRY, BATHROOM, KITCHEN AND OTHER EXHAUST FAN DUCTS SHALL TERMINATE OUTSIDE THE BUILDING.
- THE FAN SHALL RUN INTERMITTENTLY (ON DEMAND) OR CONTINUOUSLY.
- A READILY ACCESSIBLE MANUAL CONTROL DESIGNED TO BE OPERATED AS NEEDED OR AN AUTOMATIC CONTROL SHALL BE PROVIDED FOR INTERMITTENT OPERATIONS. CMC 405.3, 405.4
- THE EXHAUST DUCT SHALL HAVE A BACK DRAFT DAMPER. HOWEVER, WHEN THE EXHAUST FAN OPERATES CONTINUOUSLY A BACK DRAFT DAMPER IS NOT REQUIRED.
- BATHROOM EXHAUST FANS SHALL PROVIDE A RATE OF 50CFM MINIMUM FOR INTERMITTENT OPERATION AND 20CFM MINIMUM FOR CONTINUOUS OPERATION. CMC 405.3.1
- KITCHEN EXHAUST FANS SHALL PROVIDED A RATE OF100 CFM MINIMUM FOR INTERMITTENT RANGE HOOD OPERATION OR 300CFM MINIMUM FOR MECHANICAL EXHAUST FANS INCL. DOWNDRAFT APPLIANCES.
- FOR CONTINUOUS OPERATED VENTILATION, THE EXHAUST RATE SHALL NOT BE LESS THAN 5 AIR CHANGES PER HOUR BASED ON ENCLOSED KITCHEN VOLUME.
- EXHAUST FANS SHALL BE ENERGY STAR RATED DEVICES WITH 50-80 HUMIDITY CONTROL. CALGREEN 4.506.1
- THE TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM ANY OPENINGS INTO THE BUILDING SUCH AS DOORS, WINDOWS, SKYLIGHTS OR ATTIC VENTS, 3 FEET FROM A PROPERTY LINE AND 10 FEET FROM A FORCED-AIR INLET. CMC 502.2.1

WATER HEATING MANDATORY REQUIREMENTS

- 2025 ENERGY CODE
TITLE 24, PART 6
HEAT PUMP WATER HEATERS
- § 110.3(C)7A – EXTERNAL OR INTERNAL BACKUP HEAT REQUIRED WHEN
 - INLET AIR UNCONDITIONED, AND
 - COMPRESSOR CUTOFF TEMPERATURE > WINTER MEDIAN OF EXTREMES (JA2 TABLE 2-3)
 - § 110.3(C)7B – VENTILATION REQUIREMENTS
 - INSTALLED PER MANUFACTURER'S METHOD TO MEET OR EXCEED PERFORMANCE STANDARDS IN § 110.3(C)7B2-B4
 - INSTALLATION SPACE PLUS VENTILATION SPACE ≥ 100 FT3 PER KBTU/H OR PER MANUFACTURER REQUIREMENT, WHICHEVER IS GREATER
 - LOUVERED/GRILLED PERMANENT OPENINGS OR DOORS WITH MINIMUM NET FREE AREA
 - WHEN DUCTS USED:
 - § R-6 INSULATION FOR EXHAUST DUCTS AND DUCTS CROSSING PRESSURE BOUNDARIES
 - § AIR SEAL ALL CONNECTIONS AND BOUNDARY CROSSINGS

SINGLE FAMILY MANDATORY REQUIREMENTS

- 2025 CEC, Title 24, Part 6
INSULATION
- §150.0(C) – UPDATES MANDATORY WALL INSULATION
 - 2X4 WOOD-FRAMING MAXIMUM U-FACTOR 0.095 (MINIMUM R-15, 16 O.C.) OR
 - 2X6 WOOD-FRAMING MAXIMUM U-FACTOR OF 0.069 (MINIMUM R-21,16 O.C.)
 - §150.1(C)1A, § 150.1(C)1AIII – ATTIC VENTILATION PRESCRIPTIVE OPTION C - TABLE 150.1-A
 - CATHEDRAL CEILING INSULATION MINIMUM R-38 WITH NO RADIANT BARRIER ALL CLIMATE ZONES
 - CEILING INSULATION FOR VENTED ATTIC
 - §MINIMUM R-38 IN CLIMATE ZONES 1, 8-16 (ADDS 8, 9, 10)
 - §MINIMUM R-30 IN CLIMATE ZONES 2-7

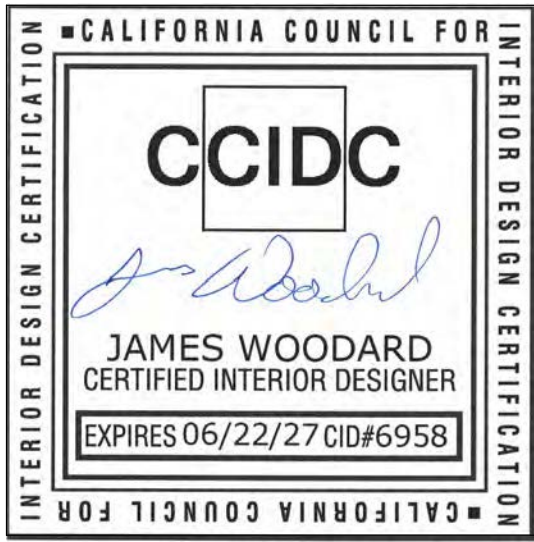
- FENESTRATION
- §150.0(Q) – MAXIMUM WEIGHTED AVERAGE U-FACTOR 0.40, INCLUDING SKYLIGHTS. EXCEPTION: FENESTRATION INSTALLED IN FIRE HAZARD SEVERITY ZONES.
 - §150.1(C)3A – MAXIMUM U-FACTOR 0.27 IN CLIMATE ZONES 1-5, 11-14, 16; MAXIMUM U-FACTOR 0.30 IN CLIMATE ZONES 6-10, 15
 - EXCEPTION: 500 SQUARE FEET OR LESS IN CLIMATE ZONE 5 ALLOWS MAXIMUM U-FACTOR 0.30; UP TO 16 SQUARE FEET OF SKYLIGHT IN CLIMATES ZONES 2, 4, 6-16 ALLOWS MAXIMUM U-FACTOR 0.30, SHGC 0.30. NO SHGC REQUIREMENT IN CLIMATE ZONES 1, 3, 5, 16
 - § 150.2(B)1 – ALTERATIONS THAT INCREASE NEW FENESTRATION AREA OR REPLACE FENESTRATION MAXIMUM SHGC VALUE OF 0.23 IN CLIMATE ZONE 15.
 - HVAC
 - §150.0(H)2 – SOURCE SELECTIONS TO COMPLY WITH LISTED SOURCES FOR OUTDOOR DESIGN CONDITIONS
 - §150.0(H)5 – MANDATORY HEAT PUMP MINIMUM HEATING CAPACITY TO MEET CBC MIN. REQUIREMENTS, WITHOUT ACCOUNTING FOR SUPPLEMENTARY HEATING; NO MAXIMUM HEATING CAPACITY LIMIT; FURNACE HEATING CAPACITY BASED ON ACCA MANUAL S-2023, TABLE N2.5.
 - §150.0(H)6 – MANDATORY INSTALLER-ADJUSTABLE DEFROST DELAY TIMERS ON HEAT PUMPS MUST BE SET TO 90+ MINUTES. INSTALLER TESTS AND CERTIFIES ON CF2R. EXCEPTIONS: CLIMATE ZONES 6-7; 500 SQUARE FEET OR LESS OF CONDITIONED FLOOR AREA IN CLIMATE ZONES 3, 5-10, 15.
 - §150.0(H)7 – MANDATORY HEAT PUMP SUPPLEMENTARY HEATING ONLY OPERATES AT OUTDOOR TEMPERATURES BELOW 35°F, EXCEPT DURING DEFROST OR EMERGENCY OPERATION. INSTALLER TESTS AND CERTIFIES ON CF2R. EXCEPTIONS: HEAT PUMPS WITH SUPPLEMENTARY HEAT IN CLIMATE ZONES 7, 15, AND 500 SQUARE FEET OR LESS FOLLOWING OPTION A OR B; ROOM AIR-CONDITIONER HEAT PUMPS.
 - §150.0(H)8 – MANDATORY ELECTRIC RESISTANCE SUPPLEMENTARY HEAT CAPACITY CANNOT EXCEED HEAT PUMP NOMINAL COOLING CAPACITY (AT 95°F AMBIENT CONDITIONS) X 2.7 KW/TON, ROUNDED UP TO CLOSEST KW.
 - §150.0(H)9,§150.0(I)2 – MANDATORY VARIABLE OR MULTI-SPEED SYSTEMS CONTROLLED BY THIRD-PARTY THERMOSTATS MUST BE ABLE TO RESPOND TO LOADS BY MODULATING COMPRESSOR SPEED AS SPECIFIED
 - § 150.0(M)1B1 – MANDATORY REQUIREMENTS FOR DUCTS IN UNVENTED ATTICS MAY BE INSULATED TO R-4.2 WHEN OTHER REQUIREMENTS MET.
 - § 150.0(M)13 – MULTI OR VARIABLE SPEED COMPRESSOR SYSTEMS WITH CONTROLS THAT VARY FAN SPEED PER NUMBER OF ZONES AS CERTIFIED BY INSTALLER MAY MEET AIRFLOW AND FAN EFFICACY REQUIREMENTS BY OPERATING AT MAXIMUM COMPRESSOR CAPACITY AND FAN SPEED, WITH ALL ZONES CALLING FOR CONDITIONING.
 - PLUMBING
 - § 110.3(C)7A – BACKUP HEAT REQUIRED FOR HEAT PUMP WATER HEATER (HPWH) WITH UNCONDITIONED INLET AIR, UNLESS COMPRESSOR CUTOFF TEMPERATURE BELOW LOCAL HEATING WINTER MEDIAN OF EXTREMES.
 - § 110.3(C)7B – VENTILATION OR MINIMUM ROOM VOLUME REQUIRED WHEN INSTALLING HPWH.
 - § 150.0(N)1A1 – FUTURE HPWH CONDUCTOR REQUIREMENT TO MINIMUM 30A BRANCH CIRCUIT.

- INDOOR AIR QUALITY
- §150.0(I)CIV – BALANCED AND SUPPLY-ONLY VENTILATION TO HAVE ACCESSIBLE AIR FILTERS, INCLUDING HRV/ERV RECOVERY CORES, IAQ SYSTEM COMPONENTS, AND OUTDOOR AIR INTAKE DESIGN, LOCATION, AND ACCESSIBILITY.
 - HEAT-PUMPS AND HRV/ERV
 - § 150.1(C)6-7,15 – HEATING EQUIPMENT TO BE HEAT PUMP IN ALL CLIMATE ZONES OR MEET PERFORMANCE REQUIREMENTS IN § 150.1(B)1; REFRIGERANT CHARGE VERIFICATION FOR HEAT PUMPS IN ALL CLIMATE ZONES, AND AIR CONDITIONERS IN CLIMATE ZONES 2, 8-15; FAULT INDICATOR DISPLAY REQUIRED FOR HRV/ERV SYSTEMS WITH ECC-RATER FIELD VERIFICATION.
 - § 150.1(C)9 – DUCT SYSTEMS AND AIR HANDLERS TO BE ENTIRELY IN CONDITIONED SPACE AND ECC-RATER VERIFIED, BELOW CEILING IF NOT HIGH PERFORMANCE ATTIC PER OPTION B IN TABLE 150.1-A
 - § 150.1(C)15 – FID ONLY FOR HEAT RECOVERY VENTILATION (HRV) AND ENERGY RECOVERY VENTILATION (ERV) WITH ECC-RATER VERIFICATION
 - § 150.2(A)1E – MAXIMUM HEATING AND COOLING SYSTEM CAPACITY LIMITS FOR ADDITIONS IN TABLES 150.2-A AND -B THAT DEPEND ON RELATIVE SIZES OF CALCULATED HEATING DESIGN LOAD (HL) AND COOLING DESIGN LOAD (CL), TYPE OF SPACE CONDITIONING SYSTEM, AND DUCT SIZING; ENVELOPE LEAKAGE SPECIFIED IN LOAD CALCULATION MUST NOT EXCEED VALUES FROM TABLE 150.2-C (AVERAGE FOR LOAD CALCULATION SOFTWARE); WITH ECC-RATER FIELD VERIFICATION, TESTED ENVELOPE LEAKAGE VALUE MAY BE USED.
 - WATER HEATERS
 - §150.0(N)1A1 – IF INSTALLING GAS WATER HEATERS, A 30A FOR HPWH ELECTRIC-READY BRANCH CIRCUIT TO BE INSTALLED
 - BATTERY ENERGY STORAGE SYSTEM READY (BESS)
 - §150.0(S) – NEWLY CONSTRUCTED SINGLE-FAMILY BUILDINGS WITH DWELLING UNIT ELECTRICAL SERVICE OVER 125A TO BE BESS-READY
 - SOLAR PV
 - §150.1(C)14 – PRESCRIPTIVE PV SIZING USING SOLAR ACCESS ROOF AREA (SARA) FOR STEEP AND LOW SLOPE ROOFS
 - SARA MULTIPLIED BY
 - § 18 WATTS PER FT2 FOR STEEP SLOPED ROOFS
 - § 14 WATTS PER FT2 FOR LOW SLOPED ROOFS

MULTIFAMILY MANDATORY REQUIREMENTS

- 2025 CEC, Title 24, Part 6
INSULATION
- § 160.1(B) – UPDATES MANDATORY WALL INSULATION U-FACTORS
 - METAL-FRAMED U-FACTOR 0.151
 - 2X4 FRAMING U-FACTOR 0.095
 - 2X6 FRAMING U-FACTOR 0.069
 - ROOFING PRODUCTS
 - § 170.2(A)1A – COMPONENTS TO COMPLY WITH PRESCRIPTIVE ROOFING PRODUCT EFFICIENCIES IN TABLE 170.2-A
 - OPTION B: STEEP-SLOPED ROOF MAXIMUM AGED SOLAR REFLECTANCE (SR) 0.25 IN CLIMATE ZONES 10, 11, 13, 15; AGED SR 0.20 IN CLIMATE ZONES 12, 14
 - FENESTRATION
 - § 170.2(A)3 – MAXIMUM U-FACTORS IN TABLE 170.2-A FOR ALL OTHER FENESTRATION: U-FACTOR 0.28 IN CLIMATES ZONES 1,3-5, 11, 13-16, U-FACTOR 0.30 IN CLIMATE ZONES 2, 8-10, 12, U-FACTOR 0.34 IN CLIMATE ZONES 6, 7
 - OPTION D: LOW-SLOPED ROOF AGED SOLAR REFLECTANCE 0.63, THERMAL EMITTANCE 0.75, SRI 75 IN CLIMATE ZONES 2, 4, 6-15
 - HVAC(DWELLING UNITS
 - § 160.2(B)2AXI – BALANCED AND SUPPLY-ONLY VENTILATION TO HAVE ACCESSIBLE AIR FILTERS, INCLUDING HRV/ERVS FOR ATTACHED DWELLING UNITS
 - § 160.3(B)Y – HEAT PUMPS WITH DEFROST DELAY TIMER TO COMPLY WITH DEFROST REQUIREMENTS
 - § 160.3(B)8 – THERMOSTATS WITH VARIABLE OR MULTI-SPEED SYSTEMS TO COMPLY WITH REQUIREMENTS
 - IAQ(DWELLING UNITS
 - § 170.2(C)3BIV – BALANCED SYSTEMS IN CLIMATE ZONES 1, 2, 4, 11-14, AND 16 TO COMPLY WITH HRV/ERV PRESCRIPTIVE; HEAT RECOVERY VENTILATION (HRV) AND ENERGY RECOVERY VENTILATION (ERV) TO HAVE PRESCRIPTIVE FAULT INDICATOR DISPLAY WITH ECC RATER VERIFICATION
 - HVAC(COMMON USE AREAS
 - SHVAC TO COMPLY WITH 170.2 REQUIREMENTS
 - §170.2(C)2 – SOURCE SELECTIONS TO COMPLY WITH LISTED SOURCES FOR OUTDOOR DESIGN CONDITIONS
 - §170.2(C)4FV – COOLING TOWER EFFICIENCY TO COMPLY WITH REVISED PRESCRIPTIVE REQUIREMENTS, TABLE 170.2-1
 - §170.2(C)4N2 – DEDICATED OUTDOOR AIR SYSTEMS (DOAS) TO COMPLY WITH REVISED PRESCRIPTIVE REQUIREMENTS
 - HVAC(ADDITIONS
 - §180.1(A)2 – EXCEPTION FOR DWELLING UNIT AIR LEAKAGE TEST FOR ADDITIONS
 - WATER HEATING
 - § 110.3(C)C) – BACKUP HEAT REQUIRED FOR HPWHs WITH UNCONDITIONED INLET AIR, UNLESS COMPRESSOR CUTOFF TEMPERATURE BELOW LOCAL HEATING WINTER MEDIAN OF EXTREMES; ADDS VENTILATION OR MINIMUM SPACE VOLUME REQUIREMENTS WHEN INSTALLING CONSUMER INTEGRATED HPWH.
 - § 160.4(E) – INSULATION ON FIRST 8 FEET OF COLD WATER PIPING, INSULATION CONTINUITY, PIPE SUPPORTS MUST BE ON OUTSIDE OF INSULATION, ISOLATION VALVES MUST BE EXTENDED-STEM, AND INSULATION FOR HOT WATER PLUMBING APPURTENANCES
 - § 160.9(E), § 160.9(F) – DWELLINGS TO MEET MANDATORY REQUIREMENTS FOR INDIVIDUAL AND CENTRAL HPWH-READY, INCLUDING DEDICATED RECEPTACLE, CONDENSATE DRAIN, DESIGNATED SPACE, AND VENTILATION
 - § 170.2(D)1 – DWELLINGS WITH INDIVIDUAL WATER HEATERS TO HAVE 120V HPWH, LOW-RISE MULTIFAMILY BUILDINGS WILL NOT HAVE GAS TANKLESS WATER HEATERS
 - § 170.2(D)2A – CENTRAL HPWH TO MEET NEEA ADVANCED WATER HEATER SPECIFICATION FOR COMMERCIAL HPWH TIER 2, MAIN HPWH MUST PRESCRIPTIVELY BE SINGLE PASS
 - § 170.2(D)2C – ALL HOT WATER PIPES TO MEET CA PLUMBING CODE APPENDIX M
 - § 170.2(D)2D – CENTRAL SYSTEMS: HPWH CAN MEET NEEA ADVANCED WATER HEATER SPECIFICATION FOR COMMERCIAL HPWH TIER 2; MAIN HPWH MUST BE SINGLE-PASS; ALL HOT WATER PIPES MUST MEET CALIFORNIA PLUMBING CODE APPENDIX M; SYSTEMS SERVING BUILDINGS WITH MORE THAN 8 DWELLINGS MUST HAVE RECIRCULATION SYSTEMS WITH THERMOSTATIC MIXING VALVE ON EACH SUPPLY AND RETURN LOOP. MEET RA4.4.19; PIPE INSULATION REQUIRES ECC-RATER VERIFICATION PER RA3.6.3
 - § 170.2(D)2E – PIPE INSULATION MUST BE ECC-RATED PER RA3.6.3
 - SOLAR PV AND BATTERY ENERGY STORAGE SYSTEMS
 - §170.2(F-G) – PRESCRIPTIVE PV SIZING USING SOLAR ACCESS ROOF AREA (SARA) FOR STEEP AND LOW SLOPE ROOFS
 - SARA MULTIPLIED BY
 - § 18 WATTS PER FT2 FOR STEEP SLOPED ROOFS
 - § 14 WATTS PER FT2 FOR LOW SLOPED ROOFS
 - §170.2(F-G) – EXCEPTION 2 TO BE APPLIED FOR MINIMUM PV SYSTEM SIZE LESS THAN 4 KW FOR LOW-RISE
 - LIGHTING(DWELLING UNITS
 - §160.5(A)1A – ALL INSTALLED LUMINAIRES AND LIGHT SOURCES TO MEET JA8 CRITERIA;REMOVES TABLE 160.5-A AND REFERENCES
 - §160.5(A)2F – LIGHTING INTEGRAL TO KITCHEN RANGE HOODS AND BATHROOM EXHAUST FANS DO NOT REQUIRE DIMMING CONTROLS
 - LIGHTING(COMMON AREAS
 - §160.5(B)4A – MANUAL CONTROLS TO BE LOCATED SUCH THAT CONTROLLED LIGHTING OR STATUS CAN BE SEEN WHEN OPERATING CONTROLS
 - §160.5(B)4B – MULTILEVEL CONTROLS MUST PROVIDE AND ENABLE CONTINUOUS DIMMING FROM 100 TO 10% OR LOWER; REMOVES TABLE160.5-B; EXCEPTION 3 ALLOWS HID AND INDUCTION LUMINAIRES TO HAVE ONE CONTROL STEP BETWEEN 30-70%
 - §160.5(B)4CI – OCCUPANT SENSING CONTROLS MUST HAVE NO MORE THAN 20-MINUTE TIME DELAY; EXCEPTION 4 ONLY APPLIES TO EMERGENCY LIGHTING INTENDED TO FUNCTION ONLY WHEN NORMAL POWER IS ABSENT
 - §160.5(B)4CIV – LIGHTING IN RESTAURANTS DOES NOT REQUIRE AUTOMATIC HOLIDAY SHUT-OFF FEATURE WITH AUTOMATIC TIME-SWITCH CONTROLS
 - §160.5(B)4CIVI – OCCUPANCY SENSING CONTROL ZONES FOR OFFICES GREATER THAN 250 SQUARE FEET MUST BE SHOWN ON PLANS.
 - § 160.5(B)4D – AUTOMATIC DAYLIGHTING CONTROLS IN SKYLIT AND SIDELIT DAYLIT ZONES WITH 75 WATTS OR GREATER OF GENERAL LIGHTING OR GREATER; LUMINAIRES LONGER THAN 8 FEET MUST BE CONTROLLED IN SEGMENTS UP TO 8 FEET; EXCEPTION 3 EXEMPTS SECONDARY SIDELIT DAYLIT ZONES WITH LESS THAN 85W OF GENERAL LIGHTING FROM DAYLIGHT RESPONSIVE CONTROLS, IF PRIMARY SIDELIT DAYLIT ZONES DO NOT REQUIRE DAYLIGHT RESPONSIVE CONTROLS

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DATE: 7/31/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
NOTES A

A5.0

INTERIORS

- LIGHT AND VENTILATION: 2025 TITLE CRC, R303.1
- HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA. NATURAL VENTILATION SHALL BE THROUGH WINDOWS, SKYLIGHTS, DOORS, LOUVERS OR OTHER APPROVED OPENINGS. THE OPENABLE AREA TO THE OUTDOORS SHALL NOT BE LESS THAN 4% OF THE FLOOR AREA.
- **HABITABLE SPACE DIMENSIONS**
- 2025 TITLE 24 CBC, 1208
- 1208.1 HABITABLE SPACES, OTHER THAN A KITCHEN, SHALL BE NOT LESS THAN 7 FEET (2134MM). KITCHENS SHALL HAVE A CLEAR PASSAGEWAY OF NOT LESS THAN 3 FEET (914MM) BETWEEN COUNTER FRONTS AND APPLIANCES OR WALLS.
- 1208.2 OCCUPIABLE SPACES, HABITABLE SPACES AND CORRIDORS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 7 FEET 6 INCHES (2286MM) ABOVE THE FINISHED FLOOR. BATHROOMS, TOILET ROOMS, KITCHENS, STORAGE ROOMS AND LAUNDRY ROOMS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 7 FEET (2134MM) ABOVE THE FINISHED FLOOR.
- 1208.3 EVERY DWELLING UNIT SHALL NOT HAVE LESS THAN ONE ROOM THAT SHALL NOT HAVE LESS THAN 120 SQUARE FEET (11.2M²) OF NET FLOOR AREA. OTHER HABITABLE ROOMS SHALL NOT HAVE A NET FLOOR AREA OF 70 SQUARE FEET (6.5M²).
- 1208.4 EFFICIENCY DWELLING UNITS SHALL HAVE A LIVING ROOM OF NOT LESS THAN 190 SQUARE FEET (17.7M²) OF FLOOR AREA, BE PROVIDED WITH A SEPARATE CLOSET, BE PROVIDED WITH A KITCHEN SINK, COOKING APPLIANCE AND REFRIGERATOR (EACH HAVING A CLEAR WORKING SPACE OF NOT LESS THAN 30 INCHES IN FRONT), AND BE PROVIDED WITH A SEPARATE BATHROOM CONTAINING A WATER CLOSET, LAVATORY AND BATHTUB OR SHOWER.
- 2025 TITLE 24 CRC, R304
- R304.1 HABITABLE ROOMS SHALL NOT HAVE A FLOOR AREA LESS THAN 70 SQUARE FEET (6.5M²). A KITCHEN IS AN EXCEPTION.
- R304.2 HABITABLE ROOMS SHALL NOT BE LESS THAN 7 FEET (2134MM) IN ANY HORIZONTAL DIMENSION. A KITCHEN IS AN EXCEPTION.
- R304.3 PORTIONS OF A ROOM WITH A SLOPING CEILING MEASURING LESS THAN 5 FEET (1524MM) OR A FURRED CEILING MEASURING LESS THAN 7 FEET (2134MM) FROM THE FINISHED FLOOR TO THE FINISHED CEILING SHALL NOT BE CONSIDERED AS CONTRIBUTING TO THE MINIMUM REQUIRED HABITABLE AREA.
- 2025 TITLE 24 CRC, R305
- R305.1 HABITABLE SPACE, HALLWAYS AND PORTIONS OF BASEMENTS CONTAINING THESE SPACES SHALL NOT HAVE A CEILING HEIGHT LESS THAN 7 FEET (2134MM). BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 6 FEET 8 INCHES (2032MM).
- R305.1.1 PORTIONS OF BASEMENTS THAT DO NOT CONTAIN HABITABLE SPACES OR HALLWAYS SHALL NOT HAVE A CEILING HEIGHT LESS THAN 6 FEET 8 INCHES (2032MM).
- **CRAWL AND ATTIC SPACE DIMENSIONS**
- 2025 TITLE 24 CBC, 1209
- 1209.1 CRAWL SPACES SHALL BE PROVIDED WITH NOT LESS THAN ONE ACCESS OPENING THAT SHALL NOT BE LESS THAN 18 INCHES BY 24 INCHES (457MM BY 610MM).
- 1209.2 AN OPENING NOT LESS THAN 20 INCHES BY 30 INCHES (559MM BY 762MM) SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OF OVER 30 INCHES (762MM). CLEAR HEADROOM OF NOT LESS THAN 30 INCHES (762MM) SHALL BE PROVIDED IN THE ATTIC SPACE AT OR ABOVE THE ACCESS OPENING.
- **BATH SPACES**
- 2025 TITLE 24 CBC, 1210
- 1210.2.3 SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES (1829MM) ABOVE THE DRAIN INLET.
- 1210.2.4 BUILT-IN TUBS WITH SHOWERS SHALL HAVE WATERPROOF JOINTS BETWEEN THE TUB AND ADJACENT WALL.
- 2025 TITLE 24 CRC, 307 AND 702
- 307.2 BATHTUB AND SHOWER FLOORS AND WALLS ABOVE THE BATHTUBS WITH INSTALLED SHOWER HEADS AND IN-SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE THAT SHALL NOT EXTEND TO A HEIGHT LESS THAN 6 FEET (1829MM) ABOVE THE FLOOR.
- 702.3.7 USE OF WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE PERMITTED ON CEILINGS. WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE INSTALLED OVER A CLASS I OR II VAPOR RETARDER IN A SHOWER OR TUB COMPARTMENT. CUT OR EXPOSED EDGES, INCLUDING THOSE AT WALL INTERSECTIONS, SHALL BE SEALED AS RECOMMENDED BY THE MANUFACTURER.
- 702.3.7.1 WATER-RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE IS DIRECT EXPOSURE TO WATER OR IN AREAS SUBJECT TO CONTINUOUS HIGH HUMIDITY.
- 2025 TITLE 24 CPC, 408
- 408.6 ALL NEW SHOWERS TO BE 1024 SQUARE INCHES MINIMUM AND CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE
- 408.5 THE HEIGHT OF SHOWER THRESHOLD TO COMPLY WITH CPC 408.5.
- 408.5 THE TOP OF THE DRAIN TO BE A MINIMUM 2 INCHES AND MAXIMUM 9 INCHES BELOW THE TOP OF THE THRESHOLD.
- SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN A 22" MIN. UNOBSTRUCTED OPENING FOR EGRESS PER CPC.

SMOKE AND CARBON MONOXIDE ALARMS

- *SMOKE ALARMS SHALL BE INSTALLED PER MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS. ALL BATTERY POWERED SMOKE ALARMS SHALL HAVE A 10-YEAR BATTERY.
- *CONTRACTOR TO FIELD VERIFY SMOKE ALARMS IN ALL BEDROOMS AND AT ALL CEILING HEIGHT CHANGES.
- *CONTRACTOR TO FIELD VERIFY SMOKE ALARMS AS REQUIRED BY R314.1, R314.2
- 2025 TITLE 24 CBC, [F] 907.2.11.2; CRC, R314.3
- SMOKE ALARMS SHALL BE INSTALLED IN ALL SLEEPING ROOMS, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, EACH STORY OF THE BUILDING, BASEMENTS AND HABITABLE ATTICS
- SMOKE ALARMS SHALL BE INSTALLED IN THE HALLWAY AND IN THE ROOM OPEN TO THE HALLWAY IN DWELLING UNITS WHERE THE CEILING HEIGHT OF A ROOM OPEN TO A HALLWAY SERVING BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 24 INCHES (610MM) OR MORE
- 2025 TITLE 24 CBC, [F] 907.2.11.8; CRC, R314.3.3
- NFPA 72 SECTION 29.8.3.4 SPECIFIC LOCATION REQUIREMENTS
- SHALL NOT BE LOCATED WHERE AMBIENT CONDITIONS ARE OUTSIDE THE LIMITS SPECIFIED BY THE MANUFACTURER'S PUBLISHED INSTRUCTIONS
- SHALL NOT BE LOCATED WITHIN UNFINISHED ATTICS OR GARAGES OR IN OTHER SPACES WHERE TEMPERATURES CAN FALL BELOW 40°F (4°C) OR EXCEED 100°F (38°C)
- SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE
 - **THE ALARM OR DETECTOR SHALL BE EITHER A PHOTOELECTRIC SMOKE ALARM OR IONIZATION ALARM WITH AN ALARM-SILENCING SWITCH IF PLACED CLOSER THAN 20 FEET FROM A PERMANENTLY INSTALLED COOKING DEVICE.
- SHALL NOT BE INSTALLED LESS THAN A 3-FOOT (0.91M) HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A REQUIRED SMOKE ALARM
- SHALL NOT BE INSTALLED WITHIN A 36-INCH (910MM) HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF A FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW FROM THOSE REGISTERS
- SHALL NOT BE INSTALLED WITHIN A 36-INCH (910MM) HORIZONTAL PATH FROM THE TIP OF THE BLADE OF A CEILING-SUSPENDED FAN
- SHALL BE LOCATED TO DETECT SMOKE RISING IN A STAIRWAY WITHOUT AN INTERVENING DOOR OR OBSTRUCTION
- SHALL BE LOCATED ON THE BASEMENT CEILING NEAR THE ENTRY TO THE STAIRS FOR STAIRWAYS LEADING UP FROM A BASEMENT
- SHALL BE INSTALLED ON THE HIGHEST PORTION OF A TRAY-SHAPED (COFFERED) CEILING WITHIN 12 INCHES (300MM) VERTICALLY DOWN FROM THE HIGHEST POINT
- ALARMS / DETECTORS INSTALLED IN ROOMS WITH JOISTS OR BEAMS SHALL COMPLY WITH THE NFPA 17.7.3.2.4 REQUIREMENTS
- 2025 TITLE 24 CRC, R315
- *CARBON MONOXIDE ALARMS SHALL BE INSTALLED PER MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS.
- *CONTRACTOR TO FIELD VERIFY CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1, R315.2
- FOR EXISTING BUILDINGS AND NEW CONSTRUCTION, CARBON MONOXIDE ALARMS SHALL BE PROVIDED IN DWELLING UNITS WHERE THE DWELLING UNIT CONTAINS A FUEL-FIRED APPLIANCE OR FIREPLACE AND/OR HAS AN ATTACHED GARAGE WITH AN OPENING THAT COMMUNICATES WITH THE DWELLING UNIT.
- WHERE AN ADDITION IS MADE TO AN EXISTING DWELLING, OR A FUEL-BURNING HEATER, APPLIANCE OR FIREPLACE IS ADDED TO AN EXISTING DWELLING, NOT PREVIOUSLY REQUIRED TO BE PROVIDED WITH CARBON MONOXIDE ALARMS, NEW CARBON MONOXIDE ALARMS SHALL BE INSTALLED.
- COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL COMPLY WITH SECTION R315 AND ALL REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARMS. R315.4

RESIDENTIAL SKYLIGHTS

- *SKYLIGHTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S REQUIREMENTS (INCLUDING NEW FLASHING)
- 2025 CRC TITLE 24, PART 2.5, R308.6.2
- GLAZING MATERIALS SHALL BE LIMITED TO LAMINATED GLASS WITH NOT LESS THAN A 0.015-INCH (0.38MM) POLYVINYL BUTYRAL INTERLAYER FOR GLASS PANES 16 SQUARE FEET (1.5M²) OR LESS, FULLY TEMPERED GLASS, HEAT-STRENGTHENED GLASS, WIRED GLASS, APPROVED RIGID PLASTIC
- 2025 CRC TITLE 24, PART 2.5, R308.6.8
- UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH LESS THAN 3:12 (25% SLOPE) SHALL BE MOUNTED ON A CURB EXTENDING A MINIMUM OF 4 INCHES (102MM) ABOVE THE ROOF PLANE UNLESS OTHERWISE SPECIFIED BY THE MANUFACTURER
- Energy Code Title 24, Part 6 §110.6 Table 110.6-A
- DEFAULT SKYLIGHT FENESTRATION U-FACTOR
 - METAL FRAME SINGLE PANE TO BE 1.98, NONMETAL FRAME SINGLE PANE TO BE 1.47
 - METAL FRAME DOUBLE PANE TO BE 1.3, NONMETAL FRAME DOUBLE PANE TO BE 0.84
- Energy Code Title 24, Part 6 §110.6 Table 110.6-A
- DEFAULT SKYLIGHT FENESTRATION U-FACTOR
 - METAL FRAME SINGLE PANE TO BE 1.98, NONMETAL FRAME SINGLE PANE TO BE 1.47
 - METAL FRAME DOUBLE PANE TO BE 1.3, NONMETAL FRAME DOUBLE PANE TO BE 0.84
- 2025 California Energy Code Title 24, Part 6 §150.0(g)
- FENESTRATION, INCLUDING SKYLIGHT PRODUCTS MUST HAVE a maximum U-factor of 0.45 and THE AREA-WEIGHTED AVERAGE U-FACTOR OF ALL FENESTRATION, INCLUDING SKYLIGHT PRODUCTS, SHALL NOT EXCEED 0.45
- 2025 CBC TITLE 24, PART 2, 2610.0
- LIGHT TRANSMITTING PLASTIC SKYLIGHT GLAZING
 - 2610.3 SHALL NOT SLOPE LESS THAN 4:12
 - 2610.4 SHALL HAVE A MAXIMUM AREA WITHIN THE CURB OF 100 SQUARE FEET (9.3M²)
 - 2610.6 SKYLIGHTS SHALL BE SEPARATED FROM EACH OTHER BY A DISTANCE NOT LESS THAN 4 FEET (1219 MM) IN A HORIZONTAL PLANE
 - 2610.7 WHERE EXTERIOR WALL OPENINGS ARE REQUIRED TO BE PROTECTED (FIRE-RATED CONSTRUCTION), A SKYLIGHT SHALL NOT BE INSTALLED WITHIN 6 FEET (1829MM) OF SUCH EXTERIOR WALL
- 2025 CPC TITLE 24, PART 2, 906.2
- OPERABLE SKYLIGHTS SHALL BE LOCATED A MINIMUM OF 10 FEET FROM ALL PLUMBING VENTS OR THE VENT SHALL TERMINATE 3 FEET FROM ANY ENVIRONMENTAL AIR VENT

Electrical Notes:

All permits applied for after January 1, 2026 must comply with the 2025 T24 standards.

outlets and circuits

- *Final location of all outlets shall be verified with the owner at time of inspection
- GROUND-FAULT CIRCUIT-INTERRUPTION SHALL BE PROVIDED ON NEWLY INSTALLED RECEPTACLE OUTLETS IN DWELLING UNIT LOCATIONS SPECIFIED IN CEC 210.8(A)(1) THROUGH (A)(11). CEC 210.8(A)
- FOR NEW STRUCTURES AND ADDITIONS TO EXISTING STRUCTURES, A CONCRETE ENCASED GROUND ELECTRODE SHALL BE INSTALLED. THIS SHALL CONSIST OF 20" OF 1/2" MINIMUM DIAMETER BARE OR ZINC COATED REBAR OR BARE COPPER WIRE IN THE PORTION OF THE FOOTING IN CONTACT WITH THE EARTH. CEC 250.52(A)(3)
- H. REPAIR OR REPLACEMENT OF ELECTRICAL WIRING AND EQUIPMENT UNDERGOING REPAIR WITH LIKE MATERIAL SHALL BE PERMITTED, EXCEPT (PMC 20.10.110):
- REPLACEMENT OF RECEPTACLES SHALL COMPLY WITH CEC406.4(D). ARC-FAULT CIRCUIT-INTERRUPTER TYPE AND GROUND-FAULT CIRCUIT-INTERRUPTER TYPE RECEPTACLES SHALL BE INSTALLED IN A READILY ACCESSIBLE LOCATION. CEC 406.4(D)(1)
- A NON-GROUNDING-TYPE RECEPTACLE SHALL BE PERMITTED TO BE REPLACED WITH A GROUNDING-TYPE RECEPTACLE WHERE SUPPLIED THROUGH A GROUND-FAULT CIRCUIT INTERRUPTER, GROUNDING-TYPE RECEPTACLES OR THEIR COVER PLATES SHALL BE MARKED "GFCI PROTECTED" AND "NO EQUIPMENT GROUND," VISIBLE AFTER INSTALLATION. AN EQUIPMENT GROUNDING CONDUCTOR SHALL NOT BE CONNECTED BETWEEN THE GROUNDING-TYPE RECEPTACLES. CEC 406.4(D)(2)
- PLUG FUSES OF THE EDISON-BASE TYPE SHALL BE USED FOR REPLACEMENTS ONLY WHERE THERE IS NO EVIDENCE OF OVER FUSING OR TAMPERING CEC 240.51(B)
- RECEPTACLES SHALL BE NO MORE THAN 6 FEET MEASURED HORIZONTALLY ALONG THE FLOOR LINE OF ANY WALL SPACE FROM A RECEPTACLE OUTLET. CEC 210.52(A)(1)
- WALLS 2 FEET WIDE OR GREATER AND UNBROKEN BY THE FLOOR LINE SHALL HAVE AN OUTLET CEC 210.52(A)(2)
- ALL RECEPTACLES TO BE INSTALLED NOT MORE THAN 5'-6" ABOVE THE FLOOR SHALL BE TAMPER-RESISTANT. CEC 406.12
- RECEPTACLES SERVING THE KITCHEN COUNTERTOPS SHALL BE GFCI/AFCI PROTECTED AND TAMPER RESISTANT. CEC 210.8(A)(6) AND 406.12
- RECEPTACLE OUTLETS SHALL BE INSTALLED A MAXIMUM OF 24 INCHES FROM A RECEPTACLE OUTLET IN THAT SPACE. CEC 210.52(C)(1)
- ISLAND AND PENINSULAR COUNTERTOPS SHALL HAVE AT LEAST ONE RECEPTACLE 9 SQUARE FEET, OR FRACTION THEREOF, OF THE COUNTERTOP AND FOR ADDITIONAL 18 SQUARE FEET, OR FRACTION THEREOF, AT LEAST ONE RECEPTACLE OUTLET SHALL BE LOCATED WITHIN 2 FEET OF THE OUTER END OF A PENINSULAR COUNTERTOP. CEC 210.52(C)(2)
- RECEPTACLE OUTLETS SHALL BE NO MORE THAN 20 INCHES ABOVE THE COUNTERTOP. BELOW THE COUNTERTOP, RECEPTACLE OUTLETS SHALL BE INSTALLED NO MORE THAN 12 INCHES AND SHALL NOT BE INSTALLED WHERE THE COUNTER EXTENDS MORE THAN 6 INCHES BEYOND ITS SUPPORT BASE. CEC 210.52(C)(3)
- ALL RECEPTACLES IN BATHROOMS, LAUNDRY AREAS, AT OR BELOW GRADE CRAWL SPACES, BASEMENTS, OR OTHER INDOOR DAMP/WET LOCATIONS SHALL BE GFCI PROTECTED CEC 210.8
- AT LEAST ONE BATHROOM RECEPTACLE OUTLET SHALL BE INSTALLED WITHIN 3 FEET OF THE OUTSIDE EDGE OF EACH BASIN. CEC 210.52(D)
- AT LEAST ONE RECEPTACLE IN AREAS DESIGNATED FOR LAUNDRY EQUIPMENT. CEC 210.52(F)
- AT LEAST ONE GARAGE RECEPTACLE OUTLET SHALL BE INSTALLED IN THE IN EACH VEHICLE BAY AND NOT MORE THAN 5.5 FEET ABOVE THE FLOOR. CEC 210.52(G)(1).
- HALLWAYS 10 LINEAR FEET OR GREATER SHALL HAVE AT LEAST ONE RECEPTACLE OUTLET. CEC210.52(H)
- SEPARATE FOYERS GREATER THAN 60 SQUARE FEET SHALL HAVE RECEPTACLES LOCATED IN EACH UNINTERRUPTED WALL SPACE 3 FEET OR WIDER.
- ALL EXTERIOR RECEPTACLES SHALL BE GFCI, WATERPROOF, AND TAMPER RESISTANT AND INSTALLED WITHIN 6 1/2 FT ABOVE GRADE AT THE FRONT AND BACK OF THE DWELLING. CEC 210.8(A)(3), 406.9(B), 210.52(E)
- ALL 120 VOLT, SINGLE PHASE 15- AND 20- AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT KITCHENS, FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, LAUNDRY AREAS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED COMBINATION-TYPE ARC FAULT CIRCUIT INTERRUPTER, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. CEC 210.12(A)
- TWO OR MORE 20-AMPERE SMALL-APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN LIMITED TO SUPPLYING WALL AND COUNTER SPACE SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS. CEC 210.11 (C)(1)
- BATHROOM RECEPTACLE OUTLETS TO BE SUPPLIED BY AT LEAST ONE DEDICATED 120-VOLT, 20 AMP BRANCH CIRCUIT. CEC 210.11(C)(3)
- 30 AMP DEDICATED CIRCUIT TO BE INSTALLED FOR 220- AND 240-VOLT CLOTHES DRYER. CEC 220.54, NFPA 70, 2020
- WHERE A BOX IS USED AS THE SOLE SUPPORT OF A CEILING SUSPENDED (PADDLE) FAN, THE BOX SHALL BE LISTED FOR THE APPLICATION AND FOR THE WEIGHT OF THE FAN TO BE SUPPORTED AS PER CEC 314.27(C) AND 422.18

Electrical Notes CONTINUED:

All permits applied for after January 1, 2026 must comply with the 2025 T24 standards.

interior fixtures and switching

- All proposed lighting shall be high efficacy under Exception 4 and must meet JA8 requirements. Energy Code §150.0(k)1A. New exceptions: lighting integral to ceiling fan kits subject to DOE's Appliance and Equipment Standards Program; LEDs installed outdoors, decorative colored solid state lighting (SSL) luminaires, high intensity discharge (HID) light sources, and luminaires with hardwired high-frequency generator and induction lamp.
- lighting integral to kitchen range hoods and bathroom exhaust fans do not require dimming controls. § 150.0(k)2F
- Any recessed DOWNLIGHT LUMINAIRES to be type "IC" in insulated areas
- Any recessed DOWNLIGHT LUMINAIRES shall not contain screw base lamp sockets and have a label that certifies the LUMINAIRES is airtight with air leakage less than 2.0 CFM at 75 Pascal. lights shall be sealed installed per manufacturer's instructions to maintain airtightness between the LUMINAIRES housing and ceiling and meet the clearance and installation requirements of California electrical code section 410.116. Energy Code 150(k)1C
- All recessed DOWNLIGHT LUMINAIRES located in cathedral ceilings to be directional fixtures
- luminaires permitted in clothes closet to be any of the following:
 - surface-mounted or recessed incandescent or led luminaires with completely enclosed light sources
 - surface-mounted or recessed fluorescent luminaires
 - surface-mounted fluorescent or LED luminaires identified as suitable for installation within the clothes closet storage. CEC 410.16
- luminaires installed in wet or damp locations (incl. tub or shower enclosures) shall be marked, "suitable for wet locations" or "suitable for damp locations" CEC 410.10(A)
- a luminaire installed in a tub or shower area shall have no parts of cord-connected luminaires, chain- cable-, or cord-suspended (paddle) fans located within 3 ft horizontally and 8 ft vertically from the top of the bathtub rim or shower stall threshold. CEC 410.10(D)
- this zone is all-encompassing and includes the space directly over the tub or shower
- Luminaires located where subject to shower spray shall be marked suitable for wet locations.
- ALL Lighting shall have readily accessible wall-mounted controls that allow manual on and off switching. Energy Code 150.0(k)2a
- Light switches to be mounted at 48" aff unless otherwise noted
- No Controls shall bypass a dimmer, occupant sensor or vacancy sensor function where that dimmer or sensor has been installed to comply with Section Energy Code §150.0(k). Energy Code 150.0(K)2b**interior**
- All proposed lighting shall be high efficacy under Exception 4 and must meet JA8 requirements. Energy Code §150.0(k)1A.
- AT LEAST ONE INSTALLED LUMINAIRE IN BATHROOMS, GARAGES, LAUNDRY ROOMS, UTILITY ROOMS AND WALK-IN CLOSETS SHALL BE CONTROLLED BY AN OCCUPANCY OR VACANCY SENSOR PROVIDING AUTOMATIC-OFF FUNCTION. Energy Code 150(K)2E
- INTEGRATED LIGHTING OF EXHAUST FANS SHALL BE CONTROLLED INDEPENDENTLY FROM THE FANS. Energy Code 150(K)2G
- UNDERCABINET, UNDERSHELF, INTERIOR DISPLAY CABINET, SWITCHED OUTLETS TO BE CONTROLLED SEPARATELY FROM CEILING-INSTALLED LIGHTING Energy Code 150(K)2G
- **exterior fixtures and switching**
- All proposed lighting shall be high efficacy under Exception 4 and must meet JA8 requirements. Energy Code §150.0(k)1A.
- All outdoor electrical equipment shall be weatherproof
- EXTERIOR WP GFCI PROTECTED OUTLETS TO HAVE BUBBLE COVER.
- at least one receptacle outlet readily accessible from grade and not more than 6.5 FEET above grade level shall be installed at the front and back of the dwelling. CEC 210.52(E)(1)
- permanently mounted Exterior lighting shall be controlled by a manual ON and OFF switch that permits the automatic actions of either listed below:
 - a photocell or either a motion sensor or an automatic time switch control; or
 - an astronomical time clock control, Energy Code 150.0(k)3

*multifamily

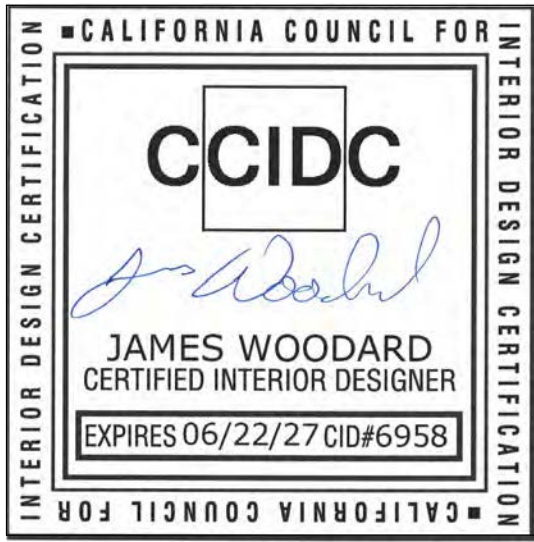
Dwelling Units

- All proposed lighting shall be high efficacy under Exception 4 and must meet JA8 requirements. Energy Code §150.0(k)1A.

Common Areas

- §160.5(b)4D – Daylighting controls trigger to be 75W; daylighting control exception for secondary sidelit daylit zones < 85W; linear luminaires to be controllable in up to 8-ft segments
- §160.5(c)2C – Building facade, ornamental hardscape and outdoor to have outdoor motion sensor controls

SEIGO designs



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SEIGO DESIGNS & INTERIORS

6754 BERNAL AVE. #740-118
PLEASANTON, CA 94566
(925)399-1487

DATE: 7/31/2026

SCALE: AS NOTED

DRAWN BY: JMW / LCC

REVISIONS				
NO	DATE	DESCRIPTION	BY	
1	7/27/26	commission	comment	rev jmw

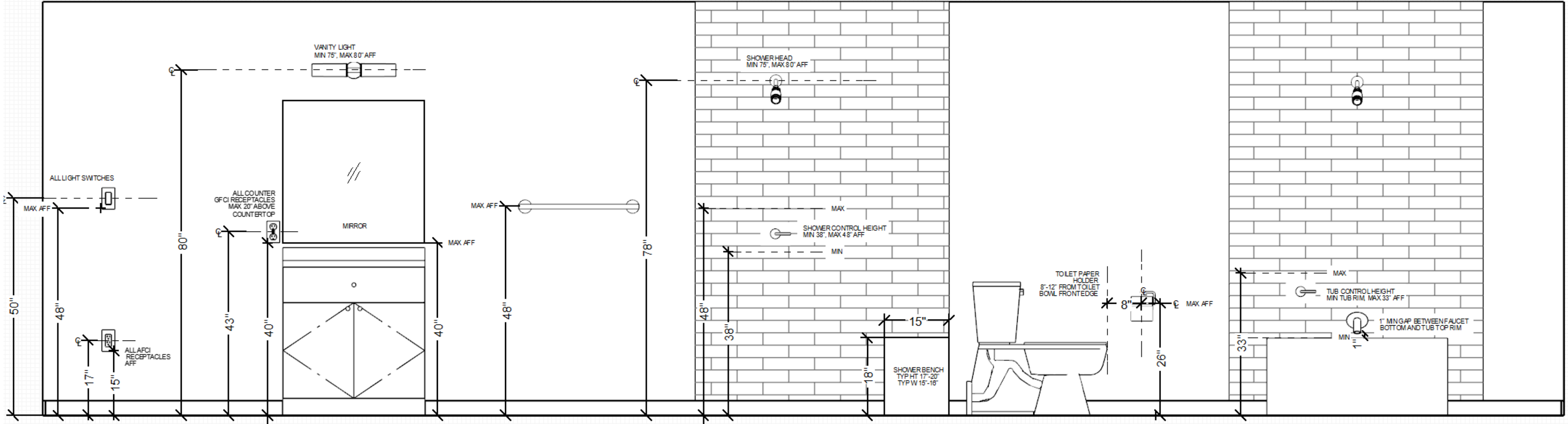
PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

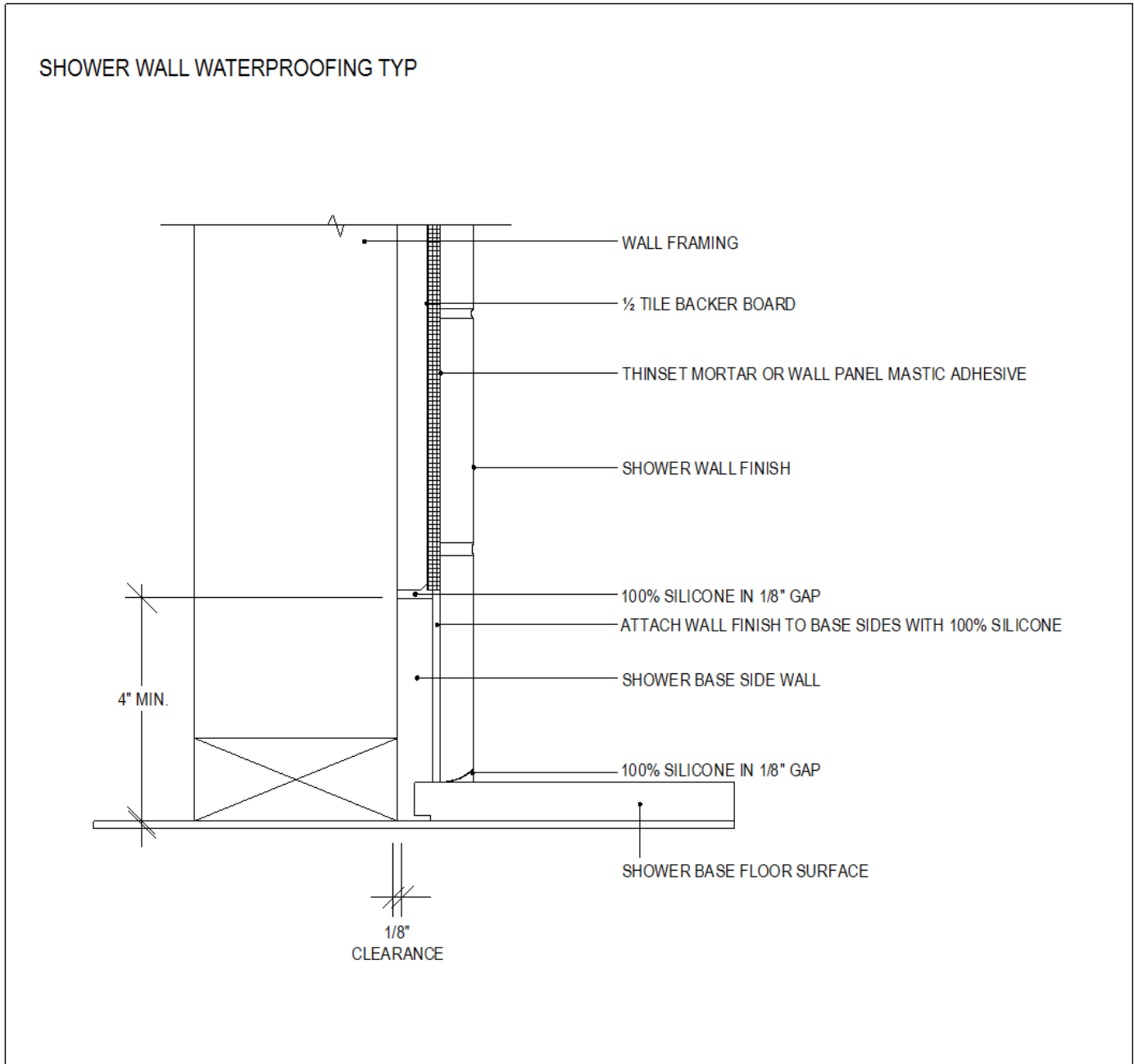
SHEET NAME:
NOTES B

A5.1

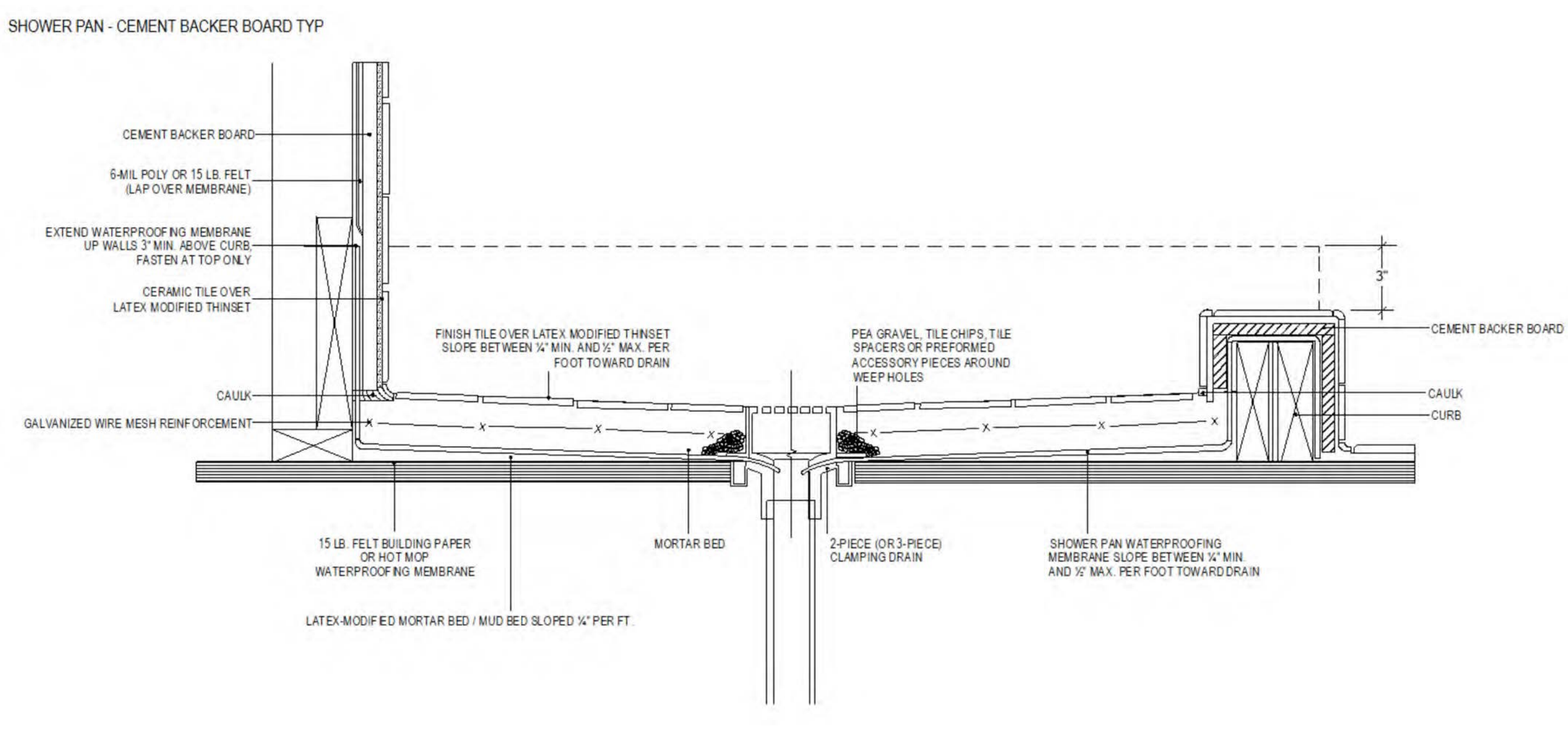
TYPICAL RESIDENTIAL HEIGHTS



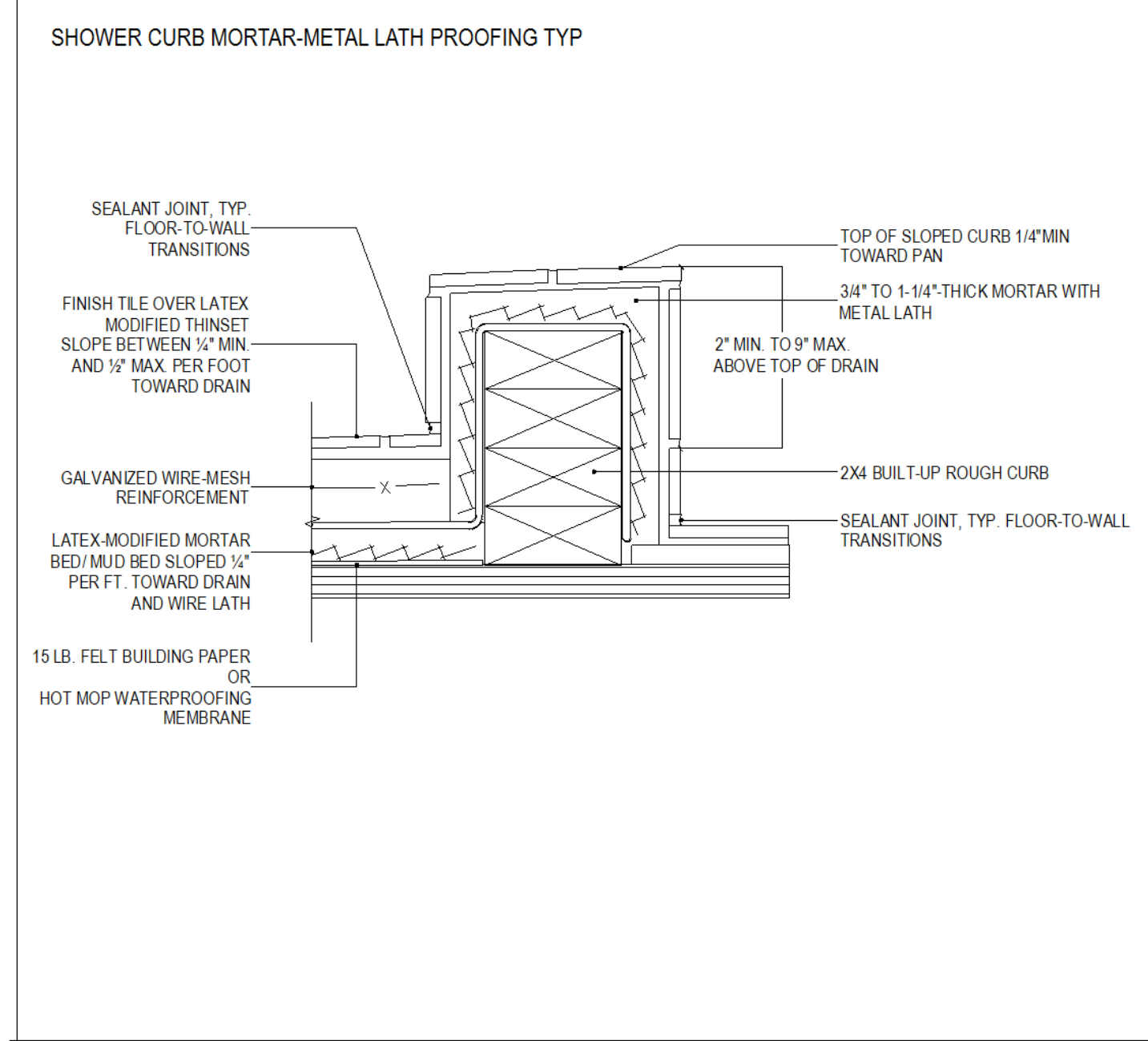
WATERPROOFING DETAILS



1 SHOWER WALL PROOFING
NTS

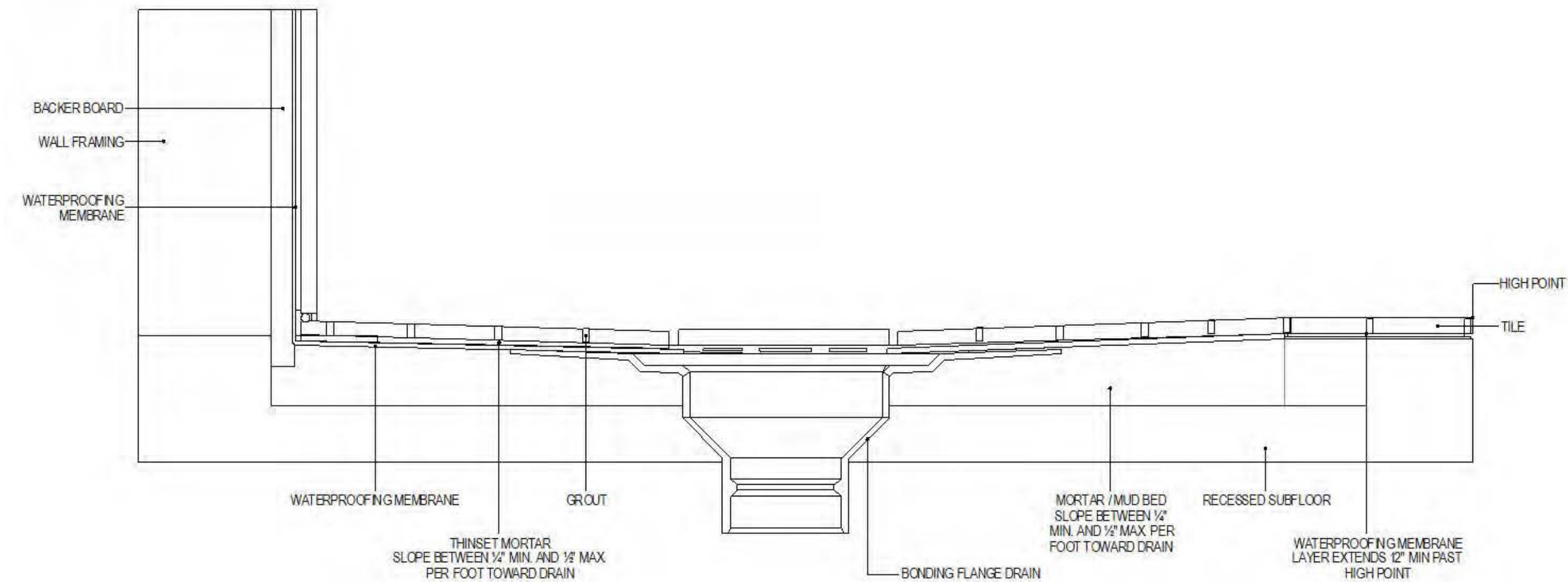


2 SHOWER PAN - CEMENT BACKER BOARD PROOFING
NTS



3 SHOWER CURB - MORTAR PROOFING
NTS

CURBLESS SHOWER TYP



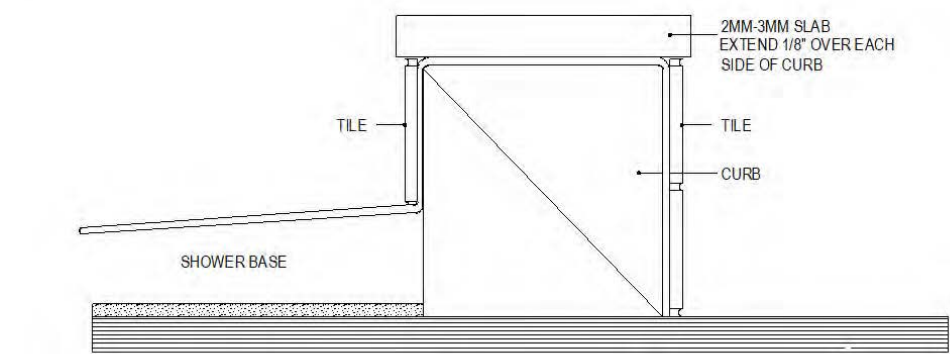
3 CURBLESS SHOWER PROOFING
NTS

SHOWER CURB FINISH APPLICATION REFERENCE

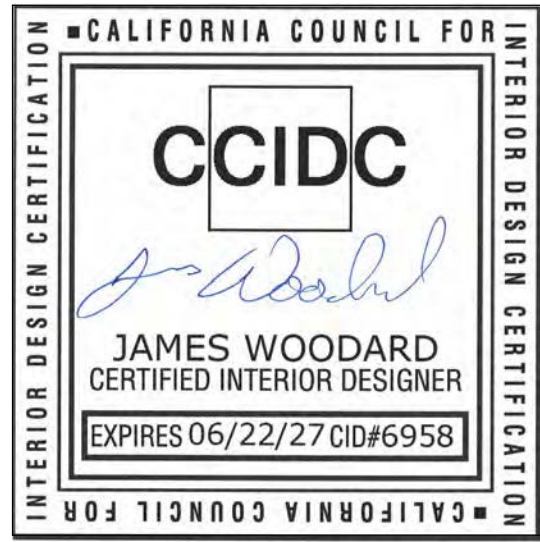


- SHOWER PAN TILE
- CURB CAP: COUNTER SLAB
- CURB FRONT: FLOOR/WALL TILE

SHOWER CURB CAP USING COUNTER SLAB TYP
SEE SHOWER CURB WATERPROOFING DETAILS FOR WATERPROOFING



4 SHOWER CURB CAP
NTS



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REVISIONS			
NO	DATE	DESCRIPTION	BY
1	7/27/26	commission comment rev	jmw

PROJECT: MULTI-LEVEL ADDITIONS

GOEL RESIDENCE
193 HOWES DR
LOS GATOS, CA 95032

SHEET NAME:
NOTES C

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