



TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 06/25/2025

ITEM NO: 6

DATE: June 20, 2025

TO: Historic Preservation Committee (HPC)

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Preliminary Review to Construct a New Second-Story Addition and Exterior Alterations to an Existing Pre-1941 Single-Family Residence on Property Zoned R-1D. **Located at 245 Los Gatos Boulevard.** APN 529-24-024. Request for Review Application PHST-25-011. Exempt Pursuant to CEQA Guidelines, Section 15301: Existing Facilities. Property Owner: Michael Phung. Applicant: Andres Johnson. Project Planner: Samina Merchant.

RECOMMENDATION:

Consider a request for preliminary review to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D, located at 245 Los Gatos Boulevard.

PROPERTY DETAILS:

1. Date primary structure was built: 1924 per County Assessor's Database; 1920s per Anne Bloomfield Survey
2. Bloomfield Preliminary Rating: "+" Historic and intact or worthy of special note
3. Does the property have an LHP Overlay? No
4. Is the structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? No
7. Considerations required? Yes

BACKGROUND:

The subject property is located on the west side of Los Gatos Boulevard north of the intersection at Simons Way. The County Assessor reports that the residence was constructed in 1924. The 1990 Anne Bloomfield Survey describes the residence as being built in a Bungalow style with an estimated construction date of the 1920s (Attachment 1). The Bloomfield Survey rates the residence as historic and intact or worthy of special note.

PREPARED BY: Samina Merchant
Associate Planner

The Sanborn Fire Insurance Maps do not provide coverage for the property until 1928. The footprint of the residence remains consistent between the 1928 and the 1956 maps (Attachment 2). Town records include a 2022 Building Permit for the demolition of unpermitted and permitted areas, construction of a new addition, and exterior remodel (Attachment 3).

DISCUSSION:

The applicant provided a Letter of Justification for the proposed project and photos of the existing residence (Attachments 4 and 5). The applicant is requesting a preliminary review by the Committee to provide feedback on the proposed second-story addition and exterior alterations to the existing home (Attachment 6).

The project proposes a 560-square-foot second-story addition located at the rear (western elevation) of the existing one-story home. First-floor improvements include an interior remodel and exterior modifications. The new second floor would accommodate two bedrooms and two bathrooms.

The existing one-story home is 14 feet two inches tall and features a low-pitched composite shingle roof. It includes overhanging eaves with the front eave line finished in barrel tiles. The proposed second story would incorporate a similar roof style, increasing the maximum building height to 24 feet one inch. Existing materials include textured stucco, double-hung windows, and composite shingles. The proposed design would match these materials and introduce clay roof tiles. Information regarding window and door materials was not provided for this preliminary review.

CONSIDERATIONS:

A. Considerations.

Sec. 29.80.290. Standards for review.

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

- X For pre-1941 structures, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application.

B. Residential Design Guidelines.

Section 3.9 of the Town's Residential Design Guidelines offers recommendations for construction of additions to existing residences (Attachment 7).

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SUBJECT: 245 Los Gatos Boulevard/ PHST-25-011

DATE: June 20, 2025

CONCLUSION:

Consider a request for preliminary review to construct a new second-story addition and exterior alterations to an existing pre-1941 single-family residence on property zoned R-1D, located at 245 Los Gatos Boulevard. A new second-story addition, if not triggering a technical demolition, is processed under a Minor Residential Development application. This application would return to the Committee for a formal recommendation to be forwarded to the Community Development Director and the application would continue through the Minor Residential Development process.

ATTACHMENTS:

1. 1990 Anne Bloomfield Survey
2. Sanborn Fire Maps
3. Town Building Permit Record
4. Letter of Justification
5. Photographs
6. Development Plans
7. Section 3.9, Residential Design Guidelines

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46

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY LOS GATOS RESEARCH

479

File address 245 Los Gatos Bl

PARCEL MAP INFORMATION

Parcel # 529-24-024 Lot size: 50 front ft. x 140 ft. deep

Lot shape: Rectangle ✓ L Rectangle with small rear jog Other

Location: N S E W ✓ side of LG St Ave Other Blvd

distance to cross st: 135 ft. N S ✓ E W from Charles

at NE NW SE SW corner of

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Bartlett Sub Amen Old Block # Old lot # 4

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1920s Style Bungalow # stories

Alterations +

Other unpainted pebbly stucco

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) 9556 Effective date 12-87

APN 529-24-024	ADDRESS 245 LOS GATOS	BL LG 95030	50	52. FEET	1,232	TOT ROOMS	5	DINING ROOM	1	POOL
SINGLE FAMILY	TRA 3-001	WIDTH	140	ADJW S/F		BEDROOMS	1.5	FAMILY ROOM		GARAGE S/F
	USE CODE	01 DEPTH	.16	NO. FLOORS	1	BATHS		UTILITY RM		FIN BSMT
	YR BUILT	24 ACRES								252

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

PHOTOS: Roll/frame # 021/22 Date 4 Jan 90



Cobbard: name # illustration page #

EVALUATION Date 1920-27 (Tax, San)

Alterations: Moved

Raised Porch encl

Addition Siding

Windows Condition

Designer: a b d

Earliest known

Owner Resident Joseph Eliz Worsley

Context: 1936

Date _____

date

Date _____

Date _____

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Addresses associated with Name 245 LGB

relevant dates: construction_____. birth_____. death_____. other_____

Year Book Name/Classified Heading Listing (copy entire, exactly as shown; use * for boldface)

[illegible]

<u>initials</u>	<u>date</u>

Mark 'X' (info) or 'Ø' (nothing found) at each source you try. List findings below.

California History Center, De Anza College:

Biographical file

Photo collection

Sawyer, 1922 (bio index)

Photo collection

Photo collection (2 boxes)

Other sources:

State Library Information Index (fiche)

State Library-S.F. Newspaper Index ("

Death records by year

Funeral records (index cards to big books)

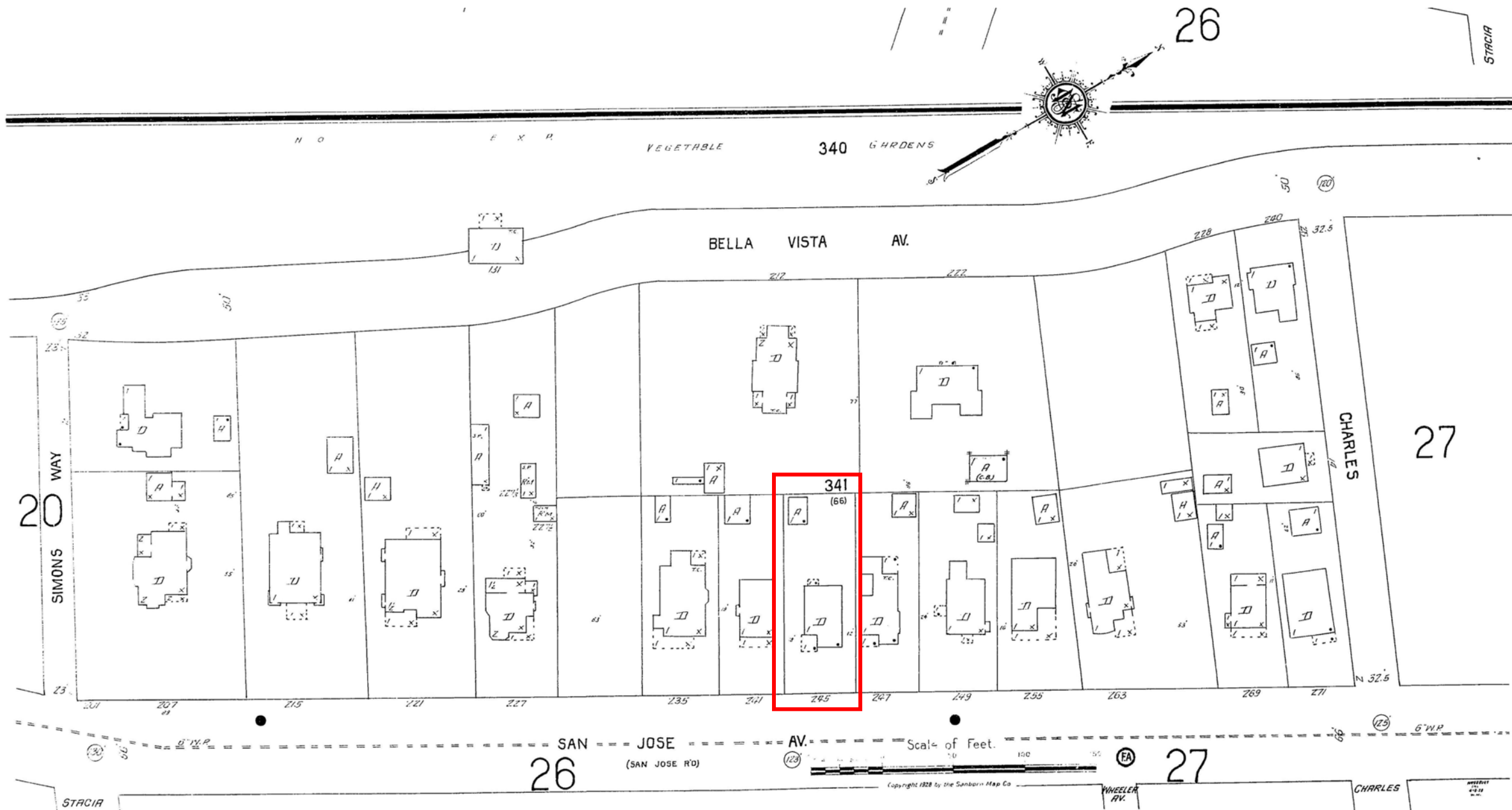
Photo collection

III. LIST ALL REFERENCES FROM ABOVE. Find them. Copy good material & attach. Or copy below if only a few words. Or explain why not relevant (as, wrong person).

pre-1928

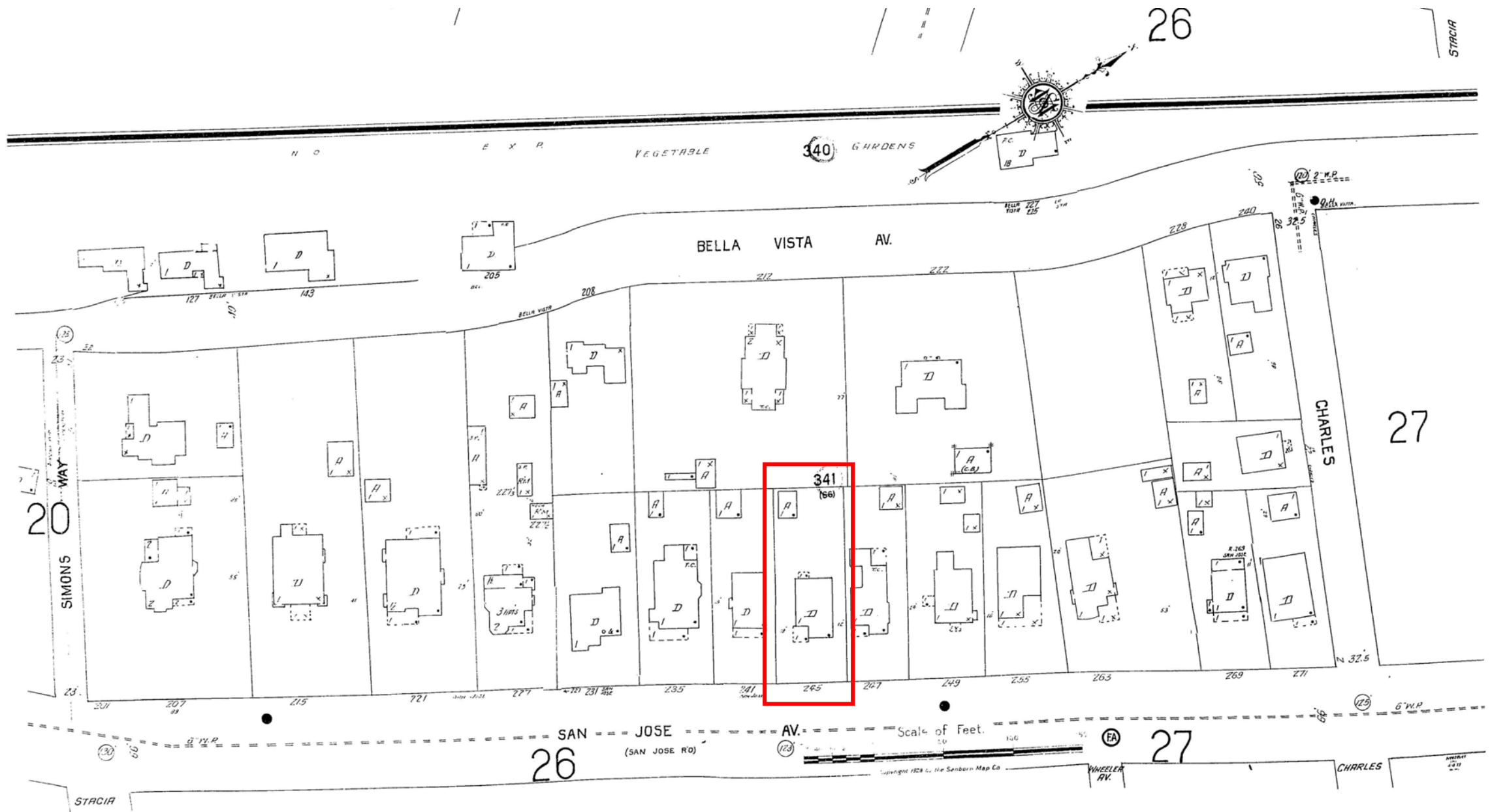
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/initials	date
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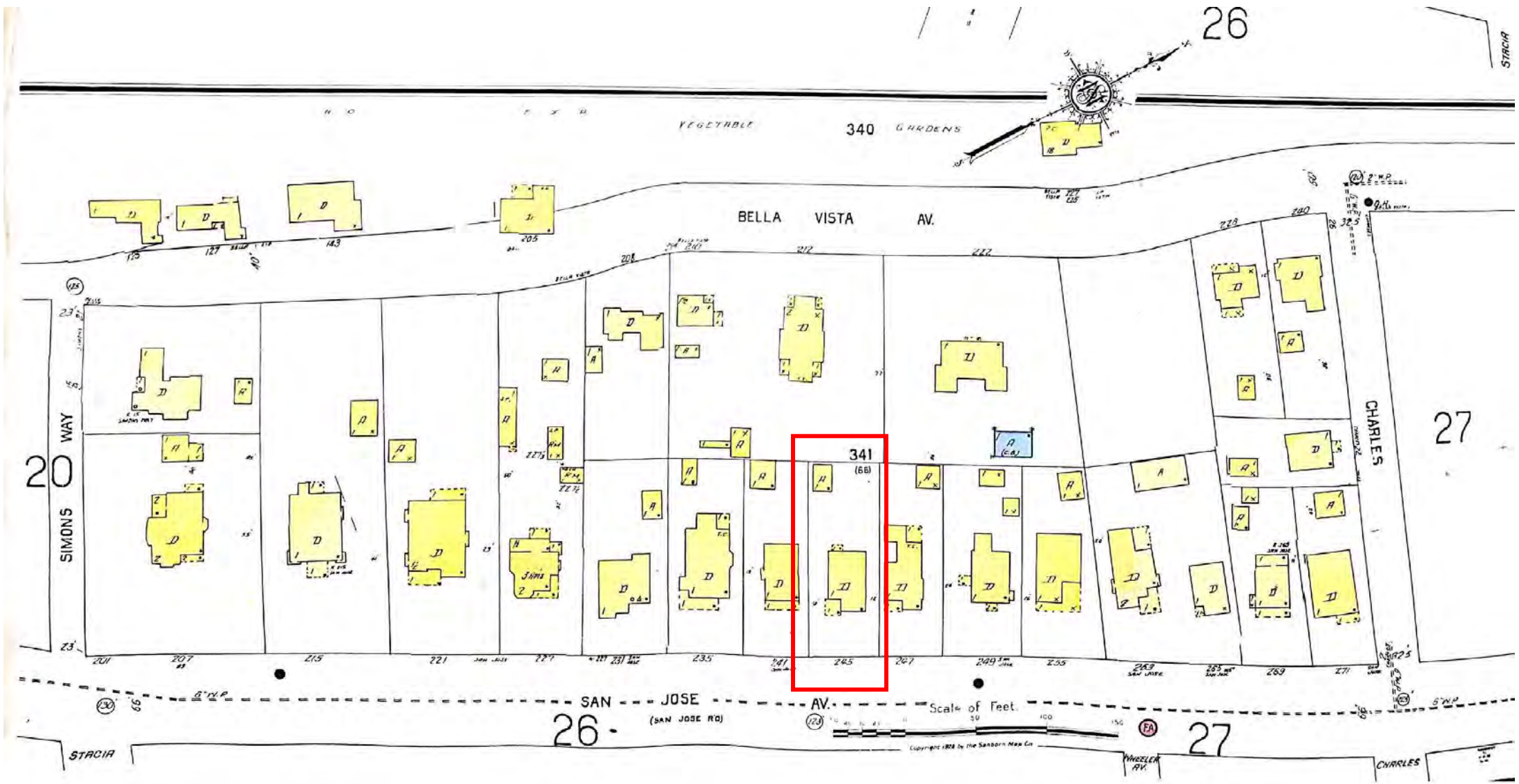


1928

ATTACHMENT 2



1944



1956

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**TOWN OF LOS GATOS
BUILDING PERMIT APPLICATION**

Email Completed Application to: Building@LosGatosCA.gov

Town Project Planner's Name: _____

*PROJECT ADDRESS 245 LOS GATOS BLVD, LOS GATOS, CA 95030		*APN# 529-24-024
*PROPERTY OWNER NAME MICHAEL PHUNG	*PHONE - REQUIRED [REDACTED]	E-MAIL [REDACTED]
*STREET ADDRESS 1756 CASTRO DR	*CITY, STATE, ZIP SAN JOSE, CA, 95130	FAX N/A
APPLICANT NAME MICHAEL PHUNG	PHONE [REDACTED]	E-MAIL [REDACTED]
STREET ADDRESS 1756 CASTRO DR	CITY, STATE, ZIP SAN JOSE, CA, 95130	FAX N/A
TENANT CONTACT NAME N/A	PHONE	E-MAIL
**BUSINESS NAME		CONTACT FAX
BUSINESS ADDRESS, CITY, STATE, ZIP		
*CONTACT: <input checked="" type="checkbox"/> OWNER <input type="checkbox"/> H.O.A. <input type="checkbox"/> TENANT <input type="checkbox"/> CONTRACTOR <input type="checkbox"/> PERMIT SERVICE <input type="checkbox"/> ARCHITECT <input type="checkbox"/> DESIGNER <input type="checkbox"/> ENGINEER		
*CONTRACTOR NAME	PHONE	LICENSE TYPE
*STATE LICENSE #	STATE LICENSE EXPIRES	TOWN BUSINESS LICENSE #
*DESCRIPTION OF WORK		
1. DEMO BLDG AREAS OF EX. HOUSE, 296 SF TOTAL TO MAKE ROOM FOR NEW ADDITION 2. 1-STORY ADDITION 765 SF 3. INTERIOR REMODEL 212 SF 4. UPGRADE ELECT MAIN TO 320 AMPS 5. NEW LIGHT FIXTURES THROUGHTOUT		
*CONSTRUCTION VALUATION (Per Structure): 140,000		
*AREA OF REMODEL SPACE: 212 S.F.	*NEW OR RELOCATED PLUMBING FIXTURES: <input checked="" type="checkbox"/> Y <input type="checkbox"/> N	
**EXISTING USE(S) SINGLE FAMILY	**PROPOSED USE(S) SINGLE FAMILY	
**OCCUPANCY(S): R3 / U	**CONSTRUCTION TYPE: VB	HISTORIC DISTRICT OR PRE-1941? <input checked="" type="checkbox"/> Y <input type="checkbox"/> N
FIRE SPRINKLERS: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	FIRE HAZARD AREA: <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	**HAZARDOUS MATERIALS? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N <input type="checkbox"/> *SEPTIC or <input checked="" type="checkbox"/> SEWER
*REQUIRED INFORMATION FOR ALL APPLICATIONS		
**REQUIRED FOR COMMERCIAL APPLICATIONS		

	EXISTING		PROPOSED	
First Floor	983	S.F.	1748	S.F.
Second Floor	N/A	S.F.		S.F.
Third Floor/Attic – Habitable? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N		S.F.		S.F.
Basement/Cellar – Habitable? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N	296	S.F.	296	S.F.
Garage – <input type="checkbox"/> Attached <input checked="" type="checkbox"/> Detached	418	S.F.	418	S.F.
<input type="checkbox"/> Pool House/Cabana <input type="checkbox"/> Pool/Spa	N/A	S.F.		S.F.
<input checked="" type="checkbox"/> Porch <input type="checkbox"/> Deck <input type="checkbox"/> Retaining Wall	126	S.F./L.F.	126	S.F.

REROOF - RESIDENTIAL AND COMMERCIAL

TEAR-OFF: <input type="checkbox"/> SHAKE <input type="checkbox"/> COMP <input type="checkbox"/> WOOD SHINGLES <input type="checkbox"/> TILE <input type="checkbox"/> B.U.R.	# of SQUARES PER STRUCTURE /	COOL ROOF <input type="checkbox"/> Y <input type="checkbox"/> N
NEW: <input type="checkbox"/> SHAKE <input type="checkbox"/> COMP <input type="checkbox"/> WOOD SHINGLES <input type="checkbox"/> TILE <input type="checkbox"/> B.U.R.		ICC ES/ESR #
CONSTRUCTION VALUATION (PER STRUCTURE): /	/	CLASS <input type="checkbox"/> A <input type="checkbox"/> C

Please complete Electrical, Mechanical, and Plumbing details on reverse side

N:\DEV\FORMS\BUILDING\BLDGAPPLICATION

Rev 01/08/2021

Town of Los Gatos • Community Development • Building Division • 110 E. Main St., Los Gatos, CA 95031
408.354.6876 • www.losgatosca.gov • www.facebook.com/losgatosca

ATTACHMENT 3

GENERAL:
G1. ERRORS AND OMISSIONS:
In the event that any errors, discrepancies, or omissions may occur in the construction documents, the property owner shall notify the designer immediately prior to proceeding with the work in question. The owner or contractor shall bring them to the attention of the designer for proper clarification before continuing the project.

G2. INTERPRETATION OF DRAWINGS:
For verification of floor plan layout, dimensioning, and general finish, reference must be made to the construction documents. If any discrepancies appear between the scale measurements and/or any plan notes and specifications, the owner or contractor shall bring them to the attention of the designer for proper clarification before continuing the project.

Note: In no event shall the contractor or owner scale the construction drawings.

G3. PRODUCT SUBSTITUTIONS:
All products and/or materials shall be provided as specified in the construction documents, with the singular exception of products and/or materials labeled as "or approved equal" or "O.A.E." Requests for product and/or material substitutions will not be allowed otherwise. The owner and/or contractor shall assume full responsibility for all non-project specified products provided and/or installed without the designer's consent. The owner or contractor must supply the designer with product literature and/or samples for requested substitutions. If applicable, owner/contractor will be notified upon acceptance of any product substitution.

G4. SUBMITTALS AND SHOP DRAWINGS:
General contractor shall provide the designer (for designer's review) with copies of all shop drawings, specifications, and/or calculations which may be requested for approval by the local governing agency due to products scope of work.

G5. REQUIRED PERMITS:
General contractor shall be responsible for securing all building and trade permits necessary to complete the project scope of work, as required by the local governing jurisdiction.

G6. GENERAL CONTRACTOR:
Contractor shall perform all labor and install all materials in a timely and professional workmanlike manner through completion of the project.

G7. TEMPORARY TOILET:
Contractor shall supply one (1) temporary sanitary field toilet for use by all construction personnel, and must provide for regular cleaning and maintenance of this facility at all times during the length of construction.

G8. JOB SITE CLEANING:
Contractor shall at all times maintain the area of work. So as to be clean and free of all trash, debris and other hazards, and shall protect all adjacent property damage, soiling, paint overspray, etc. Work area shall be left broom clean everyday upon inspection.

G9. All work shall comply with the most current California Building Code and the latest adopted local ordinances.

G10. All plumbing work shall comply with the most current California Plumbing Code and all local codes and ordinances.

G11. All electrical work shall comply with the most current California Electrical Code and all other applicable codes and requirements.

G12. All heating and ventilating work shall be in conformance with the most current applicable codes, and the recommended practices of ASHRAE and SMACNA.

G13. Provide fabricator's certificate for Glu-Lam beams to building department for review and approval at time of delivery and prior to installation.

G14. All hardwood flooring shall be installed in accordance with the most current NFA specifications and recommendations.

G15. All tile work shall be installed in accordance with the most current Title Council of America specifications and recommendations.

TITLE 24 NOTES:
T1. All windows shall be dual glazed with "U" values as specified in the title 24 documents.
T2. All doors and windows are to be fully weather-stripped per Title 24 requirements.
T3. All joints and penetrations are to be properly caulked and sealed per Title 24 requirements, with a readily accessible, operable and tight fitting damper, as well as a readily accessible flue damper control.

SCHEDULE FINAL INSPECTIONS PLEASE CONTACT THE FOLLOWING DEPARTMENTS SEVEN (7) DAYS IN ADVANCE OF FINAL BUILDING INSPECTION:

- ☒ PLANNING DIVISION: (408) 399-5771
☐ ENGINEERING/PUBLIC WORKS: (408) 399-5771
☐ SANTA CLARA COUNTY FIRE DISTRICT: (408) 378-4070
☒ WEST VALLEY SANITATION DISTRICT: (408) 378-2407
☐ SANTA CLARA CO. ENVIR. HEALTH: (408) 918-3400

SHADED AREA DENOTES UN-PERMITTED BUILDING AREA TO BE DEMOLISHED 71 SF

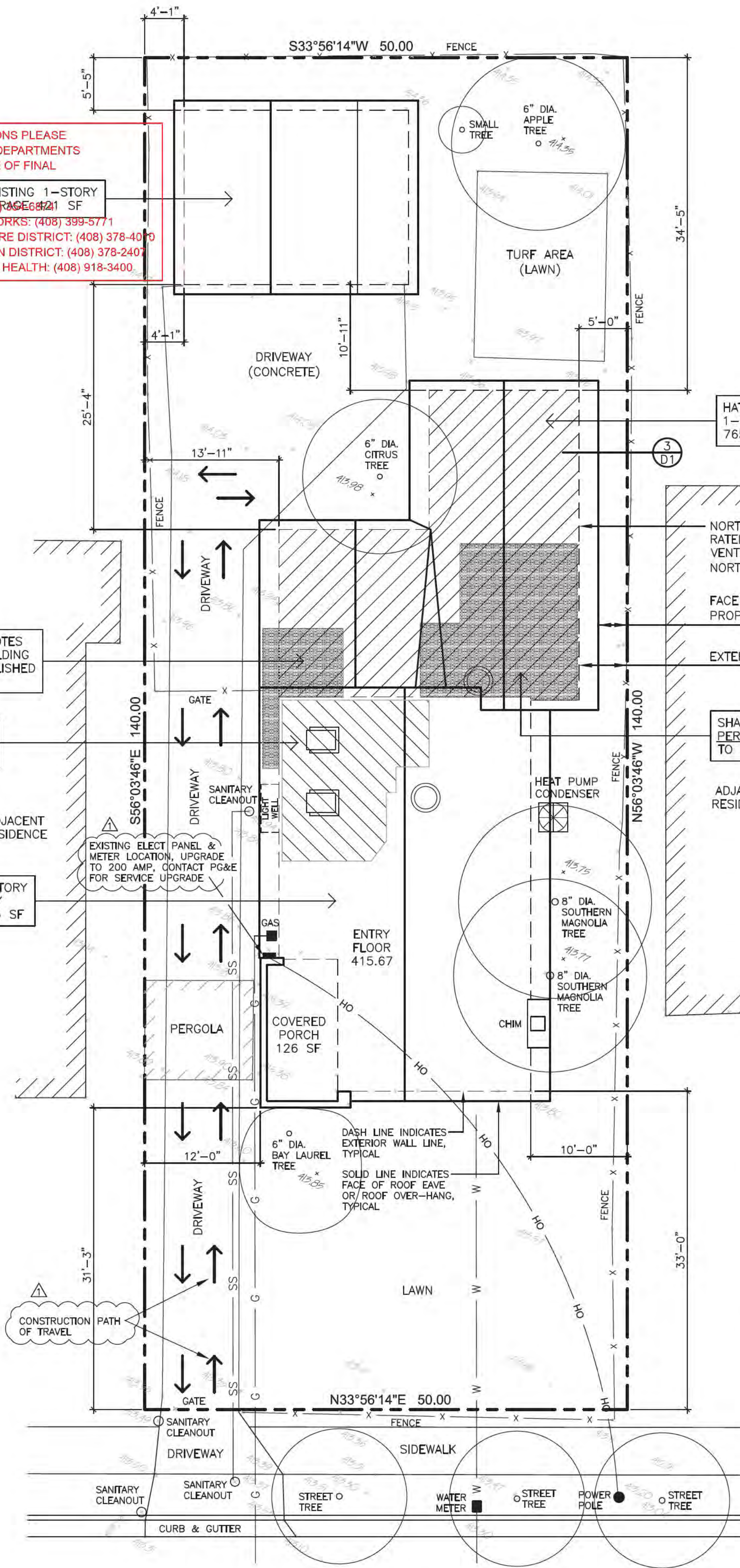
HATCHED AREA DENOTES INTERIOR REMODEL, 212 SF

MOISTURE CONTENT NOTE PER CGBC SECTION 4.505.3
PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT EXCEED 19% MOISTURE CONTENT, CGBC SECTION 4.505.3

ENVIRONMENTAL QUALITY NOTE PER CGBC SECTIONS 4.504.2.4 & 4.504
1. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBC SECTION 4.504.2.4.
2. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER BUILDER (FOR ANY OWNER BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING DIVISION CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION & ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SECTION 4.504

FINAL INSPECTION NOTE PER CGBC SECTION 4.410.1
AT FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB BASED REFERENCE, OR OTHER ACCEPTABLE MEDIA INCLUDING ITEMS 1 THROUGH 10, IN ACCORDANCE WITH CGBC SECTION 4.410.1 SHALL BE PLACED IN THE BUILDING

WASTE MANAGEMENT PLAN NOTE PER CGBC SECTION 4.408.5
DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION, CGBC SECTION 4.408.5



HATCHED AREA: 1-STORY ADDITION 765 SF

NORTH FACING WALL: 1-HOUR FIRE RATED ROOF EAVE, NO ROOF EAVE ATTIC VENT HOLES ALLOWED ALONG NEW NORTH FACING WALL PER DETAIL 3/01

FACE OF ROOF EAVE PROJECTION TO PROPERTY LINE = 3'-0"

EXTERIOR WALL LINE TO P.L. = 5'-0"

SHADED AREA DENOTES PERMITTED BUILDING AREA TO BE DEMOLISHED, 225 SF

PLUMBING NOTE PER CGBC SECTION 4.303.2
ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN TABLE 1701.1 OF THE 2019 CALIFORNIA PLUMBING CODE, CGBC SECTION 4.303.2

LIGHTING NOTE
THE BUILDER MUST PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE (AS REQUIRED IN TITLE 24 CALIFORNIA CODE OF REGULATIONS, PART 1, §10-103(b)) THAT INCLUDES A LIST OF LAMPS INSTALLED IN THE LUMINAIRES

DOMESTIC DISHWASHING MACHINE NOTE
NO DOMESTIC DISHWASHING MACHINE SHALL BE DIRECTLY CONNECTED TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSER WITHOUT THE USE OF AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK OR DRAINBOARD, WHICHEVER IS HIGHER, CPC Sec. 807.3

SPECIAL PLUMBING NOTE
PER TOWN CODE SECTION 6.40.020 AN APPROVED BACKWATER VALVE SHALL BE INSTALLED ON DRAINAGE PIPING SERVING FIXTURES THAT HAVE FLOOD LEVEL RIMS LESS THAN 12 INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE, CPC 710.0

PROPERTY OWNER
1756 CASTRO DR
SAN JOSE, CA 95130

DESIGNER:
NOBLE B. ASSOCIATES
3033 MOORPARK AVE #1
SAN JOSE, CA 95128
(408) 646-1206

TITLE 24 ENERGY ANALYSIS
NRG COMPLIANCE, LP
PO BOX 3777
SANTA ROSA, CA 95402
(707) 237-6957

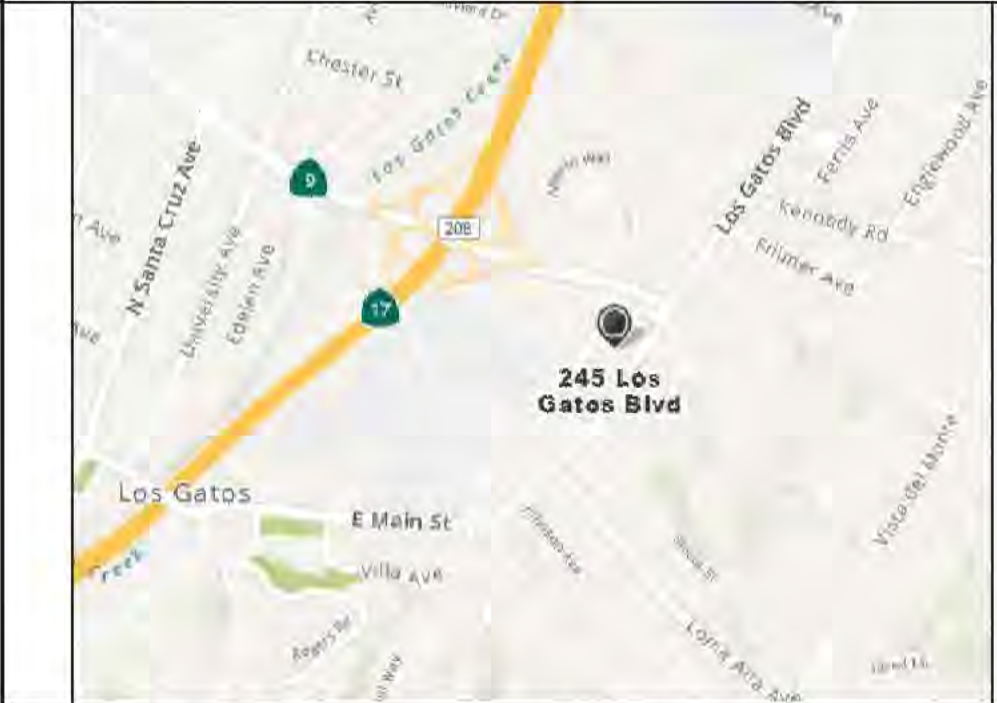
ENGINEER:
BO ZHANG - C82956
LADC ENGINEERING, INC.
1590 OAKLAND RD, STE B112
SAN JOSE, CA 95131
(408) 752-2777

ENCROACHMENT PERMIT IS REQUIRED WHEN WORKING IN THE PUBLIC RIGHT-OF-WAY
ENGINEERING DEPARTMENT
41 MILES AVENUE, LOS GATOS
(408) 399-5771

SHEET INDEX

- A1. SITE PLAN & PROJECT DATA
CB. CLEAN BAY BLUEPRINT
LS. LAND SURVEY
A1.2 TECHNICAL DEMOLITION DIAGRAM
A2. STORM WATER MANAGEMENT
A3. TREE PROTECTION PLAN
A4. EXISTING FLOOR PLANS
A5. EXISTING ELEVATIONS
A6. DEMOLITION PLANS
A7. PROPOSED FLOOR PLANS
A8. PROPOSED EXTERIOR ELEVATIONS
A9. ROOF PLAN & CROSS SECTION
A10. MEP PLANS
D1. DETAILS
T24-1. TITLE 24
T24-2. TITLE 24
T24-3. TITLE 24
S-0. STRUCTURAL GENERAL NOTES
S-1. FOUNDATION PLAN & SHEAR WALL SCHEDULE
S-2. CEILING FRAMING PLAN, ROOF FRAMING PLAN
SD-1. STRUCTURAL DETAILS
SD-2. STRUCTURAL DETAILS
SD-3. STRUCTURAL DETAILS

SITE LOCATION MAP



SITE DATA AND ZONING

APN: 529-24-024
LOT SIZE: 7000.0 SF
ZONE: R-1D
LOT COVERAGE: .33
AVERAGE SLOPE: FLAT LOT

SQUARE FOOTAGE

DESCRIPTION	EXISTING SF	REMOVE SF	ADD SF	TOTAL SF
1ST FLR	1208.0	225.0	765.0	1748.0
2ND FLR	N/A			
TOTAL	1208.0	225.0	765.0	1748.0
DETACHED GARAGE	421.0	0	0	421.0
COVERED PORCH	126.0	0	0	126.0
BASEMENT	296.0	0	0	296.0

GOVERNING CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE

CONSTRUCTION DATA

CONSTRUCTION TYPE: VB
NUMBER OF STORIES: 1 + BASEMENT
OCCUPANCY GROUP: R3 / U
FIRE SPRINKLER: NO

SCOPE OF WORK

- DEMOLISH UN-PERMITTED BUILDING AREA, 71 SF, AT REAR OF EXISTING HOUSE TO MAKE ROOM FOR AN ADDITION
- DEMOLISH PERMITTED BUILDING AREA, 225 SF, AT REAR OF EXISTING HOUSE TO MAKE ROOM FOR AN ADDITION
- CONSTRUCT A 1-STORY REAR ADDITION TO INCLUDE A NEW FAMILY ROOM, A NEW BEDROOM, TWO FULL BATHS AND A LAUNDRY CLOSET.
- INTERIOR REMODEL, 212 SF TO INCLUDE THE KITCHEN
- NEW ELECTRICAL & LIGHTING THROUGHOUT
- UPGRADE ELECT MAIN TO 200 AMPS
- NEW SKYLIGHTS AND SUN-TUBES AT EXISTING & NEW AREAS
- REPLACE EXISTING HVAC AND WATER HEATER WITH NEW HEAT PUMP UNITS

TITLE 24 ENERGY REPORT RQMTS

TO: CONTRACTOR, BUILDER OR HOMEOWNER

PRIOR TO CONSTRUCTION PLANNING, BE SURE TO READ THE ENTIRE CF-1R (SHEETS T24 1&2) FOR BUILDING ENERGY REQUIREMENTS AND REQUIRED VALUES FOR INSULATION, WINDOWS AND EFFICIENCY OF WATER HEATING OR SPACE CONDITIONING EQUIPMENT IF APPLICABLE, ETC. NOTE ON PAGE 1 & 2 OF THE CF-1R ANY REQUIRED SPECIAL FEATURES OR REQUIRED HERS VERIFICATIONS.

FEATURES THAT MUST BE FIELD-VERIFIED BY A CERTIFIED HERS RATER (pg. 2 of CF-1R):

APPROVALS

Town of Los Gatos
BUILDING DIVISION
PLAN APPROVED
BY: [Signature] DATE: 05.20.2022
Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations.

APPROVED
BY LOS GATOS COMMUNITY DEVELOPMENT
PLANNING DIVISION
B22-0177 - 05/20/2022
M.C.

REVISIONS

- PER PLAN REVIEW & DESIGNER 04-25-2022
-
-

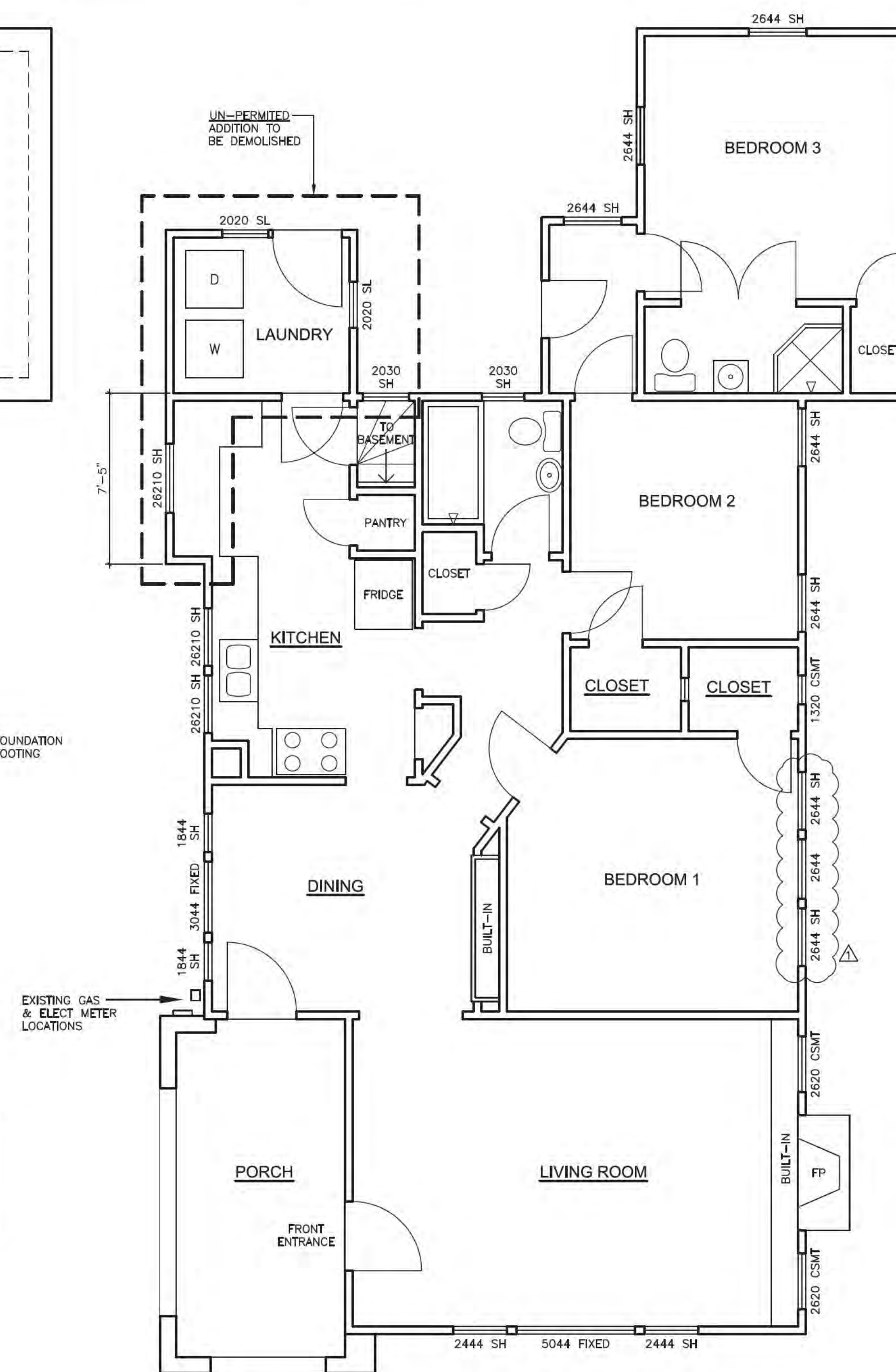
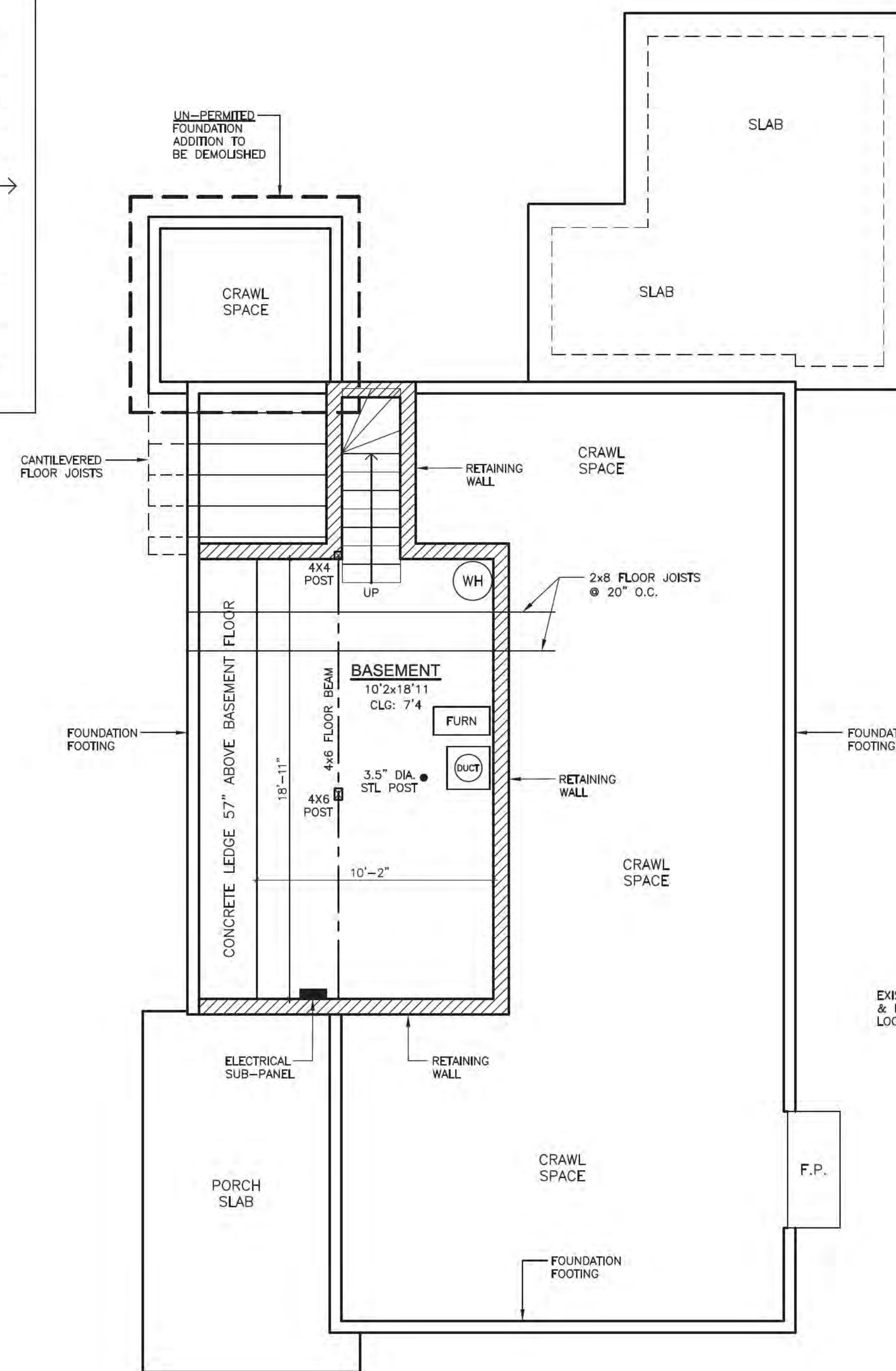
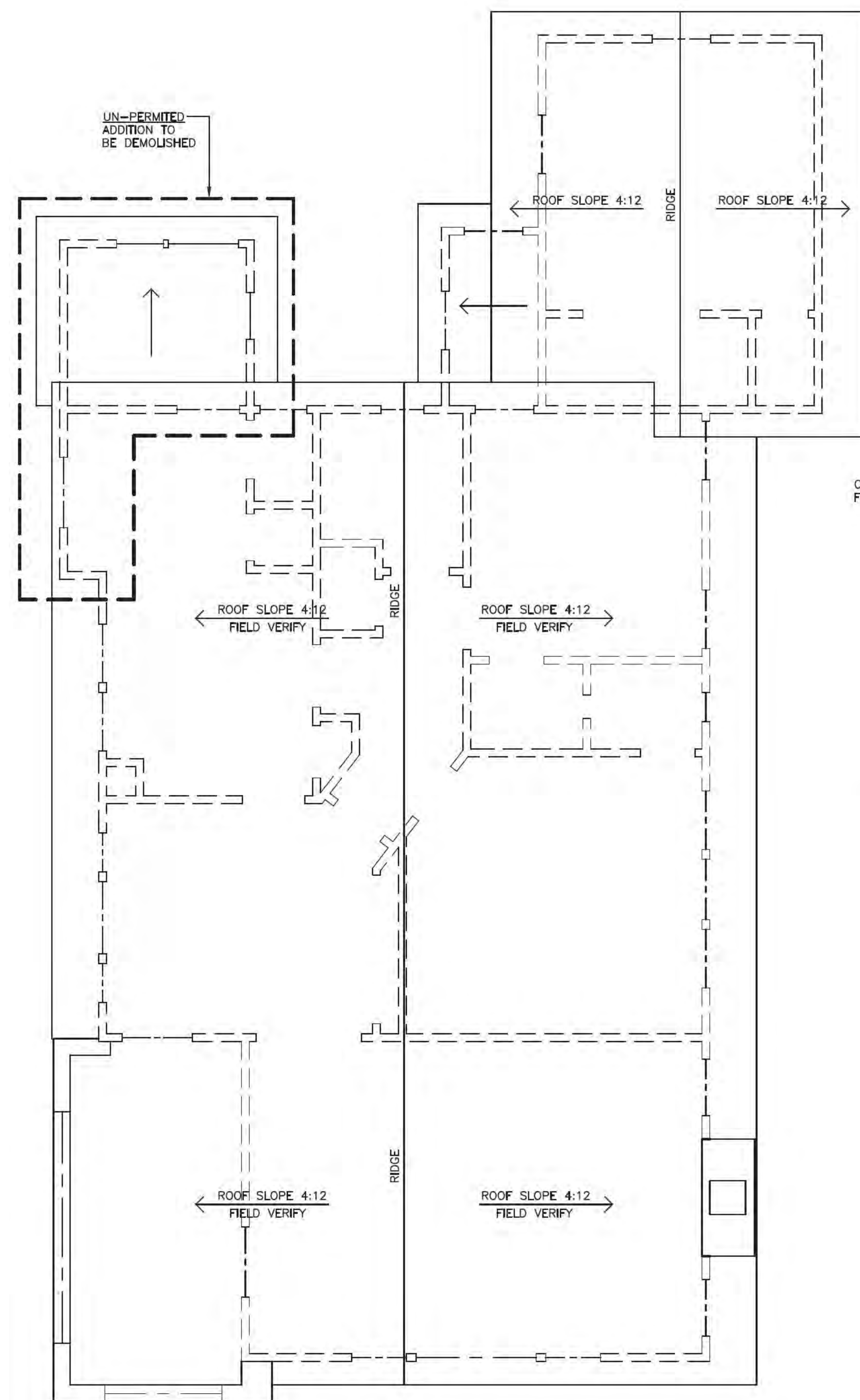
SAN JOSE, CA 95128
3033 MOORPARK AVE, SUITE 1
NOBLE BENJAMIN ASSOCIATES
Noble Benjamin
04-25-2022
nobleassociates@gmail.com
(408) 646-1206

RESIDENCE
245 LOS GATOS BLVD
LOS GATOS, CA 95030









ADDITION &
INTERIOR REMODEL

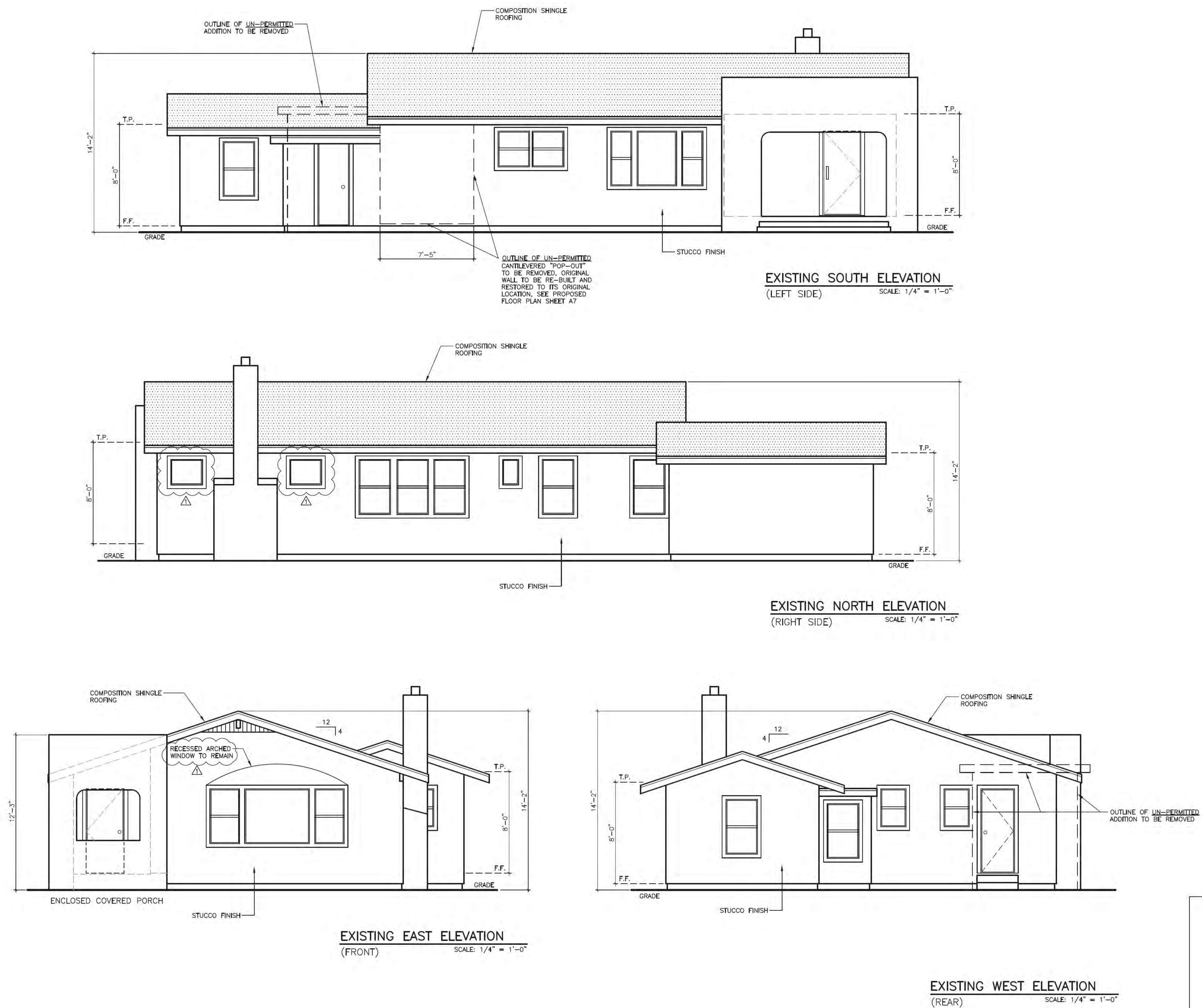
DATE: 02-10-2022
SCALE: AS SHOWN
DRAWN: NBH
JOB: PHUNG

A1
OF SHEETS



LEGEND

	NEW 2x4 WALLS	O.H.	OVERHANG
	EXISTING 2x4 WALL RAISED TO NEW PLATE HEIGHT	DR	DOOR
	NEW 2x6 WALLS	DIR	DIRECTION
	EXISTING WALLS	U.N.O.	UNLESS NOTED OTHERWISE
	WALLS TO BE REMOVED	A.F.F.	ABOVE FINISHED FLOOR
	LOW WALL	M.S.	MOTION SENSOR
(E)	EXISTING	V.I.F.	VERIFY IN FIELD
(N)	NEW	XXXX FR	GLASS PANELED DOOR
TEMP GL	TEMPERED GLASS	2630	WINDOW/DOOR
C.L.	CENTERLINE		VERTICAL DIM. 3'-0"
 S.M.	SMOKE DETECTOR		HORIZONTAL DIM. 2'-6"
 C	CARBON MONOXIDE DETECTOR		



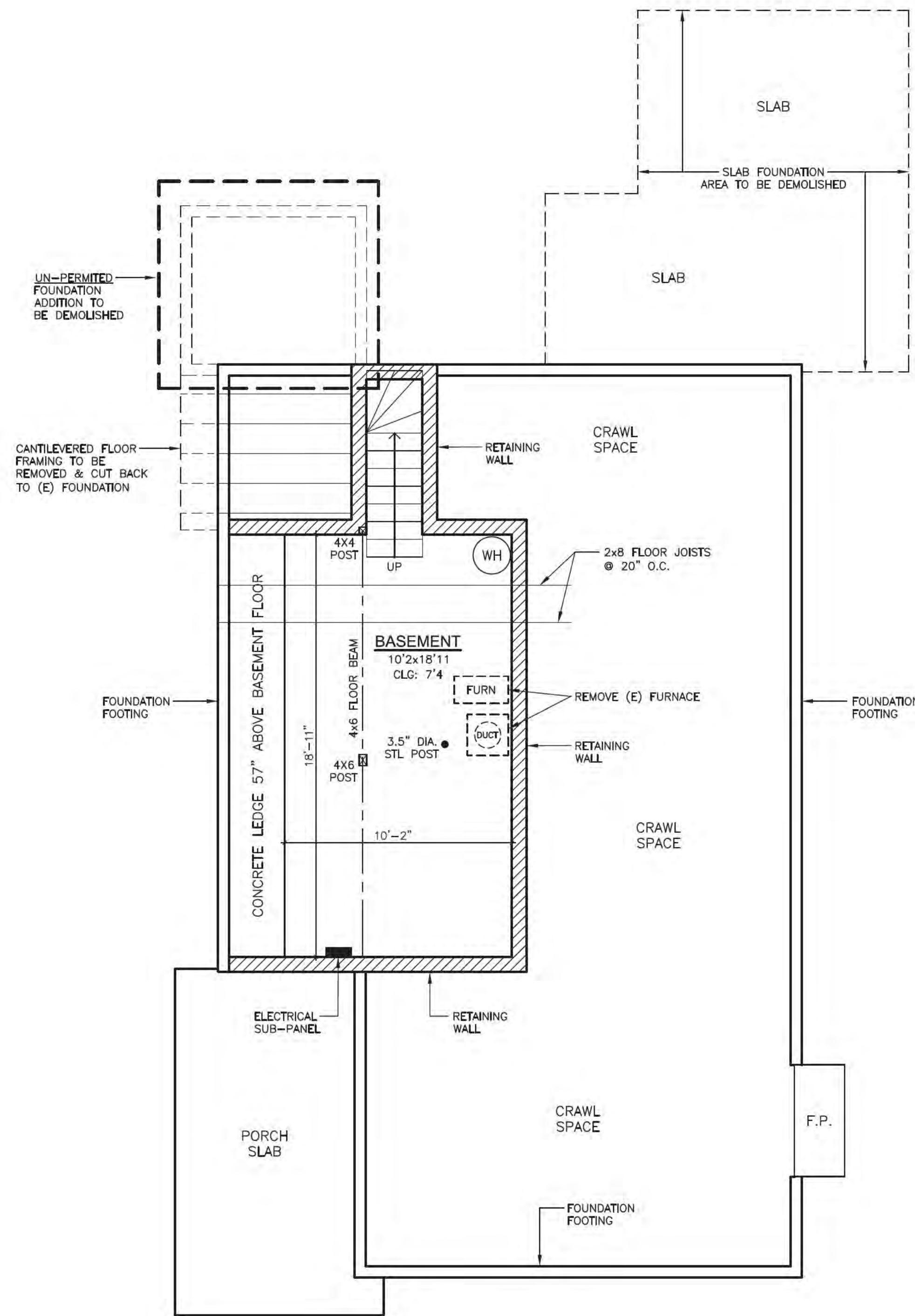
EXISTING

PLAN REVIEW APPROVAL

05.20.2022 PHUNG

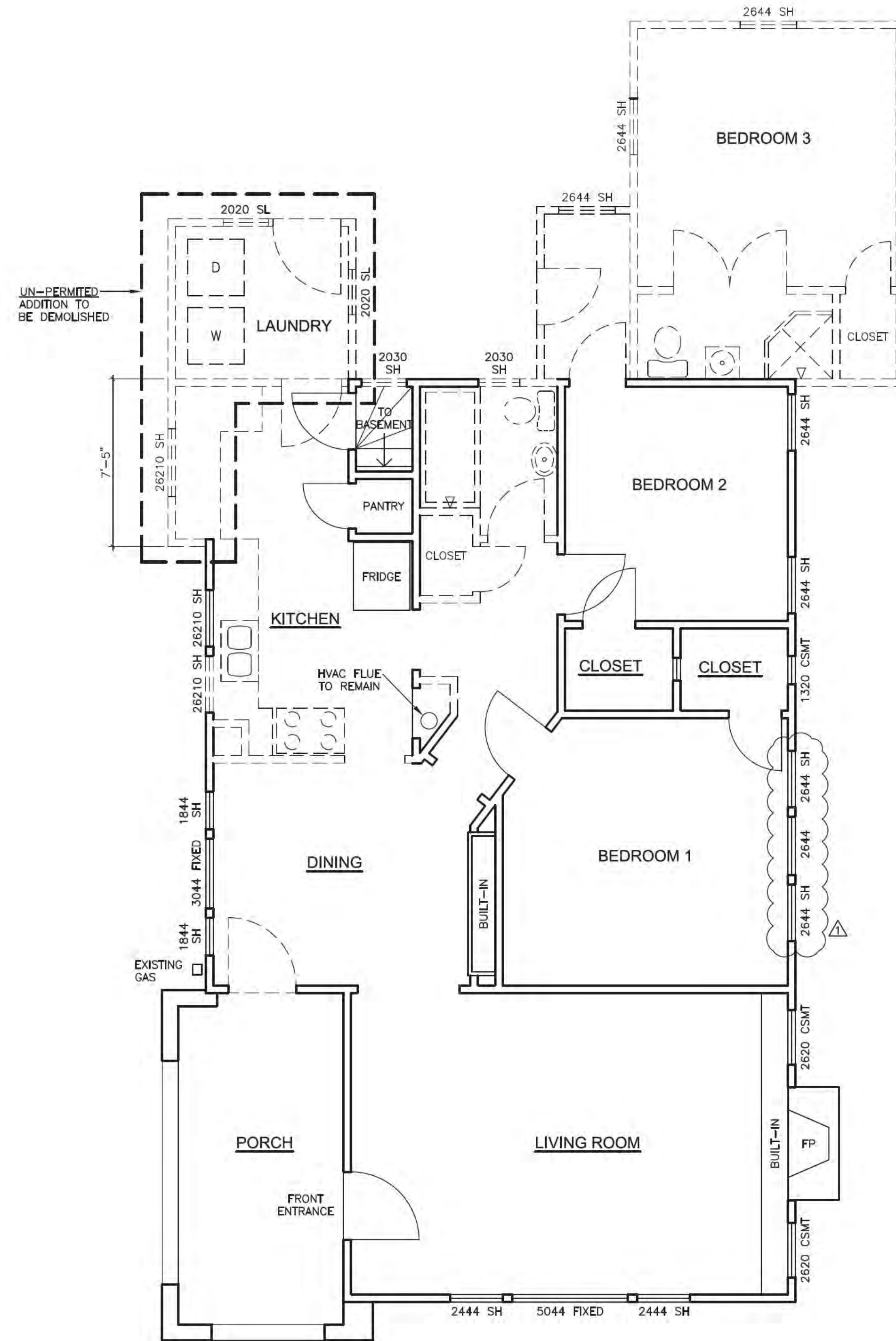
TOWN OF LOS GATOS
BUILDING DIVISION

REVISIONS	
1	PER PLAN REVIEW & DESIGNER 04-25-2022
2	
3	
3033 MOORPARK AVE, SUITE 1 SAN JOSE, CA 95128 NOBLE BENJAMIN ASSOCIATES <i>Noble H. Benjamin</i> 04-25-2022 noblebassociates@gmail.com (408) 646-1206	
RESIDENCE 245 LOS GATOS BLVD LOS GATOS, CA 95030	
ADDITION & INTERIOR REMODEL	
DATE: 02-10-2022	
SCALE: AS SHOWN	
DRAWN: NBH	
05.20.2022 PHUNG	
A5	
OF SHEETS	



FOUNDATION DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION



DEMOLITION PLAN
SCALE: 1/4" = 1'-0"

LEGEND

	NEW 2x4 WALLS	O.H.	OVERHANG
	EXISTING 2x4 WALL RAISED TO NEW PLATE HEIGHT	DR	DOOR
	NEW 2x6 WALLS	DIR	DIRECTION
	EXISTING WALLS	U.N.O.	UNLESS NOTED OTHERWISE
	WALLS TO BE REMOVED	A.F.F.	ABOVE FINISHED FLOOR
	LOW WALL	M.S.	MOTION SENSOR
(E)	EXISTING	V.I.F.	VERIFY IN FIELD
(N)	NEW	XXXX FR	GLASS PANELED DOOR
TEMP GL	TEMPERED GLASS	2630	WINDOW/DOOR
C.L.	CENTERLINE		VERTICAL DIM. 3'-0"
	S.D.		HORIZONTAL DIM. 2'-6"
	C		

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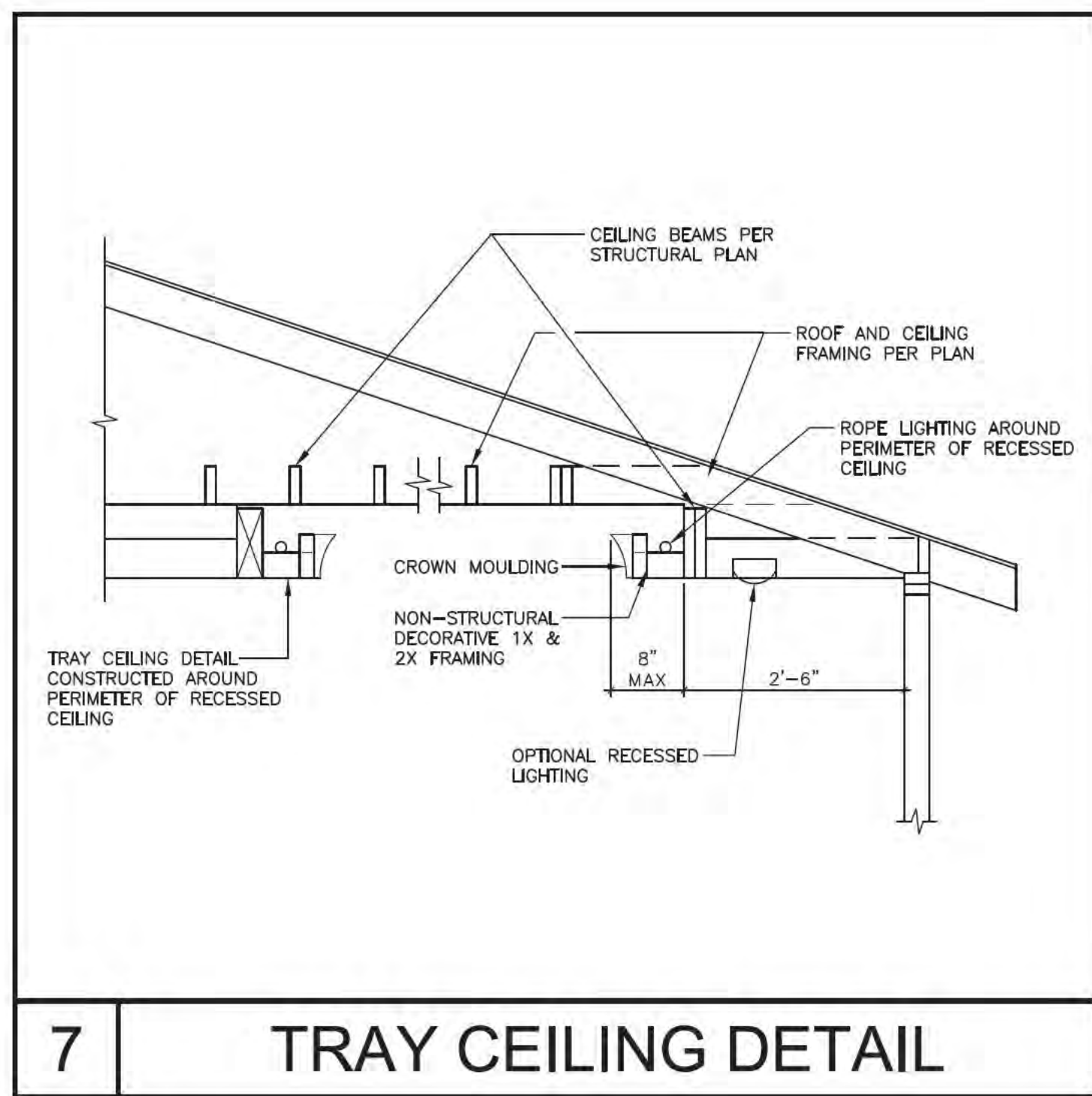
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WINDOW SCHEDULE									GLASS paneled DOOR SCHEDULE								
WINDOW DESIG.	EXISTING/NEW	SIZE	LOCATION	WINDOW MFR	WINDOW FRAME MAT.	WINDOW TYPE	EXIT EGRESS	TEMPERED GLASS	DOOR NUMBER	EXISTING/NEW	DOOR FRAME MAT.	QTY	THICKNESS	WIDTH	HEIGHT	LOCATION	DOOR MFR
(A)	EXISTING	2'-6"x2'-10"	KITCHEN	UNKNOWN	WOOD	SINGLE HUNG			1	NEW	WOOD*	2	1 3/4"	3'-0"	6'-8"	FAMILY RM	*T.B.D.
(B)	EXISTING	1'-8"x4'-4"	DINING	UNKNOWN	WOOD	SINGLE HUNG											
(C)	EXISTING	3'-0"x4'-4"	DINING	UNKNOWN	WOOD	FIXED											
(D)	EXISTING	2'-4"x4'-4"	LIVING RM	UNKNOWN	WOOD	SINGLE HUNG											
(E)	EXISTING	5'-0"x4'-4"	LIVING RM	UNKNOWN	WOOD	FIXED											
(F)	EXISTING	2'-6"x2'-0"	LIVING RM	UNKNOWN	WOOD	CASEMENT											
(G)	EXISTING	2'-6"x4'-4"	BEDROOM #1	UNKNOWN	WOOD	SINGLE HUNG											
(H)	EXISTING	1'-3"x2'-0"	BEDROOM #1 CLOSET	UNKNOWN	WOOD	CASEMENT											
(I)	EXISTING	2'-6"x4'-4"	BEDROOM #2	UNKNOWN	WOOD	SINGLE HUNG											
(J)	NEW	2'-0"x3'-0"	BATH #1	*T.B.D.	WOOD*	SINGLE HUNG		YES									
(K)	NEW	3'-0"x3'-0"	M. BATH	*T.B.D.	WOOD*	SINGLE HUNG		YES									
(L)	NEW	5'-0"x4'-0"	M. BEDROOM	*T.B.D.	WOOD*	SLIDER	YES										
(M)	NEW	3'-0"x5'-0"	FAMILY RM	*T.B.D.	WOOD*	SINGLE HUNG											

* ANDERSON 400 SERIES - REAL WOOD CLAD TO VINYL

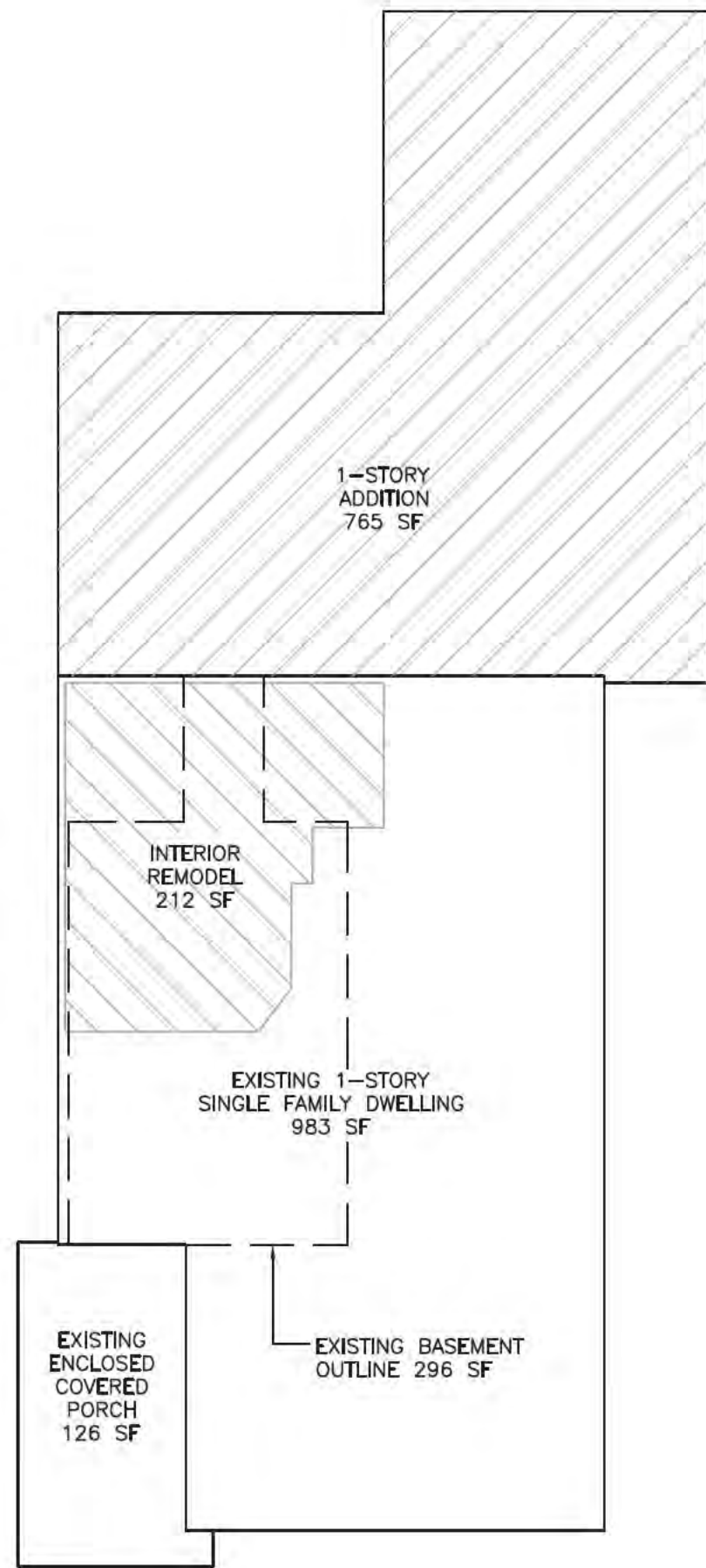


7 TRAY CEILING DETAIL

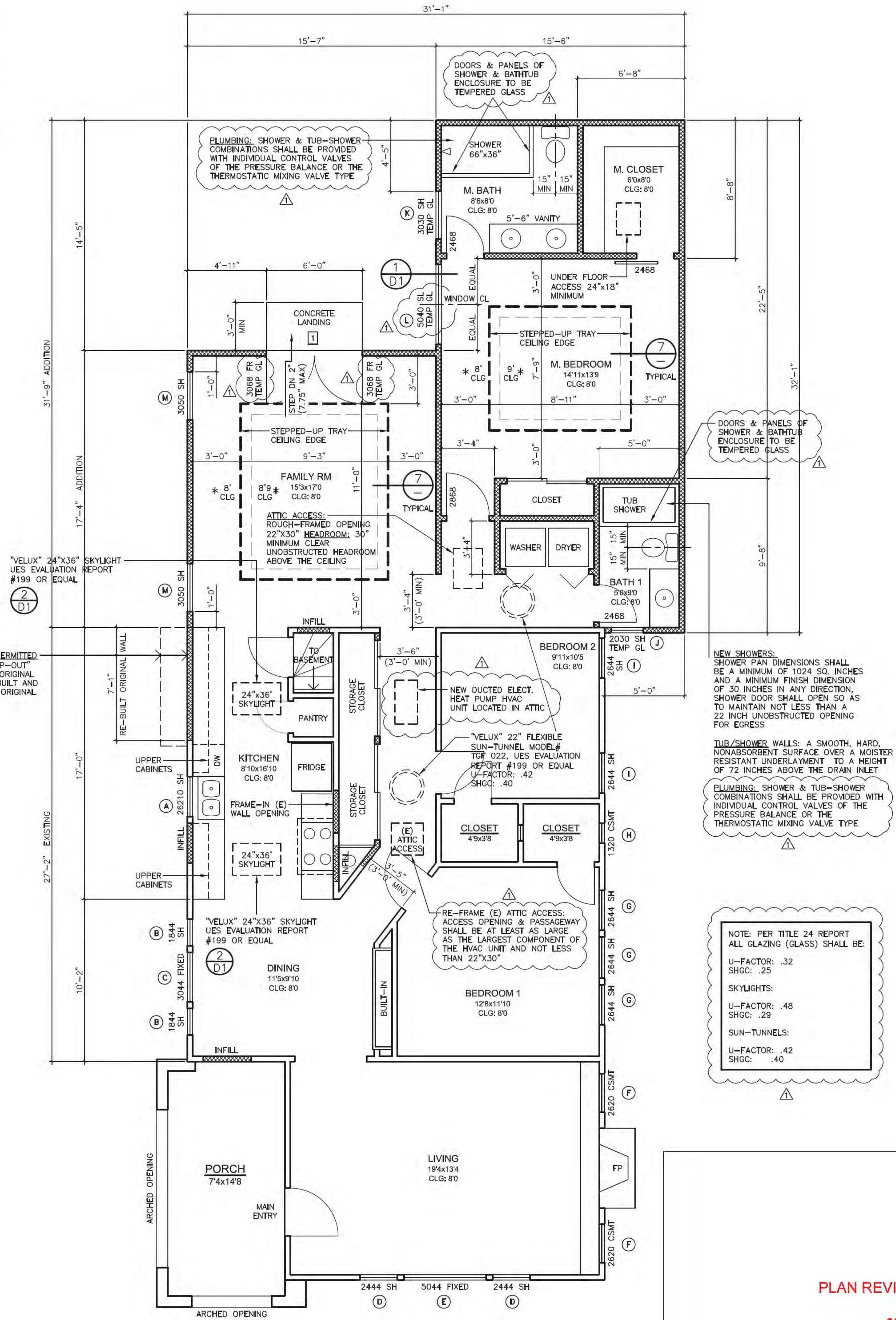
LEGEND			
	NEW 2x4 WALLS	O.H.	OVERHANG
	EXISTING 2x4 WALL	DR	DOOR
	NEW 2x6 WALLS	DIR	DIRECTION
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	WALLS TO BE REMOVED	A.F.F.	ABOVE FINISHED FLOOR
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(E)	EXISTING	V.I.F.	VERIFY IN FIELD
(N)	NEW	XXXX FR	GLASS paneled DOOR
TEMP GL	TEMPERED GLASS	2630	WINDOW/DOOR
C.L.	CENTERLINE		
	S.M.O. SMOKE DETECTOR		
	(C) CARBON MONOXIDE DETECTOR		

RODENT PROTECTION PER CGBCS SECTION 4.406.1
ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR ACCEPTABLE METHODS. CGBCS SECTION 4.406.1

OUTLINE OF UN-PERMITTED CANTILEVERED "POP-OUT" TO BE REMOVED. ORIGINAL WALL TO BE RE-BUILT AND RESTORED TO ITS ORIGINAL LOCATION



PROPOSED FLOOR PLAN KEY
SCALE: 1/8" = 1'-0"



PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

NOTE: PER TITLE 24 REPORT ALL GLAZING (GLASS) SHALL BE:
U-FACTOR: .32
SHGC: .25
SKYLIGHTS:
U-FACTOR: .48
SHGC: .29
SUN-TUNNELS:
U-FACTOR: .42
SHGC: .40

NEW SHOWERS:
SHOWER PAN DIMENSIONS SHALL BE A MINIMUM OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30 INCHES IN ANY DIRECTION. SHOWER DOOR SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22 INCH UNOBSTRUCTED OPENING FOR EGRESS
TUB/SHOWER WALLS: A SMOOTH, HARD, NONABSORBENT SURFACE OVER A MOISTURE RESISTANT UNDERLAYMENT TO A HEIGHT OF 72 INCHES ABOVE THE DRAIN INLET
PLUMBING: SHOWER & TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE

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TOWN OF LOS GATOS
BUILDING DIVISION

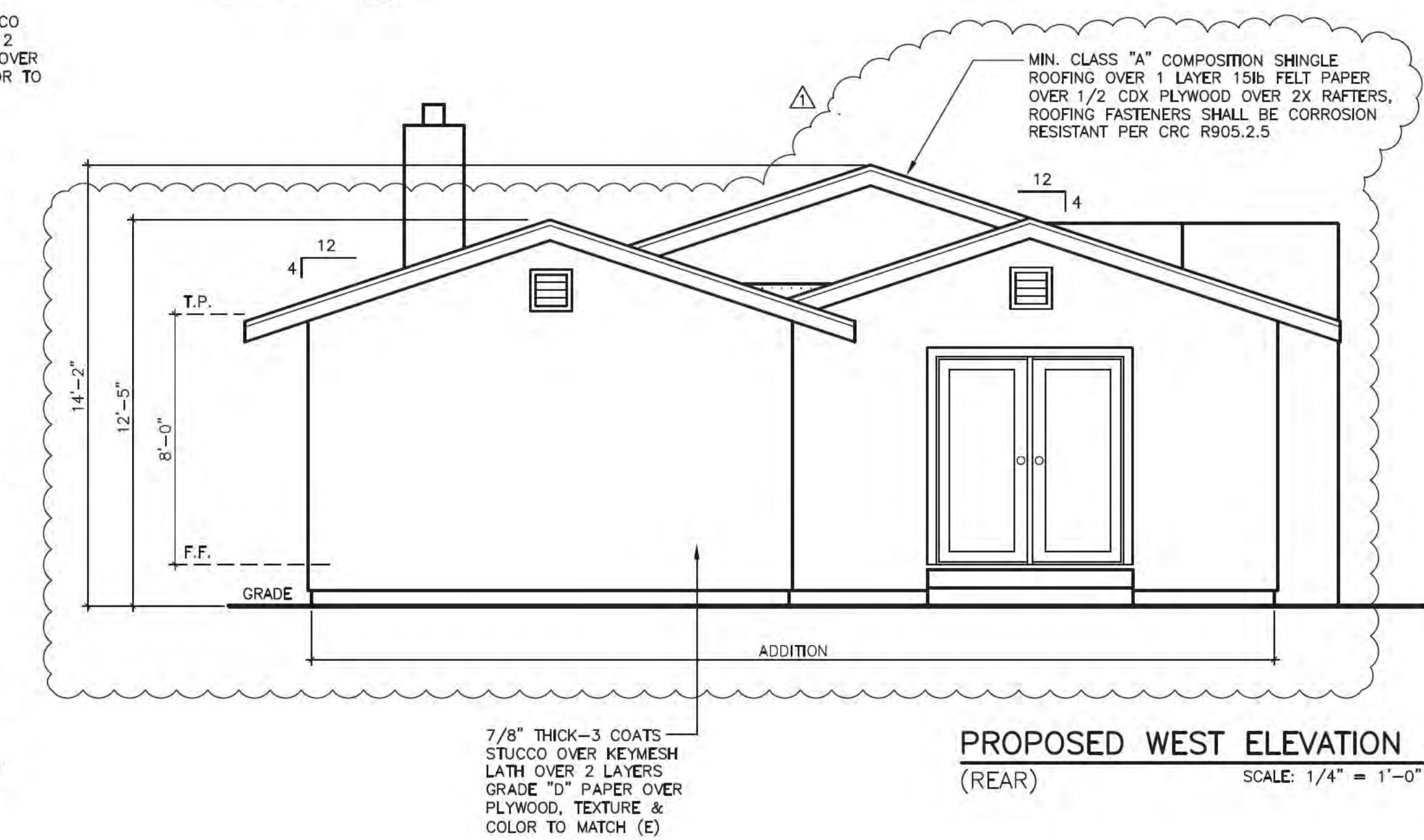
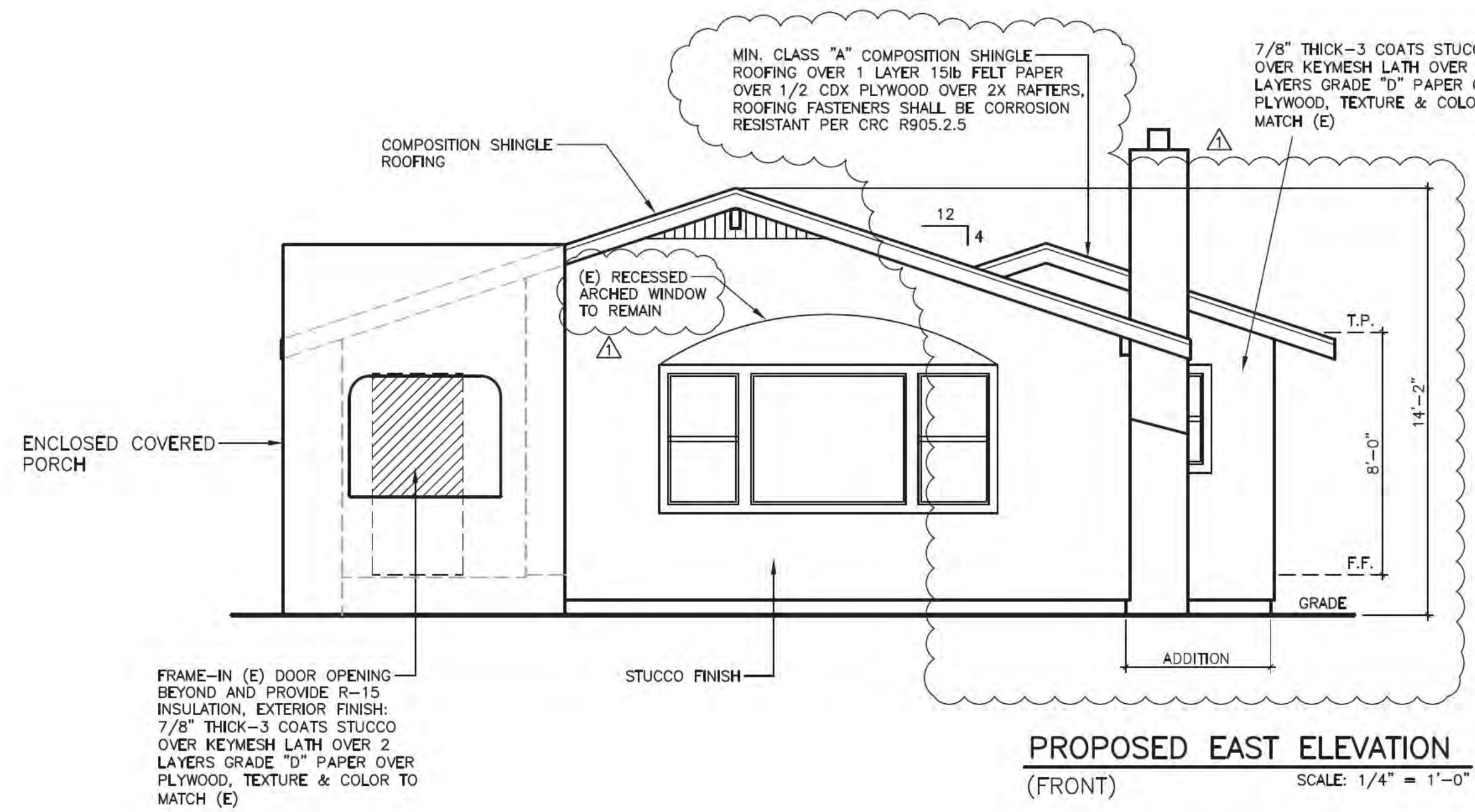
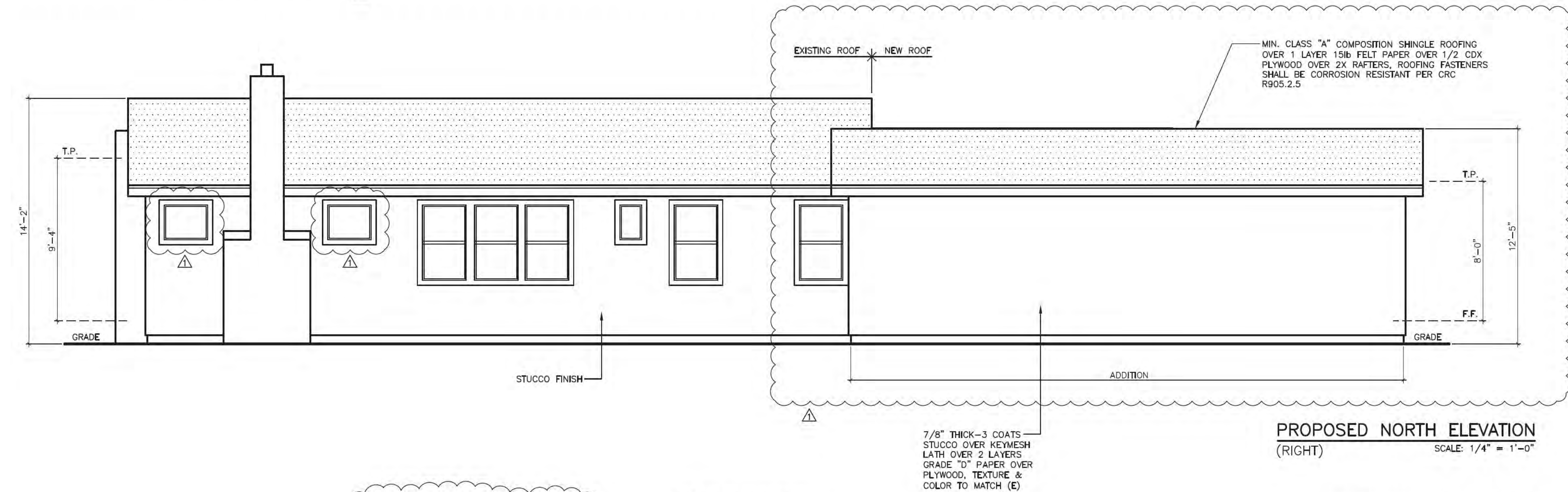
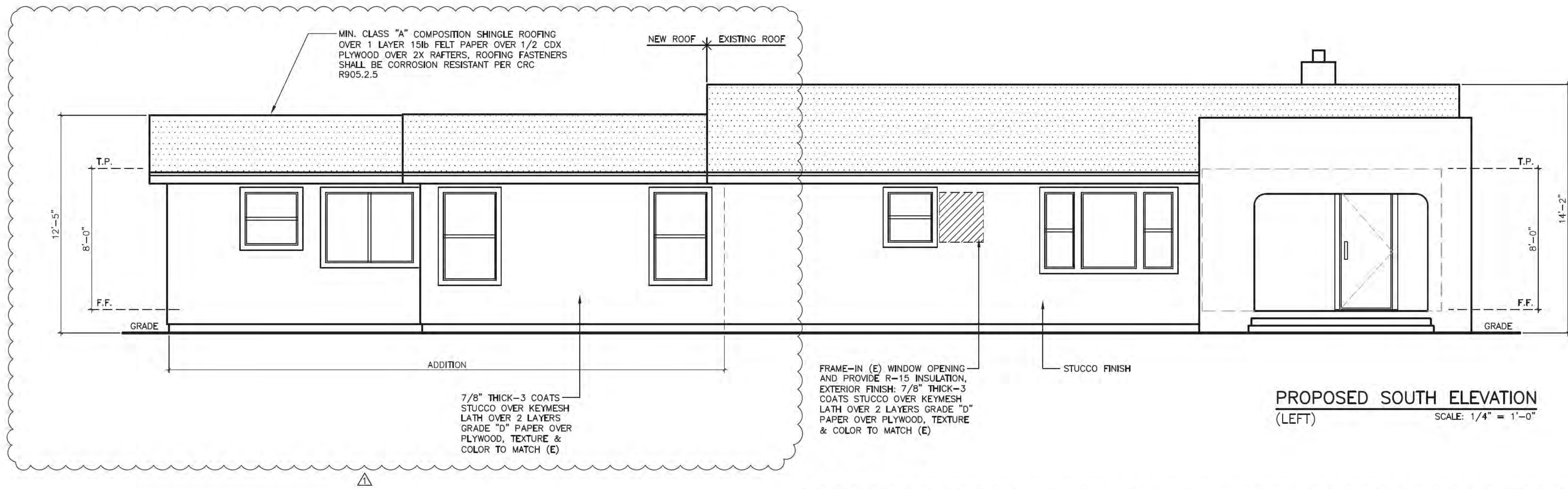
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ADDITION & INTERIOR REMODEL

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SCALE: AS SHOWN
DRAWN: NBH
05.20.2022 PHUNG
1 OF 2 SHEETS



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A8	
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June 5, 2025

Historic Preservation Committee

Town of Los Gatos

110 E. Main Street

Los Gatos, CA 95030

Subject: Request for Review and Approval – Second Story Addition at 245 Los Gatos Boulevard

Dear Members of the Historic Preservation Committee,

I am writing to formally request review and approval for a proposed second-story addition to the residence located at 245 Los Gatos Boulevard. This property is listed as a contributing structure in the Los Gatos Historic Resources Inventory; however, according to the historical assessment prepared by Anne Bloomfield, the portion of the home where the addition is planned is not deemed historically significant.

The proposed addition is situated at the rear of the home, away from the primary historical facade, and has been carefully designed to be consistent with and complementary to the presumed original architectural style of the home—a Spanish-style bungalow. Our intent is to preserve and enhance the home's historic character while making thoughtful improvements that support the long-term livability of the property.

We understand and respect the importance of maintaining the architectural integrity of the neighborhood and are committed to ensuring that all additions are in harmony with the historic context of the area. The design incorporates stylistic features in keeping with the home's original period and scale, while maintaining a clear visual distinction between the original structure and the new work, in accordance with historic preservation best practices.

Please find attached the historical research documentation by Anne Bloomfield and preliminary drawings of the proposed addition for your consideration. We welcome any guidance or recommendations the Committee may have to ensure the project aligns with preservation goals.

Sincerely,



Neil Ginty

Founder & Principal Architect

M.A., B.Arch, NCARB, Registered Architect

ATTACHMENT 4

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Existing Residence Photographs



Front (East)

Existing Residence Photographs



Side (South)

Existing Residence Photographs



Rear

Existing Residence Photographs



Side (North side looking towards east)

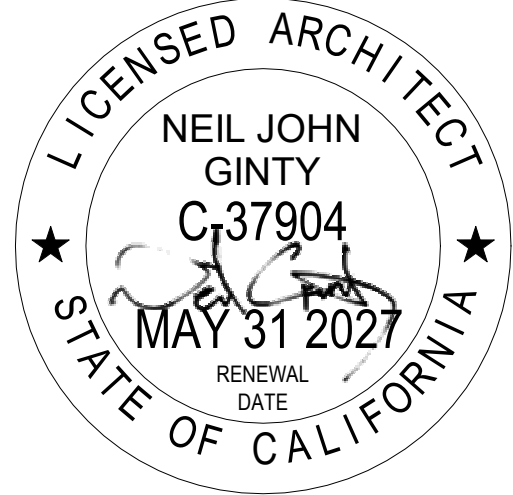
Existing Residence Photographs



Side (North side looking towards east)

SYMBOLS		ABBREVIATIONS				VICINITY MAP	PROJECT DATA	DRAWING INDEX
<div><div>ROOM NAME</div><div>ROOM NAME & NUMBER</div><div><div><div>999</div><div>WINDOW NUMBER</div></div><div><div>ROOM NUMBER</div><div>DOOR NUMBER (SEQUENTIAL)</div></div><div><div>101</div><div>DOOR NUMBER</div></div><div><div><div>Name</div><div>Elevation</div></div><div>ELEV. HT. REFERENCE</div></div><div><div><div><div>PROJECT NORTH</div><div>TRUE NORTH</div></div><div>NORTH ARROW</div></div><div><div><div>XX-00</div><div>MATERIAL TAG</div></div><div>REVISION</div></div><div><div><div><div>1</div><div>A101</div><div>A</div></div><div>INTERIOR ELEVATION</div></div><div><div><div><div>1</div><div>A101</div></div><div>DETAIL REFERENCE</div></div><div><div><div><div>1</div><div>A1.01</div></div><div>ELEVATION REFERENCE</div></div><div><div><div><div>1</div><div>A1.01</div></div><div>SECTION REFERENCE</div></div><div><div><div>88</div><div>ASSEMBLY TYPE REFERENCE</div></div><div><div><div><div>1</div><div>A101</div></div><div>DETAIL CALLOUT</div></div></div></div></div></div></div></div></div></div></div>		& @ A.B. A.C. ACOUST. A.C.T. A.D. A.F.F. ALUM. ARCH. BLKG. B.P. B.O. CAB. CATV C.C. C.I.P. C.J. C.L. CLG. CLR. C.O. CONC. DEMO. DEPT. DIA. DIM. D.W. DWG(S). (E) EA. E.B. ELEC. ELEV. E.O.S. EQ. F.A.U. F.C.U. F.D. F.F. FIN. FLR. FT. FTG. G. GA. G.C. GFCI G.L. G.W.B. GYP. H.B. H.D. HT. HTG. HVAC H.W. IN. LAV. LBS. L.F. L.V.T. AND AT ANCHOR BOLT AIR CONDITIONING ACOUSTICAL ACOUSTICAL CEILING TILE AREA DRAIN ABOVE FINISHED FLOOR ALUMINUM ARCHITECT OR ARCHITECTURAL BLOCKING BUILDING PAPER BOTTOM OF CABINET CABLE TELEVISION CENTER TO CENTER CAST-IN-PLACE CONTROL JOINT CENTER LINE CEILING CLEAR CLEAN OUT CONCRETE DEMOLITION OR DEMOLISH DEPARTMENT DIAMETER DIMENSION DISHWASHER DRAWING(S) EXISTING EACH EXPANSION BOLT ELECTRICAL ELEVATION EDGE OF SLAB EQUAL FORCED AIR UNIT FAN COIL UNIT FLOOR DRAIN FINISH FLOOR FINISH OR FINISHED FOOT / FEET FOOTING GAS GAUGE GENERAL CONTRATOR GROUND FAULT CIRCUIT INTERRUPTER GRIDLINE GYPSUM WALL BOARD GYPSUM HOSE BIB HOLD DOWN HEIGHT HEATING HEATING, VENTILATION & AIR CONDITIONING HOT WATER INCH(ES) LAVATORY POUNDS LINEAR FOOT LUXURY VINYL TILE MACH. MANUF. MAX. M.B. MDF M.E.P. MEMB. MIN. MIR. MISC. MTL. MW. (N) N/A O/ O.C. PLYWD. PLUMB. P.S.F. P.S.I. P.T. P.V.C. R.C.P. REQ'D RET. REV. S.C. SIM. SPEC. SQ. S.T.C. STD. STL. TB. T.B.D. T & G THR. T.O. T.O.B. T.O.P. T.O.S. T.O.STL. T.V. TYP. V.B. VERT. V.I.F. W/ W.C. WD. W/D W/H. W/O WP. WT. YD. MACHINE MANUFACTURER MAXIMUM MACHINE BOLT MEDIUM DENSITY FIBERBOARD MECHANICAL/ELECTRICAL/PLUMBING MEMBRANE MINIMUM MIRROR MISCELLANEOUS METAL MICROWAVE NEW NOT APPLICABLE OVER ON CENTER PLYWOOD PLUMBING POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PRESSURE TREATED POLY VINYL CHLORIDE PIPE REFLECTED CEILING PLAN REQUIRED RETAIN / RETAINING REVISION SOLID CORE SIMILAR SPECIFICATION (S) SQUARE SOUND TRANSMISSION COEFFICIENT STANDARD(S) STEEL TOWEL BAR TO BE DETERMINED TONGUE AND GROOVE THRESHOLD TOP OF TOP OF BEAM TOP OF PAVING TOP OF SLAB TOP OF STEEL TELEVISION TYPICAL VAPOR BARRIER VERTICAL VERIFY IN FIELD WITH WATER CLOSET WOOD WASHER/DRYER WATER HEATER WITHOUT WATERPROOF / WEATHERPROOF WEIGHT YARD					<div><div>SITE INFORMATION</div><div>ADDRESS:245 LOS GATOS BLVD, LOS GATOS, CA 95030</div><div>APN:529 24 024</div><div>CLIMATE ZONE:3</div><div>SEISMIC DESIGN CATEGORY:(D0, D1, D2)</div><div>SCOPE OF WORK:</div><div>1ST FLOOR REMODEL OF EXISTING SINGLE FAMILY DWELLING INCLUDING BATHROOM, KITCHEN, AND ASSOCIATE PLUMBING AND ELECTRICAL WORKS.</div><div>2ND FLOOR ADDITION TO EXISTING SINGLE FAMILY DWELLING INCLUDING TWO NEW BATHS AND TWO BEDROOMS WITH A LAUNDRY CLOSET.</div><div>ZONING DATA</div><div>YEAR BUILT:1924</div><div>ASSESSOR'S PARCEL NUMBER (BLOCK/LOT):24</div><div>PLANNING DISTRICT:</div><div>NEIGHBORHOOD (PLANNING):</div><div>ZONE:R1-D</div><div>HEIGHT & BULK:</div><div>BUILDING DATA</div><div>OCCUPANCY:</div><div>CONSTRUCTION TYPE:R-3 (SINGLE FAMILY DWELLING)</div><div>V-B</div><div>FIRE SPRINKLERS:NO</div><div>(E) SQ. FT.:1,748 SF</div><div>PROPOSED SQ. FT.:2,308 SF</div><div>PARCEL AREA CALCULATIONS</div><div>PARCEL AREA:7,000 SQ.FT. (0.16 ACRES)</div><div>GROSS FLOOR AREA: FIRST FLOOR SECOND FLOOR TOTAL FLOOR AREA</div><div>1,748 SF 560 SF 2,308 SF</div><div>ALLOWABLE F.A.R. PROPOSED F.A.R.</div><div>.35 - (7,000-5/25 X.20) = .33 .33 X 7,000 = 2,310</div><div>MAX ROOF HEIGHT PROPOSED HEIGHT</div><div>30'-0" 24'-1"</div><div>APPLICABLE CODES:</div><div>2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA FIRE CODE NATIONAL FIRE PROTECTION ASSOCIATION (BOOKLET 101) CALIFORNIA ENERGY COMMISSION TITLE 24 2022 CALIFORNIA GREEN BUILDINGS STANDARDS CODE ALL OTHER APPLICABLE CITY AND COUNTY LAWS AND ORDINANCES</div></div>	<div><div>GENERAL</div><div>A0.01PROJECT DATA_RESIDENTIAL</div><div>ARCHITECTURAL</div><div>A1.02PROPOSED SITE PLAN</div><div>A2.01DEMOLITION & PROPOSED PLANS</div><div>A3.00EXISTING / DEMOLITION EXTERIOR ELEVATIONS</div></div>

CONSTRUCTION STANDARDS	STANDARDS AND CODES	EXISTING PHOTOGRAPH
<div><div>1. CONTRACTOR TO ENSURE THAT SURFACE TO RECEIVE FINISHES ARE CLEAN, TRUE AND FREE OF IRREGULARITIES. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. COMMENCEMENT OF WORK SHALL INDICATE INSTALLER'S ACCEPTANCE OF SUBSTRATE.</div><div>2. CONTRACTOR TO REPAIR AND PREPARE EXISTING SURFACES SCHEDULED TO REMAIN AS NECESSARY FOR APPLICATION OF NEW FINISHES.</div><div>3. CONTRACTOR SHALL PATCH SURFACES TO MATCH ADJACENT IN A MANNER SUITABLE TO RECEIVE FINISHES.</div><div>4. GYPSUM BOARD CONSTRUCTION SHALL ALIGN WITH EXISTING, ADJACENT, OR ADJOINING SURFACES. JOINTS SHALL BE TAPED AND SANDED SMOOTH WITH NO VISIBLE JOINTS, UNLESS OTHERWISE NOTED.</div><div>5. CONTRACTOR TO INSURE DELIVERY AND INSTALLATION OF CASEWORK AND FINISH CARPENTRY WILL NOT BE DAMAGED BY OTHER CONSTRUCTION WORK.</div><div>6. ALL CODE-REQUIRED LABELS SUCH AS "UL", FACTORY MUTUAL OR ANY EQUIPMENT IDENTIFICATION, PERFORMANCE RATING, NAME OR NOMENCLATURE PLATES SHALL REMAIN READABLE AND NOT PAINTED. COORDINATE WITH OWNER FOR DELIVERY AND PLACEMENT OF ALL FURNITURE AND WALL-HUNG EQUIPMENT.</div><div>8. REFER TO FINISH SCHEDULE FOR SPECIFIED FINISHES.</div><div>9. REFER TO INTERIOR ELEVATIONS FOR MOUNTING HEIGHT REQUIREMENTS. FOR BUILT-IN WORK SURROUNDED BY PARTITIONS, INCLUDING BUT NOT LIMITED TO APPLIANCES AND MILLWORK, CONTRACTOR SHALL CONFIRM THAT FINISHED FLOOR, WALL AND/OR SOFFIT SURFACES DO NOT VARY BY MORE THAN 1/4" IN 20'-0" (NON-CUMULATIVE). NOTIFY ARCHITECT IF THIS TOLERANCE IS EXCEEDED.</div><div>10. CONTRACTOR SHALL, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, APPLY, INSTALL, CONNECT, ERECT, CLEAN, AND/OR CONDITION MANUFACTURED ARTICLES, MATERIALS AND/OR EQUIPMENT.</div><div>11. UNLESS OTHERWISE NOTED, IT IS THE INTENTION OF THE DRAWINGS AND SPECIFICATIONS FOR ALL WORK, EQUIPMENT, CASEWORK, MECHANICAL, ELECTRICAL AND SIMILAR DEVICES OF WHATEVER NATURE, BE COMPLETELY INSTALLED, CONNECTED, MADE OPERATIONAL AND FUNCTIONAL FOR THE PURPOSE INTENDED, AND THAT ALL COSTS FOR THIS BE INCLUDED IN THE CONTRACTOR'S PROPOSAL.</div><div>12. COORDINATE LOCATION AND PROVIDE BLOCKING, BACKING, AND/OR REINFORCEMENTS IN PARTITIONS FOR ALL CABINETS, COUNTERTOPS AND ANY WALL-MOUNTED ITEMS. REFER TO ELEVATIONS AND DETAILS FOR LOCATIONS OF WALL STANDARDS AND OTHER SUPPORTS.</div><div>13. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY FRAMING, BRACING, AND STRUCTURING ALL WALL, BULKHEAD, AND OTHER DRYWALL CONSTRUCTION IN ACCORDANCE WITH APPLICABLE TYPICAL DETAILS CONTAINED IN THE DRAWINGS WHETHER OR NOT SPECIFICALLY REFERENCED IN THE PLANS OR DETAILS. PROVIDE BLOCKING / BACKING AND REINFORCEMENT ABOVE AS REQUIRED FOR SUPPORT OF LIGHT FIXTURES, EQUIPMENT, OR ANY OTHER CEILING-MOUNTED ITEMS.</div><div>14. REPAIR AND PATCH ANY/ALL PENETRATIONS THROUGH RATED ASSEMBLIES TO MAINTAIN REQUIRED RATINGS.</div><div>15. UNLESS OTHERWISE NOTED IN DRAWINGS, FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS, INSTALLATION INSTRUCTIONS, AND BEST PRACTICES FOR INSTALLING EQUIPMENT, FURNISHINGS, FITTINGS, ETC. BRING CONFLICTS BETWEEN DRAWINGS AND MANUFACTURER'S RECOMMENDATIONS TO THE ATTENTION OF THE ARCHITECT.</div></div>	<div><div>1. REFER TO TITLE SHEET FOR APPLICABLE CODES</div><div>2. GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, CODES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK. IF THE CONTRACTOR OBSERVES THAT THE DRAWINGS AND SPECIFICATIONS ARE AT VARIANCE THEREWITH, PROMPTLY NOTIFY THE PROJECT MANAGER AND/OR ARCHITECT. NECESSARY CHANGES SHALL BE MADE IN ACCORDANCE WITH THE GENERAL CONDITIONS.</div><div>3. IF CONTRACTOR KNOWINGLY PERFORMS ANY WORK WHICH IS CONTRARY TO SUCH LAWS, ORDINANCES, CODES, RULES AND REGULATIONS, HE/SHE SHALL PROMPTLY MAKE ALL CHANGES AS REQUIRED TO COMPLY THEREWITH AND BEAR ALL COSTS ARISING THEREFROM.</div><div>4. CONTRACTOR TO INSURE DELIVERY AND INSTALLATION OF CASEWORK AND FINISH CARPENTRY WILL NOT BE DAMAGED BY OTHER CONSTRUCTION WORK.</div><div>5. WHERE CODES OR REGULATIONS, OTHER THAN THOSE LISTED IN THIS SECTION, ARE REFERRED TO IN VARIOUS SECTIONS OF THE SPECIFICATIONS, IT SHALL BE UNDERSTOOD THAT THEY APPLY TO THIS WORK AS FULLY AS IF CITED HEREIN.</div><div>6. ALL COMBUSTIBLE MATERIALS SHALL MEET APPLICABLE CODES. WOOD SHALL BE FIRE RETARDANT TREATED WHERE REQUIRED BY LOCAL BUILDING CODES AND BUILDING OWNER'S REQUIREMENTS.</div><div>7. FOR MAXIMUM FLOW RATES FOR PLUMBING FIXTURES, REFER TO STANDARDS FOR PLUMBING FIXTURES AND FITTINGS OF 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE SEE SHEET CG-1.</div></div> <div><div>GENERAL NOTES</div><div>1. CONTRACTOR IS HEREBY SPECIFICALLY DIRECTED AS A CONDITION OF THE CONTRACT TO ACQUAINT HIMSELF/HERSELF WITH THE ARTICLES CONTAINED IN THE GENERAL NOTES AND TO NOTIFY AND APPRISE ALL SUBCONTRACTORS AND ALL OTHER PARTIES OF THE CONTRACT OF, AND BIND THEM TO, ITS CONDITIONS.</div><div>2. DRAWINGS OF BASE BUILDING CONDITIONS ARE GENERATED FROM AS-BUILT DRAWINGS AND LIMITED FIELD OBSERVATION BY THE ARCHITECT. ACTUAL CONDITIONS MAY DIFFER FROM THOSE SHOWN.</div><div>3. CONTRACTOR SHALL FILE, OBTAIN AND PAY FEES FOR BUILDING DEPARTMENT AND ALL OTHER AGENCY APPROVALS AND PERMITS, CONTROLLED INSPECTIONS, AND FINAL SIGN-OFFS FOR PROJECT COMPLETION. COPIES OF TRANSACTIONS SHALL BE FORWARDED TO THE OWNER PRIOR TO COMMENCING WORK.</div><div>4. CONTRACTOR SHALL VERIFY THAT DRAWINGS ARE THE LATEST ISSUANCE PRIOR TO BEGINNING OF CONSTRUCTION.</div><div>5. CONTRACTOR SHALL COORDINATE AND SCHEDULE WORK BY OUTSIDE VENDORS INCLUDING, BUT NOT LIMITED TO, TELEPHONE, DATA AND "OWNER'S FORCES". CONTRACTOR SHALL COORDINATE EXACT LOCATIONS AND SHALL DO THE CUTTING, FITTING AND PATCHING REQUIRED TO RECEIVE THE WORK OF OTHERS AS SHOWN OR REASONABLY IMPLIED BY THE DRAWINGS AND SPECIFICATIONS.</div><div>6. ALL IDENTIFIED SCOPE OF WORK SHALL BE PROVIDED NEW, UNLESS OTHERWISE NOTED.</div><div>7. WORK NOT SPECIFICALLY DETAILED, NOTED OR SPECIFIED, SHALL BE THE SAME AS SIMILAR PARTS THAT ARE DETAILED, NOTED OR SPECIFIED.</div><div>8. IN THE EVENT OF INCONSISTENCIES AMONG THE CONTRACT DOCUMENTS, THE ARCHITECT SHALL INTERPRET THEM WHEN ASKED TO DO SO BY THE OWNER OR CONTRACTOR. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE RESULTS OF SUCH INTERPRETATIONS MADE BY OTHERS.</div><div>9. THE GENERAL CHARACTER OF DETAIL WORK IS SHOWN ON THE CONTRACT DOCUMENTS. SUBSEQUENT CLARIFICATIONS MAY BE MADE BY ADDITIONAL LAYOUTS OR LARGE SCALE OR FULL SIZE DETAILS.</div><div>10. VERIFY ALL EQUIPMENT SIZES BEFORE BEGINNING WORK</div><div>11. "TYPICAL" OR "TYP." SHALL MEAN THAT THE CONDITION IS REPRESENTATIVE FOR SIMILAR CONDITIONS THROUGHOUT, UNLESS OTHERWISE NOTED. DETAILS OR DIMENSIONS ARE USUALLY KEYED, AND NOTED "TYP" ONLY WHEN THEY FIRST OCCUR.</div><div>12. "SIMILAR" OR "SIM." MEANS COMPARABLE CHARACTERISTICS FOR THE CONDITIONS NOTED. VERIFY DIMENSIONS, ORIENTATION, AND CONDITIONS ON PLANS AND ELEVATIONS</div><div>13. ARCHITECT SHALL HAVE THE AUTHORITY TO REJECT ANY WORK THAT IS NOT IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS</div></div>	



Agency Approvals

Revision No.

Date

Job Title
245 LOS GATOS BLVD

Job Address
245 LOS GATOS BLVD, LOS GATOS, CA 95030

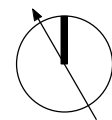
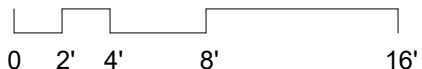
Date: 5/7/2025

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Project Status

Job Number: Project Number

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Sheet Title
PROJECT
DATA_RESIDENTIAL

Sheet No.

A0.01
ATTACHMENT 6

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrications. The drawings and their design content are the sole property of Dwelling Lab, Inc. and may not be reused or reproduced in any manner without our express written consent.



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Job Title 245 LOS GATOS BLVD

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245 LOS GATOS BLVD, LOS GATOS,
CA 95030

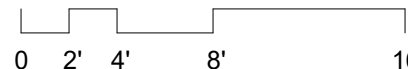
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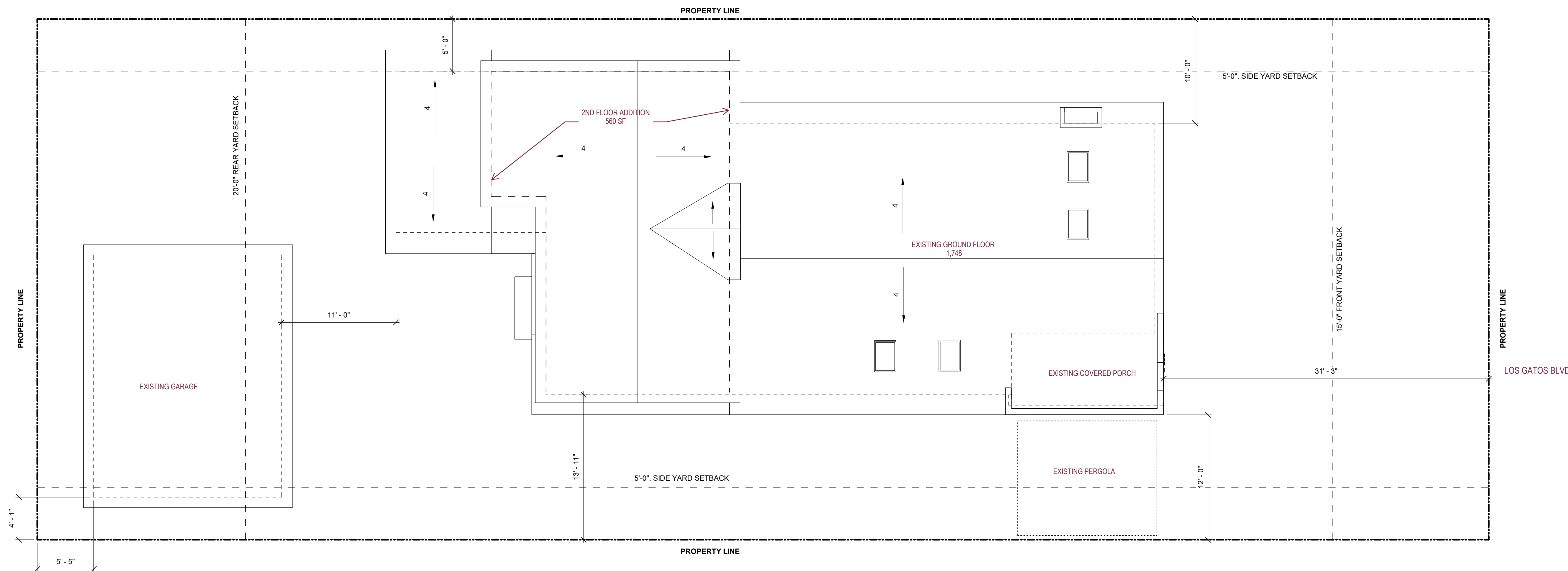
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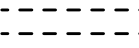
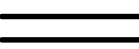
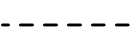
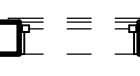
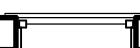






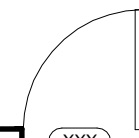
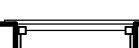
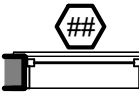
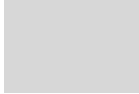


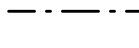



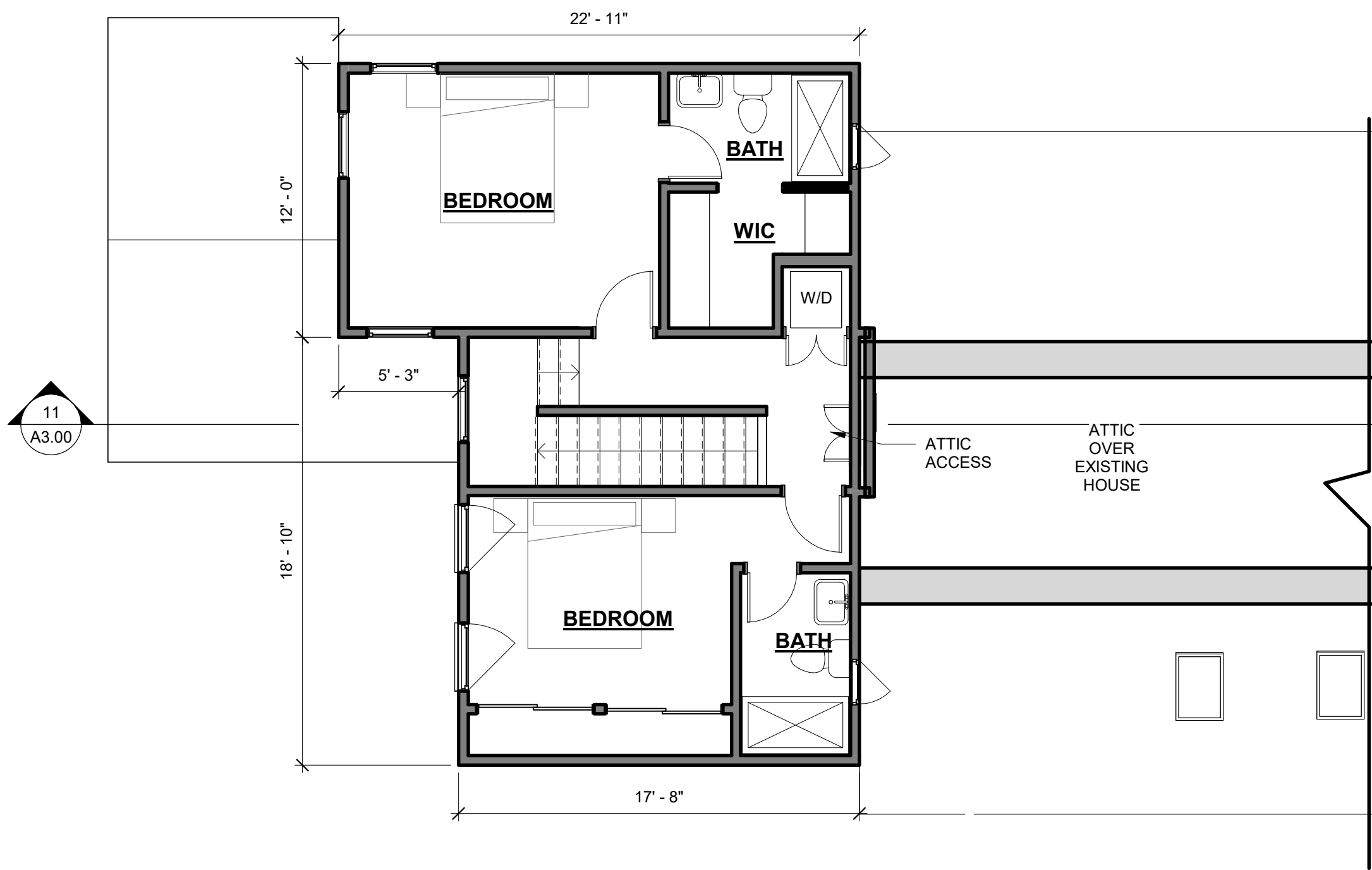
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PROPOSED SITE PLAN

Sheet No. **A1.02**



SITE PLAN_ (1)
3/16" = 1'-0"

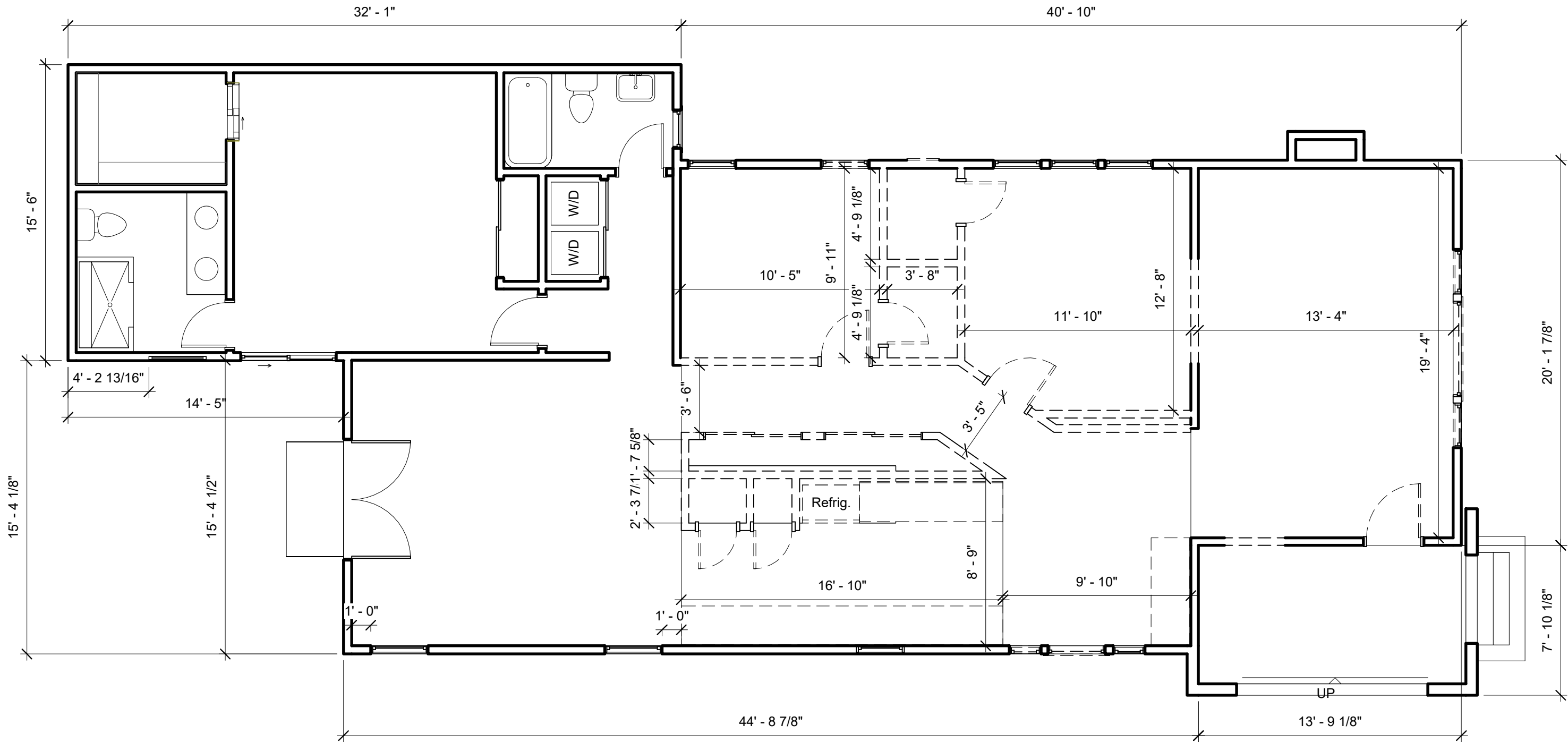
DEMOLITION NOTES	LEGEND - DEMOLITION	DIMENSION NOTES	PROPOSED PLAN GENERAL NOTES	LEGEND - NEW CONSTRUCTION
<div>1. GENERAL CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCOVERY OF UNFORSEEN CONDITIONS IN THE PROCESS OF DEMOLITION</div> <div>2. (E) STRUCTURAL BEARING ELEMENTS TO REMAIN U.O.N. GENERAL CONTRACTOR TO NOTIFY ARCHITECT IF ANY BEARING COLUMNS ARE FOUND IN PARTITIONS TO BE REMOVED THAT DO NOT APPEAR IN PLANS.</div> <div>3. DAMAGES WHICH OCCUR DURING DEMOLITION AND/OR CONSTRUCTION SHALL BE THE GENERAL CONTRACTOR'S RESPONSIBILITY AND EXPENSE TO RESTORE/REPAIR TO ORIGINAL CONDITION.</div> <div>4. IF ANY MATERIALS SUSPECTED OF CONTAINING ASBESTOS OR ANY OTHER HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB THE MATERIALS. IMMEDIATELY NOTIFY THE OWNER, OWNER'S REP/LANDLORD/TENANT/CLIENT AND ARCHITECT.</div>	<div> (E) AREA TO BE REMOVED</div> <div> (E) WALL TO BE REMOVED</div> <div> (E) WALL TO REMAIN</div> <div> (E) ITEM TO BE REMOVED</div> <div> (E) WINDOW TO BE REMOVED</div> <div> (E) WINDOW TO REMAIN</div> <div> (E) DOOR TO BE REMOVED</div> <div> (E) DOOR TO REMAIN</div>	<div>1. DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED : A) TO FACE OF FINISH B) TO CENTER OF DOORS AND OTHER OPENINGS C) TO TOP OF FINISHED FLOORS D) TO BOTTOM OF FINISH AT CEILINGS E) TO OUTSIDE FACE OF FINISHED MILLWORK F) TO FINISHED WINDOW FRAME. SEE WINDOW DETAILS.</div> <div>2. DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.</div> <div>3. DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CERAMIC TILE, VCT, ETC. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" OF GIVEN DIMENSION ALONG FULL HEIGHT/WIDTH/LENGTH OF SURFACES.</div> <div>4. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.</div> <div>5. ANY GRAPHICAL ERRORS, APPARENT OR ASSUMED, SHOULD BE CLARIFIED WITH AN RFI PRIOR TO CONSTRUCTION</div>	<div>1. REPLACEMENT OF GYPBOARD MUST BE 5/8" TYPE X WITH 5D COOLER NAILS AT 4 INCHES ON CENTER OR EQUIVALENT SCREWS FOR ALL INTERIOR NON-STRUCTURAL ALTERATIONS.</div> <div>2. REFER TO BUILDING CODE ANALYSIS FOR LOCATIONS OF FIRE RESISTANCE RATED WALLS.</div> <div>3. THERMAL INSULATION TO BE PROVIDED BETWEEN CONDITIONED AND NONCONDITIONED SPACES TYP. REFER TO ASSEMBLY TYPES.</div> <div>4. ACOUSTIC INSULATION TO BE PROVIDED IN ALL WALLS SURROUNDING BATHROOM AND LAUNDRY AREAS (INCLUDES MUDROOM AND BASEMENT STORAGE). REFER TO ASSEMBLY TYPES.</div> <div>5. PROVIDE (N) LEVELING SUBSTRATE α EXISTING/NEW SUBFLOOR ASSEMBLY THROUGHOUT AS REQUIRED TO ACHIEVE SMOOTH CONTIGUOUS, LEVEL (N) FINISH FLOORING; TYP.</div> <div>6. ALL GUARDRAIL & HANDRAIL CONSTRUCTION SHALL WITHSTAND A 200 LB. CONCENTRATED LOAD AND 50 LB./FT. UNIFORM LOAD APPLIED Laterally and Vertically AT THE HIGHEST POINT OF THE RAIL--WHICHEVER IS GREATER. (TYP. ALL GUARDRAILS) AS SPECIFIED IN CBC SECTION 1607.8., S.S.D.</div>	<div> ABOVE OR BELOW</div> <div> (E) WALL TO REMAIN</div> <div> (N) WALL</div> <div> 1 HR. FIRE RESISTANCE RATED WALL</div> <div> (N) DOOR</div> <div> (E) WINDOW TO REMAIN</div> <div> (N) WINDOW</div> <div> [N.I.C.] NOT IN CONTRACT</div> <div> (N) BEARING WALL</div> <div> (N) BRACE WALL PANEL</div> <div> (N) FOOTING</div> <div> HEADER OR BEAM</div>



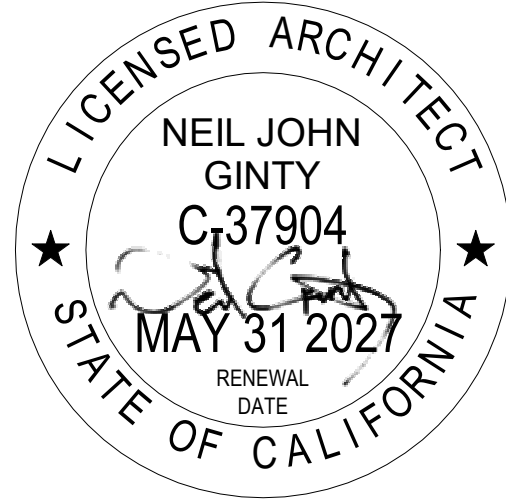
FLOOR PLAN - SECOND FLOOR
3/16" = 1'-0"



FLOOR PLAN - FIRST FLOOR
3/16" = 1'-0"



DEMOLITION FLOOR PLAN - FIRST FLOOR
3/16" = 1'-0"



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Revision No. Date

Job Title
245 LOS GATOS BLVD

Job Address
245 LOS GATOS BLVD, LOS GATOS, CA 95030

Date: 5/7/2025

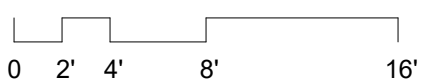
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Job Number: Project Number

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Sheet Title
DEMOLITION & PROPOSED PLANS

Sheet No.

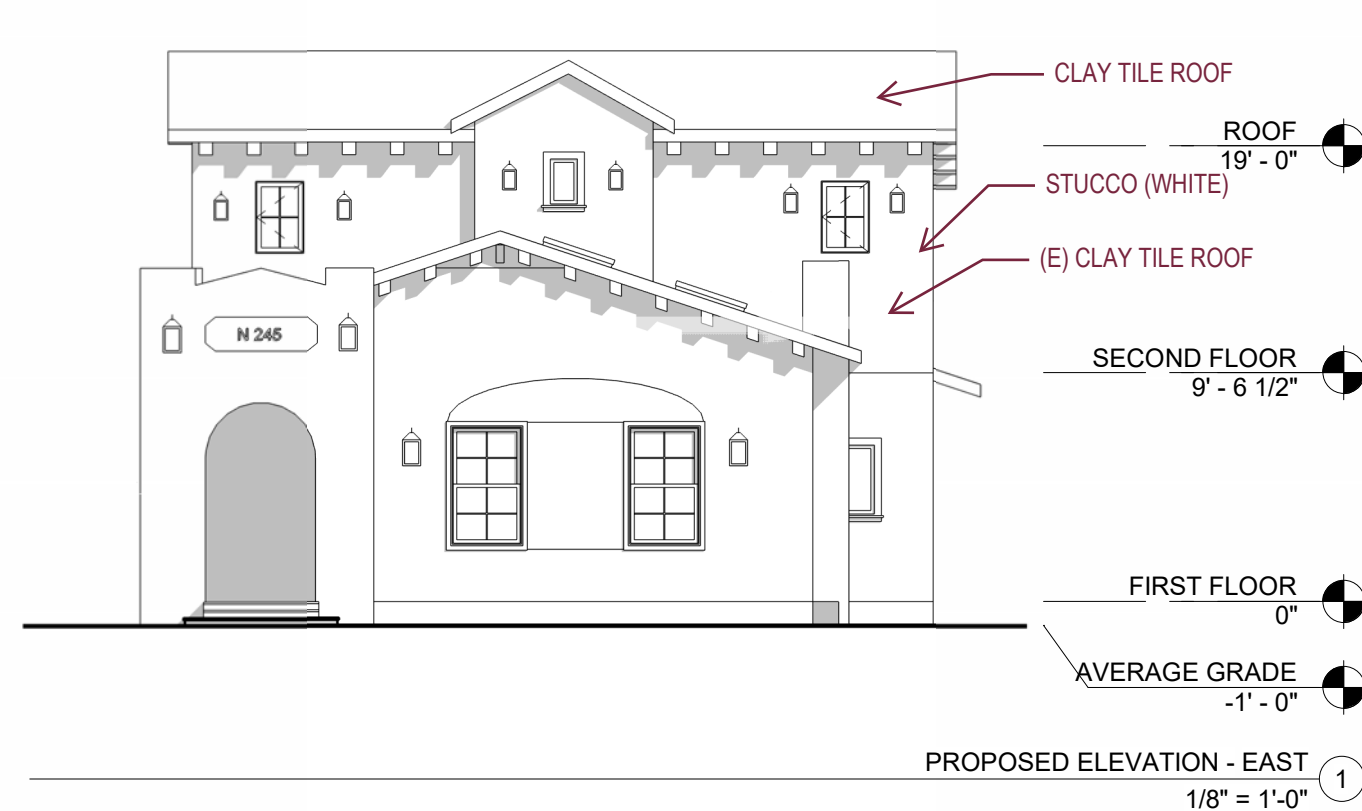
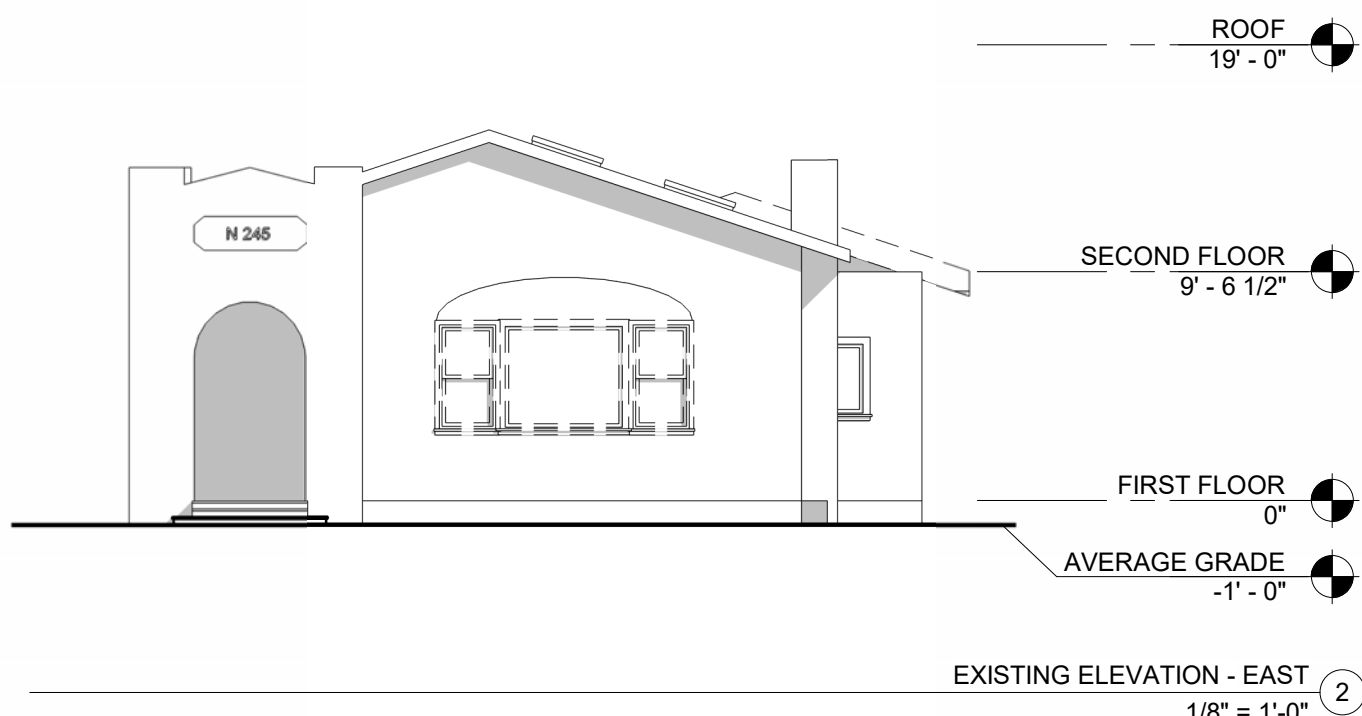
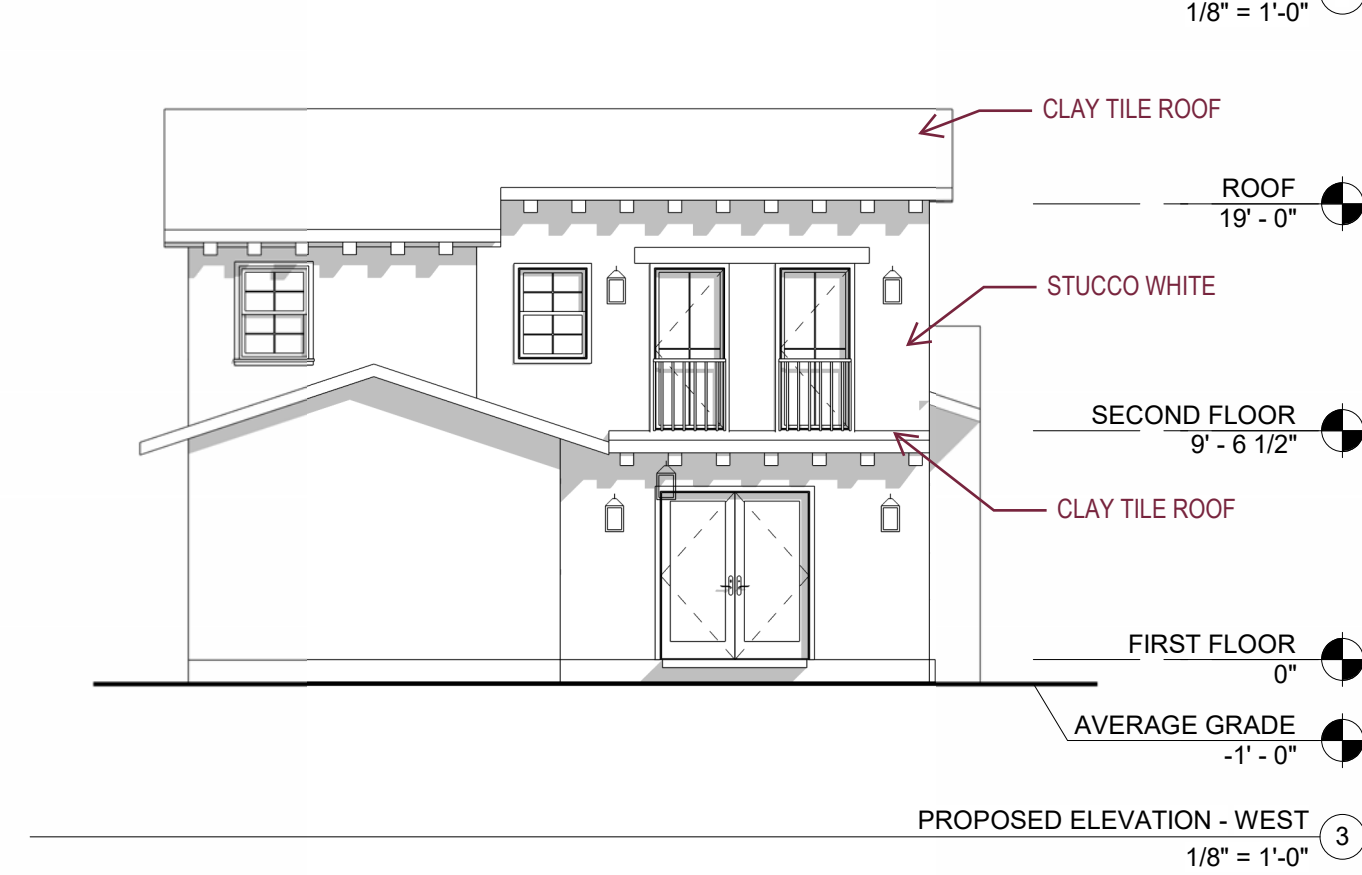
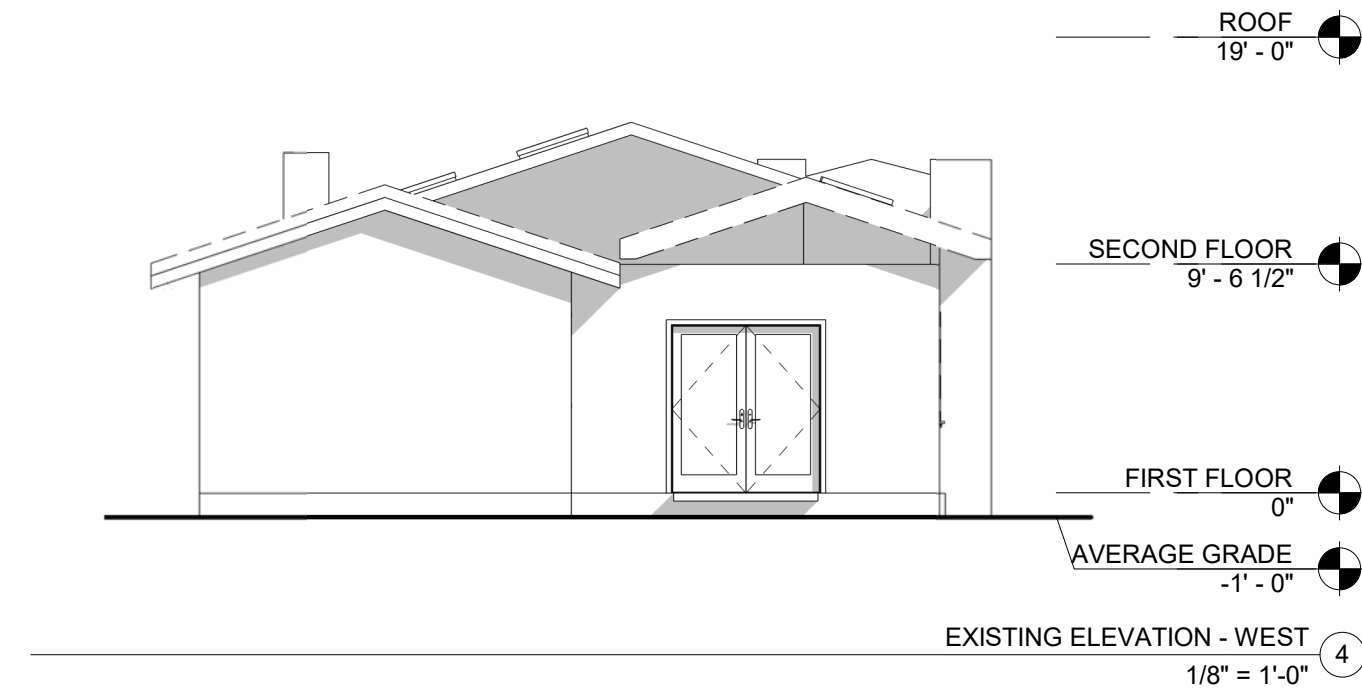
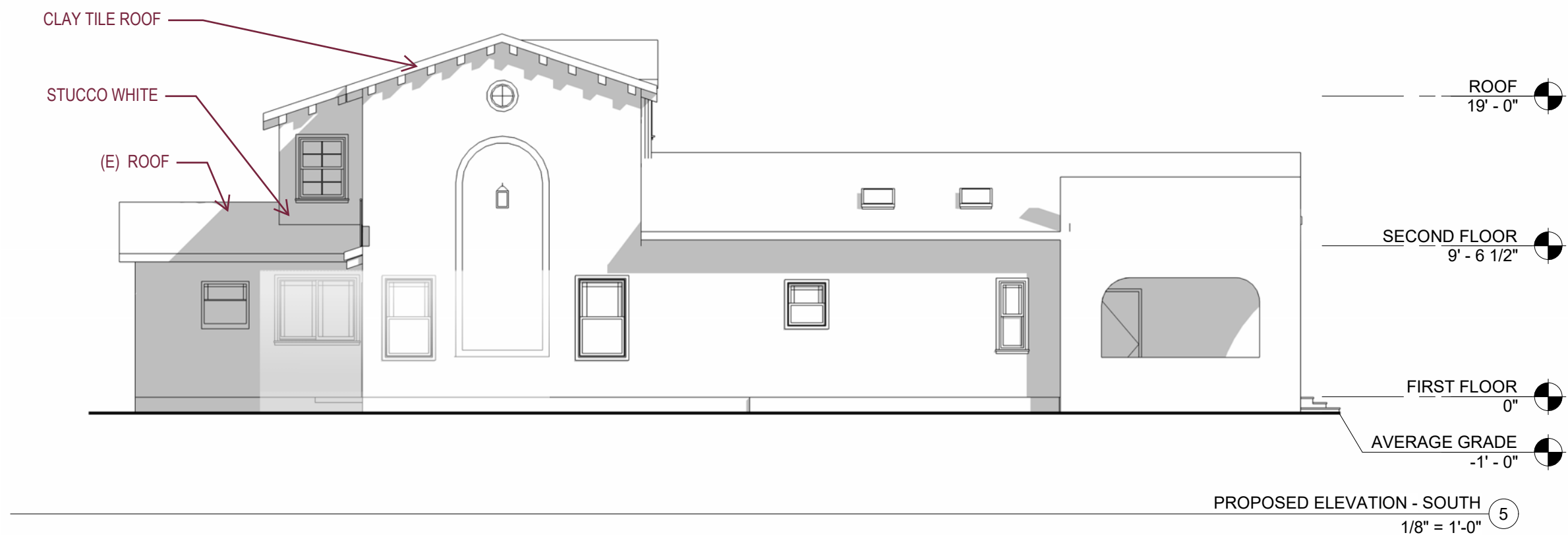
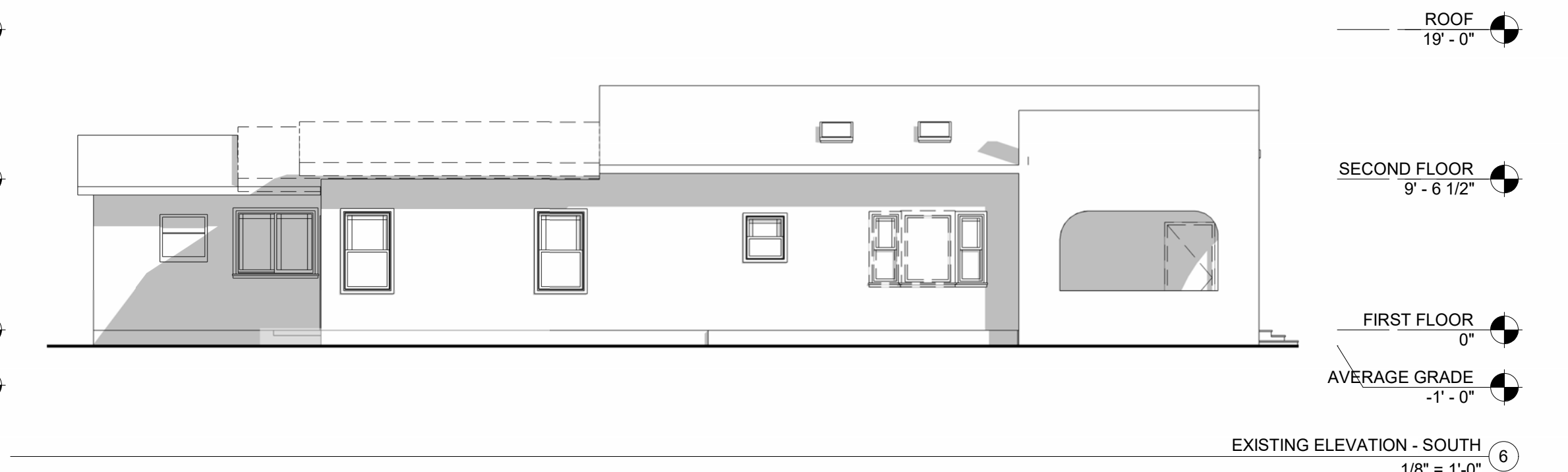
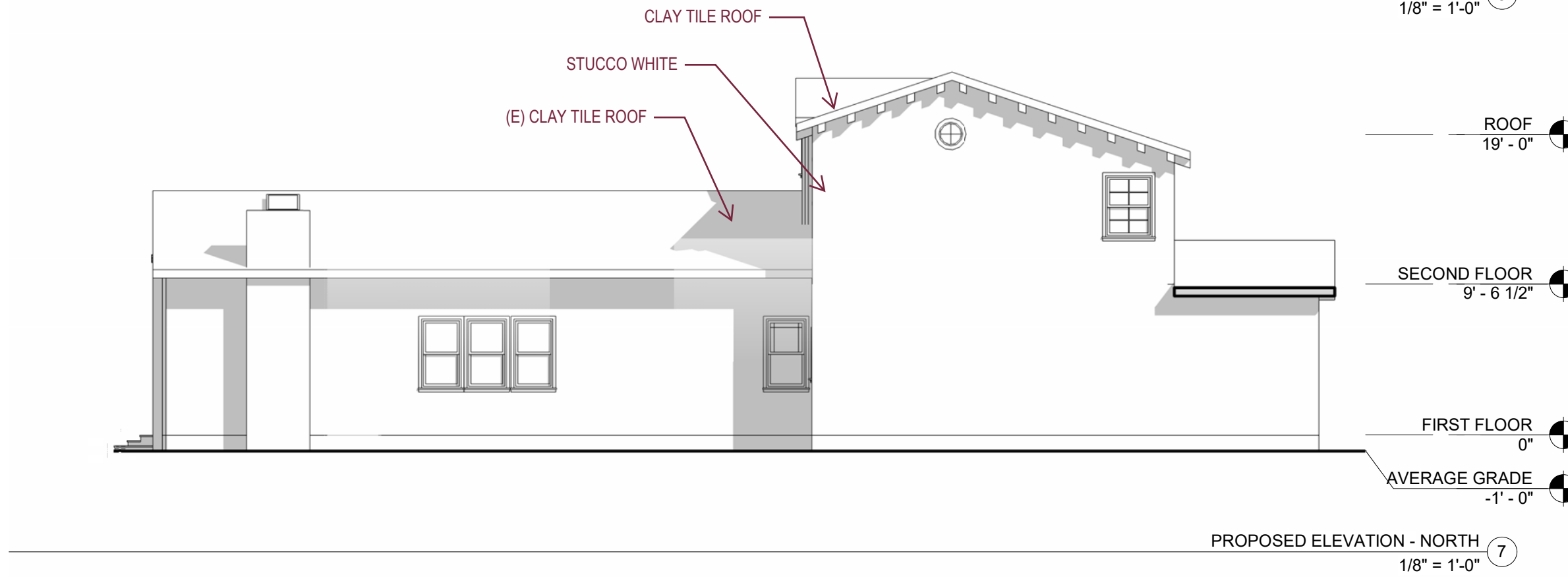
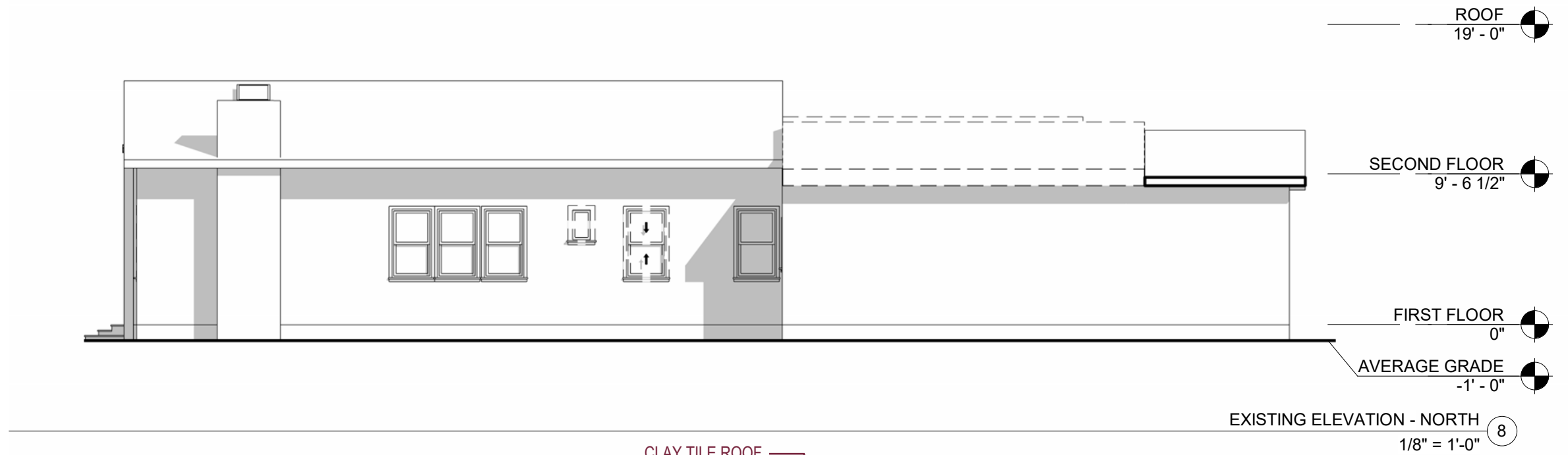
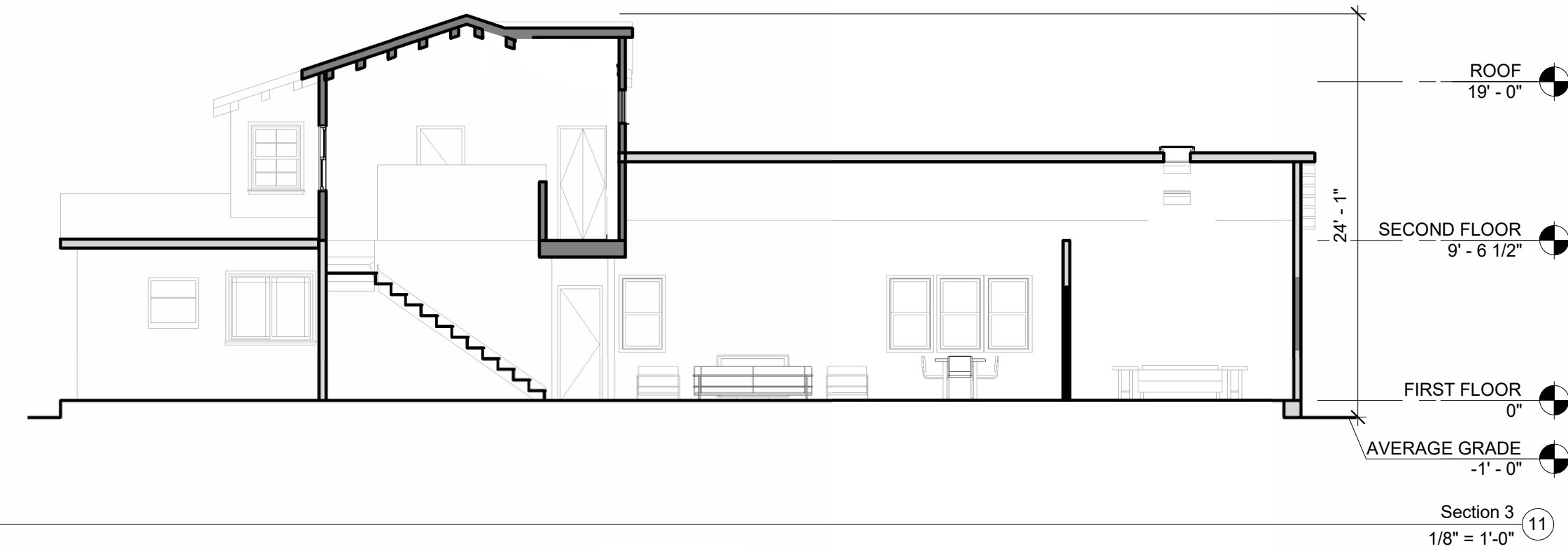
A2.01

Spanish / Mission Revival



ARCHITECTURAL STYLE BASED ON THE LOS GATOS RESIDENTIAL DESIGN GUIDELINES

- 1- SHAPED ROOF PARAPET
- 2- OVERHANGING EAVES
- 3- RED CLAY ROOF TILES
- 4- ARCHED DOORWAYS



DIMENSION NOTES		LEGEND - DEMOLITION		LEGEND - NEW CONSTRUCTION	
1.	DIMENSIONS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED : A) TO FACE OF FINISH B) TO CENTER OF DOORS AND OTHER OPENINGS C) TO TOP OF FINISHED FLOORS D) TO BOTTOM OF FINISH AT CEILINGS E) TO OUTSIDE FACE OF FINISHED MILLWORK F) TO FINISHED WINDOW FRAME. SEE WINDOW DETAILS.		(E) AREA TO BE REMOVED		ABOVE OR BELOW
2.	DIMENSIONS SHOWN AS V.I.F. SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD. CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH THE WORK IN THAT AREA.		(E) WALL TO REMAIN		(E) WALL TO REMAIN
3.	DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF FINISHES INCLUDING CERAMIC TILE, VCT, ETC. DIMENSIONS MARKED "CLEAR" ARE TO BE WITHIN 1/8" OF GIVEN DIMENSION ALONG FULL HEIGHT/WIDTH/LENGTH OF SURFACES.		(E) WALL TO REMAIN		(N) WALL
4.	DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN PARTITION LOCATIONS, DIMENSIONS AND TYPES. DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON CONSTRUCTION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT FOR WRITTEN CLARIFICATION PRIOR TO PROCEEDING WITH CONSTRUCTION. CONSTRUCTION PLAN BY ARCHITECT SUPERSEDES OTHER PLANS.		(E) ITEM TO BE REMOVED		1 HR. FIRE RESISTANCE RATED WALL
5.	ANY GRAPHICAL ERRORS, APPARENT OR ASSUMED, SHOULD BE CLARIFIED WITH AN RFI PRIOR TO CONSTRUCTION				[N.I.C.] NOT IN CONTRACT
PROPOSED ELEVATIONS GENERAL NOTES					
1.	0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK.				
BUILDING SECTIONS GENERAL NOTES					
1.	SEE STRUCTURAL DRAWINGS FOR ADDITIONAL INFO.				
2.	0'-0" (E) FINISH FLOOR LEVEL AT 1ST FLOOR IS DETERMINED BY ELEVATION MARK				
3.	ACOUSTIC INSULATION TO BE PROVIDED IN ALL WALL, FLOOR, AND CEILING ASSEMBLIES SURROUNDING BATHROOM AND LAUNDRY AREAS.				



Agency Approvals

Revision No. Date

Job Title
245 LOS GATOS BLVD

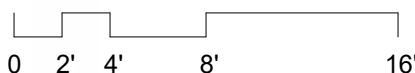
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245 LOS GATOS BLVD, LOS GATOS, CA 95030

Date: 5/7/2025

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Project Status

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Sheet Title
EXISTING / DEMOLITION
EXTERIOR ELEVATIONS

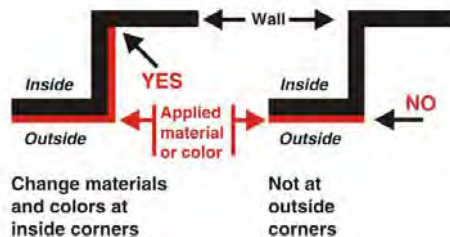
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A3.00

3.8.3 Use traditional detailing

- Treat openings in walls as though they were constructed of the traditional material for the style. For example, be sure to provide substantial wall space above arches in stucco and stone walls. Traditionally, wall space above the arch would have been necessary to structurally span the opening, and to make the space too small is inconsistent with the architectural style.
- Openings in walls faced with stone, real or synthetic, should have defined lintels above the opening except in Mission or Spanish Eclectic styles. Lintels may be stone, brick or wood as suits the style of the house.
- Treat synthetic materials as though they were authentic. For example, select synthetic stone patterns that place the individual stones in a horizontal plane as they would have been in a load bearing masonry wall.
- Select roof materials that are consistent with the traditional architectural style (e.g., avoid concrete roof tiles on a Craftsman Style house.)

3.8.4 Materials changes

- Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.



Use stone or wood lintels over openings in stone walls

3.9 ADDITIONS/ACCESSORY BUILDINGS/SECONDARY UNITS

- Site additions in the least conspicuous place. In many cases this is a rear or side elevation - only rarely is it a rooftop.
- The existing built forms, components and materials should be reinforced. Heights and proportions of additions and alterations should be consistent with and continue the original architectural style and design.
- Additions should be subordinate, and compatible in scale and proportion to the historically significant portions of the existing structure.
- When an addition or remodel requires the use of newly constructed exterior elements, they should be identical in size, dimension, shape and location as the original, and



Additions, accessory buildings and secondary units should match the form, architectural style, and details of the original house

BUILDING DESIGN

3



Original structure



Addition incorporated into the roof successfully adds space while respecting the integrity of the existing house and the scale of the neighborhood



Placing a two story addition to the rear can minimize its impact on the historic resource and the scale of the neighborhood

should utilize the same materials as the existing protected exterior elements.

- When an addition necessitates the removal of architectural materials, such as siding, windows, doors, and decorative elements, they should be carefully removed and reused in the addition where possible.
- The introduction of window and door openings not characteristic in proportion, scale, or style with the original architecture is strongly discouraged (e.g., sliding windows or doors in a structure characterized by double hung windows and swinging doors).
- The character of any addition or alteration should be in keeping with and subordinate to the integrity of the original structure.
- The amount of foundation exposed on the addition should match that of the original building.
- Do not add roof top additions where the roof is of historic significance.
- Second floor additions are discouraged in neighborhoods with largely one story homes. If horizontal expansion of the house is not possible, consider incorporating a second floor addition within the roof form as shown in the example to the left.
- Second floor additions which are not embedded within the roof form should be located to the rear of the structure.
- The height and proportion of an addition or a second story should not dominate the original structure.
- Deck additions should be placed to the rear of the structure only, and should be subordinate in terms of scale and detailing.
- New outbuildings, such as garages, should be clearly subordinate to the main structure in massing, and should utilize forms, materials and details which are similar to the main structure.
- Garages should generally be located to the rear of the lot behind the rear wall of the residence. One car wide access driveways should be utilized.

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