



**TOWN OF LOS GATOS
HISTORIC PRESERVATION
COMMITTEE REPORT**

MEETING DATE: 011/16/2022

ITEM NO: 2

DATE: November 11, 2022
TO: Historic Preservation Committee
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned C-2. **Located at 301-307 N. Santa Cruz Avenue.** APN 510-14-048. Request for Review PHST-22-020. PROPERTY OWNER: Millen Family Partnership, LP. APPLICANT: Mike Millen. PROJECT PLANNER: Ryan Safty.

RECOMMENDATION:

Consider a request to remove a pre-1941 property from the Historic Resources Inventory for property zoned C-2 located at 301-307 N. Santa Cruz Avenue.

PROPERTY DETAILS:

1. Date primary structure was built: 1900 per County Assessor's Database, with an effective year built date of 1910
2. Town of Los Gatos Historic Status Code: Historic and intact or worthy of special note, and historic and some altered but still contributor to district if there is one
3. Does property have an LHP Overlay? No
4. Is structure in a historic district? No
5. If yes, is it a contributor? N/A
6. Findings required? Yes
7. Considerations required? No

DISCUSSION:

The subject property contains five existing primary buildings: 208 Bachman Avenue (CB Hannegans), and 301, 303, 305, and 307 N. Santa Cruz Avenue. The applicant is requesting approval to remove the property from the Historic Resources Inventory. The Santa Clara County Assessor's Database lists a construction date of 1900, with an effective year built date of 1910. The property is not within a historic district or LHP overlay.

PREPARED BY: RYAN SAFTY
Associate Planner

DISCUSSION (continued):

The subject property is included in the Sanborn Fire Insurance maps, beginning in 1891 (Attachment 1). 208 Bachman Avenue, location of the former CB Hannigans restaurant, was previously a two-story residence, and is the only primary building on the site until 1928. The 1928 Sanborn Fire Insurance map shows a “tea room” at 301 N. Santa Cruz Avenue, and two small detached dwelling units at 305 and 307 N. Santa Cruz Avenue. The 1928-1956 map shows major additions and modifications to both 208 Bachman Avenue and 301 N. Santa Cruz Avenue.

The property is included in the 1990 Anne Bloomfield Survey (Attachment 2); specifically, 208 Bachman Avenue, and 301, 303, 305, and 307 N. Santa Cruz Avenue are listed. 208 Bachman Avenue had a historic status code of “historic and some altered but still contributor to district if there is one” and “historic but grossly altered.” The estimated age was 1890’s, with a note that the building was raised in the 1940’s. The building at 208 Bachman Avenue was removed from the historic resource inventory by Town Council in 1996.

The group of buildings fronting on N. Santa Cruz (301, 303, 305, and 307) are all also listed in the 1990 Anne Bloomfield Survey. These buildings are listed as Mediterranean style with a historic status code of “historic and some altered but still contributor to district if there is one” and “historic and intact or worthy of special note.” Both 301 and 305 are noted to have been altered, while 303 and 307 are noted as “intact.” The estimated age of the buildings is 1930’s, and remodeled in the 1960’s. The “Evaluation Sheet” within the survey shows the building ages as 1952 with a cumulative rating of 7: “appears ineligible for designation because newer than 1941.”

Town records are extensive and included in Attachment 3. As 208 Bachman has already been removed from the inventory, only the N. Santa Cruz addresses are included. Town records show that the commercial building at 301 N. Santa Cruz Avenue was constructed in 1952, with an added storefront in 1982, and a new garage door and re-roof in 2006. Records for 303 N. Santa Cruz show an interior remodel in 2006, and an expansion of the restaurant into the adjacent building at 305 N. Santa Cruz Avenue in 2010. Records for 305 N. Santa Cruz Avenue also show that the building was constructed in 1956. Lastly, records for 307 N. Santa Cruz Avenue show a building permit for alteration of the structure in 1950, as well as a re-roof permit from 1993.

The applicant’s Historic Research Submittal (Attachment 4) reflects much of the information presented above. Per the applicant’s research: the existing residence at 301 N. Santa Cruz Avenue was removed and replaced by a commercial building in 1952; 303 N. Santa Cruz Avenue appears to have been built sometime in the 1960’s; 305 N. Santa Cruz Avenue was substantially altered in the 1960’s; and substantial alterations and additions occurred to 307 N. Santa Cruz Avenue in the 1960’s. As summarized in Attachment 4, the buildings on this parcel that existed 80 years ago (per the Sanborn Fire Insurance maps) bear very little resemblance to the complex standing today.

CONCLUSION:

Should the Committee find that the structure no longer has historic significance or architectural merit due to the loss of integrity, the structure would be removed from the Historic Resources Inventory and any proposed alterations would not return to the Committee.

FINDINGS:

- A. Findings - related to a request for a determination that a pre-1941 primary structure has no historic significance or architectural merit.

In evaluating a request for a determination of historic significance or architectural merit, the Historic Preservation Committee shall consider the following:

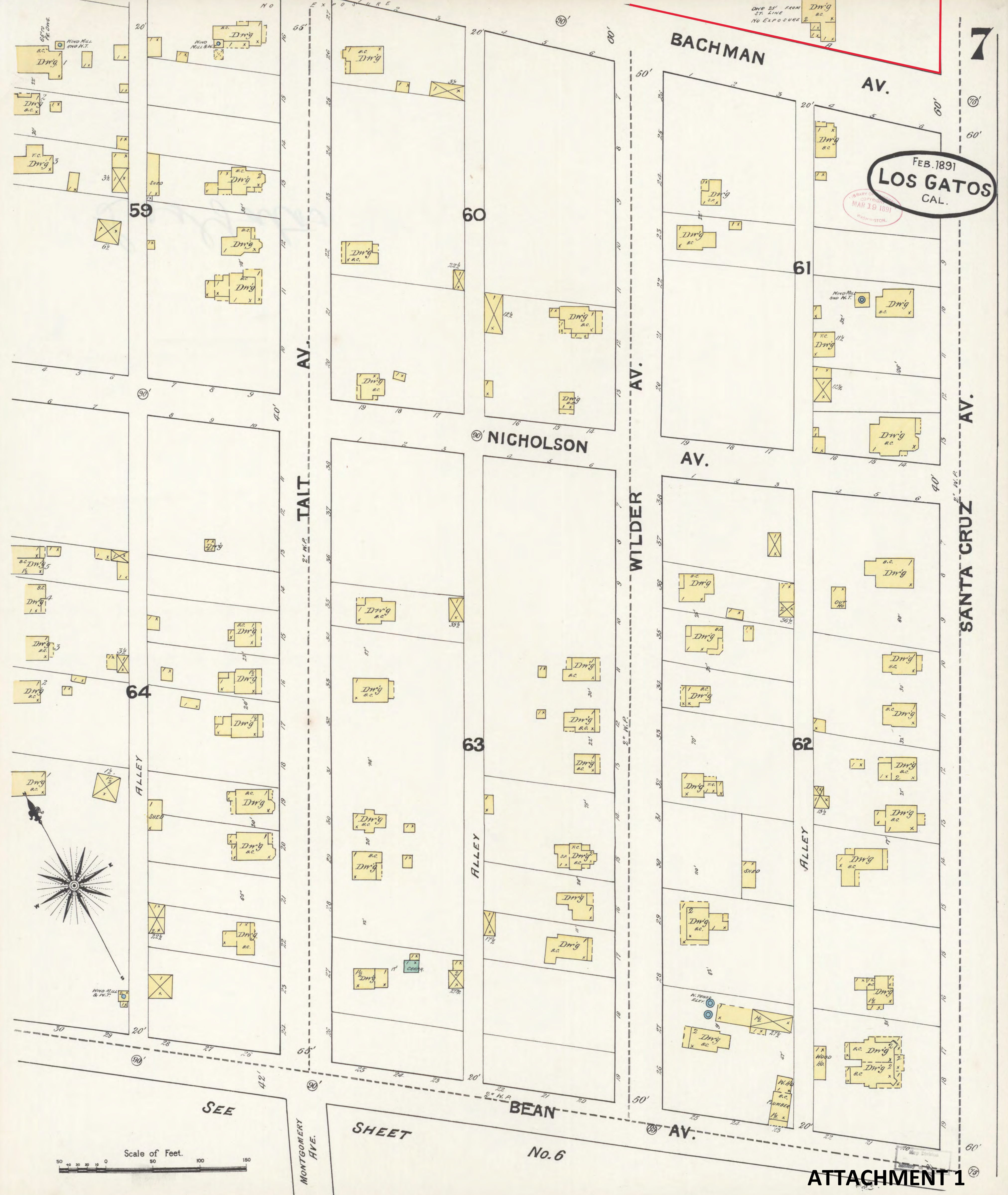
1. The structure is not associated with events that have made a significant contribution to the Town;
2. No Significant persons are associated with the site;
3. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
4. The structure does not yield information to Town history; or
5. The integrity has been compromised such that the structure no longer has the potential to convey significance.

ATTACHMENTS:

1. Sanborn Fire Insurance Maps
2. 1990 Anne Bloomfield Survey
3. Town Records
4. Applicant's Historic Research Submittal

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FEB. 1891
LOS GATOS
CAL.



112
66'

AV.

106

MASSOL

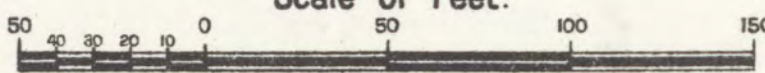
106

66'

27' TO 1 ST. FR. D. AT ST. CORNER



Scale of Feet.



8

57

64

50'

AV.

90

TAIT

4" W.P.

106

50'

BACHMAN

AV.

60

NICHOLSEN

AV.

63

BEAN

AV.

88

AV.

88

WILDER

4" W.P.

97

65

61

62

April 1895

LOS GATOS
CAL.

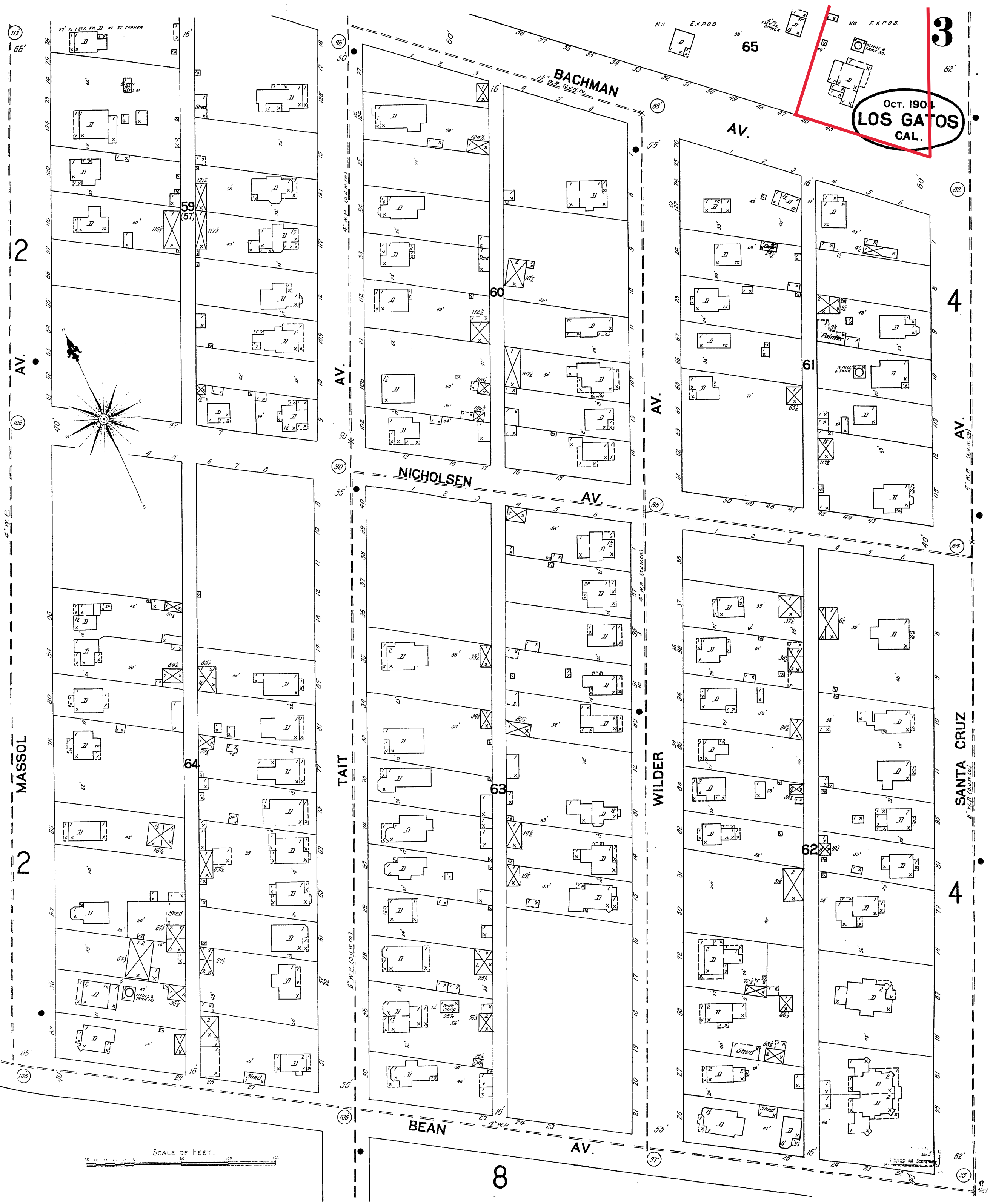
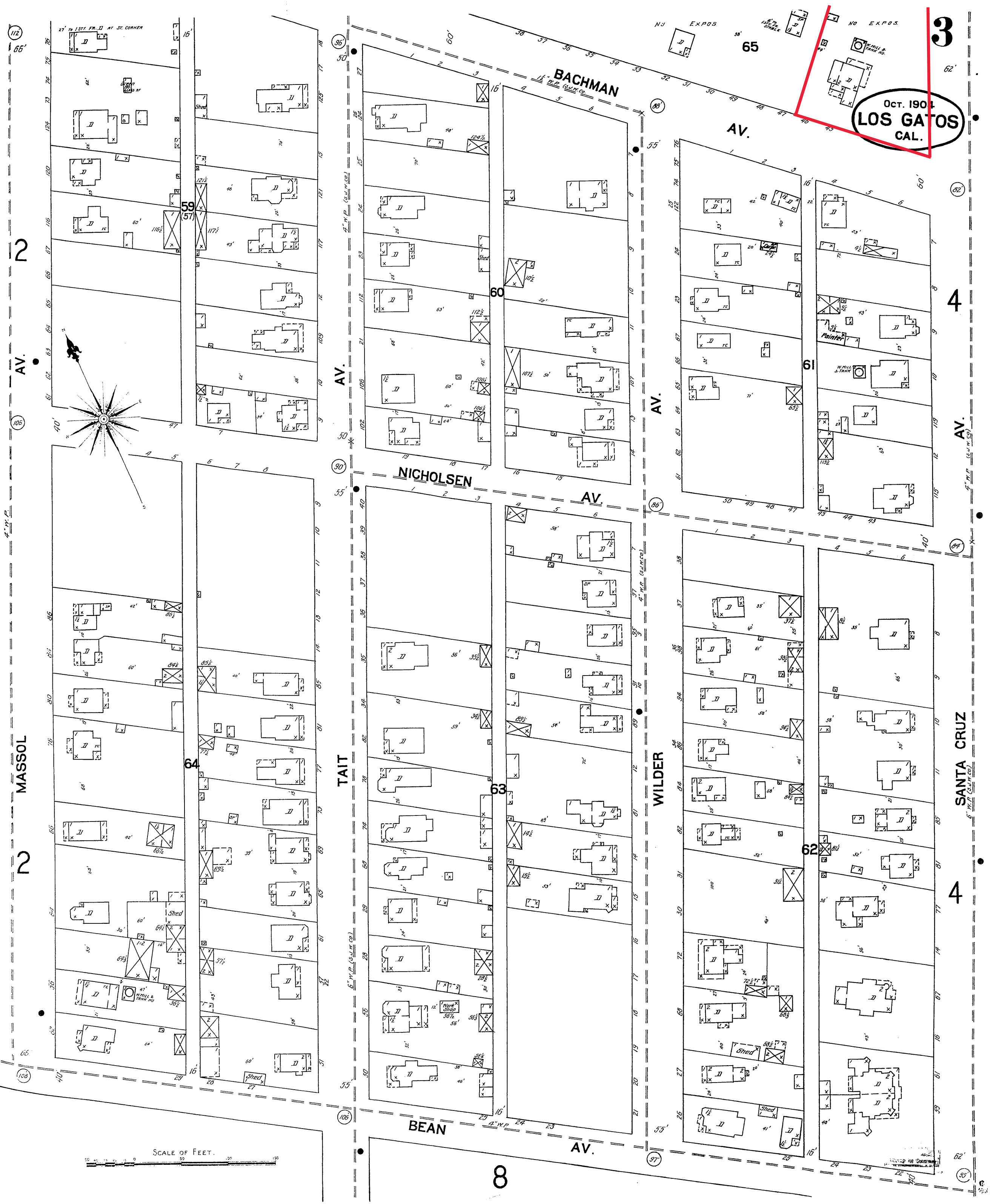
9

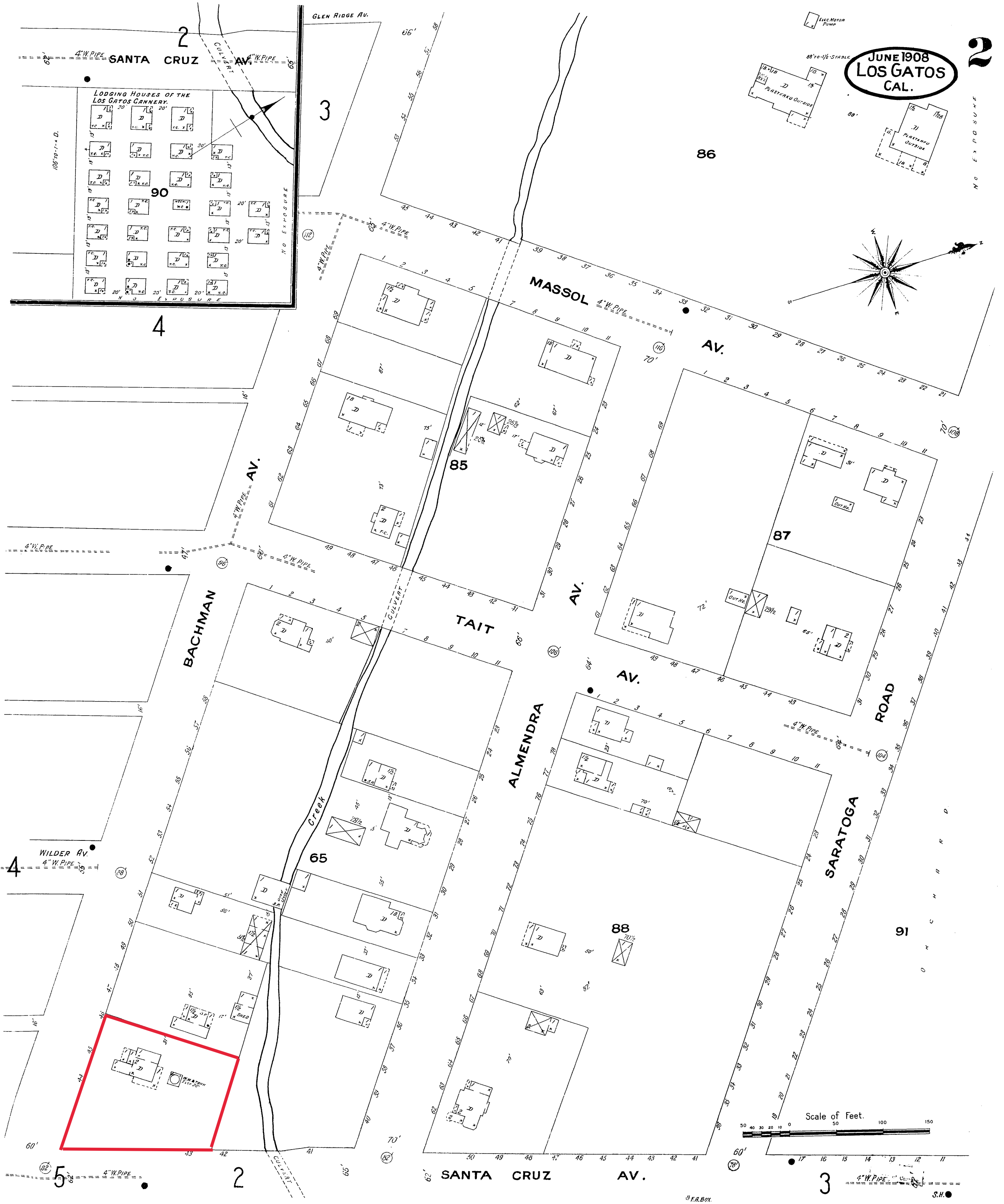
AV. 7

SANTA CRUZ

7

62'





JUNE 1908
LOS GATOS
CAL.

2

NO EXPOSURE

86

AV.

MASSOL

AV.

TAIT

AV.

ALAMEDA

SARATOGA
ROAD

91

SANTA CRUZ

AV.

3

S.H.

F.A. BOX

6

6

MARCH 1928
LOS GATOS
CALIF.

MONTGOMERY

SAN BENITO AV.

MONTEREY

AV. (WILDER)

LOS GATOS AUTO CAMP

75
(91)

7

SARATOGA

AV.

SANTA CRUZ

AV.

12

5

MASSOL

AV.

TAIT

AV.

ALMENDRA

AV.

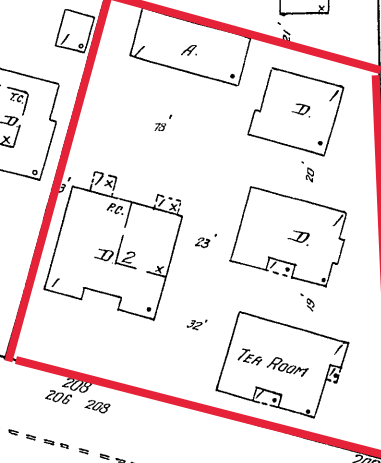
BACKMAN

AV.

WILDER AV.

Scale of Feet.

Copyright 1928 by the Southern Map Co.



6

LOS GATOS CAL.
MARCH 1928

6

MONTGOMERY

SAN BENITO AV.

MONTEREY AV. (WILDER)

7

SARATOGA AV.

ALMENDRA AV.

SANTA CRUZ AV.

12

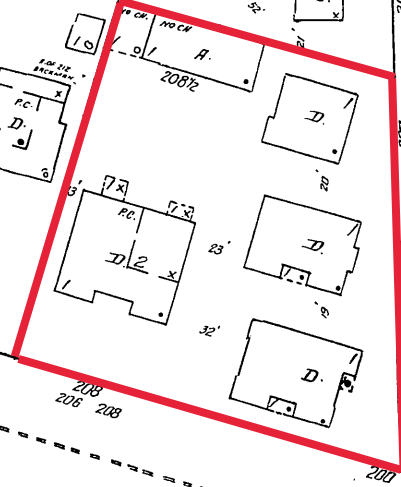
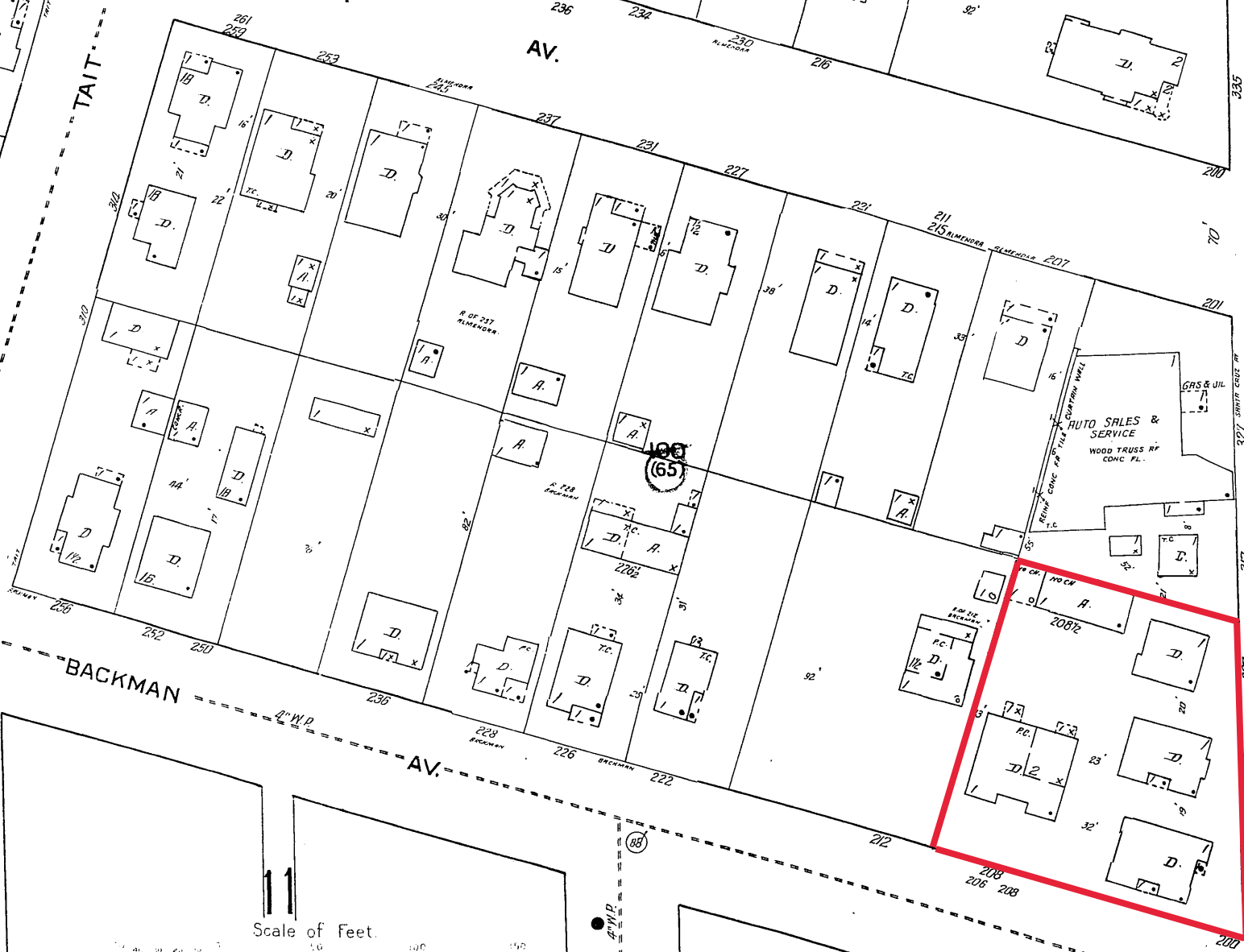
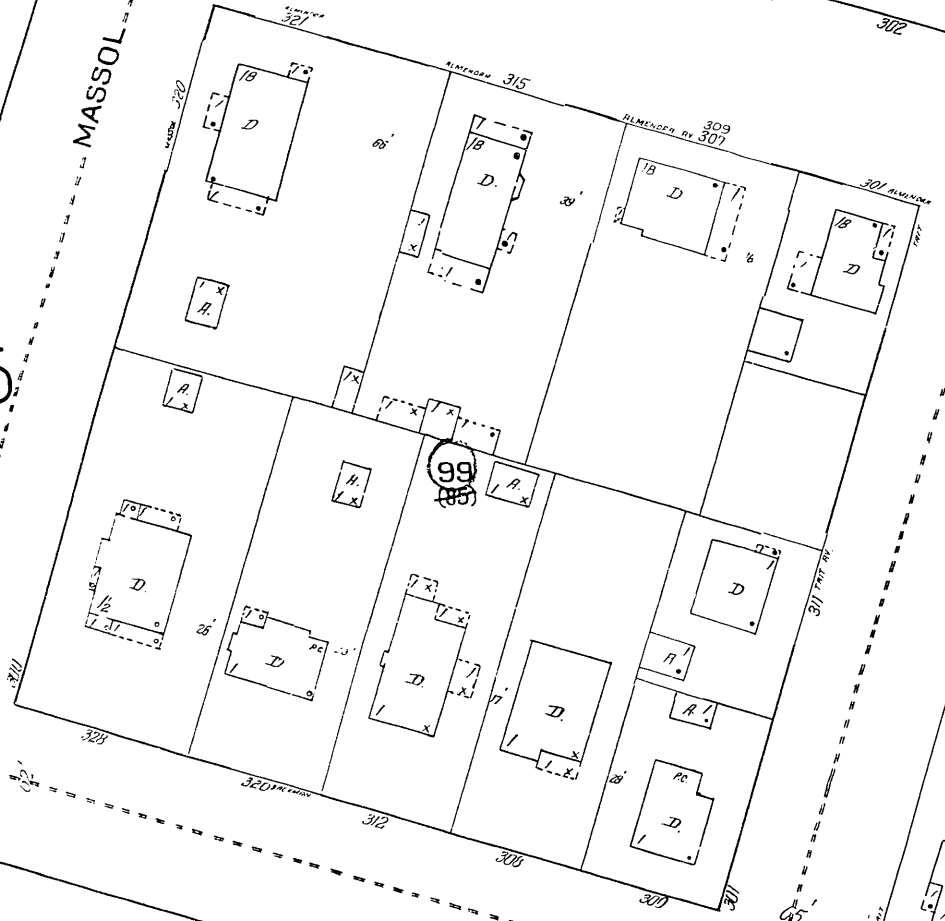
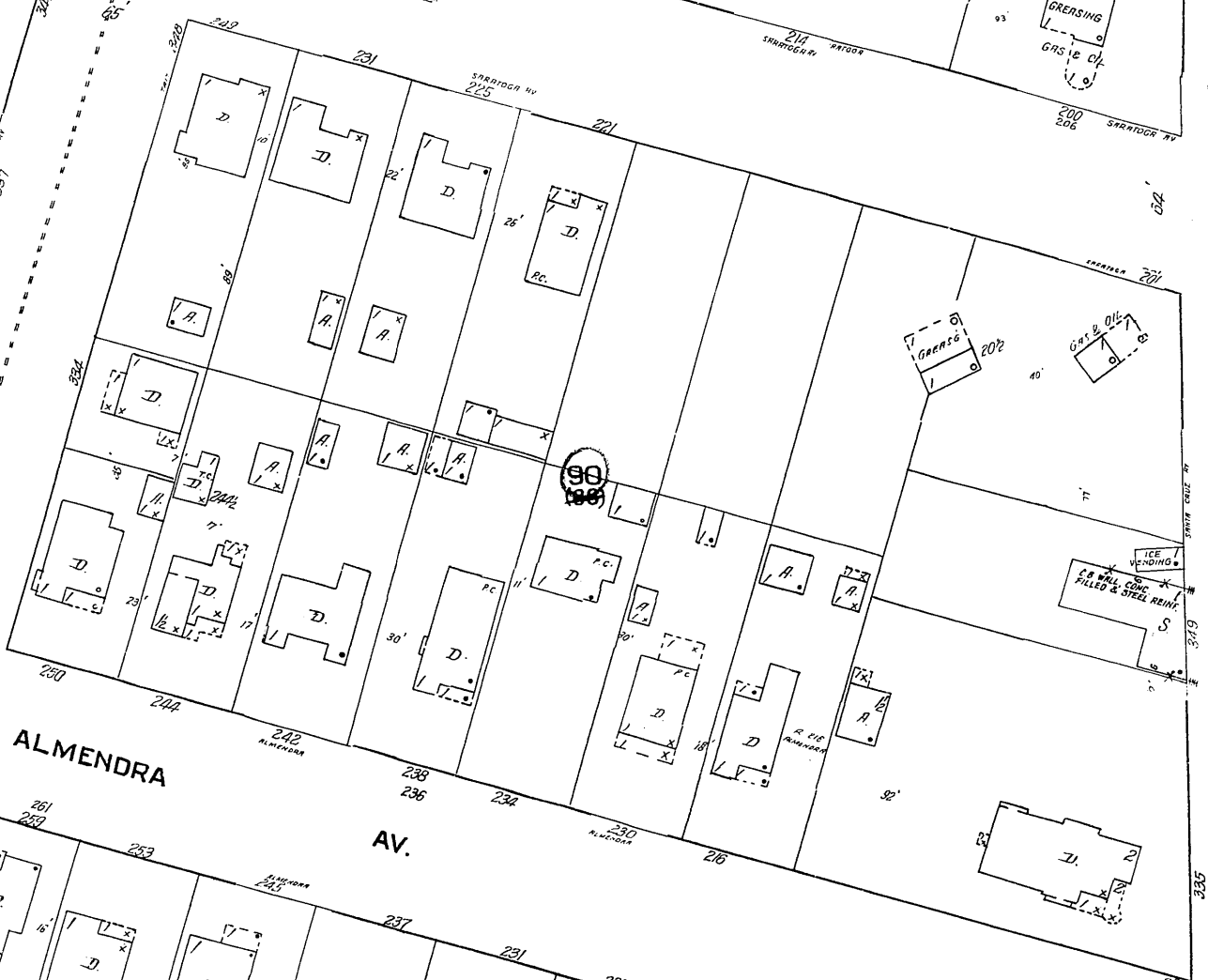
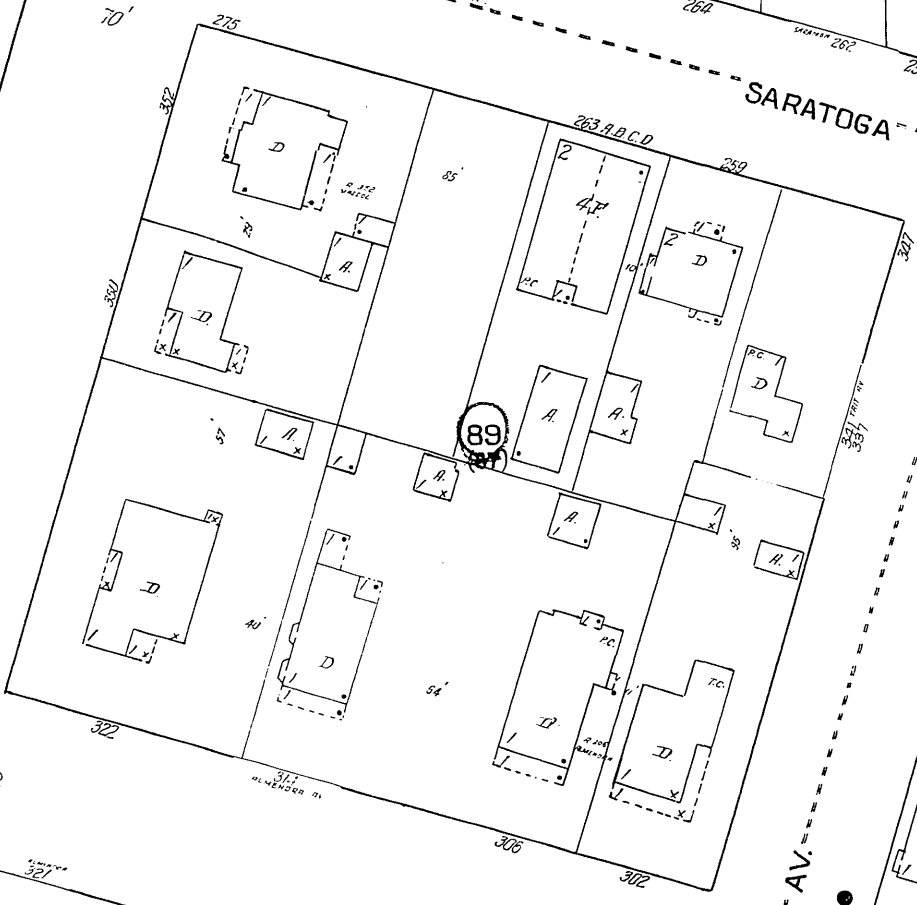
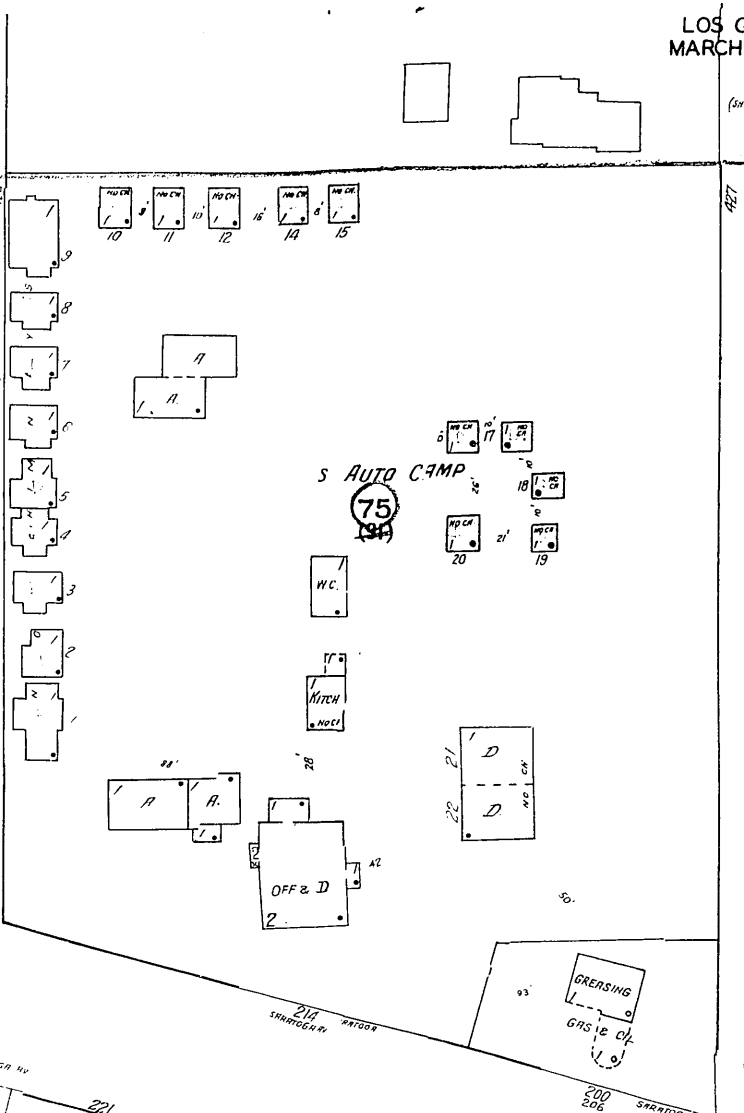
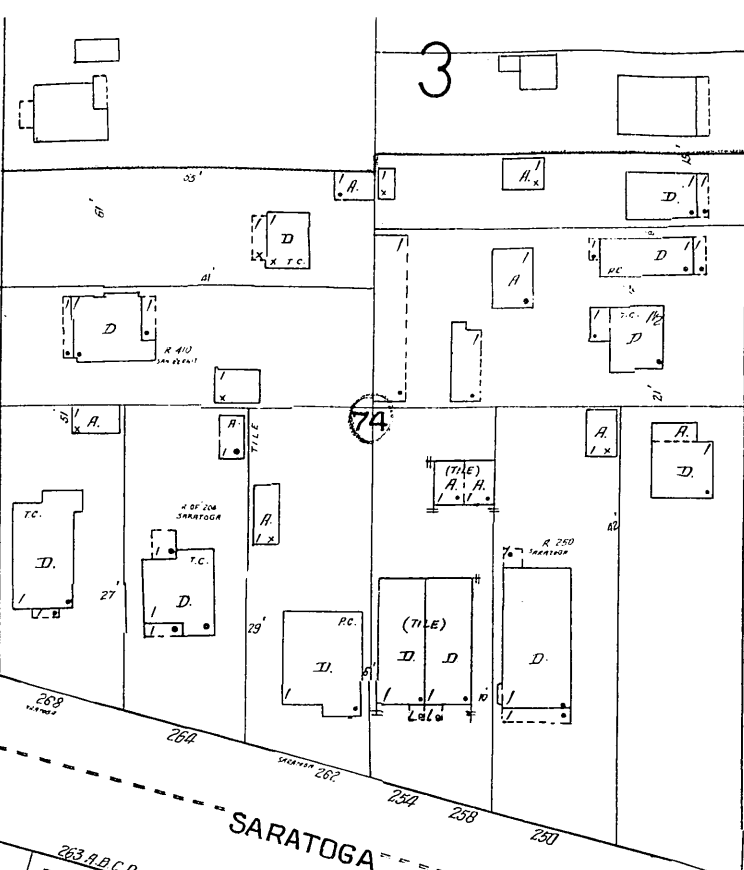
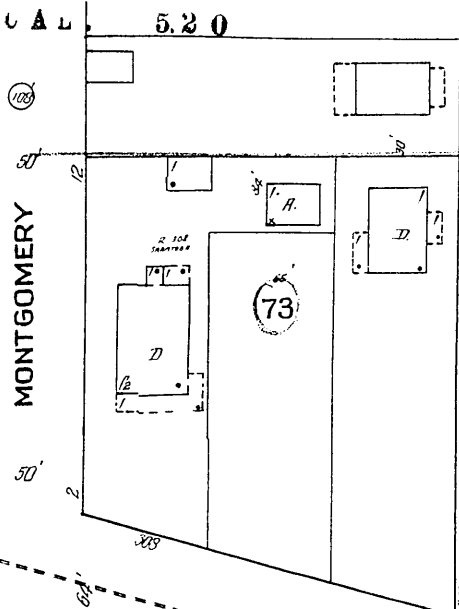
5

5

Scale of Feet

Copyright 1928 by the Survey and Map Co.

WILDER AV.



6

LOS GATOS CAL
MARCH 1928

6

MONTGOMERY

SAN BENITO AV.

MONTGOMERY

5

SARATOGA

AV.

7

S AUTO CAMP

75

(91)

89

(87)

90

(88)

ALMENORA

AV.

AV

5

SA

TA

CR

UZ

AV

5

12

BACKMAN

AV.

WILDER AV.

Scale of Feet



Copyright 1928 by the Sanborn Map Co.



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Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 208 Bachman - "Hannegans"

PARCEL MAP INFORMATION

Parcel # 510-14-048-rear ptn Lot size: _____ front ft. x _____ ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other

Location: N S E W side of B St Ave Other

distance to cross st: _____ ft. N S E W from _____

whole parcel at NE NW SE SW corner of N Santa Cruz

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Messel Sub Old Block # 1 Old lot # ?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating 1 or R Estimated age 1890s, raised 1940s. Style orig. house OA # stories

Alterations restaurant adding out to street

Other house behind

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Effective date _____

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1944				

MISCELLANEOUS

National Register listed date _____

County Inventory 1979 _____

Town of Los Gatos: Designation _____ Recognition _____

District Name _____

Previous Survey _____

Gebhard: page # _____ illustration page # _____

Butler/Junior League _____

PHOTOS: Roll/frame # 011/32,33 Date 22-11-89



Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 301-03-05-07 N. Santa Cruz

PARCEL MAP INFORMATION

Parcel # 510-14-048-E pln Lot size: 157 front ft. x 115-160 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other □ + diag. of NSC

Location: N S E W side of St Ave Other

distance to cross st: ft. N S E W from

at NE NW SE SW corner of NSC & Bachman

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Massal Sub Old Block # 1 Old lot # 220?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ✓+✓+ Estimated age 1930s Style Med # stories 1

Alterations

Zigzag footprint
Other 301-Rem. 303 Med. 305 LG Beauty Outlets. 307 "Design Mine" - 4 shops

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy)

Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908	13	NW SC2 & Bachman	160x160	A Jensen
Survey	1944				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

Gebhard: page # illustration page #
Butler/Junior League



0075012.33 Date 2 Nov 89

303

307

group



LOS GATOS HISTORIC RESOURCES INVENTORY

EVALUATION SHEET

Building or District Name Commercial StoresAddress(es) 301-303-305-307 North Santa Cruz Ave.

Criterion	This Building	Ratings
A. ARCHITECTURE		
1. Building type	<u>4 stores, 1-story</u>	E VG <u>G</u> FP
2. Construction	<u>concrete block (per B.P.)</u>	E VG <u>G</u> FP
3. Style :	<u>Mediterranean - pretty good ex.</u>	E VG <u>G</u> FP
4. Architect	<u>Frank C. Troseder</u>	E <u>VG</u> G FP
5. Design	<u>zigzag footprint ^{miniaturizes} fits diagonal plot</u>	E <u>VG</u> G FP
6. Interior	<u>—</u>	E VG G <u>FP</u>
B. HISTORY		
7. Age	<u>1952</u>	E VG G F <u>P</u>
8. Person(s)	<u>A. Jensen (developer)</u>	E VG G <u>FP</u>
9. Event	<u>—</u>	E VG G <u>FP</u>
10. Patterns	<u>commercial devel. moves north</u> <u>(primary imp, loosely con.)</u>	E <u>VG</u> G FP
C. ENVIRONMENT		
11. Scale/Massing	<u>important - maintains small shops scale</u>	E <u>VG</u> G FP
12. Setting	<u>landscaping in zigzag</u>	E <u>VG</u> G FP
13. Landmark	<u>inconspicuous</u>	E VG G <u>FP</u>
D. INTEGRITY		
14. Alterations	<u>^{301,305} 2 of the 4 shops altered ³⁰³⁺³⁰⁷ 2 intact</u>	E VG <u>G</u> FP

CUMULATIVE RATING: 3 Appears eligible for National Register.
 4 May become eligible for National Register.
 5 Appears eligible for local designation.
 6 Contributor to district that is any of the above.
 N Non-contributor to the district.
 6 Appears ineligible for designation, but older than 1942.
 7 5 Appears ineligible for designation because newer than 1941.

Evaluated by: BDate 3-91Reviewed by: MLDate 4-16-91Reviewed by: Date Reviewed by: Date

LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Building or District Name Commercial StoresAddress(es) 301-07 N. Sta. Cruz

<u>E</u>	<u>VG</u>	<u>G</u>	<u>F/P</u>	<u>Criteria</u>	<u>Total</u>	<u>Adjusted Total</u>
10	5	(2)	0	Type		
10	5	(2)	0	Construction		
10	5	(2)	0	Style		
8	(4)	2	0	Architect		
25	(12)	6	0	Design		
<u>8</u>	<u>4</u>	<u>2</u>	(<u>0</u>)	Interior	—	<u>22</u>
	16	6		ARCHITECTURE		(Max. 50)
10	5	2	(1/0)	Age		
15	8	4	(0)	Person		
10	5	2	(0)	Event		
<u>15</u>	(<u>8</u>)	<u>4</u>	<u>0</u>	Patterns	—	<u>8</u>
				HISTORY		(Max. 25)
25	(12)	6	0	Scale/Massing		
8	(4)	2	0	Setting		
<u>25</u>	<u>12</u>	<u>6</u>	(<u>0</u>)	Landmark	—	<u>16</u>
				ENVIRONMENT		(Max. 25)
0	-6	(-12)	125	INTEGRITY	—	<u>-12</u>

Cumulative Rating:

CUMULATIVE TOTAL

34

60+ = 3 (appears eligible for National Register)

40-59 = 5 (appears eligible for local listing)

23-59 = D (contributor to district rated one of the above)

(22- = 6 or 7 (ineligible) or non-contributor)

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Relevant dates: construction____. birth____. death____. other_____

[illegible]

General sources, unknown location(s)

- ___ Indexes, California Historical Quarterly
- ___ State Library Information Index (fiche)
- ___ State Library-S.F. Newspaper Index
- ___ Census (microfilm)
- ___ County history 1881, Monroe Fraser
- ___ Brainard maps

Initials date

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APPLICATION FOR BUILDING PERMIT

Date June 12 1952
 The undersigned herewith makes application for the
Construction of 1 Story
concrete block Building, of
 Type Construction, no basement, to be used and

occupied as Comm. Building
 Foundation to be slab floor
 With a footing of 16 in. 8 in. top and 4 in. high
 Outside walls to be concrete block

Interior to be Plaster & concrete block

The roof will be low & gabled of iron
 supported 2x8 rafters 16" C.
 Will be heated by gas with thermoit flue
 Estimated value, \$ 25000

..... hereby agree to save, indemnify and keep harmless the Town of Los Gatos against all liabilities, judgements, costs and expenses which may in any wise accrue against said city in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street, or sub-sidewalk places by virtue thereof, and will in all things strictly comply with the conditions of this permit.

Owner Anton M. Jensen Address Montebello & Birdman
 Architect Frank C. Jensen Los Gatos
 Contractor Self Los Gatos

BUILDING PERMIT

No. 1401

TOWN OF LOS GATOS

Inspector's file No.
 Department of Building & Inspection

PERMIT is herewith granted to Anton M. Jensen

Location 301 NSC Ave & Birdman

for Construction in accordance with plans and specifications approved, and now on file in this office.

Receipt for 1401 Dollars
 as fee, is hereby acknowledged.

Contractor Self

Dated June 12 1952

J. M. Jensen
 Building Inspector

THIS PERMIT MUST BE POSTED ON THE JOB

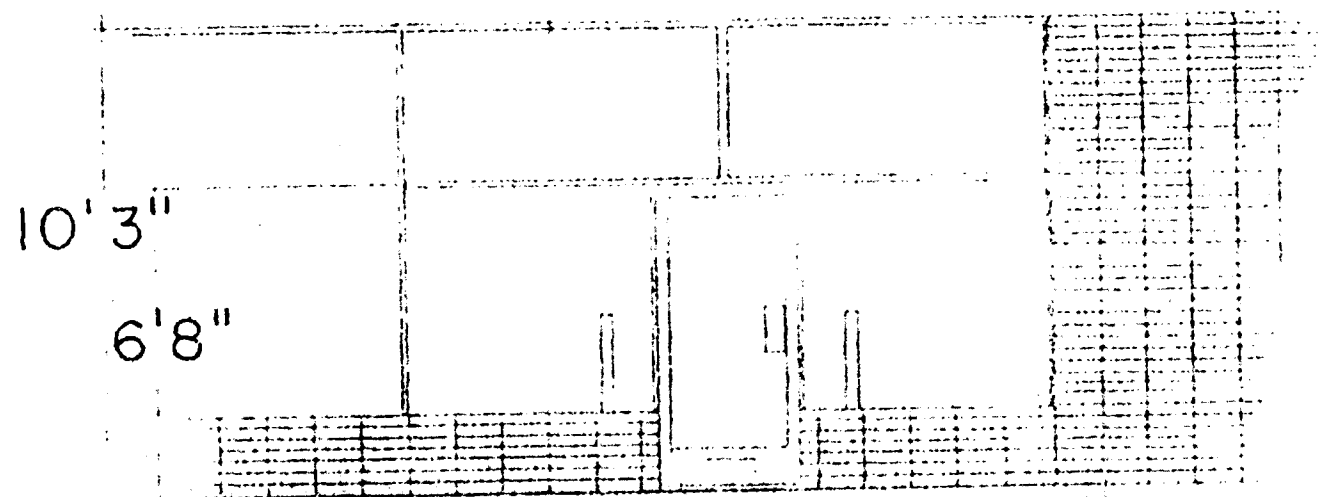
110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT • PHONE 354-6876

✓
B 9656

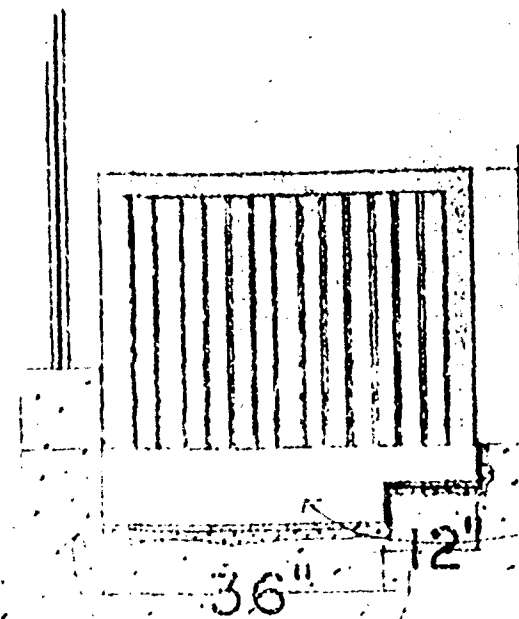
DISTRIBUTION 1. INSPECTION RECORD 2. PIER M. RECORD 3. PERMITTEE 4. TOWN CLERK

FLOORPLAN
scale $1/4" = 1'$

North Santa Cruz Ave.



SECTION
scale $1/2" = 1'$



12" Quac
lan

36" D.F.
bo.

Saw cut c
remove c

301 N. Santa Cruz

**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
ELECTRICAL PERMIT**

Permit Number: **R06-547**

Work Description: **T/I TO ADD GARAGE DOOR AT REAR FOR AUTO SHOWROOM AND ADD
INTERIOR WALL FOR OFFICE AREA 400 SF**

Building Address: **301 N SANTA CRUZ AV LG**

Applied: **09/18/2006**

Approved:

Status: **APPLIED**

Issued:

Expired:

OWNER **MILLEN TRUST
18364 OAK DR
MONTE SERENO, CA
95030**

09/18/2006 Phone:

CONTRACTOR **P & R CONSTRUCTION
42 RGO BUENA CIRCLE
PALM DESERT CA
92260
License: 853195**

09/18/2006 Phone: **760 272 6404**

Square Footage:

New Residence: **0**

Remodel: **0**

Commercial: **0**

Description	Tot Fee
Building Plan Check Fee	7.00
Electrical Permit Fee	61.00

Total Calculated Fees:	\$68.00
Total Additional Fees:	\$0.00
Total Fees Due:	\$68.00
Total Payments:	\$0.00
Balance Due:	\$68.00

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class **B** Lic. No. **853195** Exp. Date **1-31-08** Contractor Name **P & R Construction**

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's State License Law for the following reasons (Sec. 7011.5, Business and Professions Code):

() I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7014, Business and Professions Code).

() I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7011, Business and Professions Code).

() I am exempt under Sec. _____, B & P.C. for this reason.

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

() I have and will maintain a certificate of consent to self insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____

(X) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with these provisions.

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent **Ross K. ...** Date **9-18-06**

NOTICE:

1. Signs are regulated. See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
(408) 354-6881 or (408) 399-5711 FAX (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

PERMIT APPLICATION FOR PLAN REVIEW, BUILDING PERMIT OR REROOF PERMIT

BOLD-691

SITE ADDRESS 301 N. Santa Cruz Ave Suite _____ Today's Date 8-14
TYPE OF WORK TO BE DONE ☐ New ☐ Addition ☒ Alteration ☐ Repair ☐ Reroof ☐ Deck ☐ Pool/Spa ☐ Renewal
DETAILED DESCRIPTION OF WORK TO BE DONE Remove a wall. Add port
Larger Rear door in (inner)

PROJECT AREA	New/Add Sq. Ft.	Alteration Sq. Ft.	Reroof/Pool/Spa/Deck SF	Retaining Wall L.F.
1 st Floor	<u>3500</u>	<u>405.1</u>		<u>6'</u>
2 nd Floor				
Attic/Basement/Cellar/Porch				
Attached/Detached Garage				

CONSTRUCTION VALUATION: 25,000 Include costs of all labor and materials
IS BUILDING/ADDITION: Heated? ☒ Yes ☐ No Cooled? ☒ Yes ☐ No ☐ Pre 1941/Historic ☐ Fire Sprinkler System
Proposed Use of Building: SALES CARS Construction Type PRICK Occupancy Type _____
Lamborghini

CONTACT NAME MARK REEVE Phone 408-482-0550 Fax 408-354-6285
Address 60 East main St. City Los Gatos Zip 95030
Property Owner Name Bert Millen Phone (Required) 891-0809
Address 10156 Las Gatos City 95031 Zip cal.

Architect/Engineer/Designer Michelle Miner License # _____ Phone 408-374-3939
Address (HOUSE OF HANS) City Los Gatos Zip _____

Contractor Name Russ Rene (R + R Construction)
State License No. 853195 License Type _____ Expires _____ Town Business Lic. No. _____
Phone # 951-318-2476 ~ NO Employees.
Commercial Tenant _____ Phone _____
Address _____ City _____ Zip _____

CONSTRUCTION LENDING AGENCY
I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (sec. 3097, Civ. C.).

Lender's Name _____

Lender's Address _____

I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this Town to enter upon the property for inspection purposes.

Signature _____

Date 8-14-06

Not for use on Building Application w/pd

INCORPORATED AUGUST 10, 1887



Silicon Valley Auto

CONDITIONS OF APPROVAL

Requesting approval to operate a new car sales facility (Los Angeles) on property owned C. APN 518-14-006.
PROPERTY OWNER: David Miller
APPLICANT: Silicon Valley Auto Group

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval listed below. Any change or modification made to the approved plans shall be approved by the Director of Community Development or the Planning Commission, depending on the scope of the change.
2. EXPIRATION OF APPROVAL: These applications will expire two years from the date of approval unless they are renewed before expiration. Section 29.25.223 defines what constitutes it use of an approved permit under the Zoning Ordinance.
3. SHOWROOM DISPLAY: A maximum of ten (10) cars may be displayed in the showroom.
4. OUTDOOR AUTO STORAGE: No automobiles shall be stored outdoors.
5. AUTO DELIVERY: No automobiles shall be delivered to the site.
6. AUTO REPAIR: No auto repair shall occur on site.
7. VEHICLE ACCESS TO SHOWROOM: Vehicle access to the showroom floor shall be via a service alley on the west side of the building. Keep clear markings shall be placed in the alley. Access shall be allowed across the public sidewalk only by cars when the access is in the service alley is not accessible. Access across the public sidewalk at the corner of the building will require a minimum of two persons in addition to the driver to provide for traffic control. The applicant shall submit a traffic control plan to the satisfaction of the Community Development Director prior to the occupancy of the building. Any damage to the existing sidewalk or improvements shall be repaired at the applicant's expense.
8. HAZARDOUS MATERIAL: No storage of hazardous materials shall be allowed on site, except that which is located in the display vehicles.
9. HOURS OF OPERATION: The auto showroom shall limit the hours of operation from 9:00 a.m. to 6:00 p.m. Monday through Friday and from 10:00 a.m. to 5:00 p.m. Saturday and Sunday.
10. MINOR EXTERIOR ALTERATIONS: Exterior paint color and the existing entry doors at the corner of Pacheco and N. Santa Cruz and on the west face of the building adjacent to the existing alley may be modified to the satisfaction of the Director of Community Development.

(Building Section)

11. CONDITIONS OF APPROVAL: The Conditions of Approval shall be "shelved" in full or the cover sheet of the construction plans submitted for a building permit.
12. SIZE OF PLANS: The maximum size of construction plans submitted for building permits shall be 24" x 36".
13. PLANS: The construction plans for this project shall be prepared under the direct supervision of a licensed architect or engineer. (Business and Professions Code Section 5538)
14. SPECIAL INSPECTIONS: When a special inspection is required by USC Section 1701, it is required or required of record shall be submitted to the Building Division prior to the issuance of the building permit in accordance with USC Section 1063.3. Special inspection forms are available from the Building Division Service Counter. The Town Special Inspection schedule shall be blue-lined on the construction plans.
15. TITLE 24 ACCESSIBILITY - COMMERCIAL: On-site general path of travel shall comply with the latest California Title 24 Accessibility Standards. Work shall include but not be limited to accessibility entrances from parking and sidewalks.
16. TITLE 24 ACCESSIBILITY - COMMERCIAL: The building shall be upgraded to comply with the latest California Title 24 Accessibility Standards. Necessary work shall be first investigated by the design architect then confirmed by Town staff.
17. TITLE 24 ACCESSIBILITY - COMMERCIAL: On-site parking facility shall comply with the latest California Title 24 Accessibility Standards for the disabled.
18. APPROVALS REQUIRED: The project requires the following agencies approval before issue a building permit:
a. Santa Cruz County Planning Department (408) 374-4010

(Engineering Section)

19. VILLA HERMOSA SIDEWALK: Replace the existing non-paved sidewalk on the Pacheco Avenue frontage with Town Standard Villa Hermosa patterned sidewalk to match the remainder of the property street frontage. The sidewalk improvements shall be completed prior to building permit final sign off.
20. OPERATIONS: No vehicle washing or waxing shall be performed at this site.
21. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Drawings and the Town Standard Specifications. All work shall conform to the applicable Town Ordinance. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless a special permit is issued. The developer's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
22. ENCROACHMENT PERMIT: All work in the public right-of-way will require a Construction Encroachment Permit. All work over \$5,000 will require construction security.
23. PUBLIC WORKS INSPECTIONS: The developer or his representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in rejection of work that went on without inspection.
24. CITY AND TOWN IN PUBLIC RIGHT-OF-WAY: It is the responsibility of contractor and home owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
25. RESTORATION OF PUBLIC IMPROVEMENTS: The developer shall repair or replace all existing improvements not damaged for removal that are damaged or removed because of developer's operation. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavement, raised pavement markers, demarcation pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Existing improvements to be repaired or replaced shall be at the discretion of the Engineering Inspector, and shall comply with all Title 24 Disabled Access provisions. Developer shall require a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
26. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 5:00 p.m., weekdays and 9:00 a.m. to 7:00 p.m., weekends and holidays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property line shall not exceed eighty-five (85) dBA.

COMPLIANCE MEMORANDUM

IT IS SILICON VALLEY AUTO GROUP'S INTENTION TO ABIDE BY THE ALL OF THE ABOVE SAID CONDITIONS OF APPROVAL.

WE INTEND TO HIRE A CITY APPROVED CONTRACTOR TO INSTALL THE VILLA HERMOSA SIDEWALK.

WE WILL SUBMIT A TRAFFIC CONTROL PLAN TO THE COMMUNITY DEVELOPMENT DIRECTOR PRIOR TO OCCUPANCY OF THE BUILDING.

THE EXISTING BUILDING MEETS TITLE 24 ACCESSIBILITY, WITH THE EXCEPTION OF THE FRONT DOOR AND WE ARE REPLACING IT TO MEET CODE.

SILICON VALLEY AUTO GROUP
TOWN OF LOS GATOS
BUILDING DIVISION
PLAN APPROVED
DATE 9/14/06
BY [Signature]
Please check approval of documents does not authorize construction to proceed in violation of any federal, state, or local regulations.

INDEX

1	INDEX - EXISTING FLOOR PLAN - CONDITIONS OF APPROVAL
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82.1	FOUNDATION PLAN
82.2	MEZZANINE FRAMING PLAN
83.1	PICTURES

PERSONAE

OWNER
SILICON VALLEY AUTO GROUP
66 E. MAIN STREET
LOS GATOS, CA 95030

DESIGNER:
ERVIN LAVON HAWS
HOUSE OF HAWS
3061 COLUSA WAY
SAN JOSE, CA 95130
(408) 374-3939

STRUCTURAL ENGINEERING:
ORIAN ENGINEERING INC.
RYAN ORIER
12251 OLD POMERADO ROAD, SUITE A
POULATY, CA 92064
(858) 678-1574

SCOPE OF WORK

OWNER PROPOSED TO OPEN UP REAR WALL AND PUT A NEW GARAGE DOOR TO BRING CARS INTO THE SHOWROOM. THE EXISTING BACK STORAGE AREA WILL BE DIVIDED INTO TWO AREAS, ONE FOR OFFICE AND ONE FOR AN ACCESS TO BRING THE CARS INTO THE SHOWROOM. NEW TILE FLOOR WILL BE INSTALLED.

NOTES

ALL CONSTRUCTION SHALL COMPLY WITH:

- | | |
|--------------------------------|-------------------------|
| A) CALIF. FIRE CODE | 2001 EDITION (2000 UFG) |
| B) CALIF. BLDG CODE | 2001 EDITION (1997 UBC) |
| C) CALIF. MECH. CODE | 2001 EDITION (2000 UFG) |
| D) CALIF. PLUMB'G CODE | 2001 EDITION (2000 UFG) |
| E) CALIF. ELEC. CODE | 2004 EDITION (2002 NEC) |
| F) CALIF. ENERGY EFFEC. STAND. | 2005 EDITION |
| G) ANY OTHER APPLICABLE LOCAL | |
| STATE LAWS & REGULATIONS. | |

ANALYSIS

ZONING:	C2
OCCUPANCY CLASSIFICATION:	GROUP B
TYPE OF CONSTRUCTION:	TYPE V-N
DESIGNATION:	AUTO SHOWROOM
TOTAL PORTION OF BUILDING ASSIGNED TO SILICON VALLEY AUTO:	3340 S.F.
(SHOWROOM AREA):	2905 S.F.

VICINITY MAP



REVISIONS	BY
30 AUG. 06	MM

THE PLANS, IDEAS AND DESIGN HEREIN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNER SOLELY FOR THE PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE HOUSE OF HAWS.

House of Haws Inc.

Ervin Lavon Haws - Designer
3061 Colusa Way, San Jose, CA 95130
(408) 374-3939 Fax (408) 374-4073

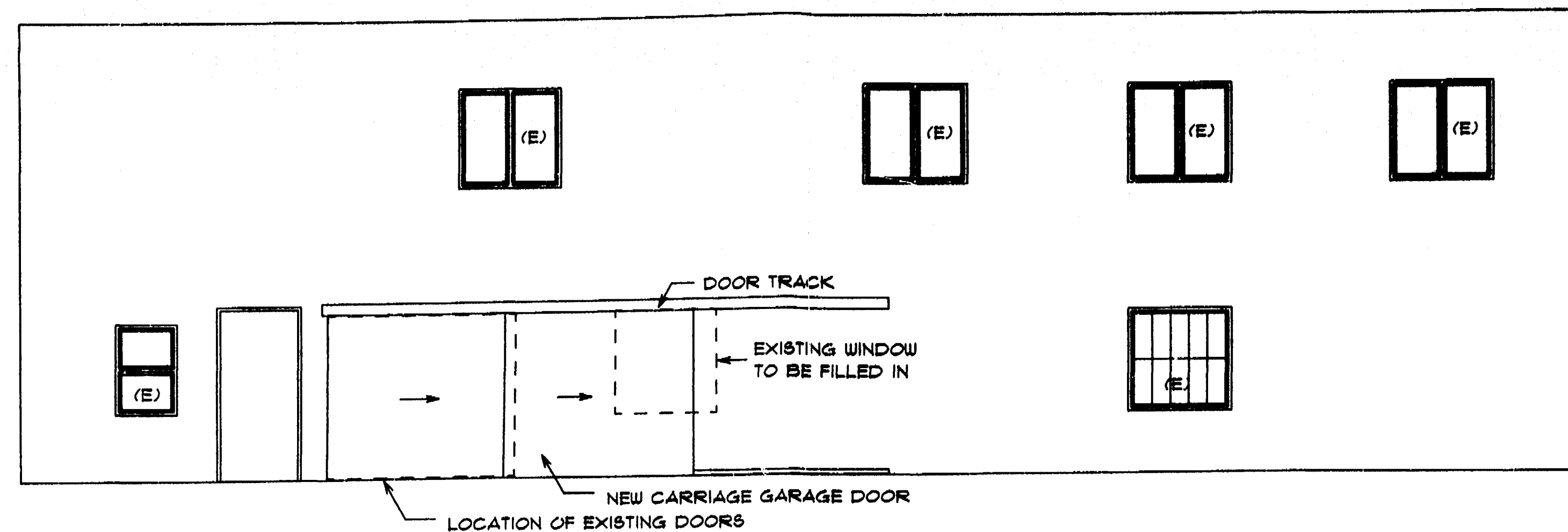
A Showroom For: Silicon Valley Auto

301 N. Santa Cruz Ave. Los Gatos, CA

DRAWN	MM
CHECKED	ELH
DATE	8 AUG. 06
SCALE	1/4" = 1'-0"
JOB NO.	0424
SHEET	1

1/4" EXISTING FLOOR PLAN

Z



1/4" REAR ELEVATION



20% RULE Accessibility for Existing Buildings 2001 CBC Sec 1134b 2.1 EX1

1. 20% rule applies to a valuation threshold under \$113,586.07 (revised 01/06)

- Actual work of project shall comply with full accessibility
- Full compliance creates unreasonable hardship, will apply for unreasonable hardship
- Will provide a maximum amount of 20% of cost of construction for the following prioritized accessibility features in the following order:
 - accessible entrance
 - accessible route to altered area (including parking and path of travel from public sidewalk)
 - accessible restrooms
 - accessible telephones
 - accessible drinking fountains
 - additional accessible elements

2. Valuation threshold over \$113,586.07 (revised 01/06)

- Plans show full accessibility compliance

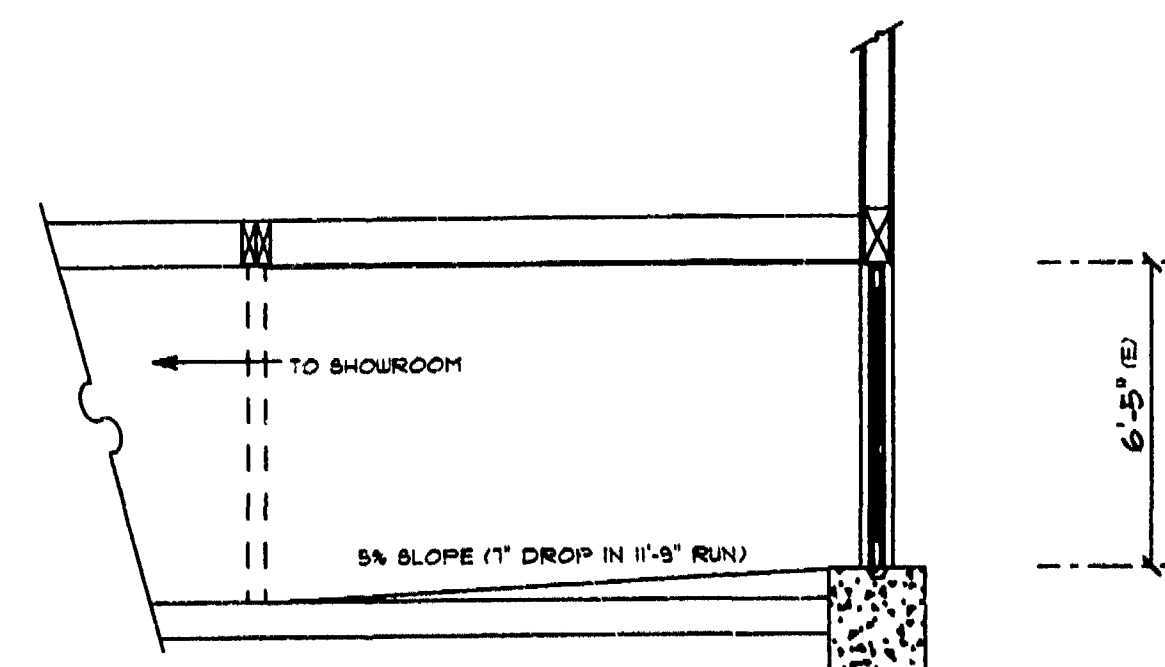
A. Cost of proposed project	\$ 25,000
B. Total amount spent on other projects at this tenant space within the past 3 years	\$ 75,000
C. Total Cost (Line A + Line B)	\$ 100,000
D. If (Line C) is over \$113,586.07 then full accessibility required	
E. If (Line C) is less than the valuation threshold of \$113,586.07, then 20% of Line A is the <u>minimum</u> amount required to be spent for accessibility compliance. 20% x Line A = \$	5,000

20% Upgrade Expenditures (Detailed cost of construction)	
1. new front door	\$ 6,000
2.	\$
3.	\$
4.	\$
Total Expenditure Greater or Equal to line (E)	\$ 6,000

Projects limited to heating, ventilation, air conditioning, re-roofing, and cosmetic work that does not affect items regulated by code (i.e., painting) are exempt from accessibility upgrades.

1/2\"/>

1/2\"/>

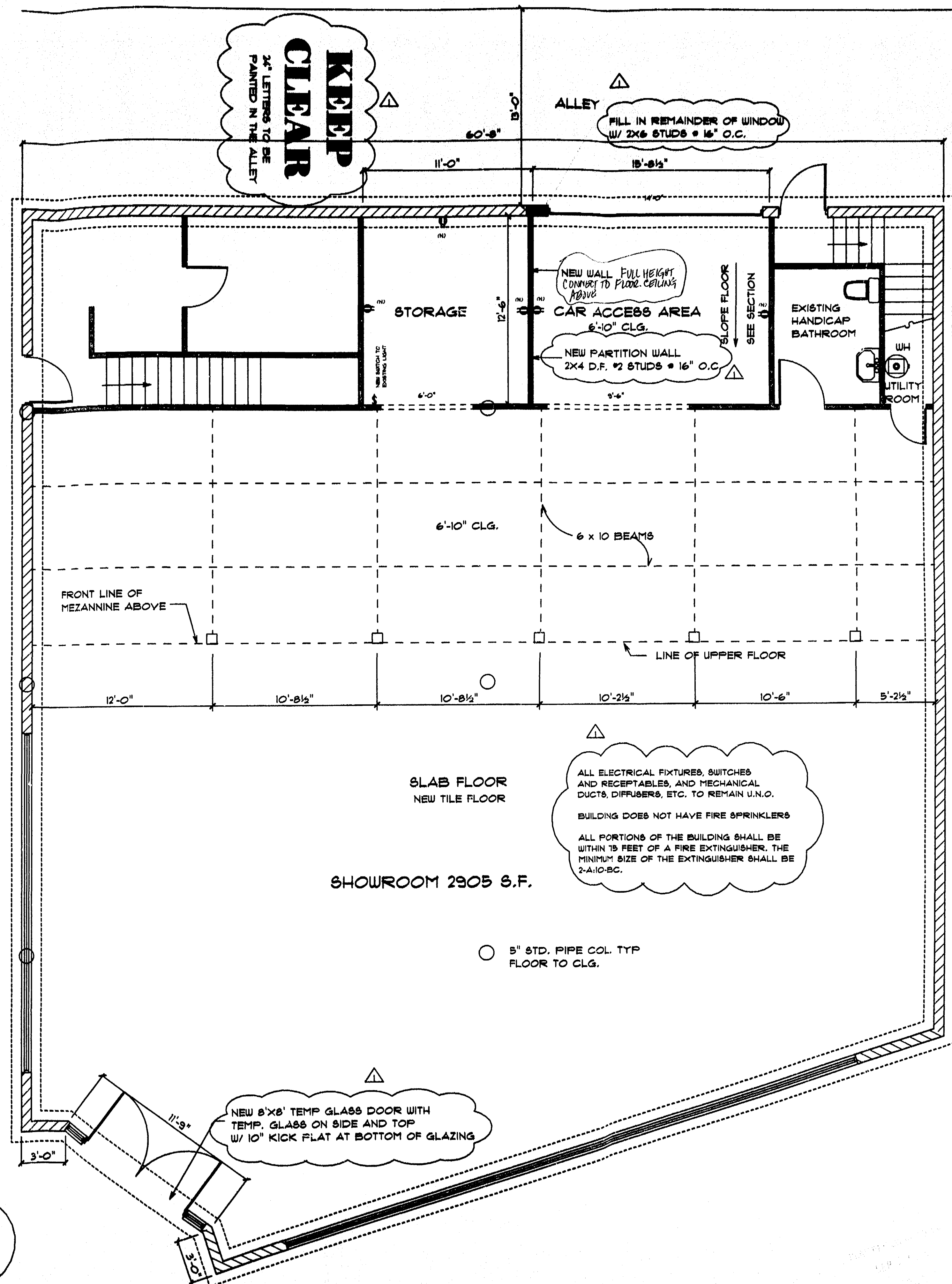


PARTIAL SECTION AT REAR DOOR

GLAZING (1) WITH 24 INCHES OF EITHER SIDE OF ANY DOOR
(2) GREATER THAN 9 SQ.FT IN AREA WITH BOTTOM EDGE LESS THAN 18\"/>

EXIT DOOR SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. MANUALLY OPERATED EDGE OR SURFACE MOUNTED FLUSH BOLTS AND SURFACE BOLTS SHALL NO BE USED ON EXIT DOORS.

FRONT DOORS TO REMAIN UNLOCKED DURING BUSINESS HOURS



1/4" NEW FLOOR PLAN

REVISIONS	BY
30 AUGUST 06	MM

THE PLANS, IDEAS AND DESIGNS SHOWN ON THESE DRAWINGS ARE THE PROPERTY OF THE DESIGNER. DESIGNED SOLELY FOR THIS PROJECT. PLANS SHALL NOT BE USED, WHOLE OR IN PART, FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE HOUSE OF HAWS.

House of Haws Inc.

Ervin Lavon Haws - Designer

2067 Colma Way, San Jose, Ca. 95130
(408) 314-3333 Fax (408) 314-4073

A Showroom For:
Silicon Valley Auto

301 N. Santa Cruz Ave., Los Gatos, CA

DRAWN	MM
CHECKED	BL
DATE	8 AUG. 06
SCALE	1/4\"/>
JOB NO.	0624
SHEET	2



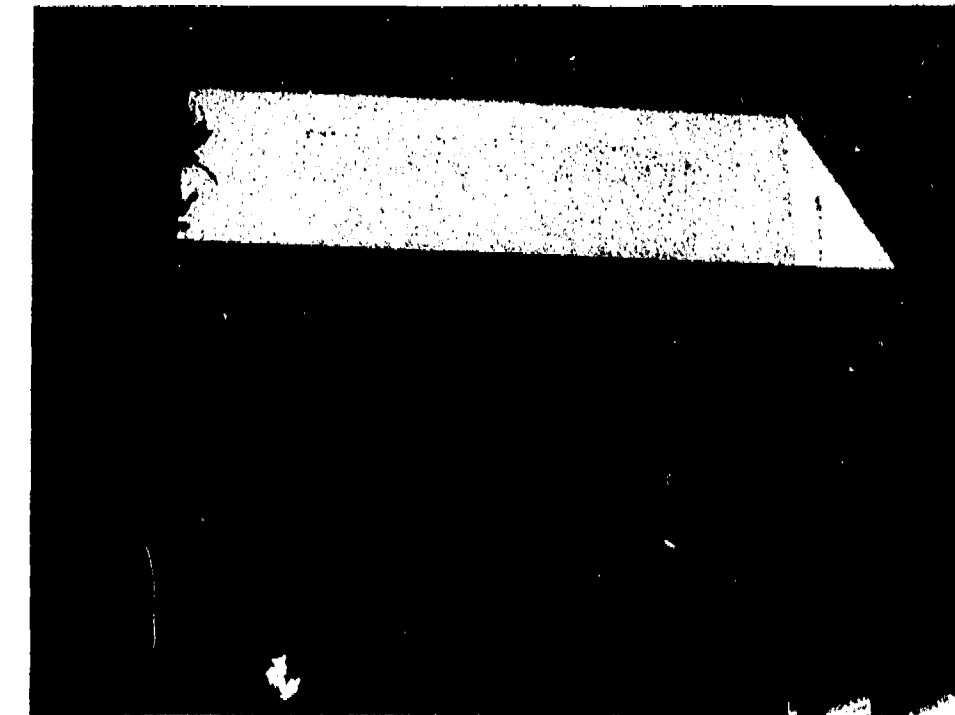
REAR/ALLEY



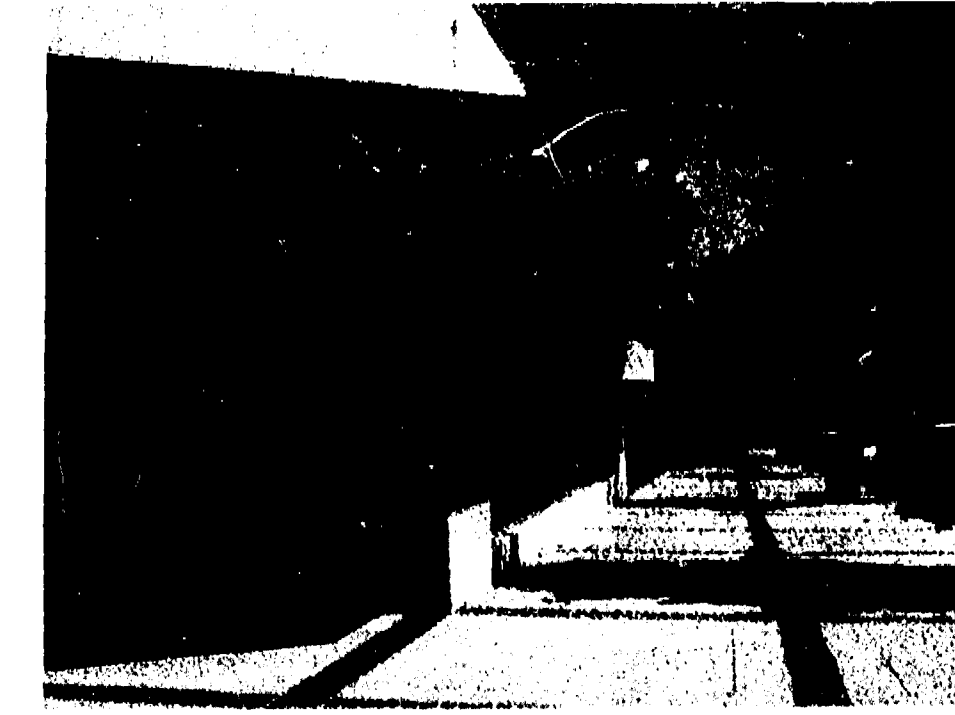
REAR/ALLEY



BACHMAN AVE. SIDE



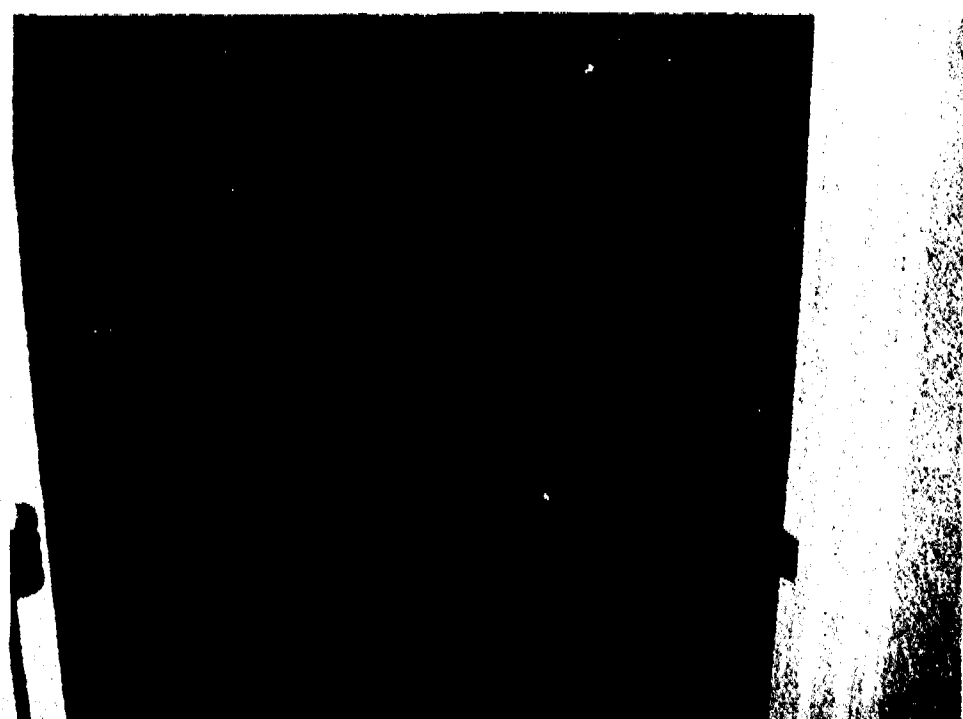
ENTRY
BUILDING ADDRESS NUMBERS MIN. 6" TALL
TO BE ATOP FRONT DOOR TO BE CLEARLY
LEGIBLE FROM THE ADJACENT STREETS,
AND W/ CONTRAST TO THE BACKGROUND.



ENTRY & SANTA CRUZ. SIDE



UTILITY CLOSET



HANDICAP BATHROOM



INTERIOR FACING SANTA CRUZ AVE.



INTERIOR/MEZZANINE



INTERIOR FACING ENTRY

EXISTING PICTURES

REVISIONS	BY

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House of Haws Inc.
Ervin Lavon Haws - Designer
2061 Colma Way San Jose, CA 95120
(408) 374-3533 Fax (408) 374-4073

Michelle H.

A Showroom For:
Silicon Valley Auto
301 N. Santa Cruz Ave. Los Gatos, CA

DRAWN
MM
CHECKED
BLH
DATE
8 AUG. 06
SCALE
JOB NO.
0634
SHEET
3
OF 8-SHETS

**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING PERMIT**

Permit Number: B06-0131

Work Description: T/I FOR RESTAURANT "JAMES RANDALL" 400 SF

Building Address: 303 N SANTA CRUZ AV LG

Status: PC COMPL

Applied: 03/02/2006

Issued:

Approved:

Expires: 03/02/2007

OWNER MILLEN BERT D; GLORIA P TRUST 03/02/2006 Phone: 408-891-0809

18364 OAK DR
MONTE SERENO, CA
95030

CONTRACTOR License: OWNER/BUILDER 05/16/2006 Phone:
SAME

TENANT License: 000000
RESTAURANT JAMES RANDALL 03/13/2006 Phone: 408-621-0330

303 N SANTA CRUZ AV
LOS GATOS CA
BRENDA HAMMOND
FAX: 408-395-353-1594 95030

ARCHITECT License: STOWERS GREGORY 03/02/2006 Phone: (408) 358-5488

STOWERS ASSOCIATES ARCHITECTS
15195 LOS GATOS BL STE 1
LOS GATOS CA 95032
License: C26712

Valuation: \$58,852.00
Total Sq. Ft.: 400 Liveable Sq. Ft.: 0
Class Code: 437 Bldg Count: 1 House Count: 0

Description	Tot Fee
Building Permit Fees	797.41
Building Plan Check Fees	497.52
Computer Services Fee	30.62
Microfilm Fees - Bldg.	27.50
Microfilm Fees - Plng.	137.50
Planning Plan Check Fees	153.08
Road Impact Fee	16.00
Seismic Tax 5%	.29
Seismic Tax 95%	5.60
Title 24 Fees	114.81
Total Calculated Fees:	\$1,780.33
Total Additional Fees:	\$0.00
Total Fees Due:	\$1,780.33
Total Payments:	\$703.50
Balance Due:	\$1,076.83

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class License No. Exp. Date Contractor Name

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's State License Law for the following reason: (Sec. 7031.5, Business and Professions Code)

(X) I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code).

() I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code).

() I am exempt under Sec. B & P.C. for this reason

WORKER'S COMPENSATION DECLARATION

I hereby affirm under penalty of perjury one of the following declarations:

(X) I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

() I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier Policy No.

(X) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name Lender's Address

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent

Date 5/15/06

5/16/06

**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
ELECTRICAL PERMIT**

Permit Number: **E06-113**

Work Description: **T/I FOR RESTAURANT "JAMES RANDELL" 680 SF**

Building Address: **303 N SANTA CRUZ AV LG**

Applied: **03/02/2006**

Approved:

Status: **APPLIED**

Issued:

Expired:

OWNER **MILLEN BERT D; GLORIA P TRUST** 03/02/2006 Phone: 408-891-0809

18364 OAK DR
MONTE SERENO, CA
95030

License:

CONTRACTOR **OWNER/BUILDER**
SAME

05/16/2006 Phone:

TENANT License: 000000

RESTAURANT JAMES RANDALL

03/13/2006 Phone: 408-621-0330

303 N SANTA CRUZ AV

LOS GATOS CA

BRENDA HAMMOND

FAX: 408-395-353-1594 95030

License:

ARCHITECT **STOWERS GREGORY**

03/02/2006 Phone: (408) 358-5488

STOWERS ASSOCIATES ARCHITECTS

15495 LOS GATOS BL STE 1

LOS GATOS CA 95032

License: C26712

--Square Footage--

New Residence: 0

Remodel: 0

Commercial: 0

Description	Tot Fee

Building Plan Check Fees	29.25
Electical Permit Fees	149.00

Total Calculated Fees:	\$178.25
Total Additional Fees:	\$0.00
Total Fees Due:	\$178.25
Total Payments:	\$0.00
Balance Due:	\$178.25

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ Lic. No. _____ Exp. Date _____ Contractor Name _____

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractor's State License Law for the following reason: (Sec. 7031.5, Business and Professions Code)

(X) I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code).

() I, as owner of the property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code).

() I am exempt under Sec. _____, B.& P.C. for this reason _____

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() I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____

(X) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

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CONSTRUCTION LENDING AGENCY: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name _____ Lender's Address _____

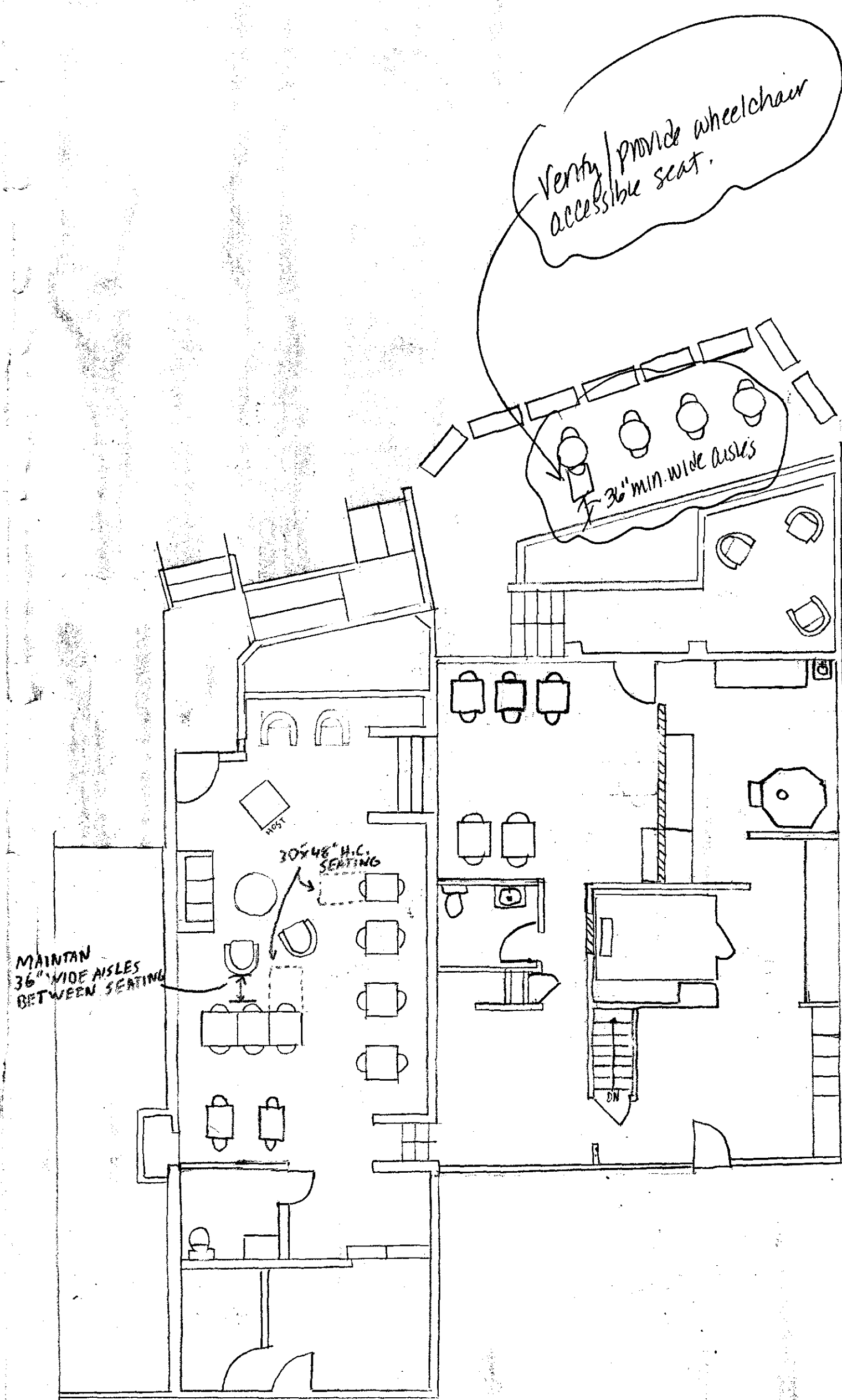
I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant or Agent _____

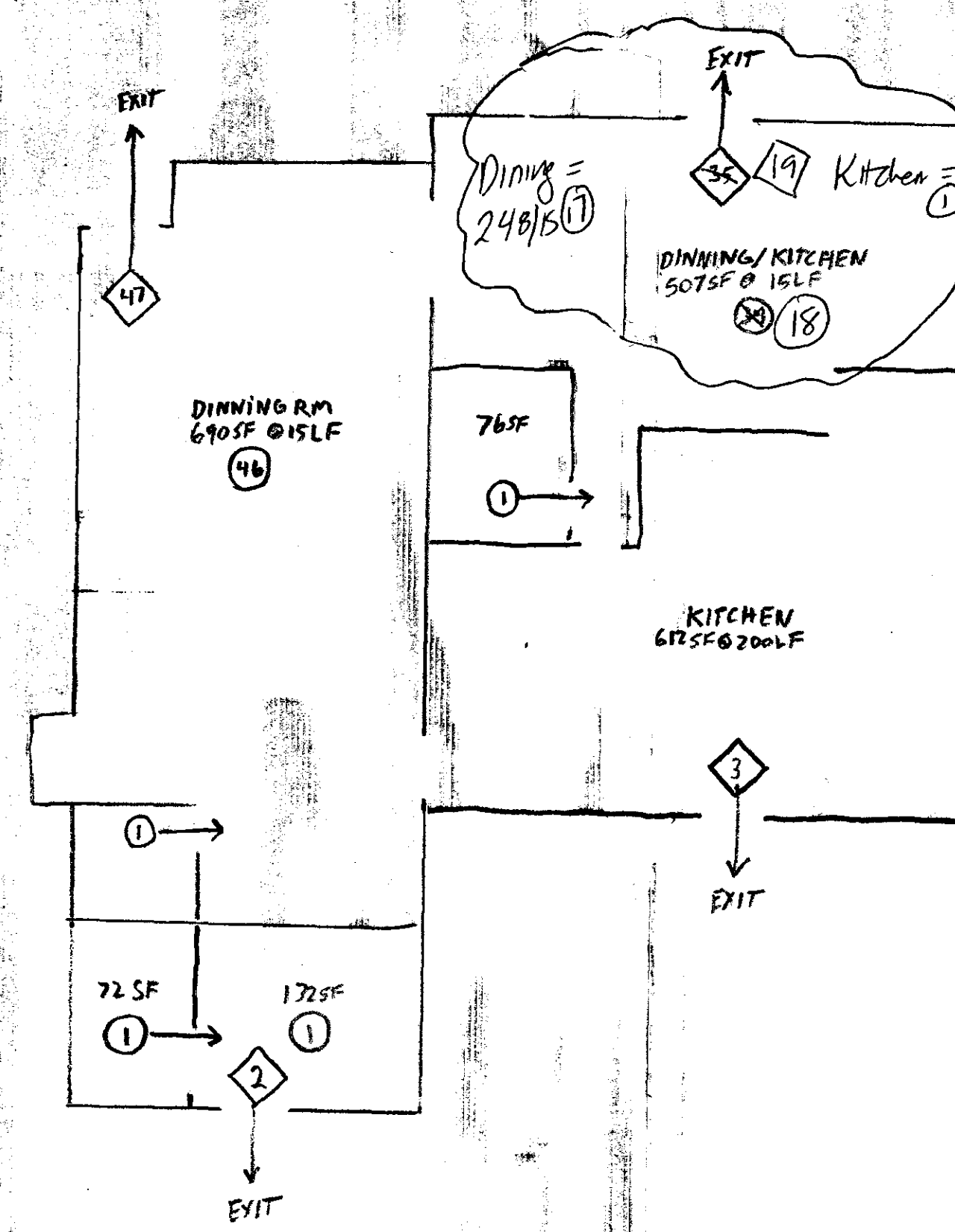
Date **5/15/06**

NOTICE:

1. Signs are regulated. See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, shoestring lighting is not permitted.



① PROPOSED SEATING PLAN
SCALE 1/8" = 1'-0"

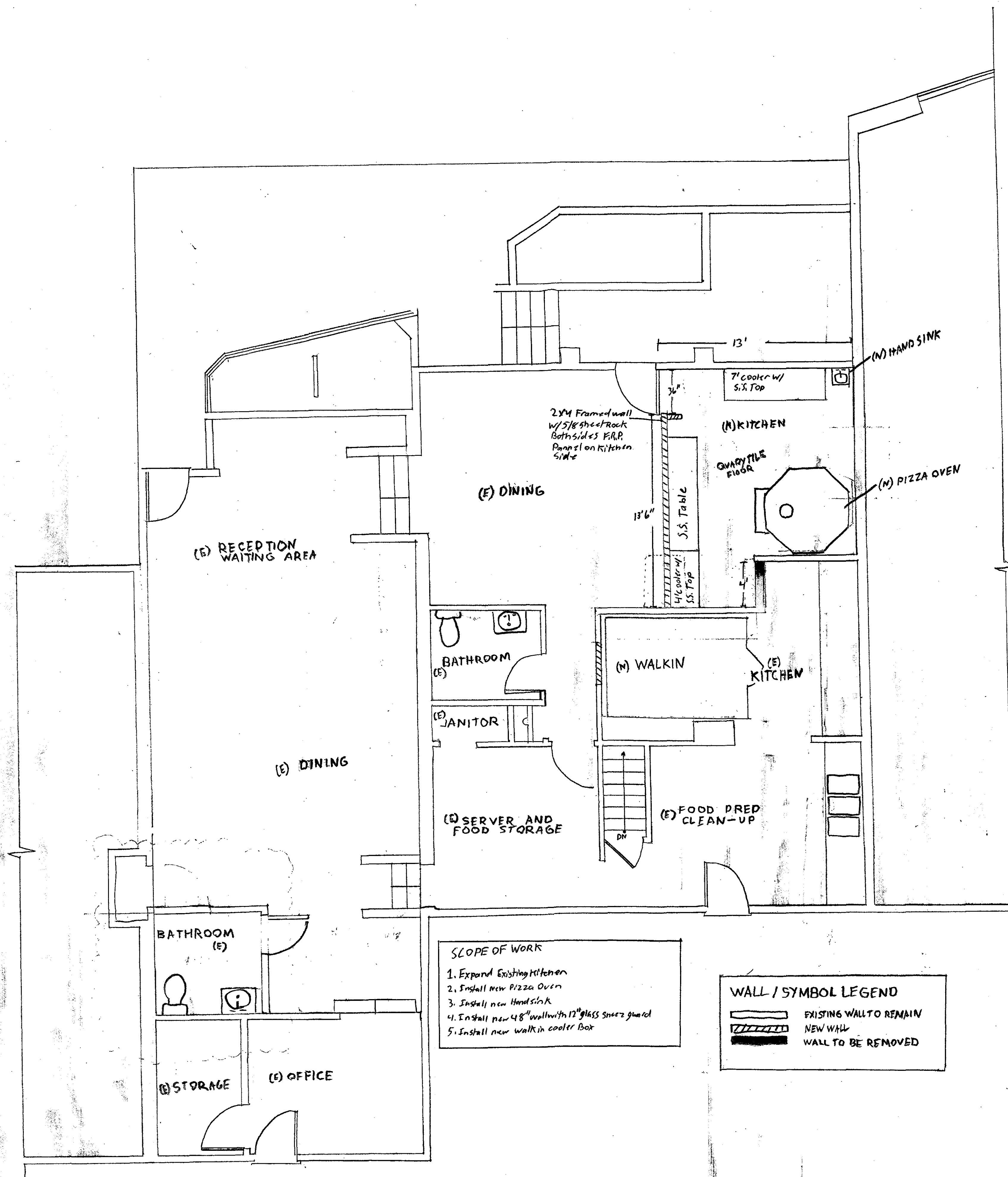


② OCCUPANT LOAD DIAGRAM
SCALE 1/8" = 1'-0"

COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
THESE PLANS HAVE BEEN APPROVED AS
SHOWN. ANY MODIFICATION TO WHAT HAS
BEEN PROPOSED OR TO WHAT IS SHOWN AS
EXISTING MAY REQUIRE A SEPARATE
APPROVAL.
JFS 4 Sept. '13

PLAN REVIEW APPROVAL
SEP 3 2013
TOWN OF LOS ANGELES
BUILDING DIVISION

SEATING PLAN



COMMUNITY DEVELOPMENT
PLANNING DIVISION
APPROVED
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING MAY REQUIRE A SEPARATE APPROVAL.
JF 4 Sept. '13

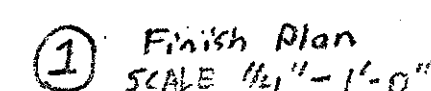
- SCOPE OF WORK
1. Expand Existing Kitchen
 2. Install new Pizza Oven
 3. Install new Hand Sink
 4. Install new 4'8" wall with 12" glass sneeze guard
 5. Install new walkin cooler box

WALL / SYMBOL LEGEND

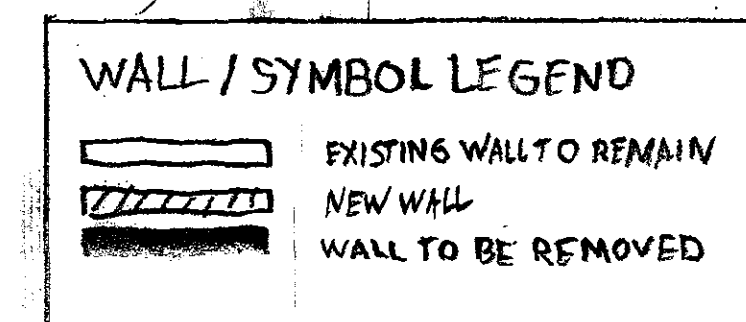
	EXISTING WALL TO REMAIN
	NEW WALL
	WALL TO BE REMOVED

PLAN REVIEW APPROVAL
SEP 3rd 2013
TOWN OF LOS GATOS
BUILDING DIVISION

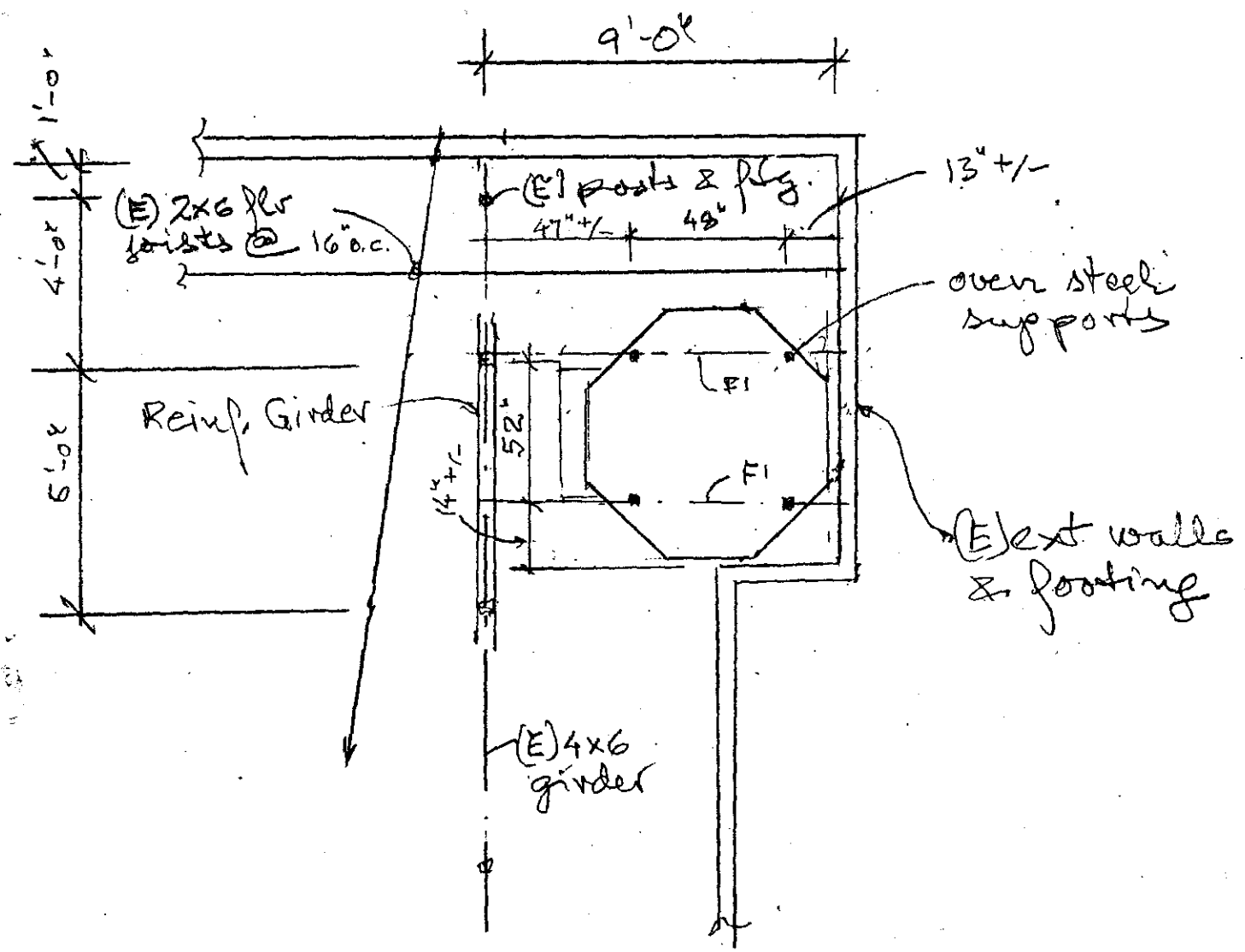
1 PROPOSED FLOOR PLAN
SCALE 1/4" = 1'-0"



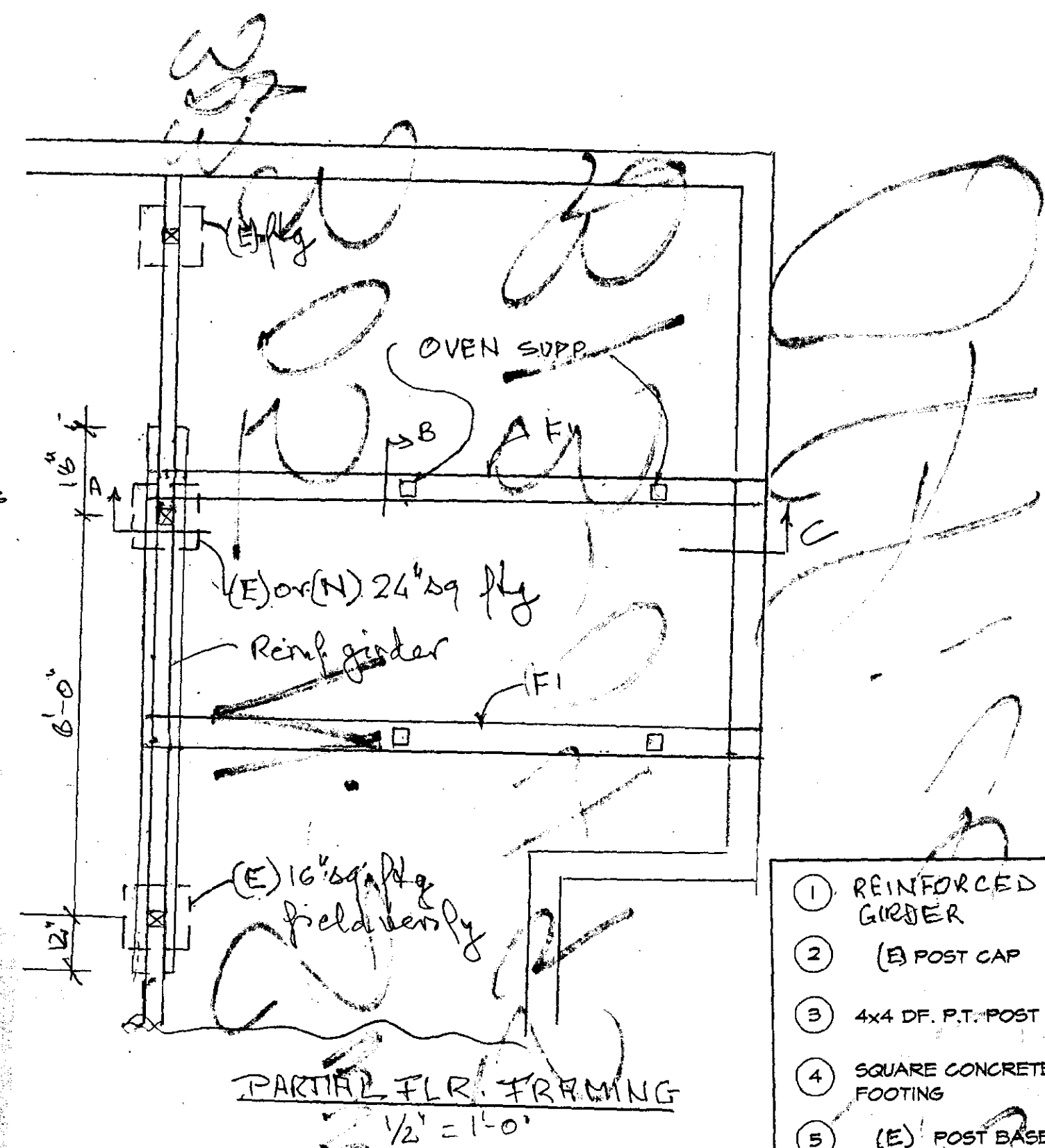
1. PLUMBING FIXTURES AND PIPING TO BE LISTED BY AN APPROVED LISTING AND TESTING AGENCY AND PROPERLY LABELED
CPC 301.1.1
2. PLUMBING SYSTEM TO CONFORM TO 2010 CALIFORNIA PLUMBING CODE
CPC 310.4
3. ALL WATER LINES WILL BE COPPER
4. ALL DWV WILL BE ABS
5. MINIMUM OF 2% SLOPE AT ALL HORIZONTAL DRAIN PIPE
6. NEW RECEPTACLE OUTLETS INSTALLED MINIMUM 15" MAX 42" ABOVE FLOOR
7. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY NATIONALLY RECOGNIZED TESTING LAB AND PROPERLY LABELED



Health M.E.P. PLAN



OVEN LOCATION
1/4" = 1'-0"

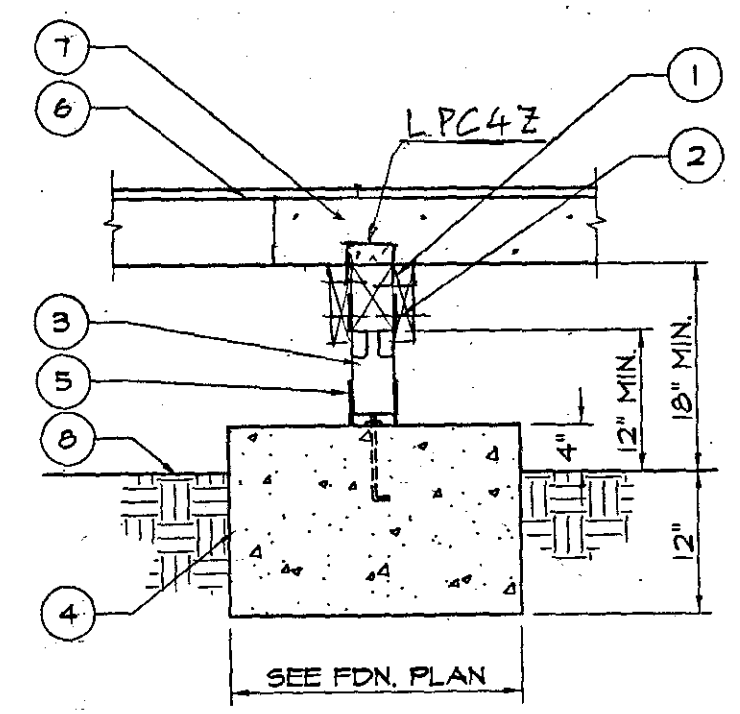


STRUCTURAL MEMBERS & CONNECTIONS CHART

IDENT.	DESCRIPT.	SIZE	MATERIAL	CONNECTIONS	SUPPORTS	REMARK
REINF. GIRDER	B EAM	(2) 1 3/4 X 7 1/4	MICROLLAM 1.9E	DET. A SDS25312 @ 8" FROM BOTH SIDES	4X4 POST	SCABBED ON BOTH SIDES OF (E) GIRDER
F1	BEAM	5 1/4 X 7	PARALLAM 2.0E	DET. A, C, LPC4Z & (2) A35	REINFORCED GIRDER	ABOVE GIRDER, INSTALLED FLAT

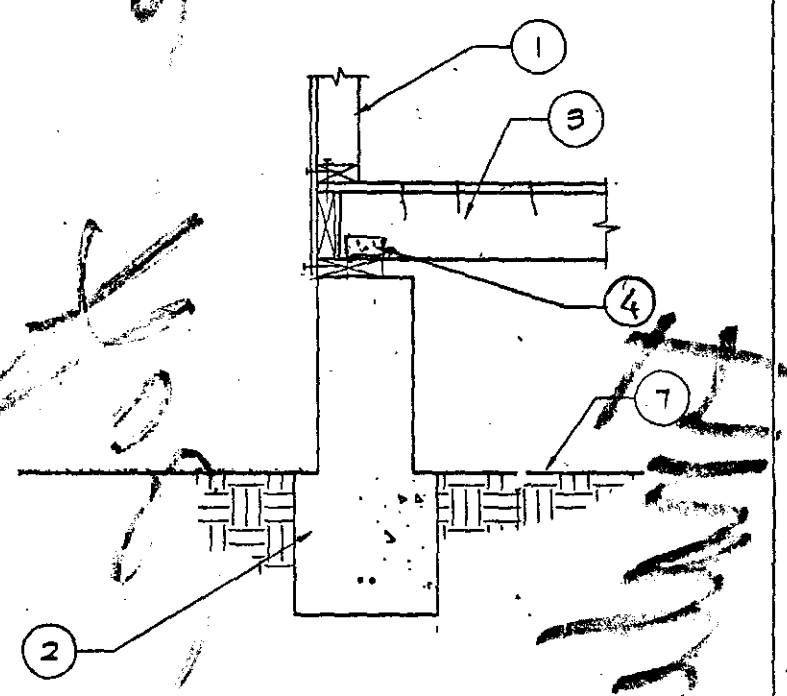
NOTE: ALL POSTS SPECIFIED IN THIS CHART, MUST BE DF#2 OR BETTER.

- 1 REINFORCED GIRDER
- 2 (E) POST CAP
- 3 4x4 DF. P.T. POST
- 4 SQUARE CONCRETE FOOTING
- 5 (E) POST BASE
- 6 (E) FLOOR CONSTRUCTION
- 7 BM. F1
- 8 PAD GRADE

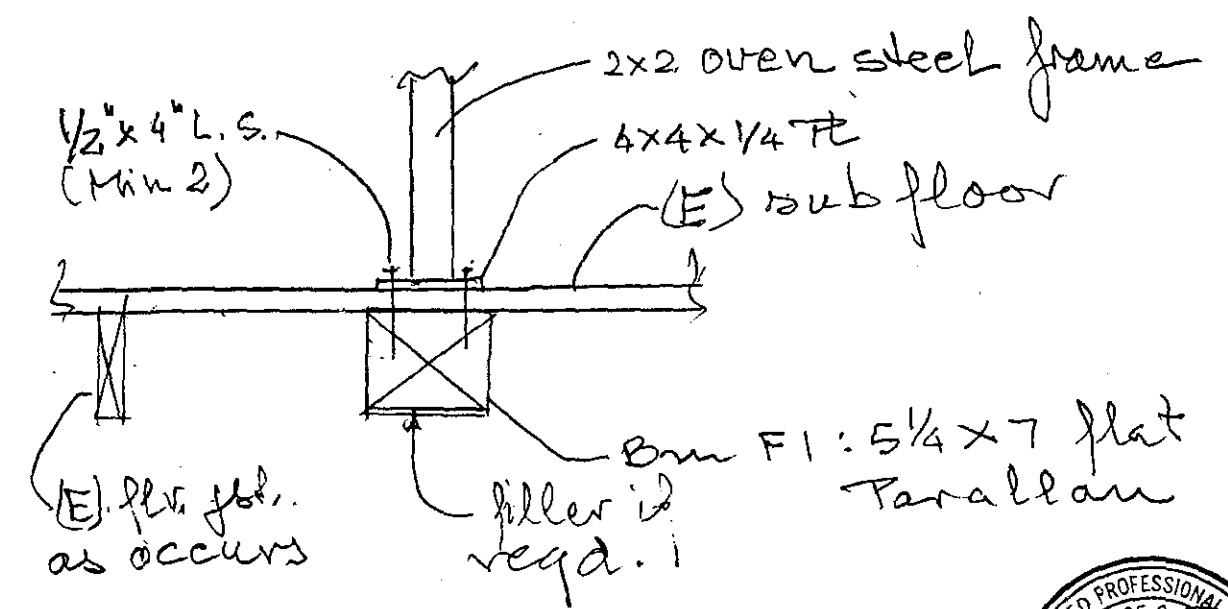


INTERIOR FOOTING

- 1 STUD WALL
- 2 (E) FOOTING
- 3 BEAM F1 NAILED FROM TOP W/ 12D @ 8" o.c.
- 4 A35 BOTH SIDES
- 7 PAD GRADE



BERM F1 @ (E) FOOTING



SECT. @ OVEN LEG



3000 SCOTT BLVD STE 108
SANTA CLARA, CA 95054
PHONE: 408.955.0330
FAX: 408.955.2015

ALL STRUCTURAL
CONSULTING ENGINEERS INC.

PIZZA OWEN SUPPORT
303 N SANTA CRUZ AV
LOS GATOS, CA

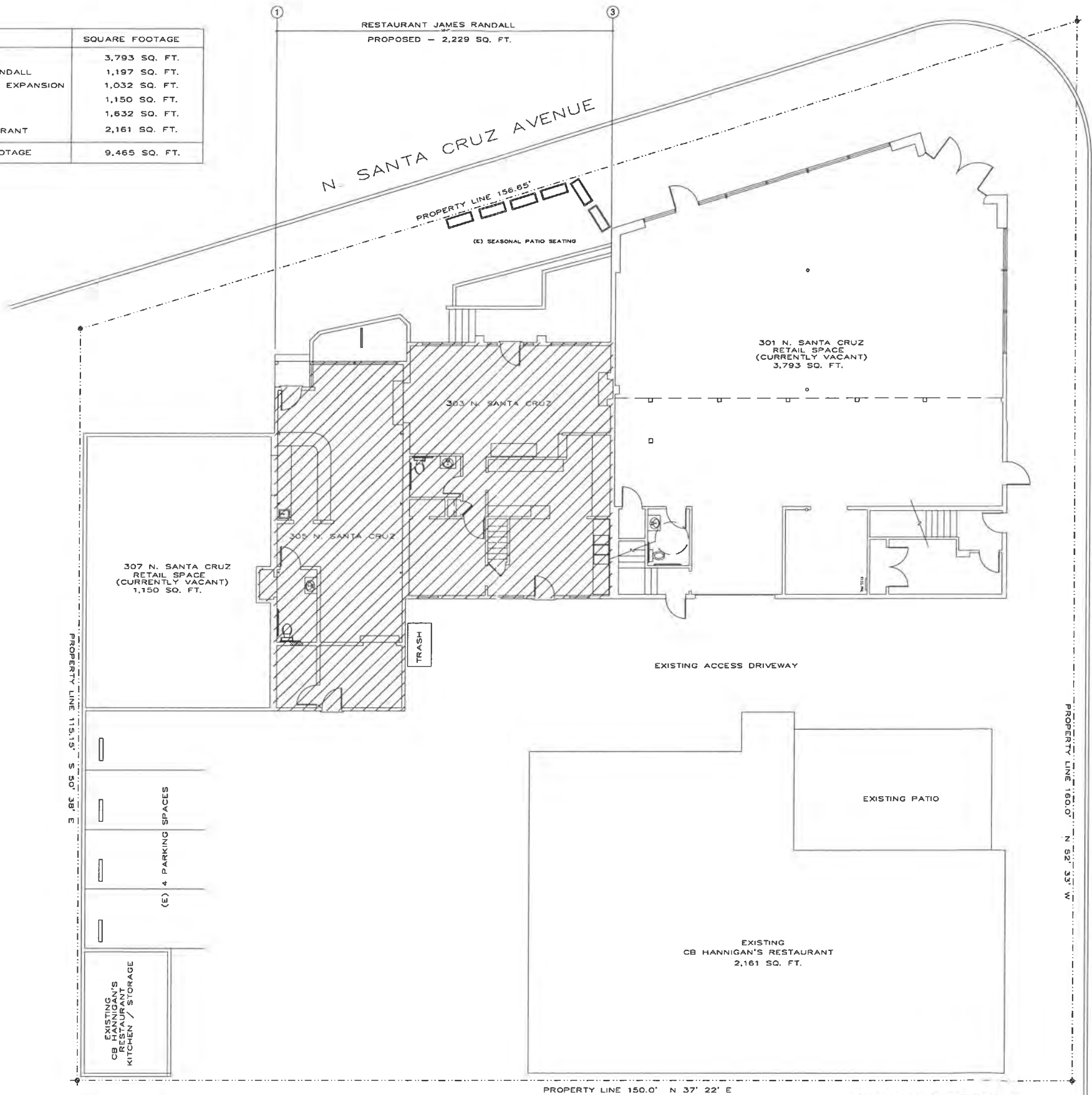
MARIO CAVILLIA

DATE: 07/11/13
SCALE: SCALE
DRAWN: BD
JOB: 13048
SHEET: S-1

[illegible]

TABLE OF ADJACENT USES ON SUBJECT PROPERTY:

ADDRESS	USE	SQUARE FOOTAGE
301 N. SANTA CRUZ AVENUE	RETAIL (VACANT)	3,793 SQ. FT.
303 N. SANTA CRUZ AVENUE	RESTAURANT JAMES RANDALL	1,197 SQ. FT.
305 N. SANTA CRUZ AVENUE	PROPOSED RESTAURANT EXPANSION	1,032 SQ. FT.
307 N. SANTA CRUZ AVENUE	RETAIL (VACANT)	1,150 SQ. FT.
204 BACHMAN (ABOVE 301)	OFFICE (BERT MILLEN)	1,632 SQ. FT.
208 BACHMAN AVENUE	CB HANNIGAN'S RESTAURANT	2,161 SQ. FT.
	TOTAL SITE SQUARE FOOTAGE	9,465 SQ. FT.



1 SITE PLAN
SCALE: 1/8" = 1'-0"

ARCHITECT



**STOWERS
ASSOCIATES
ARCHITECTS
INC.**

GREG STOWERS, AIA

15495 LOS GATOS BLVD., STE 1
LOS GATOS, CA 95032

WWW.STOWERSASSOCIATES.COM

PHONE: 408.358.5488
CELL: 408.405.6048
FAX: 408.358.5490

PROJECT

RENOVATION / EXPANSION OF

**Restaurant
James
Randall**

Existing Restaurant

303 North Santa Cruz Avenue
Los Gatos, California 95030

Expansion Into

305 North Santa Cruz Avenue
Los Gatos, California 95030

ISSUE DATE

PLANNING RESUBMITTAL 05.25.2010

PLANNING RESUBMITTAL 06.15.2010

STAMP

OWNERSHIP AND USE OF DOCUMENT
All drawings, specifications and contract documents are the property of Stowers Associates Architects Inc. and shall remain the property of Stowers Associates Architects Inc. No part of these documents shall be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Stowers Associates Architects Inc. The user of these documents shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these documents shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user of these documents shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities.

JOB NO. 2010.05

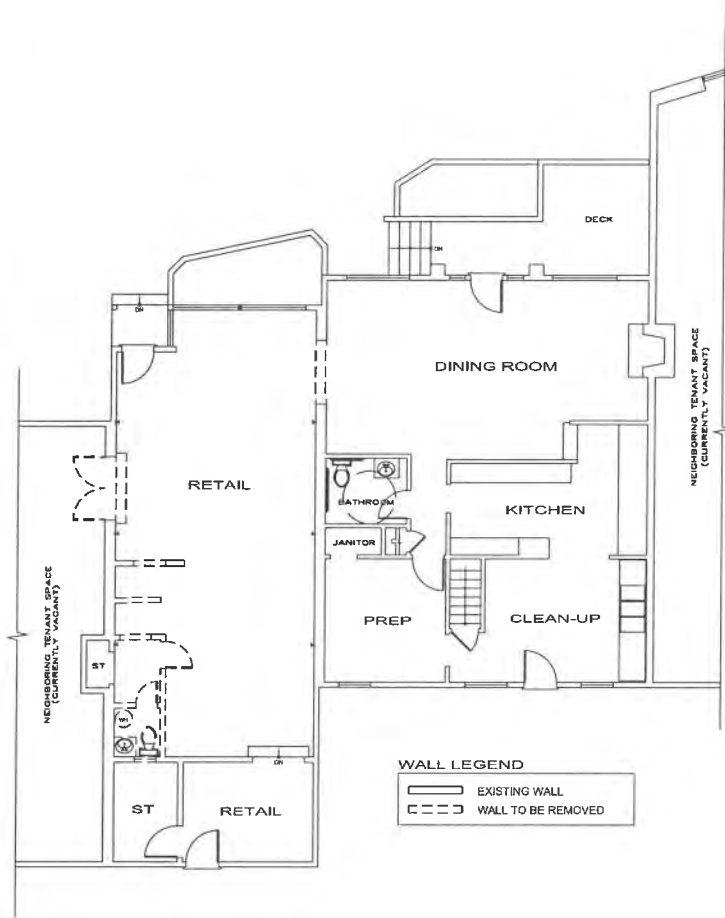
DRAWN BY GTS

SCALE AS NOTED

SITE PLAN



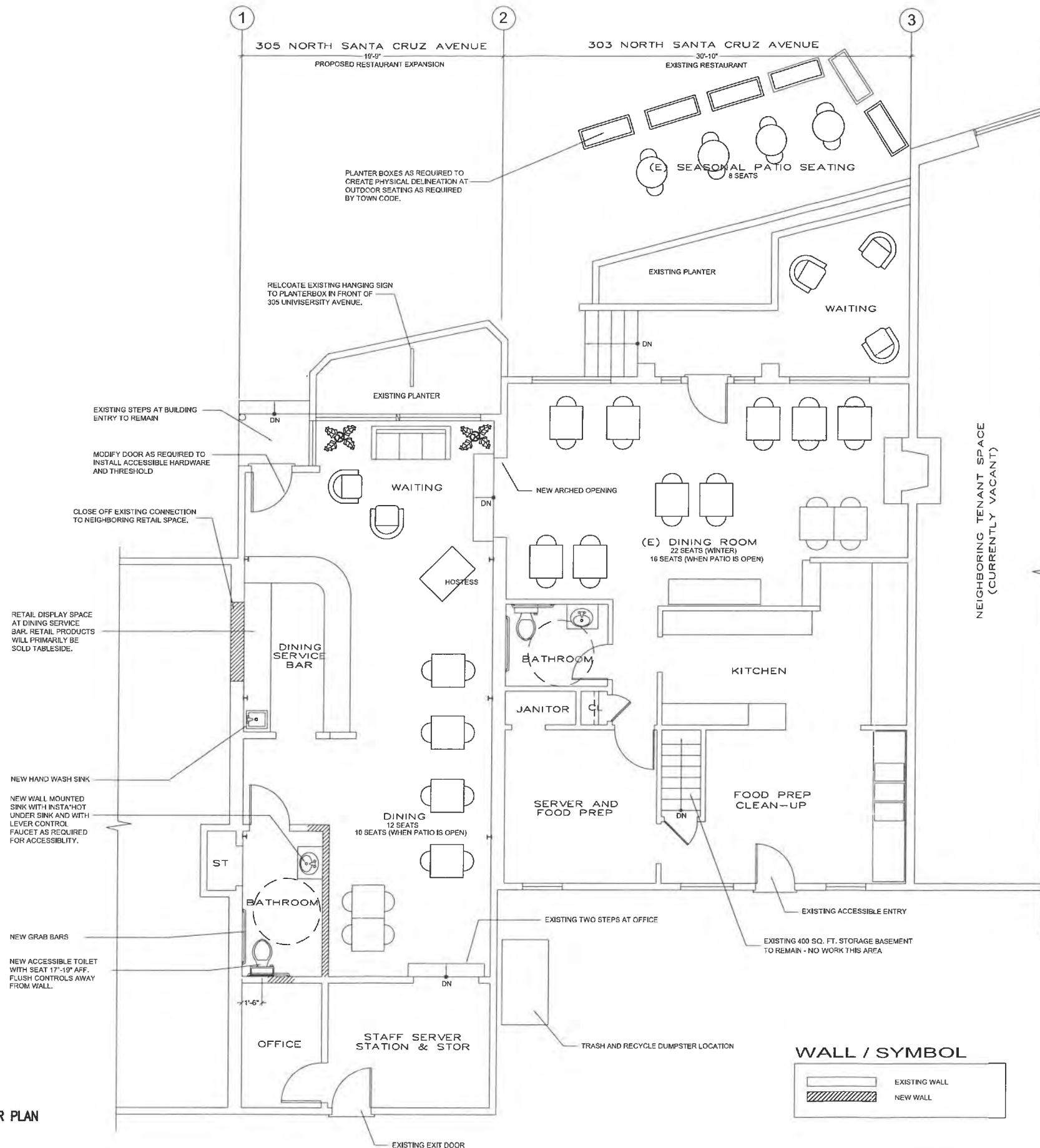
A1.1



2 EXISTING / DEMO PLAN
SCALE: 1/8" = 1'-0"

WALL LEGEND
— EXISTING WALL
--- WALL TO BE REMOVED

1 PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"



WALL / SYMBOL

— EXISTING WALL
--- NEW WALL

ARCHITECT



STOWERS
ASSOCIATES
ARCHITECTS
INC.

GREG STOWERS, AIA

15495 LOS GATOS BLVD., STE 1
LOS GATOS, CA 95032

WWW.STOWERSASSOCIATES.COM

PHONE: 408.358.5488

CELL: 408.408.6048

FAX: 408.358.5490

PROJECT

RENOVATION / EXPANSION OF

Restaurant
James
Randall

Existing Restaurant

303 North Santa Cruz Avenue
Los Gatos, California 95030

Expansion Into

305 North Santa Cruz Avenue
Los Gatos, California 95030

ISSUE	DATE
PLANNING SUBMITTAL	05.05.2010
PLANNING RESUBMITTAL	05.25.2010
PLANNING RESUBMITTAL	06.15.2010

STAMP

OWNERSHIP AND USE OF DOCUMENT
All drawings, specifications and details shall remain the property of Stowers Associates Architects Inc. and shall not be used for any other project. Stowers Associates Architects Inc. shall not be responsible for any errors or omissions in any drawings, specifications or details. Stowers Associates Architects Inc. shall not be responsible for any errors or omissions in any drawings, specifications or details.

JOB NO. 2010.05

DRAWN BY GTS

SCALE AS NOTED

FLOOR PLAN



A2.1

305 NSC Ave

TOWN OF LOS GATOS

No 1335 B

Building Inspection Department
Phone Elgato 4-4520

BUILDING PERMIT

Location

305 1/2 N Santa Cruz Ave

Lot

Block

Tract

Street

Setbacks ft.

Zone

Front

Side () ()

Rear

Data

2 - 1

Is hereby granted in accordance with application to

Build
Remodel
Add to
Move

No.

1 Story

Family Residence and

or

5 Story

Other Type Structure

Occupancy

Owner

Contractor

Valuation

RECEIPT for

as inspection fee is hereby acknowledged

Town of Los Gatos Building Inspection Department

By

ELECTRICAL, PLUMBING AND GAS PERMITS ARE REQUIRED
IN ADDITION TO THIS PERMIT

INSPECTION RECORD

	DATE	INSPECTOR
FOOTINGS		
FOUNDATION FORMS		
POUR NO CONCRETE UNTIL ABOVE HAS BEEN SIGNED		
BOND BEAM (CONC. BLK.)		
ROUGH PLBG.	PARTIAL	
	COMPLETE	
GAS PRESSURE		
ROUGH FRAME (INCLUDES FLUES, ROOF & SIDING)		
DO NOT WIRE UNTIL ABOVE HAS BEEN SIGNED		
ROUGH WIRING		
COVER NO WALLS UNTIL ABOVE HAS BEEN SIGNED		
STUCCO WIRE & LATH		
PLUMBING FIXTURES		
GAS APPLIANCES		
ELECTRICAL FIXTURES		
BUILDING COMPLETE		

No Utilities Will Be Cleared Until
(Building Complete) Has Been Approved

APPLICATION FOR BUILDING PERMIT

DATE Jan 5 1950

The undersigned herewith makes application for the

Alteration of 1 Story
Stucco Building, of
 Type Construction, basement, to be used and

occupied as Business Shop
 Foundation to be as is
 With a footing of in. in. top and in. high
 Outside walls to be as is

Interior to be SameThe roof will be Samesupported SameWill be heated by with flueEstimated value, \$ 500

.....hereby agree to save, indemnify and keep harmless the Town of Los Gatos
 against all liabilities, judgments, costs and expenses which may in any wise accrue
 against said city in consequence of the granting of this permit or from the use or oc-
 cupancy of any sidewalk, street, or sub-sidewalk place by virtue thereof, and will in
 all things strictly comply with the conditions of this permit.

Owner C. M. Jensen Address 307 Monte Carlo LnArchitect "Contractor SelfInspector's File No.
No. 1002Department of
Building & InspectionBUILDING PERMIT
TOWN OF LOS GATOS

PERMIT is herewith granted to

on 307 Monte Carlo Lnfor in accordance with plans and specifications
approved, and now on file in this office.Receipt for Dollars,

as fee, is hereby acknowledged.

Dated Jan 5 1950

Inspector

110 E. CHERRY ST., LOS GATOS, CA 95030
POLICE INVESTIGATION DEPARTMENT • PHONE 364-0870

100-211081 100-211082 100-211083 100-211084

1

CHASING PERRYMAN FORM. 4/28/84 [Signature]

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**REQUEST FOR REVIEW
HISTORIC PRESERVATION COMMITTEE**

TOWN OF LOS GATOS - COMMUNITY DEVELOPMENT DEPARTMENT
110 E MAIN STREET, LOS GATOS, CA 95030
PLANNING@LOSGATOSCA.GOV
408-354-6872

PLEASE SUBMIT APPLICATION WITH ALL REQUIRED DOCUMENTS VIA THE CITIZEN'S PORTAL:
<https://permits.losgatosca.gov/Login-and-Manage-My-Records>

PLEASE TYPE OR PRINT CLEARLY

1. PROPERTY LOCATION:

Address of subject property 301, 303 , 305, 307 N. Santa Cruz Ave.
Zoning: C-2 Property Size: 20,599 ft APN: 510-14-048
Year built: Varies
Existing use: 301-Vacant, 303/305-Restaurant, 307-Yogurt shop

2. APPLICANT REQUEST:

- | | |
|--|---|
| ☐ Determination of Significance | ☒ Removal from Historic Resources Inventory |
| ☐ Preliminary Review | ☐ Demolition |
| ☐ Exterior Modifications Outside of a Historic District | ☐ Other: _____ |

3. APPLICANT:

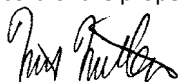
Name Mike Millen (Mng. Member of General Partner) Phone: (408)871-2777
Address 204 Bachman Ave.
City Los Gatos State CA Zip 95030
Email MillenLP@millen.org

4. NAME OF PROPERTY OWNER: (If same as above, check here ☐)

Name Millen Family Partnership, LP Phone: (408)871-2777
Address 204 Bachman Ave.
City s Gatos State CA Zip 95030
Email MillenLP@millen.org

I hereby certify that I am the owner of record of the property described in Box #2 above, and that I approve of the action requested herein.

SIGNATURE OF OWNER _____



DATE 10/17/22

The information contained in this application is considered part of the public record. Therefore, it will appear in both the public record file for the site address, which is available upon request, and on the permitting system on the official Town of Los Gatos website at www.losgatosca.gov.

MILLEN FAMILY PARTNERSHIP, LP
MICHAEL MILLEN, *MANAGING MEMBER*
204 Bachman Ave. • Los Gatos, CA 95030
(408) 871-2777 [CELL] • E-mail: MikeMillen@aol.com

October 18, 2022

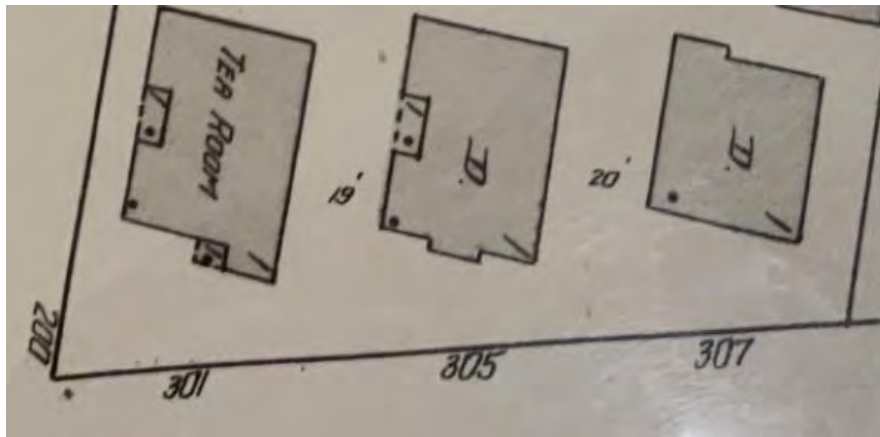
Historic Preservation Committee
Town of Los Gatos
[electronically submitted]

In Re: 301, 303, 305 & 307 N. Santa Cruz Ave.
Request to Remove from Inventory

Dear Historic Preservation Committee:

The owner of the above parcel, Millen Family Partnership, LP, hereby requests that 301, 303, 305 & 307 N. Santa Cruz Ave be officially removed from the Town's historic inventory. All four buildings are on the same parcel of land and form a united complex which, while quite functional, is bereft of historical significance.

What used to be three residences with side yards (as shown by this 1928 Sanborn Map) has become a modern commercial complex which does not belong in the Town's historical inventory.



**THE TOWN HAS PREVIOUSLY FOUND THE CURRENT BUILDING COMPLEX
AS LACKING HISTORICAL SIGNIFICANCE**

The Town previously conducted an evaluation and inventory of this complex. (Exhibit 1.) The Town noted that 301 and 305 had been altered and that the entire complex appeared ineligible for designation due to significant post-1941 alterations. (See Exhibit 1, "Evaluation Sheet".)

October 18, 2022

Page 2

In her historical survey, Architectural Historian Anne Bloomfield confirmed remodeling of the buildings in the 1960s.

This is confirmed in the Historical Evaluation sheet in which Ms. Bloomfield and a Town representative state that 301 and 305 have been altered.

(andwritten in red)
Estimated age 1930s Style Med

D. INTEGRITY

14. Alterations 2 of the 4 shops altered 2 intact

Further, presumably on account of the fact the remodeling was so substantial and so modern, the two agreed that the complex "Appears ineligible for designation".

CUMULATIVE RATING: 3 Appears eligible for National Register.
4 May become eligible for National Register.
5 Appears eligible for local designation.
6 Contributor to district that is any of the above.
7 Non-contributor to the district.
8 Appears ineligible for designation, but older than 1942.
9 Appears ineligible for designation because newer than 1941.

Evaluated by: MB

Date 3-91

Reviewed by: ML

Date 4-16-91

A brief review of each of the four buildings demonstrates the basis for this finding.

301 N. SANTA CRUZ

The current structure at 301 N. Santa Cruz is a cement/plaster building which was built in 1952 as per the building permit. Any residence which was previously at this location was torn down to make way for this cinderblock commercial building.

APPLICATION FOR BUILDING PERMIT

Date June 12 1952

The undersigned herewith makes application for the
Construction of 1 Stor X
Cement block Building, of
Type Construction, no basement, to be used and

occupied as Comm Building.

Foundation to be slab floor.

With a footing of 16 in. 8 in. top and 4 in. high

Outside walls to be Cement block

Interior to be Plaster & cement blocks

The roof will be tan & asbestos J M

supported 2x8 rafters 16" C

Will be heated by Gas with fancoil flue

Estimated value, \$ 25000

.....hereby agree to save, indemnify and keep harmless the Town of Los Gatos against all liabilities, judgments, costs and expenses which may in any wise accrue against said city in consequence of the granting of this permit or from the use or occupancy of any sidewalk, street, or sub-sidewalk place by virtue thereof, and will in all things strictly comply with the conditions of this permit.

Owner Anton M. Jensen Address 10000 7th Avenue

Architect Frank C. Jensen Los Gatos

Contractor Self " Los Gatos

BUILDING PERMIT

No. 1401

TOWN OF LOS GATOS

Inspector's file No.
Department of Building & Inspection

PERMIT is herewith granted to Anton M. Jensen

Location 301 N. Santa Cruz & Bachman Ave

for 1st Building in accordance with plans and specifications approved, and now on file in this office.

Receipt for Forty two & no Dollars as fee, is hereby acknowledged.

Contractor Self

Dated June 12 1952

THIS PERMIT MUST BE POSTED ON THE JOB

M. Sullivan
Building Inspector

October 18, 2022

Page 3

303 N. SANTA CRUZ

The structure built at 303 N. Santa Cruz (which is now called 305 because it actually adjoins 307 N. Santa Cruz) is a wood framed building. The 1928 Sanborn Map (page 1) shows this space as an empty side yard. As detailed below, the historical evidence indicates that this building was constructed in the 1960s.



There is no 1941 Assessment for 303 N. Santa Cruz and Anne Bloomfield's research for the year 1952 confirms that 303 did not exist at the time.

Anne Bloomfield
ARCHITECTURAL/CULTURAL SURVEY
NAME RESEARCH

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Name (person, building, organization, etc.) _____

Addresses associated with Name 301-307 N. Sta Cruz

Relevant dates: construction _____ birth _____ death _____ other _____

1. DIRECTORY SEARCH (City Directories, County Directories, Telephone Books, society directories, etc.)

Year	Book	Name/Classified Heading	Listing (copy entire, exactly as shown; use * for holdface)
1952	SJD	Treseder Frank (Robert) archt	Kress & Gibson ISJI r Los Gatos
"	"	N Sta Cruz 301	Mickelsen's Furniture
"	"	" 305	Berg's Antiques
"	"	" 307	Golden Buddha Gift shop

This is consistent with the 1952 Polk directory which indicates 303 did not exist.

ACTIVE SINCE 1867
JAMES A. CLAYTON & CO.
REAL ESTATE — INSURANCE — PROPERTY MANAGEMENT
34 W. Santa Clara St. San Jose, California
PHONE CYPRESS 2-4282

(1952) R. L. POLK & CO.'S

250

SANTA CRUZ AV. NORTH—Contd

54½ Nerenberg Benj optom EL 4-2704	233 Nelsens Texaco Station gas sta EL 4-9755	489 Bellew W K phys
55 Polly Prim Pastry Shop EL 4-1155	236 Lezie Marie Studio photog EL 4-2258	491 Ruby's Festival Dress Shop EL 4-2400
56 Mode O Day women's clo Jenkin's Dress Shop EL 4-4716	Lezie P L	493 Roy's Bootery EL 4-4253
56½ Hanson E A auto repr EL 4-4325	236½ O'Shea C A EL 4-1674	497 Covert J P phys EL 4-4100
57 Dick's Family Liquor Store EL 4-1170	Bachman av begins	500 Panigetti A G @ EL 4-4764
58 Fremier Realty Co EL 4-3720	300 Gateway Realty & General Ins EL 4-1315	503 Johnson Birdie E @ EL 4-4968
59 Standard Sta gas sta	301 Mickelsen's Furniture EL 4-4316	506 Hawkins O L EL 4-4045
60 Los Gatos Auto Electric EL 4-4333	305 Berg's Antiques EL 4-3716	511 Giraudo B J @ EL 4-4154
Bean av begins	307 Golden Buddha gift shop EL 4-2216	511½ Haack R W EL 4-1614
	308 Peterson T N Mrs EL 4-4559	512 James B I real est EL 4-1547
	312 Gatio Cleaners EL 4-4143	Peterson W C real est
	314 Vacant	515 Locatelli E F 4-4535
		518 Boyajian E W auto sups @ EL 4-4442

By contrast, the 1969 Polk directory shows “303 Berg’s Antiques”.



This historical evidence suggests that 303 was built sometime in the 1960s.

305 N. SANTA CRUZ

The structure originally built at 305 N. Santa Cruz (which actually adjoins 301 and is now called 303) was substantially changed in the 1960s.



305 (now called 303) N. Santa Cruz

First, the existing floor-to-ceiling commercial plate glass windows are not residential windows. There is little doubt that they were added mid-century when this part of downtown became substantially commercial.

Second, looking at the exterior, both the left and right walls of the building no longer exist in their original form as those walls have been made party walls with the adjoining buildings. Also, the left 1/3 in front of the structure has changed. Formerly, there was a clear area adjoining 301.



Now, as shown in the color photo on the previous page, this area has become a raised patio only a few inches below the main entrance with divisional fencing changing the presentation of the building.

Finally, Anne Bloomfield confirmed in the 1991 Evaluation that the Interior was of no historical value and gave it an FP rating.

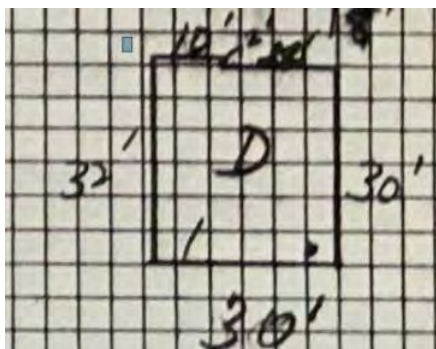
6. Interior

E VG G **FP**

This is due to the inside having been completely remodeled many times when it was converted from residential to retail and then, years later, to a bakery and now full service restaurant.

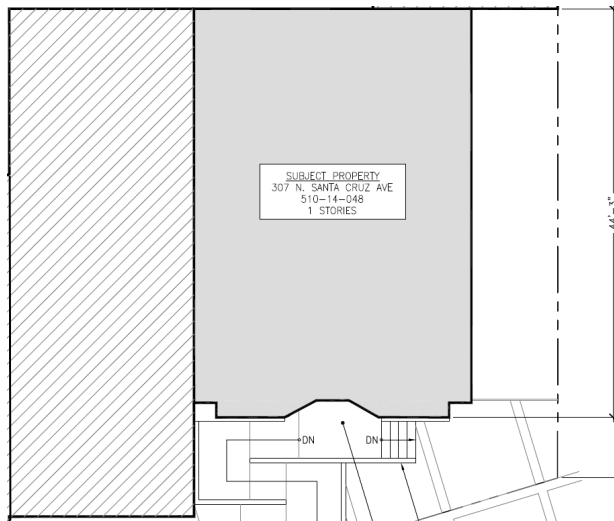
307 N. SANTA CRUZ

It does appear that a residential dwelling of some sort existed at 307 N. Santa Cruz prior to 1941. However, the footprint of the building has changed substantially.



As can be seen from this close-up of the 1941 Assessor's diagram, the building in 1941 was measured as being only 30' long. After 1941, and mostly likely in the 1960s or 1970s, an additional 14' was added to the building's length.

This enlargement can be seen in the architect's diagram of the yogurt shop which currently occupies the space. What used to be a 30' long building has become a 44.25' long building. The landlord's believes that this was done in the 1960s or early 1970s.



The original brick chimney for 307 was removed, floor to-ceiling-commercial windows installed, and, as shown in this Anne Bloomfield photo, the awning covering the front of the building was removed as part of a remodel for a later business.



Moreover, the owners, to continue their compliance with the Americans with Disabilities Act (ADA), constructed a code-compliant wheelchair ramp in front of the building. While the owners were pleased to do this to further facilitate access to all the community, it worked a distinct alteration on the façade's presentation.

October 18, 2022

Page 7

Finally, the side windows which existed in 1966 (see bottom of left photo) no longer exist today.



CONCLUSION

The buildings on this parcel that existed 80 years ago (two of which were built since) bear very little resemblance to the complex standing today. While there are landmark buildings in Los Gatos which well deserve to be carefully curated to bridge the gap between the old and new, this completely renovated 301-307 complex (along with the newly constructed buildings) is unrecognizable as being part of the Town's fabric in the 1930s. Based on all of the above, the Committee is requested to find that all four buildings, 301, 303, 305, and 307, none of which are in a historical overlay, should be officially removed from the Los Gatos Downtown Historic Inventory.

Sincerely,

A handwritten signature in black ink, appearing to read "Michael Millen". The signature is stylized and cursive.

Michael Millen

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 301-03-05-07 N. Santa Cruz

PARCEL MAP INFORMATION

Parcel # 510-14-048-E pln Lot size: 157 front ft. x 115-160 ft. deep

Lot shape: Rectangle L Rectangle with small rear jog Other □ + diag. of NSC

Location: N S E W side of St Ave Other

distance to cross st: ft. N S E W from

at NE NW SE SW corner of NSC & Bachman

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name Massal Sub Old Block # 1 Old lot # 220?

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ✓+✓+ Estimated age 1930s Style Med # stories 1

Alterations

Zigzag footprint
Other 301-Rem. 303 Med. 305 LG Beauty Outlets. 307 "Design Mine" - 4 shops

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy)

Effective date

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908	13	NW SC2 & Bachman	160x160	A Jensen
Survey	1944				

MISCELLANEOUS

National Register listed date

County Inventory 1979

Town of Los Gatos: Designation Recognition

District Name

Previous Survey

Gebhard: page # illustration page #
Butler/Junior League



0075012.33 Date 2 Nov 89

303

307

group



LOS GATOS HISTORIC RESOURCES INVENTORY

EVALUATION SHEET

Building or District Name Commercial StoresAddress(es) 301-303-305-307 North Santa Cruz Ave.

Criterion	This Building	Ratings
A. ARCHITECTURE		
1. Building type	<u>4 stores, 1-story</u>	E VG <u>G</u> FP
2. Construction	<u>concrete block (per B.P.)</u>	E VG <u>G</u> FP
3. Style :	<u>Mediterranean - pretty good ex.</u>	E VG <u>G</u> FP
4. Architect	<u>Frank C. Troseder</u>	E <u>VG</u> G FP
5. Design	<u>zigzag footprint ^{miniaturizes} fits diagonal plot</u>	E <u>VG</u> G FP
6. Interior	<u>—</u>	E VG G <u>FP</u>
B. HISTORY		
7. Age	<u>1952</u>	E VG G F <u>P</u>
8. Person(s)	<u>A. Jensen (developer)</u>	E VG G <u>FP</u>
9. Event	<u>—</u>	E VG G <u>FP</u>
10. Patterns	<u>commercial devel. moves north</u> <u>(primary imp, loosely con.)</u>	E <u>VG</u> G FP
C. ENVIRONMENT		
11. Scale/Massing	<u>important - maintains small shops scale</u>	E <u>VG</u> G FP
12. Setting	<u>landscaping in zigzag</u>	E <u>VG</u> G FP
13. Landmark	<u>inconspicuous</u>	E VG G <u>FP</u>
D. INTEGRITY		
14. Alterations	<u>^{301,305} 2 of the 4 shops altered ³⁰³⁺³⁰⁷ 2 intact</u>	E VG <u>G</u> FP

CUMULATIVE RATING: 3 Appears eligible for National Register.
 4 May become eligible for National Register.
 5 Appears eligible for local designation.
 6 Contributor to district that is any of the above.
 N Non-contributor to the district.
 6 Appears ineligible for designation, but older than 1942.
 7 5 Appears ineligible for designation because newer than 1941.

Evaluated by: BDate -3-91Reviewed by: MLDate 4-16-91Reviewed by: Date Reviewed by: Date

LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Building or District Name Commercial StoresAddress(es) 301-07 N. Sta. Cruz

<u>E</u>	<u>VG</u>	<u>G</u>	<u>F/P</u>	<u>Criteria</u>	<u>Total</u>	<u>Adjusted Total</u>
10	5	(2)	0	Type		
10	5	(2)	0	Construction		
10	5	(2)	0	Style		
8	(4)	2	0	Architect		
25	(12)	6	0	Design		
<u>8</u>	<u>4</u>	<u>2</u>	(<u>0</u>)	Interior	—	<u>22</u>
	16	6		ARCHITECTURE		(Max. 50)
10	5	2	(1/0)	Age		
15	8	4	(0)	Person		
10	5	2	(0)	Event		
<u>15</u>	(<u>8</u>)	<u>4</u>	<u>0</u>	Patterns	—	<u>8</u>
				HISTORY		(Max. 25)
25	(12)	6	0	Scale/Massing		
8	(4)	2	0	Setting		
<u>25</u>	<u>12</u>	<u>6</u>	(<u>0</u>)	Landmark	—	<u>16</u>
				ENVIRONMENT		(Max. 25)
0	-6	(-12)	125	INTEGRITY	—	<u>-12</u>

Cumulative Rating:

CUMULATIVE TOTAL

34

60+ = 3 (appears eligible for National Register)

40-59 = 5 (appears eligible for local listing)

23-59 = D (contributor to district rated one of the above)

(22- = 6 or 7 (ineligible) or non-contributor)

ARCHITECTURAL HISTORY
(415) 922-1063
2229 WEBSTER STREET
SAN FRANCISCO, CA 94115

Relevant dates: construction____. birth____. death____. other_____

[illegible]

date

California History Center, De Anza College
 ___Biographical file
 ___Photo collection

San Jose Historical Museum
 ___Great Registers (of voters)
 ___Indexes
 ___Photo Collection

General sources, unknown location(s)

- ___ Indexes, California Historical Quarterly
- ___ State Library Information Index (fiche)
- ___ State Library-S.F. Newspaper Index
- ___ Census (microfilm)
- ___ County history 1881, Monroe Fraser
- ___ Brainard maps

date