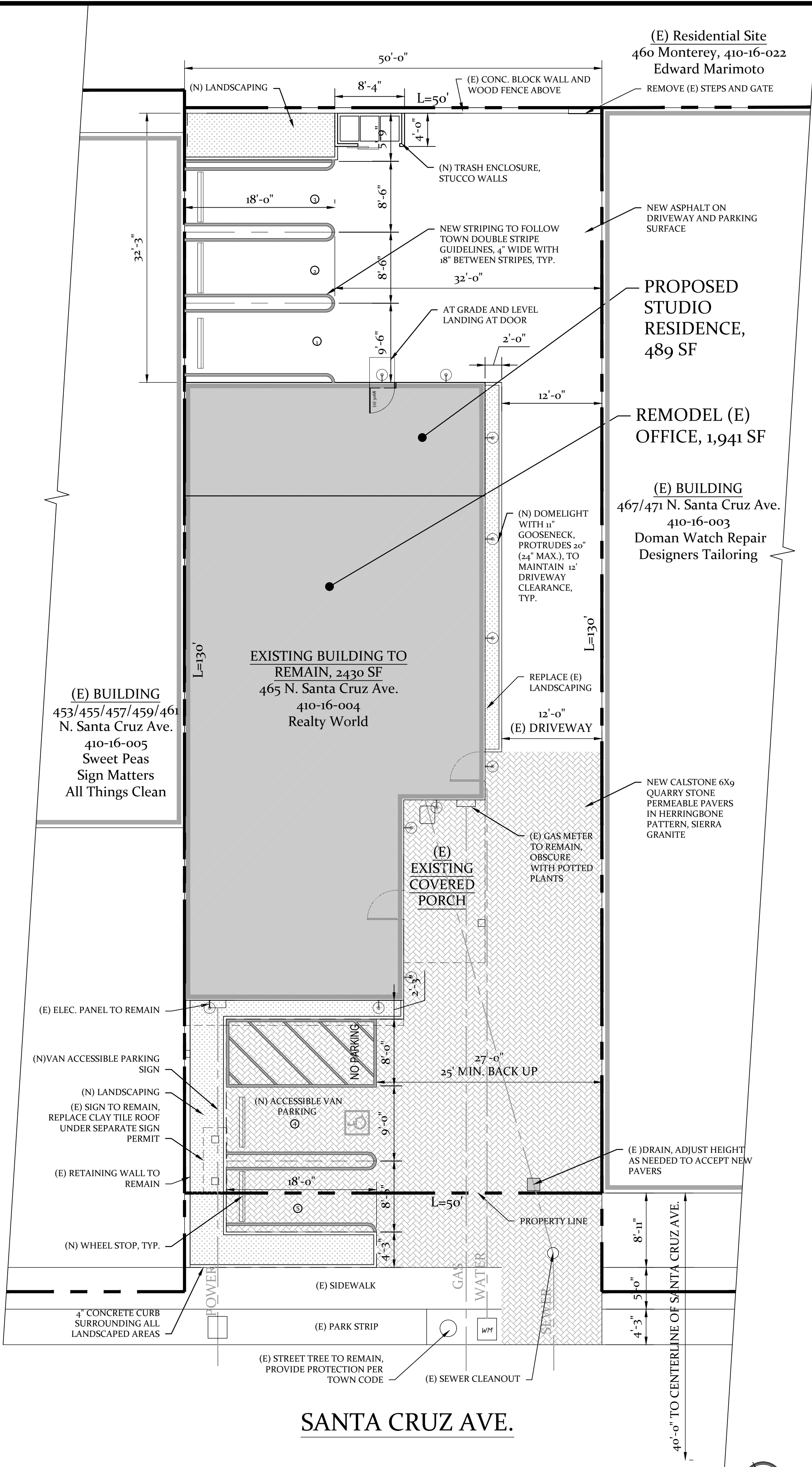
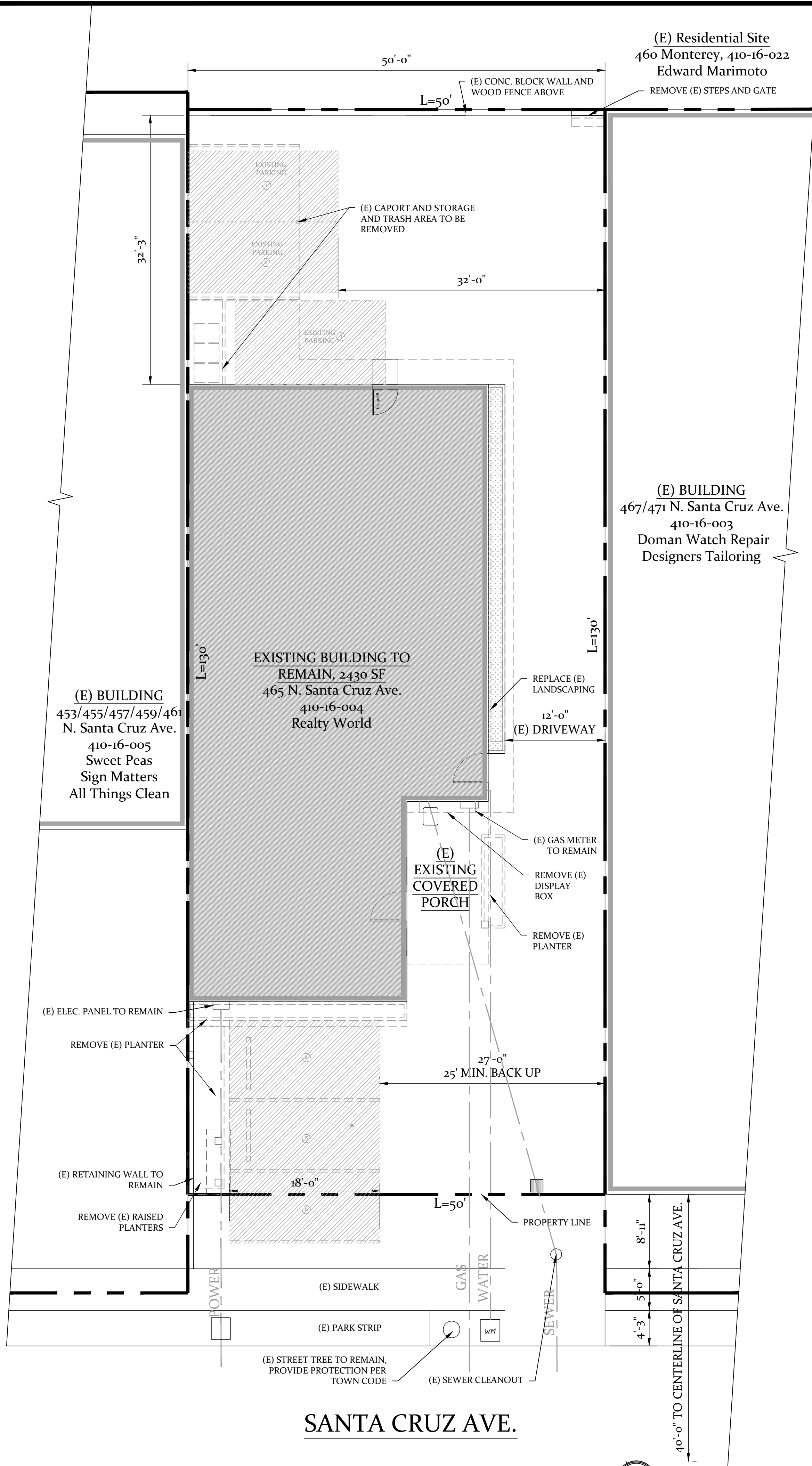




Conditional Use
Permit Set
Residential Conversion:
Dan and Jamie Pfister
465 N. Santa Cruz Ave.
Los Gatos, California

Scope of Work

- Convert the existing rear 489 sf of office space into a studio apartment.
- Reconfigure interior non-bearing walls
- Replace all of the existing windows
- Upgrade HVAC system
- Upgrade electrical system
- Add accessible parking
- Add an accessible bathroom
- Demolish the false eave around the back half of the building
- Remove the clay tile roof on the front portion of the building and replace it with new composition roofing
- Replace the roofing on the flat portion of the building
- Remove the carport and shed at the rear of the property
- Add stucco to the concrete block walls
- Add a Cornice to the top of the walls
- Add window flower boxes along the driveway
- Add a wide wood header trim above the windows
- Repaint all exterior finishes
- Refresh and add more landscape areas as the parking area allows.
- Add insulation as needed
- Remove paint from the existing brick

Project Data

Address:	665 N. Santa Cruz Ave. Los Gatos, CA 95030
Owners:	Dan and Jamie Pfister
APN:	410-16-004
Zoning:	C-1
Type of Construction:	V-B
Number of Stories:	1
Occupancy Type:	B (With R-3 mixed use Proposed)
Sprinklers	YES

Area and Parking Data

Lot Area:	6,500 sf
Existing Building Area:	2,430 sf

Parking

Existing Use:
Retail Downtown: 1 space per 300 sf
2,430 sf of space = 8.1 (9) spaces needed

Existing spaces provided = 6
No ADA space and access aisle provided

Proposed Use:
Office: 1 space per 250 sf
1941 sf of space = 7.7 (8) spaces
Residential = 2 spaces + 1 guest
Total = 11 spaces needed

Proposed spaces provided: 4
ADA and Access aisle provided: 1

Sheet Index

A0.0	Cover Sheet, New and Existing Site Plans & Project Data
A1.0	Existing / Demo Floor Plan & Elevations
A2.0	Proposed Floor/Roof Plans
A2.1	Roof Plan and Site line Schematic Sections
A3.0	Proposed Elevations

Vicinity Map

2

Existing/Demo Site Plan

1

Proposed Site Plan

Cover Sheet/Site Plan

SCALE: See Drawings

DATE: May 11, 2022

A0.0

EXHIBIT 7

2 Existing Front Elevation
1/8" = 1'-0"

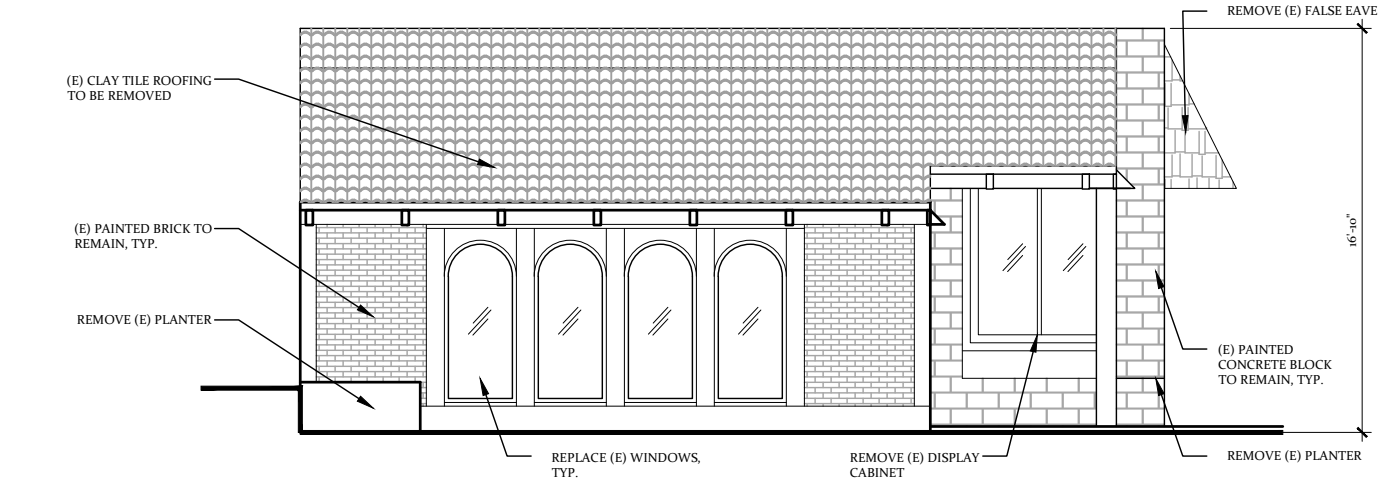


Photo of Front of Existing Building



Photo of Corner of Existing Building

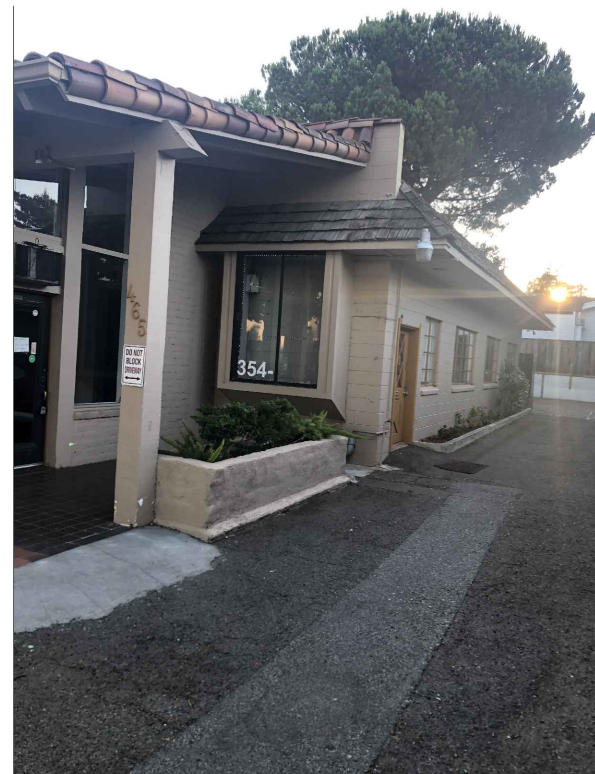
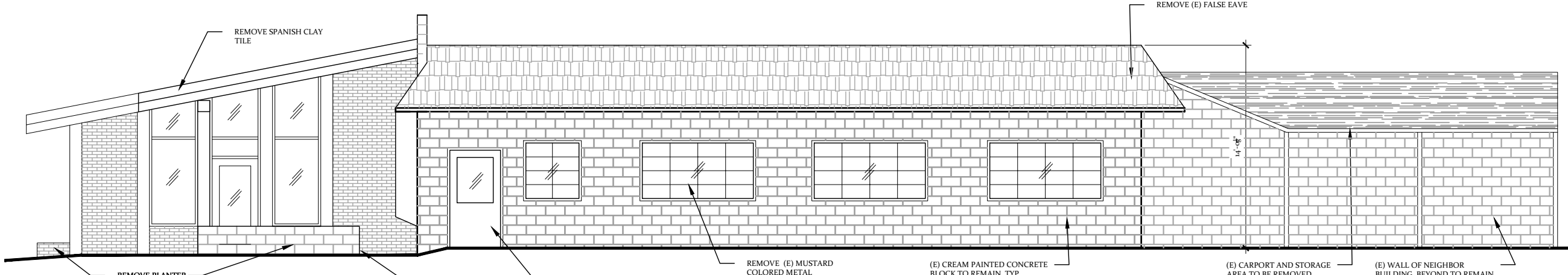


Photo of Side of Existing Building

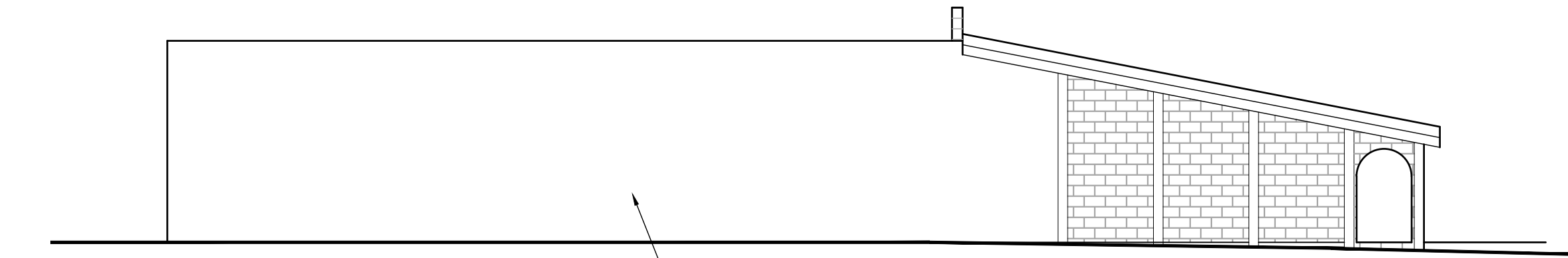


Photo of Side of Existing Building

3 Existing Side Elevation
1/8" = 1'-0"



4 Existing Side Elevation
1/8" = 1'-0"



5 Existing Rear Elevation
1/8" = 1'-0"

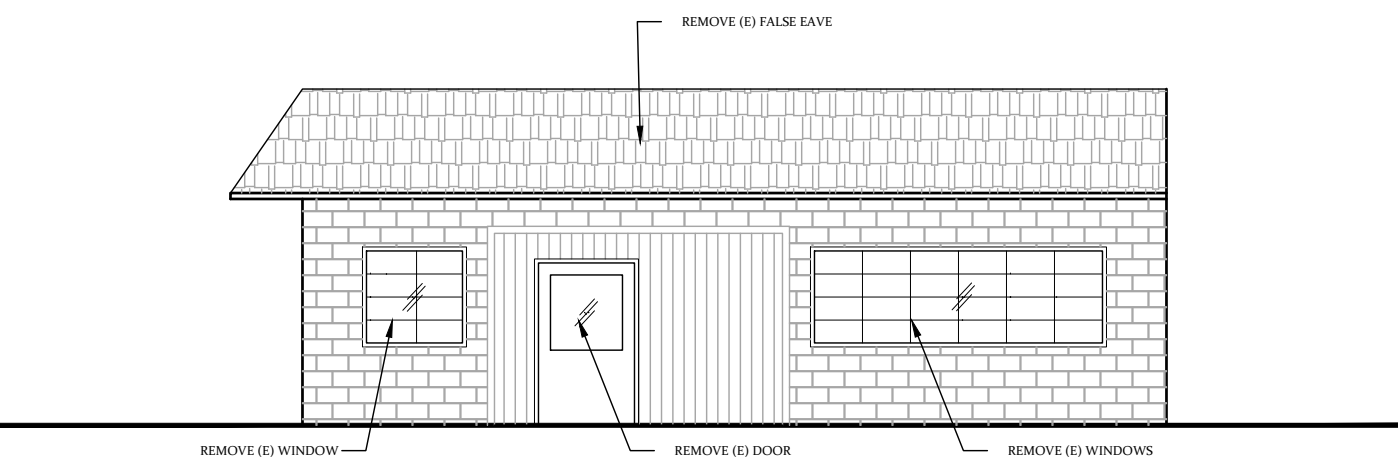
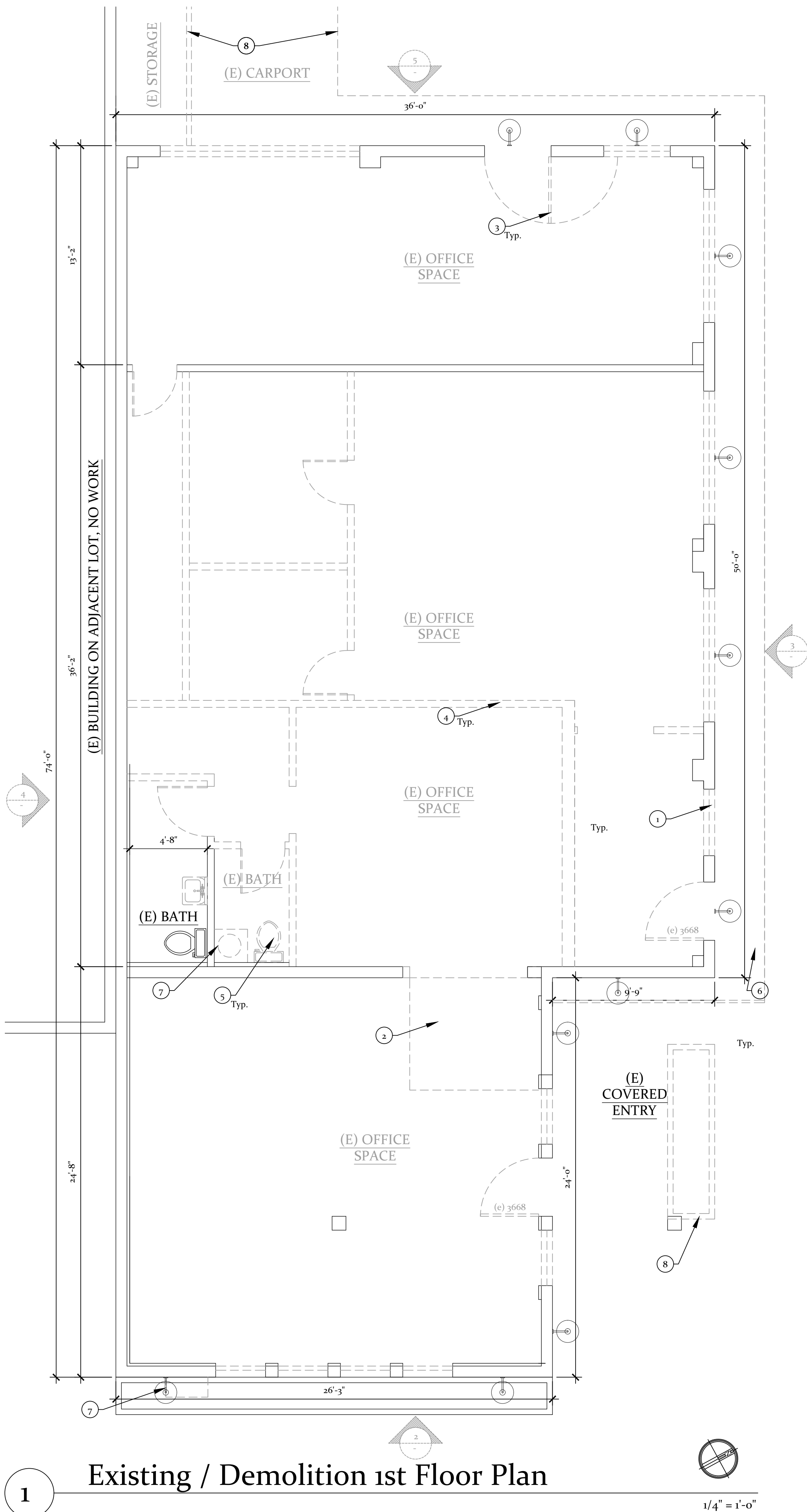


Photo of Rear of Existing Building



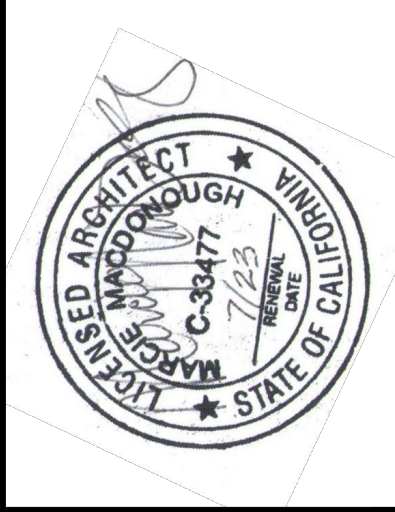
1 Existing / Demolition 1st Floor Plan
1/4" = 1'-0"

- Demo Keynotes:**
1. Remove windows, dispose of as directed by the owner, typical where shown
 2. Remove (e) ramp
 3. Remove doors and save as directed by the owner, typical where shown
 4. Demolish existing walls as indicated by legend. Prior to removal ensure structural stability. Contractor shall be responsible for all temporary shoring of the structure during construction.
 5. Remove plumbing fixtures and cap. Save or dispose of per owners' instructions.
 6. Remove (E) false eave
 7. Remove and replace (e) HVAC and Hot Water heater
 8. Remove (e) carport and storage, see site plan, roof plan, and elevation for extent of carport

- Demolition General Notes:**
- Contractor shall perform demolition as required to achieve new floor plan
 - Contractor shall consult with owner regarding all materials scheduled for removal to determine what will be re-used, stored or discarded
 - Contractor shall patch and repair all construction scheduled to remain which is affected during demolition.
 - Cap off or relocated all plumbing as required per new plan layout.
 - Recycle and/or salvage for re-use a minimum of 50% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2., 4.408.3, or 4.408.4.

- Demolition Plan Legend:**
- Indicates Construction to be Removed
 - Indicates Existing Construction to Remain

NO EXTERIOR WALLS TO BE REMOVED. NEW WINDOWS TO FIT IN EXISTING OPENINGS



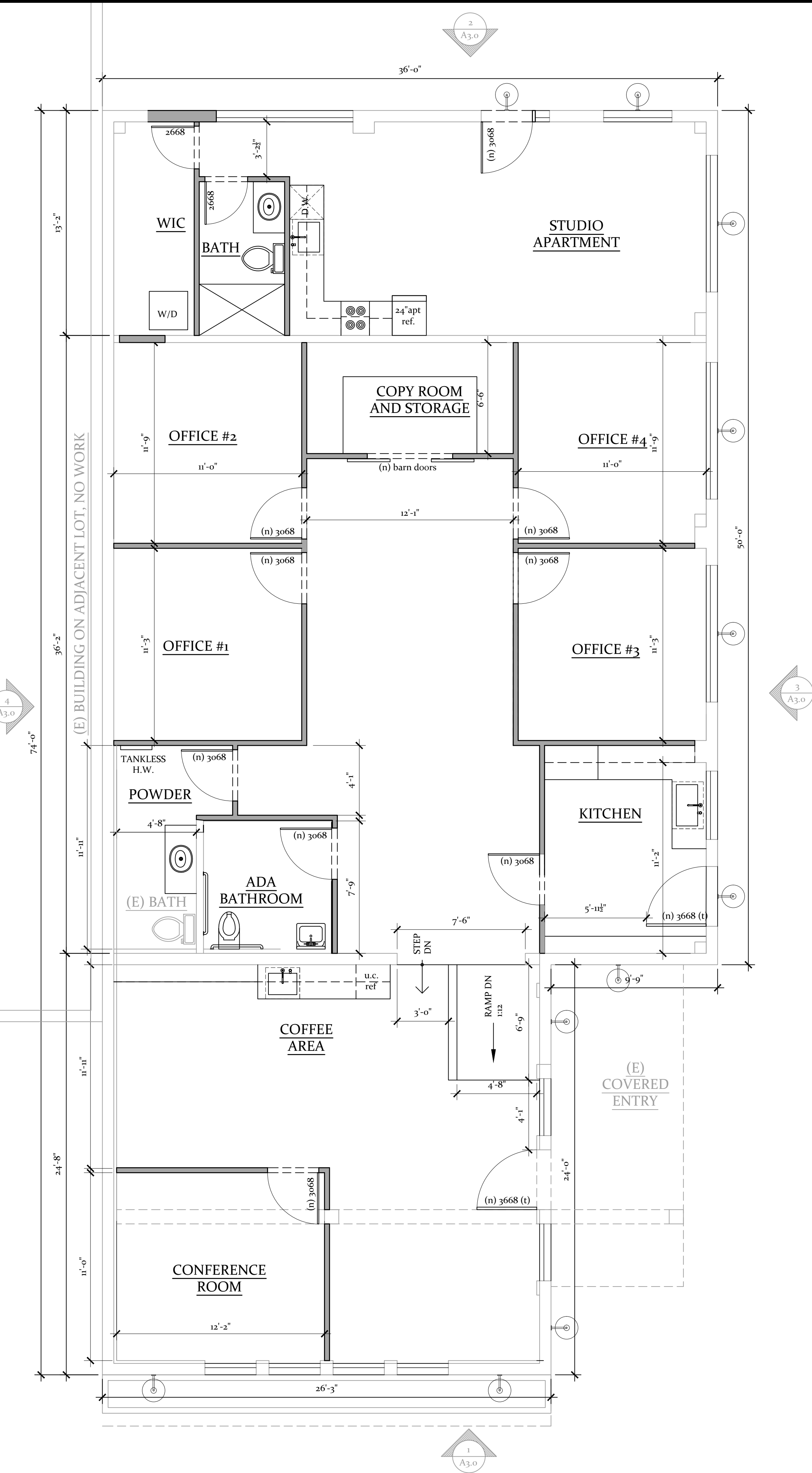
MacDonough Architecture
(408) 455-5103
MARDIEMADD@GMAIL.COM

Dan and Jamie Pfister
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465 N. Santa Cruz Ave. Los Gatos, CA

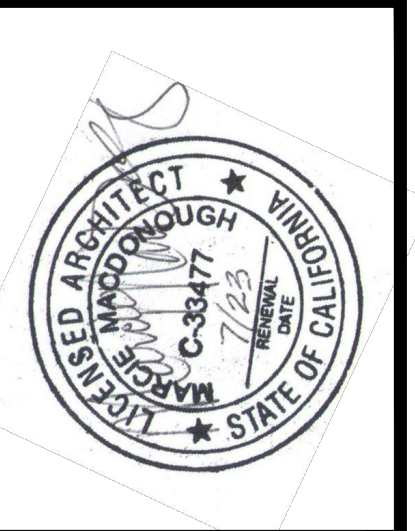
Submittal:

Existing / Demo Plans
SCALE: See Drawings
DATE: May 11, 2022

A1.0



Proposed Floor Plan



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Submittal:

Proposed Floor Plan

SCALE: See Drawings
DATE: May 11, 2022

A2.0



Dan and Jamie Pfister
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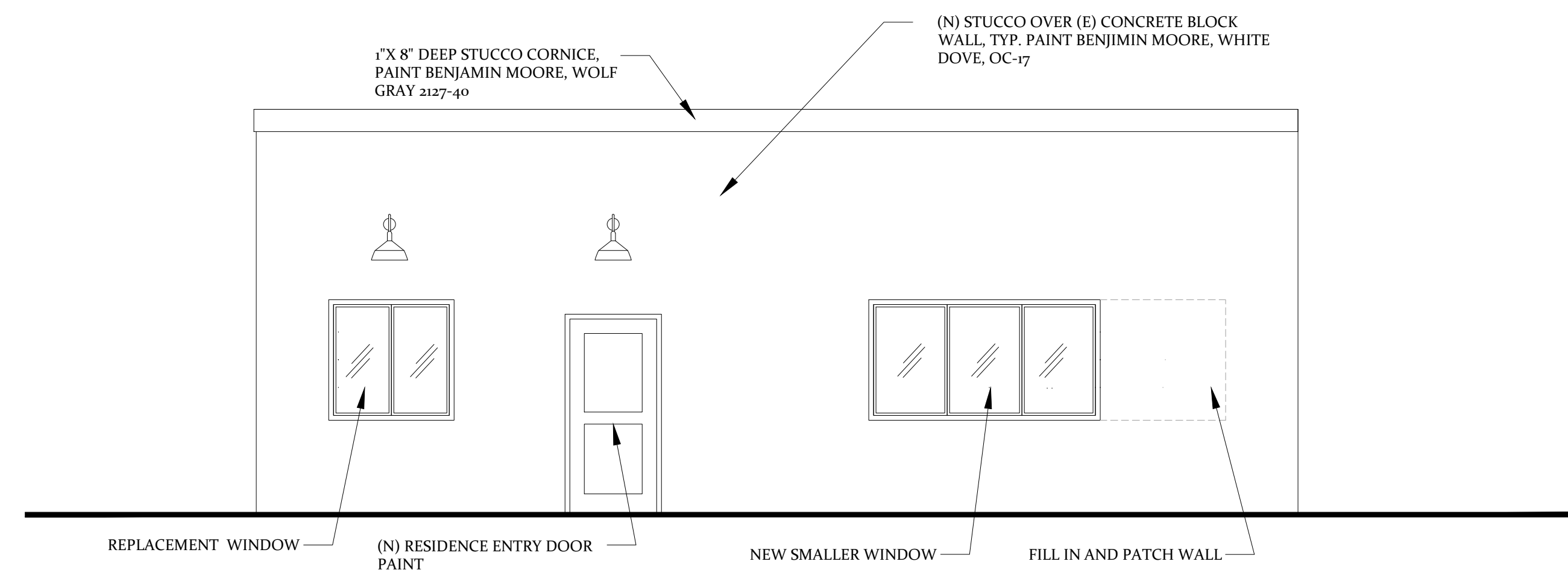
Submittal:

Proposed Roof Plan

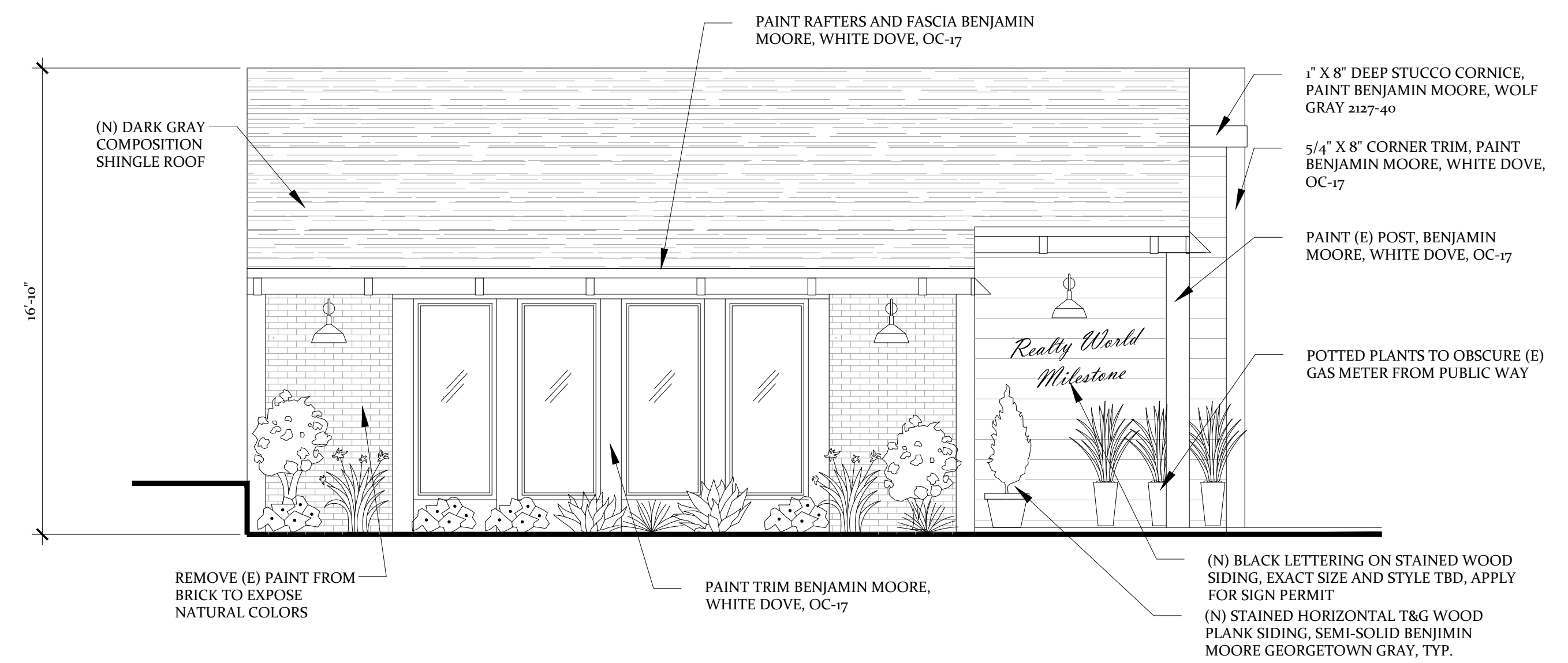
SCALE: See Drawings
DATE: May 11, 2022

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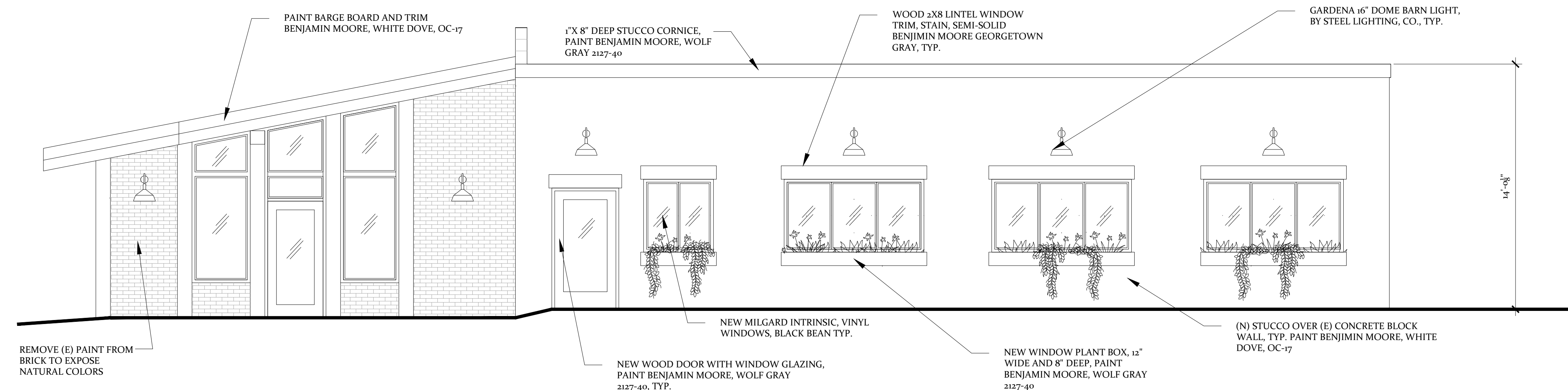




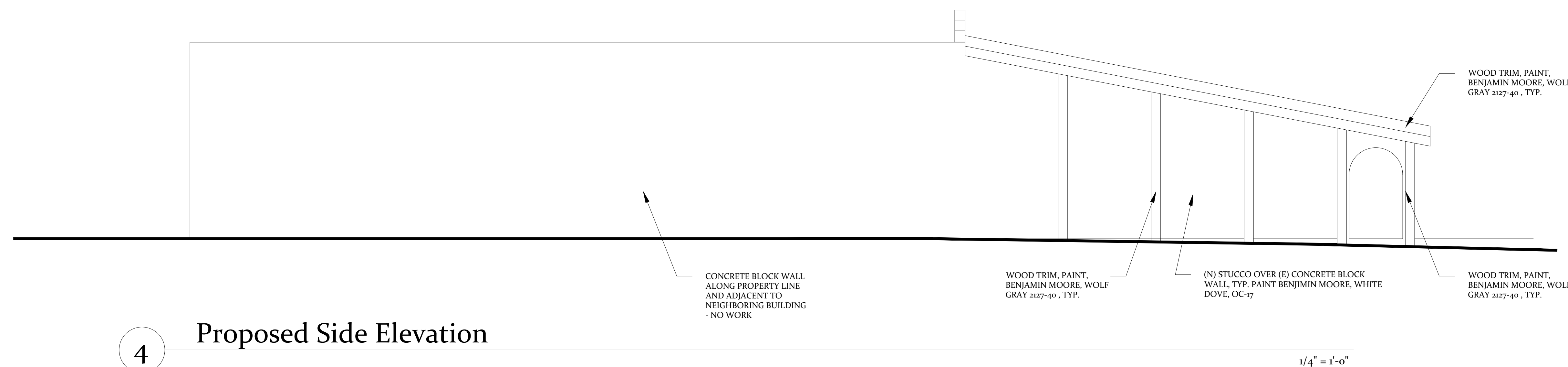
2 Proposed Rear Elevation
1/4" = 1'-0"



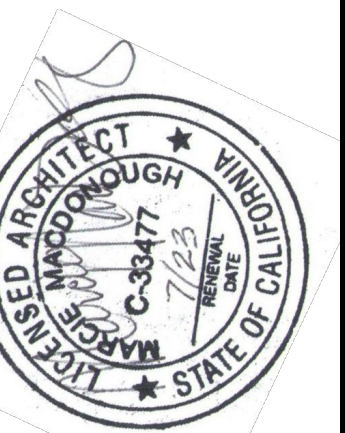
1 Proposed Front Elevation
1/4" = 1'-0"



3 Proposed Side (Driveway) Elevation
1/4" = 1'-0"



4 Proposed Side Elevation
1/4" = 1'-0"



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465 N. Santa Cruz Ave. Los Gatos, CA

Submittal:

Elevations

SCALE: See Drawings
DATE: May 11, 2022

A3.0

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