



5/8/2025

Matthew Morgan  
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Re: response letter detailing changes made to report in accordance with City Arborist comment letter dated 5/7/2025 for proposed renovation at 31 University Ave, Los Gatos, CA 95030

Dear Matthew,

Here is a list of the changes made to my report based on the City Arborist comment letter referenced above. The comment letter was prepared by Erin Walters and contains three points requiring attention.

- Point 1:

- There are no specific tree protection measures regarding those proposed for retention - Sec. 29.10.1000. New property development. (c). The trees to be retained need to be indicated as Type III protection at a minimum both in the report and on the T-1 plan sheet.

- This information is included in the map accompanying my arborist report, titled "31 University Ave Tree Map V1 2025-03-05," available at:  
[https://drive.google.com/file/d/1ACHFDb0XSloLUUmBJgu24aLrjXGNf00E/view?usp=drive\\_link](https://drive.google.com/file/d/1ACHFDb0XSloLUUmBJgu24aLrjXGNf00E/view?usp=drive_link)

- Point 2:

- Tree appraisals were not performed and related values provided - 29.10.1000. New property development. (c)(3). Trees to be retained need to be appraised using the Trunk Formula Technique as outlined in the Guide for Plant Appraisal 10th Edition.

- Appraisals have been performed, and a new column with appraised values has been added to the tree table, available here:

[https://drive.google.com/file/d/11bNTsHKxEEWvZs3-UxinKoGs1GjI4Ndr/view?usp=drive\\_link](https://drive.google.com/file/d/11bNTsHKxEEWvZs3-UxinKoGs1GjI4Ndr/view?usp=drive_link)

- Point 3:

- The plan set does not contain the required Tree Preservation Instructions (Sheet T-1) sheet Sec. 29.10.1000. New property development.

- This item is outside my purview and will need to be addressed by others on the project team.

Respectfully submitted,



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6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or to attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as set forth by the consultant or in the fee schedule or contract.
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## **31 University Avenue**

May 8, 2025

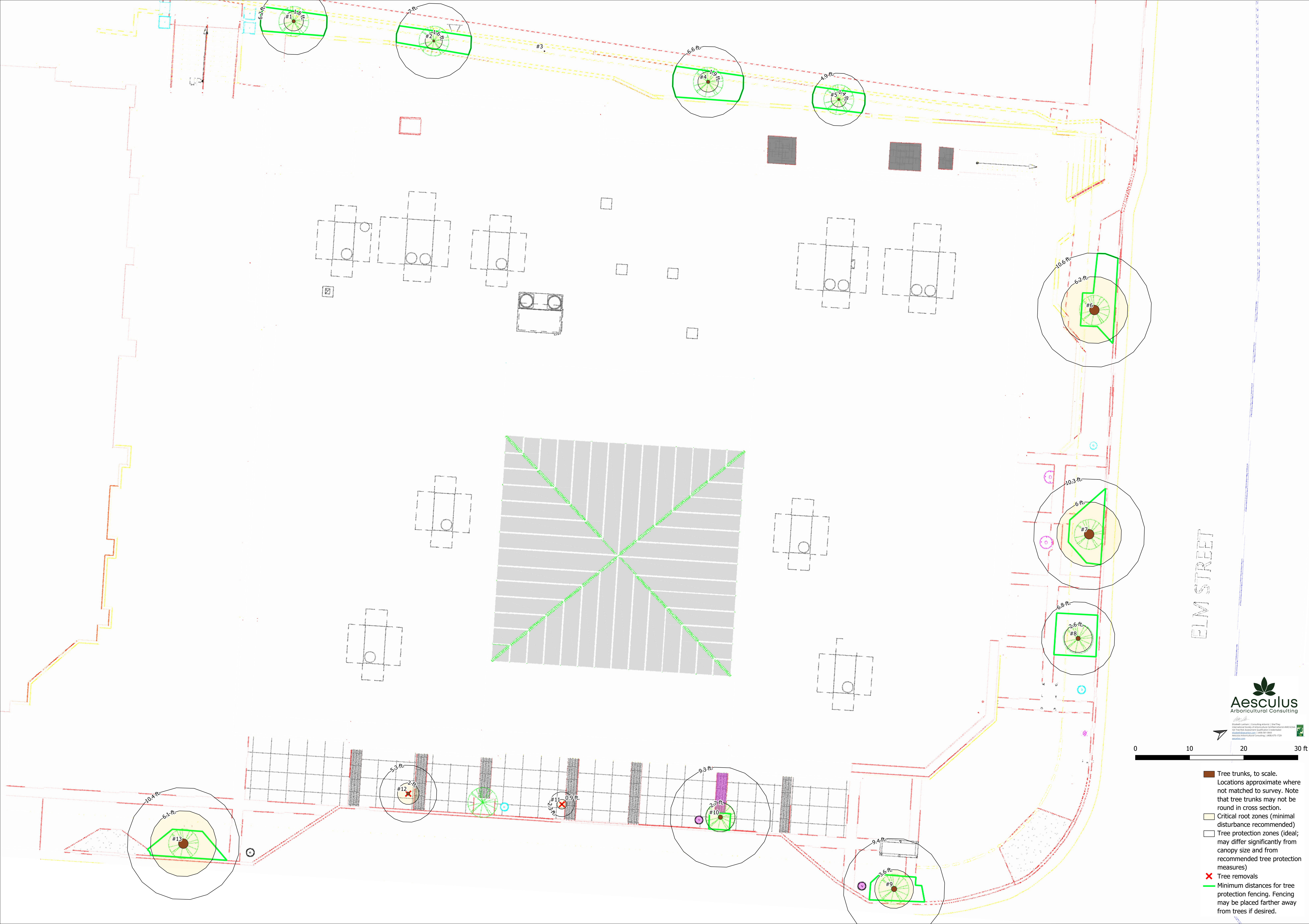
### Arborist Peer Review Recommendation #3-

- The plan set does not contain the required Tree Preservation Instructions (T-1) sheet Section 29.10.1000. New Property Development.

### Applicant's Response-

T-1 Sheet (T-1A, T-1B and T-1C) have been added to the plan set, providing Tree Protection Report, Tree Map, and Tree Table with Applicable Data. Tree protection measures are provided on Sheet T-1C and depicted on the Tree Map. Tree Appraisals are provided on Sheet T-1C, depicted in the tree table.

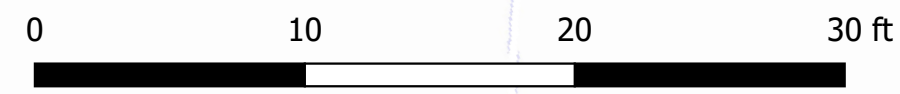




ELM STREET

**Aesculus**  
Arboricultural Consulting

Elizabeth Latham | Consulting arborists | One Day  
International Society of Arboriculture Certified Arborists and ASCA  
UK Tree Risk Assessment Qualified Consultants  
Aesculus Arboricultural Consulting | 01845 575 1120  
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- Tree trunks, to scale.  
Locations approximate where not matched to survey. Note that tree trunks may not be round in cross section.
- Critical root zones (minimal disturbance recommended)
- Tree protection zones (ideal; may differ significantly from canopy size and from recommended tree protection measures)
- Tree removals
- Minimum distances for tree protection fencing. Fencing may be placed farther away from trees if desired.



Tree # (13 total)	Common Name	Species	DBH (in.)	Canopy Spread (ft.)	Vitality Rating (%)	Structure Rating (%)	Form Rating (%)	Suitability for Preservation (%)	Protected Tree - 11	Street Tree - 8	Off-Site Tree - 0	Protected Removals - 2	Appraised Value (worksheet available upon request)	CRZ radius (ft. from center of trunk)	TPZ radius (ideal; ft. from center of trunk)	Expected Impacts (with recommended protection)
1	Callery pear	<i>Pyrus calleryana</i>	6.2	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$16,800.00	1.8	6.2	Minimal from project as proposed
2	Callery pear	<i>Pyrus calleryana</i>	5.6	8	30	40	30	35	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$900.00	1.6	7.0	Minimal from project as proposed
3	Callery pear	<i>Pyrus calleryana</i>	2.4	4	10	10	10	10	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	-	-	-	-
4	Callery pear	<i>Pyrus calleryana</i>	6.6	10	50	50	60	50	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$1,400.00	1.9	6.6	Minimal from project as proposed
5	Callery pear	<i>Pyrus calleryana</i>	4.9	10	40	50	50	45	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$790.00	1.4	4.9	Minimal from project as proposed
6	Coast live oak	<i>Quercus agrifolia</i>	21.1	40	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$13,200.00	6.2	10.6	Minimal from project as proposed
7	Coast live oak	<i>Quercus agrifolia</i>	20.7	30	80	50	80	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$12,600.00	6.0	10.3	Minimal from project as proposed
8	Coast live oak	<i>Quercus agrifolia</i>	9.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$2,280.00	2.6	6.8	Minimal from project as proposed
9	Coast live oak	<i>Quercus agrifolia</i>	12.5	16	50	50	50	50	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$4,270.00	3.6	9.4	Minimal from project as proposed
10	Coast live oak	<i>Quercus agrifolia</i>	9.3	20	30	50	30	40	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$2,250.00	2.7	9.3	Moderate to major from proposed sidewalk work

Tree # (13 total)	Common Name	Species	DBH (in.)	Canopy Spread (ft.)	Vitality Rating (%)	Structure Rating (%)	Form Rating (%)	Suitability for Preservation (%)	Protected Tree - 11	Street Tree - 8	Off-Site Tree - 0	Protected Removals - 2	Appraised Value (worksheet available upon request)	CRZ radius (ft. from center of trunk)	TPZ radius (ideal; ft. from center of trunk)	Expected Impacts (with recommended protection)
11	Crape myrtle	<i>Lagerstroemia indica</i>	3.0	7	70	50	60	60	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$260.00	0.9	2.3	Incompatible with proposed sidewalk work
12	Coast live oak	<i>Quercus agrifolia</i>	7.0	18	60	50	60	55	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	\$1,380.00	2.0	5.3	Incompatible with proposed sidewalk work
13	Coast live oak	<i>Quercus agrifolia</i>	20.8	30	80	50	60	65	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	\$12,500.00	6.1	10.4	Minimal from project as proposed

Notes
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Tag #3281; girdling root
Tag #3282
Tag #3283
Canopy spread is average due to uneven canopy dist. One foot-deep cavity in base.
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Notes	
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