



TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
REPORT

MEETING DATE: 03/26/2024

ITEM NO: 3

DATE: March 21, 2025

TO: Historic Preservation Committee

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider a Request for Approval to Modify Planned Development Ordinance 2025 to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Use Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. **Located at 31 University Avenue.** APN 529-02-044. Planned Development Modification PD-25-001, Architecture and Site Application S-25-004, and Conditional Use Permit U-25-001. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities. Property Owner: SRI Old Town, LLC. Applicant: Rick Nelson, MBH Architects. Project Planner: Erin Walters.

RECOMMENDATION:

Consider a request for approval for exterior modifications to an existing commercial building, Building E in the Old Town Los Gatos Shopping Center in the University/Edelen Historic District on property zoned C-2:LHP:PD, located at 31 University Avenue.

BACKGROUND:

On February 26, 2025, the Committee considered the request, discussed the item, and continued the item to a meeting date certain with the following feedback (Attachment 5):

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; and not consistent with the Planned Development or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical mass;
- Consider the addition of tile roofing material; and
- Consider the visual impact of the skylight from all elevations.

PREPARED BY: Erin M. Walters
Senior Planner

DISCUSSION:

The applicant considered the Committee's direction and has decided to not modify the proposed exterior modifications and has provided a response letter (Attachment 6).

The applicant proposes to modify the exterior of Building E to establish more cohesive architecture for the future single tenant of the building (Attachment 7). Exterior modifications would be made to all four elevations and include:

- Roof alterations creating consistent and symmetrical massing;
- Changes to window and door shapes, integrating arched, and rectangular fenestration;
- New fabric awnings and metal and glass canopy awnings;
- A new skylight; and
- New stucco siding.

A color and materials sheet showing the proposed finishes of the new exterior materials is included on A406 in the Development Plans included as Attachment 7.

CONCLUSION:

The applicant is seeking a recommendation from the Committee for exterior modifications to Building E. (Attachment 7). Should the Committee find merit in the request, the Committee should forward a recommendation of approval for the request to the Planning Commission. The application package would continue through the discretionary review process and would not return to the Committee.

CONSIDERATIONS:

A. Considerations Required with Recommendation

In evaluating applications, the deciding body shall consider the architectural style, design, arrangement, texture, materials and color, and any other pertinent factors. Applications shall not be granted unless:

_____ In historic districts, the proposed work will neither adversely affect the exterior architectural characteristics or other features of the property which is the subject of the application, nor adversely affect its relationship, in terms of harmony and appropriateness, with its surroundings, including neighboring structures, nor adversely affect the character, or the historical, architectural or aesthetic interest or value of the district.

PAGE 3 OF 4

SUBJECT: 31 University Avenue/PD-25-001, S-25-004 and U-25-001

DATE: March 21, 2025

ATTACHMENTS:

Previously distributed with the February 26, 2025, Staff Report:

1. Planned Development Ordinance 2025
2. Applicant's Request and Letter of Justification
3. Development Plans

Previously received with the February 26, 2025, Desk Item Report:

4. Existing and Proposed Building Elevations

Received with this Staff Report:

5. HPC Action Letter, February 26, 2025
6. Response Letter
7. Development Plans

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TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95030

February 26, 2025

Rick Nelson, MBH Architects
Via email

RE: 31 University Avenue
Planned Development Modification PD-25-001
Architecture and Site Application S-25-004
Conditional Use Permit U-25-001

Requesting Approval for Modification of Planned Development Ordinance to Allow Modifications to Building E, an Architecture and Site Application for Exterior Modifications to an Existing Commercial Building in the University/Edelen Historic District, and a Conditional Permit for Formula Retail over 10,000 square feet and for a Restaurant with Alcohol Service on a Property Zoned C-2:LHP:PD. APN 529-02-044. Categorically Exempt Pursuant to CEQA Guidelines Section 15301: Existing Facilities.

Property Owner: SRI Old Town, LLC.

Applicant: Rick Nelson, MBH Architects.

Project Planner: Erin Walters.

On February 26, 2025, the Los Gatos Historic Preservation Committee considered the request, discussed the item, and continued the application to a meeting date certain of March 26, 2025, with the following feedback:

- Although the proposed design is a Mediterranean style, it is not as compatible with the existing Old Town buildings; it is not consistent with the Planned Development; or the character of the University/Edelen Historic District;
- The design should convey a collective of individual structures rather than one consistent and symmetrical massing;
- Consider the addition of tile roofing material; and
- Consider the impact of the skylight from all elevations.

If you have any questions, I can be contacted by phone at (408) 354-6867 or by email at ewalters@losgatosca.gov.

Sincerely,

Erin M. Walters, Senior Planner

cc: Lindsey Laird, RH, via email

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March 14, 2025

Historic Preservation Committee
110 E. Main Street
Los Gatos, CA 95030

Project: **RH Los Gatos - PD-25-001, S-25-004 and U-25-001**
Location: **31 University Ave**

Dear Members of the Historic Preservation Committee:

I would like to first thank you for your time on February 26, 2025. We appreciated your feedback but after careful consideration, we have chosen to maintain our current design.

When developing our Proposal, we closely studied the existing Mediterranean components of the building and the Old Town Shopping Center, its proportions, window types and architectural details. We also considered the buildings immediately adjacent and incorporated their unified design into our building, both in color and articulation, with the goal of creating a harmonious façade design that assimilates into, rather than competes with the larger Historic District.

At RH, we strive to obtain balance, symmetry and perfect proportions with our architectural approach and believe our design does exactly that. With respect, we would like to maintain our Proposal. I hope the explanation above provides you with an understanding of our position.

Thank you,

Stuart Wagner

A handwritten signature in black ink, appearing to read 'Stuart Wagner', with a long horizontal flourish extending to the right.

STUART WAGNER
SENIOR DIRECTOR, PRE-DEVELOPMENT
RH | GALLERY DEVELOPMENT
C: 919.621.0741

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RH

RH - LOS GATOS

31 UNIVERSITY AVE,
LOS GATOS, CA 95030

ABBREVIATIONS

&	AND	L	LONG (LENGTH)
@	AT	LAV	LAVATORY
A/C	AIR CONDITIONING	LAM	LAMINATE
ACT	ACOUSTICAL CEILING TILE	LW	LIGHTWEIGHT
ADA	AMERICAN'S W/ DISABILITIES ACT	LBS	POUNDS
AF	ABOVE FINISH FLOOR	LF	LINEAR FOOT
ADJ	ADJUSTABLE	LH	LEFT-HANDED
AHU	AIR HANDLING UNIT	LL	LANDLORD
ALUM/AL	ALUMINUM		
APPROX	APPROXIMATE		
ARCH	ARCHITECTURAL	MAT	MATERIAL
		MAX	MAXIMUM
BD	BOARD	MECH	MECHANICAL
BLDG	BUILDING	MFR	MANUFACTURER
BLKG	BLOCKING	MIN	MINIMUM
BM	BEAM	MSC	MISCELLANEOUS
BO	BOTTOM OF	MTD	MOUNTED
BOT	BOTTOM	MTL	METAL
BSMT	BASEMENT		
		NAT	NATURAL
CJ	CONTROL JOINT	NIC	NOT IN CONTRACT
CL	CENTER LINE	NOM	NOMINAL
CLG	CEILING HEIGHT	NTS	NOT TO SCALE
CLR	CLEAR		
CMU	CONCRETE MASONRY UNIT	O/V	OVER
CNTR	COUNTER	OC	ON CENTER
CO	CASED OPENING	OD	OUTSIDE DIAMETER
CONC	CONCRETE	OPP	OPPOSITE
CONSTR	CONSTRUCTION	OPNG	OPENING
CONT	CONTINUOUS		
CPT	CARPET	PLAM	PLASTIC LAMINATE
CSK	COUNTERSINK	PLYWD	PLYWOOD
CT	CERAMIC TILE	PR	PAIR
CTR	CENTER	P	PAINT
		PT	PORCELAIN TILE
		PTD	PAINTED
		P.T.	PRESSURE TREATED
		PTN	PARTITION
DBL	DOUBLE		
DET	DETAIL	R	RISER
DIA	DIAMETER	RAD	RADIUS
DIM	DIMENSION	RCP	REFLECTED CEILING PLAN
DN	DOWN	REC	RECESSED
DR	DOOR	REQD	REQUIRED
DR OPNG	DOOR OPENING	REF	REFERENCE
DWNG	DRAWING	RESIL	RESILIENT
		REV	REVISION
EA	EACH	RH	RIGHT HAND
ELEC	ELECTRICAL	RM	ROOM
ELEV	ELEVATION	RO	ROUGH OPENING
EMER	EMERGENCY	RWL	RAIN WATER LEADER
EQ	EQUIP		
ETR	EXISTING TO REMAIN	SC	SOLID CORE
EWC	ELECTRIC WATER COOLER	SD	SMOKE DETECTOR
EXIST / (E)	EXISTING	SECT	SECTION
EXH	EXHAUST	SF	SQUARE FOOT (FEET)
EXP	EXPOSED	SHT	SHEET
EXT	EXTERIOR	SIM	SIMILAR
		SPS	STRUCT. INSULATED PANEL
FA	FIRE ALARM	SND INS	SOUND INSULATION
FD	FLOOR DRAIN	SPEC	SPECIFICATION
FE	FIRE EXTINGUISHER	SQ	SQUARE
FEC	FIRE EXTINGUISHER CABINET	SST	STAINLESS STEEL
FIN	FINISH FACE	STD	STANDARD
FIN	FINISH	STL	STEEL
FKT	FIXTURE	STN	STAIN
FLR	FLOOR	SYS	SYSTEM
FLUOR	FLUORESCENT LIGHTING		
FOC	FACE OF CONCRETE	T	TREAD
FOF	FACE OF FINISH	T&G	TONGUE & GROOVE
FOS	FACE OF STUD	THK	THICKNESS
FRT	FIRE RETARDANT TREATED	THR	THRESHOLD
FT	FOOT (FEET)	TOB	TOP OF BEAM
FTG	FOOTING	TOC	TOP OF CONCRETE
		TOJ	TOP OF JOIST
		TOM	TOP OF MASONRY
GA	GAGE	TOS	TOP OF SLAB
GALV	GALVANIZED	TOW	TOP OF STEEL
GC	GENERAL CONTRACTOR	TOS	TOP OF WALL
GL	GLASS or GLAZING	TPD	TOILET PAPER DISPENSER
GR	GRADE	TYP	TYPICAL
GWB	GYPSPUM WALLBOARD		
GYP	GYPSPUM		
		UC	UNDERCUT
HC	HOLLOW CORE	UNO	UNLESS NOTED OTHERWISE
HCWD	HOLLOW CORE WOOD DOOR		
HDWD	HARDWOOD	VAR	VARIABLE
HDWR	HARDWARE	VCT	VINYL COMPOSITION TILE
HME	HEATING, VENTILATION & COOLING	VERT	VERTICAL
HORIZ	HORIZONTAL	VIF	VERIFY IN FIELD
HT	HEIGHT	VP	VENEER PLASTER
HW	HEATING VENTILATION AIR CONDITION		
HW	HOT WATER	W/	WITH
		W/O	WITHOUT
IN	INCH	WC	WATER CLOSET
INCL	INCLUDED	WD	WOOD
INSUL	INSULATION	WF	WIDE FLANGE
INT	INTERIOR	WH	WATER HEATER
		WP	WORKING POINT
JAN	JANITOR	WR	WATER RESISTANT
JT	JOINT	WSC	WAINSCOT
JST	JOIST	WT	WEIGHT

PROJECT TEAM

PROPERTY OWNER: FEDERAL REALTY 356 SANTANA ROW SUITE 1005 SAN JOSE CA 95128 PHONE: (408) 551-2254 CONTACT: ROBERT AGUIRRE, SR. PROJECT MANAGER EMAIL: RAGUIRRE@FEDERALREALTY.COM	TENANT: RH 15 KOCH RD. CORTE MADERA, CA 94025 PHONE: 415-924-1005 CONTACT: STU WAGNER EMAIL: SWAGNER@RH.COM
ARCHITECT: MBH ARCHITECTS 960 ATLANTIC AVENUE ALAMEDA, CA, 94501 PHONE: 510-865-8663 CONTACT: RICK NELSON PROJECT MANAGER EMAIL: RIX@MBHARCH.COM CONTACT: BRENDA BARAJAS DESIGNER EMAIL: BRENDAB@MBHARCH.COM	CONSTRUCTION PROJECT MANAGER: GARDINER & THEOBALD 535 5TH AVENUE, FLOOR 3 NEW YORK, NY 10017 PHONE: 212-661-6624 CONTACT: LAUREN WEINGARTNER PROJECT MANAGER EMAIL: L.WEINGARTNER@GARDINERUSA.COM
MECH/ELEC/PLUMB: MECHANICAL ELECTRICAL ENGINEERING CONSULTANTS, MEEC 14406 N. SHELTON RD., SUITE 260, PLYMOUTH, MI 48170 PHONE: 734-454-5516 EXT. 751 CONTACT: WILLIAM E. VERNER III DIRECTOR OF MECHANICAL ENGINEERING EMAIL: WVERN@MEEC.COM	STRUCTURAL: MURPHY BURR CURRY, INC. CONSULTING STRUCTURAL ENGINEERS 85-2ND STREET, SUITE 501 SAN FRANCISCO, CA 94105 PHONE: 415-669-5382 CONTACT: JACK C. KARDON DIRECTOR OF MECHANICAL ENGINEERING EMAIL: JKARDON@MBCSE.COM
LIGHTING DESIGN NEXT STEP DESIGN MALIBU, CA PHONE: 310-924-2185 CONTACT: REBECCA HIDALGO EMAIL: REBECCA@RVK-DESIGN.COM	FOOD SERVICE DESIGN: ERIC MCCONNELL 913 WEST STREET, ANNAPOLIS, MD 21401 PHONE: 410-263-1200 CONTACT: ERIC MCCONNELL EMAIL: EMCCONNELL@NEXTSTEPDESIGN.COM

PLANNING DEPARTMENT: TOWN OF LOS GATOS COMMUNITY DEVELOPMENT DEPARTMENT ADDRESS: 110 E. MAIN STREET, LOS GATOS, CA 95030 PHONE: 408-354-6823 CONTACT: SEAN MULLIN PLANNING MANAGER EMAIL: SMULLIN@LOSATOSCA.GOV	CIVIL ENGINEER: KPFF 700 S. LOWER STREET, SUITE 2100 LOS ANGELES, CA 90017 PHONE: 213-266-5260 CONTACT: CHRIS JONES PRINCIPAL EMAIL: CHRIS.JONES@KPFF.COM
BUILDING DEPARTMENT: TOWN OF LOS GATOS BUILDING DIVISION ADDRESS: 110 E. MAIN STREET, LOS GATOS, CA 95030 PHONE: 408-354-6815 CONTACT: ROBERT GRAY CHIEF BUILDING OFFICIAL/ ADA COORDINATOR EMAIL: RGRAY@LOSATOSCA.GOV	

GENERAL NOTES

- DO NOT SCALE THE DRAWINGS.
- VERIFY FIELD CONDITIONS PRIOR TO COMMENCEMENT OF EACH PORTION OF THE WORK.
- THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS PERFORMED WITHOUT A PERMIT ISSUED BY A REGULATORY AUTHORITY OF THE MUNICIPALITY IN WHICH THE PROJECT IS LOCATED.
- THROUGHOUT THIS SET OF DRAWINGS, THE TERM "SDB" REFERS TO THE CLIENT/TENANT. THE TERM "LANDLORD" REFERS TO THE PROPERTY OWNER.
- THE CONTRACTOR SHALL MAKE NO REVISIONS, ALTERATIONS OR CHANGES TO THE WORK AS SHOWN IN THE CONTRACT DOCUMENTS WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT AND/OR SDB REPRESENTATIVE. NO ADDITIONAL COSTS FROM THE GENERAL CONTRACTOR SHALL BE CONSIDERED AND THE WORK MAY BE REQUIRED TO BE REMOVED WITHOUT SUCH APPROVAL BY ARCHITECT.
- SEE SPECIFICATIONS FOR ADDITIONAL CRITERIA AND CONSTRUCTION REQUIREMENTS.
- DIMENSIONS SHOWN AS "VIF" SHALL BE VERIFIED BY THE CONTRACTOR IN THE FIELD BY LAYING OUT THE PARTITIONS. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK.
- DIMENSIONS SHOWN AS "CLEAR" OR "HOLD" SHALL BE MAINTAINED AND ALLOW FOR THICKNESS OF FINISHES, INCLUDING FLOOR FINISHES. NOTIFY ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS PRIOR TO PROCEEDING WITH WORK.
- DIMENSIONS ARE TO THE STRUCTURAL GRID OR TO FINISH SURFACES, UNLESS OTHERWISE INDICATED.
- ELEVATIONS REFERENCED ARE ABOVE SDB FINISH FLOOR FOR EACH ROOM THROUGHOUT TENANT SPACE, UNLESS OTHERWISE NOTED. FINISH FLOOR ELEVATIONS MAY VARY FROM ROOM TO ROOM DEPENDING UPON FLOOR FINISHES.
- GENERAL CONTRACTOR SHALL PROVIDE THE BUILDING OFFICIAL WITH A CERTIFICATE OF CONSTRUCTION COMPLIANCE WITH ENERGY CONSERVATION STANDARDS UPON FINAL BUILDING DEPARTMENT INSPECTIONS (WHERE REQUIRED).
- GENERAL CONTRACTOR SHALL PREPARE THE FLOOR LEVEL AND SMOOTH AND PROVIDE FOR THE FILLING OF ALL FLOOR DRAINS, FLOOR SINKS OR OTHER SUCH DEPRESSIONS, CRACKS OR IRREGULARITIES IN FLOOR SLAB.
- PROVIDE BLOCKING AT WALLS TO MEET CODE MINIMUM WHERE REQUIRED FOR SUPPORT OF FIXTURES/ACCESSORIES.
- GENERAL CONTRACTOR SHALL PROVIDE ACCESS PANELS FOR ALL TRADES AS REQUIRED BY CODE. LOCATIONS TO BE APPROVED BY ARCHITECT AND/OR SDB REPRESENTATIVE PRIOR TO EXECUTION OF WORK.
- FIRE EXTINGUISHERS AND CABINETS AS REQUIRED BY LOCAL GOVERNMENT AGENCY SHALL BE PROVIDED BY GENERAL CONTRACTOR AND INCLUDED IN CONTRACT.
- STORAGE IN STOCK/STORAGE ROOMS SHALL BE MAINTAINED 18 INCHES OR MORE BELOW SPRINKLER HEAD DEFLECTORS. A 3-INCH RED STRIPE SHALL BE MARKED ALONG ALL WALLS WITHIN STOCK/STORAGE AT THE MAXIMUM STORAGE HEIGHT, AND STRIPE SHALL BE LABELED "NO STORAGE ABOVE THIS LINE" IN WHITE LETTERS A MINIMUM OF ONCE ON EACH WALL.

PROJECT DATA

APN:	529 02 044
EXISTING E31 BUILDING AREA (GROSS)	7,233 SF
EXISTING E35 BUILDING AREA (GROSS)	8,724 SF
(NO CHANGE TO EXISTING GROSS AREA)	
OCCUPANCY GROUP:	M & A-2 S-2 (GARAGE)
STORIES:	2- STORY
CONSTRUCTION TYPE:	IIB, VB
OCCUPANT LOAD:	M - 185 OCC A-2 - 100 OCC
SPRINKLERED (YES/NO):	YES (EXISTING)

SCOPE DESCRIPTION

TENANT IMPROVEMENT OF TWO GROUND FLOOR TENANT SPACES. THE TWO SPACES WILL HAVE THE INTERIOR DEMOLISHED AND RE-CONFIRMED INTO ONE SPACE. THE NEW USE WILL BE A RETAIL SHOWROOM INCLUDING A RESTAURANT.

THERE IS NO CHANGE IN GROSS BUILDING AREA OR PROPOSED USE.

SCOPE TO INCLUDE COMPLETE BUILD-OUT WITH ASSOCIATED PLUMBING, MECHANICAL, ELECTRICAL, KITCHEN EQUIPMENT AND FINISHES THROUGHOUT.

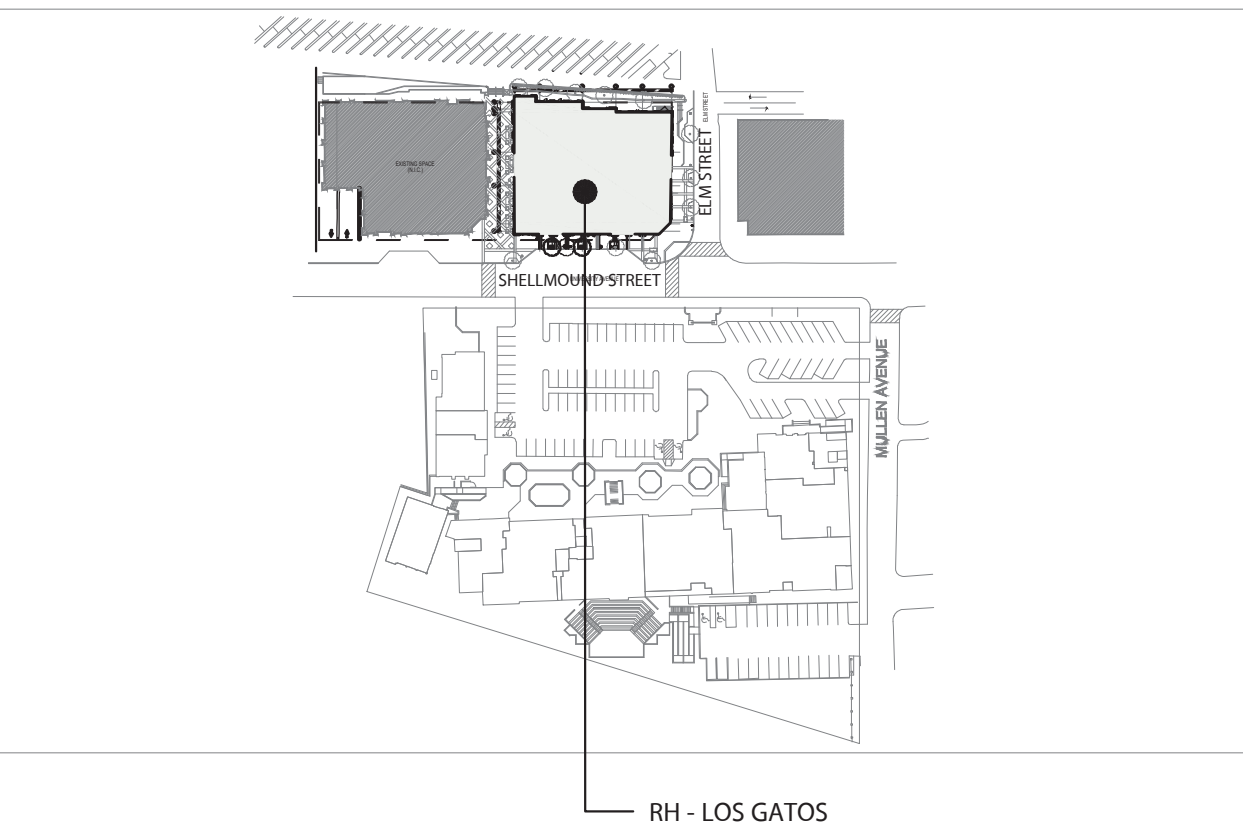
CODE INFORMATION

AUTHORITY HAVING JURISDICTION:		TOWN OF LOS GATOS
BUILDING CODE:	CALIFORNIA BUILDING CODE	2022
GREEN BUILDING CODE:	CALIFORNIA GREEN BUILDING STANDARDS CODE	2022
ACCESSIBILITY CODE:	CALIFORNIA BUILDING CODE	2022
ENERGY CODE:	CALIFORNIA ENERGY CODE	2022
MECHANICAL CODE:	CALIFORNIA MECHANICAL CODE	2022
PLUMBING CODE:	CALIFORNIA PLUMBING CODE	2022
ELECTRICAL CODE:	CALIFORNIA ELECTRICAL CODE	2022
FIRE CODE:	CALIFORNIA FIRE CODE	2022
HEALTH CODE:	CALIFORNIA RETAIL FOOD CODE	2022

VICINITY MAP



KEY PLAN



SYMBOLS LEGEND

	EXISTING WALL		SECTION INDICATOR		POINT OF BEGINNING		KEY NOTE
	NEW WALL		DRAWING REVISION INDICATOR		FINISH INDICATOR		DOOR NO.
	NEW PARTIAL HT WALL		STRUCTURAL/EXISTING COLUMN GRIDLINE INDICATOR		INTERIOR ELEVATION INDICATOR		DETAIL INDICATOR
	COOLER/FREEZER WALL						

DRAWING INDEX

SHEET NO	SHEET NAME	10/18/2024 PRE-APPLICATION PACKAGE	11/06/2024 PLANNING SUBMITTAL	11/22/2024 100% SCHEMATIC DESIGN	01/09/2025 PLANNING SUBMITTAL 2				
A001	COVER SHEET	●	●	●	●				
A0101	SITE PLAN	●	●	●	●				
A0101	EXISTING FLOOR PLAN	●	●	●	●				
A100	EXISTING BASEMENT PLAN	●	●	●	●				
A101	FLOOR PLAN	●	●	●	●				
A104	ROOF PLAN	●	●	●	●				
A201	EXTERIOR ELEVATIONS	●	●	●	●				
A202	EXTERIOR ELEVATIONS	●	●	●	●				
A203	EXISTING EXTERIOR ELEVATIONS	●	●	●	●				
A204	EXISTING EXTERIOR ELEVATIONS	●	●	●	●				
A301	BUILDING SECTIONS	●	●	●	●				
A400	EXISTING BUILDING PHOTOS	●	●	●	●				
A401	EXISTING BUILDING PHOTOS	●	●	●	●				
A402	EXTERIOR BUILDING RENDERERS	●	●	●	●				
A403	EXTERIOR BUILDING RENDERERS	●	●	●	●				
A404	INTERIOR BUILDING RENDERERS	●	●	●	●				
A405	INTERIOR BUILDING RENDERERS	●	●	●	●				
A406	MATERIAL FINISHES	●	●	●	●				
A500	EXTERIOR SIGNAGE (FOR REFERENCE ONLY)	●	●	●	●				

LIGHTING									
L1-10	LIGHTING LAYOUT		●	●	●				
L1-20	EXTERIOR LIGHTING ELEVATIONS		●	●	●				



PLUMBING CALCULATIONS

FUNCTION OF SPACE	OCCUPANCY LOAD PER 2022 CBC TABLE 1004.5 (SQUARE FEET)	SQUARE FOOTAGE	TOTAL OCCUPANTS
MERCANTILE	1 PER 60	11073 SF	185 OCC
ASSEMBLY (WITHOUT FIXED SEATS) UNCONCENTRATED	1 PER 15	900 SF	60 OCC
FIXED BOOTH SEATING	1 PER 24*		36 OCC
KITCHEN	1 PER 200	800 SF	4 OCC
TOTAL:		12,776 SF	286 OCC

*PER TABLE CPC 4-1 FOOTNOTE - ACCESSORY AREAS SUCH AS, BUT NOT LIMITED TO HALLWAYS/CORRIDORS, STAIRWAYS, RAMPS, TOILET ROOMS, MECHANICAL ROOMS, CLOSETS AND FIXED EQUIPMENT MAY BE EXCLUDED.
*PER TABLE CPC 422.1 - RESULT IN FRACTIONAL NUMBERS. SUCH NUMBER SHALL BE ROUNDED TO THE NEXT WHOLE NUMBER. FOR MULTIPLE OCCUPANCIES, FRACTIONAL NUMBER SHALL BE FIRST SUMMED AND THEN ROUNDED TO THE NEXT WHOLE NUMBER.

M OCCUPANCY (PER OCC. LOAD) @ GROUND FLR	A-2 OCCUPANCY (PER OCC. LOAD) @ GROUND FLR	SUM UP ALL REQUIRED FIXTURES
185 OCCUPANTS 193 MALE & 93 FEMALE	100 OCCUPANTS 150 MALE & 50 FEMALE	
i. WATER CLOSET (M): 93 OCCUPANTS X 1/100 = .93 ii. WATER CLOSET (F): 93 OCCUPANTS X 1/100 = .93	i. WATER CLOSET (M): 50 OCCUPANTS X 1/50 = 1 ii. WATER CLOSET (F): 50 OCCUPANTS X 1/25 = 2	
iii. URINAL (M): 93 OCCUPANTS X 1/200 = .47 iv. LAVATORY (M): 93 OCCUPANTS X 1/200 = .47	iii. URINAL (M): 50 OCCUPANTS X 1/200 = .25 iv. LAVATORY (M): 50 OCCUPANTS X 1/150 = .34 v. LAVATORY (F): 93 OCCUPANTS X 1/200 = .47	

FRACTIONAL METHOD	WATER CLOSETS		URINALS	LAVATORIES	
	M	F		M	F
TOTAL	2	3*	1	1	1
REQUIRED	5		1	2	
PROVIDED	6		1 WC	6	

*POTTY PARITY - PER CPC 422.1 NOTE 3 - THE TOTAL NUMBER OF REQUIRED WATER CLOSETS FOR FEMALES SHALL BE NOT LESS THAN THE TOTAL NUMBER OF REQUIRED WATER CLOSETS AND URINALS FOR MALES.

RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

COVER SHEET

Drawing No.

A001

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

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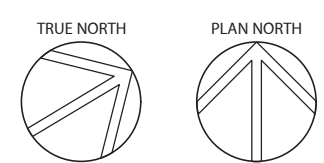
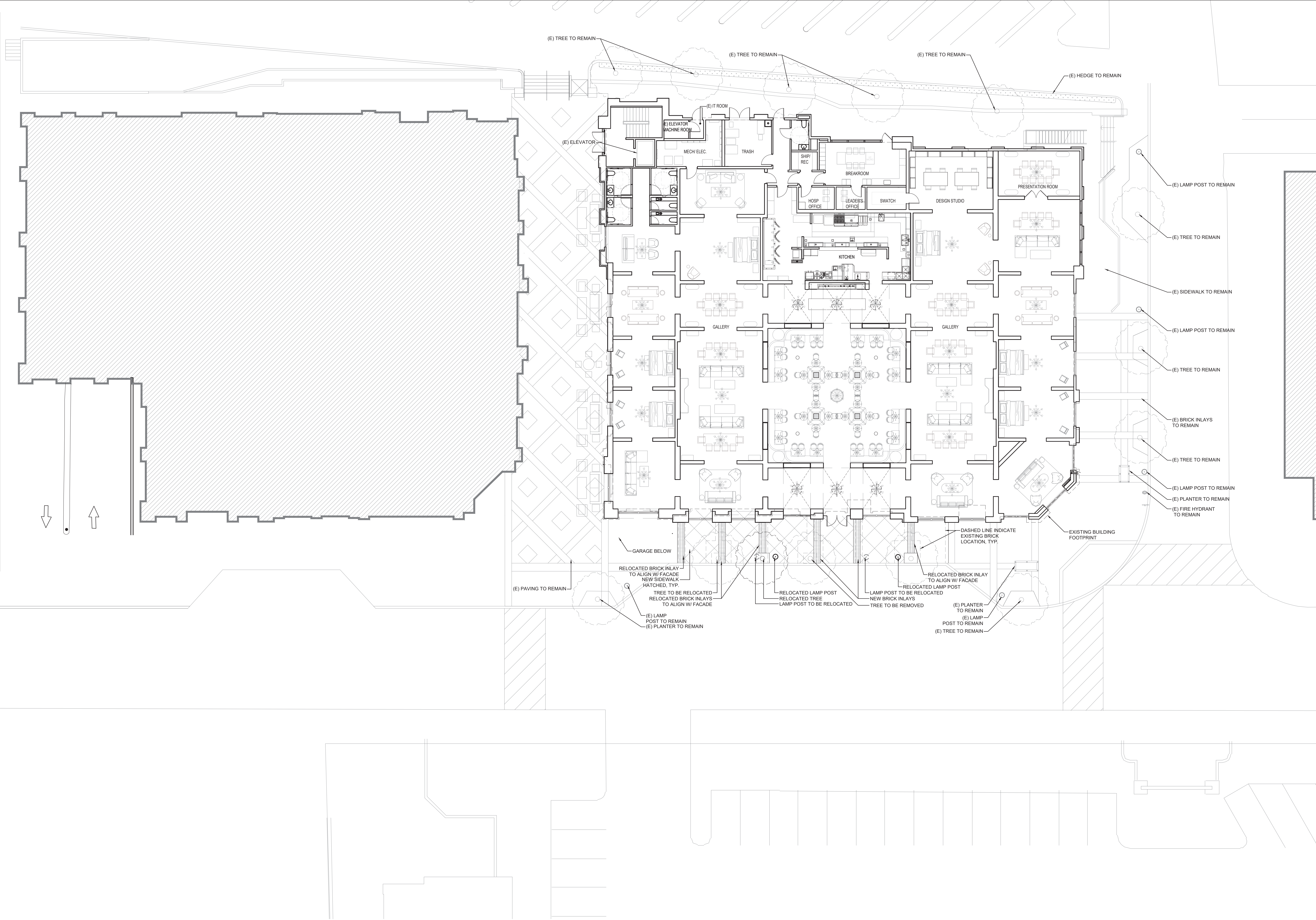
Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

SITE PLAN

Drawing No.

AS101

SITE PLAN | 1



SCALE: 1/16"=1'-0"

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



Seal

Consultant

No.	Date	Issued/Revised
01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
04	01/09/2025	PLANNING SUBMITTAL 2

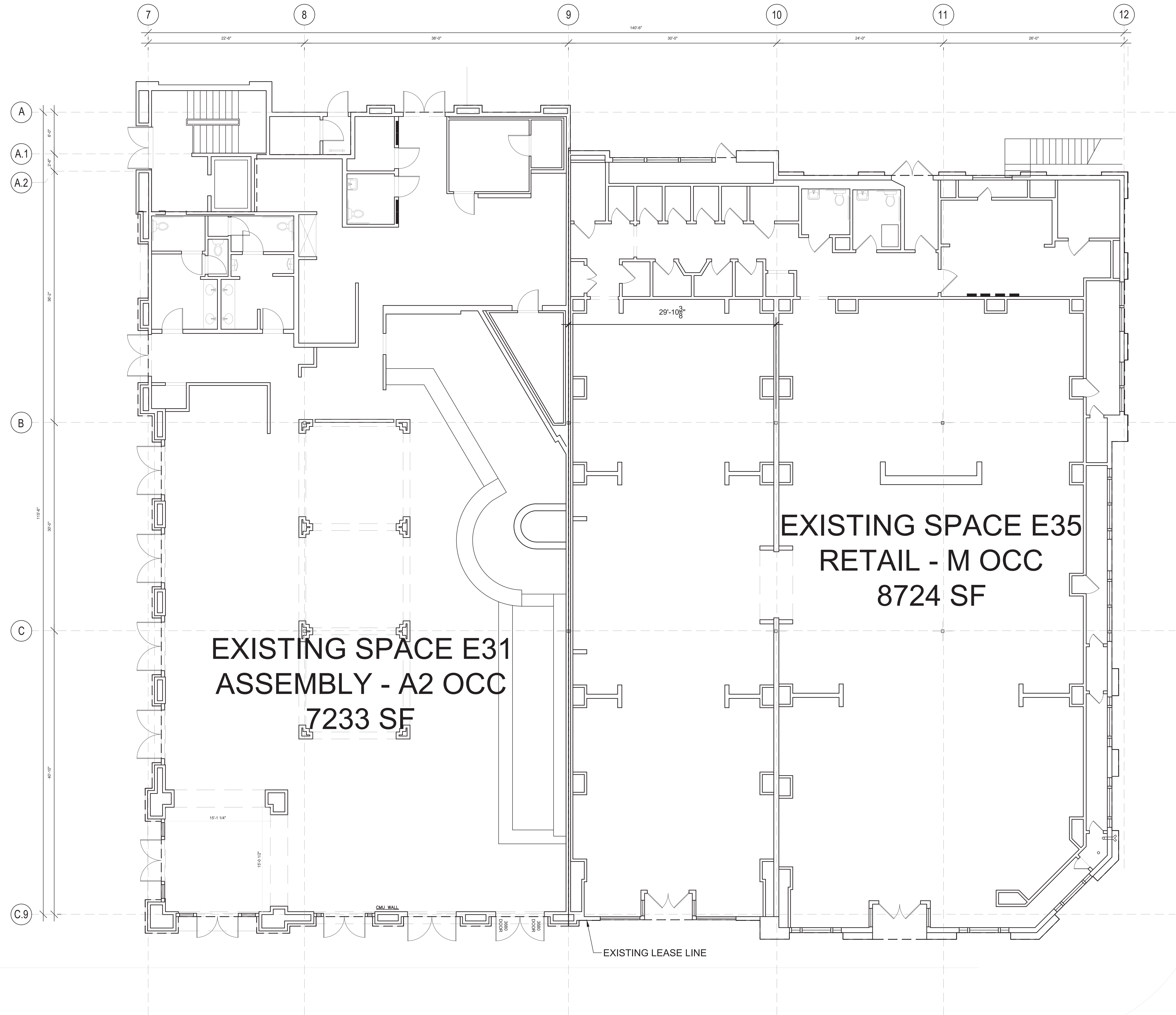
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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXISTING FLOOR
PLAN

Drawing No.

AD101

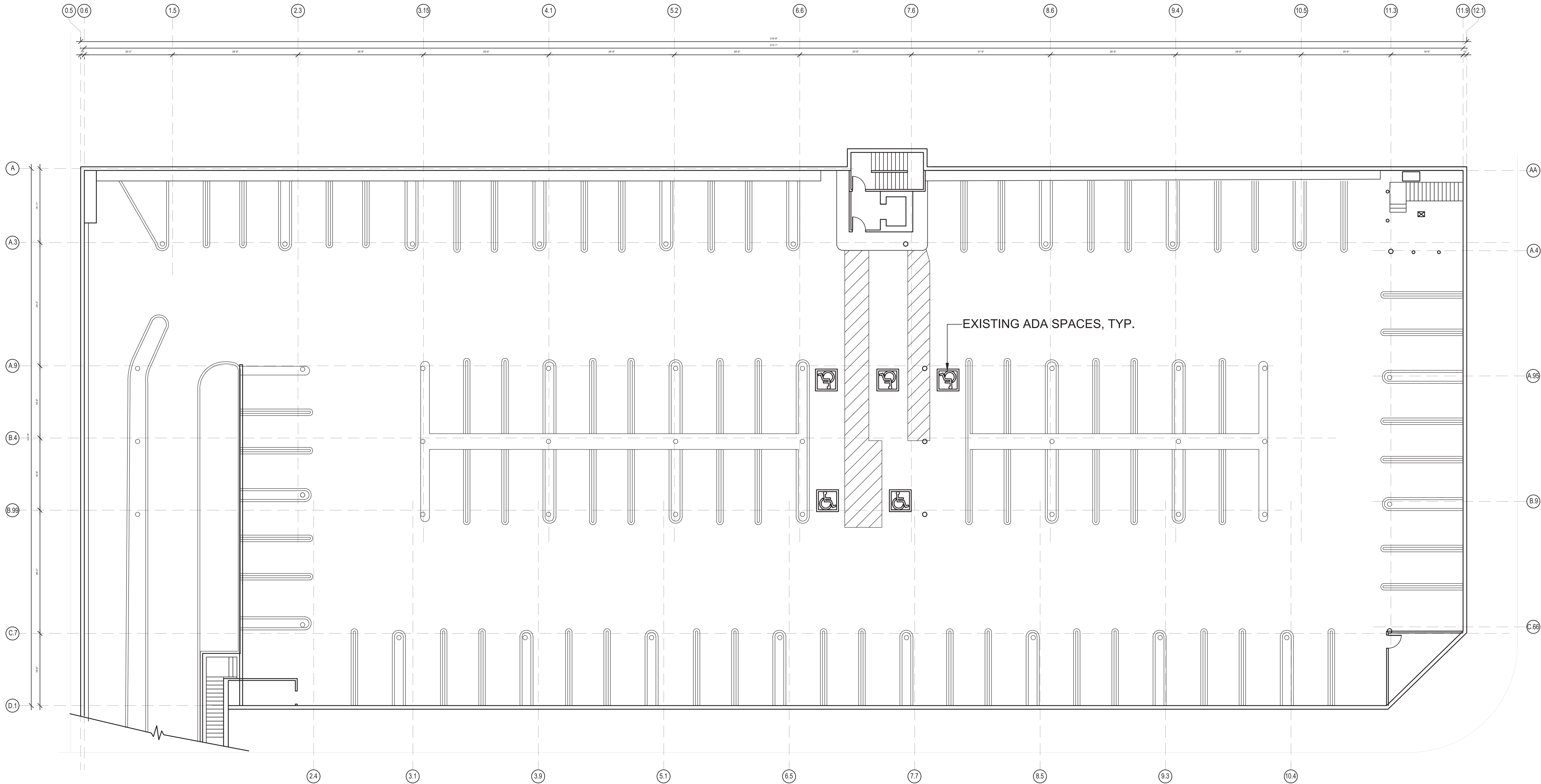


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01	10/18/2024	PRE-APPLICATION PACKAGE
02	11/06/2024	PLANNING SUBMITTAL
03	11/22/2024	100% SCHEMATIC DESIGN
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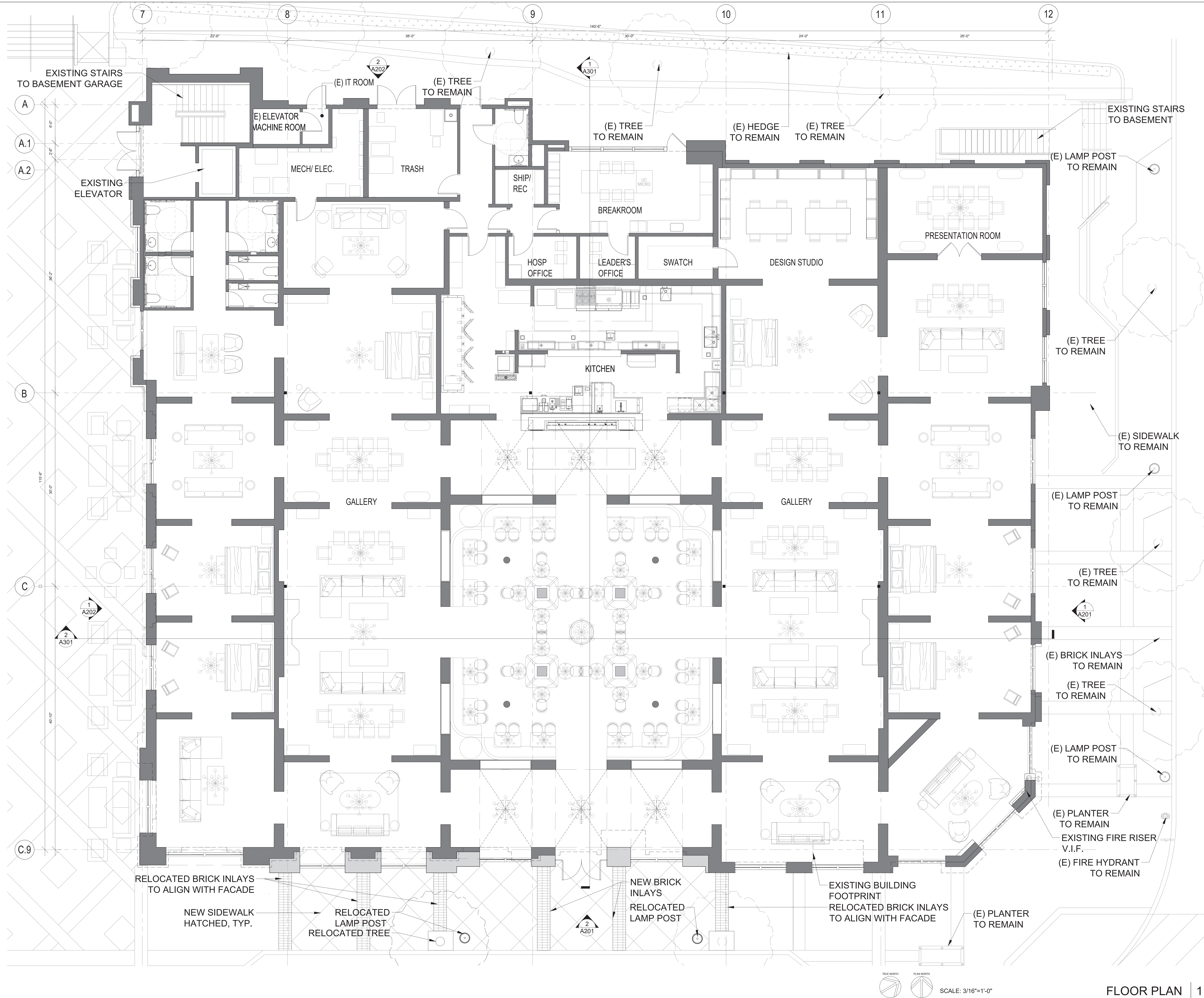
Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXISTING
BASEMENT PLAN



FOR REFERENCE ONLY





RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect

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Seal

Consultant

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Project No. 59485
Drawn By: Brenda B
Reviewed By: Rick N
Scale As noted
Drawing Title

FLOOR PLAN

Drawing No.

A101

FLOOR PLAN | 1

SCALE: 3/16"=1'-0"

Project

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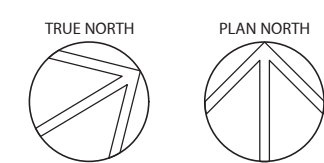
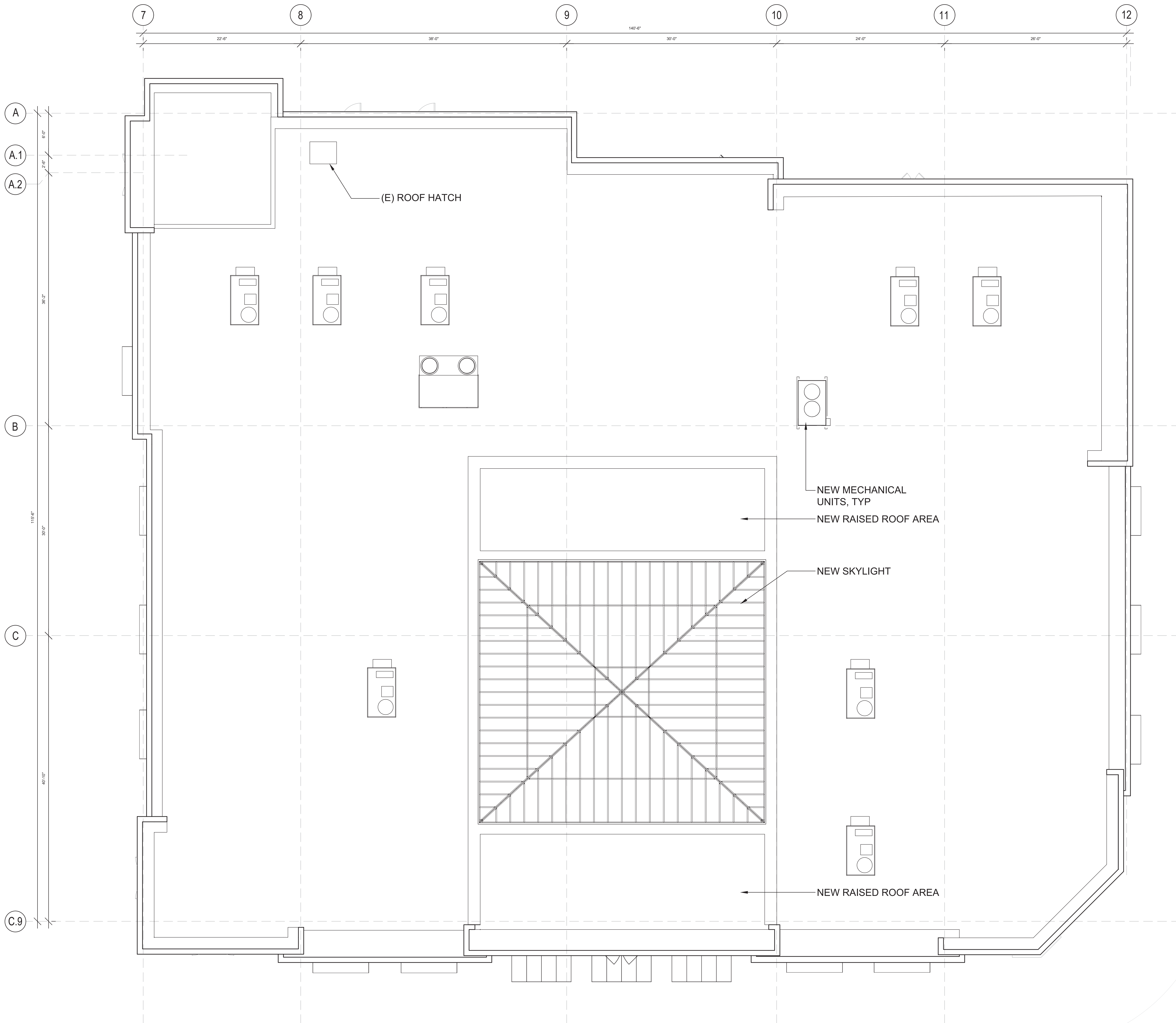
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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing	Title

ROOF PLAN

Drawing No.

A104



ROOF PLAN | 1

Project

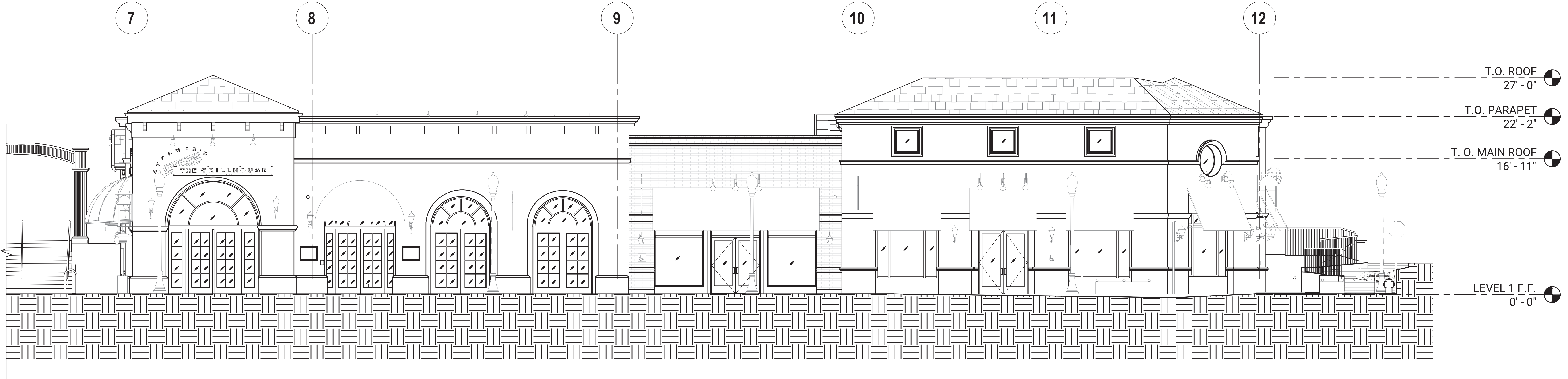
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Architect

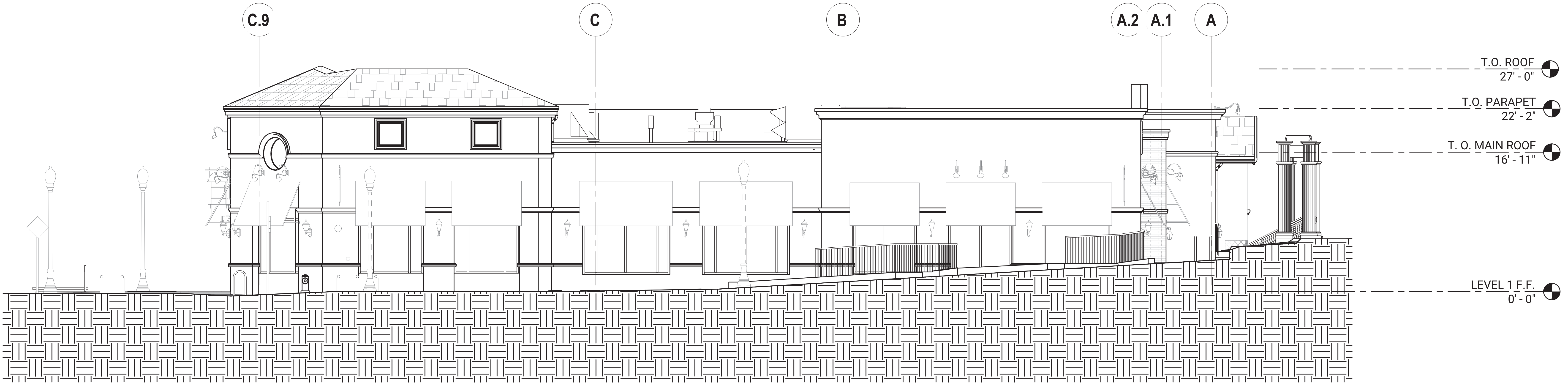


Seal

Consultant



SCALE: 3/16"=1'-0" EXISTING SOUTH EXTERIOR ELEVATION | 2



SCALE: 3/16"=1'-0" EXISTING EAST EXTERIOR ELEVATION | 1

No.	Date	Issued/Revised
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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXISTING
EXTERIOR
ELEVATIONS

Drawing No.

A203



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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXISTING
BUILDING
PHOTOS

Drawing No.

A400

SCALE: N.T.S.

EXISTING BUILDING PHOTOS | 1



Project

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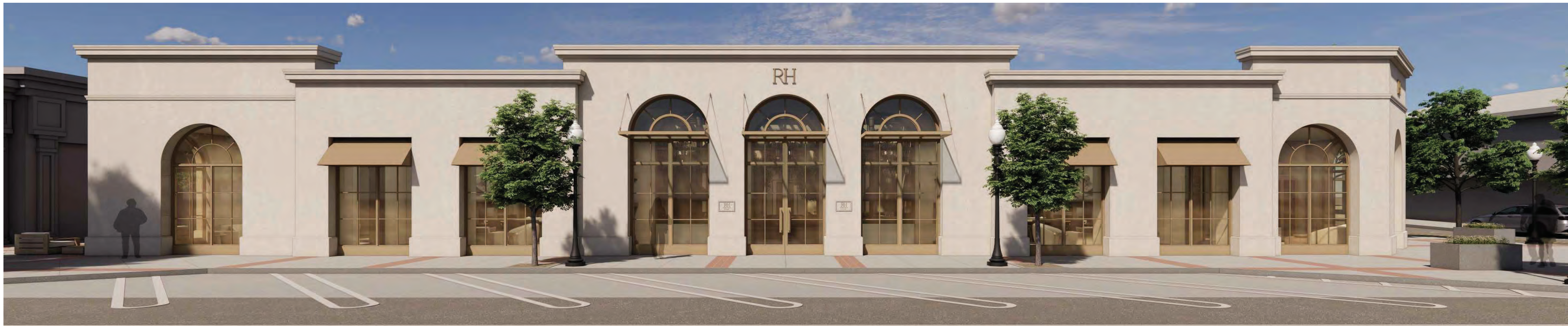
Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXISTING
BUILDING
PHOTOS

Drawing No.

A401

SCALE: N.T.S.



RH

Project

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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXTERIOR
BUILDING
RENDERS

Drawing No.

A402

SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS

1



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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXTERIOR
BUILDING
RENDERS

Drawing No.

A403

SCALE: N.T.S.

PROPOSED EXTERIOR RENDERS

1



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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted

Drawing Title

INTERIOR
BUILDING
RENDERS

Drawing No.

A404

SCALE: N.T.S.

PROPOSED INTERIOR RENDERS

1

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1	10/18/2024	PRE-APPLICATION PACKAGE
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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted

Drawing Title

INTERIOR BUILDING RENDERS

Drawing No.

A405



SCALE: N.T.S.

PROPOSED INTERIOR RENDERS

1

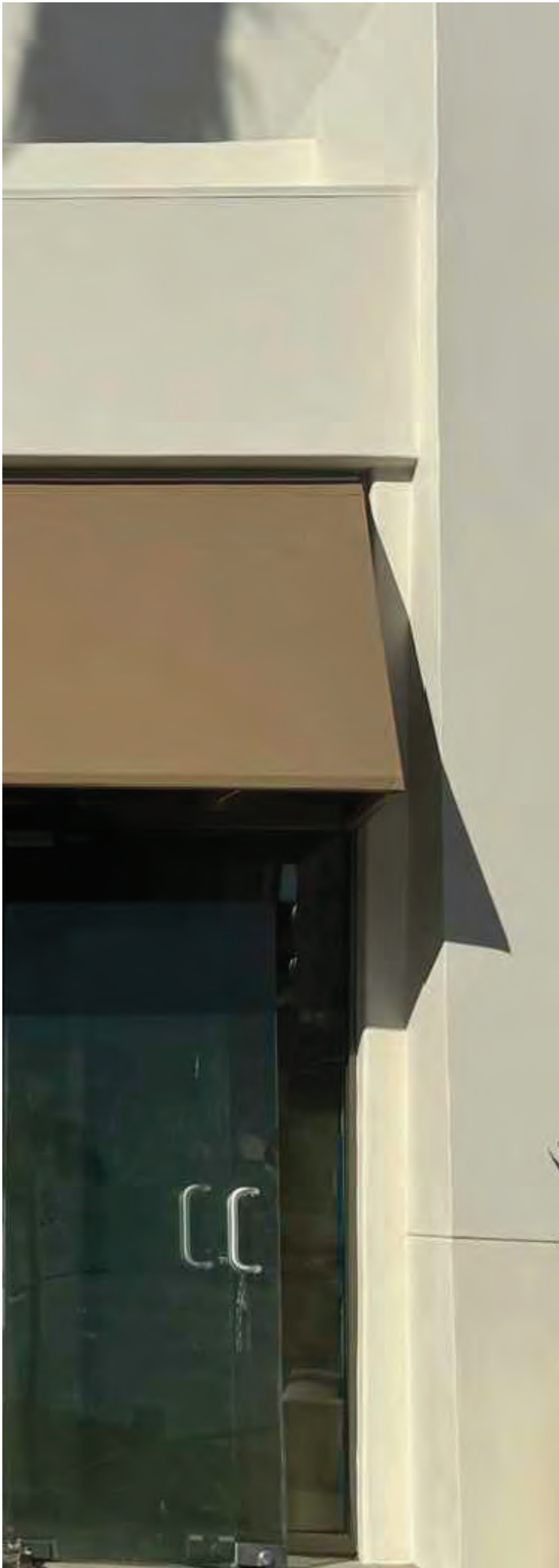
MATERIAL FINISHES



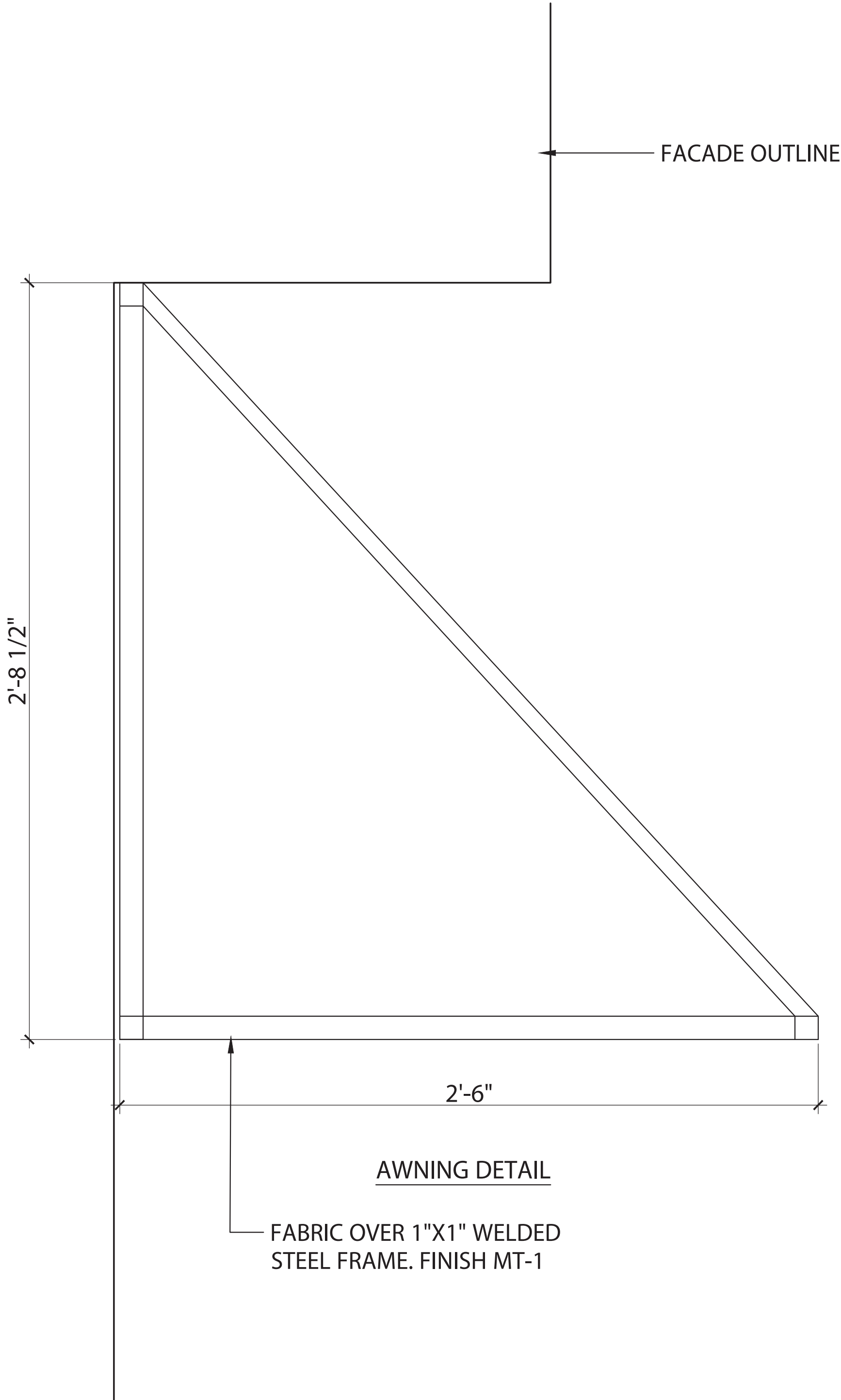
MT-1
METAL FINISH
MFR: CREATIVE PAINTS SAN FRANCISCO
PAINTED METAL CUSTOM METALLIC PLAINT



STU-1
STUCCO SYSTEM
MFR: RICK MARS
EXTERIOR CLADDING
LIGHT CREAM PROPRIETARY 5 COAT VENETIAN PLASTER
CUSTOM FINISH PER OWNER REQUIREMENTS



FABRIC AWNING

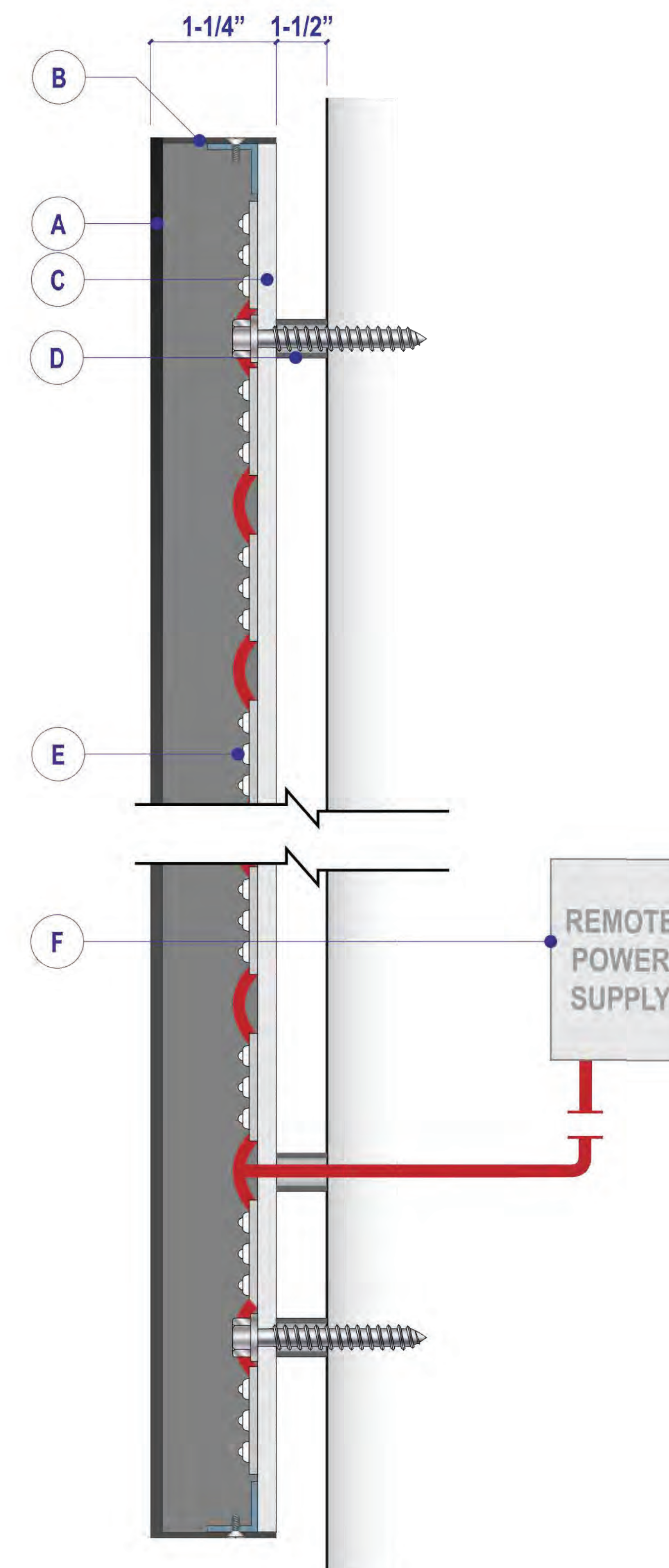
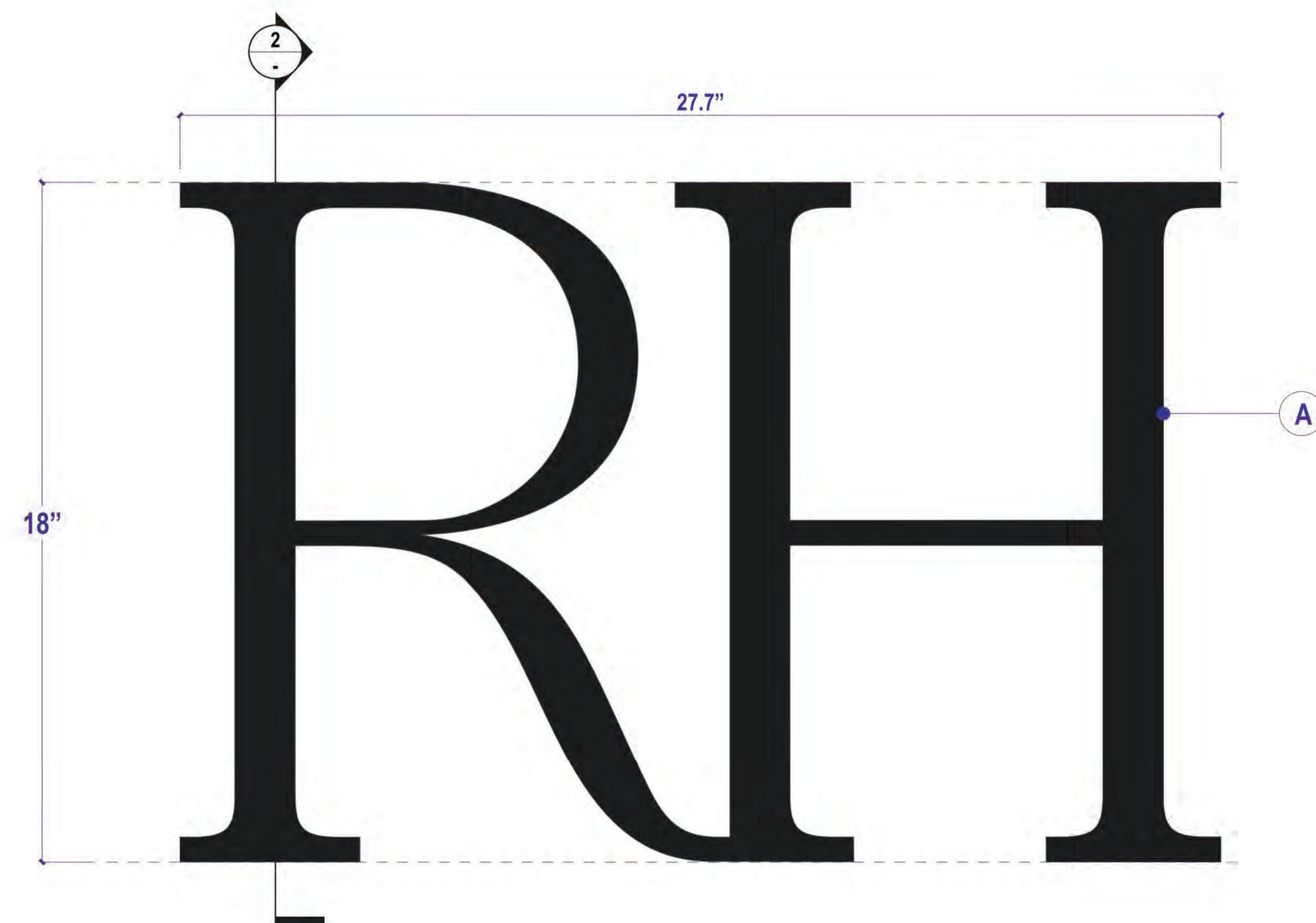


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Drawing Title	

MATERIAL FINISHES



SPECIFICATIONS:

- A. 1/8" THICK ALUMINUM FACE PAINT TO MATCH
AWNINGS/WINDOW FRAMES**
- NOTE: SOME STROKE ADJUSTED TO ACCOMODATE
LED LIGHT LAYOUT REQUIREMENTS**
- B. .050" THICK ALUMINUM RETURNS PAINTED RAL 9005
JET BLACK SATIN (MP923) MOUNTED TO "C" VIA
ANGLE BRACKETS AND SCREWS**
- C. 3/16" POLYCARBONATE BACK WITH SINGLE LAYER
OF WHITE FROSTED CRYSTAL 7725E-324 DIFFUSER
RIVETED TO ALUMINUM ANGLE BRACKETS MOUNTED
TO FINISH WALL VIA 1/4"-20 SCREWS AND ANCHOR
IN 7 PLACES**
- D. 1/2" DIA. ALUMINUM SPACERS**
- E. AGI LIGHT 3000K**
- F. MAGNITUDE M150L12DC-AR LED DRIVER**




NOT 100% SCALE
20" X 30" FRAME
MATCHES RENDERING

4 ENTRY PLAQUE SIGN DETAIL



ALL ELECTRICAL COMPONENTS ARE
UL APPROVED AND FOLLOW 600 GROUNDING
AND BONDED GUIDELINES

<div> THOMAS-SWAN SIGN COMPANY, INC. 2717 GOODRICK AVENUE, RICHMOND, CA 94801 510-232-9610 • CALIFORNIA LICENSE #269069</div>	<div>© 2021 THOMAS SWAN SIGN COMPANY, INC. All rights reserved. This drawing and the concepts, ideas and design development expressed herein are intended for use on this project only, and remain the sole property of Thomas Swan Sign Company, Inc. Original design concepts developed as part of this work remain the property and copyright of their respective owners. All dimensions and measurements are to be approved by the Client prior to any manufacturing or installation of these designs. Items are at scale noted when this page is printed at 11" x 17".</div>	<div>PROJECT NAME & ADDRESS RESTORATION HARDWARE</div>	<div>SIGN TYPE RH HALO-LIT BUILDING LOGO</div>	<div>DATE / REVISIONS</div>	<div>CLIENT Restoration Hardware</div>	<div>JOB NUMBER 8258</div>	<div>QUANTITY 2</div>
			<div>FILE NAME 18IN_LOS GATOS</div>		<div>SALES Ryan Goss</div>	<div>SHEET NUMBER 1.00</div>	
			<div>APPROVED FOR CONSTRUCTION - INCLUDE NAME & DATE <div></div></div>		<div>DRAWN BY</div>		

RH

Project

RH - LOS GATOS
31 UNIVERSITY AVE,
LOS GATOS, CA 95030

Architect



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No.	Date	Issued/Revised
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Project No.	59485
Drawn By:	Brenda B
Reviewed By:	Rick N
Scale	As noted
Drawing Title	

EXTERIOR SIGNAGE

Drawing No.

A500

SCALE: N.T.S.

EXTERIOR SIGNAGE | 1

1

FOR REFERENCE ONLY

- NOTES FOR GENERAL CONTRACTOR:
- General Contractor (GC) and Electrical Contractor (EC) will be responsible for verification of all dimensions, specifications and coordination with related trades and subcontractors.
 - GC to paint downlight trims to match ceiling per architects direction. Ensure trims can be removed after painting and do not stick.
 - GC to furnish and install adequate drainage around all direct burial transformers and recessed in-grade light fixtures.
 - GC to notify designer of any conflict with mechanical, electrical, plumbing, HVAC or structural presence or any conflicting dimensions or site conditions prior to commencement of work.
 - GC is responsible for notifying designer of any inconsistencies between design drawings and other documents.
 - Do not scale drawings.

- GENERAL NOTES:
- Lighting Design drawings and dimensions are for design intent only. Coordination with Architectural Drawings required.
 - Fixture types and specifications available in accompanying Specification packet.
 - Calculations for code compliance to be provided by Electrical Engineer.
 - Emergency lighting requirements to be completed by Electrical Engineer.

REV. DATE	DESCRIPTION
10.23.2024	FOR REVIEW
11.22.2024	100% SCHEMATIC DESIGN
01.10.2025	PLANNING REVIEW

PROJECT:

RH LOS GATOS

35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

LIGHTING LAYOUT

SHEET:

LT-1.0

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

ALL BUILDING LIGHTING AT RH LOS GATOS IS CONTROLLED BY PRESET SCENES ON A TIME CLOCK SCHEDULE.

BUILDING WIDE SCENE DESCRIPTIONS

SCENE 1: RETAIL DAY ACTIVATES AT 7:00AM DAILY. 15 SECOND FADE TIME. INTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH. EXTERIOR LIGHTING TURNS OFF

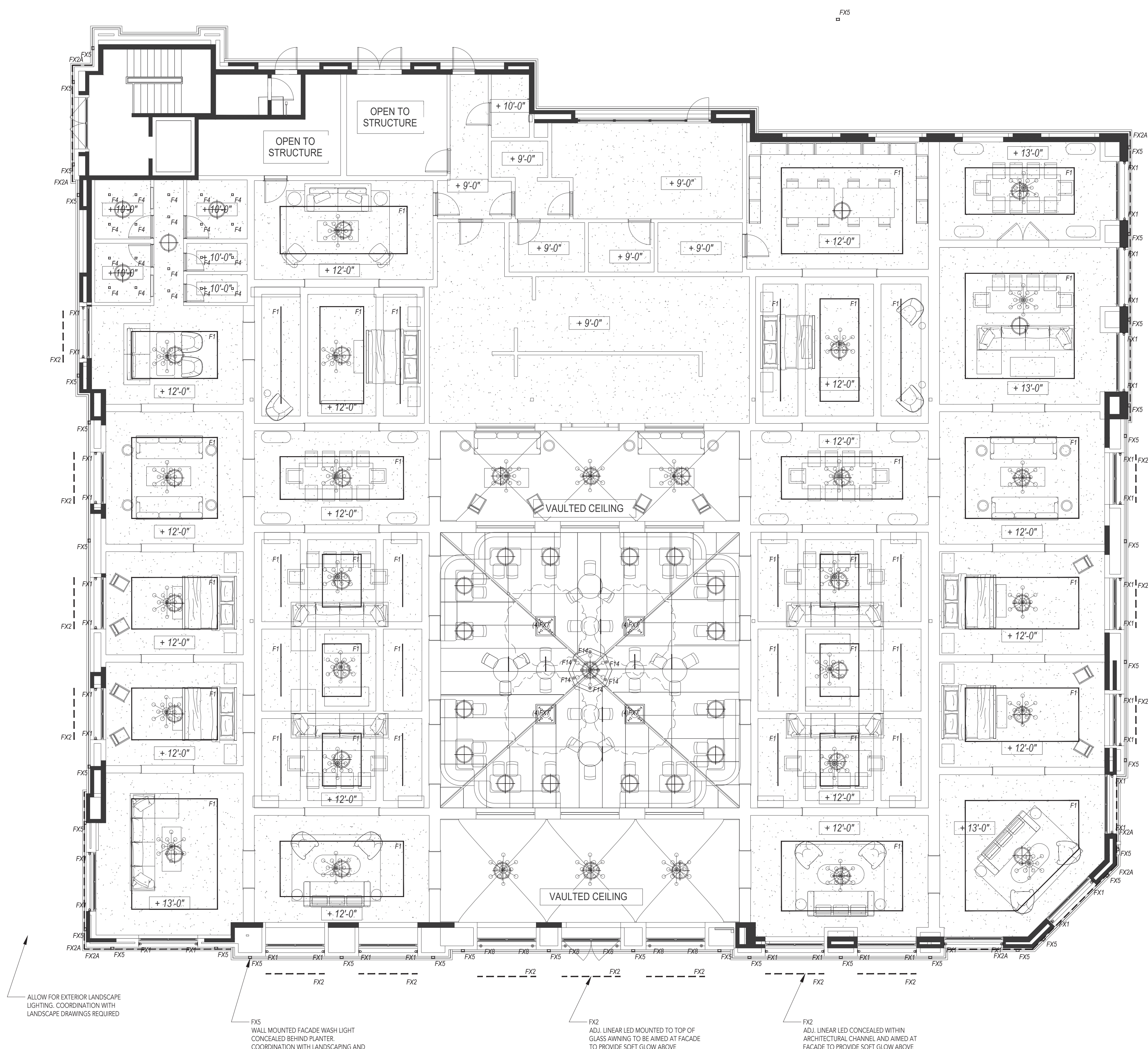
SCENE 2: RETAIL NIGHT ACTIVATES 15 MINUTES BEFORE SUNSET. 15 SECOND FADE TIME. EXTERIOR LIGHTING TURNS ON AT PRESET, DIMMED LEVELS DETERMINED BY LIGHTING DESIGNER AND APPROVED BY RH.

SCENE 3: OVERNIGHT ACTIVATES AT 11PM. MOST INTERIOR LIGHTING TURNS OFF. LIGHTING DESIGNER TO DETERMINE OVERNIGHT SETTING ON SITE AHEAD OF GALLERY OPENING.

SCENE 4: EVENT ACTIVATES ON-DEMAND DURING OPENING EVENT. LIGHTING DESIGNER WILL DETERMINE CUSTOM SETTING APPROVED BY RH.

- NOTES FOR ZONING AND LIGHTING CONTROLS:
- ALL BUILDING LIGHTING TO BE DIMMABLE, INCLUDING ARCHITECTURAL AND DECORATIVE (MERCHANDISE) LIGHTING.
 - ONE ZONE PER "F" TYPE, PER INSTALLATION LOCATION OR CONDITION (UNLESS OTHERWISE NOTED ON DRAWINGS).

LIGHTING LEGEND			
TYPE	SYMBOL	DESCRIPTION	LOCATION
F1	—	SURFACE MOUNTED SINGLE CIRCUIT TRACK	RETAIL, THROUGHOUT
F2	▷	ADJUSTABLE TRACK HEAD	RETAIL, THROUGHOUT
F4	■	3" SQUARE RECESSED DOWNLIGHT	RESTROOMS, PASSAGES
F14	●	WEIGHTED BASE UNDERWATER ACCENT LIGHT	CAFE CENTRAL FOUNTAIN
FX1	▸	JAMB MOUNTED ACCENT LIGHT	FACADE, DOOR AND WINDOW JAMBS
FX2	---	SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE AWNINGS
FX2A	---	SURFACE MOUNTED LINEAR LED UPLIGHT	FACADE, CORNICE
FX5	□	WALL MOUNTED FACADE WASH LIGHT	FACADE
FX7	⬢	STAKE MOUNTED TREE UPLIGHT	CAFE TREES
FX8	●	GRADE RECESSED UPLIGHT	MAIN ENTRY DOOR JAMBS



1 EXTERIOR LIGHTING LAYOUT
1/8" = 1'-0"

- NOTES FOR GENERAL CONTRACTOR:
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2. GC to paint downlight trims to match ceiling per architects direction. Ensure trims can be removed after painting and do not stick.

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10.23.2024	FOR REVIEW	
11.22.2024	100% SCHEMATIC DESIGN	
01.10.2025	PLANNING REVIEW	

PROJECT:

RH LOS GATOS

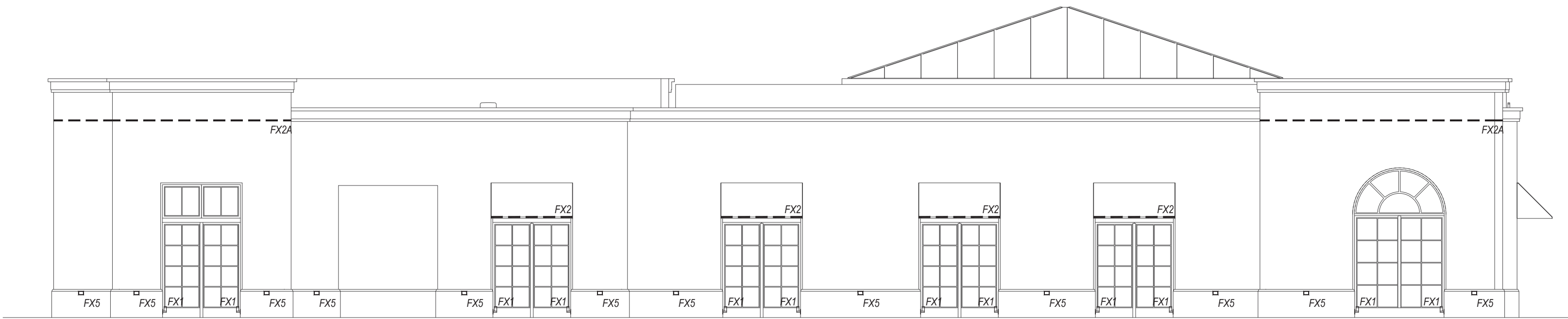
35 UNIVERSITY BLVD,
LOS GATOS, CA 95030

DRAWING TITLE:

EXTERIOR
LIGHTING
ELEVATIONS

SHEET:

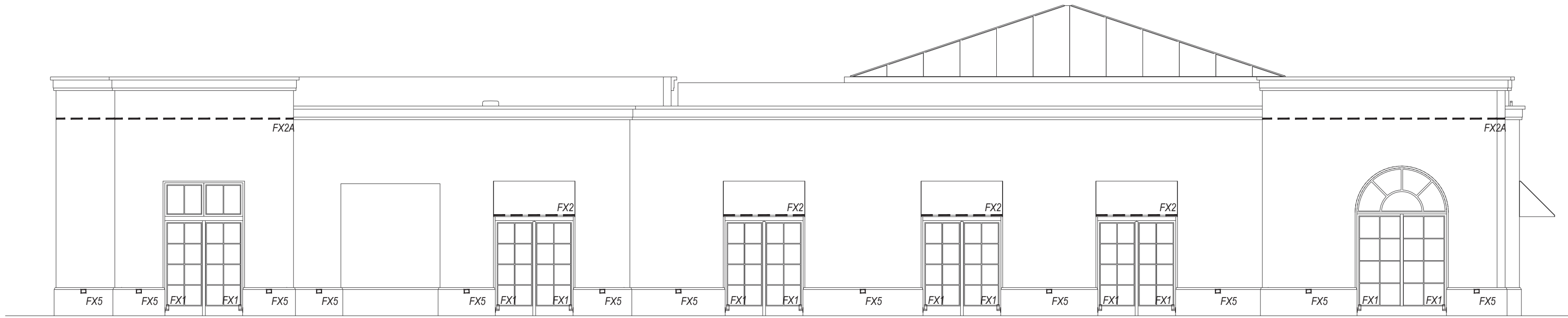
LT-2.0



1

WEST ELEVATION

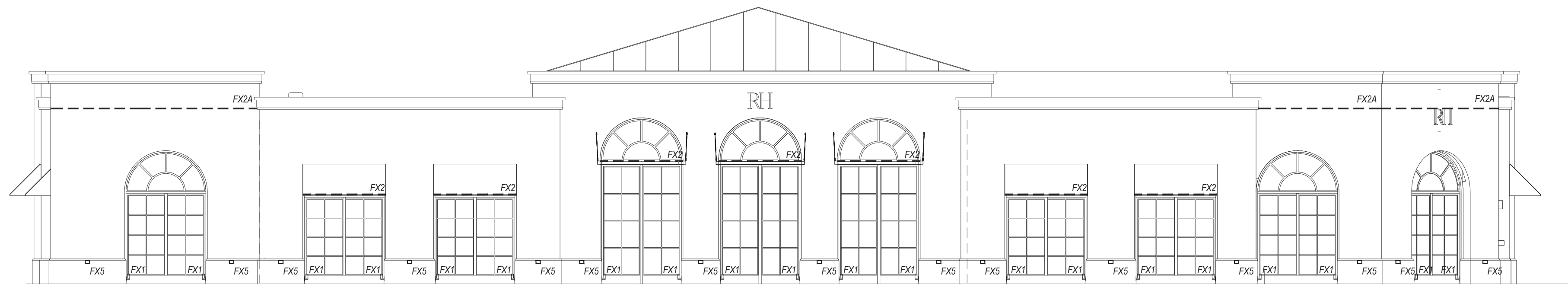
1/8" = 1'-0"



2

EAST ELEVATION

1/8" = 1'-0"



3

SOUTH ELEVATION

1/8" = 1'-0"

LIGHTING CONTROL SYSTEM SEQUENCE OF OPERATION:

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FX5	■	WALL MOUNTED FACADE WASH LIGHT	FACADE
FX7	⬢	STAKE MOUNTED TREE UPLIGHT	CAFE TREES
FX8	●	GRADE RECESSED UPLIGHT	MAIN ENTRY DOOR JAMBS

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