

NEW 2 STORY RESIDENCE

ANZOATEGUI RESIDENCE

OWNER

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030

CONSULTANTS

PROJECT SCOPE

DEMOLITION OF EXISTING RESIDENCE

CONSTRUCTION OF NEW 2-STORY 2,129 SF 2 STORY(ABOVE GROUND) RESIDENCE WITH 2,202 SF BASEMENT AND 513 SF ATTACHED GARAGE

PROJECT DATA

- APN 510-17-072
- ZONING SFR R-1D: LHP W/ HISTORIC PRESERVATION
- OCCUPANCY: R-3 / U
- CONSTRUCTION TYPE: V-B
- SPRINKLER: YES
- YEAR BUILT NEW

PROJECT SUMMARY TABLE

NET LOT AREA	5,366 SF	BASEMENT W/ FAR	.347072	BASEMENT W/O FAR		LIVING	.0989752	GARAGE FAR		DECK
FLOOR AREA	1ST LEVEL	2ND LEVEL	RES FAR	---	---	---	---	---	---	---
EXISTING	1,000	---	1,000	---	---	1,000	---	178	---	---
PROPOSED	1,477	652	211	2,340	1991	4,331	513	---	---	378

MAX ALLOWED 1,862 531

EXCEEDING MAX BY - 267 N/A
BASEMENT OUTSIDE OF STRUCTURE - 211
EXCEEDING MAX W/ EXCESS BASEMENT - 478

LOT COVERAGE
MAX LOT COVERAGE 40% ALL BUILDINGS 2,146 SF
PROPOSED LOT COVERAGE 1,990 SF

STANDARDS	REQUIRED (MAX)	PROPOSED
HEIGHT	30'-0"	29'-10 1/8"
SETBACKS 1ST FLOOR		
FRONT	15'-0"	15'-0"
FRONT PORCH	15'-0"	11'-8 3/4"
SIDE	5'-0"	5'-0"
REAR	20'-0"	20'-0"
PARKING & GARAGE		
	2 GARAGE SIDE BY SIDE	2 GARAGE TANDEM

LANDSCAPE	IMPERVIOUS(SF)	PERVIOUS(SF)
EXISTING ROOF	1,178	---
EXISTING WALK	308	3,880
PROPOSED ROOF	1,990	---
PROPOSED WALK	557	2,819

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ABBREVIATIONS

AB.	AGGREGATE BASE	F.O.M.	FACE OF MASONRY	PSI	POUNDS PER SQUARE INCH
A.C.	ASPHALT CONCRETE	F.O.S.	FACE OF STUD	P.T.	PRESSURE TREATED
A/C	AIR CONDITIONING	FTG	FOOTING	Q.T.	QUARRY TILE
ACC	ACCESSIBLE				
A.D.	AREA DRAIN	GA.	GAUGE	RAD	RADIUS
ADJ	ADJUSTABLE	GALV	GALVANIZED	R.D.	ROOF DRAIN
A.F.F.	ABOVE FINISH FLOOR	GLB	GLUE LAMINATED BEAM	R.D.	ROOF DRAIN
ALT	ALTERNATE	G.S.M.	GALVANIZED SHEET METAL	REINF	REINFORCE
ALUM	ALUMINUM	GWB	GYPSUM WALLBOARD	REQ'D	REQUIRED
APPROX	APPROXIMATE			RM	ROOM
A.T.	ACOUSTIC TILE	H.B.	HOSE BIBB	R.O.	ROUGH OPENING
		H.C.	HOLLOW CORE	RWD	REDWOOD
BLDG	BUILDING	HDWR	HARDWARE	RWL	RAIN WATER LEADER
BLKG	BLOCKING	HDWD	HARDWOOD	R.H.W.S.	ROUND HEAD WOOD SCREW
B.O.	BOTTOM OF	H.M.	HOLLOW METAL	SAF	SELF-ADHERED FLASHING
BOT	BOTTOM	HORIZ	HORIZONTAL	S.C.	SOLID CORE
B.U.R.	BUILT UP ROOFING	HT	HEIGHT	SDE	SIDE DRAINAGE EASEMENT
CAB	CABINET	I.D.	INSIDE DIAMETER	SHT	SHEET
CB	CALIFORNIA BUILDING CODE	INSUL	INSULATION	SIM	SIMILAR
C.J.	CONSTRUCTION JOINT	INT	INTERIOR	S.M.S.	SHEET METAL SCREW
CLG	CEILING	JAN	JANITOR	SPEC	SPECIFICATION
CLR	CLEAR	JOINT	JOINT	SQ	SQUARE
CMU	CONCRETE MASONRY UNIT	LT	LENGTH	S.S.	STAINLESS STEEL
C.O.	CLEAN OUT	LAM	LAMINATED	STD	STANDARD
COL	COLUMN	LAV	LAVATORY	S.T.S.	SELF-TAPPING SCREW
COMP	COMPOSITION	LB	POUND	STL	STEEL
CONT	CONTINUOUS	L.S.	LAG SCREW	STOR	STORAGE
CONC	CONCRETE	LT	LIGHT	STRUCT	STRUCTURAL
CTSK	COUNTERSUNK			SUSP	SUSPENDED
				SYM	SYMMETRICAL
D	DEPTH	MFR	MANUFACTURER	T&G	TONGUE & GROOVE
DTL	DETAIL	MAX	MAXIMUM	TEL	TELEPHONE
D.F.	DRINKING FOUNTAIN	MECH	MECHANICAL	THK	THICK
DIA	DIAMETER	MIN	MINIMUM	T.O.	TOP OF
DIM	DIMENSION	MISC	MISCELLANEOUS	T.O.C.	TOP OF CONCRETE
DN	DOWN	MPE	MULTI-PURPOSE EASEMENT	TYP	TYPICAL
DS	DOWNSPOUT	M.O.	MASONRY OPENING	U.O.N.	UNLESS OTHERWISE NOTED
DW	DISHWASHER	M.R.	MOISTURE RESISTANT	UR	UNREINFORCED URINAL
DWG	DRAWING	(N)	NEW		
		N.I.C.	NOT IN CONTRACT		
(E)	EXISTING	NO	NOMINAL	VCT	VINYL COMPOSITION TILE
EA	EACH			VERT	VERTICAL
E.J.	EXPANSION JOINT	OBSC	OBSCURE	VEST.	VESTIBULE
ELEC	ELECTRICAL	O.C.	ON CENTER	VWC	VINYL WALL COVERING
ELEV	ELEVATION	O.D.	OUTSIDE DIAMETER		
EQ	EQUAL	OPP	OPPOSITE	W	WIDTH
EQUIP	EQUIPMENT	OZ.	OUNCE	WC	WATER CLOSET
EXT	EXTERIOR	O.F.C.I.	OWNER FURNISHED, CONTRACTOR INSTALLED	WD	WOOD
		O.F.O.I.	OWNER FURNISHED, OWNER INSTALLED	W.H.	WATER HEATER
(F)	FUTURE			WSCT	WAINSCOT
F.D.	FLOOR DRAIN	PERF	PERFORATED	WT	WEIGHT
F.E.	FIRE EXTINGUISHER	PL	PLATE		
F.E.C.	FIRE EXTINGUISHER CABINET	PLAS	PLASTIC		
F.F.E.	FINISH FLOOR ELEVATION	PLUMB	PLUMBING	@	ANGLE
F.G.	FINISH GRADE	PLYWD	PLYWOOD	¢	CENTER LINE
F.H.	FIRE HYDRANT	PMF	PRESSED METAL FRAME	ø	DIAMETER
F.H.W.S.	FLAT HEAD WOOD SCREW	PR	PAIR	#	NUMBER
FIN.	FINISH			O/	OVER
FLR	FLOOR				
FLUOR	FLUORESCENT				
F.O.F.	FACE OF FINISH				

SYMBOLS

W/	WITH	ROOM NAME	ROOM NAME
		100	ROOM NUMBER
		1 2	INTERIOR ELEVATIONS
		3	
		2	DETAIL NUMBER
		A4.1	SHEET NUMBER
		2	SECTION NUMBER
		A4.1	SHEET NUMBER
		(OR)	
		1	SECTION NUMBER
		A14.1	SHEET NUMBER
		BC24A	KEYNOTE
		100	DOOR NUMBER
		100	WINDOW NUMBER
		A6	WALL TYPE / STUD SIZE
		+9'-0"	INDICATES NOMINAL CEILING HEIGHT ABOVE F.F.E. ON REFLECTED CEILING PLAN
		+6'-10" A.F.F.	ELEVATION SYMBOL
		4:12	ROOF PITCH
		2435.12 T.O.P.	NEW GRADE ELEVATION
		438.18	(E) GRADE ELEVATION
		A	GRID BUBBLE
		A001 RI	SIGN NUMBER SIGN TYPE

APPLICABLE CODES

2022 CALIFORNIA CODE OF REGULATIONS (CCR) APPLICABLE CODES EFFECTIVE JAN 1, 2022:

TITLE 19 CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
TITLE 24 CCR, PART 1 - 2022 BUILDING STANDARDS ADMINISTRATIVE CODE
TITLE 24 CCR, PART 2 - 2022 CALIFORNIA BUILDING CODE, VOL. 1 & 2 (CBC)
TITLE 24 CCR, PART 2.5 - 2022 CALIFORNIA RESIDENTIAL CODE (CRC)
TITLE 24 CCR, PART 3 - 2022 CALIFORNIA ELECTRICAL CODE (CEC)
TITLE 24 CCR, PART 4 - 2022 CALIFORNIA MECHANICAL CODE (CMC)
TITLE 24 CCR, PART 5 - 2022 CALIFORNIA PLUMBING CODE (CPC)
TITLE 24 CCR, PART 6 - 2022 CALIFORNIA ENERGY CODE
TITLE 24 CCR, PART 7 - 2022 CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE
TITLE 24 CCR, PART 8 - 2022 CALIFORNIA HISTORICAL BUILDING CODE
TITLE 24 CCR, PART 9 - 2022 CALIFORNIA FIRE CODE (CFC)
TITLE 24 CCR, PART 10 - 2022 EXISTING BUILDING CODE
TITLE 24 CCR, PART 11 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
TITLE 24 CCR, PART 12 - 2022 CALIFORNIA REFERENCED STANDARDS

LOCAL MUNICIPAL CODE

DEFERRED SUBMITTALS

- FIRE SPRINKLER DESIGN PER NFPA 13D
- UPGRADE DOMESTIC WATER SERVICE LINE

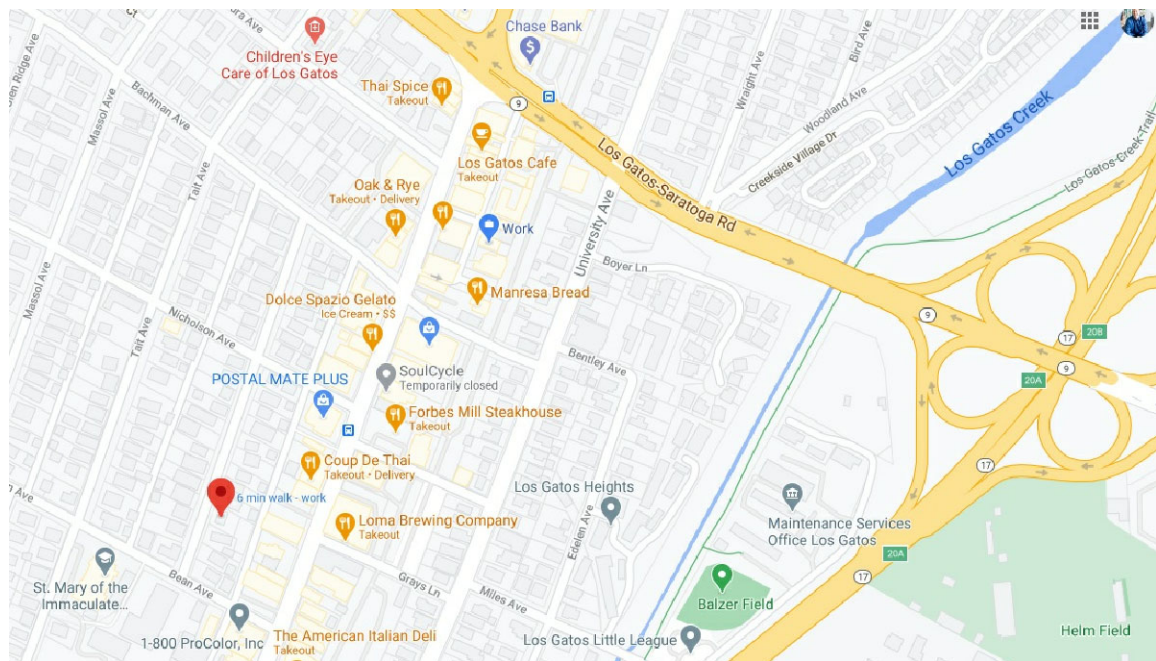
SPECIAL INSPECTIONS

- ANCHORS POST-INSTALLED IN HARDENED CONCRETE
- FASTENING OF ELEMENTS OF THE SEISMIC FORCE-RESISTING SYSTEM, WHERE THE FASTENER SPACING OF THE SHEATHING IS LESS THAN 4 INCHES.

CONDITIONS OF APPROVAL

- THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.
- A PAD CERTIFICATE PREPARED BY A LICENSED CIVIL ENGINEER OR LAND SURVEYOR SHALL BE SUBMITTED TO THE PROJECT BUILDING INSPECTOR AT FOUNDATION INSPECTION. THIS CERTIFICATE SHALL CERTIFY COMPLIANCE WITH THE RECOMMENDATIONS AS SPECIFIED IN THE SOILS REPORT, AND THAT THE BUILDING PAD ELEVATIONS AND ON-SITE RETAINING WALL LOCATIONS AND ELEVATIONS HAVE BEEN PREPARED ACCORDING TO THE APPROVED PLANS. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER FOR THE FOLLOWING ITEMS:
 - BUILDING PAD ELEVATION
 - FINISH FLOOR ELEVATION
 - FOUNDATION CORNER LOCATIONS
 - RETAINING WALL(S) LOCATIONS AND ELEVATIONS

PROJECT LOCATION



HERS FEATURE SUMMARY

PHOTOVOLTAIC SYSTEM

- A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

REVISIONS	DATE

Ownership of Documents
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KUOP
DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
SAN JOSE, CA 95117

PAGE TITLE

COVER SHEET

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE: 2022.05.06

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 2039

SHEET:
CVR1



**FIRE DEPARTMENT
SANTA CLARA COUNTY**
14700 Winchester Blvd., Los Gatos, CA, 95032-1818
(650) 378-6010 • (650) 378-9562 (fax) • www.sccfd.org



STANDARD DETAILS & SPECIFICATIONS
SUBJECT: Construction Site Fire Safety

Spec No. SI-7
Rev. Date 04/30/09
Est. Date 12/17/02
Approved By _____
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SCOPE

This Standard is intended to prescribe minimum safeguards for new building construction, demolition or significant building alteration projects in order to provide a reasonable degree of safety to life and property from fire. This Standard is based on the provisions for fire safety during building construction or demolitions as set forth in the 2007 California Fire Code Chapter 14 and National Fire Protection Association Standard 241. This Standard shall not be construed to be in lieu of other applicable State or Federal laws and regulations related to construction site safety. The general contractor (or other designee of the building owner) shall be responsible for compliance with the provisions of this Standard. When the term "shall" is used in this Standard, it means a mandatory requirement.

REQUIREMENTS

I. Fire Protection Plan

A written Fire Protection Plan shall be developed for significant or complex construction projects at the discretion of the Fire department. The plan shall be approved by the fire department prior to proceeding past foundation work for new buildings or commencement of demolition work in alteration projects. The written plan shall be consistent with the fire safety precautions as specified in this Standard. The general contractor is responsible for carrying out the provisions of the Fire Protection Plan and communicating it to all subcontractors. Additionally, the Fire Marshal shall be notified of any change affecting the utilization of information contained in the Fire Protection plan. The Fire Protection Plan shall include the following:

- Procedures for reporting emergencies to the Fire department.
- Procedures for emergency notification, evacuation and/or relocation of all persons in the building under construction and on the site.
- Procedures for hot work operations, management of hazardous materials and removal of combustible debris and maintenance of emergency access roads.
- Floor plans identifying the locations of exits, exit stairs, exit routes and portable fire extinguishers.
- Site plans identifying the designated exterior assembly areas for each evacuation route.
- Site plans identifying required fire apparatus access roadways and on-site fire hydrants.

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installed on the active sprinklers during the installation of drywall, texturing and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to installation of the monitoring system.

For buildings equipped with fire sprinkler systems that are undergoing alterations, the sprinkler system(s) shall remain in service at all times except when system modifications are necessary. Fire sprinkler systems undergoing modifications shall be returned to service at the end of each workday unless otherwise approved by the fire department. The General contractor or his/her designee shall check the sprinkler control valve(s) at the end of each workday to confirm that the system has been restored to service.

- Standpipes:** Where standpipes are required, the standpipes shall be installed when the progress of construction is not more than 35 ft. in height above the lowest level of the fire department access. Standpipes shall be provided with fire department hose connections and outlets at accessible locations adjacent to usable stairs. The standpipe system shall be extended as construction progresses to within one floor of the highest point of construction having secured decking or flooring. Each floor shall be provided a 2 1/2-inch valve outlet for fire department use. Where construction height requires installation of a Class II standpipe, fire pumps and water main connections shall be provided to serve the standpipe.

- Fire Extinguishers:** Portable fire extinguishers shall be provided and shall be mounted on a wall or post at each usable stairway and such that the travel distance to any extinguisher does not exceed 75 ft. Mounting height to the top of the extinguisher shall not exceed 5 feet. Extinguishers shall not have less than a 2A10BC rating or as otherwise directed by the fire department. The general contractor shall ensure that an adequate number of individuals are trained in the proper use of portable fire extinguishers. Fire extinguishers shall also be located in storage sheds and contractor trailers.

- Fire Alarm Systems:** Fire alarm systems shall be maintained operational at all times during building alterations. When an alteration requires modification to a portion of the fire alarm system, the portion of the system requiring work shall be isolated and the remainder of the system shall be kept in service whenever practical. When it is necessary to shut down an entire fire alarm system a fire watch or other mitigation approved by the fire department shall be implemented by the general contractor until the system is returned to full service.

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- The name and contact phone number of the person(s) responsible for compliance with the Fire Protection Plan.

II. General Safety Requirements

- Fire Department Access Roadways:** All construction sites shall be accessible by fire department apparatus by means of roadways having an all-weather driving service of not less than 20ft. of unobstructed width. The roads shall have the ability to withstand the live loads of fire apparatus, and have a minimum 13ft. 6 in. of vertical clearance. Dead end fire access roads in excess of 150 ft. in length shall be provided with approved turnarounds.

When approved by the Chief, temporary access roadways may be utilized until such time that the permanent roadways are installed. As a minimum, the roadway shall consist of a compacted sub base and six (6) inches of road base material (Class 2 aggregate base rock) both compacted to a minimum 95%. The perimeter edges of the roadway shall be contained and delineated by curb and gutter or other approved method. The use of geotextile reinforcing fabric underlayment or soils lime-treatment may be required if so determined by the project civil engineer. Provisions for surface drainage shall also be provided where necessary. The integrity of the roadway shall be maintained at all times.

Key boxes: Key boxes and/or approved padlocks shall be required when necessary for access through locked gates or structures.

- Fire hydrants:** Where underground water mains and hydrants are required for the building(s) under construction, they shall be installed, completed, and in service prior to combustible construction materials accumulating on site.

- Telephone service:** Provisions shall be provided at the construction site for emergency notification of the fire department via telephone. The street address of the construction site shall be posted adjacent to the telephone, along with the number for the public safety answering point.

- Premises identification:** The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved.

- Combustible debris:** Wood, cardboard, packing material, form lumber and similar combustible debris shall not be accumulated within buildings. Such debris, rubbish and waste material shall be removed from buildings on a daily basis.

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IV. Means of Egress Requirements

- Minimum number of Exits:** All new buildings under construction shall have a least one unobstructed exit. All exits shall be identified on the Fire Protection Plan.

- Multi-Story Buildings:** Each level above the first story in new multi-story buildings shall be provided with at least two usable exit stairs after the floor decking is installed. The stairways shall be continuous and discharge to grade level. Stairways serving more than two floor levels shall be enclosed (with openings adequately protected) after exterior walls/windows are in place. Exit stairs in new and in existing, occupied buildings shall be lighted and maintained clear of debris and construction materials at all times.

Exception: For new multi-story buildings, one of the required exit stairs may be obstructed on not more than two contiguous floor levels for the purposes of stairway construction (i.e., installation of gypsum board, painting, flooring, etc.).

- Assembly Points:** Designated exterior assembly points shall be established for all construction personnel to relocate to upon evacuation. The assembly points shall also be identified in the Fire Protection Plan.

V. Area Separation Walls

When area separation walls are required, the wall construction shall be completed (with all openings protected) immediately after the building is sufficiently weather-protected at the location of the wall(s).

VI. Special Operation Requirements

- Hot Work:** Hot work includes any work involving operations capable of initiating fires or explosions, including cutting, welding, brazing, soldering, grinding, thermal spraying, thawing pipe, torch applied roofing, or any other similar activity. The use of hot work equipment shall be in accordance with the following guidelines, including a pre-site inspection, fire watch and post inspection procedures.

- Pre-site Inspection:** An inspection of the hot work site shall be conducted by the General Contractor or his/her designee prior to hot work operations to ensure:

1. Equipment shall be located so that exhausts do not discharge against combustible materials.

2. When possible, exhausts should be piped to the outside of the building.

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- Equipment shall not be refueled while in operation.
- Fuel for equipment shall be stored in an approved area outside of the building.

(Ref. CFC Articles 87 & 13 – also 49, 79 and 11)

VII. Hazardous Materials

- Liquefied Petroleum Gas (LP-Gas)** - Storage and use shall comply with the following:

- Propane containers may be used in buildings under construction or undergoing major renovation as a fuel source for temporary heating for curing concrete, drying plaster and similar applications in accordance with the following:
 - Heating elements (other than integral heater-container units) shall be located at least 6 feet from any LP-Gas container.
 - Integral heater-container units specifically designed for the attachment of the heater to the container, or to a supporting standard attached to the container, may be used provided they are designed and installed so as to prevent direct or radiant heat application to the LP-Gas container.
 - Blower and radiant type units shall not be directed toward any LP-Gas container within 20 feet.
 - Heat producing equipment shall be installed with clearance to the combustibles in accordance with the manufacturer's installation instructions.
 - Cylinders shall comply with DOT cylinder specifications and shall be secured in an upright position.
 - Regulators shall be approved for use with LP-Gas. Fittings shall be designed for at least 250 psig service pressure.
 - Hose shall be designed for a working pressure of at least 350 psig (unless limited to 5 psig) and shall be a maximum of 6 feet in length.
 - Portable heaters shall be equipped with an approved automatic device to shut off the flow of gas to the main burner and to the pilot in the event of flame extinguishment or combustion failure. Portable heaters with an input of more than 50,000 Btu/hr shall be equipped with either a pilot that must be moved before the main burner can be turned on or an approved electronic ignition system.

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- Oil rags:** Oily rags and similar material shall be stored in metal or other approved containers equipped with tight-fitting covers.

- Temporary heating equipment:** Temporary heaters, such as those that are LPG fueled, shall be listed and shall be installed, used, and maintained in accordance with the manufacturer's instructions (See LPG storage and use requirements below). Heating devices shall be secured properly and kept clear from combustible materials. Refueling operations shall be conducted in an approved manner.

- Smoking:** Smoking is prohibited anywhere inside or on the roof of new buildings under construction or in the project work area of buildings undergoing alteration. A suitable number of 'No Smoking' signs shall be posted to ensure that smoking is controlled.

- Vehicle parking:** All vehicles shall be parked a minimum of 20 feet from new buildings under construction.

Exceptions: 1. Vehicles that are temporarily parked for loading/unloading or other construction related operations. Such vehicles shall not be left unattended.

2. Private vehicles may be parked in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

- Combustible material storage:** Combustible construction materials shall be stored a minimum of 20 feet from buildings under construction or undergoing remodel.

Exceptions: 1. Materials that are staged for installation on a floor level.

2. When approved by the Fire Department, materials may be stored in parking garages of Type I construction if the automatic fire sprinkler system is in service and vertical openings are protected.

III. Fire Protection Systems

- Fire Sprinkler Systems:** Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be

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- the hot work site is clear of combustibles or that combustibles are protected;
- exposed construction is of noncombustible materials or that combustible materials are protected;
- openings are protected;
- there are no exposed combustibles on the opposite side of partitions, walls, ceilings, floors, etc.;
- fire extinguishers are available, fully charged and operable; and
- fire watch personnel are assigned, equipped and trained.

- Fire Watch:** The sole duty of fire watch personnel shall be to watch for the occurrence of fire during and after hot work operations. Individuals designated to fire watch duty shall have fire extinguishing equipment readily available and shall be trained in the use of such equipment. Personnel assigned to fire watch shall be responsible for extinguishing spot fires and communicating to alarm. Fire watch personnel shall be provided with at least one means for notification of the fire department. Hot work conducted in areas with vertical and horizontal fire exposures that cannot be observed by a single individual shall have additional personnel assigned to fire watches to ensure that all exposed areas are monitored.

- Post-inspection:** The fire watch shall be maintained a minimum of 30 minutes after the conclusion of the work to look out for leftover sparks, slag or smoldering combustibles.

- Asphalt and tar kettles:** Asphalt kettles shall not be located within 20 feet of any combustible material, combustible building surface or building opening. With the exception of thermostatically controlled kettles, an attendant shall be within 100 feet of a kettle when the heat source is operating. Ladders or similar obstacles shall not form a part of the route between the attendance and the kettle. Kettles shall be equipped with tight-fitting covers. A minimum 3A 40-B-C rated portable fire extinguisher shall be located within 30 feet of each asphalt kettle when the heat source is operating. Minimum 3A 40-B-C rated portable fire extinguishers also shall be located on roofs during asphalt coating operations.

- Motor Equipment:** Motorized equipment including internal-combustion-powered construction equipment shall be used in accordance with the following:

- Equipment shall be located so that exhausts do not discharge against combustible materials.
- When possible, exhausts should be piped to the outside of the building.

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- Gas cylinders shall not be placed in areas where they may be damaged by falling objects.
- Ropes, chains or slings shall not be used to suspend gas cylinders, unless the cylinder was manufactured with appropriate lifting attachments.

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REVISIONS DATE

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C O P Y R I G H T 2 0 2 0

KUOP
DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD., #104
SAN JOSE, CA 95117

PAGE TITLE

CONSTRUCTION SITE FIRE SAFETY

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030

APN# 510-17-072

DATE: 2022.05.06

SCALE: PER SHEET

DRAWN BY: DAVID

PLAN NO.: 2039

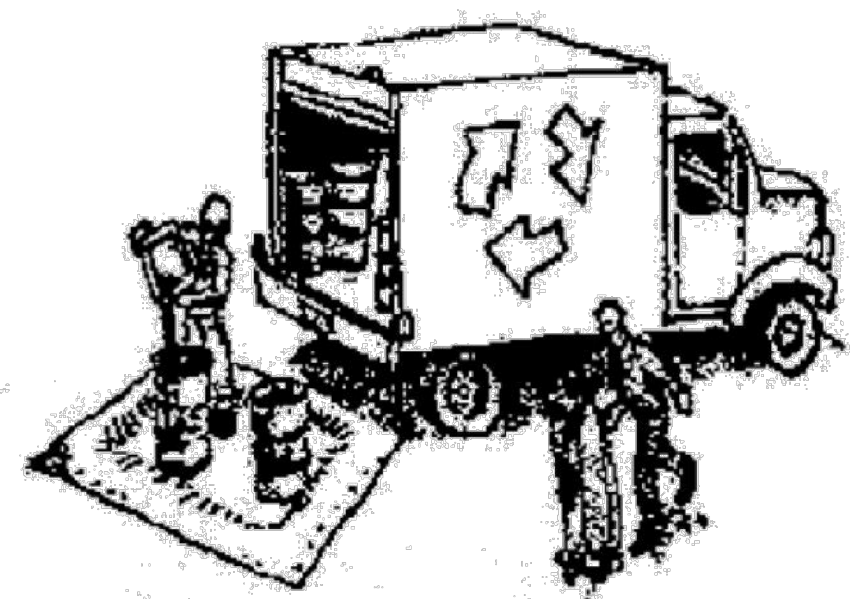
SHEET:

CVR3

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use.
- ❑ Use (but don't overuse) reclaimed water for dust control.
- ❑ Ensure dust control water doesn't leave site or discharge to storm drains.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. A plastic liner is recommended to prevent leaks. Never clean out a dumpster by hosing it down on the construction site.
- ❑ Place portable toilets away from storm drains. Make sure they are in good working order. Check frequently for leaks.
- ❑ Dispose of all wastes and demolition debris properly. Recycle materials and wastes that can be recycled, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.
- ❑ Keep site free of litter (e.g. lunch items, cigarette butts).
- ❑ Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



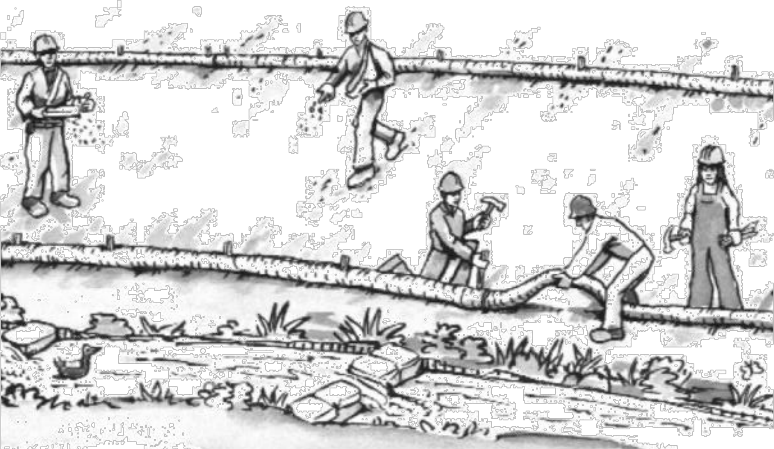
Maintenance and Parking

- ❑ Designate an area of the construction site, well away from streams or storm drain inlets and fitted with appropriate BMPs, for auto and equipment parking, and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up leaks, drips and other spills immediately and dispose of cleanup materials properly.
- ❑ Use dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags).
- ❑ Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, you must report it to the State Office of Emergency Services. (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and streams by installing and maintaining appropriate BMPs (i.e. silt fences, gravel bags, fiber rolls, temporary swales, etc.).
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

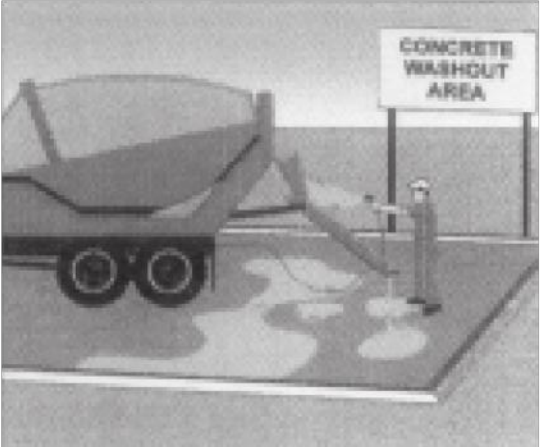
Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.
- ❑ If the above conditions are observed, document any signs of potential contamination and clearly mark them so they are not disturbed by construction activities.

Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Concrete Management and Dewatering



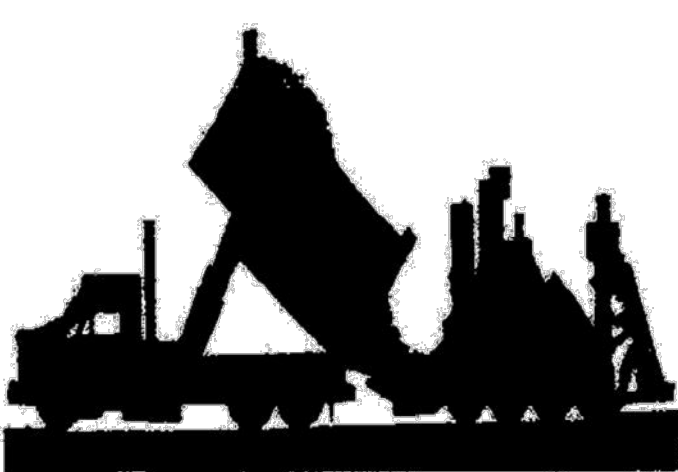
Concrete Management

- ❑ Store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Store materials off the ground, on pallets. Protect dry materials from wind.
- ❑ Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) block any storm drain inlets and vacuum washwater from the gutter. If possible, sweep first.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area onsite, where the water will flow into a temporary waste pit, and make sure wash water does not leach into the underlying soil. (See CASQA Construction BMP Handbook for properly designed concrete washouts.)

Dewatering

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Paving/Asphalt Work



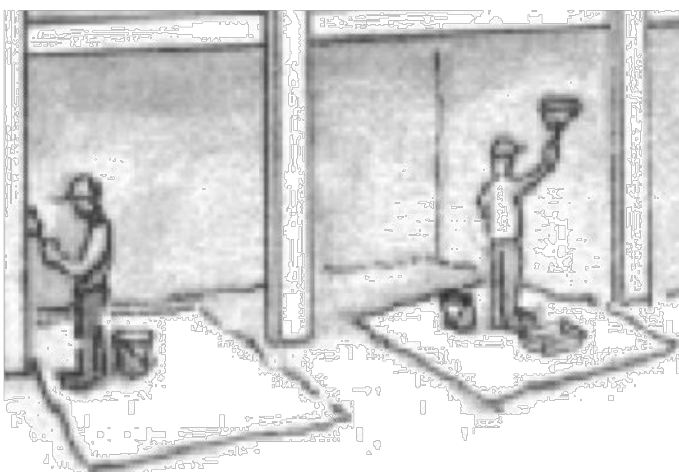
Paving

- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- ❑ Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.

Sawcutting & Asphalt/Concrete Removal

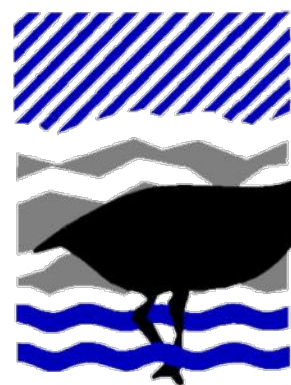
- ❑ Protect storm drain inlets during saw cutting.
- ❑ If saw cut slurry enters a catch basin, clean it up immediately.
- ❑ Shovel or vacuum saw cut slurry deposits and remove from the site. When making saw cuts, use as little water as possible. Sweep up, and properly dispose of all residues.

Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Sweep up or collect paint chips and dust from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.



**Santa Clara Valley
Urban Runoff
Pollution Prevention Program**

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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**KUOP
DESIGNS**
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
SAN JOSE, CA 95117

PAGE TITLE
BLUE PRINT FOR A CLEAN BAY

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

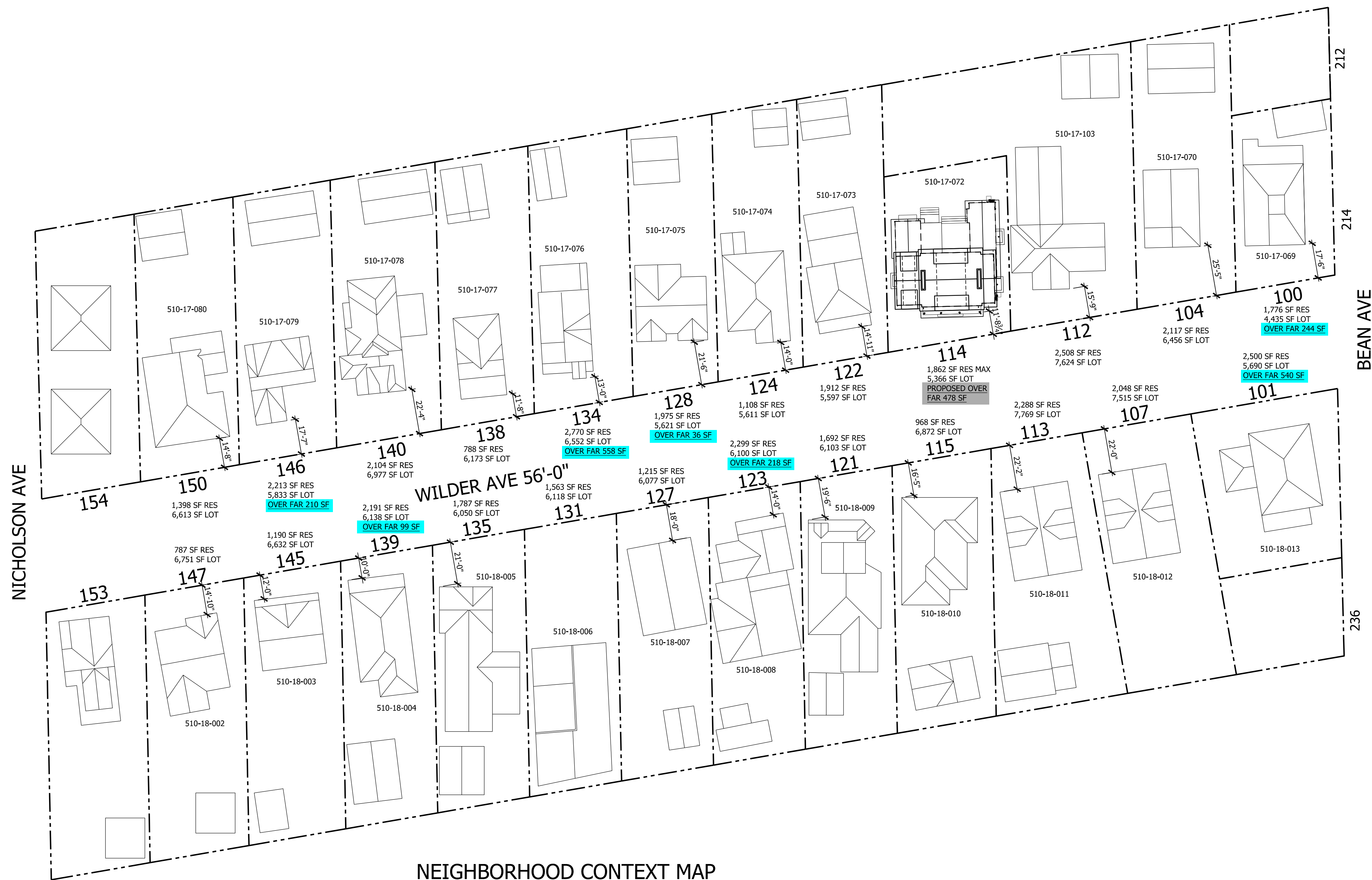
DAVID

PLAN NO.:

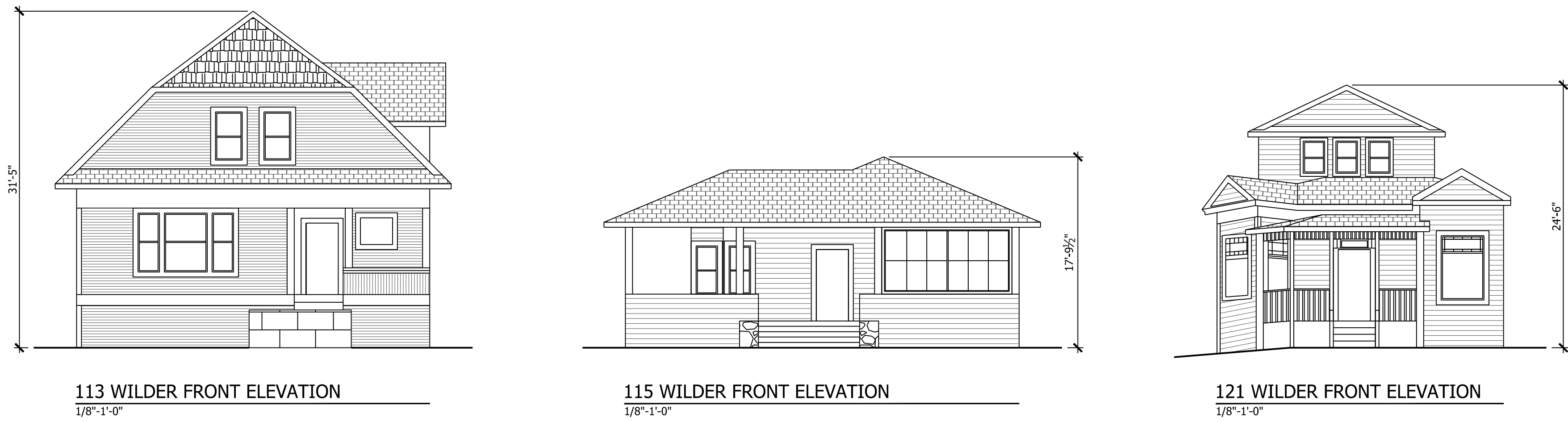
2039

SHEET:

BMP



APN	Address	Stories	Zoning	House Size	Lot Size	Max Res FAR	Garage Size	FAR difference	Garage FAR	ADU	FAR	BLDG FAR
510-17-069	100 Wilder Ave	2	R-1D	1,776	4,435	1,532.20	624	-243.80			-0.00452	0.345
510-17-070	104 Wilder Ave	2	R-1D	2,117	6,456	2,184.40	720	67.40			0.011648	0.338
510-17-103	112 Wilder Ave		R-1D	2,508	7,624	2,508.36		0.36			0.020992	0.329
510-17-075	114 Wilder Ave	1	R-1D	1,000	5,366	1,862.39		862.39			0.002928	0.347
Proposed	114 Wilder Ave	2	R-1D	2,340	5,366	1,862.39	513	-477.61			0.002928	0.347
510-17-073	122 Wilder Ave	2	R-1D	1,912	5,597	1,932.22	559	20.22			0.004776	0.345
510-17-074	124 Wilder Ave	1	R-1D	1,108	5,611	1,936.42	408	828.42			0.004888	0.345
510-17-075	128 Wilder Ave	2	R-1D	1,975	5,621	1,939.42	484	-35.58			0.004968	0.345
510-17-076	134 Wilder Ave	2	R-1D	2,770	6,552	2,211.85	0	-558.15			0.012416	0.338
510-17-077	138 Wilder Ave	1	R-1D	788	6,173	2,102.62	0	1,314.62			0.009384	0.341
510-17-078	140 Wilder Ave	2	R-1D	2,104	6,977	2,331.60	660	227.60			0.015816	0.334
510-17-079	146 Wilder Ave	2	R-1D	2,213	5,833	2,002.68	649	-210.32			0.006664	0.343
510-17-080	150 Wilder Ave	1	R-1D	1,398	6,613	2,229.22	484	831.22			0.012904	0.337
OTHER SIDE OF STREET												
510-18-013	101 Wilder Ave	2	R-1D	2,500	5,690	1,960.09	320	-539.91			0.00552	0.344
510-18-012	107 Wilder Ave	2	R-1D	2,048	7,515	2,479.05	0	431.05			0.02012	0.330
510-18-011	113 Wilder Ave	2	R-1D	2,288	7,769	2,547.05	420	259.05			0.022152	0.328
510-18-010	115 Wilder Ave	1	R-1D	968	6,872	2,302.28	0	1,334.28			0.014976	0.335
510-18-009	121 Wilder Ave	2	R-1D	1,692	6,103	2,082.20	220	390.20			0.008824	0.341
510-18-008	123 Wilder Ave	1	R-1D	2,299	6,100	2,081.32	560	-217.68			0.0088	0.341
510-18-007	127 Wilder Ave	1	R-1D	1,215	6,077	2,074.59	0	859.59			0.008616	0.341
510-18-006	131 Wilder Ave	0	R-1D	1,563	6,118	2,086.58	0	523.58			0.008944	0.341
510-18-005	135 Wilder Ave	1	R-1D	1,787	6,050	2,066.68	413	279.68			0.0084	0.342
510-18-004	139 Wilder Ave	2	R-1D	2,191	6,138	2,092.42	588	-98.58			0.009104	0.341
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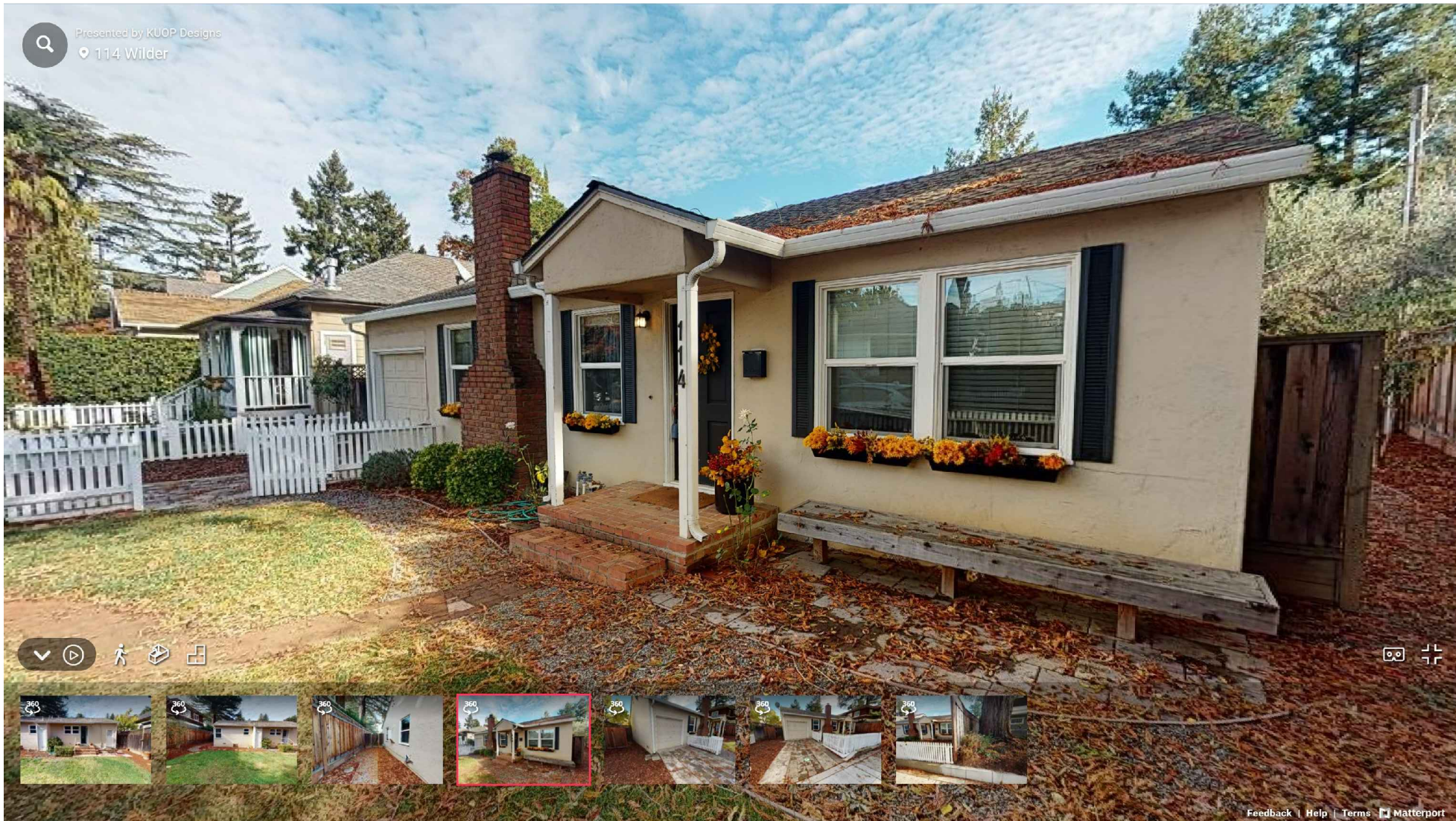
KUOP
DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
SAN JOSE, CA 95117

PAGE TITLE
NEIGHBORHOOD ELEVATIONS

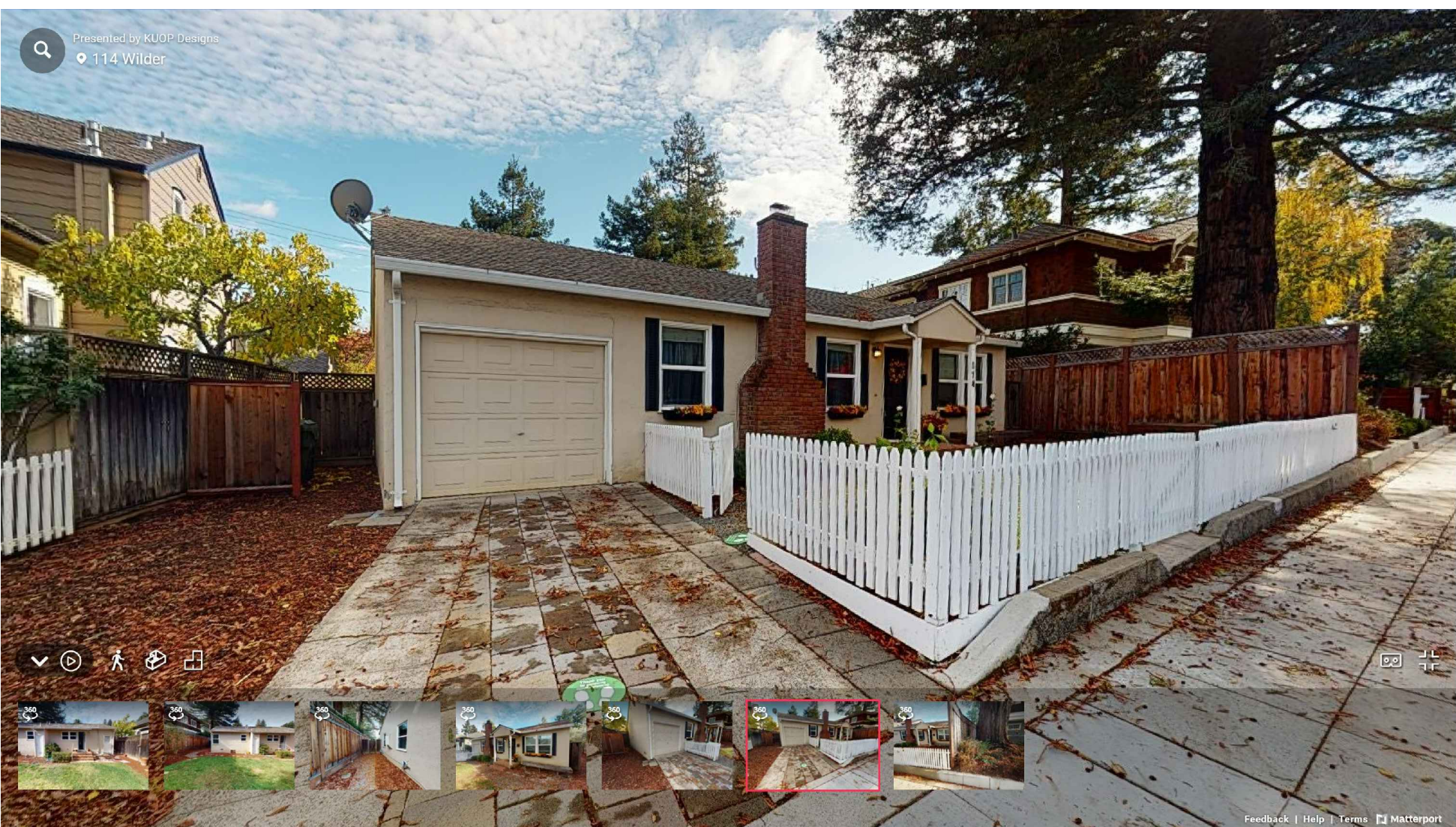
NEW RESIDENCE FOR:
ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE:
2022.05.06
SCALE:
PER SHEET
DRAWN BY:
DAVID
PLAN NO.:
2039

SHEET:
PLN0.1



FRONT ELEVATION



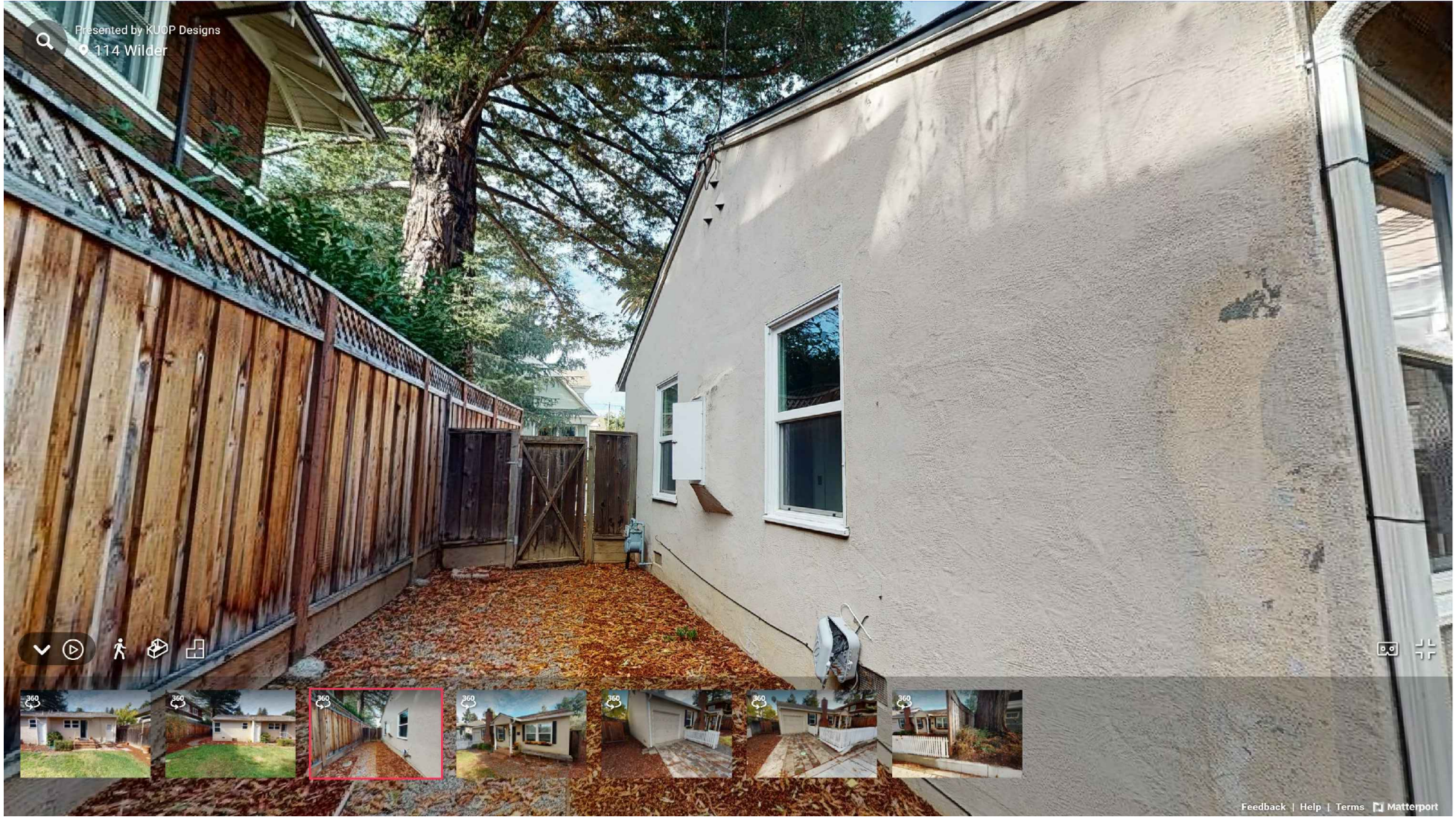
FRONT ELEVATION



REAR ELEVATION



REAR ELEVATION

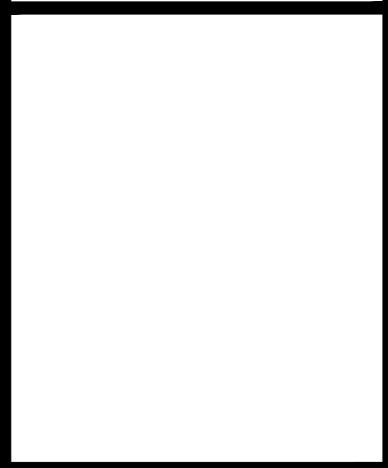


RIGHT ELEVATION

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david@kuopdesigns.com
408.357.0818
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PAGE TITLE

SITE PHOTOS

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SHEET: **PLN1**



100 WILDER



104 WILDER



112 WILDER



122 WILDER



124 WILDER



128 WILDER



134 WILDER



138 WILDER



140 WILDER

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408.357.0818
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SHEET:
PLN2



101 WILDER



107 WILDER



113 WILDER



115 WILDER



121 WILDER



123 WILDER



127 WILDER



131 WILDER



135 WILDER



139 WILDER

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DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
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NEIGHBORHOOD PHOTOS

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SHEET:

PLN3



CHIMNEY CAP: CUSTOM COPPER CAP

ROOFING: CALIFORNIA CEDAR SHAKE & SHINGLE BUREAU
PRODUCT: HANDSPLIT HEAVY RED CEDAR SHAKES

GUTTERS: HALF ROUND COPPER GUTTERS

WINDOW TRIM: 1 IN X 3.5 IN ROUGH CUT, PAINT TO
MATCH SIDING

SIDING: HARDIE HORIZONTAL SIDING, PAINT- BM SWISS
COFFEE @ 75%

WINDOWS: MARVIN ULTIMATE CASEMENT PUSH OUT - 4 GRIDS -
PATTERN: RECTANGULAR PATTERN

EXTERIOR LIGHT: CIRCA LIGHTING -BEDFORD WIDE TALL 3/4 LANTERN

ENTRY DOOR: 2/3 WINDOW FRONT DOOR WITH AS SMALL OF PROFILES AS
POSSILBE AND SIDELIGHTS TO FIT THE 100 INCH OPENING WITH GRIDS

GARAGE DOOR: CUSTOM NATURAL WOOD WHITE RIFT OAK WITH CUSTOM
STAIN AND 12 LITES PER PANEL AS APPROVED BY HPC.



PAINT: STUCCO AND SIDING BM SWISS COFFEE @ 75%

REAR GARAGE DOOR DESIGN TO MATCH FRONT
ELEVATION GARAGE DOOR DESIGN

REVISIONS	DATE

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davidk@kuopdesigns.com

408.357.0818
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PAGE TITLE

PROPOSED RENDERINGS

NEW RESIDENCE FOR:
ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE: 2022.05.06

SCALE: PER SHEET

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PLAN NO.: 2039

SHEET: **PLN4**

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PAGE TITLE

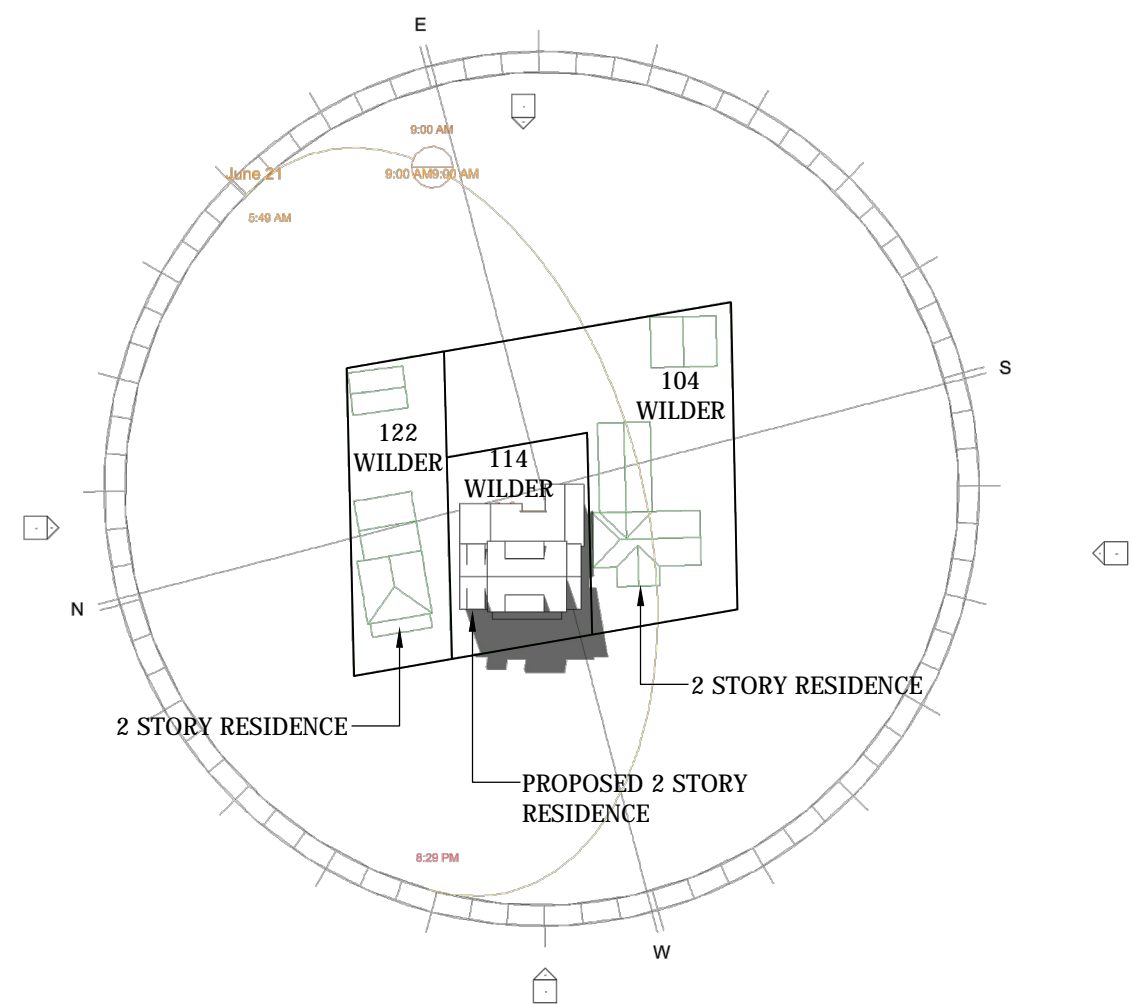
SHADOW STUDY

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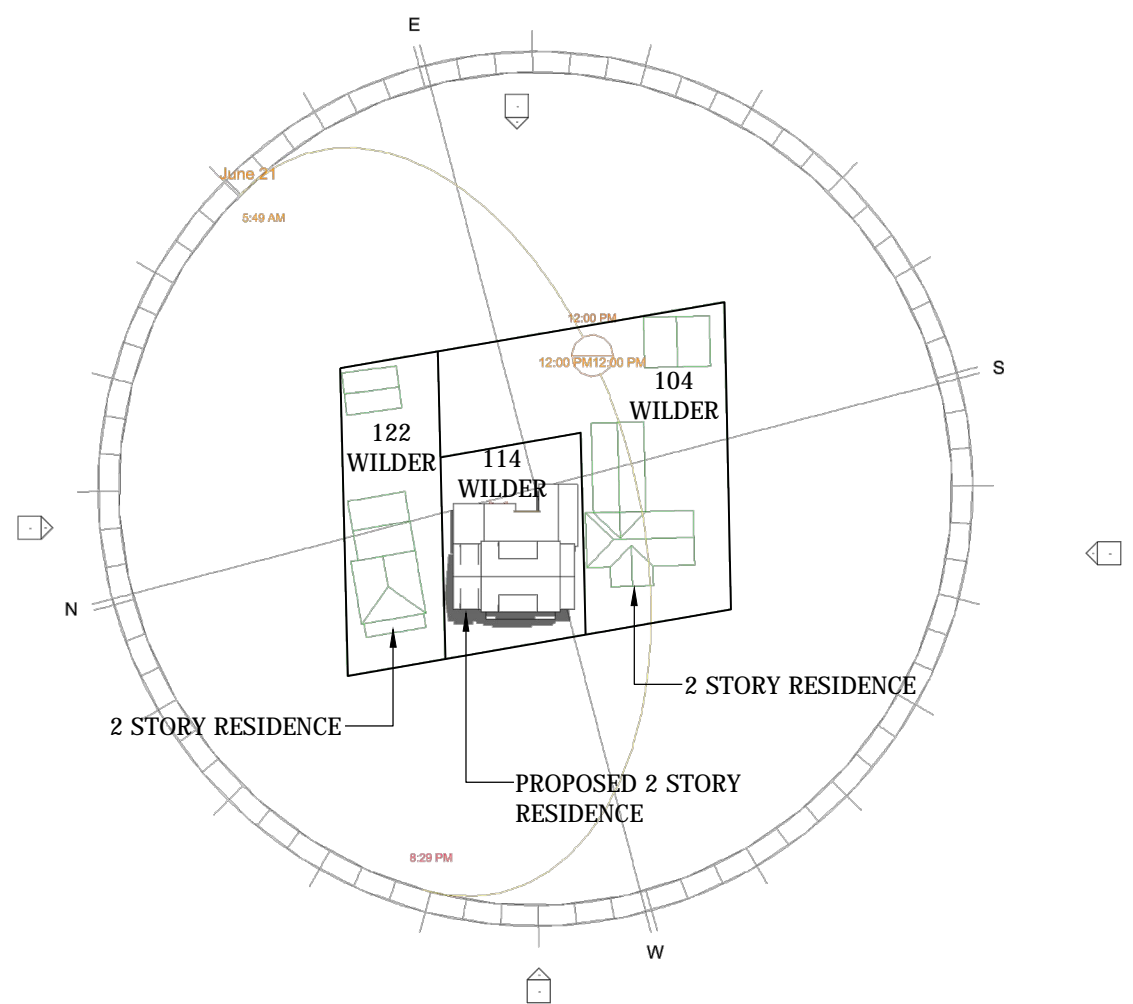
ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
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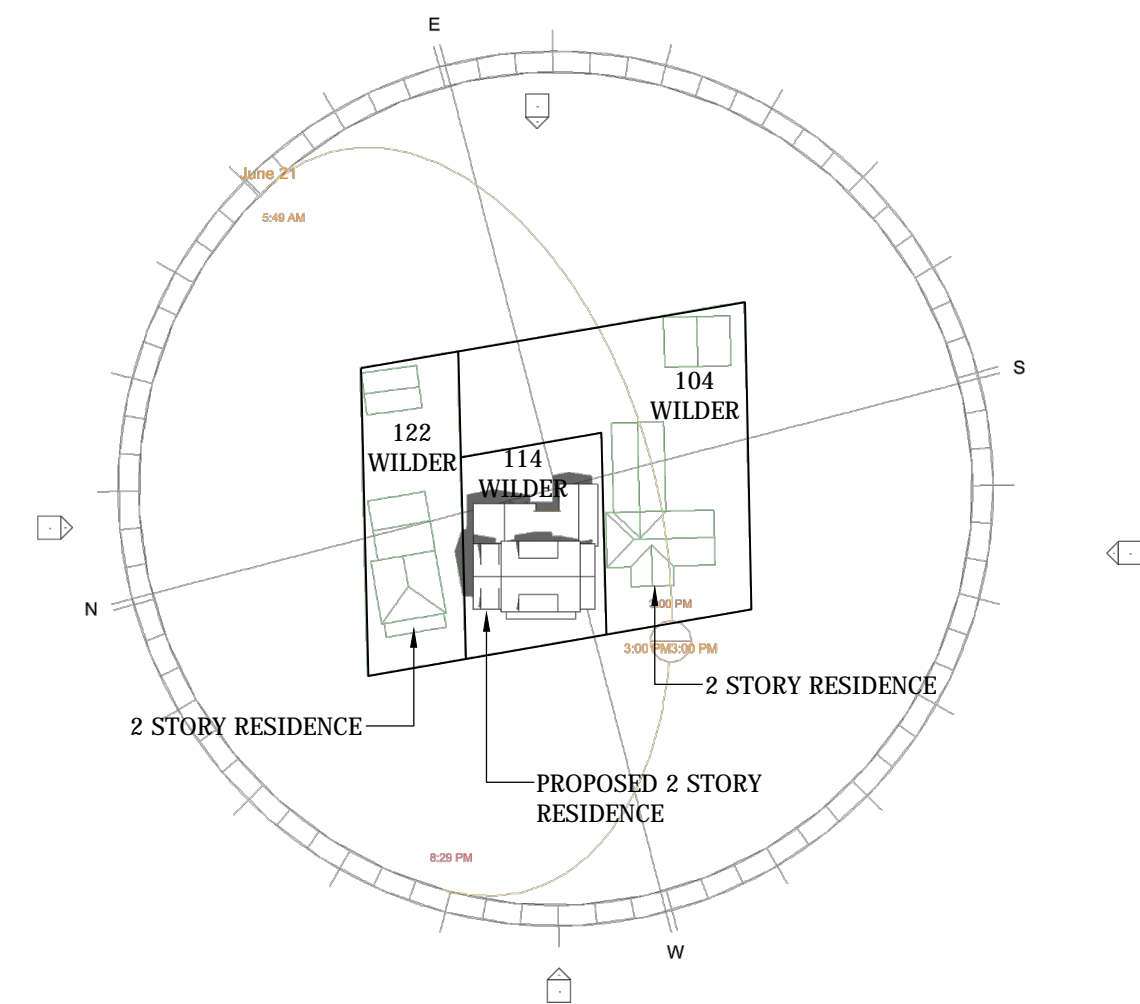
SHEET:
PLN5



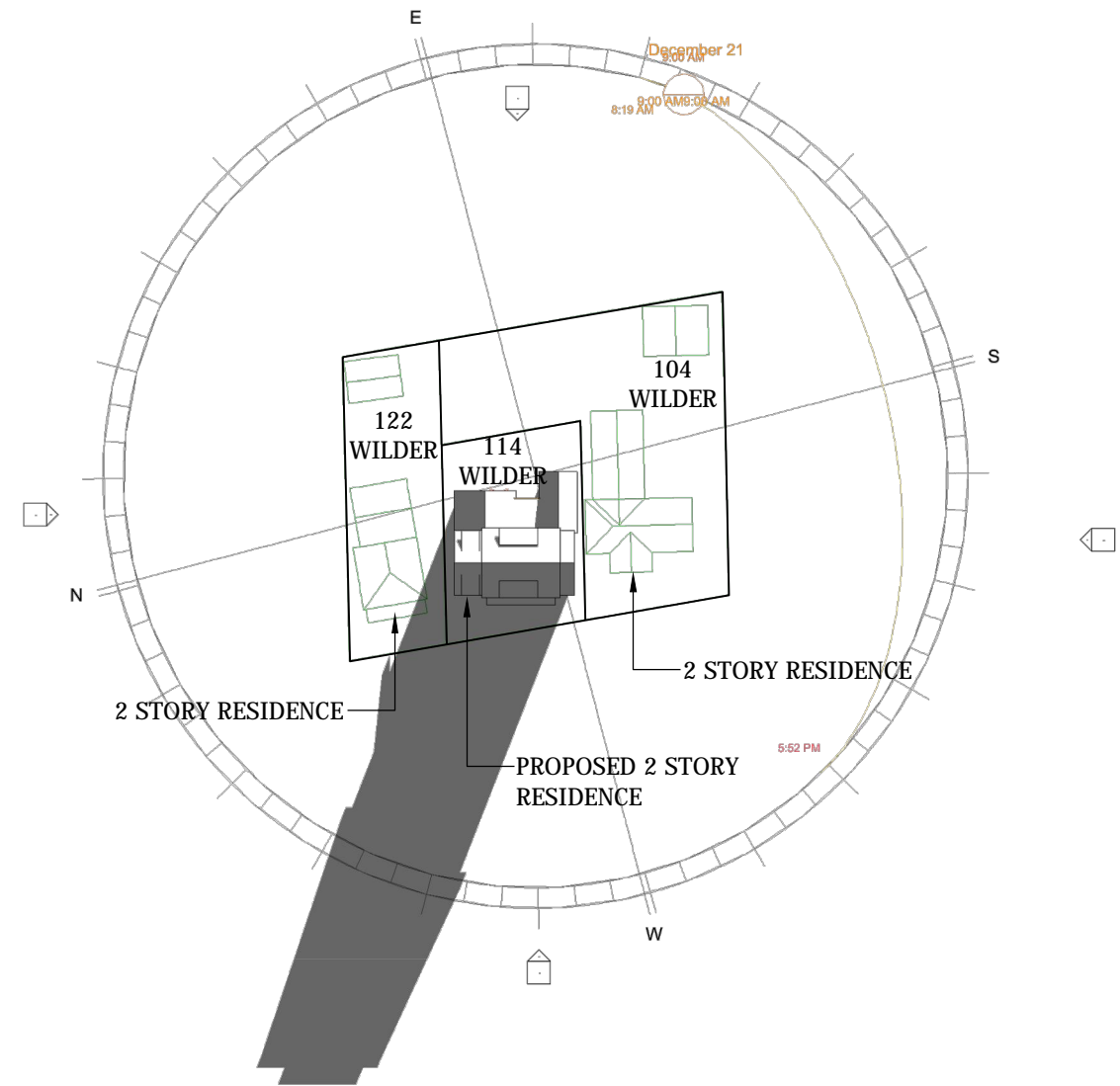
114 WILDER SOLAR ACCESS STUDY
JUNE 21 9AM



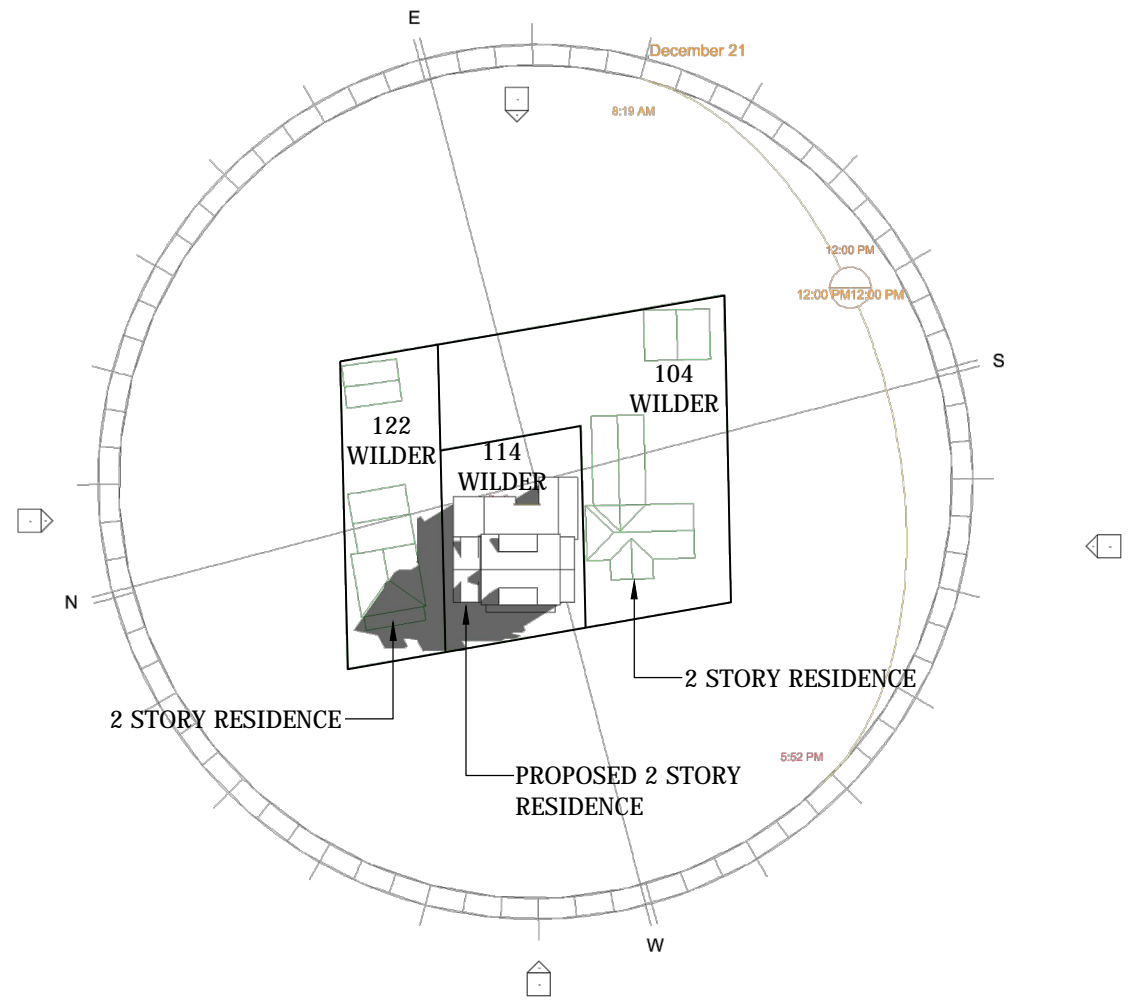
114 WILDER SOLAR ACCESS STUDY
JUNE 21 12PM



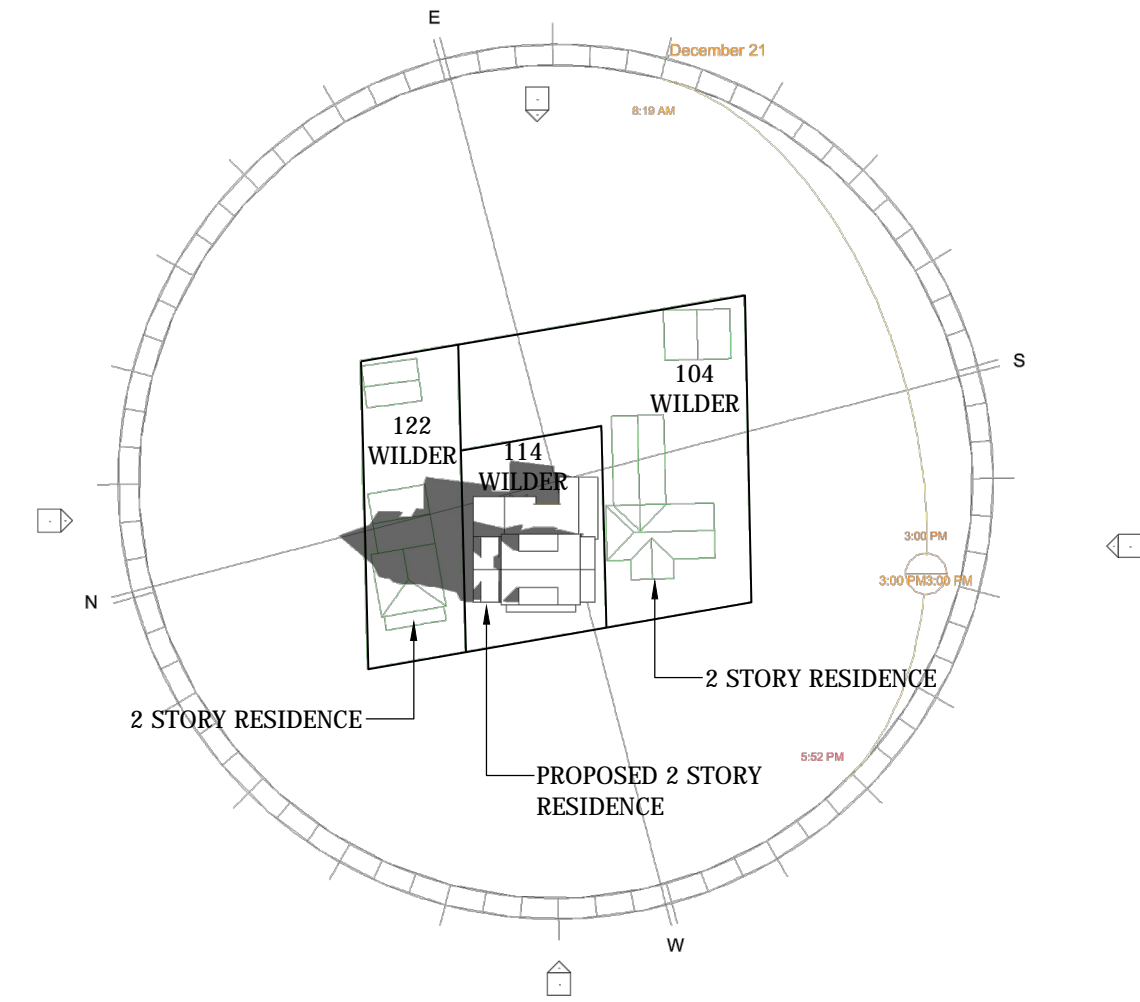
114 WILDER SOLAR ACCESS STUDY
JUNE 21 3PM



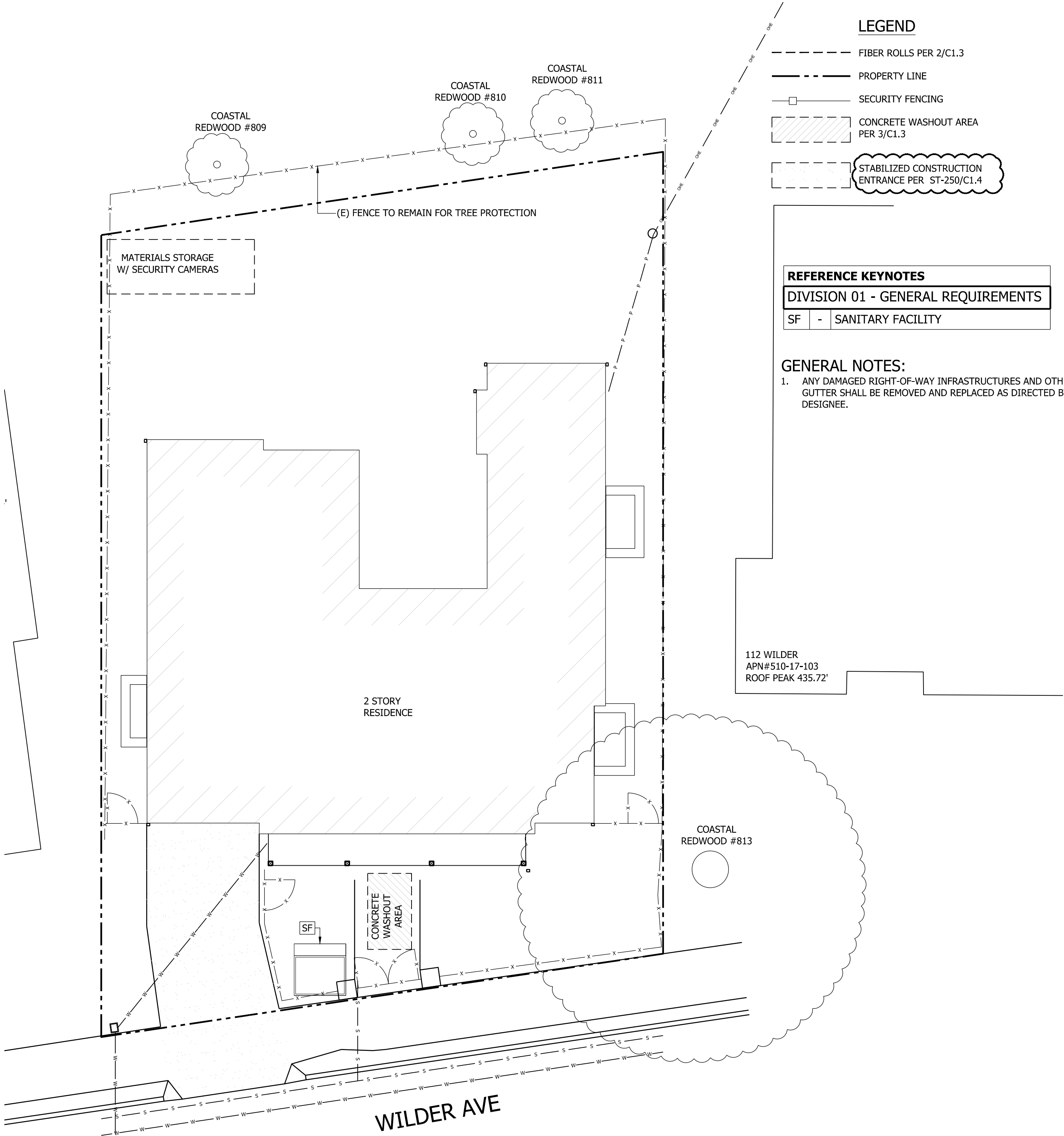
114 WILDER SOLAR ACCESS STUDY
DECEMBER 21 9AM



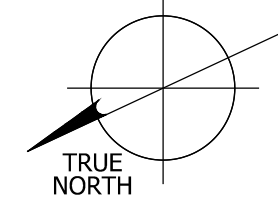
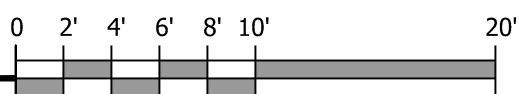
114 WILDER SOLAR ACCESS STUDY
DECEMBER 21 12PM



114 WILDER SOLAR ACCESS STUDY
DECEMBER 21 3PM



ILDER STORM WATER PREVENTION PLAN



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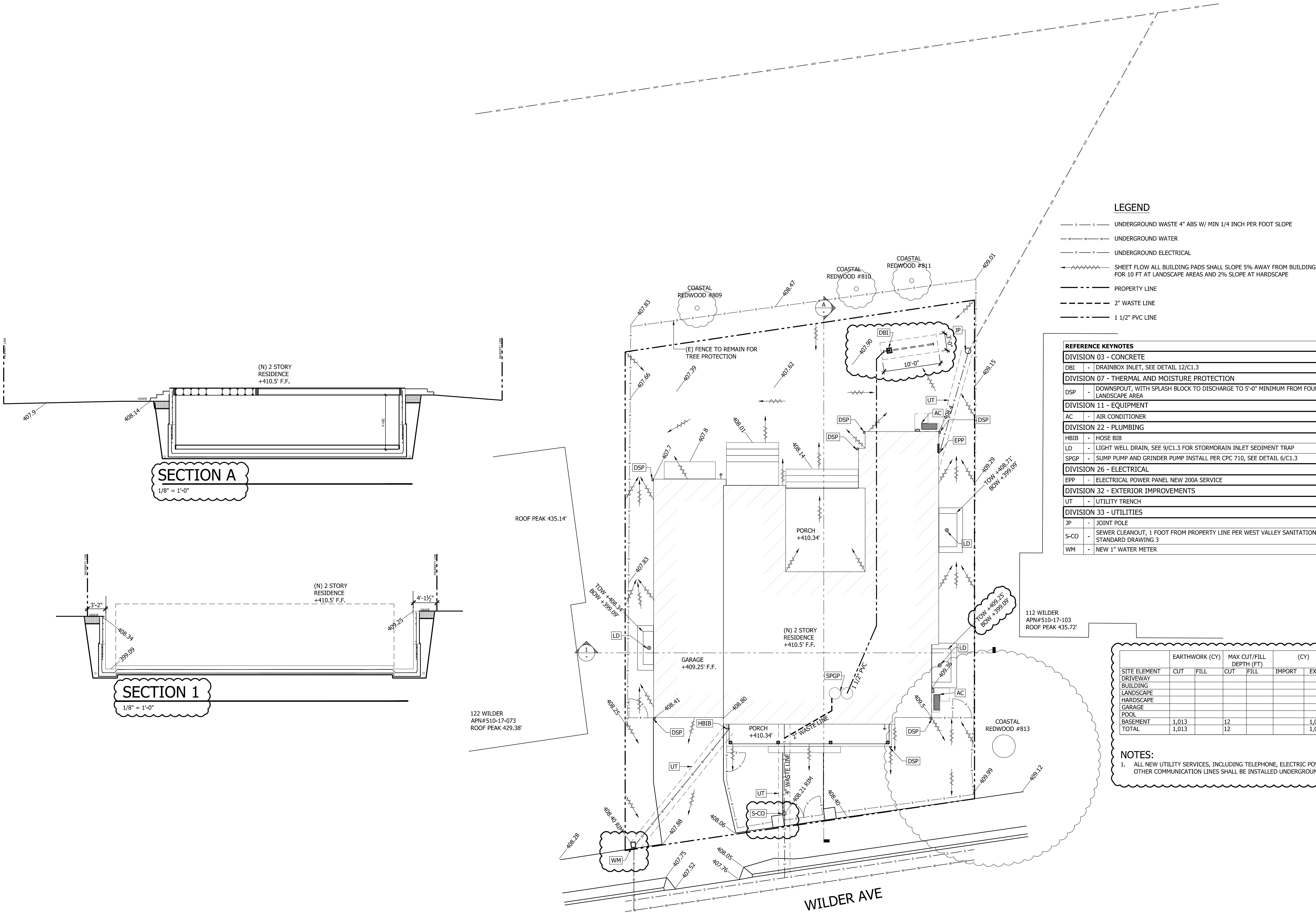
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DESIGNS
davidk@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
SAN JOSE, CA 95117

PAGE TITLE
STORM EROSION AND SEDIMENT CONTROL PLAN

NEW RESIDENCE FOR:
ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE: 2022.05.06
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DRAWN BY: DAVID
PLAN NO.: 2039

SHEET:
C1.1



LEGEND

- S — S — UNDERGROUND WASTE 4" ABS W/ MIN 1/4 INCH PER FOOT SLOPE
- W — W — W — UNDERGROUND WATER
- P — P — UNDERGROUND ELECTRICAL
- SHEET FLOW ALL BUILDING PADS SHALL SLOPE 5% AWAY FROM BUILDING FOR 10 FT AT LANDSCAPE AREAS AND 2% SLOPE AT HARDSCAPE
- — — — — PROPERTY LINE
- — — — — 2" WASTE LINE
- — — — — 1 1/2" PVC LINE

REFERENCE KEYNOTES

- DIVISION 03 - CONCRETE**
- DBI - DRAINBOX INLET, SEE DETAIL 12/C1.3
- DIVISION 07 - THERMAL AND MOISTURE PROTECTION**
- DSP - DOWNSPOUT, WITH SPLASH BLOCK TO DISCHARGE TO 5'-0" MINIMUM FROM FOUNDATION TO LANDSCAPE AREA
- DIVISION 11 - EQUIPMENT**
- AC - AIR CONDITIONER
- DIVISION 22 - PLUMBING**
- HBIB - HOSE BIB
- LD - LIGHT WELL DRAIN, SEE 9/C1.3 FOR STORMDRAIN INLET SEDIMENT TRAP
- SPGP - SUMP PUMP AND GRINDER PUMP INSTALL PER CPC 710, SEE DETAIL 6/C1.3
- DIVISION 26 - ELECTRICAL**
- EPP - ELECTRICAL POWER PANEL NEW 200A SERVICE
- DIVISION 32 - EXTERIOR IMPROVEMENTS**
- UT - UTILITY TRENCH
- DIVISION 33 - UTILITIES**
- JP - JOINT POLE
- S-CO - SEWER CLEANOUT, 1 FOOT FROM PROPERTY LINE PER WEST VALLEY SANITATION DISTRICT STANDARD DRAWING 3
- WM - NEW 1" WATER METER

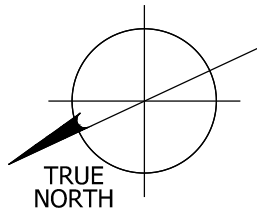
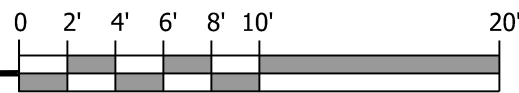
SITE ELEMENT	EARTHWORK (CY)		MAX CUT/FILL DEPTH (FT)		(CY)	
	CUT	FILL	CUT	FILL	IMPORT	EXPORT
DRIVEWAY						
BUILDING						
LANDSCAPE						
HARDSCAPE						
GARAGE						
POOL						
BASEMENT	1,013		12			1,013
TOTAL	1,013		12			1,013

NOTES:

1. ALL NEW UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND

114 WILDER GRADING PLAN

1/8" = 1'-0"



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KUOP
DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
SAN JOSE, CA 95117

PAGE TITLE

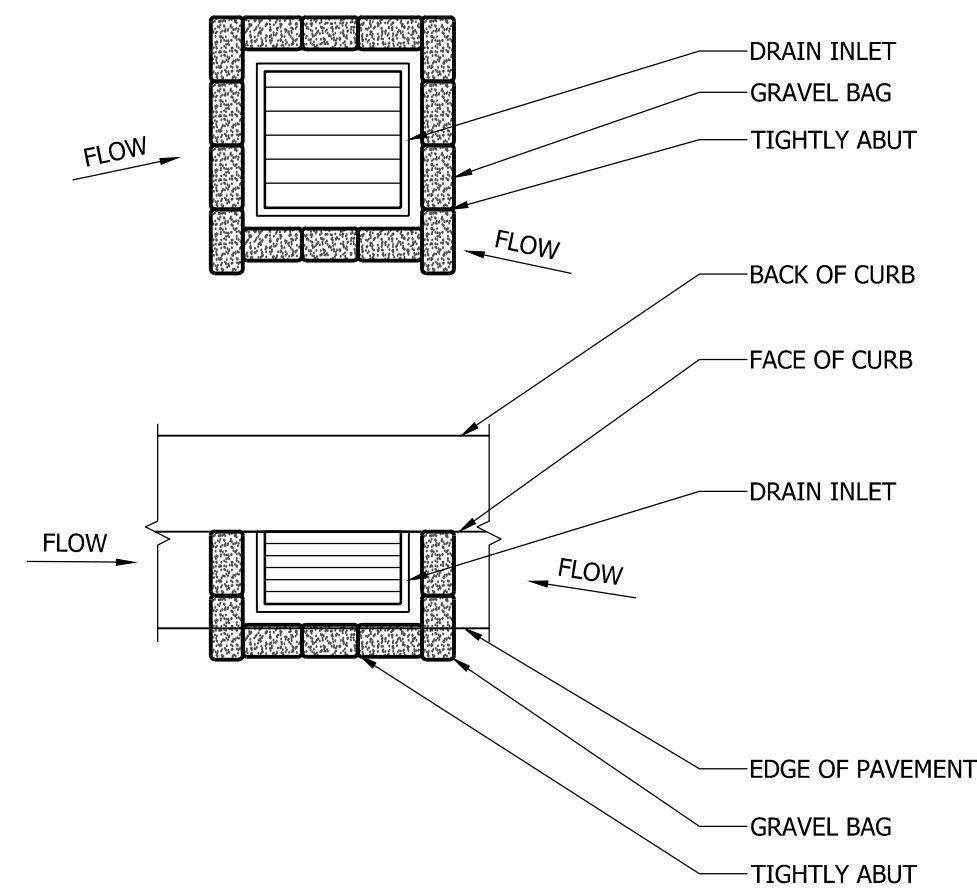
GRADING PLAN AND SECTIONS

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

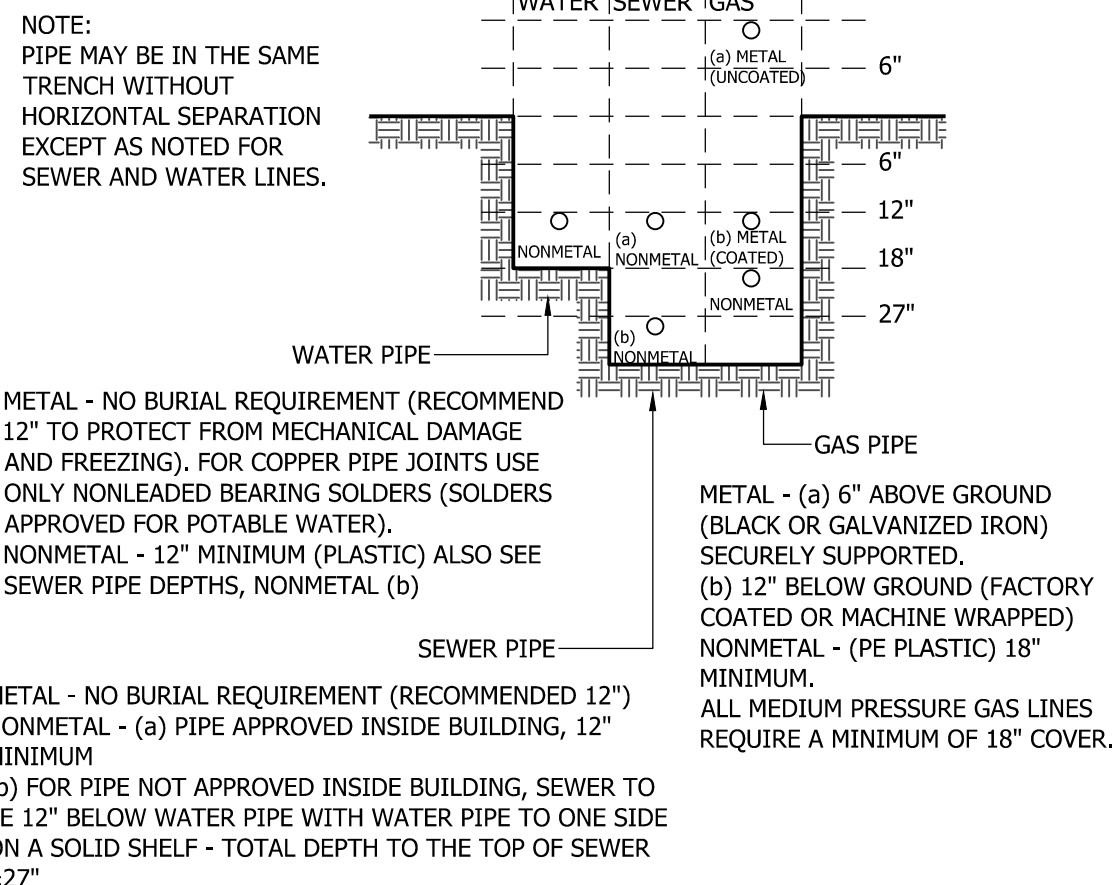
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SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 2039

SHEET:
C1.2



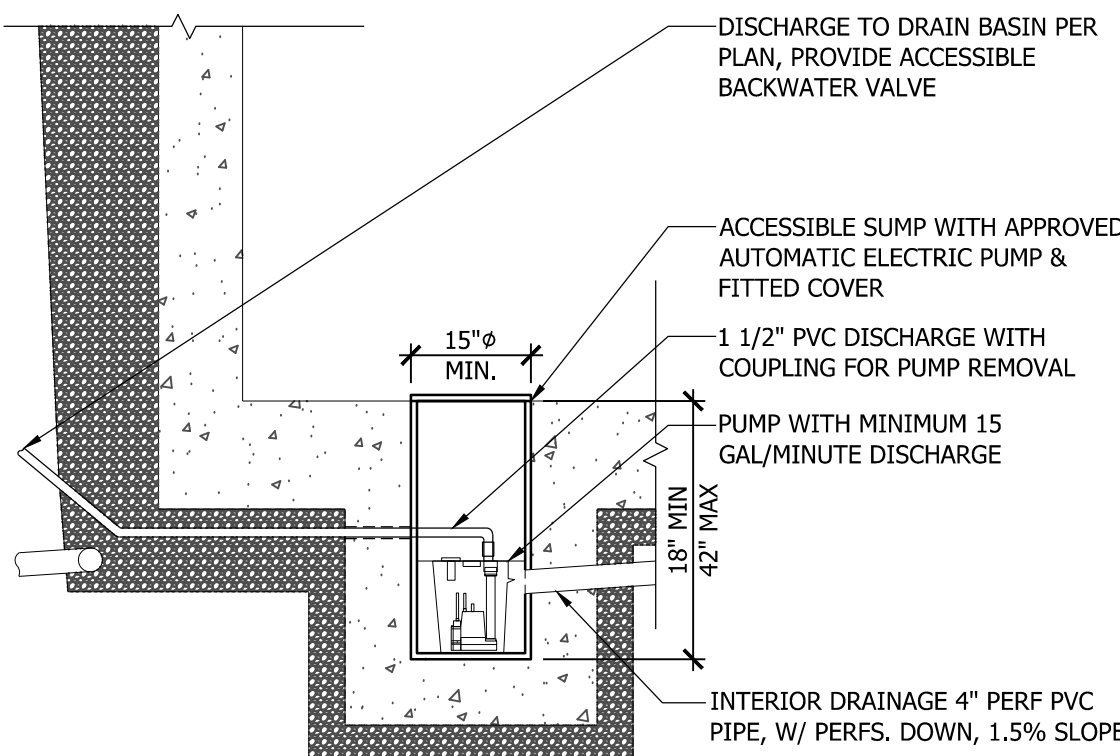
9 C1.3 STORM DRAIN INLET SEDIMENT TRAP
SCALE: 1"=1'-0"

\\p\Details\Templates\Detail_1-1-2.dwg - User - 08/26/2015 9:22:12 AM

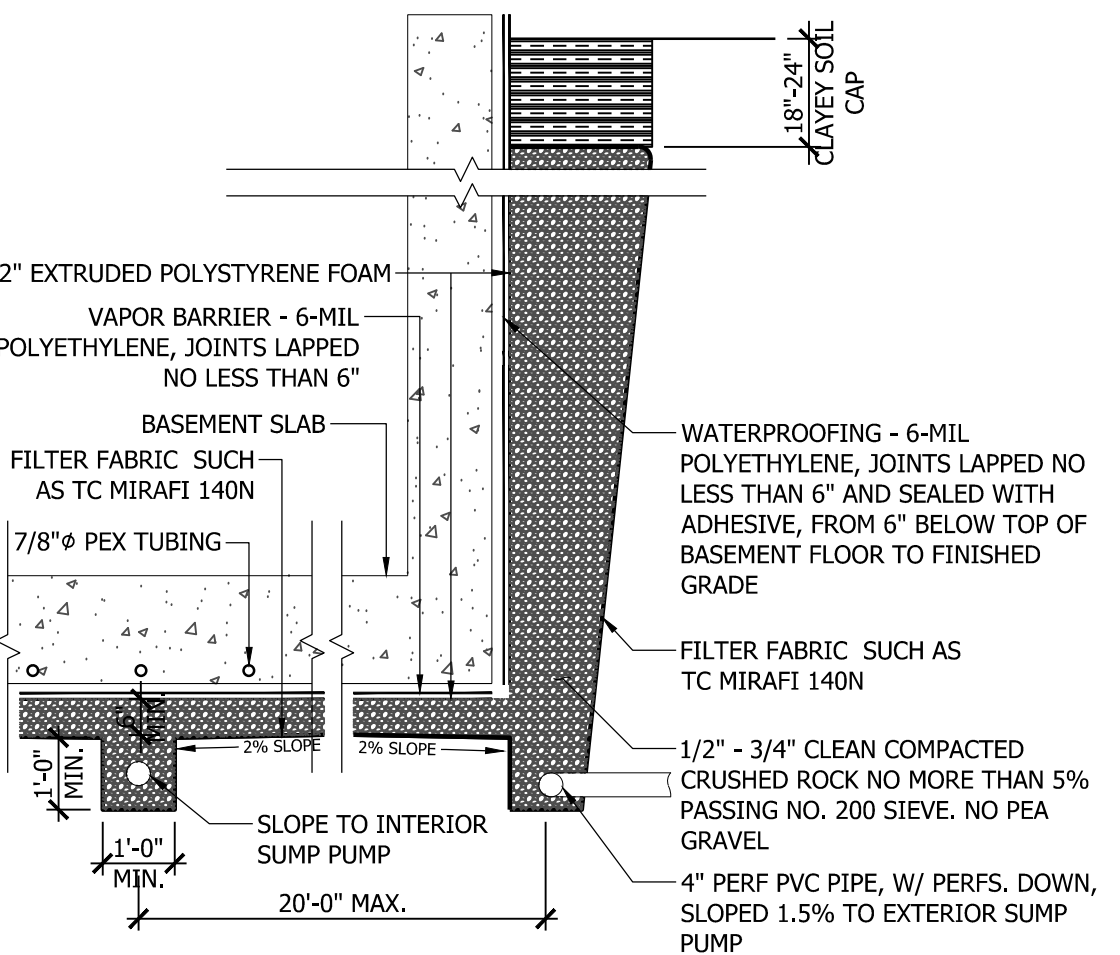


5 C1.3 PIPING BURIAL DEPTHS
SCALE: 1/2"=1'-0"

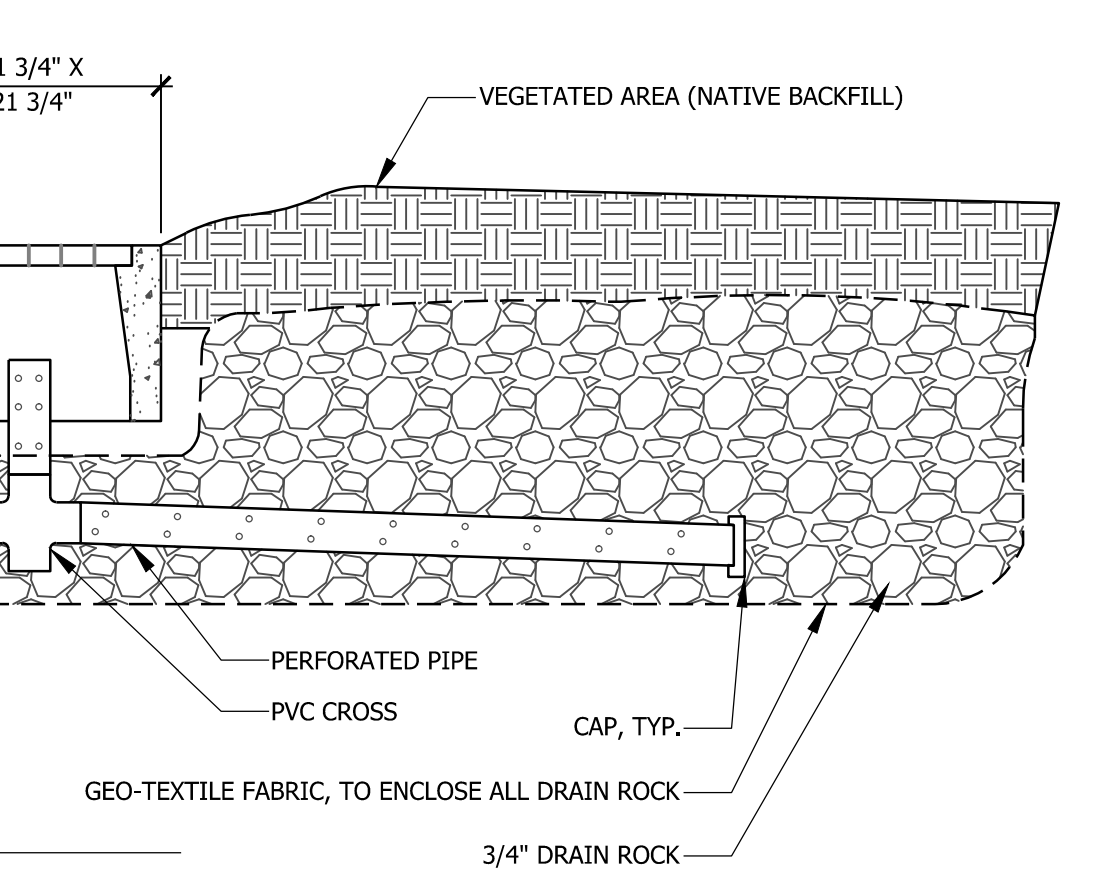
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6 C1.3 SUMP PIT
SCALE: 3/8"=1'-0"



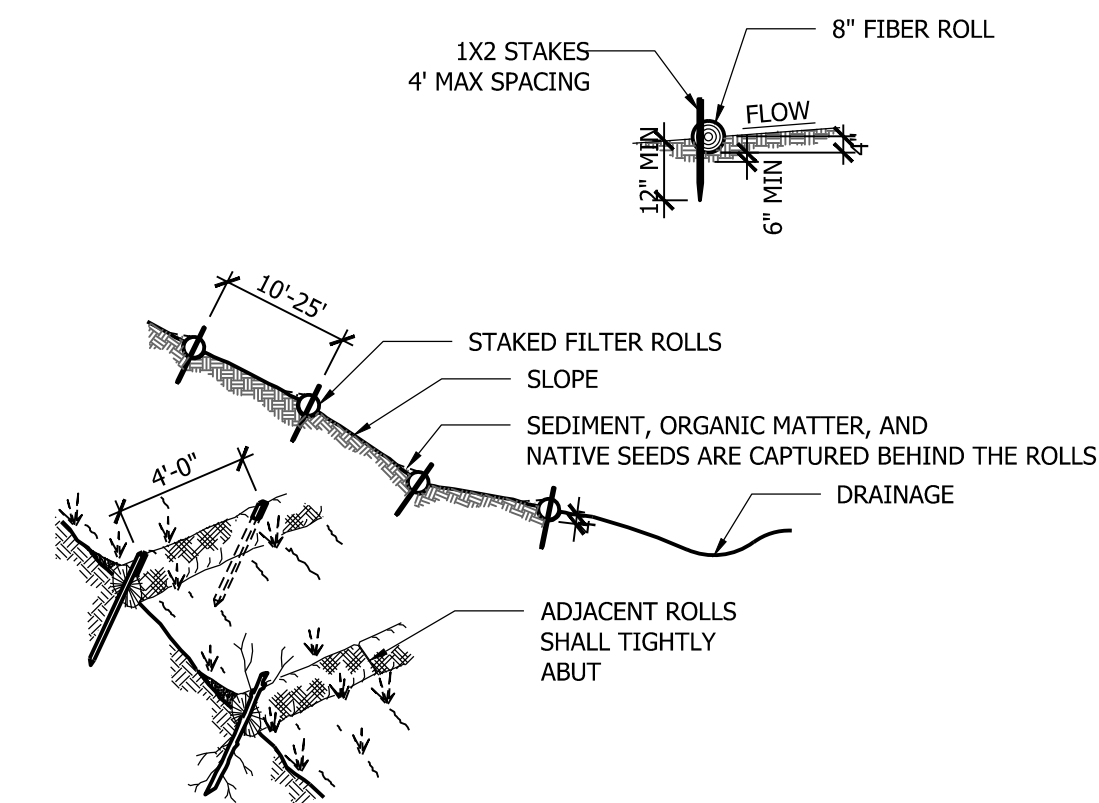
7 C1.3 SUBSLAB DRAINAGE
SCALE: 3/8"=1'-0"



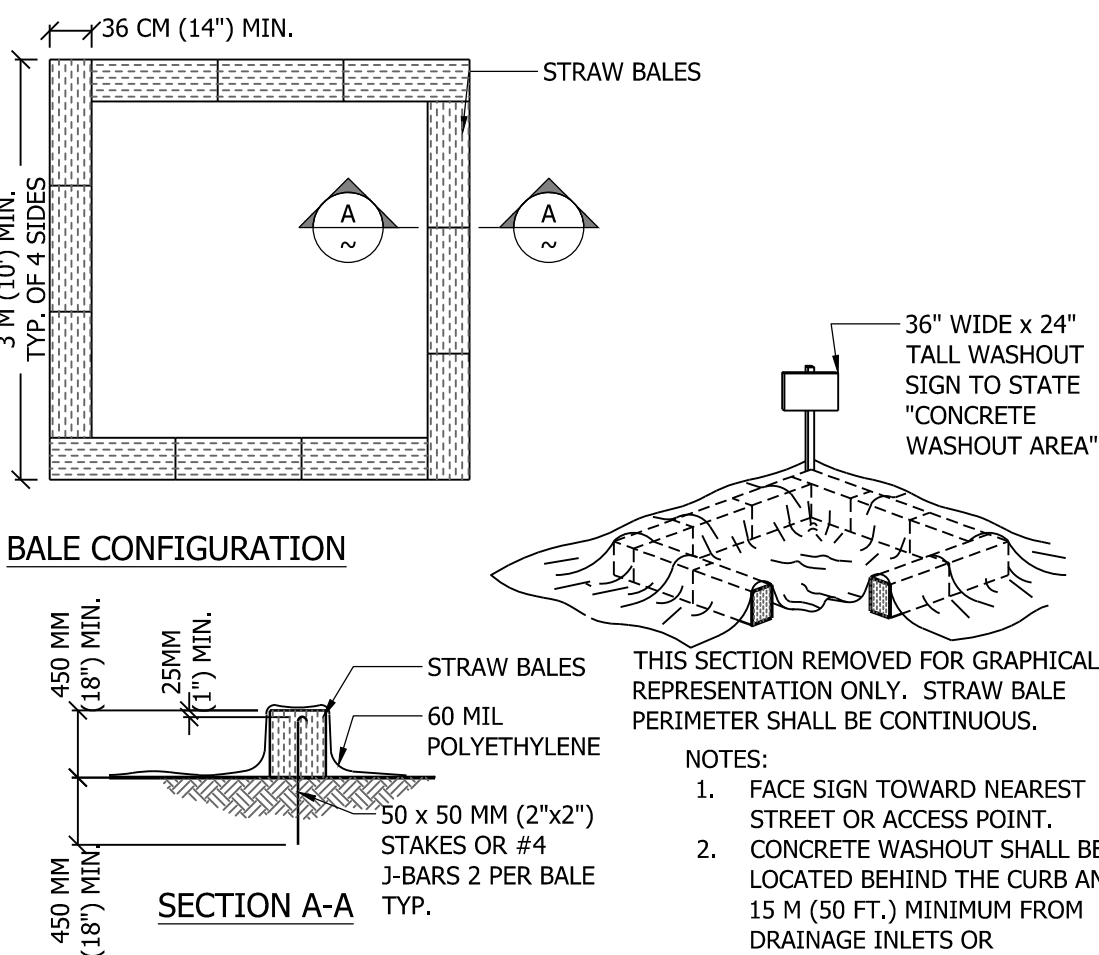
12 C1.3 SHALLOW GRAVEL BASIN
SCALE: 3/4"=1'-0"

- NOTE:
1. L & W TO BE SIZED TO ACCOMMODATE A 10-YEAR STORM EVENT. (THIS GRAVEL BED CAN BE USED AS A WATER DETENTION DEVICE)
 2. WATER DETENTION CAPACITY OF BED IS LIMITED TO 40% OF TOTAL BED VOLUME

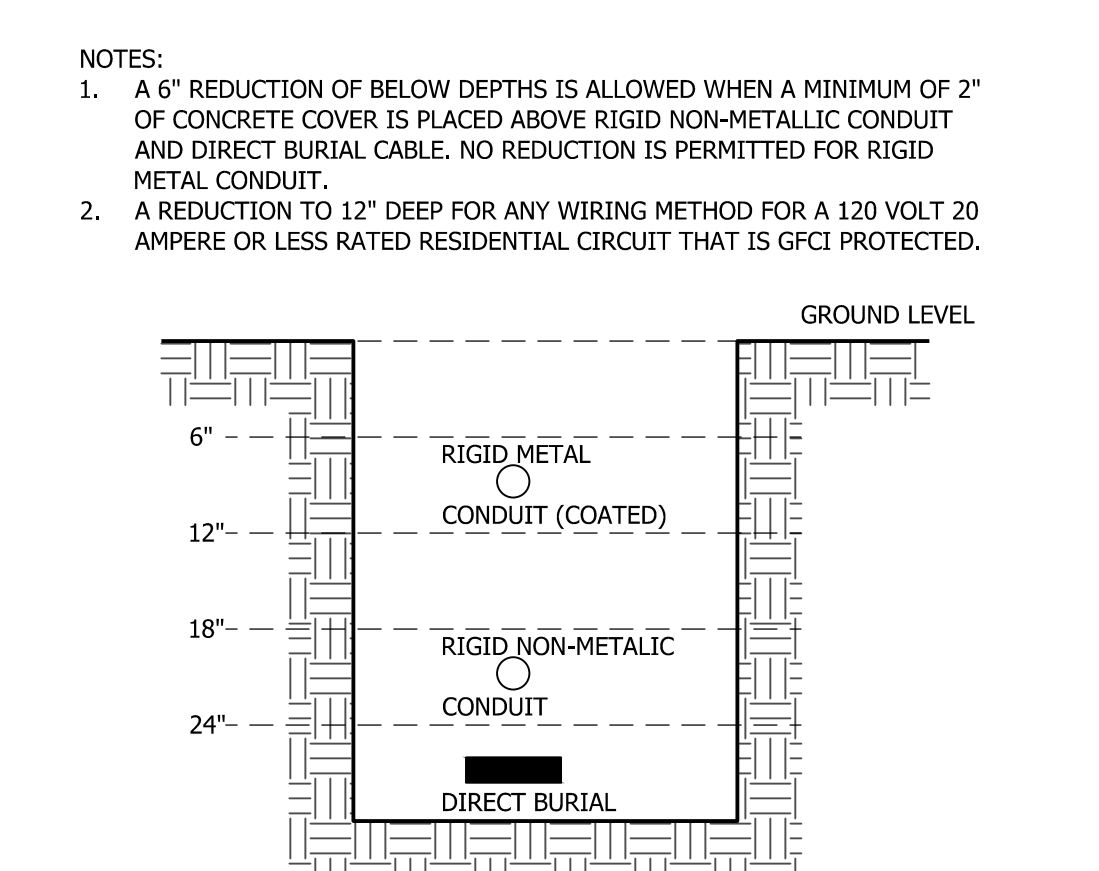
1 C1.3



2 C1.3 FIBER ROLLS
SCALE: 1/8"=1'-0"



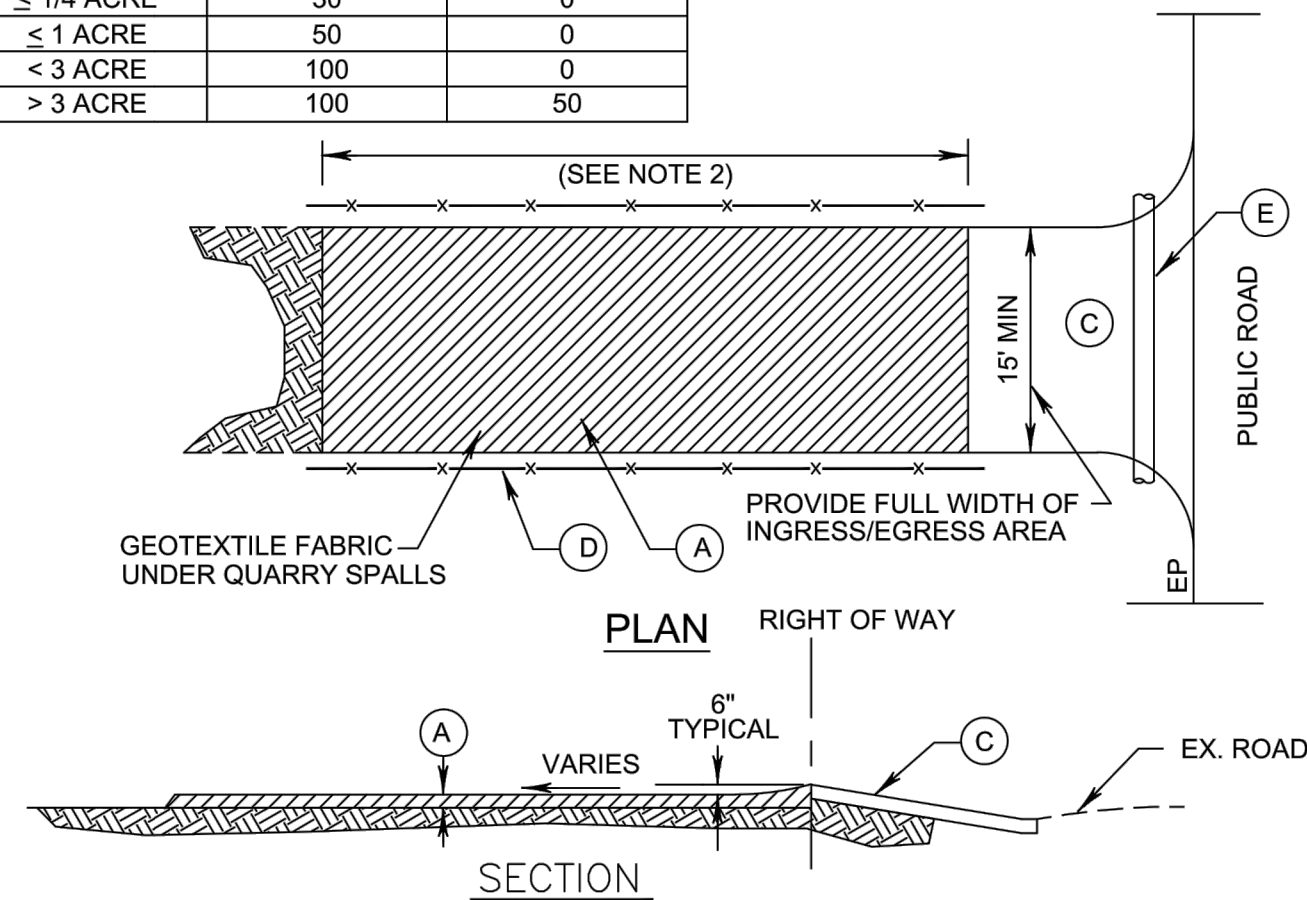
3 C1.3 CONCRETE WASHOUT AREA
N.T.S.



4 C1.3 ELECTRICAL BURIAL DEPTHS
SCALE: 1"=1'-0"

\\p\Details\Templates\Detail_1-3-2.dwg - User - 08/26/2015 9:22:12 AM

PROJECT SIZE	LENGTH OF	
	CRUSHED ROCK	ATB
≤ 1/4 ACRE	30	0
≤ 1 ACRE	50	0
< 3 ACRE	100	0
> 3 ACRE	100	50




- Ⓐ 4" CRUSHED ROCK WITH GEOTEXTILE MATERIAL UNDERNEATH.
- Ⓑ THE MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY. ALTERNATE CONSTRUCTION ENTRANCES WILL BE ALLOWED WITH THE APPROVAL OF A CIVIL ENGINEER ON A CASE BY CASE BASIS, WHERE PHYSICAL SITE CONDITIONS AND SIZE DICTATE
- Ⓒ ATB DRIVEWAY RAMP, OR SITE ACCESS ROAD 20' WIDE MIN. SEE TABLE ABOVE FOR REQUIRED LENGTH.
- Ⓓ INSTALL ORANGE BARRIER FENCE TO DIRECT TRAFFIC ONTO CONSTRUCTION ENTRANCE
- Ⓔ INSTALL 12" MIN. DIA. CULVERT IF A ROADSIDE DITCH IS PRESENT.

NOTES:

- 1 SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- 2 MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TOPSOIL OR OTHER MATERIAL FROM ENTERING THE PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT COLLECTED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IN A MANNER THAT DOES NOT DAMAGE THE SURFACE.
- 3 WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- 4 PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

NOT TO SCALE

APPROVED BY	DATE		STABILIZED CONSTRUCTION ENTRANCE	STD. PLAN NO.
<i>John P. [Signature]</i>	NOVEMBER 2010			ST-250
TOWN ENGINEER				

T:\GIS\PPW\TLG GENERAL\Standard Details\ST-250.dwg

REVISIONS	DATE

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DESIGNS
davidk@kuopdesigns.com

408.357.0818
3141 STEVENS CREEK BLVD. #104
SAN JOSE, CA 95117

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CITY STANDARD DETAILS

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE: 2022.05.06

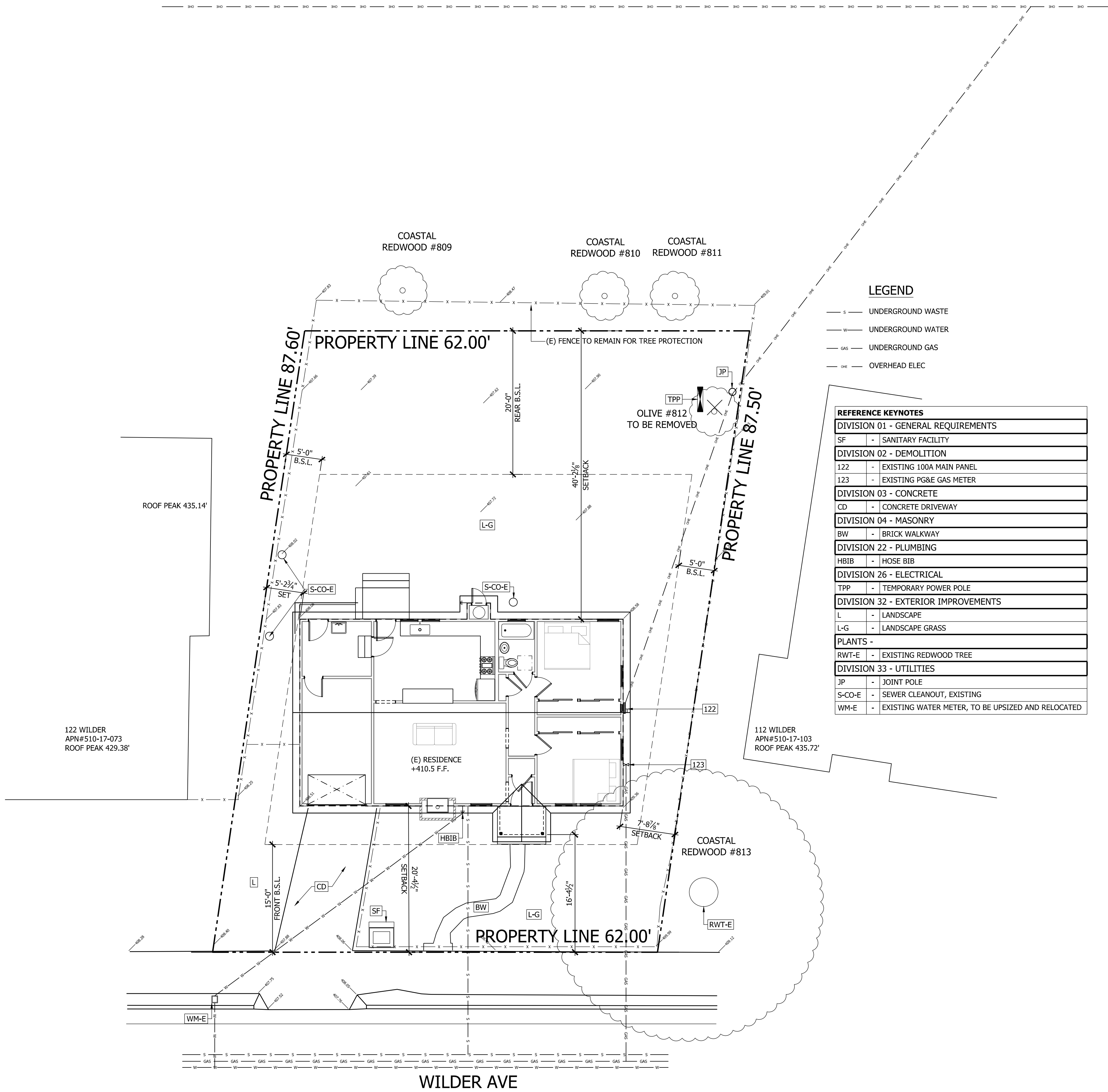
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DAVID

PLAN NO.: 2039

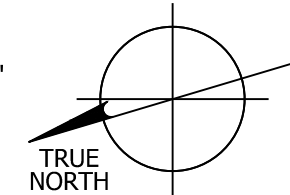
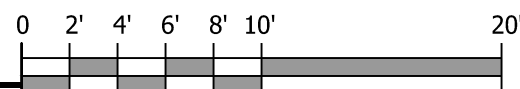
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C1.4



114 WILDER SITE PLAN EXISTING

1/8" = 1'-0"



LEGEND

- S — UNDERGROUND WASTE
- W — UNDERGROUND WATER
- GAS — UNDERGROUND GAS
- OH — OVERHEAD ELEC

REFERENCE KEYNOTES

DIVISION 01 - GENERAL REQUIREMENTS	
SF	- SANITARY FACILITY
DIVISION 02 - DEMOLITION	
122	- EXISTING 100A MAIN PANEL
123	- EXISTING PG&E GAS METER
DIVISION 03 - CONCRETE	
CD	- CONCRETE DRIVEWAY
DIVISION 04 - MASONRY	
BW	- BRICK WALKWAY
DIVISION 22 - PLUMBING	
HBIB	- HOSE BIB
DIVISION 26 - ELECTRICAL	
TPP	- TEMPORARY POWER POLE
DIVISION 32 - EXTERIOR IMPROVEMENTS	
L	- LANDSCAPE
L-G	- LANDSCAPE GRASS
PLANTS -	
RWT-E	- EXISTING REDWOOD TREE
DIVISION 33 - UTILITIES	
JP	- JOINT POLE
S-CO-E	- SEWER CLEANOUT, EXISTING
WM-E	- EXISTING WATER METER, TO BE UPSIZED AND RELOCATED

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ARCHITECTURAL SITE PLAN EXISTING

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI

114 WILDER AVE

LOS GATOS, CA 95030

APN# 510-17-072

DATE:

2022.05.06

SCALE:

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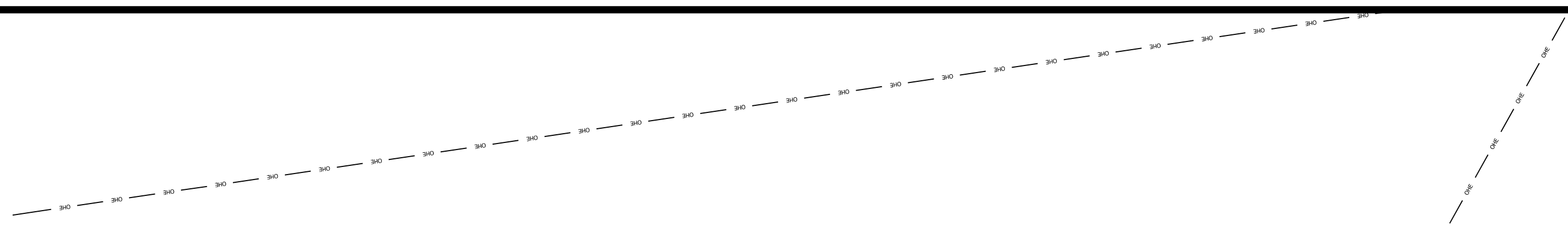
DAVID

PLAN NO.:

2039

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A0.1



REFERENCE KEYNOTES	
DIVISION 03 - CONCRETE	
CD	- CONCRETE DRIVEWAY
DIVISION 05 - METALS	
HR-S	- HANDRAIL, STEEL; SEE DETAIL 9/A10.0
DIVISION 22 - PLUMBING	
HBIB	- HOSE BIB
WH-TL-E	- TANKLESS ELECTRIC WATER HEATER
DIVISION 23 - HVAC	
MSU	- MINI SPLIT OUTDOOR UNIT
DIVISION 32 - EXTERIOR IMPROVEMENTS	
DG	- DECOMPOSED GRANITE
F-WP	- WHITE PICKET FENCE, 36" TALL
G-WP	- GATE WHITE PICKET, 36" TALL
L	- LANDSCAPE
L-G	- LANDSCAPE GRASS
BLWD	SEC 29-40.072 BELOW GRADE SF (3) LIGHT AND EXIT WELLS MAY ENCROACH INTO FRONT AND SIDE YARD SETBACKS FOR THE PURPOSE OF PROVIDING THE MINIMUM CRYTERIA FOR NATURAL LIGHT AND VENTILATION AS REQUIRED TO COMPLY WITH THE UNIFORM BUILDING CODE. A MINIMUM THREE-FOOT WIDE PEDESTRIAN ACCESS SHALL BE PROVIDED AROUND THE LIGHT WELL(S).
PLANTS -	
RWT-E	- EXISTING REDWOOD TREE
DIVISION 33 - UTILITIES	
JP	- JOINT POLE
WM	- NEW 1" WATER METER

NOTES:
1. ALL NEW UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATION LINES SHALL BE INSTALLED UNDERGROUND

114 WILDER SITE PLAN NEW



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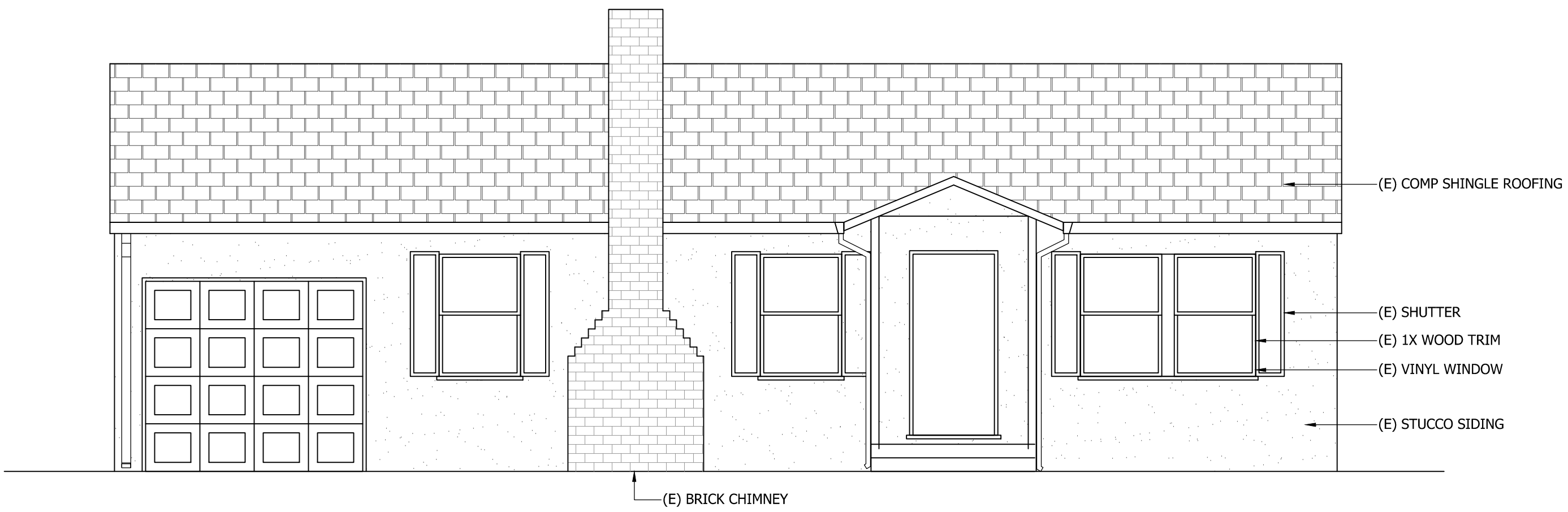
ARCHITECTURAL SITE PLAN NEW

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

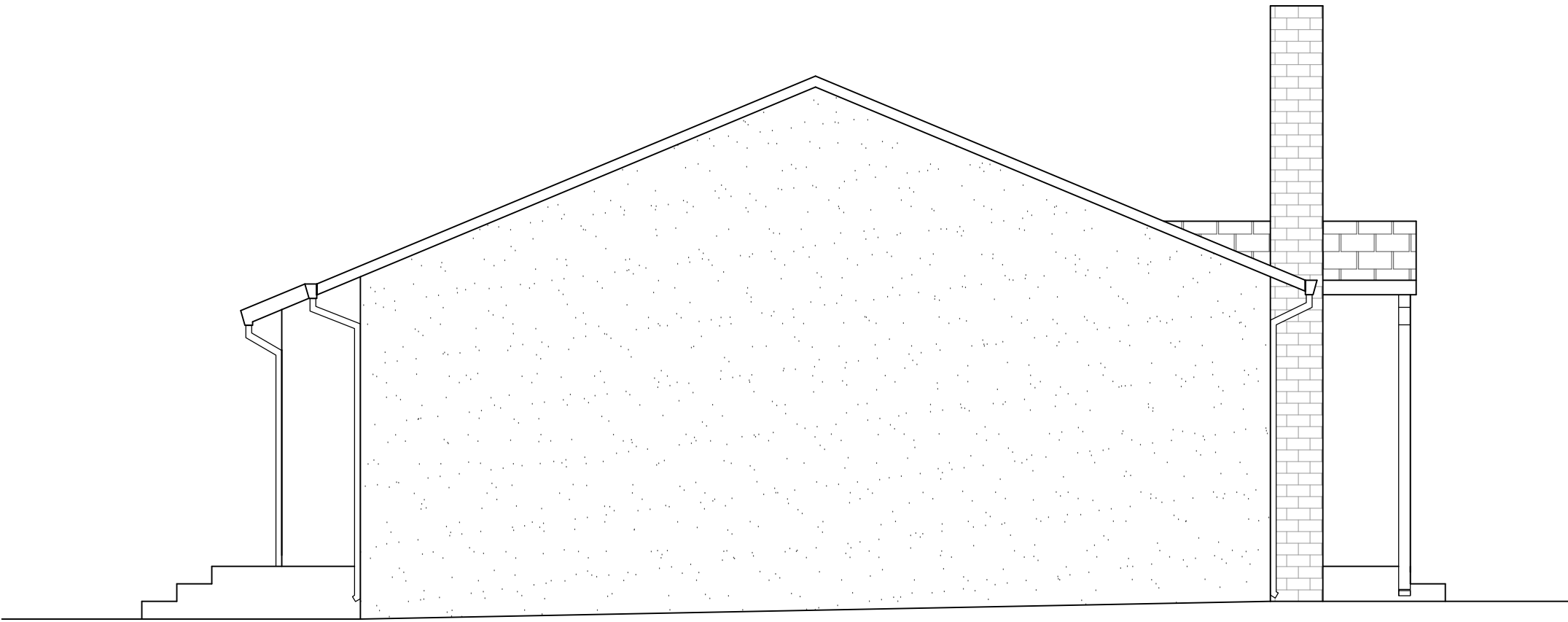
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FRONT (WEST) ELEVATION EXISTING

1/4" = 1'-0"



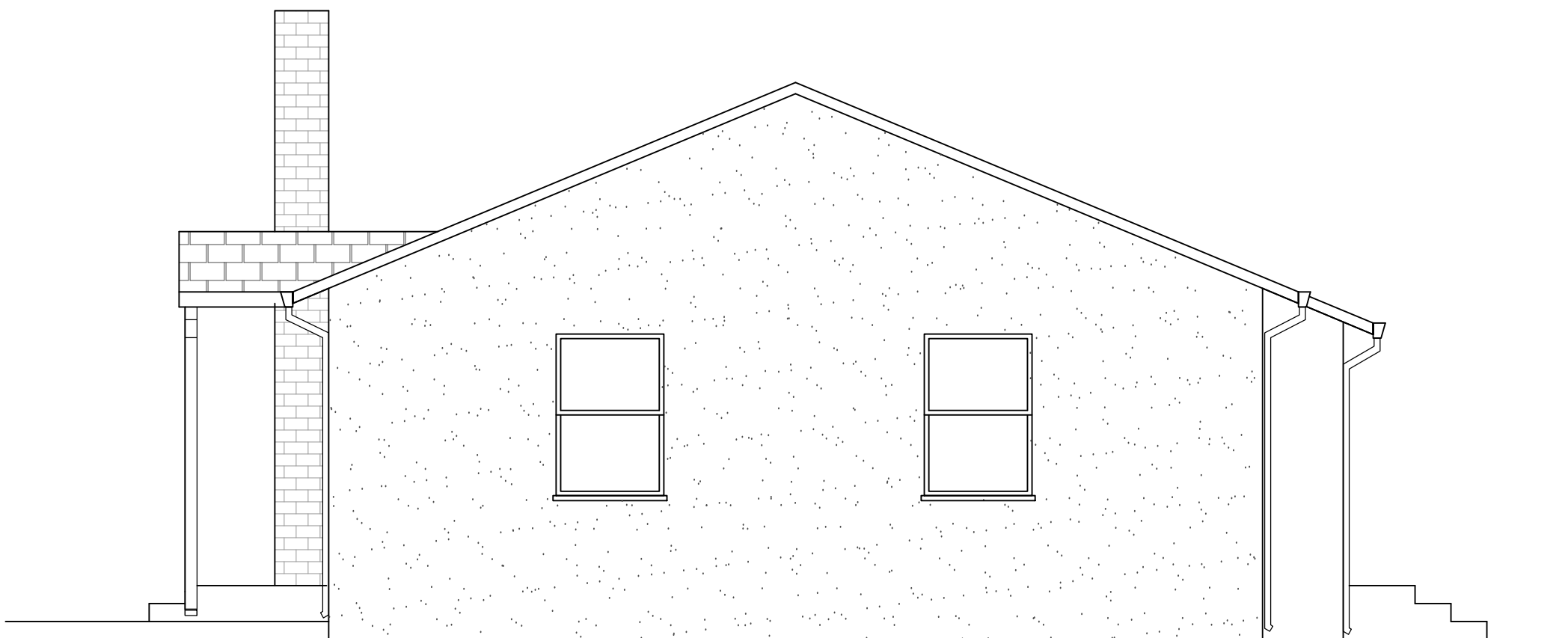
LEFT (NORTH) ELEVATION EXISTING

1/4" = 1'-0"



REAR (EAST) ELEVATION EXISTING

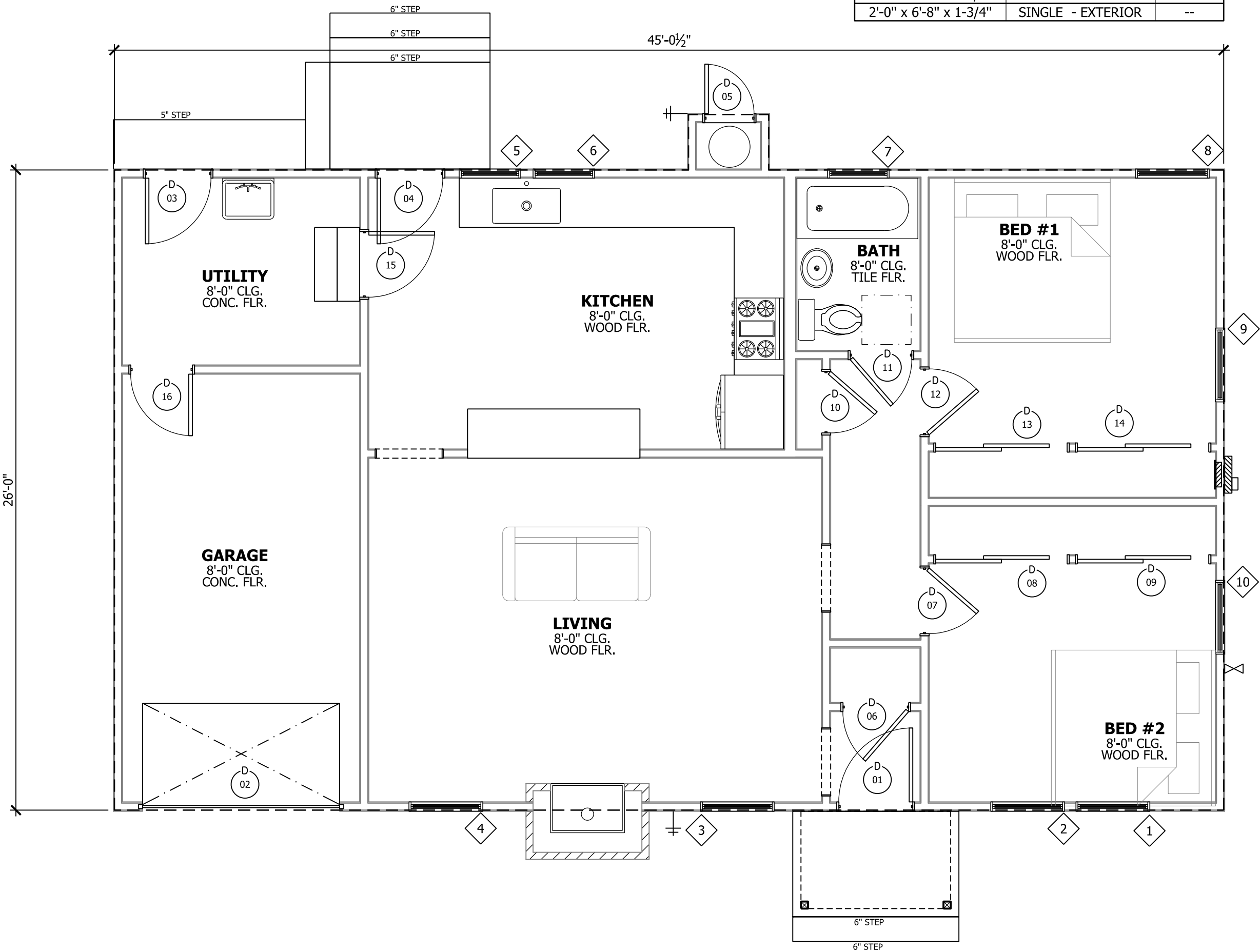
1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION EXISTING

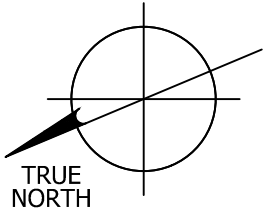
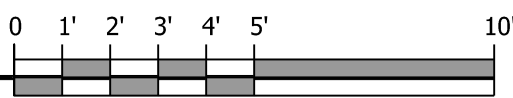
1/4" = 1'-0"

WINDOW SCHEDULE					DOOR AND FRAME SCHEDULE			
NUMBER	SIZE		STYLE	NOTES	SIZE	STYLE	NOTES	
1	3'-0"	4'-6"	SINGLE HUNG	--	3'-0" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	
2	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
3	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	
4	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	
5	2'-6"	3'-0"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
6	2'-6"	3'-0"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
7	2'-6"	3'-0"	SINGLE HUNG	--	8'-0" x 7'-0" x 1"	OVERHEAD SECTIONAL	--	
8	3'-0"	4'-6"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
9	3'-0"	4'-6"	SINGLE HUNG	--	2'-6" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
10	3'-0"	4'-6"	SINGLE HUNG	--	2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					PR 2'-8" x 6'-8" x 1'-3/4"	HORIZONTAL BYPASS	--	
					2'-8" x 6'-8" x 1'-3/4"	SINGLE - INTERIOR	--	
					2'-0" x 6'-8" x 1'-3/4"	SINGLE - EXTERIOR	--	



114 WILDER AVE FLOOR PLAN EXISTING

1/4" = 1'-0"



REVISIONS

DATE

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david@kuopdesigns.com

408.357.0818
3141 STEVENS CREEK BLVD. #104
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NEW RESIDENCE FOR:

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114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

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2022.05.06

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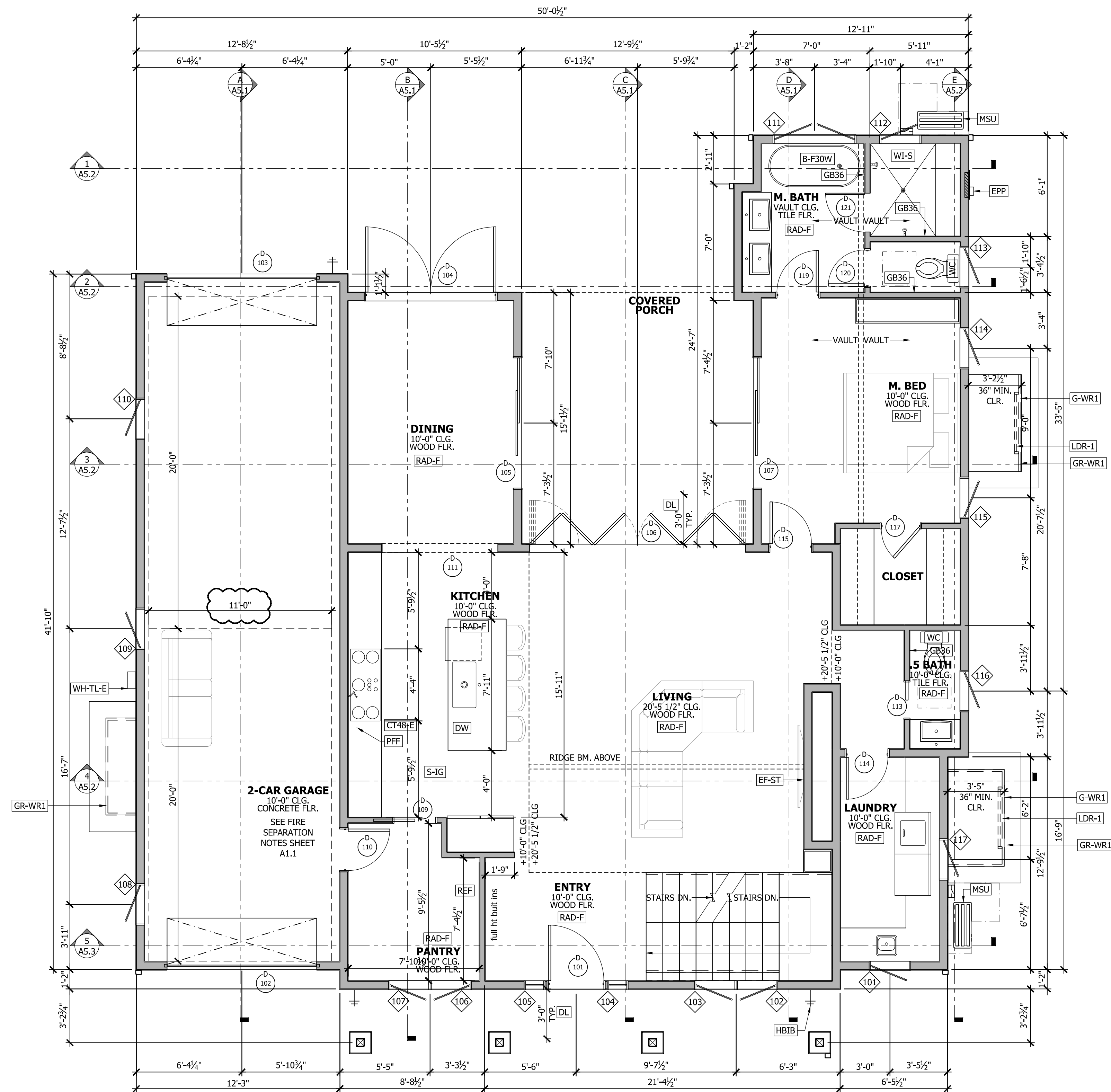
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PLAN NO.:

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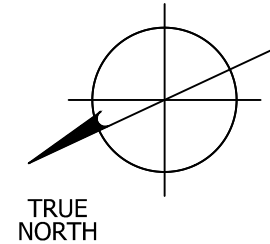
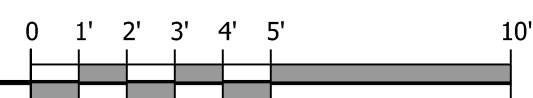
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114 WILDER 1ST FLOOR PLAN

1/4" = 1'-0"



WINDOW SCHEDULE										
NUMBER	SIZE		STYLE	DETAIL			SHCG	U-FACTOR	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL				
101	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
102	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
103	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
104	1'-3"	8'-0"	PICTURE	--	--	--	.23	.30	OAK	TEMP
105	1'-3"	8'-0"	PICTURE	--	--	--	.23	.30	OAK	TEMP
106	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
107	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
108	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
109	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
110	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
111	5'-0"	6'-0"	DOUBLE CASEMENT	--	--	--	.23	.30	WHITE	TEMP
112	2'-6"	5'-0"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
113	2'-6"	5'-0"	CASEMENT	--	--	--	.23	.30	WHITE	
114	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
115	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
116	2'-6"	4'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
117	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	

DOOR AND FRAME SCHEDULE								
Number	SIZE	STYLE	DETAIL			FIRE RATING	COLOR	NOTES
			JAMB	HEAD	THRESHOLD			
101	3'-6" x 9'-0" x 1-3/4"	SINGLE - EXTERIOR	--/A	--/A	--/A	--	OAK	--
102	9'-0" x 9'-0" x 1"	OVERHEAD SECTIONAL	--/A	--/A	--/A	--	OAK	--
103	9'-0" x 9'-0" x 1"	OVERHEAD SECTIONAL	--/A	--/A	--/A	--	OAK	--
104	PR 4'-0" x 9'-0" x 1-3/4"	DOUBLE - EXTERIOR	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
105	PR 4'-0" x 9'-0" x 1-1/4"	SLIDING - EXTERIOR	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
106	13'-0" x 9'-0" x 1-3/4"	ACCORDION DOUBLE	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
107	PR 4'-0" x 9'-0" x 1-1/4"	SLIDING - EXTERIOR	--/A	--/A	--/A	--	WHITE	SAFETY GLAZING
109	2'-8" x 9'-0" x 1-3/4"	POCKET	--/A	--/A	--/A	--	WHITE	--
110	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	20 MIN RATED	WHITE	--
113	2'-4" x 9'-0" x 1-3/4"	POCKET	--/A	--/A	--/A	--	WHITE	--
114	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	100 SQ IN MAKEUP AIR
115	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
117	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
119	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
120	2'-4" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	WHITE	--
121	2'-4" x 9'-0" x 1"	--	--/A	--/A	--/A	--	GLASS	--

REFERENCE KEYNOTES	
DIVISION 05 - METALS	
GR-WR1	- GUARDRAIL, WROUGHT IRON, SEE DETAIL X/A10.0
G-WR1	- GATE, WROUGHT IRON, WITH SIDE HINGE, LATCH SHALL BE RELEASABLE FROM INSIDE THE WELL WITHOUT THE USE OF A KEY, TOOL, SPECIAL KNOWLEDGE OR FORCE GREATER THAN THAT REQUIRED FOR THE NORMAL OPERATION OF THE ESCAPE AND RESCUE OPENING R310.4
LDR-1	- ACCESS LADDER, STEEL; INSIDE WIDTH OF NOT LESS THAN 12 INCHES, SHALL PROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL, R310.2.3.1
DIVISION 08 - DOORS AND WINDOWS	
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS. A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.
DIVISION 10 - SPECIALTIES	
EF-ST	- ELECTRIC FIREPLACE, 60" WIDE FRAMING
TOILET ACCESSORIES -	
GB36	- GRAB BAR BACKING; SEE DETAIL */A10.0 FOR ANCHORAGE.
DIVISION 11 - EQUIPMENT	
CT48-E	- 48" COOKTOP ELECTRIC W/ HOOD
DW	- DISHWASHER
REF	- 36" WIDE REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
DIVISION 22 - PLUMBING	
B-F30W	- BATHRUB, FREESTANDING, 30" WIDE X 66" LONG
HB1B	- HOSE BIB
PFF	- POT FILLER FAUCET
S-IG	- ISLAND SINK W/ GARBAGE DISPOSAL, SEE DETAIL 17/A10.1
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WH-TL-E	- TANKLESS ELECTRIC WATER HEATER
WI-S	- WALK-IN SHOWER WITH FLUSH ENTRANCE, SEE SHOWER NOTES SHEET A1.1,
DIVISION 23 - HVAC	
MSU	- MINI SPLIT OUTDOOR UNIT
RAD-F	- RADIANT HEAT FLOORING SYSTEM, 1 1/8" WARM BOARD FLOOR SHEATHING
DIVISION 26 - ELECTRICAL	
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE

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PAGE TITLE

1ST FLOOR PLAN

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE:

2022.05.06

SCALE:

PER SHEET

DRAWN BY:

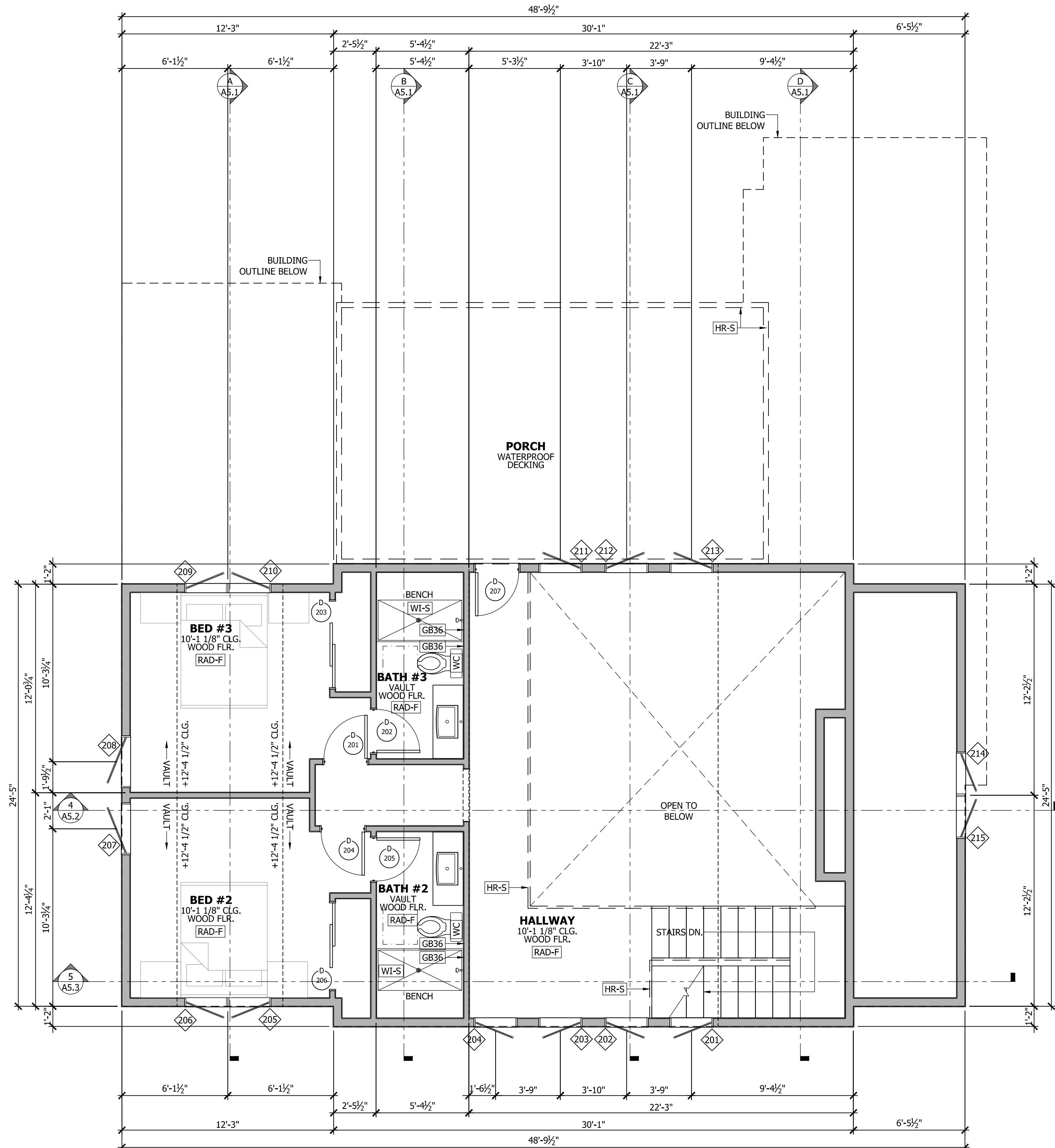
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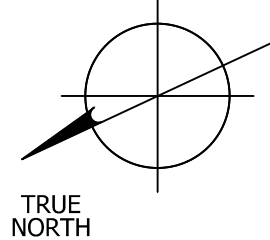
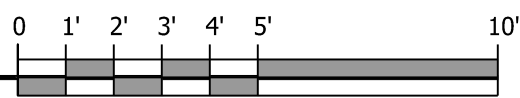
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A2.1



114 WILDER 2ND FLOOR PLAN

1/4" = 1'-0"



FILENAME: E:\EGNYTE\SHARED\KUOP DESIGNS\PROJECTS\20-039 114 WILDER AVE\114 WILDER\SHEETS\A2.2 2ND FLOOR PLAN.DWG

WINDOW SCHEDULE										
NUMBER	SIZE		STYLE	DETAIL			SHCG	U-FACTOR	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL				
201	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
202	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
203	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
204	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
205	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	EGRESS
206	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
207	3'-0"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
208	3'-0"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
209	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
210	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	EGRESS
211	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
212	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
213	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	TEMP
214	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	
215	2'-6"	5'-6"	CASEMENT	--	--	--	.23	.30	WHITE	

DOOR AND FRAME SCHEDULE								
Number	SIZE	STYLE	DETAIL			FIRE RATING	COLOR	NOTES
			JAMB	HEAD	THRESHOLD			
201	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
202	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
203	PR 2'-6" x 9'-0" x 1-3/4"	HORIZONTAL BYPASS	--	--	--/A	--	WHITE	--
204	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
205	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--	--	--/A	--	WHITE	--
206	PR 2'-6" x 9'-0" x 1-3/4"	HORIZONTAL BYPASS	--	--	--/A	--	WHITE	--
207	2'-6" x 9'-0" x 1-3/4"	SINGLE - EXTERIOR	--	--	--/A	--	WHITE	--

REFERENCE KEYNOTES	
DIVISION 05 - METALS	
HR-S	- HANDRAIL, STEEL; SEE DETAIL 9/A10.0
DIVISION 10 - SPECIALTIES	
TOILET ACCESSORIES -	
GB36	- GRAB BAR BACKING; SEE DETAIL */A10.0 FOR ANCHORAGE.
DIVISION 22 - PLUMBING	
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WI-S	- WALK-IN SHOWER WITH FLUSH ENTRANCE, SEE SHOWER NOTES SHEET A1.1.
DIVISION 23 - HVAC	
RAD-F	- RADIANT HEAT FLOORING SYSTEM, 1 1/8" WARM BOARD FLOOR SHEATHING

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david@kuopdesigns.com

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2ND FLOOR PLAN

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LOS GATOS, CA 95030
APN# 510-17-072

DATE:

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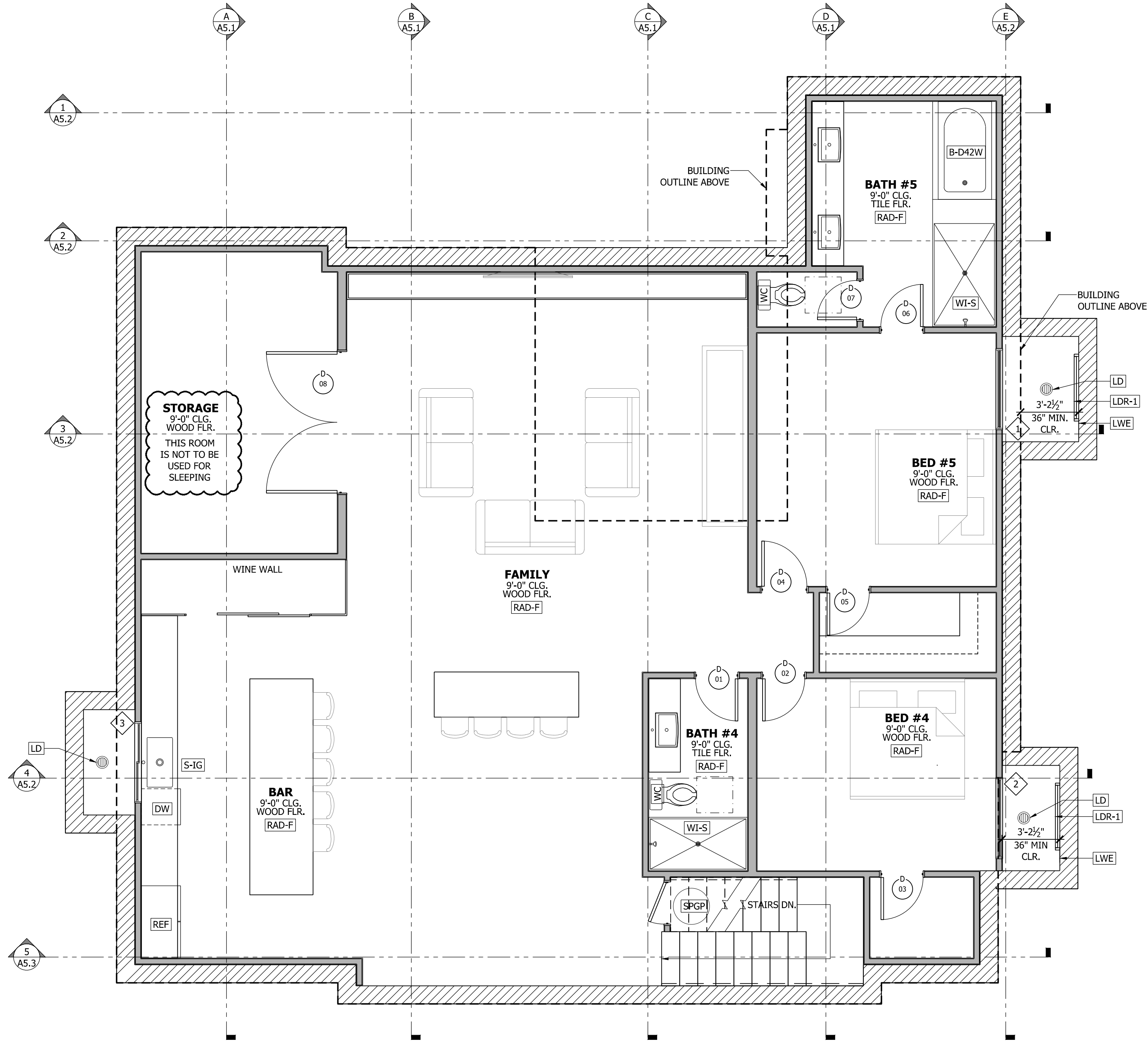
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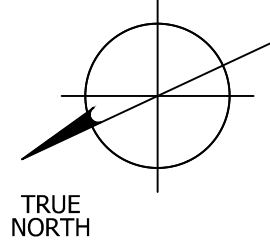
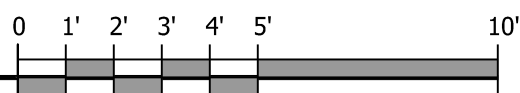
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A2.2



114 WILDER BASEMENT FLOOR PLAN

1/4" = 1'-0"



WINDOW SCHEDULE										
NUMBER	SIZE		STYLE	DETAIL			SHCG	U-FACTOR	COLOR	NOTES
	WIDTH	HEIGHT		HEAD	JAMB	SILL				
1	4'-6"	5'-0"	SINGLE HUNG	--	--	--	.23	.30	?	EGRESS
2	4'-6"	5'-0"	SINGLE HUNG	--	--	--	.23	.30	?	EGRESS
3	4'-6"	3'-0"	SLIDER	--	--	--	.23	.30	?	

DOOR AND FRAME SCHEDULE								
Number	SIZE	STYLE	DETAIL			FIRE RATING	COLOR	NOTES
			JAMB	HEAD	THRESHOLD			
1	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
2	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
3	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
4	2'-8" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
5	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
6	2'-6" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--
7	2'-4" x 9'-0" x 1-3/4"	SINGLE - INTERIOR	--/A	--/A	--/A	--	--	--

REFERENCE KEYNOTES	
DIVISION 05 - METALS	
LDR-1	- ACCESS LADDER, STEEL; INSIDE WIDTH OF NOT LESS THAN 12 INCHES, SHALL PROJECT NOT LESS THAN 3 INCHES FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18 INCHES ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL, R310.2.3.1
DIVISION 11 - EQUIPMENT	
DW	- DISHWASHER
REF	- 36" WIDE REFRIGERATOR PROVIDE PLUMBING FOR ICE MAKER
DIVISION 22 - PLUMBING	
B-D42W	- BATHRUB, DROP IN, 42" WIDE X 66" LONG
LD	- LIGHT WELL DRAIN, SEE 9/C1.3 FOR STORMDRAIN INLET SEDIMENT TRAP
S-IG	- ISLAND SINK W/ GARBAGE DISPOSAL, SEE DETAIL 17/A10.1
SPGP	- SUMP PUMP AND GRINDER PUMP INSTALL PER CPC 710, SEE DETAIL 6/C1.3
WC	- WATER CLOSET, CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT CPC 402.5, SEE DETAIL 1/A10.0
WI-S	- WALK-IN SHOWER WITH FLUSH ENTRANCE, SEE SHOWER NOTES SHEET A1.1,
DIVISION 32 - EXTERIOR IMPROVEMENTS	
LWE	- LIGHTWELLS USED FOR EMERGENCY EGRESS MUST HAVE A MINIMUM CLEARANCE OF 36 INCHES IN ANY DIRECTION.

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david@kuopdesigns.com

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PAGE TITLE

BASEMENT PLAN

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE:

2022.05.06

SCALE:

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DAVID

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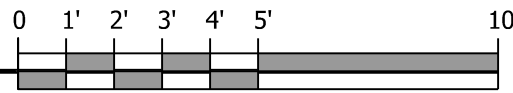
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A2.3



FRONT (WEST) ELEVATION NEW

1/4" = 1'-0"

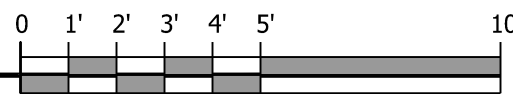


REFERENCE KEYNOTES	
DIVISION 04 - MASONRY	
BV1	- BRICK VENEER, MUTUAL MATERIALS - HARBOR MIST
DIVISION 05 - METALS	
GR1	- GUARDRAIL, SEE DETAIL 14/A10.1. O.F.C.I.
DIVISION 06 - WOOD AND PLASTICS	
CABINETRY -	
WCOL	- WOOD COLUMN
MISCELLANEOUS -	
AC-M	- ARCHITECTURAL CORNICE MOULDING
TR	- WOOD TRELLIS
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
GTR-C	- GUTTER, HALF ROUND PROFILE, COPPER
ROOFING AND SIDING -	
HSS	- HORIZONTAL RUSTIC SHIPLAP SIDING OVER (1) LAYER OF No. 15 ASPHALT FELT, UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @ JOINTS (R703.2)
RST	- 1X ROUGH SAWN TRIM
SHG-1	- CLASS 'A' WOOD SHINGLES, RED CEDAR, OVER 30# FELT AND ROOF SHEATHING
DIVISION 08 - DOORS AND WINDOWS	
CGD	- CARRIAGE GARRAGE DOOR WITH 12 LITES PER DOOR. WOOD STAIN TO MATCH FRONT DOOR
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS. A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT TH EDOOR DOES NOT SWING OVER THE STAIRWAY.
WDW-1	- WINDOW WITH 1X ROUGH SAWN TRIM
WDW-2	- WINDOW TRIMLESS
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
AF-CR	- CEMENT PLASTER ARCHITECTURAL FOAM CORNICE
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, BM SWISS COFFEE AT 75%, SEE DETAIL XX/A10.0
DIVISION 10 - SPECIALTIES	
AN	- APPROVED 4" HIGH W/ 1/2" MIN STRIKE WIDTH ADDRESS NUMBERS WITH CONTRASTING BACKGROUND VISIBLE FROM STREET.
DIVISION 23 - HVAC	
CH-C	- CHIMNEY CAP, COPPER
DIVISION 26 - ELECTRICAL	
ELF	- EXTERIOR LIGHT FIXTURE WITH SHIELDING SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE



LEFT (NORTH) ELEVATION NEW

1/4" = 1'-0"



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ELEVATIONS NEW

NEW RESIDENCE FOR:

ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

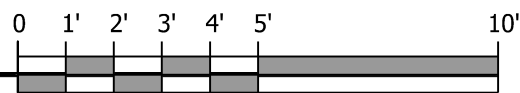
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PLAN NO.:	2039

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A3.1



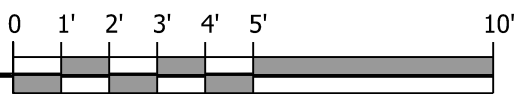
REAR (EAST) ELEVATION NEW

1/4" = 1'-0"



RIGHT (SOUTH) ELEVATION NEW

1/4" = 1'-0"



REFERENCE KEYNOTES	
DIVISION 04 - MASONRY	
BV1	- BRICK VENEER, MUTUAL MATERIALS - HARBOR MIST
DIVISION 05 - METALS	
GR1	- GUARDRAIL, SEE DETAIL 14/A10.1. O.F.C.I.
DIVISION 06 - WOOD AND PLASTICS	
CABINETRY -	
WCOL	- WOOD COLUMN
MISCELLANEOUS -	
AC-M	- ARCHITECTURAL CORNICE MOULDING
TR	- WOOD TRELLIS
DIVISION 07 - THERMAL AND MOISTURE PROTECTION	
FLASHING AND SHEET METAL -	
GTR-C	- GUTTER, HALF ROUND PROFILE, COPPER
ROOFING AND SIDING -	
HSS	- HORIZONTAL RUSTIC SHIPLAP SIDING OVER (1) LAYER OF No. 15 ASPHALT FELT. UPPER LAYER TO LAP 2" OVER LOWER LAYER WITH 6" MIN LAPS @ JOINTS (R703.2)
RST	- 1X ROUGH SAWN TRIM
SHG-1	- CLASS 'A' WOOD SHINGLES, RED CEDAR, OVER 30# FELT AND ROOF SHEATHING
DIVISION 08 - DOORS AND WINDOWS	
CGD	- CARRIAGE GARRAGE DOOR WITH 12 LITES PER DOOR. WOOD STAIN TO MATCH FRONT DOOR
DL	- LANDINGS MAX OF 7 3/4" DOWN FROM SLIDERS AND IN SWINGING DOORS OR MAX 1 1/2" DOWN FROM OUT SWINGING DOORS. A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT TH EDOR DOES NOT SWING OVER THE STAIRWAY.
WDW-1	- WINDOW WITH 1X ROUGH SAWN TRIM
WDW-2	- WINDOW TRIMLESS
DIVISION 09 - FINISHES	
CEMENT PLASTER -	
AF-CR	- CEMENT PLASTER ARCHITECTURAL FOAM CORNICE
CPS	- 3 COAT, 7/8" STUCCO OVER APPROVED LATH & CLASS 'D' (2 SHEET) BUILDING PAPER O/ STRUCTURAL SHEATHING, BM SWISS COFFEE AT 75%, SEE DETAIL XX/A10.0
DIVISION 10 - SPECIALTIES	
AN	- APPROVED 4" HIGH W/ 1/2" MIN STRIKE WIDTH ADDRESS NUMBERS WITH CONTRASTING BACKGROUND VISIBLE FROM STREET.
DIVISION 23 - HVAC	
CH-C	- CHIMNEY CAP, COPPER
DIVISION 26 - ELECTRICAL	
ELF	- EXTERIOR LIGHT FIXTURE WITH SHIELDING SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.
EPP	- ELECTRICAL POWER PANEL NEW 200A SERVICE

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ELEVATIONS NEW

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ALVARO ANZOATEGUI
114 WILDER AVE
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APN# 510-17-072

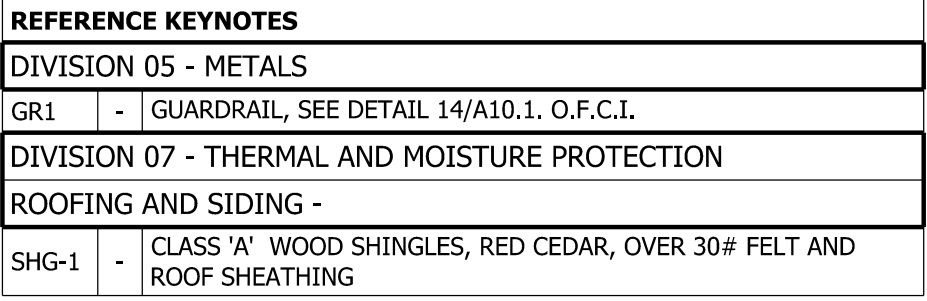
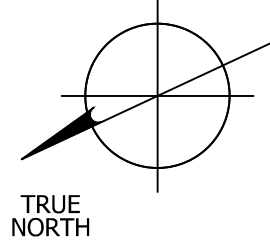
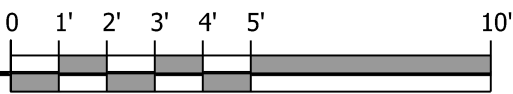
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$$1/4'' = 1'-0''$$


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ROOF PLAN

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114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE: 2022.05.06

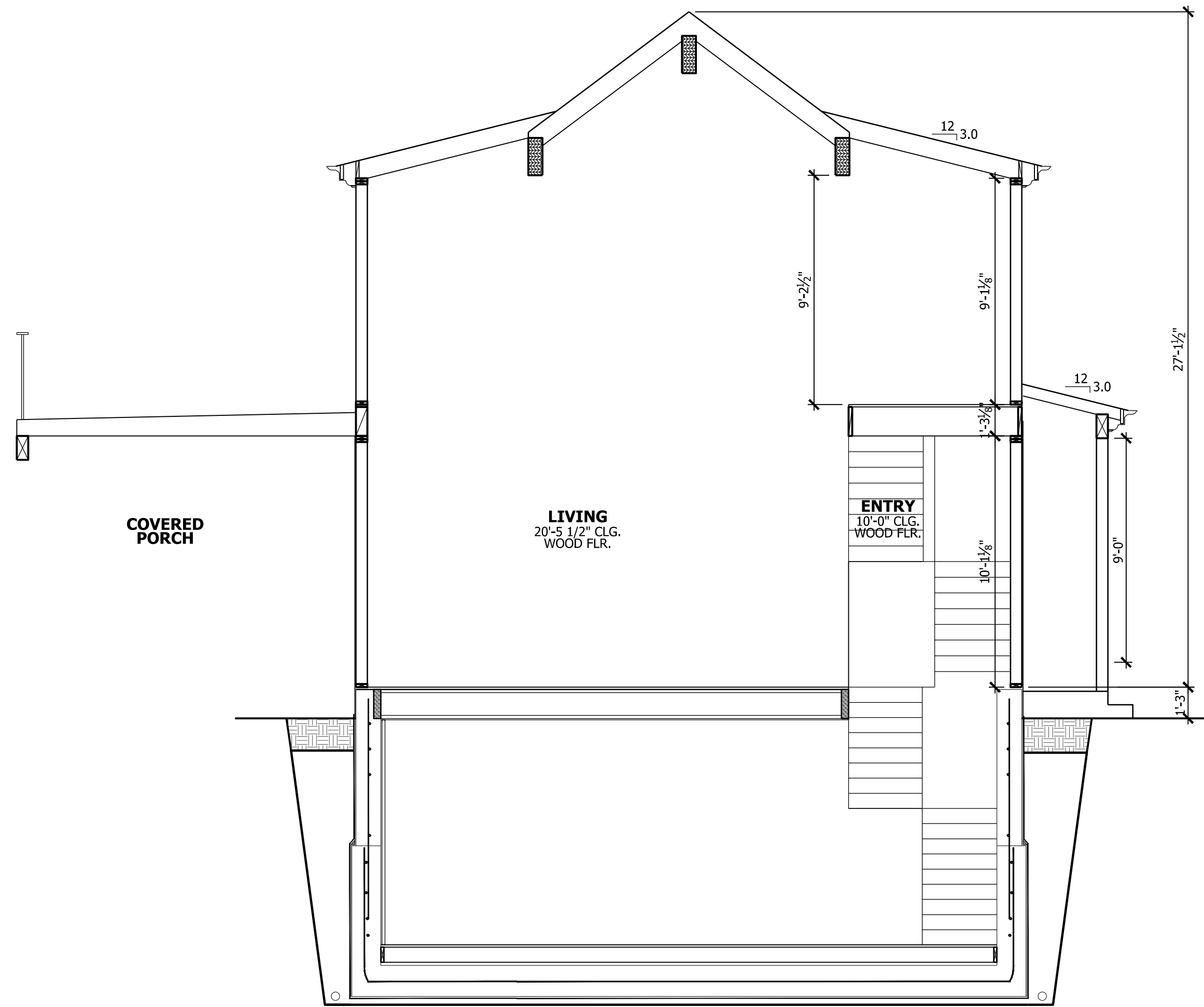
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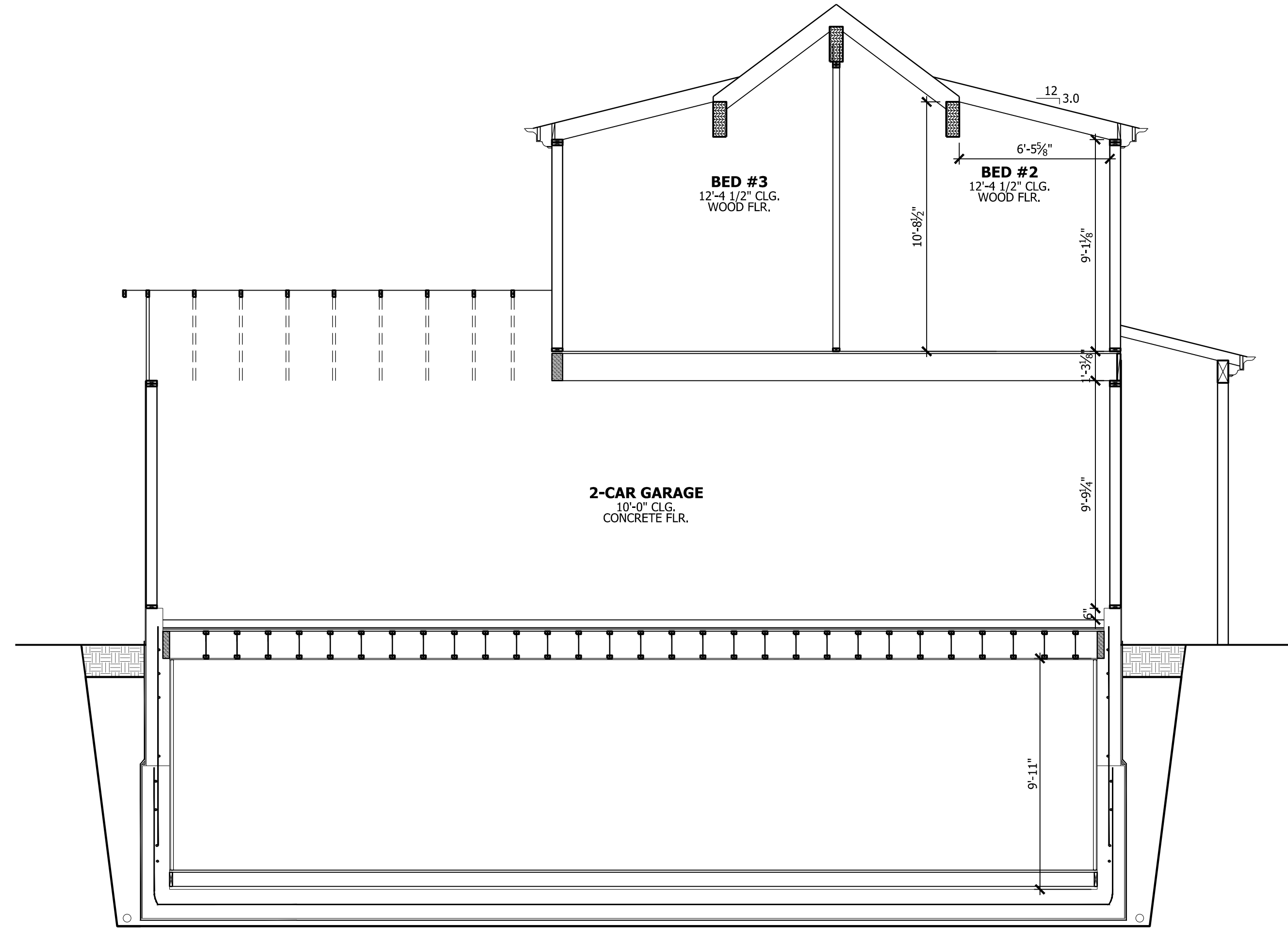
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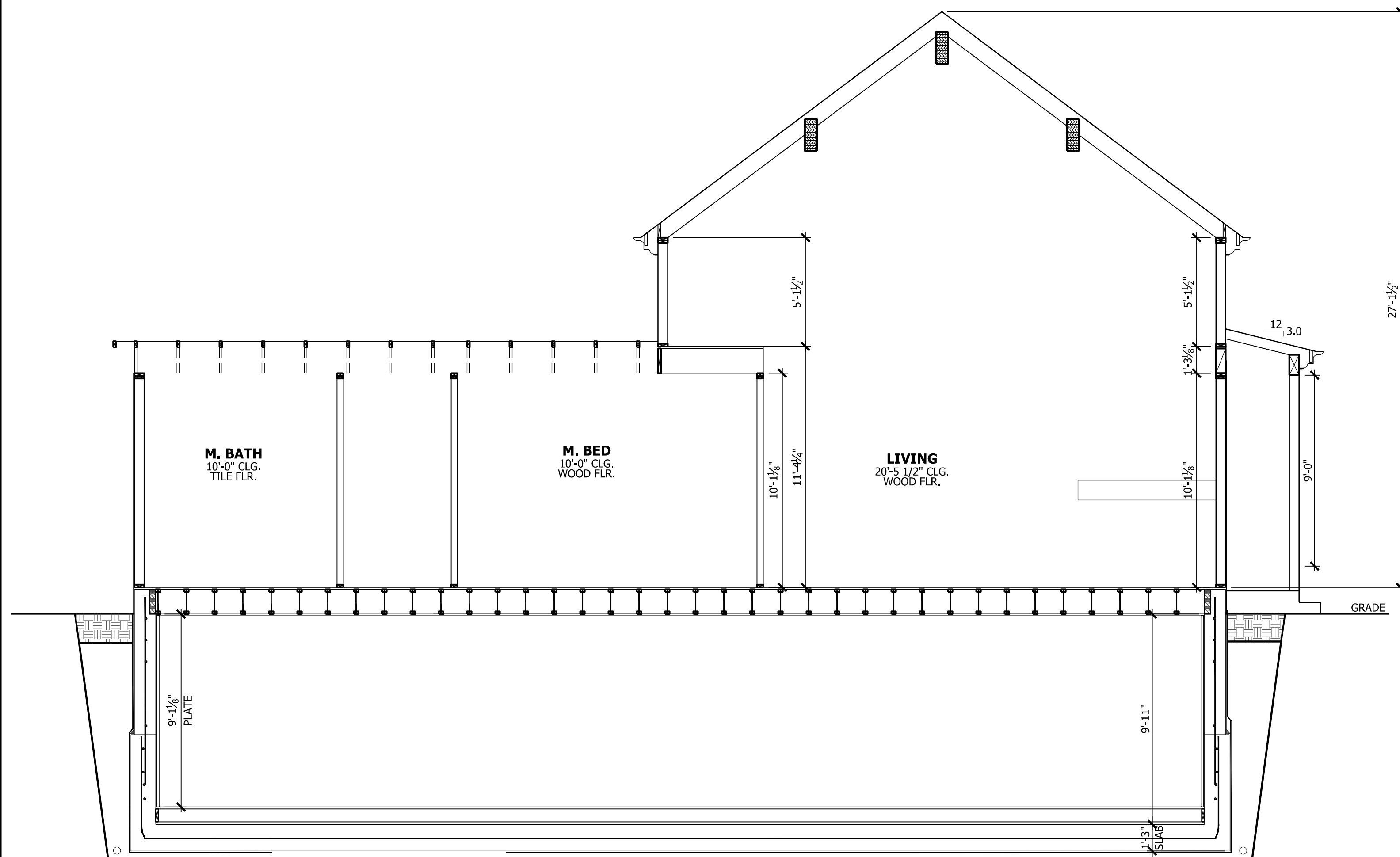
SECTION C

1/4" = 1'-0"



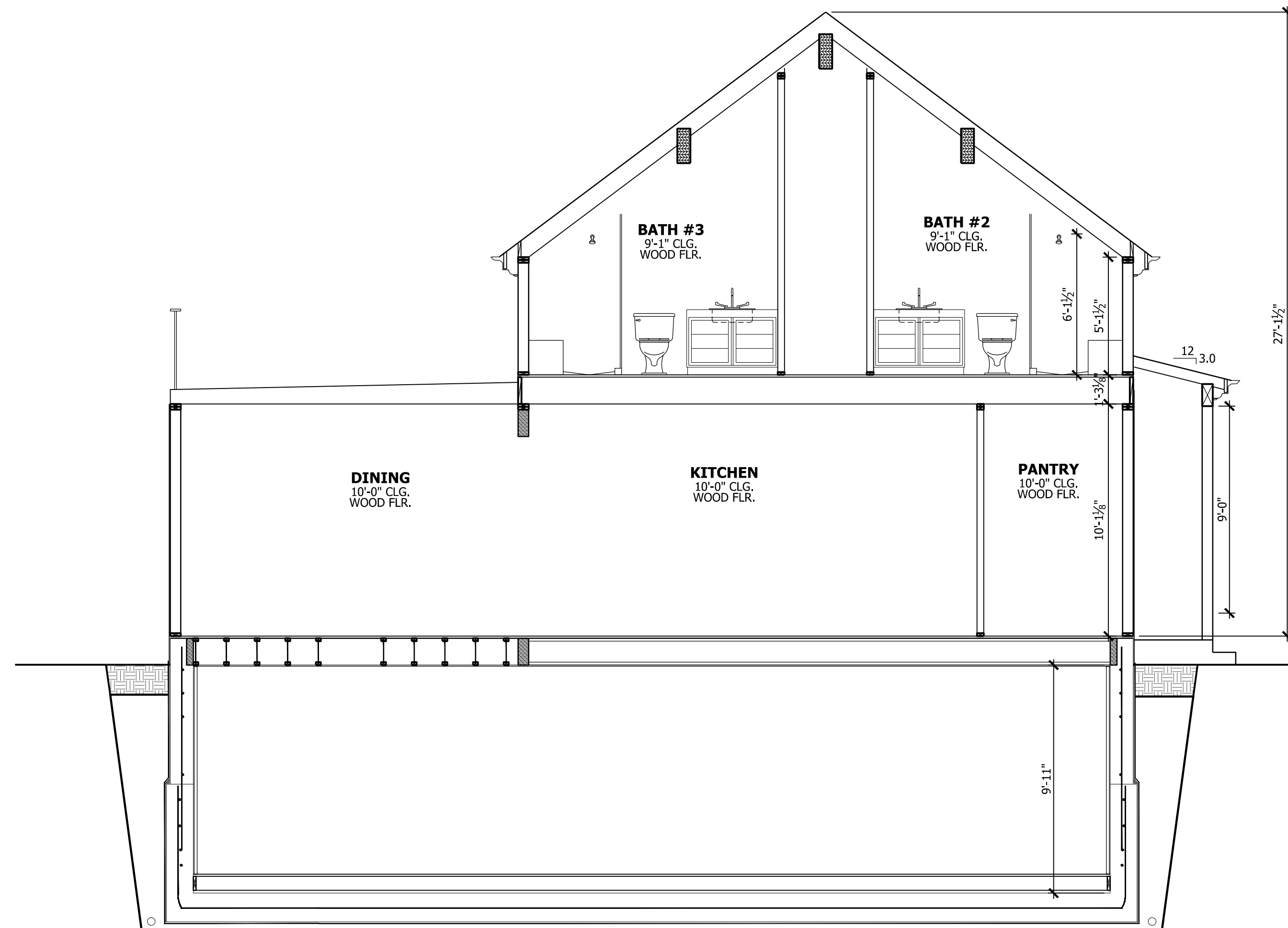
SECTION A

1/4" = 1'-0"



SECTION D

1/4" = 1'-0"



SECTION B

1/4" = 1'-0"

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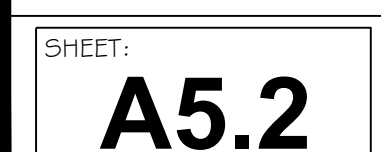
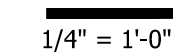
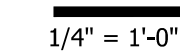
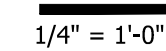
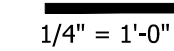
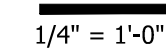
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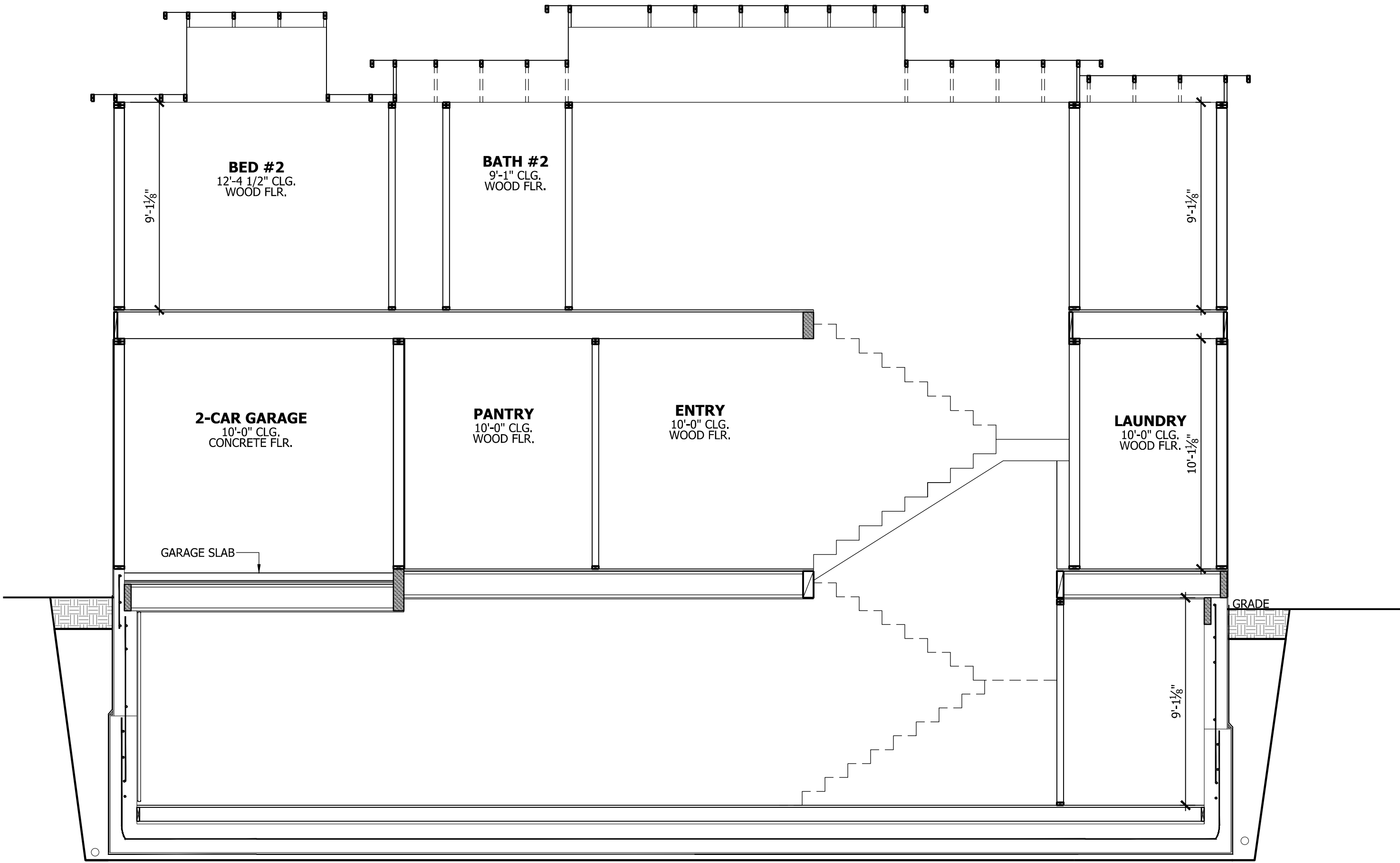
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NEW RESIDENCE FOR:
ALVARO ANZOATEGUI
114 WILDER AVE
LOS GATOS, CA 95030
APN# 510-17-072

DATE: 2022.05.06
SCALE: PER SHEET
DRAWN BY: DAVID
PLAN NO.: 2039

SHEET:
A5.1





SECTION 5

1/4" = 1'-0"

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KUOP
DESIGNS
david@kuopdesigns.com
408.357.0818
3141 STEVENS CREEK BLVD. #104
S A N J O S E , C A 9 5 1 1 7

PAGE TITLE

SECTIONS

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GreenPoint Rated NEW HOME RATING SYSTEM, VERSION 8.0 SINGLE FAMILY CHECKLIST

Points Targeted: 90
Certification Level Targeted: Certified
Compliance Pathway Targeted: Mixed Fuel Compliance Energy Design Rating

POINTS REQUIRED

MEASURES

A. SITE

A1. Construction Footprint

A2. Job Site Construction Waste Diversion

A3. Recycled Content Base Material

A4. Heat Island Effect Reduction (Non-Roof)

A5. Construction Environmental Quality Management Plan Including Flush-Out

A6. Stormwater Control: Prescriptive Path

A7. Stormwater Control: Performance Path

B. FOUNDATION

B1. Fly Ash and/or Slag in Concrete

B2. Radon-Resistant Construction

B3. Foundation Drainage System

B4. Moisture Controlled Crawlspace

B5. Structural Pest Controls

C. LANDSCAPE

C1. Plants Grouped by Water Needs (Hydrozoning)

C2. Three Inches of Mulch in Planting Beds

C3. Resource Efficient Landscapes

C4. Minimal Turf in Landscape

C5. Trees to Moderate Building Temperature

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New Home Single Family Version 8.0

C6. High-Efficiency Irrigation System

C7. One Inch of Compost in the Top Six to Twelve Inches of Soil (with test Timing)

C8. Rainwater Harvesting System

C9. Recycled Wastewater Irrigation System

C10. Submeter or Dedicated Meter for Landscape Irrigation

C11. Landscape Meets Water Budget

C12. Environmentally Preferable Materials for Site

C13. Reduced Light Pollution

C14. Large Stature Tree(s)

C15. Third Party Landscape Program Certification

C16. Maintenance Contract with Certified Professional

D. STRUCTURAL FRAME AND BUILDING ENVELOPE

D1. Optimal Value Engineering

D2. Construction Material Efficiencies

D3. Engineered Lumber

D4. Insulated Headers

D5. FSC-Certified Wood

D6. Solid Wall Systems

D7. Energy Heels on Roof Trusses

D8. Overhang and Gutters

D9. Reduced Pollution Entering the Home from the Garage

D10. Structural Pest and Rot Controls

E. EXTERIOR

E1. Environmentally Preferable Decking

E2. Flashing Installation Third-Party Verified

E3. Rain Screen Wall System

E4. Durable and Non-Combustible Cladding Materials

E5. Durable Roofing Materials

E6. Vegetated Roof

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F. INSULATION

F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content

F2. Insulation that Meets the CDPH Standard Method—Residential for Low Emissions

F3. Low GWP Insulation That Does Not Contain Fire Retardants

G. PLUMBING

G1. Efficient Distribution of Domestic Hot Water

G2. Install Water-Efficient Fixtures

G3. Pre-Plumbing for Graywater System

G4. Operational Graywater System

G5. Thermostatic Shower Valve or Auto-Diversion Tub Spout

H. HEATING, VENTILATION, AND AIR CONDITIONING

H1. Sealed Combustion Units

H2. High Performing Zoned Hydronic Radiant Heating System

H3. Effective Ductwork

H4. ENERGY STAR® Bathroom Fans Per HVI Standards with Air Flow Verified

H5. Advanced Practices for Cooling

H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality

H7. Effective Range Hood Design and Installation

H8. High Efficiency HVAC Filter (MERV 16+)

H9. Advanced Refrigerators

H10. No Fireplace or Sealed Gas Fireplace

H11. Humidity Control Systems

H12. Register Design Per ACCA Manual T

RENEWABLE ENERGY

H1. Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)

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I2. Low Carbon Homes

I3. Energy Storage

I4. Solar Hot Water Systems to Preheat Domestic Hot Water

J. BUILDING PERFORMANCE AND TESTING

J1. Third-Party Verification of Quality of Insulation Installation

J2. Supply and Return Air Flow Testing

J3. Mechanical Ventilation Testing

J4. All Electric or Combustion Appliance Safety Testing

J5. Building Performance Exceeds Title 24 Part 6

J6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst

J7. Participation in Utility Program with Third-Party Plan Review

J8. ENERGY STAR® for Homes

J9. EPA Indoor airPlus Certification

J10. Blower Door Testing

K. FINISHES

K1. Entryways Designed to Reduce Tracked-In Contaminants

K2. Zero-VOC Interior Wall and Ceiling Paints

K3. Low-VOC Caulks and Adhesives

K4. Environmentally Preferable Materials for Interior Finish

K5. Formaldehyde Emissions in Interior Finish Exceed CARB

K6. Products That Comply With the Health Product Declaration Open Standard

K7. Indoor Air Formaldehyde Level Less Than 27 Parts Per Billion

K8. Comprehensive Inclusion of Low Emitting Finishes

L. FLOORING

L1. Environmentally Preferable Flooring

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L2. Low-Emitting Flooring Meets CDPH 2010 Standard Method—Residential

L3. Durable Flooring (not flooring test surface)

L4. Thermal Mass Flooring

M. APPLIANCES AND LIGHTING

M1. ENERGY STAR® Dishwasher

M2. Efficient Laundry Appliances

M3. Size-Efficient ENERGY STAR® Refrigerator

M4. Permanent Centers for Waste Reduction Strategies

M5. Lighting Efficiency

N. COMMUNITY

N1. Smart Development

N2. Home(s)/Development Located Near Transit

N3. Pedestrian and Bicycle Access

N4. Outdoor Gathering Places

N5. Social Interaction

N6. Passive Solar Design

N7. Adaptable Building

N8. Resiliency

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N6.1. Address/1099E (Can Adapt, Filled Standard, 1042US, PDMA PDS, or Selects Evaluation)

N6.2. Strategies to Address Assessment Findings

N9. Social Equity in Community

N9.1. Diverse Workforce (Employer Diversity or Local Hire)

N9.2. Community Location (Challenged Community)

O. OTHER

O1. GreenPoint Rated Checklist in Blueprints

O2. Pre-Construction Kickoff Meeting with Rater and Subcontractors

O3. Orientation and Training to Occupants—Conduct Educational Walkthroughs

O4. Builder's or Developer's Management Staff are Certified Green Building Professionals

O5. Home System Monitors

O6. Green Building Education

O7. Green Appraisal Addendum

O8. Detailed Durability Plan and Third-Party Verification of Plan Implementation

Summary

Total Available Points in Specific Categories

Minimum Points Required in Specific Categories

Total Points Achieved

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KUOP
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david@kuopdesigns.com
408.357.0818
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SAN JOSE, CA 95117

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GREEN POINT RATING

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