#### SCOPE OF WORK **DEMOLISH** EXISTING SINGLE FAMILY (SINGLE STORY RESIDENCE) 832 SF & ACCESSORY STRUCTURE / SHED 240 SF NEW SINGLE FAMILY RESIDENCE 2,580 SF - ATTACHED ADU 385 SF, UNDER SEPARATE MINISTERIAL PERMIT - ATTACHED GARAGE 507 SF PROJECT DIRECTORY OWNER: ROBERTO FLAMENCO 14341 BROWNS LN, LOS GATOS, CA 95032 (831) 566-9040 | ROBEFLAMENCO@YAHOO.COM ARCHITECT: GKW ARCHITECTS INC. 710 E. MCGLINCY LN. STE 109, CAMPBELL CA 95008 (408) 315-2125 | GORDONKWONG@GKWARCHITECTS.COM **CIVIL ENGINEER:** CIVIO CONSULTING | NGUYEN CAM 1669 FLANIGAN DRIVE, SUITE E, SAN JOSE, CA 95121 (408) 568-9212 | SNGCAM@YAHOO.COM STRUCTURAL ENGINEER: WESLEY LIU, ENGINEERING, INC. 7246 SHARON DRIVE #0, SAN JOSE, CA 95129 (408) 973-1839 | WESLEYLIU@YAHOO.COM TITLE 24 CONSULTANT: CARSTAIRS ENERGY INC. | TIMOTHY CARSTAIRS 2238 BAYVIEW HEIGHTS DRIVE SUITE E, LOS OSOS, CA 93402 (805) 904-9048 | TITLE24@YAHOO.COM FIRE PROTECTION: SURE FIRE PROTECTION | TIM GERBER JR 4141 PESTANA PLACE, FREMONT, CALIFORNIA 94538 (510) 766-6679 | TIM@SUREFIREPROTECTION.COM WATER: SAN JOSE WATER COMPANY PACIFIC GAS AND ELECTRIC **ELECTRICITY SANITATION:** WEST VALLEY SANITATION DISTRICT PROJECT INFORMATION PROJECT LOCATION: 14341 BROWNS LN, LOS GATOS, CA 95032 409-14-035 **ZONING:** R-1-8 **GENERAL PLAN:** LOW DENSITY RESIDENTIAL **EXISTING USE:** SINGLE FAMILY RESIDENTIAL 9,502 SF **CONSTRUCTION TYPE: VB - MODIFIED SPRINKLERS** (ENHANCED NFPA 13D SYSTEM WILL BE INSTALLED AS A DEFERRED SUBMITTAL) MAX. HEIGHT: PROPOSED HEIGHT 28 FT 6.9 IN MAX. LOT COVERAGE: 40% (P) LOT COVERAGE: **2,018** / 9,502 = 0.212 **21.2** % < 40% {OK} (SEE A103 FOR DETAILED BREAKDOWN) MAX. F.A.R.: 0.31 FOR RESIDENCE (PER LOS GATOS MUNI CODE SEC. 29.40.075) 0.10 FOR ADU (PER SEC. 29.10.320) 0.087 FOR GARAGE (PER SEC. 29.40.075) SETBACKS: FRONT: 25 FT 20 FT 8 FT FLOOR AREA BREAKDOWN: **PARKING BREAKDOWN: EXISTING (SINGLE STORY)** EXISTING (G001) (E) 2 EXTERIOR SPACES (E) RESIDENCE: 832 SF 240 SF (E) SHED: PROPOSED (SEE A104 FOR DETAILED FLOOR AREA BREAKDOWN) PROPOSED (G000) (P) 2 INTERIOR SPACES, GARAGE (P) RESIDENCE: 1ST FLOOR 1,039 SF 385 SF 1,541 SF 2ND FLOOR: (P) GARAGE: 507 SF FAR CALCULATIONS MAX FAR, PRIMARY HOUSE = $0.31 \times 9{,}502 = 2{,}946$ MAX DISCOUNTED FAR, ADU = $0.10 \times 9,502 = 950$ MAX FAR, GARAGE $= 0.087 \times 9,502 = 827$ (P) PRIMARY HOUSE = **2,580 SF** < 2,946 SF {OK} (P) ADU = **385 SF** < 950 SF {OK} (P) GARAGE = **507 SF** < 827 SF {OK} APPLICABLE CODES 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA FIRE CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

TOWN OF LOS GATOS MUNICIPAL CODE

REGULATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE

THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE

PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF

ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND

2022 CALIFORNIA PLUMBING CODE

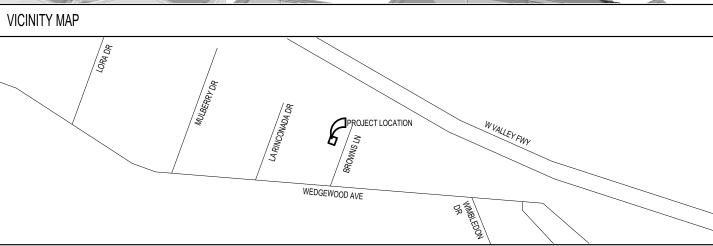
2022 CALIFORNIA ENERGY CODE

CERTIFICATE OF OCCUPANCY

2022 CALIFORNIA ELECTRICAL CODE

SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE

# **BUILDING MODEL** VICINITY MAP



**Sheet Name** 

SHEET INDEX

**Sheet Number** 

A400

SITE PLAN & PUBLIC WORK NOTES

TOTAL SITE AREA 9,502 SF

General	
G000	General, Project Info & Site Plan, Proposed
G001	General, Notes & Site Plan, Existing
G002	General, Green Building Checklist 1
G003	General, Green Building Checklist 2
G004	General, Enlarged Site & Privacy Plan, Proposed
G005	General, Fire Analysis, Fire Flow Letter & AMMR
G006	General, Streetscape & Shadow / Sun Study
urvey	
S1	Survey, Boundary & Topographic Map
ivil	
C1	Civil, Town Notes, General Notes, Legend & Abbreviations
C2	Civil, Blueprint for a Clean Bay
C3	Civil, Demolition Plan
C4	Civil, Site Plan
C5	Civil, Grading & Drainage Plan
C6	Civil, Building Cross Sections
C7	Civil, Utility Plan
C8	Civil, Erosion Control Plan
C9	Civil, Erosion Control Details
C10	Civil, Construction Management Plan
rchitecture	
A100	Architectural, Floor Plan & Existing Conditions
A101	Architectural, 1st Floor Plan, Proposed
A102	Architectural, 2nd Floor Plan, Proposed
A103	Architectural, Roof Plan, Existing & Proposed, & Area Diagram
A200	Architectural, Elevations, Existing & Proposed
A300	Architectural, Sections, Proposed

#### PROPOSED AREA (SF) TOTAL AREA POST-EXISTING AREA (SF) PROJECT (SF) REPLACED IMPERVIOUS AREA 3,069 2,896 TTL NEW & REPLACED IMPERVIOUS AREA 2,896 PERVIOUS AREA 6,433 6,433 173 6,606 TABLE OF BUILDING DISTANCES FROM PROPERTY LINE **REAR - WEST** FRONT - EAST RIGHT - NORTH LEFT - SOUTH EXISTING - BUILDING SETBACK 12' - 6" 39' - 4 1/2" 63 - 2" 15' - 10" 8' - 3" PROPOSED - BUILDING SETBACK 26' - 10 1/2" 28' - 11" 20' - 0"

Architectural, Exterior Material Specifications

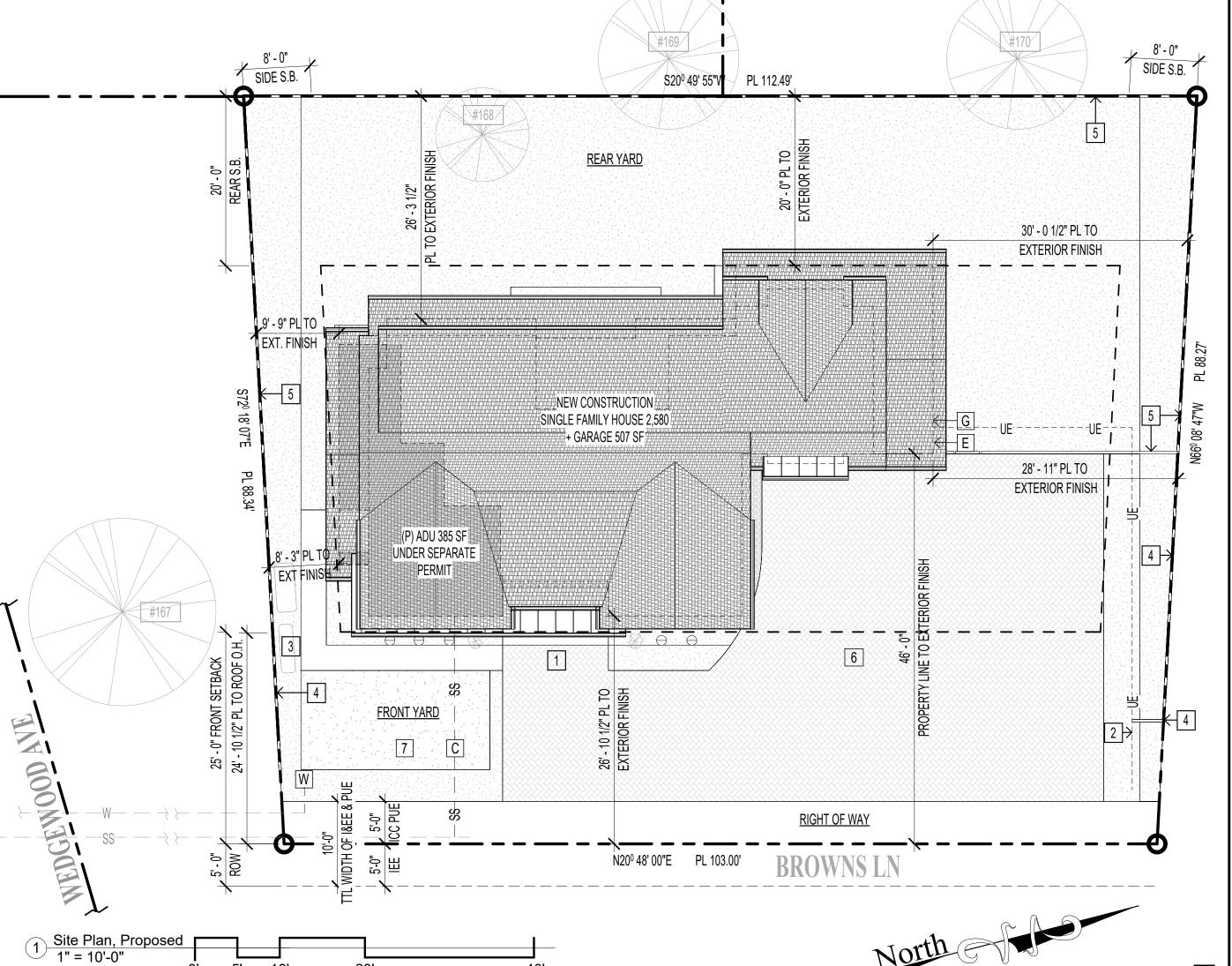
TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS

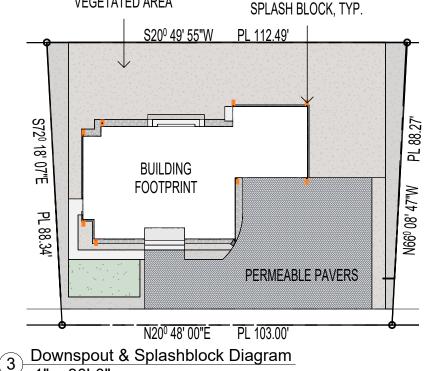
TOTAL SITE AREA DISTURBED= 9,502 SF

- CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER TOWN OF LOS GATOS. OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER TOWN OF LOS GATOS SECTION
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER CBC SECTION 3403.2
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/ OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
- 10. PER CGBSC 301.1.1 RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUNACE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- 11. PER CGBSC 301.1.1 WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

## FLAMENCO-MENDEZ RESIDENCE

LOS GATOS CALIFORNIA





FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION

AT A MINIMUM OF 5% FOR AT LEAST 10 FEET FROM THE STRUCTURE. CBC 1804.4

NO LANDSCAPING WILL BE INCLUDED AND FRONT YARD WILL BE MULCHED PRIOR TO

PER THE TOWN'S <u>UNDERGROUNDING REQUIREMENTS</u>, ALL NEW, RELOCATED, OR

TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC

UNDERGROUND. PLEASE NOTE THIS ON ALL APPLICABLE SHEETS AND CALLOUT "(N)

CONTRACTOR TO FIELD VERIFY RIM AND INVERT ELEVATIONS FOR ALL EXISTING AND

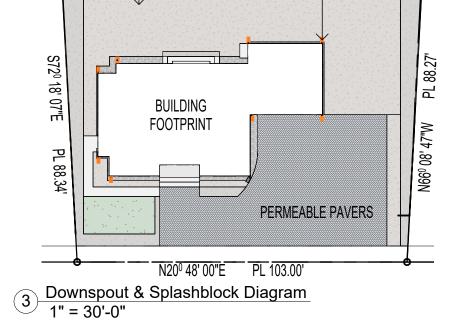
PROPOSED GRAVITY STRUCTURES, AND EXISTING AND PROPOSED STORM DRAIN AND

UNDERGROUND ELECTRIC LINE TO BE INSTALLED" ON ALL SITE PLANS AND DRAWINGS

POWER AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED

SANITARY SEWER PIPE DIAMETER, MATERIAL AND SLOPE.

DOWNSPOUT WITH



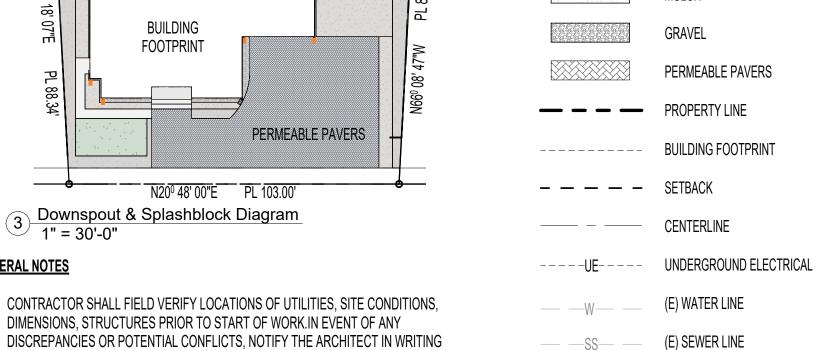
**VEGETATED AREA** 

PRIOR TO STARTING EACH PORTION OF THE WORK.

**GENERAL NOTES** 

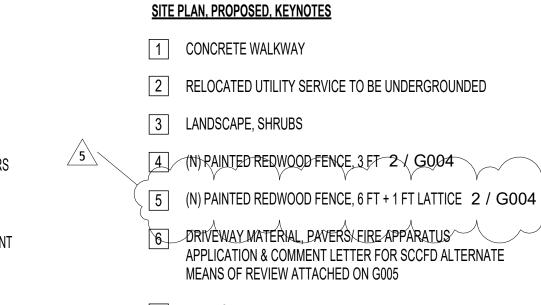
**BUILDING FINAL** 

THAT SHOW UTILITIES

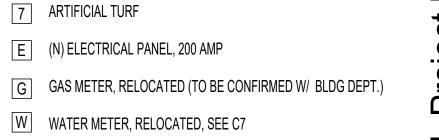


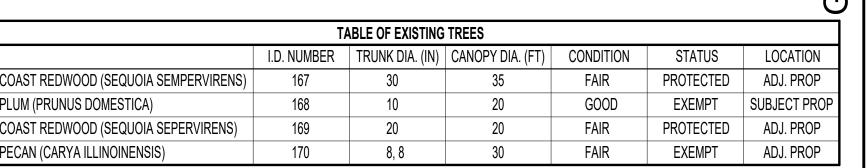
SITE PLAN, PROPOSED, LEGEND

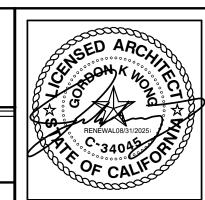
CONCRETE



C CLEANOUT, SEE CIVIL PLANS SHEET C7







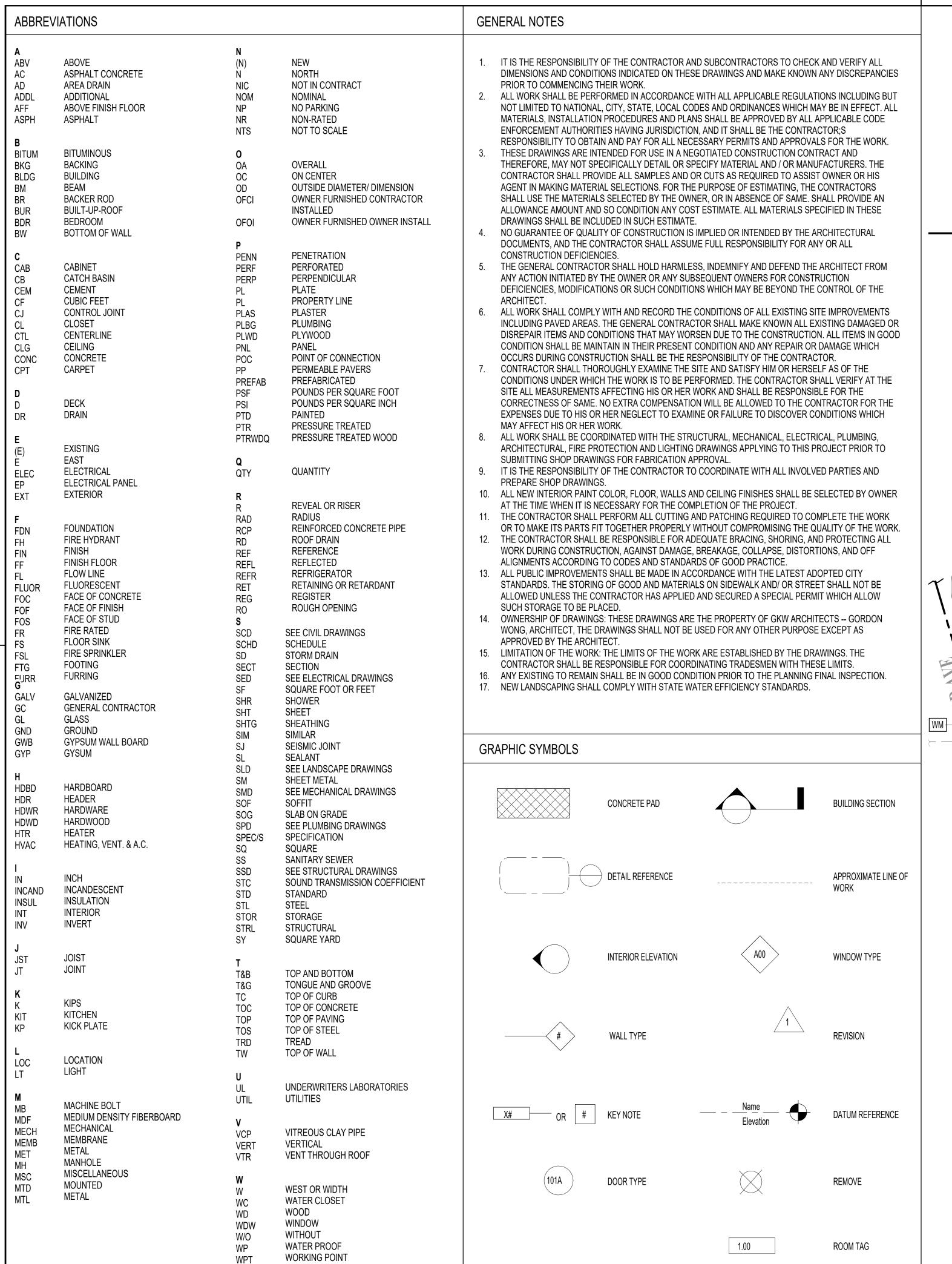
 
 Planning
 2024.02.

 Staff Tech Rev #1
 2024.07.
 Staff Tech Rev #2 2024.11 Staff Tech Rev #3 2025.01.0 Staff Tech Rev #4 2025.02.0 General, Project Info & Site Plan, Proposed

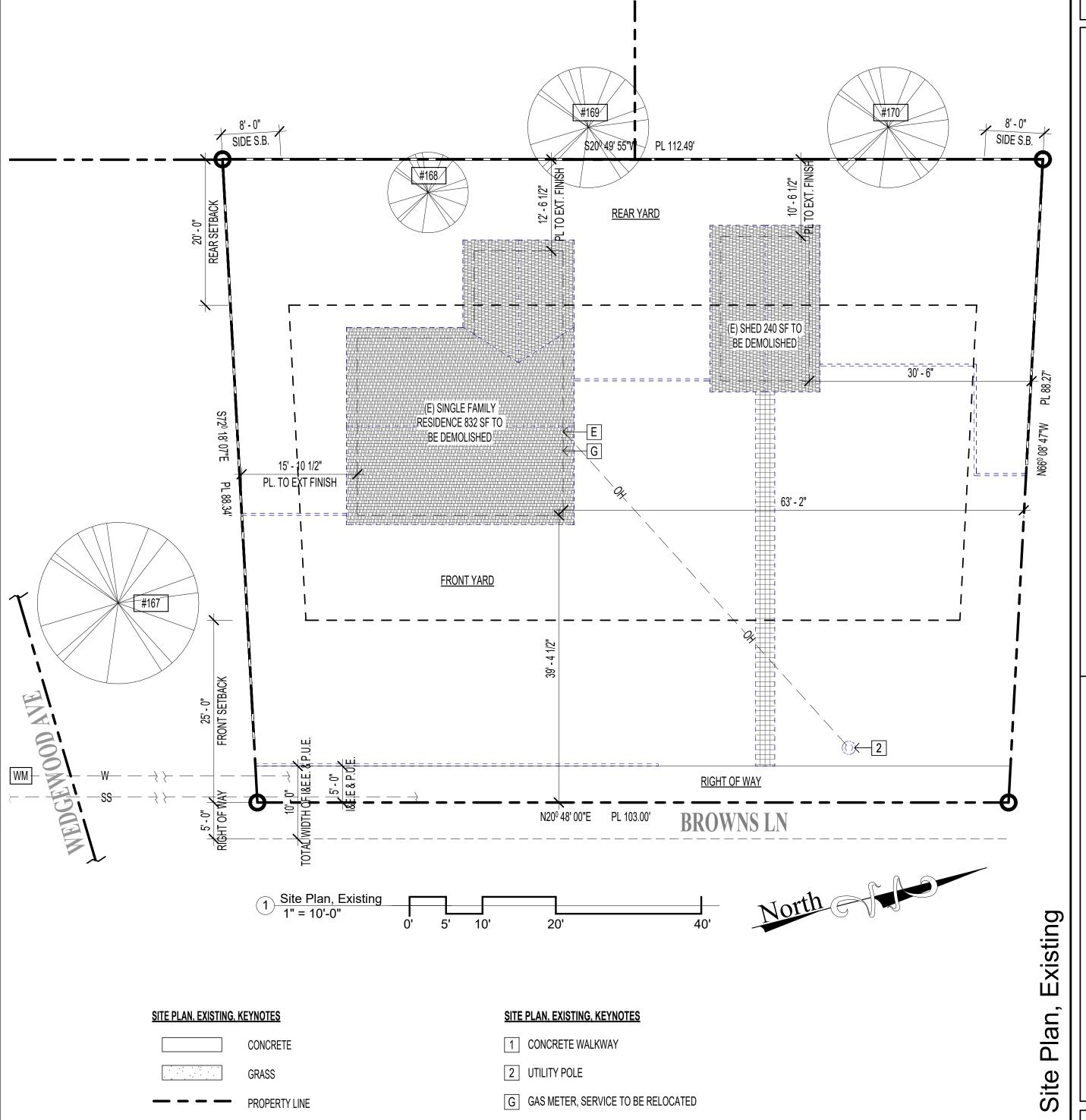
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WATER RESISTANT



E | ELECTRICAL PANEL, TO BE UPGRADED

CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITIES, SITE

CONDITIONS, DIMENSIONS, STRUCTURES PRIOR TO START OF

WORK.IN EVENT OF ANY DISCREPANCIES OR POTENTIAL

STARTING EACH PORTION OF THE WORK.

CONFLICTS, NOTIFY THE ARCHITECT IN WRITING PRIOR TO

	TABLE OF EXISTING TREES						
I.D. NUMBER TRUNK DIA. (IN) CANOPY DIA. (FT) CONDITION STATUS LOCATION							
COAST REDWOOD (SEQUOIA SEMPERVIRENS)	167	30	35	FAIR	PROTECTED	ADJ. PROP	
PLUM (PRUNUS DOMESTICA)	168	10	20	GOOD	EXEMPT	SUBJECT PROI	
COAST REDWOOD (SEQUOIA SEPERVIRENS)	169	20	20	FAIR	PROTECTED	ADJ. PROP	
PECAN (CARYA ILLINOINENSIS)	170	8, 8	30	FAIR	EXEMPT	ADJ. PROP	

**NOTES** 

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CENTERLINE

OVERHEAD ELECTRICAL

STRUCTURES TO BE DEMOLISHED





Flamenco Residence 14341 Browns Lane

Revision Schedule Description Date
Staff Tech Rev #1 2024.07. Notes Site Plan, Existing

General, Notes &

G001 SCALE AS INDICATED

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accordance with the California Electrical Code.

4.106.4.1.1 Identification. The service panel or subpanel circuit directory shall identify the overcurrent

location shall be permanently and visibly marked as "EV CAPABLE".

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

## California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)

installed in close proximity to the location or the proposed location of the EV space, at the time of original

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

construction in accordance with the California Electrical Code.

oncealed areas and spaces shall be installed at the time of original construction

installed in close proximity to the location or the proposed location of the EV space at the time of original CHAPTER 3 construction in accordance with the California Electrical Code .106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. GREEN BUILDING 4.304 OUTDOOR WATER USE When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with SECTION 301 GENERAL equirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. pace shall count as at least one standard automobile parking space only for the purpose of complying with any 301.1 SCOPE. Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations. but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. .106.4.2.1Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are than 20 sleeping units or guest rooms 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. The requirements shall apply only to and/or within the DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or specific area of the addition or alteration. **1.EV Capable.** Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical facilities or the addition of new parking facilities serving existing multifamily buildings. See Section 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserve lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, of 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 DIVISION 4.2 ENERGY EFFICIENCY Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste 4.201 GENERAL of EV capable spaces. et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. Commission will continue to adopt mandatory standards. 2.When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable spaces, the number of EV capable spaces required may be reduced by a number equal to the number of 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of **DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION** 1. Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential 2. Alternate waste reduction methods developed by working with local agencies if diversion or 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3 high-rise buildings, no banner will be used. 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. b. There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or **SECTION 302 MIXED OCCUPANCY BUILDINGS** Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan EV chargers are installed for use. plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as **302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil necessary and shall be available during construction for examination by the enforcing agency. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power shall comply with the specific green building measures applicable to each specific occupancy. Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. Identify the construction and demolition waste materials to be diverted from disposal by recycling, dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per comply with Chapter 4 and Appendix A4, as applicable. Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts. 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. 3. Identify diversion facilities where the construction and demolition waste material collected will be .106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or mor Chapter 4 and Appendix A4, as applicable. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste DIVISION 4.1 PLANNING AND DESIGN he number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject t of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated **ABBREVIATION DEFINITIONS:** 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. by weight or volume, but not by both. **1.EV Capable**. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission .408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical Division of the State Architect, Structural Safety 4.303.1.3 Showerheads enforcing agency, which can provide verifiable documentation that the percentage of construction and Office of Statewide Health Planning and Development system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all OSHPD demolition waste material diverted from the landfill complies with Section 4.408.1. EVs at all required EV spaces at a minimum of 40 amperes. Low Rise 4.303.1.3.1 Single Showerhead. Showerheads shall have a maximum flow rate of not more than 1.8 High Rise gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserve Additions and Alterations WaterSense Specification for Showerheads. materials will be diverted by a waste management company. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR]. Projects that generate a total combined Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only RESIDENTIAL MANDATORY MEASURES reduced by a number equal to the number of EV chargers installed over the five (5) percent required. allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds SECTION 4.102 DEFINITIONS a. Construction documents shall show locations of future EV spaces. 4.303.1.4 Faucets. per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.102.1 DEFINITIONS requirement in Section 4.408.1 The following terms are defined in Chapter 2 (and are included here for reference) b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Layatory Faucets. The maximum flow rate of residential layatory faucets shall EV chargers are installed for use. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential layatory faucets shall **1.408.5 DOCUMENTATION**. Documentation shall be provided to the enforcing agency which demonstrates FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. Sample forms found in "A Guide to the California Green Building Standards Code used for perimeter and inlet controls. Exception: Areas of parking facilities served by parking lifts. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documenting compliance with this section. 4.106 SITE DEVELOPMENT 3.EV Chargers. Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. 2. Mixed construction and demolition debris (C & D) processors can be located at the California **4.106.1 GENERAL.** Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking Department of Resources Recycling and Recovery (CalRecycle). area and shall be available for use by all residents or guests. and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, 4.303.1.4.4 Kitchen Faucets. The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. 4.410 BUILDING MAINTENANCE AND OPERATION per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact an automatic load management system (ALMS) may be used to reduce the maximum required electrical 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less disc, web-based reference or other media acceptable to the enforcing agency which includes all of the than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers following shall be placed in the building: or more, shall manage storm water drainage during construction. In order to manage storm water drainage shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) Note: Where complying faucets are unavailable, aerators or other means may be used to achieve during construction, one or more of the following measures shall be implemented to prevent flooding of adjacen served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall 1. Directions to the owner or occupant that the manual shall remain with the building throughout the have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical property, prevent erosion and retain soil runoff on the site. life cycle of the structure capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. Operation and maintenance instructions for the following: Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 photovoltaic systems, electric vehicle chargers, water-heating systems and other major disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 (d)(7) and shall be equipped with an integral automatic shutoff. appliances and equipment. by the enforcing agency. Roof and yard drainage, including gutters and downspouts. 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California Space conditioning systems, including condensers and air filters. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section d. Landscape irrigation systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or e. Water reuse systems. are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. Information from local utility, water and waste recovery providers on methods to further reduce 4.106.4.2.2.1.1 Location. resource consumption, including recycle programs and locations.  $(Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html)\\$ EVCS shall comply with at least one of the following options: TABLE H-2 4. Public transportation and/or carpool options available in the area. ecklis 5 Educational material on the positive impacts of an interior relative humidity between 30-60 percent .106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 1. The charging space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. and what methods an occupant may use to maintain the relative humidity level in that range. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY 6. Information about water-conserving landscape and irrigation design and controllers which conserve water include, but are not limited to, the following: VALUES MANUFACTURED ON OR AFTER JANUARY 28, 201 2.The charging space shall be located on an accessible route, as defined in the California Building Code, 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 Chapter 2, to the building. feet away from the foundation 2. Water collection and disposal systems 8. Information on required routine maintenance measures, including, but not limited to, caulking, MAXIMUM FLOW RATE (gpm) Exception: Electric vehicle charging stations designed and constructed in compliance with the California [spray force in ounce force (ozf)] painting, grading around the building, etc. Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section 9. Information about state solar energy and incentive programs available 5. Other water measures which keep surface water away from buildings and aid in groundwater 10. A copy of all special inspections verifications required by the enforcing agency or this code. Product Class 1 (≤ 5.0 ozf) uilding 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. space around residential structures **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and  $\leq$  8.0 ozf) 12. Information and/or drawings identifying the location of grab bar reinforcements. **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply 1. The minimum length of each EV space shall be 18 feet (5486 mm). Product Class 3 (> 8.0 ozf) 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial ordinance, if more restrictive. 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate California Plumbing Code. 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional percent slope) in any direction. **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4, may adversely impact the construction cost of the project. 4.106.4.2.2.1.3 Accessible EV spaces. 1701.1 of the California Plumbing Code. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional **DIVISION 4.5 ENVIRONMENTAL QUALITY** comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready parking facilities. spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section **SECTION 4.501 GENERAL** THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.501.1 Scope 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the **FIXTURE TYPE** SECTION 4.502 DEFINITIONS proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the SHOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI The following terms are defined in Chapter 2 (and are included here for reference) 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall overcurrent protective device. have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. LAVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in

LAVATORY FAUCETS IN COMMON & PUBLIC

USE AREAS

KITCHEN FAUCETS

METERING FAUCETS

WATER CLOSET

**URINALS** 

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO THE VARIABLES BETWEEN BUILDING VERIFICATION WITH THE FULL CODE.

0.5 GPM @ 60 PSI

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

Revision Schedule Description

COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and

medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood,

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

General, Green **Building Checklist** 

SCALE AS INDICATED

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2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

## California 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

TABLE 4.504.5 - FORMALDEHYDE LIMITS TABLE 4.504.2 - SEALANT VOC LIMIT MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a **INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION (Less Water and Less Exempt Compounds in Grams per Liter) nundredths of a gram (g O<sup>3</sup>/g ROC). 702 QUALIFICATIONS VOC LIMIT Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper **ARCHITECTURAL** 250 HARDWOOD PLYWOOD VENEER CORE 0.05 installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. certification program. Uncertified persons may perform HVAC installations when under the direct supervision and MARINE DECK HARDWOOD PLYWOOD COMPOSITE CORE 0.05 responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this NONMEMBRANE ROOF 300 Examples of acceptable HVAC training and certification programs include but are not limited to the following: PARTICLE BOARD 0.09 article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of 250 ROADWAY MEDIUM DENSITY FIBERBOARD 0.11 . State certified apprenticeship programs. product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). Public utility training programs. 450 SINGLE-PLY ROOF MEMBRANI THIN MEDIUM DENSITY FIBERBOARD2 0.13 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations. REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to 4. Programs sponsored by manufacturing organizations. 1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED 420 5. Other programs acceptable to the enforcing agency. BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL SEALANT PRIMERS MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE **702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. **ARCHITECTURAL** with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH nydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence 250 NON-POROUS 93120.12 to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to 775 other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be 2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM **POROUS** 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed considered by the enforcing agency when evaluating the qualifications of a special inspector: THICKNESS OF 5/16" (8 MM). 500 voodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as MODIFIED BITUMINOUS 1. Certification by a national or regional green building program or standard publisher. applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, MARINE DECK 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building pellet stoves and fireplaces shall also comply with applicable local ordinances. DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) performance contractors, and home energy auditors. 750 OTHER 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California 4.504 POLLUTANT CONTROL
4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING Successful completion of a third party apprentice training program in the appropriate trade. Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions 4. Other programs acceptable to the enforcing agency. from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final California Specification 01350) startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component Special inspectors shall be independent entities with no financial interest in the materials or the penings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to See California Department of Public Health's website for certification programs and testing labs. educe the amount of water, dust or debris which may enter the system. project they are inspecting for compliance with this code. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. I.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section. homes in California according to the Home Energy Rating System (HERS). TABLE 4.504.3 - VOC CONTENT LIMITS FOR **4.504.3.1 Carpet cushion.** All carpet cushion installed in the building interior shall meet the requirements of the 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the [BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall ARCHITECTURAL COATINGS2,3 California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with requirements of the following standards unless more stringent local or regional air pollution or air quality Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the management district rules apply: GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMP (Emission testing method for California Specification 01350) particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks recognized state, national or international association, as determined by the local agency. The area of certification See California Department of Public Health's website for certification programs and testing labs. **COATING CATEGORY** VOC LIMIT shall be closely related to the primary job function, as determined by the local agency. shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. FLAT COATINGS https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. Note: Special inspectors shall be independent entities with no financial interest in the materials or the Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and project they are inspecting for compliance with this code. **NON-FLAT COATINGS** 100 4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1. tricloroethylene), except for aerosol products, as specified in Subsection 2 below. NONFLAT-HIGH GLOSS COATINGS 150 4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in 703 VERIFICATIONS resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the SPECIALTY COATINGS units of product, less packaging, which do not weigh more than 1 pound and do not consist of more 703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers, than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including ALUMINUM ROOF COATINGS 400 Version 1.2, January 2017 (Emission testing method for California Specification 01350) limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific commencing with section 94507. BASEMENT SPECIALTY COATINGS 400 See California Department of Public Health's website for certification programs and testing labs. documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in **4.504.2.2 Paints and Coatings.** Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits the appropriate section or identified applicable checklist. **BITUMINOUS ROOF COATINGS** hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx. BITUMINOUS ROOF PRIMERS 350 apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss **BOND BREAKERS** 350 4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources composite wood products used on the interior or exterior of the buildings shall meet the requirements for Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in CONCRETE CURING COMPOUNDS 350 formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5 CONCRETE/MASONRY SEALERS 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR DRIVEWAY SEALERS **4.504.5.1 Documentation.** Verification of compliance with this section shall be provided as requested Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic by the enforcing agency. Documentation shall include at least one of the following: compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of DRY FOG COATINGS 150 Regulations. Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation Product certifications and specifications. **FAUX FINISHING COATINGS** Chain of custody certifications 3. Product labeled and invoiced as meeting the Composite Wood Products regulation (see FIRE RESISTIVE COATINGS 350 4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the CCR, Title 17, Section 93120, et seq.). LOOR COATINGS 100 Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineer enforcing agency. Documentation may include, but is not limited to, the following: Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA ORM-RELEASE COMPOUNDS 250 0121, CSA 0151, CSA 0153 and CSA 0325 standards. Manufacturer's product specification. 5. Other methods acceptable to the enforcing agency. GRAPHIC ARTS COATINGS (SIGN PAINTS) 2. Field verification of on-site product containers. 500 HIGH TEMPERATURE COATINGS 420 4.505 INTERIOR MOISTURE CONTROL INDUSTRIAL MAINTENANCE COATINGS 250 TABLE 4.504.1 - ADHESIVE VOC LIMIT<sub>1,2</sub> **4.505.1 General.** Buildings shall meet or exceed the provisions of the California Building Standards Code. LOW SOLIDS COATINGS<sub>1</sub> 120 (Less Water and Less Exempt Compounds in Grams per Liter) 4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by MAGNESITE CEMENT COATINGS 450 California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the ARCHITECTURAL APPLICATIONS California Residential Code, Chapter 5, shall also comply with this section. MASTIC TEXTURE COATINGS INDOOR CARPET ADHESIVES 500 4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the METALLIC PIGMENTED COATINGS CARPET PAD ADHESIVES MULTICOLOR COATINGS 250 150 **OUTDOOR CARPET ADHESIVES** 1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with PRETREATMENT WASH PRIMERS 420 a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, 100 WOOD FLOORING ADHESIVES shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, PRIMERS, SEALERS, & UNDERCOATERS 100 RUBBER FLOOR ADHESIVES REACTIVE PENETRATING SEALERS 350 Other equivalent methods approved by the enforcing agency. SUBFLOOR ADHESIVES 3. A slab design specified by a licensed design professional. RECYCLED COATINGS 250 CERAMIC TILE ADHESIVES 4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage **ROOF COATINGS** 50 shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent VCT & ASPHALT TILE ADHESIVES moisture content. Moisture content shall be verified in compliance with the following: **RUST PREVENTATIVE COATINGS** 250 DRYWALL & PANEL ADHESIVES 1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent COVE BASE ADHESIVES moisture verification methods may be approved by the enforcing agency and shall satisfy requirements 730 found in Section 101.8 of this code. MULTIPURPOSE CONSTRUCTION ADHESIVE 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end 550 of each piece verified. 100 STRUCTURAL GLAZING ADHESIVES SPECIALTY PRIMERS, SEALERS & 3. At least three random moisture readings shall be performed on wall and floor framing with documentation SINGLE-PLY ROOF MEMBRANE ADHESIVES 250 **UNDERCOATERS** acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. 250 OTHER ADHESIVES NOT LISTED Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying STONE CONSOLIDANTS 450 SPECIALTY APPLICATIONS ecommendations prior to enclosure. SWIMMING POOL COATINGS 340 **PVC WELDING** 4.506 INDOOR AIR QUALITY AND EXHAUST CPVC WELDING 490 TRAFFIC MARKING COATINGS 100 **4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the TUB & TILE REFINISH COATINGS 420 ABS WELDING Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 250 WATERPROOFING MEMBRANES PLASTIC CEMENT WELDING 250 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a WOOD COATINGS 275 ADHESIVE PRIMER FOR PLASTIC WOOD PRESERVATIVES 350 **CONTACT ADHESIVE** a. Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of 250 ZINC-RICH PRIMERS SPECIAL PURPOSE CONTACT ADHESIVE b. A humidity control may be a separate component to the exhaust fan and is not required to be 1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & 140 STRUCTURAL WOOD MEMBER ADHESIVE integral (i.e., built-in) EXEMPT COMPOUNDS TOP & TRIM ADHESIVE 250 2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS SUBSTRATE SPECIFIC APPLICATIONS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY 30 METAL TO METAL tub/shower combination. THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code. PLASTIC FOAMS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD. **4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.** Heating and air conditioning systems shall be POROUS MATERIAL (EXCEPT WOOD) sized, designed and have their equipment selected using the following methods: FIBERGLASS 1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods. 1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED. Equipment Selection), or other equivalent design software or methods.

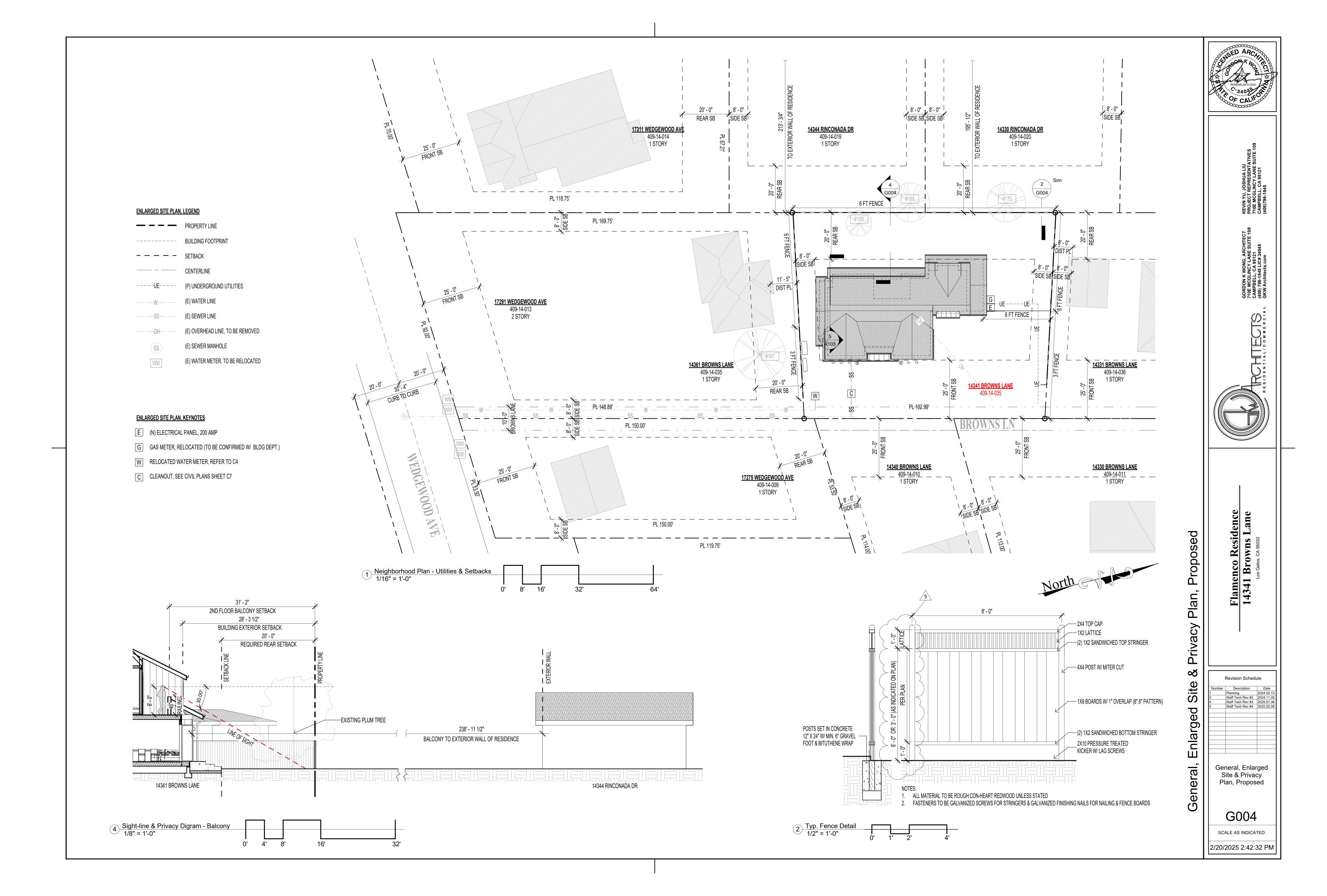
General, Green **Building Checklist** 

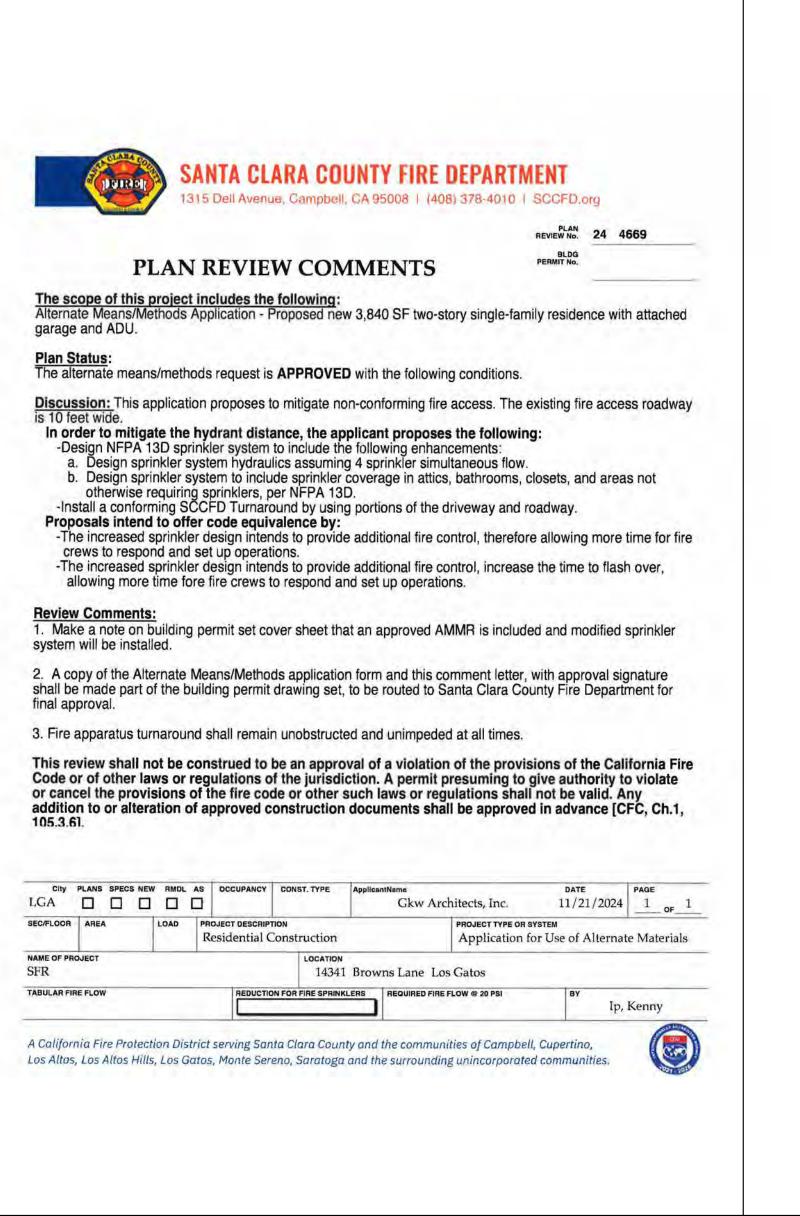
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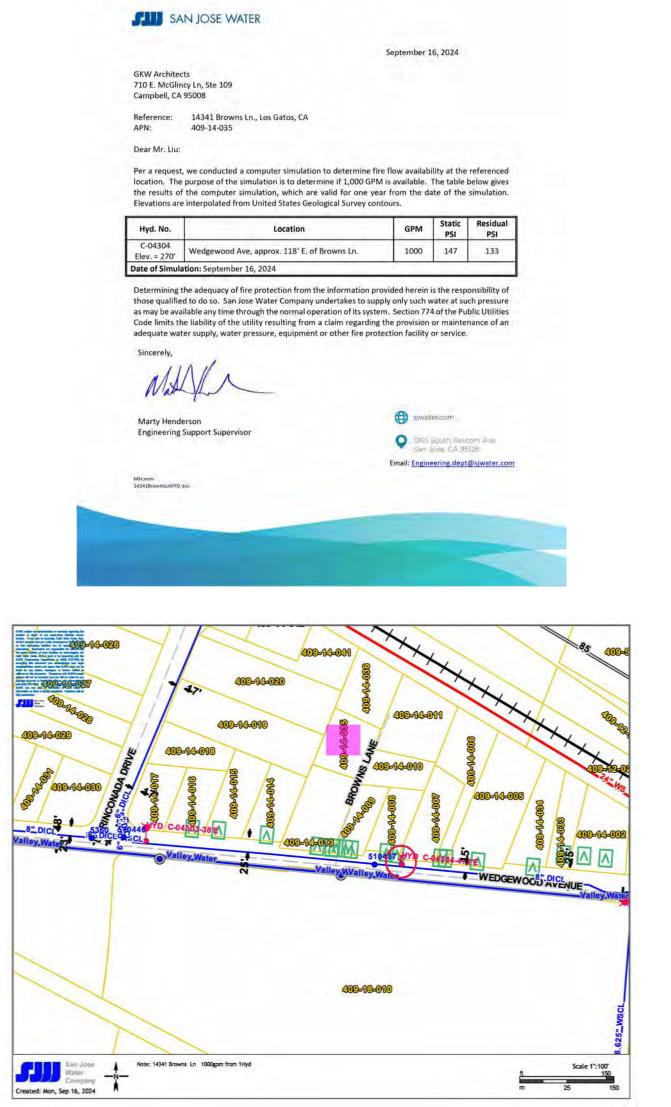
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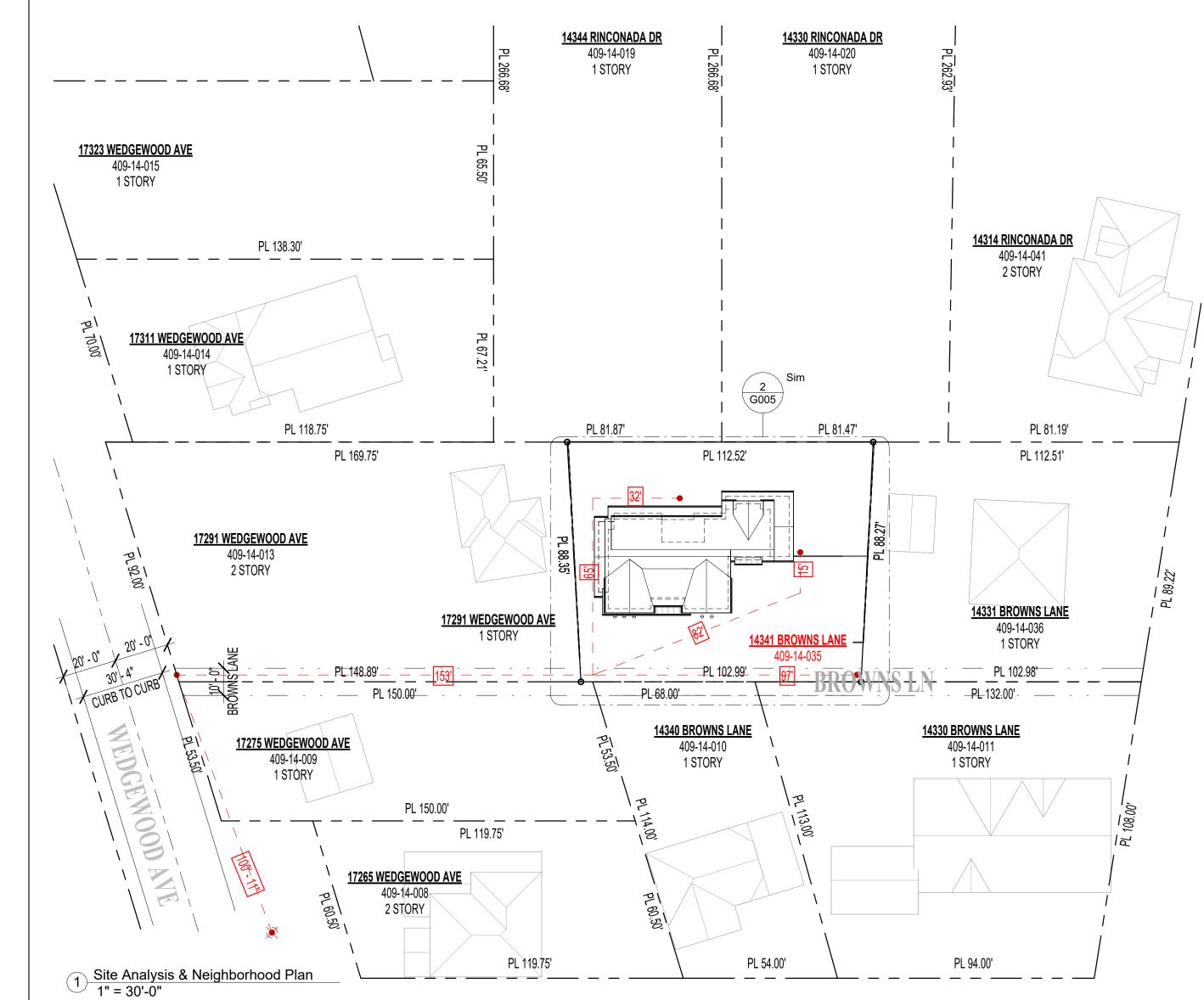
DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

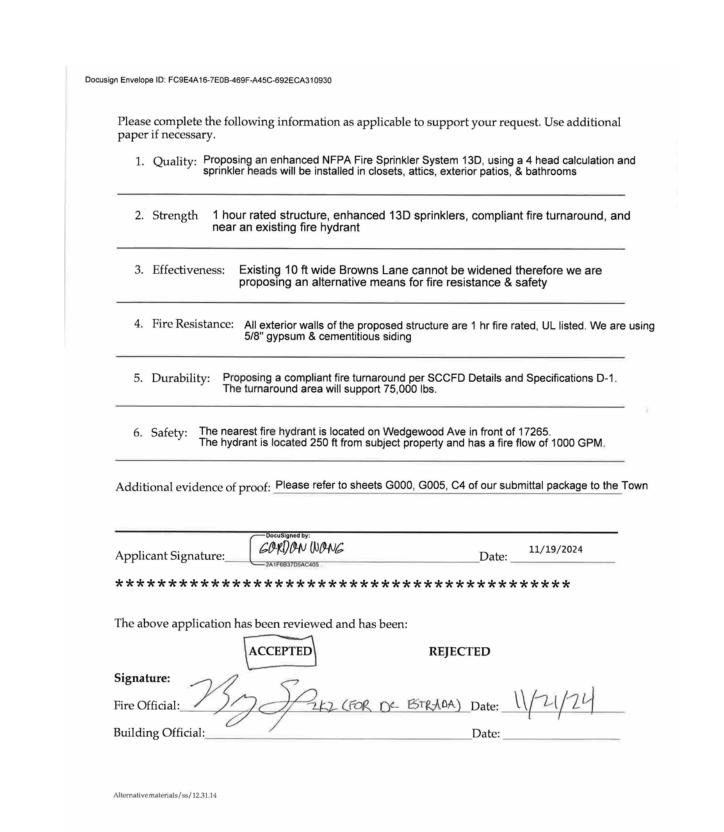
**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

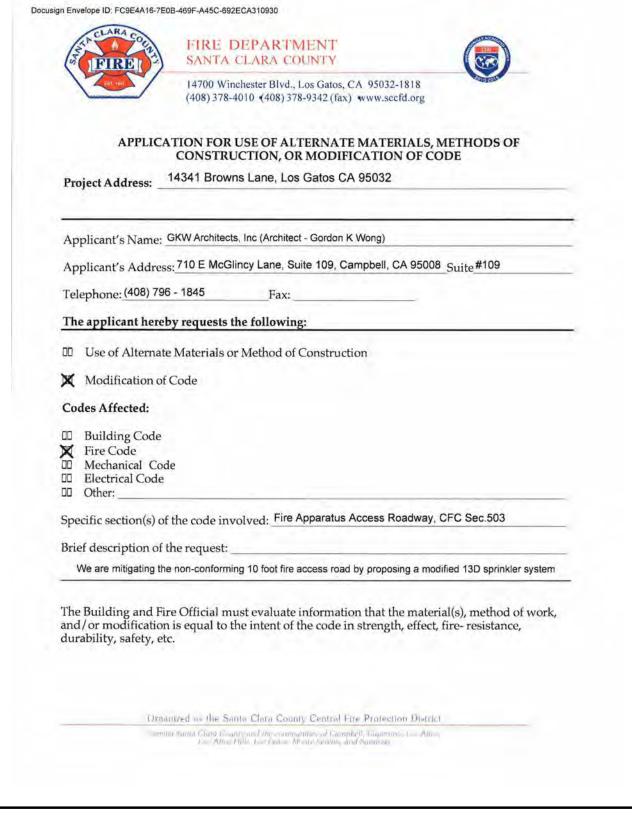


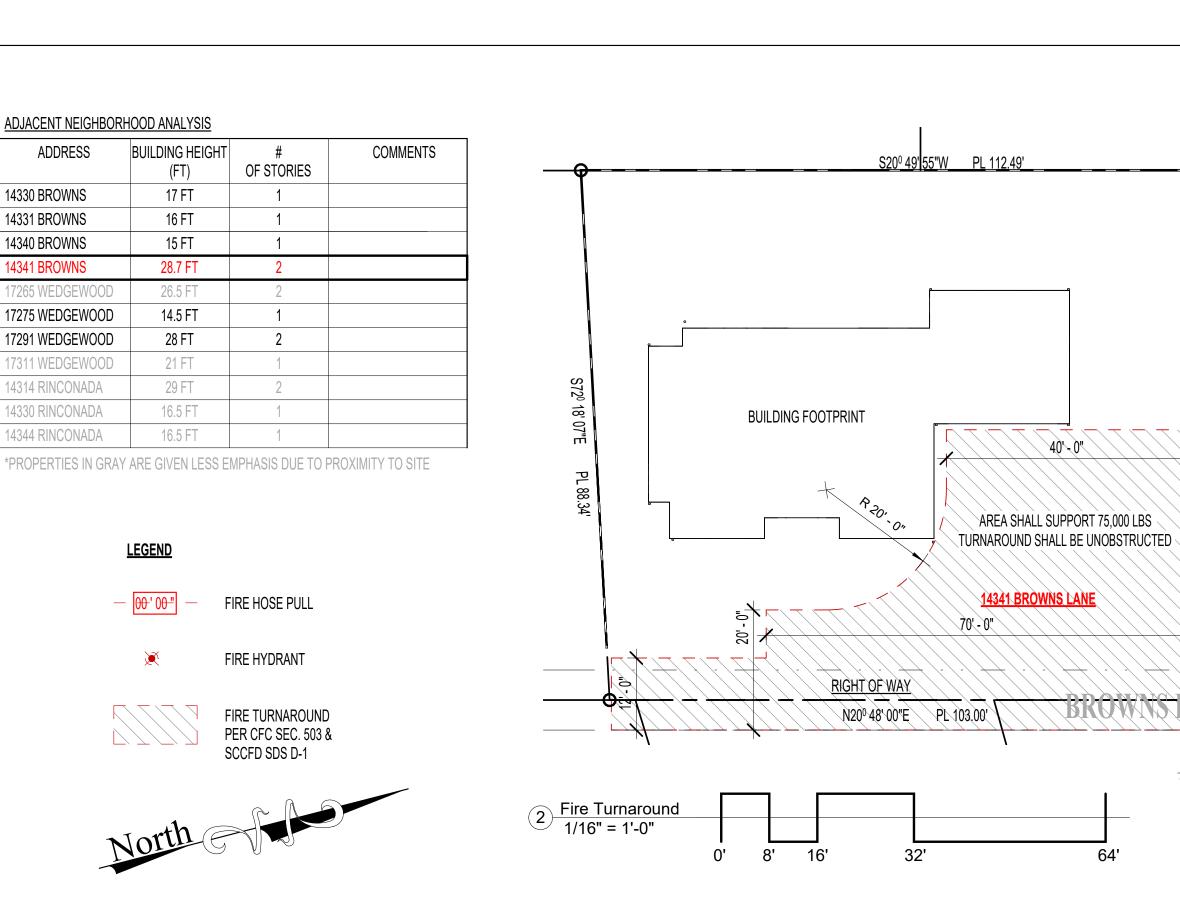














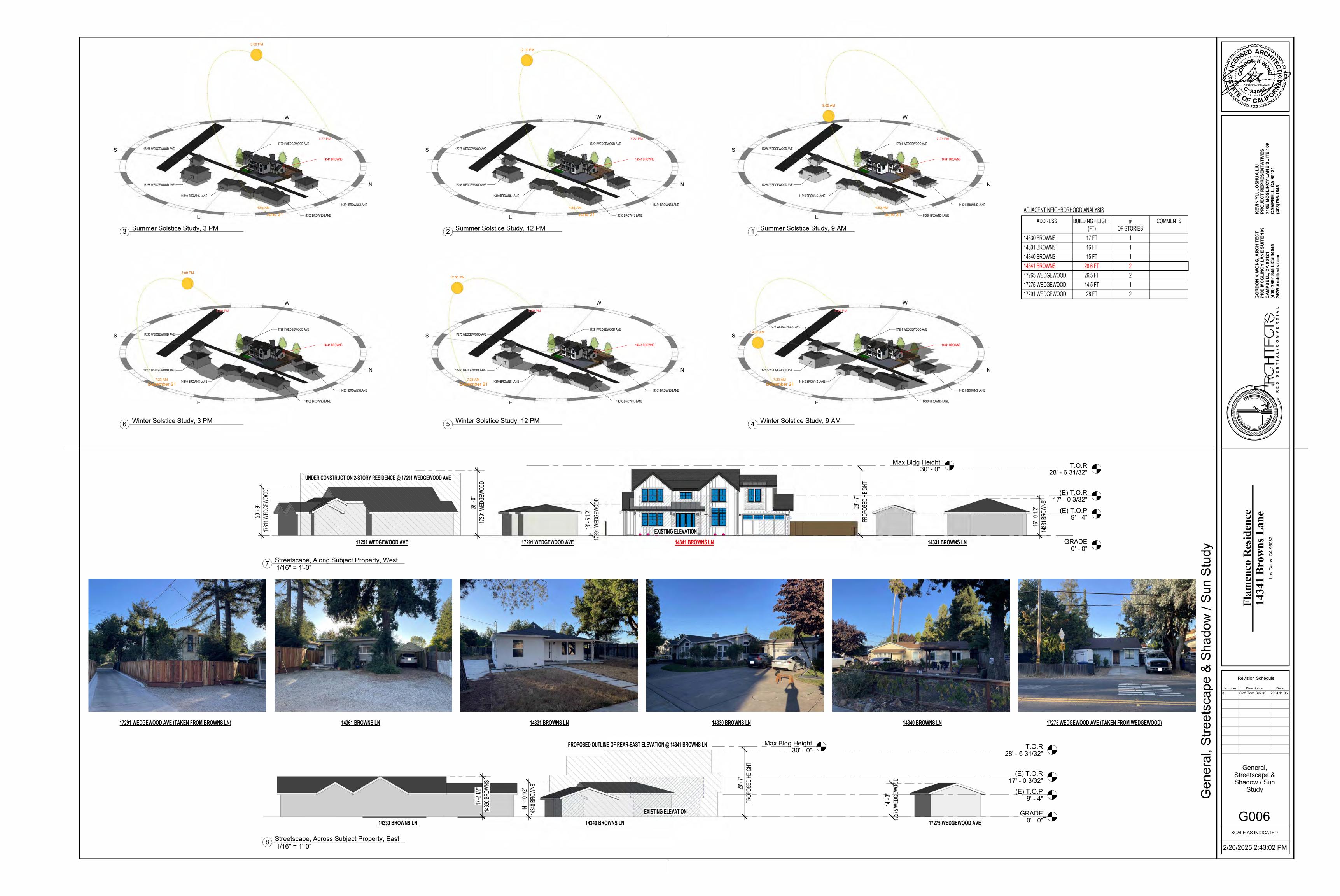
Flamenco Residence 14341 Browns Lane

Revision Schedule Description Planning 2024.02.2 Staff Tech Rev #1 2024.07.2 Staff Tech Rev #2 2024.11 General, Fire Analysis, Fire Flow Letter & AMMR

SCALE AS INDICATED

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Gene



## FOUND 1/2" REBAR PARCEL 1 926 M 21-22 WITH PLÁSTIC CAP; NOT ACCEPTED AS PROPERTY CORNER~ DOC #23020704 O.R. FOUND NAIL+3/4" BRASS TAG LS 9212 IN CONCRETE 5' I&E.E. (SHOWN FF=499.15' PARCEL 2 10' I&E.E. (SHOWN & `ON 926 M ON 926 M` 21–22) AREA: .2181 ACRES 21–22) 5' P.U.E AND 702 M 52 I&E.E. (SHOWN ON~ 926 M 21-22)\_0 FOUND 3/4" IRON PIPE --- WITH TAG RCE 25881 IN MONUMENT BOX CENTERLINE ELECTRIC TRANSMISSION LINE EASEMENT (WIDTH NOT SPECIFIED) (SHOWN ON 926 M 21-22)~ DOC #24816305 (O.R. FF=501.10' CP #10 DOC #24426752 O.R. FOUND 1/2" REBAR WITH PLÁSTIC CAP XCP #9 DOC #24845788 O.R. FOUND NAIL+3/4" BRASS TAG LS 9212 IN CONCRETE DOC #24252197 O.R.

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD

LOCATIONS (STUCCO, BRICK OR WOOD SIDING AS IT EXISTS

4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH

THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE

5. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.

6. LINES ON LAYER 'X-BOUNDARY' SHOULD BE USED AS

7. LINES ON LAYER 'X-BLDG' SHOULD BE USED AS BASIS

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO

SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS SHOWN ON THIS SURVEY WERE TAKEN FROM RECORDED AND UNRECORDED

DOCUMENTS PROVIDED TO US BY THE CLIENT. WE CANNOT

DETERMINE IF ANY EASEMENTS SHOWN HEREON ARE STILL

VALID AND IN EXISTENCE, OTHER EASEMENTS WHICH ARE

NOT SHOWN HEREON MAY ALSO EXIST. A CURRENT TITLE

REPORT IS REQUIRED IN ORDER TO DETERMINE THE VALIDITY AND EXISTENCE OF ANY EASEMENTS OF RECORD.

THE BOUNDARY WAS DETERMINED FROM THE CURRENT

AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

(EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP).
THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE

2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR

3. BUILDING WALLS WERE LOCATED AT MAIN FINISH

USED AS A REFERENCE WHEN LAYING OUT NEW

LAND SURVEYS.

Men lils 9-2-2024

SITE BENCHMARK

GENERAL NOTES

BASIS OF DESIGN FOR BOUNDARY.

OF DESIGN FOR BUILDING LOCATION.

SETBACK LINES NOTE

TITLE REPORT NOTE

VESTING DEED.

THRESHOLDS.

IN THE FIELD).

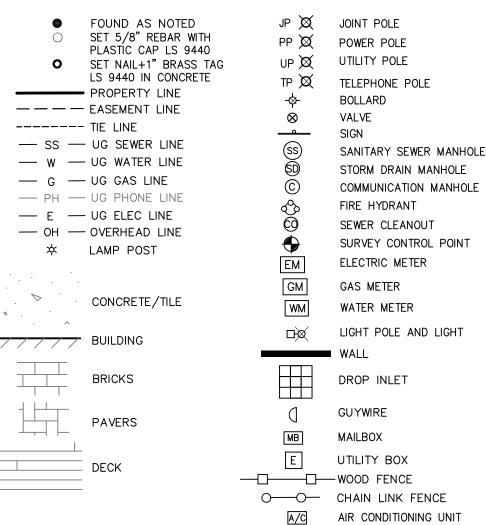
CONSTRUCTION.

BE VERIFIED BY A CERTIFIED ARBORIST.

KOEN T. WILSON LS 9440 DATE

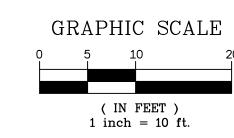
ELEVATION OF 500.00° AT CONTROL POINT #1.

#### LEGEND



#### **ABBREVIATIONS**

LO LIVE OAK
WO WHITE OAK
EUC EUCALYPTUS
RW REDWOOD
PUE PUBLIC UTILITY EASEMENT
IEE INGRESS & EGRESS EASEMENT
FF FINISH FLOOR ELEVATION
O.R. OFFICIAL RECORDS



Email: koenw@wilsonlandsurveys.com www.wilsonlandsurveys.com



#### BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:

GKW ARCHITECTS, INC.

LEGAL DESCRIPTION: PARCEL 2 926 M 21-22, TOWN OF LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.

APN: 409-14-035

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the

site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Acer lils

DATE: AUGUST 2024 FILENAME: R-040 BROWNS GKW TOPO

SITE ADDRESS: 14341 BROWNS LANE LOS GATOS, CA 95032

DRAWN BY: SCALE: PROJECT: JOB NUMBER: SHEET:
KTW 1"=10' R-040 R-040 1 OF 1

#### TOWN OF LOS GATOS STANDARD GRADING NOTES

- 1. ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE
- 2. NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (4080 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
- a. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE
- b. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.

APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND

- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- 7. IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- 8. ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR
- 10. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- 11. HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING
- a. RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
- b. TOE AND TOP OF CUT AND FILL SLOPES.
- 12. PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN RE CONVEYED TO THE TOWN FITHED BY LETTED OD BY SIGNING THE DIANS

BE CONVETED TO THE	IUWN CIINER DI LETTER	COR DI SIGNING THE PLA	1113.
SOILS ENGINEER			<del></del>
REFERENCE REPORT NO	0	, DATED	

- , SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- 13. DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- 14. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- 15. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- 16. THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES. BARRIERS. LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.

17.	OWNER/APPLICANT:	ROBERTO FLAMENCO	PHONE: _	(831) 566-9040
18.	GENERAL CONTRACTOR:	ROBERTO FLAMENCO	_ PHONE: _	(831) 566-9040
19.	GRADING CONTRACTOR:	ROBERTO FLAMENCO	PHONE:	(831) 566-9040

REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.

- 21. WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO
- PROPERLY MAINTAIN DUST CONTROL. 22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE
- 23. A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.



## GRADING AND DRAINAGE PLANS 14341 BROWNS LANE, LOS GATOS, CA 95032 GRADING PERMIT APPLICATION NO.

ASSESSOR'S PARCEL NO. 409-14-035

- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN
- 25. IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP), THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE

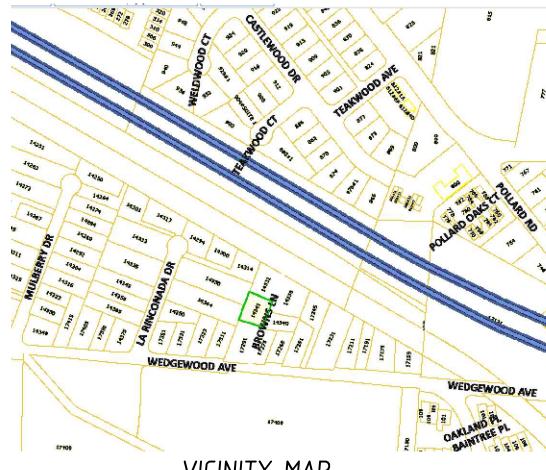
#### TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPS) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- 4. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- 5. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPS) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- 6. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

#### SHEET INDEX

C3. DEMOLITION PLAN

- GRADE DRIVEWAY, HOUSE SITE
- PAVE DRIVEWAY & WALKWAY
- 3. SEED/LANDSCAPE ALL DISTURBED AREAS
- C1. TOWN NOTES, GENERAL NOTES. LEGEND & ABBREVIATIONS
- C2. BLUEPRINT FOR A CLEAN BAY SHEET
- C4. GRADING AND DRAINAGE PLAN
- C5. BUILDING CROSS SECTIONS AND IMPERVIOUS AREA EXHIBITS
  - C6. EROSION CONTROL PLAN C7. EROSION CONTROL DETAILS
  - C8. CONSTRUCTION MANAGEMENT PLAN



VICINITY	MAF
NTS	

TABLE OF P	ROPOSED PER	VIOUS AND I	MPERVIOUS	AREAS	
TOTAL SITE AREA: 9,501± SF	7,501 <u>2</u> 31				
7,5012 31	EXISTING	TOTAL AREA			
	AREA (SF)	REPLACED	NEW	POST-PROJECT (SF)	
IMPERVIOUS AREA	3,069	2,865	0	2,865	
TOTAL NEW & REPLACED IMP	2,865				
PERVIOUS AREA	6,432	6,432	204	6,436	

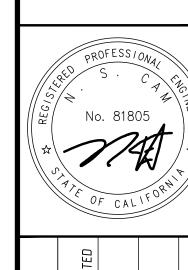
TABLE OF PROPOSED EARTHWORK QUANTITIES					
AREA DESCRIPTION	CUT (CY)	MAX CUT HEIGHT (FT)	FILL (CY)	MAX FILL DEPTH (FT)	IMPORT/ EXPORT (CY)
HOUSE FOOTPRINT	20	0.5	-	-	20
BASEMENT	_	_	-	ı	_
ATTACHED GARAGE	2	0.5	1	0.5	1
ACCESSORY BUILDING	_	-	-	ı	-
POOL	_	_	-	1	_
DRIVEWAY/ACCESS	7	0.5	12	0.5	5
LANDSCAPE/OUTDOOR	1	0.5	8	0.5	7
TOTAL	30		21		9

#### **ABBREVIATIONS**

ADDREVIATIONS				
AB	AGGREGATE BASE	МН	MANHOLE	
AC	ASPHALT CONCRETE	MIN	MINIMUM	
A/C	AIR CONDITIONER	N&S	NAIL AND SILVER	
AD	AREA DRAIN	NTS	NOT TO SCALE	
AE	ANCHOR EASEMENT	ОН	OVERHEAD	
BB	BUBBLER BOX	OG	ORIGINAL GROUND	
BLDG	BUILDING	OS	OFFSET	
BSL	BUILDING SETBACK LINE	P	PAVEMENT FINISH GRADE	
BW	BACK OF WALK	PA	PATIO	
BWL	BOTTOM OF WALL	PAD	PAD ELEVATION	
CATV	CABLE TELEVISION	FDC	FIRE DEPARTMENT CONNECTION	
CED	COBBLE ROCK ENERGY DISSIPATOR	PL	PROPERTY LINE	
CG	CURB & GUTTER	PEE	PEDESTRIAN EQUESTRIAN EA	
CL	CENTERLINE	PERF	PERFORATED	
CLF	CHAIN LINK FENCE	PM	PARCEL MAP	
CO	SANITARY SEWER CLEANOUT	PP	POWER POLE PROP PROPOSED	
COP	CURB OPENING	PSDE	PRIVATE STORM DRAINAGE EASEMENT	
CONC	CONCRETE	PSE	PUBLIC SERVICE EASEMENT	
CSD	COUNTY STANDARD DETAIL	PUE	PUBLIC UTILITY EASEMENT	
DE	DRAINAGE EMITTER	PVMT	PAVEMENT	
DI	DRAINAGE INLET	PVC	POLYVINYL CHLORIDE	
DOC	DOCUMENT	R	RADIUS	
DS .	DOWNSPOUT	RW	RETAINING WALL	
DWY		RE		
EA	DRIVEWAY	REM	ROAD EASEMENT	
	EASEMENT	R/W	REMOVE	
ELEV	ELEVATION ELECTRIC METER		RIGHT OF WAY	
EM E(OLI)		SB	SETBACK	
E(0H)	ELECTRIC OVERHEAD	SD	STORM DRAIN FACEMENT	
E(UG)	ELECTRIC UNDERGROUND	SDE SE	STORM DRAIN EASEMENT SLOPE EASEMENT	
EP	EDGE OF PAVEMENT	SS	SANITARY SEWER/LATERAL	
EV	ELECTRIC VAULT		SANITARY SEWER/LATERAL SANITARY SEWER EASEMENT	
EX	EXISTING	SSE STA		
FC	FACE OF CURB	STD	STATION STANDARD DETAIL	
FD	FOUND		STANDARD DETAIL	
FF	FINISH ELEVATION OF SUBFLOOR	SW	SIDEWALK	
FG	GROUND FINISH GRADE	TOB TC	TOP OF BANK	
FH	FIRE HYDRANT	TC	TOP OF CURB	
FL	FLOW LINE	TEMP	TEMPORARY	
FM	FORCED MAIN	TOC	TOP OF COVER	
FS	FIRE SERVICE	TOE	TOE OF BANK	
FT	FEET	TG	TOP OF GRATE	
G	GARAGE SLAB ELEVATION/GAS LINE	TPF	TREE PROTECTION FENCE	
GPE	GENERAL PUBLIC EASEMENT	TW	TOP OF WALL	
GSB	GRADING SETBACK	TYP	TYPICAL	
GM	GAS METER	UE	UTILITY EASEMENT	
HP	HI POINT	VG	VALLEY GUTTER	
IEE	INGRESS/EGRESS EASEMENT	W	WATER	
INV	INVERT	WCE	WIRE CLEARANCE EASEMENT	
IP	IRON PIPE	WE	WATER EASEMENT	
JP	JOINT POLE	WLK	WALKWAY	
LIP	LIP OF GUTTER	WM	WATER METER	
LRDA	LEAST RESTRICTIVE	WOE	WIRE OVERHANG EASEMENT	
	DEVELOPMENT AREA	WV	WATER VALVE	
LS	LANDSCAPED AREA	WVSD	WEST VALLEY SANITATION DISTRICT	
MAX	MAXIMUM		OF SANTA CLARA COUNTY	
М	BOOK OF MAPS AT PAGE			

1	PROJECT ADDRESS:	14341 BROWNS LANE, LOS GATOS, CA 95032
2	PROJECT OWNER:	ROBERTO FLAMENCO
3	ASSESSORS PARCEL NUMBER:	409-14-035
4	EXISTING USE:	RESIDENCE
5	EXISTING ZONING:	R-1-8
6	PROPOSED USE:	RESIDENCE
7	PROPOSED ZONING:	R-1-8
8	SITE AREA:	9,501 SF
9	APPLICANT/DEVELOPER:	ROBERTO FLAMENCO
10	CONSULTANTS:	
	A. ARCHITECT:	GKW ARCHITECTS 710 E MCGLINCY LANE, SUITE 109, CAMPBELL, CA 95008 TEL: 408-796-1845
	B. STRUCTURAL ENGINEERING:	WESLEY LIU ENGINEERING, INC. 7246 SHARON DRIVE #0, SAN JOSE, CA 95129 (408) 973–1839
	C. SURVEYOR:	WILSON LAND SURVEYS 261 CARLTON COURT, LOS GATOS TEL: (408) 427-2279
	D. CIVIL ENGINEER:	CIVIO CONSULTING 1669 FLANIGAN DRIVE, SUITE E, SAN JOSE, CA 95121 EMAIL: OFFICE@CIVIOCONSULTING.COM TEL (408) – 785 – 8938
11	WATER SUPPLY:	SAN JOSE WATER COMPANY
12	SANITARY SEWER DISPOSAL:	WEST VALLEY SANITATION DISTRICT (WVSD)
13	GAS AND ELECTRIC:	PACIFIC GAS AND ELECTRIC
14	TELEPHONE:	
15	CABLE:	
16	STORM DRAIN:	WEST VALLEY CLEAN WATER PROGRAM
17	FIRE PROTECTION:	SANTA CLARA COUNTY CENTRAL FIRE PROTECTION DISTRI
18	DATUM:	
19	BENCHMARK INFORMATION	
20	BASIS OF BEARINGS	

<u>DESCRIPTION</u>	EXISTING	LEGEND PROPOSED	TO BE REMOVED
SIDEWALK			
TURB AND GUTTER		4	========
ENTER LINE	CL		
PROPERTY LINE	PL	PL PL	PL
OT LINE			
EASEMENT LINE			
DGE OF PAVEMENT			
DRIVEWAY		4	
יככ יככ	4. 4. 4. 4. 4. 4.		
.C			
STANDARD MONUMENT			
ENCH MARK	$\oplus$	•	<u> </u>
1ANHOLE			
SANITARY SEWER CLEANOUT	(0)	© •	( <u>0</u> )
SANITARY SEWER MANHOLE STORM DRAIN MANHOLE	(S) (D)	<b>S</b> <b>D</b>	(S) (D)
TORM DRAIN INLET			
/ATER METER	W	W	[ <u>w</u> ]
ALVE	$\bowtie$	$\bowtie$	
IRE HYDRANT	A	A	A
TREET LIGHT		<b>—</b>	<u> </u>
OWER POLE	-P-	<b>-®</b> -	-( <u>JP</u> )-
ULL BOX	$\boxtimes$	$\boxtimes$	
ABLE TELEVISION LINE LECTRICAL LINE	TV E	TV	TV
LECTRICAL METER	E	E	[Ē]
AS METER	G	G	[ <u>G</u> ]
RRIGATION LINE	IR	—— IR ———	IR
ATURAL GAS LINE	G	G	G
VERHEAD LINE	——— ОН ———	—— ОН ———	OH
ANITARY SEWER LINE	S	s	s
TORM DRAIN LINE	D	D	D $$
ELEPHONE LINE	т	T	T
/ATER LINE	W	—— w ——	w
RAFFIC SIGNAL CONDUIT	TS	TS	TS $$
IGHTING CONDUIT	L	L	L
OADSIDE SIGN & SIGN CODE	▽ R1	▼ R1	R1
ENCE			_ * _ * =
REE/SHRUB		$\langle \cdot \rangle$	$\langle \mathbf{k} \rangle$
ONTOUR LINES	100		Az



LA

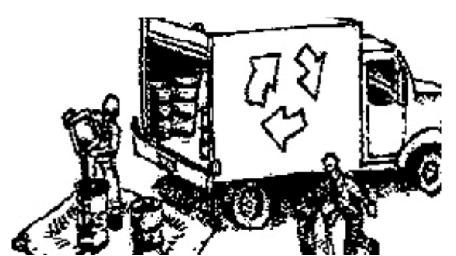
SHEET



## Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

#### **Equipment Management &** Materials, Waste, and Sediment Management **Spill Control**



#### **Construction Entrances and Perimeter**

- Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

#### **Non-Hazardous Materials and Dust Control**

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- Use captured water from other activities (e.g., testing fire lines) for dust control. Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

#### **Hazardous Materials**

- Label all hazardous materials and hazardous wastes (such as pesticides, paints thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours
- Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

#### **Waste Management**

- Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.
- Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging)
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.



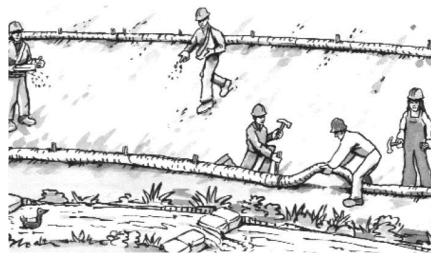
#### **Vehicle and Equipment Maintenance**

- Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

#### **Spill Prevention and Control**

- Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil. Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

## **Earthmoving**



#### **Grading and Earthwork**

- Schedule grading and excavation work during dry
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.
- Ensure all subcontractors working onsite are implementing appropriate BMPs.

#### **Contaminated Soils**

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

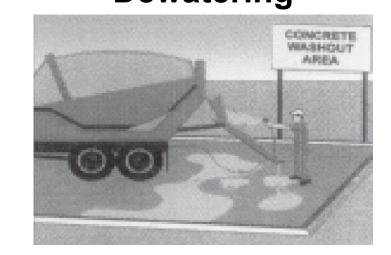
#### Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round. Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

Store materials onsite, not in the street.

#### **Concrete Management & Dewatering**



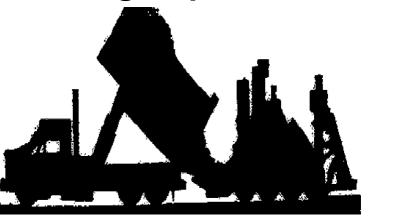
#### **Concrete Management**

- Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- Make sure that construction waste (e.g., concrete.) stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

#### Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- Divert water originating from offsite away from all onsite disturbed areas
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

## Paving/Asphalt Work



#### **Paving**

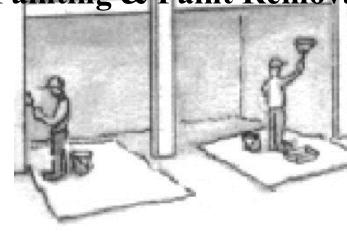
- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- When construction is complete, remove all covers from storm drain inlets and manholes.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

#### Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw
- When making saw cuts, use as little water as possible.
- Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
- Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
- If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

requiring less maintenance.

## Painting & Paint Removal



#### **Painting Cleanup and Removal**

Never clean brushes or rinse paintcontainers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.

#### For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.

- For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead- based paint removal requires a state-certified contractor.

## **Copper Architectural Features**

Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains: **During Installation** 

If possible, purchase copper materials that have been pre-patinated at the factory. If patination done on site, implement one or more of the following BMPs:

- 1. Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed 2. Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
- 3. Collect the rinse water in a tank and haul off-site for proper disposal. Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time,

During Maintenance such as, power washing roof, re-patination, or re-application of

Block storm drain inlets as needed to prevent runoff from entering storm drains. Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

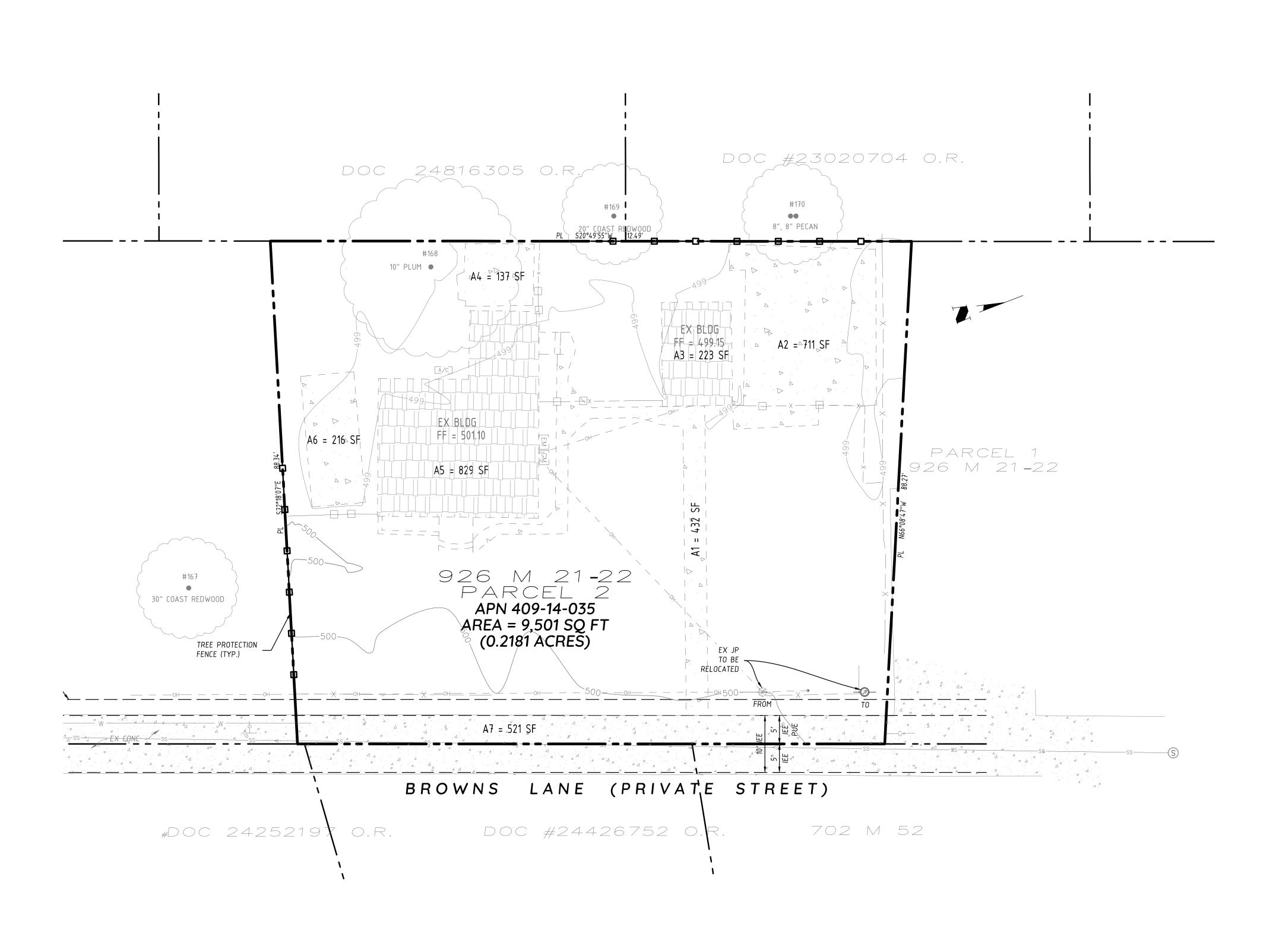
February 2024, WVCWA 4/24

JSULTING
AN DRIVE #E
CA 95121 ANIGAL JOSE, 

REGISTER REGISTER	No. 8	1805 ALIFOR	- DEER A
			_

00 BRC IT FC

> SHEET C2



## LEGEND

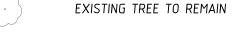
AREA OR ITEM TO BE REMOVED



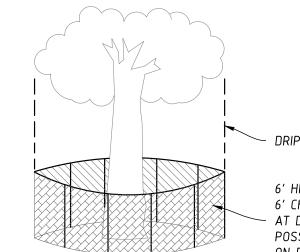
AREA OR ITEM TO REMAIN



EXISTING TREE TO BE REMOVED



TREE PROTECTION FENCE



DRIP LINE OF TREE

6' HIGH STEEL FENCE F

6' HIGH STEEL FENCE POSTS
6' CHAIN LINK FENCE. POST TO BE
— AT DRIP LINE OF TREE WHERE EVER
POSSIBLE ON AT LOCATIONS SHOWN
ON PLAN

#### TREE PROTECTION FENCE DETAIL

#### NOTE:

1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FEET DEEP AT NO MORE THAN TEN-FOOT SPACING. WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.

2. POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE

- STATING: "WARNING TREE PROTECTION ZONE THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025"

  3. LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE
- 3. LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
   4. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT
- 5. ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION

## AVERAGE SLOPE CALCULATION

0.0023 x ( I ) x ( L )

WHERE

S = AVERAGE SLOPE OF THE AREA IN PERCENT

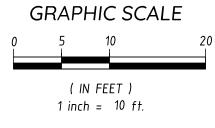
I = CONTOUR INTERVAL

L = TOTAL LENGTH OF CONTOUR LINES IN FEET

A = AREA EXPRESSED IN ACERS

0.0023 x (1) x (476.8)

	PRE-DEVEL OPMENT									
ITEM#	DESCRIP	TION	IMPERVIOUS	PER VIOUS						
A1	EX CONC WLK	(REMOVE)	432 SF							
A2	EX CONC WLK	(REMOVE)	711 SF							
A3	EX BLDG	(REMOVE)	223 SF							
A4	EX CONC WLK	(REMOVE)	137 SF							
A5	EX BLDG	(REMOVE)	829 SF							
A6	EX CONC WLK	(REMOVE)	216 SF							
A7	EX CONC DWY	(REMAIN)	521 SF							
	LANDSCAPE			6,432 SF						
	TOTAL		3,069 SF	6,432 SF						



CIVIO CONSULTING

THE CAST OF THE SAN JOSE, CA 95121

EMAIL: OFFICE@CIVIOCONSULTING.COM

SCALE: AS NOTED

DESIGN: XP

CHECK: SN

PROJECT #: 2024\_001

1 BROWNS LANE

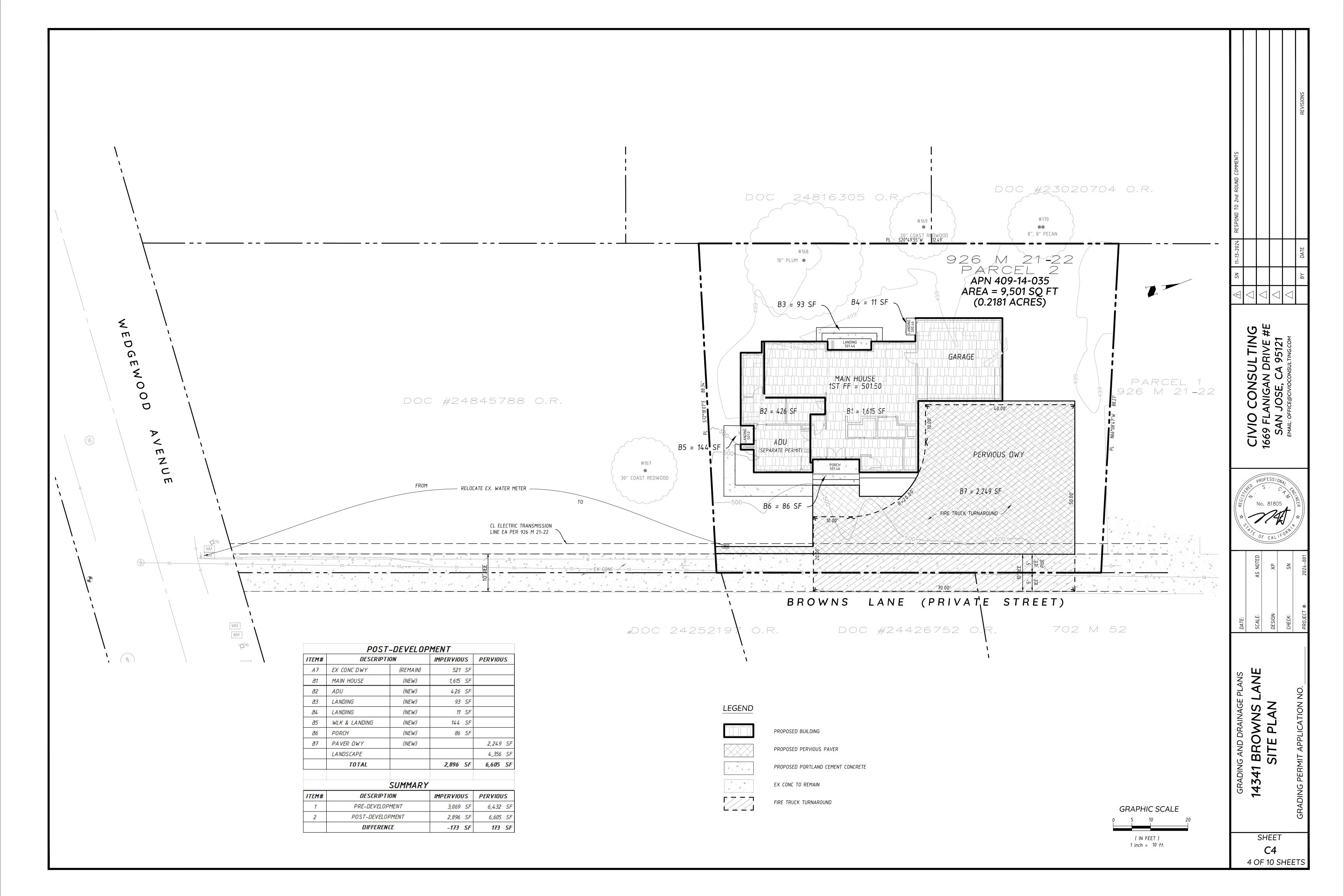
GRADING AND DRA

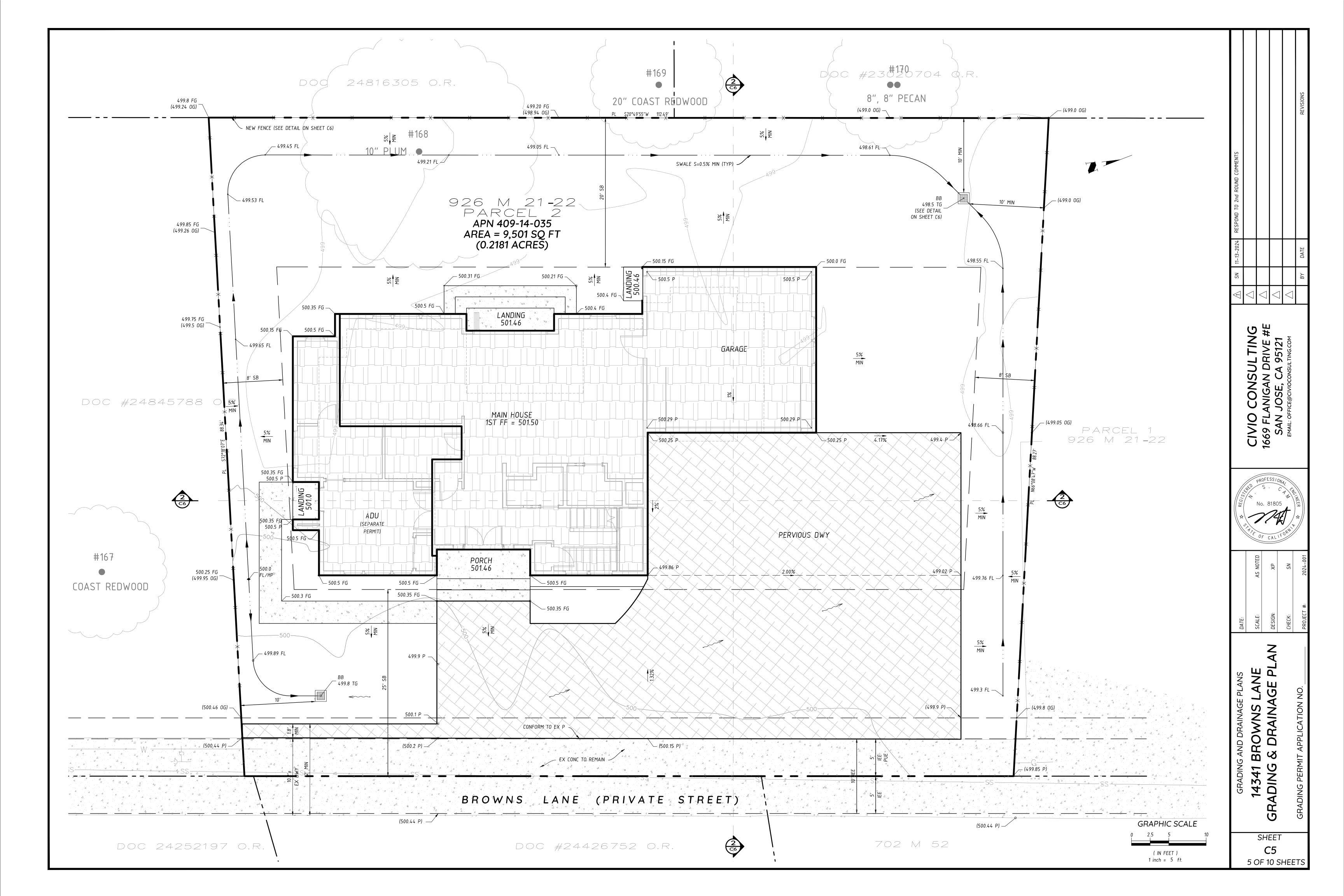
14341 BROW

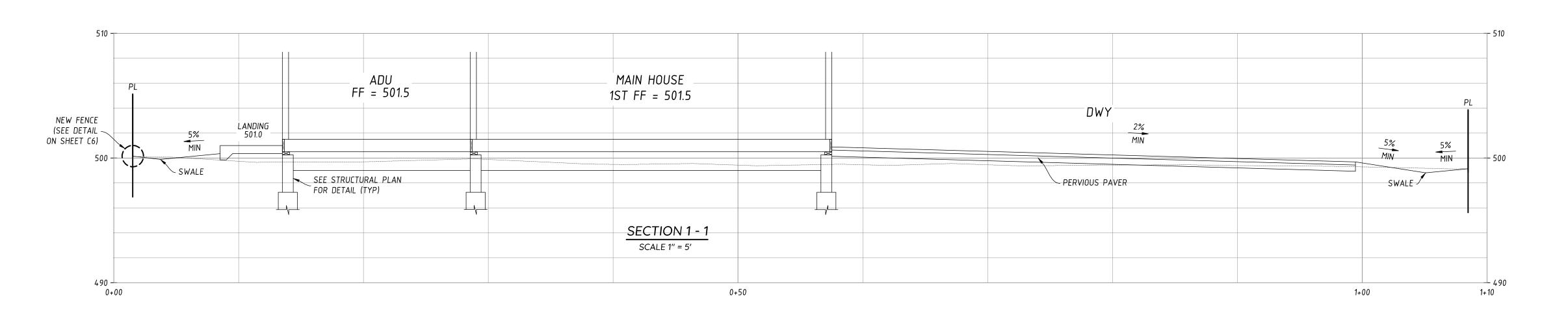
DEMOLITIO

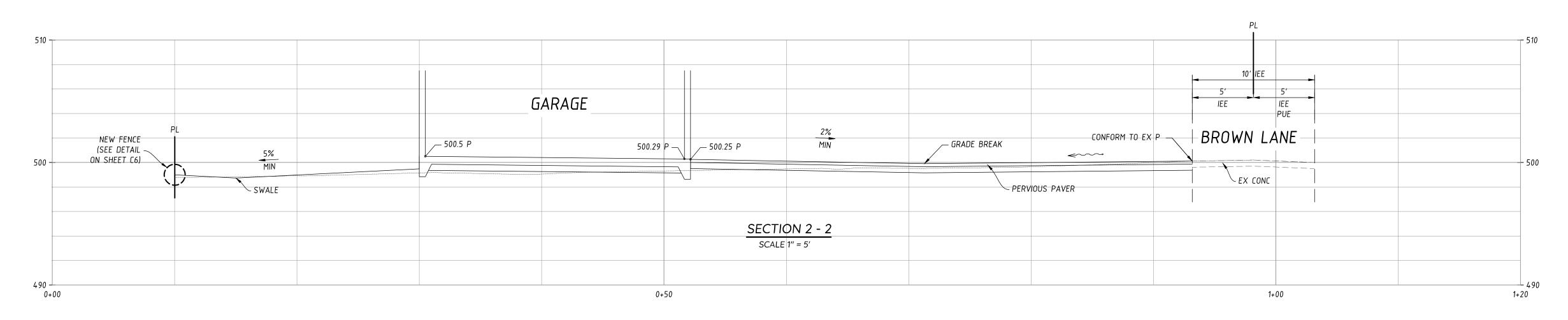
SHEET

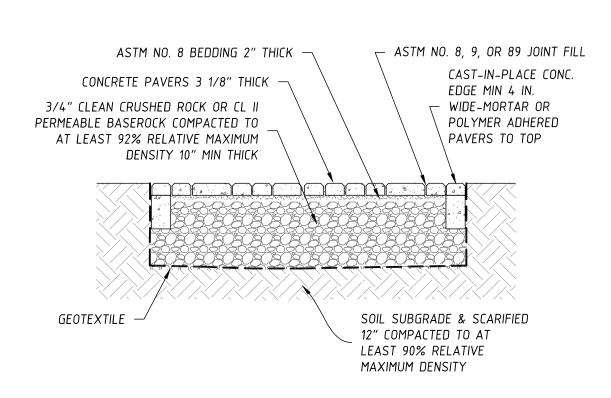
C3
3 OF 10 SHEETS







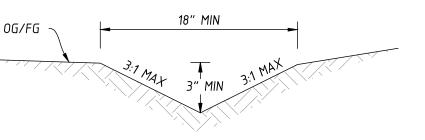




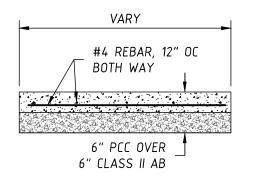
## TYPICAL PERMEABLE CONCRETE PAVER SECTION

#### NOTES:

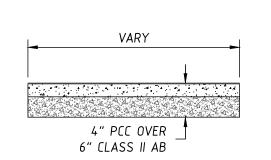
- DESIGN, MATERIAL AND CONSTRUCTION GUIDELINES TO FOLLOW INTERLOCKING CONCRETE PAVEMENT INSTITUTE GUIDE SPECIFICATIONS.
- 2. APPLY WATERPROOF MEMBRANE VERTICALLY AGAINST HOUSE FOUNDATION PRIOR TO PLACING SUBBASE AND BASE.
- 3. USE SOIL BERMS FOR LONGITUDINAL SOIL SUBGRADE SLOPES EXCEEDING 2%
- 4. CAST-IN-PLACE CONCRETE CURBS CAN BE WITHOUT PAVERS ON TOP. IN SUCH CASES, CURBS SHOULD BE LEVEL WITH CONCRETE PAVER FIELD.
- 5. THE UPPER PAVEMENT SUBGRADE SOIL AND THE AGGREGATE BASE COURSE SHOULD BE COMPACTED TO A MINIMUM 95 PERCENT OF MAXIMUM DRY DENSITY, AS TESTED BY THE GEOTECHNICAL ENGINEER.
- 6. THE PAVER SYSTEM DRAINAGE, EDGE RESTRAINTS, BEDDING SAND, MAINTENANCE, AND OTHER ASPECTS OF THE DESIGN AND CONSTRUCTION SHOULD BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE PAVER SYSTEM MANUFACTURER



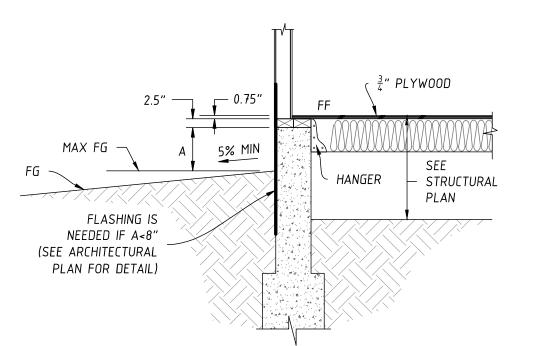
## SWALE TYPICAL SECTION



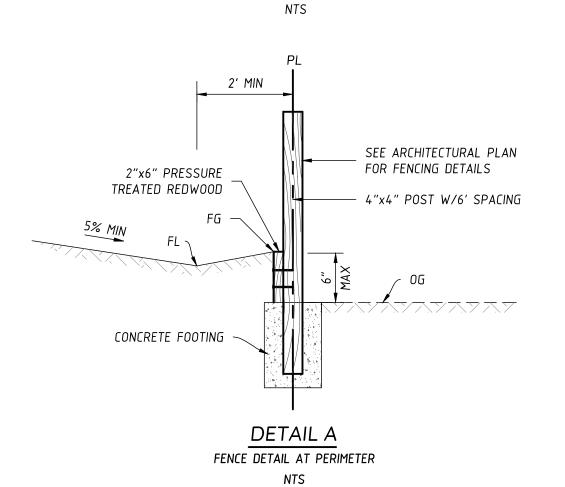
## CONCRETE DRIVEWAY

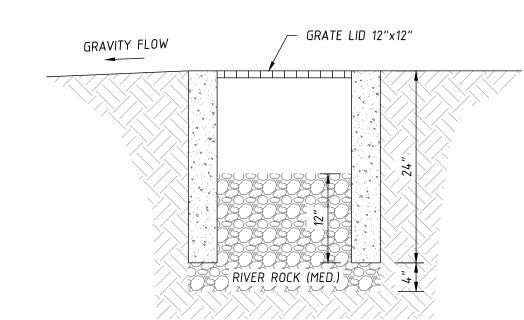


CONCRETE WALKWAY



## DETAIL B AT BUILDING FOUNDATION

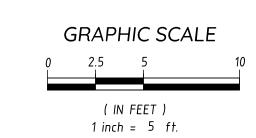




## BUBBLER BOX

#### NOTES

- 1. RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP
- BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
- 3. BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
- 4. BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
- 5. BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.



CIVIO CONSULTIN 1669 FLANIGAN DRIVE SAN JOSE, CA 95121 EMAIL: OFFICE@CIVIOCONSULTING.COM

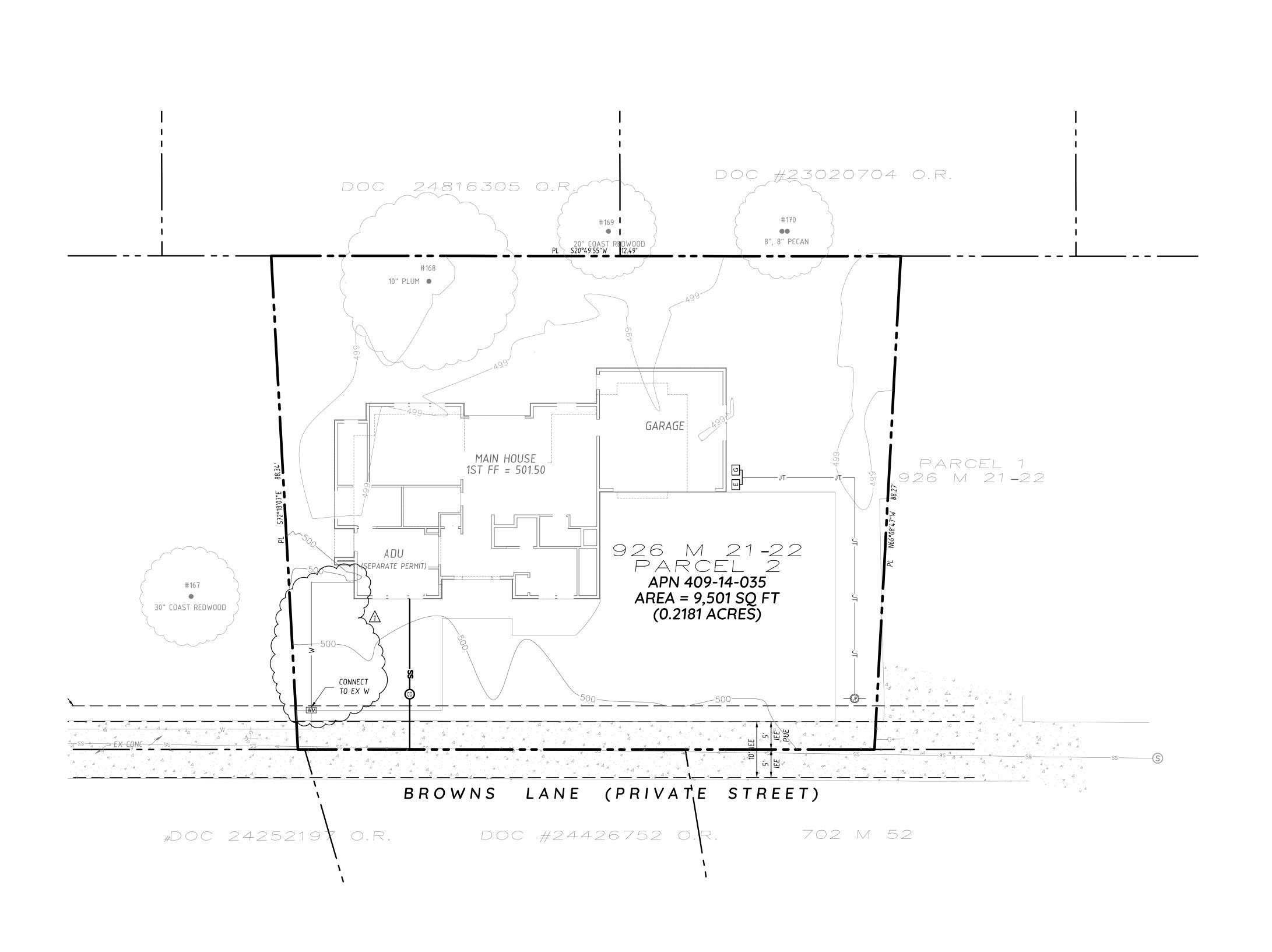
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_	PROJECT #:	2024-001

ND DRAINAGE PLANS
ROWNS LANE
ROSS SECTIONS

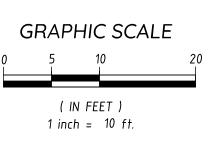
GRADING AND DRAINAGE I 14341 BROWNS L BUILDING CROSS SE

SHEET **C6**6 OF 10 SHEETS



NOTE:

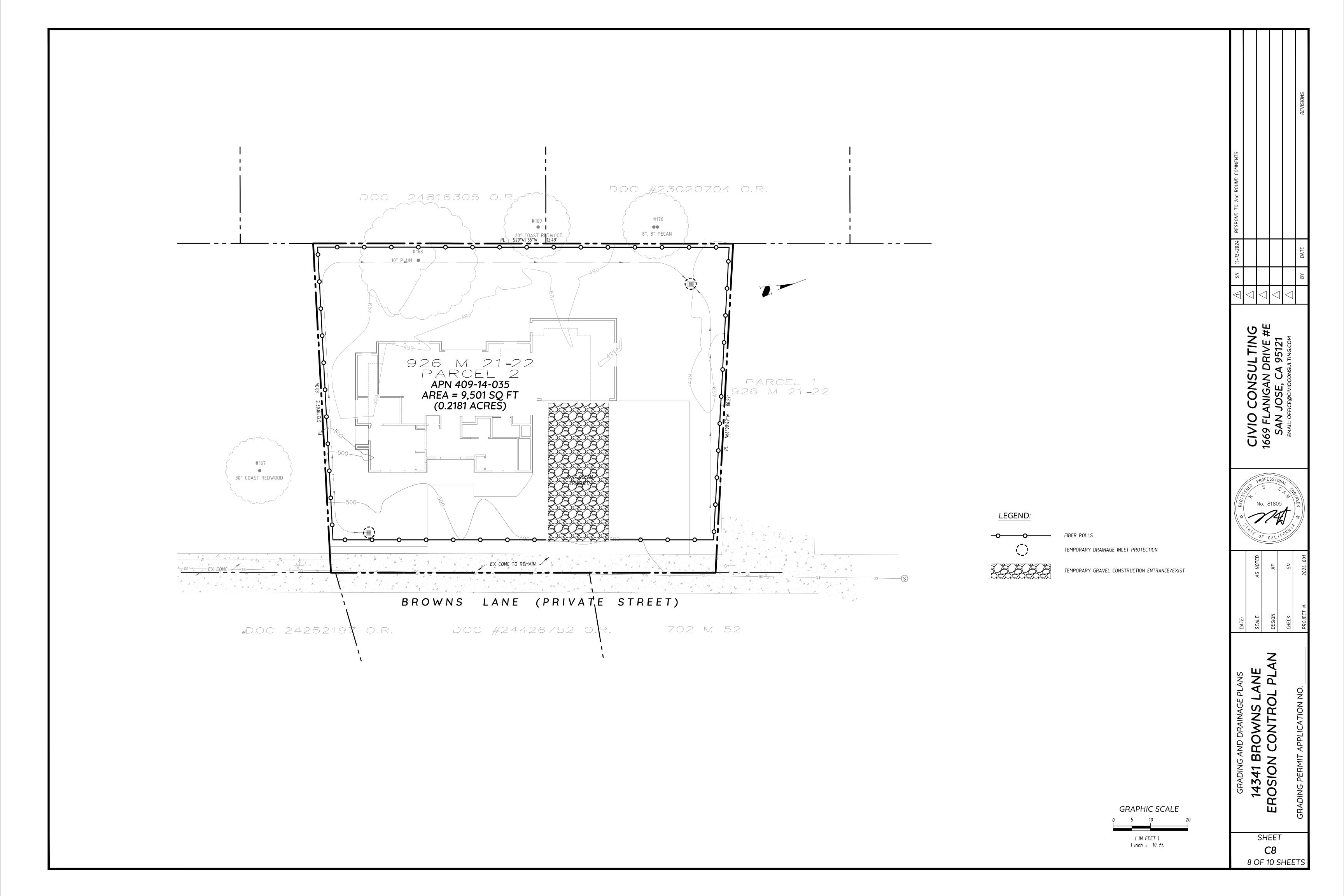
UTILITY LOCATIONS AS SHOWN ARE APPROXIMATE ONLY. CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION.



DRAINAGE PLANS	DATE:		11 4		$\triangleleft$	SN 1	1-13-2024	SN 11-13-2024 RESPOND TO 2nd ROUND COMMEN
PINO I AND				CIVIO CONSULTING				
	SLALE:	AS NOIEU	No. 8	1669 FLANIGAN DRIVE #F	$\triangleleft$			
Y PLAN	DESIGN:	XP	SS/ON/ C 31805	SAN JOSE, CA 95121				
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ICATION NO.	PROJECT #:	2024-001	NEER ☆			ВҮ	DATE	

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**C7** 



#### GENERAL EROSION AND SEDIMENT CONTROL NOTES:

1. CONTRACTOR/OWNER: _	ROBERTO FLAMENCO	
ADDRESS:	14341 BROWNS LANE, LOS GATOS, CA 95032	
PHONE NUMBER:_	(831) 566–9040	
IT SHALL BE THE OWN	IFR'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPE	RATI

IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE

	SITE IN COMPLIA	NCE WITH THE	SOIL	EROSION (	CONTRO	L PLAN.		
2.	CIVIL ENGINEER:		CIVIO	CONSULTI	NG			
	ADDRESS: _		1669	FLANIGAN	DRIVE,	SUITE E,	SAN JOSE,	CA 95121
	PHONE NUMBER:							
3.	CONTRACTOR:							
	ADDRESS:							
	24-HOUR PHONE	NUMBER:						
	CONSTRUCTION S	SUPERINTENDE	NT:					

4. THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.

5. DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH)

CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF

MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS

NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.

6. OWNER/CONTRACTER SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.

7. REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.

8. SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.

24-HOUR PHONE NUMBER:

9. DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COLURSES.

10. CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPILED WITH.

11. CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

#### EROSION AND SEDIMENT CONTROL MEASURES

1. THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.

2. THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BESITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.

3. CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.

4. CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.

5. IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH

6. INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF

7. LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEEDED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.

8. THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.

9. GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

#### MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:

A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY

B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.

C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.

D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.

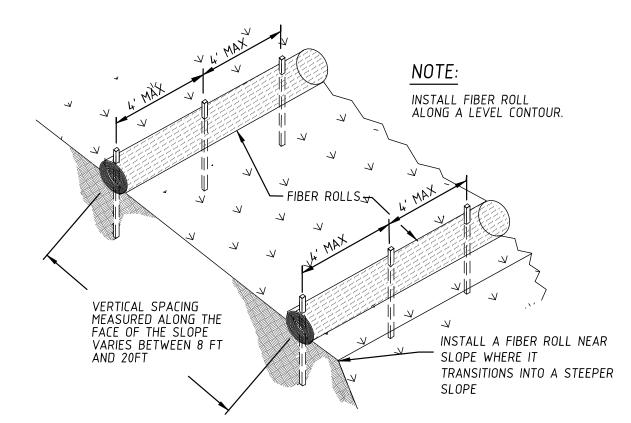
E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.

F. RILLS AND GULLIES MUST BE REPAIRED.

2. SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

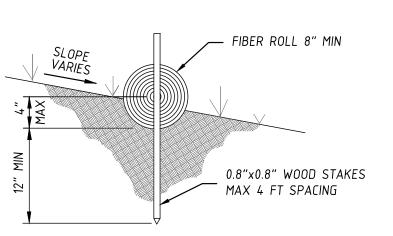
3. EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.



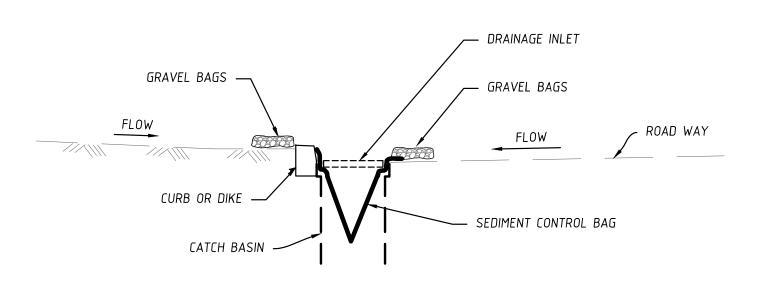


TYPICAL FIBER ROLL INSTALLATION

NOT TO SCALE



ENTRENCHMENT DETAIL



SECTION C-C

GRAVEL BAGS

DRAINAGE INLET WITH

DRAINAGE INLET WITH SEDIMENT CONTROL BAG

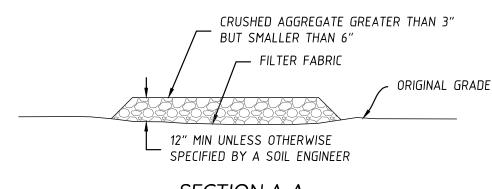
ROADWAY

TEMPORARY DRAINAGE INLET PROTECTION

FOR PAVED AREAS EXPOSED TO TRAFFIC

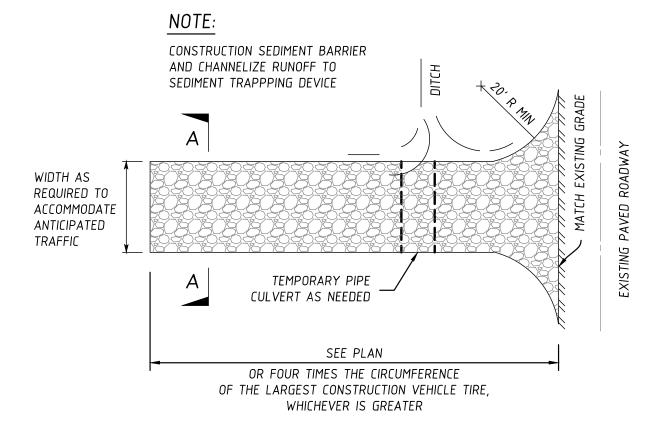
PLAN



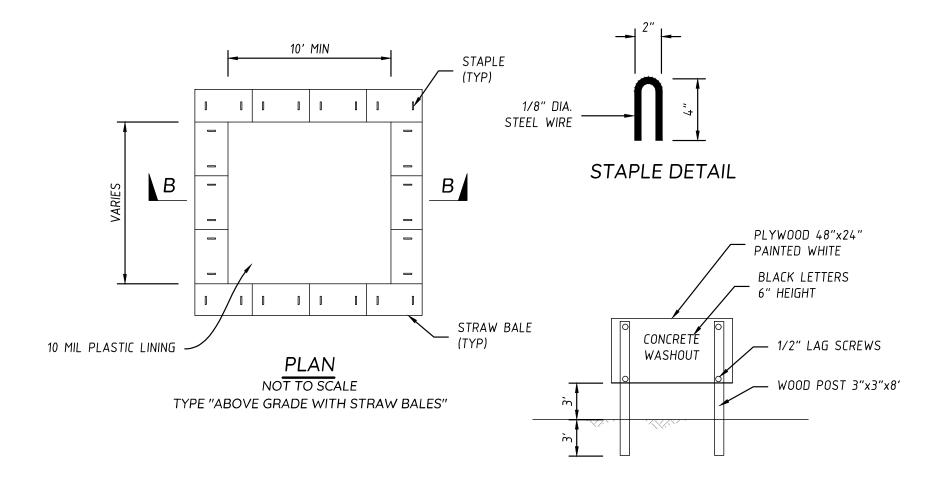


SECTION A-A

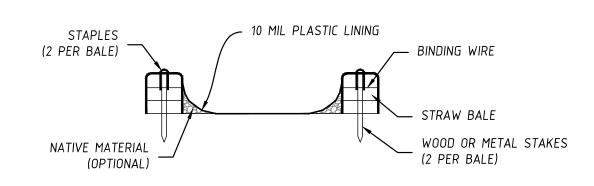
NOT TO SCALE



## CONCRETE WASTE MANAGEMENT CASQA DETAIL WM-8



## CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

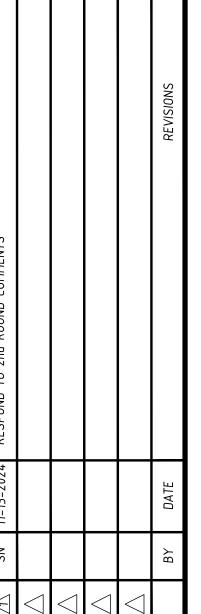


#### SECTION B-B NOT TO SCALE

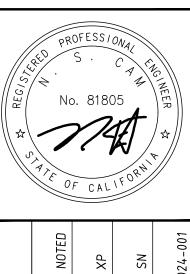
1. ACTUAL LAYOUT DETERMINED IN FIELD.

NOTES:

3. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.



CIVIO CONSULTINC
1669 FLANIGAN DRIVE #
SAN JOSE, CA 95121
EMAIL: OFFICE@CIVIOCONSULTING.COM



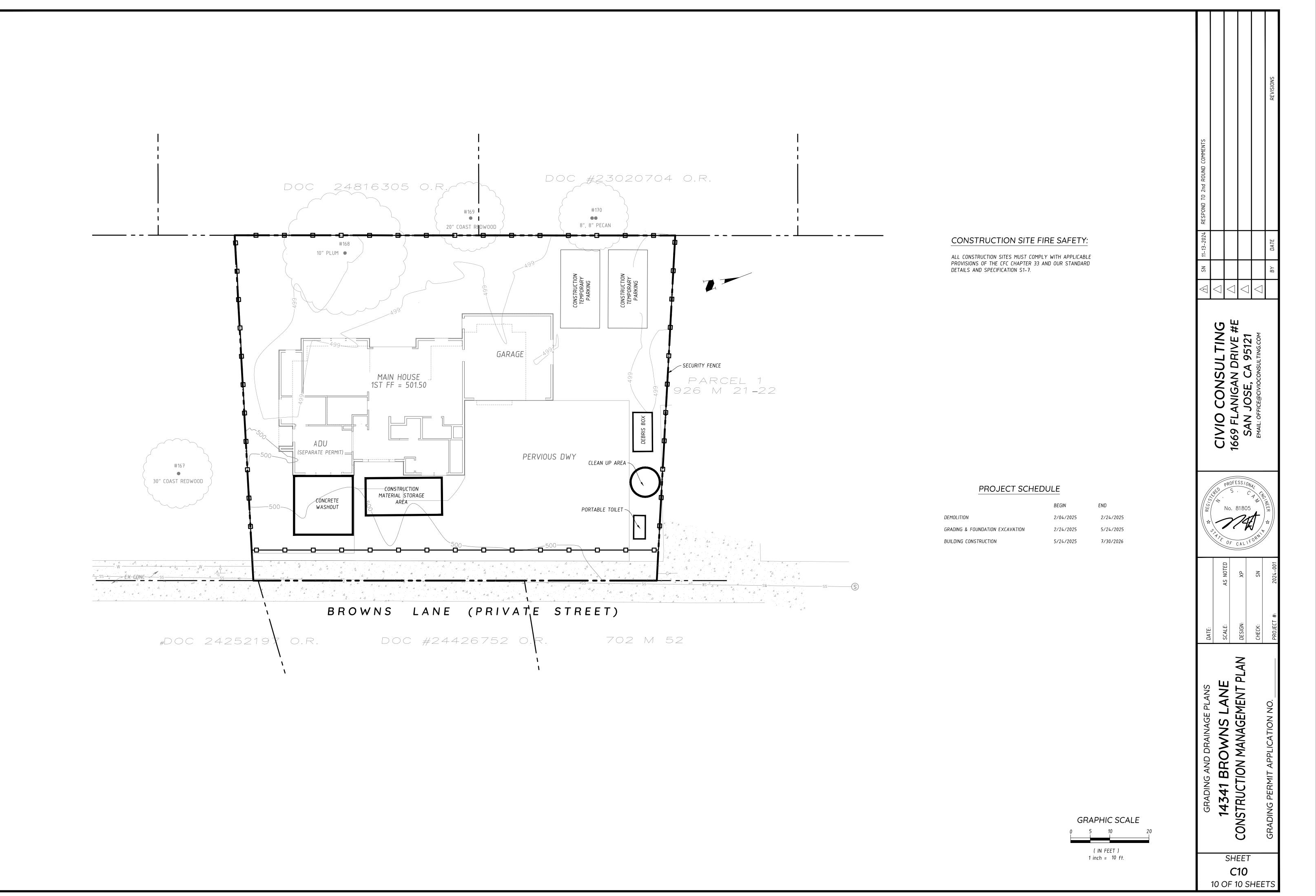
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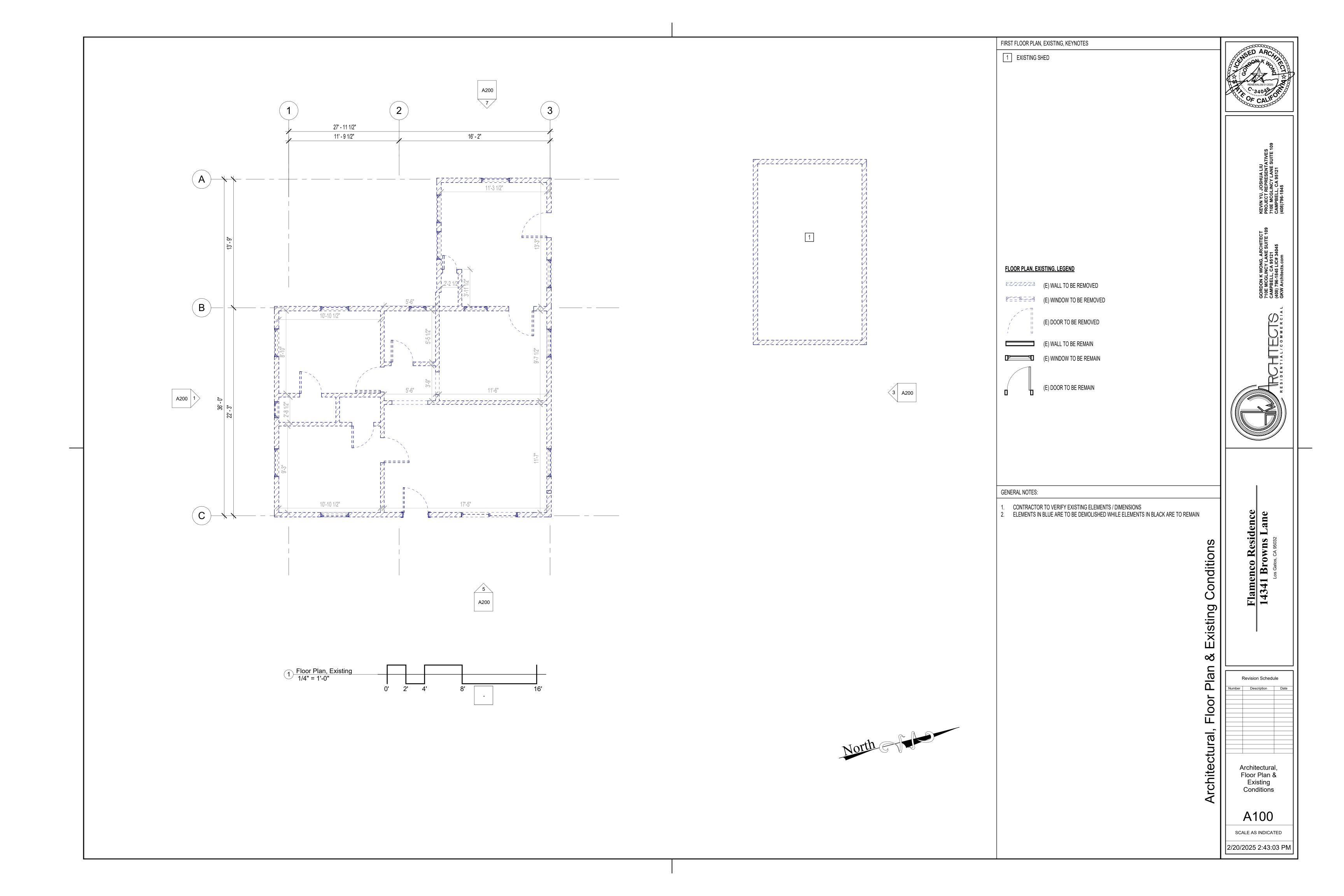
41 BROWNS LANE N CONTROL DETAIL

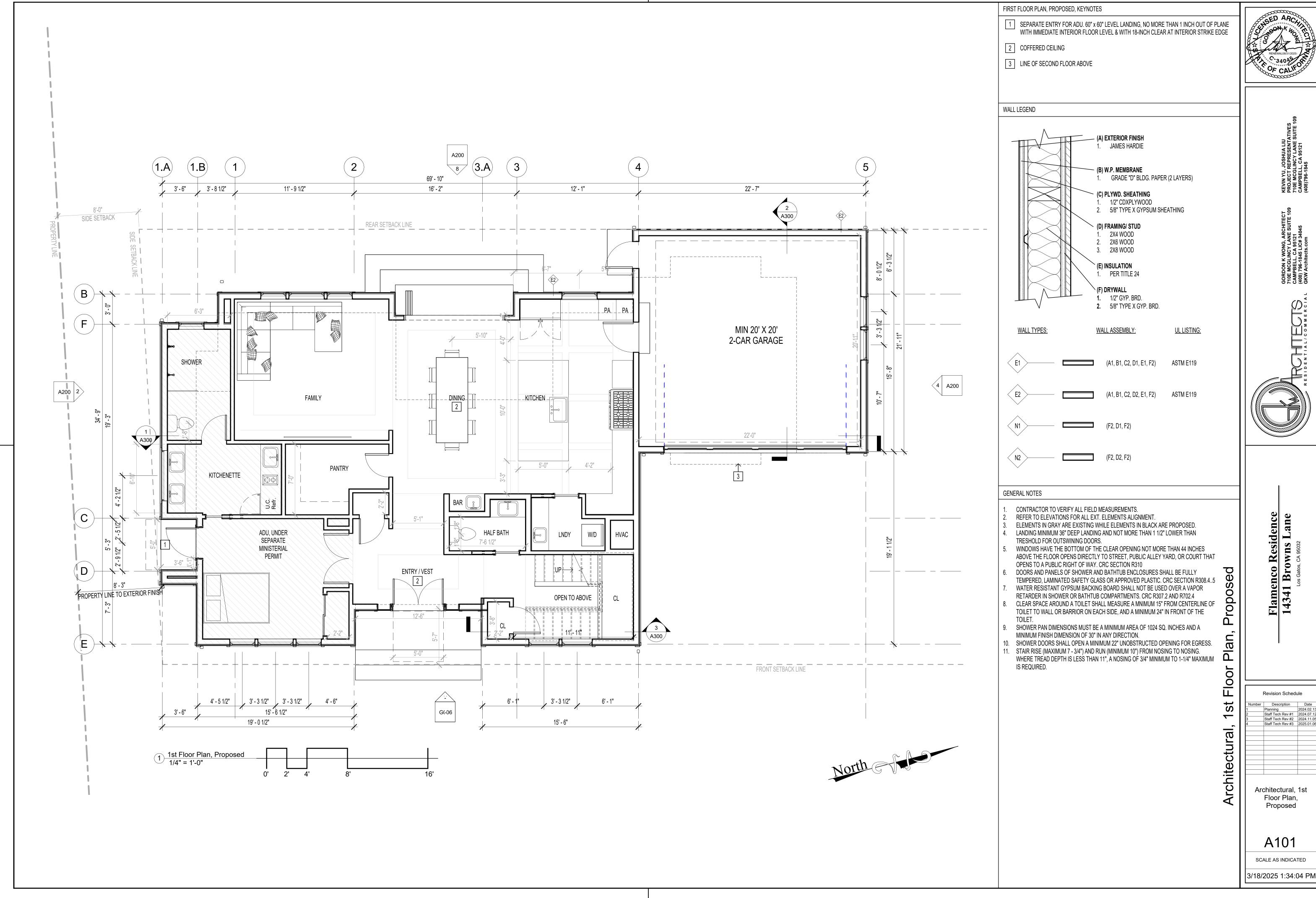
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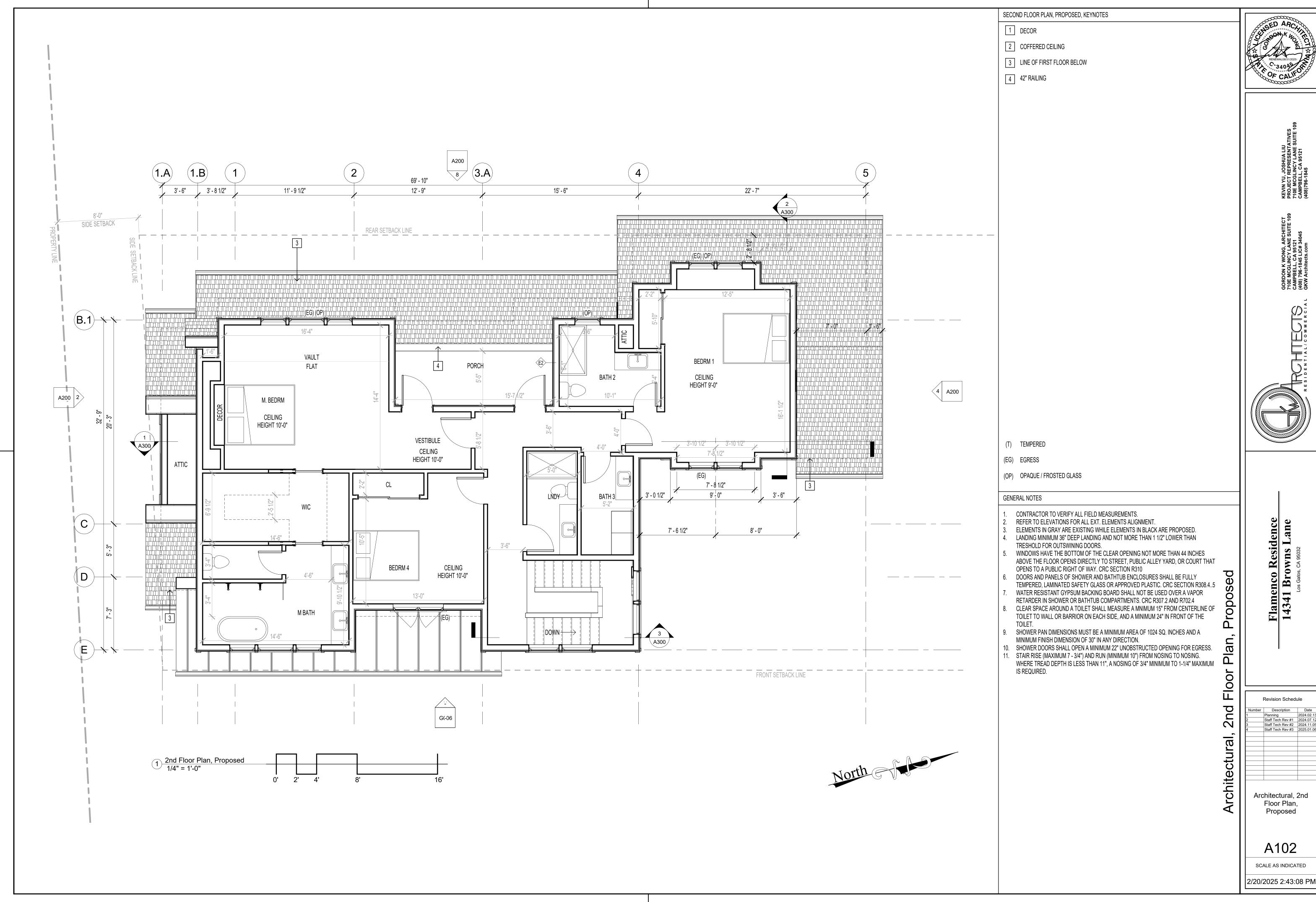
**C9** 



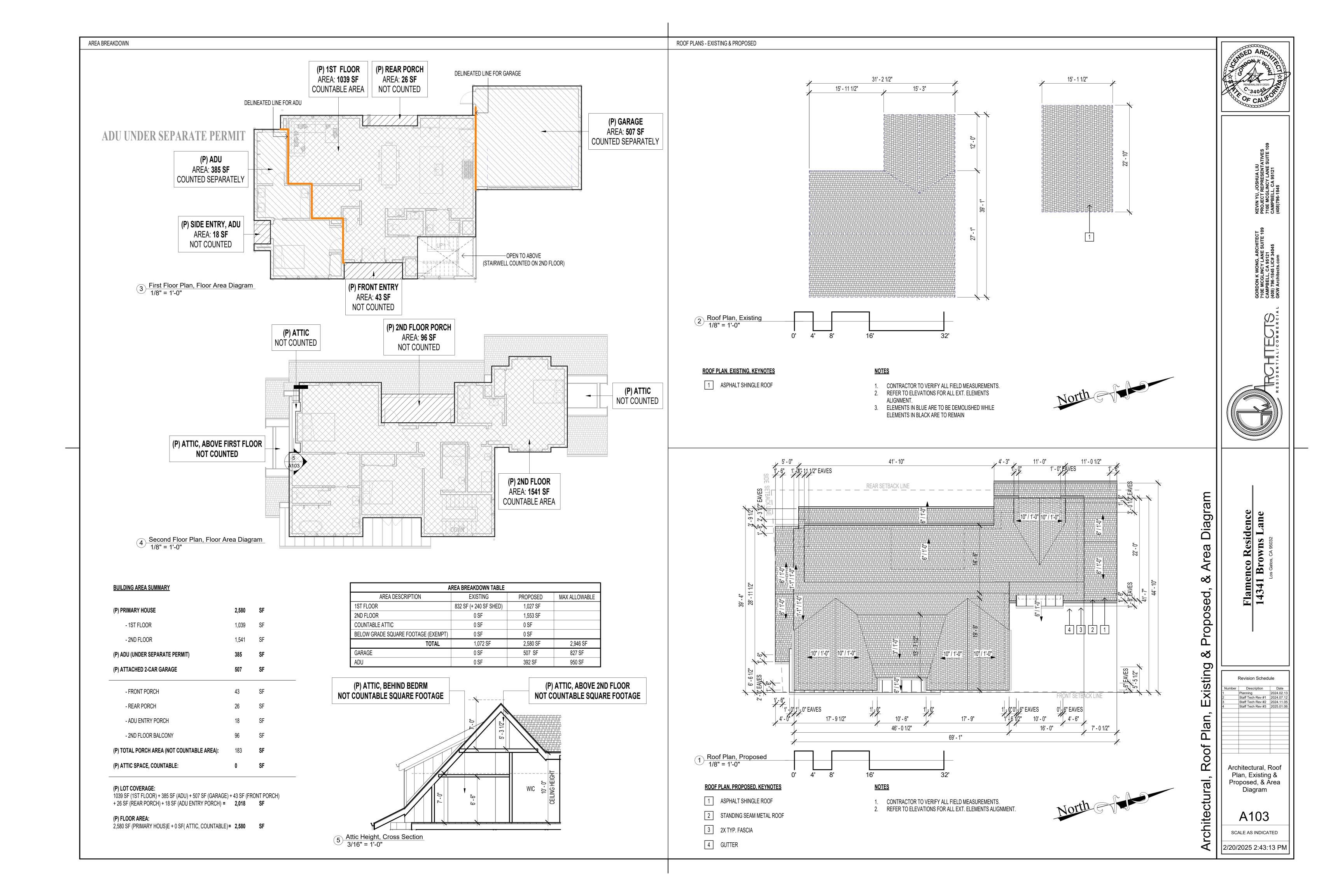


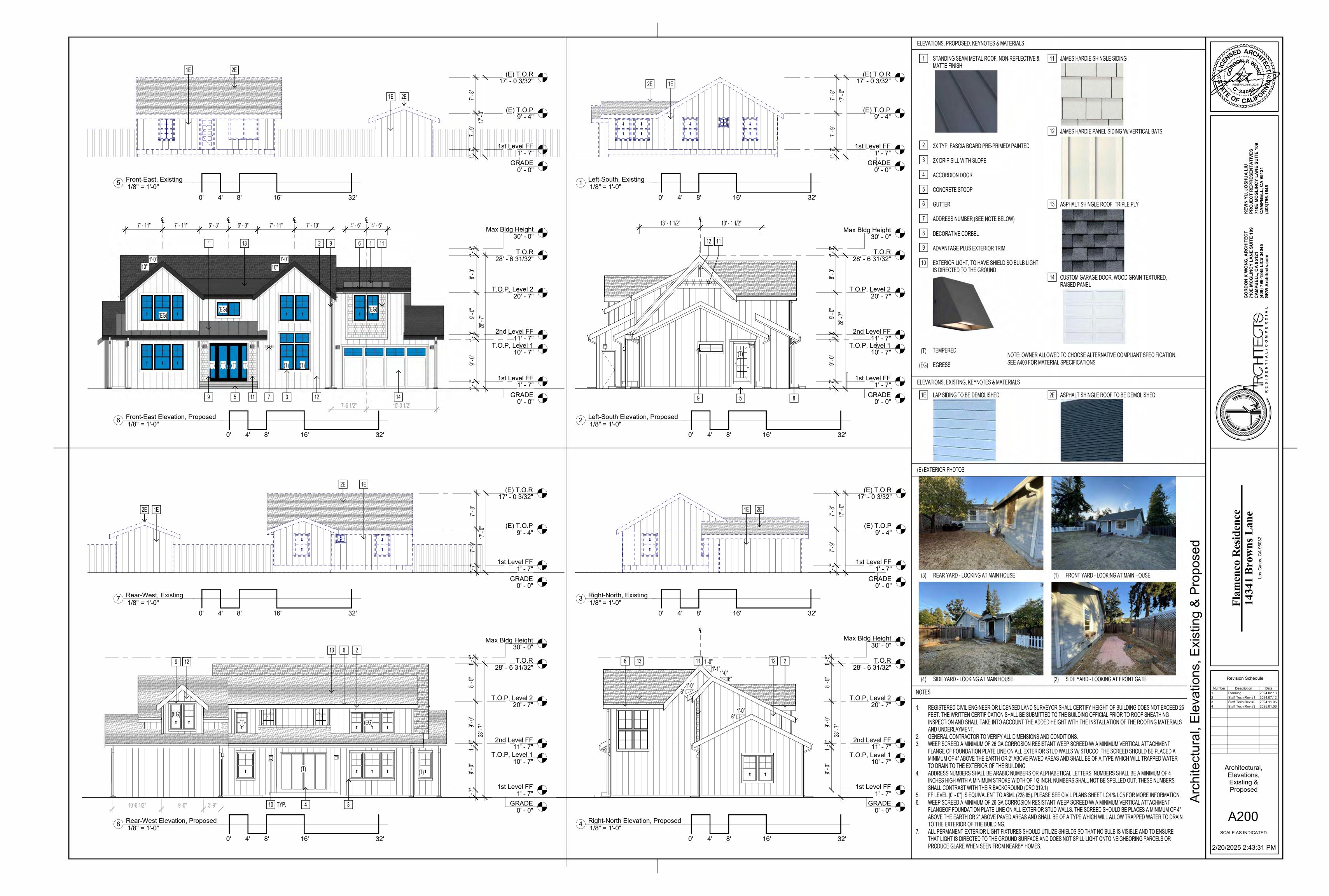


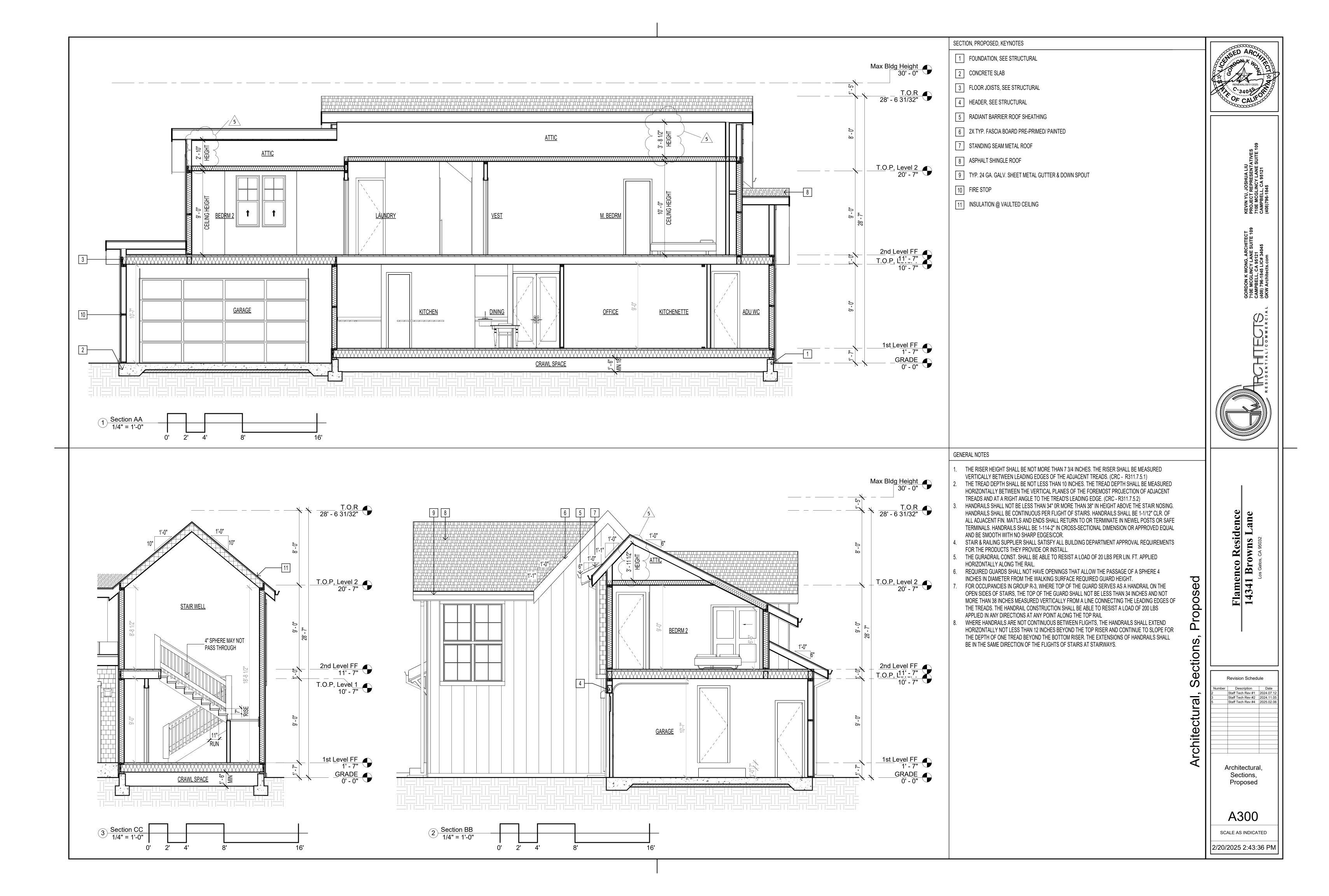
Planning 2024.02.13
Staff Tech Rev #1 2024.07.12
Staff Tech Rev #2 2024.11.05
Staff Tech Rev #3 2025.01.06 Architectural, 1st



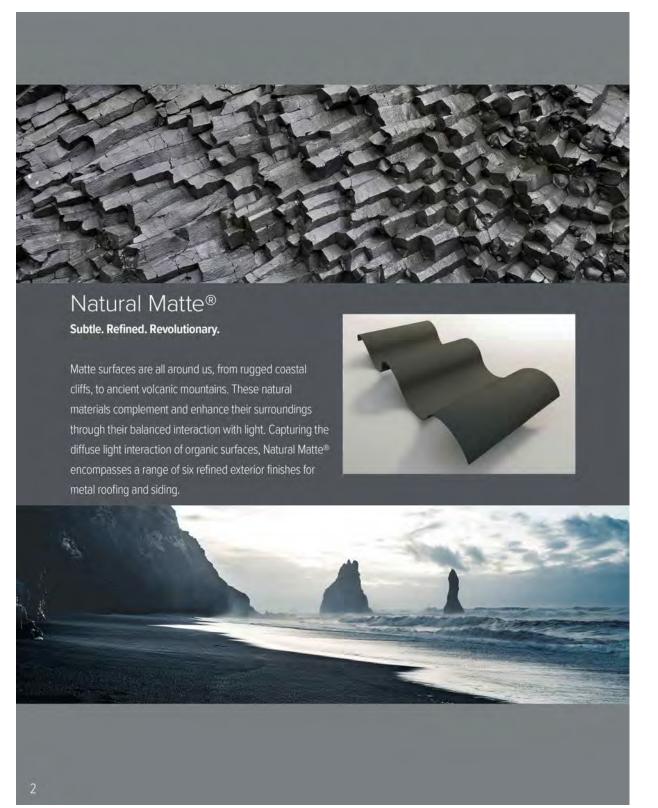
Planning 2024.02.13
Staff Tech Rev #1 2024.07.12
Staff Tech Rev #2 2024.11.05
Staff Tech Rev #3 2025.01.06



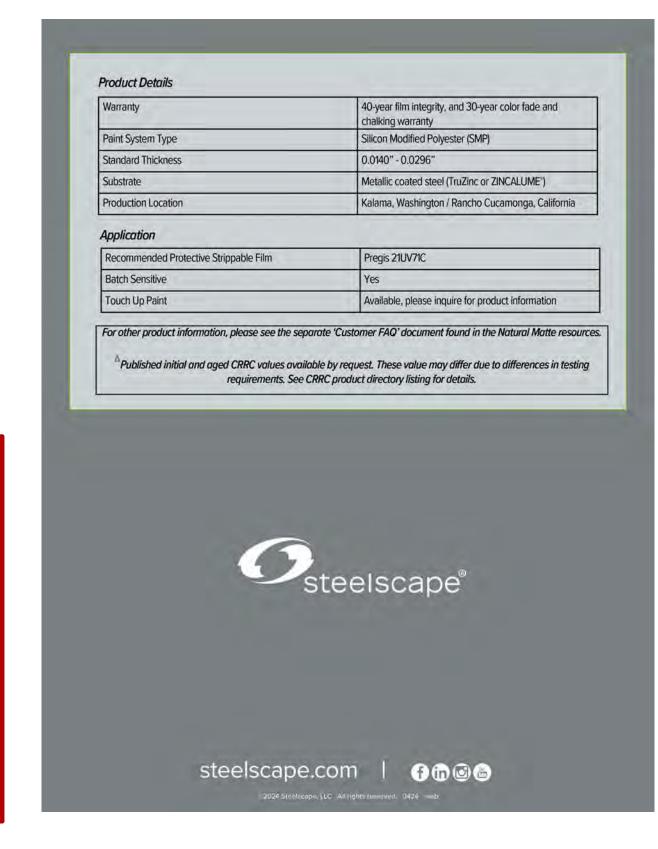


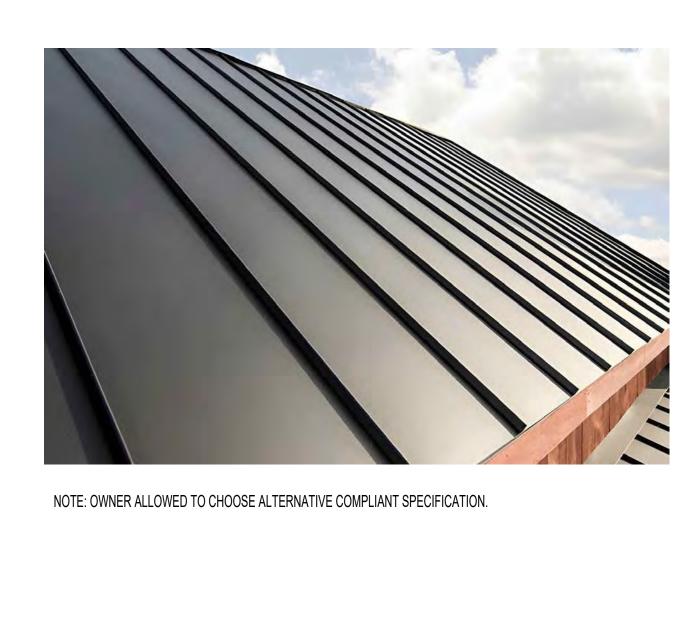


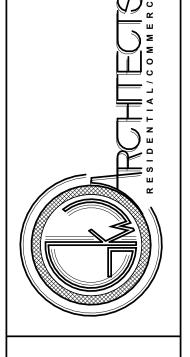
EXTERIOR MATERIALS - WINDOWS

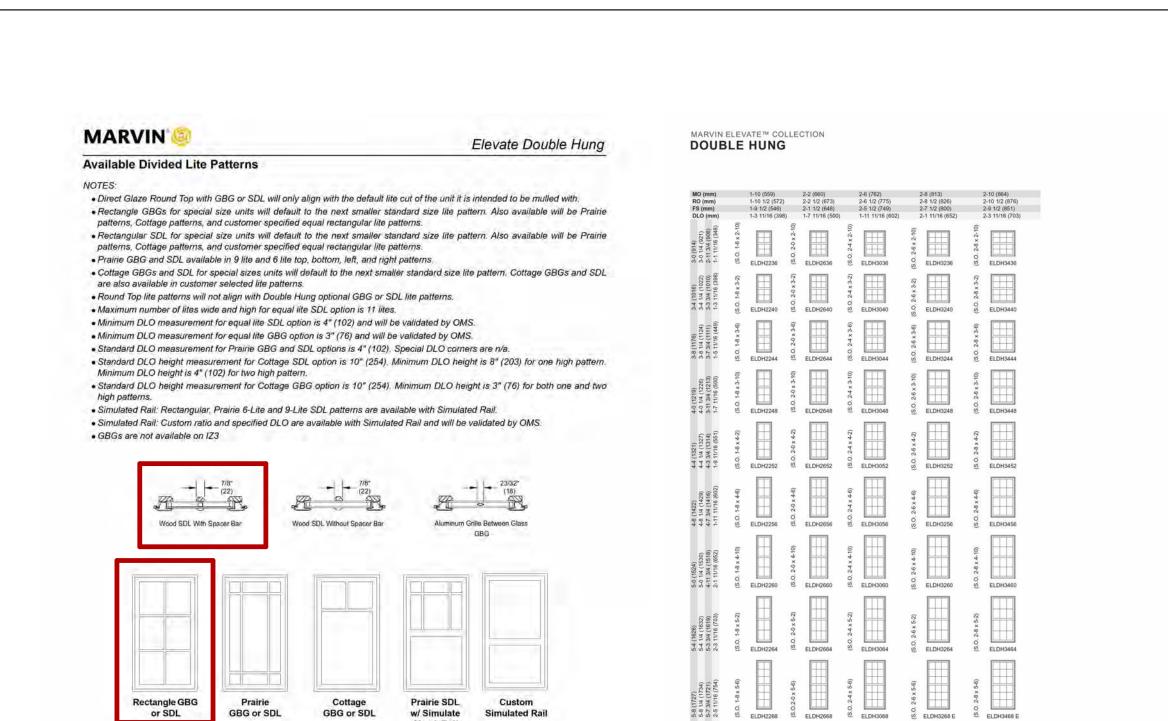












Architectural Detail Manual

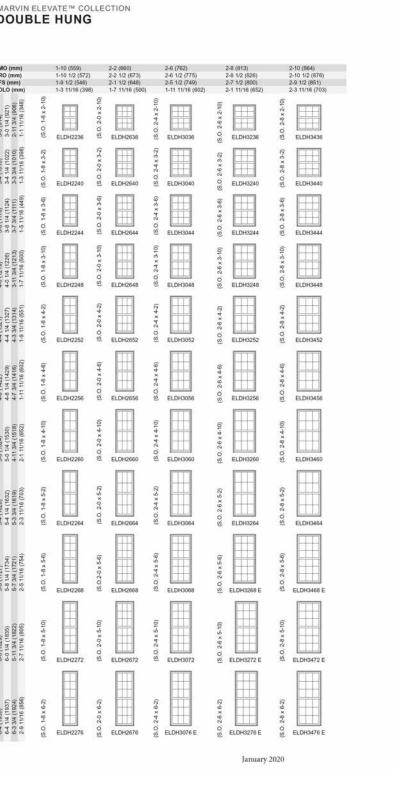
Check Rail

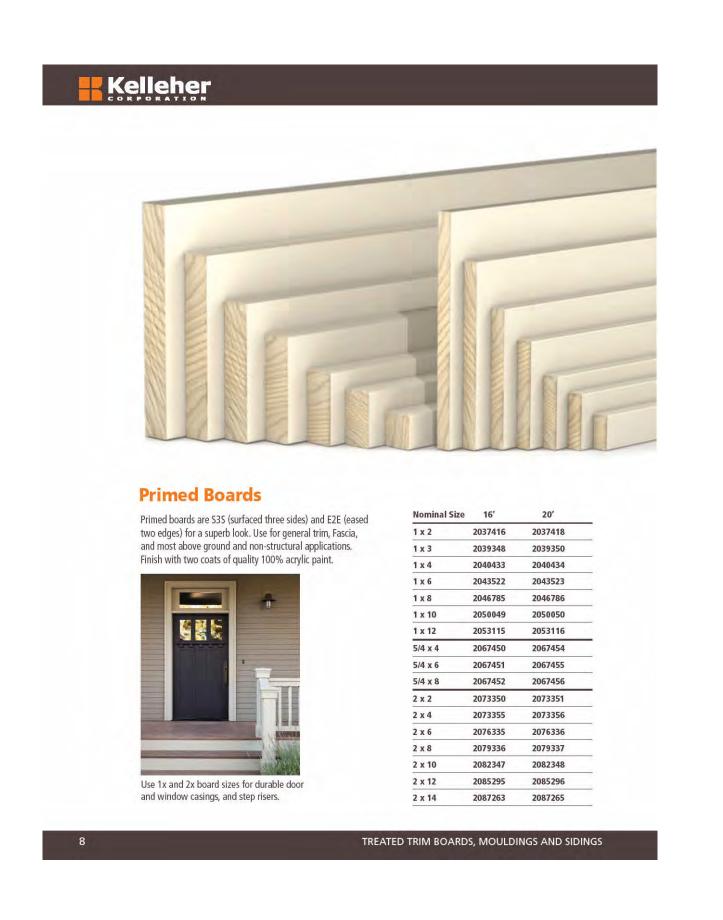
Total DLO - Total Bar Width = Individual DLO

NOTE: OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT SPECIFICATION.

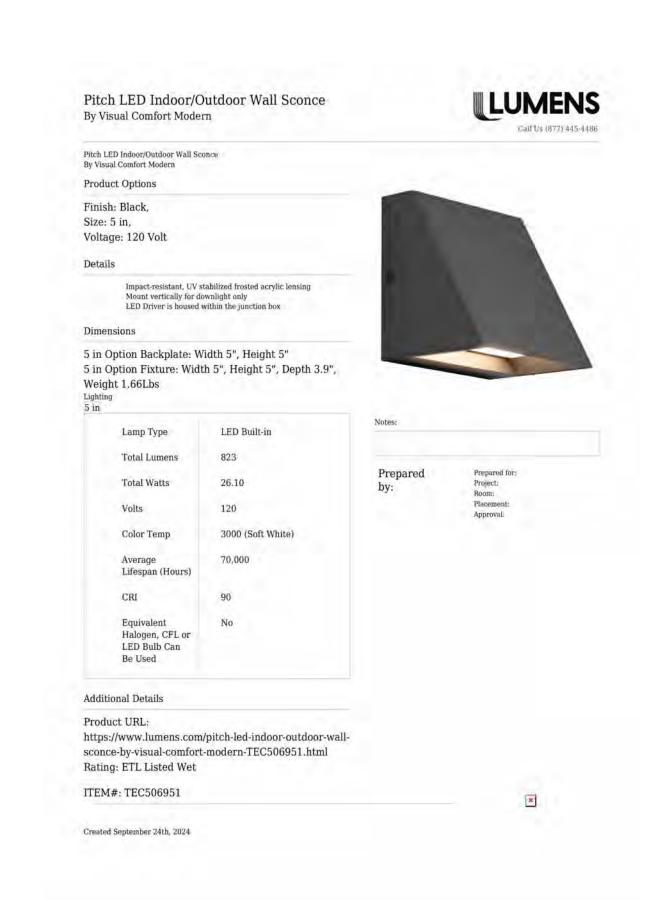
WINDOWS TO BE FIBERGLASS

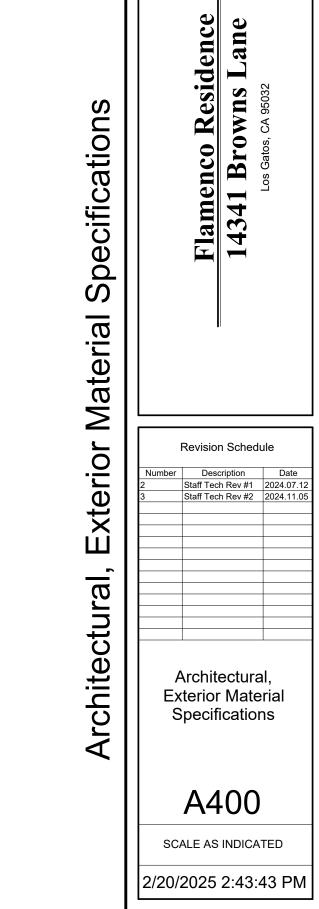
ELDH-58





EXTERIOR TRIM MATERIAL - ADVANTAGE PLUS





NOTE: OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT SPECIFICATION.

EXTERIOR MATERIALS - OUTDOOR WALL SCONCE

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