

SCOPE OF WORK
DEMOLISH
 EXISTING SINGLE FAMILY (SINGLE STORY RESIDENCE) 832 SF & ACCESSORY STRUCTURE / SHED 240 SF
NEW CONSTRUCTION
 NEW SINGLE FAMILY RESIDENCE 2,580 SF
 - ATTACHED ADU 385 SF, UNDER SEPARATE MINISTERIAL PERMIT
 - ATTACHED GARAGE 507 SF

PROJECT DIRECTORY

OWNER: ROBERTO FLAMENCO
 14341 BROWNS LN, LOS GATOS, CA 95032
 (831) 566-9040 | ROBEFLAMENCO@YAHOO.COM

ARCHITECT: GKW ARCHITECTS INC.
 710 E. MCGLINCY LN, STE 109, CAMPBELL, CA 95008
 (408) 315-2125 | GORDONKWONG@GKWARCHITECTS.COM

CIVIL ENGINEER: CIVIO CONSULTING | NGUYEN CAM
 1669 FLANIGAN DRIVE, SUITE E, SAN JOSE, CA 95121
 (408) 568-9212 | SNGCAM@YAHOO.COM

STRUCTURAL ENGINEER: WESLEY LIU, ENGINEERING, INC.
 7246 SHARON DRIVE #0, SAN JOSE, CA 95129
 (408) 973-1839 | WESLEYLIU@YAHOO.COM

TITLE 24 CONSULTANT: CARSTAIRS ENERGY INC. | TIMOTHY CARSTAIRS
 2238 BAYVIEW HEIGHTS DRIVE SUITE E, LOS OSOS, CA 93402
 (805) 904-9048 | TITLE24@YAHOO.COM

FIRE PROTECTION: SURE FIRE PROTECTION | TIM GERBER JR
 4141 PESTANA PLACE, FREMONT, CALIFORNIA 94538
 (510) 766-6679 | TIM@SUREFIREPROTECTION.COM

WATER: SAN JOSE WATER COMPANY

ELECTRICITY: PACIFIC GAS AND ELECTRIC

SANITATION: WEST VALLEY SANITATION DISTRICT

PROJECT INFORMATION

PROJECT LOCATION: 14341 BROWNS LN, LOS GATOS, CA 95032

APN: 409-14-035

ZONING: R-1.8

GENERAL PLAN: LOW DENSITY RESIDENTIAL

EXISTING USE: SINGLE FAMILY RESIDENTIAL

LOT SIZE: 9,502 SF

CONSTRUCTION TYPE: VB - MODIFIED SPRINKLERS
 (ENHANCED NFPA 13D SYSTEM WILL BE INSTALLED AS A DEFERRED SUBMITTAL)

MAX. HEIGHT: 30 FT
 PROPOSED HEIGHT 28 FT 6.9 IN

MAX. LOT COVERAGE: 40%
 (P) LOT COVERAGE: 2.018 / 9,502 = 0.212
 21.2 % < 40% (OK) (SEE A103 FOR DETAILED BREAKDOWN)

MAX. F.A.R.: 0.31 FOR RESIDENCE (PER LOS GATOS MUNI CODE SEC. 29.40.075)
 0.10 FOR ADU (PER SEC. 29.10.320)
 0.087 FOR GARAGE (PER SEC. 29.40.075)

SETBACKS:
 FRONT: 25 FT
 REAR: 20 FT
 SIDE: 8 FT

FLOOR AREA BREAKDOWN:
EXISTING (SINGLE STORY)
 (E) RESIDENCE: 832 SF
 (E) SHED: 240 SF

PROPOSED (SEE A104 FOR DETAILED FLOOR AREA BREAKDOWN)
 (P) RESIDENCE: 1,039 SF
 ADU: 385 SF
 2ND FLOOR: 1,541 SF
 (P) GARAGE: 507 SF

FAR CALCULATIONS
 MAX FAR, PRIMARY HOUSE = 0.31 x 9,502 = 2,946 SF
 MAX DISCOUNTED FAR, ADU = 0.10 x 9,502 = 950 SF
 MAX FAR, GARAGE = 0.087 x 9,502 = 827 SF
 (P) PRIMARY HOUSE = 2,580 SF < 2,946 SF (OK)
 (P) ADU = 385 SF < 950 SF (OK)
 (P) GARAGE = 507 SF < 827 SF (OK)

TABLE OF PROPOSED PERVIOUS AND IMPERVIOUS

TOTAL SITE AREA 9,502 SF	TOTAL SITE AREA DISTURBED= 9,502 SF			TOTAL AREA POST-PROJECT (SF)
	EXISTING AREA (SF)	PROPOSED AREA (SF)	REPLACED NEW	
IMPERVIOUS AREA	3,069	2,896	0	2,896
TTL NEW & REPLACED IMPERVIOUS AREA			2,896	
PERVIOUS AREA	6,433	6,433	173	6,606

TABLE OF BUILDING DISTANCES FROM PROPERTY LINE

	FRONT - EAST	RIGHT - NORTH	LEFT - SOUTH	REAR - WEST
EXISTING - BUILDING SETBACK	39' - 4 1/2"	63' - 2"	15' - 10"	12' - 6"
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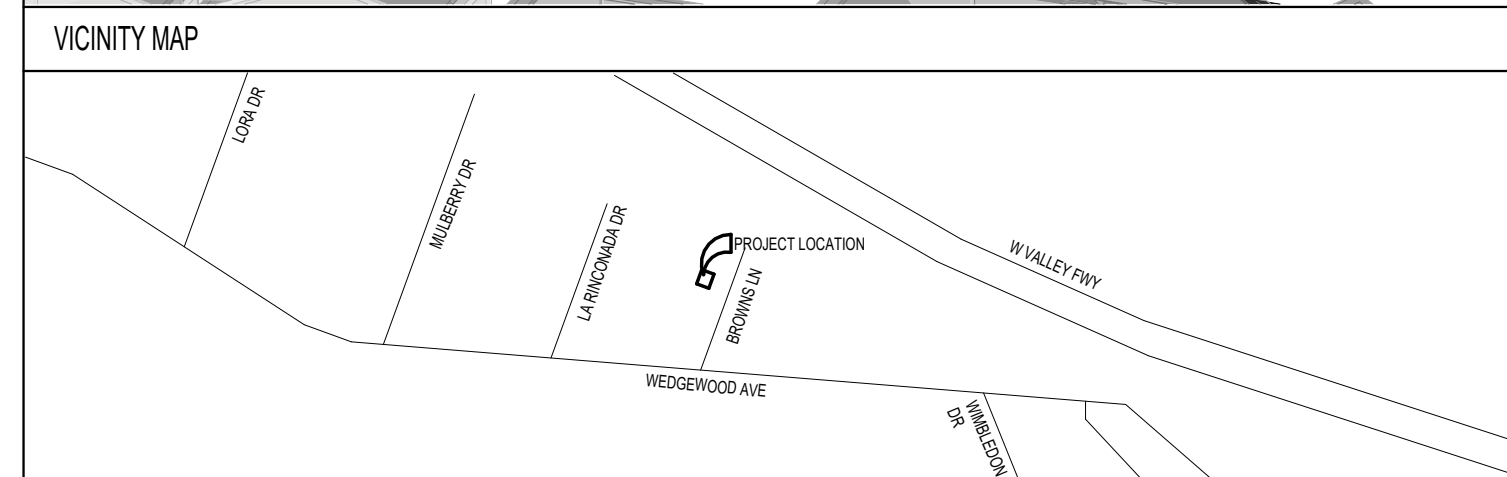
SITE PLAN & PUBLIC WORK NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION. UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR SHALL SCRAPE ALL SMOKE OR FIRE DAMAGED MEMBERS CLEAN. ANY FRAMING MEMBERS THAT LOSE MORE THAN 1/16" OF MATERIAL PER SURFACE MUST BE REPLACED OR REPAIRED. SMOKE DAMAGED MEMBERS MUST BE CLEANED AND SEALED.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
- PER CGSBC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGSBC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
- TOWN OF LOS GATOS MUNICIPAL CODE
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY
 THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE



SHEET INDEX

Sheet Number	Sheet Name
General	
G000	General, Project Info & Site Plan, Proposed
G001	General, Notes & Site Plan, Existing
G002	General, Green Building Checklist 1
G003	General, Green Building Checklist 2
G004	General, Enlarged Site & Privacy Plan, Proposed
G005	General, Fire Analysis, Fire Flow Letter & AMMR
G006	General, Streetscape & Shadow / Sun Study
Survey	
S1	Survey, Boundary & Topographic Map
Civil	
C1	Civil, Town Notes, General Notes, Legend & Abbreviations
C2	Civil, Blueprint for a Clean Bay
C3	Civil, Demolition Plan
C4	Civil, Site Plan
C5	Civil, Grading & Drainage Plan
C6	Civil, Building Cross Sections
C7	Civil, Utility Plan
C8	Civil, Erosion Control Plan
C9	Civil, Erosion Control Details
C10	Civil, Construction Management Plan
Architecture	
A100	Architectural, Floor Plan & Existing Conditions
A101	Architectural, 1st Floor Plan, Proposed
A102	Architectural, 2nd Floor Plan, Proposed
A103	Architectural, Roof Plan, Existing & Proposed, & Area Diagram
A200	Architectural, Elevations, Existing & Proposed
A300	Architectural, Sections, Proposed
A400	Architectural, Exterior Material Specifications

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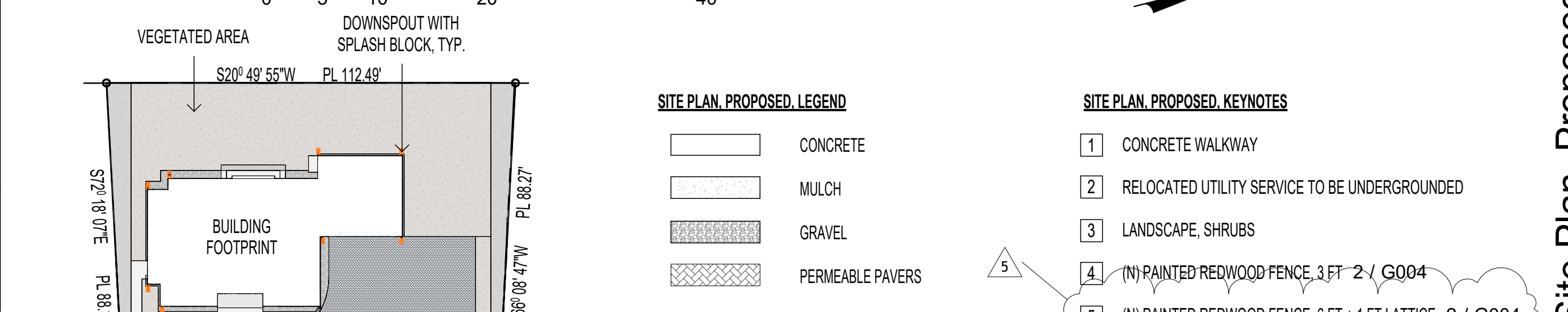
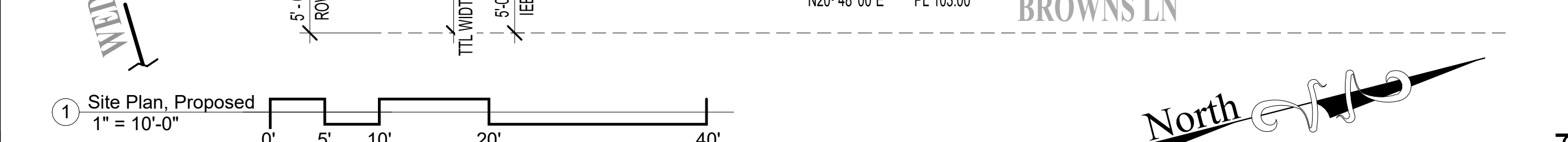
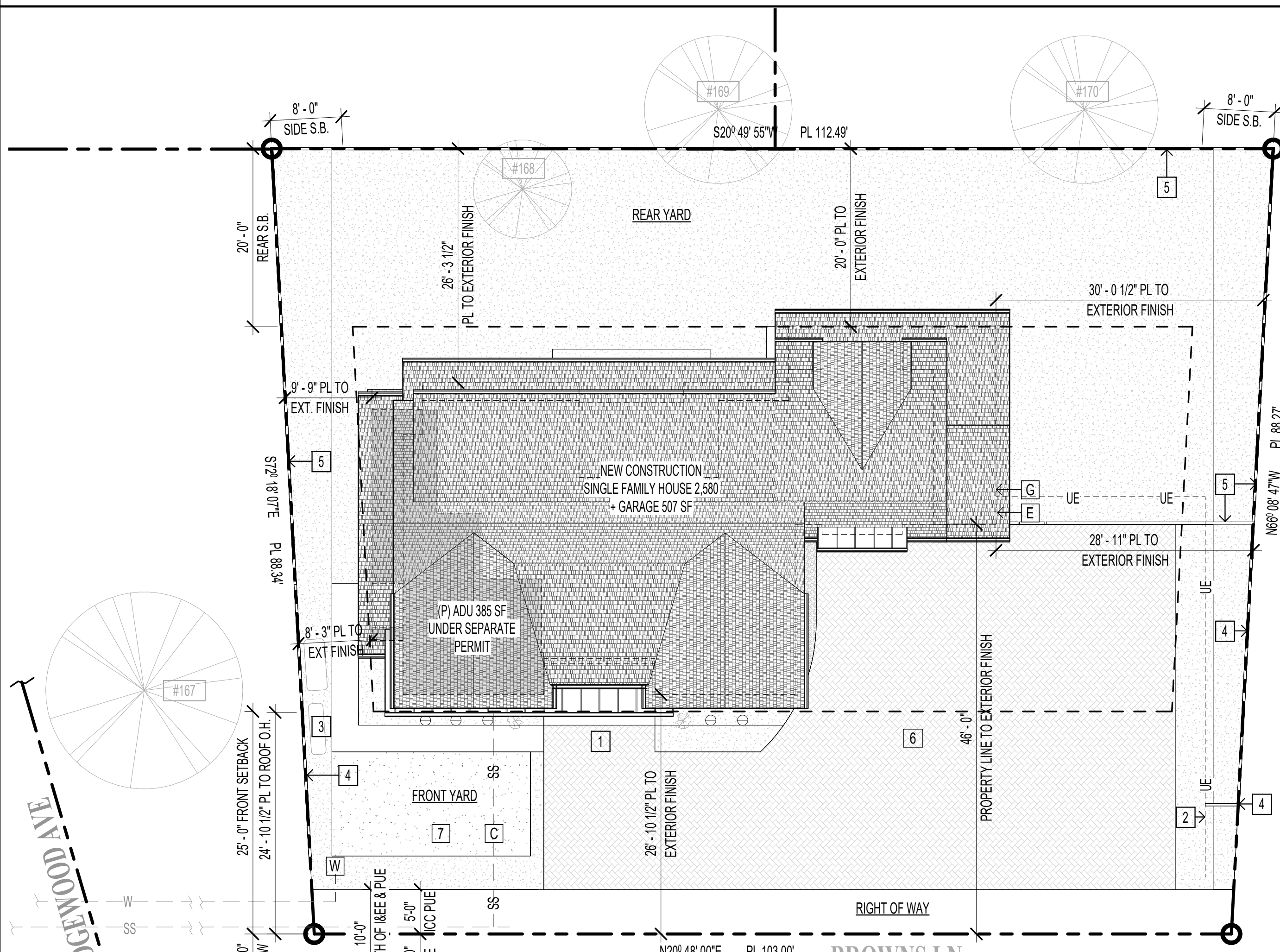
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FLAMENCO-MENDEZ RESIDENCE

LOS GATOS CALIFORNIA

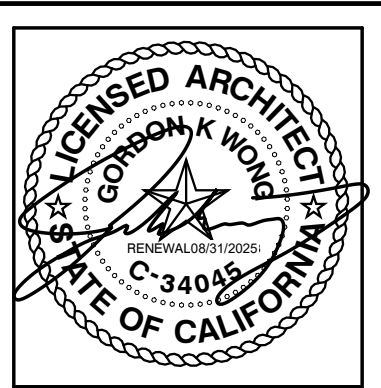


GENERAL NOTES

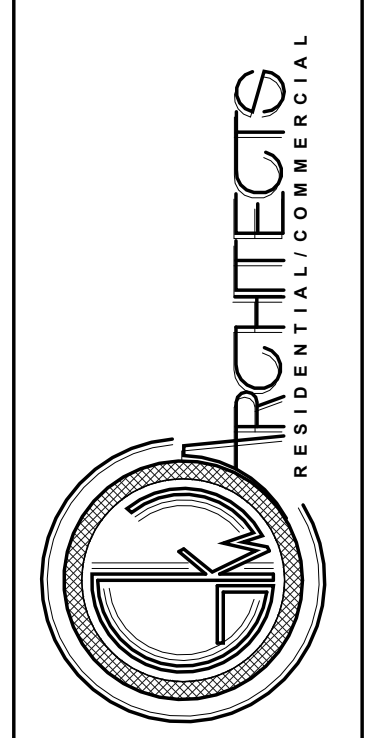
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITIES, SITE CONDITIONS, DIMENSIONS, STRUCTURES PRIOR TO START OF WORK IN EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT IN WRITING PRIOR TO STARTING EACH PORTION OF THE WORK.
- FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION AT A MINIMUM OF 5% FOR AT LEAST 10 FEET FROM THE STRUCTURE. CBC 1804.4
- NO LANDSCAPING WILL BE INCLUDED AND FRONT YARD WILL BE MULCHED PRIOR TO BUILDING FINAL
- PER THE TOWN'S UNDERGROUNDING REQUIREMENTS, ALL NEW, RELOCATED, OR TEMPORARILY REMOVED UTILITY SERVICES, INCLUDING TELEPHONE, ELECTRIC POWER AND ALL OTHER COMMUNICATIONS LINES SHALL BE INSTALLED UNDERGROUND. PLEASE NOTE THIS ON ALL APPLICABLE SHEETS AND CALLOUT '1N' UNDERGROUND ELECTRICAL LINE TO BE INSTALLED' ON ALL SITE PLANS AND DRAWINGS THAT SHOW UTILITIES
- CONTRACTOR TO FIELD VERIFY RIM AND INVERT ELEVATIONS FOR ALL EXISTING AND PROPOSED GRAVITY STRUCTURES, AND EXISTING AND PROPOSED STORM DRAIN AND SANITARY SEWER PIPE DIAMETER, MATERIAL AND SLOPE.

TABLE OF EXISTING TREES

	I.D. NUMBER	TRUNK DIA. (IN)	CANOPY DIA. (FT)	CONDITION	STATUS	LOCATION
COAST REDWOOD (SEQUOIA SEMPERVIRENS)	167	30	35	FAIR	PROTECTED	ADJ. PROP
PLUM (PRUNUS DOMESTICA)	168	10	20	GOOD	EXEMPT	SUBJECT PROP
COAST REDWOOD (SEQUOIA SEMPERVIRENS)	169	20	20	FAIR	PROTECTED	ADJ. PROP
PECAN (CARYA ILLINOENSIS)	170	8, 8	30	FAIR	EXEMPT	ADJ. PROP



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Flamenco Residence
 14341 Browns Lane
 Los Gatos, CA 95032

Revision Schedule

Number	Description	Date
1	Planning	2024.02.13
2	Staff Tech Rev #1	2024.07.12
3	Staff Tech Rev #2	2024.11.05
4	Staff Tech Rev #3	2025.01.08
5	Staff Tech Rev #4	2025.02.06

General, Project Info & Site Plan, Proposed

G000

SCALE AS INDICATED

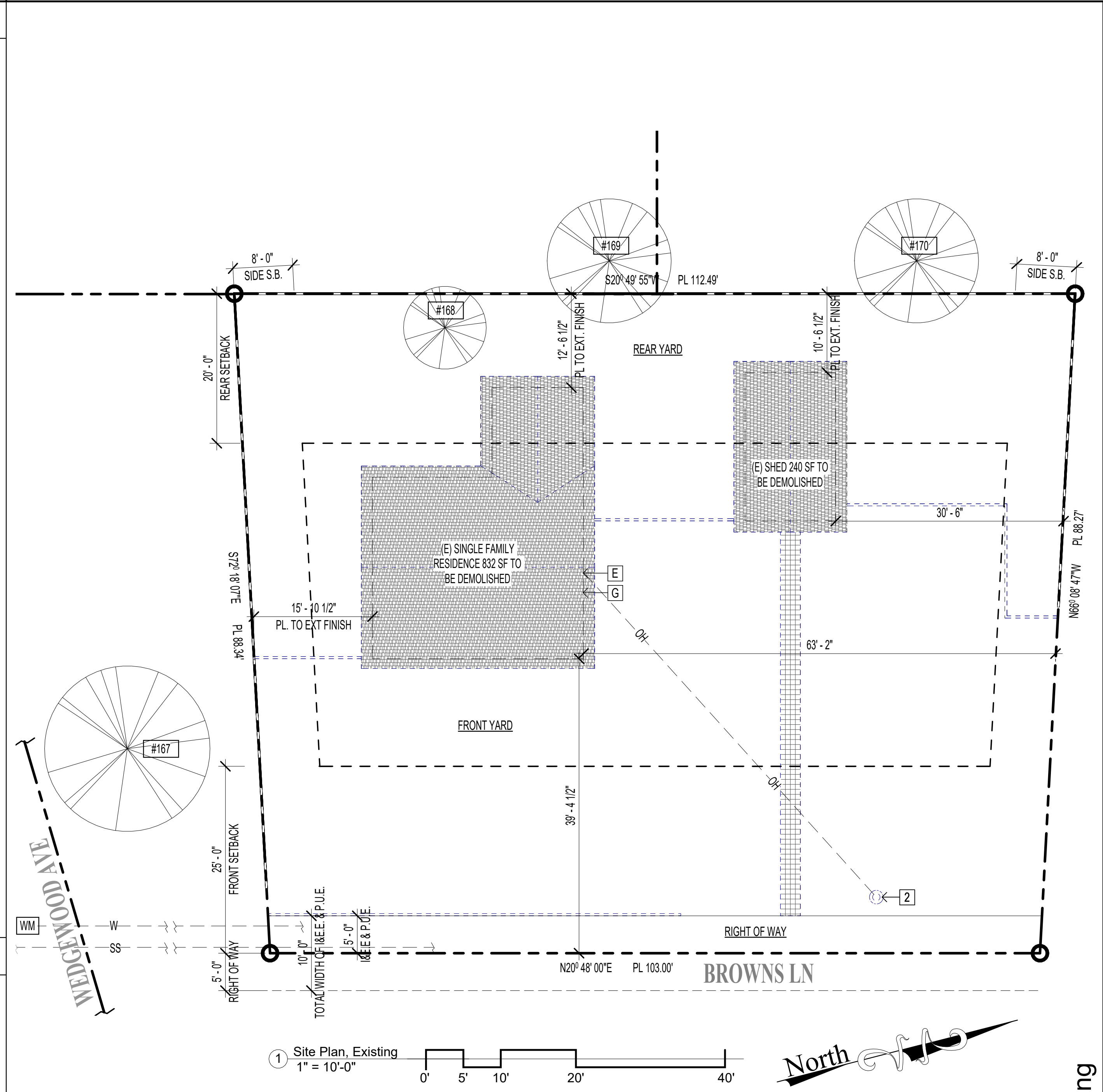
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ABBREVIATIONS		GENERAL NOTES	
A	ABOVE	N	NEW
ABV	ASPHALT CONCRETE	(N)	NORTH
AC	AREA DRAIN	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NOM	NOMINAL
AFF	ABOVE FINISH FLOOR	NP	NO PARKING
ASPH	ASPHALT	NR	NON-RATED
		NTS	NOT TO SCALE
B	BITUMINOUS	O	OVERALL
BITUM	BACKING	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER/ DIMENSION
BM	BEAM	ODCI	OWNER FURNISHED CONTRACTOR
BR	BACKER ROD	OFOI	OWNER FURNISHED OWNER INSTALL
BUR	BUILT-UP-ROOF		
BDR	BEDROOM		
BW	BOTTOM OF WALL		
C	CABINET	P	PENETRATION
CAB	CATCH BASIN	PERF	PERFORATED
CB	CEMENT	PERP	PERPENDICULAR
CEM	CUBIC FEET	PL	PLATE
CF	CONTROL JOINT	PL	PROPERTY LINE
CJ	CLOSET	PLAS	PLASTER
CL	CENTERLINE	PLBG	PLUMBING
CLG	CEILING	PLWD	PLYWOOD
CONC	CONCRETE	PNL	PANEL
CPT	CARPET	POC	POINT OF CONNECTION
		PP	PERMEABLE PAVERS
D	DECK	PREFAB	PREFABRICATED
DR	DRAIN	PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PTD	PAINTED
		PTR	PRESSURE TREATED
		PTRWDQ	PRESSURE TREATED WOOD
E	EXISTING	Q	QUANTITY
(E)	EAST	QTY	
ELEC	ELECTRICAL		
EP	ELECTRICAL PANEL		
EXT	EXTERIOR		
F	FOUNDATION	R	REVEAL OR RISER
FDN	FIRE HYDRANT	RAD	RADIUS
FH	FINISH	RCP	REINFORCED CONCRETE PIPE
FIN	FINISH FLOOR	RD	ROOF DRAIN
FF	FLOW LINE	REF	REFERENCE
FL	FLUORESCENT	REFL	REFLECTED
FLUOR	FACE OF CONCRETE	REFR	REFRIGERATOR
FOC	FACE OF FINISH	RET	RETAINING OR RETARDANT
FOF	FACE OF STUD	REG	REGISTER
FOS	FIRE RATED	RO	ROUGH OPENING
FR	FLOOR SINK	S	SEE CIVIL DRAWINGS
FS	FIRE SPRINKLER	SCD	SCHEDULE
FSL	FOOTING	SCHD	STORM DRAIN
FTG	FURRING	SD	SECTION
FJRR	GALVANIZED	SECT	SEE ELECTRICAL DRAWINGS
G	GENERAL CONTRACTOR	SED	SQUARE FOOT OR FEET
GALV	GLASS	SF	SHOWER
GC	GROUND	SHR	SHEET
GL	GYPSON WALL BOARD	SHT	SHEATHING
GND	GYSUM	SHTG	SIMILAR
GWB		SJ	SEISMIC JOINT
GYP		SL	SEALANT
		SLD	SEE LANDSCAPE DRAWINGS
H	HARDBOARD	SM	SHEET METAL
HDBD	HEADER	SMD	SEE MECHANICAL DRAWINGS
HDR	HARDWARE	SOF	SOFFIT
HDWR	HARDWOOD	SOG	SLAB ON GRADE
HDWD	HEATER	SPD	SEE PLUMBING DRAWINGS
HTR	HEATING, VENT. & A.C.	SPEC/S	SPECIFICATION
HVAC		SQ	SQUARE
		SS	SANITARY SEWER
I	INCH	SSD	SEE STRUCTURAL DRAWINGS
IN	INCANDESCENT	STC	SOUND TRANSMISSION COEFFICIENT
INCAND	INSULATION	STD	STANDARD
INSUL	INTERIOR	STL	STEEL
INT	INVERT	STOR	STORAGE
INV		STR	STRUCTURAL
		SY	SQUARE YARD
J	JOIST	T	TOP AND BOTTOM
JST	JOINT	T&G	TONGUE AND GROOVE
JT		TC	TOP OF CURB
K	KIPS	TOC	TOP OF CONCRETE
KIT	KICK PLATE	TOP	TOP OF PAVING
KP		TOS	TOP OF STEEL
		TRD	TREAD
L	LOCATION	TW	TOP OF WALL
LOC	LIGHT	U	UNDERWRITERS LABORATORIES
LT		UL	UTILITIES
M	MACHINE BOLT	V	VITREOUS CLAY PIPE
MB	MEDIUM DENSITY FIBERBOARD	VCP	VERTICAL
MDF	MECHANICAL	VERT	VENT THROUGH ROOF
MECH	MEMBRANE	VTR	
MEMB	METAL	W	WEST OR WIDTH
MET	MANHOLE	W	WATER CLOSET
MH	MISCELLANEOUS	WC	WOOD
MSC	MOUNTED	WD	WINDOW
MTD	METAL	WDW	WITHOUT
MTL		W/O	WATER PROOF
		WP	WORKING POINT
		WPT	WATER RESISTANT
		WR	

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GWK ARCHITECTS - GORDON WONG, ARCHITECT, THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- ANY EXISTING TO REMAIN SHALL BE IN GOOD CONDITION PRIOR TO THE PLANNING FINAL INSPECTION.
- NEW LANDSCAPING SHALL COMPLY WITH STATE WATER EFFICIENCY STANDARDS.

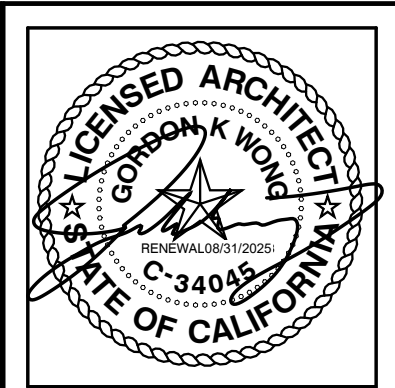
GRAPHIC SYMBOLS

	CONCRETE PAD		BUILDING SECTION
	DETAIL REFERENCE		APPROXIMATE LINE OF WORK
	INTERIOR ELEVATION		WINDOW TYPE
	WALL TYPE		REVISION
	KEY NOTE		DATUM REFERENCE
	DOOR TYPE		REMOVE
	ROOM TAG		

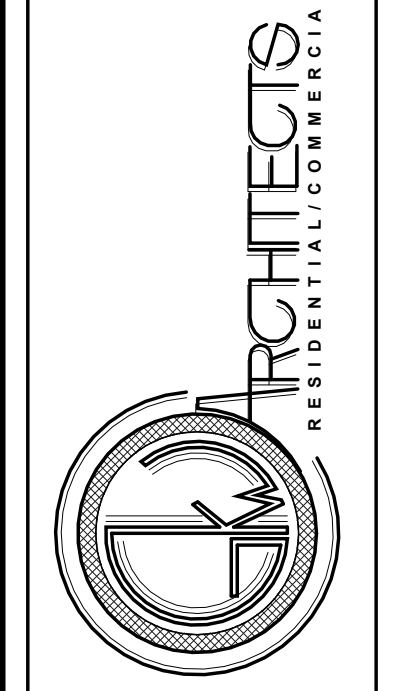


- SITE PLAN, EXISTING, KEYNOTES**
- CONCRETE
 - GRASS
 - PROPERTY LINE
 - BUILDING FOOTPRINT
 - SETBACK
 - CENTERLINE
 - OVERHEAD ELECTRICAL
 - STRUCTURES TO BE DEMOLISHED
- SITE PLAN, EXISTING, KEYNOTES**
- CONCRETE WALKWAY
 - UTILITY POLE
 - GAS METER, SERVICE TO BE RELOCATED
 - ELECTRICAL PANEL, TO BE UPGRADED
- NOTES**
- CONTRACTOR SHALL FIELD VERIFY LOCATIONS OF UTILITIES, SITE CONDITIONS, DIMENSIONS, STRUCTURES PRIOR TO START OF WORK. IN EVENT OF ANY DISCREPANCIES OR POTENTIAL CONFLICTS, NOTIFY THE ARCHITECT IN WRITING PRIOR TO STARTING EACH PORTION OF THE WORK.

TABLE OF EXISTING TREES						
	I.D. NUMBER	TRUNK DIA. (IN)	CANOPY DIA. (FT)	CONDITION	STATUS	LOCATION
COAST REDWOOD (SEQUOIA SEMPERVIRENS)	167	30	35	FAIR	PROTECTED	ADJ. PROP
PLUM (PRUNUS DOMESTICA)	168	10	20	GOOD	EXEMPT	SUBJECT PROP
COAST REDWOOD (SEQUOIA SEMPERVIRENS)	169	20	20	FAIR	PROTECTED	ADJ. PROP
PECAN (CARYA ILLINOINENSIS)	170	8.8	30	FAIR	EXEMPT	ADJ. PROP



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 710E MCPHILLY LANE SUITE 109
 CAMPBELL, CA 95121
 (408) 796-1845 LIC# 34045
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Flamenco Residence
 14341 Browns Lane
 Los Gatos, CA 95032

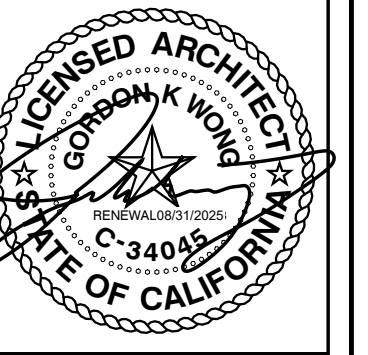
Revision Schedule		
Number	Description	Date
2	Staff Tech Rev #1	2024.07.12

General, Notes & Site Plan, Existing

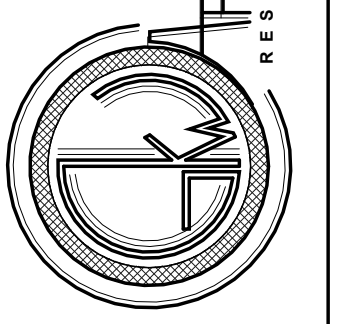
G001

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GORDON K WONG, ARCHITECT
 KEVIN YU, JOSHUA LIU
 ARCHITECTS
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 (408) 796-1845 LIC# 34043
 (408) 796-1845
 ARCHITECTS
 RESIDENTIAL / COMMERCIAL
 GKW Architects.com



Flamenco Residence
14341 Browns Lane
 Los Gatos, CA 95032

General, Enlarged Site & Privacy Plan, Proposed

Revision Schedule		
Number	Description	Date
1	Planning	2024.02.13
3	Staff Tech Rev #2	2024.11.05
4	Staff Tech Rev #3	2025.01.06
5	Staff Tech Rev #4	2025.02.05

General, Enlarged Site & Privacy Plan, Proposed

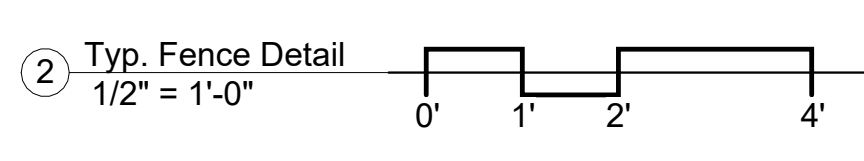
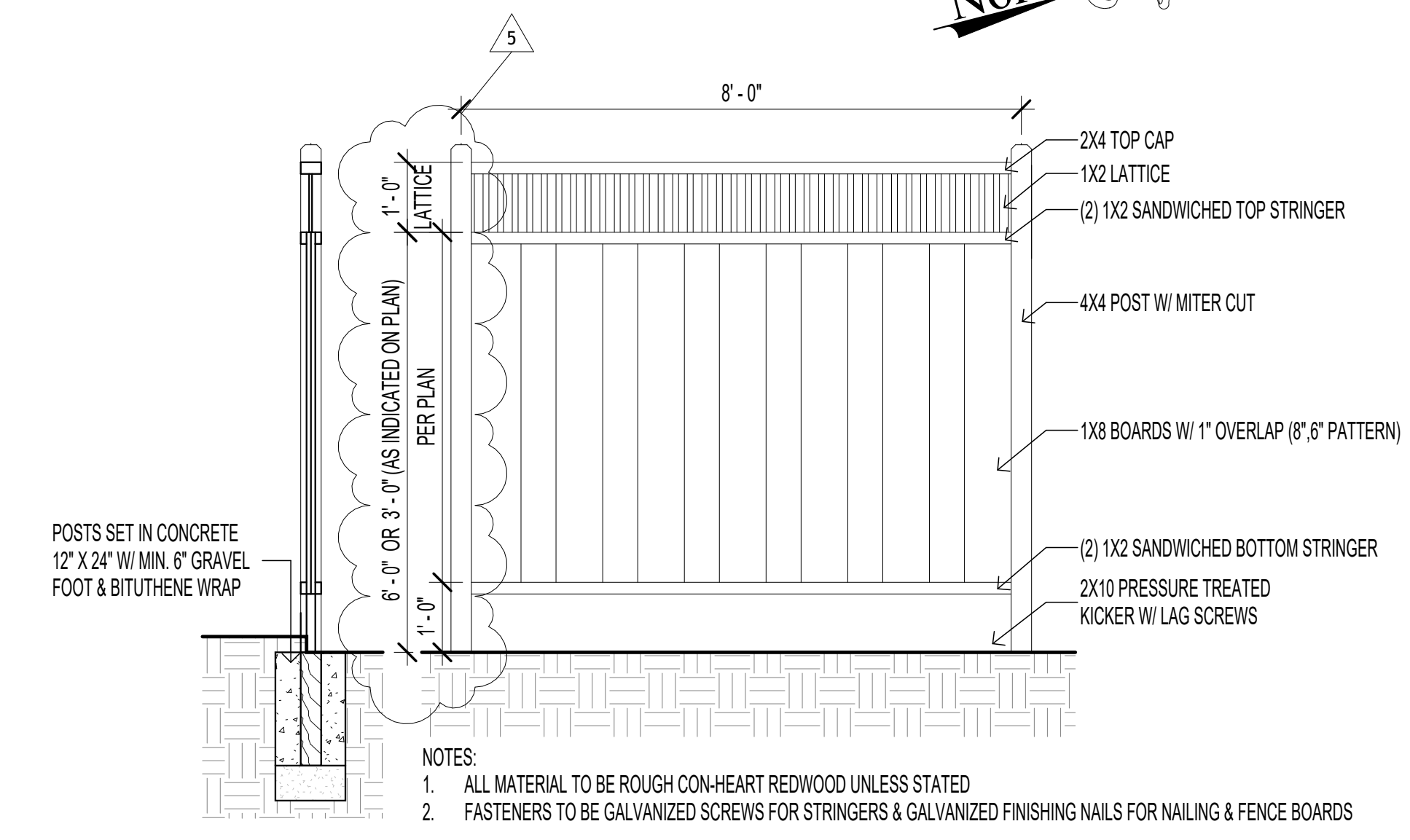
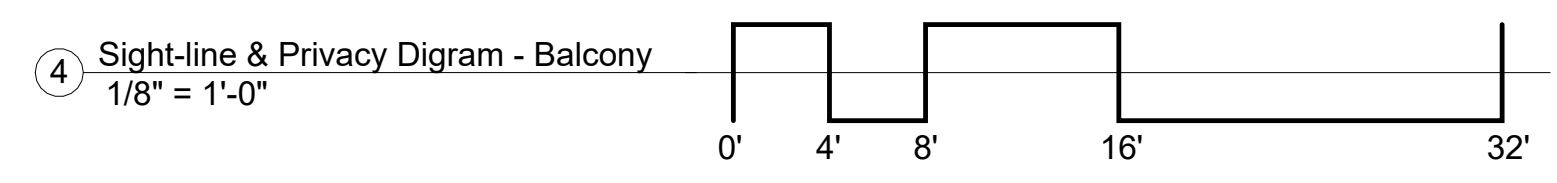
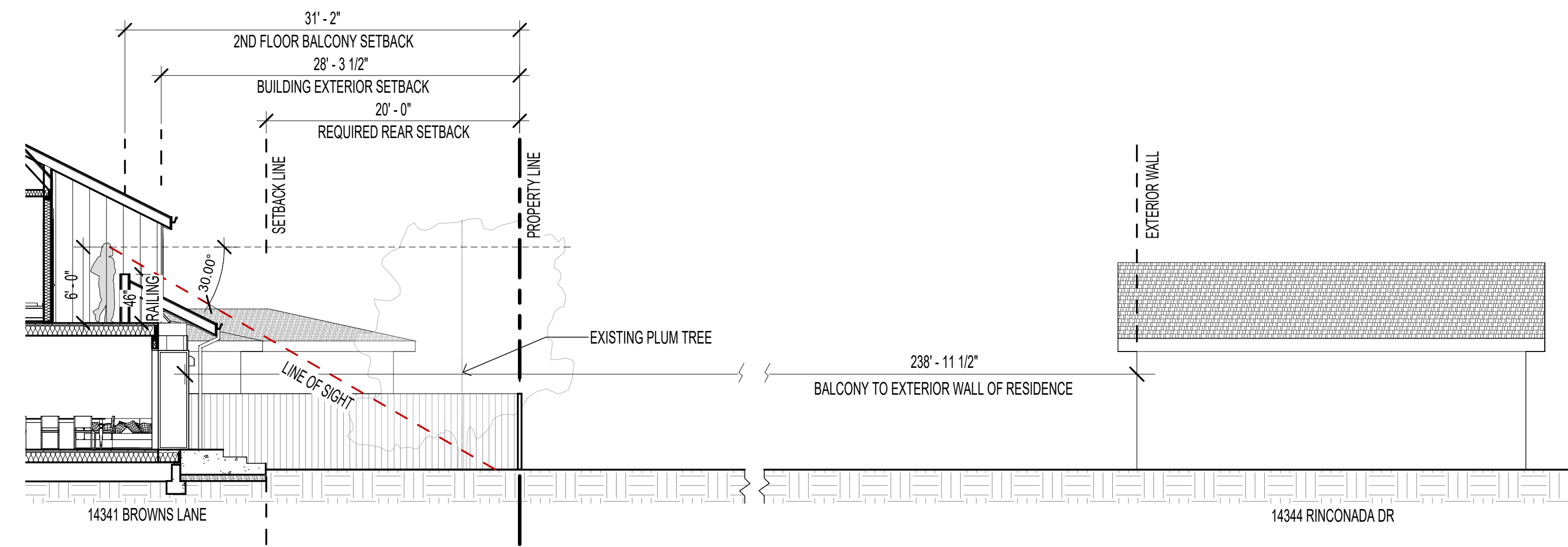
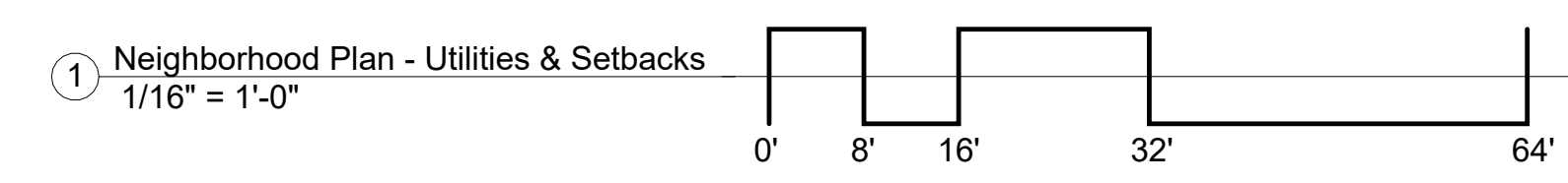
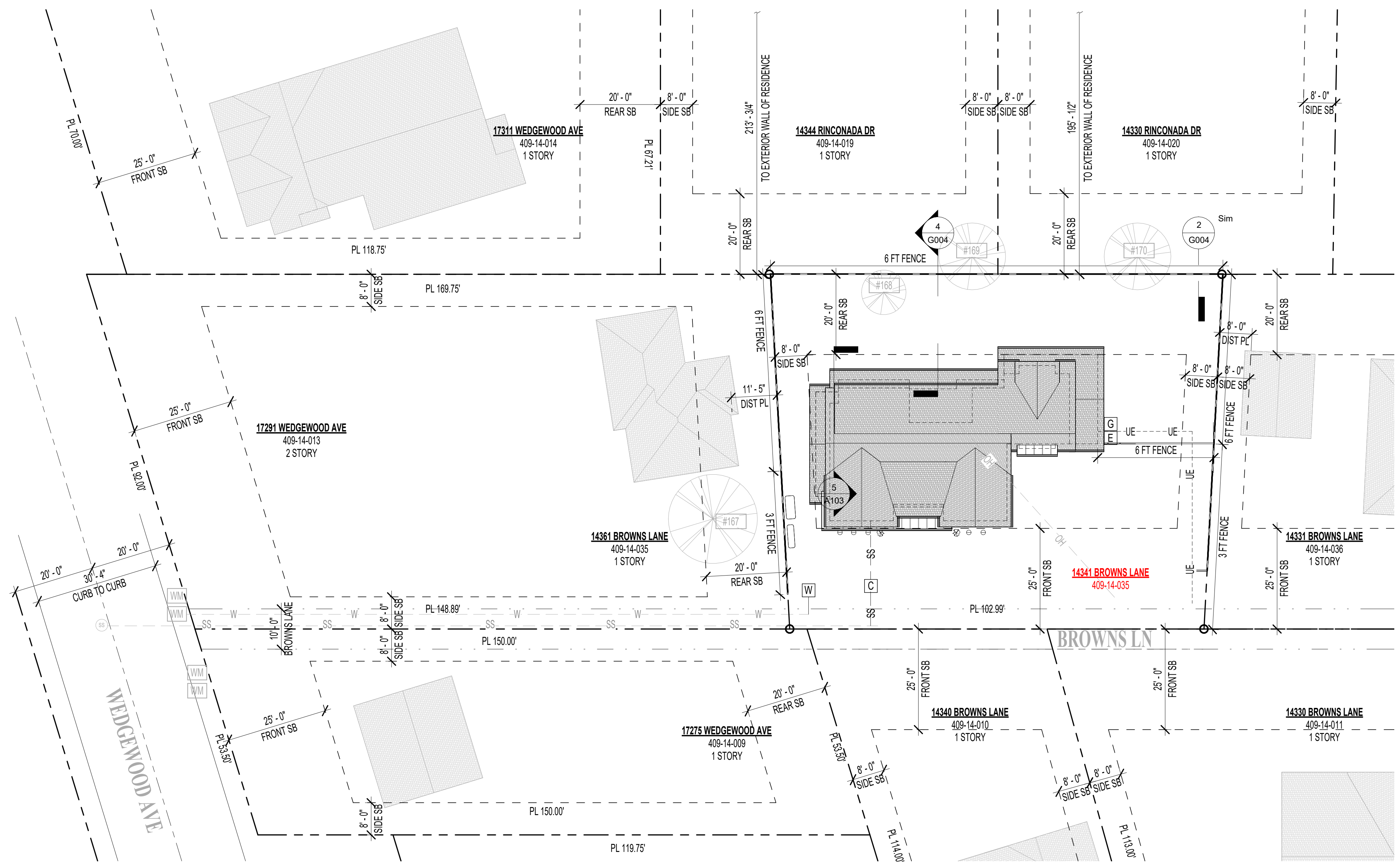
G004

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- ENLARGED SITE PLAN LEGEND**
- PROPERTY LINE
 - BUILDING FOOTPRINT
 - SETBACK
 - CENTERLINE
 - (P) UNDERGROUND UTILITIES
 - (E) WATER LINE
 - (E) SEWER LINE
 - (E) OVERHEAD LINE, TO BE REMOVED
 - (E) SEWER MANHOLE
 - (E) WATER METER, TO BE RELOCATED

- ENLARGED SITE PLAN KEYNOTES**
- [E] (N) ELECTRICAL PANEL, 200 AMP
 - [G] GAS METER, RELOCATED (TO BE CONFIRMED W/ BLDG DEPT.)
 - [W] RELOCATED WATER METER, REFER TO C4
 - [C] CLEANOUT, SEE CIVIL PLANS SHEET C7



- NOTES:
- ALL MATERIAL TO BE ROUGH CON-HEART REDWOOD UNLESS STATED
 - FASTENERS TO BE GALVANIZED SCREWS FOR STRINGERS & GALVANIZED FINISHING NAILS FOR NAILING & FENCE BOARDS



PLAN REVIEW COMMENTS

The scope of this project includes the following:
 Alternate Means/Methods Application - Proposed new 3,840 SF two-story single-family residence with attached garage and ADU.

Plan Status:
 The alternate means/methods request is **APPROVED** with the following conditions.

Discussion: This application proposes to mitigate non-conforming fire access. The existing fire access roadway is 10 feet wide.

In order to mitigate the hydrant distance, the applicant proposes the following:

- Design NFPA 13D sprinkler system to include the following enhancements:
 - a. Design sprinkler system hydraulics assuming 4 sprinkler simultaneous flow.
 - b. Design sprinkler system to include sprinkler coverage in attics, bathrooms, closets, and areas not otherwise requiring sprinklers, per NFPA 13D.
 - Install a conforming SCCFD Turnaround by using portions of the driveway and roadway.
- Proposals intend to offer code equivalence by:**
- The increased sprinkler design intends to provide additional fire control, therefore allowing more time for fire crews to respond and set up operations.
 - The increased sprinkler design intends to provide additional fire control, increase the time to flash over, allowing more time for fire crews to respond and set up operations.

- Review Comments:**
1. Make a note on building permit set cover sheet that an approved AMMR is included and modified sprinkler system will be installed.
 2. A copy of the Alternate Means/Methods application form and this comment letter, with approval signature shall be made part of the building permit drawing set, to be routed to Santa Clara County Fire Department for final approval.
 3. Fire apparatus turnaround shall remain unobstructed and unimpeded at all times.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance [CFC, Ch.1, 105.3.6].

CITY	PLANS	SPECS	NEW	RMOL	AD	OCCUPANCY	CONST. TYPE	ApplicationName	DATE	PAGE
I.G.A								Gkw Architects, Inc.	11/21/2024	1 OF 1
RECFLOOR	AREA	LOAD	PROJECT DESCRIPTION		PROJECT TYPE OR SYSTEM					
			Residential Construction		Application for Use of Alternate Materials					
NAME OF PROJECT		LOCATION								
SHR		14341 Browns Lane Los Gatos								
TABULAR FIRE FLOW		REDUCTION FOR FIRE SPRINKLERS		REQUIRED FIRE FLOW @ 20 PSI		BY				
						Ip, Kenry				

A California Fire Protection District serving Santa Clara County and the communities of Campbell, Cupertino, Los Altos, Los Altos Hills, Los Gatos, Monte Sereno, Saratoga and the surrounding unincorporated communities.

SJW SAN JOSE WATER

September 16, 2024

GKW Architects
 710 E. McGinley Ln, Ste 309
 Campbell, CA 95008

Reference: 14341 Browns Ln, Los Gatos, CA
 APN: 409-14-035

Dear Mr. Liu:

Per a request, we conducted a computer simulation to determine fire flow availability at the referenced location. The purpose of the simulation is to determine if 1,000 GPM is available. The table below gives the results of the computer simulation, which are valid for one year from the date of the simulation. Elevations are interpolated from United States Geological Survey contours.

Hyd. No.	Location	GPM	Static PSI	Residual PSI
C-0304	Wedgewood Ave, approx. 118' E. of Browns Ln.	1000	147	133

Date of Simulation: September 16, 2024

Determining the adequacy of fire protection from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service.

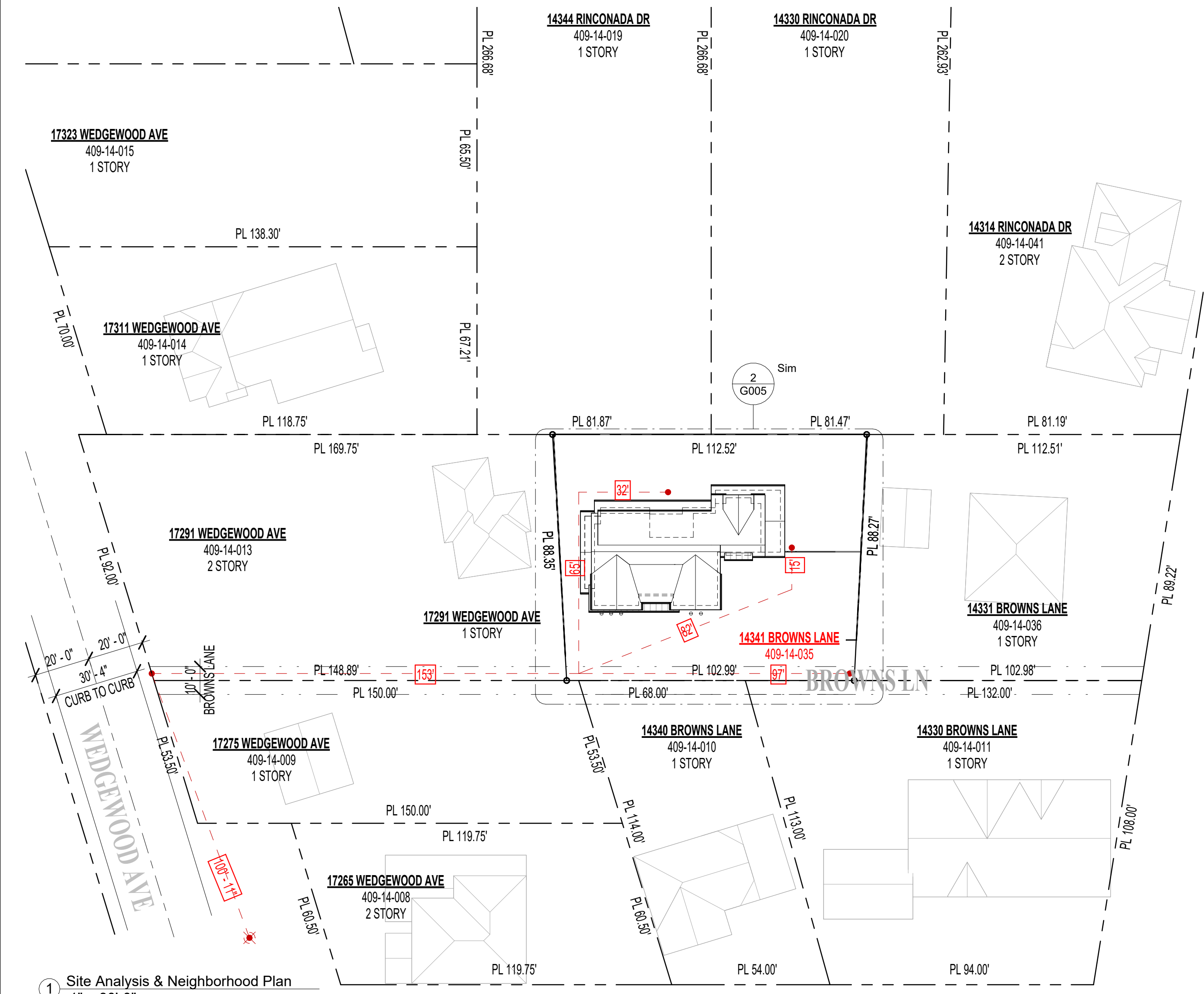
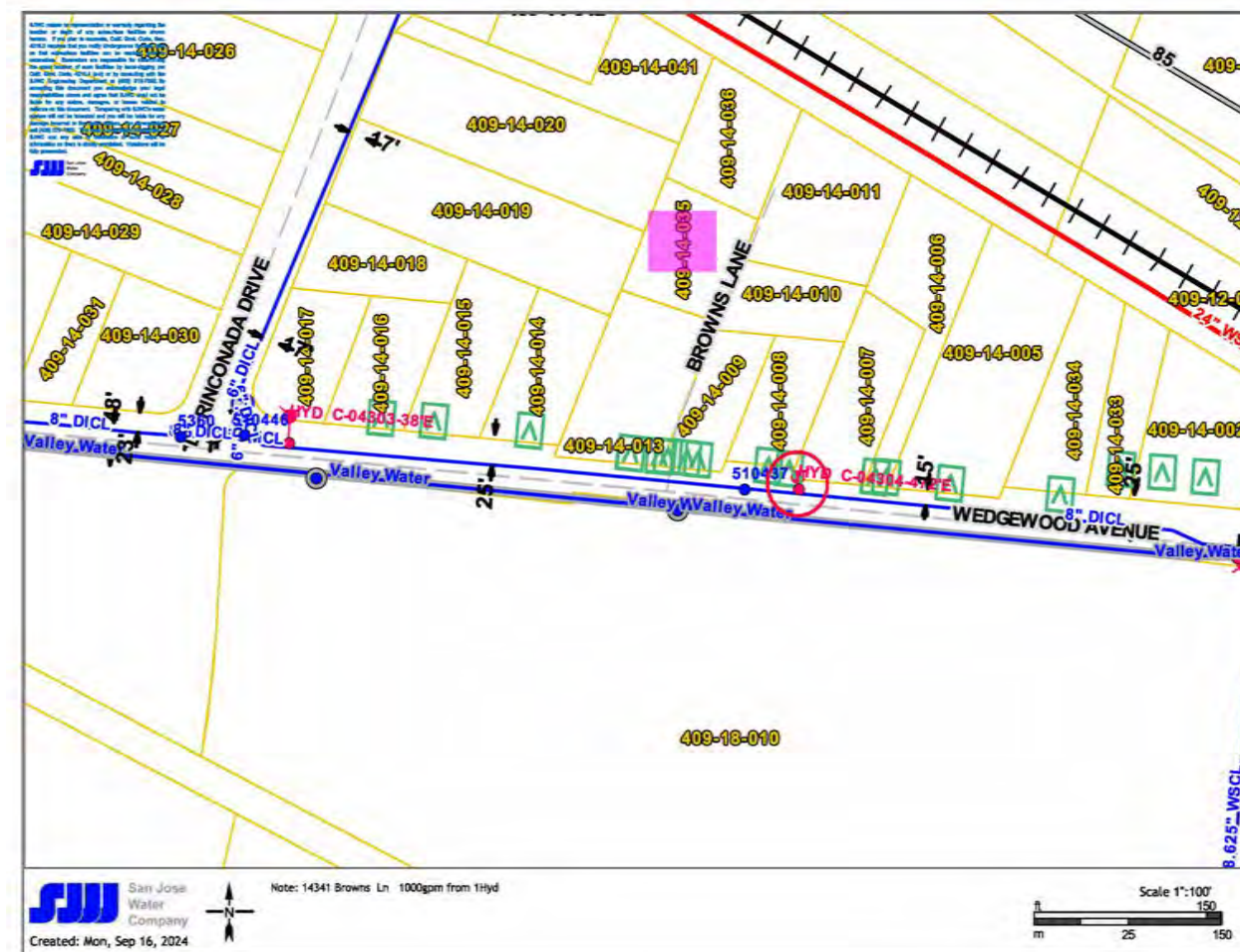
Sincerely,

Marty Henderson

Marty Henderson
 Engineering Support Supervisor

sjw.com
 2900 Julian Road
 San Jose, CA 95128
 Email: Engineering.Support@sjwater.com

Attachment: 14341 Browns Ln

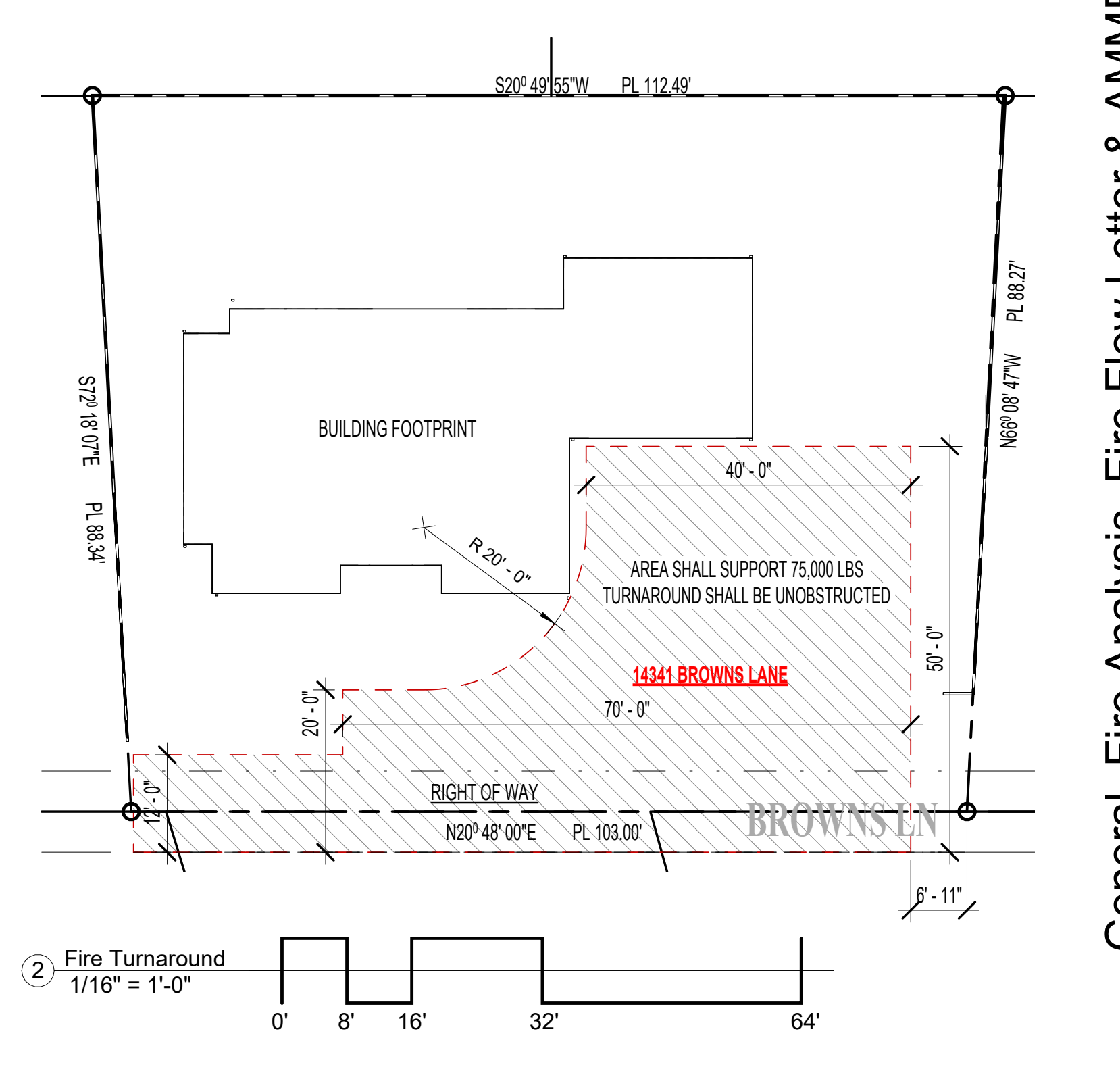


1 Site Analysis & Neighborhood Plan
 1" = 30'-0"

ADJACENT NEIGHBORHOOD ANALYSIS

ADDRESS	BUILDING HEIGHT (FT)	# OF STORIES	COMMENTS
14330 BROWNS	17 FT	1	
14331 BROWNS	16 FT	1	
14340 BROWNS	15 FT	1	
14341 BROWNS	28.7 FT	2	
17265 WEDGEWOOD	26.5 FT	2	
17275 WEDGEWOOD	14.5 FT	1	
17291 WEDGEWOOD	28 FT	2	
17311 WEDGEWOOD	21 FT	1	
14314 RINCONADA	29 FT	2	
14330 RINCONADA	16.5 FT	1	
14344 RINCONADA	16.5 FT	1	

*PROPERTIES IN GRAY ARE GIVEN LESS EMPHASIS DUE TO PROXIMITY TO SITE



2 Fire Turnaround
 1/16" = 1'-0"

Design Envelope ID: FC9E4A16-7E0B-499F-A45C-692EAC310930

Please complete the following information as applicable to support your request. Use additional paper if necessary.

1. Quality: Proposing an enhanced NFPA Fire Sprinkler System 13D, using a 4 head calculation and sprinkler heads will be installed in closets, attics, exterior patios, & bathrooms
2. Strength: 1 hour rated structure, enhanced 13D sprinklers, compliant fire turnaround, and near an existing fire hydrant
3. Effectiveness: Existing 10 ft wide Browns Lane cannot be widened therefore we are proposing an alternative means for fire resistance & safety
4. Fire Resistance: All exterior walls of the proposed structure are 1 hr fire rated, UL listed. We are using 5/8" gypsum & cementitious siding
5. Durability: Proposing a compliant fire turnaround per SCCFD Details and Specifications D-1. The turnaround area will support 75,000 lbs.
6. Safety: The nearest fire hydrant is located on Wedgewood Ave in front of 17265. The hydrant is located 250 ft from subject property and has a fire flow of 1000 GPM.

Additional evidence of proof: Please refer to sheets G000, G005, C4 of our submittal package to the Town

Applicant Signature: *Gordon Wong* Date: 11/19/2024

The above application has been reviewed and has been:

Signature: *Ip, Kenry* Date: 11/21/24

Building Official: _____ Date: _____

Design Envelope ID: FC9E4A16-7E0B-499F-A45C-692EAC310930

SANTA CLARA COUNTY FIRE DEPARTMENT

14700 Winchester Blvd., Los Gatos, CA 95032-1818
 (408) 378-4010 / (408) 378-9342 (fax) www.sccfd.org

APPLICATION FOR USE OF ALTERNATE MATERIALS, METHODS OF CONSTRUCTION, OR MODIFICATION OF CODE

Project Address: 14341 Browns Lane, Los Gatos CA 95032

Applicant's Name: GKW Architects, Inc (Architect - Gordon K Wong)

Applicant's Address: 710 E McGinley Lane, Suite 109, Campbell, CA 95008 Suite#109

Telephone: (408) 796 - 1845 Fax: _____

The applicant hereby requests the following:

Use of Alternate Materials or Method of Construction

Modification of Code

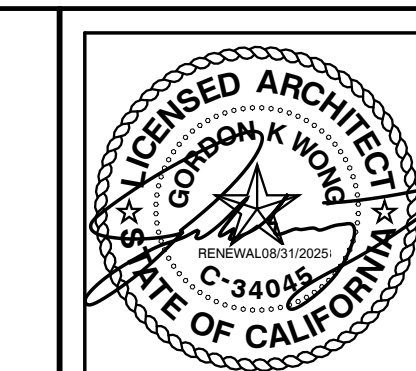
Codes Affected:

Building Code
 Fire Code
 Mechanical Code
 Electrical Code
 Other: _____

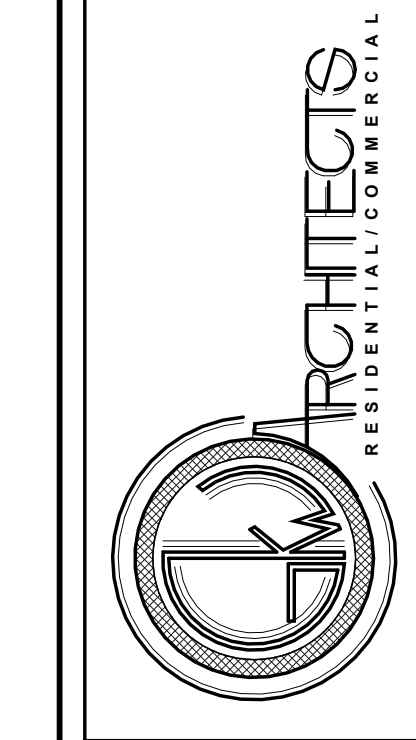
Specific section(s) of the code involved: Fire Apparatus Access Roadway, CFC Sec: 503

Brief description of the request:
 We are mitigating the non-conforming 10 foot fire access road by proposing a modified 13D sprinkler system

The Building and Fire Official must evaluate information that the material(s), method of work, and/or modification is equal to the intent of the code in strength, effect, fire-resistance, durability, safety, etc.



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 (408) 796-1845 LIC# 34045
 GKW Architects.com



Flamenco Residence
 14341 Browns Lane
 Los Gatos, CA 95032

Revision Schedule

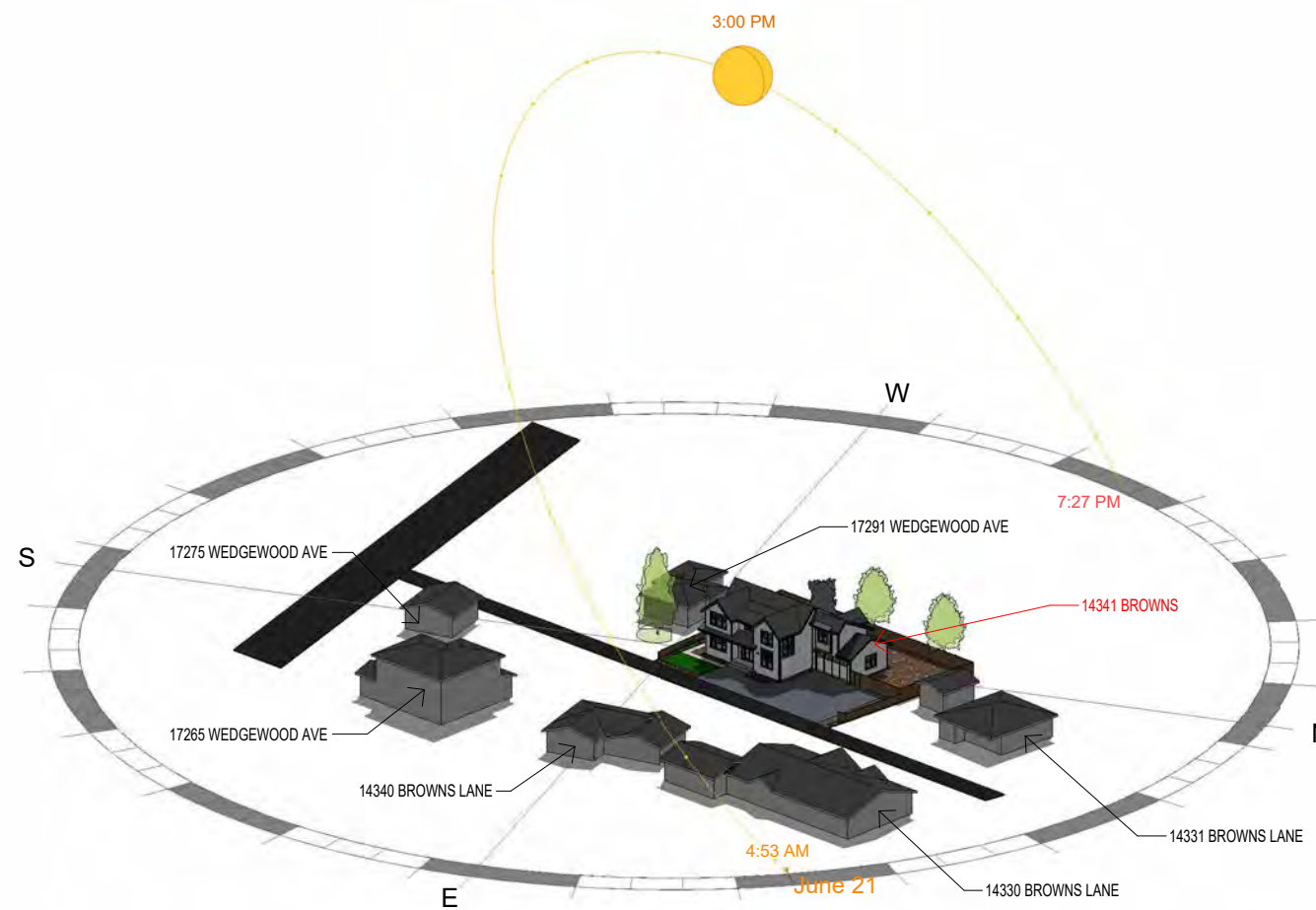
Number	Description	Date
1	Planning	2024.09.13
2	Staff Tech Rev #1	2024.07.12
3	Staff Tech Rev #2	2024.11.05

General, Fire Analysis, Fire Flow Letter & AMMR

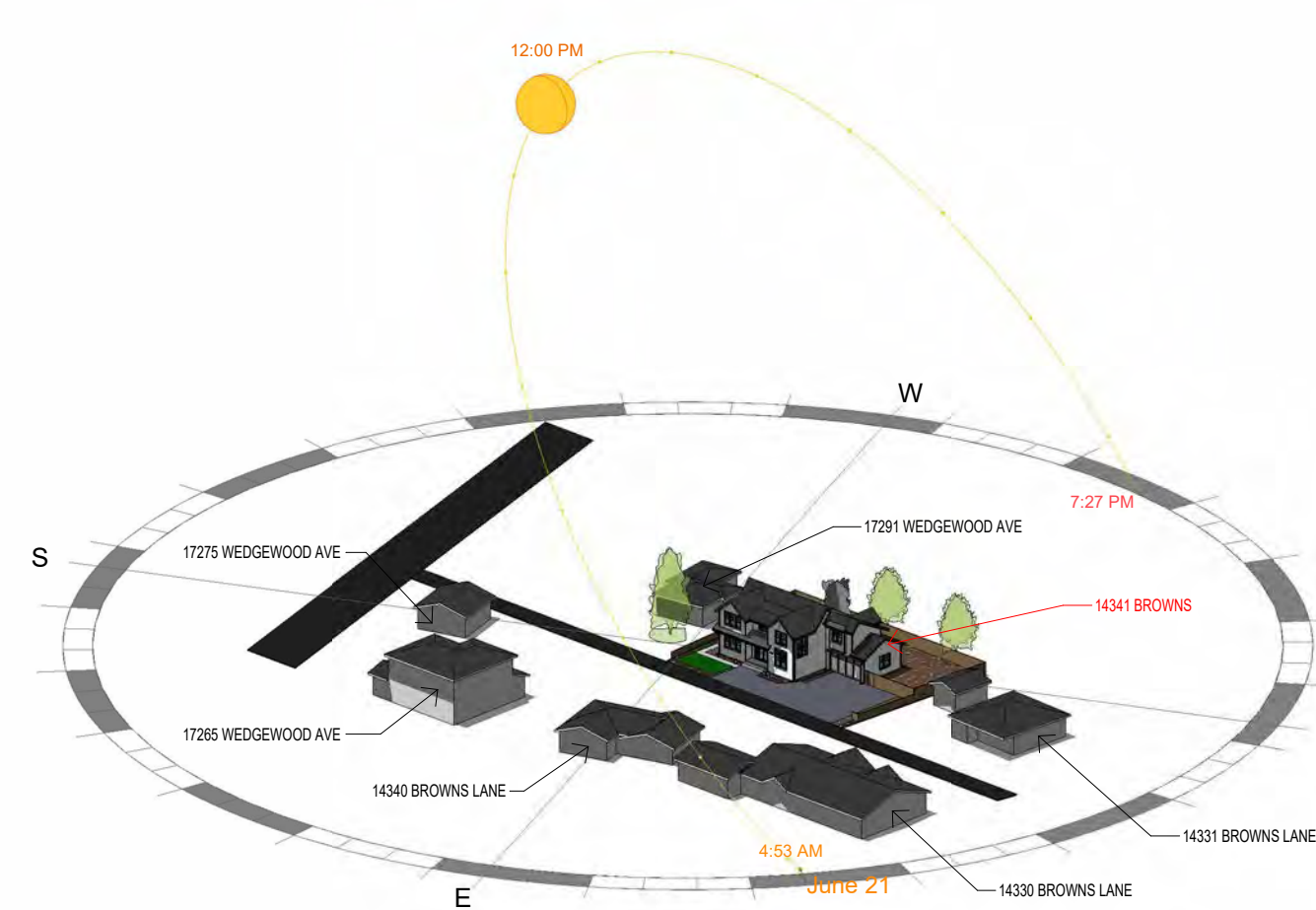
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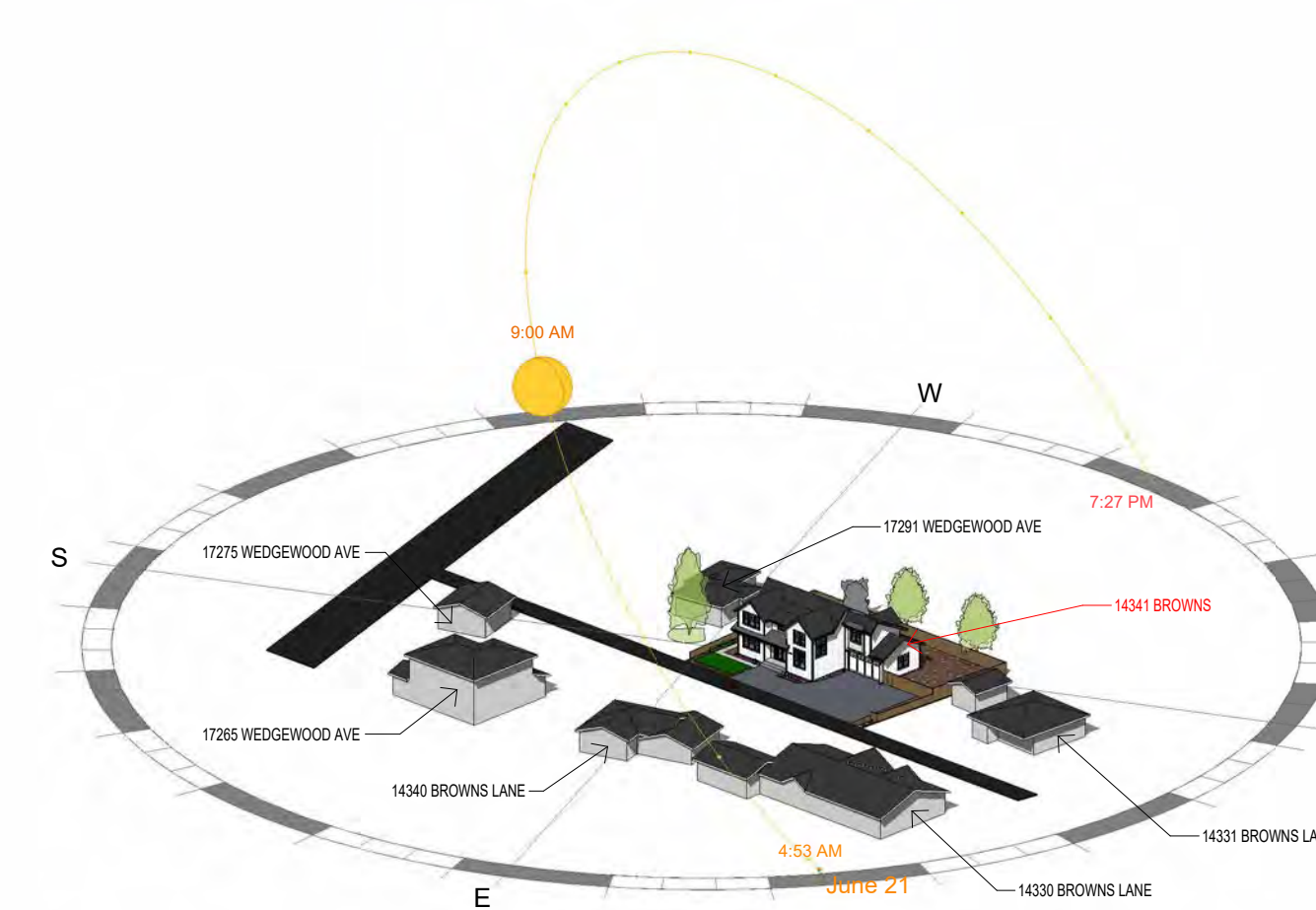
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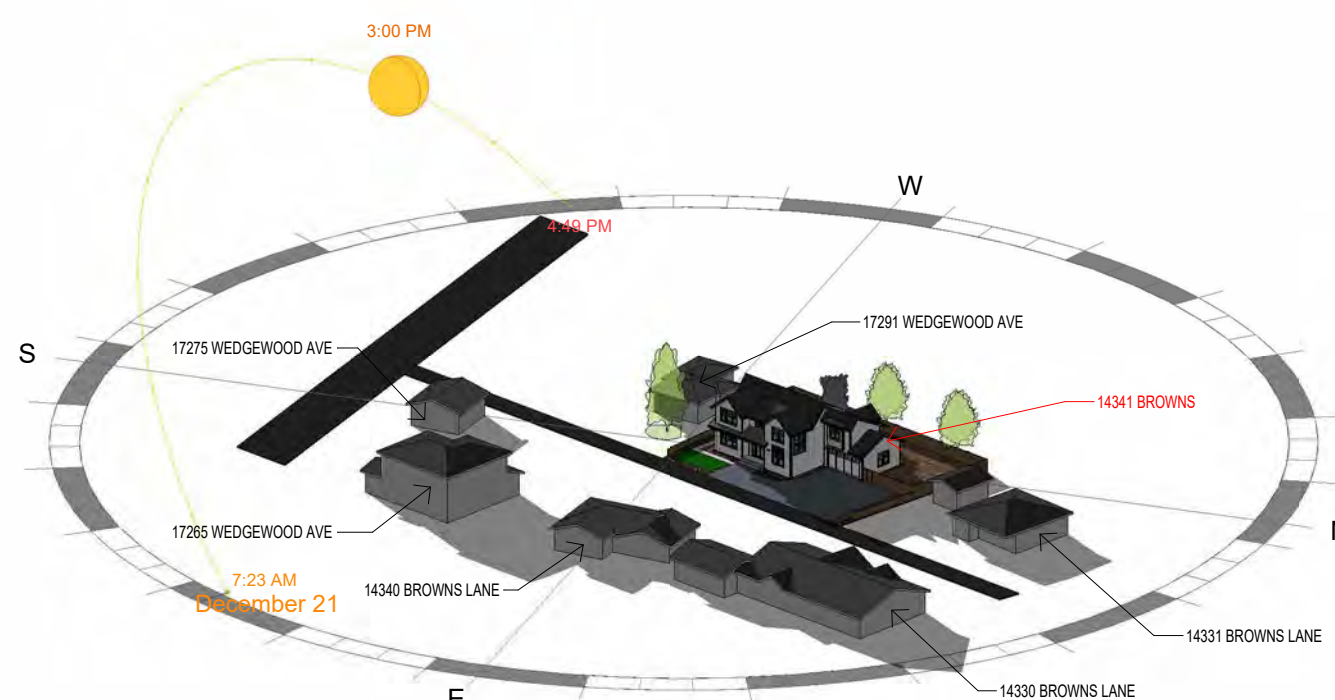
③ Summer Solstice Study, 3 PM



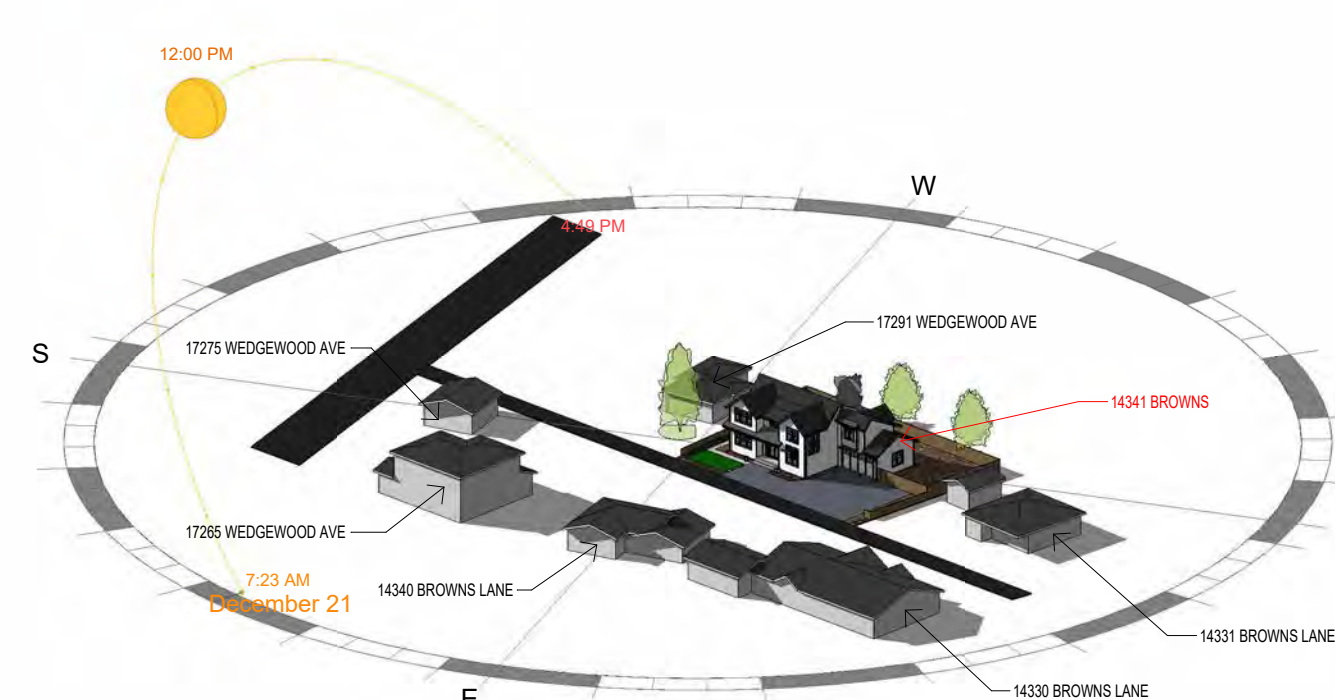
② Summer Solstice Study, 12 PM



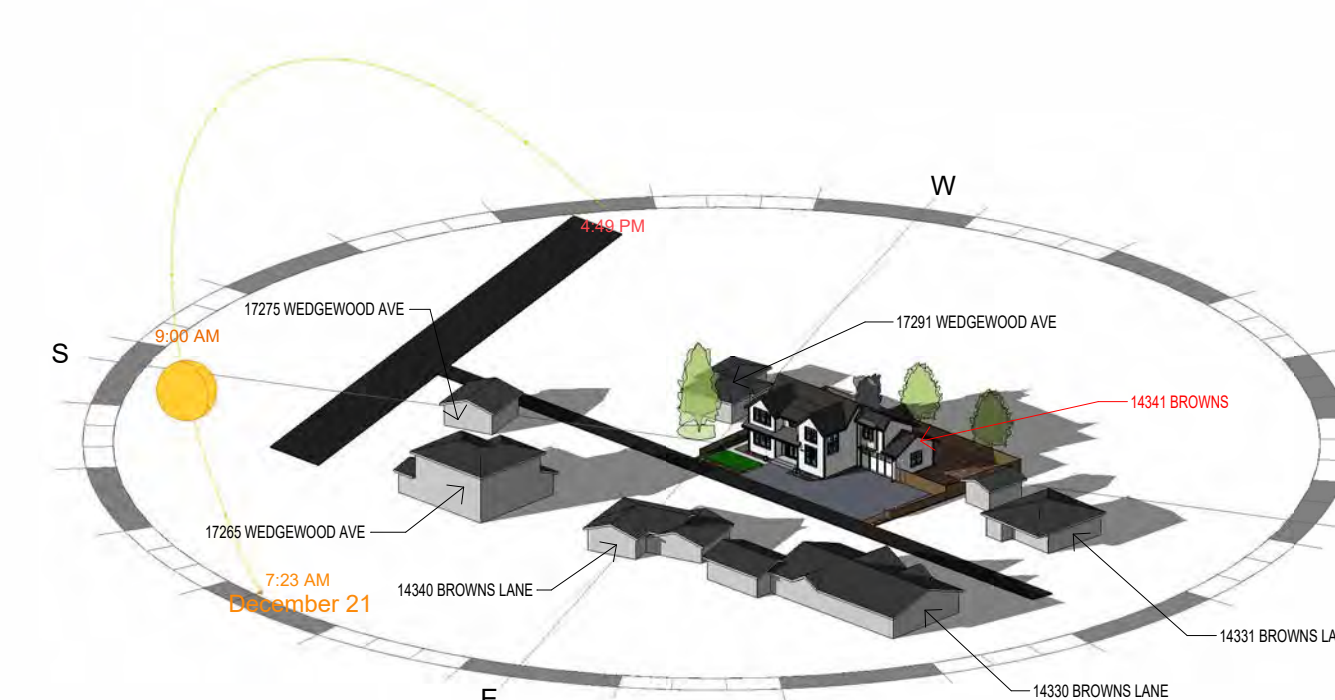
① Summer Solstice Study, 9 AM



⑥ Winter Solstice Study, 3 PM



⑤ Winter Solstice Study, 12 PM



④ Winter Solstice Study, 9 AM

ADJACENT NEIGHBORHOOD ANALYSIS

ADDRESS	BUILDING HEIGHT (FT)	# OF STORIES	COMMENTS
14330 BROWNS	17 FT	1	
14331 BROWNS	16 FT	1	
14340 BROWNS	15 FT	1	
14341 BROWNS	28.6 FT	2	
17265 WEDGEWOOD	26.5 FT	2	
17275 WEDGEWOOD	14.5 FT	1	
17291 WEDGEWOOD	28 FT	2	



⑦ Streetscape, Along Subject Property, West
1/16" = 1'-0"



17291 WEDGEWOOD AVE (TAKEN FROM BROWNS LN)



14381 BROWNS LN



14331 BROWNS LN



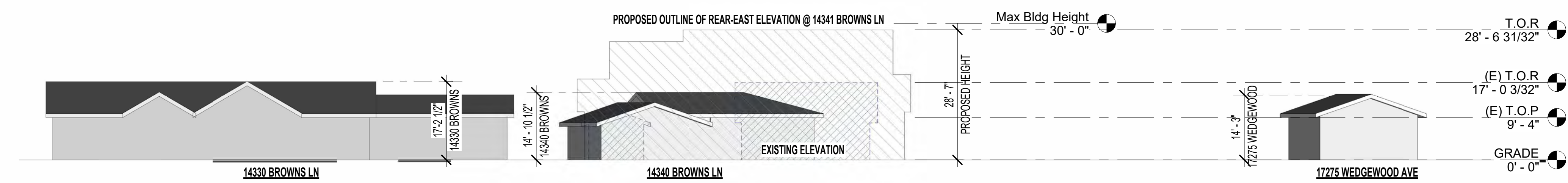
14330 BROWNS LN



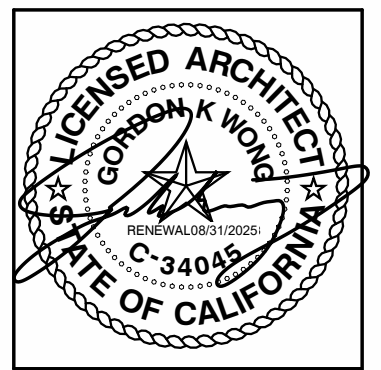
14340 BROWNS LN



17275 WEDGEWOOD AVE (TAKEN FROM WEDGEWOOD)

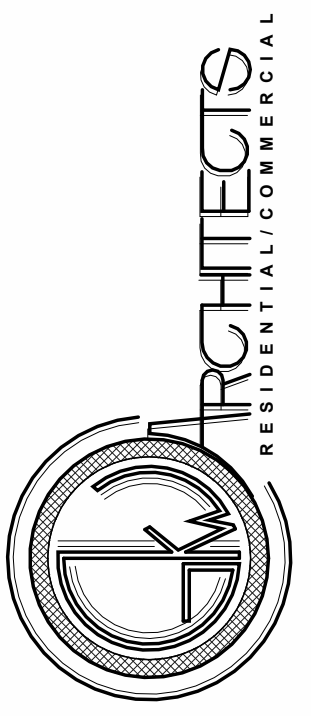


⑧ Streetscape, Across Subject Property, East
1/16" = 1'-0"



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CAMPBELL, CA 95121
(408) 796-1845 LIC# 34045
GKW Architects.com



Flamenco Residence
14341 Browns Lane
Los Gatos, CA 95032

Revision Schedule		
Number	Description	Date
3	Staff Tech Rev #2	2024.11.05

General, Streetscape & Shadow / Sun Study

G006

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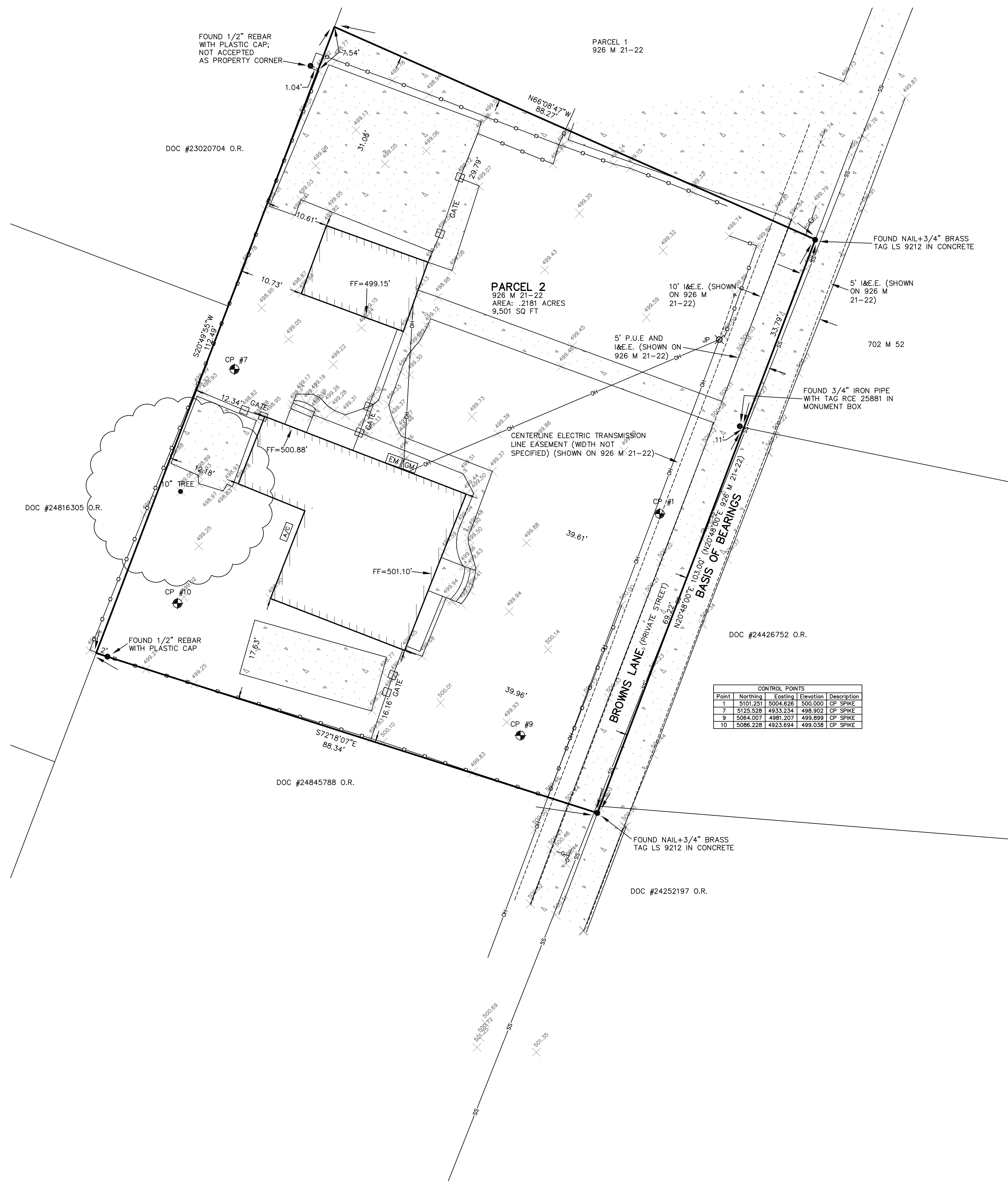
General, Streetscape & Shadow / Sun Study

LEGEND

- FOUND AS NOTED
- SET 5/8" REBAR WITH PLASTIC CAP LS 9440
- SET NAIL+1" BRASS TAG LS 9440 IN CONCRETE
- PROPERTY LINE
- - - EASEMENT LINE
- - - TIE LINE
- SS UG SEWER LINE
- W UG WATER LINE
- G UG GAS LINE
- PH UG PHONE LINE
- E UG ELEC LINE
- OH OVERHEAD LINE
- * LAMP POST
- CONCRETE/TILE
- BUILDING
- BRICKS
- PAVERS
- DECK
- JP JOINT POLE
- PP POWER POLE
- UP UTILITY POLE
- TP TELEPHONE POLE
- BOLLARD
- VALVE
- SIGN
- SS SANITARY SEWER MANHOLE
- SD STORM DRAIN MANHOLE
- CM COMMUNICATION MANHOLE
- FD FIRE HYDRANT
- SC SEWER CLEANOUT
- SP SURVEY CONTROL POINT
- EM ELECTRIC METER
- GM GAS METER
- WM WATER METER
- LP LIGHT POLE AND LIGHT
- WALL
- DI DROP INLET
- GW GUYWIRE
- MB MAILBOX
- UB UTILITY BOX
- WF WOOD FENCE
- CLF CHAIN LINK FENCE
- ACU AIR CONDITIONING UNIT

ABBREVIATIONS

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- IEE INGRESS & EGRESS EASEMENT
- FF FINISH FLOOR ELEVATION
- O.R. OFFICIAL RECORDS



SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Koen T. Wilson 9-2-2024
 KOEN T. WILSON LS 9440 DATE

SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #1.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING WALLS WERE LOCATED AT MAIN FINISH LOCATIONS (STUCCO, BRICK OR WOOD SIDING AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ONSITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.
5. ALL DISTANCES SHOWN IN FEET AND DECIMALS THEREOF.
6. LINES ON LAYER "X-BOUNDARY" SHOULD BE USED AS BASIS OF DESIGN FOR BOUNDARY.
7. LINES ON LAYER "X-BLDG" SHOULD BE USED AS BASIS OF DESIGN FOR BUILDING LOCATION.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

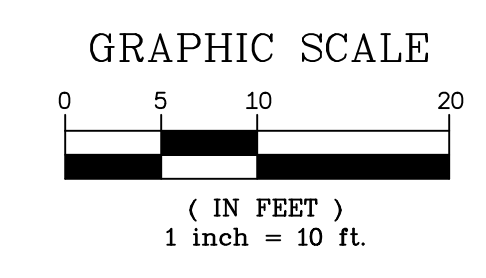
SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

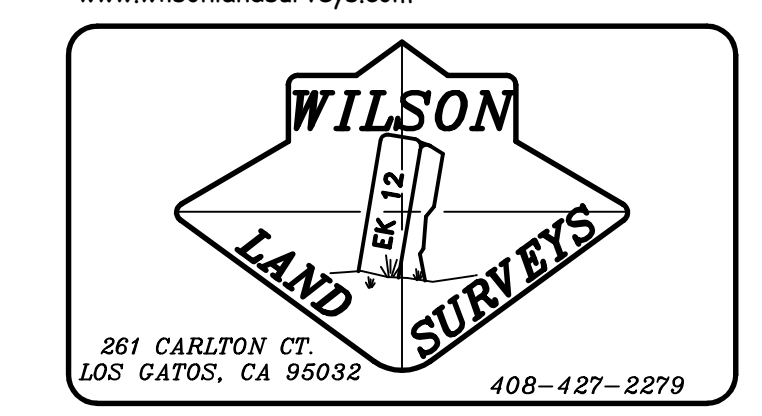
TITLE REPORT NOTE

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS SHOWN ON THIS SURVEY WERE TAKEN FROM RECORDED AND UNRECORDED DOCUMENTS PROVIDED TO US BY THE CLIENT. WE CANNOT DETERMINE IF ANY EASEMENTS SHOWN HEREON ARE STILL VALID AND IN EXISTENCE. OTHER EASEMENTS WHICH ARE NOT SHOWN HEREON MAY ALSO EXIST. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE VALIDITY AND EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on the map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.
 Copyright 2024 Koen T. Wilson Land Surveys. All rights reserved. Copies of this drawing shall have the notice. Any drawing using the information on this map shall contain the following: Topographic Survey by Wilson Land Surveys, Los Gatos, CA



Email: koenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



BOUNDARY AND TOPOGRAPHIC SURVEY	
AS REQUESTED BY: GKW ARCHITECTS, INC.	
LEGAL DESCRIPTION: PARCEL 2 926 M 21-22, TOWN OF LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA.	
APN: 409-14-035	DATE: AUGUST 2024
FILENAME: R-040 BROWNS GWK TOPO	
SITE ADDRESS: 14341 BROWNS LANE LOS GATOS, CA 95032	
DRAWN BY: KTW	SCALE: 1"=10'
PROJECT: R-040	JOB NUMBER: R-040
SHEET: 1 OF 1	

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials, Waste, and Sediment Management



Construction Entrances and Perimeter

Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.

Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

Non-Hazardous Materials and Dust Control

Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.

Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).

Use captured water from other activities (e.g., testing fire lines) for dust control.

Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

Hazardous Materials

Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.

Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.

Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.

Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

Waste Management

Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.

Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.

Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.

Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.

Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.

Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).

Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Equipment Management & Spill Control



Vehicle and Equipment Maintenance

Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.

Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.

If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.

If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.

Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.

Maintain all vehicles and heavy equipment.

Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.

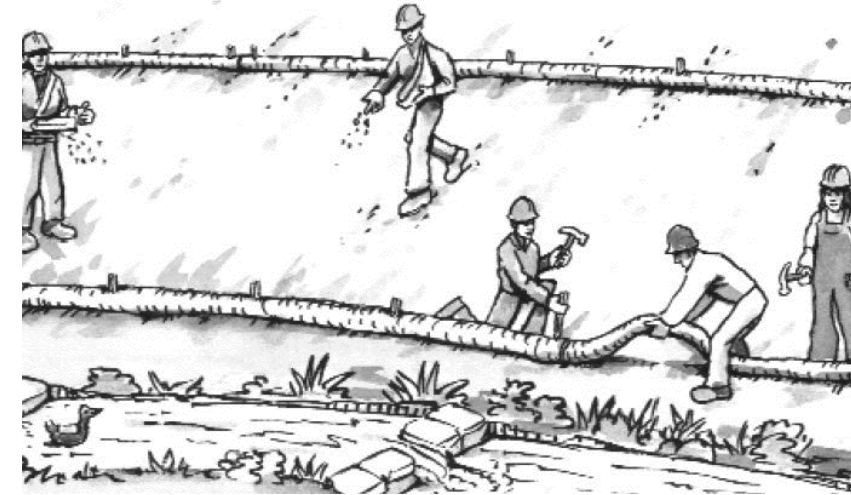
Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.

Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.

Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.

Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7550 (24 hours).

Earthmoving



Grading and Earthwork

Schedule grading and excavation work during dry weather.

Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.

Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.

Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.

Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets.

Ensure all subcontractors working onsite are implementing appropriate BMPs.

Contaminated Soils

If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.

If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

Landscaping

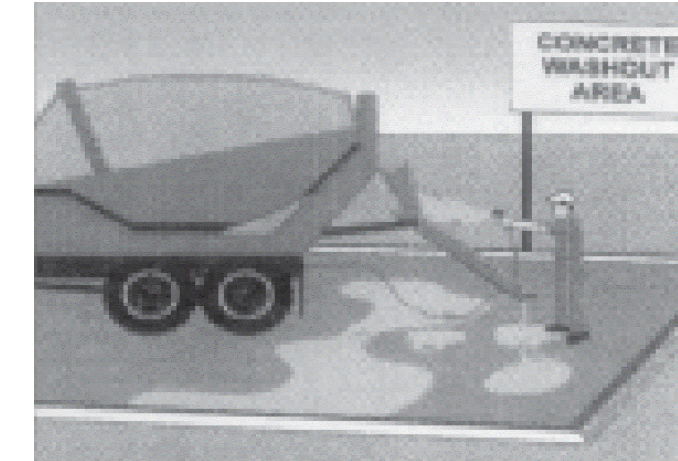
Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.

Stack bagged material on pallets and under cover.

Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Store materials onsite, not in the street.

Concrete Management & Dewatering



Concrete Management

Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.

Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.

Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).

Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.

Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

Dewatering

Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.

Divert water originating from offsite away from all onsite disturbed areas.

When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.

In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.

For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

Paving/Asphalt Work



Paving

Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.

Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.

When construction is complete, remove all covers from storm drain inlets and manholes.

Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

Sawcutting & Asphalt/Concrete Removal

Protect storm drain inlets during saw cutting.

When making saw cuts, use as little water as possible.

Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.

Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.

If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

Copper Architectural Features

Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains: **During Installation**

If possible, purchase copper materials that have been pre-patinated at the factory.

If patination done on site, implement one or more of the following BMPs:

1. Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
2. Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
3. Collect the rinse water in a tank and haul off-site for proper disposal.

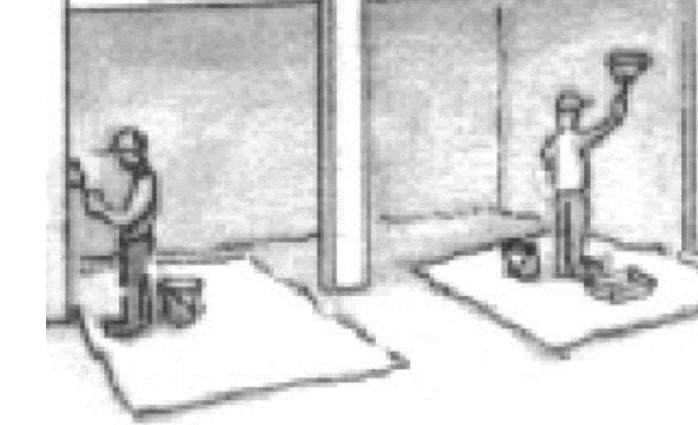
Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.

During Maintenance such as, power washing roof, re-patination, or re-application of impervious coating:

Block storm drain inlets as needed to prevent runoff from entering storm drains.

Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

Painting & Paint Removal



Painting Cleanup and Removal

Never clean brushes or rinse paintcontainers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.

For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.

For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.

Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.

Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead-based paint removal requires a state-certified contractor.



RESPOND TO 2nd ROUND COMMENTS

11-13-2024

SN

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DATE

BY

REVISIONS

CIVIO CONSULTING
1669 FLANIGAN DRIVE #E
SAN JOSE, CA 95121
EMAIL: OFFICE@CIVIOCONSULTING.COM

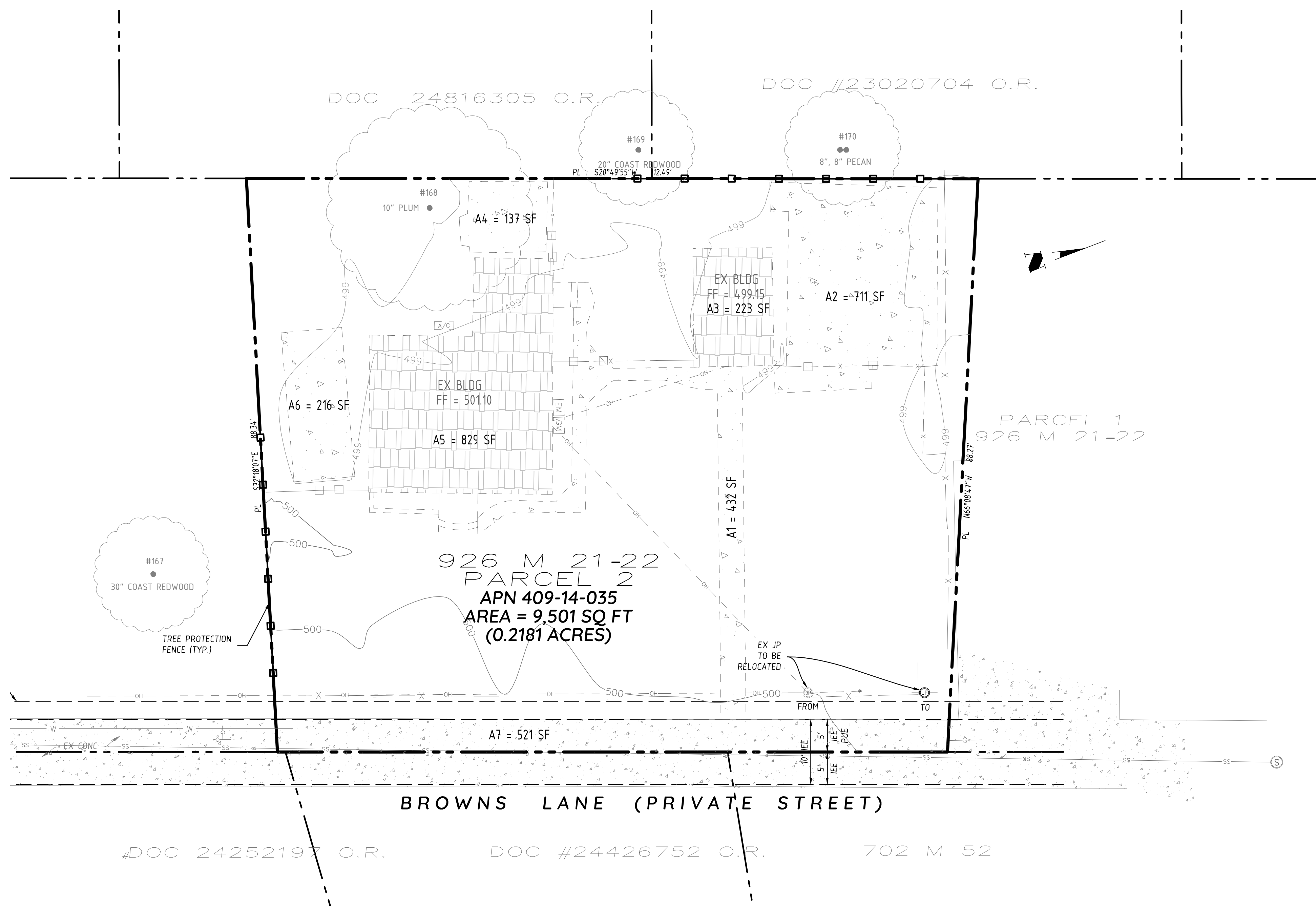


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DESIGN: XP
CHECK: SN
PROJECT #: 2024-001

GRADING AND DRAINAGE PLANS
14341 BROWNS LANE
BLUEPRINT FOR A CLEANBAY
GRADING PERMIT APPLICATION NO.

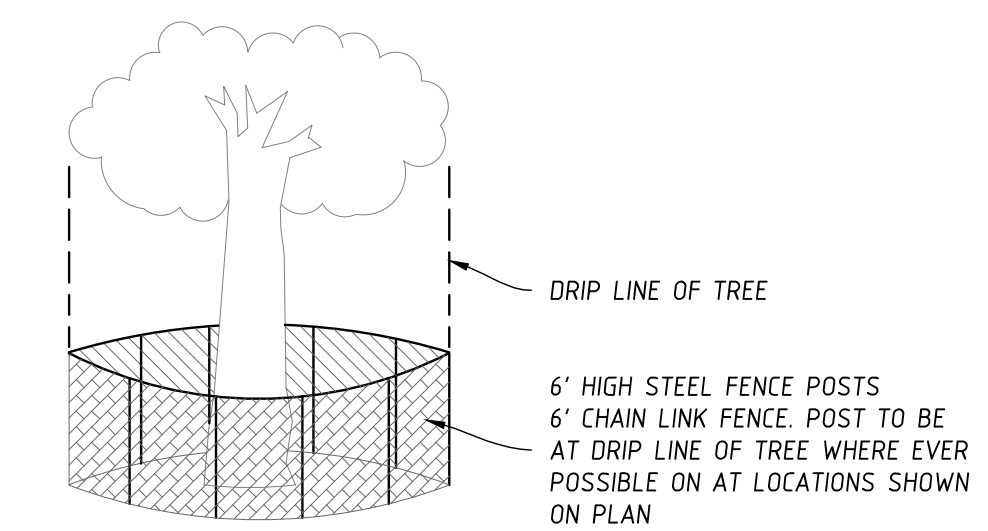
SHEET
C2
2 OF 10 SHEETS

Storm drain polluters may be liable for fines of up to \$10,000 per day!



LEGEND

- AREA OR ITEM TO BE REMOVED
- AREA OR ITEM TO REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO REMAIN
- TREE PROTECTION FENCE



NOTES

1. SIX-FOOT HIGH CHAIN LINK FENCING MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS SHALL BE DRIVEN INTO THE GROUND AT LEAST TWO-FOOT DEEP AT NO MORE THAN TEN-FOOT SPACING. WHEN STIPULATED, FOR EXISTING PAVING AREAS THAT WILL NOT BE DEMOLISHED, POSTS MAY BE SUPPORTED BY CONCRETE BASE.
2. POSTED EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN ON EACH TREE FENCE STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025"
3. LABELED PHOTOGRAPHS OF THE INSTALLED FENCING SHALL BE EMAILED TO THE PROJECT PLANNER PRIOR TO ISSUANCE OF PERMITS.
4. TREE PROTECTION FENCING IS REQUIRED TO REMAIN IN PLACE THROUGHOUT CONSTRUCTION.
5. ANY PROTECTED TREE ON-SITE WILL REQUIRE REPLACEMENT ACCORDING TO ITS APPRAISED VALUE IF IT IS DAMAGED BEYOND REPAIR AS A RESULT OF CONSTRUCTION.

AVERAGE SLOPE CALCULATION

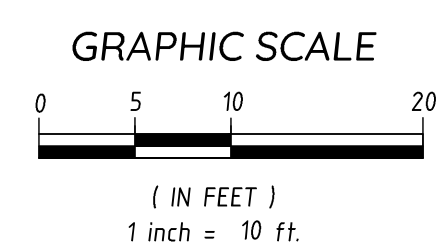
$$S = \frac{0.0023 \times (1) \times (L)}{A}$$

WHERE
 S = AVERAGE SLOPE OF THE AREA IN PERCENT
 I = CONTOUR INTERVAL
 L = TOTAL LENGTH OF CONTOUR LINES IN FEET
 A = AREA EXPRESSED IN ACERS

$$S = \frac{0.0023 \times (1) \times (476.8)}{0.2128} = 5.1\%$$

PRE-DEVELOPMENT

ITEM#	DESCRIPTION	IMPERVIOUS	PERVIOUS
A1	EX CONC WLK (REMOVE)	432 SF	
A2	EX CONC WLK (REMOVE)	711 SF	
A3	EX BLDG (REMOVE)	223 SF	
A4	EX CONC WLK (REMOVE)	137 SF	
A5	EX BLDG (REMOVE)	829 SF	
A6	EX CONC WLK (REMOVE)	216 SF	
A7	EX CONC DWY (REMAIN)	521 SF	
	LANDSCAPE		6,432 SF
	TOTAL	3,069 SF	6,432 SF



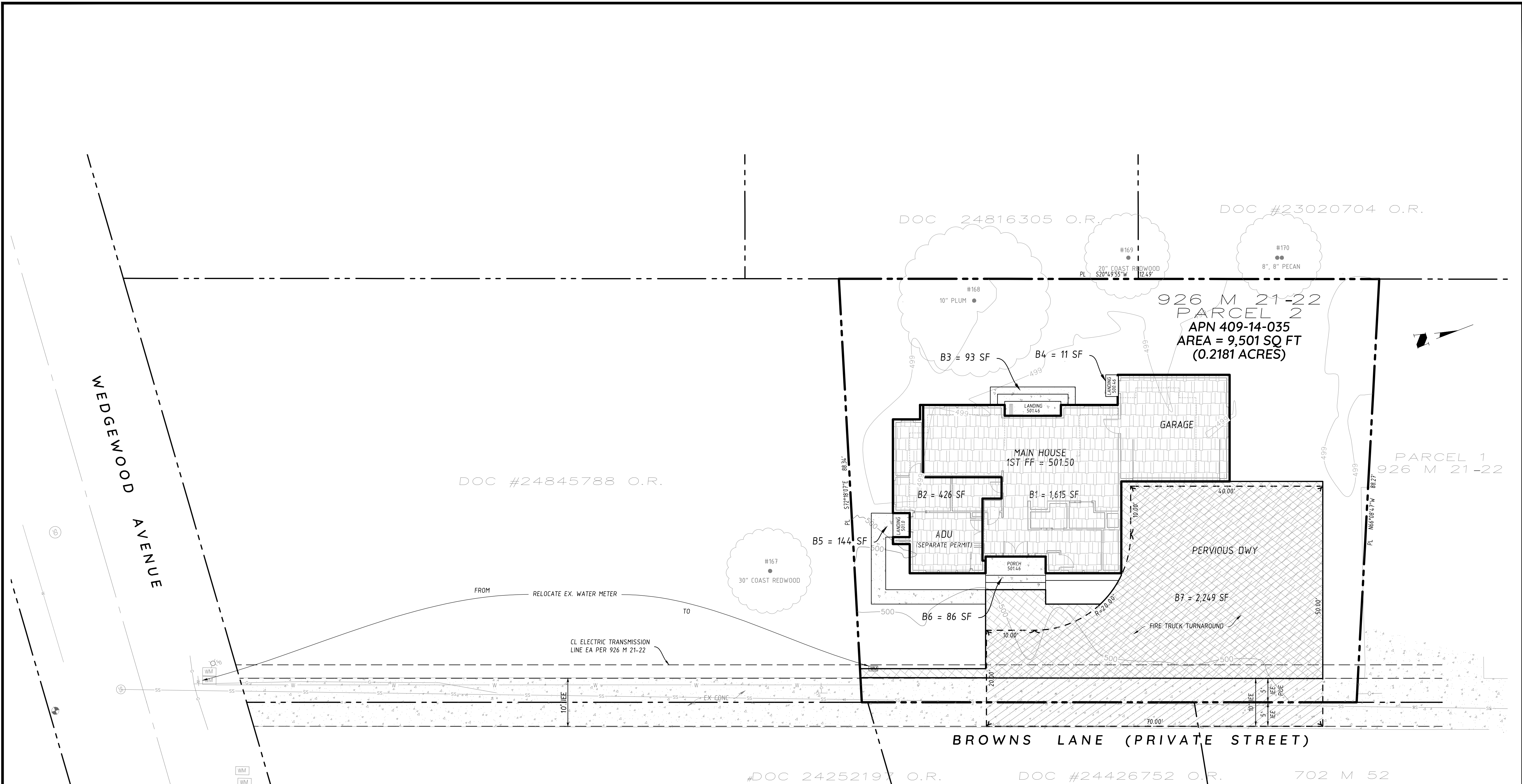
DATE	BY	DATE	REVISIONS
11-13-2024			

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DATE:	SCALE:	AS NOTED:	XP:	SN:	PROJECT #:
					2024-001

GRADING AND DRAINAGE PLANS
14341 BROWNS LANE
DEMOLITION PLAN
 GRADING PERMIT APPLICATION NO. _____



WEDGEWOOD AVENUE

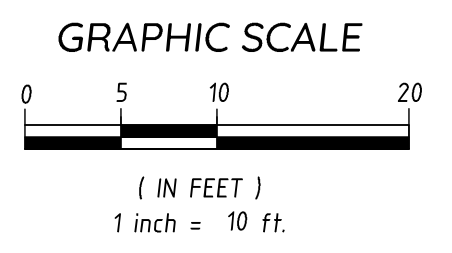
926 M 21-22
 PARCEL 2
 APN 409-14-035
 AREA = 9,501 SQ FT
 (0.2181 ACRES)

BROWNS LANE (PRIVATE STREET)

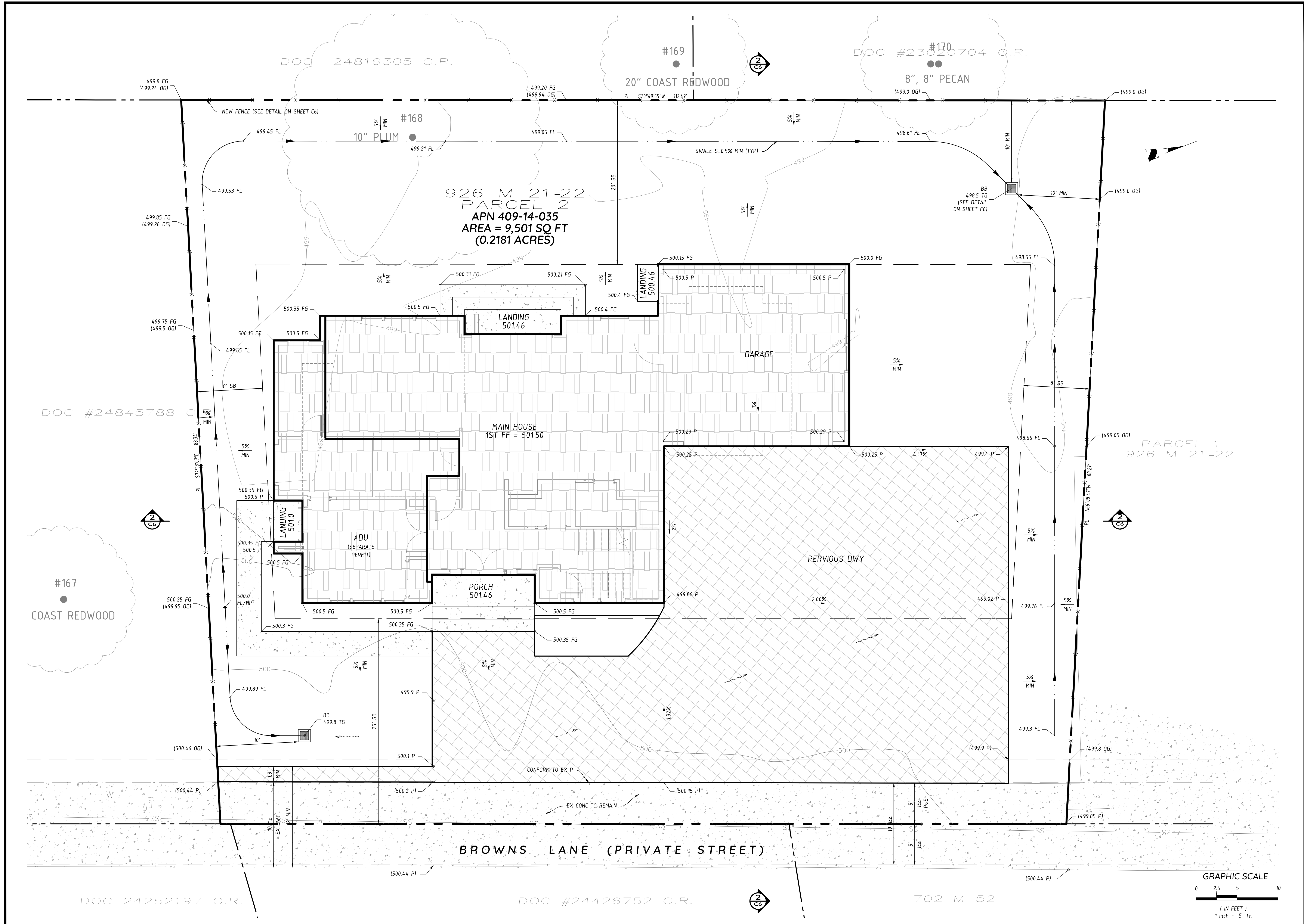
POST-DEVELOPMENT			
ITEM#	DESCRIPTION	IMPERVIOUS	PERVIOUS
A7	EX CONC DWY (REMAIN)	521 SF	
B1	MAIN HOUSE (NEW)	1,615 SF	
B2	ADU (NEW)	426 SF	
B3	LANDING (NEW)	93 SF	
B4	LANDING (NEW)	11 SF	
B5	WLK & LANDING (NEW)	144 SF	
B6	PORCH (NEW)	86 SF	
B7	PAVER DWY (NEW)		2,249 SF
	LANDSCAPE		4,356 SF
	TOTAL	2,896 SF	6,605 SF
SUMMARY			
ITEM#	DESCRIPTION	IMPERVIOUS	PERVIOUS
1	PRE-DEVELOPMENT	3,069 SF	6,432 SF
2	POST-DEVELOPMENT	2,896 SF	6,605 SF
	DIFFERENCE	-173 SF	173 SF

LEGEND

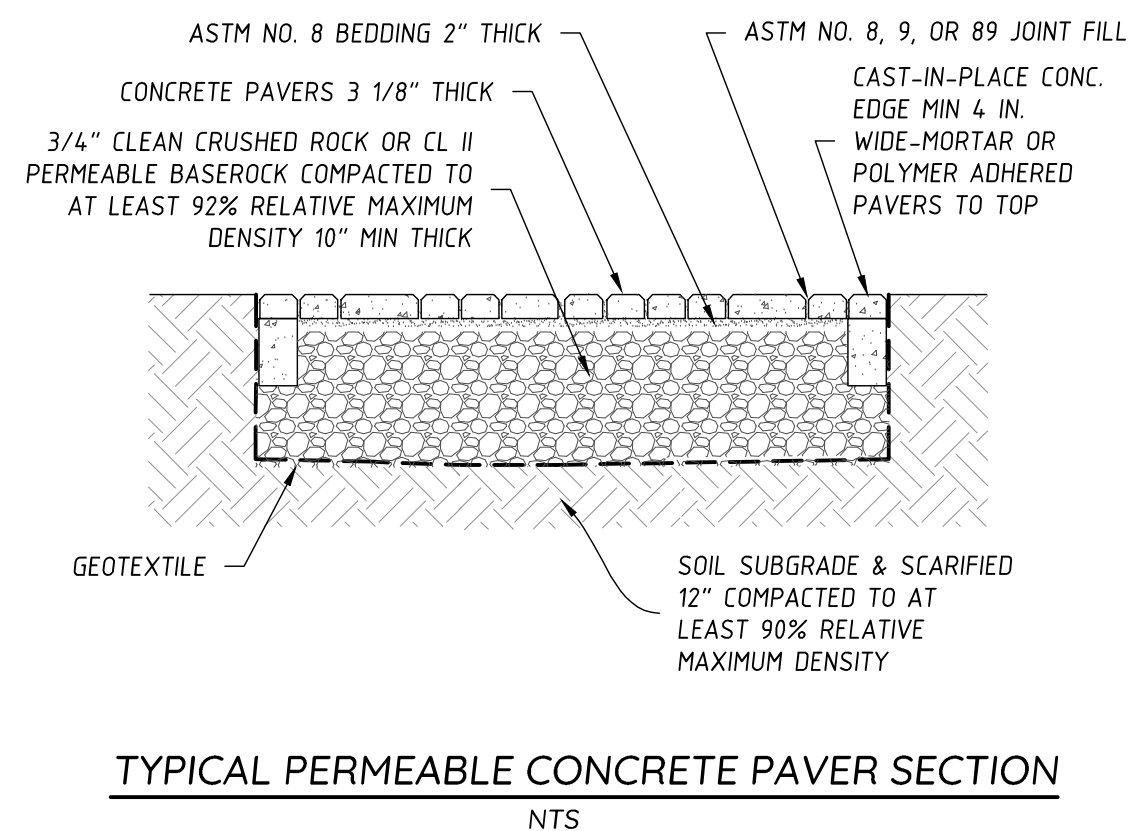
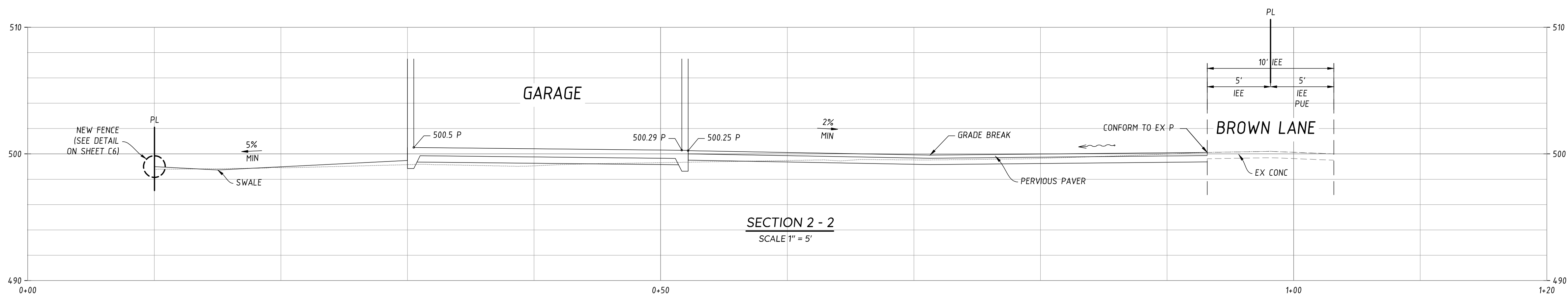
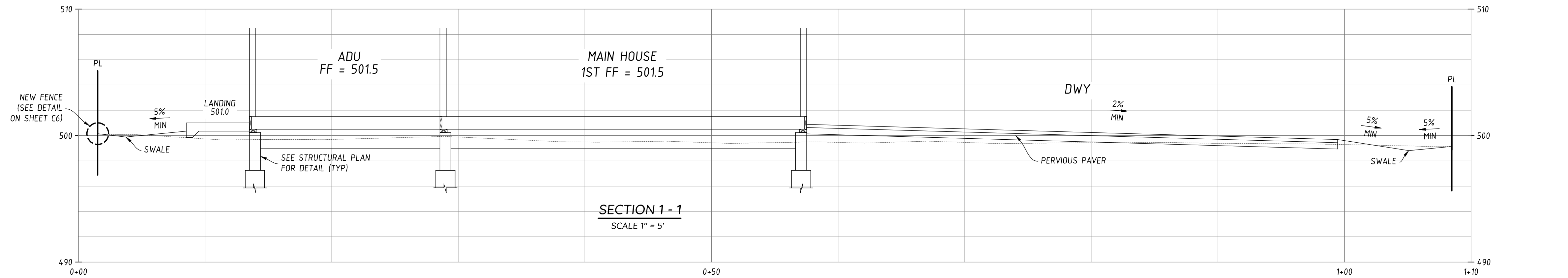
- PROPOSED BUILDING
- PROPOSED PERVIOUS PAVER
- PROPOSED PORTLAND CEMENT CONCRETE
- EX CONC TO REMAIN
- FIRE TRUCK TURNAROUND



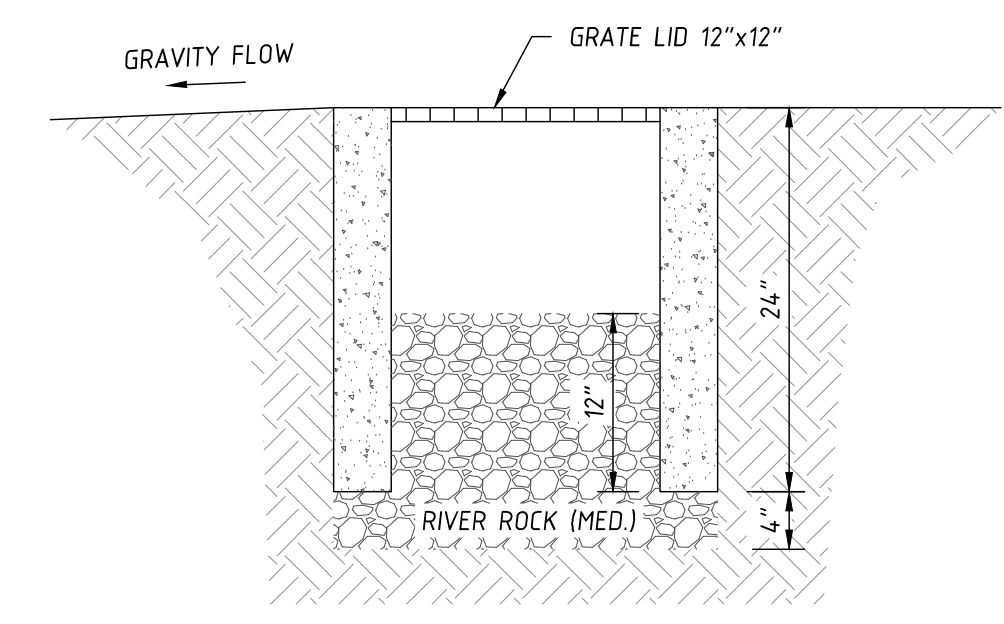
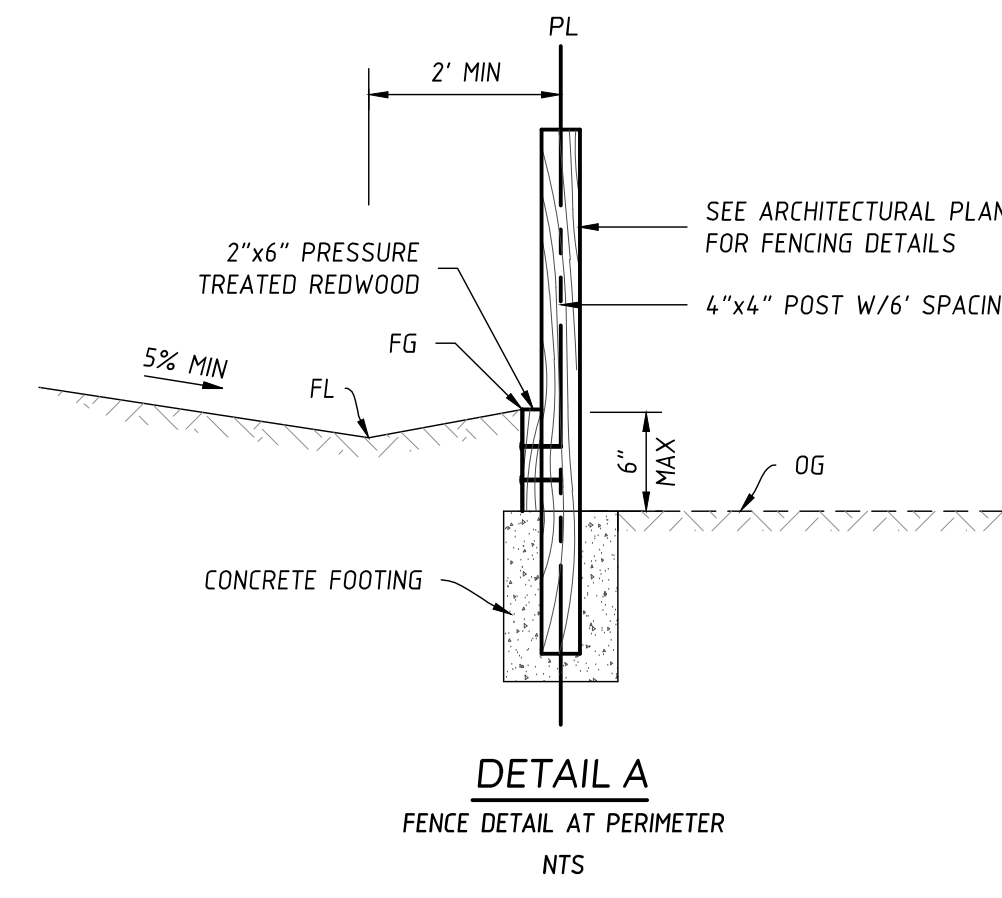
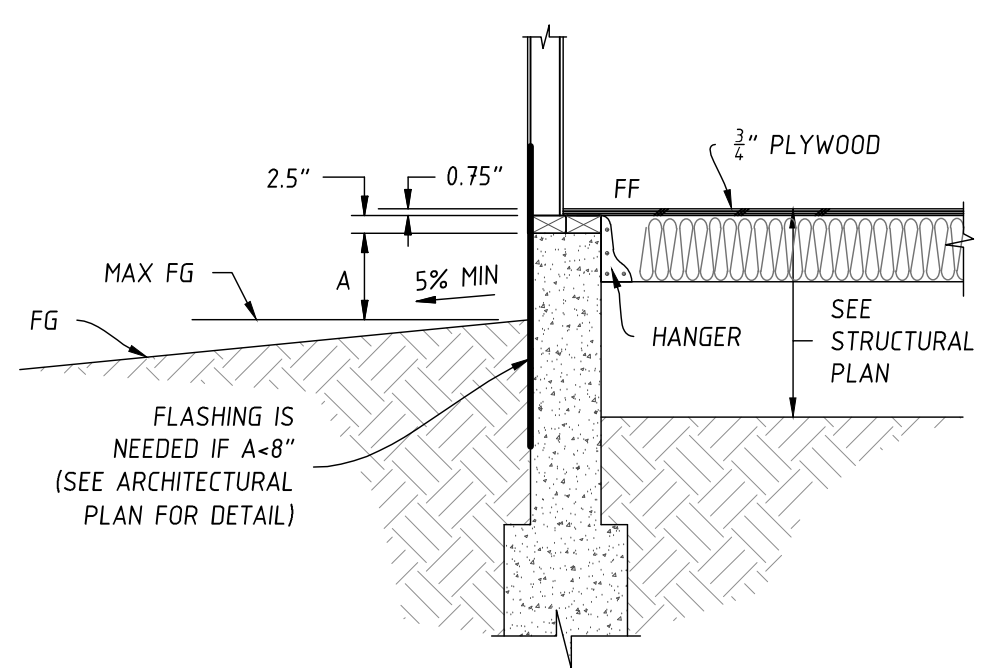
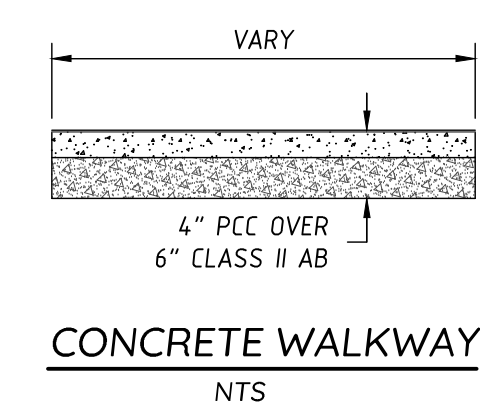
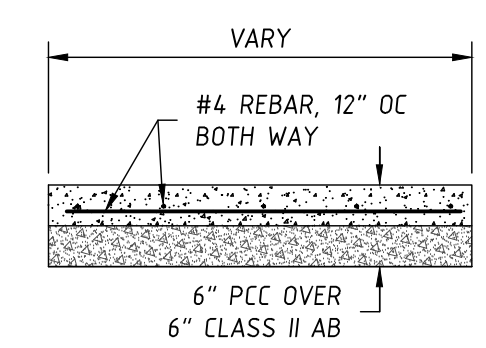
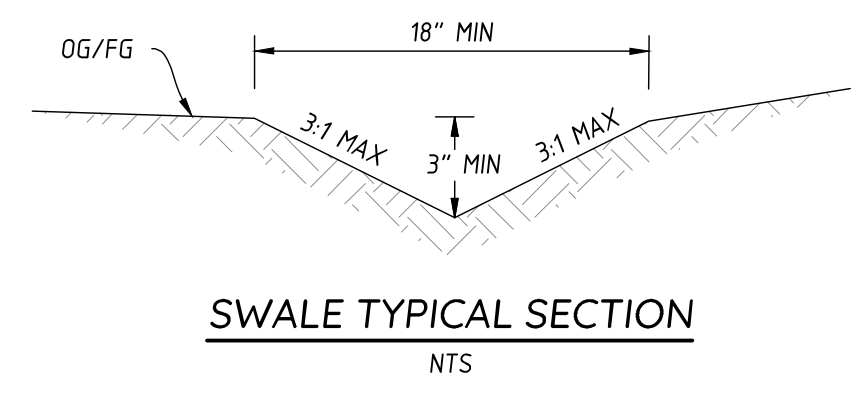
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AS NOTED	XP	SN	2024-001		
<p>CIVIO CONSULTING 1669 FLANIGAN DRIVE #E SAN JOSE, CA 95121 EMAIL: OFFICE@CIVIOCONSULTING.COM</p>					
<p>REGISTERED PROFESSIONAL ENGINEER No. 81805 STATE OF CALIFORNIA</p>					
<p>GRADING AND DRAINAGE PLANS 14341 BROWNS LANE SITE PLAN</p>					
<p>GRADING PERMIT APPLICATION NO. _____</p>					
<p>SHEET C4 4 OF 10 SHEETS</p>					



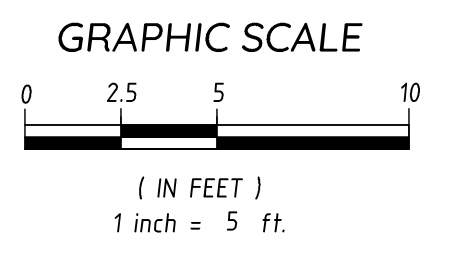
DATE: 11-13-2024		RESPOND TO 2nd ROUND COMMENTS	
SN	BY	DATE	REVISIONS
CIVIO CONSULTING 1669 FLANIGAN DRIVE #E SAN JOSE, CA 95121 EMAIL: OFFICE@CIVIOCONSULTING.COM			
DATE:	SCALE:	AS NOTED	PROJECT #:
DESIGN:	CHECK:	XP	2024-001
GRADING AND DRAINAGE PLANS 14341 BROWNS LANE GRADING & DRAINAGE PLAN GRADING PERMIT APPLICATION NO. _____			
SHEET C5 5 OF 10 SHEETS			



- NOTES:**
- DESIGN, MATERIAL AND CONSTRUCTION GUIDELINES TO FOLLOW INTERLOCKING CONCRETE PAVEMENT INSTITUTE GUIDE SPECIFICATIONS.
 - APPLY WATERPROOF MEMBRANE VERTICALLY AGAINST HOUSE FOUNDATION PRIOR TO PLACING SUBBASE AND BASE.
 - USE SOIL BERMS FOR LONGITUDINAL SOIL SUBGRADE SLOPES EXCEEDING 2%.
 - CAST-IN-PLACE CONCRETE CURBS CAN BE WITHOUT PAVERS ON TOP. IN SUCH CASES, CURBS SHOULD BE LEVEL WITH CONCRETE PAVER FIELD.
 - THE UPPER PAVEMENT SUBGRADE SOIL AND THE AGGREGATE BASE COURSE SHOULD BE COMPACTED TO A MINIMUM 95 PERCENT OF MAXIMUM DRY DENSITY, AS TESTED BY THE GEOTECHNICAL ENGINEER.
 - THE PAVER SYSTEM DRAINAGE, EDGE RESTRAINTS, BEDDING SAND, MAINTENANCE, AND OTHER ASPECTS OF THE DESIGN AND CONSTRUCTION SHOULD BE IN ACCORDANCE WITH THE SPECIFICATIONS OF THE PAVER SYSTEM MANUFACTURER.



- NOTES:**
- RIGID PLASTIC, A.C., C.I., OR STEEL PIPE ALLOWED TO BOX FROM PUMP.
 - BOX SHALL BE SET WITH ADJACENT GRADES SLOPING AWAY TO PREVENT RAINWATER & LANDSCAPE WATER FROM ENTERING.
 - BOX SHALL BE SET IN LANDSCAPED AREA TO FACILITATE PERCOLATION.
 - BOX SHALL NOT HAVE CONCRETE BOTTOM TO FACILITATE PERCOLATION.
 - BOX MUST BE LOCATE AT LEAST 10 FEET FROM BACK OF SIDEWALK AND 3 FEET MINIMUM AWAY FROM SIDE AND REAR PROPERTY LINES, APPROPRIATELY LOCATED IN SWALE, VEGETATED OR RETENTION AREA.



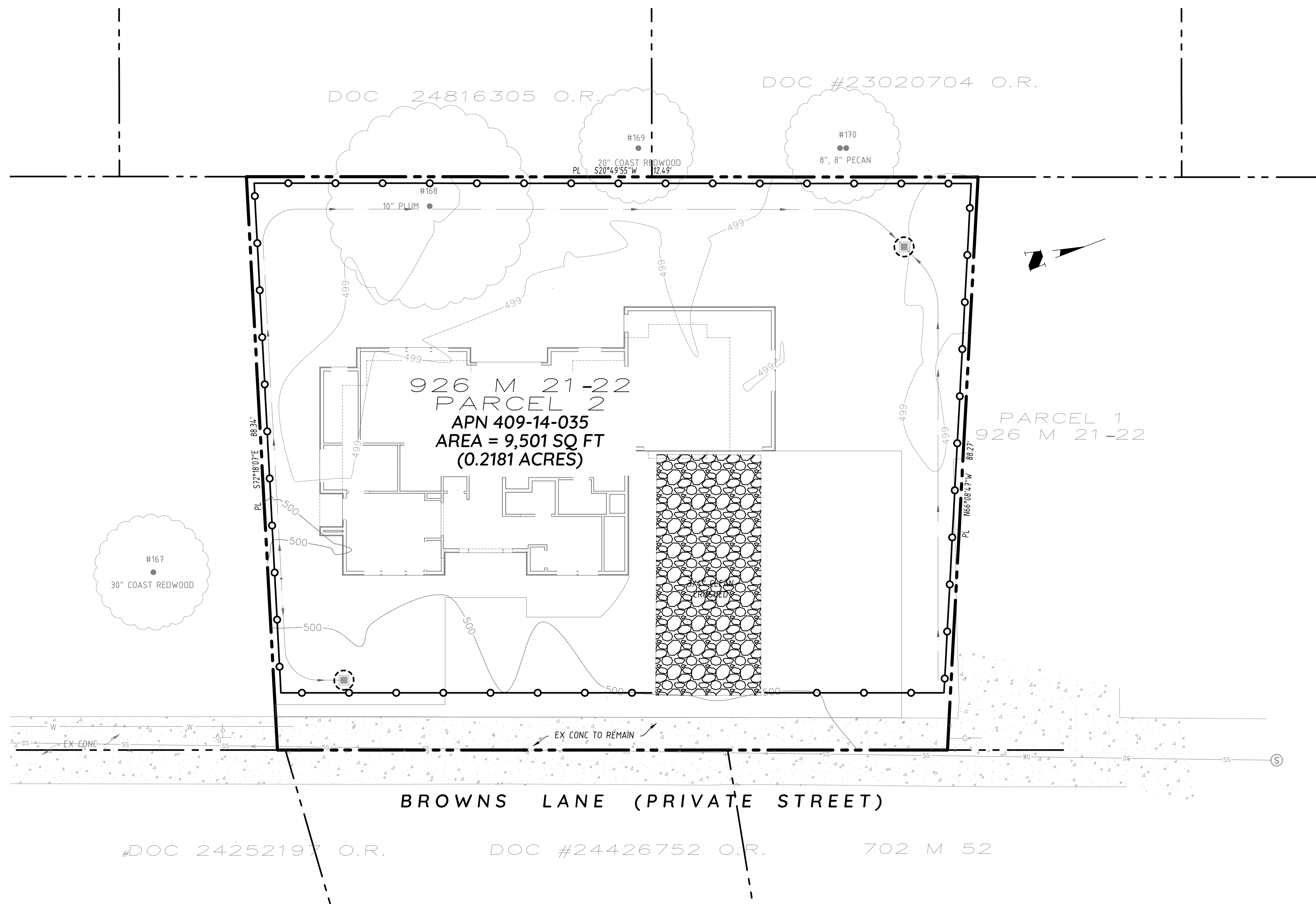
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1	11-13-2024		RESPOND TO 2nd ROUND COMMENTS
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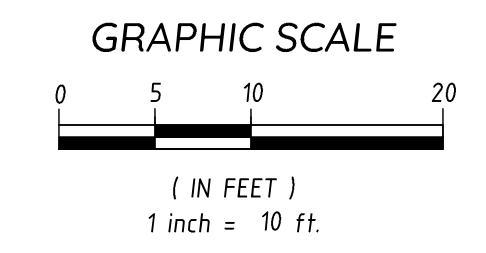


DATE	AS NOTED	XP	SN	PROJECT #
				2024-001

GRADING AND DRAINAGE PLANS
14341 BROWNS LANE
 BUILDING CROSS SECTIONS
 GRADING PERMIT APPLICATION NO. _____



- LEGEND:**
- FIBER ROLLS
 - TEMPORARY DRAINAGE INLET PROTECTION
 - TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIST



DATE	BY	REVISIONS
11-13-2024		RESPOND TO 2nd ROUND COMMENTS

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DATE:	AS NOTED	XP	SN	PROJECT #:
				2024-001

GRADING AND DRAINAGE PLANS
14341 BROWNS LANE
EROSION CONTROL PLAN
 GRADING PERMIT APPLICATION NO. _____

SHEET
C8
 8 OF 10 SHEETS

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- CONTRACTOR/OWNER: ROBERTO FLAMENCO
 ADDRESS: 14341 BROWNS LANE, LOS GATOS, CA 95032
 PHONE NUMBER: (831) 566-9040
 IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- CIVIL ENGINEER: CIVIO CONSULTING
 ADDRESS: 1669 FLANIGAN DRIVE, SUITE E, SAN JOSE, CA 95121
 PHONE NUMBER: _____
- CONTRACTOR: _____
 ADDRESS: _____
 24-HOUR PHONE NUMBER: _____
 CONSTRUCTION SUPERINTENDENT: _____
 ADDRESS: _____
 24-HOUR PHONE NUMBER: _____
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPILED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

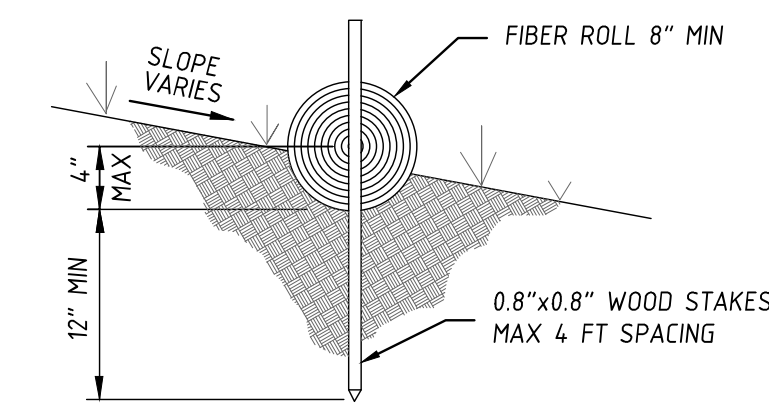
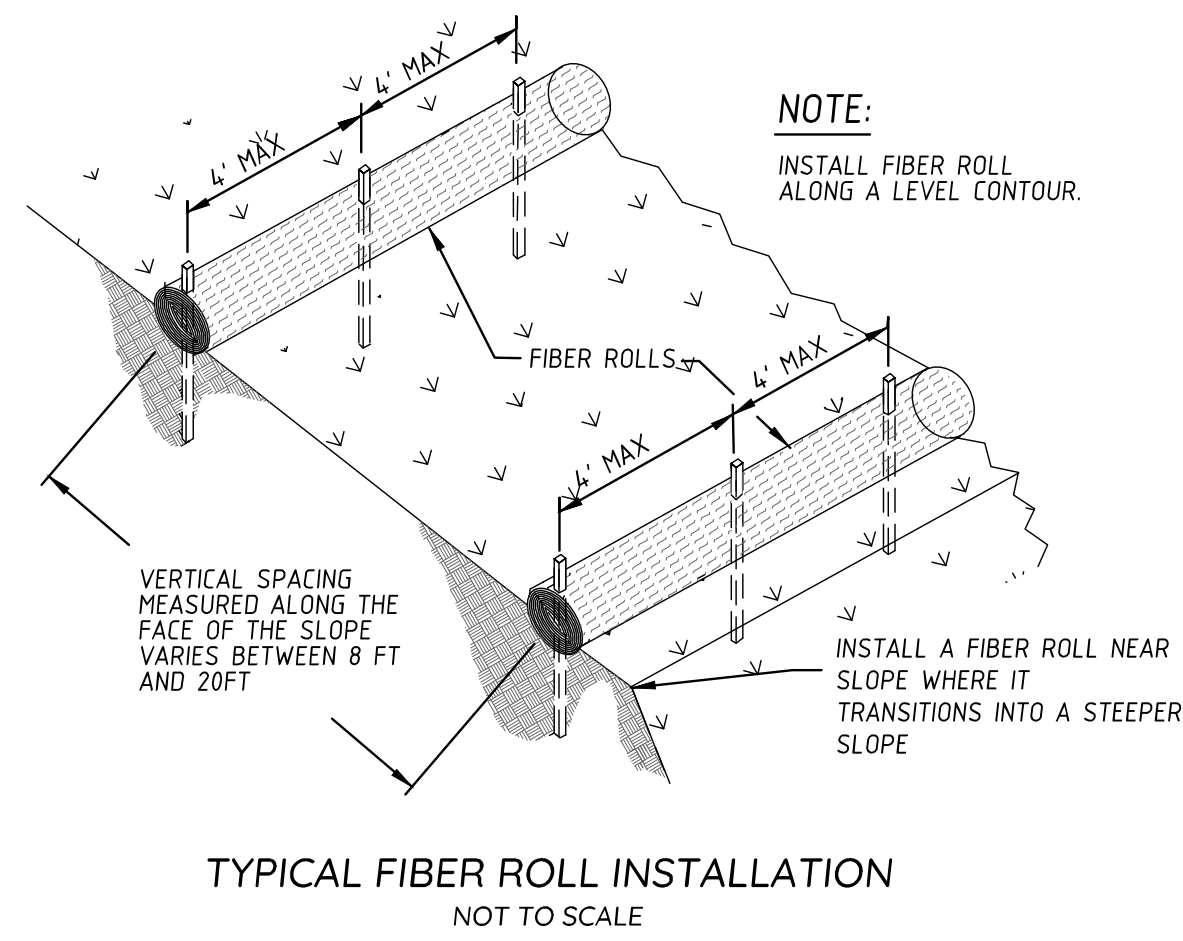
EROSION AND SEDIMENT CONTROL MEASURES

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDE SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BESITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
- LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

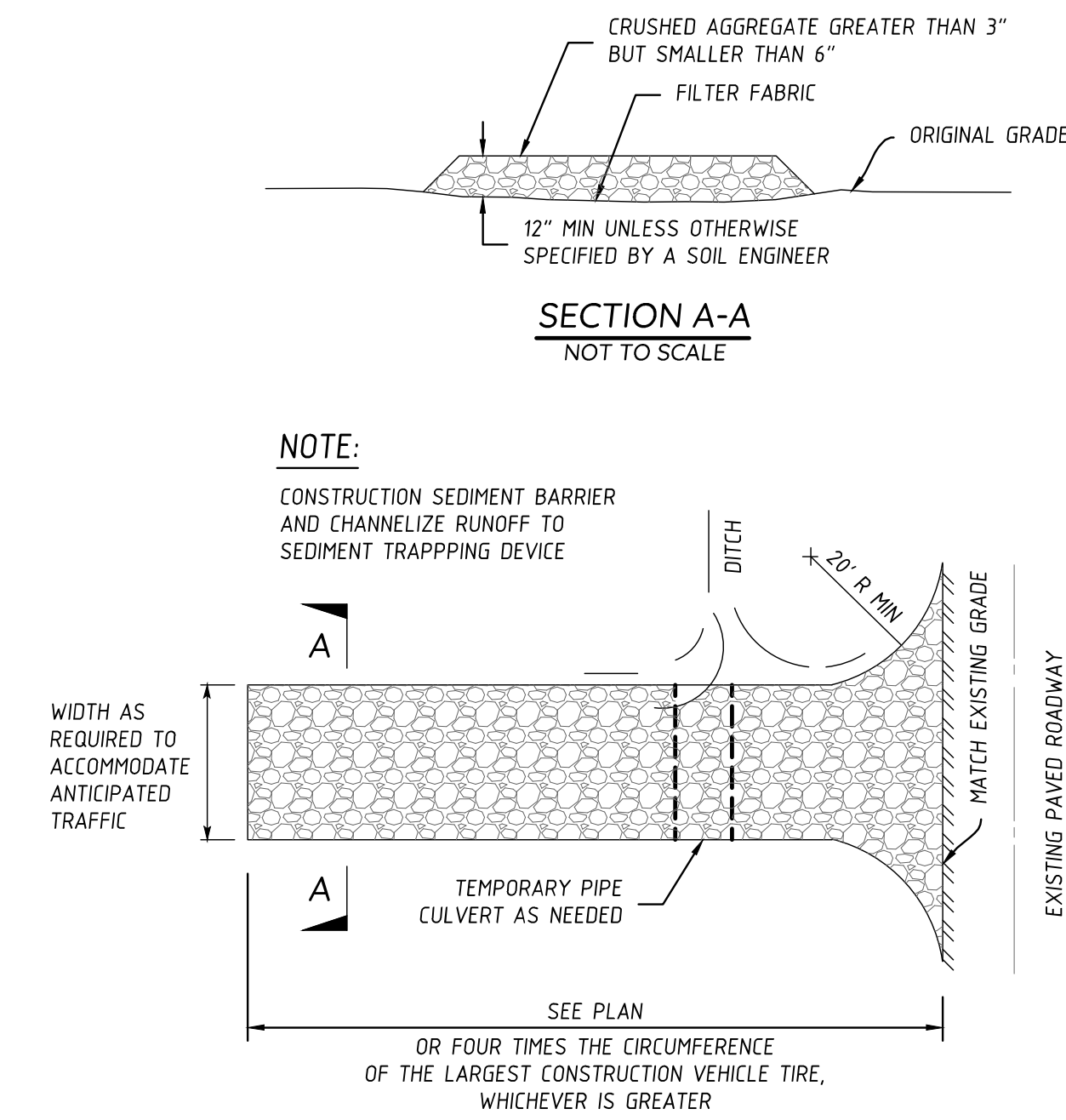
MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
- SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.
- EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.

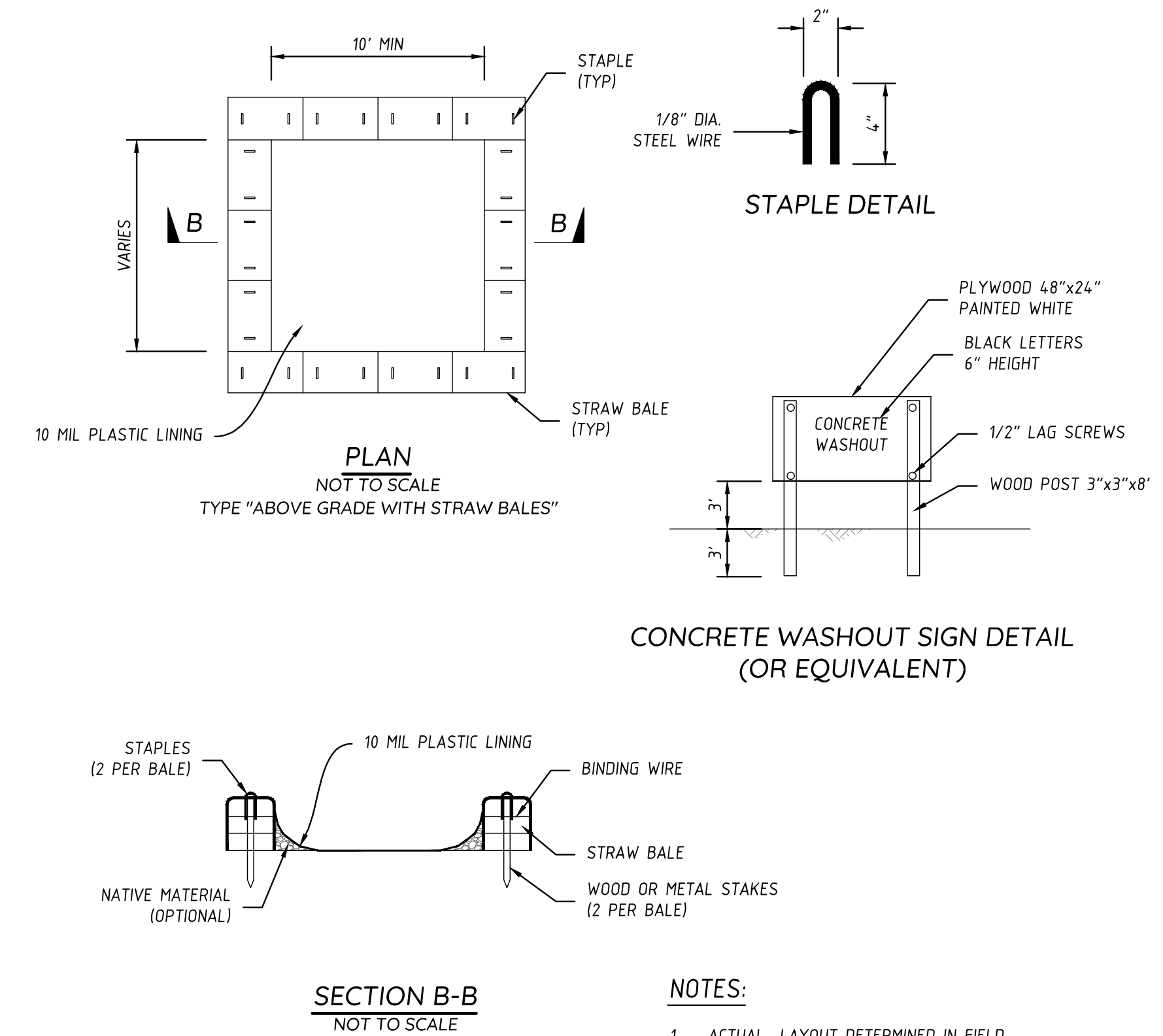
1 FIBER ROLLS
CASQA DETAIL SE-5



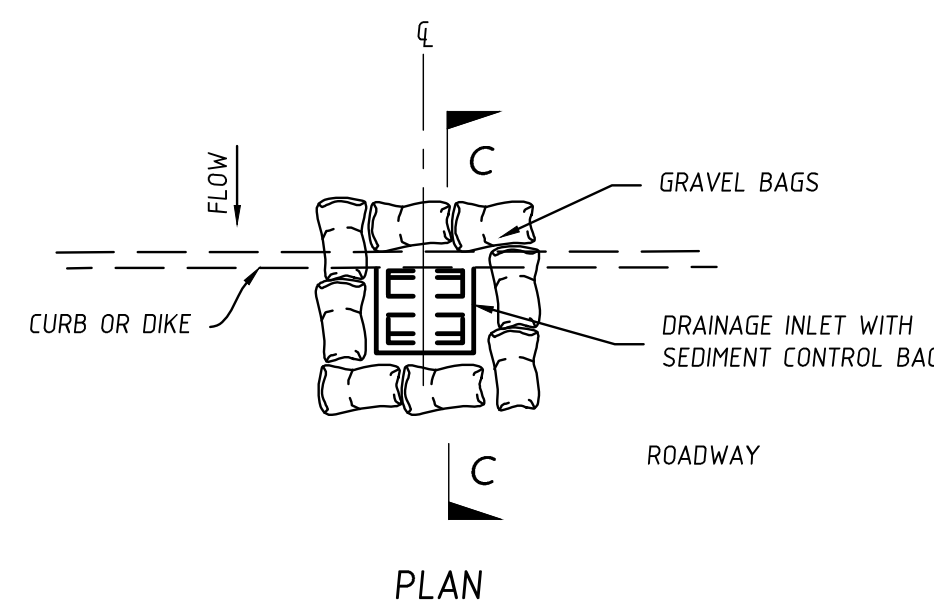
3 STABILIZED CONSTRUCTION ENTRANCE/EXIT
CASQA DETAIL TC-1



2 CONCRETE WASTE MANAGEMENT
CASQA DETAIL WM-8



SECTION C-C



RESPOND TO 2nd ROUND COMMENTS	11-13-2024	SN	BY	DATE
△		△		
△		△		
△		△		
△		△		

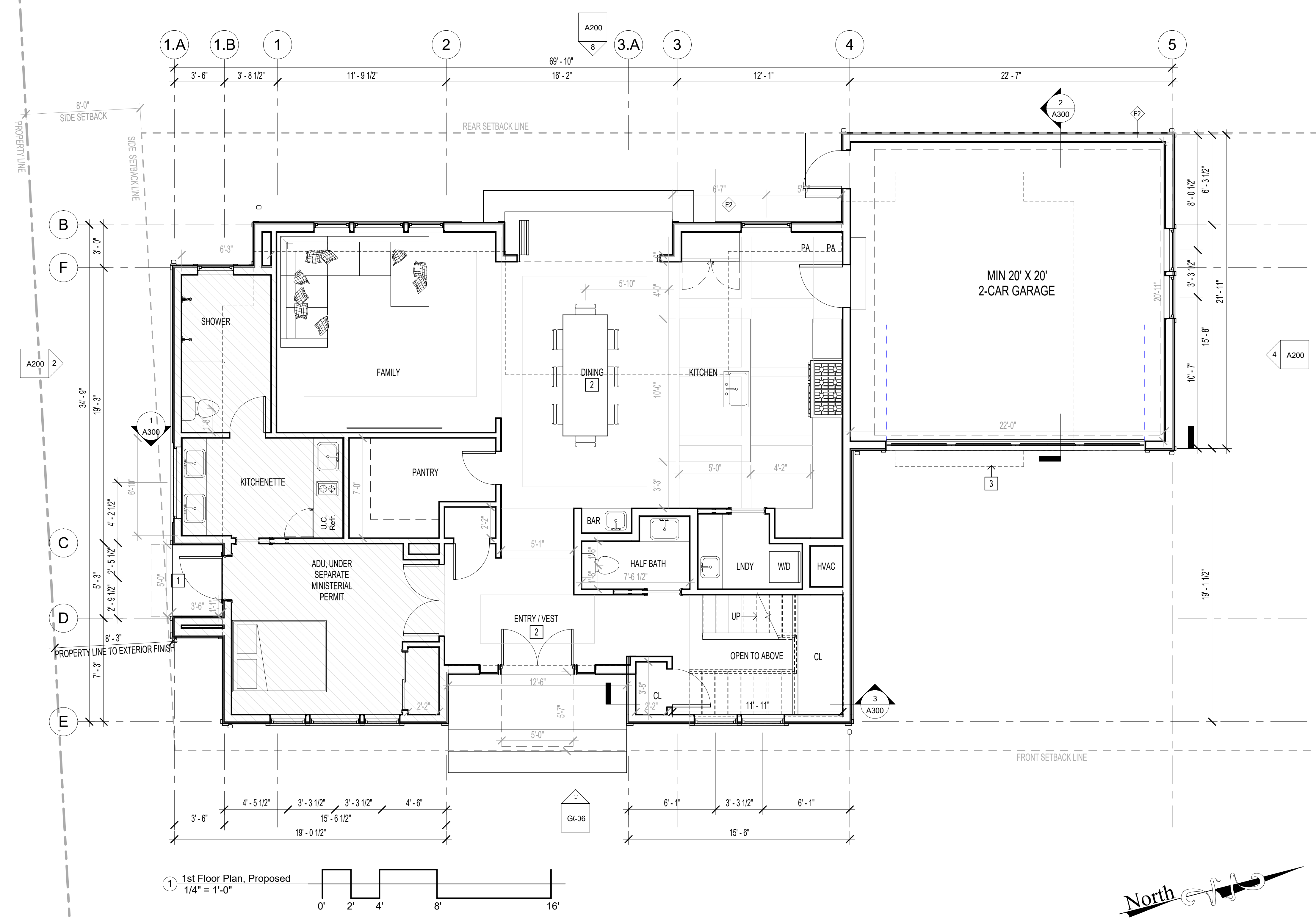
CIVIO CONSULTING
1669 FLANIGAN DRIVE #E
SAN JOSE, CA 95121
EMAIL: OFFICE@CIVIOCONSULTING.COM

REGISTERED PROFESSIONAL ENGINEER
N. S. C. A. M.
No. 81805
STATE OF CALIFORNIA

DATE:	AS NOTED	XP	SN	2024-001
SCALE:	DESIGN:	CHECK:	PROJECT #:	

GRADING AND DRAINAGE PLANS
14341 BROWNS LANE
EROSION CONTROL DETAILS
GRADING PERMIT APPLICATION NO. _____

SHEET
C9
9 OF 10 SHEETS



1 1st Floor Plan, Proposed
1/4" = 1'-0"

- FIRST FLOOR PLAN, PROPOSED, KEYNOTES
- 1 SEPARATE ENTRY FOR ADU, 60" x 60" LEVEL LANDING, NO MORE THAN 1 INCH OUT OF PLANE WITH IMMEDIATE INTERIOR FLOOR LEVEL & WITH 18-INCH CLEAR AT INTERIOR STRIKE EDGE
 - 2 COFFERED CEILING
 - 3 LINE OF SECOND FLOOR ABOVE

WALL LEGEND

(A) EXTERIOR FINISH
1. JAMES HARDIE

(B) W.P. MEMBRANE
1. GRADE "D" BLDG. PAPER (2 LAYERS)

(C) PLYWD. SHEATHING
1. 1/2" CDX PLYWOOD
2. 5/8" TYPE X GYPSUM SHEATHING

(D) FRAMING/ STUD
1. 2X4 WOOD
2. 2X6 WOOD
3. 2X8 WOOD

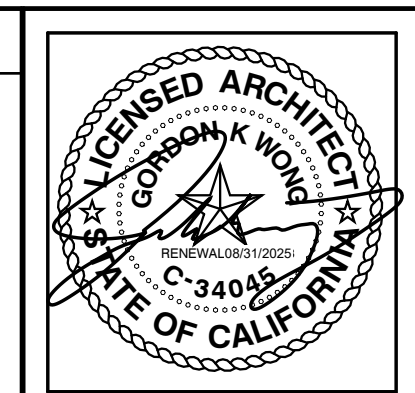
(E) INSULATION
1. PER TITLE 24

(F) DRYWALL
1. 1/2" GYP. BRD.
2. 5/8" TYPE X GYP. BRD.

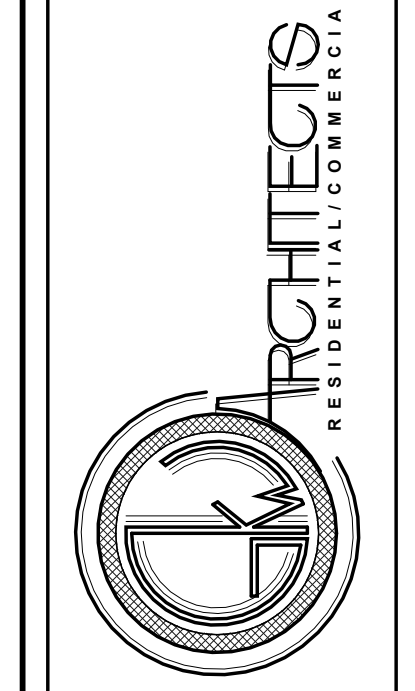
WALL TYPES: WALL ASSEMBLY: U.L. LISTING:

- E1 ——— (A1, B1, C2, D1, E1, F2) ASTM E119
- E2 ——— (A1, B1, C2, D2, E1, F2) ASTM E119
- N1 ——— (F2, D1, F2)
- N2 ——— (F2, D2, F2)

- GENERAL NOTES
1. CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS.
 2. REFER TO ELEVATIONS FOR ALL EXT. ELEMENTS ALIGNMENT.
 3. ELEMENTS IN GRAY ARE EXISTING WHILE ELEMENTS IN BLACK ARE PROPOSED.
 4. LANDING MINIMUM 36" DEEP LANDING AND NOT MORE THAN 1 1/2" LOWER THAN TRESHOLD FOR OUTSWINGING DOORS.
 5. WINDOWS HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR OPENS DIRECTLY TO STREET, PUBLIC ALLEY YARD, OR COURT THAT OPENS TO A PUBLIC RIGHT OF WAY. CRC SECTION R310
 6. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC SECTION R308.4.5
 7. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2 AND R702.4
 8. CLEAR SPACE AROUND A TOILET SHALL MEASURE A MINIMUM 15" FROM CENTERLINE OF TOILET TO WALL OR BARRIER ON EACH SIDE, AND A MINIMUM 24" IN FRONT OF THE TOILET.
 9. SHOWER PAN DIMENSIONS MUST BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30" IN ANY DIRECTION.
 10. SHOWER DOORS SHALL OPEN A MINIMUM 22" UNOBSTRUCTED OPENING FOR EGRESS.
 11. STAIR RISE (MAXIMUM 7 - 3/4") AND RUN (MINIMUM 10") FROM NOSING TO NOSING. WHERE TREAD DEPTH IS LESS THAN 11", A NOSING OF 3/4" MINIMUM TO 1-1/4" MAXIMUM IS REQUIRED.



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Flamenco Residence
14341 Browns Lane
Los Gatos, CA 95032

Revision Schedule		
Number	Description	Date
1	Planning	2024.02.13
2	Staff Tech Rev #1	2024.07.12
3	Staff Tech Rev #2	2024.11.05
4	Staff Tech Rev #3	2025.01.05

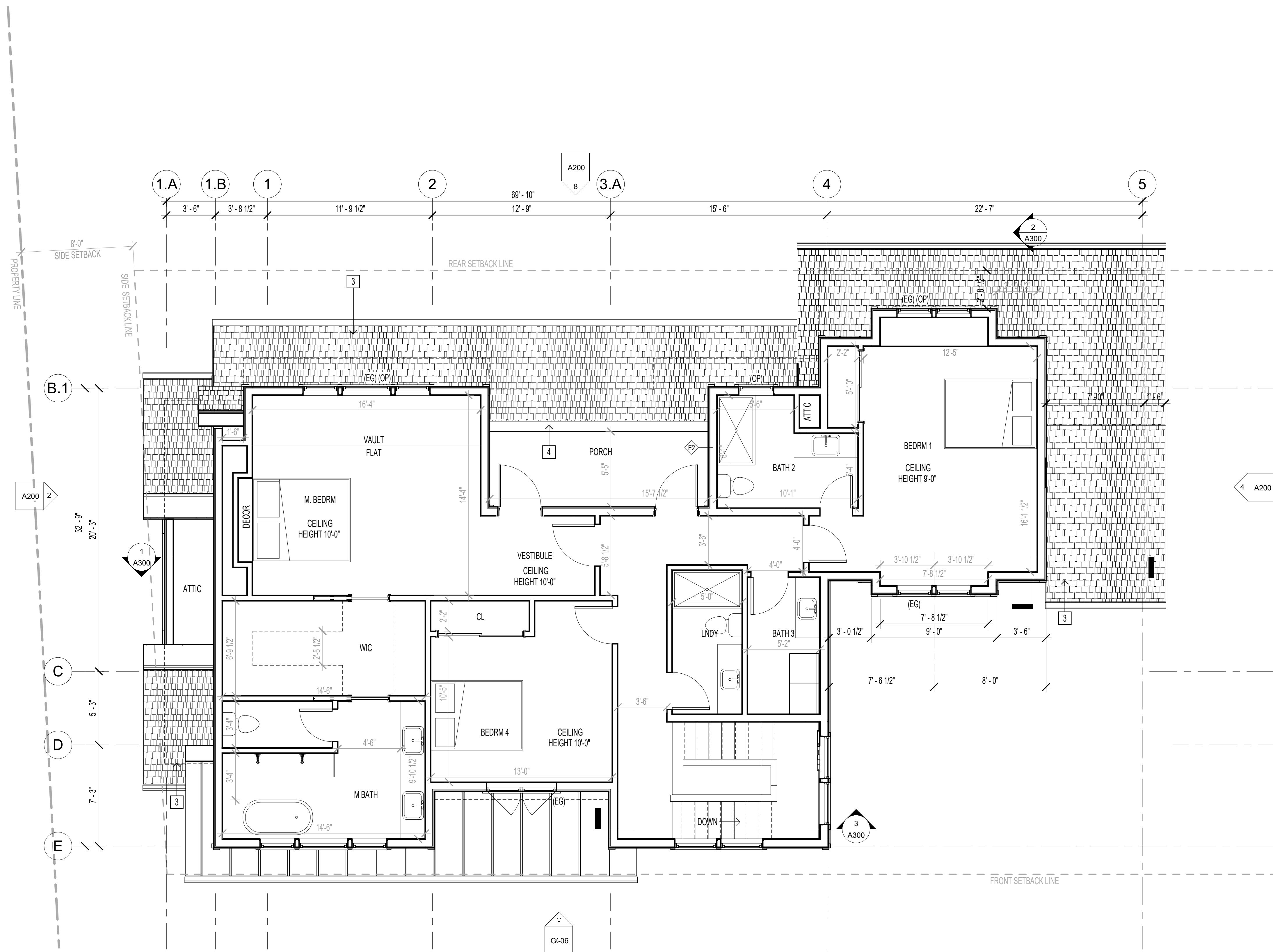
Architectural, 1st Floor Plan, Proposed

A101

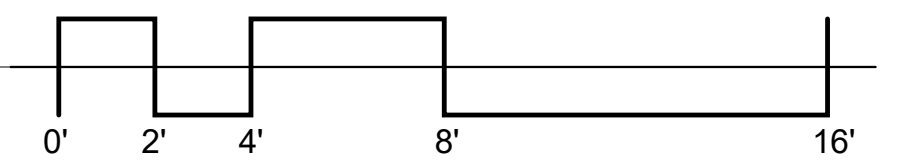
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Architectural, 1st Floor Plan, Proposed



1 2nd Floor Plan, Proposed
1/4" = 1'-0"



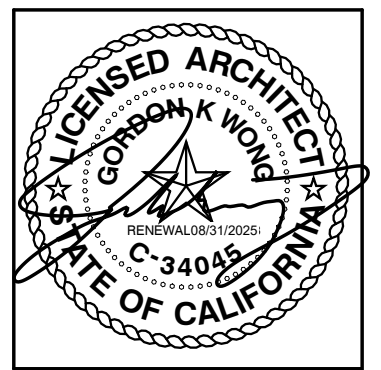
SECOND FLOOR PLAN, PROPOSED, KEYNOTES

- 1 DECOR
- 2 COFFERED CEILING
- 3 LINE OF FIRST FLOOR BELOW
- 4 42" RAILING

- (T) TEMPERED
- (EG) EGRESS
- (OP) OPAQUE / FROSTED GLASS

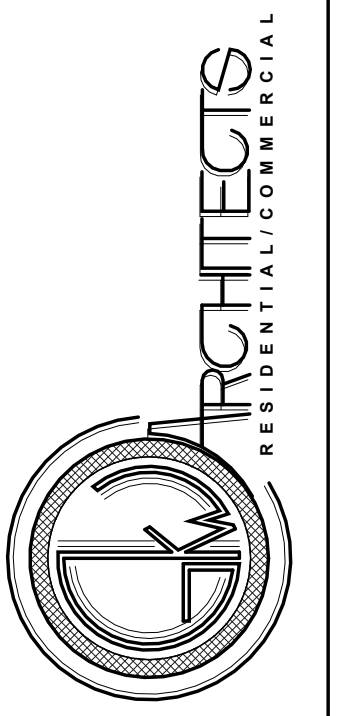
GENERAL NOTES

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Architectural, 2nd Floor Plan, Proposed

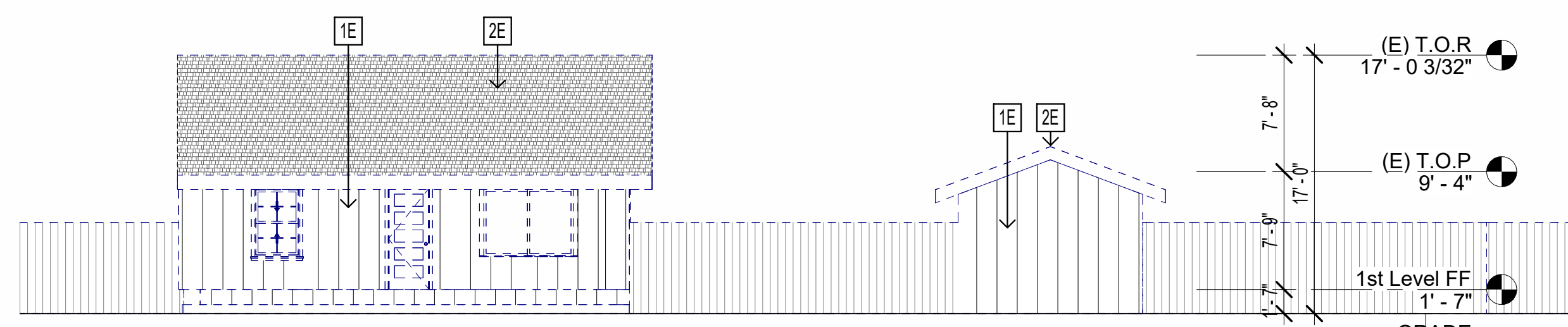
Revision Schedule		
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3	Staff Tech Rev #2	2024.11.05
4	Staff Tech Rev #3	2025.01.05

Architectural, 2nd Floor Plan, Proposed

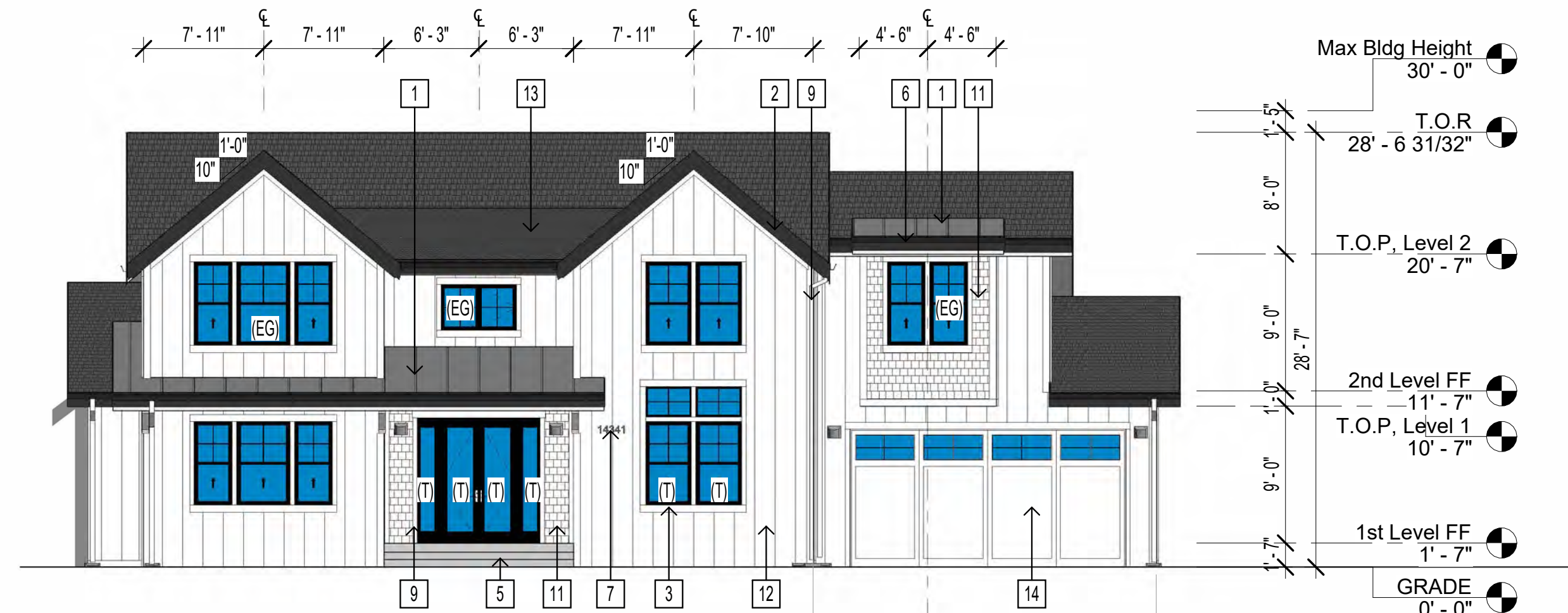
A102

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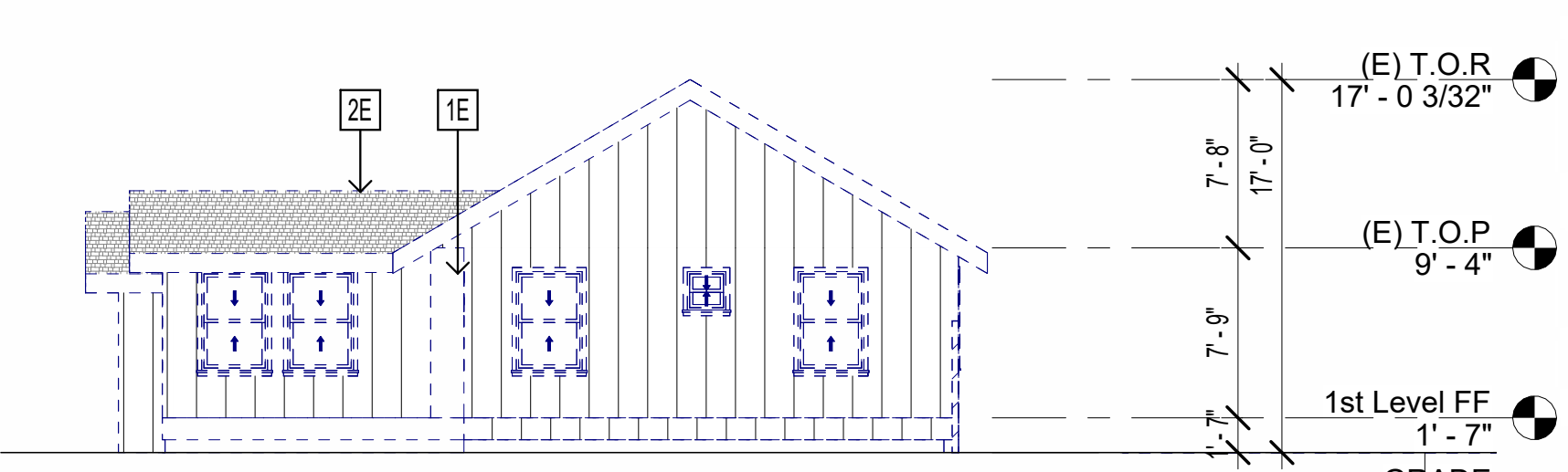
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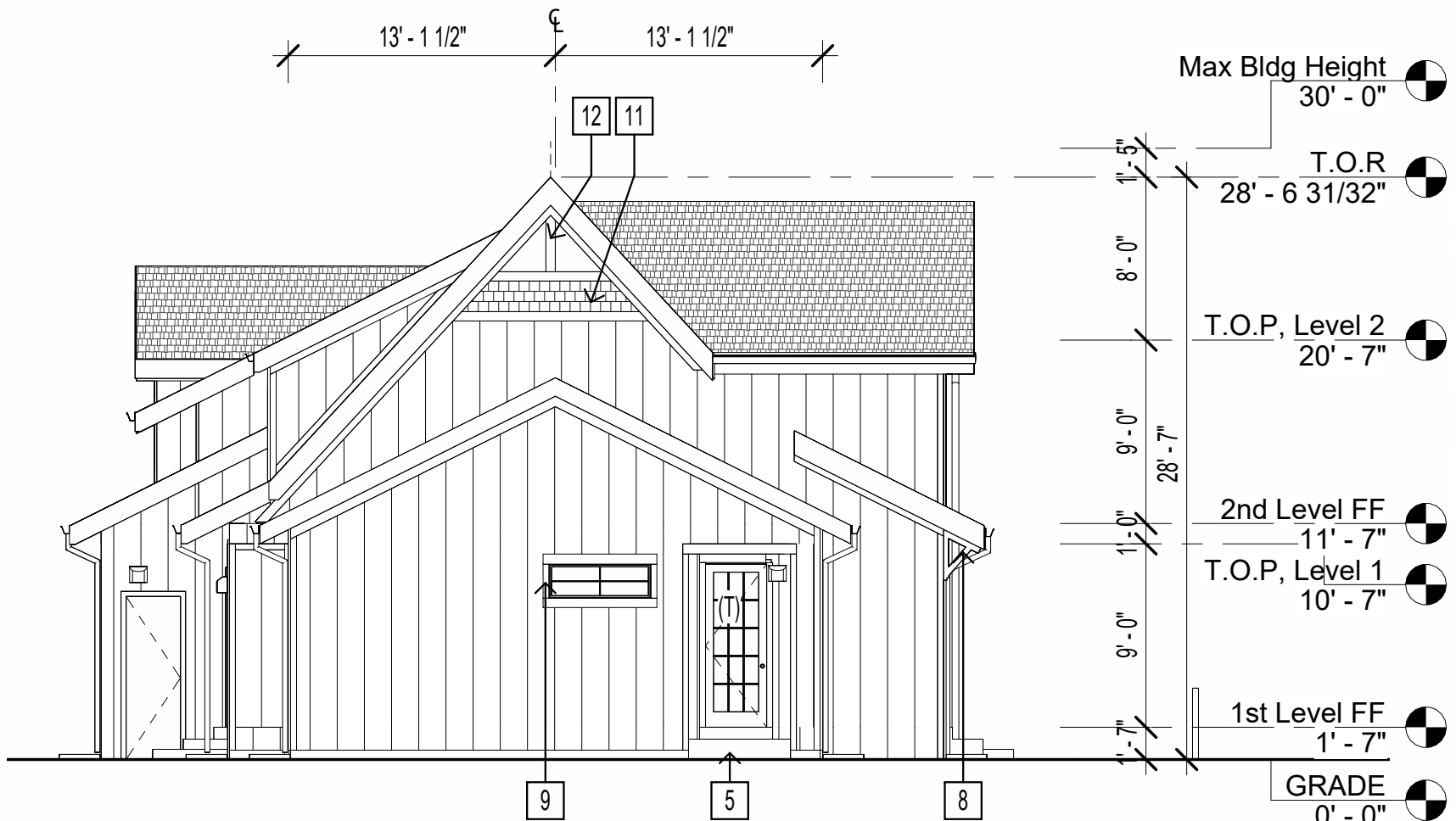
5 Front-East, Existing
1/8" = 1'-0"



6 Front-East Elevation, Proposed
1/8" = 1'-0"



1 Left-South, Existing
1/8" = 1'-0"



2 Left-South Elevation, Proposed
1/8" = 1'-0"

ELEVATIONS, PROPOSED, KEYNOTES & MATERIALS

- 1 STANDING SEAM METAL ROOF, NON-REFLECTIVE & MATTE FINISH
 - 2 2X TYP. FASCIA BOARD PRE-PRIMED/ PAINTED
 - 3 2X DRIP SILL WITH SLOPE
 - 4 ACCORDION DOOR
 - 5 CONCRETE STOOP
 - 6 GUTTER
 - 7 ADDRESS NUMBER (SEE NOTE BELOW)
 - 8 DECORATIVE CORBEL
 - 9 ADVANTAGE PLUS EXTERIOR TRIM
 - 10 EXTERIOR LIGHT, TO HAVE SHIELD SO BULB LIGHT IS DIRECTED TO THE GROUND
 - 11 JAMES HARDIE SHINGLE SIDING
 - 12 JAMES HARDIE PANEL SIDING W/ VERTICAL BATS
 - 13 ASPHALT SHINGLE ROOF, TRIPLE PLY
 - 14 CUSTOM GARAGE DOOR, WOOD GRAIN TEXTURED, RAISED PANEL
- (T) TEMPERED
(EG) EGRESS
- NOTE: OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT SPECIFICATION. SEE A400 FOR MATERIAL SPECIFICATIONS

ELEVATIONS, EXISTING, KEYNOTES & MATERIALS

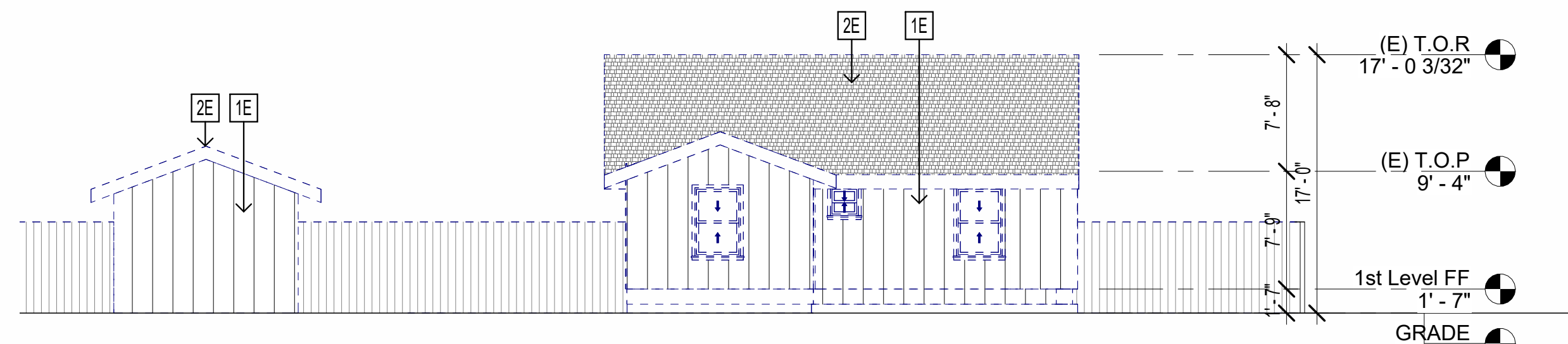
- 1E LAP SIDING TO BE DEMOLISHED
- 2E ASPHALT SHINGLE ROOF TO BE DEMOLISHED

(E) EXTERIOR PHOTOS



NOTES

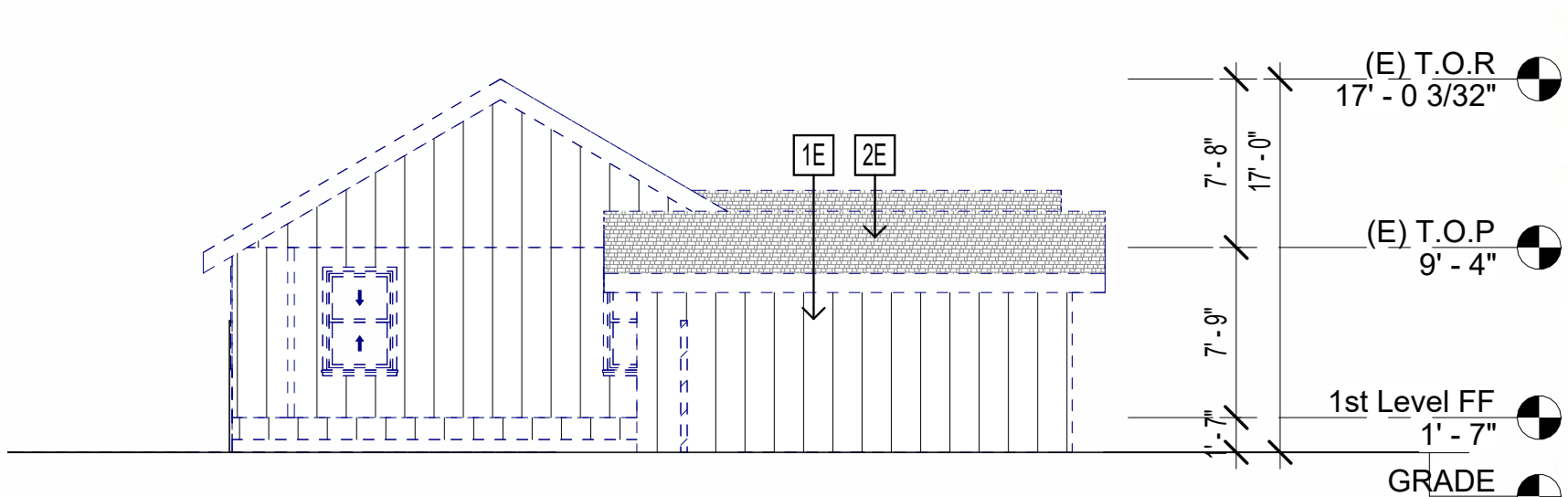
1. REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL CERTIFY HEIGHT OF BUILDING DOES NOT EXCEED 26 FEET. THE WRITTEN CERTIFICATION SHALL BE SUBMITTED TO THE BUILDING OFFICIAL PRIOR TO ROOF SHEATHING INSPECTION AND SHALL TAKE INTO ACCOUNT THE ADDED HEIGHT WITH THE INSTALLATION OF THE FINISHING MATERIALS AND UNDERLAYMENT.
2. GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS.
3. WEEP SCREED A MINIMUM OF 26 GA CORROSION RESISTANT WEEP SCREED W/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS W/ STUCCO. THE SCREED SHOULD BE PLACED A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
4. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1/2 INCH. NUMBERS SHALL NOT BE SPELLED OUT. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND (CRC 319.1)
5. FF LEVEL (0' - 0") IS EQUIVALENT TO ASML (228.85). PLEASE SEE CIVIL PLANS SHEET LC4 % LC5 FOR MORE INFORMATION.
6. WEEP SCREED A MINIMUM OF 26 GA CORROSION RESISTANT WEEP SCREED W/ A MINIMUM VERTICAL ATTACHMENT FLANGE OF FOUNDATION PLATE LINE ON ALL EXTERIOR STUD WALLS. THE SCREED SHOULD BE PLACES A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS AND SHALL BE OF A TYPE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING.
7. ALL PERMANENT EXTERIOR LIGHT FIXTURES SHOULD UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES.



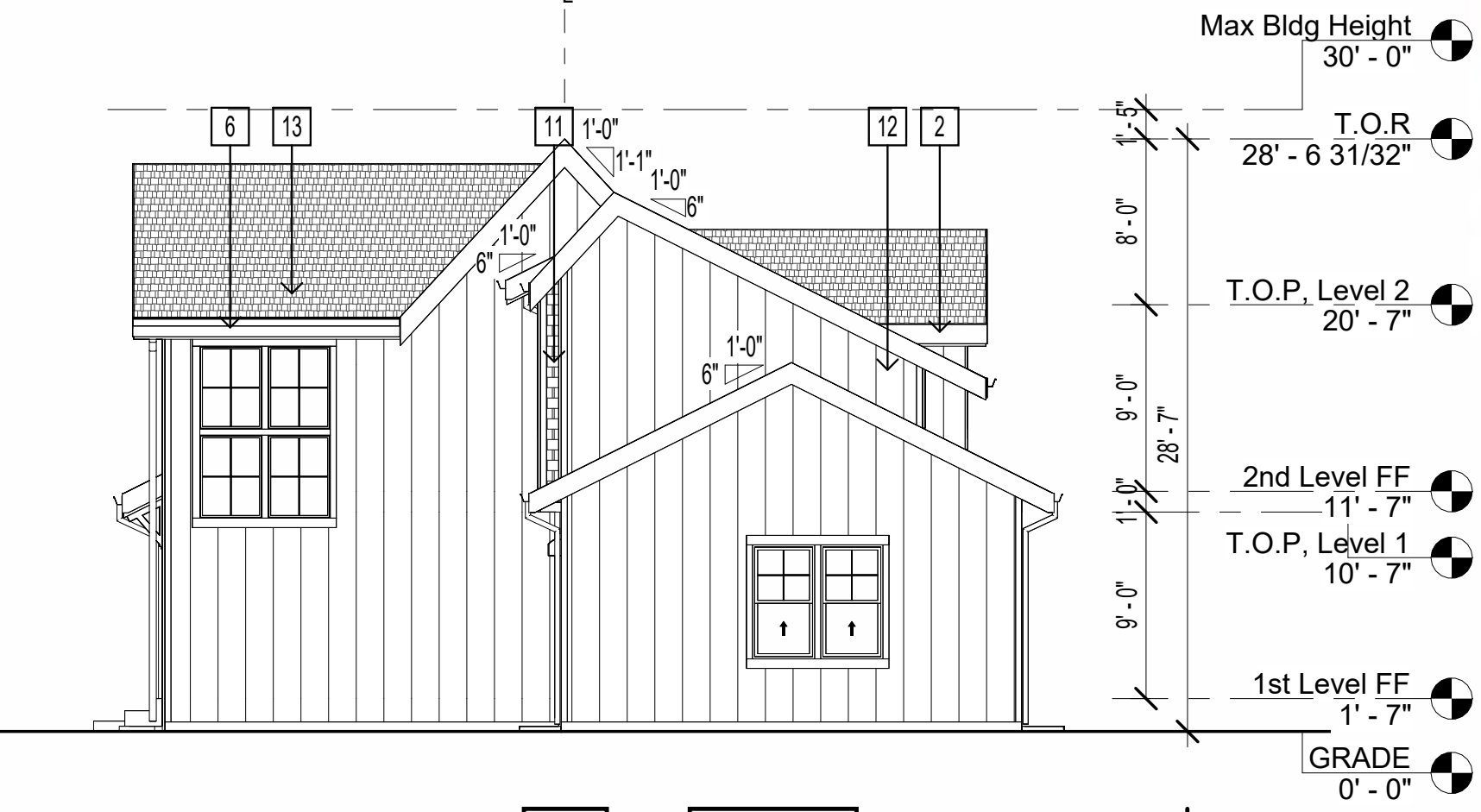
7 Rear-West, Existing
1/8" = 1'-0"



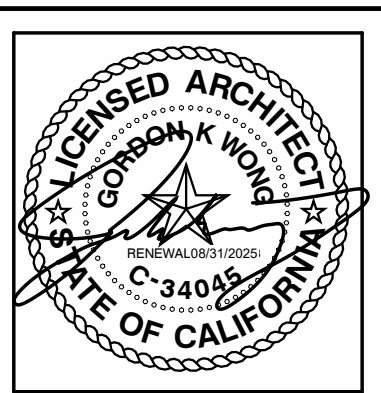
8 Rear-West Elevation, Proposed
1/8" = 1'-0"



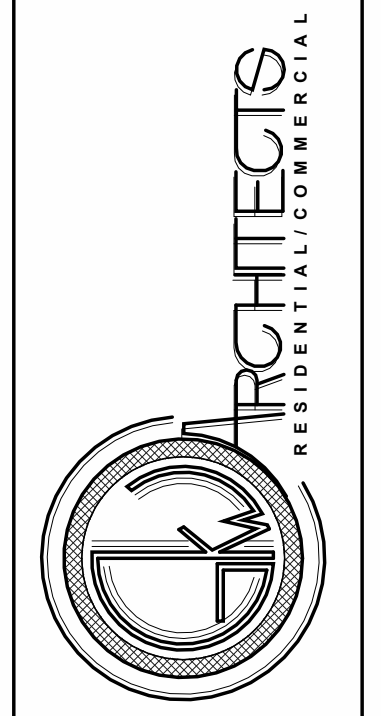
3 Right-North, Existing
1/8" = 1'-0"



4 Right-North Elevation, Proposed
1/8" = 1'-0"



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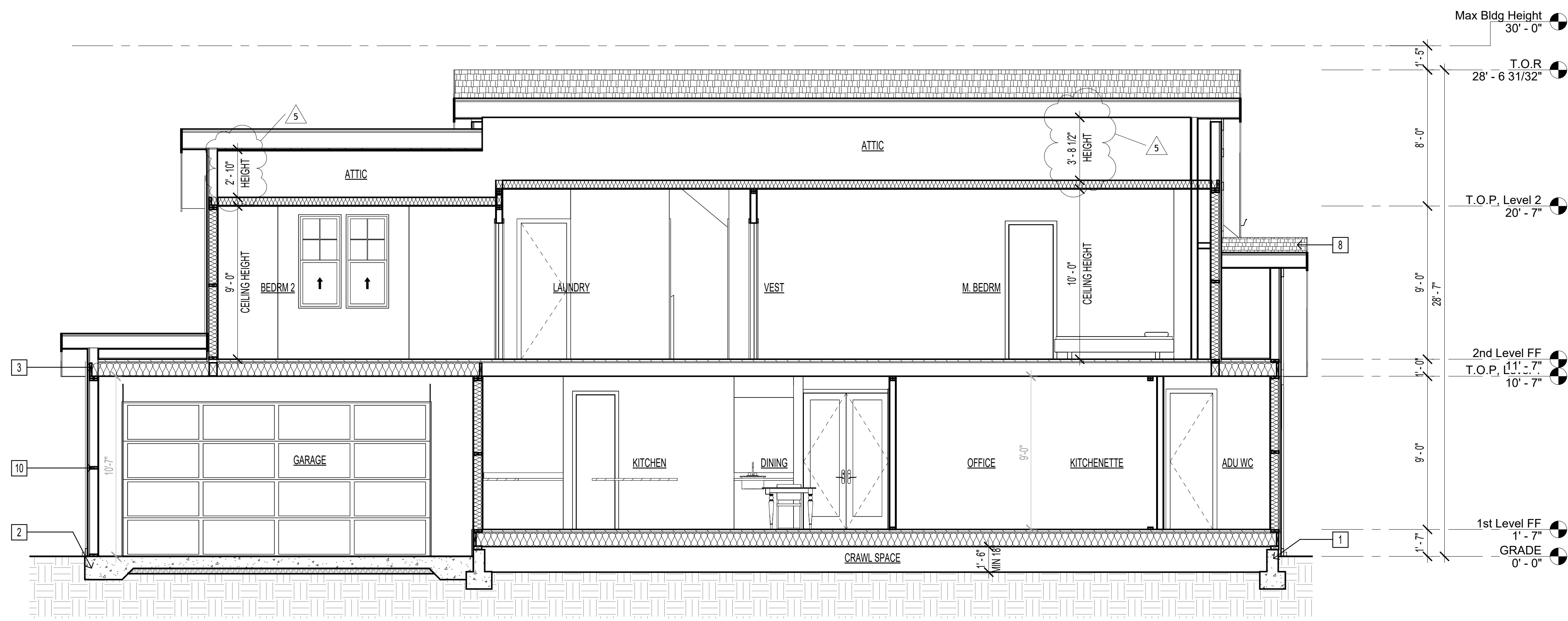
Architectural,
Elevations,
Existing &
Proposed

A200

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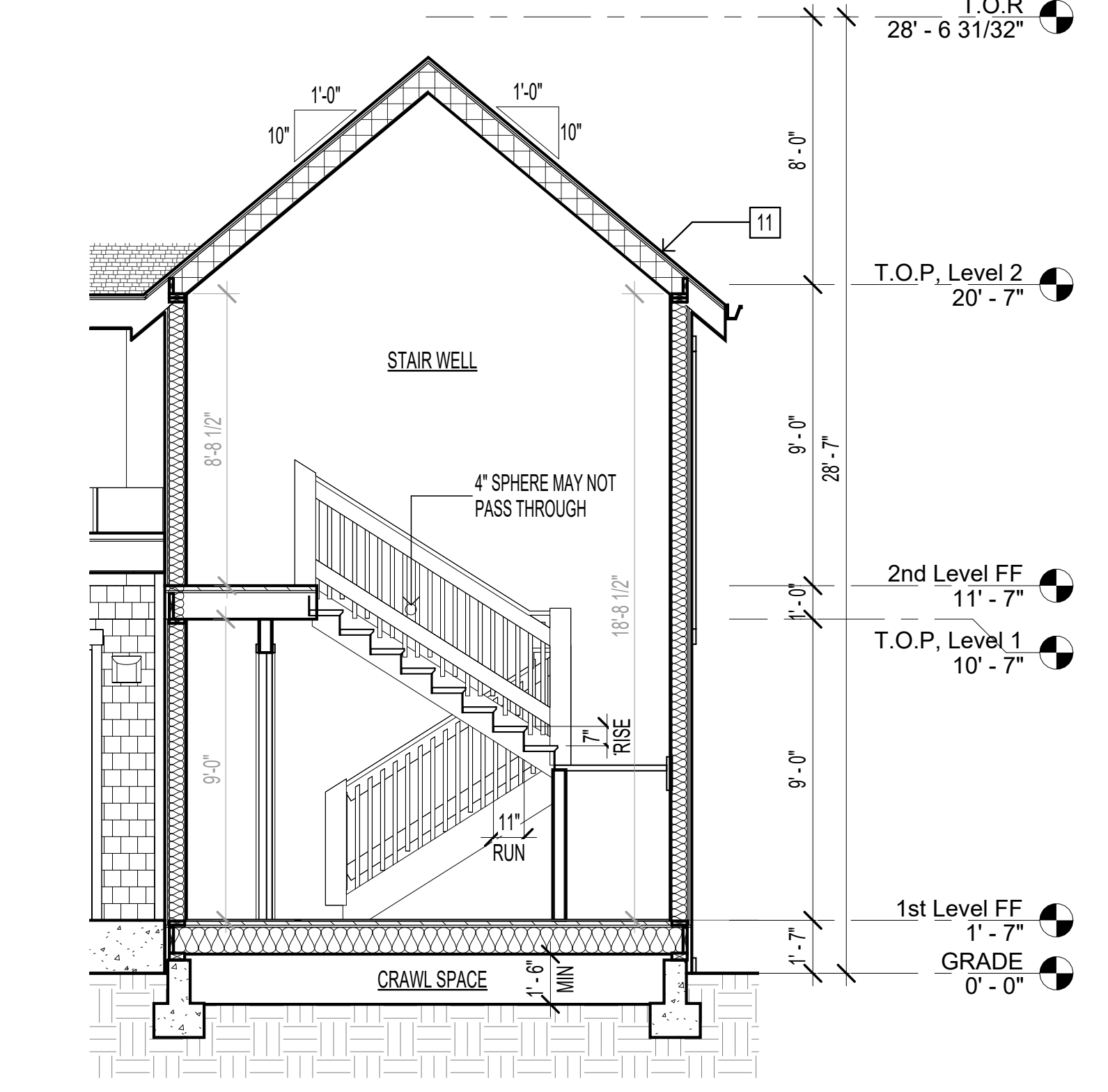
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Architectural, Elevations, Existing & Proposed

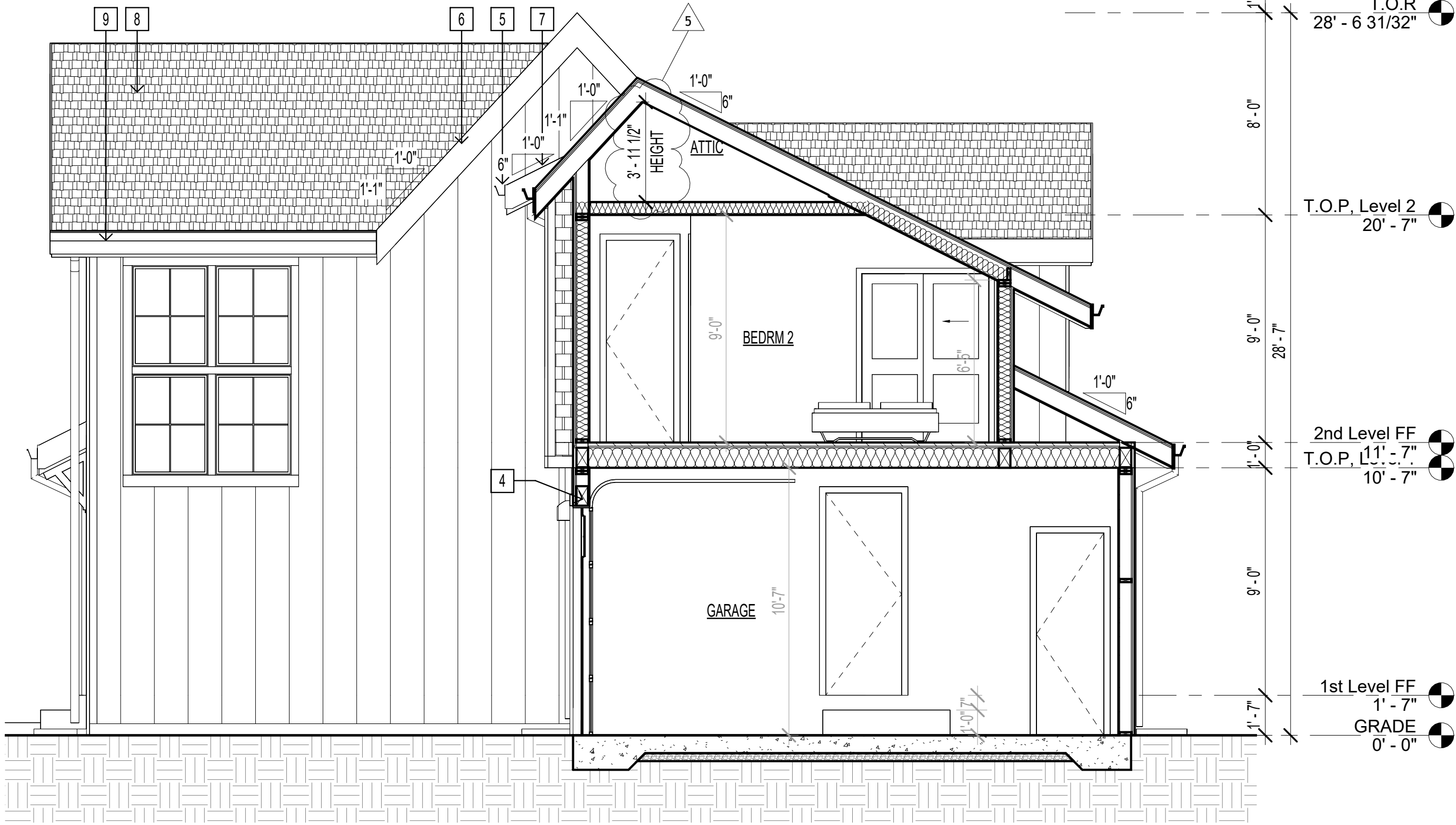


- SECTION, PROPOSED, KEYNOTES
- 1 FOUNDATION, SEE STRUCTURAL
 - 2 CONCRETE SLAB
 - 3 FLOOR JOISTS, SEE STRUCTURAL
 - 4 HEADER, SEE STRUCTURAL
 - 5 RADIANT BARRIER ROOF SHEATHING
 - 6 2X TYP. FASCIA BOARD PRE-PRIMED/ PAINTED
 - 7 STANDING SEAM METAL ROOF
 - 8 ASPHALT SHINGLE ROOF
 - 9 TYP. 24 GA. GALV. SHEET METAL GUTTER & DOWN SPOUT
 - 10 FIRE STOP
 - 11 INSULATION @ VAULTED CEILING

1 Section AA
1/4" = 1'-0"

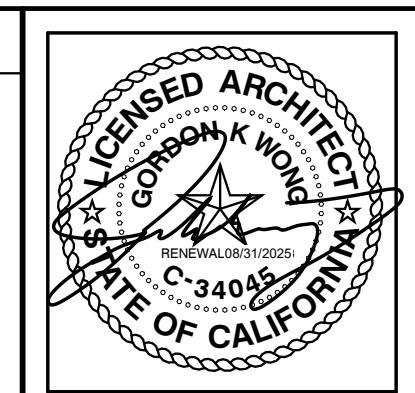


3 Section CC
1/4" = 1'-0"

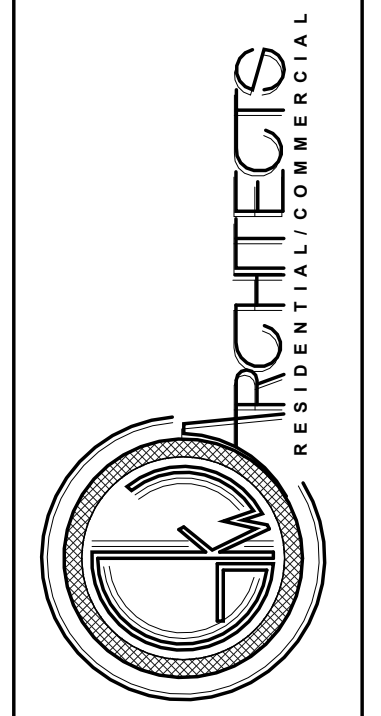


2 Section BB
1/4" = 1'-0"

- GENERAL NOTES
1. THE RISER HEIGHT SHALL BE NOT MORE THAN 7 3/4 INCHES. THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. (CRC - R311.7.3.1)
 2. THE TREAD DEPTH SHALL BE NOT LESS THAN 10 INCHES. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. (CRC - R311.7.5.2)
 3. HANDRAILS SHALL NOT BE LESS THAN 34" OR MORE THAN 38" IN HEIGHT ABOVE THE STAIR NOSING. HANDRAILS SHALL BE CONTINUOUS PER FLIGHT OF STAIRS. HANDRAILS SHALL BE 1-1/2" CLR. OF ALL ADJACENT FIN. MATLS AND ENDS SHALL RETURN TO OR TERMINATE IN NEWEL POSTS OR SAFE TERMINALS. HANDRAILS SHALL BE 1-1/4" IN CROSS-SECTIONAL DIMENSION OR APPROVED EQUAL AND BE SMOOTH WITH NO SHARP EDGES/COR.
 4. STAIR & RAILING SUPPLIER SHALL SATISFY ALL BUILDING DEPARTMENT APPROVAL REQUIREMENTS FOR THE PRODUCTS THEY PROVIDE OR INSTALL.
 5. THE GURADRAIL CONST. SHALL BE ABLE TO RESIST A LOAD OF 20 LBS PER LIN. FT. APPLIED HORIZONTALLY ALONG THE RAIL.
 6. REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW THE PASSAGE OF A SPHERE 4 INCHES IN DIAMETER FROM THE WALKING SURFACE REQUIRED GUARD HEIGHT.
 7. FOR OCCUPANCIES IN GROUP R-3, WHERE TOP OF THE GUARD SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. THE HANDRAIL CONSTRUCTION SHALL BE ABLE TO RESIST A LOAD OF 200 LBS APPLIED IN ANY DIRECTIONS AT ANY POINT ALONG THE TOP RAIL.
 8. WHERE HANDRAILS ARE NOT CONTINUOUS BETWEEN FLIGHTS, THE HANDRAILS SHALL EXTEND HORIZONTALLY NOT LESS THAN 12 INCHES BEYOND THE TOP RISER AND CONTINUE TO SLOPE FOR THE DEPTH OF ONE TREAD BEYOND THE BOTTOM RISER. THE EXTENSIONS OF HANDRAILS SHALL BE IN THE SAME DIRECTION OF THE FLIGHTS OF STAIRS AT STAIRWAYS.



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 KEVIN YU, JOSHUA LIU
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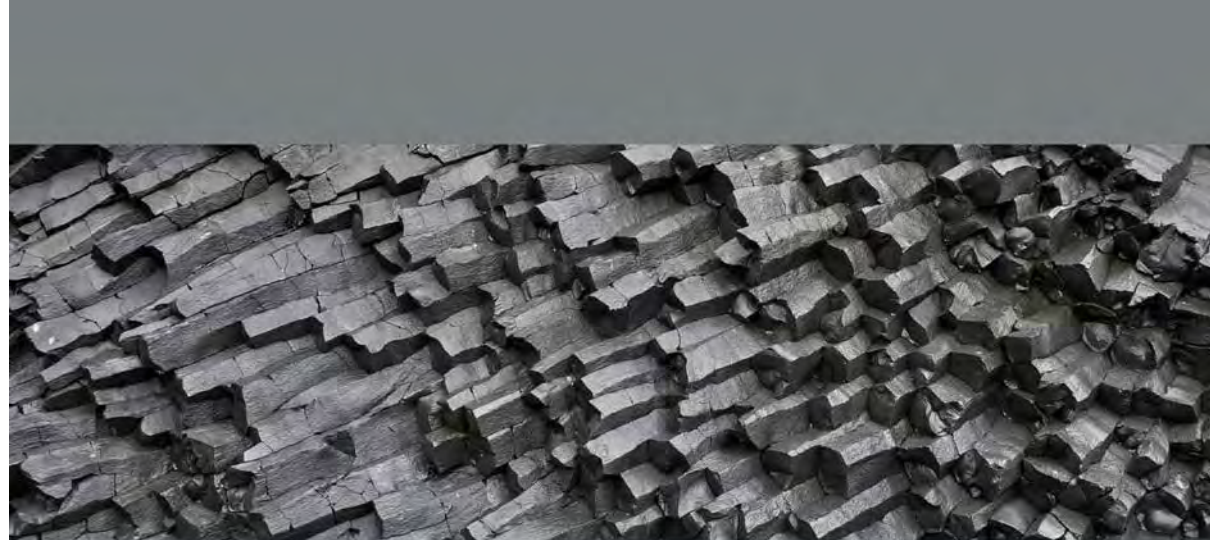
Architectural, Sections, Proposed

Flamenco Residence
 14341 Browns Lane
 Los Gatos, CA 95032

Revision Schedule		
Number	Description	Date
1	Staff Tech Rev #1	2024.07.12
2	Staff Tech Rev #2	2024.11.05
3	Staff Tech Rev #3	2025.02.06


Architectural,
 Sections,
 Proposed

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Natural Matte®
Subtle. Refined. Revolutionary.

Matte surfaces are all around us, from rugged coastal cliffs, to ancient volcanic mountains. These natural materials complement and enhance their surroundings through their balanced interaction with light. Capturing the diffuse light interaction of organic surfaces, Natural Matte® encompasses a range of six refined exterior finishes for metal roofing and siding.

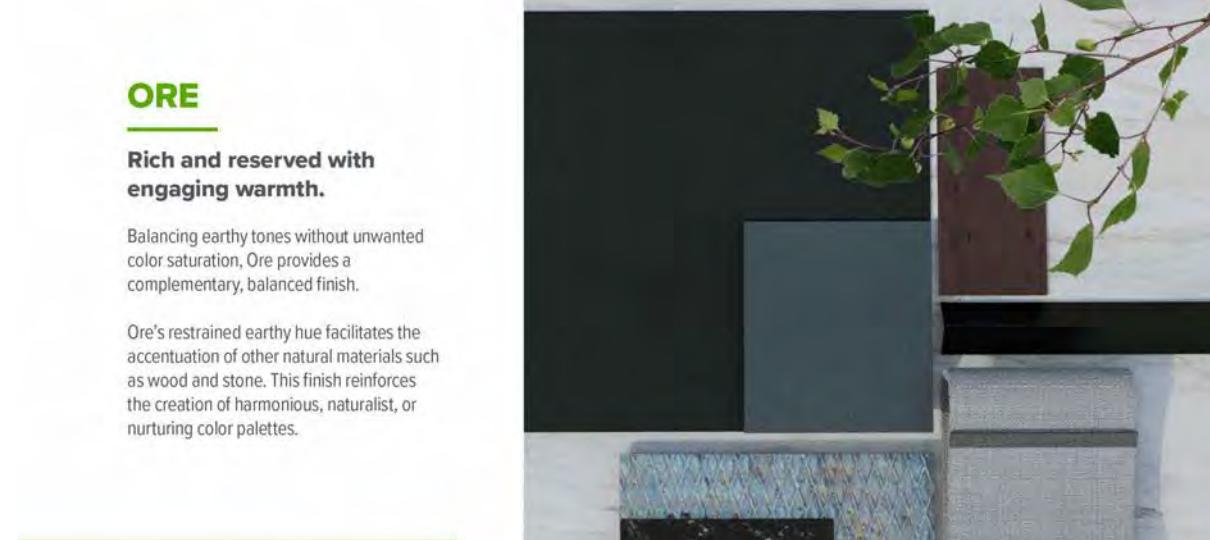


ORE
Rich and reserved with engaging warmth.

Balancing earthy tones without unwanted color saturation, Ore provides a complementary, balanced finish.

Ore's restrained earthy hue facilitates the accentuation of other natural materials such as wood and stone. This finish reinforces the creation of harmonious, naturalist, or nurturing color palettes.

ORE
2027
SMP 1.0
LPIV 1.0
GLOS 1.1
SHEEN 2.3

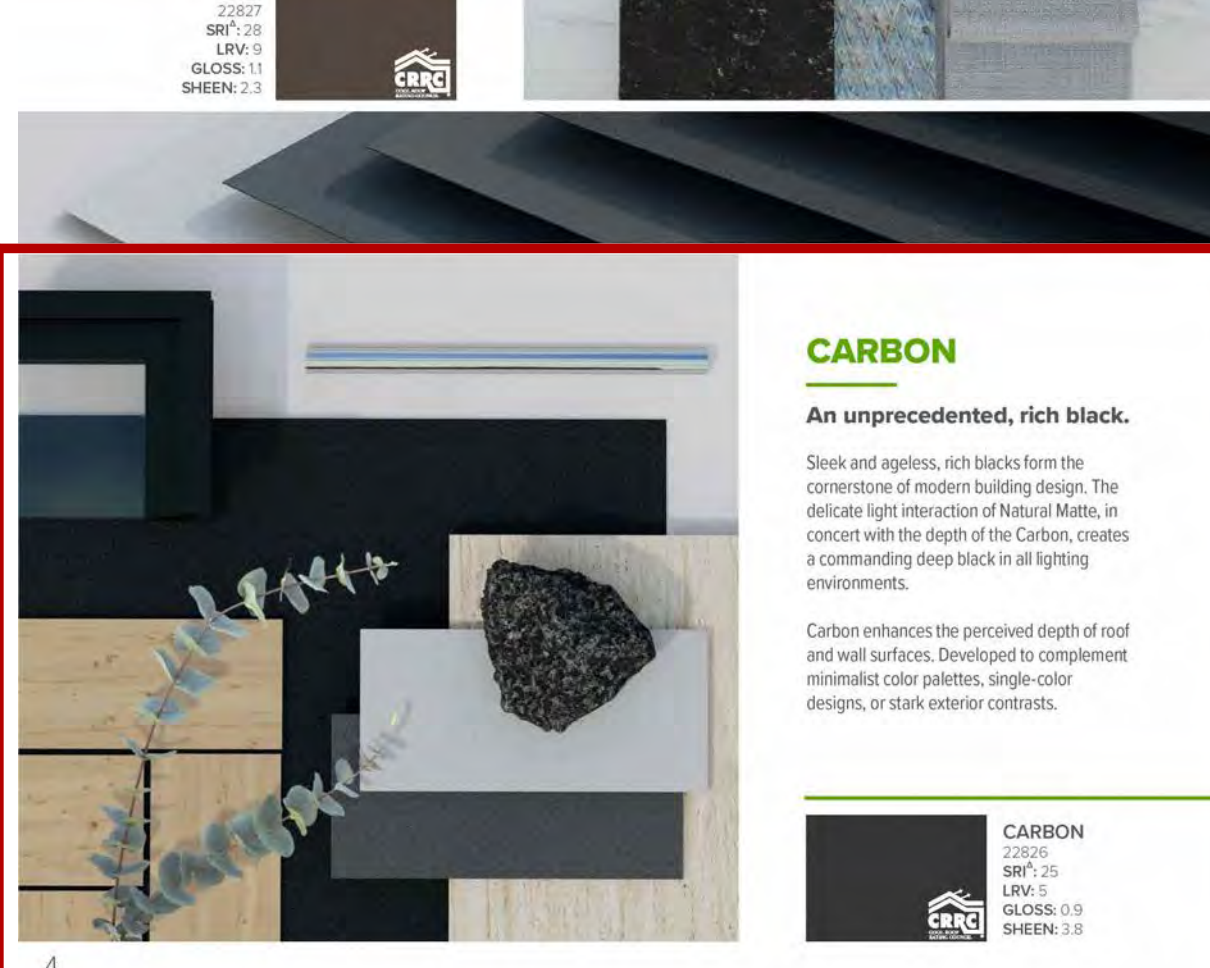


CARBON
An unprecedented, rich black.

Sleek and ageless, rich blacks form the cornerstone of modern building design. The delicate light interaction of Natural Matte, in concert with the depth of the Carbon, creates a commanding deep black in all lighting environments.

Carbon enhances the perceived depth of roof and wall surfaces. Developed to complement minimalist color palettes, single-color designs, or stark exterior contrasts.

CARBON
2026
SMP 1.0
LPIV 1.0
GLOS 0.9
SHEEN 2.3



Product Details


Warranty	40-year film integrity, and 30-year color fade and chalking warranty
Paint System Type	Silicon Modified Polyester (SMP)
Standard Thickness	0.0140" - 0.0296"
Substrate	Metallic coated steel (TritZinc or ZINCALUME)
Production Location	Kalama, Washington / Rancho Cucamonga, California


Application

Recommended Protective Skippable Film	Pregs ZLUV7C
Batch Sensitive	Yes
Touch Up Paint	Available, please inquire for product information

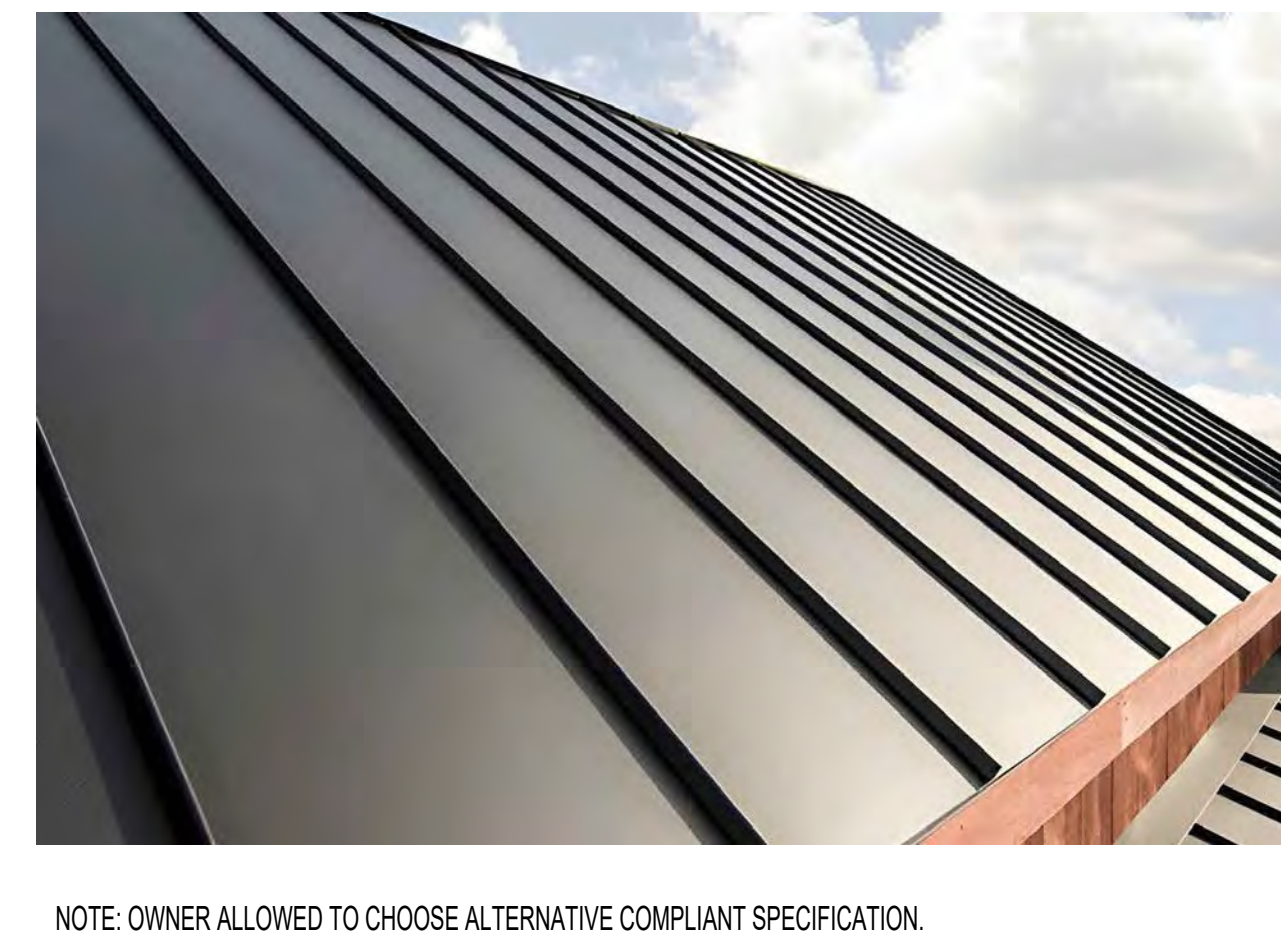
For other product information, please see the separate "Customer FAQ" document found in the Natural Matte resources.

¹ Published initial and aged CRRC values available by request. These values may differ due to differences in testing requirements. See CRRC product directory listing for details.

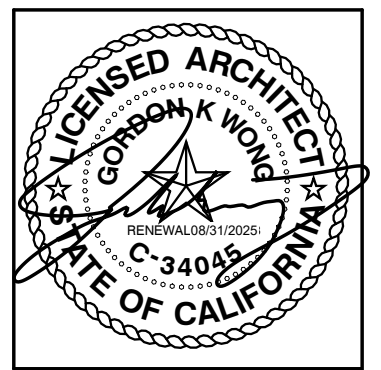


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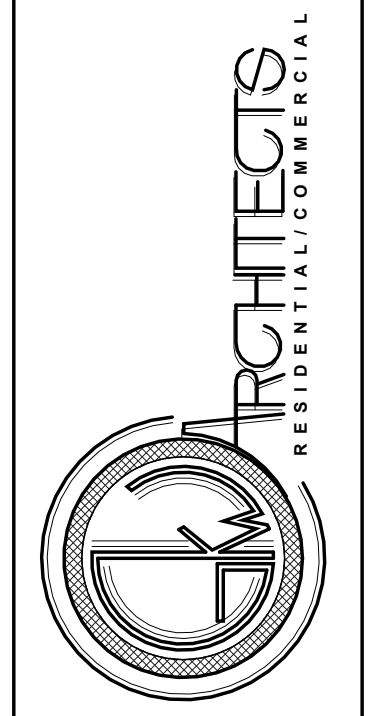


NOTE: OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT SPECIFICATION.



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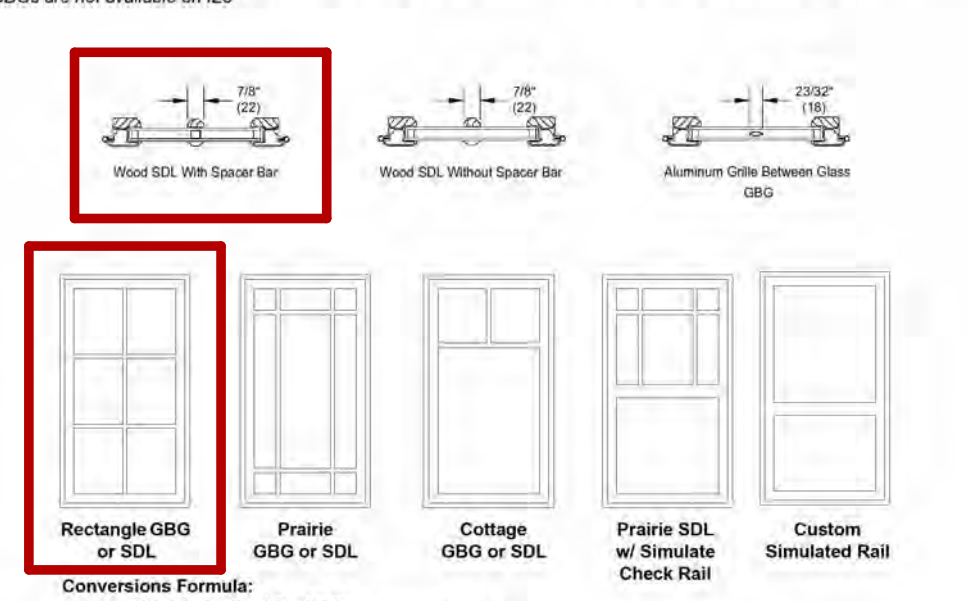


MARVIN Elevate Double Hung

Available Divided Lite Patterns

NOTES:

- Direct Glaze Round Top with GBG or SDL will only align with the default lite cut of the unit it is intended to be milled with.
- Rectangle GBG for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Rectangle SDL for special size units will default to the next smaller standard size lite pattern. Also available will be Prairie patterns, Cottage patterns, and customer specified equal rectangular lite patterns.
- Prairie GBG and SDL available in 9 lite and 6 lite top, bottom, left, and right patterns.
- Cottage GBG and SDL for special sizes units will default to the next smaller standard size lite pattern. Cottage GBG and SDL are also available in customer selected lite patterns.
- Round Top lite patterns will not align with Double Hung optional GBG or SDL lite patterns.
- Maximum number of lites wide and high for equal lite SDL option is 11 lites.
- Minimum DLO measurement for equal lite SDL option is 4" (102) and will be validated by OMS.
- Minimum DLO measurement for equal lite GBG option is 3" (76) and will be validated by OMS.
- Standard DLO measurement for Prairie GBG and SDL options is 4" (102). Special DLO corners are n/a.
- Standard DLO height measurement for Cottage GBG and SDL option is 10" (254). Minimum DLO height is 8" (203) for one high pattern. Minimum DLO height is 4" (102) for two high patterns.
- Standard DLO height measurement for Cottage GBG option is 10" (254). Minimum DLO height is 3" (76) for both one and two high patterns.
- Simulated Rail Rectangular, Prairie 6 Lite and 9 Lite SDL patterns are available with Simulated Rail.
- Simulated Rail Custom ratio and specified DLO are available with Simulated Rail and will be validated by OMS.
- GBGs are not available on I23.



Conversions Formula:
Total DLO - Total Bar Width = Individual DLO
Number of lites

2023-04-17 ELDH-58 1170852 Architectural Detail Manual

MARVIN ELEVATE™ COLLECTION DOUBLE HUNG

NO. (mm)	1-10 (254)	2-20 (508)	2-4 (102)	2-4 (102)	2-4 (102)	2-10 (254)
NO. (mm)	1-10 (254)	2-20 (508)	2-4 (102)	2-4 (102)	2-4 (102)	2-10 (254)
DLO (mm)	1-10 (254)	2-20 (508)	2-4 (102)	2-4 (102)	2-4 (102)	2-10 (254)

January 2020

Kelleher CORPORATION



Primed Boards

Primed boards are S3S (surfaced three sides) and E2E (eased two edges) for a superb look. Use for general trim, fascia, and most above ground and non-structural applications. Finish with two coats of quality 100% acrylic paint.

Nominal Size	16'	20'
1 x 2	2037416	2037418
1 x 3	2039346	2039350
1 x 4	2040433	2040434
1 x 6	2043522	2043523
1 x 8	2046785	2046786
1 x 10	2050049	2050050
1 x 12	2053312	2053316
5/8 x 4	2067450	2067454
5/8 x 6	2067451	2067455
5/8 x 8	2067452	2067456
2 x 2	2073350	2073351
2 x 4	2073355	2073356
2 x 6	2076335	2076336
2 x 8	2079336	2079337
2 x 10	2082347	2082348
2 x 12	2085295	2085296
2 x 14	2087263	2087265

Use 1x and 2x board sizes for durable door and window casings, and step risers.

8 TREATED TRIM BOARDS, MOULDINGS AND SIDINGS

LUMENS Pitch LED Indoor/Outdoor Wall Sconce

Pitch LED Indoor/Outdoor Wall Sconce
By Visual Comfort Modern

Product Options

Finish: Black
Size: 5 in.
Voltage: 120 Volt

Details

Ingress resistant, UV stabilized frosted acrylic lensing
Mount vertically for downlight only
LED driver is housed within the junction box.

Dimensions

5 in Option Backplate: Width 5", Height 5"
5 in Option Fixture: Width 5", Height 5", Depth 3.5",
Weight 1.66lbs

Lighting
5 in

Lamp Type	LED Built-in
Total Lumens	823
Total Watts	26.10
Volts	120
Color Temp	3000 (Soft White)
Average Lifespan (Hours)	70,000
CRI	90
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:
<https://www.lumens.com/pitch-led-indoor-outdoor-wall-sconce-by-visual-comfort-modern-TEC506951.html>

Rating: ETL Listed Wet

ITEM#: TEC506951

Created September 24th, 2024

NOTE: OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT SPECIFICATION.

Architectural, Exterior Material Specifications

Flamenco Residence
14341 Browns Lane
Los Gatos, CA 95032

Revision Schedule

Number	Description	Date
2	Staff Tech Rev #1	2024.07.12
3	Staff Tech Rev #2	2024.11.05

Architectural, Exterior Material Specifications

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NOTE: OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT SPECIFICATION. WINDOWS TO BE FIBERGLASS

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