

LOS GATOS MIXED USE

LOS GATOS, CALIFORNIA

FORMAL DEVELOPMENT REVIEW APPLICATION

REVISED SUBMITTAL #1 06.15.2024 REVISION #2 08.30.2024 REVISION #3 10.30.2024 REVISION #4 02.18.2025

PROJECT DESCRIPTION

151 EAST MAIN STREET IS A 4-STORY MIXED USE BUILDING WITH UNDERGROUND PARKING LOCATED ON 0.425 ACRE SITE AT THE CORNER OF MAIN STREET AND HIGH SCHOOL COURT IN LOS GATOS, CALIFORNIA. THE GROUND LEVEL INCLUDES 2,416 SQUARE FEET OF PEDESTRIAN ORIENTED COMMERCIAL WHICH COULD BE LEASED TO A RETAIL OR RESTAURANT TENANT. RESIDENTIAL (FOR SALE) UNITS ARE LOCATED ON ALL FOUR LEVELS OF THE PROJECT. THE PROPOSED PROJECT INCLUDES 30 UNITS, 24 MARKET RATE UNITS AND 6 AFFORDABLE UNITS RANGING FROM 743 SQUARE FEET TO 2,188 SQUARE FEET. ALL 6 OF THE AFFORDABLE UNITS PROPOSED (OR 20% OF THE 30 TOTAL UNITS) WILL BE SOLD TO LOWER INCOME HOUSEHOLDS, AS DEFINED IN SECTION 50079.5 OF THE HEALTH AND SAFETY CODE. MEANING, THOSE WHOSE INCOME DOES NOT EXCEED 80% OF AREA MEDIAN INCOME. PROPOSED PROJECT UNITS ARE 1 BEDROOM UP TO 3 BEDROOMS WITH OUTDOOR PATIOS. THERE ARE TWO(2) OPTIONS FOR THE UNDERGROUND PARKING. OPTION 1- A TWO LEVEL PARKING GARAGE WITH 47 INDIVIDUAL PARKING STALLS. OPTION 2 - A ONE LEVEL PARKING GARAGE WITH 39 PARKING STALLS THAT INCLUDE 16 CAR STACKERS.

THE PROPOSED EXTERIOR ELEVATIONS TAKES ITS CUE FROM LOS GATOS HIGH SCHOOL LOCATED NEXT DOOR AND THE MANY SIGNIFICANT BRICK STRUCTURES LOCATED ON MAIN STREET AND NORTH SANTA CRUZ IN DOWNTOWN LOS GATOS. BUILDING MATERIALS INCLUDE BRICK WALLS, PRECAST CONCRETE FACADE DETAILING, IRON BALCONIES, METAL GRID WINDOWS AND CANVAS AWNINGS. THESE MATERIALS CAN BE FOUND IN DOWNTOWN LOS GATOS IN OTHER KEY BUILDINGS.

THE FOURTH FLOOR IS STEPPED BACK TO REDUCE THE OVERALL APPEARANCE OF MASS AND HEIGHT OF THE PROPOSED PROJECT. MATERIALS ON THE FOURTH FLOOR INCLUDE EXTERIOR PLASTER WALLS, PRECAST CONCRETE DETAILING, AND A SLOPED CLAY TILE ROOF TO FURTHER REDUCE THE BUILDING MASSING. OUTDOOR PATIOS WITH WOOD TRELLIS FEATURES AND LANDSCAPING PROVIDE OWNERS VIEWS TO THE FOOTHILLS AND SURROUNDING BUILDINGS.

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PROJECT INFORMATION

PROPERTY ADDRESS	143 E MAIN STREET 151 E MAIN STREET
APN	529-28-001 529-28-002
EXISTING ZONING	C-2
PROPOSED USES	COMMERCIAL RESIDENTIAL MIXED USE
OCCUPANCY	MERCANTILE AND RESIDENTIAL
TYPE OF CONSTRUCTION	TYPE I-B TYPE IV-B
2 LEVELS BELOW GRADE PARKING	
4 LEVELS ABOVE GRADE HOUSING	
TOTAL GARAGE AREA	30,996 SF
TOTAL HOUSING AREA	47,580 SF

PARKING CALCULATION		OPT1	OPT2
TOTAL PARKING STALLS		47	39
RETAIL/HOUSING SHARED		8	0
HOUSING		39	39
ACCESSIBLE STANDARD STALLS(HC)		1	1
ACCESSIBLE VAN STALLS(HCV)		1	1
LEVEL 2 EVCS STALLS		26	25
EV(STANDARD)		24	23
EV(ACCESSIBLE)		1	1
EV(VAN ACCESSIBLE)		1	1
TOTAL BICYCLE PARKING		80	49
LONG TERM BICYCLE PARKING		72	41
SHORT TERM BICYCLE PARKING		8	8
MOTORCYCLES		2	1
VISITOR PARKING		0	0

UNIT SUMMARY

MARKET RATE UNITS	24
AFFORDABLE UNITS	6
TOTAL UNITS	30

NOTES:
1. A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

- THIS MULTI-FAMILY STRUCTURE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE.
- BUILDING IS FULLY SPRINKLERED. A DEFERRED SUBMITTAL IS REQUIRED.
- FIRE ALARM WILL BE PROVIDED. A DEFERRED SUBMITTAL IS REQUIRED.
- FIRE HYDRANTS WILL BE PROVIDED. SEE CIVIL PLANS.
- TWO WAY COMMUNICATION SYSTEM IS A DEFERRED SUBMITTAL.
- EMERGENCY RESPONDER RADIO SYSTEM IS A DEFERRED SUBMITTAL.
- STANDPIPES DRAWINGS ARE A DEFERRED SUBMITTAL.

SITE SUMMARY

SITE AREA	18,516 SF (0.425 AC)
AREA CALCULATION	
BUILDING GROSS AREA	47,580 SF
CIRCULATION AREA	11,427 SF
USABLE FLOOR AREA	36,153 SF
RESIDENTIAL AREA	32,727 SF
AMENITY SPACE	1,010 SF
COMMERCIAL/RETAIL / RESTAURANT	2,416 SF
UNITS	30
RESIDENTIAL DENSITY	71 UNITS / AC
PROPOSED SITE COVERAGE	72%
(GROUND FLOOR BUILDING FOOTPRINT 13,375 SF)	
FAR	2.57
EXISTING SITE COVERAGE	45%
EXISTING BUILDING SIZE	8,258 SF

PROJECT TEAM

OWNER

CSPN LLC
8 THE GREEN, SUITE A
DOVER, DE 19901
Phone: 212.228.1601
Contact: David Blatt
Email: dblatt@capstackpartners.com

ARCHITECT

KENNETH RODRIGUES & PARTNERS, INC.
445 N. WHISMAN ROAD, SUITE 200
MOUNTAIN VIEW, CA 94043
Phone: 650.965.0700(13)
Contact: Ken Rodrigues
Email: kenr@kparchitects.com
Phone: 650.965.0700(20)
Contact: Yichao Li
Email: yichao@kparchitects.com

LANDSCAPE ARCHITECT

THE GUZZARDO PARTNERSHIP, INC
181 GREENWICH STREET
SAN FRANCISCO, CA 94111
Phone: 415.433.4674
Contact: Gary Laymon
Email: glaymon@tgp-inc.com
Phone: 415.433.4672(17)
Contact: Colin Bly
Email: cbly@tgp-inc.com

CIVIL ENGINEER

SANDIS
1700 S WINCHESTER BLVD, SUITE 200
CAMPBELL, CA 95008
Phone: 408.963.9469
Contact: Tim Kim
Email: tkim@sandis.net
Phone: 408.813.3275
Contact: Samir Patel
Email: spatel@sandis.net

VICINITY MAP



0' 150' 300'





LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94035

CONSULTANTS

REVISION:

06.15.2024 1ST REVISED SUBMITTAL
10.30.2024 3RD REVISED SUBMITTAL

PROJECT NO. 38,675 DATE 01.15.2024
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DESIGN IMAGERY

A0.1

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151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

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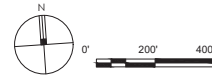
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AERIAL MAP

A0.2



B IMAGES OF SITE



1 VIEW FROM MAIN STREET



2 VIEW FROM MAIN STREET (BUILDING HEIGHT: ±20')



3 VIEW FROM MAIN STREET



4 VIEW FROM CHURCH STREET



5 VIEW LOOKING EAST FROM CHURCH STREET



6 VIEW LOOKING SOUTH FROM CHURCH STREET

A CONTEXT SITE PLAN



GENERAL NOTES:

- 1. EXISTING BUILDING HEIGHT ±20'
- 2. EXISTING BUILDING AND PARKING LOT TO BE DEMOLISHED



**LOS GATOS
MIXED-USE**

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
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MOUNTAIN VIEW, CA 94038

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PHOTOS OF THE
EXISTING SITE

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B IMAGES OF ADJACENT BUILDINGS



1 EL GATO PENTHOUSE (BUILDING HEIGHT: ±54)
20 E MAIN ST, LOS GATOS, CA 95030



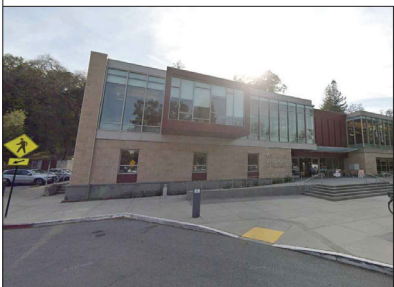
2 FIRST CHURCH OF CHRIST SCIENTIST (BUILDING HEIGHT: ±29)
238 E MAIN ST, LOS GATOS, CA 95030



3 HOTEL LOS GATOS (BUILDING HEIGHT: ±30)
210 E MAIN ST, LOS GATOS, CA 95030



4 LGS RECREATION (ADULT RECREATION CENTER) (BUILDING HEIGHT: ±18)
208 E MAIN ST, LOS GATOS, CA 95030

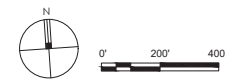
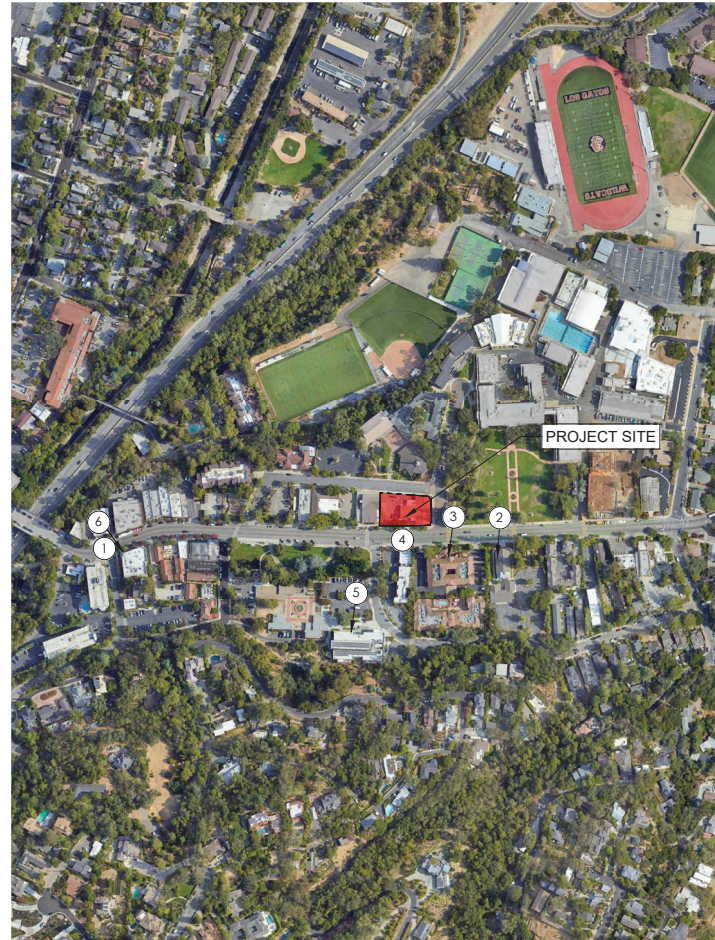


5 LOS GATOS LIBRARY (BUILDING HEIGHT: ±30)
100 VILLA AVE, LOS GATOS, CA 95030



6 PURPLE ONION CAFE (BUILDING HEIGHT: ±25)
26 E MAIN ST, LOS GATOS, CA 95030

A CONTEXT SITE PLAN



**LOS GATOS
MIXED-USE**

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
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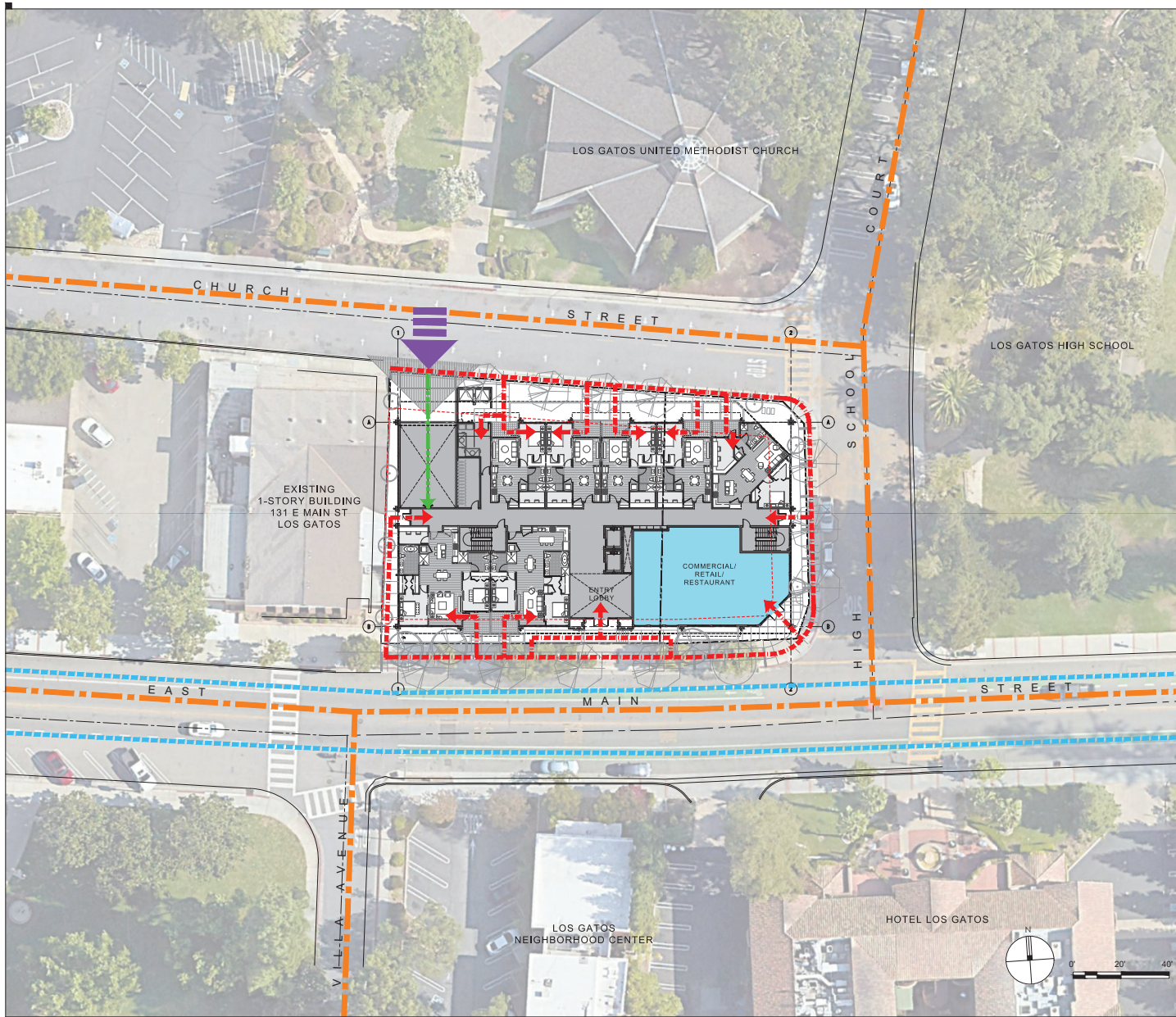
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**NEIGHBORHOOD
CONTEXT**

A0.4





- LEGEND**
- SITE ENTRY/
VEHICLE ENTRY
 - BUILDING ENTRY
 - PEDESTRIAN PATH
 - DRIVEWAY/RAMP TO
BASEMENT PARKING
 - EXISTING BIKE PATH
 - PUBLIC STREET
 - COMMERCIAL RETAIL/
RESTAURANT
 - RESIDENTIAL UNIT
 - LOBBY & CIRCULATION

**LOS GATOS
MIXED-USE**

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

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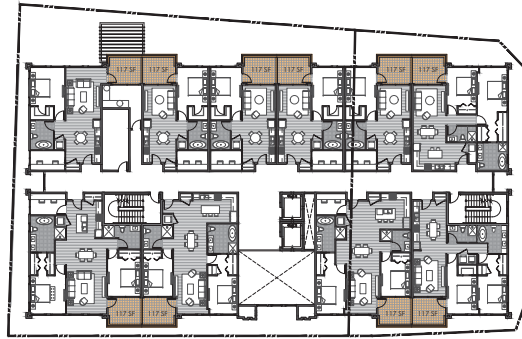
CIRCULATION PLAN

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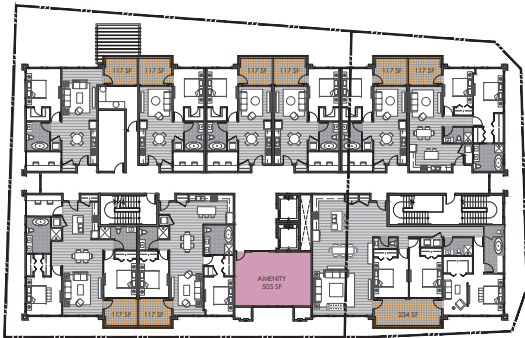
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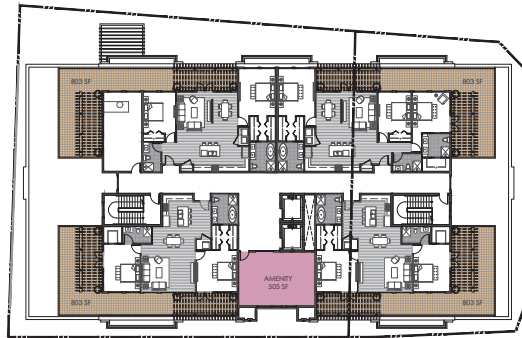
1 FLOOR PLAN LEVEL 1
1" = 20'-0"



2 FLOOR PLAN LEVEL 2
1" = 20'-0"



3 FLOOR PLAN LEVEL 3
1" = 20'-0"



4 FLOOR PLAN LEVEL 4
1" = 20'-0"

AREA CALCULATIONS

FLOOR	BUILDING FOOTPRINT	HARDSCAPE	LANDSCAPE	RESIDENT AMENITY	COMMUNITY RECREATION	PRIVATE RECREATION
LEVEL 1	13,375 SF	2,231 SF	2,328 SF		0 SF	582 SF
LEVEL 2						1,170 SF
LEVEL 3				505 SF		1,170 SF
LEVEL 4				505 SF		3,212 SF
TOTAL	13,375 SF	2,231 SF	2,328 SF	1,010 SF	0 SF	6,134 SF

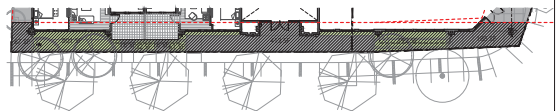
- NOTE:
- REFER SHEET A2.0, A2.1, A2.2, A2.33 FOR PRIVATE RECREATION SPACE AND AMENITY AREA PER EACH FLOOR
 - AMENITY AREA THIRD FLOOR: GYM AND WORKOUT ROOM
AMENITY AREA FOURTH FLOOR: MEETING ROOM, LIBRARY AND CARD ROOM

AREA CALCULATIONS

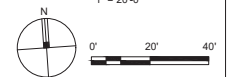
LOT AREA	18,516 SF (0.425 AC)
BUILDING FOOTPRINT	13,375 SF
PERCENTAGE OF BUILDING FOOTPRINT	72%
HARDSCAPE	2,231 SF
PERCENTAGE OF HARDSCAPE	12%
LANDSCAPE	2,328 SF
PERCENTAGE OF LANDSCAPE	13%
PERCENTAGE OF LANDSCAPING OPEN TO SKY	10%
PRIVATE RECREATION SPACE	582 SF
PERCENTAGE OF PRIVATE RECREATION SPACE	3%

FLOOR	PRIVATE RECREATION SPACE	PRIVATE RECREATION SPACE PER UNIT											
LEVEL 1	582 SF	66 SF	78 SF	78 SF	78 SF	78 SF	78 SF	102 SF	102 SF				
LEVEL 2	1,170 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF
LEVEL 3	1,170 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	117 SF	234 SF	
LEVEL 4	3,212 SF	803 SF	803 SF	803 SF	803 SF	803 SF							
TOTAL	6,134 SF												

FRONT SETBACK AREA 1,183 SF
 AREA LANDSCAPED (GREEN HATCHED AREA) 201SF+32SF+61SF+192SF) 486 SF
 PERCENTAGE OF LANDSCAPE AREA 41%



5 PERCENTAGE OF FRONT SETBACK AREA IS LANDSCAPED
1" = 20'-0"



LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

CONSULTANTS

REVISION	DATE	DESCRIPTION
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OPEN SPACE AREA CALCULATIONS

A0.6

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RENDERING

A0.7

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VIEW FROM THE INTERSECTION OF MAIN STREET AND HIGH SCHOOL COURT



VIEW FROM HIGH SCHOOL COURT

LOS GATOS
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RENDERING

A0.8

LOS GATOS MIXED-USE

151 EAST MAIN STREET
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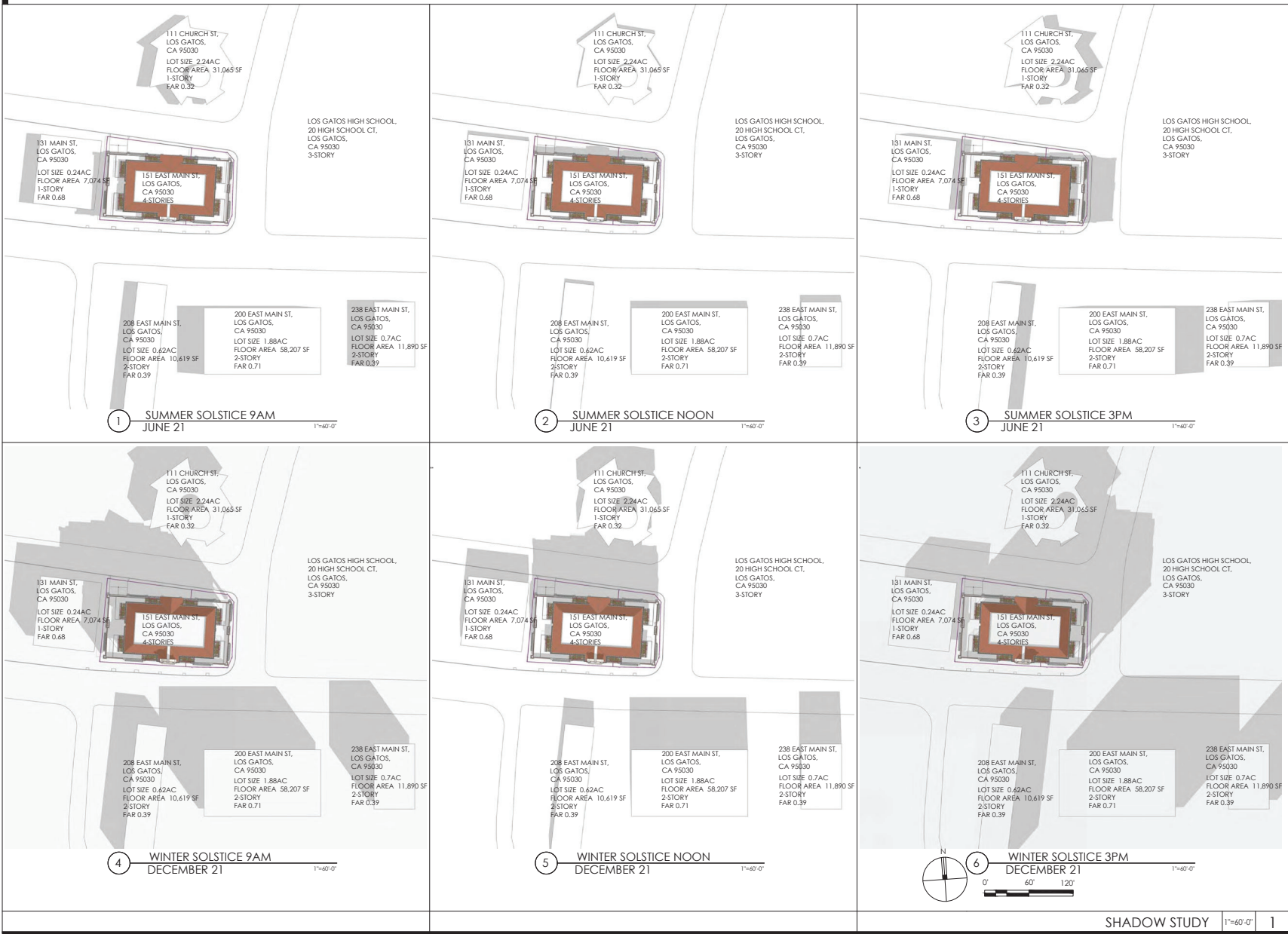
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SHADOW STUDY

A0.9

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08.30.2024 2ND REVISED SUBMITTAL
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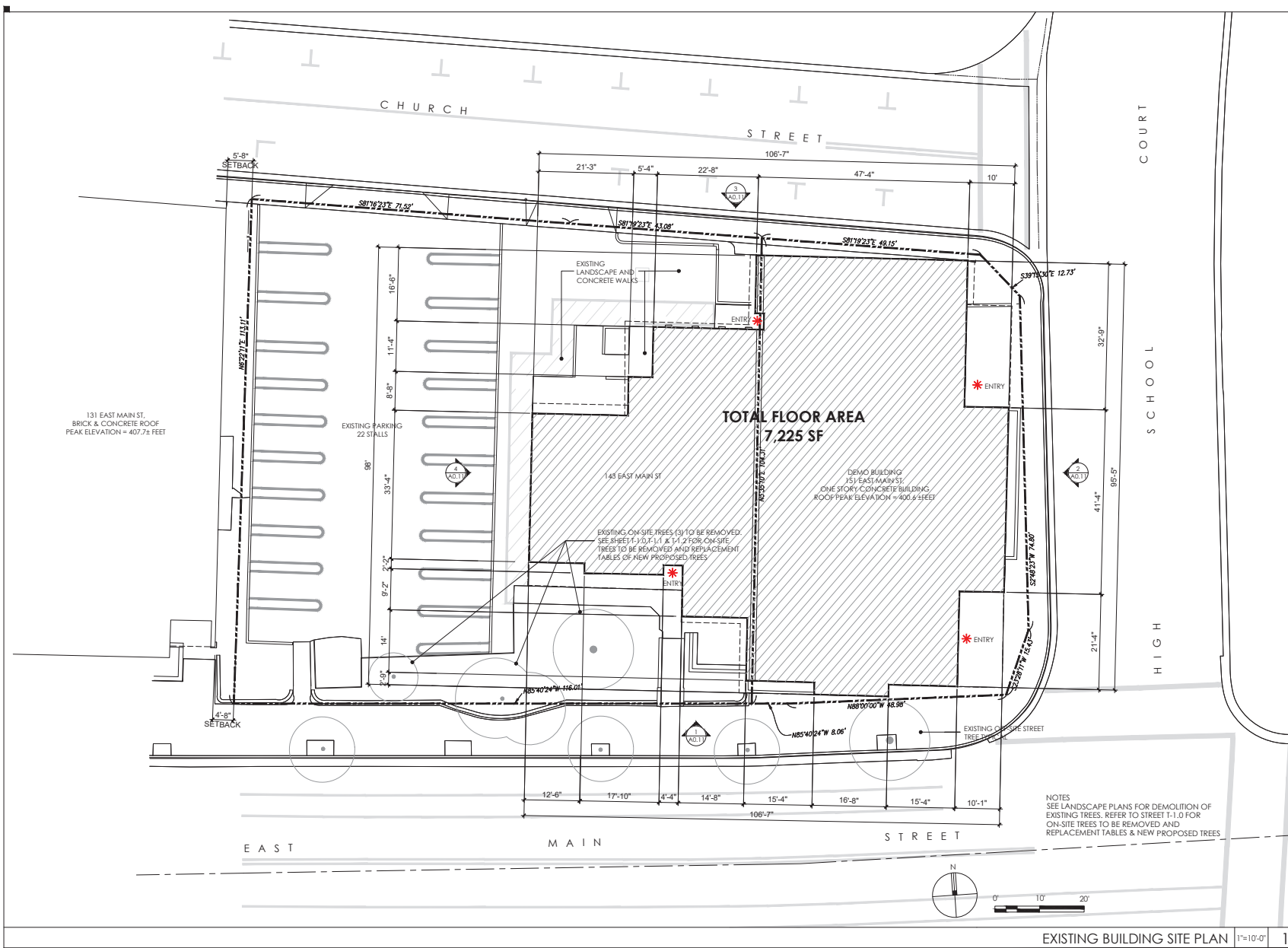
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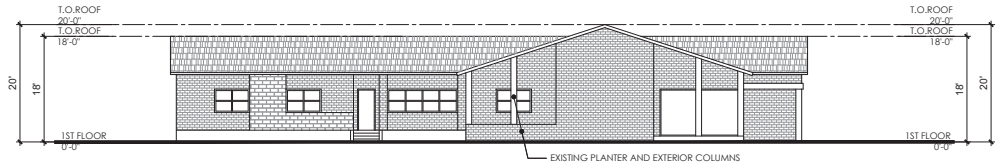
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EXISTING BUILDING
SITE PLAN

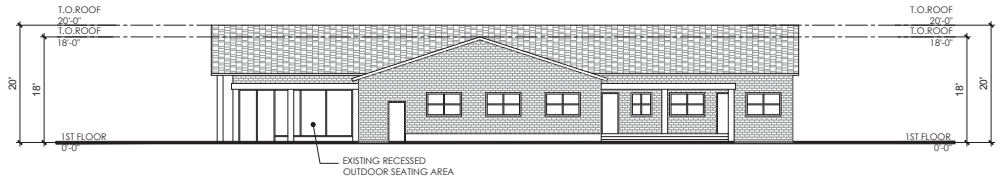
A0.10

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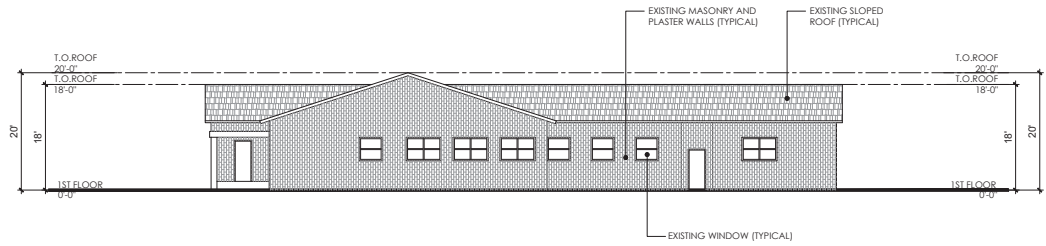




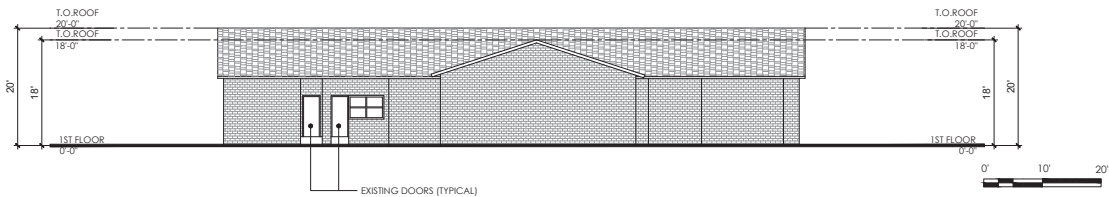
SOUTH ELEVATION 1"=10'-0" 1



EAST ELEVATION 1"=10'-0" 2



NORTH ELEVATION 1"=10'-0" 3



WEST ELEVATION 1"=10'-0" 4

LOS GATOS
MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

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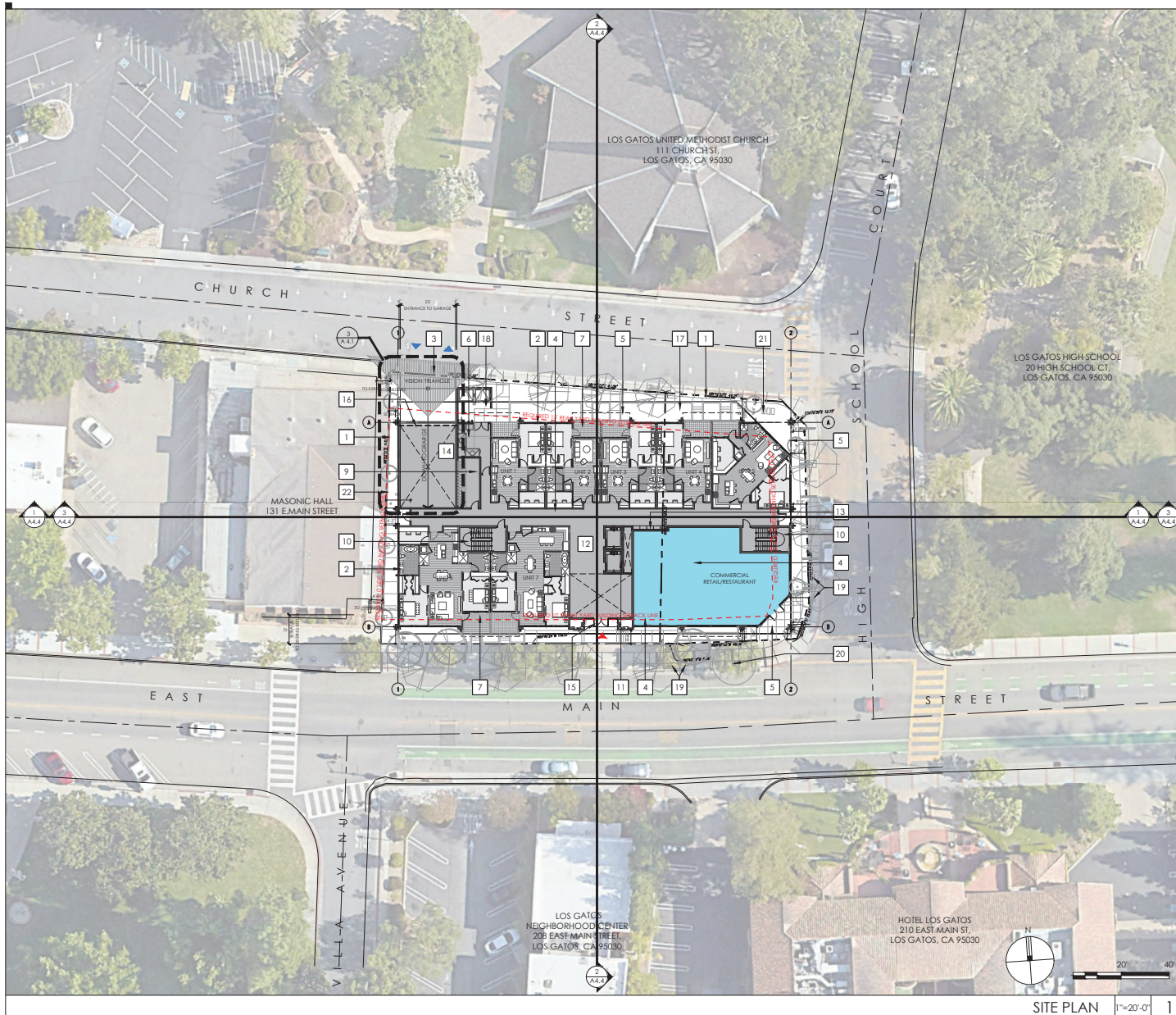
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PROJECT NO.	38,675	DATE	08.30.2024
DRAWN BY		SCALE	AS SHOWN
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EXISTING BUILDING
ELEVATIONS

A0.11



KEYNOTES

- 1 PROPERTY LINE
- 2 BUILDING FOOTPRINT
- 3 DRIVEWAY APRON
- 4 EXISTING ZONING SETBACKS
- 5 LINE OF BUILDING ABOVE
- 6 TRASH ROOM
- 7 EXTERIOR PATIO OR PRIVATE DECK
- 8 UTILITY ROOM
- 9 BIKE ROOM
- 10 STAIRS
- 11 ELEVATORS
- 12 LOBBY
- 13 RESIDENTS MAIL BOXES AND PARCEL DROP
- 14 RAMP TO BASEMENT PARKING
- 15 PRIMARY ENTRY AT GROUND LEVEL
- 16 ROLL UP MESH GATE
- 17 LANDSCAPE
- 18 EXTERIOR TRASH ENCLOSURE
- 19 GUEST BIKE PARKING (2 STALLS ON HIGH SCHOOL COURT AND 2 STALLS ON MAIN STREET)
- 20 EXISTING TREE TO REMAIN
- 21 ABOVE GROUND UTILITIES, SEE CIVIL AND LANDSCAPE PLANS
- 22 6' HIGH SOLID MASONRY WALL

SITE SUMMARY

SITE AREA	18,516 SF (0.425 AC)
AREA CALCULATION	
BUILDING GROSS AREA	47,800 SF
CIRCULATION AREA	11,427 SF
USABLE FLOOR AREA	36,153 SF
RESIDENTIAL AREA	32,727 SF
AMENITY SPACE	1,010 SF
COMMERCIAL/RETAIL / RESTAURANT	2,416 SF
UNITS	
RESIDENTIAL DENSITY	71 UNITS / AC
PROPOSED SITE COVERAGE	72%
(GROUND FLOOR BUILDING FOOTPRINT 13%)	
FAR	2.57
EXISTING SITE COVERAGE	
EXISTING BUILDING SIZE	8,258 SF
PARKING CALCULATION	
TOTAL PARKING STALLS	OPT1 OPT2
RETAIL/HOUSING SHARED	47 39
HOUSING	8 0
ACCESSIBLE STANDARD STALLS(HC)	39 39
ACCESSIBLE VAN STALLS(HCV)	1 1
LEVEL 2 EVCS STALLS	1 1
EV(STANDARD)	26 25
EV(ACCESSIBLE)	24 23
EV(VAN ACCESSIBLE)	1 1
TOTAL BICYCLE PARKING	80 49
LONG TERM BICYCLE PARKING	72 41
SHORT TERM BICYCLE PARKING	8 8
MOTORCYCLES	2 1
VISITOR PARKING	0 0
LEGEND	
COMMERCIAL/RETAIL/RESTAURANT	RESIDENTIAL
LOBBY & CIRCULATION	AMENITY SPACE
▲ PRIMARY ENTRY AT GROUND LEVEL	
▲ AUTO ENTRY TO UNDERGROUND PARKING	
— REQUIRED BUILDING SETBACK	

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

CONSULTANTS

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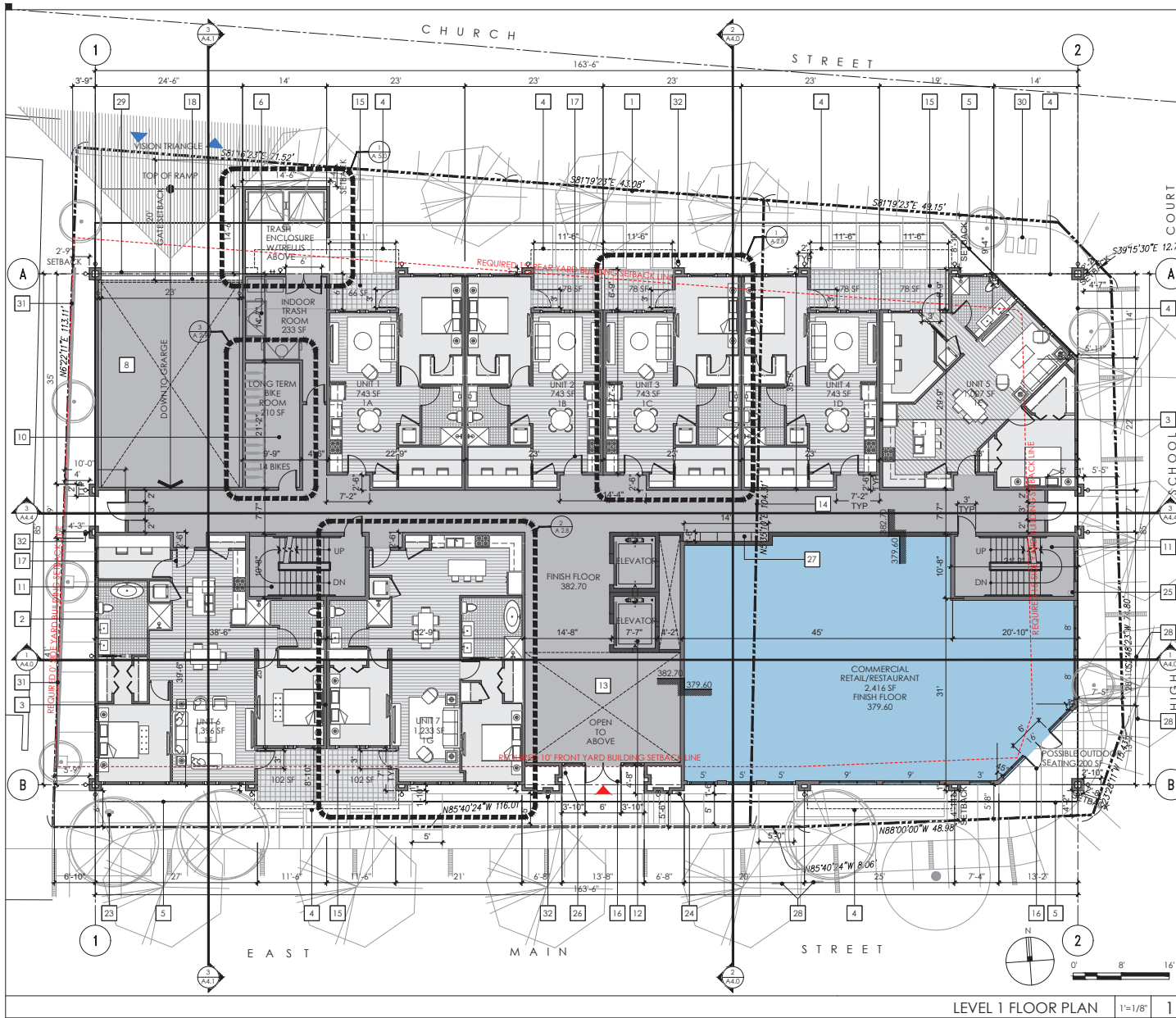
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SITE PLAN

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SITE PLAN 1"=20'-0" 1



LEVEL 1 FLOOR PLAN 1/8" = 1'-0"

KEYNOTES

- 1 PROPERTY LINE
- 2 EXTERIOR STUD WALL
- 3 INTERIOR STUD WALL
- 4 LINE OF BUILDING ABOVE
- 5 LINE OF BUILDING BELOW
- 6 TRASH ROOM AND TRASH CHUTE
- 7 UTILITY ROOM
- 8 RAMP TO BASEMENT PARKING
- 9 HARDSCAPE SEE LANDSCAPE PLAN
- 10 LONG TERM BIKE ROOM
- 11 STAIRS
- 12 ELEVATORS
- 13 LOBBY
- 14 EXISTING PROPERTY LINE TO BE REMOVED
- 15 EXTERIOR PATIO OR PRIVATE DECK
- 16 PRIMARY COMMERCIAL ENTRY 6' WIDE AT GROUND LEVEL
- 17 INTERIOR DOOR (3' WIDE)
- 18 ROLL UP MESH GATE, BRONZE COLOR SEE DETAIL #5 ON SHEET A5.0
- 19 WOOD TRELLIS
- 20 IRON RAILING
- 21 BRICK CLADDING
- 22 MIDLINE BAND
- 23 FIRE HYDRANT
- 24 FIRE DEPARTMENT CONNECTION
- 25 STANDPIPE
- 26 KNOX KEY BOX/LOCKS
- 27 RESIDENTS MAILBOXES AND PARCEL DROP
- 28 SHORT TERM BIKE PARKING (2 STALLS ON HIGH SCHOOL COURT AND 2 STALLS ON MAIN STREET)
- 29 CONTINUOUS TRENCH DRAIN CONNECT TO STORM DRAINAGE SYSTEM
- 30 ABOVE GRADE UTILITIES. SEE LANDSCAPE PLAN SHEET L3.0/PLANT PALETTE FOR PROPOSED PLANTING TO SCREEN UTILITIES
- 31 6' HIGH SOLID MASONRY WALL
- 32 DECORATIVE LIGHT FIXTURE MOUNTED AT 9' TYPICAL

AREA TABULATION

LEVEL 1 GROSS AREA	13,375 SF
CIRCULATION AREA	4,350 SF (32%)
USABLE FLOOR AREA	9,025 SF (68%)
COMMERCIAL/RETAIL/RESTAURANT	2,416 SF
RESIDENTIAL	6,609 SF

RESIDENTIAL UNIT TABULATION

UNIT #	NAME	TYPE	UNIT SF	PRIVATE RECREATION SPACE
1(1)	1A	1 BEDROOM	743 SF	66 SF
2	1B	1 BEDROOM	743 SF	78 SF
3	1C	1 BEDROOM	743 SF	78 SF
4	1D	1 BEDROOM	743 SF	78 SF
5	1E	1 BEDROOM	1,007 SF	78 SF
6	1F	2 BEDROOM	1,396 SF	102 SF
7	1G	2 BEDROOM	1,233 SF	102 SF
7	LEVEL 1 TOTAL UNITS		582 SF	

TYPE	PERCENTAGE %	UNIT #
1 BEDROOM	50%	15
2 BEDROOM	43%	13
3 BEDROOM	7%	2
	100%	30

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSULTANTS

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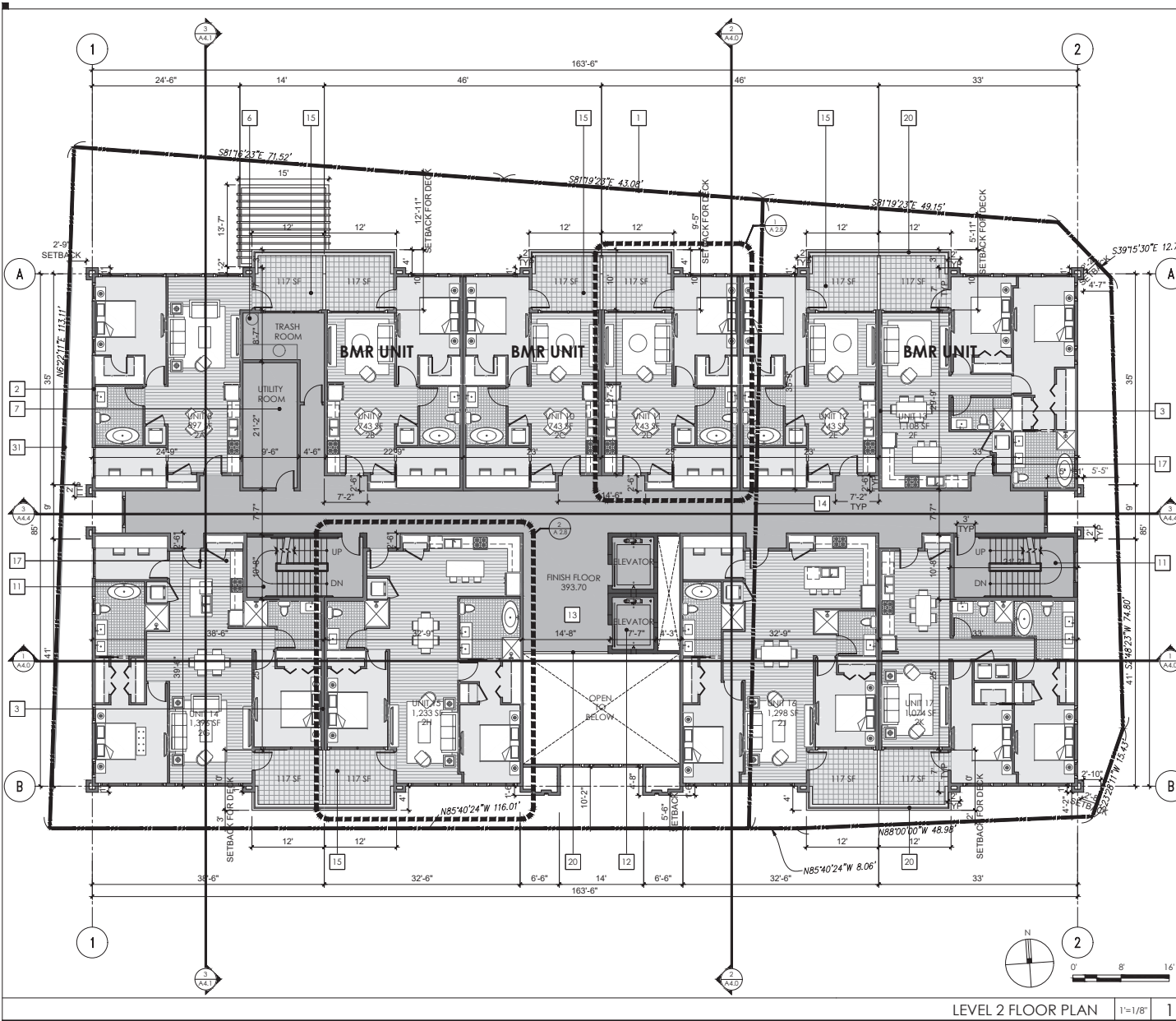
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FLOOR PLAN LEVEL 1

A2.0

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KEYNOTES

- 1 PROPERTY LINE
- 2 EXTERIOR STUD WALL
- 3 INTERIOR STUD WALL
- 4 LINE OF BUILDING ABOVE
- 5 LINE OF BUILDING BELOW
- 6 TRASH ROOM AND TRASH CHUTE
- 7 UTILITY ROOM
- 8 RAMP TO BASEMENT PARKING
- 9 HARDSCAPE SEE LANDSCAPE PLAN
- 10 LONG TERM BIKE ROOM
- 11 STAIRS
- 12 ELEVATORS
- 13 LOBBY
- 14 EXISTING PROPERTY LINE TO BE REMOVED
- 15 EXTERIOR PATIO OR PRIVATE DECK
- 16 PRIMARY COMMERCIAL ENTRY 6' WIDE AT GROUND LEVEL
- 17 INTERIOR DOOR (5' WIDE)
- 18 ROLL UP MESH GATE, BRONZE COLOR SEE DETAIL #5 ON SHEET A5.0
- 19 WOOD TRELLIS
- 20 IRON RAILING
- 21 BRICK CLADDING
- 22 MIDLINE BAND
- 23 FIRE HYDRANT
- 24 FIRE DEPARTMENT CONNECTION
- 25 STANDPIPE
- 26 KNOX KEY BOX/LOCKS
- 27 RESIDENTS MAILBOXES AND PARCEL DROP
- 28 SHORT TERM BIKE PARKING (2 STALLS ON HIGH SCHOOL COURT AND 2 STALLS ON MAIN STREET)
- 29 CONTINUOUS TRENCH DRAIN CONNECT TO STORM DRAINAGE SYSTEM
- 30 ABOVE GRADE UTILITIES, SEE LANDSCAPE PLAN SHEET L3.0/PLANT PALETTE FOR PROPOSED PLANTING TO SCREEN UTILITIES
- 31 6' HIGH SOLID MASONRY WALL
- 32 DECORATIVE LIGHT FIXTURE MOUNTED AT 9' TYPICAL

AREA TABULATION

LEVEL 2 GROSS AREA	12,607 SF
CIRCULATION AREA	2,555 SF (20%)
USABLE FLOOR AREA	10,052 SF (80%)
RESIDENTIAL	10,052 SF

RESIDENTIAL UNIT TABULATION

UNIT #	NAME	TYPE	UNIT SF	PRIVATE RECREATION SPACE
8	2A	1 BEDROOM	897 SF	117 SF
9(1)	2B	1 BEDROOM	743 SF	117 SF
10	2C	1 BEDROOM	743 SF	117 SF
11	2D	1 BEDROOM	743 SF	117 SF
12	2E	1 BEDROOM	743 SF	117 SF
13	2F	2 BEDROOM	1,108 SF	117 SF
14(1)	2G	2 BEDROOM	1,396 SF	117 SF
15	2H	2 BEDROOM	1,233 SF	117 SF
16	2J	2 BEDROOM	1,298 SF	117 SF
17	2K	2 BEDROOM	1,074 SF	117 SF
10	LEVEL 2 TOTAL UNITS			1170 SF

TYPE	PERCENTAGE %	UNIT #
1 BEDROOM	50%	15
2 BEDROOM	43%	13
3 BEDROOM	7%	2
	100%	30

LEVEL 2 FLOOR PLAN 1/8" = 1'

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

CONSULTANTS

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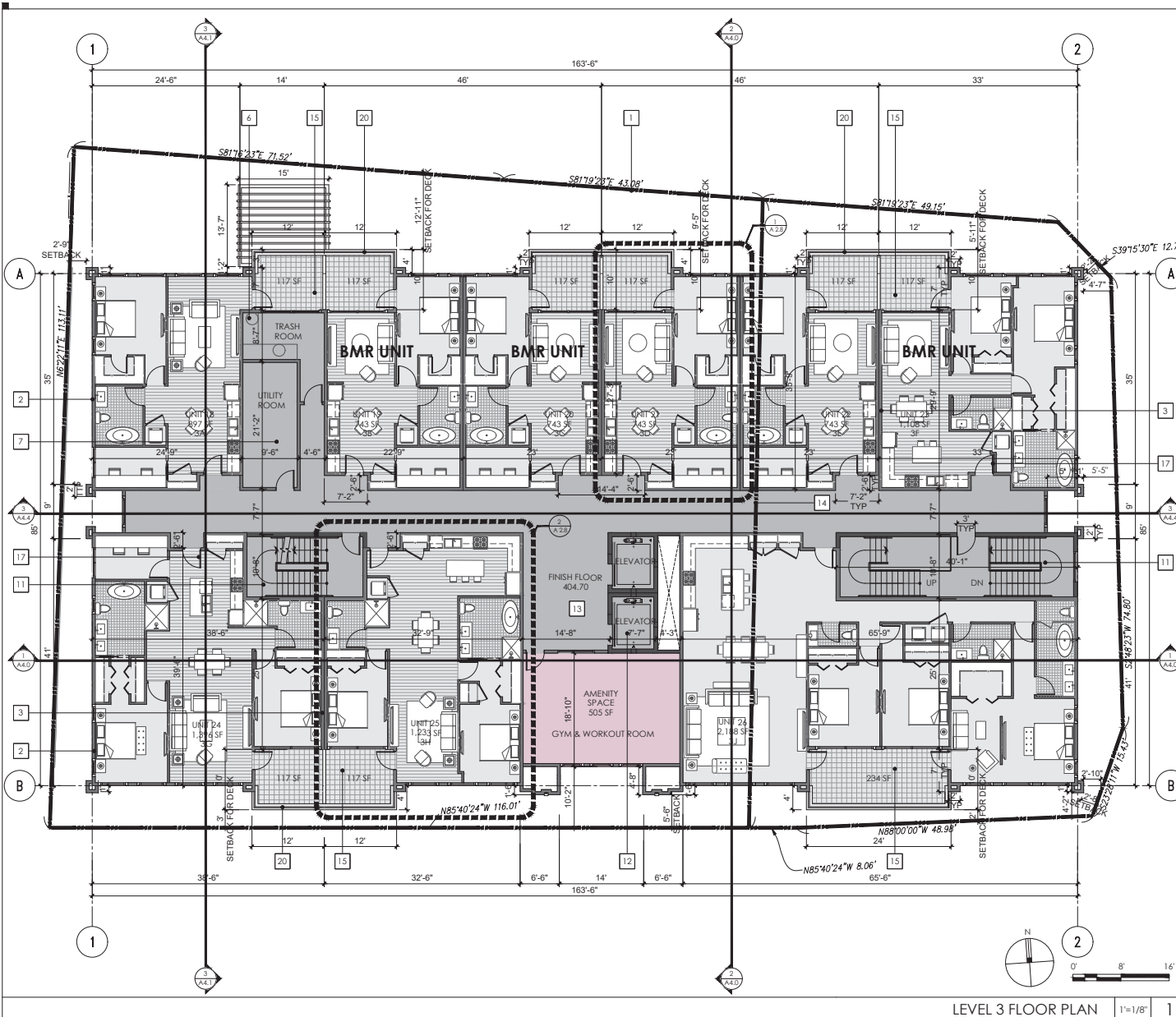
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**FLOOR PLAN
LEVEL 2**

A2.1

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KEYNOTES

- 1 PROPERTY LINE
- 2 EXTERIOR STUD WALL
- 3 INTERIOR STUD WALL
- 4 LINE OF BUILDING ABOVE
- 5 LINE OF BUILDING BELOW
- 6 TRASH ROOM AND TRASH CHUTE
- 7 UTILITY ROOM
- 8 RAMP TO BASEMENT PARKING
- 9 LANDSCAPE SEE LANDSCAPE PLAN
- 10 LONG TERM BIKE ROOM
- 11 STAIRS
- 12 ELEVATORS
- 13 LOBBY
- 14 EXISTING PROPERTY LINE TO BE REMOVED
- 15 EXTERIOR PATIO OR PRIVATE DECK
- 16 PRIMARY COMMERCIAL ENTRY 6' WIDE AT GROUND LEVEL
- 17 INTERIOR DOOR (5' WIDE)
- 18 ROLL UP MESH GATE, BRONZE COLOR SEE DETAIL #5 ON SHEET A5.0
- 19 WOOD TRELLIS
- 20 IRON RAILING
- 21 BRICK CLADDING
- 22 MIDLINE BAND
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- 30 ABOVE GRADE UTILITIES, SEE LANDSCAPE PLAN SHEET L3.0/PLANT PALETTE FOR PROPOSED PLANTING TO SCREEN UTILITIES
- 31 6' HIGH SOLID MASONRY WALL
- 32 DECORATIVE LIGHT FIXTURE MOUNTED AT 9' TYPICAL

AREA TABULATION

LEVEL 3 GROSS AREA	13,085 SF
CIRCULATION AREA	2,722 SF (20%)
USABLE FLOOR AREA	10,363 SF (80%)
AMENITY SPACE	505 SF
RESIDENTIAL	9,858 SF

RESIDENTIAL UNIT TABULATION

UNIT#	NAME	TYPE	UNIT SF	PRIVATE RECREATION SPACE
18	3A	1 BEDROOM	897 SF	117 SF
19(1)	3B	1 BEDROOM	743 SF	117 SF
20	3C	1 BEDROOM	743 SF	117 SF
21	3D	1 BEDROOM	743 SF	117 SF
22	3E	1 BEDROOM	743 SF	117 SF
23	3F	2 BEDROOM	1,108 SF	117 SF
24(1)	3G	2 BEDROOM	1,396 SF	117 SF
25	3H	2 BEDROOM	1,233 SF	117 SF
26	3J	3 BEDROOM	2,188 SF	234 SF
9		LEVEL 3 TOTAL UNITS		1,170 SF

TYPE	PERCENTAGE %	UNIT #
1 BEDROOM	50%	15
2 BEDROOM	43%	13
3 BEDROOM	7%	2
	100%	30

LEVEL 3 FLOOR PLAN 1"=1/8" 1

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

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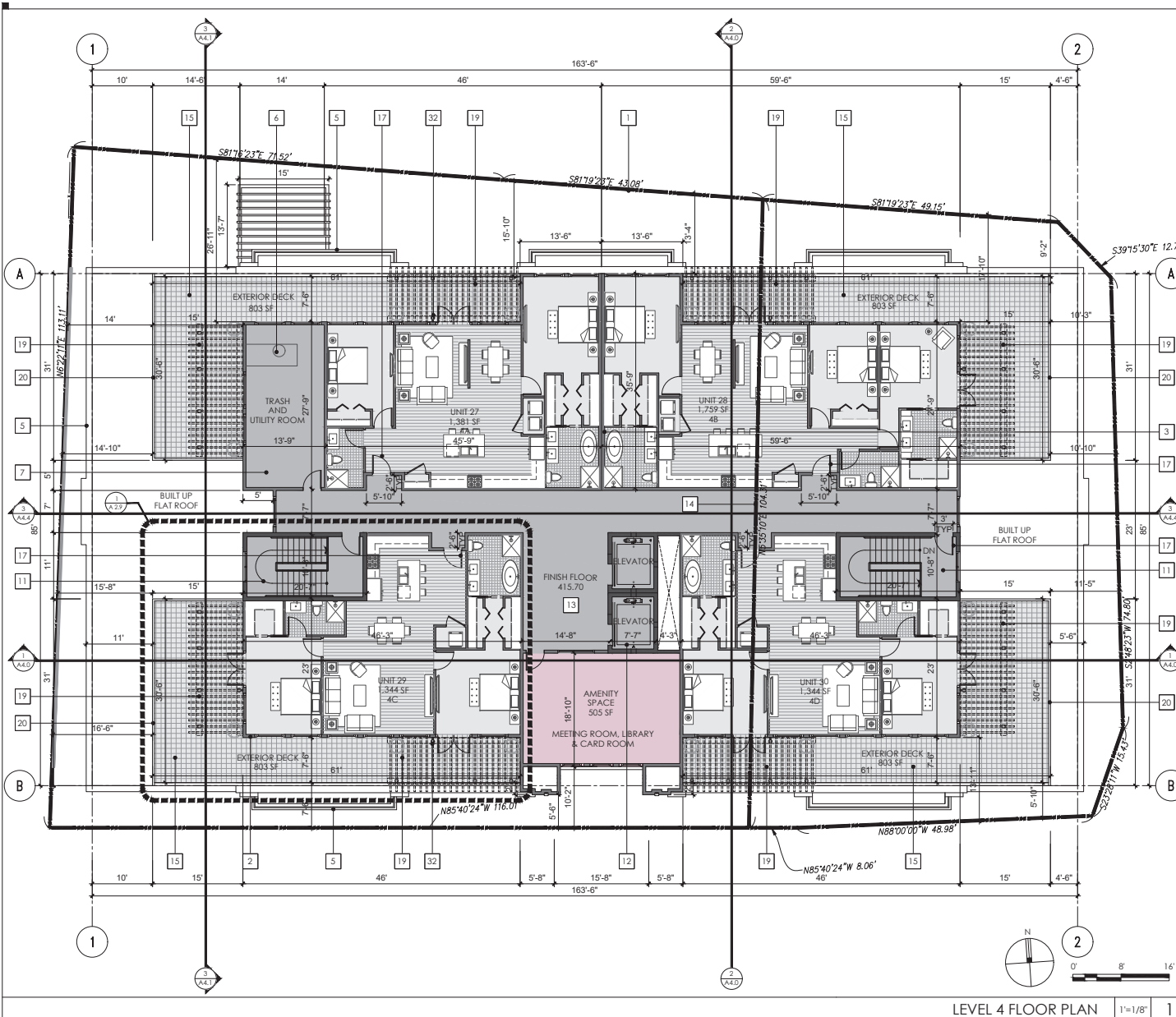
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FLOOR PLAN LEVEL 3

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KEYNOTES

- 1 PROPERTY LINE
- 2 EXTERIOR STUD WALL
- 3 INTERIOR STUD WALL
- 4 LINE OF BUILDING ABOVE
- 5 LINE OF BUILDING BELOW
- 6 TRASH ROOM AND TRASH CHUTE
- 7 UTILITY ROOM
- 8 RAMP TO BASEMENT PARKING
- 9 HARDSCAPE SEE LANDSCAPE PLAN
- 10 LONG TERM BIKE ROOM
- 11 STAIRS
- 12 ELEVATORS
- 13 LOBBY
- 14 EXISTING PROPERTY LINE TO BE REMOVED
- 15 EXTERIOR PATIO OR PRIVATE DECK
- 16 PRIMARY COMMERCIAL ENTRY 6' WIDE AT GROUND LEVEL
- 17 INTERIOR DOOR (3" WIDE)
- 18 ROLL UP MESH GATE, BRONZE COLOR SEE DETAIL #5 ON SHEET A5.0
- 19 WOOD TRELLIS
- 20 IRON RAILING
- 21 BRICK CLADDING
- 22 MIDLINE BAND
- 23 FIRE HYDRANT
- 24 FIRE DEPARTMENT CONNECTION
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- 28 SHORT TERM BIKE PARKING (2 STALLS ON HIGH SCHOOL COURT AND 2 STALLS ON MAIN STREET)
- 29 CONTINUOUS TRENCH DRAIN CONNECT TO STORM DRAINAGE SYSTEM
- 30 ABOVE GRADE UTILITIES. SEE LANDSCAPE PLAN SHEET L3.0/PLANT PALETTE FOR PROPOSED PLANTING TO SCREEN UTILITIES
- 31 6" HIGH SOLID MASONRY WALL
- 32 DECORATIVE LIGHT FIXTURE MOUNTED AT 9" TYPICAL

AREA TABULATION

LEVEL 4 GROSS AREA	8,513 SF
CIRCULATION AREA	1,800 SF (21%)
USABLE FLOOR AREA	6,713 SF (79%)
AMENITY SPACE	505 SF
RESIDENTIAL	6,208 SF

RESIDENTIAL UNIT TABULATION

UNIT #	NAME	TYPE	UNIT SF	PRIVATE RECREATION SPACE
27(1)	4A	2 BEDROOM	1,381 SF	803 SF
28	4B	3 BEDROOM	1,759 SF	803 SF
29	4C	2 BEDROOM	1,344 SF	803 SF
30	4D	2 BEDROOM	1,344 SF	803 SF
4		LEVEL 4 TOTAL UNITS	3,212 SF	

TYPE	PERCENTAGE %	UNIT #
1 BEDROOM	50%	15
2 BEDROOM	43%	13
3 BEDROOM	7%	2
	100%	30

LEVEL 4 FLOOR PLAN 1/1/8" 1

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

CONSULTANTS

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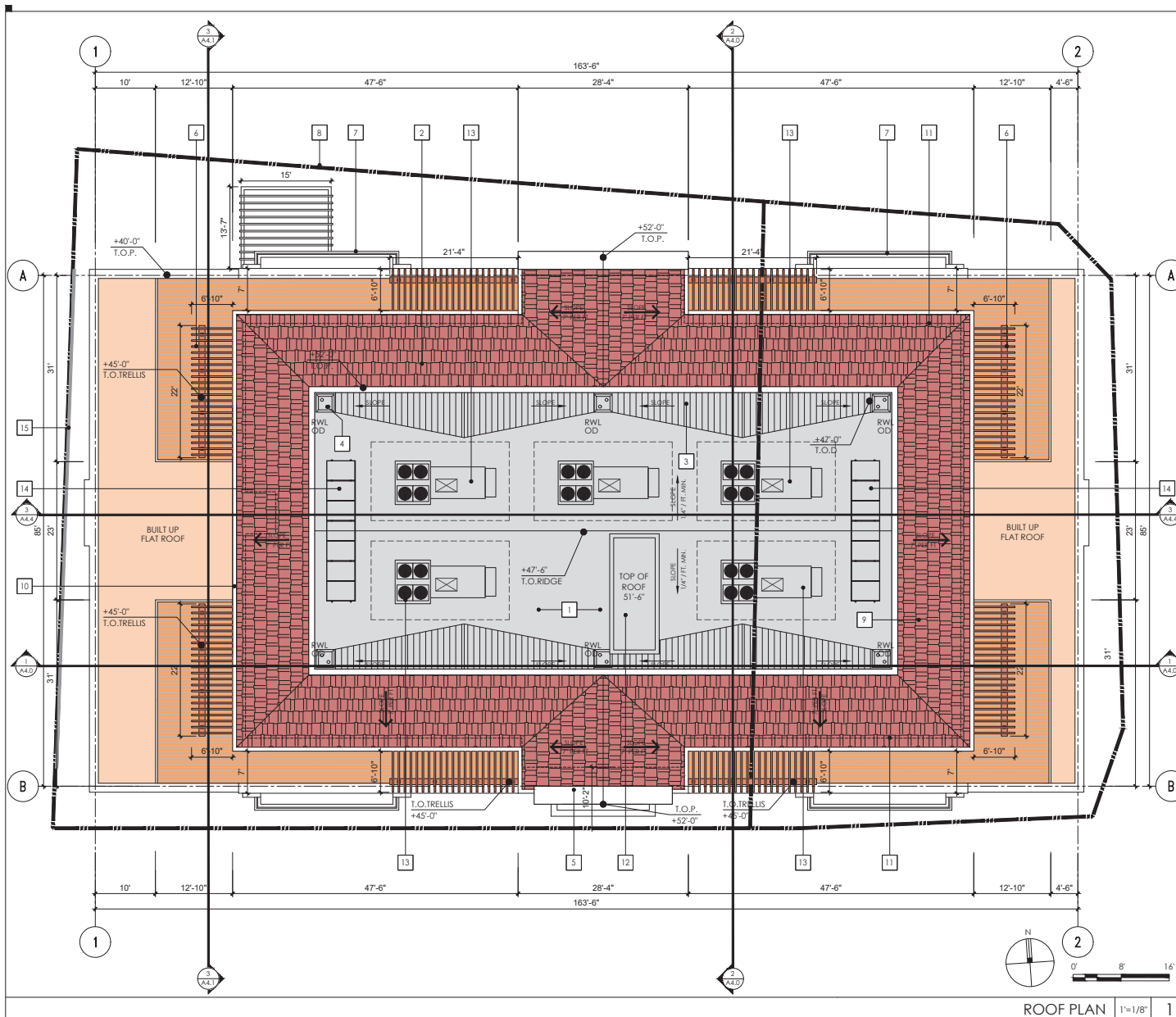
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FLOOR PLAN LEVEL 4

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SHEET KEYNOTES

- 1 SINGLE PLY ROOFING SYSTEM OVER METAL DECK PER STRUCTURAL DRAWINGS
- 2 CLAY TILE ROOFING
- 3 BUILT UP RIGID INSULATION CRICKET - MIN. SLOPE 1/2" PER FOOT
- 4 ROOF DRAIN AND PIPING, SEE PLUMBING DWGS.
- 5 LINE OF MONUMENT FEATURE ABOVE
- 6 WOODEN TRELLIS
- 7 IRON RAILING BELOW
- 8 PROPERTY LINE
- 9 RUN SINGLE PLY ROOF AT BACK OF PARAPET WALLS, TURN UP AND TERMINATE UNDER METAL FLASHING CAP
- 10 24 GA. METAL GUTTER AND DOWNSPOUT
- 11 WALL OF BUILDING BELOW
- 12 ELEVATOR OVERRIDE TO BE SCREENED BY ROOF PARAPET
- 13 HVAC EQUIPMENT LOCATION
- 14 FUTURE PV PANEL LOCATIONS, BUILDING PLUMBING TO BE PIPED TO THESE LOCATIONS FOR FUTURE PANEL INSTALLATION.
- 15 6" HIGH SOLID MASONRY WALL

INSULATION NOTES

- RWL RAIN WATER LEADER TO EXTEND 5' BEYOND BLDG. SLAB EDGE, CONNECT TO STORM SEWER. SEE CIVIL DRAWINGS
- OD OVERFLOW DRAIN
- +0'-0" DENOTES ELEVATION POINT
- T.O.P. TOP OF PARAPET
- T.O.D. TOP OF DECK
- T.O.C. TOP OF CANOPY ELEVATION
- Denotes ROOF SLOPE DIRECTION
- Denotes EXTENT OF BUILT UP ROOF CRICKET - MIN. SLOPE 1/4" PER FOOT

GENERAL NOTES

1. NOT ALL NOTES APPLY TO THIS SHEET
2. GENERAL CONTRACTOR SHALL VERIFY THE SLOPE PRIOR TO INSTALLATION OF ROOFING MATERIAL. ALL AREAS SHALL HAVE A MINIMUM POSITIVE DRAINAGE OF 1/4" PER FOOT.
3. ALL ROOFING SHALL BE "CLASS A" FIRE RESISTANT
4. ALL FUTURE MECHANICAL EQUIPMENT LOCATIONS SHALL BE VERIFIED WITH THE ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO INSTALLATION
5. ROOF MOUNTED HVAC EQUIPMENT SHALL BE SCREENED FROM VIEW BY LOCATING THE UNITS SO THAT THE TOP OF THE UNIT IS BELOW THE TOP OF THE PARAPET WALL OR BY THE ADDITION OF ROOF SCREENS
6. ALL ROOF PENETRATIONS (ELECTRICAL, MECHANICAL, PLUMBING, ETC.) SHALL OCCUR PRIOR TO APPLICATION OF ROOFING
7. ELEVATIONS ARE GIVEN FROM THE BUILDING DATUM (0.00' REFERENCE ELEV. ON PLANS)
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION AND VERIFICATION OF ALL POSITIVE ROOF SLOPES TO MEET AND PERFORM AS SHOWN ON ALL ARCHITECTURAL, CIVIL, LANDSCAPE, MECHANICAL, AND STRUCTURAL DRAWINGS.

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSTITUTIONS

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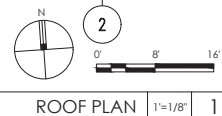
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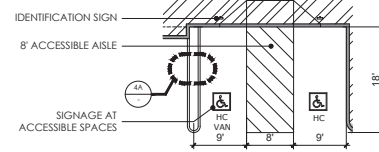
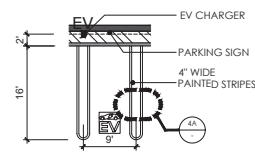
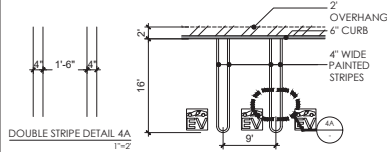
ROOF PLAN

A2.4

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TYPICAL SIGN
NOTE: RETAIL HOURS OF OPERATION SHALL BE POSTED ABOVE EACH PARKING STALL 8AM TO 6PM. NO RESIDENTIAL PARKING ALLOWED DURING THESE TIMES.

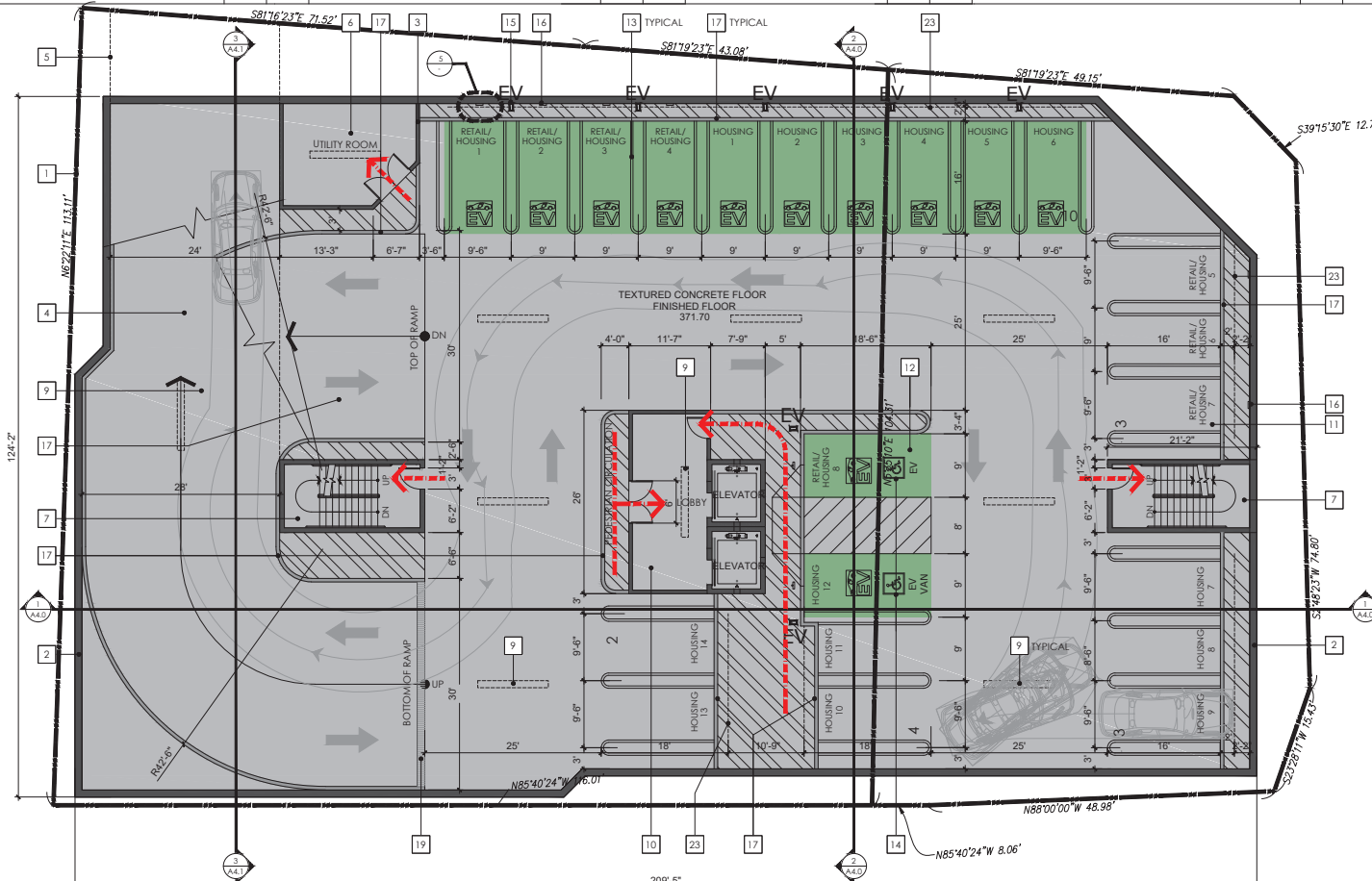


PARKING SIGN NTS 5

PARKING STALL DETAIL 1"=10' 4

EV STALL REQUIREMENT 1"=10' 3

ACCESSIBLE VAN STALL REQUIREMENTS 1"=10' 2



LIGHTING NOTE
ALL LEVELS OF GARAGE PARKING TO PROVIDE A LIGHT LEVEL TO MEET THE CBC. CURRENT DASHED LED LIGHTS ARE PRELIMINARY AND WILL BE ADJUSTED TO MEET THE CBC. CODE REQUIREMENTS WITH THE BUILDING DEPARTMENT SUBMITTAL DRAWINGS FOR CONSTRUCTION PERMITS.

SHARED RETAIL/HOUSING ADA SHARED RETAIL/HOUSING HOUSING PARKING TOTAL PARKING THIS LEVEL

7 STALLS
1 STALLS
14 STALLS
22 STALLS



0' 8' 16'

BASEMENT PARKING LEVEL 1 (OPTION 1)

1"=1/8" 1

KEYNOTES

- 1 PROPERTY LINE
- 2 CONCRETE PERIMETER WALL
- 3 INTERIOR STUD WALL
- 4 CONCRETE DRIVE ACCESS RAMP
- 5 LINE OF DRIVEWAY ABOVE
- 6 UTILITY ROOM
- 7 EXIT STAIRS
- 8 LONG TERM BICYCLE PARKING
- 9 SURFACE MOUNTED LED LIGHTS (10' LONG)
- 10 LOBBY
- 11 STANDARD PARKING STALL 9'-0" X 18'-0"
- 12 ACCESSIBLE PARKING STALL
- 13 4" WIDE PAINTED PARKING STRIPE - WHITE
- 14 SIGNAGE AT ACCESSIBLE SPACES
- 15 EV CHARGER
- 16 PARKING SIGN SEE DETAIL 5/A2.5
- 17 6" RAISED CONCRETE CURB
- 18 MOTORCYCLE PARKING STALL 4'-0" X 6'-0"
- 19 CONTINUOUS TRENCH DRAIN CONNECT TO STORM DRAINAGE SYSTEM
- 20 TANDUM PARKING STALL
- 21 STACKER PARKING STALL
- 22 STEEL SUPPORTS FOR STACKER
- 23 2' PARKING OVERHANG

PARKING SUMMARY

TOTAL BASEMENT PARKING	47 STALLS	30,296 SF
BASEMENT B1	22 STALLS	15,498 SF
BASEMENT B2	25 STALLS	15,498 SF

LEVEL B1/B2	
TOTAL PARKING STALLS	47
RETAIL/HOUSING SHARED	8
HOUSING	39
TOTAL LEVEL 2 EVCS STALLS (55%)	26

LEVEL B1	
ACCESSIBLE STANDARD STALLS (HC)	0
ACCESSIBLE VAN STALLS (HCV)	0
LEVEL 2 EVCS STALLS	12
ELECTRIC VEHICLE (STANDARD)	10
ELECTRIC VEHICLE (ACCESSIBLE)	1
ELECTRIC VEHICLE (VAN ACCESSIBLE)	1
REGULAR STANDARD STALLS	10

LEVEL B1	
LONG TERM BICYCLE PARKING	0
MOTORCYCLE PARKING	2

STATE DENSITY BONUS LAW RESIDENTIAL PARKING REQUIREMENT

NUMBER OF UNITS	30
PARKING STALLS REQUIRED	38
PARKING STALLS PROVIDED	47

LEGEND

- Ⓜ HANDICAP PARKING
- Ⓜ HANDICAP VAN PARKING
- Ⓜ ELECTRICAL VEHICLE (ACCESSIBLE)
- Ⓜ ELECTRICAL VEHICLE (VAN)
- Ⓜ ELECTRICAL VEHICLE (STANDARD)
- Ⓜ EV CHARGER
- ▨ LEVEL 2 EVCS (55% REQUIRED FOR 47 STALLS=26 STALLS REQUIRED PER CALGREEN BUILDING CODE)
- ▨ RAISED CONCRETE ACCESS PATH FINISH MATERIAL. COLOR AND TEXTURE TO BE SUBMITTED WITH BUILDING PERMIT DRAWINGS
- ➔ PEDESTRIAN PATH OF TRAVEL

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WILLIAM ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSULTANTS

REVISION

06.15.2024	1ST REVISED SUBMITTAL
08.30.2024	2ND REVISED SUBMITTAL
10.30.2024	3RD REVISED SUBMITTAL
02.18.2025	4TH REVISED SUBMITTAL

PROJECT NO: 38.675 DATE: 01.15.2024

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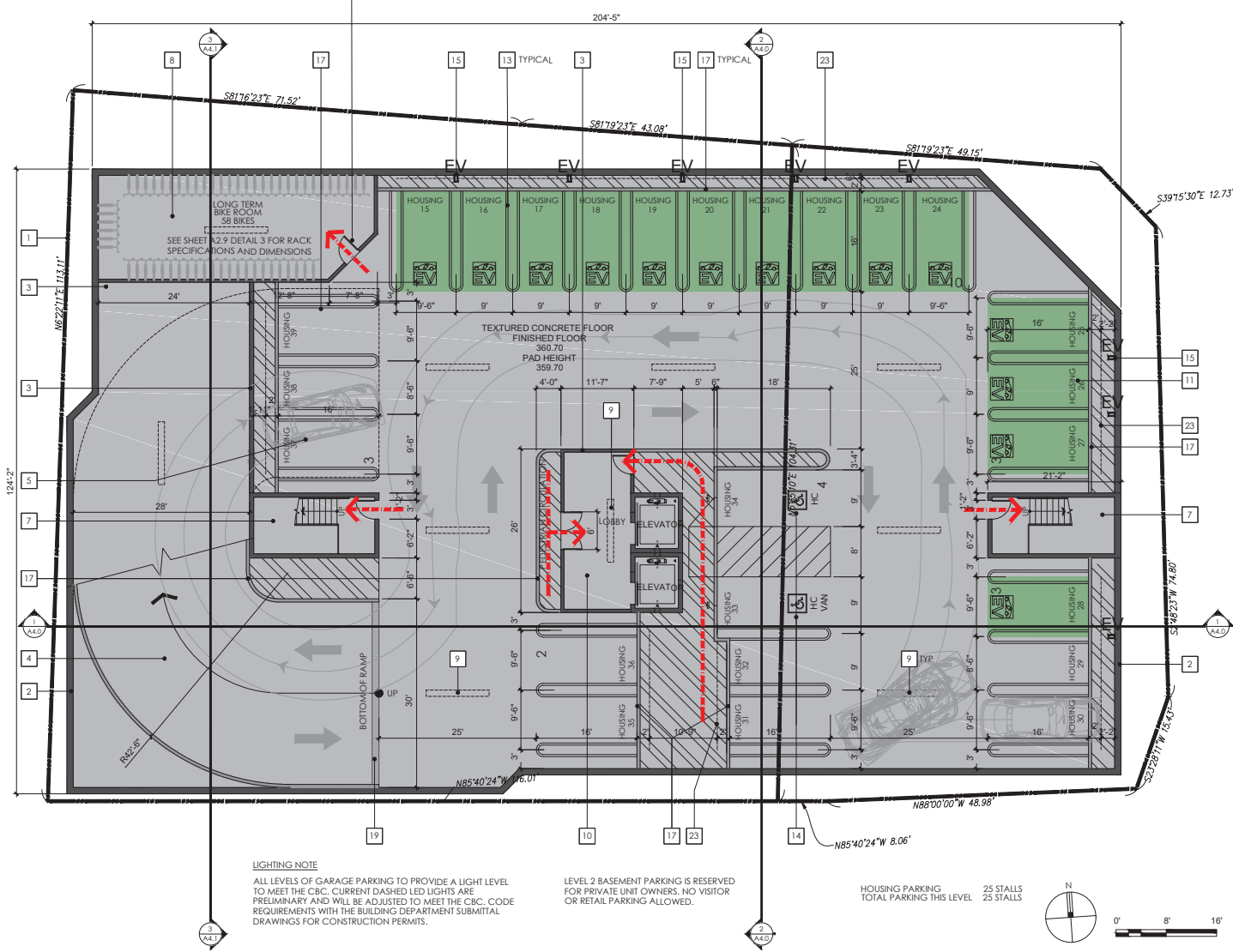
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BASEMENT PARKING LEVEL 1 (OPTION 1)

A2.5

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NOTE: PROVIDE KEY ACCESS FOR RESIDENTS AT LONG TERM BIKE ROOMS



KEYNOTES

- 1 PROPERTY LINE
- 2 CONCRETE PERIMETER WALL
- 3 INTERIOR STUD WALL
- 4 CONCRETE DRIVE ACCESS RAMP
- 5 LINE OF DRIVEWAY ABOVE
- 6 UTILITY ROOM
- 7 EXIT STAIRS
- 8 LONG TERM BICYCLE PARKING
- 9 SURFACE MOUNTED LED LIGHTS (10' LONG)
- 10 LOBBY
- 11 STANDARD PARKING STALL 9'-0" X 18'-0"
- 12 ACCESSIBLE PARKING STALL
- 13 4" WIDE PAINTED PARKING STRIPE - WHITE
- 14 SIGNAGE AT ACCESSIBLE SPACES
- 15 EV CHARGER
- 16 PARKING SIGN SEE DETAIL 5/A2.5
- 17 6" RAISED CONCRETE CURB
- 18 MOTORCYCLE PARKING STALL 4'-0" X 6'-0"
- 19 CONTINUOUS TRENCH DRAIN CONNECT TO STORM DRAINAGE SYSTEM
- 20 TANDUM PARKING STALL
- 21 STACKER PARKING STALL
- 22 STEEL SUPPORTS FOR STACKER
- 23 2' PARKING OVERHANG

PARKING SUMMARY

TOTAL BASEMENT PARKING	47 STALLS	30,896 SF
BASEMENT B1	22 STALLS	15,496 SF
BASEMENT B2	25 STALLS	15,496 SF

LEVEL B1/B2

TOTAL PARKING STALLS	47
RETAIL/HOUSING SHARED	8
HOUSING	39
TOTAL LEVEL 2 EVCS STALLS (55%)	26

LEVEL B2

ACCESSIBLE STANDARD STALLS (HC)	1
ACCESSIBLE VAN STALLS (HCV)	1
LEVEL 2 EVCS STALLS	14
ELECTRIC VEHICLE (STANDARD)	14
ELECTRIC VEHICLE (ACCESSIBLE)	0
ELECTRIC VEHICLE (VAN ACCESSIBLE)	0
REGULAR STANDARD STALLS	9

LEVEL B2

LONG TERM BICYCLE PARKING	58
MOTORCYCLE PARKING	0

STALL DENSITY BONUS LAW RESIDENTIAL PARKING REQUIREMENT

NUMBER OF UNITS	30
PARKING STALLS REQUIRED	38
PARKING STALLS PROVIDED	47


LEGEND

- Ⓜ HANDICAP PARKING
- Ⓜ HANDICAP VAN PARKING
- EV ELECTRICAL VEHICLE (ACCESSIBLE)
- EV ELECTRICAL VEHICLE (VAN)
- EV ELECTRICAL VEHICLE (STANDARD)
- EV CHARGER
- LEVEL 2 EVCS (55% REQUIRED FOR 47 STALLS=26 STALLS REQUIRED PER CALGREEN BUILDING CODE)
- RAISED CONCRETE ACCESS PATH FINISH MAT
- COLOR AND TEXTURE TO BE SUBMITTED WITH BUILDING PERMIT DRAWINGS
- ← PEDESTRIAN PATH OF TRAVEL

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHISLER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

CONSULTANTS

REVISION

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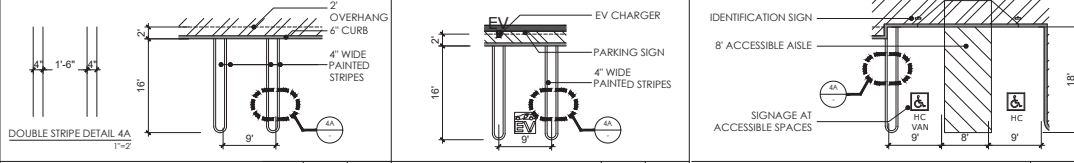
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BASEMENT PARKING LEVEL 2 (OPTION 1)

A2.6

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BASEMENT PARKING LEVEL 2 (OPTION 1) 1/1/8" 1



- KEYNOTES**
- PROPERTY LINE
 - CONCRETE PERIMETER WALL
 - INTERIOR STUD WALL
 - CONCRETE DRIVE ACCESS RAMP
 - LINE OF DRIVEWAY ABOVE
 - UTILITY ROOM
 - EXIT STAIRS
 - LONG TERM BICYCLE PARKING
 - SURFACE MOUNTED LED LIGHTS (10' LONG)
 - LOBBY
 - STANDARD PARKING STALL 9'-0" X 18'-0"
 - ACCESSIBLE PARKING STALL
 - 4" WIDE PAINTED PARKING STRIPE - WHITE
 - SIGNAGE AT ACCESSIBLE SPACES
 - EV CHARGER
 - PARKING SIGN - SEE DETAIL S/A2.5
 - 6" RAISED CONCRETE CURB
 - MOTORCYCLE PARKING STALL 4'-0" X 8'-0"
 - CONTINUOUS TRENCH DRAIN CONNECT TO STORM DRAINAGE SYSTEM
 - TANDEM PARKING STALL
 - STACKER PARKING STALL
 - STEEL SUPPORTS FOR STACKER
 - 2' PARKING OVERHANG

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHISKEY ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSULTANTS

PARKING SUMMARY

TOTAL BASEMENT PARKING	39 STALLS	15,498 SF
BASEMENT B1	39 STALLS	15,498 SF

LEVEL B1

TOTAL PARKING STALLS	39
RETAIL/HOUSING SHARED	0
HOUSING	39
TOTAL LEVEL 2 EVCS STALLS (64%)	25

LEVEL B1

ACCESSIBLE STANDARD STALLS (HC)	1
ACCESSIBLE VAN STALLS (HCV)	1
LEVEL 2 EVCS STALLS	25
ELECTRIC VEHICLE (STACKER)	23
ELECTRIC VEHICLE (ACCESSIBLE)	1
ELECTRIC VEHICLE (VAN ACCESSIBLE)	1
TANDEM PARKING STALLS	6
STACKER STANDARD PARKING STALLS	6

LEVEL B1

LONG TERM BICYCLE PARKING	27
MOTORCYCLE PARKING	1

STATE DENSITY BONUS LAW RESIDENTIAL PARKING REQUIREMENT

NUMBER OF UNITS	30
PARKING STALLS REQUIRED	39
PARKING STALLS PROVIDED	39

NOTE
STALLS 1, 22 AND 27 ARE FREE SPACES AT EACH ONE OF THESE LOCATIONS TO RETRIEVE RESIDENTS CARS.

- LEGEND**
- Handicap Parking
 - Handicap Van Parking
 - Electrical Vehicle (Accessible)
 - Electrical Vehicle (VAN)
 - Electrical Vehicle (Standard)
 - EV Charger
 - Level 2 EVCS (55% Required for 39 Stalls=22 Stalls Required per CALGREEN BUILDING CODE)
 - Raised Concrete Access Path Finish Match
 - Color and Texture to be Submitted with Building Permit Drawings
 - Pedestrian Path of Travel

REVISION

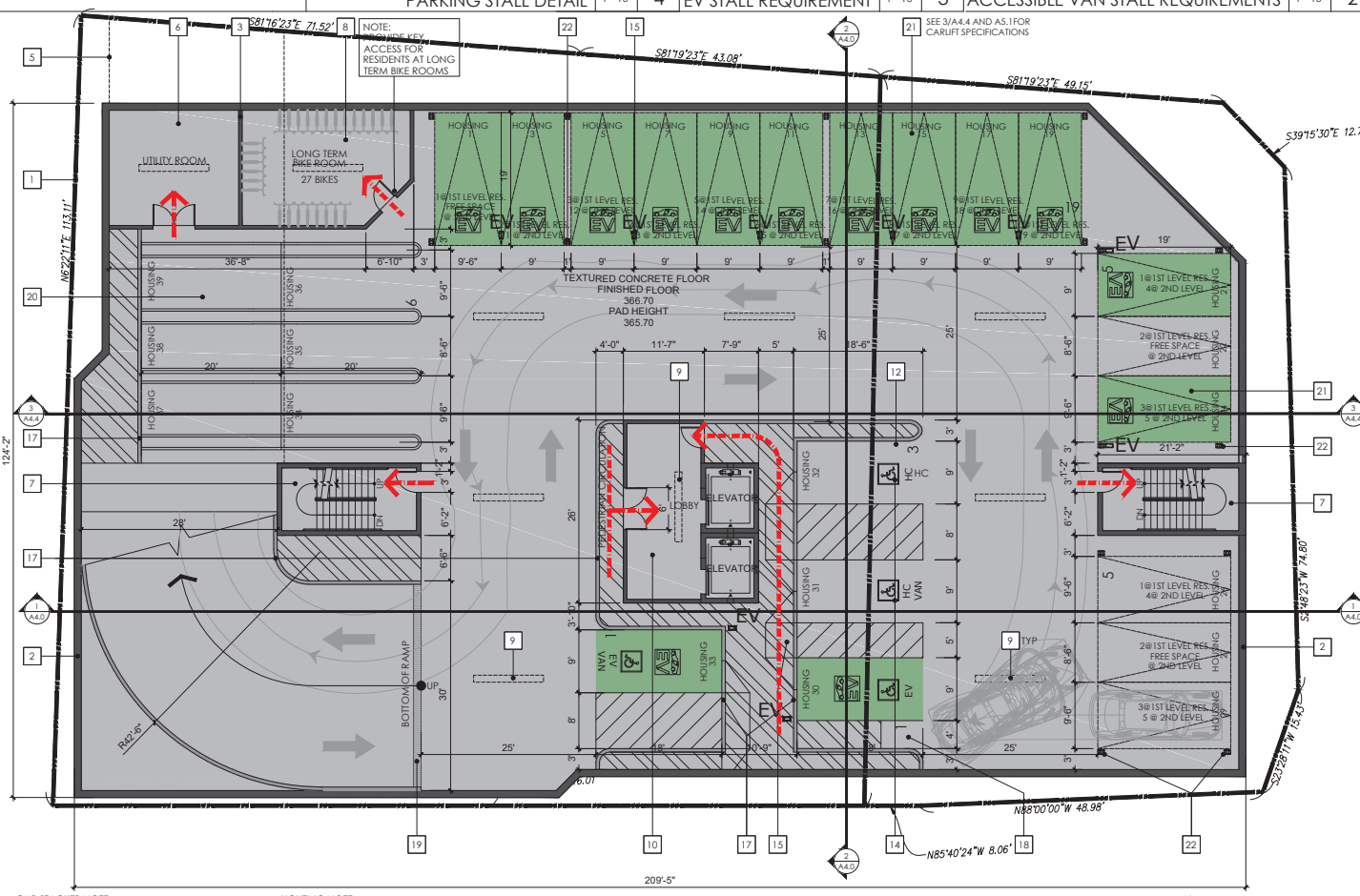
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ALTERNATE BASEMENT PARKING LEVEL 1 (OPTION 2)

A2.7

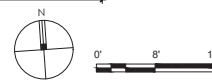
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CAR STACKER NOTE
SEE SHEET A5.1 FOR CAR STACKER SPECIFICATIONS AND NOTES.

LIGHTING NOTE
ALL LEVELS OF GARAGE PARKING TO PROVIDE A LIGHT LEVEL TO MEET THE CBC. CURRENT DASHED LED LIGHTS ARE PRELIMINARY AND WILL BE ADJUSTED TO MEET THE CBC. CODE REQUIREMENTS WITH THE BUILDING DEPARTMENT SUBMITTAL DRAWINGS FOR CONSTRUCTION PERMITS.

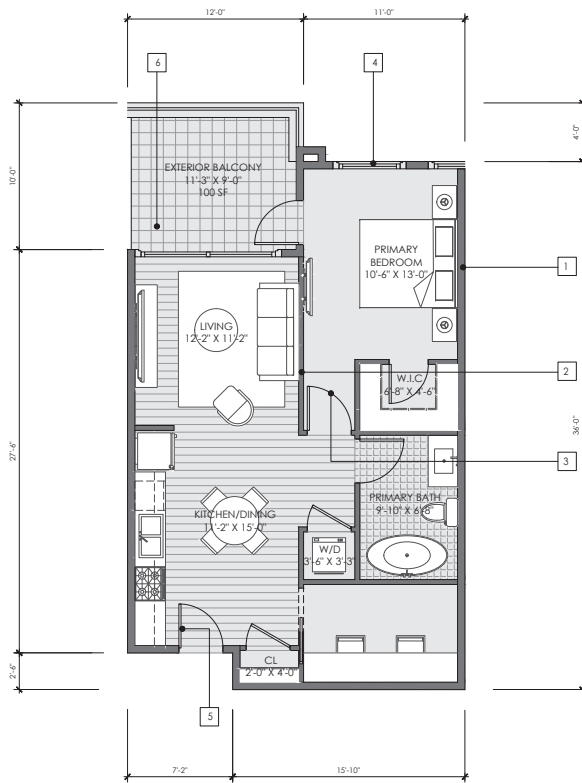
HOUSING PARKING 39 STALLS
TOTAL PARKING THIS LEVEL 39 STALLS
STACKER STALLS 27
STANDARD STALLS 10



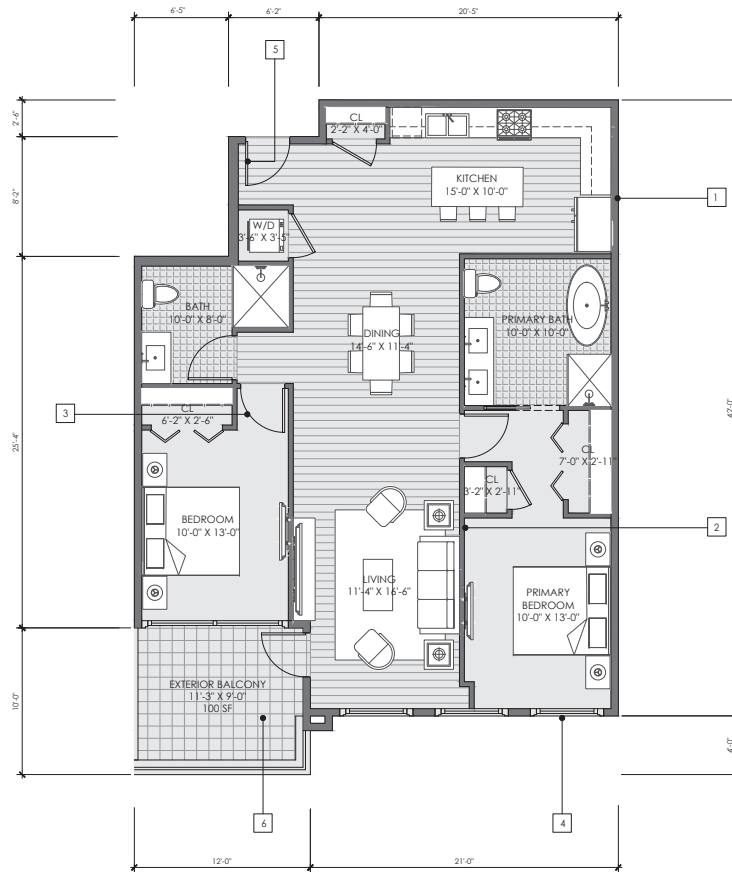
ALTERNATE BASEMENT PARKING LEVEL 1 (OPTION 2)

1

1"=1/8"



ONE BEDROOM UNIT : 743 SF 1/4" 1



TWO BEDROOM UNIT : 1,233 SF 1/4" 2

KEY NOTES

- 1 EXTERIOR STUD WALL
- 2 INTERIOR STUD WALL
- 3 INTERIOR DOOR
- 4 EXTERIOR WINDOW SYSTEM
- 5 UNIT ENTRY DOOR
- 6 EXTERIOR BALCONY/DECK



LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
443 NORTH WHISPER EGG, SUITE 200
MOUNTAIN VIEW, CA 94038

CONSULTANTS

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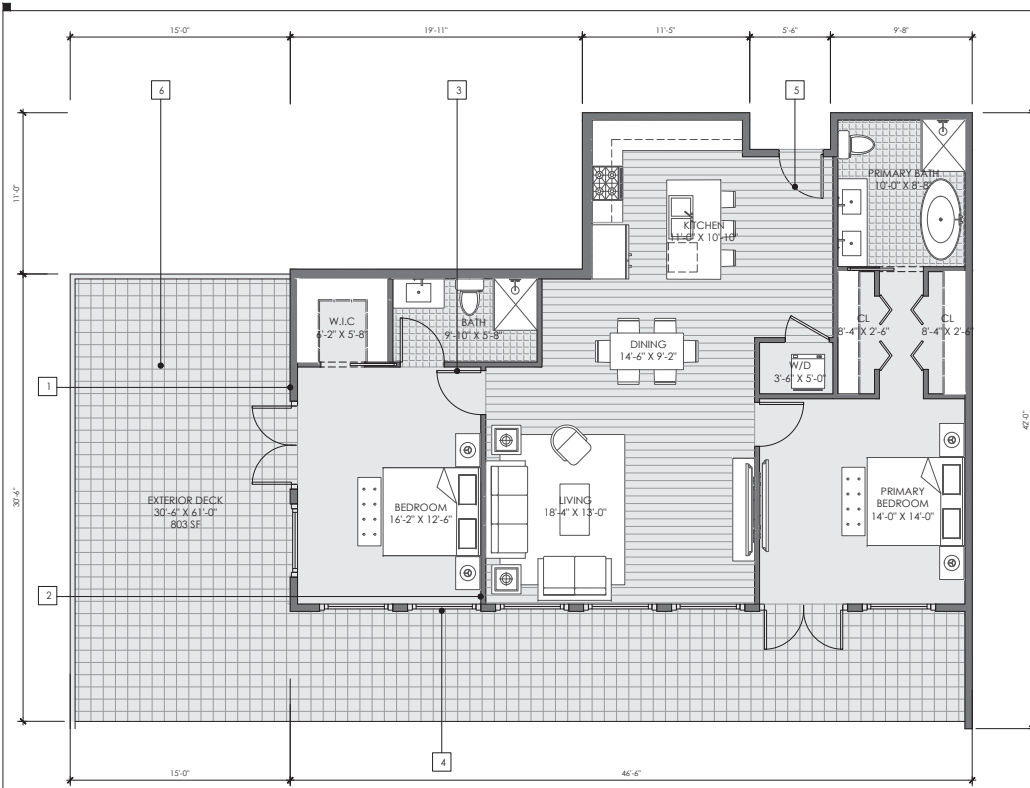
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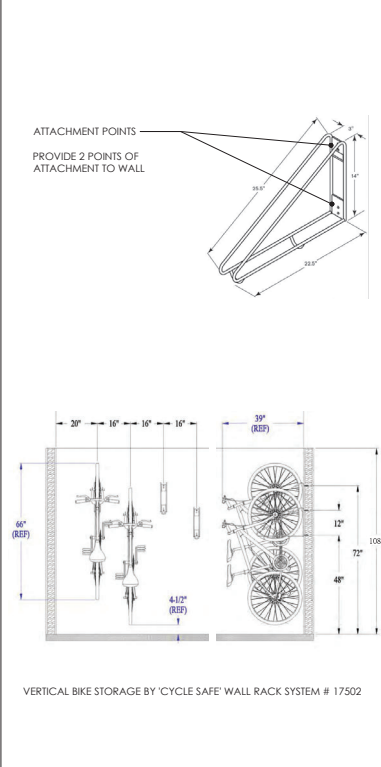
TYPICAL UNIT PLAN

A2.8

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TWO BEDROOM UNIT : 1,344 SF 1/4" 1



BIKE RACK SPECIFICATIONS NTS 3

- KEY NOTES**
- 1 EXTERIOR STUD WALL
 - 2 INTERIOR STUD WALL
 - 3 INTERIOR DOOR
 - 4 EXTERIOR WINDOW SYSTEM
 - 5 UNIT ENTRY DOOR
 - 6 EXTERIOR BALCONY/DECK

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

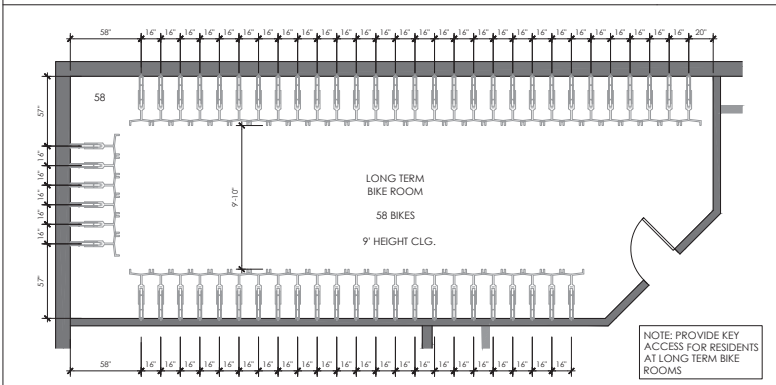
APN# 529-28-001
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443 NORTH WHISLER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039-0700

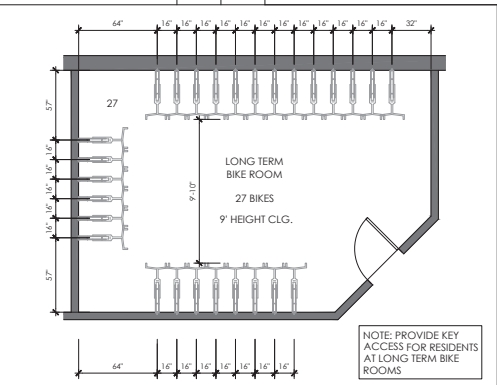
CONSULTANTS

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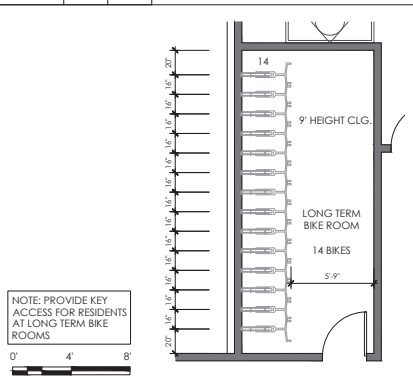
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LONG TERM BIKE ROOM PLAN (OPT 1) 1/4" 5



BIKE ROOM PLAN (OPT 2) 1/4" 4



BIKE ROOM PLAN (OPT 1 & 2) 1/4" 2

PROJECT NO: 38,675	DATE: 01.15.2024
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TYPICAL UNIT PLAN

A2.9



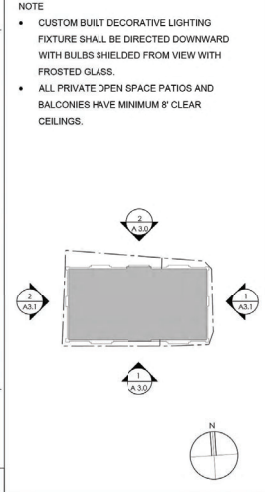
SOUTH ELEVATION 1/8"=1'-0" 1



NORTH ELEVATION 1/8"=1'-0" 2

- ### KEY NOTES
- 1 CLAY TILE ROOF
 - 2 PAINTED STUCCO
 - 3 BRICK VENEER CLADDING
 - 4 WROUGHT IRON BALCONIES
 - 5 WOOD TRELLIS
 - 6 AWNINGS TO BE A MIN. VERTICAL CLEARANCE OF 8' FROM A PEDESTRIAN PATHWAY
 - 7 CLEAR GLAZING WITH ALUMINUM FRAMES
 - 8 MESH ROLL UP GATE TO PARKING BELOW. SEE SHEET A1.0 DETAIL 6
 - 9 PRECAST CORNICE
 - 10 PRECAST WINDOW FRAME
 - 11 DECORATIVE LIGHT FIXTURE MOUNTED AT 9' TYPICAL
 - 12 PRECAST BASE
 - 13 CONTINUOUS ALUMINUM GUTTER
 - 14 STOREFRONT DOOR/WINDOW SYSTEM WITH CLEAR GLAZING AND ALUMINUM FRAMES
 - 15 BUILDING ADDRESS
 - 16 VERTICAL PLANK TRASH ENCLOSURE
 - 17 ELEVATOR OVERHIDE SCREENED BEHIND PARAPET WALL
 - 18 PRECAST CAST CONCRETE HEAD DETAIL WITH 2" PROJECTION FROM BRICK WALL ABOVE
 - 19 8" HIGH MASONRY WALL

- ### COLORS AND MATERIALS
- (B) BRICK VENEER: MUTUAL MATERIALS CO-INCA MISSION
 - (G) CLEAR GLASS: GUARDIAN GLASS, GUARDIAN ULTRACLEAR, LOW-IRON GLASS
 - (M) METAL PANEL ANODIZED ALUMINUM COLOR: DARK BRONZE
 - (M2) METAL PANEL ANODIZED ALUMINUM COLOR: CLEAR
 - (P) STUCCO TRIM PAINT: BENJAMIN MOORE, WHITE HERON #0C-57
 - (P2) STUCCO PAINT: BENJAMIN MOORE, MANCHESTER TAN #MC-81
 - (T) CLAY TILE: BMAVA TERRA COTTA
- NOTE
- CUSTOM BUILT DECORATIVE LIGHTING FIXTURE SHALL BE DIRECTED DOWNWARD WITH BULBS SHIELDED FROM VIEW WITH FROSTED GLASS.
 - ALL PRIVATE OPEN SPACE PATIOS AND BALCONIES HAVE MINIMUM 8' CLEAR CEILINGS.



LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
448 NORTH WHITMAN ROAD, SUITE 200
MOUNTAIN VIEW, CA 95030-7400

CONSULTANTS

REVISION

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PROJECT NO. 38.675 DATE 01.15.2024

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BUILDING ELEVATIONS

A3.0

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LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
448 NORTH WHISMAN ROAD, SUITE 200
MOUNTAIN VIEW, CA 95035-0700

CONSULTANTS

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BUILDING ELEVATIONS

A3.1

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KEY NOTES

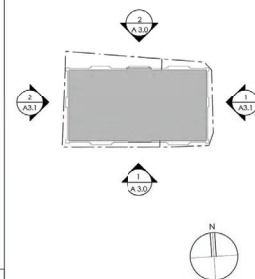
- 1 CLAY TILE ROOF
- 2 PAINTED STUCCO
- 3 BRICK VENEER CLADDING
- 4 WROUGHT IRON BALCONIES
- 5 WOOD TRELLIS
- 6 AWNINGS TO BE A MIN. VERTICAL CLEARANCE OF 8' FROM A PEDESTRIAN PATHWAY
- 7 CLEAR GLAZING WITH ALUMINUM FRAMES
- 8 MESH ROLL UP GATE TO PARKING BELOW. SEE SHEET A1.0 DETAIL 6
- 9 PRECAST CORNICE
- 10 PRECAST WINDOW FRAME
- 11 DECORATIVE LIGHT FIXTURE MOUNTED AT 9' TYPICAL
- 12 PRECAST BASE
- 13 CONTINUOUS ALUMINUM GUTTER
- 14 STOREFRONT DOOR/WINDOW SYSTEM WITH CLEAR GLAZING AND ALUMINUM FRAMES
- 15 BUILDING ADDRESS
- 16 VERTICAL PLANK TRASH ENCLOSURE
- 17 ELEVATOR OVERLIDE SCREENED BEHIND PARAPET WALL
- 18 PRECAST CAST CONCRETE HEAD DETAIL WITH 2" PROJECTION FROM BRICK WALL ABOVE
- 19 8" HIGH MASONRY WALL

COLORS AND MATERIALS

- (B) BRICK VENEER: MUTUAL MATERIALS CO-INCA MISSION
- (G) CLEAR GLASS: GUARDIAN GLASS, GUARDIAN ULTRACLEAR, LOW-IRON GLASS
- (M) METAL PANEL: ANODIZED ALUMINUM COLOR: DARK BRONZE
- (M2) METAL PANEL: ANODIZED ALUMINUM COLOR: CLEAR
- (P2) STUCCO/TIN PAINT: BENJAMIN MOORE, WHITE HERCULES/P2-09
- (P3) STUCCO PAINT: BENJAMIN MOORE, MANCHESTER TAN #HC-91
- (T) CLAY TILE: BRAVA TERRA COTTA

NOTE

- CUSTOM BUILT DECORATIVE LIGHTING FIXTURE SHALL BE DIRECTED DOWNWARD WITH BULBS SHIELDED FROM VIEW WITH FROSTED GLASS.
- ALL PRIVATE OPEN SPACE PATIOS AND BALCONIES HAVE MINIMUM 8' CLEAR CEILINGS.



EAST ELEVATION 1"=8'-0" 1



WEST ELEVATION 1"=8'-0" 2



111 E MAIN STREET (BUILDING HEIGHT ±18')

123 E MAIN STREET
(BUILDING HEIGHT ±18')

131 E MAIN STREET
(BUILDING HEIGHT ±25')

PROJECT SITE

LOS GATOS HIGH SCHOOL
(BUILDING HEIGHT ±48')

EAST MAIN STREET LOOKING NORTH



238 E MAIN STREET (BUILDING HEIGHT ± 29')



210 E MAIN STREET (BUILDING HEIGHT ±30')



208 E MAIN STREET (BUILDING HEIGHT ±18')



100 VILLA AVENUE (BUILDING HEIGHT ±30')

EAST MAIN STREET LOOKING SOUTH

123 E MAIN STREET

131 E MAIN STREET

PROJECT SITE

LOS GATOS HIGH SCHOOL



STREETSCAPE AT EAST MAIN STREET LOOKING NORTH

100 VILLA AVENUE

208 E MAIN STREET

210 E MAIN STREET

238 E MAIN STREET

LOS GATOS
MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
248 NORTH WHILMAN ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038-7450

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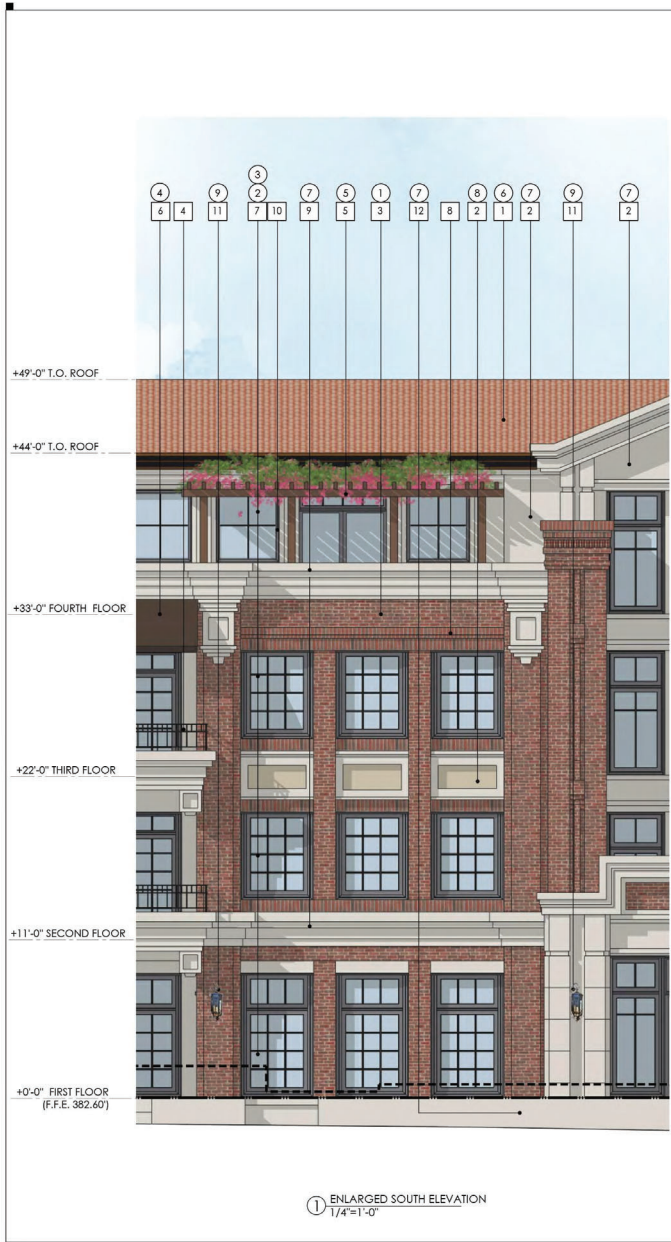
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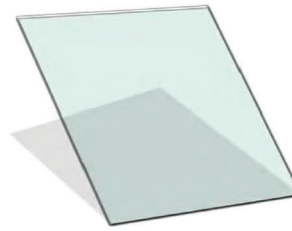
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STREETSCAPE
ELEVATION

A3.2



① BRICK VENEER- MUTUAL MATERIALS CO -INCA MISSION



② CLEAR GLASS - GUARDIAN GLASS - GUARDIAN ULTRACLEAR LOW-IRON GLASS



③ METAL, ANODIZED ALUMINUM COLOR: DARK BRONZE



④ FIXED FABRIC AWNING BLACK "SUNBELLA" FABRIC OR YELLOW "SUNBELLA" FABRIC



⑤ WOODEN TRELLIS



⑥ CLAY TILE ROOF



⑦ STUCCO PAINT: BENJAMIN MOORE WHITE HERON # CC-57

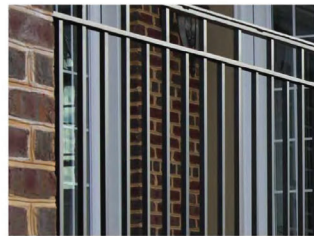


⑧ STUCCO PAINT: BENJAMIN MOORE MANCHESTER TAN # HC-81



⑨ WROUGHT IRON ANDALUCIA MEDIUM OUTDOOR LIGHT BY S-H STUDIOS

NOTE:
CUSTOM BUILT DECORATIVE LIGHTING FIXTURE AT 9" TYP.
LIGHTING SHALL BE DIRECTED DOWNWARD WITH GLASS SHIELDED FROM VIEW WITH FROSTED GLASS.



⑩ IRON RAILING AT BALCONIES

KEY NOTES

- ① CLAY TILE ROOF
- ② PAINTED STUCCO
- ③ BRICK VENEER CLADDING
- ④ WROUGHT IRON BALCONIES
- ⑤ WOOD TRELLIS
- ⑥ AWNINGS TO BE MIN. VERTICAL CLEARANCE OF 8' FROM A PEDESTRIAN PATHWAY
- ⑦ CLEAR GLAZING WITH ALUMINUM FRAMES
- ⑧ MESH ROLL UP GATE TO PARKING BELOW. SEE SHEET AS 0 DETAIL 6
- ⑨ PRECAST CORNICE
- ⑩ PRECAST WINDOW FRAME
- ⑪ DECORATIVE LIGHT FIXTURE MOUNTED AT 9" TYPICAL
- ⑫ PRECAST BASE

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
448 NORTH WHILMER ROAD, SUITE 200
MOUNTAIN VIEW, CA 95035-0780

CONSULTANTS

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BUILDING MATERIALS AND FINISHES

A3.3

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LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039-0700

CONSULTANTS

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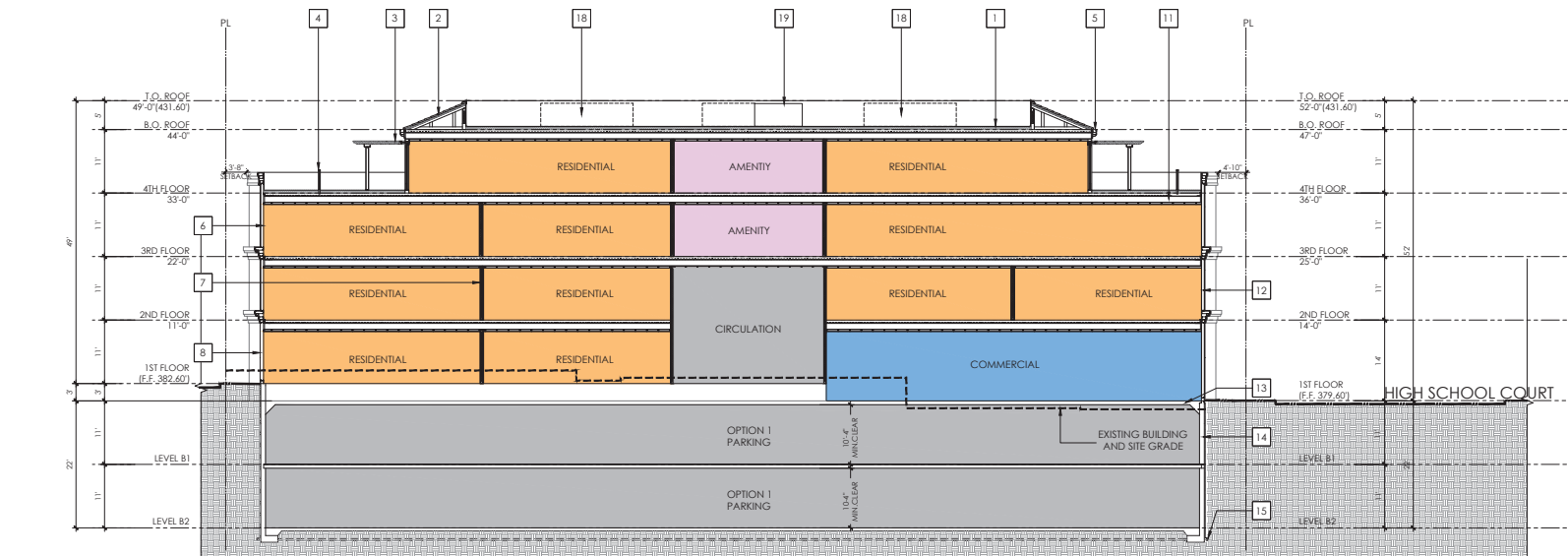
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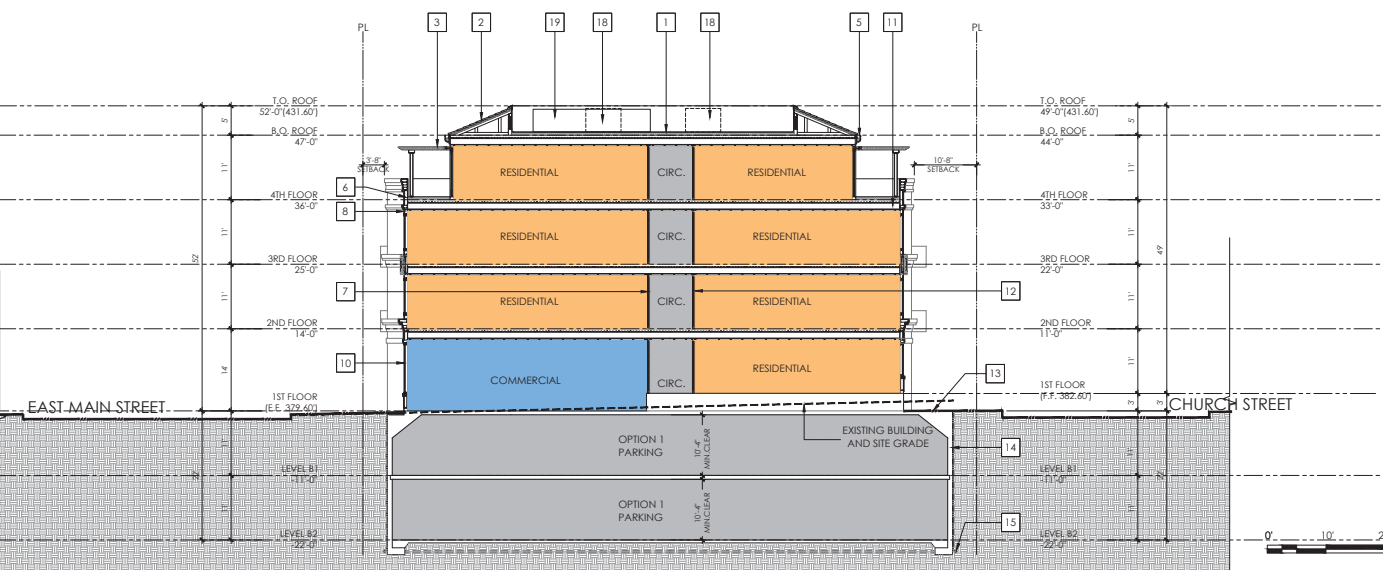
BUILDING SECTIONS

A4.0

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BUILDING SECTION 1"=10'-0" 1

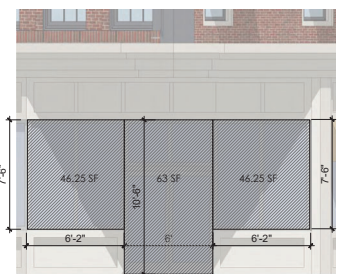
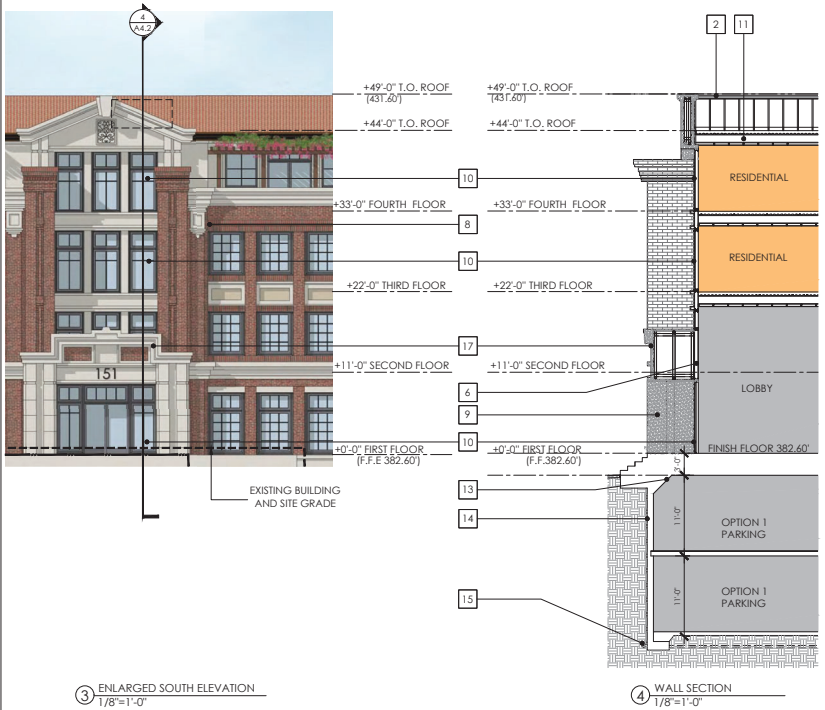
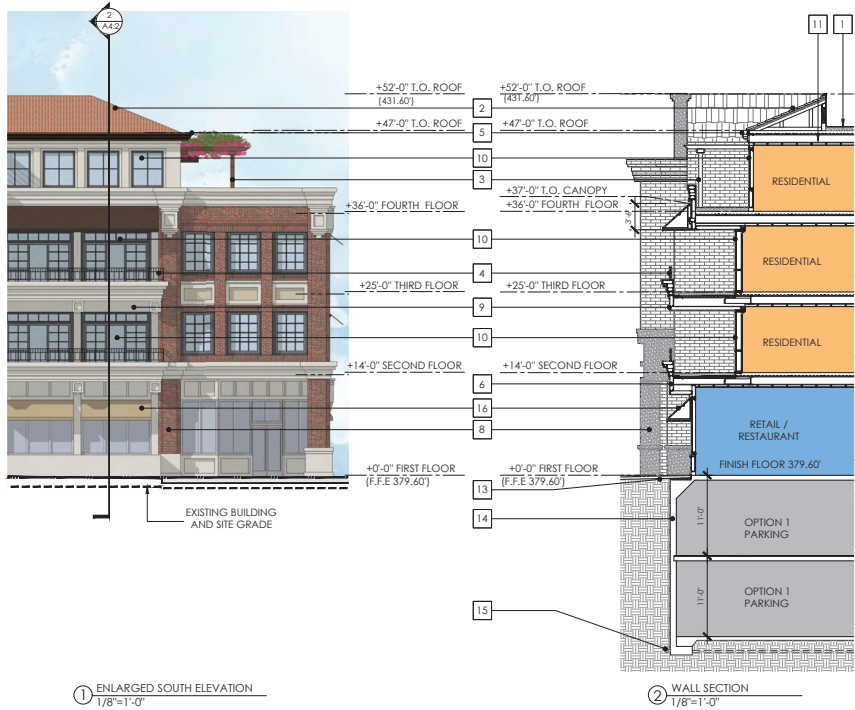


BUILDING SECTION 1"=10'-0" 2

KEY NOTES

- 1 SINGLE PLY ROOFING SYSTEM OVER METAL DECK PER STRUCTURAL DRAWINGS
- 2 CLAY TILE ROOF
- 3 WOOD TRELLIS
- 4 IRON RAILING
- 5 24 GA. METAL GUTTER AND DOWNSPOUT TO BACK SPLASH
- 6 EXTERIOR STUD WALL
- 7 INTERIOR STUD WALL
- 8 BRICK VENER AND CEMENT PLASTER SYSTEM OVER EXTERIOR FACES
- 9 CEMENT PLASTER SYSTEM OVER EXTERIOR FACES
- 10 ALUMINUM STOREFRONT WINDOW SYSTEM WITH CENTER SET CLEAR INSULATED GLAZING.
- 11 STRUCTURAL BEAM, SEE STRUCTURAL ENGINEERING DRAWINGS
- 12 BATT INSULATION AT WALLS
- 13 CONCRETE SLAB / FOUNDATION, SEE STRUCTURAL DWGS.
- 14 BELOW GRADE CONCRETE WALL WITH WATERPROOFING
- 15 PERIMETER DRAINAGE SYSTEM PER GEOTECHNICAL REQUIREMENTS
- 16 AWNINGS TO BE A MIN. VERTICAL CLEARANCE OF 8' FROM PEDESTRIAN PATHWAY
- 17 PRECAST CORNICE
- 18 HVAC EQUIPMENT LOCATION
- 19 ELEVATOR OVERRIDE SCREENED BEHIND PARAPET WALL





GLASS AREA FOR SOUTH BUILDING FACADE IS 300 SF = 41% BUILDING FACADE
 GLASS AREA FOR SOUTHEAST BUILDING FACADE IS 155.5 SF = 60% BUILDING FACADE
 GLASS AREA FOR EAST BUILDING FACADE IS 108.75 SF = 44% BUILDING FACADE



KEY NOTES

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LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
442 NORTH WHISKEY ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSULTANTS

REVISION

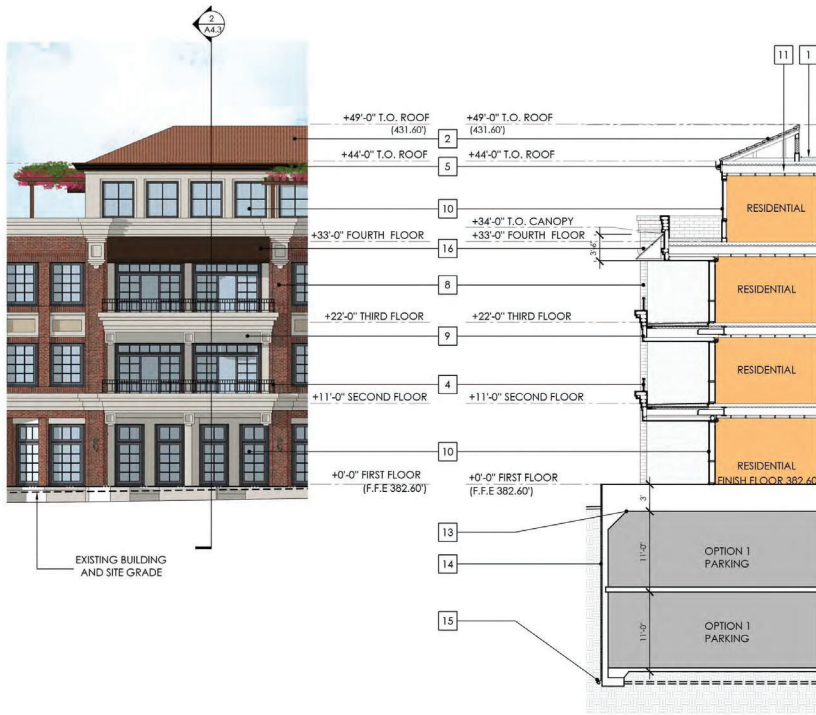
06.15.2024	1ST REVISED SUBMITTAL
08.30.2024	2ND REVISED SUBMITTAL
10.30.2024	3RD REVISED SUBMITTAL
02.18.2025	4TH REVISED SUBMITTAL

PROJECT NO. 38,675 DATE 01.15.2024
 DRAWN BY SCALE AS SHOWN
 CHECKED BY

WALL SECTIONS & ENLARGED ELEVATIONS

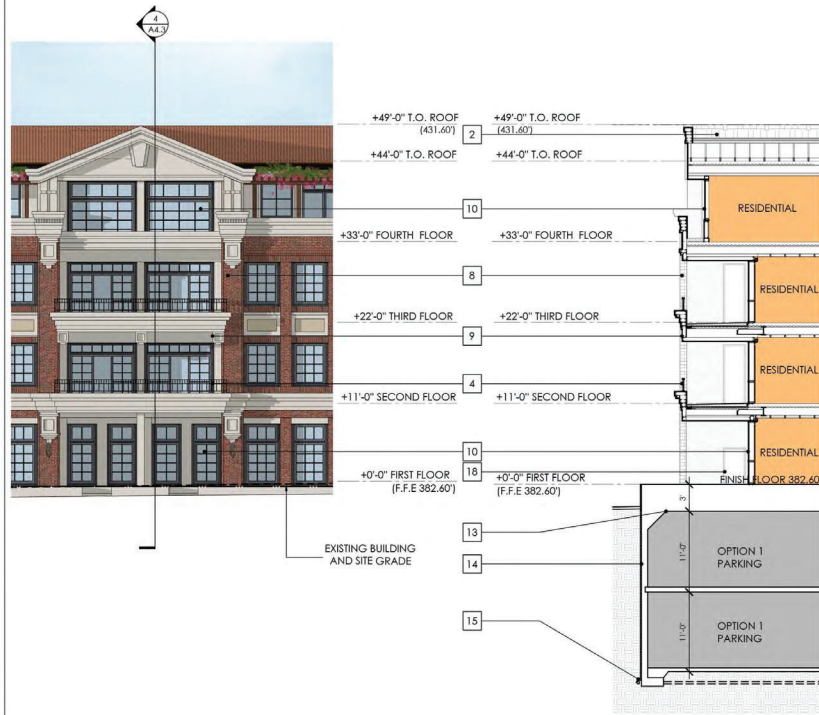
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① ENLARGED SOUTH ELEVATION
1/8"=1'-0"

② WALL SECTION
1/8"=1'-0"



③ ENLARGED NORTH ELEVATION
1/8"=1'-0"

④ WALL SECTION
1/8"=1'-0"

KEY NOTES

- | | |
|--|--|
| <ul style="list-style-type: none"> 1 SINGLE PLY ROOFING SYSTEM OVER METAL DECK PER STRUCTURAL DRAWINGS 2 CLAY TILE ROOF 3 WOOD TRELLIS 4 IRON RAILING 5 24 GA. METAL GUTTER AND DOWNSPOUT TO BACK SPLASH 6 EXTERIOR STUD WALL 7 INTERIOR STUD WALL 8 BRICK VENEER AND CEMENT PLASTER SYSTEM OVER EXTERIOR FACES 9 CEMENT PLASTER SYSTEM OVER EXTERIOR FACES | <ul style="list-style-type: none"> 10 ALUMINUM STOREFRONT WINDOW SYSTEM WITH CENTER SET CLEAR-INSULATED GLAZING. 11 STRUCTURAL BEAM. SEE STRUCTURAL ENGINEERING DRAWINGS 12 BATT INSULATION AT WALLS 13 CONCRETE SLAB / FOUNDATION. SEE STRUCTURAL DWGS. 14 BELOW GRADE CONCRETE WALL WITH WATERPROOFING 15 PERIMETER DRAINAGE SYSTEM PER GEOTECHNICAL REQUIREMENTS 16 AWNINGS TO BE A MIN. VERTICAL CLEARANCE OF 8' FROM PEDESTRIAN PATHWAY 17 PRECAST CORNICE 18 HVAC EQUIPMENT LOCATION 19 ELEVATOR OVERBRIDGE SCREENED BEHIND PARAPET WALL |
|--|--|

**LOS GATOS
MIXED-USE**

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
448 NORTH WHISKEY ROAD, SUITE 200
MOUNTAIN VIEW, CA 950.745.0750

CONSULTANTS

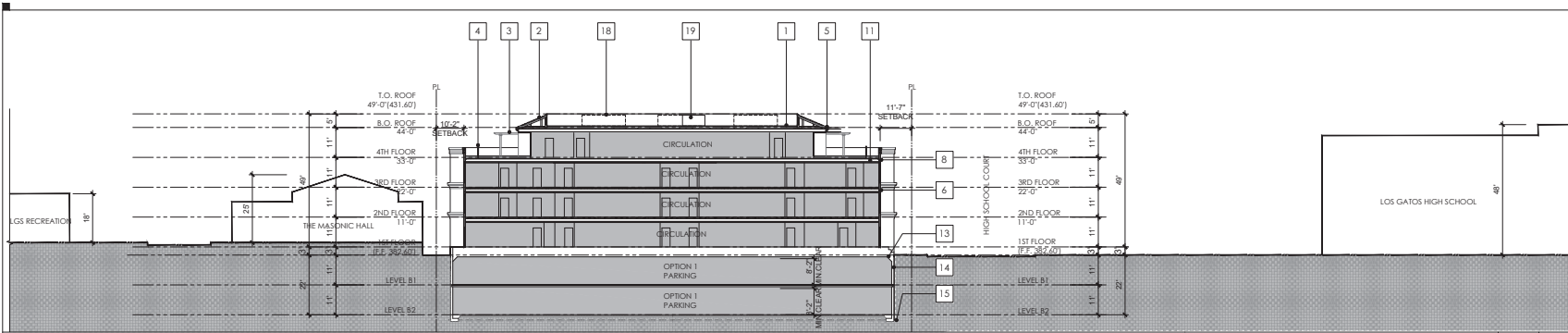
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08.30.2024	2ND REVISED SUBMITTAL
10.30.2024	3RD REVISED SUBMITTAL

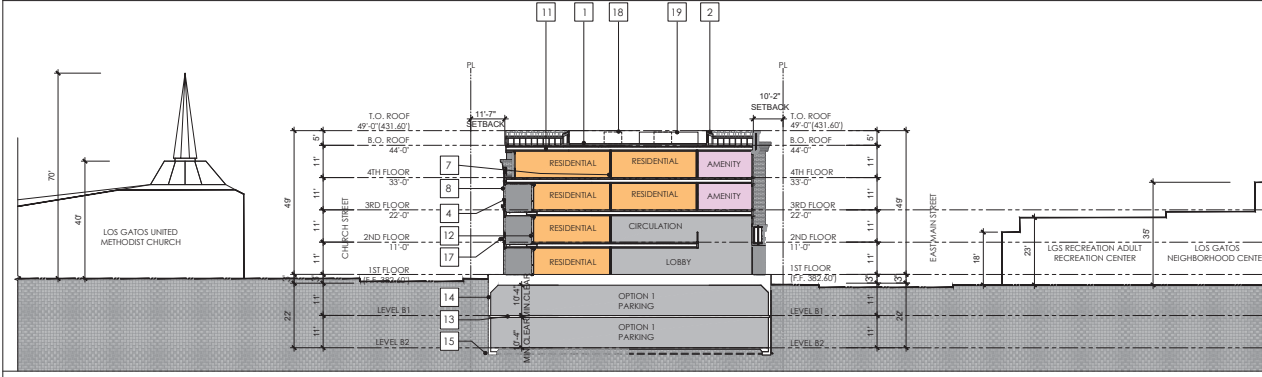
PROJECT NO. 38.675	DATE 01.15.2024
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CHECKED BY	

**WALL SECTIONS &
ENLARGED ELEVATIONS**

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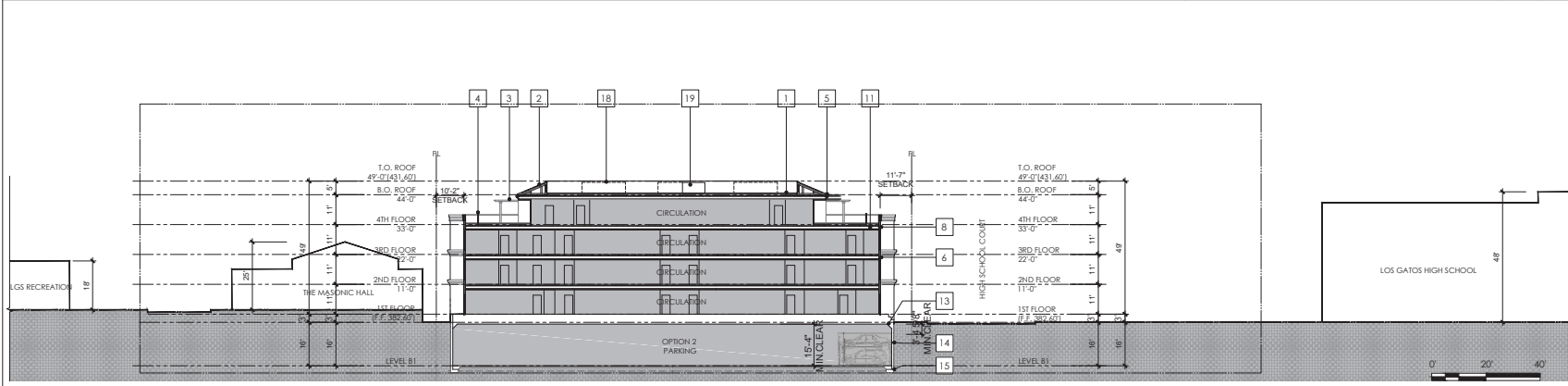
BUILDING SECTION 1"=20'-0" 1



KEY NOTES

1 SINGLE PLY ROOFING SYSTEM OVER METAL DECK PER STRUCTURAL DRAWINGS	14 BELOW GRADE CONCRETE WALL WITH WATERPROOFING
2 CLAY TILE ROOF	15 PERIMETER DRAINAGE SYSTEM PER GEOTECHNICAL REQUIREMENTS
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BUILDING SECTION 1"=20'-0" 2



BUILDING SECTION 1"=20'-0" 3

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSULTANTS

REVISION:

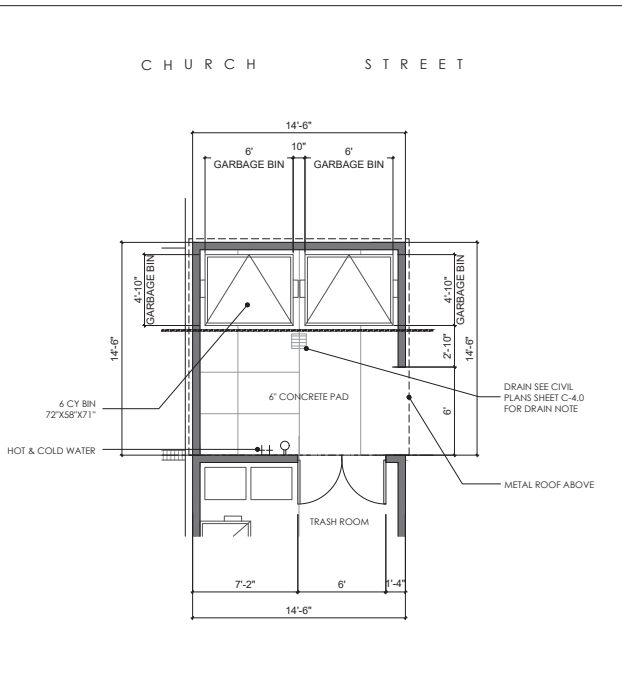
08.30.2024	2ND REVISED SUBMITTAL
10.30.2024	3RD REVISED SUBMITTAL

PROJECT NO. 38,675 DATE 08.30.2024
DRAWN BY SCALE AS SHOWN
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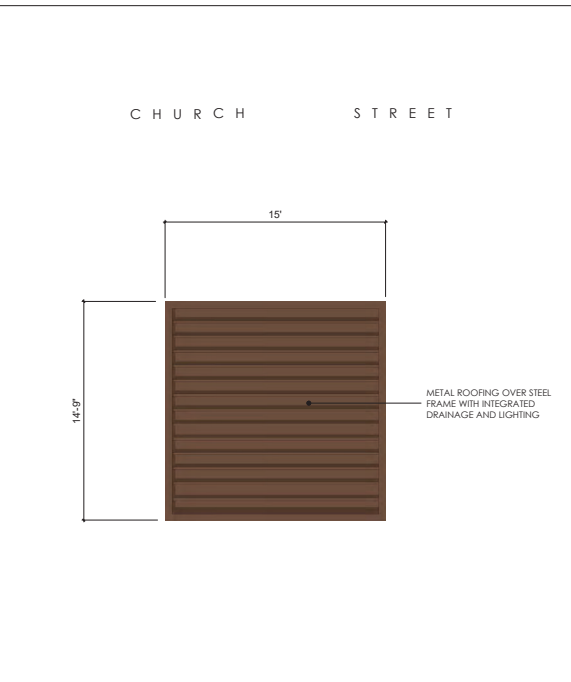
SITE CROSS SECTIONS

A4.4

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ENLARGED TRASH ENCLOSURE PLAN 1/4" 1



TRASH ENCLOSURE ROOF PLAN 1/4" 2

ROLLING GRILLES
HEAVY DUTY 5015 ROLLING GRILLE
 Model 5015

HIGH-SECURITY, DEPENDABLE, ROBUST PERFORMANCE

SOLID CONSTRUCTION
 The 5015 Rolling Grille curtain is built for the long haul. The curtain consists of solid rods that are spaced 25% closer than standard grille curtain construction. In addition, the links are 50% heavier with tube spacers on every rod, instead of every 10th rod. These upgrades make the curtain more secure and more durable than standard construction.

ENHANCED SECURITY
 The 5015 grille's uniquely robust construction is ideal for applications with no secondary level of security, and is built to last for 50,000 cycles. For facilities requiring more cycles, the grille can be upgraded to include 100,000-cycle springs and a high-cycle shaft construction.

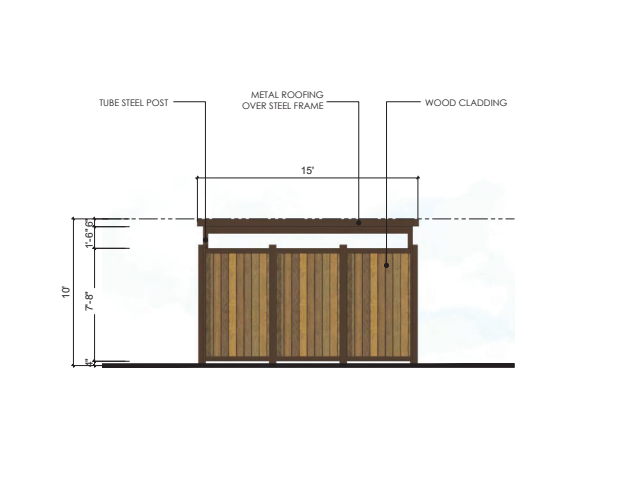
COMPACT & FULLY SUPPORTED
 Like all of our rolling products, the 5015 curtain stores in an overhead coil that is totally supported by extensions of the side guides. This means there is no need for any additional support beams at the hood. The 5015 grille's coil is also compact, requiring less headroom than many standard rolling grilles.

VISIBILITY AND AIRFLOW
 The 5015 provides an enhanced level of security compared to standard grilles without sacrificing visibility and airflow. This grille is an excellent choice for retail applications requiring additional protection or parking garages in highly populated areas with standard cycle needs.

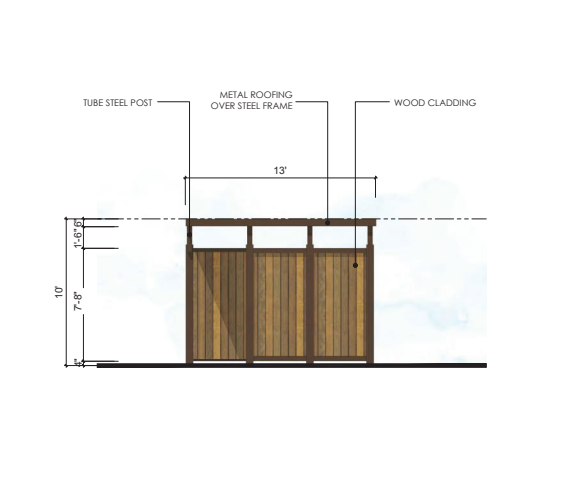
800.294.4358 | cooksondoor.com
Cookson Doorworks, LLC, is an ISO 9001:2015 registered company 03/2012

COOKSON
The Professional Door Company

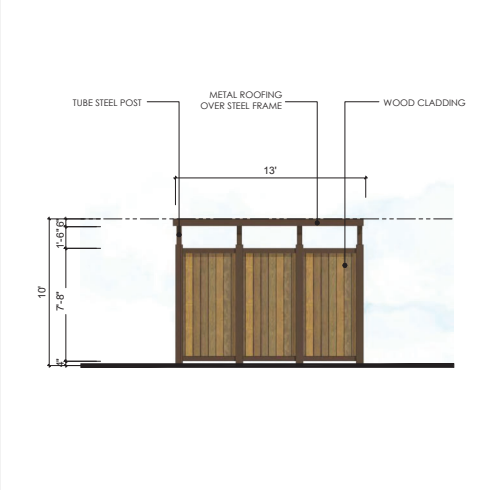
PARKING MESH GATE 1/4" 6



TRASH ENCLOSURE NORTH ELEVATION 1/4" 4



TRASH ENCLOSURE EAST ELEVATION 1/4" 5





TRASH ENCLOSURE WEST ELEVATION 1/4" 3

LOS GATOS MIXED-USE

151 EAST MAIN STREET
 LOS GATOS, CALIFORNIA

APN# 529-28-001
 APN# 529-28-002

KENNETH RODRIGUES & PARTNERS, INC.
 442 NORTH WHISPER EGG, SUITE 200
 MOUNTAIN VIEW, CA 94039-1070

CONSULTANTS

REVISION

<small>08.30.2024</small>	<small>2ND REVISED SUBMITTAL</small>
<small>10.30.2024</small>	<small>3RD REVISED SUBMITTAL</small>

PROJECT NO. 38_675 DATE 08.30.2024
 DRAWN BY SCALE AS SHOWN
 CHECKED BY

TRASH ENCLOSURE PLANS & ELEVATIONS

A5.0

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PUZZLE

33 SECONDS
TIME AVERAGE RETRIEVAL

From 2- 5 LEVELS

10,000
SPACES INSTALLED

Our most popular and versatile mechanical parking solution is the Puzzle. TAPCO designs and installs 2, 3, 4, and 5-level configurations in both single rows and tandem rows, and we can easily integrate a 1-Pile level. They are used in a variety of vertical, primarily multi-family, mixed use, and office. These systems replace attended mechanical stacks, in return, offering independent access by the user and eliminating any demand for attendants, all while (2x-3x) your space. The Puzzle system can be installed indoors or even outdoors provided you incorporate 5'-6" loading clearances with inclement weather conditions.

Additional value of the Puzzle system when compared to conventional build methods, we eliminate intermediate decks and lower your overall clear heights, in return, giving you back valuable square footage and dramatically reducing your build costs. (When doing an analysis using our Puzzle solution, you can estimate roughly 6' to 7' height per level.)

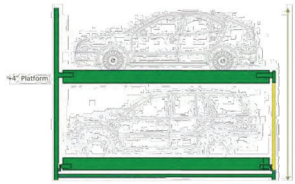


TAPCO-US.COM SALES@TAPCO-US.COM

TWO-LEVEL PUZZLE

24

MODEL NO 2LP



CAR SIZES

	LENGTH	WIDTH
UPPER	17' 1/4"	6' 10"
GROUND	17' 1/4"	6' 10"

HEIGHT OPTIONS

	RECOMMENDED	MINIMUM
UPPER	6' 3"	5' 5"
GROUND	7' 0"	6' 3"

NOTES:

- Recommended and minimum car heights:
 - SUV 6'-3"
 - Sedan 5'-5"
- Additional sizes can be customized. See Car Sizes page; each dimension has a tolerance of .01".
- 6" for length, 6" for width, and 3" for height (transition from slab edge to system)
- Additional 4" recess slab if doing ground level installation for a 0-0-0.
- Usable space dimensions will not change for all pallets.
- 8" to 6" required from inside face of super structure elements to system



TAPCO-US.COM SALES@TAPCO-US.COM

19 CAR SIZES

14

LARGE		MEDIUM		SMALL	
LENGTH	WIDTH	LENGTH	WIDTH	LENGTH	WIDTH
17' 3/4"	6' 10"	16' 5"	6' 10"	15' 9"	6' 10"
17' 1/4"	6' 6' 1/4"	16' 5"	6' 6' 1/4"	15' 9"	6' 6' 1/4"
NOT AVAILABLE	NOT AVAILABLE	NOT AVAILABLE	NOT AVAILABLE	15' 9"	6' 4' 1/4"

- NOTES:
- Recommended and minimum car heights:
 - SUV 6'-3"
 - Sedan 5'-5"
 - Additional sizes can be customized.
 - Each dimension has a tolerance of .01" for length, 6" for width, and 3" for height (transition from slab edge to system)
 - Additional 4" recess slab if doing ground level installation for a 0-0-0.
 - Usable space dimensions will not change for all pallets.

	LARGE		
	AUDI Q5	TESLA MODELS	VOLVO XC90
BMW 5-SERIES		MEDIUM	
BMW X5	AUDI A6	DODGE DURANGO	JEEP GRAND CHEROKEE
BMW 3-SERIES	LEXUS IS	ACURA ILX	HONDA CIVIC



TAPCO-US.COM SALES@TAPCO-US.COM

THE AUTOMATED PARKING COMPANY

EV Charging Spec Sheet

TAPCO Integrated Level 2 Charging Systems

208-240 VAC / 90 Max Key Features:

- RFID card reader for user authentication
- Wireless mesh network
- Optional 4g cellular
- SAS J1772 standard connector
- ISO 15118 capable
- Integrated management system
- Flirt, commercial and multifamily installation
- Top and bottom entry wiring
- Aluminum construction
- Designed in machine test
- Patented smart available
- Robust NEMA 3R ingress protection for outdoor use

Integrated Parking & Charging

TAPCO 200 - 240 VAC / 90 Max Key Features

Power Point	EV002-80 (Flirt use)	EV002-80 (Flirt use)
Input Rating	208V / 240V AC 100A / 100A / 100A	208V / 240V AC 100A / 100A / 100A
Connection and wiring	6-10 AWG / 6-10 AWG / 6-10 AWG	6-10 AWG / 6-10 AWG / 6-10 AWG
Standby Power	<1W	<1W
Mounting	Indoor / Outdoor / Indoor / Outdoor	Indoor / Outdoor / Indoor / Outdoor
Power Efficiency	Minimum 99.99%	Minimum 99.99%
Integrated Over Current Safety Detection	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
Internal Residual Current Detection	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
High-Clearance Protection	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
State Indicators	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
RFID User Authentication	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
Operating Temperature	25°C to 55°C (-13°F to 131°F)	25°C to 55°C (-13°F to 131°F)
Charging Cable Length	18' (5.49m) / 24' (7.32m)	18' (5.49m) / 24' (7.32m)
Input Protection	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
Mounting Type	Indoor / Outdoor / Indoor / Outdoor	Indoor / Outdoor / Indoor / Outdoor
Dimensions	18" (457mm) H x 18" (457mm) W x 18" (457mm) D	18" (457mm) H x 18" (457mm) W x 18" (457mm) D
Net Weight	50 lbs (22.7kg)	50 lbs (22.7kg)
Capacity	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
Charging Interface	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519
Warranty	IEEE 1519 / IEEE 1519	IEEE 1519 / IEEE 1519

Smart Power Load Management Features

Advanced parking and smart charging solutions level up your installation costs and avoid expensive infrastructure upgrades by intelligently charging power in real time - and avoiding those charge stalls with existing power supply.

TAPCO's integrated approach for EV charging and smart power load management is designed to be installed in existing or new parking spaces with a variety of payment systems. The concept is to intelligently manage the use of smart chargers and load management to increase the number of EVs charged with the same power supply.

You can charge more cars with less power using smart chargers that dynamically adjust to EV charge levels and battery capacity, avoid a waste of power in your building. Funds saved by not using the most of your resources can create new infrastructure. Give that another perspective: form a few dedicated charging spaces to 100% electrification.

Future spending on smart EV charging connectors enables the public when needed, and an integral charging station occasionally can be power release platform in critical. When EVs are removed, the charging station is automatically complete, and data is recorded to billing, payment and billing. Property owners will also benefit from the data usage to better plan for future growth and deliver an enhanced user experience for tenants.

Real-Time Wireless Communication

- Charge stations can communicate with each other to manage power usage.
- Real-time monitoring and reporting.
- Cloud-based data management and reporting.

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



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445 NORTH WHITTIER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

CONSULTANTS

REVISION

08.30.2024	2ND REVISED SUBMITTAL
10.30.2024	3RD REVISED SUBMITTAL

PROJECT NO: 38_675 DATE: 08.30.2024
DRAWN BY: SCALE: AS SHOWN

CAR STACKER SPECIFICATIONS

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CONSTRUCTION NOTES

- ALL OFF-SITE CONSTRUCTION MATERIAL AND METHODS SHALL COMPLY WITH THE LATEST EDITION OF THE CITY OF LOS GATOS AND THE LATEST CALTRANS STANDARD PLANS & SPECIFICATIONS.
- CONTRACTOR SHALL LEAVE AN EMERGENCY PHONE NUMBER WITH THE CITY OF LOS GATOS POLICE AND FIRE DEPARTMENTS.
- CONTRACTOR SHALL POST ON THE SITE EMERGENCY TELEPHONE NUMBERS FOR PUBLIC WORKS, AIRBORNE POLICE, AND FIRE DEPARTMENTS.
- CONTRACTOR SHALL NOTIFY ALL PUBLIC OR PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY UNLESS AN EXCAVATION PERMIT SPECIFIES OTHERWISE.
- THE CONTRACTOR SHALL HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MAINTENANCE DISTRICT FOR AIRBORNE PARTICULATES (DUST).
- ALL GRADING SHALL CONFORM TO APPROVED SPECIFICATIONS PRESENTED HEREON OR ATTACHED HERETO. ALL GRADING WORK SHALL BE OBSERVED AND APPROVED BY THE SOILS ENGINEER. THE GEOTECHNICAL ENGINEER SHALL BE NOTICED AT LEAST 48 HOURS BEFORE BEGINNING ANY GRADING. UNSUPERVISED AND UNAPPROVED GRADING WORK SHALL BE REMOVED AND REDO AT THE CONTRACTORS EXPENSE.
- ALL MATERIALS REQUIRED FOR THE COMPLETE EXECUTION OF THE PROJECT, SHALL BE FURNISHED AND INSTALLED BY THE CONTRACTOR UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY EXISTING IMPROVEMENTS OF UNDERGROUND FACILITIES DAMAGED DURING THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL ENCROACHMENT, EXCAVATION, CONCRETE, ELECTRICAL, PLUMBING, ETC. PERMITS NECESSARY PRIOR TO BEGINNING CONSTRUCTION FOR ANY WORK.
- THE CONTRACTOR SHALL HAVE A SUPERINTENDENT OR REPRESENTATIVE ON SITE AT ALL TIMES DURING CONSTRUCTION.
- STORAGE OF CONSTRUCTION MATERIAL AND EQUIPMENT ON CITY STREETS WILL NOT BE PERMITTED.
- CONSTRUCTION EQUIPMENT SHALL BE PROPERLY MUFFLED. UNNECESSARY IDLING OF GRADING CONSTRUCTION EQUIPMENT IS PROHIBITED.
- CONSTRUCTION EQUIPMENT, TOOLS, ETC. SHALL NOT BE CLEANED OR RINSED INTO A STREET, GUTTER OR STORM DRAIN.
- A CONTAINED AND COVERED AREA ON-SITE SHALL BE USED FOR STORAGE OF CEMENT BAGS, PLANTS, FERTILIZERS, OILS, FERTILIZERS, PESTICIDES, OR ANY OTHER MATERIALS THAT HAVE POTENTIAL FOR BEING DISCHARGED TO THE STORM DRAIN SYSTEM BY WIND OR IN THE EVENT OF A MATERIAL SPILL.
- ALL CONSTRUCTION DEBRIS SHALL BE GATHERED ON A REGULAR BASIS AND PLACED IN A DUMPSTER WHICH IS EMPTIED OR REMOVED WEEKLY, WHEN FEASIBLE. TARPS SHALL BE USED ON THE GROUND TO COLLECT FALLEN DEBRIS OR SPLATTERS THAT COULD CONTRIBUTE TO STORMWATER POLLUTION.
- ANY TEMPORARY ON-SITE CONSTRUCTION PILES SHALL BE SECURELY COVERED WITH A TARP OR OTHER DEVICE TO CONTAIN DEBRIS.
- CONCRETE TRUCKS AND CONCRETE FINISHING OPERATIONS SHALL NOT DISCHARGE WASH WATER INTO THE STREET GUTTERS OR DRAINS.

DISCREPANCIES

IF THERE ARE ANY DISCREPANCIES BETWEEN DIMENSIONS IN DRAWINGS AND EXISTING CONDITIONS WHICH WILL AFFECT THE WORK, THE CONTRACTOR SHALL BRING SUCH DISCREPANCIES TO THE ATTENTION OF THE ENGINEER FOR ADJUSTMENT BEFORE PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER FITTING OF ALL WORK AND FOR THE COORDINATION OF ALL TRADES, SUBCONTRACTORS, AND PERSONS ENGAGED UPON THIS CONTRACT.

UTILITY CATCH BASIN/HOLE NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND FACILITIES AND UTILITIES BY POT-HOLING PRIOR TO COMMENCING CONSTRUCTION.

DIMENSIONS

ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

ENCROACHMENT NOTE

A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY. IT IS THE CONTRACTORS RESPONSIBILITY TO OBTAIN SUCH PERMIT. ENCROACHMENT PERMIT AND FOLLOW ALL CONSTRUCTION RELATED REQUIREMENTS OF SUCH PERMIT.

LOCATION

THIS PROJECT IS IN FLOOD ZONE X: AREAS OUTSIDE OF 0.2% ANNUAL CHANCE FLOOD.

INFORMATION OBTAINED FROM THE FLOOD INSURANCE RATE MAP (FIRM) NO. 06085C0378H DATED 05/19/2009 PRODUCED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA).

FIRE DESIGN NOTE

THE CONTRACTOR SHALL DESIGN, PREPARE SHOP DRAWINGS FOR, OBTAIN ALL REQUIRED APPROVALS, AND CONSTRUCT THE FIRE SYSTEM FOR THE PROPOSED PROJECT. CONTRACTOR SHALL HAVE SHOP DRAWINGS STAMPED BY A FIRE PROTECTION ENGINEER AS REQUIRED BY THE LOCAL AUTHORITY.

UNDERGROUND WORK CAUTION

CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOR NORTHERN CALIFORNIA DIAL 811 OR (800) 227-2600. FOR OTHER AREAS CALL (800) 645-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

DEMOLITION NOTES

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAND MATERIALS AS REQUIRED BY PRIVATE AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES TO PREVENT THE EROSION CONTROL PLAN & DETAILS AND THE PROJECT SWPPP IF APPLICABLE.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS, FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR THEIR AGENTS OR ANY ITEMS REMOVED FOR USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE UTILITY OWNER AND ANY AFFECTED PROPERTIES OR BUILDINGS. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE DEMOLISHED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR RELOCATED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.
- CONTRACTOR TO DEMOLISH AND REMOVE ALL IRRIGATION IN LANDSCAPE AREAS WITHIN THE LIMIT OF WORK. IF ANY IRRIGATION LINES OR MAINS ARE IN THE LIMIT OF WORK OR ARE DAMAGED THAT SERVE LANDSCAPE, TO REMAIN, CONTRACTOR TO RECONNECT OR RELOCATE AT NO ADDITIONAL COST TO OWNER.
- PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS OTHERWISE NOTED. REPLACE ANY DAMAGED UTILITY TO REMAIN TO KEEP OPERABLE DURING CONSTRUCTION.
- ALL UTILITY SHUT DOWNS ARE TO AVOIDED. IF SHUT DOWNS ARE NECESSARY, CONTRACTOR TO COORDINATE SHUT DOWN WITH UTILITY OWNER WITH 48 HOUR MINIMUM NOTICE.
- ALL EXISTING STORM DRAIN, SANITARY SEWER, AND WATER MAINS THAT SERVE EXISTING BUILDINGS MUST REMAIN OPERABLE DURING CONSTRUCTION. CONTRACTOR TO SET UP TEMPORARY SERVICE OR PUMP AS NECESSARY TO ENSURE UNINTERRUPTED SERVICE.

CONTRACTOR TO DEMOLISH AND REMOVE ALL IRRIGATION IN LANDSCAPE AREAS WITHIN THE LIMIT OF WORK. IF ANY IRRIGATION LINES OR MAINS ARE IN THE LIMIT OF WORK OR ARE DAMAGED THAT SERVE LANDSCAPE, TO REMAIN, CONTRACTOR TO RECONNECT OR RELOCATE AT NO ADDITIONAL COST TO OWNER.

PROTECT ALL EXISTING UTILITIES IN PLACE UNLESS OTHERWISE NOTED. REPLACE ANY DAMAGED UTILITY TO REMAIN TO KEEP OPERABLE DURING CONSTRUCTION.

ALL UTILITY SHUT DOWNS ARE TO AVOIDED. IF SHUT DOWNS ARE NECESSARY, CONTRACTOR TO COORDINATE SHUT DOWN WITH UTILITY OWNER WITH 48 HOUR MINIMUM NOTICE.

ALL EXISTING STORM DRAIN, SANITARY SEWER, AND WATER MAINS THAT SERVE EXISTING BUILDINGS MUST REMAIN OPERABLE DURING CONSTRUCTION. CONTRACTOR TO SET UP TEMPORARY SERVICE OR PUMP AS NECESSARY TO ENSURE UNINTERRUPTED SERVICE.

CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY ENGINEER.

APPLICABLE FIRE CODE NOTES

APPLICABLE CODES AS OF JANUARY 1, 2023:

2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE (PART 1, TITLE 24, CCR)

2022 CALIFORNIA BUILDING CODE, VOLUMES 1 AND 2 (PART 2, TITLE 24, CCR) (2021 EDITION INTERNATIONAL BUILDING CODE)

2022 CALIFORNIA ELECTRICAL CODE (PART 3, TITLE 24, CCR) (2020 EDITION NATIONAL ELECTRICAL CODE)

2022 CALIFORNIA MECHANICAL CODE (PART 4, TITLE 24, CCR) (2021 EDITION UNIFORM MECHANICAL CODE)

2022 CALIFORNIA PLUMBING CODE (PART 5, TITLE 24, CCR) (2021 EDITION UNIFORM PLUMBING CODE)

2022 CALIFORNIA ENERGY CODE (PART 6, TITLE 24, CCR)

2022 CALIFORNIA ELEVATOR SAFETY ORDERS (CHAPTER 4, TITLE 8, CCR)

2022 CALIFORNIA FIRE CODE (PART 9, TITLE 24, CCR)

2022 CALIFORNIA REFERENCED STANDARDS CODE (PART 12, TITLE 24, CCR)

TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS

PARTIAL LIST OF APPLICABLE REFERENCE STANDARDS AS LISTED AND AMENDED PER

2022 CALIFORNIA FIRE CODE, CHAPTER 80:

NFPA 13 - AUTOMATIC SPRINKLER SYSTEMS - 2022 EDITION

NFPA 14 - STANDPIPE SYSTEMS - 2019 EDITION

NFPA 24 - PRIVATE FIRE MAINS - 2012 EDITION

NFPA 72 - NATIONAL FIRE ALARM CODE - 2022 EDITION

NFPA 20 - STATIONARY PUMPS FOR FIRE PROTECTION - 2022 EDITION

UNDERGROUND FIRE SERVICE TO FIRE HYDRANTS REQUIREMENTS:

NFPA 24, SEC. 10.1.1.3: UNLESS THE REQUIREMENTS OF 10.1.1.3 ARE MET, ALL FERROUS METAL PIPE SHALL BE LINED IN ACCORDANCE WITH THE APPLICABLE STANDARDS IN TABLE 10.1.1.1

NFPA 24, SEC. 10.4: THE DEPTH OF COVER OVER WATER PIPES SHALL NOT BE LESS THAN 2-1/2 FEET TO PREVENT MECHANICAL DAMAGE. PIPE UNDER DRIVEWAYS SHALL BE BURIED AT A MINIMUM DEPTH OF 3 FEET. PIPE UNDER RAILROAD TRACKS SHALL BE BURIED AT A MINIMUM DEPTH OF 4 FEET.

NFPA 24, SEC. 10.4.1.1: ALL BOLTED JOINT ACCESSORIES SHALL BE CLEANED AND THOROUGHLY COATED WITH ASPHALT OR OTHER CORROSION-RETARDING MATERIAL AFTER INSTALLATION.

NFPA 24, SEC. 10.4.2: PIPE SHALL NOT BE RUN UNDER BUILDINGS EXCEPT WHERE PERMITTED IN 10.4.3.1 AND 10.4.3.2

NFPA 24, SEC. 10.6.1: THRUST BLOCS SHALL BE PERMITTED WHERE SOIL IS STABLE AND CAPABLE OF RESISTING THE ANTICIPATED THRUST FORCES. THRUST BLOCS SHALL BE OF A CONCRETE MIX NOT LEANER THAN ONE PART CEMENT, TWO AND ONE HALF PARTS SAND, AND FIVE PARTS STONE. THRUST BLOCS SHALL BE PLACED BETWEEN UNDISTURBED EARTH AND THE FITTING TO BE RESTRAINED, AND SHALL BE CAPABLE OF RESISTING THE CALCULATED THRUST FORCES. WHEREVER POSSIBLE, THRUST BLOCS SHALL BE PLACED SO THAT THE JOINTS ARE ACCESSIBLE FOR REPAIR.

NFPA 24, SEC. 10.6.2.5: CORROSION RESISTANCE AFTER INSTALLATION, RODS, NUTS, BOLTS, WASHERS, CLAMPS, AND OTHER RESTRAINING DEVICES SHALL BE CLEANED AND THOROUGHLY COATED WITH BITUMINOUS OR OTHER ACCEPTABLE CORROSION-RETARDING MATERIAL.

NFPA 24, SEC. 10.10.2.1.1: UNDERGROUND PIPING, FROM THE WATER SUPPLY TO THE SYSTEM RISER, AND LEAD-IN CONNECTIONS TO THE SYSTEM RISER SHALL BE COMPLETELY FLUSHED BEFORE THE CONNECTION IS MADE TO THE DOWNSYSTEM FIRE PROTECTION SYSTEM PIPING. THE FLUSHING OPERATION SHALL BE CONTINUED FOR A SUFFICIENT TIME TO ENSURE THOROUGH CLEANING. THE MINIMUM RATE OF FLOW SHALL BE NOT LESS THAN THAT SPECIFIED IN SECTION 10.10.2.1.3.

NFPA 24, SEC. 10.10.2.2: ALL PIPING AND ATTACHED APPURTENANCES SUBJECT TO SYSTEM WORKING PRESSURE SHALL BE HYDROSTATICALLY TESTED AT 200 PSI OR 50 PSI IN EXCESS OF THE SYSTEM WORKING PRESSURE, WHICHEVER IS GREATER, AND SHALL MAINTAIN THAT PRESSURE AT 1/2-5 PSI FOR 2 HOURS.

NFPA 24, SEC. 10.10.1: THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING: (1) NOTIFYING THE AUTHORITY HAVING JURISDICTION AND THE OWNER'S REPRESENTATIVE OF THE TIME AND DATE TESTING IS TO BE PERFORMED; (2) PERFORMING ALL REQUIRED ACCEPTANCE TESTS; (3) COMPLETING AND SIGNING THE CONTRACTOR'S MATERIAL AND TEST CERTIFICATE(S) SHOWN IN FIGURE 10.10.1.

HAZARDOUS MATERIALS NOTE

THERE MAY BE ASBESTOS CONTAINING PIPE AND PIPE INSTALLATION OR OTHER HAZARDOUS MATERIALS WITHIN THE PROJECT AREA. THE CONTRACTOR WILL PROTECT ALL CONTRACTORS CONTAINING ITEMS DURING THE EXECUTION OF THIS CONTRACT. ADDITIONALLY THE CONTRACTOR WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS REGARDING CONSTRUCTION ACTIVITIES NEAR HAZARDOUS MATERIALS.

CONSTRUCTION FENCE

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAIDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6" HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY OF LOS GATOS STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

GENERAL UTILITY NOTES

- ALL TRENCHES SHALL BE BACK FILLED PER THE GEOTECHNICAL REPORT OR UTILITY OWNERS STANDARD DETAILS AND SPECIFICATIONS.
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (TRANSFORMER, GAS METER, ETC.). PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH ANY REVISIONS TO APPROVED LOCATIONS.
- CATHODIC PROTECTION SHALL BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, UNLESS SPECIFICALLY DEEMED UNNECESSARY BY THE GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH THE UTILITY OWNER.
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERGROUND HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONNECTIONS PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORK UP-STREAM, AND SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- VERTICAL SEPARATION REQUIREMENTS (UNLESS SPECIFICALLY SHOWN OTHERWISE ON PLANS):
 - A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE, MEASURED FROM OUTSIDE EDGE OF PIPE, SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
 - WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10" MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
- HORIZONTAL SEPARATION REQUIREMENTS (UNLESS SPECIFICALLY SHOWN OTHERWISE ON PLANS):
 - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER MAIN PIPELINES SHALL BE 10' MINIMUM.
 - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHALL BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.
- ANY PIPING TO BE ABANDONED IN PLACE SHALL BE FILLED WITH GROUT AND CAPPED.

CONSTRUCTION SECTIONS

- SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
- SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
- THE FINAL OR SURFACE LAYER OF ASPHALT CONCRETE SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS INC.
220 NORTH WILSHIRE ROAD, SUITE 200
MOUNTAIN VIEW, CA 95035-0700

CONSULTANTS



SANDIS

REVISION

06.15.2024 1ST REVISED SUBMITTAL

08.16.2024 PLANNING PLAN/CHECK RESPONSES

10.30.2024 3RD REVISED SUBMITTAL

PROJECT NO. 38.675 DATE 12.13.2024

DRAWN BY SCALE AS SHOWN

CHECKED BY

CONSTRUCTION NOTES

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DUST CONTROL NOTES

1. WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO INSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
2. ALL PUBLIC STREETS AND MEDIANS SOLED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
3. ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPAILINGS OR OTHER EFFECTIVE COVERS.
4. WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
5. THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED BY RULE 403 (FUGITIVE DUST).
6. GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SWPPP (IF ONE EXISTS) OR AS APPLICABLE PER LOCAL REGULATIONS AT ALL TIMES. THE SITE SHALL BE SPRAWLED AS NECESSARY TO PREVENT DUST NUISANCES. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
7. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.

GENERAL SITE NOTES

1. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID.
2. ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
3. PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO THE ENGINEER.
4. DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
5. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.

TREE PROTECTION

1. PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
2. PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL; AS WELL AS FROM FIZZLING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
4. REFER TO LANDSCAPE PLANS, SPECIFICATIONS OR ARBORIST REPORT FOR TREE PROTECTION REQUIREMENTS AND MEASURES.

PROJECT SITE MAINTENANCE

1. REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL MATS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
2. SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SQUARE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY.
3. CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
4. NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
5. ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS INC
248 NORTH WILSHIRE ROAD, SUITE 208
MOUNTAIN VIEW, CA 95038-0708

CONSULTANTS



SANDIS

REVISION

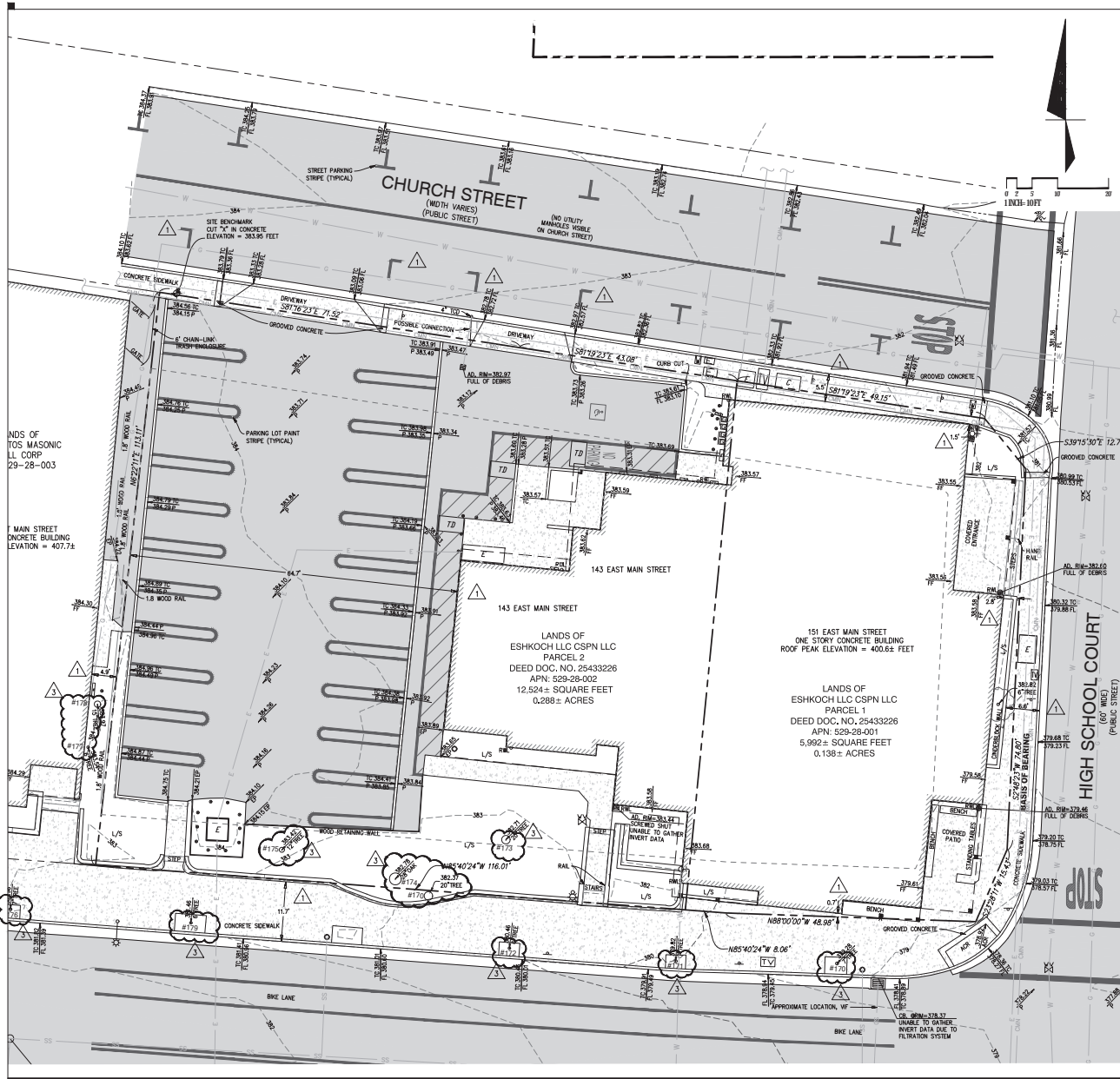
- 06.15.2024 1ST REVISED SUBMITTAL
- 08.16.2024 PLANNING: PLANCHHECK RESPONSES
- 10.30.2024 3RD REVISED SUBMITTAL

PROJECT NO.	38.675	DATE	12.13.2024
DRAWN BY		SCALE	AS SHOWN
CHECKED BY			

CONSTRUCTION NOTES

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MONUMENT PRESERVATION NOTICE

IF AT ANY TIME A SURVEY MONUMENT WILL BE DESTROYED OR COVERED DURING CONSTRUCTION PHASE OF THE PROJECT, IT MUST BE PERPETUATED IN ACCORDANCE WITH STATE LAW.
 PURSUANT TO PROFESSIONAL LAND SURVEYORS ACT SECTION 8771(B), CONTROLLING MONUMENTS SHALL BE LOCATED AND REFERENCED BY OR UNDER THE DIRECTION OF A LICENSED LAND SURVEYOR UPON COMPLETION OF CONSTRUCTION, THESE MONUMENTS WILL HAVE TO BE RESET IN THE SURFACE OF THE NEW CONSTRUCTION IN ORDER TO PERPETUATE THEIR LOCATION, A CORNER RECORD OR A RECORD OF SURVEY SHALL BE FILED TO DOCUMENT THE REFERENCED MONUMENTS PRIOR TO CONSTRUCTION AND THEIR NEW POSITION AND CHARACTER AFTER THEY HAVE BEEN RESET.

BENCHMARK

THE ELEVATION REFERENCE FOR THIS SURVEY IS A CITY OF LOS GATOS BENCHMARK, BM ID L206 IS A BRASS DISC IN MONUMENT WELL STAMPED "L206" AT THE INTERSECTION OF EAST MAIN STREET AND CHURCH STREET.
 ELEVATION=384.56 FEET

SITE BENCHMARK

• SITE BENCHMARK IS CUT "X" IN CONCRETE SIDEWALK NEAR THE NORTHWEST CORNER OF PARCEL 2 SHOWN HEREON.
 ELEVATION=383.95 FEET

UNDERGROUND UTILITY NOTE

THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS TOPOGRAPHIC SURVEY ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. UNDERGROUND UTILITY LOCATING WAS NOT PERFORMED BY SANDIS. OTHER UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.

SURVEY NOTES

1. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
2. DATES OF FIELD SURVEYS: 06/21/2023 AND 09/01/2023.
3. VERTICAL CONTROL WAS BASED ON A CITY OF LOS GATOS BENCHMARK, BM ID L206 IS A BRASS DISC IN MONUMENT WELL STAMPED "L206" AT THE INTERSECTION OF EAST MAIN STREET AND CHURCH STREET.

BOUNDARY NOTE

THE PARCEL LINES SHOWN HEREON ARE BASED UPON RECORD INFORMATION AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN BOOK 861 OF MAPS, PAGE 50, SANTA CLARA COUNTY RECORDS AND GRANT DEED DOCUMENT NO. 2543326, SANTA CLARA COUNTY RECORDS, PARCEL 3 DESCRIBED ON IN THE ABOVE MENTIONED GRANT DEED IS NOT PART OF THIS SURVEY AND IS LOCATED 0.38 MILES WEST OF THESE PARCELS ON NORTH SANTA CRUZ AVENUE.

BASIS OF BEARINGS

THE BEARING SHOWN AS S39°15'50" E HEREON HELD BETWEEN TWO MONUMENTS ON HIGH SCHOOL COURT AS SHOWN ON THAT CERTAIN RECORD OF SURVEY, FILED IN BOOK 861 OF MAPS, PAGE 50, SANTA CLARA COUNTY RECORDS.

LEGEND

	BUILDING LINE		CABLE TV PULLBOX
	BUILDING OVERHANG		CATCH BASIN
	BOUNDARY LINE		WOOD COLUMN
	LOT LINE		COMMUNICATION MANHOLE
	CURB LINE		DRAIN INLET
	CENTER BLOCK WALL, HEIGHT AS SHOWN		ELECTRIC MANHOLE
	UNDERGROUND STORM DRAIN		ELECTRIC PULLBOX
	UNDERGROUND SEWER		GAS METER
	UNDERGROUND COMMUNICATION LINE		GAS VALVE
	UNDERGROUND GAS LINE		HOSE BIBB
	UNDERGROUND ELECTRIC LINE		ACCESSIBLE SYMBOL
	UNDERGROUND WATER LINE		IRRIGATION CONTROL VALVE
	PAVEMENT		DRAIN WATER LEADER
	CONCRETE		STORM DRAIN INLET
	POINT, ELEVATION AND DESCRIPTION		STORM DRAIN MANHOLE
	CONTOURS (1-1' INTERVALS)		SIGN
	TREE (DIAMETER SIZE IN INCHES)		SANITARY CLEANOUT
			SANITARY MANHOLE
			LIGHT SINGLE ARM
			LIGHT SINGLE ARM SHORT
			WATER PULLBOX/METER
			WATER VALVE
			ACCESSIBILITY PARKING

SURVEYOR'S STATEMENT

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF KRP ARCHITECTS IN JULY, 2023.



09/21/2023
DATE

ABBREVIATIONS

ACR	- ACCESSIBILITY RAMP
BS	- BOTTOM OF STEP
EW	- EDGE OF WALK
EP	- EDGE OF PAVEMENT
FL	- FINISHED FLOOR
FL	- FLOW LINE
G	- GROUND
L/S	- LANDSCAPING
P	- PAVEMENT
STR	- PAINT STRIPE
TC	- TOP OF CURB
TD	- TRUNCATED DOMES
TW	- TOP OF WALK
TS	- TOP OF STEP

EXISTING PARKING SPACES

EXISTING PARKING SPACES: 22

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
248 NORTH WISHAM ROAD, SUITE 208
MOUNTAIN VIEW, CA 95038-0708

CONSULTANTS



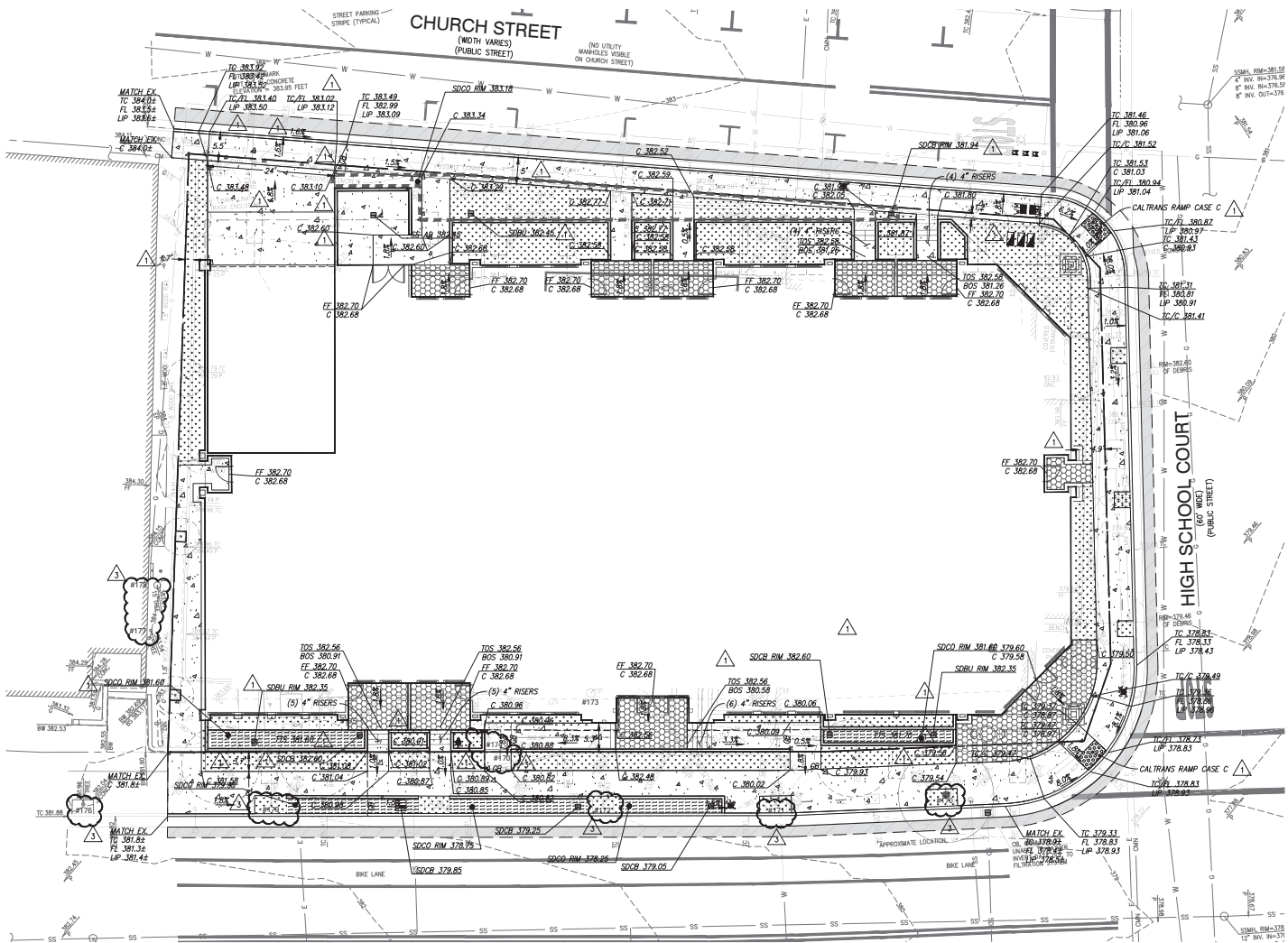
REVISION

06.15.2024	△ 1ST REVISED SUBMITTAL
08.16.2024	△ PLANNING: PLANCHECK RESPONSES
10.30.2024	△ 3RD REVISED SUBMITTAL

PROJECT NO.	38.675	DATE	12.13.2024
DRAWN BY		SCALE	AS SHOWN
CHECKED BY			

TOPOGRAPHIC SURVEY

C-2.0



LEGEND

- PROPERTY LINE
- SAWCUT LINE
- GRADE BREAK
- SILVA CELL BOUNDARY
- AC PAVEMENT
- DEEP LIFT
- CONCRETE SIDEWALK
- ACCENT PAVING, S.L.D.
- PLANTING
- BIO-TREATMENT AREA

GRADING NOTES

HAND OR PNEUMATIC EXCAVATION ONLY UNDER CANOPIES UNDER EXISTING TREES.

EARTH OR CALCULATIONS

Site Element	Average Slope: 0.9%		Earthwork/Agg (CY)		Max Cut/Fill Depth (ft)		(CY)	
	Cut	Fill	Cut	Fill	Import	Export		
Building Footprint	15,150	0	24	0	0	15,150		
Total:	15,150	0	24	0	0	15,150		

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

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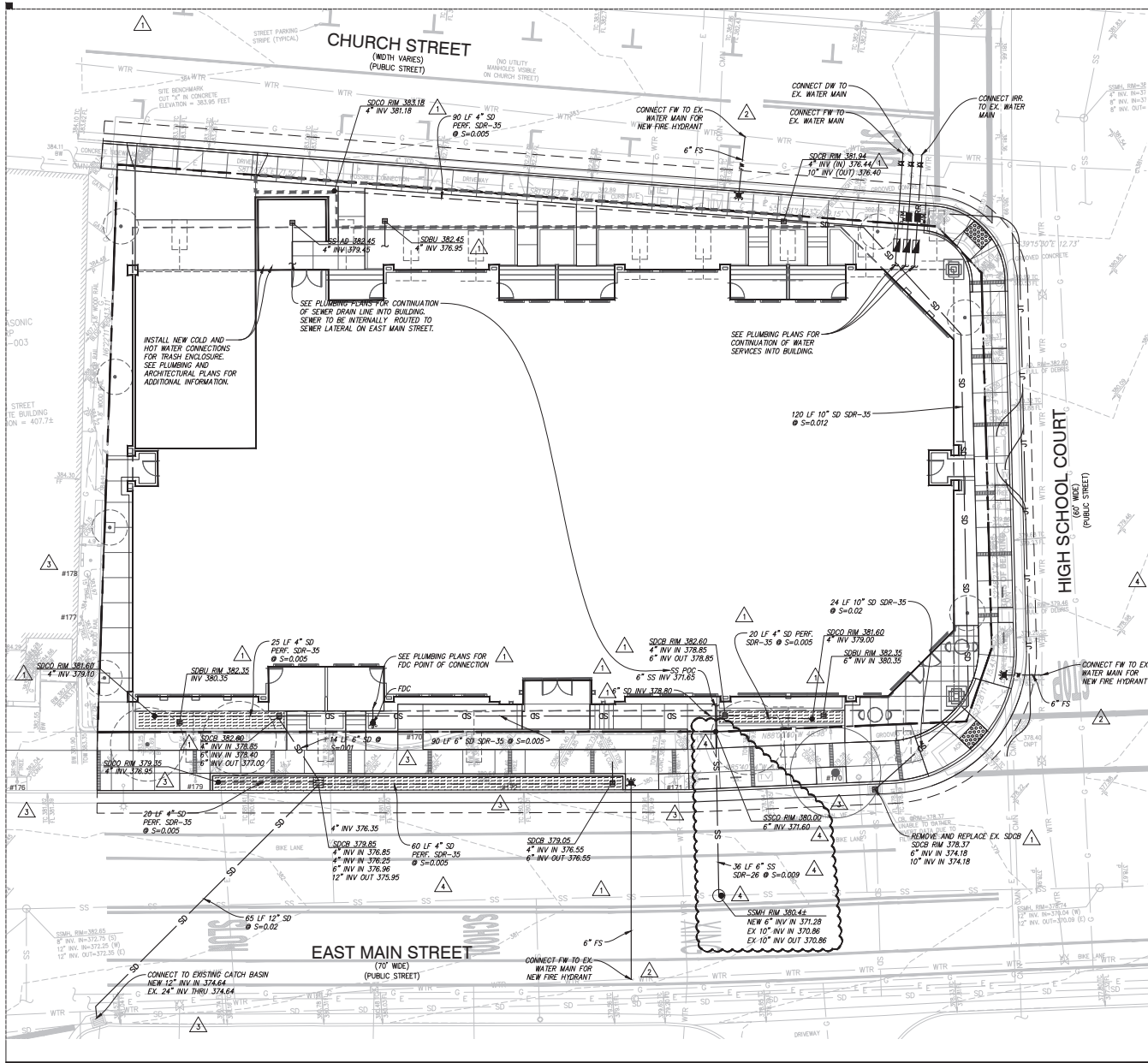
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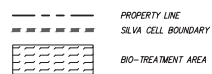
GRADING AND DRAINAGE PLAN

C-3.0

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LEGEND



STORM DRAIN NOTES

1. PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 GREEN PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3534-73 WITH BELLS AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
2. PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) CROD, RATED FOR 150 PSI CLASS FIBRE PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, CUTSIDE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. ALL DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
4. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
5. FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
6. DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
7. INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
8. ALL DOWN SPOUTS SHALL DISCHARGE DIRECTLY ON TO ADJACENT PERVIOUS SURFACES OR SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURE PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

SANITARY SEWER NOTES

1. ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
2. PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3534-73 WITH BELL AND SPIGOT CONNECTIONS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
3. OFFSITE SEWER LATERAL SHALL BE 6" DIAMETER.

WATER SYSTEM NOTES

1. MAINTAIN WATER MAIN LINES 10' AWAY FROM SANITARY SEWER MAIN LINES. LATERALS SHALL BE SEPARATED PER PLAN DIMENSIONS.
2. WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
3. ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE WATER DISTRICT STANDARDS.
4. ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
5. THRUST RESTRAINTS SHALL BE DESIGNED AND INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS.

UTILITY PROVIDERS

- WATER: SAN JOSE WATER
- GAS: PG&E
- ELECTRICITY: CALPINE
- FIBER: AT&T, VERIZON, CROWN CASTLE, ZAYO
- TELEPHONING: SPRINT
- CONCRETE: W&M CONCRETE
- SEWER: WEST VALLEY SANITATION
- STORM: TOWN OF LOS GATOS

EXCAVATION NOTES:

HAND OR PNEUMATIC EXCAVATION ONLY UNDER CANOPIES UNDER EXISTING TREES.



LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



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220 NORTH WILSHIRE ROAD, SUITE 200
MOUNTAIN VIEW, CA 95035-0700

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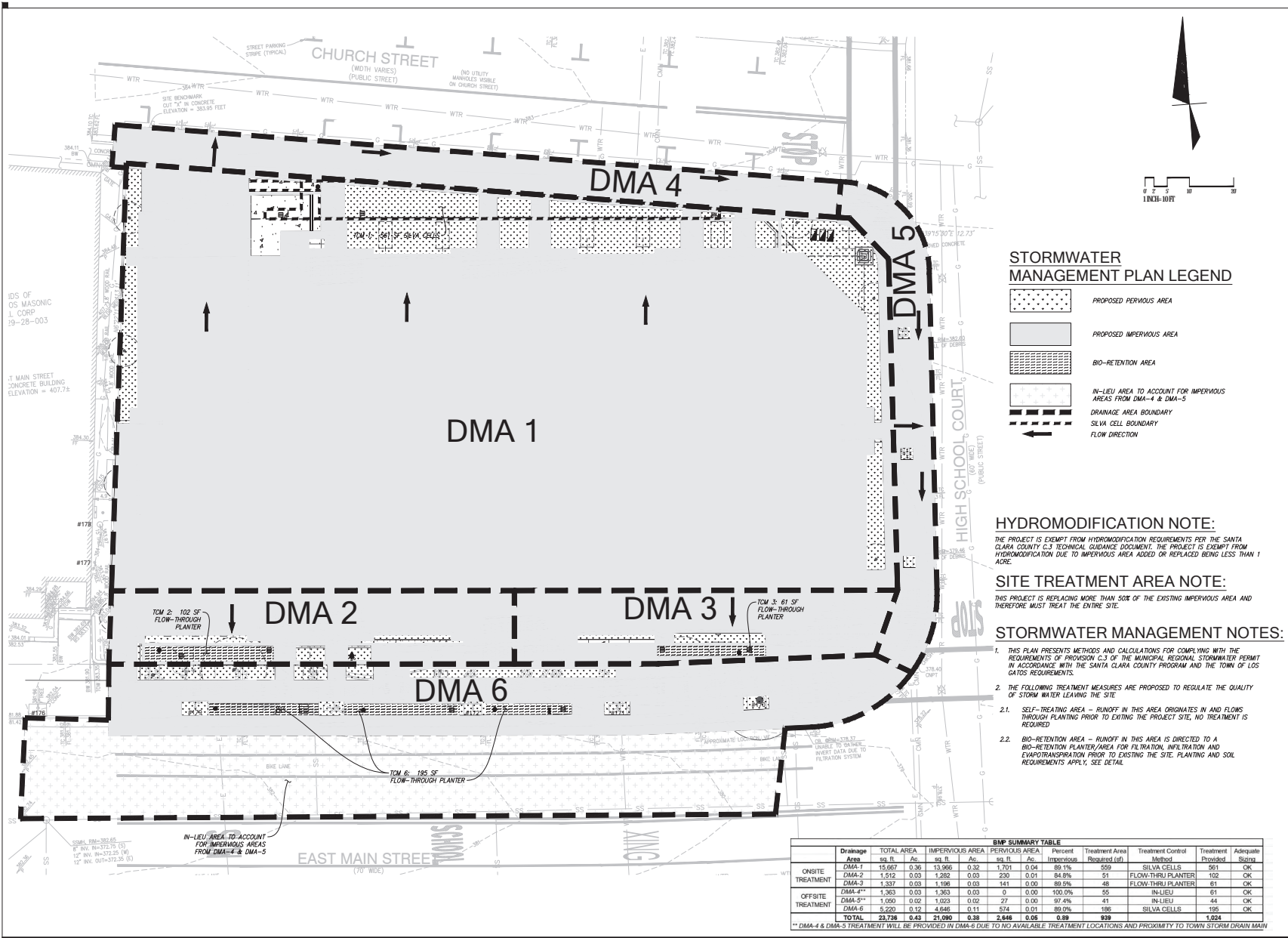
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02.18.2025	4TH REVISED SUBMITTAL

PROJECT NO. 38.675	DATE 12.13.2024
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UTILITY PLAN

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LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

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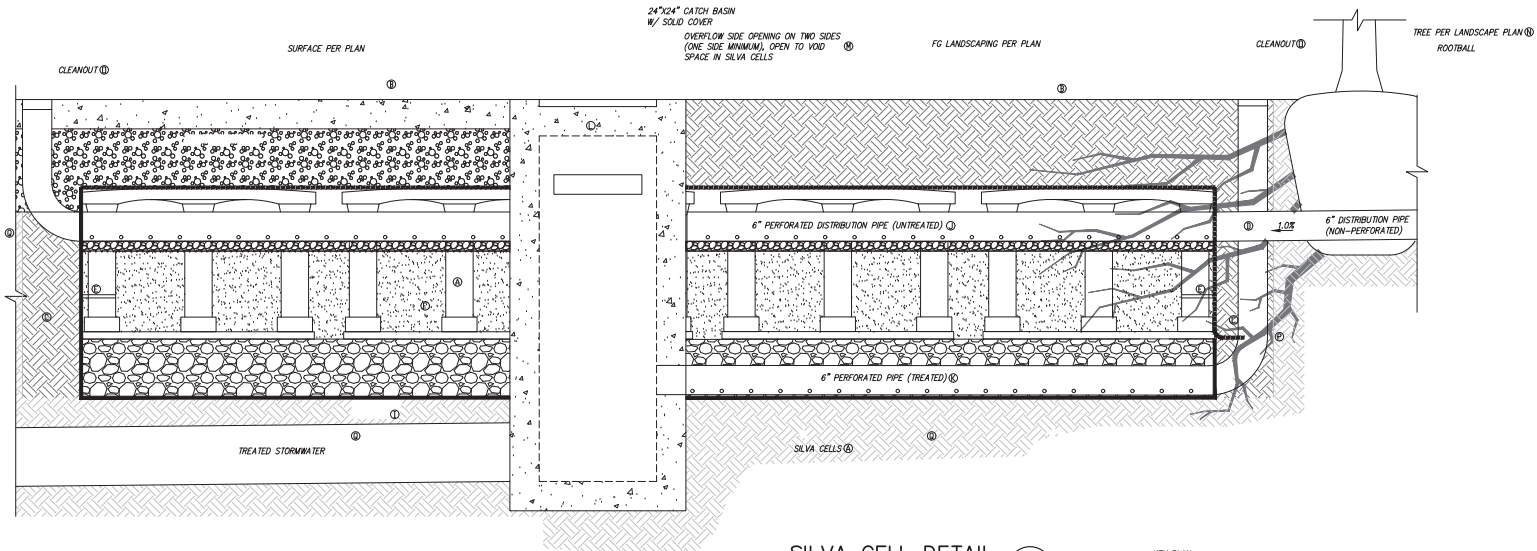
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STORMWATER MANAGEMENT PLAN

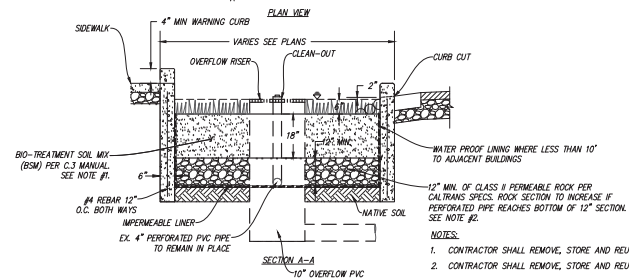
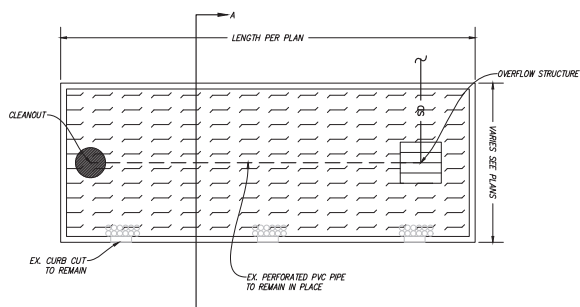
C-5.0

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SILVA CELL DETAIL

1



BIOTREATMENT BOX

2

KEY PLAN

- ① SILVA CELL SYSTEM (DECK, BASE, POSTS)
- ② GEOTEXTILE ON TOP OF SILVA CELLS AND TO EDGE OF EXCAVATION
- ③ BACKFILL, TO WITHIN 4-6" BELOW TOP OF SILVA CELL DECKS. INSTALL IN 6" LIFTS, EACH COMPACTED TO 95% RELATIVE COMPACTION STANDARD PROCTOR.
- ④ NON-PERFORATED DISTRIBUTION PIPE
- ⑤ 3/16"x1/4" ZIP TIES, SECURING GEOTEXTILE TO SILVA CELLS
- ⑥ 18" BIO-TREATMENT SOIL (BSM) SOIL SHALL INFILTRATE RUNOFF AT A RATE OF 5" PER HOUR. SEE SOIL SPECS IN APPENDIX K OF THE C.3. STORMWATER TECHNICAL GUIDANCE.
- ⑦ 4" MIN. AGGREGATE SUB BASE, COMPACTED TO 95% RELATIVE COMPACTION STANDARD PROCTOR.
- ⑧ SUBGRADE, COMPACTED TO 95% RELATIVE COMPACTION STANDARD PROCTOR
- ⑨ 12" MIN CLASS II PERM PER CALTRANS SPECIFICATIONS
- ⑩ 6" PERFORATED DISTRIBUTION PIPE IN 10" PONDING DEPTH W/ PERFORATION FACING DOWN
- ⑪ 6" PERFORATED COLLECTION PIPE W/ PERFORATIONS FACING DOWN (TREATED STORM DRAIN)
- ⑫ OVERFLOW DRAIN
- ⑬ SET OVERFLOW SIDE OPENING 8" ABOVE SILVA CELL FINISHED GRADE. DO NOT BACKFILL BETWEEN THIS OPENING AND THE VOID SPACE WHERE THE DISTRIBUTION PIPE IS LOCATED. TREE PER LANDSCAPE PLAN
- ⑭ CLEANOUT TO GRADE
- ⑮ ADJACENT TO TREES, STOP IMPERMEABLE LINER AT TOP OF CLASS II PERMEABLE LAYER. CONTINUE UP THE SIDES WITH GEOTEXTILE. EXTENTS SHOWN ON SHEETS C-5.1 THROUGH C-5.8.
- ⑯ IMPERMEABLE LINER WRAPPED AROUND THE BOTTOM AND COMPLETE SIDES OF THE SILVA CELL SYSTEM. EXTENTS SHOWN ON SHEETS C-5.1 THROUGH C-5.8.

NOTES

1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. DO NOT SCALE DRAWINGS.
2. PROVIDE SUPPLEMENTAL IRRIGATION FOR SEASONAL DROUGHT SUPPORT OF TREES AND SOIL TREE AND PLANTING INSTALLED IN BIO-TREATMENT SOIL SHALL COMPLY WITH APPENDIX B OF THE ALAMEDA COUNTY TECHNICAL GUIDANCE HANDBOOK (LATEST EDITION).
3. DEEPROOT REPRESENTATIVE TO BE PRESENT DURING CONSTRUCTION.
4. ALL PIPES OUTSIDE OF SILVA CELL LIMITS TO BE NON-PERFORATED.

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS INC.
240 NORTH WHISMAN ROAD, SUITE 200
MOUNTAIN VIEW, CA 95035-0700

CONSULTANTS



REVISION

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- 08.16.2024 PLANNING: PLANCHUCK RESPONSES
- 10.30.2024 3RD REVISED SUBMITTAL





PROJECT NO. 38.675 DATE 12.13.2024
DRAWN BY SCALE AS SHOWN
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SILVA CELL DETAIL

C-5.1

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LEGEND

-  EXISTING FIRE HYDRANT TO REMAIN
-  PROPOSED FIRE HYDRANT
-  FIRE ACCESS LANE
-  BUILDING WITHIN 150 FEET OF FIRE ACCESS LANE PER 2022 CFC SECTION 903.1.1

NOTES

WHEN PARKING IS PERMITTED ON STREETS, IN BOTH RESIDENTIAL COMMERCIAL APPLICATIONS, IT SHALL CONFORM TO THE FOLLOWING:

1. PARKING IS PERMITTED BOTH SIDES OF THE STREET WITH STREET WIDTHS OF 30 FEET OR MORE.
2. PARKING IS PERMITTED ON ONE SIDE OF THE STREET WITH STREET WIDTHS OF 28 - 35 FEET.
3. NO PARKING IS PERMITTED WHEN STREET WIDTHS ARE LESS THAN 28 FEET.

FIRE LANE AND TURNAROUND STRIPING SHALL BE PROVIDED AND VERIFIED BY SITE INSPECTION.

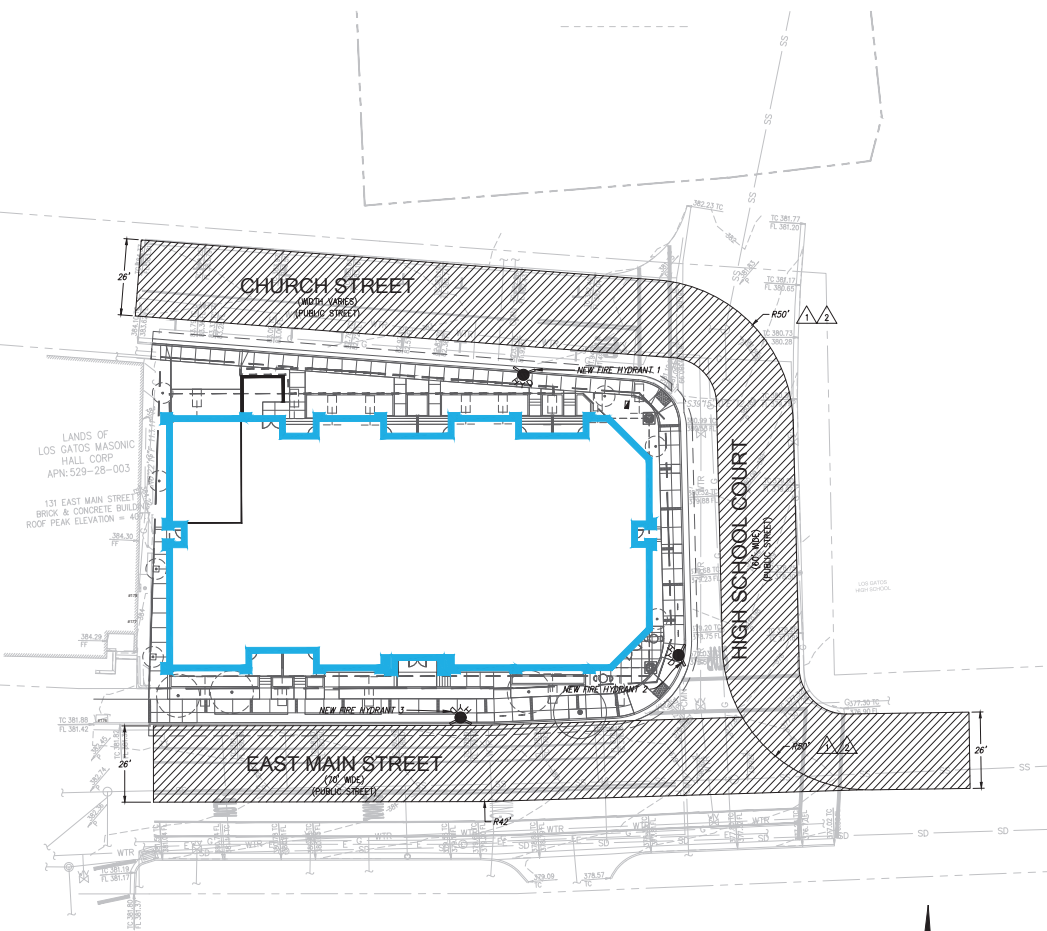
FIRE FLOW REQUIREMENTS

CONSTRUCTION TYPE:	I-B & IV-B
FULLY SPRINKLERED:	AUTOMATIC FIRE SPRINKLERS
TYPE I-B AREA	30,996 SF
TYPE IV-B AREA	46,513 SF
TOTAL BUILDING AREA:	77,509 SF
PERCENTAGE OF CONSTRUCTION TYPE I-B	39.99%
PERCENTAGE OF CONSTRUCTION TYPE IV-B	60.01%
FIRE FLOW PER CONSTRUCTION TYPE	
TYPE I-B AREA @ 30,996 SF	2,000 GPM
TYPE IV-B AREA @ 46,513 SF	4,250 GPM
TOTAL FIRE FLOW REQUIRED WITH 25% REDUCTION (NFPA 13 & CFC TABLE B105.2)	
$0.75(0.3999(2000 \text{ GPM}) + 0.6001(4250 \text{ GPM})) = 0.75(800+2,550) = 2512 \text{ GPM}$	
MINIMUM NUMBER OF PROPOSED HYDRANTS	3
AVERAGE HYDRANT SPACING	500 FT
MAX DISTANCE FROM BUILDING FRONTAGE	337 FT

PROJECT DESCRIPTION

151 EAST MAIN STREET IS A 4-STORY MIXED USE BUILDING WITH UNDERGROUND PARKING LOCATED ON CORNER ACRES SITE AT THE CORNER OF MAIN STREET AND HIGH SCHOOL COURT IN LOS GATOS, CALIFORNIA. THE GROUND LEVEL INCLUDES 2,416 SQUARE FEET OF PEDESTRIAN ORIENTED COMMERCIAL WHICH COULD BE LEASED TO A RETAIL OR RESTAURANT TENANT, RESIDENTIAL (FOR SALE) UNITS ARE LOCATED ON ALL FOUR LEVELS OF THE PROJECT. THE PROPOSED PROJECT INCLUDES 30 UNITS, 24 MARKET RATE UNITS AND 6 AFFORDABLE UNITS RANGING FROM 743 SQUARE FEET TO 2,188 SQUARE FEET. THE UNITS ARE 1 BEDROOM UP TO 3 BEDROOMS WITH OUTDOOR PATIOS. THERE ARE TWO(2) OPTIONS FOR THE UNDERGROUND PARKING, OPTION 1 - A TWO LEVEL PARKING GARAGE WITH 51 INDIVIDUAL PARKING STALLS. OPTION 2 - A ONE LEVEL PARKING GARAGE WITH 42 PARKING STALLS THAT INCLUDE 17 CAR STACKERS THAT PROVIDE 2 PARKING STALLS PER STACKER.

THE PROJECT PROPOSES 3 NEW FIRE HYDRANTS TO ADDRESS EMERGENCY SERVICES AND IMMEDIATE ACCESS.



LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
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240 NORTH WILSHAM ROAD, SUITE 200
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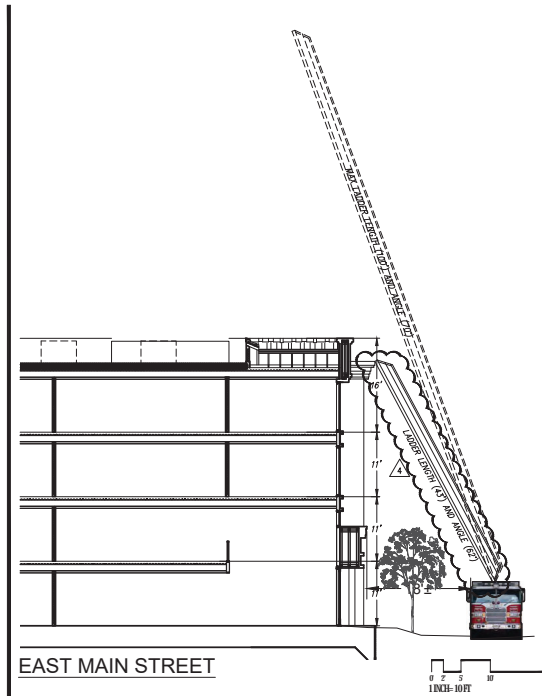
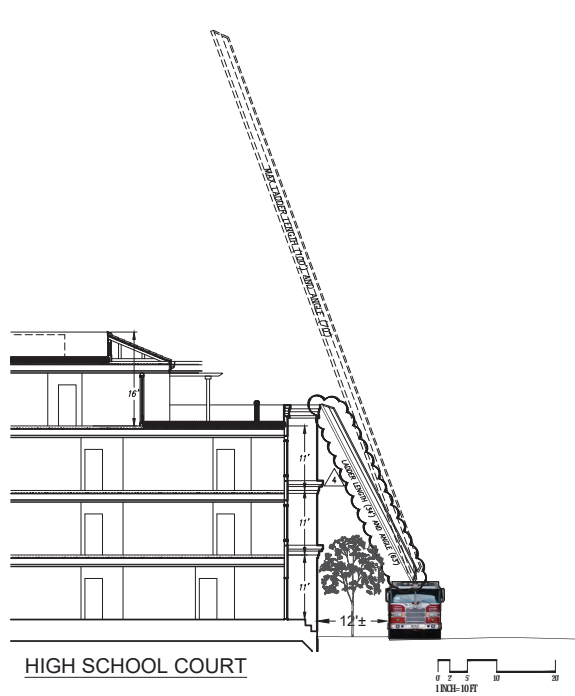
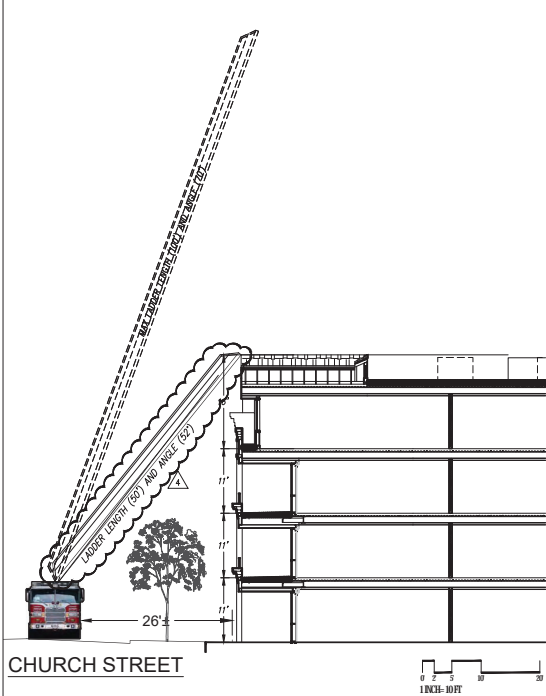
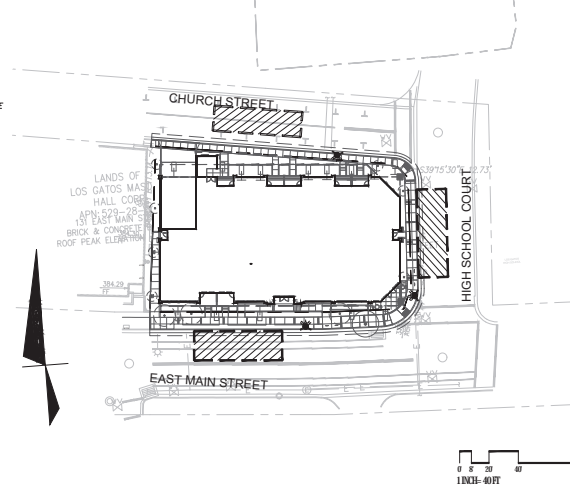
FIRE ACCESS PLAN

C-6.0

LEGEND

-  PROPOSED FIRE HYDRANT
-  FIRE TRUCK STAGING AREA
-  BUILDING WITHIN 150 FEET OF FIRE ACCESS LANE PER 2022 CPC SECTION 503.1.1

THE SUBMISSION WILL REQUIRE THE ACQUISITION AND CONSTRUCTION OF OPTISITE IMPROVEMENTS IN ACCORDANCE WITH GOVERNMENT CODE SEC. 66462.5



LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

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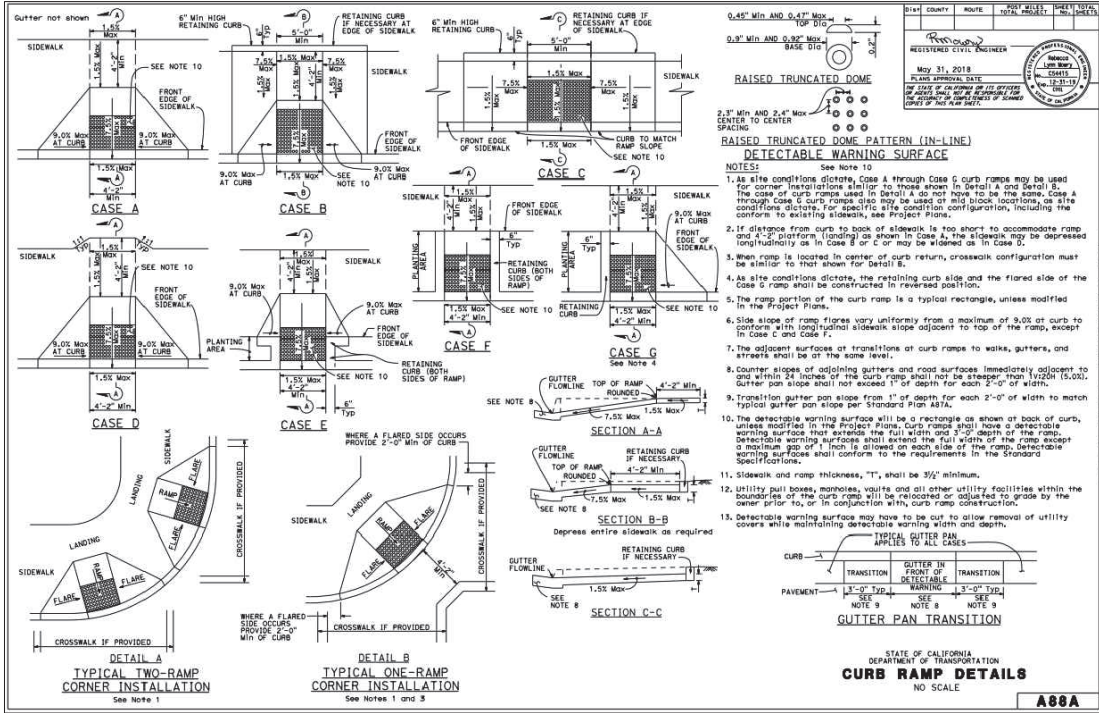
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FIRE STAGING AREA

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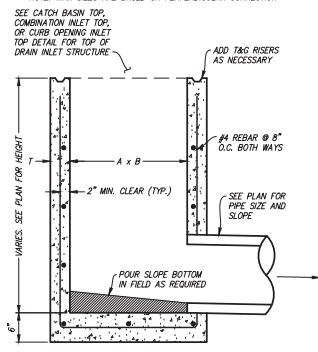


COUNTY ROUTE PROJECT SHEET SHEET 1570A OF 1570A
 REGISTERED CIVIL ENGINEER
 MAY 31, 2018
 SEAL

2018 STANDARD PLAN A86A

A x B	T	MAX PIPE SIZE	OLDCASTLE MODEL
12"x12"	4"	8"	DI-1212
18"x18"	4"	12"	DI-1818
24"x24"	4"	18"	DI-2424
36"x36"	6"	24"	DI-3636
24"x48"	5"	18", 36"	DI-2448
36"x48"	6"	24", 36"	DI-3648

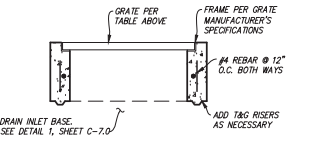
NOTE: MAX SIZES ARE BASED ON PERPENDICULAR CONNECTION



DRAIN INLET BASE

A x B	PEDESTRIAN*	LANDSCAPE / NON-TRAFFIC	H2O RATED
12"x12"	SD-13 12X12	PEDESTRIAN SD-12 12X12	TRAFFIC SD-12 12X12
18"x18"	SD-13 18X18	PEDESTRIAN SD-12 18X18	TRAFFIC SD-12 18X18
24"x24"	SD-13 24X24	PEDESTRIAN SD-12 24X24	TRAFFIC SD-12 24X24
36"x36"	SD-13 36X36	PEDESTRIAN SD-12 36X36	TRAFFIC SD-12 36X36
24"x48"	SD-13 24X48	PEDESTRIAN SD-12 24X48	TRAFFIC SD-12 24X48

* OR APPROVED EQUIVALENT GRATE WITH 1/4" MAX OPENINGS



- NOTES:**
- SEE PLANS FOR CATCH BASIN SIZE AND TYPE.
 - FRAME SHALL BE ANCHORED TO CONCRETE PER MANUFACTURER'S SPECIFICATIONS.
 - FOR JUNCTION BOXES (JB) IN NON-VEHICULAR AREAS ONLY, REPLACE GRATE WITH NON-SLIP SOLID STEEL COVER. ADD "STORM DRAIN" TEXT TO LID.

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08.16.2024 PLANNING: PLANCHUCK RESPONSES

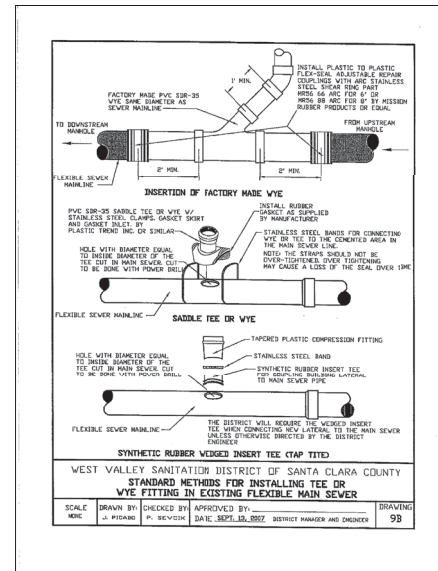
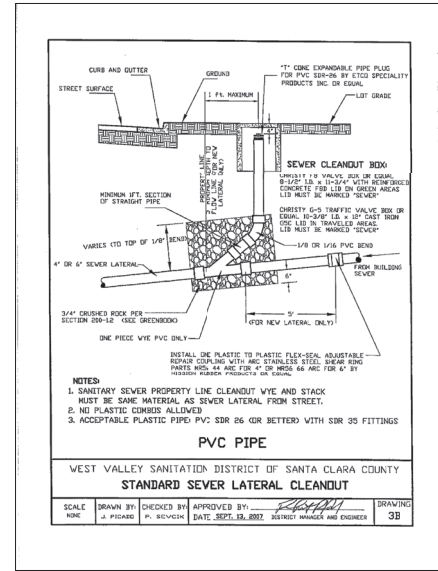
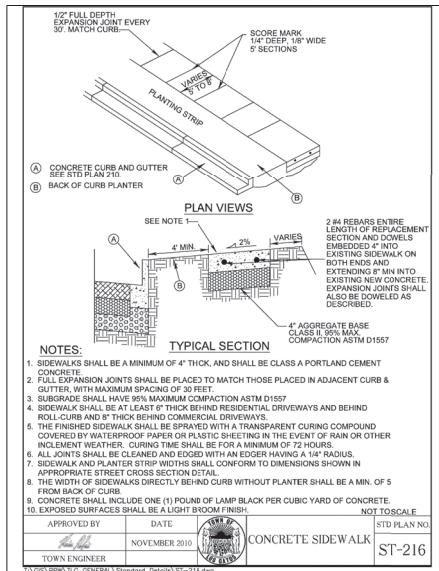
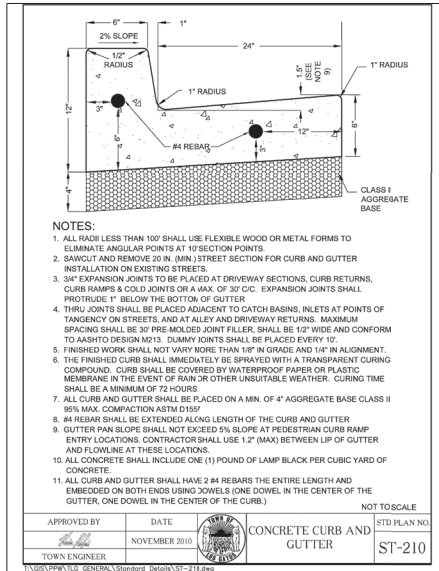
10.30.2024 3RD REVISED SUBMITTAL

PROJECT NO. 38.675 DATE 12.13.2024
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 CHECKED BY

CONSTRUCTION DETAILS

C-7.0

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LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



REVISION

06.15.2024 1ST REVISED SUBMITTAL

08.16.2024 PLANNING: PLANCHECK RESPONSES

10.30.2024 3RD REVISED SUBMITTAL

PROJECT NO. 38.675 DATE: 12.13.2024

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CONSTRUCTION DETAILS

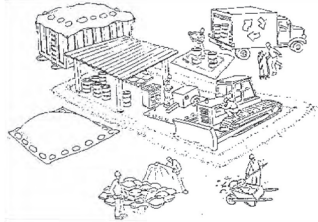
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Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off-site.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Bay Area Stormwater Management
Agencies Association (BASSMMA)
1888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



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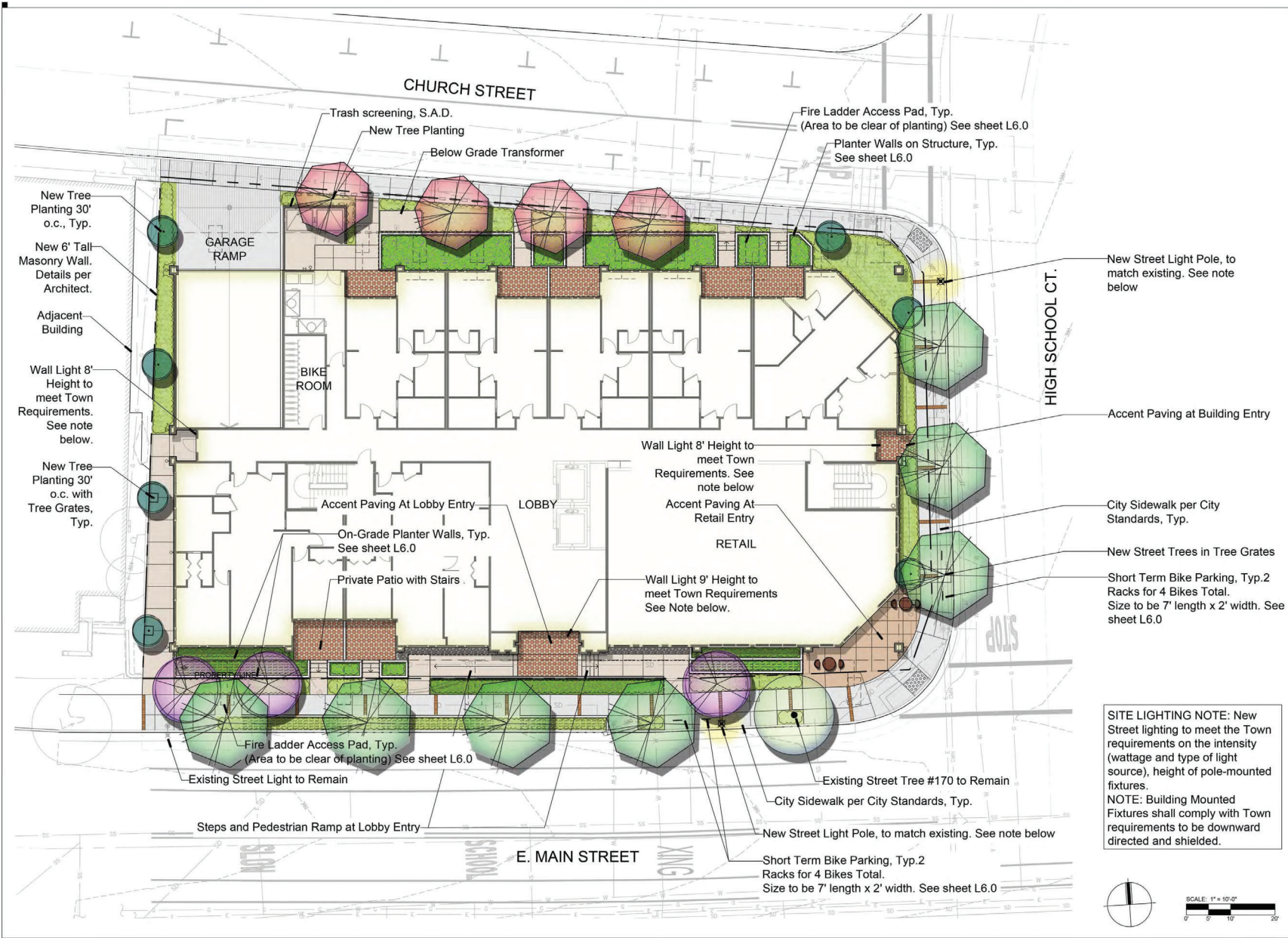
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- 08.16.2024 PLANNING: PLANCHECK RESPONSES
- 10.30.2024 3RD REVISED SUBMITTAL

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BMP NOTES

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MIXED-USE**

151 EAST MAIN STREET
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442 NORTH WHILMER ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039-7450

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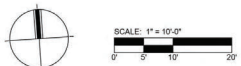
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10.30.2024	3RD REVISED SUBMITTAL
02.18.2025	4TH REVISED SUBMITTAL

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LANDSCAPE PLAN

L1.0

SITE LIGHTING NOTE: New Street lighting to meet the Town requirements on the intensity (wattage and type of light source), height of pole-mounted fixtures.
NOTE: Building Mounted Fixtures shall comply with Town requirements to be downward directed and shielded.



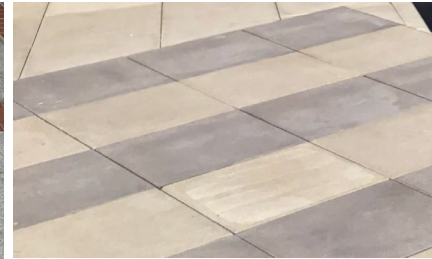
PAVING



medium sandblast



Hexagonal Accent Pavers
Stepstone Inc.



CONCRETE PLANTER WALLS W/ PRECAST CAP



ROOF PLANTER



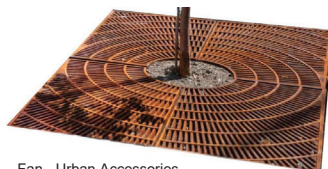
STREET LIGHT & STREET FURNITURE



BIKE RACKS



TREE GRATE



Fan - Urban Accessories

HANDRAIL



RECESSED PLANTER LIGHT



**LOS GATOS
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151 EAST MAIN STREET
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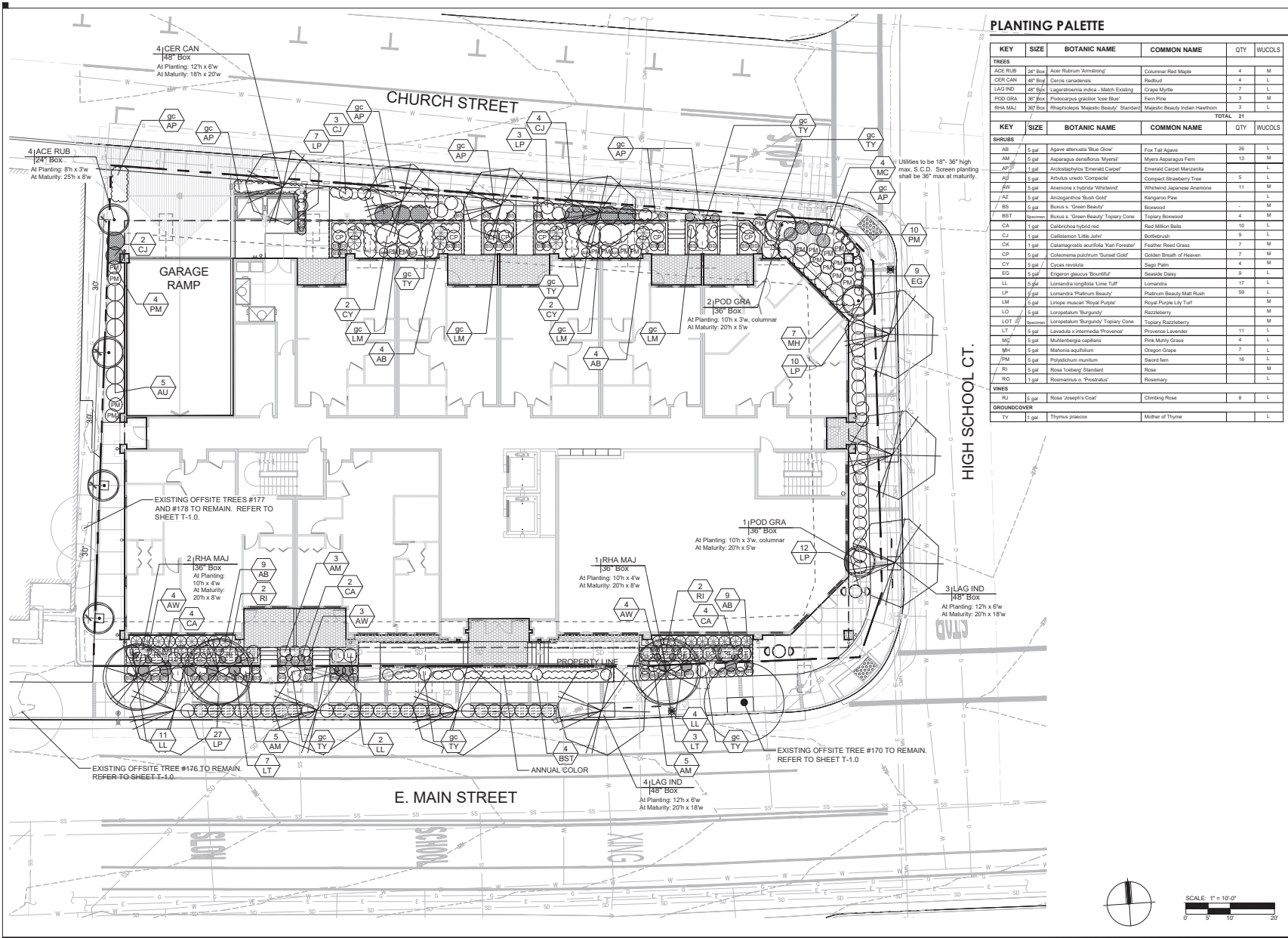
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**LANDSCAPE
IMAGERY**

L2.0



PLANTING PALETTE

KEY	SIZE	BOTANIC NAME	COMMON NAME	QTY	WUCOLS
TREES					
ACE RUB	24" Box	Acer Rubrum 'Armstrong'	Columnar Red Maple	4	M
CER CAN	48" Box	Cercis canadensis	Redbud	4	L
LAG IND	48" Box	Lagerstroemia indica - Match Existing	Crape Myrtle	7	L
POD GRA	36" Box	Podocarpus gracilior 'Size Box'	Fern Pine	3	M
RHA MAJ	36" Box	Rhododendron 'Mystic Beauty' Standard	Mystic Beauty Indian Hawthorn	3	L
				TOTAL	21
BRUBS					
AB	5 gal	Agave attenuata 'Blue Glow'	Fox Tail Agave	28	L
AM	5 gal	Asplenium platyneuron 'Mystic'	Mystic Asplenium Fern	13	M
AP	1 gal	Archibutyrus 'Emerald Carpet'	Emerald Carpet Manzanita	1	L
AJ	5 gal	Arctostaphylos 'Compacta'	Compact Strawberry Tree	5	L
AW	5 gal	Anemone x hybrida 'WhiteWind'	WhiteWind Japanese Anemone	11	M
AZ	5 gal	Antigonon 'Bush Gold'	Kangaroo Paw	1	L
BS	5 gal	Buxus s. 'Green Beauty'	Buxwood	1	M
BST	5 gal	Buxus s. 'Green Beauty' Topiary Cone	Topiary Buxwood	4	M
CA	1 gal	Callitriche hybrid red	Red Million Bells	10	L
CJ	1 gal	Callistemon Little John	Bottlebrush	9	L
CK	1 gal	Calamagrostis acutiflora 'Karl Forester'	Feather Reed Grass	7	M
CP	5 gal	Callistemon 'Santal' Green Gold'	Golden Branch of Heaven	7	M
CY	5 gal	Cycas revoluta	Sago Palm	4	M
EG	5 gal	Eriogon glaucous 'Bountiful'	Sage-like Daisy	9	L
LL	5 gal	Lomandra longifolia 'Lime Tuff'	Lomandra	17	L
LP	5 gal	Lomandra 'Platinum Beauty'	Platinum Beauty Matt Rush	59	L
LM	5 gal	Lilium muscari 'Royal Purple'	Royal Purple Lily Tuft	1	M
LO	5 gal	Longistatum 'Burgundy'	Razzeberry	1	M
LOT	5 gal	Longistatum 'Burgundy' Topiary Cone	Topiary Razzeberry	1	M
LT	5 gal	Lavandula x intermedia 'Provence'	Provence Lavender	11	L
MZ	5 gal	Muhlenbergia capillaris	Pink Muhly Grass	4	L
MP	5 gal	Molinia equidistantis	Dragon Grass	7	L
PM	5 gal	Polystichum medium	Sword Fern	16	L
RI	5 gal	Rosa 'Yvesy' Standard	Rose	1	M
RO	1 gal	Rosmarinus o. 'Prostratus'	Rosemary	1	L
VINES					
RJ	5 gal	Rosa Joseph's Coat'	Climbing Rose	8	L
GROUNDCOVER					
TY	1 gal	Thymus praecox	Mother of Thyme	1	L

**LOS GATOS
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443 NORTH WHILDS ROAD, SUITE 200
MOUNTAIN VIEW, CA 94039

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THE Guzzardo Partnership, INC.
Landscape Architects | Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.tgp-inc.com

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**SCHEMATIC
PLANTING PLAN**

L3.0

LOS GATOS
MIXED-USE

151 EAST MAIN STREET
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MOUNTAIN VIEW, CA 94039

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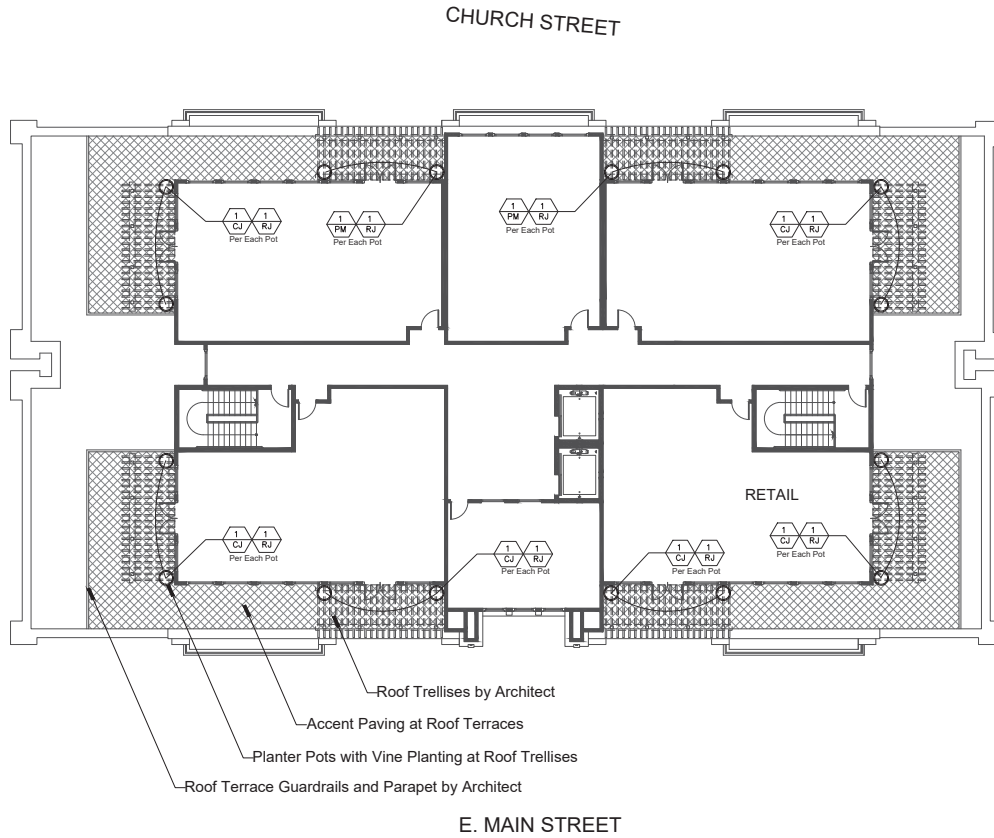
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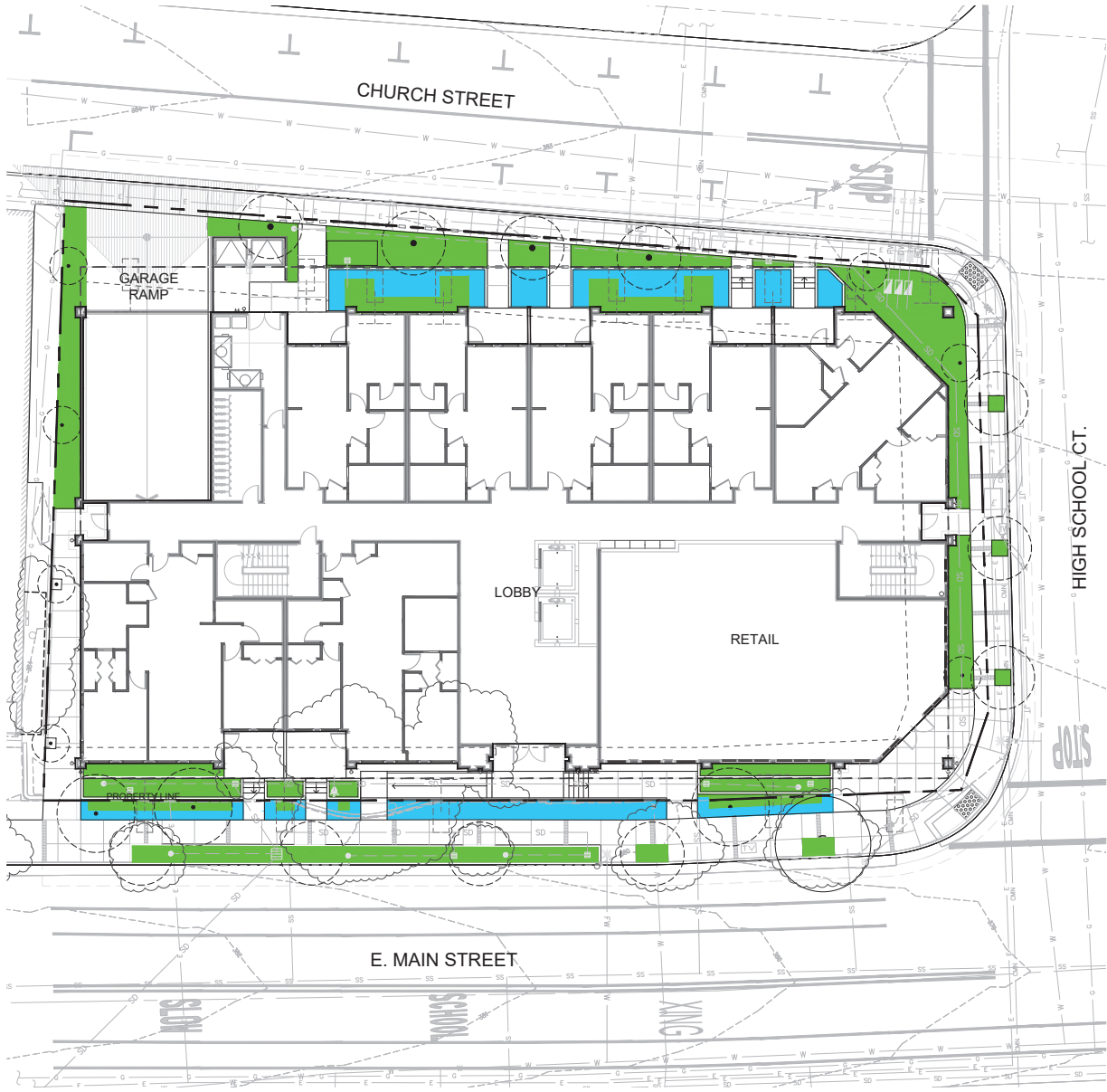
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4th FLOOR
ROOF DECK
LANDSCAPE PLAN

L3.1

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HYDROZONE LEGEND

KEY WUCOLS VALUE

	Low Water Use
	Moderate Water Use

WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method ^a	Irrigation Efficiency (IE) ^b	ETAF (PFIE) ^c	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU) ^d
Regular Landscape Areas							
Low Water-Use Plants	0.20	Drip	0.81	0.25	2,124	531	14,516
Moderate Water- Use Plants	0.50	Drip	0.81	0.62	650	429	12,016
High Water-Use Plants	0.80	Drip	0.81	0.59	0	0	0
Moderate Water-Use Turf EVA	0.50	Spray	0.75	0.67	0	0	0
					(A)	(B)	
					2,814	969	26,926
Special Landscape Areas							
water feature					38		
					(C)	(D)	
					5	9	
							16,923
							15,558
Maximum Allowed Water Allowance (MAWA)							
Hydrozone #/Planting Description		Irrigation Method	Irrigation Efficiency				
E.g. 1) front lawn		overhead lawn	0.70 for spray/boom				
2) low water use plantings		or drip	0.81 for drip				
3) medium water use planting							
<small>*ETWU (Annual Gallons Required) = Eto x 6.42 x ETAF x Area where 6.42 is a conversion factor that converts area-inches per acre per year to gallons per square foot per year.</small>							
<small>**MAWA (Annual Gallons Allowed) = (Cto) / (CIE) (ETAF x LA) + (74ETAF) x SA/LA where 0.52 is a conversion factor that converts area-inches per acre per year to gallons per square foot per year. LA is the total landscape area</small>							
ETAF Calculations							
				Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.			
Regular Landscape Areas							
Total ETAF x Area	(B)	969					
Total Area	(A)	2,814					
Average ETAF	0.3427296						
All Landscape Areas							
Total ETAF x Area	(B+D)	978					
Total Area	(A+C)	2,814					
Site-wide ETAF	(B+D) / (A+C)	0.3427296					

LOS GATOS MIXED-USE

151 EAST MAIN STREET
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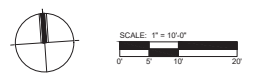
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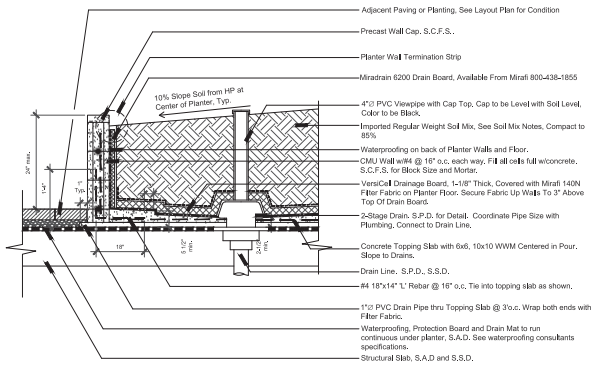
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HYDROZONE PLAN

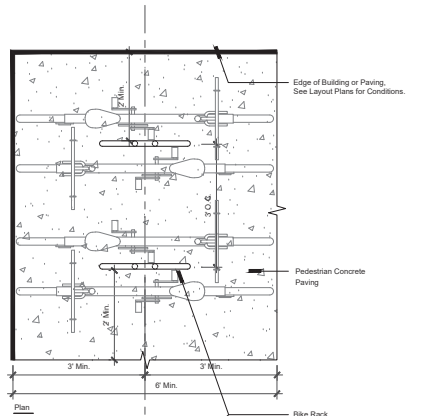
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2 Planter Wall on Structure
Scale: 3/4" = 1'-0"

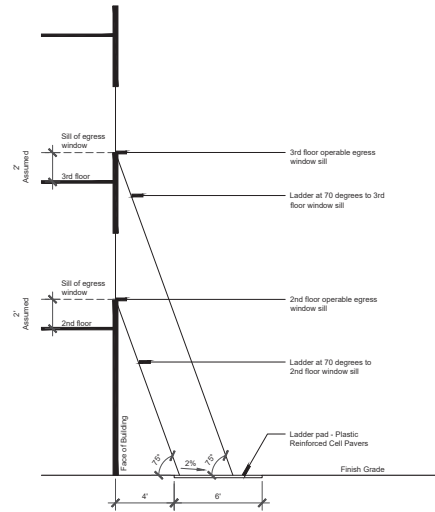
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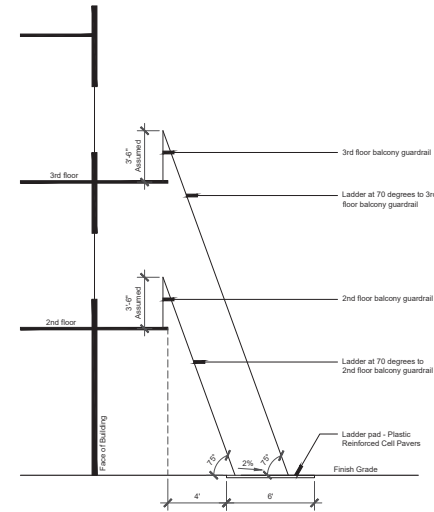
3 Bike Rack
Scale: 3/4" = 1'

On-Grade w/ Concrete Condition

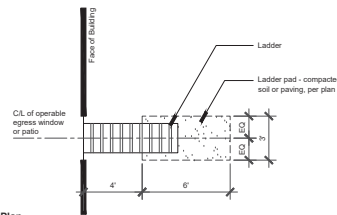
3 Bike Rack
Scale: 3/4" = 1'



Section - At Egress Window



Section - At Private Balcony



1 Ladder Pad Diagram
Scale: 1/4" = 1'-0"

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151 EAST MAIN STREET
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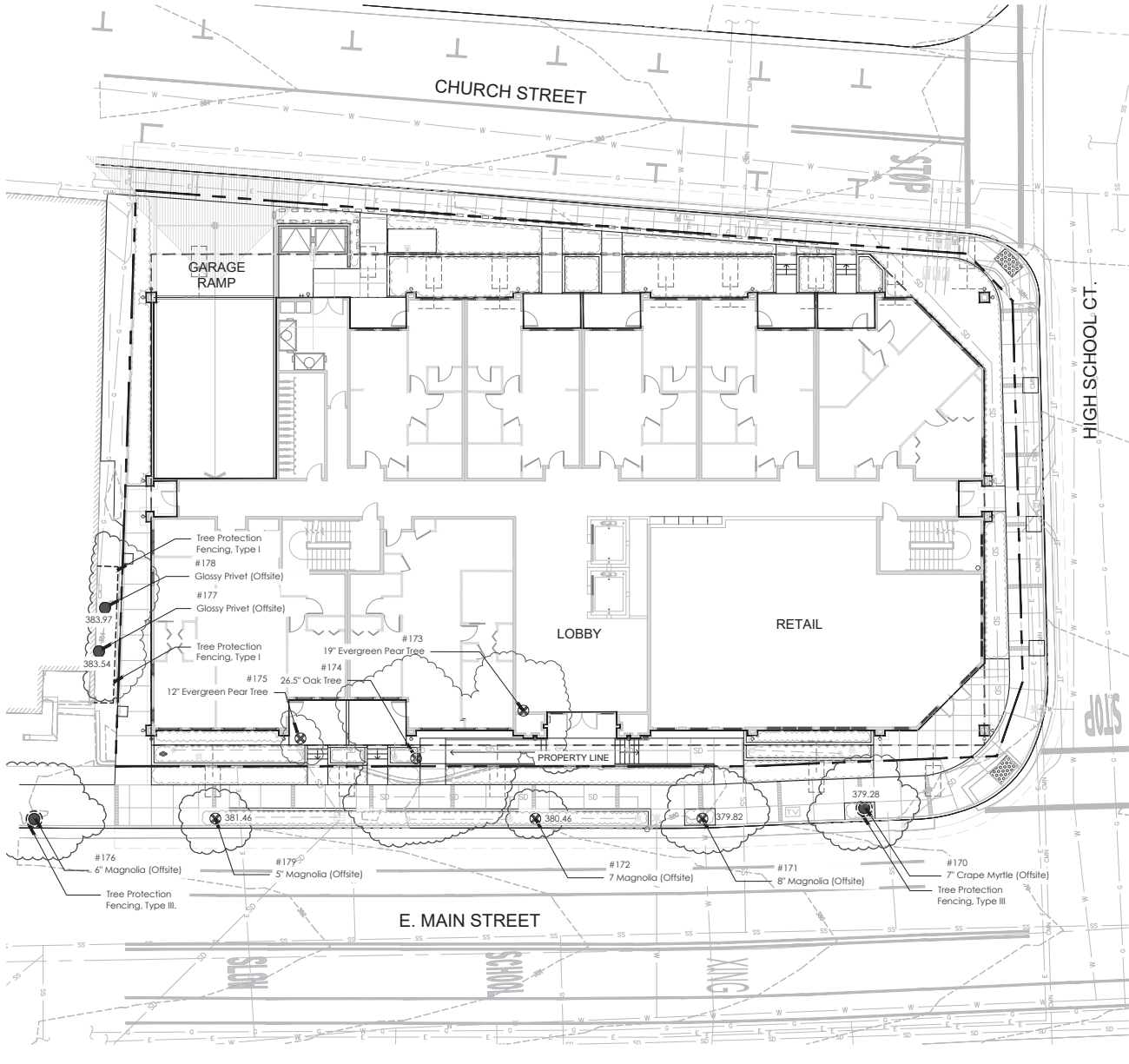
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DETAILS

L6.0



TREE DISPOSITION LEGEND

- Existing Tree to be Removed
- Existing Tree to Remain
- Tree Protection Fencing

TREE DISPOSITION SUMMARY

	QTY
TOTAL EXISTING TREES ON SITE (4" DBH & GREATER)	10
TOTAL EXISTING TREES OFF SITE	7
EXISTING ON SITE TREES TO REMAIN	4
EXISTING OFF SITE TREES TO REMAIN	0
EXISTING ON SITE TREES TO BE REMOVED	3
EXISTING OFF SITE TREES TO BE REMOVED	3
EXISTING TREES TO BE TRANSPLANTED	0
PROPOSED NEW ON-SITE TREES - 24" BOX OR GREATER Refer to Planting Plan, sheet L-3	21
REPLACEMENT TREES REQUIRED PER TABLE 3-1	
24" BOX MIN.	13
36" BOX MIN.	2
TOTAL REPLACEMENT TREES REQUIRED	15

Note: Refer to Arborist Report prepared by Calyx on October 24, 2024 for Tree Removal and Protection recommendations.

Table 3-1 - Tree Canopy Replacement Standard

CANOPY SIZE OF REMOVED TREE	REPLACEMENT REQUIREMENT*
10 feet or less	(2) 24" box trees
More than 10 feet to 25 feet	(3) 24" box trees
More than 25 feet to 40 feet	(4) 24" box trees or (2) 36" box trees
More than 40 feet to 55 feet	(6) 24" box trees or (3) 36" box trees
Greater than 55 feet	(10) 24" box trees or (5) 36" box trees

*NOTE: Single-family residential option not applicable replacement option for this project.

Sec. 29.10.1005. - Protection of trees during construction.

- a. Protective tree fencing shall specify the following:
 - 1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
 - 2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire discipline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip; chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downspout); orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
 - 3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
 - 4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."



SCALE: 1" = 10'-0"

LOS GATOS MIXED-USE

151 EAST MAIN STREET
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443 NORTH WHIDDEY ROAD, SUITE 200
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REVISION

06.15.2024	1ST REVISED SUBMITAL
10.30.2024	3RD REVISED SUBMITAL

PROJECT NO. 38.675 DATE 10.30.2024
DRAWN BY SCALE AS SHOWN
CHECKED BY

TREE DISPOSITION PLAN

T-1.0

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ARBORIST REPORT

Los Gatos Mixed Use
151 E. Main St.
Los Gatos, CA 95030

December 20, 2023; updated October 24, 2024

Prepared for:
The Guzzardo Partnership, Inc.
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111
Prepared by: Dianne Ecklund (Golf), ASCA Registered Consulting Arborist #647



Summary

The inventory contains 10 trees comprised of 5 species. Five of these were street trees.

The following plan was reviewed to evaluate impacts to trees:

- L1.0 Landscape Plan (The Guzzardo Partnership 1/14/24).
- (The Civil Engineer's plans were also reviewed to evaluate tree impacts.)

Two street trees #170 and #176 would be preserved. The remaining trees would be removed to accommodate development.

Introduction

Assignment

Provide an inventory and assessment of the trees located at 151 E. Main St. in Los Gatos, CA. The assessment shall include the species, size (trunk diameter), condition (health, structure, form), and suitability for preservation ratings. Prepare a report with tree preservation guidelines.

Limits of the Assignment

1. Information in this report is limited to the condition of trees during my tree assessment on December 8, 2023.

2. Tree risk assessments were not performed.
3. Landscape plans were available for review.

Assessment Methods

Trees were numbered #170-179. The assessment included all trees within and immediately adjacent to development area.

Tree condition was based on three components: health, structure, and form. The assessment considered both the health and structure for a combined condition rating (Guide for Plant Appraisal, 10th Ed. ISA 2019).

5 (91-100%) - Excellent = High vigor, nearly ideal and free of defects.

4 (61-80%) - Good = Normal vigor, well-developed structure. No significant insect or disease damage. Defects are minor and can be corrected. Function and aesthetics not compromised.

3 (41-60%) - Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.

2 (21-40%) - Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple

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significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.

1 (6-20%) - Very Poor = Poor vigor, dying with little live foliage. Tree in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.

0 (0-5%) - Dead/Unstable = Dead or failure imminent.

A tree's suitability for preservation considers its health, structure, age, species characteristics (e.g. disease resistance, drought tolerance), species tolerances to root disturbance and other construction impacts, species invasiveness, and its potential to continue to benefit the site. Trees were rated either "high" "moderate" or "low" suitability for preservation.

High = Trees with good vigor, structural stability, and potential to function well long after construction.

Moderate = Trees with fair vigor, and with health or structural defects that can be mitigated with treatment. These trees will require more management and monitoring before, during, and after construction, and may have shorter life spans after development.

Low = Trees are expected to decline during or after construction regardless of management. The species or individual tree may

possess characteristics that are incompatible or undesirable in landscape settings or unsuitable for the intended use of the site.

Appraisal of value

The reproduction value of trees was determined by using the Trunk Formula Technique methodology described in the Guide for Plant Appraisal, Tenth Edition.

LOS GATOS MIXED-USE

151 EAST MAIN STREET
LOS GATOS, CALIFORNIA

APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS INC.
443 NORTH WHISKEY ROAD, SUITE 200
MOUNTAIN VIEW, CA 94035

CONSULTANTS
THE Guzzardo Partnership, INC.
Landscape Architects | Land Planners
Pier 9, The Embarcadero, Suite 115
San Francisco, CA 94111 | www.lgp-inc.com

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Observations

Ten (10) trees were measured and evaluated. Most trees were in poor and fair condition (Table 1), with varying degrees of crown dieback.

Table 1. Tree species condition + quantity

Species name	Scientific name	Poor (1-2)	Fair (3)	Good (4-5)	Total
Crape myrtle	Lagerstroemia indica	-	-	1	1
Glossy privet	Ligustrum lucidum	1	1	-	2
Southern magnolia	Magnolia grandiflora	3	1	-	4
Callery pear	Pyrus calleryana	-	1	-	2
Coast live oak	Quercus agrifolia	-	-	1	1
Total		5	3	2	10
		50%	30%	20%	

A semi-mature coast live oak (#174) was in good condition. Soil level in its planter was approximately 2" above sidewalk grade.

Two evergreen pears were in fair and poor condition. Both had been previously topped and had many small branches (epicormic shoots) emerging from pruned ends. If left unmanaged, these shoots can become susceptible to failure.

Southern magnolia street trees were in poor to fair condition. All three trees had significant trunk wounds on their southwest sides caused by sunburn.

Town of Los Gatos Tree Protection Ordinance

The Town of Los Gatos municipal code (Chapter 29, Sec. 29.10.0964) Protected Tree definition includes the following description.

(d) All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required.

Based on trunk size, all 10 trees evaluated for this report were considered Protected, and a permit is required for the removal of any Protected tree.

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Discussion and Recommendations

The Landscape plan sheets and the Civil Engineer's plans were reviewed to evaluate tree impacts.

The design requires that three on-site trees must be removed. Three street trees in poor condition will be removed and replaced. Street trees #170 and 176, which is outside development area, will be preserved and protected.

Street tree #170 is expected to incur root impacts from sidewalk replacement. The tree is relatively young and the species tolerant of root impacts from construction. The following tree protection measures shall be employed to protect the tree in place.

- Type III tree protection shall be used to protect the trunk of tree #170.
- Type I tree protection shall be used to protect trees #177 and 178.
- Existing sidewalk shall be removed in a manner that avoids damaging roots.
- Any roots requiring pruning for sidewalk forms shall be cut cleanly at the edge of excavation.

Adhering to these and the tree preservation guidelines in the next section will ensure root impacts are kept to a minimum.

A total of six trees will be removed for development, six of which require mitigation.

Tree removal and mitigation

The Table 2 indicates the recommended replacement values. The applicant will be required to replace 6 protected trees according to the ordinance. Alternatively, it may be possible to create an approved landscape plan or provide an in-lieu payment.

Table 2. Town of Los Gatos tree canopy replacement standard

Canopy Size of Removed Tree	Replacement Requirement (2/4)
10 feet or less	Two 24-inch box trees
More than 10 feet to 25 feet	Three 24-inch box trees
More than 25 feet to 40 feet	Four 24-inch box trees; or Two 36-inch box trees
More than 40 feet to 55 feet	Six 24-inch box trees; or Three 36-inch box trees
Greater than 55 feet	Ten 24-inch box trees; or Five 36-inch box trees



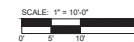
CALYX TREE + LANDSCAPE CONSULTING, LLC
decklund.arborist@gmail.com 650.935.5822

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CALYX TREE + LANDSCAPE CONSULTING, LLC
decklund.arborist@gmail.com 650.935.5822

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(2) Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

(4) Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged.

Tree Protection Guidelines

Design recommendations

1. Provide sufficient clearance between trees and proposed features to avoid damage to roots.
2. Enlarge tree wells to increase water access and reduce sidewalk damage potential.
3. Underground services including utilities, sub-drains, water or sewer shall be routed around the tree protection zone (TPZ).
 - a. Where encroachment cannot be avoided, special construction techniques such as hand digging or tunneling under roots shall be employed where necessary to minimize root injury.
4. Utilize novel design and construction techniques to preserve roots where utilities or features must be within tree TPZs.

Pre-construction

1. The construction superintendent shall meet with the Project Arborist before beginning work to discuss work procedures and tree protection.
2. Fence street trees with Type III fencing prior to demolition, grubbing, or grading.
 - a. Type III Protection for a tree located in a small planter cutout only: orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.

b. Duration: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.

c. Warning sign: Each tree fence shall have prominently displayed an 8.5x11 sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."

- i. Do not attach signs, wire, or rope to any protected tree.

3. Pruning trees to provide construction and access clearances may be required.

- a. All pruning shall be done by a State of California Licensed Tree Contractor (CAL-0249). All pruning shall be done by Certified Arborist or Certified Tree Worker in accordance with the Best Management Practices for Pruning (International Society of Arboriculture, 2019) and adhere to the most recent editions of the American National Standard for Tree Care Operations (Z13.1) and Pruning (A300).

b. All tree work shall comply with the Migratory Bird Treaty Act as well as California Fish and Wildlife code 3503.35 13 to not disturb nesting birds. To the extent possible, tree pruning and removal should be scheduled outside of the breeding season. Breeding bird surveys should be conducted prior to tree work. Qualified biologists should be involved in establishing work buffers for active nests.

Construction

1. Tree protection fence layout must be approved by the Project Arborist. Fences must remain in this configuration throughout construction.

2. No construction activities shall occur within tree protection fencing. Construction activities include, but are not limited to:

- i. Vehicle or pedestrian traffic
- ii. Materials storage
- iii. Vehicle exhaust
- iv. Concrete cleanup water dumping

b. If tree protection fencing dimensions need to be reduced to allow for site access, protect tree protection zones against compaction by laying full sheets of plywood attached together with tie plates over coarse bank mulch.

c. After construction is complete, tree protection fencing may be moved as needed for landscape and landscape installation. Contact Project Arborist prior to removal.

2. Demolition of paving, utilities, and features within tree protection zones shall be done carefully avoid damaging roots.

3. If live roots over one inch in diameter are encountered at any time, in any location, prune with a sharp saw or bypass pruner, as close as practical to the edge of the disturbed area.

4. Any major root pruning (roots 2" and greater in diameter) shall receive the prior approval of and be supervised by the Project Arborist.

5. If excavated areas are to be left open for longer than 3-4 days, cover exposed or severed roots with burlap or jute fabric.

a. Irrigate fabric daily to keep fabric moist until excavation work is completed.

6. Any additional tree pruning needed for clearance during construction must be performed by a Certified Arborist and not by construction personnel.

Violations

1. If a violation occurs prior to proposed development, then discretionary applications and/or building permit applications will not be accepted or processed by the Town until the violation has been remedied to the reasonable satisfaction of the Director.

2. Incomplete applications will not be processed further until the violation has been remedied. If an application has been deemed complete, it may be denied by the Director or forwarded to the Planning Commission with a recommendation for denial at the Director's discretion. Mitigation measures as determined by the director may be imposed as a condition of approval.

3. For those trees on public property, replacement is to be determined by the Director of Community Development or by the Director of Parks and Public Works.

4. If a violation occurs during construction, the Town may issue a stop work order suspending and prohibiting further activity on the property pursuant to the grading, demolition, and/or building permits (including construction, inspection, and issuance of certificates of occupancy) until a mitigation plan has been filed with and approved by the Director, agreed to in writing by the property owner(s) or the applicant(s) or both, and either implemented or guaranteed by the posting of adequate security in the discretion of the Director.

Maintenance of remaining trees

Because of changes in the growing environment after construction, preserved trees may require additional maintenance. Tree health and structural stability should be monitored. Occasional pruning, fertilization, mulch, pest management, replanting and irrigation may be required. As trees age, the likelihood of failure of branches or entire trees increases; therefore, annual inspection for hazard potential is recommended.

Please feel free to contact me if you have any questions about my observations or recommendations.

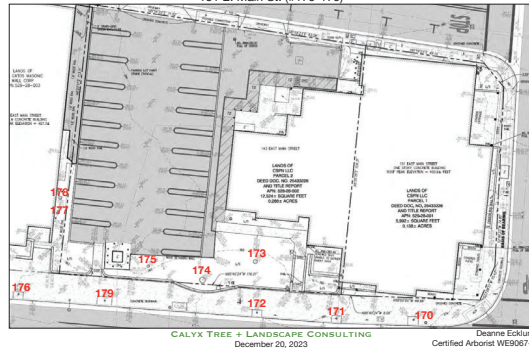
Sincerely,

Deanne Ecklund

Deanne Ecklund (Goff)
Registered Consulting Arborist #647
ISA Qualified Tree Risk Assessor

Tree #	Common name	Trunk Dia. (in.)	Canopy Dia. (ft.)	Condition (Tree)	Tree Disposition	Stability for Preservation	Appraised Value	Expected Impact	Preservation Method	Height (ft.)	Physical Conditions, Reason for Removal
170	Cape myrtle Ligustrum indica	7	19	5	Street tree	High	\$ 1,800.00	Moderate	Save	15	Street tree, good form and structure.
171	Southern magnolia Magnolia grandiflora	8	12	2	Street tree	Low	\$ 650.00	-	Remove	12	Street tree, nice crown, large trunk wound from base to S. Low suitability for preservation.
172	Southern magnolia Magnolia grandiflora	7	7	2	Street tree	Low	\$ 550.00	-	Remove	20	Street tree, small crown, large trunk wound from base to S. Conflict with site plan.
173	Emergen pear Pyrus kawakami	19	20	3	Protected	Moderate	\$ 5,050.00	-	Remove	20	Previously topped at ~12' good form, fair structure. Conflict with site plan.
174	Coast live oak Quercus agrifolia	26.5	34	4	Large protected	High	\$ 33,250.00	-	Remove	23	Good form and structure, minor thinning in upper crown. Conflict with site plan.
175	Emergen pear Pyrus kawakami	12	12	2	Protected	Low	\$ 450.00	-	Remove	15	Previously topped at ~12' poor form and structure. Low suitability for preservation.
176	Southern magnolia Magnolia grandiflora	6	18	3	Street tree	Low	\$ 650.00	n/a	Save	13	Street tree, dense crown, large trunk wound from base to S.
177	Glossy privet Ligustrum lucidum	2.5	10	2	Exempt	Low	\$ 400.00	Moderate	Save	11	Growing against building; leans east, poor form and structure.
178	Glossy privet Ligustrum lucidum	7.6	15	3	Exempt	Low	\$ 550.00	Moderate	Save	9	Growing against building; leans east, fair form and structure.
179	Southern magnolia Magnolia grandiflora	5	8	2	Street tree	Low	\$ 500.00	-	Remove	13	Street tree, large trunk wound, thin crown. Low suitability for preservation.

Los Gatos Mixed Use Tree Inventory Map
151 E. Main St. (#170-179)



LOS GATOS MIXED-USE

151 EAST MAIN STREET
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APN# 529-28-001
APN# 529-28-002



KENNETH RODRIGUES & PARTNERS, INC.
442 NORTH WHIDMOR ROAD, SUITE 200
MOUNTAIN VIEW, CA 94038

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