

## 151 EAST MAIN STREET

August 30, 2024

### COMMENTS FROM CANNON DESIGN GROUP

The design is inspired by the work of William Weeks, Architect and the surrounding hotel and 131 Main Street. The use of brick, precast concrete trim and details are consistent with this inspiration. See Sheet A0.1 for additional design imagery of work by William Weeks, Architect. The use of brick, exterior plaster and grid window glass are design features found in Los Gatos. The upper floor is stepped back to reduce its scale and mass. Materials include exterior plaster, clay tile roofing and wood trellis features all similar to The Los Gatos Hotel located across Main Street per comment #4.

### Response to Cannon Design Comments

The current landscape drawings, Site Plan and First Floor Plan have been updated to add additional landscape to the residential entries on Main Street and Church Street as recommended in Item #1. We have extended the cornice treatment around all facades per recommendation comment #2. We have also eliminated the vertical design feature at the Main Street entry and substituted a lower gable roof form similar to the Church Street design element.



July 11, 2024

Mr. Ryan Safty  
Community Development Department  
Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95031

**RE: 143 + 151 East Main Street**

**8/30/24**

Dear Ryan:

**See response to comments in blue**

I reviewed the new drawings in the context of its immediate neighborhood. My comments and recommendations are as follows:

**NEIGHBORHOOD CONTEXT**

The site is located on East Main Street close to the Town Hall and Library. Other nearby uses are a mix of commercial, institutional and residential uses. Photographs of the site and surrounding context are shown on the following page.







*Commercial Building immediately to the left*



**THE SITE**



*Church immediately across Church Street*



*High School immediately across High School Court*





*Hotel Los Gatos across East Main Street*



*Landscaped High School lawn immediately across High School Court*



*Nearby multifamily residential across East Main Street*



*Nearby commercial building on East Main Street*



*Nearby church across East Main Street*



*Nearby commercial building on East Main Street*



**PROPOSED PROJECT**



*PROPOSED FRONT ELEVATION*



*PROPOSED REAR ELEVATION*

*PROPOSED WEST SIDE ELEVATION*



*PROPOSED FRONT FACADE*



*PROPOSED EAST SIDE ELEVATION*



*PROPOSED REAR FACADE*





## ISSUES AND CONCERNS

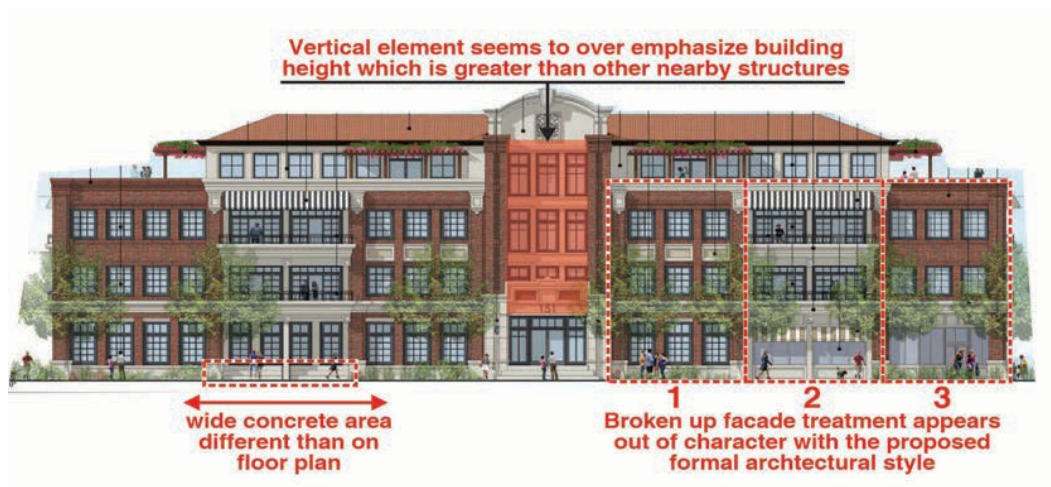
The proposed building is much taller than the preponderance of structures in the site's immediate context, but the presence of the adjacent high school main building provides some height transition for a taller structure here. Overall the design is well done but there are a few refinements that I would recommend to enhance its compatibility with its neighbors.

The following are issues that staff may wish to discuss further with the applicant.

1. The design appears to draw on the traditional formality and details of the adjacent high school structure with its punched window openings in a solid wall facade and classic architectural details. However, the main facades of this proposed building are broken up into smaller segments with a strong vertical appearance which is at odds with the adjacent high school and other nearby buildings.



2. The separation of the facades into elements that are less unified than in traditional architecture also tends to make the facade overly fragmented and more vertical in its appearance. This carries through with the two side elevations having a distinctly different appearance than the front and rear facades.
3. The verticality of the facades which draw attention to its substantial scale difference from its surrounding context is further emphasized by the four story light colored facade over the main building entry.





**Both side facades appear very different from front and rear facades**



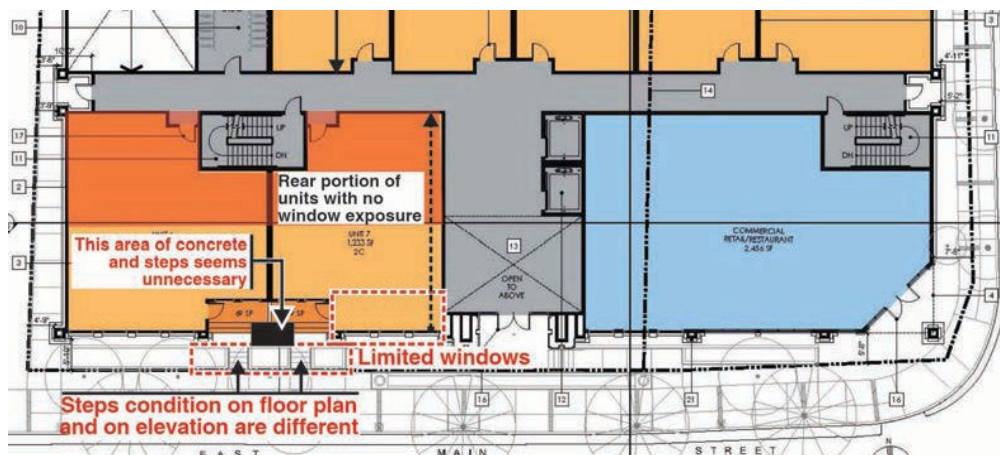
**Both side facades appear very different from front and rear facades**

4. The central gable roof on the rear facade is a form not found elsewhere on the building and seems out of place in the overall unity of the design.



There is a small issue with the smaller residential unit entries facing the streets. The entries and stairs are shown graphically different on the floor plan and the elevations. The elevation shows a rather long stretch of concrete steps along the East Main Street sidewalk frontage. Given the reduced setback requested by the applicant along the frontage, it seems like an emphasis on more landscaping might be appropriate.

5. One issue of unit livability that might be an issue is the relatively deep units in some locations where some interior living spaces may be further away from a window than normally expected in high quality housing.

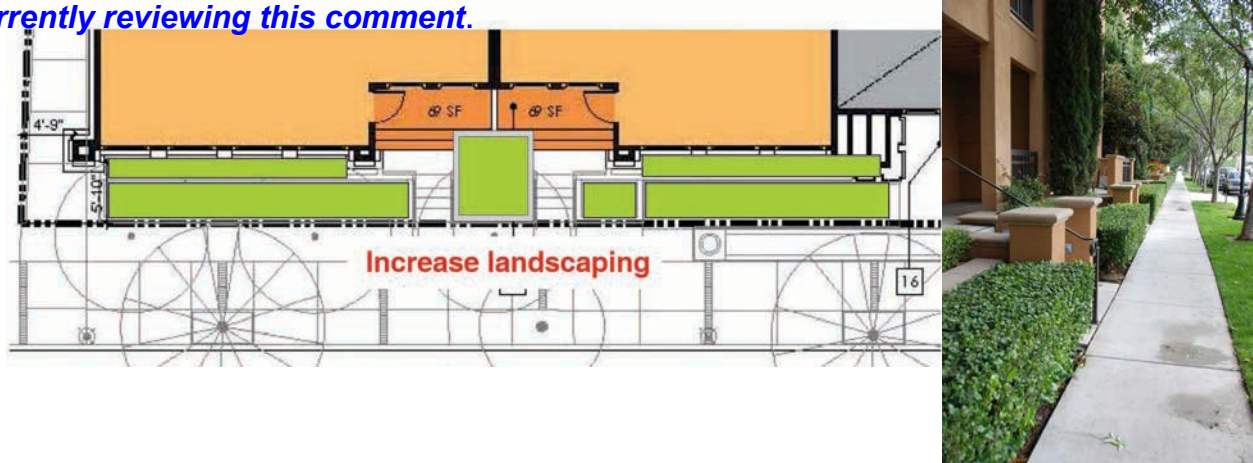




## RECOMMENDATIONS

1. Maximize the amount of landscaping along the East Main Street frontage. One example of a similar patio entry along the sidewalk is shown in the photo below.

*Currently reviewing this comment.*



2. Extend the stone cornice and decorative stone work consistently around all sides of the building.

*Completed. See Sheets A3.0 and A3.1.*

3. Add brick spandrel infill on the four story tall wall over the primary East Main Street entry to reduce its vertical emphasis.

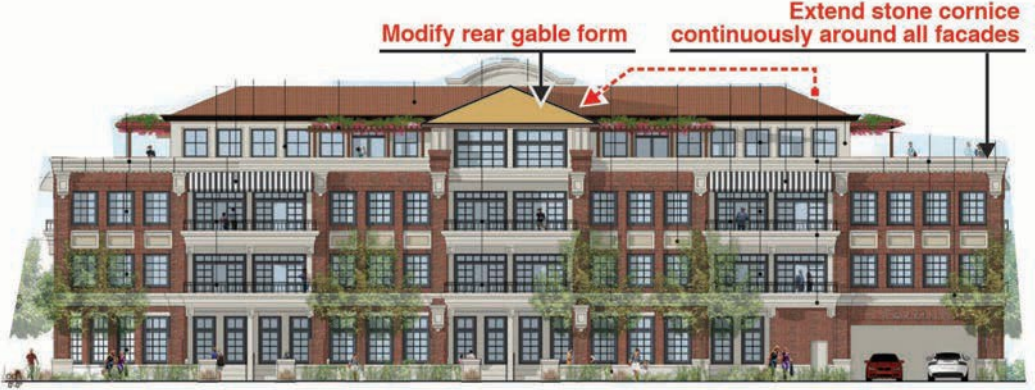
*We will not be adding this proposed change to the design drawings.*





4. Modify the gable roof form on the rear facade to blend in better with the overall building design.

**We have eliminated this feature. See Sheets A3.0 and A3.1.**



Ryan, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely,  
CANNON DESIGN GROUP

A handwritten signature in black ink, appearing to read "Larry L. Cannon".

Larry L. Cannon

*This Page  
Intentionally  
Left Blank*