

Ryan Safty

From: Jim Whitney <jimw@demattei.com>
Sent: Thursday, October 3, 2019 4:24 PM
To: Nadia Costa
Cc: Town Manager; Attorney; Ryan Safty; Travis Brooks; mattcurrie@me.com; Shari Santos; Lerika Liscano; Linda Baron; Art Coon
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]
Attachments: Coulson - Privacy Exhibit - 2019-08-25r.pdf; Coulson - Privacy Tree Screen Reduction Set - 2019-10-03r.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

RECEIVED

OCT 03 2019

TOWN OF LOS GATOS
PLANNING DIVISION

Hello Nadia,

Attached please find a comprehensive PDF copy of the Planning set for 16336 Shady View. This set of drawings reflects all of the changes to date as well as the new privacy tree screen proposal. As you will see, we have reduced the number of trees to something that we feel is a bit more reasonable for both irrigation and maintenance but still provides ample screening. Also attached is a PDF copy of the revised Privacy Exhibit which we have been providing to both your client and the town as a tool to convey our efforts to mitigate the privacy concerns.

Please feel free to contact me with any questions.

Thank You,
Jim Whitney
Architectural Project Manager,
IT Oversight

De Mattei
Construction Inc.


GENERAL CONTRACTOR
Building Relationships

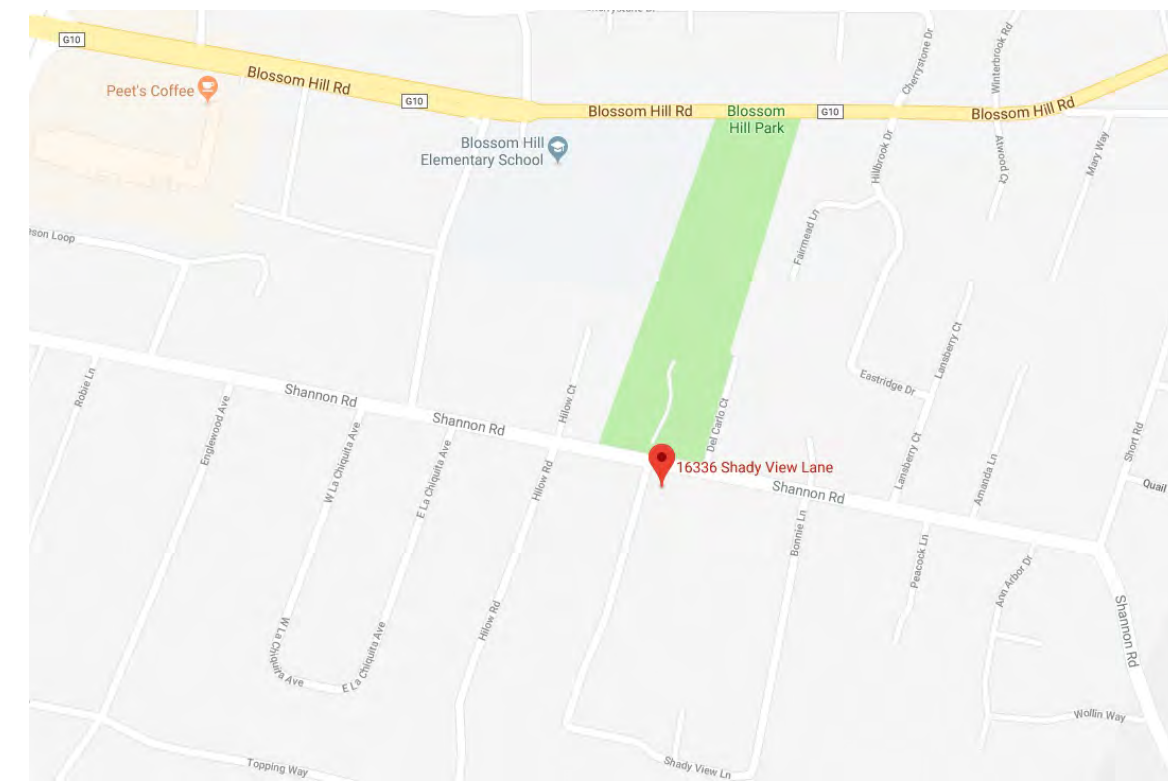
1794 The Alameda
San Jose, CA 95126
408.350.4200 p
408.674.0440 c
[website](#) | [facebook](#) | [Houzz](#)

From: Nadia Costa [mailto:nadia.costa@msrlegal.com]
Sent: Wednesday, October 2, 2019 3:07 PM
To: 'Jim Whitney' <jimw@demattei.com>
Cc: 'manager@losgatosca.gov' <manager@losgatosca.gov>; 'attorney@losgatosca.gov' <attorney@losgatosca.gov>; 'Ryan Safty' <RSafty@losgatosca.gov>; Travis Brooks <travis.brooks@msrlegal.com>; 'mattcurrie@me.com' <mattcurrie@me.com>; Shari Santos <shari.santos@msrlegal.com>; 'Lerika Liscano' <lerika@demattei.com>; 'Linda Baron' <lbaron@demattei.com>; Art Coon <arthur.coon@msrlegal.com>
Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

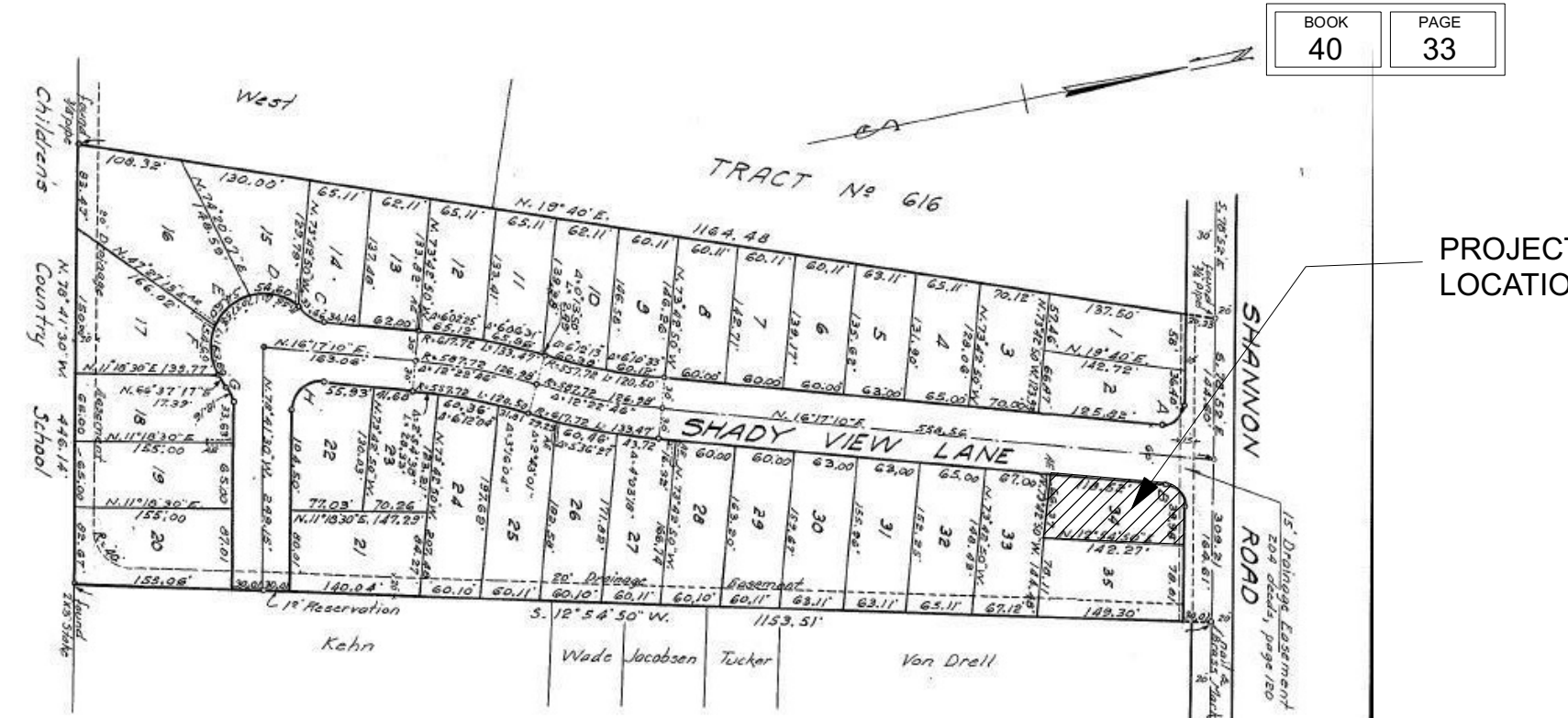
Good afternoon Jim:

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LOCATION MAP



PARCEL MAP



Coulson Residence

SCOPE OF WORK:

- 2 DEMOLISH (E) 1,056 SF 1-STORY RESIDENCE. BUILD (N) 2,698.75 SF 2-STORY HOME.

PROJECT DATA

ZONING	R1-8-PREZONE
OCCUPANCY TYPE	R3/U
BUILDING TYPE	VB
APN	532-03-034
LOT AREA	8,610 SF
(E) RESIDENCE TO BE REMOVED	1,056 SF
FLOOR AREA:	
(N) 1st FLOOR	1,181.08 SF
(N) 2ND FLOOR	1,459.67 SF
TOTAL	2,640.75 SF
(N) FAR	31 % > MAX. 32 %
(N) ATTACHED GARAGE:	
FAR	422.81 SF
	5 % < MAX. 9 %
BUILDING COVERAGE:	
(N) RESIDENCE	2,307.96 SF
TOTAL	2,307.96 SF
	26.8 % < MAX. 40 %
PARKING	2 COVERED SPACES

PROJECT DIRECTORY

PROPERTY OWNER:
Allan Coulson
16336 Shady View Ln
Los Gatos, CA 95032

DESIGNER/CONTRACTOR:
DE MATTEI CONSTRUCTION, INC.
1794 THE ALAMEDA
SAN JOSE, CA 95126
(408) 295-7516

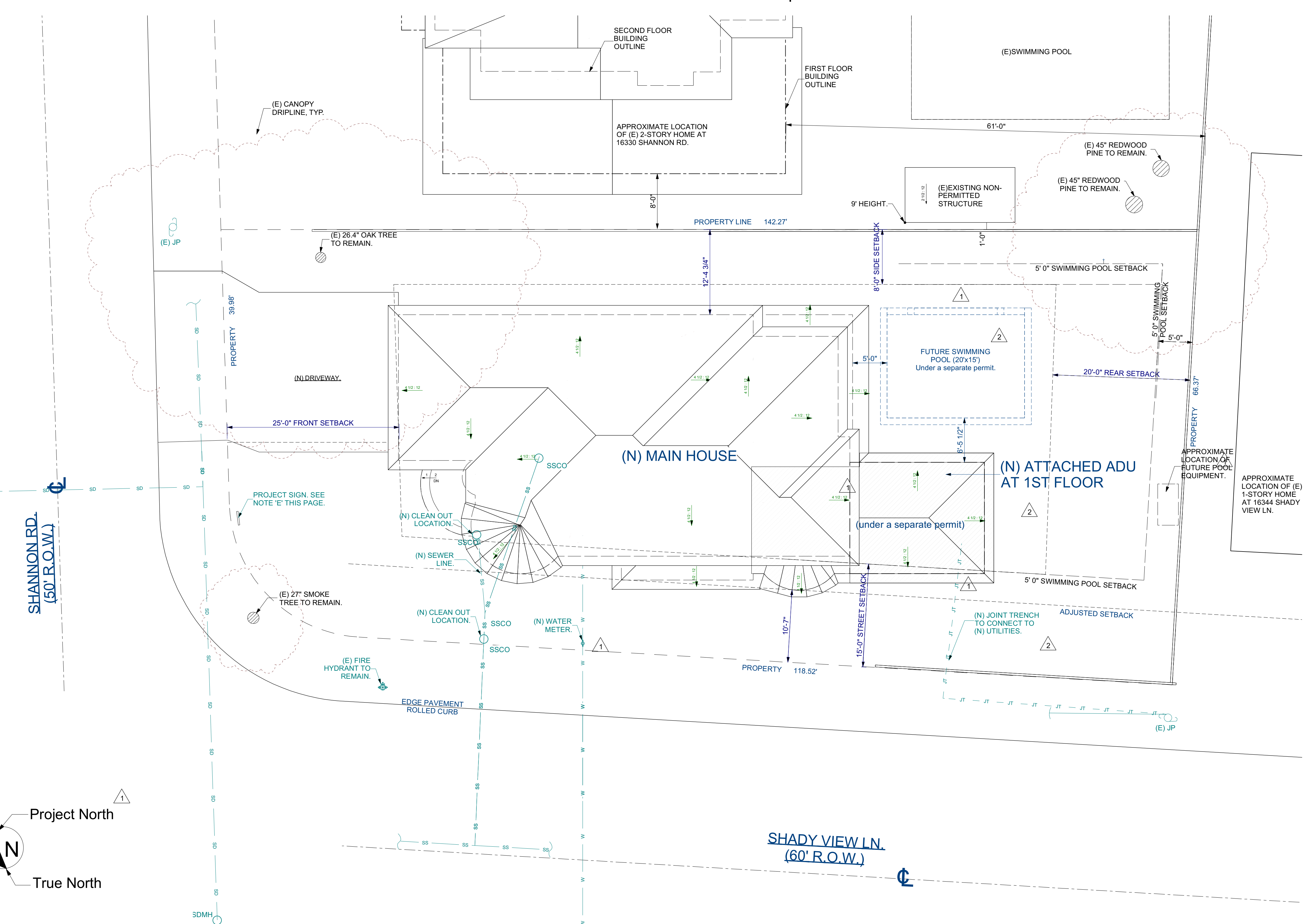
CONSTRUCTION SHALL CONFORM TO:

- 2016 California Building Code
- 2016 California Residential Code
- 2016 California Plumbing Code
- 2016 California Mechanical Code
- 2016 California Electrical Code
- 2016 Energy Code
- 2016 Green Building Code
- 2016 California Fire Code
- 2016 California Reference Standards Code

SHEET INDEX

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NOTES:
A. ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS AND DIRECTED INTO LANDSCAPED AREAS.
B. A SANITARY SEWER LATERAL CLEAN-OUT SHALL BE INSTALLED AT THE PROPERTY LINE. IF ONE DOES NOT ALREADY EXIST WITHIN TWO FEET OF THE PROPERTY LINE.
C. ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED.
D. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 ADDITION.
E. PROJECT SIGN SHALL BE ORIENTED TOWARDS THE STREET WITHIN 1' OF PROPERTY LINE OR 2' OF THE BACK OF SIDEWALK. THE TOP OF THE SIGN SHALL BE 5' FROM (E) GRADE.



1 PROPOSED SITE/ROOF PLAN
Scale: 1/8"=1'-0"

PLANNING SET 10/3/2019

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NO.	DESCRIPTION	DATE	BY
1	RESPONSES TO PLAN CHECK COMMENTS	03/26/2019	LL
2	RESPONSES TO PLAN CHECK COMMENTS	05/10/2019	LL

SHEET TITLE:
COVER SHEET

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose, CA 95126
P: (408) 295-7516
F: (408) 296-6589
LIC.# B-476455

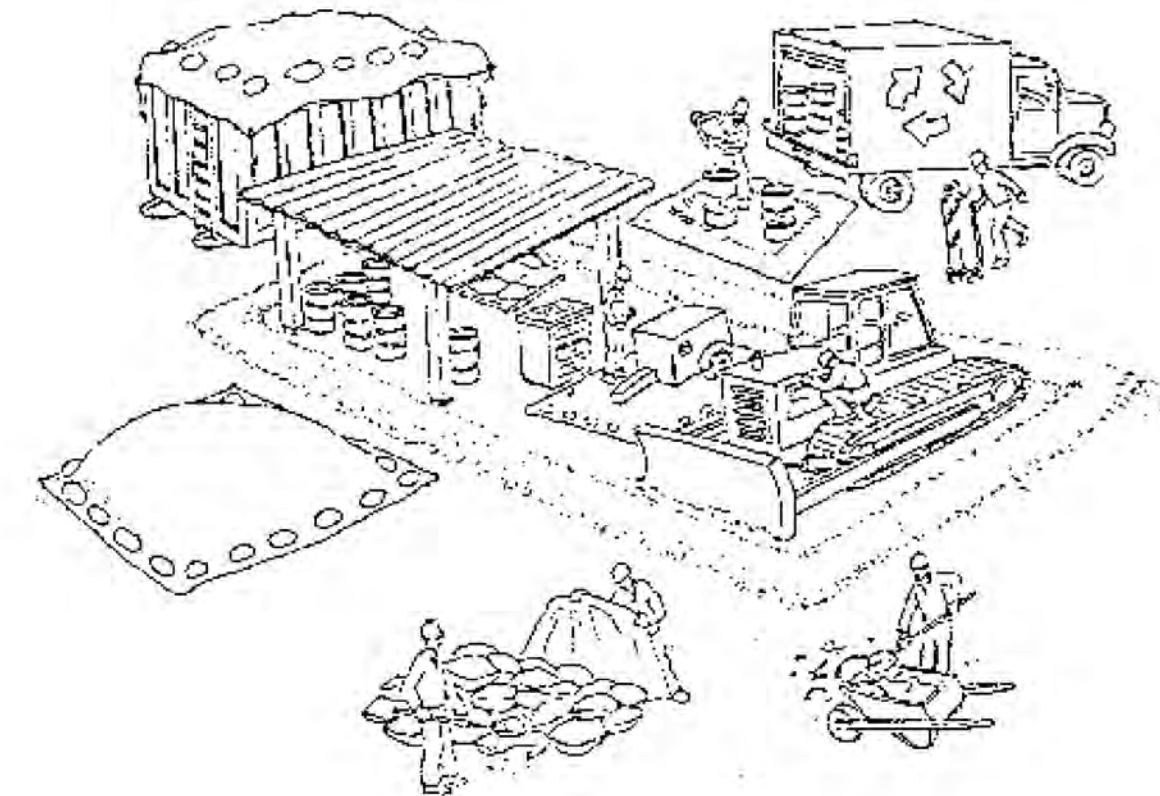
DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:
CS

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

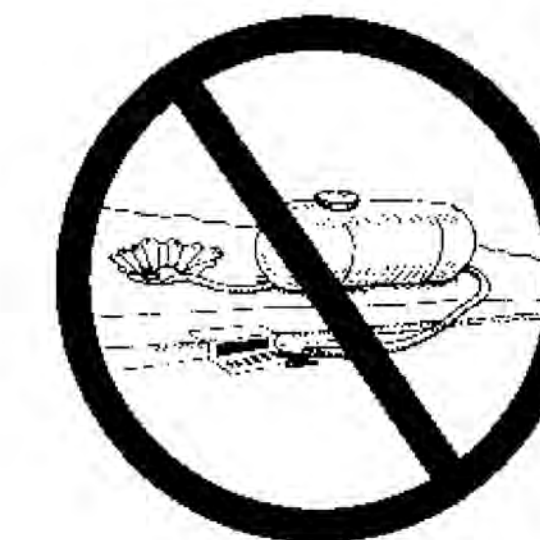
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Painting

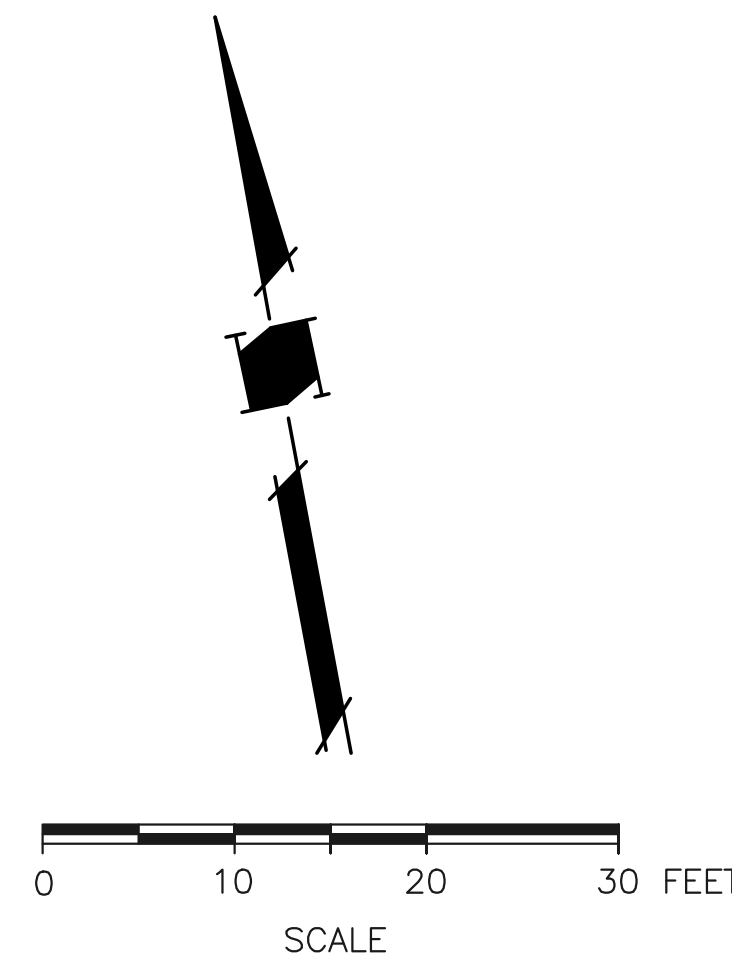


- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

NO.	DESCRIPTION	BY	DATE

SURVEYOR'S NOTES:

- DATE OF SURVEY: SEPTEMBER, 2018.
- UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
- TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- PROPERTY CORNERS WERE NOT SET IN CONJUNCTION WITH THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 532-03-034
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE PERPENDICULAR TO THE PROPERTY LINES



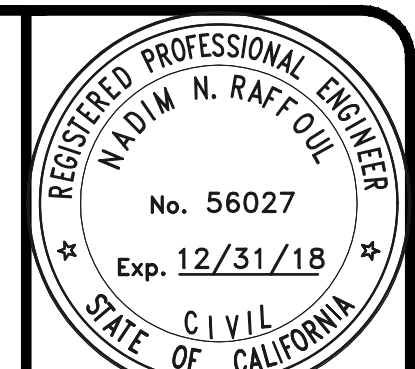
ABBREVIATIONS

- FL FLOWLINE
- TC TOP OF CURB
- EP EDGE OF PAVEMENT
- CONC CONCRETE
- LIP LIP OF GUTTER
- GS GROUND SHOT
- AD AREA DRAIN
- TC TOP OF CURB
- FF FINISH FLOOR
- BSL BUILDING SETBACK LINE

LEGEND

- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- FENCE LINE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- JOINT POLE
- GUY ANCHOR
- TREE, SIZE AND TYPE AS NOTED
- GAS LINE
- WATER LINE
- CONCRETE
- GAS METER

BENCHMARK
TOWN OF LOS GATOS
BM NO. LG43
LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42' (NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.

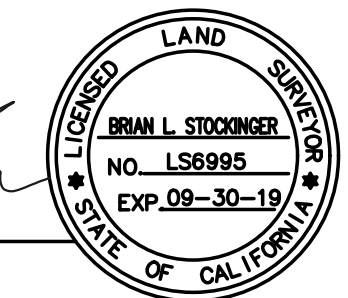


NJR ENGINEERING
CIVIL ENGINEER
505 WEBBIDGE DRIVE
SAN JOSE, CALIFORNIA 95128
(408) 348-7883

SAN CLARA COUNTY APN 532-03-034 CALIFORNIA

16336 SHANNON ROAD
LOS GATOS, CA.

TOPOGRAPHIC SURVEY



BRIAN L. STOCKINGER
PLS 6995
EXPIRES 9-30-19

REVISIONS	BY
JOB NO:	
DATE:	9-28-2018
SCALE:	1"=10'
DRAWN BY:	NR
SHEET NO:	1

STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE TOWN OF LOS GATOS GRADING ORDINANCE, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE DEPARTMENT OF PARKS AND PUBLIC WORKS PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT 408.399.5771 AT LEAST 48 HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS.
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF 48 HOURS BUT NOT MORE THAN 14 DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL--TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DEPARTMENT).
 - TOE AND TOP OF CUT AND FILL SLOPES

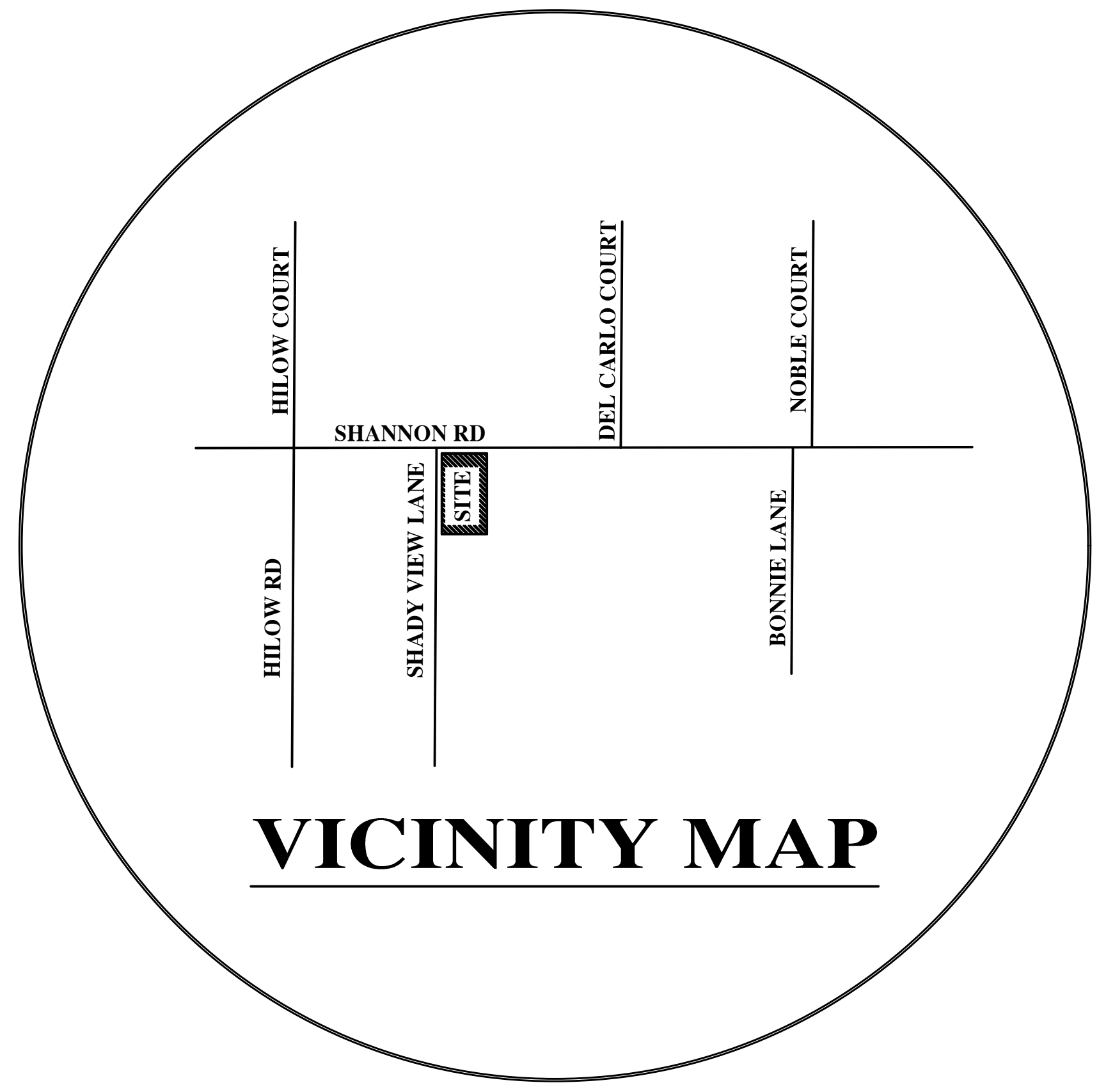
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVE-ABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- GRADING CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- A. CUT: $\frac{55}{3}$ CY EXPORT: $\frac{52}{0}$
B. FILL: _____ CY IMPORT: _____
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORM WATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN, THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ONSITE AT ALL TIMES. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR ONTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES, PER PG&E STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- USE A COMBINATION OF BATTERY OPERATED/GENERATOR AND POWER OPERATED SUMP PUMPS TO ASSURE THEIR OPERATION IN CASE OF POWER FAILURE.

GENERAL NOTES:

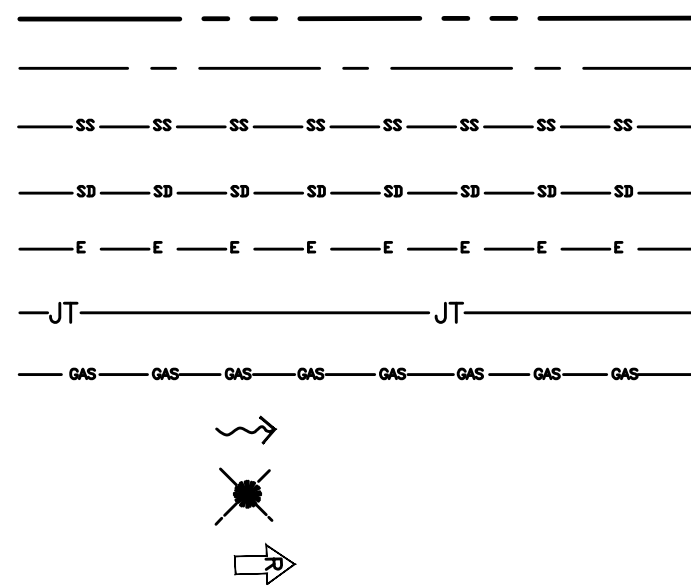
- EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSH'S LOCAL OFFICE: (510) 794-2521.
- PRIOR TO REQUESTING A FOUNDATION INSPECTIONS BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
 - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.



DESCRIPTION

- PROPERTY LINE
- CENTERLINE
- SANITARY SEWER
- STORM DRAIN LINE
- ELECTRICAL LINE
- JOINT TRENCH
- GAS LINE
- DRAINAGE FLOW
- REMOVE TREE
- OVERLAND RELEASE

LEGEND



ABBREVIATION

- AD AREA DRAIN
- CO CLEAN-OUT
- (E) EXISTING
- FG FINISH GRADE
- FL FLOW LINE
- FS FINISH SLAB
- INV INVERT
- (N) NEW
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SD STORM DRAIN

IMPERVIOUS COVERAGE (S.F.)

	EXISTING	REPLACED	NEW
BUILDINGS	2,552	1,359	1,327
DRIVEWAY/WALKS	2,971	328	148
POOL			351
TOTAL	5,523	1,687	1,826
TOTAL NEW & REPLACED IMPERVIOUS AREA=3,513 S.F.			

SHEET INDEX

COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
CROSS SECTIONS AND MISC. DETAILS	C-3
EROSION CONTROL PLAN	C-4
'BLUEPRINT FOR A CLEAN BAY' SHEET	

BASIS OF BEARINGS

THE BEARING OF NORTH 78° 48' 05" WEST ALONG THE CENTERLINE OF SHANNON ROAD AS SHOWN ON TRACT NO. 1849 SHANNON TERRACE, FILED FOR RECORD IN BOOK 76 OF MAPS AT PAGE 6, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.

BENCHMARK

TOWN OF LOS GATOS
BM NO. LG43
LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42'
(NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.



NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

THE PROJECT GEOTECHNICAL REPORT PREPARED BY:

EARTH WORK NOTE:

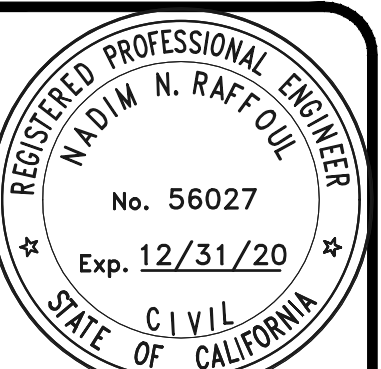
THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE TOWN OF LOS GATOS PUBLIC WORKS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

NOTE: NO GRADING REQUIRED EXCEPT FOR CRAWLSPACE & FOUNDATION EXCAVATION & FOR SHAPING FINAL GRADES FOR PROPER DRAINAGE

APPROXIMATE GRADING QUANTITIES (CU. YDS.)				
LOCATION	CUT	DEPTH	FILL	DEPTH
HOUSE	50	1'	0	0
SITE	5	0	3	0.5'
TOTAL	55		3	



NNR ENGINEERING
CIVIL ENGINEERS
535 WEBSTERIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 948-7983

16336 SHADY VIEW LANE

LOS GATOS, CA.

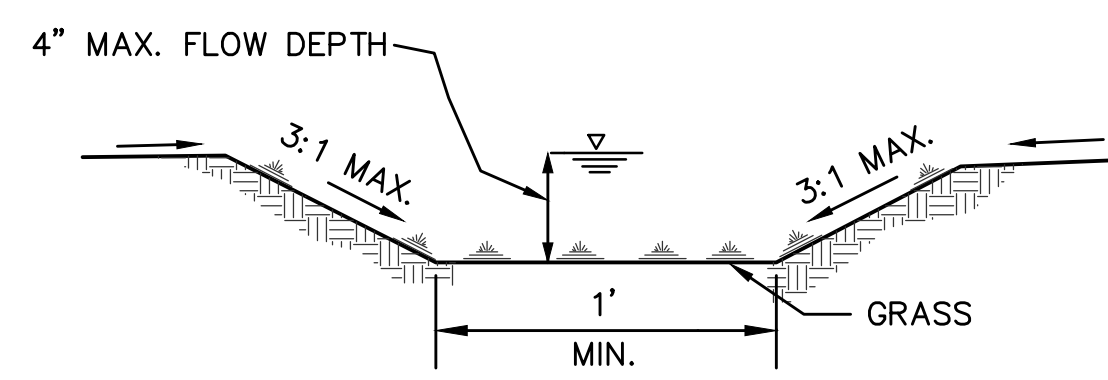
COVER SHEET

REVISIONS	BY

JOB NO:
DATE: 12-2-2018
SCALE: N.T.S.
DRAWN BY: NR
SHEET NO:

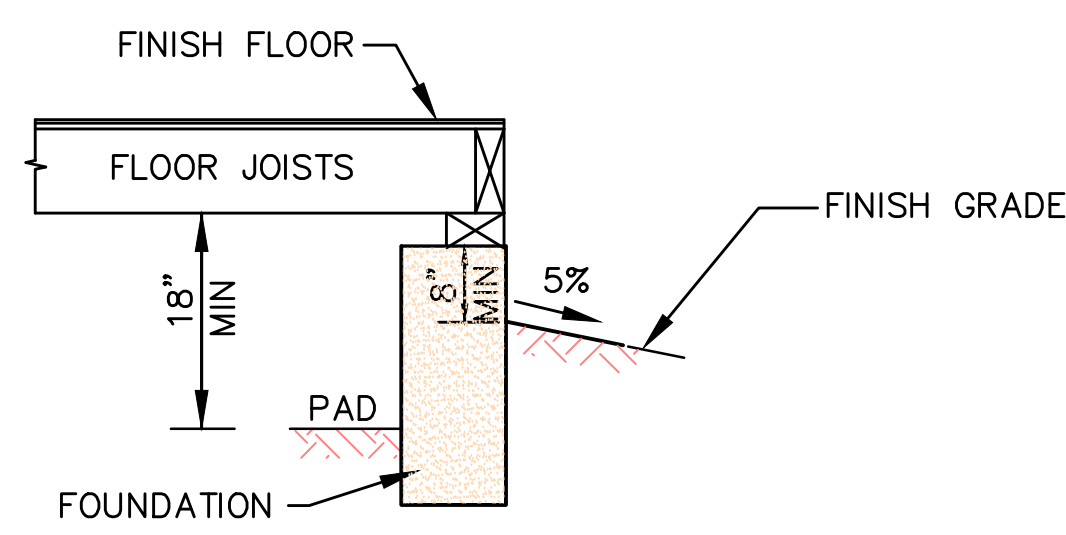
GRADING AND DRAINAGE CONSTRUCTION NOTES:

- 1 DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.), DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE -TYP. (SEE DETAIL)
- 2 DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 4 FEET WHERE POSSIBLE, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3 4" SDR-26 SS. LAT. @ 2% MIN.
- 4 (N) WATER METER LINE (DESIGN BY OTHERS). CONNECT TO EXISTING WATER METER PER TOWN AND WATER DISTRICT REQUIREMENTS.
- 5 APPROXIMATE LOCATION OF JOINT TRENCH TRENCH INCLUDES: ALL GAS/ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
- 6 GRASSY SWALE @ S=2%.
- 7 6" PVC (SDR-35) @ S=0.5% MIN.
- 8 REMOVE EXISTING SEWER CLEANOUT.
- 10 10'X6'X4.5' GRAVEL BASIN, SEE DETAIL.
- 11 (N) WATER METER.
- 12 APPROXIMATE LOCATION OF ROOF DOWNSPOUT, SEE ARCHITECTURAL PLANS FOR EXACT LOCATION.
- 13 (N) INFILTRATION DEVICE (CHRISTY V-24) WITHOUT BOTTOM.
- 14 4" PVC (SDR-35) @ S=1% MIN FOR CRAWL SPACE DRAINAGE.
- 15 1 1/2" PRESSURE DISCHARGE LINE.
- 16 APPROX. LOCATION OF 4" PERFORATED PIPE @ S=1% MIN. FOOTING DRAIN- TYP. (SEE DETAIL)
- 17 PROVIDE DEDICATED SUB DRAINAGE SUMP WITH PUMP. PUMP TO DISCHARGE AT BUBBLER PROVIDE BACKFLOW PREVENTION DEVICE ON DISCHARGE LINE. BACKUP POWER IS RECOMMENDED.
- 18 FOOTING DRAIN CLEAN-OUT- TYP. (SEE DETAIL).
- 19 REMOVE EXISTING STRUCTURE



GRASSY SWALE DETAIL

N.T.S.



NOTE
* PAD ELEVATION IS FOR INFORMATION ONLY.

EXTERIOR GRADING DETAIL (TYP.)

N.T.S.

LEGEND:

⊖ AREA DRAIN (CHRISTY BOX V-1) OR EQUAL

▣ CATCH BASIN (CHRISTY BOX V-24) OR EQUAL

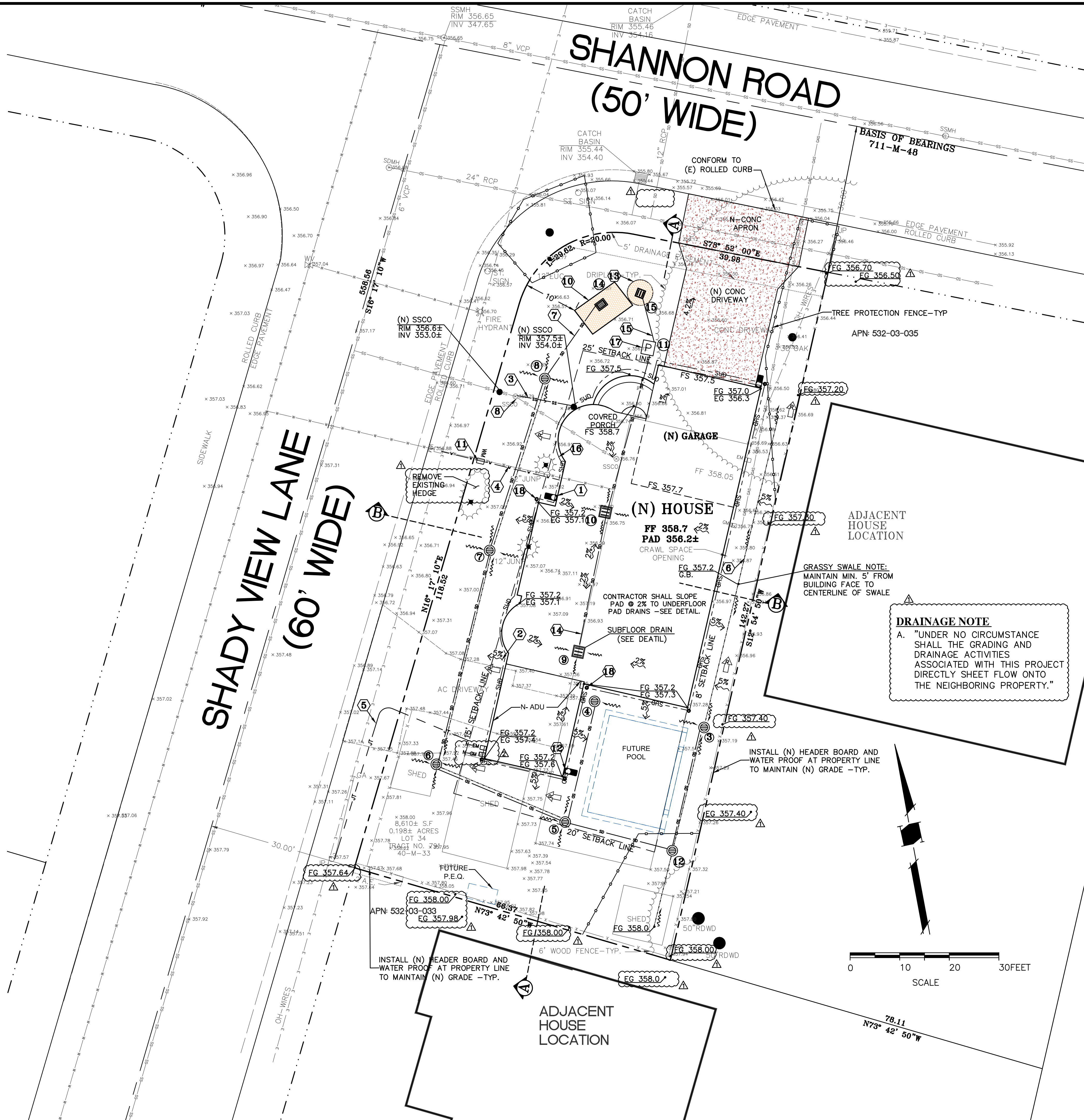
BENCHMARK

TOWN OF LOS GATOS
BM NO. LC43

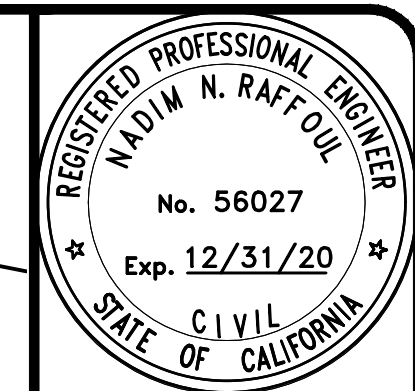
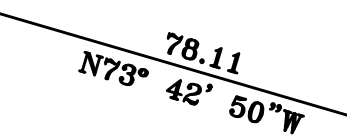
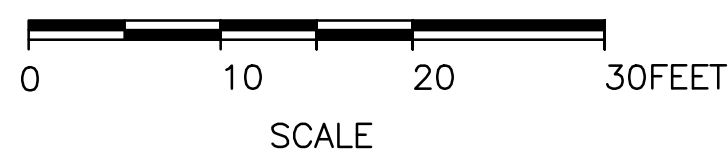
LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42' (NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.

DRAINAGE NOTE

- | | | | | |
|-----------------------------------|-----------------------------------|-----------------------------------|---|-----------------------------------|
| 3 AD
RIM 356.9±
INV 355.0± | 4 CB
RIM 357.7±
INV 354.8± | 5 AD
RIM 357.7±
INV 354.3± | 6 AD
RIM 357.5±
INV 354.0± | 7 AD
RIM 357.5±
INV 353.5± |
| 8 AD
RIM 357.9±
INV 353.0± | 9 CB
RIM 356.0±
INV 354.7± | 10 AD
RIM 355.8±
INV 354.2± | 11 SUMP W/PUMP
RIM 357.5±
INV 353.0±
PUMP @ 353.7± | 12 AD
RIM 357.7±
INV 354.6± |
| 14 CB
RIM 356.5±
INV 352.0± | 15 CB
RIM 356.5±
INV 353.0± | | | |



DRAINAGE NOTE
A. "UNDER NO CIRCUMSTANCE SHALL THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THIS PROJECT DIRECTLY SHEET FLOW ONTO THE NEIGHBORING PROPERTY."



N.R. ENGINEERING
CIVIL ENGINEERS
585 WEDGEWOOD DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7893

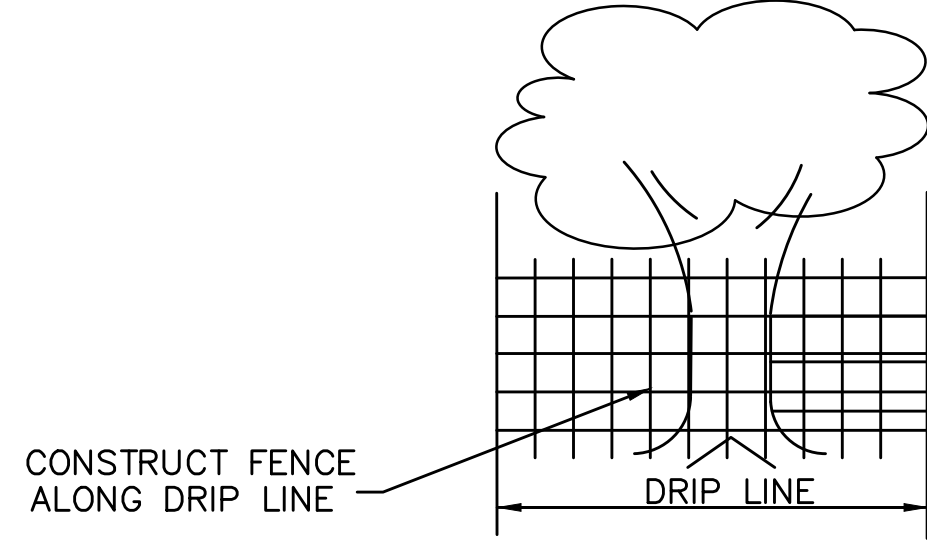
16336 SHADY VIEW LANE
LOS GATOS, CA.
SAN CLARA COUNTY APN 532-03-034 CALIFORNIA

GRADING AND DRAINAGE PLAN

COMMENTS RESPONSE	2/7/19
	5/15/19
REVISIONS	DATE
JOB NO:	
DATE:	12-2-2018
SCALE:	1" = 10'
DRAWN BY:	NR
SHEET NO:	

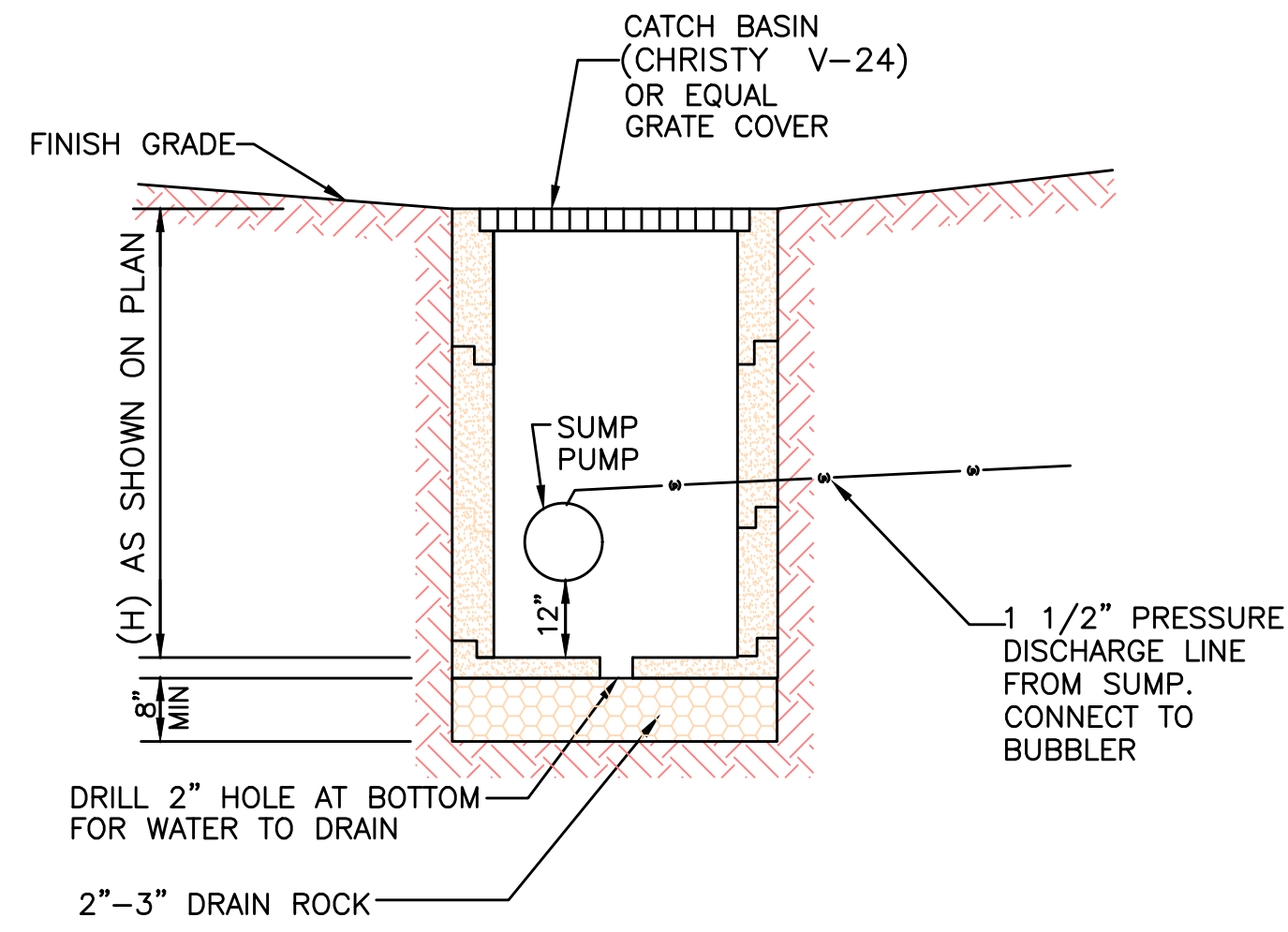
NOTES:

1. THE DEVELOPER SHALL INSTALL "THE PROTECTION DEVICE" PRIOR TO THE START OF GRADING OR CLEARING WORK.
2. THE CITY RESERVED THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE "PROTECTIVE DEVICE" IS NOT INSTALLED.
3. ROLLED CHAIN LINK FENCE ON DRIVEN POST.
4. PLACE WOOD CHIP AROUND TREE AND ALONG DRIP LINE



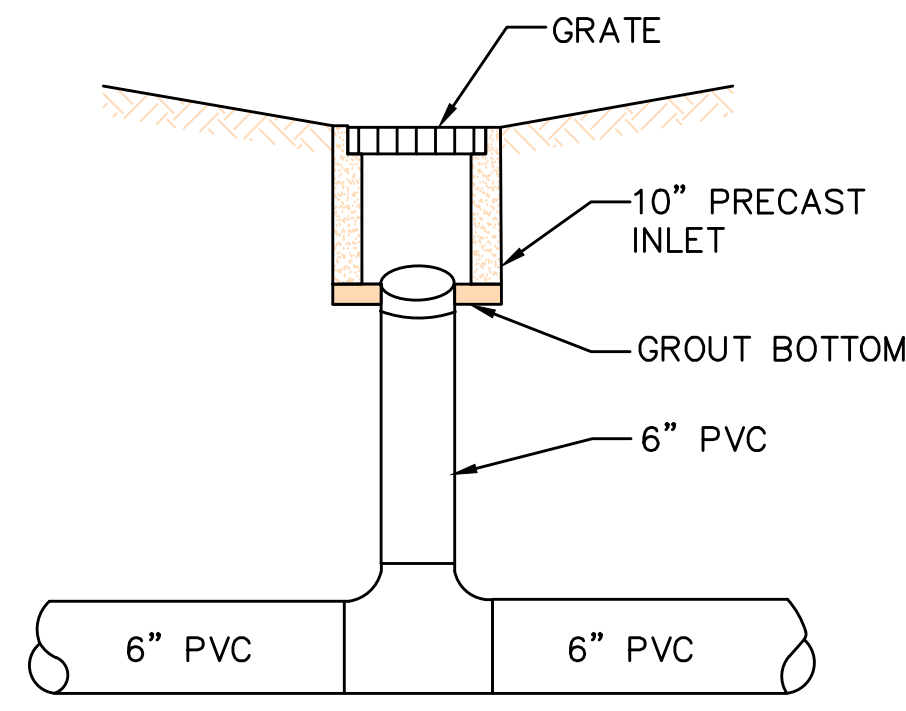
TREE PROTECTION DETAIL

N.T.S.



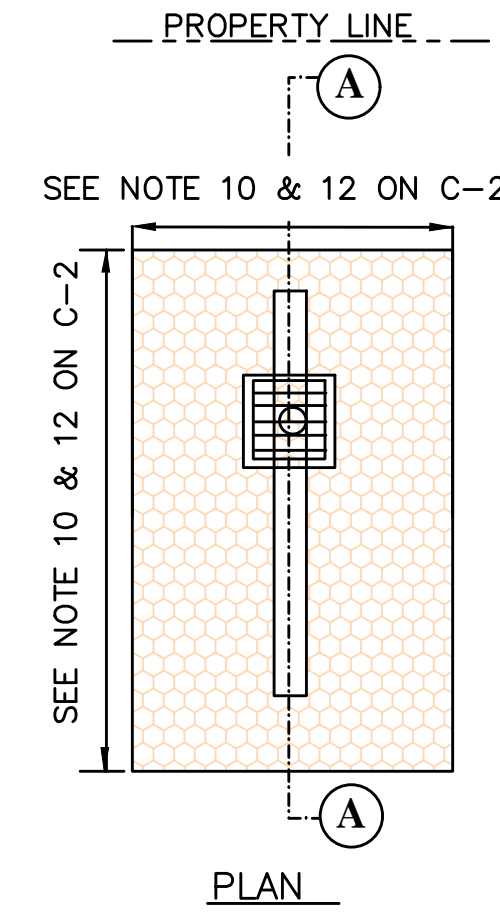
CATCH BASIN DETAIL

N.T.S.



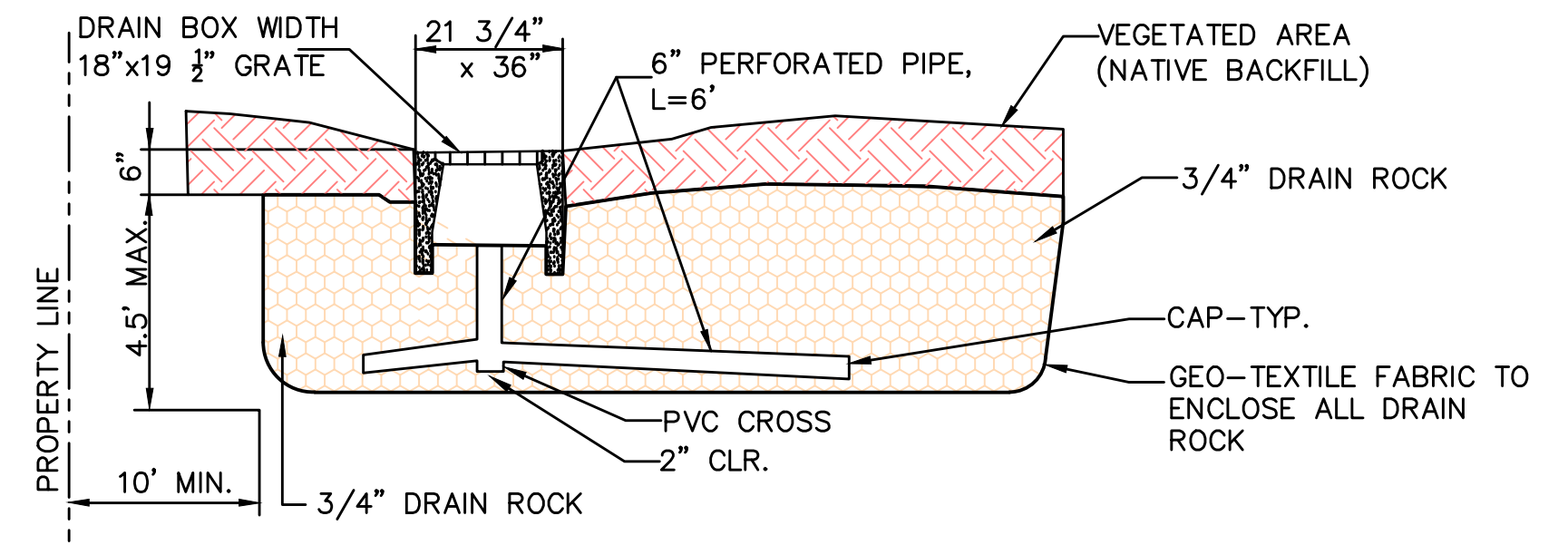
AREA DRAIN DETAIL

N.T.S.

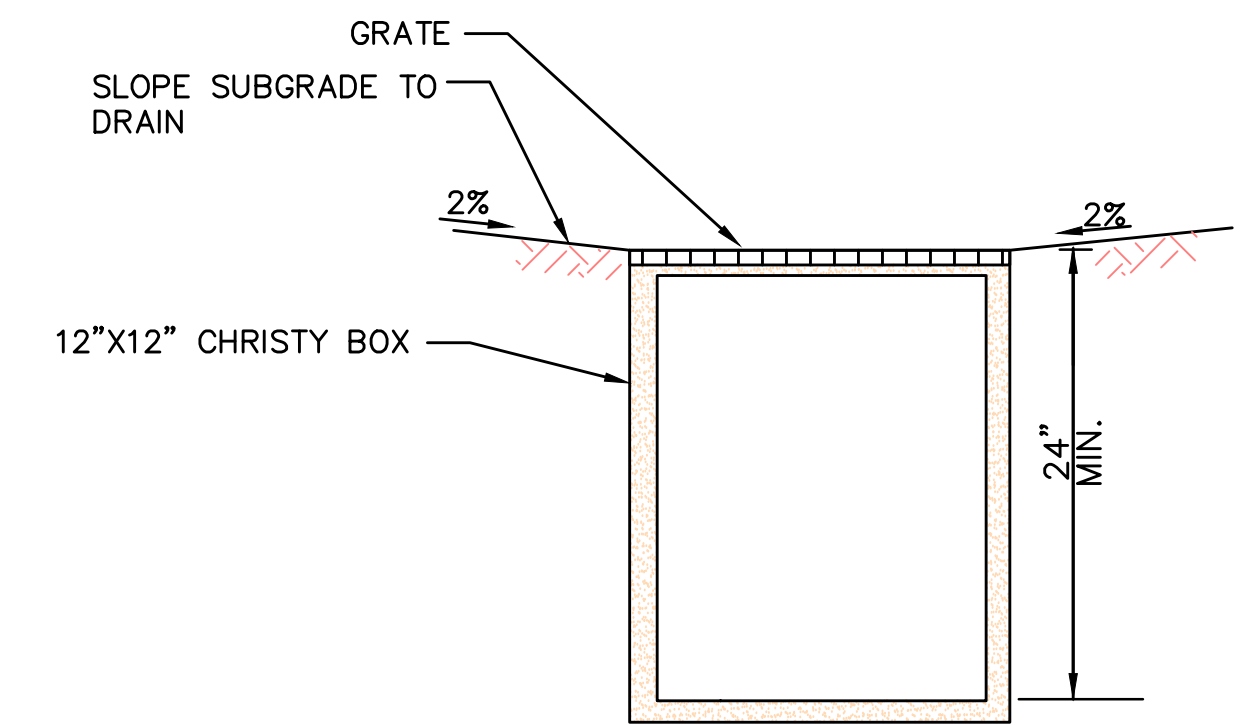


GRAVEL BASIN DETAIL

N.T.S.

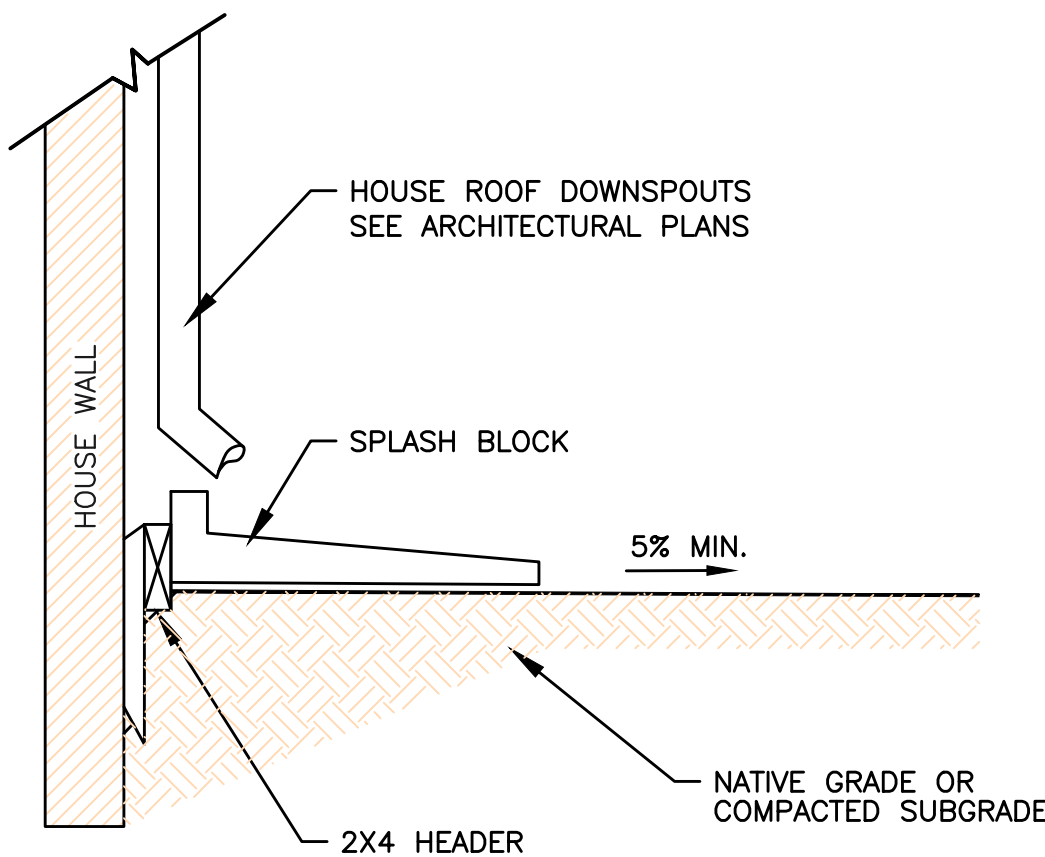


SECTION A-A



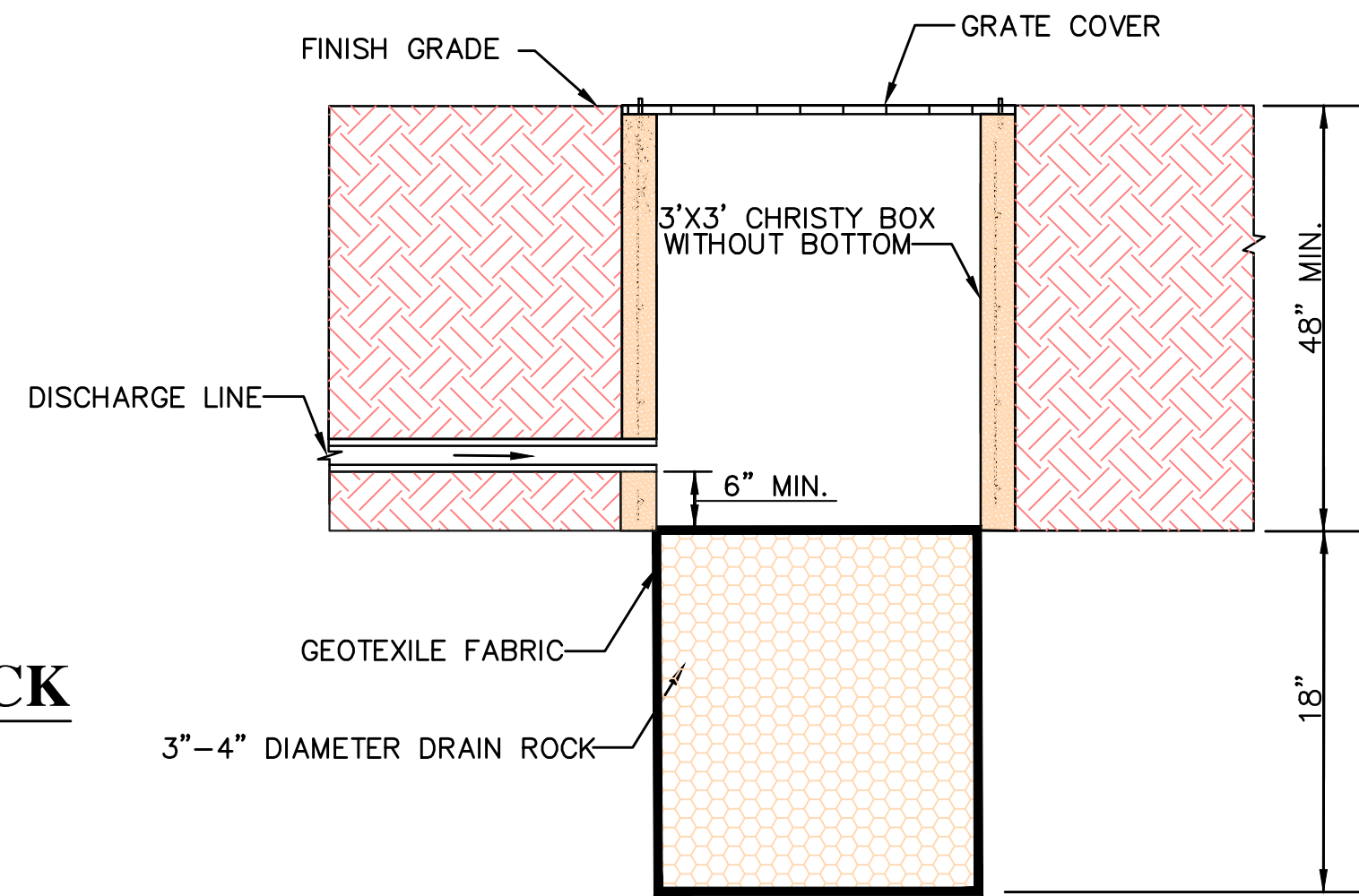
SUBFLOOR DRAIN DETAIL

N.T.S.



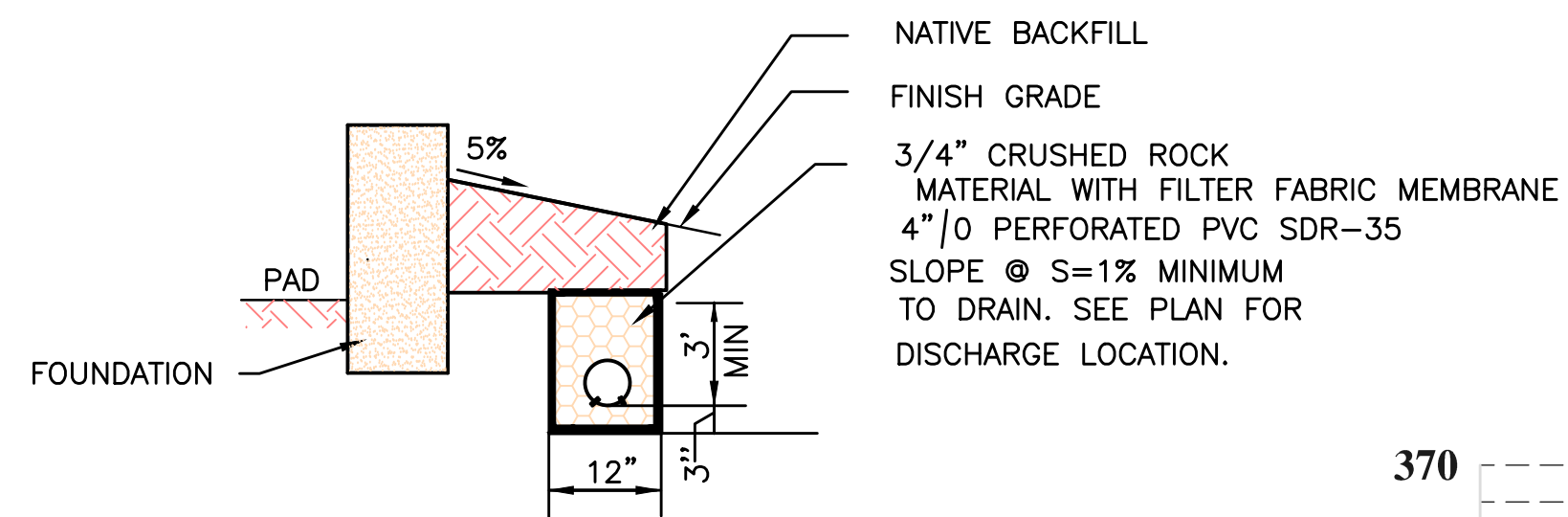
ROOF DOWNSPOUT/SPLASH BLOCK

N.T.S.



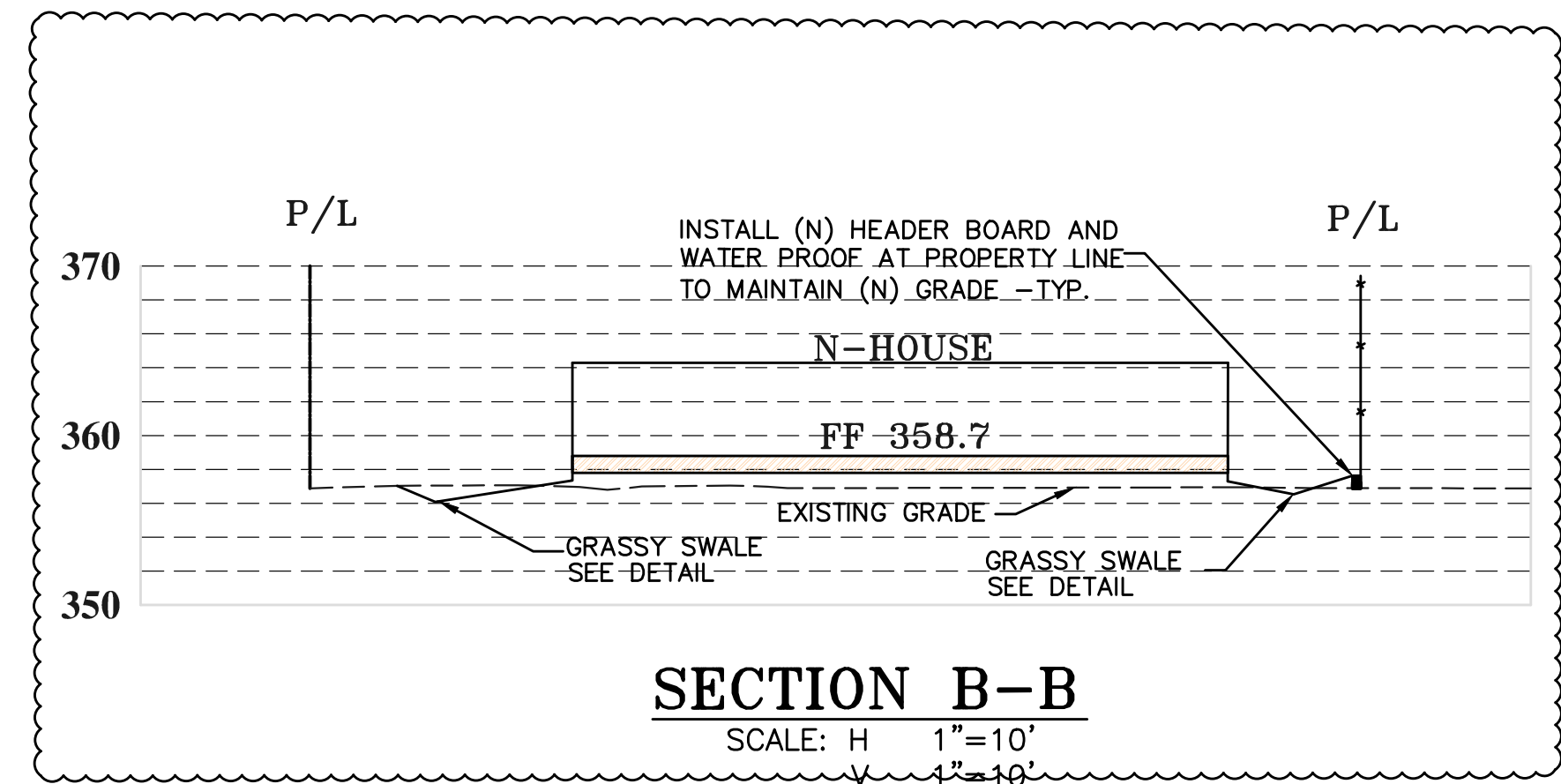
INFILTRATION DEVICE DETAIL

N.T.S.



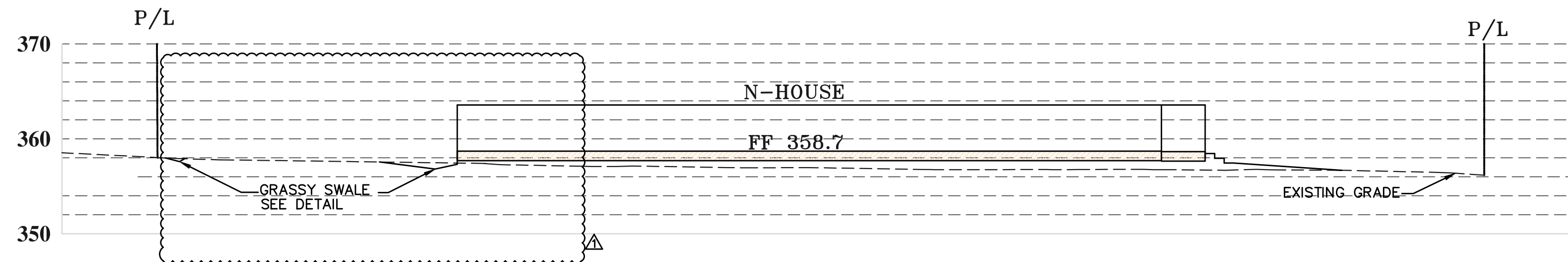
FOOTING DRAINS SYSTEM

N.T.S.



SECTION B-B

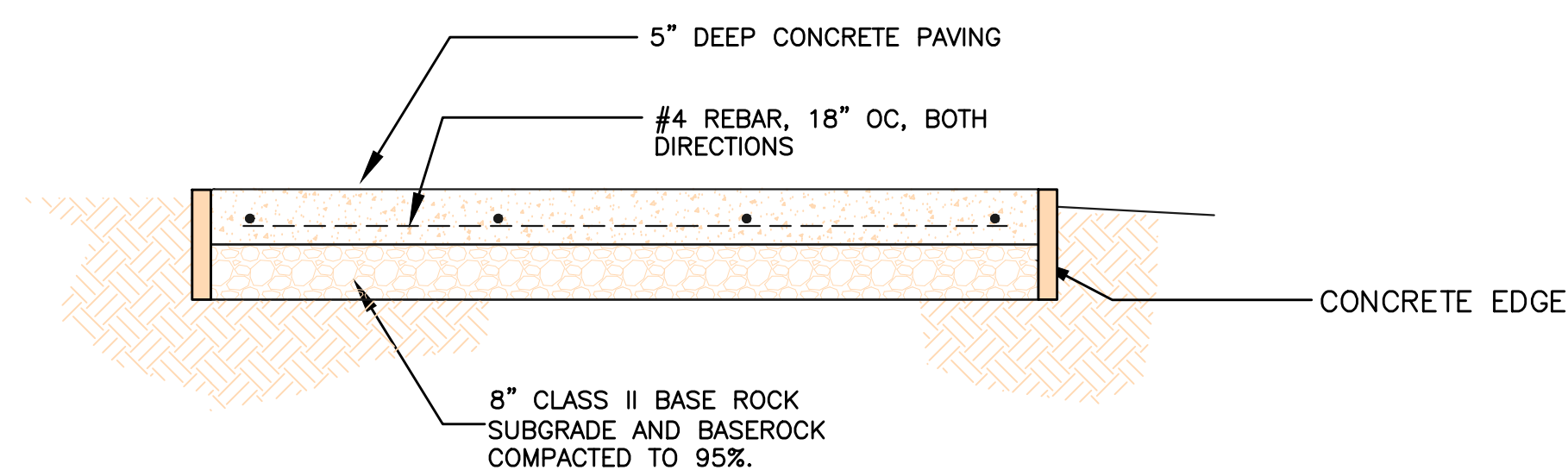
SCALE: H 1"=10'



SECTION A-A

SCALE: H 1"=10'

V 1"=10'



CONCRETE DRIVEWAY-TYPICAL SECTION

N.T.S.



NMR ENGINEERING
 CIVIL ENGINEER
 535 WEDGECREE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 348-7893

16336 SHADY VIEW LANE
 LOS GATOS, CA.
 SAN CLARA COUNTY APN 532-09-034
 CALIFORNIA

DRAINAGE AND MISC. DETAILS

RESPONSE TO TOWN COMMENTS 2/7/19

REVISIONS DATE

JOB NO:

DATE: 12-2-2018

SCALE: AS SHOWN

DRAWN BY: NR

SHEET NO:

C-3

OF 4 SHEETS

STANDARD EROSION CONTROL NOTES:

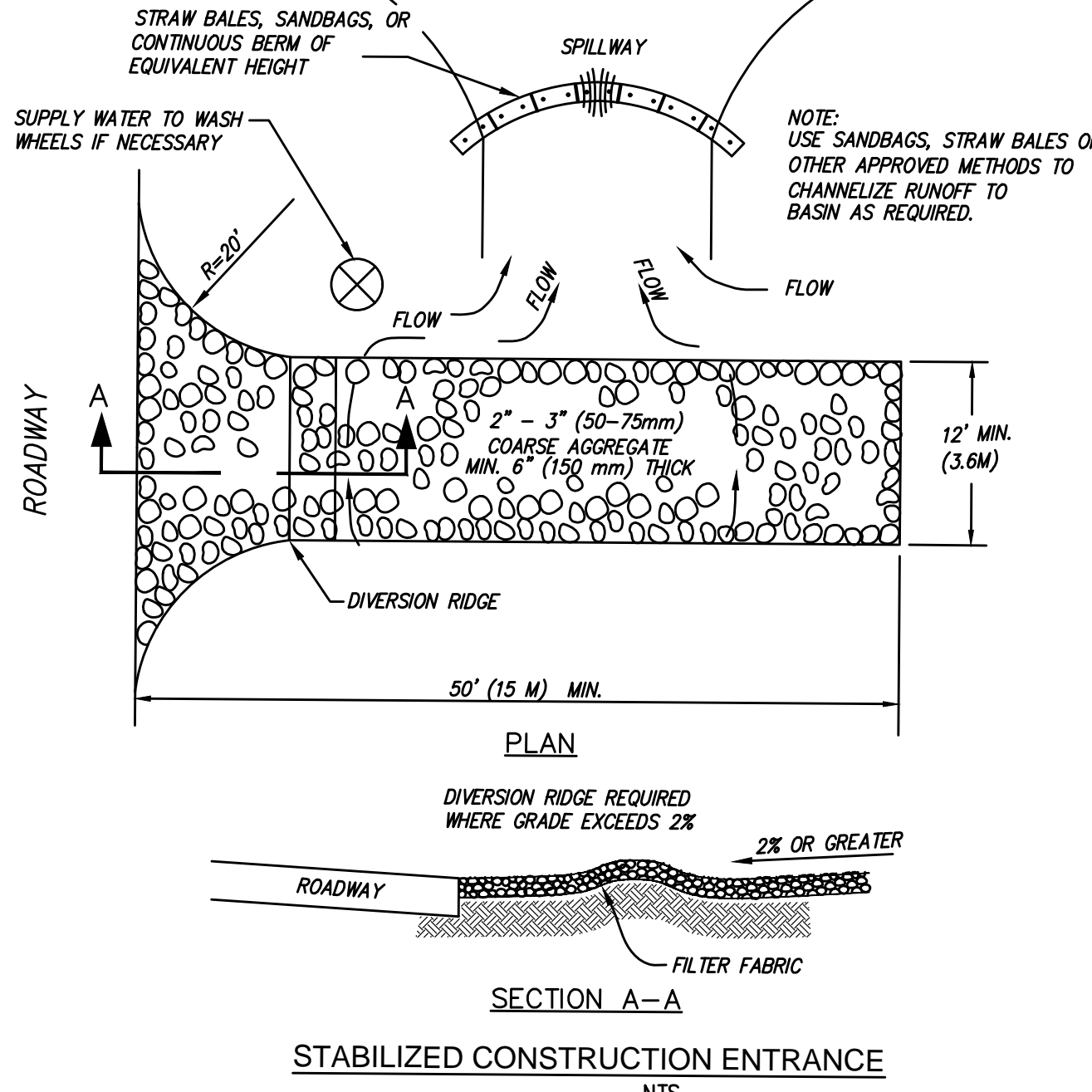
- EROSION CONTROL POINT OF CONTACT: CONTRACTOR TO PROVIDE AN EROSION CONTROL POINT OF CONTACT INCLUDING NAME, TITLE/QUALIFICATIONS, EMAIL, AND TWO PHONE NUMBERS. THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE TOWN MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.
- PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDATED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
- AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
- LIMIT DEMOLITION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
- AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
- TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR RUN OVER.
- DEMOLITION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION OR GROUND DISTURBANCE IS STARTED.

NPDES NOTES

- Sediment from areas disturbed by construction shall be retained on site using structural controls as required by the statewide General Construction Stormwater Permit.
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind as required by the statewide General Construction Stormwater Permit.
- Appropriate BMPs for construction-related materials, wastes, spill or residues shall be implemented to minimize transport from the site to streets, drainage facilities or adjoining property by wind or runoff as required by the statewide General Construction Stormwater Permit.
- Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters or to the local storm drain system.
- All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each day of construction activity all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
- Construction sites shall be maintained in such a condition that a storm does not carry Wastes or pollutants off the site. Discharges of material other than stormwater (nonstormwater discharges) are prohibited except as authorized by an individual NPDES permit or the statewide General Construction Stormwater Permit. Potential pollutants include but are not limited to: solid or liquid chemical spills, wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids, concrete and related cutting or curing residues; floatable wastes, wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning and superchlorinated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the respective State Regional Water Quality Control Board

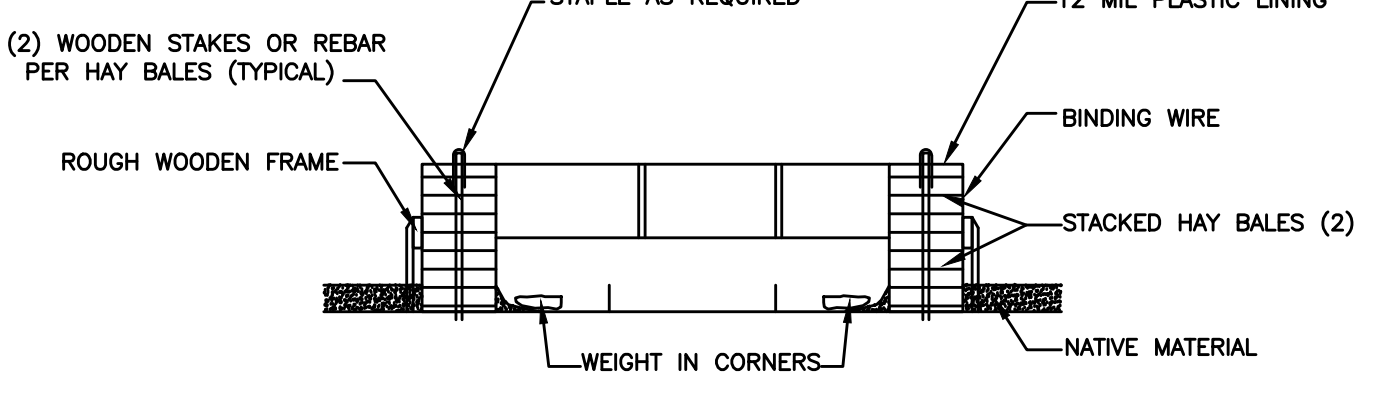
Last updated: 8/18/2011

- NOTES:
- PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. THEY ARE APPROX. 8" DIA. AND 20 - 30 FT. LONG.
 - FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL IN A TRENCH, 3" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.
 - THE TOP OF THE STRUCTURE (PONDING HEIGHT) MUST BE WELL BELOW THE GROUND ELEVATION DOWNSLOPE TO PREVENT RUNOFF FROM BY-PASSING THE INLET. EXCAVATION OF A BASIN ADJACENT TO THE DROP INLET OR A TEMPORARY DIKE ON THE DOWNSLOPE OF THE STRUCTURE MAY BE NECESSARY.
- MAINTENANCE NOTES
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.
 - SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

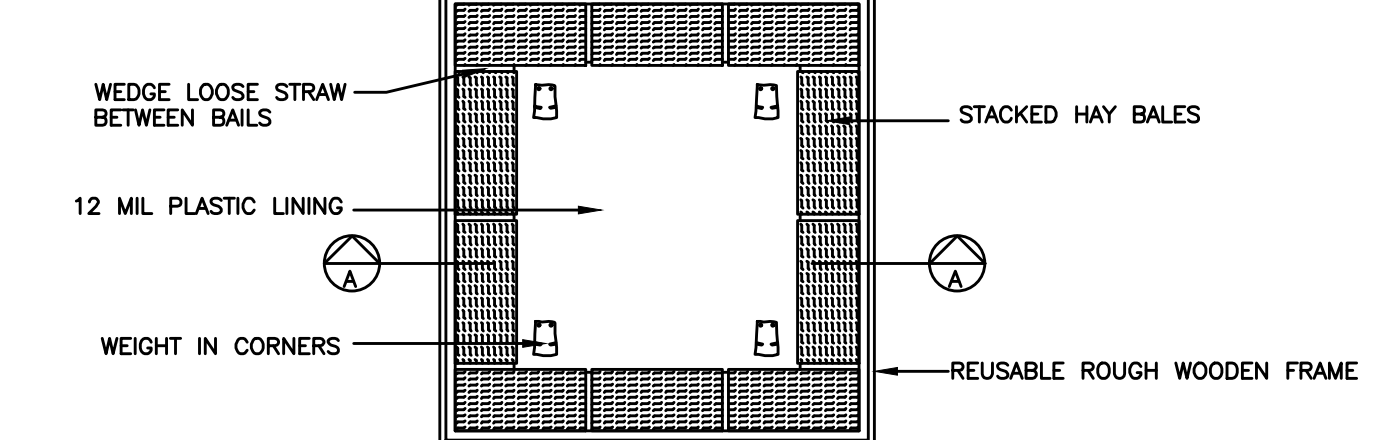


STABILIZED CONSTRUCTION ENTRANCE NOTES:

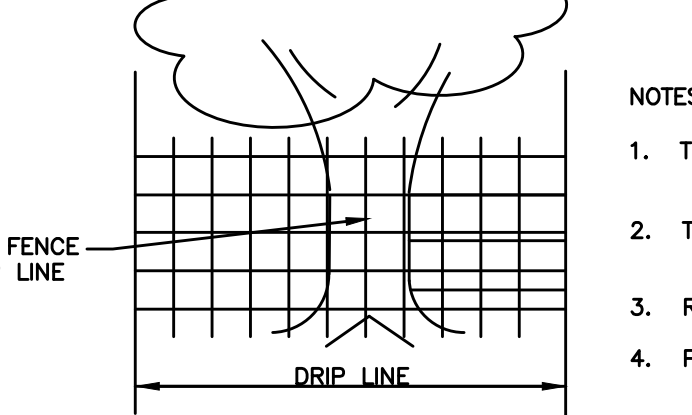
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
- WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TEMPORARY CONCRETE WASHOUT FACILITY (ABOVE GRADE) NTS



TREE PROTECTION DETAIL NTS



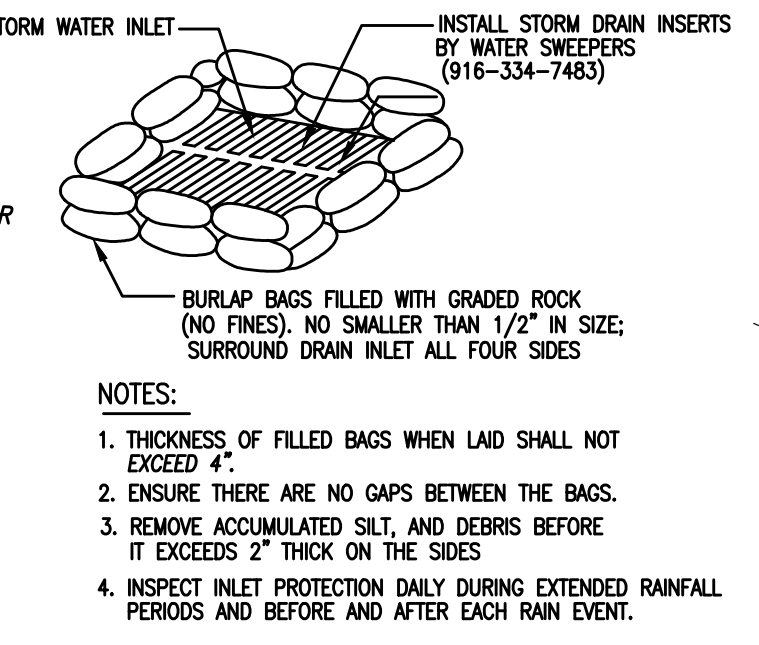
TREE PROTECTION FENCING NOTES:

- THE DEVELOPER SHALL INSTALL "THE PROTECTION DEVICE" PRIOR TO THE START OF GRADING OR CLEARING WORK.
- THE TOWN RESERVES THE RIGHT TO ISSUE A "STOP WORK" NOTICE IF THE " PROTECTIVE DEVICE " IS NOT INSTALLED.
- ROLLED CHAIN LINK FENCE ON DRIVEN POST.
- PLACE WOOD CHIP AROUND TREE AND ALONG DRIP LINE.

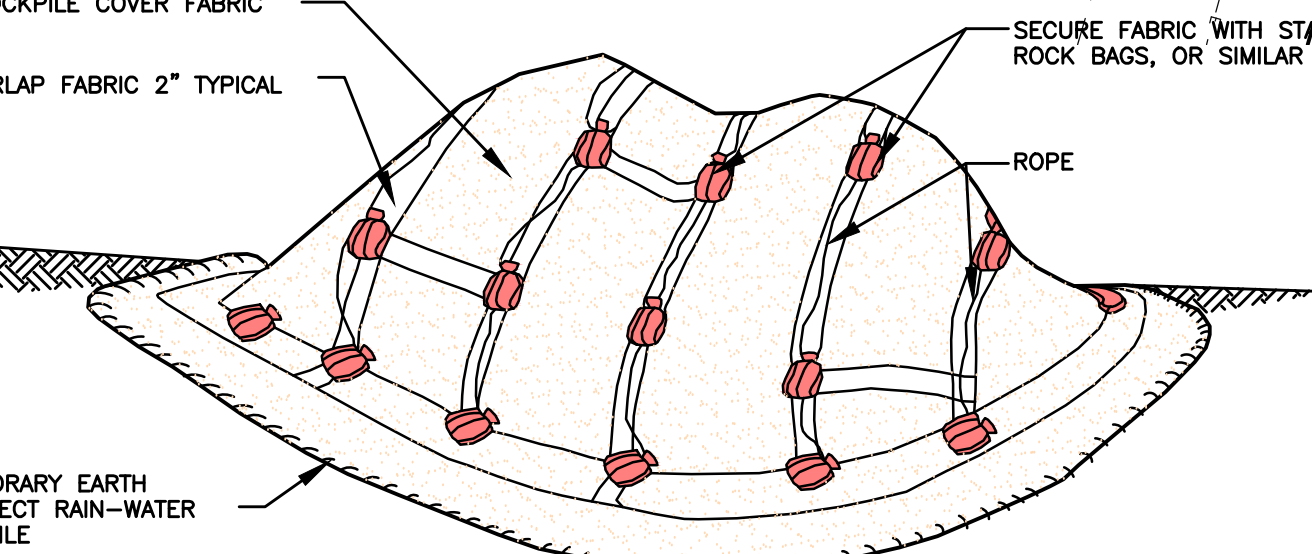
LEGEND

- STRAW WATTLES

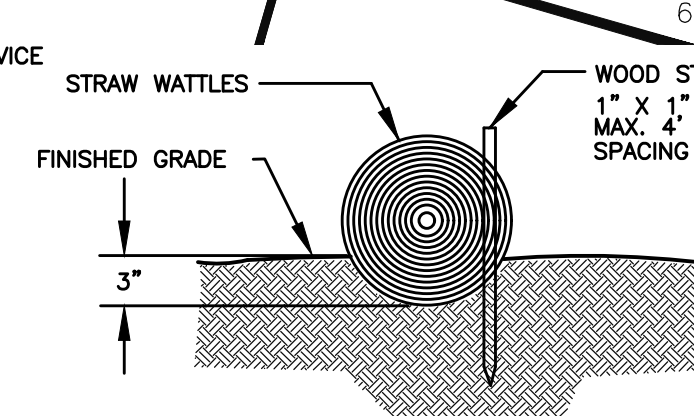
BURLAP SACK DRAIN INLET (D.I.) SEDIMENT FILTER DETAIL NTS



- NOTES:
- THICKNESS OF FILLED BAGS WHEN LAID SHALL NOT EXCEED 4".
 - ENSURE THERE ARE NO GAPS BETWEEN THE BAGS.
 - REMOVE ACCUMULATED SLT, AND DEBRIS BEFORE IT EXCEEDS 2" THICK ON THE SIDES.
 - INSPECT INLET PROTECTION DAILY DURING EXTENDED RAINFALL PERIODS AND BEFORE AND AFTER EACH RAIN EVENT.



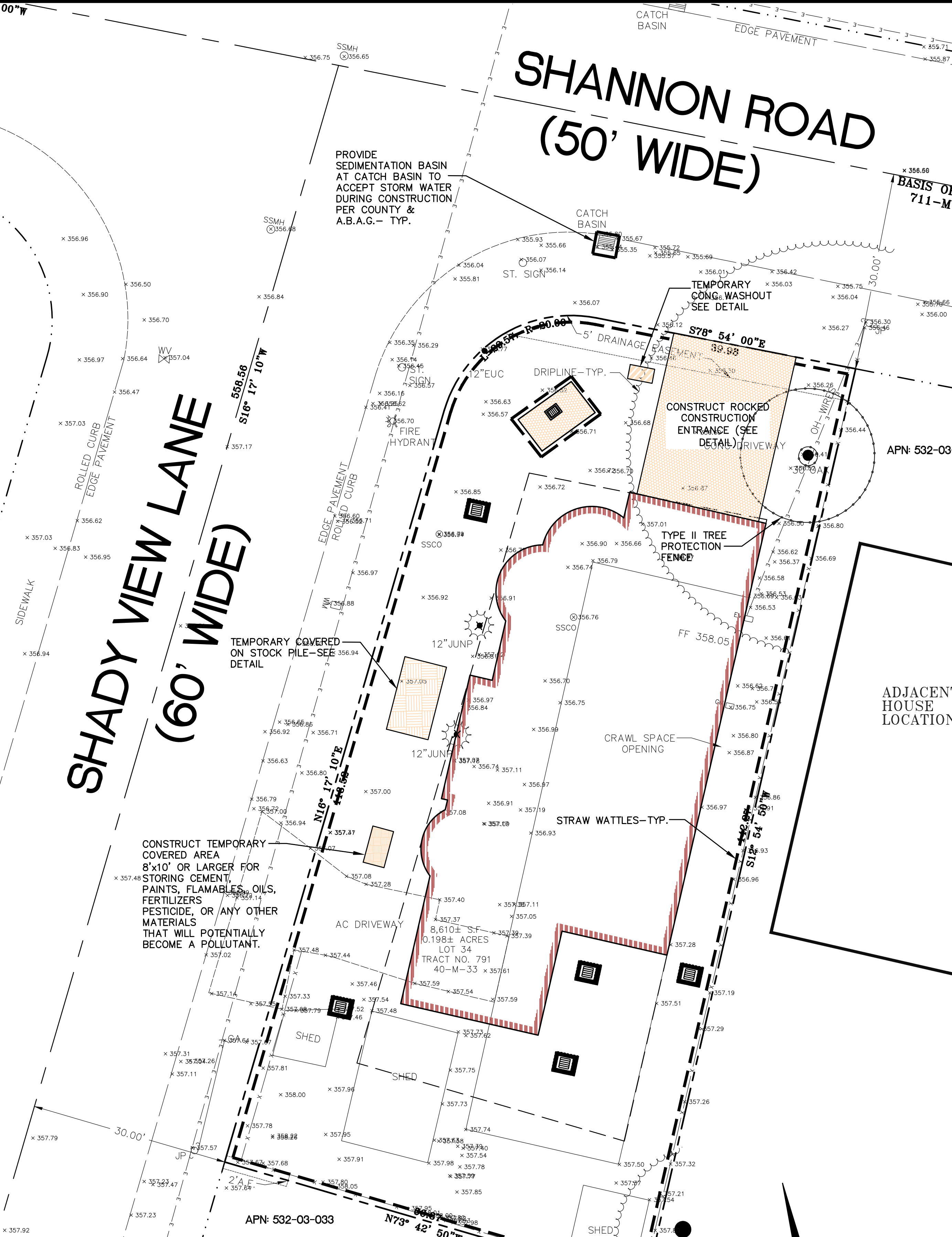
TEMPORARY COVER ON STOCK PILE NTS



ENTRENCHMENT DETAIL IN FLAT AREA STRAW WATTLES NTS

SHANNON ROAD (50' WIDE)

SHADY VIEW LANE (60' WIDE)



NNR ENGINEERING
 CIVIL ENGINEERS
 633 METRODRIVE DRIVE
 SAN JOSE, CALIFORNIA 95133
 (408) 948-7893

16336 SHADY VIEW LANE
 LOS GATOS, CA.

EROSION CONTROL
 PLAN
 SAN CLARA COUNTY APN 592-03-094

REVISIONS	BY

JOB NO:
 DATE: 1-24-2019
 SCALE: 1" = 10'
 DRAWN BY: NR
 SHEET NO:

LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

1 - PROJECT INFORMATION

- a Date - 5-27-19
- b Applicant - Greg Lewis - Landscape Architect
- c Project Address - 16336 Shady View Lane, Los Gatos
- d Total Irrigated Landscape Area - 4030 sf (not counting pool)
- e Type of project - single family residential
- f Potable Water
- g Checklist of all documents in package - see this page
- h Contacts of Applicant - Greg Lewis - Landscape Architect
lewlandscape@sbcglobal.net
phone (831) 359-0960
Owner - Katty Coulson koulson@cisco.com
- i "I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package"

2 - WATER EFFICIENT LANDSCAPE WORKSHEETS - SEE SHEET L2

3 - SOIL MANAGEMENT REPORT See sheet L3

4 - LANDSCAPE DESIGN PLAN See sheets L1

5 - IRRIGATION DESIGN PLAN See sheets L2

6 - GRADING DESIGN PLAN See the Grading and Drainage Plans done by the civil engineer - NNR Engineering nnrengineering@yahoo.com

The following items are required when the landscape construction is complete

CERTIFICATION OF COMPLETION

Project information sheet - see current MWELo information on line for current forms

Certification that the landscape project has been installed per the approved Landscape Documentation Package
See current MWELo information on line for the current forms

Irrigation Scheduling

Landscape and Irrigation Maintenance Schedule

Irrigation Audit Report

Documentation verifying implementation of soil report recommendations

Replacement Trees

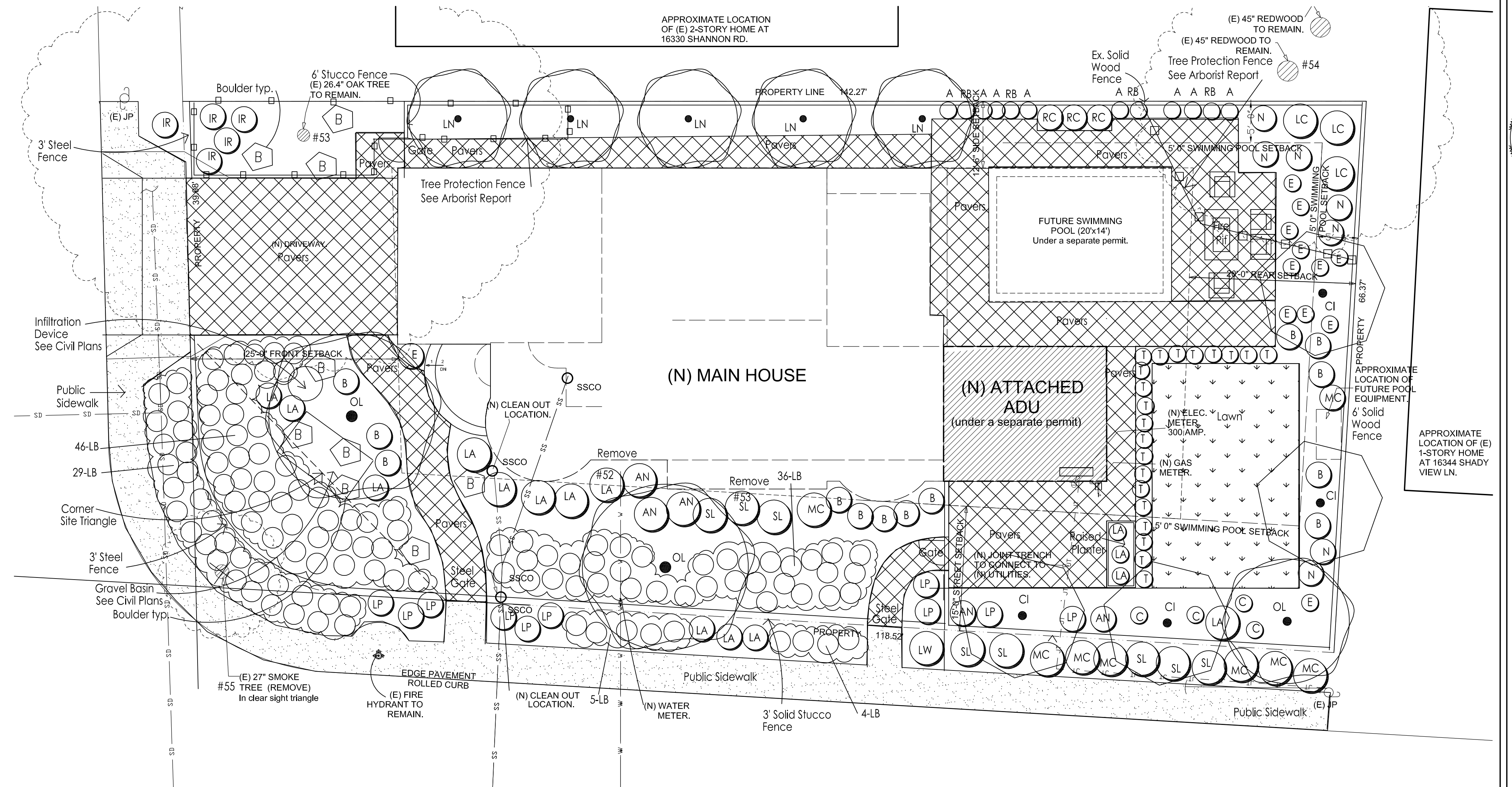
- 1) Per city arborist report dated 1/31/19 by Walter Levison, replacement trees for Cypress trees # 51 and #52 is four 24" box trees
- 2) The existing Smoke Tree in the city ROW is in the clear sight triangle and we would like to remove it. The canopy is between 10' and 25' dia. which would require three 24" box trees according to the table on page 22 of the arborist's report
- 3) Total replacement trees are seven 24" box trees
four 24" box Citrus
three 24" box Swan Hill Olive

Landscape Notes

- 1) See sheets L3 and L4 for details and specifications.
- No irrigation trenching is allowed under the canopy of existing trees to be saved unless approved by the city arborist. Irrigation drip lines are to be 1 inch deep on the surface of the soil, covered with mulch. Pressure lines and valves are not to be located under canopies of trees to be saved.
- 2) Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations, lights, drainage features, and swales
- 3) Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including nitrated RWD sawdust, medium fir bark, and Mahogany colored Wonder Mulch from Vision Recycling in Fremont
- 4) Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8' wide is 5 gal. size and any circle scaled larger is 15 gal. size
- 5) The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick couplers away from trees.
- 6) The plants will do much better if efforts to uncompact soil that has been compacted during building construction.
- 7) See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of 89 Organics Super Humus Compost. 16 pounds of 12-12-12 fertilizer filled into the top 6" to 8" of soil after ripping soil to 12" deep, except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.
- 8) See the Irrigation Plan, Irrigation Legend under the Rainbird XFS-XDI drip tubing for special soil prep. in the FR ground cover areas
- 9) See the project Arborist's report concerning required distances of utility lines from trunks of trees that are to be saved. Read the city arborist's tree report and tree protection plan concerning the protection of all existing trees to be saved during construction.
- 10) Check with the Landscape Architect to make sure you have the most recent Landscape Plans prior to construction and finalizing the bid.
- 11) Boulders - Average size 2x2x2.5' set into soil to appear stable. Bid Sonoma Fieldstone but also give owners prices for rounded granite or some other type of boulder they like that might go well with rock on their house.
- 12) Raised planter - 24" high, build with 2x12 rough redwood with 4x4 posts 4 feet apart set in concrete 24" deep. Use gopher wire and fill with high quality planter mix. Install S45 2x6 redwood cap

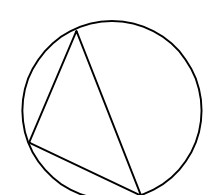
Plant Legend

KEY	QTY	SIZE in gallons	BOTANICAL NAME	COMMON NAME	WUCOLS WATER USE RATING
TREES					
OL	3	24" box	Olea Swan Hill - no fruit Replacement Trees	Swan Hill Olive	LOW
CI	4	24" box	Citrus tree - variety selected by owner Replacement Trees		MED
SCREENING TREE OPTIONS					
LN	10	24" box	Laurus nobilis @ 8' O.C. Pittosporum undulatum @ 8' O.C. Podocarpus gracillior @ 8' O.C. Pittosporum eugenioides @ 5' O.C.	Greecian Laurel Victorian Box Fern Pine	LOW LOW MED MED
MEDIUM SHRUBS					
RC	-	5 gal.	Rhaphirolepis minor	India Hawthorne	LOW
MC	-	5 gal.	Myrtus communis	Myrtle	LOW
RB	-	5 gal.	Rosa banksiae double white trained on fence	Lady Banks Rose	LOW
LA	-	5 gal.	Lavandula Grosso	Lavander	LOW
LC	-	5 gal.	Loropetalum Razleberry		LOW
GROUND COVERS					
LB	-	1 gal.	Lomandra Breeze		LOW
C	-	1 gal.	Carex divulsa	Berkeley Sedge	LOW
LP	-	5 gal.	Limonium perezii	Sea Statice	LOW
IR	-	1 gal.	Iris Canyon Snow	Native Iris	LOW
T	-	1 gal.	Thymus serpyllum Reiter's	Creeping Thyme	LOW
AN	-	1 gal.	Anigazanthus Bush Gold or Bush Ranger	Kangaroo Paws	LOW
LW	-	1 gal.	Lantana montevidensis white	Low White Lantana	LOW
V	-	1 gal.	Aloe vera	Medicinal Aloe	LOW
B	-	1 gal.	Bulbine frutescens - yellow or orange		LOW
E	-	1 gal.	Aeonium urbicum Dinner Platter		LOW
SL	-	1 gal.	Salvia leucantha	Mexican Sage	LOW
LAWN	-	sod	Turf tall fescue sod with 2x4 redwood header bd.		HIGH



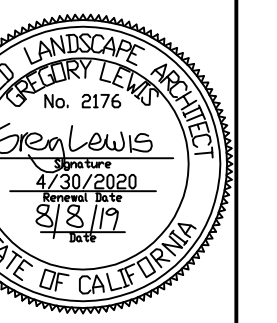
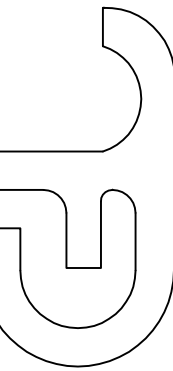
Cover Sheet and
Landscape Plan

1/8"=1'-0"
0' 8' 16'



Revision

GREGORY LEWIS LANDSCAPE ARCHITECT #2176
736 Park Way Santa Cruz, CA 95065 (831) 359-0960
lewlandscape@sbcglobal.net



Coulson Residence
16336 Shady View Ln., Los Gatos

Date 10/3/19

Scale As Noted

Drawn Greg

Job Sheet

L1

of 5

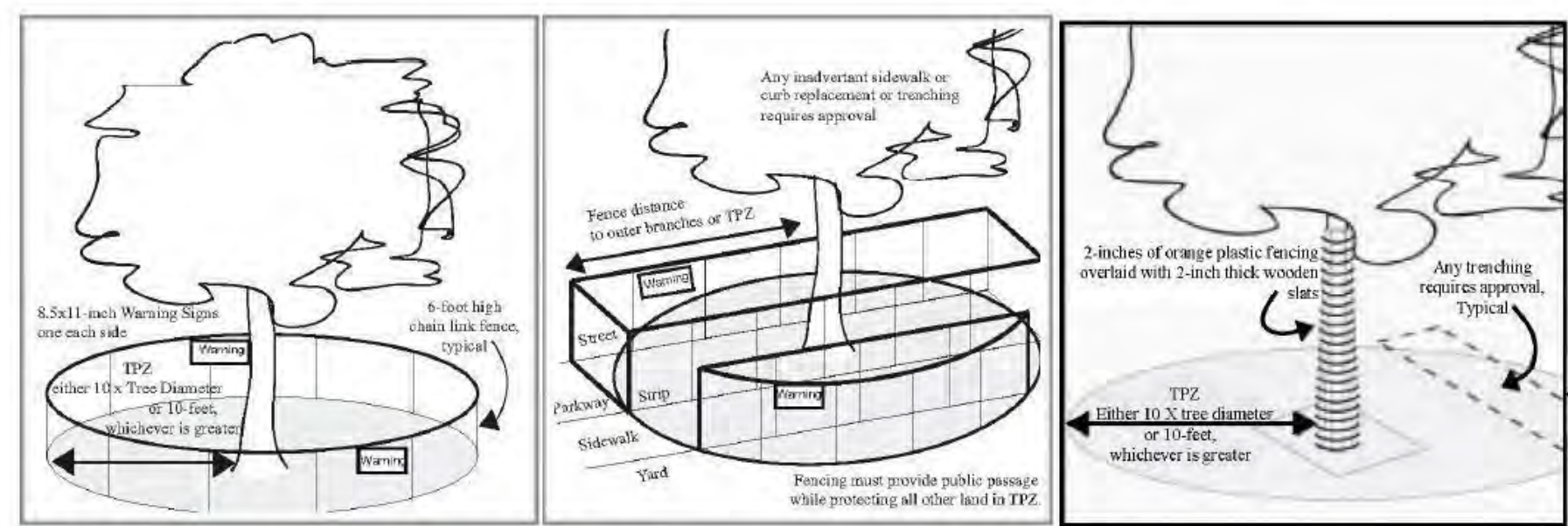
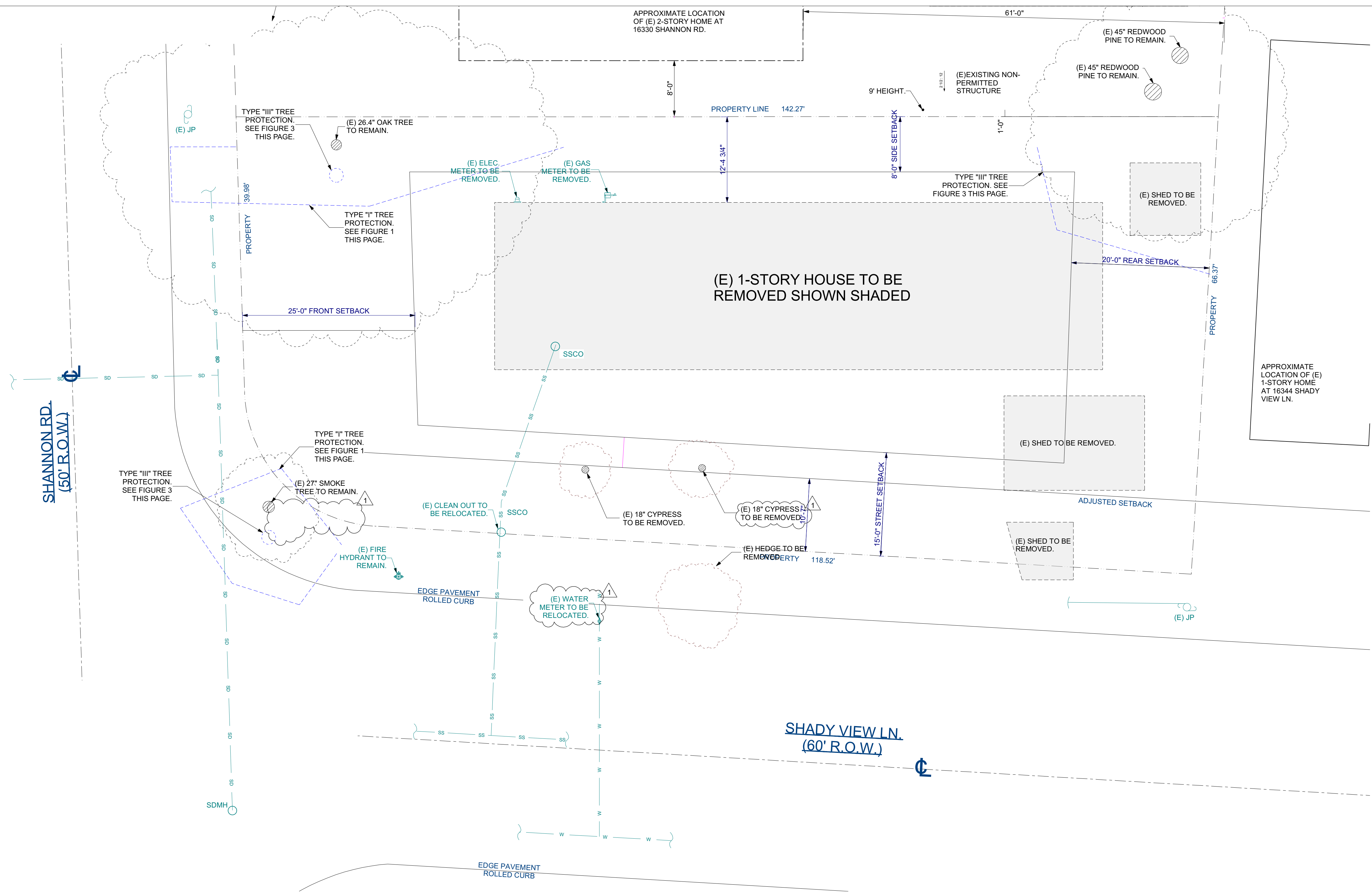
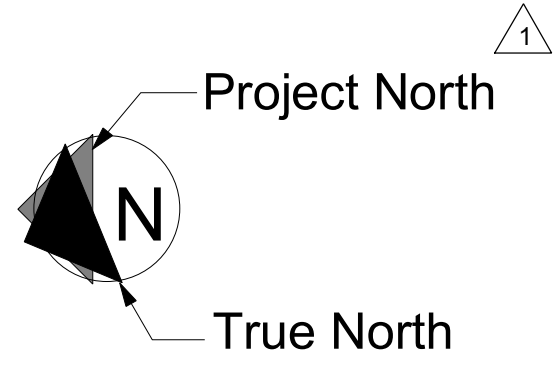


FIGURE 1: "TYPE I" TREE PROTECTION WITH FENCE PLACED AT A RADIUS OF TEN TIMES THE TRUNK DIAMETER.
 FIGURE 2: "TYPE II" TREE PROTECTION WITH FENCE PLACED ALONG THE SIDEWALK AND CURB TO ENCLOSE THE TREE.
 FIGURE 3: "TYPE III" TREE PROTECTION WITH TRUNK PROTECTED BY A BARRIER TO PREVENT MECHANICAL DAMAGE.

2 TREE PROTECTION DIAGRAMS
 No Scale



1 SITE DEMOLITION/TREE PROTECTION PLAN
 Scale: 1/8"=1'-0"

SEE CIVIL SHEET C-0 FOR MORE INFORMATION

DISCLAIMER: THIS DOCUMENT CONTAINS INFORMATION THAT IS INTENDED FOR THE USE OF THE PROFESSIONAL ENGINEER OR ARCHITECT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE: **SITE DEMO AND TREE PROTECTION.**

PROJECT DESCRIPTION:
Coulson Residence
 16336 Shady View Ln
 Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
 1794 The Alameda, San Jose CA, 95126
 P: (408) 295-7516
 F: (408) 286-6589
 LIC.# B-478455

DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	

A0.1

Single Family GreenPoint Checklist



The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category. Energy (30), Indoor Air Quality/Health (5), Resources (5), and Water (5). Please contact Build It Green for a list of qualified GreenPoint raters if you are interested in pursuing third-party verification.

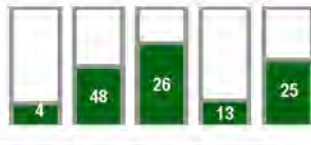


Table for CADIENTE RESIDENCE - ADU, sections A through D. Includes categories like SITE, FOUNDATION, LANDSCAPING, STRUCTURAL FRAME & BUILDING ENVELOPE with various checklist items and point values.

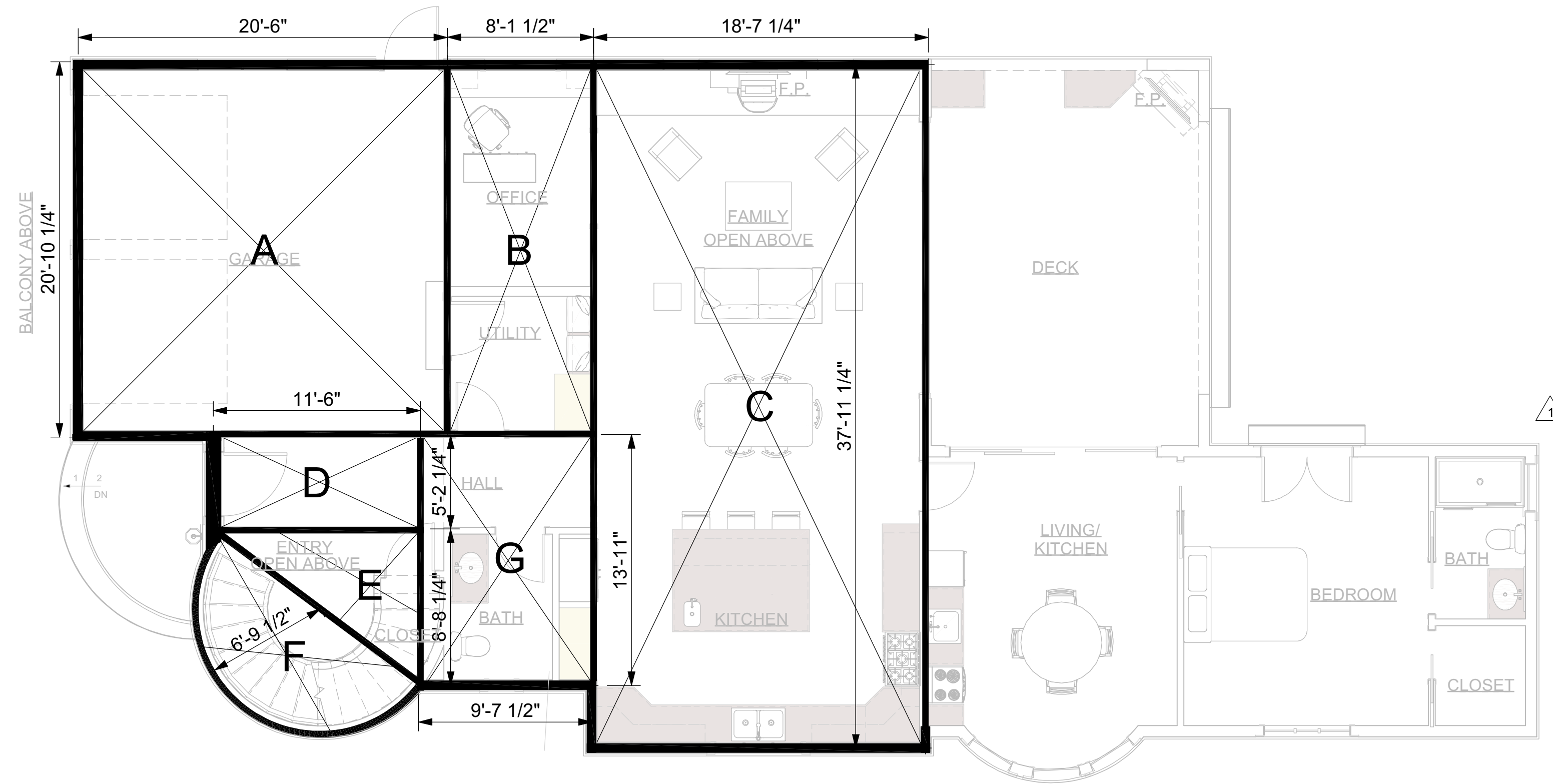
Table for CADIENTE RESIDENCE - ADU, sections E through I. Includes categories like EXTERIOR FINISH, INSULATION, PLUMBING, HEATING, VENTILATION & AIR CONDITIONING, and RENEWABLE ENERGY with various checklist items and point values.

Table for CADIENTE RESIDENCE - ADU, sections J through N. Includes categories like FINISHES, BUILDING PERFORMANCE, APPLIANCES AND LIGHTING, FLOORING, and OTHER with various checklist items and point values.

Table for CADIENTE RESIDENCE - ADU, sections O through S. Includes categories like INNOVATION, SUMMARY, and RENEWABLE ENERGY with various checklist items and point values.

Project has not yet met the following recommended minimum requirements: Total Project Score of At Least 50 Points

PROJECT DESCRIPTION: DeMatti Construction, Inc. Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032. SHEET TITLE: GREENPOINT RATED CHECKLIST. DRAWINGS PROVIDED BY: DeMatti Construction, Inc. PROJECT DESCRIPTION: Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032. DATE: 12/17/2018. SCALE: As shown. DRAWN BY: LL / JW. SHEET: A0.2



FIRST FLOOR:

LETTER	WIDTH	LENGTH	AREA
B	8'-1 1/2"	20'-10 1/4"	167.58
C	18'-7 1/4"	37'-11 1/4"	705.80
D	11'-6"	5'-2 1/4"	59.66
E	11'-6"	8'-8 1/4"	49.95
F	radius=	6'-9 1/2"	72.46
G	9'-7 1/2"	13'-11"	133.95

FIRST FLOOR TOTAL 1,189.40 SF

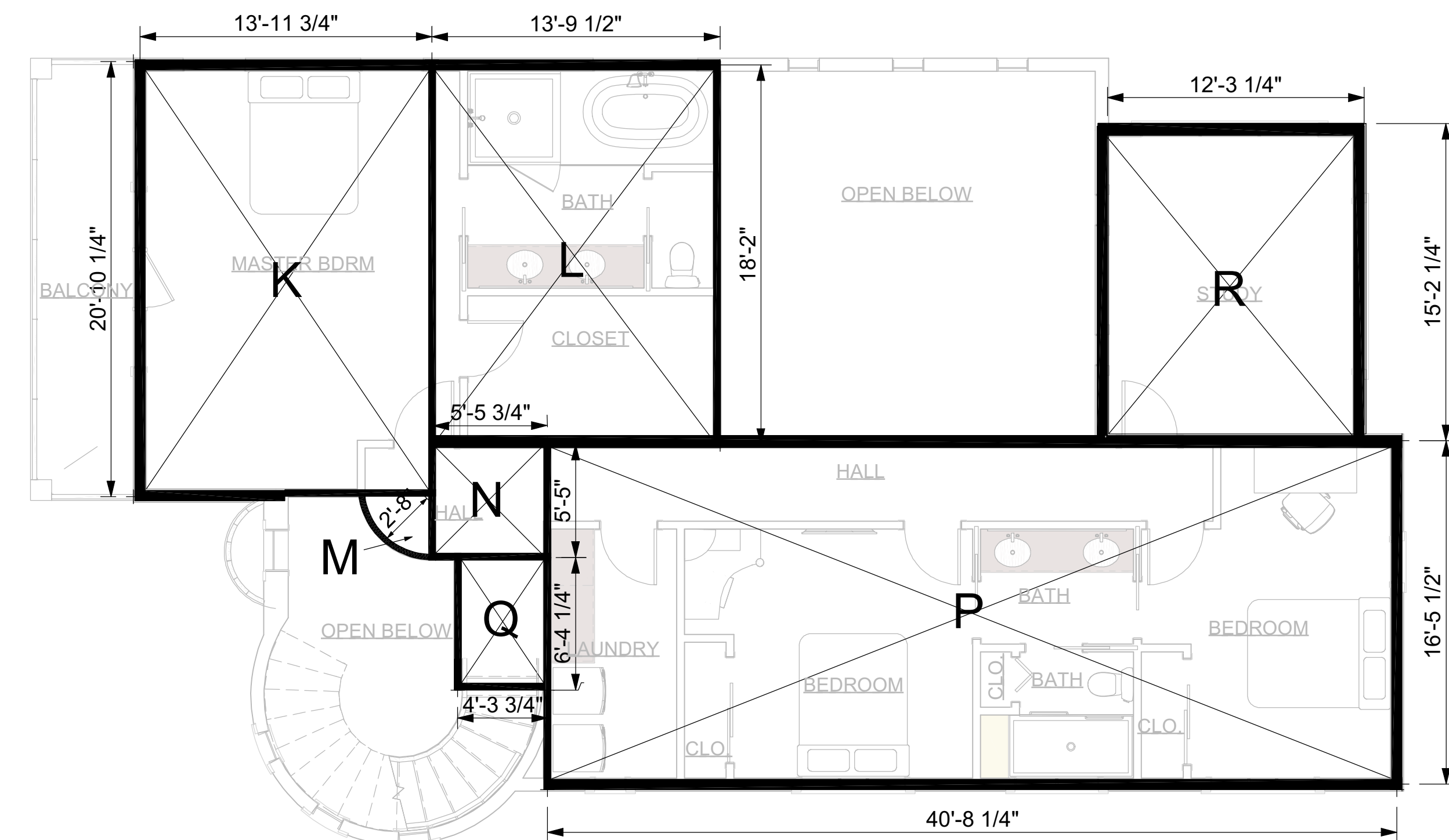
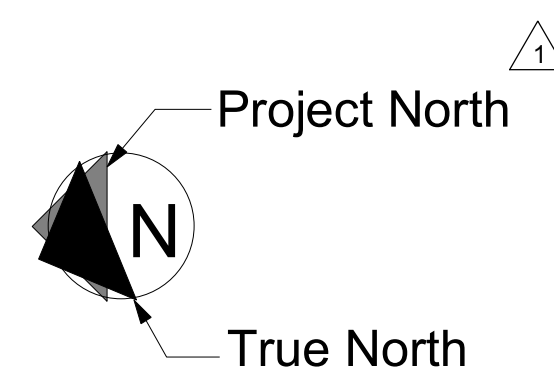
SECOND FLOOR:

LETTER	WIDTH	LENGTH	AREA
K	13'-11 3/4"	20'-10 1/4"	291.52
L	13'-9 1/2"	18'-2"	250.55
M	radius=	2'-8"	5.59
N	5'-5 3/4"	5'-5"	29.68
P	40'-8 1/4"	16'-5 1/2"	669.65
Q	4'-3 3/4"	6'-4 1/4"	26.68
R	12'-3 1/4"	15'-2 1/4"	186

SECOND FLOOR TOTAL 1,459.67 SF

TOTAL FLOOR AREA 2,649.07 SF
A - GARAGE FLOOR AREA 422.81 SF

1 PROPOSED FIRST FLOOR PLAN
Scale: 3/16"=1'-0"



2 PROPOSED SECOND FLOOR PLAN
Scale: 3/16"=1'-0"

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
FLOOR AREA DIAGRAMS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMatti Construction, Inc.
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P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A1.0

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS, STOVES).
- D. RECD RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFC) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:
 - A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO EXTERIOR.
 - B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
 - C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
 - D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A
- B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAB (JOINT APPENDIX B) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(K)(G)
- C. ALL JAB COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS AND VACANCY SENSORS.

CARBON MONOXIDE ALARMS:

- CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:
 - A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
 - B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
 - C. IN GROUP R-1 OCCUPANCIES, ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
 - D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
 - E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
 - F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/ ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB. LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30"
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 20'
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

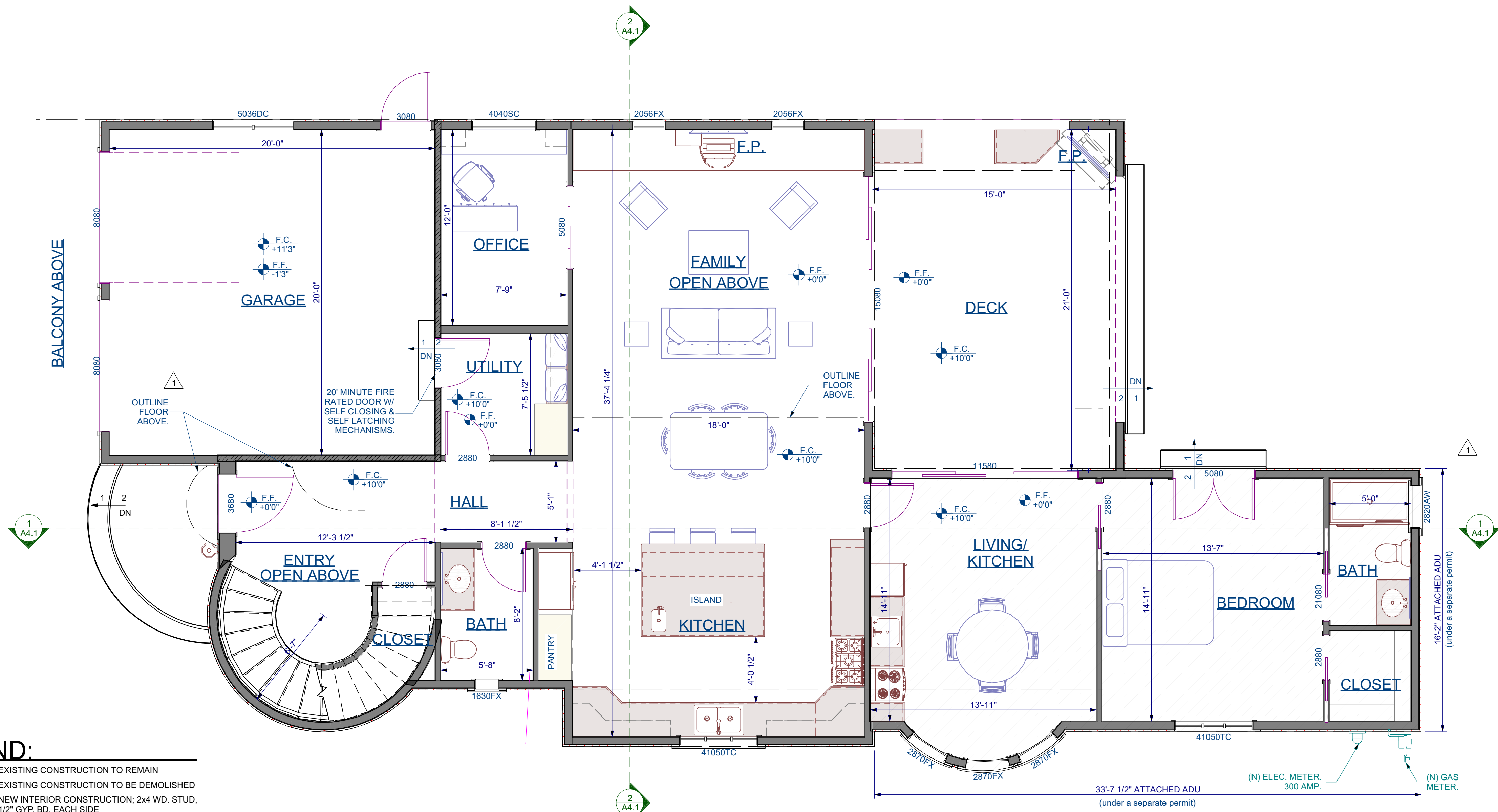
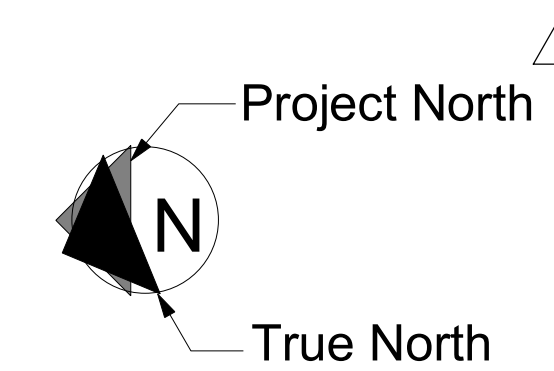
- WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

ELECTRIC VEHICLE (EV) CHARGING:

- ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:
 - A. A LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
 - B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
 - C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE".
 - D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INFERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIREPLACE:
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR CONSTRUCTION: 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
- NEW EXTERIOR CONSTRUCTION
- NEW 1-HR FIRE RATED WALL: 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED FIRST FLOOR PLAN
Scale: 1/4"=1'-0"

PROJECT DESCRIPTION: **Coulson Residence**
 16336 Shady View Ln
 Los Gatos, CA 95032

DRAWINGS PROVIDED BY: **DeMattel Construction, Inc.**
 1794 The Alameda, San Jose CA, 95126
 P: (408) 285-7516
 F: (408) 286-6589
 LIC.# B-476455

SHEET TITLE: **PROPOSED FIRST FLOOR PLAN**

DATE: 12/17/2018
 SCALE: As shown
 DRAWN BY: LL / JW
 SHEET: **A2.1**

PLANNING SET 10/3/2019

TYPICAL NOTES:

BATHROOM ELECTRICAL:

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS, STOVES).
- D. RECD RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.
- E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

LAUNDRY ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFC) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER.
- B. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY RECEPTACLE OUTLET.
- C. MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

LAUNDRY/BATHROOM VENTILATION:

FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW:

- A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO EXTERIOR.
- B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA.
- C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (I.E. DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS).
- D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTILATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A
- B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JAB (JOINT APPENDIX B) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(K)(G)
- C. ALL JAB COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS).
- F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS.
- G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS.
- H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF.
- I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY SENSORS.

CARBON MONOXIDE ALARMS:

CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS:

- A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM (S).
- B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- C. IN GROUP R-1 OCCUPANCIES, ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT PROTECTION.
- E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
- F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

SMOKE DETECTORS:

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT.
- C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/ ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

BATHROOM:

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE FLOOR.
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB, LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30" FLOOR LEVEL.
- B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED 20'
- C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO THE UNIT.
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT.
- E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

KITCHEN VENTILATION:

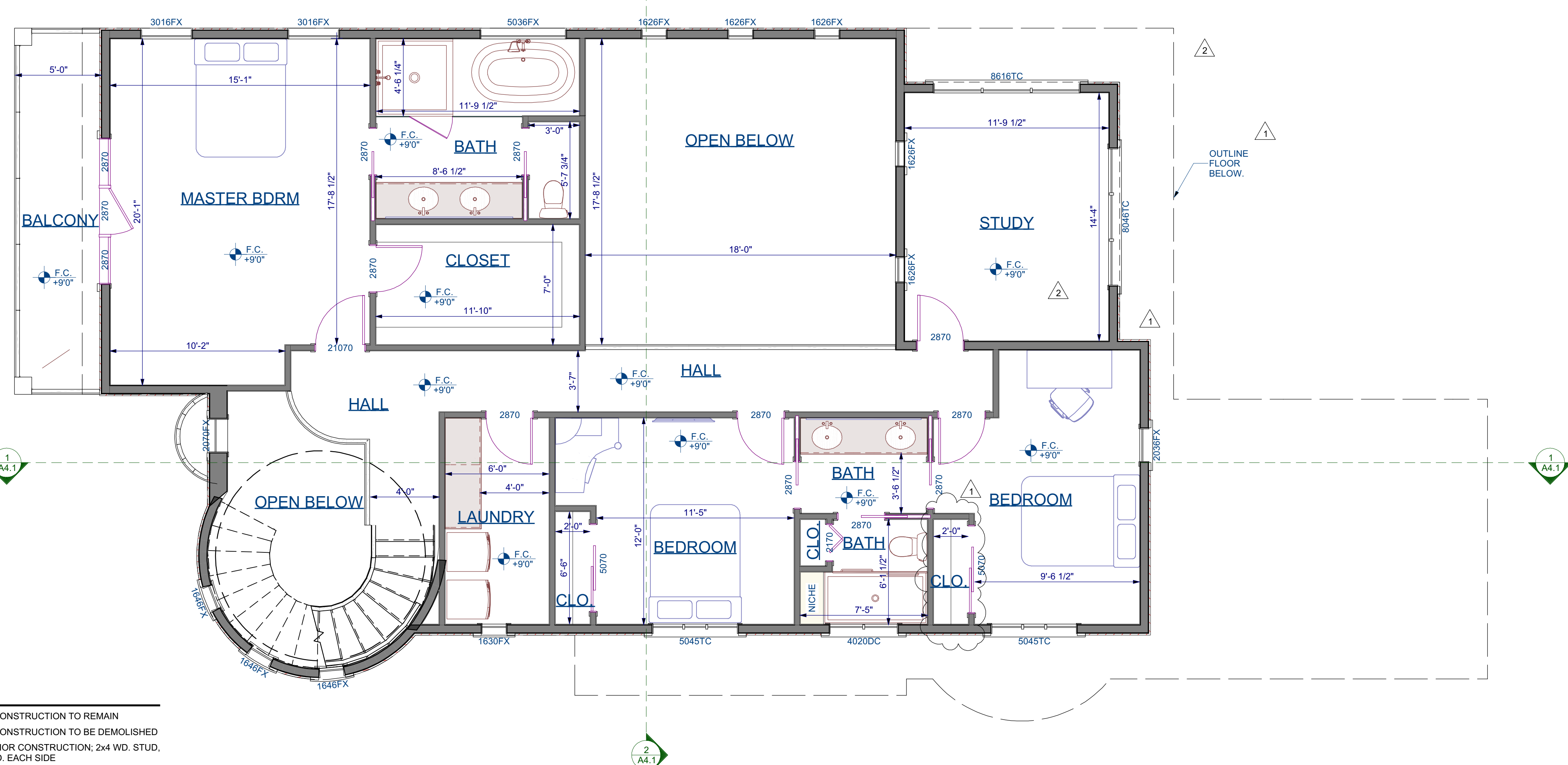
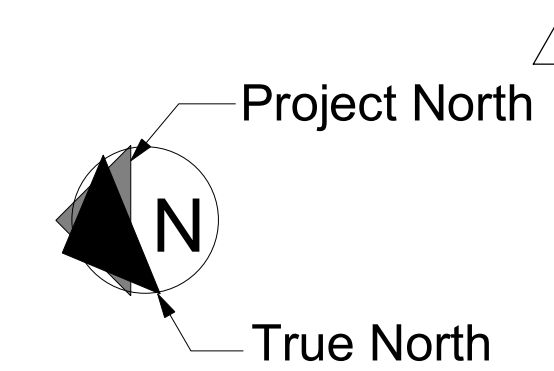
WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

ELECTRIC VEHICLE (EV) CHARGING:

- A. LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
- B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV CAPABLE".
- D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

TOWN STANDARDS:

- RESIDENTIAL ACCESSIBILITY
 - A. ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
 - B. THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INFERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE EDGE.
 - C. A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.
- FIREPLACE:
 - A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



LEGEND:

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR CONSTRUCTION, 2x4 WD. STUD, 1/2" GYP. BD. EACH SIDE
- NEW EXTERIOR CONSTRUCTION.
- NEW 1-HR FIRE RATED WALL, 2x4 WD. STUD, 5/8" TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR LOCATIONS.

1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4"=1'-0"

PROJECT TITLE: **PROPOSED SECOND FLOOR PLAN**
 PROJECT DESCRIPTION: **Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032**
 DRAWINGS PROVIDED BY: **DeMatti Construction, Inc.**
 1794 The Alameda, San Jose CA, 95126
 P: (408) 295-7516
 F: (408) 286-6589
 LIC.# B-478455
 DATE: 12/17/2018
 SCALE: As shown
 DRAWN BY: LL / JW
 SHEET: **A2.2**
 PLANNING SET 10/3/2019



2 SOUTH REAR EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



1 NORTH FRONT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES:
A. DECORATIVE WOOD, IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019
2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A3.1



2 WEST RIGHT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



1 EAST LEFT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES:
A DECORATIVE WOOD, IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2

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1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019
2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
PROPOSED EXTERIOR ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
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LIC.# B-478455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
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SHEET:

A3.2



2 BUILDING SECTION
Scale: 1/4"=1'-0"



1 BUILDING SECTION
Scale: 1/4"=1'-0"

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	03/26/2019

SHEET TITLE:
PROPOSED SECTIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
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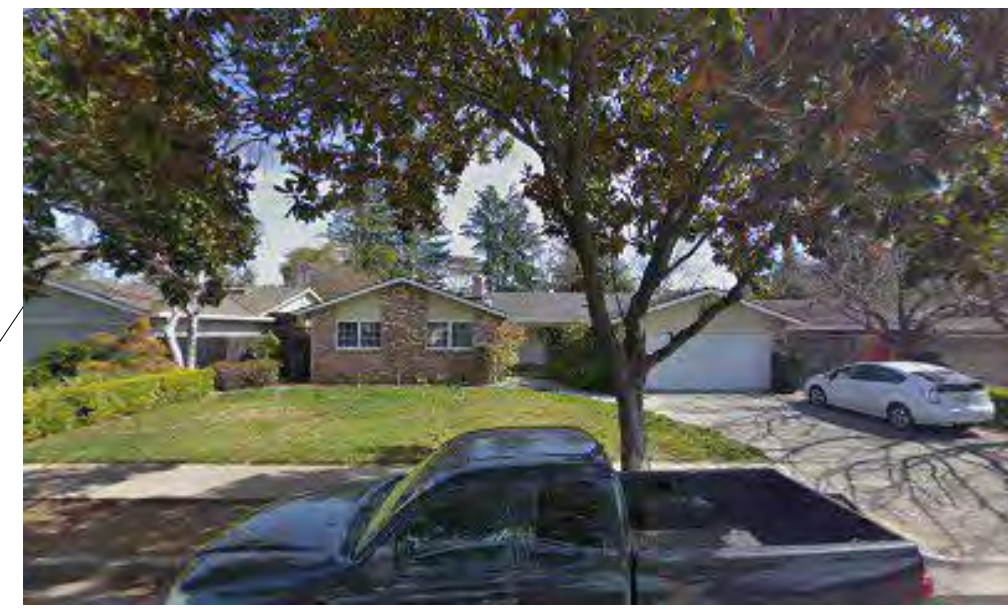
DRAWN BY:
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SHEET:

A4.1



100 HILOW CT.



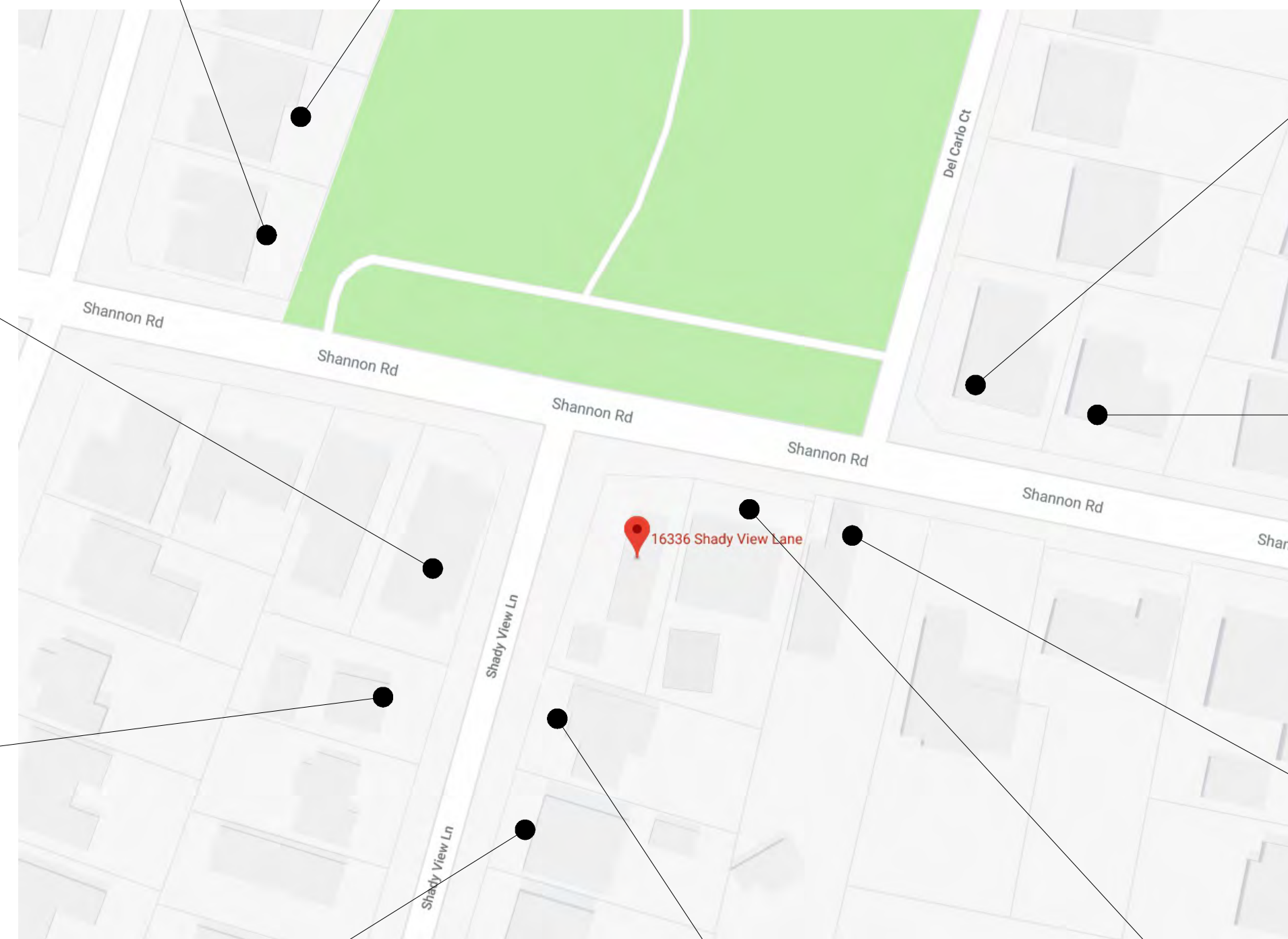
104 HILOW CT.



100 DEL CARLO CT.



16337 SHADY VIEW LN.



PROJECT VICINITY MAP.



16311 SHANNON RD.



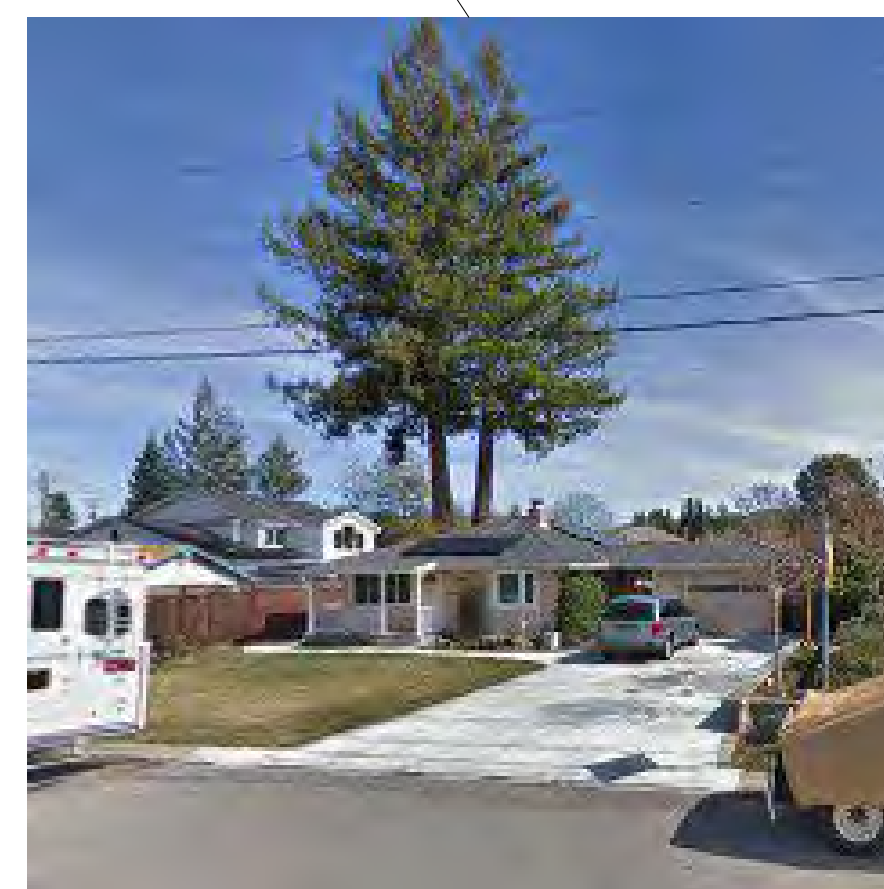
16347 SHADY VIEW LN.



16310 SHANNON RD.



16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



16330 SHANNON RD.

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NO.	DESCRIPTION	BY	DATE

SHEET TITLE:
NEIGHBORHOOD
PHOTOGRAPHS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattel Construction, Inc.
1794 The Alameda, San Jose, CA, 95126
P: (408) 295-7516
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DATE:
12/17/2018

SCALE:
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DRAWN BY:
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SHEET:

A6.1

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NO.	DESCRIPTION	BY	DATE
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2	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

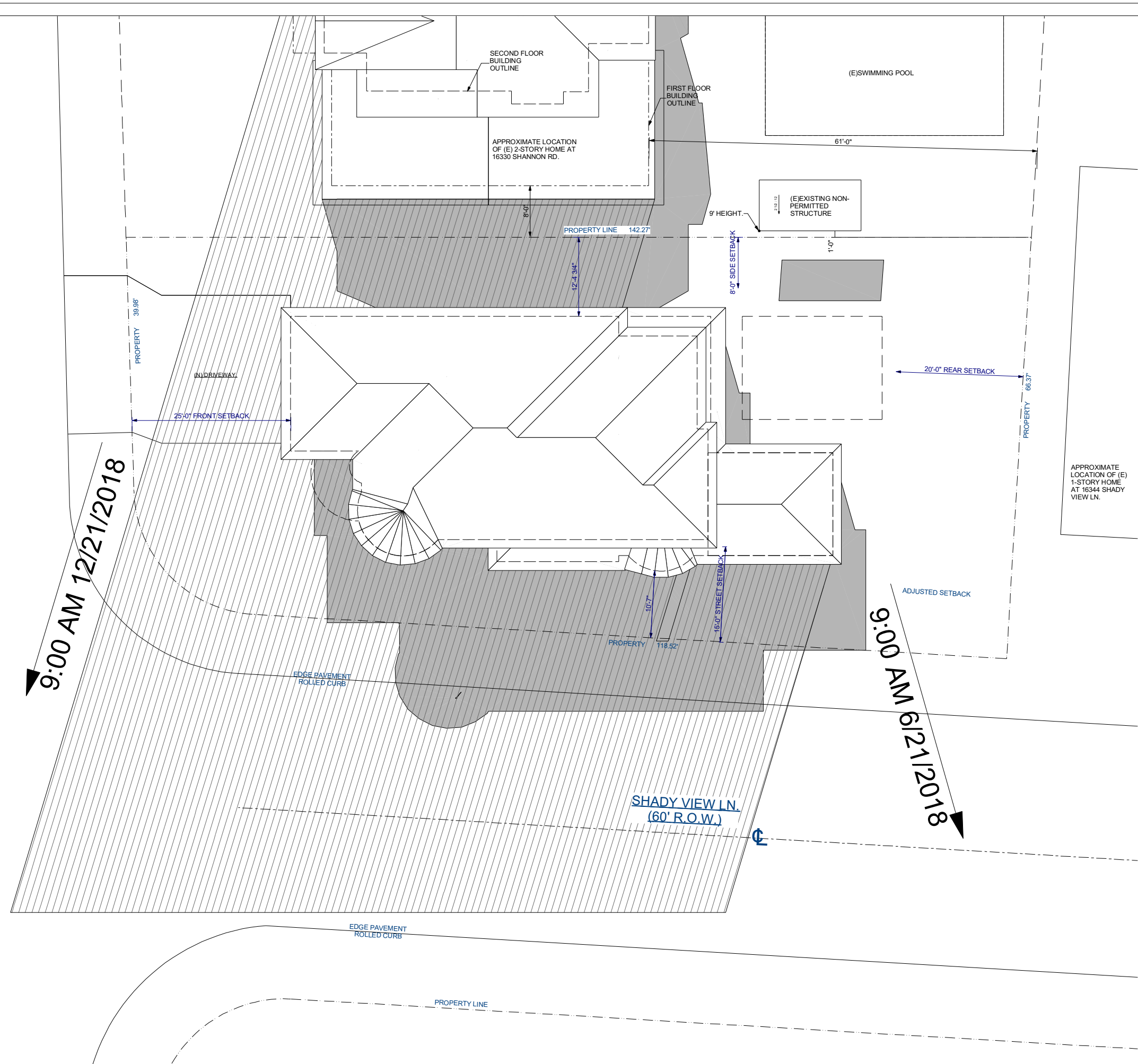
SHEET TITLE:
SHADOW STUDY

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

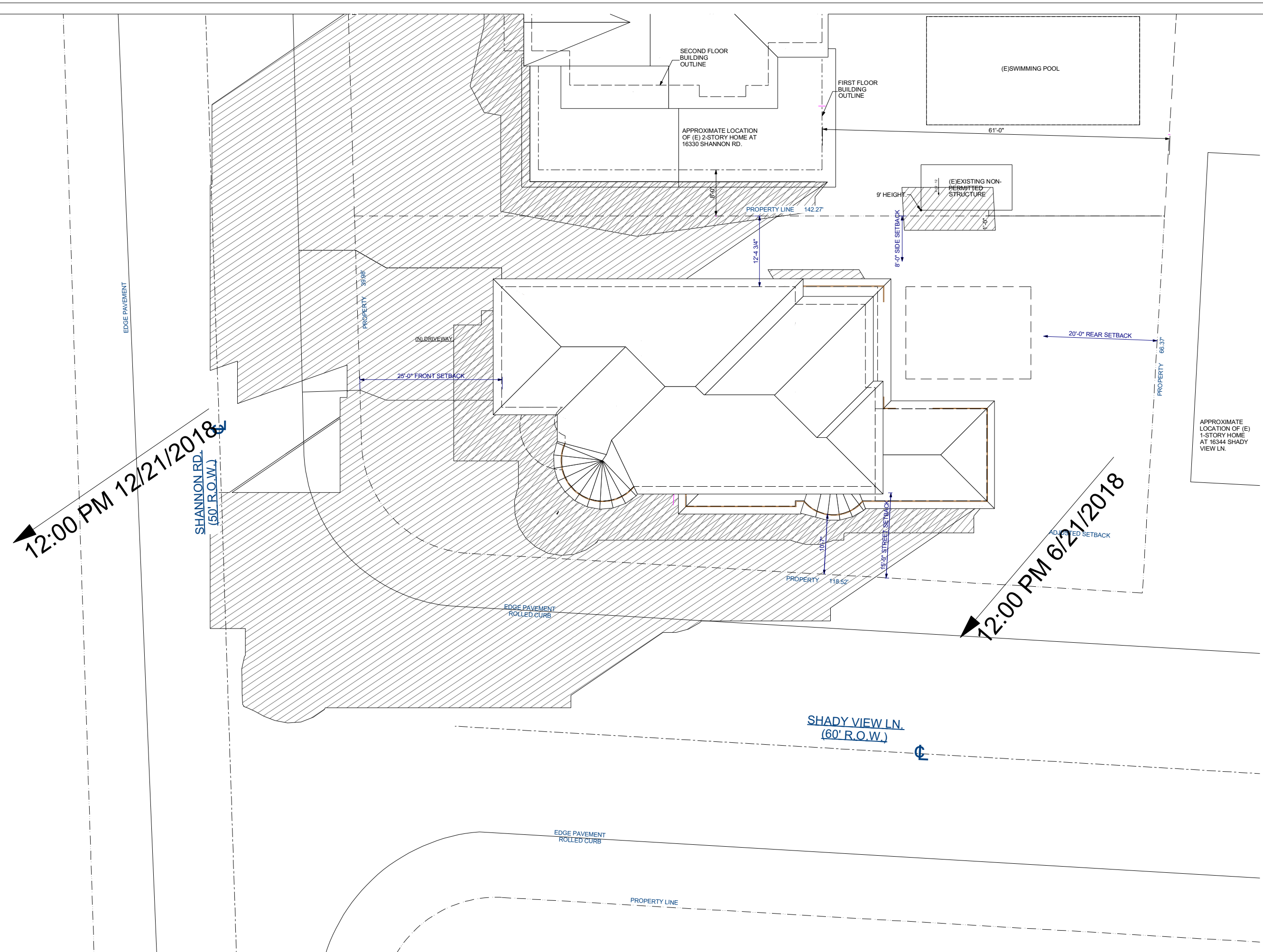
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LIC.# B-478455

DATE:	12/17/2018
SCALE:	As shown
DRAWN BY:	LL / JW
SHEET:	A6.2

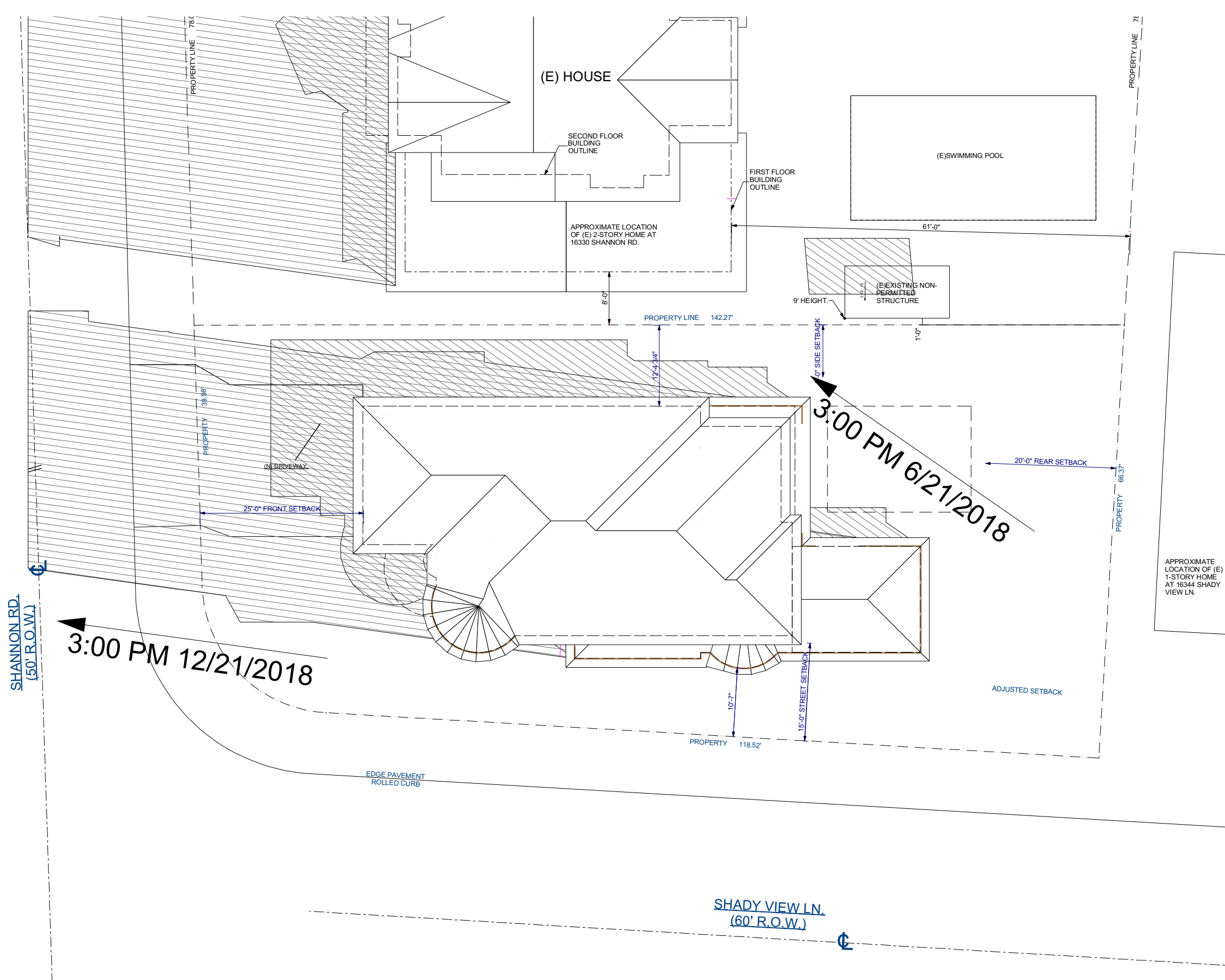
PLANNING SET 10/3/2019



1 PROPOSED FIRST FLOOR PLAN
Scale: 1/16"=1'-0"
June 21st 9:00am
December 21st 9:00am

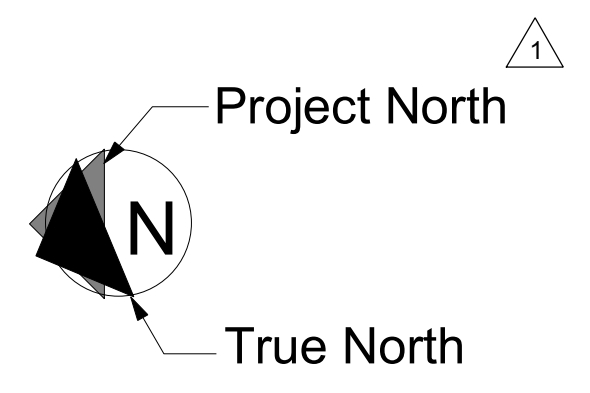


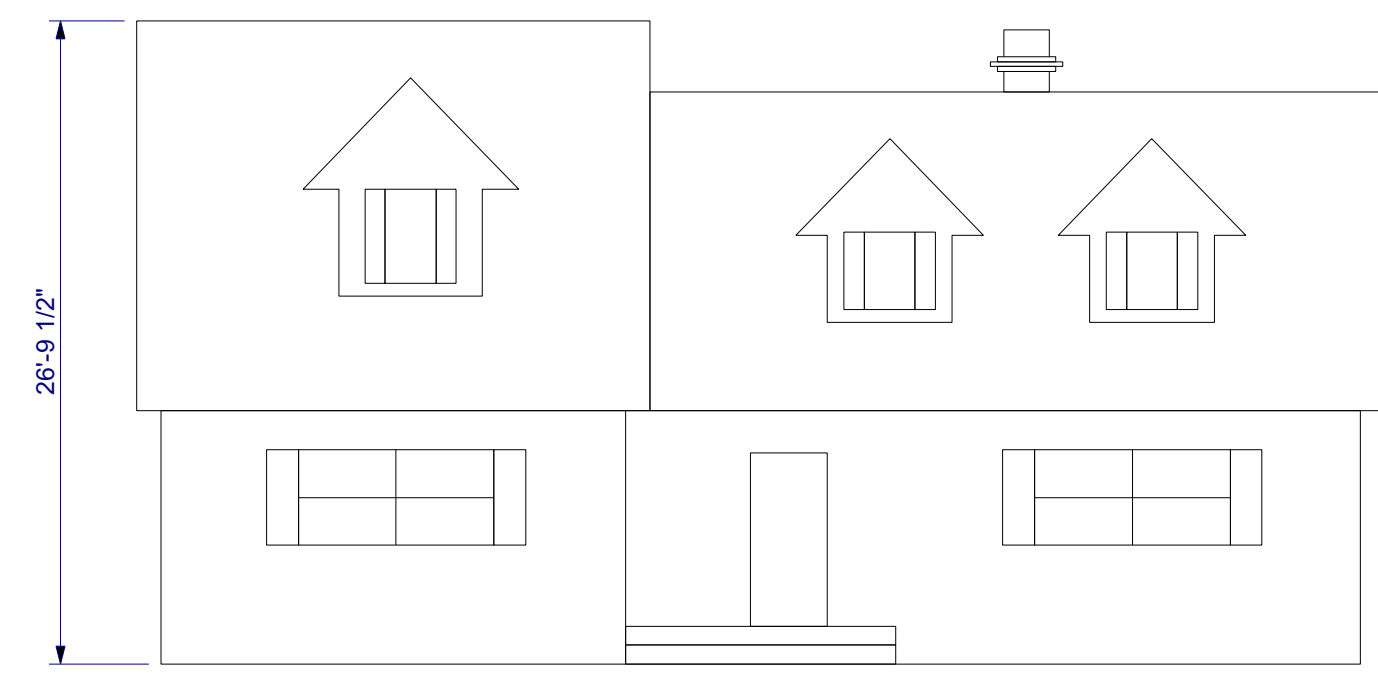
2 PROPOSED FIRST FLOOR PLAN
Scale: 1/16"=1'-0"
June 21st 12:00pm
December 21st 12:00pm



3 PROPOSED FIRST FLOOR PLAN
Scale: 1/16"=1'-0"
June 21st 3:00pm
December 21st 3:00pm

LEGEND:
 JUNE SHADOW
 DECEMBER SHADOW





16347 SHADY VIEW LN.



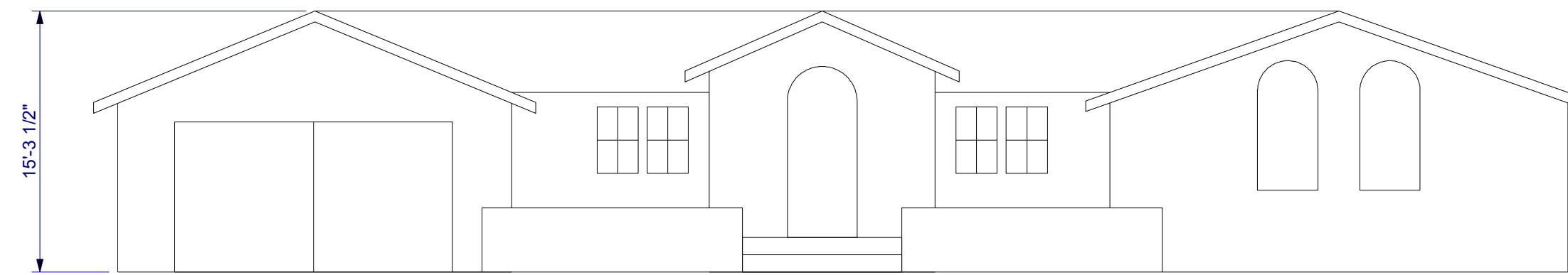
16336 SHADY VIEW LN.



16356 SHADY VIEW LN.



16344 SHADY VIEW LN.



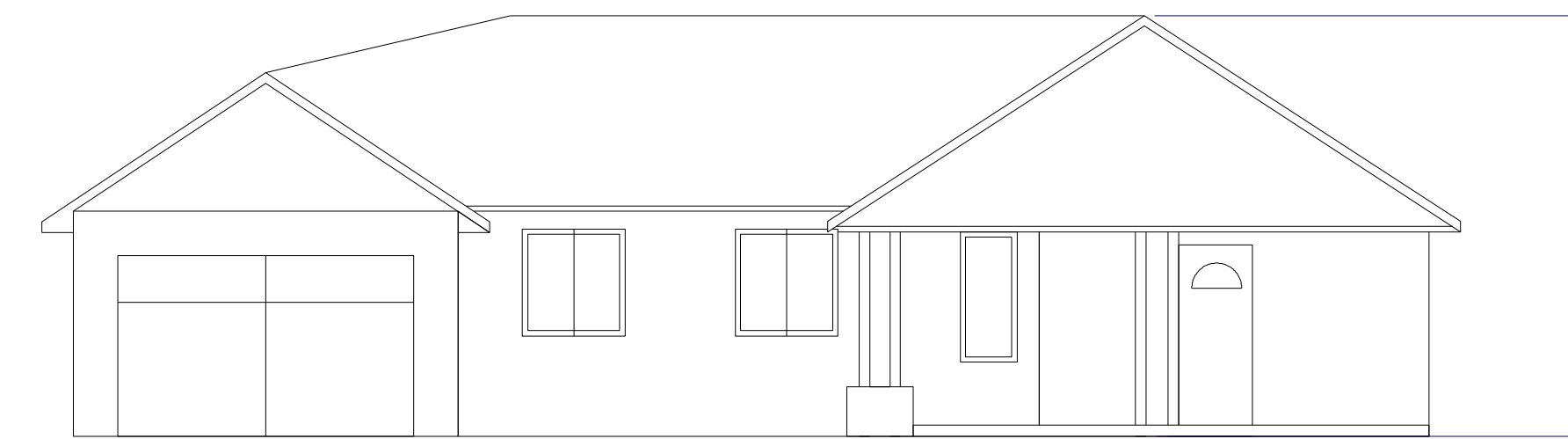
16337 SHADY VIEW LN.



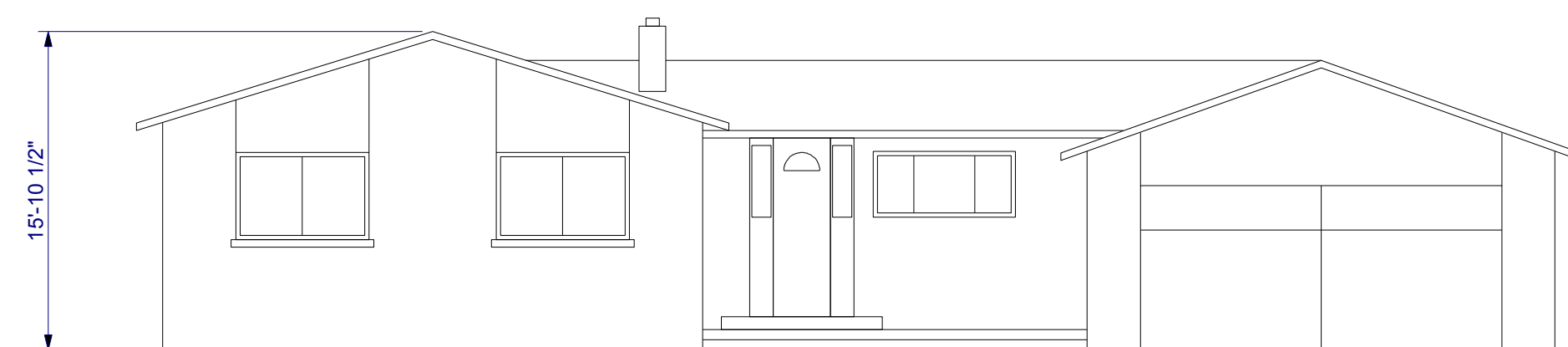
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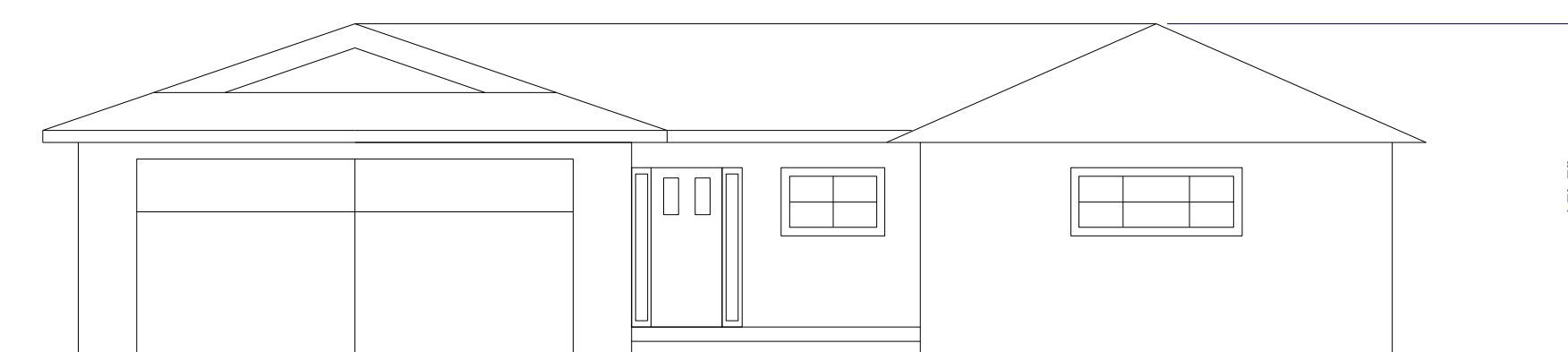
16330 SHANNON RD.



100 DEL CARLO CT.



104 HILOW CT.



100 HILOW CT.

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NO.	DESCRIPTION	BY	DATE
1	RESPONSES TO PLAN CHECK COMMENTS	LL	07/09/2019

SHEET TITLE:
SCHEMATIC
NEIGHBORHOOD
ELEVATIONS

PROJECT DESCRIPTION:
Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY:
DeMattei Construction, Inc.
1794 The Alameda, San Jose CA, 95126
P: (408) 285-7516
F: (408) 286-6589
LIC.# B-476455

DATE:
12/17/2018

SCALE:
As shown

DRAWN BY:
LL / JW

SHEET:

A6.3



4



3



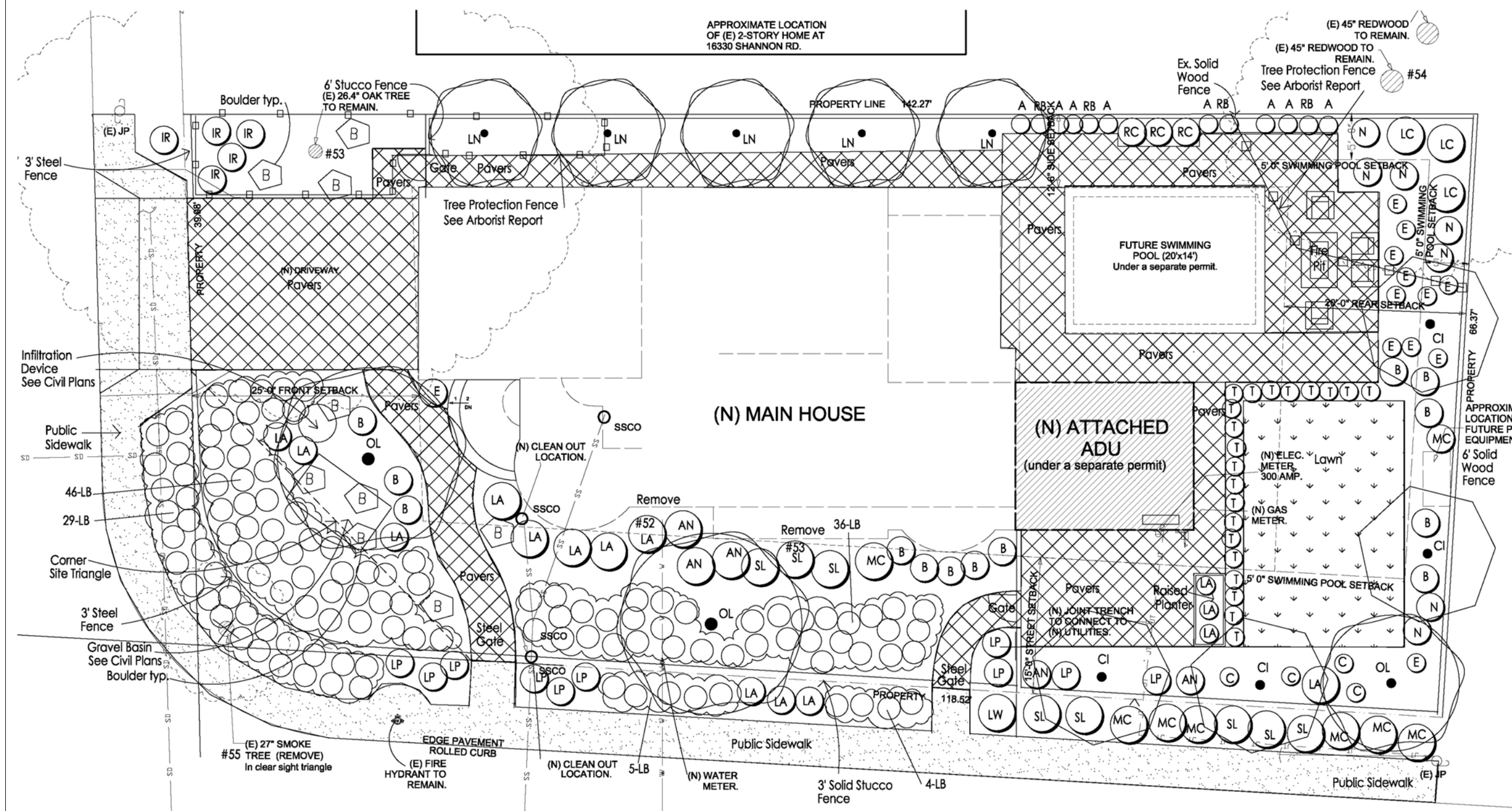
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1

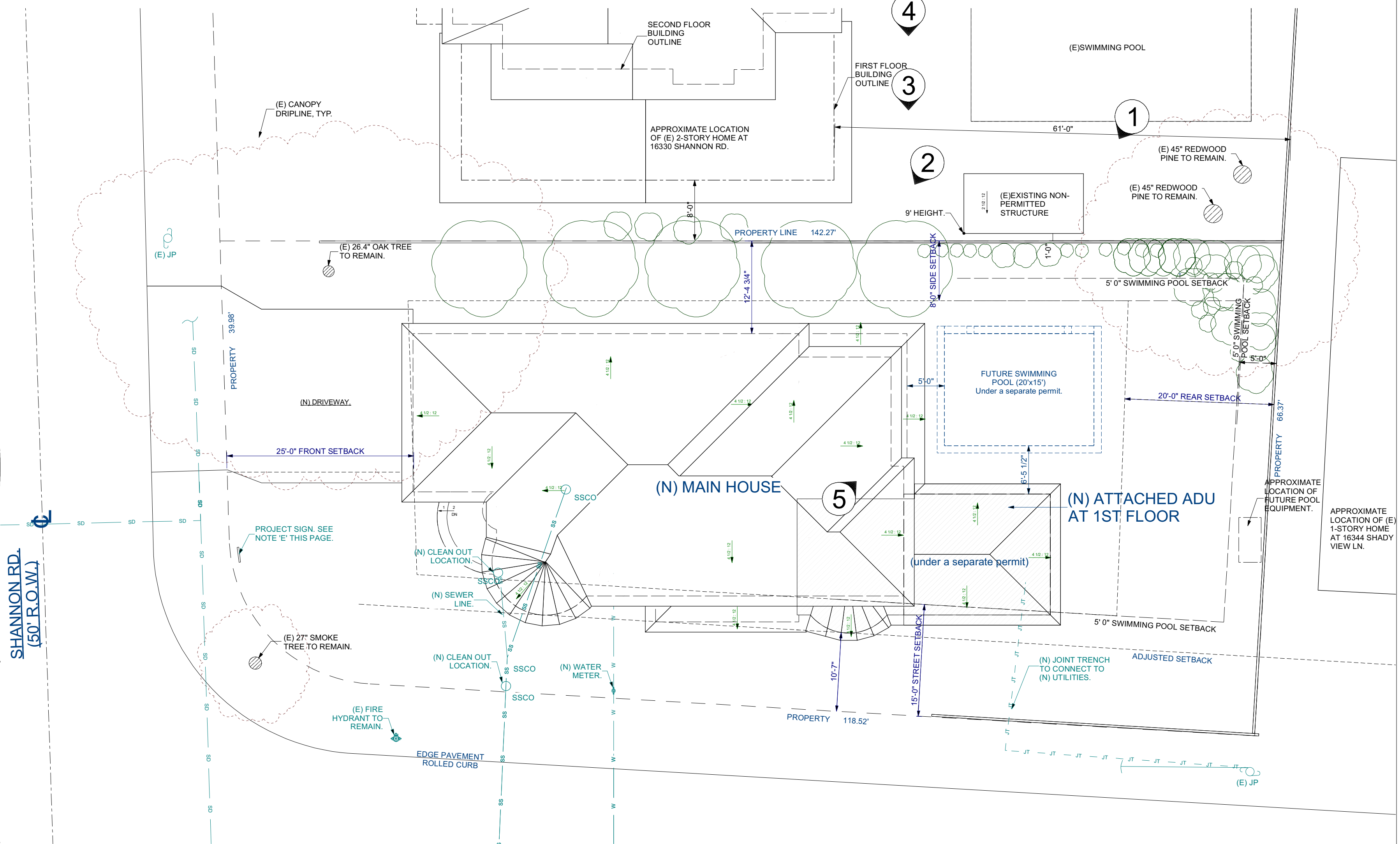


5



2 LANDSCAPE PLAN
Not To Scale

16360 SHANNON ROAD



1 SITE/ROOF PLAN
Scale: 1"=10'

PLANNING SET 10/3/2019

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