#### **Ryan Safty**

From:

Jim Whitney < jimw@demattei.com>

Sent:

Thursday, October 3, 2019 4:24 PM

To:

Nadia Costa

Cc:

Town Manager; Attorney; Ryan Safty; Travis Brooks; mattcurrie@me.com; Shari Santos;

Lerika Liscano; Linda Baron; Art Coon

Subject:

RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

**Attachments:** 

Coulson - Privacy Exhibit - 2019-08-25r.pdf; Coulson - Privacy Tree Screen Reduction

Set - 2019-10-03r.pdf

RECEIVED

Follow Up Flag: Flag Status:

Follow up

Flagged

OCT 03 2019

TOWN OF LOS GATOS PLANNING DIVISION

Hello Nadia,

Attached please find a comprehensive PDF copy of the Planning set for 16336 Shady View. This set of drawings reflects all of the changes to date as well as the new privacy tree screen proposal. As you will see, we have reduced the number of trees to something that we feel is a bit more reasonable for both irrigation and maintenance but still provides ample screening. Also attached is a PDF copy of the revised Privacy Exhibit which we have been providing to both your client and the town as a tool to convey our efforts to mitigate the privacy concerns.

Please feel free to contact me with any questions.

Thank You,
Jim Whitney
Architectural Project Manager,
IT Oversight

Building Relationships
1794 The Alameda

Construction Inc.

San Jose, CA 95126

408.350.4200 p 408.674.0440 c

website | facebook | Houzz

From: Nadia Costa [mailto:nadia.costa@msrlegal.com]

**Sent:** Wednesday, October 2, 2019 3:07 PM **To:** 'Jim Whitney' <jimw@demattei.com>

Cc: 'manager@losgatosca.gov' <manager@losgatosca.gov>; 'attorney@losgatosca.gov' <attorney@losgatosca.gov>;

'Ryan Safty' <RSafty@losgatosca.gov>; Travis Brooks <travis.brooks@msrlegal.com>; 'mattcurrie@me.com'

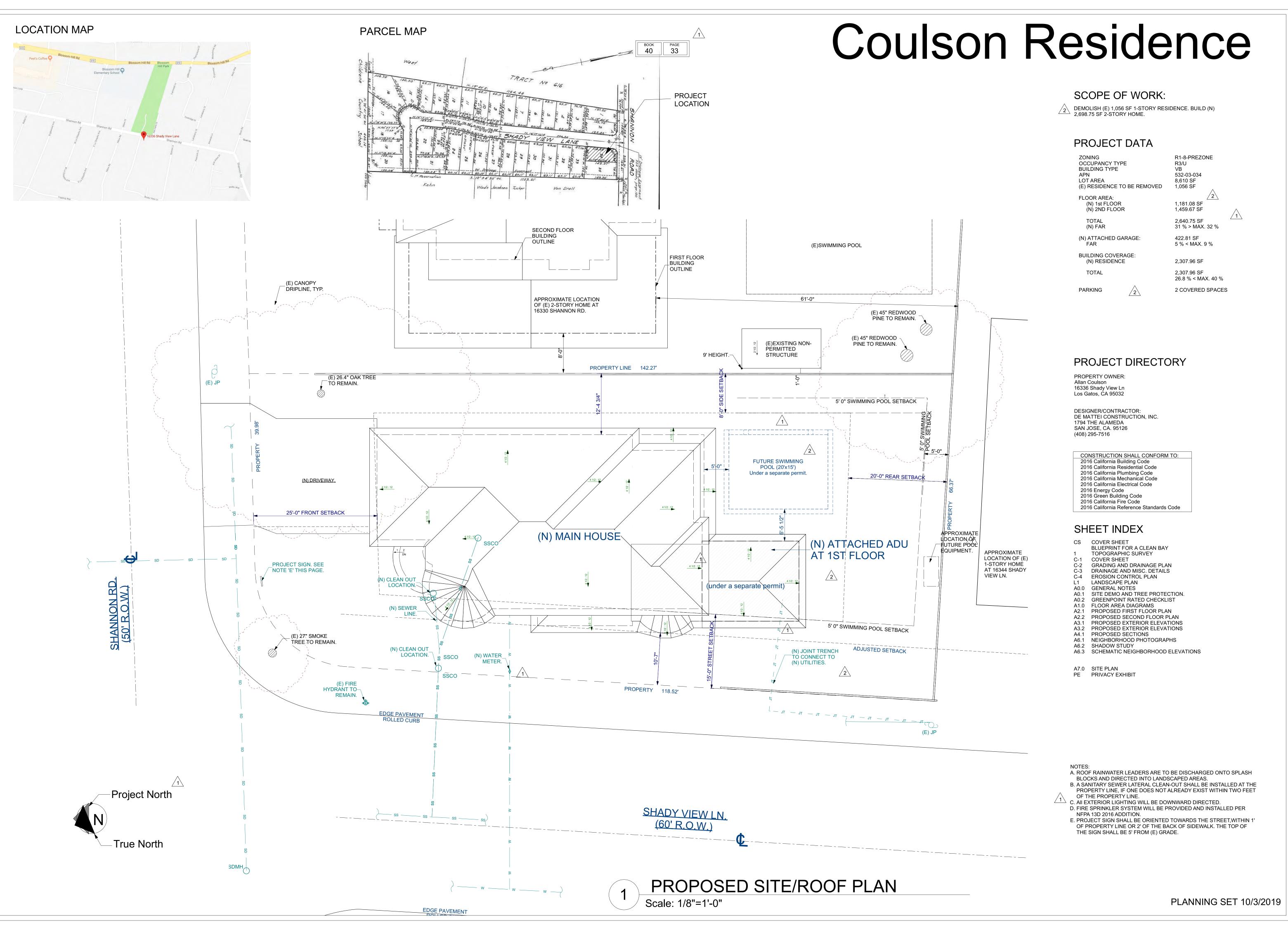
<mattcurrie@me.com>; Shari Santos <shari.santos@msrlegal.com>; 'Lerika Liscano' <lerika@demattei.com>; 'Linda

Baron' < lbaron@demattei.com>; Art Coon < arthur.coon@msrlegal.com>

Subject: RE: 16336 Shady View Lane Development [IWOV-iManage.FID1007514]

Good afternoon Jim:

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LECK COMMENTS LL 03/26/2019
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DESCRIPTION
RESPONSES TO PLAN CHECK COMM
RESPONSES TO PLAN CHECK COMM

OVER SHEET

16336 Shady View Ln Los Gatos, CA 95032

da, San Jose,CA. 95126 18) 295-7516 18) 286-6589 # B-478455

**DeMattei Constr**1794 The Alameda, San
P: (408) 295F: (408) 286-

DATE:

DATE: 12/17/2018

SCALE:

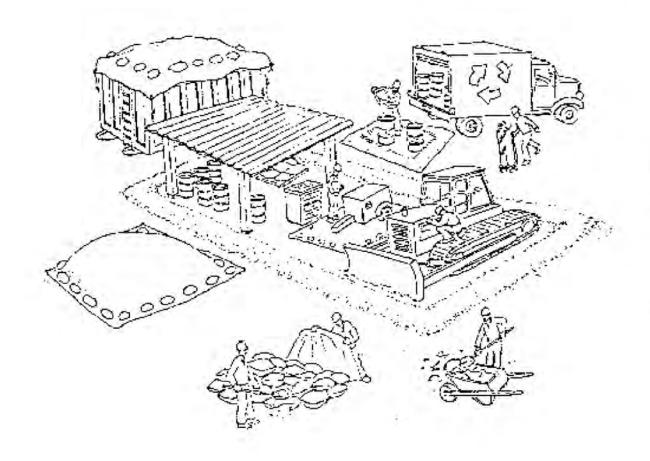
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# Pollution Prevention — It's Part of the Plan



# Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



# Materials storage & spill cleanup

# Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

# Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

# Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.



Vehicle and equipment

- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



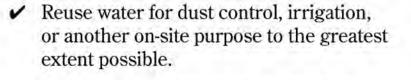
# Earthwork & contaminated soils

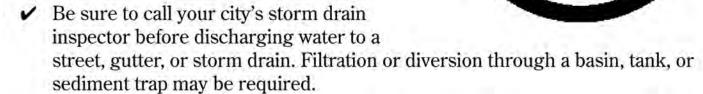
- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fastgrowing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- Manage disposal of contaminated soil according to Fire Department instructions.

# Dewatering operations





✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

# Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

# Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Place drip pans or absorbent material under paving equipment when not in use.
- Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

Do not use water to wash down fresh asphalt concrete pavement.

# Concrete, grout, and mortar storage & waste disposal

- ✔ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

# Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

PLANNING SET 10/3/20/19

DISCLAMMER:
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Coulson Residence
16336 Shady View Ln
Los Gatos, CA 95032

DRAWINGS PROVIDED BY: **DeMattei Construction, Inc.**1794 The Alameda, San Jose, CA. 95126
P: (408) 295-7516
F: (408) 286-6589

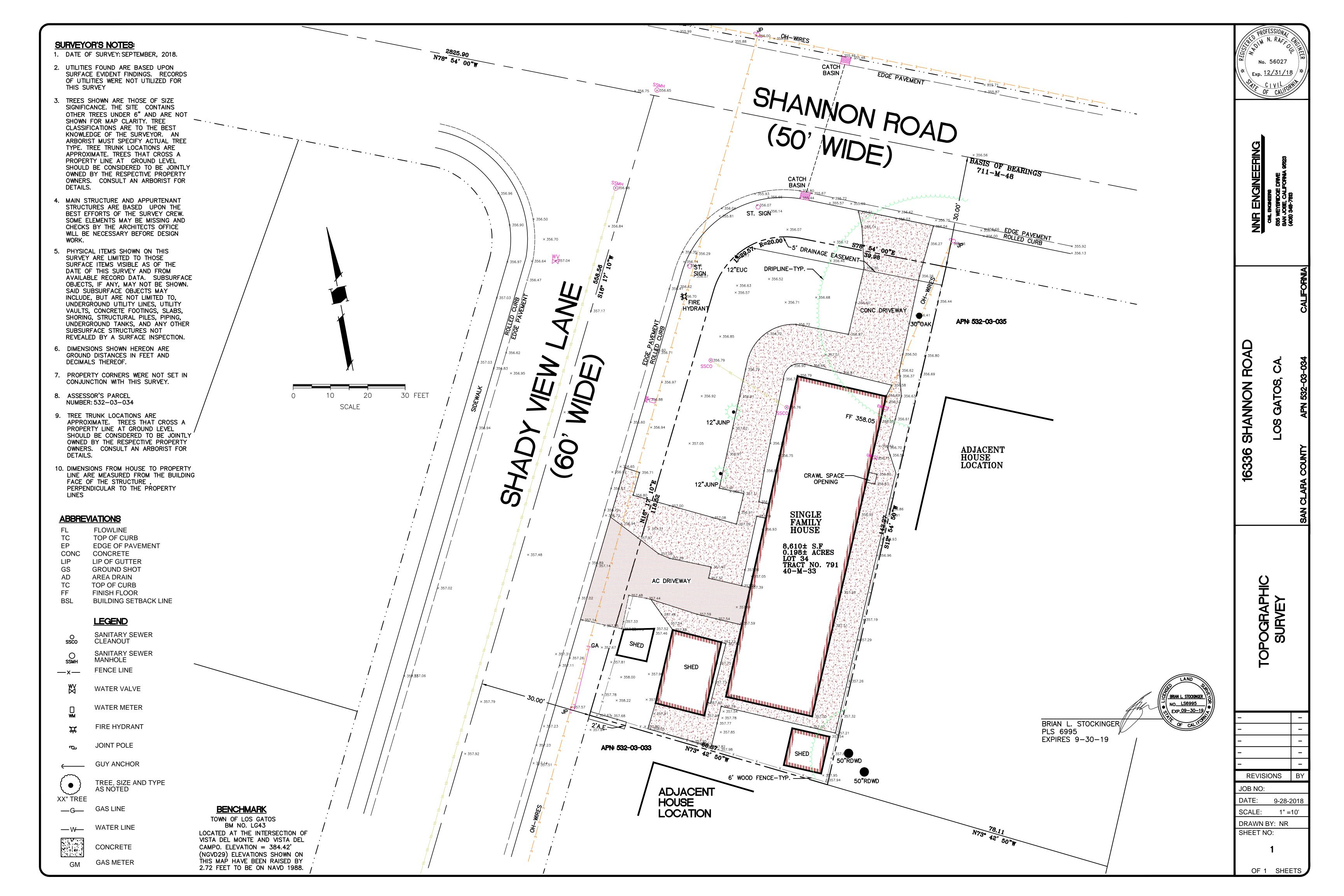
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# STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE TOWN OF LOS GATOS GRADING ORDINANCE, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030
- 3. A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE DEPARTMENT OF PARKS AND PUBLIC WORKS PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT 408.399.5771 AT LEAST 48 HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE: A. A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL. WORKING HOURS, SITE MAINTENANCE AND OTHER
- CONSTRUCTION MATTERS: B. ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS. OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS. PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF 48 HOURS BUT NOT MORE THAN 14 DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- 10. THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
- A. RETAINING WALL—TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DEPARTMENT)
- B. TOE AND TOP OF CUT AND FILL SLOPES

- 12. THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY
- OCCUPANCY PERMIT IS GRANTED. 13. ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVE-ABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- 16 THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND /PROTECTION TO THE PUBLIC AT ALL

7.	OWNER/APPLICANT:	PHONE:
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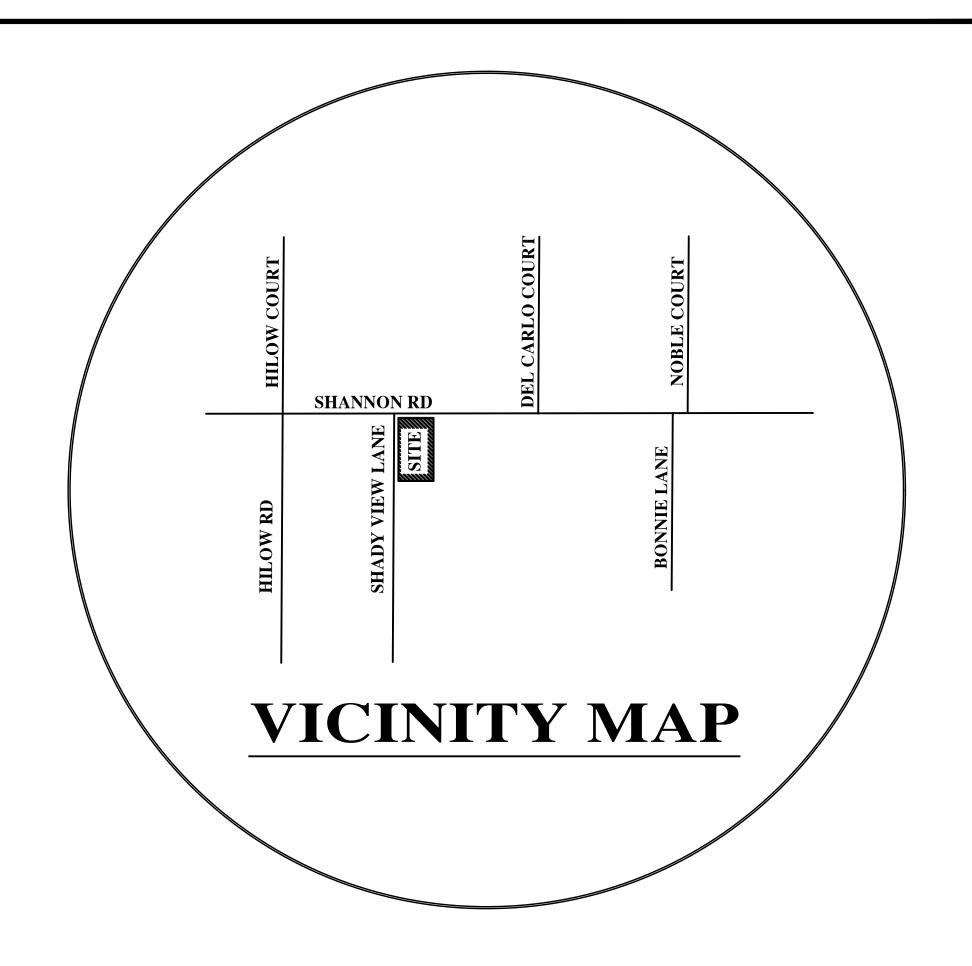
- 18. GENERAL CONTRACTOR (IF AVAILABLE): \_ 19. GRADING CONTRACTOR (IF AVAILABLE): \_\_\_\_\_PHONE: \_\_\_\_\_
- 21. WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- 22. THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- 23 A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- 24. NO CROSS LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORM WATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- 25. IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- 26. GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- 27. GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN, THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ONSITE AT ALL TIMES. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR ONTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

#### **UTILITY NOTES:**

- 1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- 2. CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- 3. CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES, PER PG&E STANDARDS.
- 4. CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- 5. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- 6. USE A COMBINATION OF BATTERY OPERATED/GENERATOR AND POWER OPERATED SUMP PUMPS TO ASSURE THEIR OPERATION IN CASE OF POWER FAILURE.

#### **GENERAL NOTES:**

- EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSH'S LOCAL OFFICE: (510) 794-2521.
- 2. PRIOR TO REQUESTING A FOUNDATION INSPECTIONS BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT ( IN WRITING) WHICH SHALL STATE THE FOLLOWING:
- a. THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
- b. THE FOUNDATION AND OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- 3. PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD. FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION



#### **LEGEND DESCRIPTION** PROPERTY LINE CENTERLINE SANITARY SEWER STORM DRAIN LINE \_\_\_\_\_SD \_\_\_\_SD \_\_\_\_SD \_\_\_\_SD \_\_\_\_SD \_\_\_\_SD \_\_\_\_SD \_\_\_ ——E ——E ——E ——E ——E ——E — ELECTRICAL LINE JOINT TRENCH GAS LINE DRAINAGE FLOW REMOVE TREE OVERLAND RELEASE

## **ABBREVIATION**

۸D	AREA DRAIN

- CLEAN-OUT EXISTING
- FINISH GRADE FL FLOW LINE
- FINISH SLAB FS INV INVERT
- (N) NEW
- SANITARY SEWER
- SSCO SANITARY SEWER CLEANOUT
- SD STORM DRAIN

#### **IMPERVIOUS COVERAGE (S.F.)**

EXISTING	REPLACED	NEW
2,552	1,359	1,327
2,971	328	148
		351
5,523	1,687	1,826
	2,552	2,971 328

TOTAL NEW & REPLACED IMPERVIOUS AREA=3,513 S.F.

### SHEET INDEX

COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
CROSS SECTIONS AND MISC. DETAILS	C-3
EROSION CONTROL PLAN	C-4
"BLUEPRINT FOR A CLEAN BAY" SHEET	

#### BASIS OF BEARINGS

THE BEARING OF NORTH 78° 48' 05" WEST ALONG THE CENTERLINE OF SHANNON ROAD AS SHOWN ON TRACT NO. 1849 SHANNON TERRACE, FILED FOR RECORD IN BOOK 76 OF MAPS AT PAGE 6, SANTA CLARA COUNTY RECORDS WAS TAKEN AS THE BASIS OF BEARINGS SHOWN HEREON.

#### **BENCHMARK**

TOWN OF LOS GATOS BM NO. LG43 LOCATED AT THE INTERSECTION OF VISTA DEL MONTE AND VISTA DEL CAMPO. ELEVATION = 384.42(NGVD29) ELEVATIONS SHOWN ON THIS MAP HAVE BEEN RAISED BY 2.72 FEET TO BE ON NAVD 1988.



#### NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDER-GROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

THE PROJECT GEOTECHNICAL **REPORT PREPARED BY:** 

#### **EARTH WORK NOTE:**

THE CONTRACTOR SHALL STRICLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

#### **NOTE:**

THE OUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE TOWN OF LOS GATOS PUBLIC WORKS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

NOTE: NO GRADING REQUIRED EXCEPT FOR CRAWLSPACE & FOUNDATION EXCAVATION & FOR SHAPING FINAL **GRADES FOR PROPER DRAINAGE** 

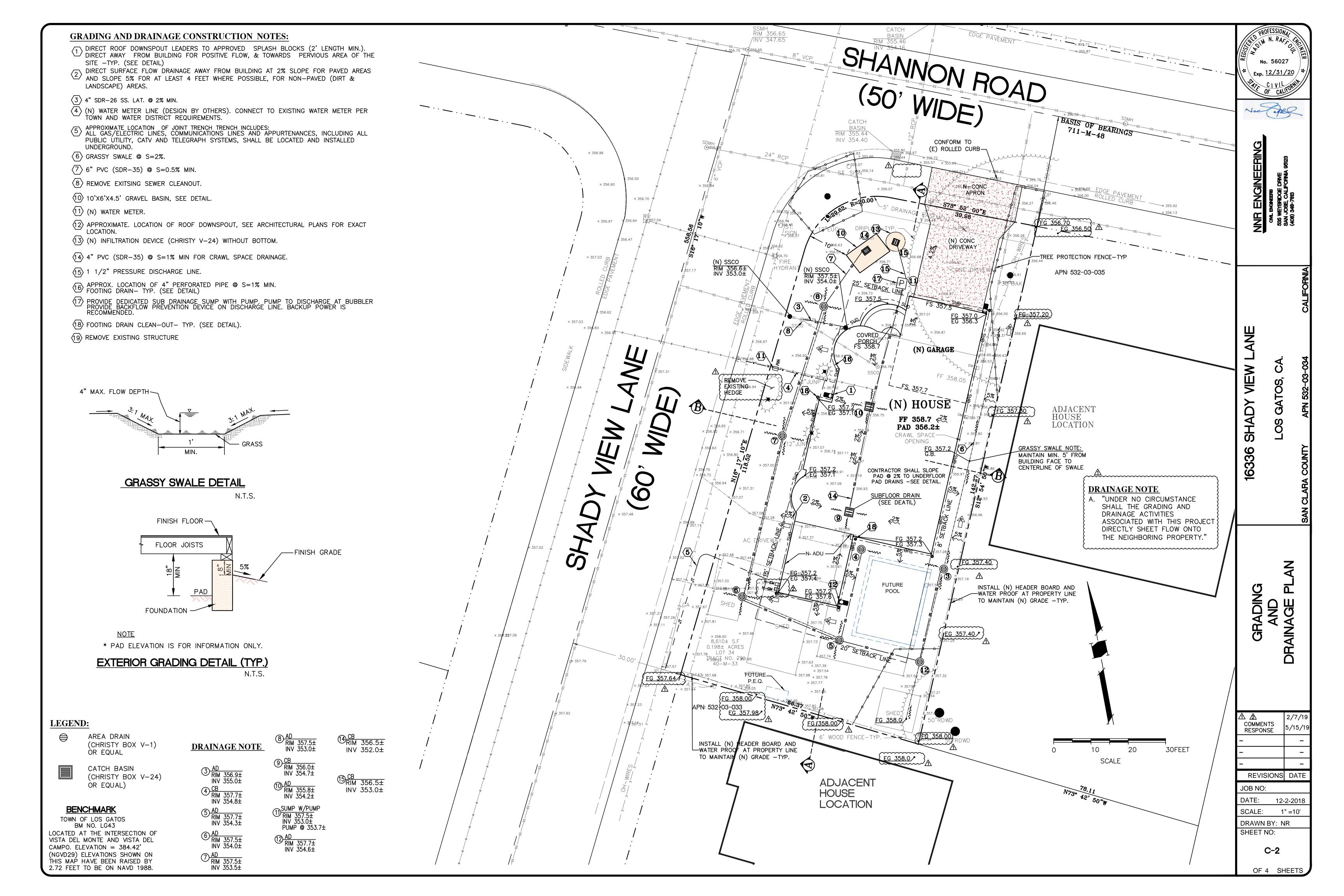
APPRO	XIMATE C	GRADING C	QUANTITIE	S (CU. YDS.)	
LOCATION	CUT	DEPTH	FILL	DEPTH	
HOUSE	50	1'	0	0	
SITE	5	0	3	0.5'	
TOTAL	55		3		

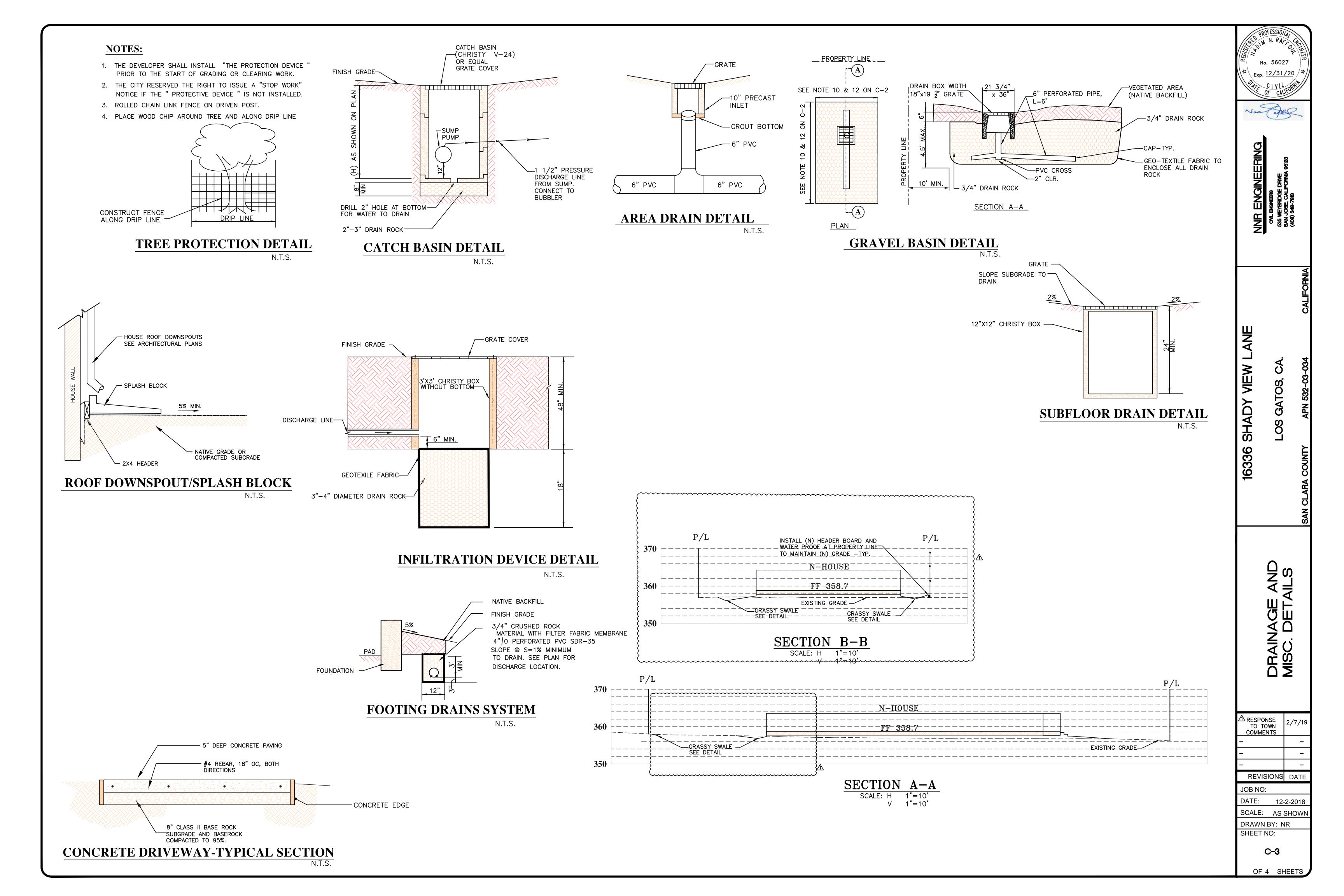
REVISIONS JOB NO: 12-2-2018 SCALE: N.T.S.

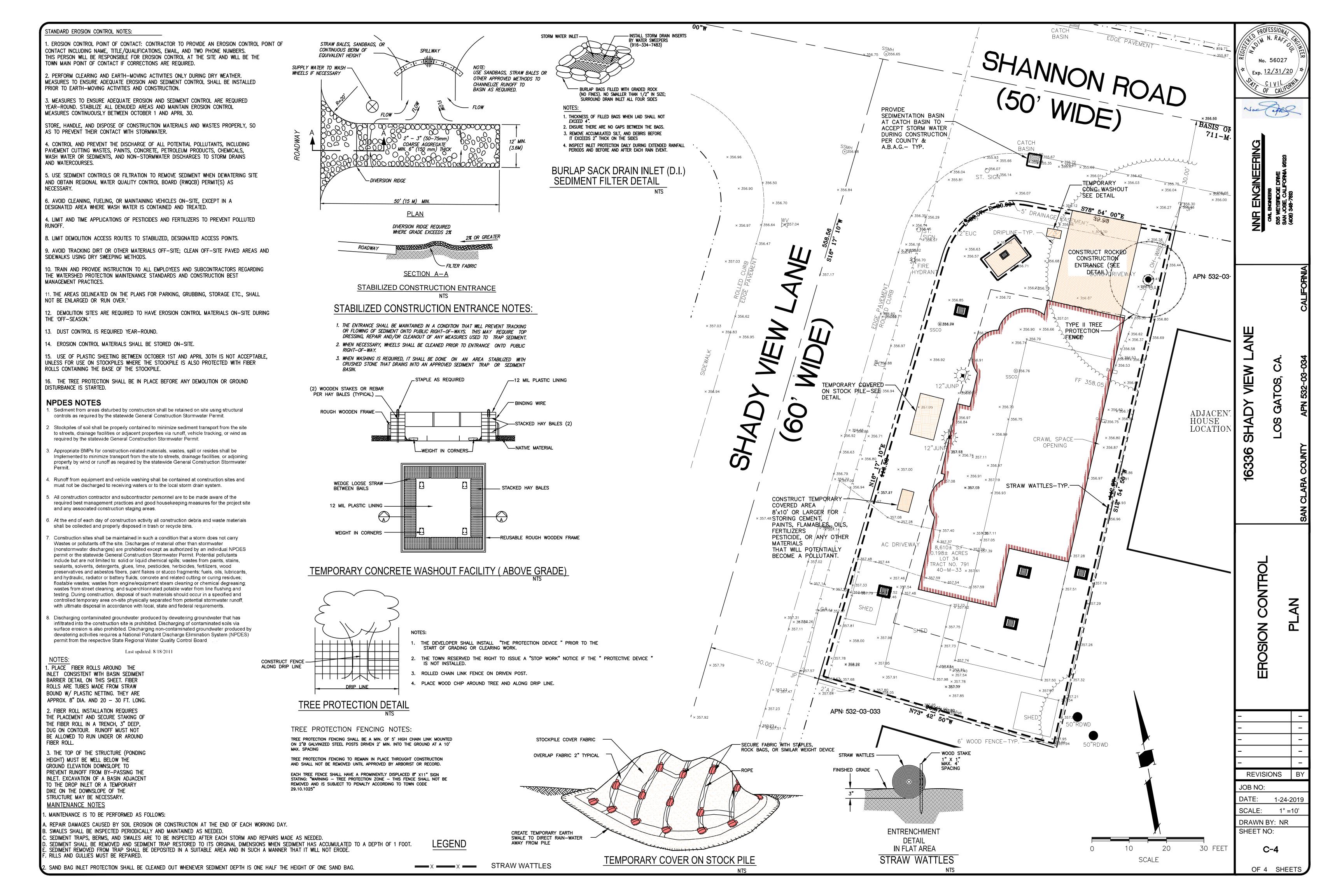
OF 4 SHEETS

DRAWN BY: NR

SHEET NO:







# LANDSCAPE DOCUMENTATION PACKAGE CHECKLIST

#### 1 - PROJECT INFORMATION

- a Date 5-27-19
- Applicant Greg Lewis Landscape Architect
- Project Address 16336 Shady View Lane, Los Gatos
- Total Irrigated Landscape Area 4030 sf (not counting
- Type of project -single family residential
- Potable Water
- Checklist of all documents in package see this page

Contacts of Applicant -Greg Lewis - Landscape Architect

lewislandscape@sbcglobal.net

phone (831) 359-0960

Owner - Katty Coulson kcoulson@cisco.com "I agree to comply with the requirements of the water

efficient landscape ordinance and submit a complete Landscape Documentation Package"

#### 2 - WATER EFFICIENT LANDSCAPE WORKSHEETS - SEE SHEET L2

3 - SOIL MANAGEMENT REPORT See sheet L3

4 - LANDSCAPE DESIGN PLAN See sheets L1

5 - IRRIGATION DESIGN PLAN See sheets L2

#### 6- GRADING DESIGN PLAN

See the Grading and Drainage Plans done by the civil engineer - NNR Engineering nnrengineering@yahoo.com

The following items are required when the landscape construction is

## CERTIFICATION OF COMPLETION

Project information sheet - see current MWELO information on line for current forms

Certification that the landscape project has been installed per the approved Landscape Documentation Package See current MWELO information on line for the current forms

## Irrigation Scheduling

Landscape and Irrigation Maintenance Schedule

#### Irrigation Audit Report

Documentation verifying implementation of soil report recommendations

# Replacement Trees

1) Per city arborist consultant report dated 1/31/19 by Walter Levison, replacement trees for Cypress trees # 51 and #52 is four 24" box trees

2) The existing Smoke Tree in the city ROW is in the clear sight Triangle and we would like to remove it. The canopy is between 10' and 25' dia. which would require three 24" box trees according to the table on page 22

3) Total replacement trees are seven 24" box trees four 24" box Citrus three 24" box Swan Hill Olive

# Landscape Notes

1) See sheets L3 and L4 for details and specifications.

No irrigation trenching is allowed under the canopy of existing trees to be saved unless approved by the city arborist. Irrigation drip lines are to be 1 inch deep on the surface of the soil, covered with mulch. Pressure lines and valves are not to be located under canopies of trees to be saved.

lights, drainage features, and swales 3) Use 3 inch deep mulch in all planting areas. Provide owner with different mulch samples and prices including nitrolized RWD sawdust, medium fir bark, and Mahogany colored Wonder Mulch from Vision Recycling in

2) Exact location of plants on site to be adjusted so as to best coordinate with irrigation component locations,

4) Install plants for all plant circles shown on the plan even if they aren't labeled. Call for clarification. For bidding purposes, if no one is available to answer questions, assume that any plant circle scaled less than 8' wide is 5 gal. size and any circle scaled larger is 15 gal. size 5) The plan is schematic. Don't install plants too close to edges of paving or buildings. Keep valves and quick

couplers away from trees. 6) The plants will do much better if efforts to uncompact soil that has is compacted during building construction. 7) See specs. concerning soil amendments and fertilizer. For bidding purposes until the soil fertility test is done, bid 6 cubic yards of BFI Organics Super Humus Compost 16 pounds of 12-12-12 fertilizer tilled into the top 6" to 8" of soil after ripping soil to 12" deep. except on steep slopes. Some of the planting areas are so narrow that it will need to be dug in by hand.

See the Irrigation Plan, Irrigation Legend under the Rainbird XFS-XDI drip tubing for special soi prep. in the FR ground cover areas

8) See the project Arborist's report concerning required distances of utility lines from trunks of trees that are to be saved. Read the city arborist's tree report and tree protection plan concerning the protection of all existing trees to be saved during construction.

9) Check to see if a Soil Management Report has been done. Proof will be required that all recommendations have been done. If the Soil Management Report has not been done by the time the bid for landscape construction has been awarded the landscape contractor is responsible for the cost of it and getting the sample collected and to the lab. There is grading being done on the site so the Soil Management report would be better done after most of the grading is done but soon enough to be able to make changes to plant material or soil amendments if necessary.

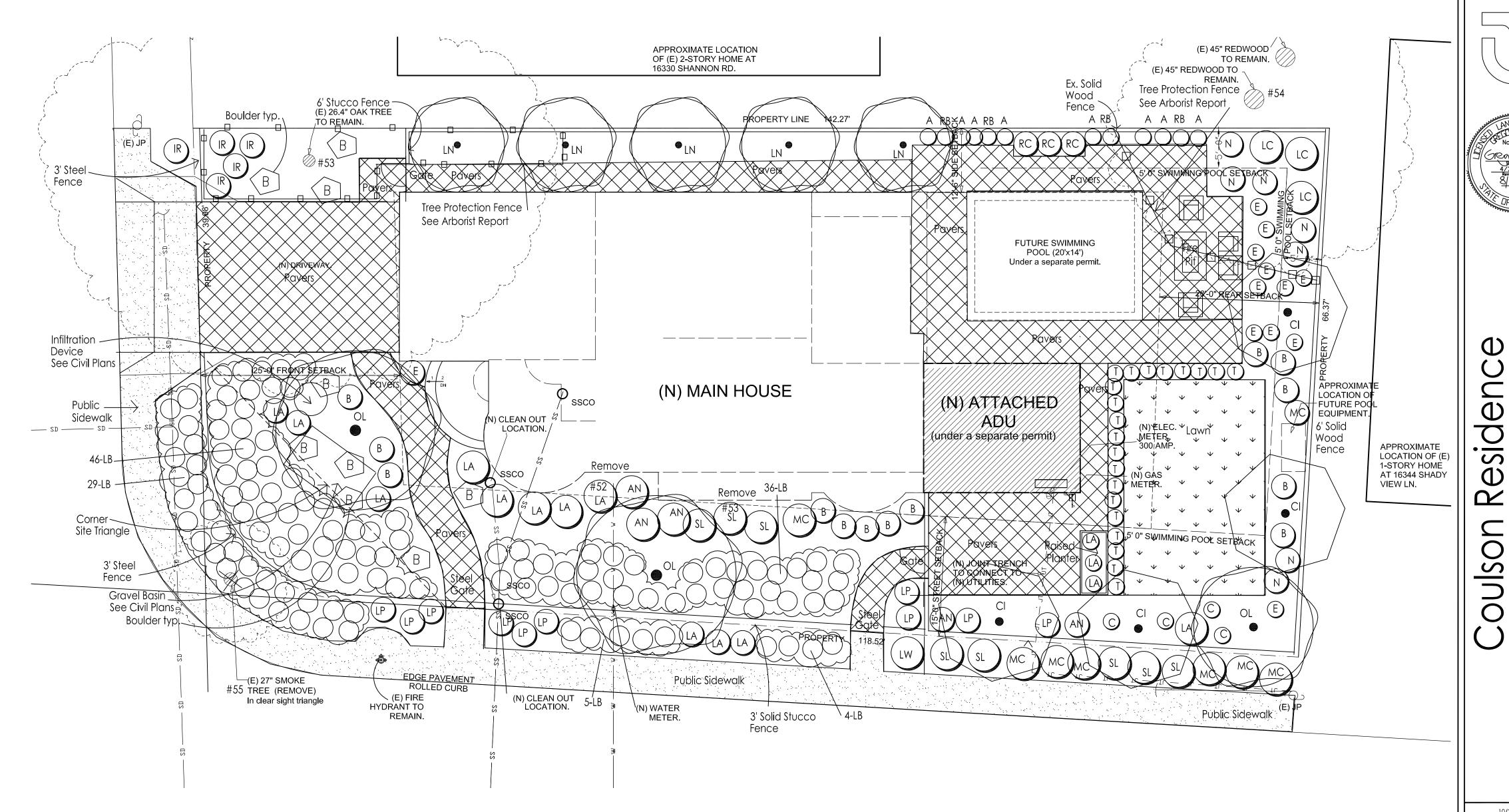
10)Check with the Landscape Architect to make sure you have the most recent Landscape Plans prior to construction and finalizing the bid.

11) Boulders - Average size 2'x2'x2.5' set into soil to appear stable. Bid Sonoma Fieldstone but also give owners prices for rounded granite or some other type of boulder they like that might go well with rock on their house. 12) Raised planter - 24" high, build with 2x12 rough redwood with 4x4 posts 4 feet apart set in concrete 24" deep Use gopher wire and fill with high quality planter mix. Install \$4\$ 2x6 redwood cap

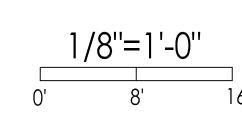
# Plant Leaend

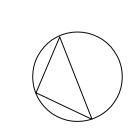
KEY	QTY	SIZE in galla	ons BOTANICAL NAME	COMMON NAME	WUCOLS W USE RATING
TREES					OSE KATING
OL	3	24" box	Olea Swan Hill - no fruit Replacement Trees	Swan Hill Olive	LOW MED
CI	4	24" box	Citrus tree - variety selected by owner Replacement Trees		MLD
SCREE	NING TR	EE OPTIONS			
LN	10	24" box	Laurus nobilis @ 8' O.C.	Grecian Laurel	LOW
			Pittosporum undulatum @ 8' O.C.	Victorian Box	LOW
			Podocarpus gracilior @ 8' O.C.	Fern Pine	MED
			Pittosporum eugenioides @ 5' O.C.		MED
	IM SHRUI				
RC	-	5 gal.	Rhaphiolepis minor	India Hawthorne	LOW
MC	-	5 gal.	Myrtus communis	Myrtle	LOW
RB	-	5 gal.	Rosa banksiae double white trained on fence	Lady Banks Rose	LOW
LA	-	5 gal.	Lavandula Grosso	Lavander	LOW
LC	-	5 gal.	Loropetalum Razzleberry		
GROU	ND COV	/FRS			
LB	-	1 gal.	Lomandra Breeze		LOW
С	_	1 gal.	Carex divulsa	Berkeley Sedge	LOW
LP	_	. gal.	Limonium perezii	Sea Statice	LOW
IR	_	1 gal.	Iris Canyon Snow	Native Iris	LOW
T	_	1 gal.	Thymus serpyllum Reiter's	Creeping Thyme	LOW
AN	_	1 gal.	Anigozanthos Bush Gold or Bush Ranger	Kangaroo Paws	
LW	-	1 gal.	Lantana montevidensis white	Low White Lantana	LOW
	_	_			
V	-	1 gal.	Aloe vera	Medicinal Aloe	LOW
В	=.	1 gal.	Bulbine frutescens - yellow or orange		LOW
E	=	1 gal.	Aeonium urbicum Dinner Platter		LOW
SL	_	1 gal.	Salvia leucantha	Mexican Sage	LOW

Turf tall fescue sod with 2x4 redwood header bd.



Cover Sheet and Landscape Plan 1/8"=1'-0"





rawn Greg

Revision

# **GENERAL NOTES**

#### **ARCHITECTURAL**

WALL AND FLOOR FLASHING: ALL FLASHING AT WALLS, FLOORS, AND ROOF JUNCTURES TO VERTICAL SURFACES SHALL BE 26 GA. G.I. UNLESS NOTED OTHERWISE ON PLANS. FORM FABRICATE AND INSTALL FLASHING AS SHOWN ON DETAILS. SET ALL FLASHING IN PLASTIC CEMENT AND SET JOINTS IN BUTYL MASTIC. FLASHING SECTIONS SHALL HAVE AN END LAP OF 4" MIN.

DOORS: ALL EXTERIOR DOORS ARE TO BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL FRENCH DOORS SHALL BE PAINT GRADE WOOD WITH TEMPERED, DOUBLE GLASS PANELS ARRANGED AS SHOWN ON PLANS AND DOOR SCHEDULE.

WINDOWS: ALL WINDOWS SHALL BE FULLY WEATHER-STRIPPED, CERTIFIED AND LABELED FOR COMPLIANCE TO ENERGY CONSERVATION REGULATIONS. ALL WINDOWS ARE TO BE WOOD OR VINYL FRAMED. DOUBLE GLAZED WITH PANES AS SHOWN ON PLANS AND WINDOW SCHEDULE AND A MAXIMUM U-VALUE AS SET FORTH IN THE T-24 ENERGY CALCULATIONS.

BATH COUNTER TOPS: ALL BATH COUNTERTOPS AND SPLASHES SHALL BE CERAMIC TILE AS SELECTED BY OWNER UNLESS NOTED OTHERWISE ON THE PLANS. USE GRANITE OR MARBLE TILES OR SLAB WHERE NOTED ON PLANS AND INTERIOR ELEVATIONS.

WEATHER BARRIER: ALL WEATHER EXPOSED WALL SURFACES SHALL BE PROTECTED WITH AN UNDERLAYMENT OF (2) LAYERS GRADE "D" BUILDING PAPER OVER PLYWOOD WALL SHEATHING. UNDERLAYMENT SHALL BE APPLIED SHINGLE FASHION WITH MIN. 2" LAP AT HORIZONTAL JOINTS AND MIN. 6" LAP AT VERTICAL JOINTS. UNDERLAYMENT SHALL BE FREE OF HOLES AND BREAKS OTHER THAN THOSE FROM NAILING TO PLYWOOD SHEATHING OR WALL STUDS.

INSULATION: FIBERGLASS BATT INSULATION SHALL BE INSTALLED ACCORDING TO THE T-24 REPORT. SEE T-24 REPORT FOR INSULATION VALUES.

<u>CAULKING</u>: ALL JOINTS AND PENETRATIONS AT EXTERIOR WALLS, CEILINGS AND FLOOR ASSEMBLIES SHALL BE FULLY CAULKED AND SEALED.

TUBS & SHOWERS; SHOWERS SHALL BE A MIN. SIZE OF 1024 SQ.IN AND ACCOMMODATE AT 30" CIRCLE. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT, FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN. HEIGHT OF 72" ABOVE THE FLOOR. SHOWER WALLS SHALL BE FINISHED WITH CERAMIC TILE OF OTHER SMOOTH, HARD NON-ABSORBENT COVERING. ALL TUB AND SHOWER GLAZING SHALL BE MADE OF SHATTER-RESISTANT TEMPERED GLASS. SWING DOORS SHALL OPEN OUTWARD WITH A MIN. OPENING CLEARANCE OF 22".

PRE-FABRICATED FIREPLACES: PRE-FABRICATED METAL FIREPLACES SHALL BE INSTALLED WITH INSULATED CHIMNEY FLUE, SPARK ARRESTOR AND ACCESSORIES ACCORDING TO MANUFACTURERS SPECIFICATIONS. FIREPLACE OPENING SHALL BE EQUIPPED WITH A TIGHT FITTING, CLOSEABLE METAL OR GLASS DOOR. FIREPLACE SHALL HAVE A FLUE DAMPER AND AN OUTSIDE AIR INTAKE WITH DAMPER. ONLY GAS APPLIANCE FIREPLACES ARE TO BE USED.

GLAZING: ALL GLAZING SHALL CONFORM TO FEDERAL GLAZING REGULATIONS AND THE CALIFORNIA RESIDENTIAL CODE. GLAZING IN HAZARDOUS LOCATIONS SHALL BE FULLY TEMPERED GLASS OR APPROVED PLASTIC AND IS PERMANENTLY IDENTIFIED BY THE MANUFACTURER OR INSTALLER.

MECHANICAL ROOM DOORS: ACCESS DOORS OF THE MECHANICAL ROOM SHALL BE SOLID CORE WITH MINIMUM 100 SQ. IN. LOUVERED VENT AT TOP OF DOORS AND MINIMUM 100 SQ. IN. LOUVERED VENT AT BOTTOM OF DOORS.

GYPSUM WALLBOARD: ALL INTERIOR WALL AND CEILING FACES ARE TO BE SHEATHED WITH 1/2" GYPSUM WALLBOARD EXCEPT WHERE NOTED TO USE 5/8" TYPE "X" WALLBOARD. TAPE, TEXTURE AND PAINT GYP. BOARD ACCORDING TO FINISH SCHEDULE. ALL GAPS AND PENETRATIONS AT 5/8" TYPE "X" WALLBOARD SHALL BE FILLED WITH TAPING CEMENT. NAIL ALL GYP. BOARD TO WALL STUDS, PLATES, BLOCKING, ETC., AS FOLLOWS:

1/2" WALLBOARD 4d CEMENT COATED BOX NAIL OR 1-3/8" x 14

1/2" WALLBOARD 4d CEMENT COATED BOX NAIL OR 1-3/8" x 14 GA. ACID-ETCHED, PHOSPHATE COATED NAIL OR 4d "DRYVITE" NAIL AT 7" O.C.

5/8" TYPE "X" WALLBOARD 6D "COOLER" NAILS AT 7" O.C.

ROOF VENTILATION: THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF THE VENTED SPACE OR 1/300 OF THE VENTED SPACE PROVIDED ONE OR MORE OF THE FOLLOWING CONDITIONS ARE MET:

1. IN CLIMATE ZONES 14 AND 16, A CLASS I OR II VAPOR RETARDER IS

INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

2. AT LEAST 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE. UPPER VENTILATORS SHALL BE LOCATED NO MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY, WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. WHERE THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS, INSTALLATION MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED.

ALL VENT OPENINGS SHALL BE COVERED WITH CORROSION RESISTANT, NON-COMBUSTIBLE METAL MESH WITH MESH OPENINGS OF AT LEAST 1/16" AND A MAXIMUM OF 1/8" DIMENSION. VENTS SHALL BE LOCATED SO AS TO PROVIDE CROSS VENTILATION OF EACH SEPARATE ATTIC SPACE AND SHALL PROTECT AGAINST THE ENTRANCE OF RAIN AND SNOW.

STAIR HANDRAILS: EVERY STAIRWAY OF 4 OR MORE RISERS SHALL HAVE AT LEAST ONE HANDRAIL AND EVERY OPEN SIDE OF A STAIRWAY SHALL HAVE A GUARDRAIL. HANDRAILS MOUNTED ON A WALL SHALL HAVE A MIN. 1-1/2" SPACE BETWEEN THE WALL AND THE HANDRAIL. THE HANDGRIP PORTION OF HANDRAILS SHALL BE BETWEEN 1-1/4' AND 2" CROSS SECTION DIMENSION AND SHALL HAVE A SMOOTH SURFACE WITH NO SHARP CORNERS. ALL HANDRAILS ARE TO BE PLACED 34" AND 38" ABOVE TREAD NOSING AND SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS.

GUARDRAILS: GUARDRAILS SHALL BE NOT LESS THAN 42 INCHES HIGH MEASURED VERTICALLY ABOVE THE LEADING EDGE OF THE TREAD, ADJACENT WALKING SURFACE OR ADJACENT SEATBOARD. GUARDRAILS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 POUNDS, APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP AND HAVE ATTACHMENT DEVICES AND SUPPORTING STRUCTURE TO TRANSFER THIS LOADING TO THE APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING. INTERMEDIATE RAILS (ALL THOSE EXCEPT THE HANDRAIL), BALUSTERS AND PANEL FILL ERS SHALL BE DESIGNED TO WITHSTAND A HORIZONTALLY APPLIED NORMAL LOAD OF 50 POUNDS ON AN AREA EQUAL TO ONE SQUARE FOOT, INCLUDING OPENING AND SPACE BETWEEN RAILS. OPEN GUARDRAIL AND STAIR RAILINGS SHALL HAVE INTERMEDIATE RAILS, BALUSTERS, PICKETS, ETC., ARRANGED SUCH THAT A 4" SPHERE CANNOT PASS THROUGH THE OPENINGS.

#### ARCHITECTURAL (CONT.)

SKYLIGHTS: ALL SKYLIGHTS ARE TO BE PRE-MANUFACTURED PLASTIC DOME TYPES WITH ANODIZED ALUMINUM FRAMES MOUNTED ON WOOD CURBS OR DIRECTLY TO ROOF DECK. FRAME COLOR IS TO MATCH OR BE SIMILAR TO THE ROOF COLOR. CURB HEIGHT ABOVE THE ADJACENT ROOF SURFACE IS TO BE 4" MINIMUM. THE DOME HEIGHT IS TO BE MINIMUM 5" OR 10% OF THE MAXIMUM SPAN OF THE DOME. SKYLIGHT UNITS SHALL MEET TITLE 24 REQUIREMENTS. SKYLIGHTS WITH INSTALLED GLAZING 12' ABOVE THE WALKING SURFACE SHALL BE CONSTRUCTED OF LAMINATED GLASS WITH A POLYVINYL BUTYRAL INTERLAYER AND A MINIMUM THICKNESS OF 0.030 INCHES (.76 mm)

EXTERIOR PLASTER LATH: EXTERIOR PLASTER LATH SHALL BE OF AN APPROVED, PAPER-BACKED, CORROSION RESISTANT METAL OR WIRE FABRIC AND SHALL BE SELF FURRING. (1/4" MIN.) APPLY LATH OVER WALL UNDERLAYMENT WITH THE LONG DIMENSION HORIZONTAL AND LAP A MIN. 1/2" AT THE SIDES AND MIN. 1" AT THE ENDS. WHERE END LAPS OF SHEETS DO NOT OCCUR OVER SUPPORTS, THEY SHALL BE SECURELY TIED TOGETHER WITH A MIN 18 GA WIRE REINFORCEMENT SHALL BE USED AT ALL CORNERS OR THE LATH SHALL BE CARRIED AROUND CORNERS AT LEAST ONE SUPPORT. A WEEP SCREED SHALL BE PROVIDED AT OR BELOW THE FOUNDATION LINE ON ALL EXTERIOR STUD WALLS A MIN. OF 4" ABOVE HIGHEST ADJACENT GRADE. THE SCREED SHALL ALLOW TRAPPED WATER TO DRAIN TO THE OUTSIDE. BOTH THE METAL LATH AND PAPER UNDERLAYMENT SHALL TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. NAILING OF METAL LATH SHALL BE AT A MAX. OF 6 O.C. EACH WAY USING EITHER 11 GA. X 1-1/2" LONG X 7/16" HEAD NAILS OR 16 GA. STAPLES WITH 7/8" LEGS.

EXTERIOR PLASTER: EXTERIOR PLASTER SHALL BE PORTLAND CEMENT APPLIED IN THREE COATS TO A MIN. THICKNESS OF 7/8". SEE EXTERIOR ELEVATIONS FOR TEXTURE VARIATIONS.

APPLIANCES: THE CONTRACTOR SHALL PROVIDE RESIDENTIAL EQUIPMENT WHICH IS U.L. LABELED. PROVIDE, TO THE OWNER, ALL MANUFACTURER'S STANDARD WRITTEN WARRANTIES, OWNER'S MANUALS, AND STANDARD ACCESSORIES. CONTRACTOR SHALL INSTALL THE APPLIANCES WHERE INDICATED ON DRAWINGS AND AS REQUIRED BY ALL CODES AND LISTINGS. APPLIANCE TYPES, STYLES, COLORS, ETC., SHALL BE SELECTED BY OWNER.

EMERGENCY EGRESS ESCAPE AND RESCUE WINDOWS: BASEMENTS OF DWELLING UNITS AND EVERY BEDROOM BELOW THE 4TH STORY SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE AND RESCUE DIRECTLY TO EXTERIOR. THE UNITS SHALL BE OPERABLE TO PROVIDE FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS AND HAVE A NET CLEAR OPENING OF NO LESS THAN 5.7 SQUARE FEET. THE NET CLEAR OPENING HEIGHT SHALL BE A MINIMUM OF 24" AND THE WIDTH SHALL BE A MINIMUM OF 20" WITH THE BOTTOM OF THE CLEAR OPENING NOT GREATER THAN 44" MEASURED FROM THE FLOOR IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 72" ABOVE THE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM 24" ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. OPERABLE SECTIONS OF WINDOWS SHALL NOT PERMIT OPENINGS THAT ALLOW PASSAGE OF A 4 INCH DIAMETER WHERE SUCH OPENING ARE LOCATED WITHIN 24" OF THE FINISHED FLOOR. WHERE SUCH WINDOW OPENINGS DO NOT COMPLY, WINDOW FALL PREVENTION DEVICES AND WINDOW GUARDS THAT COMPLY WITH ASTM F 2090, SHALL BE PROVIDED.

STREET ADDRESS: NEW AND EXISTING BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 1 /2 INCH.

<u>SPARK ARRESTORS:</u> SPARK ARRESTORS SHALL BE INSTALLED ON ALL CHIMNEYS INCLUDING OUTSIDE FIREPLACES.

GARAGE: 1-HR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6. 20 MINUTE, 1-3/4" SOLID WOOD FIRE RATED DOOR WITH SELF CLOSING AND SELF LATCHING DEVICES PER CRC SECTION R302.5

<u>DIMENSIONS</u>: ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.

#### **ELECTRICAL**

SHALL BE USED.

CODES: ALL ELECTRICAL EQUIPMENT, WIRING AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE NATIONAL ELECTRICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND THE MANUFACTURER'S SPECIFICATIONS.

<u>LISTINGS</u>: ALL ELECTRICAL EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

RECESSED FIXTURES: PROVIDE RECESSED FIXTURE CLEARANCE PER CODE. RECESSED FIXTURES IN INSULATED CEILINGS SHALL BE "IC" APPROVED FIXTURES.

DRYER LOADS: CLOTHES DRYER LOADS SHALL BE DETERMINED ON A LOAD OF 5000 WATTS PER APPLIANCE OR BY NAMEPLATE RATING.

ELECTRICAL BOXES: ELECTRIC SWITCH AND OUTLET BOXES ON

EXTERIOR WALLS SHALL HAVE RUBBER GASKETS FOR MEDIUM

INFILTRATION CONTROL.

KITCHEN AND BATH FIXTURES: ALL GENERAL LIGHTING FIXTURES
AND BULBS IN KITCHEN AND BATH AREAS SHALL HAVE AN EFFICACY
RATING OF 40 LUMENS PER WATT OR GREATER. FLUORESCENT
FIXTURES WITH PLUG-IN (NOT SCREW-IN) FLUORESCENT LAMPS

CLOSET LIGHTS: LIGHT FIXTURES IN CLOSETS/WARDROBES SHALL HAVE A MIN. 18" HORIZONTAL CLEARANCE TO SHELVES.

TUB/SHOWER LIGHTS: LIGHT FIXTURES MOUNTED WITHIN 5' OF A SPA/ TUB SHALL BE MOUNTED AT LEAST 7'6" ABOVE THE MAXIMUM WATER LEVEL OF THE SPA/TUB AND SHALL BE GFCI PROTECTED.

DRYER/COOKING UNIT OUTLETS: CLOTHES DRYERS AND COOKING UNITS SHALL HAVE CONDUCTOR WIRES WITH AN INSULATED NEUTRAL AND FOUR-PRONG OUTLET.

OUTDOOR OUTLETS: PROVIDE OUTSIDE RECEPTACLES AT THE FRONT AND REAR OF THE HOME WITHIN 6'-6" OF GRADE WHICH ARE WATERPROOF AND GFCI PROTECTED. SEE PLAN FOR LOCATIONS.

KITCHEN BRANCH CIRCUITS: SHALL BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS. PROVIDE (2) SMALL APPLIANCE BRANCH CIRCUITS IN THE KITCHEN WHICH ARE LIMITED TO SUPPLYING WALL AND COUNTER SPACE OUTLETS. THESE OUTLETS CANNOT SERVE DINING ROOM, OUTSIDE PLUGS, RANGE HOOD, DISPOSALS, DISHWASHERS OR MICROWAVES. ONLY THE REQUIRED COUNTERTOP/WALL OUTLETS (INCLUDING REFRIGERATOR).

#### **ELECTRICAL (CONT.)**

BATHROOM OUTLET CIRCUITS: REQUIRED BATHROOM OUTLETS SHALL BE ON A DEDICATED 20 AMP CIRCUIT WHICH CANNOT SERVE ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC.

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS: ALL NEW NON-LOCKING TYPE 125-VOLT, 15- AND 20-AMPERE RECEPTACLES THAT ARE WITHIN 5 1/2' ABOVE FINISH FLOOR SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.

ARC-FAULT AND GROUND FAULT OUTLETS: ARC-FAULT (AFCI) REQUIRED IN FAMILY ROOMS, DINING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUN ROOMS, REC ROOMS, CLOSETS, AND HALLWAYS AND LIGHTING. GROUND FAULT (GFCI) IS REQUIRED IN BATHROOMS, GARAGES, ACCESSORY AREAS, EXTERIOR, CRAWLSPACES, BASEMENTS, DISHWASHERS, AND DISPOSALS. COMBINATION AFCI/GFCI IS REQUIRED IN KITCHENS, AND LAUNDRY

#### **MECHANICAL**

CODES: ALL HVAC EQUIPMENT, DUCT WORK AND INSTALLATIONS SHALL COMPLY WITH APPLICABLE SECTIONS OF THE CURRENT MECHANICAL CODE, CALIFORNIA TITLE 24 STANDARDS AND MANUFACTURER'S SPECIFICATIONS. ALL PLUMBING WORK SHALL CONFORM WITH THE CURRENT CALIFORNIA PLUMBING CODE.

LISTINGS: ALL HVAC EQUIPMENT AND ACCESSORIES SHALL BE LISTED BY A NATIONALLY RECOGNIZED TESTING LAB. INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT TIME OF INSPECTION.

EXHAUST FANS: ALL INTERIOR EXHAUST FANS SHALL PROVIDE 5 AIR CHANGES PER HOUR OR MORE. EXHAUST FANS AND FAN SYSTEMS SHALL HAVE BACK-DRAFT DAMPER CONTROLS.

1 HOUR WALLS: HVAC DUCTS PENETRATING ONE HOUR WALLS (GARAGE/HOUSE WALL) SHALL BE MINIMUM 26 GAUGE GALVANIZED STEEL. 1 HOUR SEPARATION BETWEEN DWELLING AND GARAGE PER CRC SECTION R302.6.

GAS PIPING: GAS PIPING SHALL NOT BE IMBEDDED IN OR BELOW CONCRETE SLABS

<u>SEWER PIPING:</u> PLASTIC OR PVC SEWER LINE SHALL BE PLACED WITH MIN. 6" OF SAND BASE AND COVER.

FORCED AIR UNIT: FORCED AIR UNIT(S) SHALL BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS AND THOSE OF THE STRUCTURAL ENGINEER WHEN INSTALLED IN AN ATTIC SPACE.

GAS APPLIANCES: ALL GAS APPLIANCES AND EQUIPMENT SHALL HAVE INTERMITTENT IGNITION DEVICES WITH NO CONTINUOUS BURNING PILOTS. ALL APPLIANCES SHALL COMPLY WITH THE CURRENT CALIFORNIA MECHANICAL CODE.

WATER HEATERS: WATER HEATERS SHALL BE INSULATED WITH EXTERNAL BLANKETS OF R-12 OF GREATER. INSULATE HOT WATER INLET AND OUTLET PIPES (FIRST FIVE FEET IN UNCONDITIONED SPACES) WITH EXTERNAL WRAPPING OF R-4 OR GREATER. WATER HEATERS SHALL BE ANCHORED OR STRAPPED TO RESIST HORIZONTAL DISPLACEMENT DUE TO EARTHQUAKE MOTION. STRAPPING SHALL BE AT POINTS WITHIN THE UPPER 1/3 AND THE LOWER 1/3 OF ITS VERTICAL DIMENSIONS. AT THE LOWER POINT, A MINIMUM DISTANCE OF FOUR INCHES SHALL BE MAINTAINED ABOVE THE CONTROLS WITH THE STRAPPING. WATER HEATERS LOCATED IN NON-LIVING SPACES SHALL BE INSTALLED ON A PLATFORM SUCH THAT BURNERS AND BURNER-IGNITION DEVICES ARE LOCATED NOT LESS THAN EIGHTEEN INCHES ABOVE THE FINISHED FLOOR.

TANKLESS WATER HEATERS: TANKLESS WATER HEATER SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATION.

DRYER VENT: CLOTHES DRYERS SHALL VENT TO THE OUTSIDE OF THE BUILDING AND SHALL BE A MAXIMUM 14' IN LENGTH WITH TWO FEET REDUCTION FOR EACH 90 DEGREE ELBOW OVER TWO.

PLUMBING VENTS: ALL PLUMBING VENTS SHALL BE MINIMUM 10 FEET FROM OPERABLE SKYLIGHTS.

THERMOSTATS: ONLY "SETBACK" THERMOSTATS CERTIFIED BY THE

CALIFORNIA ENERGY COMMISSION SHALL BE USED.

HOSE BIBS: HOSE BIBS AND WATER OUTLETS WITH HOSE ATTACHMENTS SHALL HAVE APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICES.

FORCED AIR UNIT CLEARANCES: LISTED FURNACES SHALL BE INSTALLED IN CONFORMANCE WITH THE CONDITIONS OF THEIR LISTING. THE FURNACE INSTALLER SHALL LEAVE THE MANUFACTURER'S INSTALLATION AND OPERATING INSTRUCTIONS ATTACHED TO THE APPLIANCE, CLEARANCES OF LISTED FURNACES FROM COMBUSTIBLES SHALL BE AS SPECIFIED IN THE LISTING OR ON THE FURNACE RATING PLATE. UNLISTED FURNACES SHALL HAVE THE FOLLOWING CLEARANCES FROM COMBUSTIBLES:

ABOVE TOP OF CASING OR FURNACE

6"

ABOVE TOP OF CASING OR FURNACE
FROM TOP AND SIDES OF WARM-AIR BONNET OR PLENUM
FROM FRONT (UNLESS ACCESS REQUIREMENTS GREATER 18"
FROM BACK OF FURNACE
FROM SIDES OF FURNACE
6"

DISHWASHERS: DISHWASHING MACHINES CONNECTED DIRECTLY TO A DRAINAGE SYSTEM OR FOOD WASTE DISPOSAL SHALL HAVE AN APPROVED DISHWASHER AIR GAP FITTING ON THE DISCHARGE SIDE OF THE DISHWASHING MACHINE. LISTED AIR GAPS SHALL BE INSTALLED WITH THE FLOOD LEVEL (FL) MARKING AT OR ABOVE THE FLOOD LEVEL OF THE SINK/DRAIN BOARD, WHICH EVER IS HIGHER.

TUB AND SHOWER VALVES: TUB AND SHOWER VALVES SHALL HAVE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE

QUICK ACTING VALVES: ALL BUILDING WATER SUPPLY SYSTEMS IN WHICH QUICK ACTING VALVES ARE INSTALLED (SUCH AS DISHWASHERS, CLOTHES WASHERS, ETC.) SHALL BE APPROVED WITH DEVICES AS CLOSE TO QUICK ACTING VALVES AS POSSIBLE TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THESE VALVES.

<u>DUCT TERMINATIONS:</u> ALL ENVIRONMENTAL AIR DUCT TERMINATIONS SHALL BE A MINIMUM OF (3) FEET FROM PROPERTY LINES AND/OR ANY OPENINGS INTO THE BUILDING.

#### CALGREEN:

JOINTS AND OPENINGS: ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENING WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.

A MINIMUM OF 75% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS DIVERTED TO RECYCLE OR SALVAGE. THIS IS ACHIEVED EITHER BY USING CITY PRE-CERTIFIED LANDFILLS OR IMPLEMENTATION OF A WASTE MANAGEMENT PLAN. WASTE MANAGEMENT PLAN SHALL BE PRE-APPROVED BY ENVIRONMENTAL SERVICES DEPARTMENT.

HEATING AND AIR CONDITIONING SYSTEM DESIGN SHALL BE SIZED, DESIGNED, AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:

A HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE

HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

B HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ACCA MANUAL J, ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.

C SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ACCA 36-S MANUAL S OR

OTHER EQUIVALENT DESIGN SOFTWARE OR METHOD.

DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS AT

THE TIME OF ROUGH INSTALLATION OR DURING STORAGE ON THE CONSTRUCTION SITE

AND UNTIL FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT.

ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINTS SHALL COMPLY WITH VOC AND OTHER CONTENT LIMITS. SPECIFIED IN SECTION 4.504 OF THE CGBSC. ALL PRODUCT CONTAINERS SHALL REMAIN ON SITE FOR FIELD VERIFICATION. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR MUST BE PROVIDED TO THE BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION, AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS

#### FINISHES:

SPECIFIED IN CGBSC SECTION 4.504

FOR KITCHEN FAUCETS).

A USE LOW-VOC INTERIOR WALL/CEILING PAINTS (<50 GRAMS PER LETTER (GPL) VOCS REGARDLESS OF SHEEN) CGBSC 4.504.2.2

B USE LOW-VOC COATINGS THAT MEET SCAQMD RULE 1113 (CGBSC 4.504.2.3) C DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC FINISH

MATERIALS HAVE BEEN USED PER CGBSC 4.504.2.4

80% OF FLOOR AREA RECEIVING RESILIENT FLOORING, SHALL COMPLY WITH THE VOC-

EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) LOW-EMITTING MATERIALS LIST OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RCFI) FLOORSCORE PROGRAM.

PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF), AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS. SPECIFY THE LIMITS ON THE PLANS IN ACCORDANCE WITH TABLE 4.504.5.

VAPOR RETARDER AND CAPILLARY BREAK IS INSTALLED AT SLAB ON GRADE FOUNDATIONS.

PRIOR TO ENCLOSING THE WALL AND FLOOR FRAMING, CONFIRMATION MUST BE PROVIDED TO THE BUILDING INSPECTOR SHOWING THE FRAMING MEMBERS DO NOT

EXCEED 19% MOISTURE CONTENT IN ACCORDANCE WITH CGBSC SECTION 4.505.3

ALL PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CA
CIVIL CODE SECTIONS 1101.01-1101.8.

ALL EXISTING TO REMAIN PLUMBING FIXTURES SHALL CONFORM TO THE FOLLOWING:

A TOILETS WITH A FLOW RATE IN EXCESS OF 1.6 GPF SHALL BE REPLACED WITH TOILETS WITH A MAXIMUM OF 1.28 GPF.

B SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM SHALL BE REPLACED WITH A MAXIMUM 1.8 GPM SHOWER HEAD.
C LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER THAN 2.2 GPM SHALL BE REPLACED WITH A FAUCET WITH A MAXIMUM FLOW RATE OF 1.2 GPM (OR 1.8 GPM

AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OWNER.

HVAC SYSTEMS INSTALLERS SHALL BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE THE DISCIPLINE THEY ARE INSPECTING.

DOCUMENTATION USED TO SHOW COMPLIANCE WITH THIS CODE SHALL INCLUDE BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH DEMONSTRATE SUBSTANTIAL CONFORMANCE. WHEN SPECIFIC DOCUMENTATION OR SPECIAL INSPECTION IS NECESSARY TO VERIFY COMPLIANCE, THAT METHOD OF COMPLIANCE WILL BE SPECIFIED IN THE APPROPRIATE SECTION OR IDENTIFIED IN THE APPLICATION CHECKLIST.

#### FIRE NOTES:

A. FIRE SPRINKLER SYSTEM WILL BE PROVIDED AND INSTALLED PER NFPA 13D 2016 ADDITION.

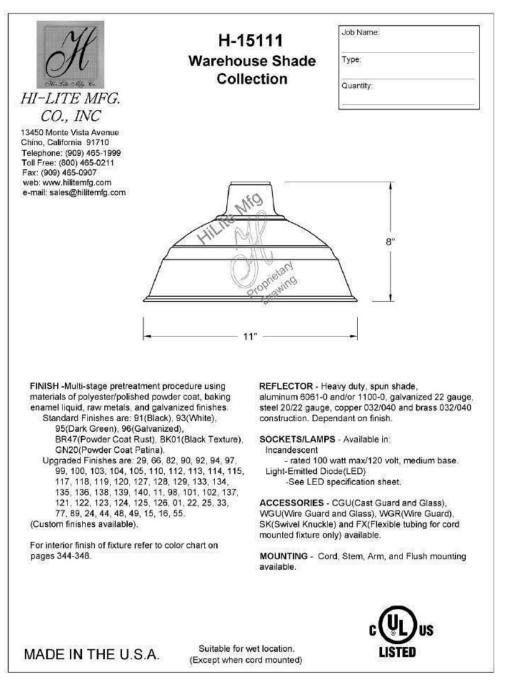
B. FIRE SPRINKLERS REQUIRED: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ONE AND TWO-FAMILY DWELLINGS AS FOLLOWS: IN ALL NEW ONE AND TWO-FAMILY DWELLINGS AND IN EXISTING ONE AND TWO-FAMILY DWELLINGS WHEN ADDITIONS ARE MADE THAT INCREASE THE BUILDING AREA TO MORE THAN 3,600 SQUARE FEET. NOTE: THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LGTC.

C. WATER SUPPLY REQUIREMENTS: POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THAT PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSIDERATION WILL NOT BE GRANTED BY THIS OFFICE UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THAT PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S). 2016 CFC SEC. 903.3.5 AND HEALTH AND SAFETY CODE 13114.7

D. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6 MM) HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1

E. CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP. 33

F. WILDLAND URBAN INTERFACE:THIS PROJECT IS LOCATED WITHIN THE DESIGNATED WILDLAND-URBAN INTERFACE FIRE AREA. THE BUILDING CONSTRUCTION SHALL COMPLY WITH THE PROVISIONS OF SECTION R327 OF THE CALIFORNIA RESIDENTIAL CODE OR THE CALIFORNIA BUILDING CODE (CBC) CHAPTER 7A., AS APPLICABLE. VEGETATION CLEARANCE SHALL BE IN COMPLIANCE WITH CBC SECTION 701A.3.2.4 PRIOR TO PROJECT FINAL APPROVAL.



NOTE:
ALL OUTDOOR LIGHTING AFFIXED TO THE BUILDING SHALL BE
DOWNWARD DIRECTED AND SHIELDED SO THAT NO LIGHT
GLARE WILL ENCROACH ONTO NEIGHBORING PROPERTIES.



TYP. OUTDOOR LIGHT (O.L.)
Scale: None

DISCLAIMER:

HIS DOCUMENT CONTAINS

CONFIDENTIAL AND PROPRIETARY
INFORMATION THAT IS INTENDED FOR
INFORMATION THAT IS INTENDED FOR
INFORMINGS SHOULD NOT BE
REPRODUCED OR DIVULGED, IN
WHOLE OR IN PART, WITHOUT WRITTEN
AUTHORIZATION FROM "DE MAILEI CONSTRUCTION
INC." DE MAILEI CONSTRUCTION
INC." CANNOT BE HELD LIABLE IN THE
EVENT THE DRAWNINGS ARE
REPRODUCED OR DIVULGED WITHOUT
WRITTEN AUTHORIZATION.

NO. DESCRIPTION

BY DATE

GENERAL NOTES

Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

PROVIDED BY:

Ittei Construction, Inc

The Alameda, San Jose,CA. 95126

P: (408) 295-7516

F: (408) 286-6589

DATE

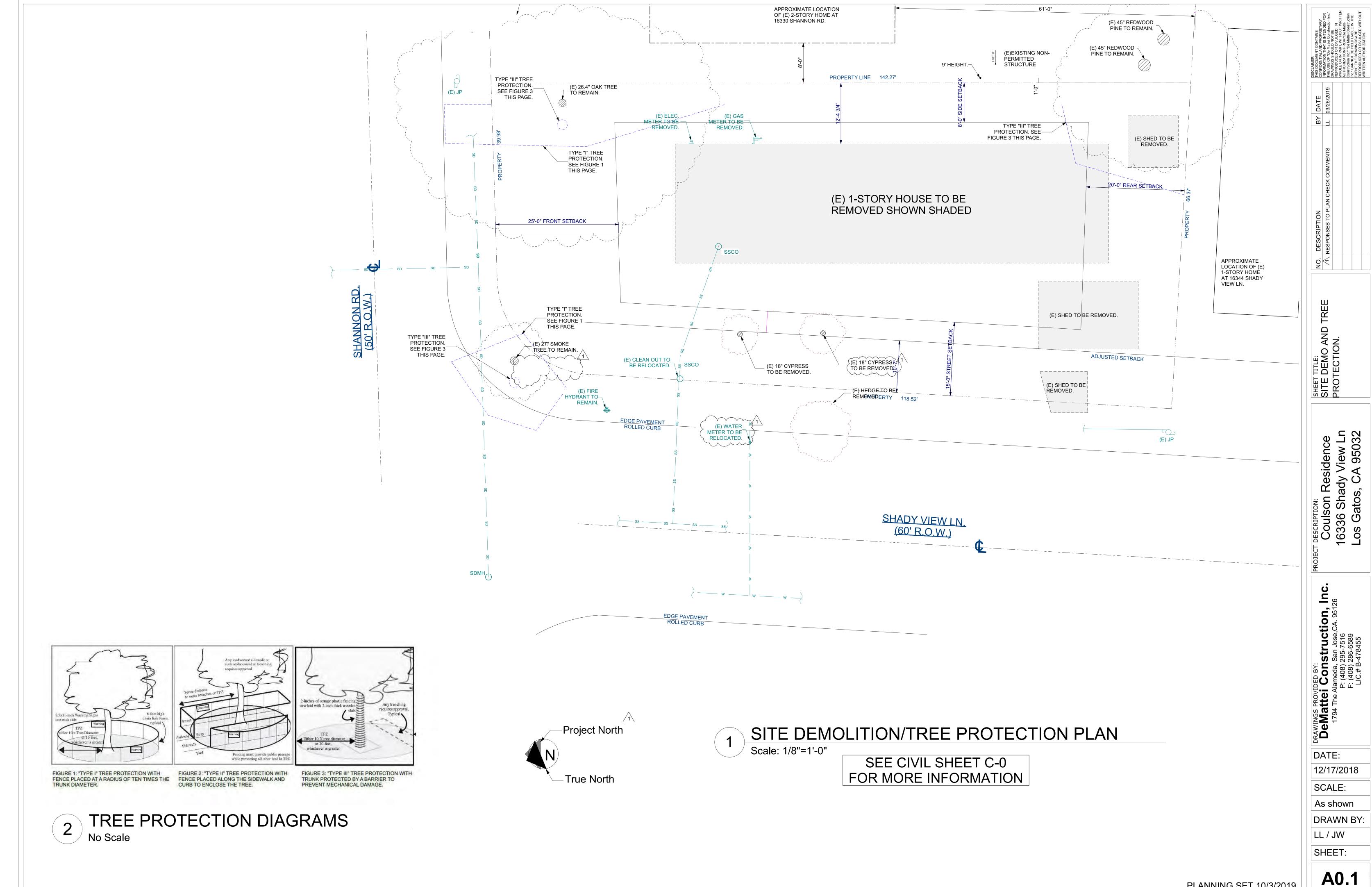
12/17/2018 SCALE:

As shown

DRAWN BY:

LL / JW

**A O O** 



PLANNING SET 10/3/2019

e Gre sis for rns at	enPoint Checklist is based on the various green features incorporated into the home and is the the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, least 50 points, and meets the minimum points per category. Energy (30), Indoor Air Quality/5), Resources (6), and Water (9), Please contact Build It Green for a list of qualified GreenPoint	ì		Bui Smart Sc	ld It ilutions Fin	Gre	pund
e gree	you are interested in pursuing third-party verification.  In building practices listed below are described in the New Home Construction Green Building.  In a second secon		4	48	26	13	3
	DIENTE RESIDENCE - ADU	Points Achieved	Community	Energy	IAQHealth	Resources	T
		Poi	171				
SIT	1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees		F	Points Av	ailable P	er Measi	ure
1	a. Protect Topsoil from Erosion and Reuse after Construction	2	1				T
7	b, Limit and Delineate Construction Footprint for Maximum Protection	1					1
7	2. Deconstruct Instead of Demolishing Existing Buildings On Site	. 3	1-0-1	-		3	1
-	3. Recycle Job Site Construction Waste (Including Green Waste)				-		_
2	a. Minimum 50% Waste Diversion by Weight (Recycling or Reuse) - Reguired	0		-		R	ł
	b. Minimum 65% Diversion by Weight (Recycling or Reuse) c. Minimum 80% Diversion by Weight (Recycling or Reuse)	0				2	ł
-	4. Use Recycled Content Aggregate (Minimum 25%)		-			1 4	1
	a. Walkway and Driveway	0		-		1	T
5	b. Roadway Base	0				1	1
Ī	Total Points Available in Site = 12	6	1	0			
OU	INDATION		- F	oints Av	ailable P	er Measi	ure
,	1. Replace Portland Cement in Concrete with Recycled Flyash or Stag	-	1		_		_
3	a. Minimum 20% Flyash or Slag	0				1	4
-	b. Minimum 25% Flyash or Slag	0	-			1	+
-	2. Use Frost-Protected Shallow Foundation in Cold Areas (C.E.C. Climate Zone 16)	0			-4-	3	7
	Use Radon Resistant Construction (In At-Risk Locations Only)      Design and Build Structural Pest Controls	0			1		1
]	a. Install Termite Shields & Separate All Exterior Wood-to-Concrete Connections by Metal or Plastic Fasteners/Dividers	0	-			1	T
+	b. All New Plants Have Trunk, Base, or Stem Located At Least 36 Inches from Foundation	0				1	t
_	5. All New Plants Have Trains, Base, or Stell Located At Least 36 mones from Poundation  Total Points Available in Foundation = 8	0	-			1	1
LAN	DSCAPING	1	F	oints Av	ailable P	er Measi	ure
_	1. Construct Resource-Efficient Landscapes						
3	a. No Invasive Species Listed by Cal-IPC Are Planted	0					Ţ
3	b. No Plant Species Will Require Hedging  7.75% of Planta Are Designat Collisonia Notices, Meditorropean, or Other Appreciate Species	0				1	+
7	c. 75% of Plants Are Drought-tolerant California Natives, Mediterranean, or Other Appropriate Species  2. Use Fire-Safe Landscaping Techniques	0	1				+
-	2. Use Fire-Sare Landscaping Techniques 3. Minimize Turf Areas in Landscape Installed by Builder		-40		1		4
]	a. All Turf Will Have a Water Requirement Less than or Equal to Tall Fescue (≤0.8 plant factor)	0	-			T-	Ī
7	b. Turf Shall Not Be Installed on Slopes Exceeding 10% or in Areas Less than 8 Feet Wide	2	-				f
5	c. Turf is ≤33% of Landscaped Area (total 2 points)	0					Ī
3	d. Turf is ≤10% of Landscaped Area (total 4 points)	0	-				Ī
	4. Plant Shade Trees	0					I
<i>y</i>	5. Group Plants by Water Needs (Hydrozoning)	2	4.50				1
	6. Install High-Efficiency Irrigation Systems	1	7				
2	a. System Uses Only Low-Flow Drip, Bubblers, or Low-flow Sprinklers	2	1				1
7	b. System Has Smart Controllers	3					1
7	7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil	3					+
/	Mulch All Planting Beds to the Greater of 2 Inches or Local Water Ordinance Requirement     Use 50% Salvaged or Recycled-Content Materials for 50% of Non-Plant Landscape Elements.	1				-	+
7	9. Use 50% Salvaged or Recycled-Content Materials for 50% of Non-Plant Landscape Elements.  10. Reduce Light Pollution by Shielding Fixtures and/or Directing Light Downward	1	1			1	+
	Total Points Available in Landscaping = 31	17	1			1	4
STR	UCTURAL FRAME & BUILDING ENVELOPE		F	oints Av	ailable P	er Measi	ште
	1. Apply Optimal Value Engineering						
	a. Place Rafters and Studs at 24-Inch On Center Framing	0	1			1	I
	b. Size Door and Window Headers for Load	0	1			1	1
	c. Use Only Jack and Cripple Studs Required for Load	0	1			1	1
71	2. Use Engineered Lumber	2	-				-
7	a. Beams and Headers b. Insulated Engineered Headers	0		1		1	+
7	c. Wood I-Joists or Web Trusses for Floors	1	-	1		1	+
7	d. Wood I-Joists for Roof Rafters	1				1	t
	e. Engineered or Finger-Jointed Studs for Vertical Applications	0				1	+
5	f. Oriented Strand Board for Subfloor	0	1			1	t
5	g. Oriented Strand Board for Wall and Roof Sheathing	0				1	t
-	3. Use FSC-Certified Wood	1	-				1
	a, Dimensional Lumber, Studs and Timber: Minimum 40%	0	1			2	T
	b. Dimensional Lumber, Studs and Timber: Minimum 70%	0				2	1
_		- 1	-			-1	1
	c. Panel Products: Minimum 40%	0				1.0	Ш

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CAD	IENTE RESIDENCE - ADU	Points Achieved	Community	Energy	A Q/Health	Resources	Water
	2. Install Solar Water Heating System	0	0	10		-	-
ŏ	3. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft <sup>2</sup> of South-Facing Roof	0		2			
	4. Install Photovoltaic (PV) Panels	<u> </u>					
	a. 30% of electric needs OR 1.2 kW (total 6 points)	0		6		T	Ť.
Ħ	b. 60% of electric needs OR 2.4kW (total 12 points)	0		6			1
Ħ	c. 90% of electric need OR 3.6 kW (total 18 points)	0		6			-
	Total Available Points in Renewable Energy = 28	0		0			
BUIL	DING PERFORMANCE	U	P	oints Ava	ailable P	er Measi	ire.
2011	1. Diagnostic Evaluations			STATE STATE	30 00 10 1	or mode.	41.5
J	a. House Passes Blower Door Test	1		1			
1	b. House Passes Combustion Safety Backdraft Test	1		-	1		
					-		
15%	2. Design and Build High Performance Homes - % above Title 24 - minimum 15% Required	30		≥30	1		
	3. House Obtains ENERGY STAR with Indoor Air Package Certification - Pilot Measure (Total 45 points; read comment)	0			5	2	
	Total Available Points in Building Performance = 39	32					1
FINI	- FEMALET STORY AND STORY	- CE	F	oints Ava	ailable P	er Measi	ire
	1. Design Entryways to Reduce Tracked in Contaminants	1			1		
	2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)	,			_		-
4	a. Low-VOC Interior Wall/Ceiling Paints (<50 gpl VOCs (Flat) and <150 gpl VOCs (Non-Flat))	0			1		
1	b. Zero-VOC: Interior Wall/Ceiling Paints (<5 gpt VOCs (Flat))	3			3		
	3. Use Low VOC, Water-Based Wood Finishes (<250 gpl VOCs)	2			2		
J	4. Use Low-VOC Caulk and Construction Adhesives (<70 gpl VOCs) for All Adhesives	2			2		Ť
	4. Use Recycled-Content Paint  5. Use Recycled-Content Paint	0			-	1	
ш_	6. Use Environmentally Preferable Materials for Interior Finish: A) FSC-Certified Wood, B) Reclaimed, C) Rapidly Renewable, D) Recycled-Content	Q		1			1
	or E) Finger-Jointed						
	a. Cabinets (50% Mnimum)	0				1	
H	b. Interior Trim (50% Minimum)	0				1	1
H	c. Shelving (50% Minimum)	0				1	
H	d. Doors (50% Minimum)	0		-		1	-
H	Maria and Andreas Control of the Con	0		-	-	1	-
	e, Countertops (50% Minimum)	U				1	_
	7. Reduce Formaldehyde in Interior Finish (CA Section 01350)	- 7			an an		
	a. Subfloor & Stair Treads (50% Minimum)	1			1		-
V	b. Cabinets & Countertops (50% Minimum)	1			1		-
J	c. Interior Trim (50% Minimum)	1			1		
3	d. Shelving (50% Minimum)	1			1		
	8. After Installation of Finishes, Test of Indoor Air Shows Formaldehyde Level <27ppb	0			3		
FLO	Total Available Points in Finishes = 21  DRING	12	T I	oints Ava	ailabla D	or Mose	IFO.
. TLO	1. Use Environmentally Preferable Flooring: A) FSC-Certified Wood, B) Reclaimed or Refinished, C) Rapidly Renewable, D) Recycled-Content, E)		- 1	OII ILS PAVE	all diolo	CI IVICUSI	ne.
	Exposed Concrete. Flooring Adhesives Must Have < 50 gpl VOCs.						
-	a. Minimum 15% of Floor Area	0				1	
-	b. Minimum 30% of Floor Area	0		1		1	1
	c. Minimum 50% of Floor Area	0				1	1
ä	d. Minimum 75% of Floor Area	0		-		1	1
	2. Thermal Mass Floors: Floor Covering Other than Carpet on 50% or More of Concrete Floors			1		4	
	Che Martin Control a Control of the Control of the Control of the Martin Control of the Martin Control of the C	0		1	2	_	1
ш	3. Flooring Meets Section 01350 or CRI Green Label Plus Requirements (50% Minimum)  Total Available Points in Flooring = 7	0			~		_
I. APP	LIANCES AND LIGHTING	0.	F	oints Ava	ailable P	er Measi	ıre
	1. Install Water and Energy Efficient Dishwasher						
7	a. ENERGY STAR (total 1 point)	1	-	1			
4	b. Dishwasher Uses No More than 6.5 Gallons/Cycle (total 2 points)	1					1
574	2. Install ENERGY STAR Clothes Washing Machine with Water Factor of 6 or Less						
1	a. Meets Energy Star and CEE Tier 2 requirements (modified energy factor 2.0, Water Factor 6.0) (total 3 points)	3		1			2
	b. Meets Energy Star and CEE Tier 3 requirements (modified energy factor 2.2, Water Factor 4.5 or less)	0					2
	(total 5 points)	Ü					1165
-	CARLE TO CONTRACT A CARLES OF THE TOTAL CONTRACT AND THE TOTAL CONTR						
	3. Install ENERGY STAR Refrigerator	0		1			
	3. Install ENERGY STAR Refrigerator a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	0		1 4			
		0		1			
	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity	-		1			
	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center	0		1		2	
	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center	0 0 0				2	
	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center b. Built-In Composting Center  Total Available Points in Appliances and Lighting = 12	0 0 0				1	
. OTH	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center b. Built-In Composting Center  Total Available Points in Appliances and Lighting = 12  ER	0 0 0 0 5	F	oints Ava	ailable P	i er Measi	ıre
OTH	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center b. Built-In Composting Center  Total Available Points in Appliances and Lighting = 12  ER  1. Incorporate GreenPoint Rated Checklist in Blueprints - Required	0 0 0 0 5	F	Points Ava		1	
OTH	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center b. Built-In Composting Center  Total Available Points in Appliances and Lighting = 12  ER	0 0 0 0 5	F		ailable P	i er Measi	Jre 1
OTH	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center b. Built-In Composting Center  Total Available Points in Appliances and Lighting = 12  ER  1. Incorporate GreenPoint Rated Checklist in Blueprints - Required	0 0 0 0 5	F	Points Ava		i er Measi	
OTH	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-In Recycling Center a. Built-In Recycling Center b. Built-In Composting Center  Total Available Points in Appliances and Lighting = 12  ER 1. Incorporate GreenPoint Rated Checklist in Blueprints - Required 2. Develop Homeowner Manual of Green Features/Benefits  3. Community Design Measures & Local Priorities: See the Community Planning & Design section in Chapter 4 of the New Home Guidelines for measures. Maximum of 20 points for suggested measures. Local requirements may also be listed here.	0 0 0 0 5 0		oints Ava	1	er Measu R	1
OTH	a. ENERGY STAR Qualified & < 25 Cubic Feet Capacity b. ENERGY STAR Qualified & < 20 Cubic Feet Capacity  4. Install Built-in Recycling Center a. Built-in Recycling Center b. Built-in Composting Center  Total Available Points in Appliances and Lighting = 12  E.R. 1. Incorporate GreenPoint Rated Checklist in Blueprints - Required 2. Develop Homeowner Manual of Green Features/Benefits 3. Community Design Measures & Local Priorities: See the Community Planning & Design section in Chapter 4 of the New Home Guidelines for	0 0 0 0 5	0 0	Points Ava		i er Measi	

Single Family GreenPoint Checklist 2007 Version

1. Use Recycled-Content (No Virgin Plastic) or FSC Certified Wood Decking	CAE	DIENTE RESIDENCE - ADU	Points Achieved	Community	Energy	IA Q/Health	Resources	- Contract
A FAND   1		4. Use Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Stick Frame Assembly)			4	-	-	_
Company   First Company   Fi		The Control of the Co	0		2		2	1
Section		b. Walls	0		2		2	
International Process		c. Roofs	0		2		2	
District Connection of 1988 and 1988	h	5. Reduce Pollution Entering the Home from the Garage						
1. P. Princip Floreing Medician Chargos and Floreing Control Edging of Edding Walt)	J	a. Tightly Seal the Air Barrier between Garage and Living Area	4			1		
P. Design Reaff Treases to Accommended Dischards   S. User Report Content State State Sur Size International Contents   D. Harmonia Mean White State Only water of Mill Internative or West West Water State Only water or Mill Internative or West Water State Only water or Mill Internative or West Water State Only water or Mill Internative or West Water State Only water or Mill Internative or West Water State Only water or Mill Internative or West Water State Only water or Mill Internative or West Water State Only water or Mill Internative Or		b. Install Garage Exhaust Fan OR Build a Detached Garage	0			1		
B. Lie Recycle Content Seed Study for 120 of 11   1   1   1   1   1   1   1   1   1		6. Design Energy Heels on Trusses (75% of Attic Insulation Height at Outside Edge of Exterior Wall)	0		1			
D. Themal Market White: 66-66-bit Oyean to All Intriner' Wells or White Weighing more than 40 blocks.   1		7. Design Roof Trusses to Accommodate Ductwork	0		1			
1   1   1   1   1   1   1   1   1   1		8. Use Recycled-Content Steel Studs for 90% of Interior Wall Framing	0				1	
		9. Thermal Mass Walls: 5/8-inch Drywall on All Interior Walls or Walls Weighing more than 40 lb/cu.ft.	0		1			
Marieum 24-bit Control (1985)   Final Parts   Marieum 24-bit Control (1985)   Final Parts   Final		10. Install Overhangs and Gutters						
International Process   Control (to Virgin Plantic) or PSC Centrical Weed Decking	1	a. Minimum 16-Inch Overhangs and Gutters	1				1	10
1. Use Regive Chemit (br Virgin Plastic) or PSC Certified Wood Dacking	J	b. Minimum 24-Inch Overhangs and Gutters	1		1			
1.   1.   1.   2.   2.   1.   1.   1.		Total Points Available in Structural Building Frame and Envelope = 36	6					
2   Substant Parties Mayelem	EXT	ERIOR FINISH		F	oints Ava	ailable P	er Measi	ire
3   1.5		1. Use Recycled-Content (No Virgin Plastic) or FSC-Certified Wood Decking	0				2	
Select Durable and Noncombustable Reading Materials		2. Install a Rain Screen Wall System	0				2	
Total Fronts	4	3. Use Durable and Noncombustible Siding Materials	1				1	
	J	4. Select Durable and Noncombustible Roofing Materials	2				2	
Intellational Maria (Maria Maria M		Total Points Available in Exterior Finish = 7	3					
	INS	ULATION		F	oints Ava	ailable P	er Measi	ire
		1. Install Insulation with 75% Recycled Content						
	4		1				1	
		b. Ceilings	1				1	
		2. Install Insulation that is Low-Emitting (Certified Section 01350)			-			
D. Celings   1	1		1			1		
3. Inspect Quality of Insulation Installation before Applying Drywell   1			1					
Total Points Available in insulation = 5   5			1		1			
Points Available Per Measure		The state of the first and the first of the state of the	5		-	-	-	
1. Distributo Demaster Hot Water Efficiently (Maximum 7 Points)	. PLU			F	oints Ava	ailable P	er Measi	ire
						30 500 13	G. 71.5 G.S.	11.5
D. Incitation All Hard Water Pipes	[J]		2		1 4	1		
□ c. Use Engineered Parallel Piping with Demand Controlled Circuitation Loop         0         1         1           □ c. Use Sinchared Planning with Demand Controlled Circuitation Loop         0         1         1           □ f. Use Contral Core Plumbring         0         1         1           ☑ 2. Install Only High Efficiency Tolets (Dual-Flush or \$1.28 gpt)         0         1         1           I. Design and Install HAKA Gystem to ACOA Marual J, D, and S Recommendations         4         4         4         4           2. Install Sealed Combustion Units         2 <td></td> <td></td> <td>Access to the later of the late</td> <td></td> <td>_</td> <td></td> <td></td> <td></td>			Access to the later of the late		_			
d. Use Engineerine Parallel Piprog with Demand Controlled Circulation Loop   0			_		-		-	
c. Use Structure Plumbing with Demand Controlled Circulation Loop   1	H				-			
	H		-		1 4	-		-
2   2   Install Only High Efficiency Tollets (Dual-Flush or \$1.28 gph)	H	The state of the s			1		1	H
Total Points Available in Plumbing = Total 10			-		4		- 1	
HEATING, VENTILATION & AIR CONDITIONING  □ 1. Design and Install HIVAC System to ACCA Manual J, D, and S Recommendations □ 1. Design and Install HIVAC System to ACCA Manual J, D, and S Recommendations □ 3. Furnaces □ 5. Waler Heaters □ 8. Waler Heaters □ 9. Waler Heaters □ 1. San Junious March Marc	(2)							-
1.   Design and Install HVAC System to ACCA Menual J, D, and S Recommendations	HE		0	P	Pointe Ave	ailahla P	or Mose	iro
2. Install Sealed Combustion Units  2. Install Sealed Combustion Units  3. Furnices  2. 2. 2. 2. 2. 3. Install Wigh Erleaners  3. Install All High Efficiency Air Concilioning with Slab Edge insulation  4. Install High Efficiency Air Concilioning with Environmentally Responsible Retrigerants  5. Design and Install Effective Ductwork  5. Design and Install Effective Ductwork  5. Design and Install Effective Ductwork  6. Install HVAC Unit and Ductwork within Conditioned Space  7. Install Effective Ductwork under Altic Insulation Burners  8. Install Effective Ductwork under Altic Insulation Burners  9. Install Effective Ductwork under Altic Insulation Burners  9. Install High Efficiency HVAC Filter (MERV 5+)  9. Install High Efficiency HVAC Filter (MERV 5+)  9. Install High Efficiency HVAC Filter (MERV 5+)  9. Install Effective Exhaust Systems in Bathrooms and Kitchens  9. Install Effective Exhaust Systems in Bathrooms and Kitchens  9. Install Effective Exhaust Systems in Bathrooms and Kitchens  9. Install Effective Exhaust Systems in Bathrooms and Kitchens  9. Install Effective Exhaust System for Cooling (Maximum 4 Points)  9. Install Michanical Ventilation System for Cooling (Maximum 4 Points)  9. Install Michanical Ventilation System for Cooling (Maximum 4 Points)  10. Install Michanical Ventilation System filts Must All Points All Points (Maximum 4 Points)  11. Install Michanical Ventilation System filts Must All Points (Maximum 4 Points)  12. Install Michanical Ventilation System filts Must All Points (Maximum 4 Points)  13. Install Michanical Ventilation System filts Must All Points (Maximum 4 Points)  14. Install Effective Exhaust Systems filts Must All Points (Maximum 4 Points)  15. Install Michanical Ventilation System filts Must All Points (Maximum 4 Points)  16. Install Michanical Ventilation System filts Must All Points (Maximum 4 Points)  17. Design Wight Points Points (Maximum 4 Points)  18. Install Michanical Ventilation System filts Must All Points Points (Maximum 4 Points)  19. Install Michanical			1		-	all abic i	GI IVICUSI	110
□ a. Furnaces         2         2         2           □ b. Wafer Heaters         2         2         2           □ 3. Install Zoned, Hydroric Radiant Heating with Slab Edge Insulation         0         1         1           □ 4. Install High Efficiency Air Conditioning with Environmentally Responsible Refrigerants         1         1         1           □ 5. Design and Install Effective Duckvork         3	150		4		-			-
D. Water Heaters	12		0			5		
3. Install Flore Hydronic Radiant Heating with Slab Edge Insulation					-	-	-	+
	_	9.293(0.233,832)			4	_		-
5. Design and Install Effective Ductwork a. Install HVAC Unit and Ductwork within Conditioned Space b. Use Duct Mastic on All Duct Joints and Seams c. Install Ductwork under Attic Insulation (Buried Ducts) d. Pressure Balance the Ductwork System e. Protect Ducts during Construction and Clean All Ducts before Occupancy d. d. Pressure Balance the Ductwork System e. Protect Ducts during Construction and Clean All Ducts before Occupancy d. d. Pressure Balance the Ductwork System e. Protect Ducts during Construction and Clean All Ducts before Occupancy d. d				- 9	1	-1		+
☑ a. Install HVAC Unit and Ductwork within Conditioned Space         3         3           ☑ b. Use Duct Mastic on All Duct Joints and Seams         1         1           ☐ c. Install Ductwork under Attic Insulation (Buried Ducts)         0         1           ☑ d. Pressure Balance the Ductwork System         1         1           ☑ e. Protect Ducts during Construction and Clean All Ducts before Occupancy         1         1           ☑ e. Protect Ducts during Construction and Clean All Ducts before Occupancy         1         1           ☑ e. Protect Ducts during Construction and Clean All Ducts before Occupancy         1         1           ☑ f. Install High Efficiency HVAC Filter (MERV 6+)         1         1           ☑ f. Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less Than 60% using CSA Standards         1         1           ☑ f. Install Effective Exhaust Systems in Bathrooms and Kitchens         2         1         1           ☑ a. Install ENERGY STAR Bathroom Fiars Vertled to the Outside         1         1         1           ☑ a. Install ENERGY STAR Bathroom Fiars Are on Timer or Humidistat         1         1         1           ☑ a. Install ENERGY STAR Ceiling Fars & Light Kils in Living Areas & Bedrooms         1         1         1           ☑ a. Install ENERGY STAR Ceiling Fars & Light Kils in Living Areas & Bedrooms         0	T.	- NATIONAL TRANSPORTED AND AND AN ADMINISTRATION OF THE PROPERTY OF THE PROPER	1	1				
		**************************************	^		1 8			
□ c. Install Ductwork under Attic Insulation (Burred Ducts) 0 1   □ d. Pressure Balance the Ductwork System 1 1   □ e. Protect Ducts during Construction and Clean All Ducts before Occupancy 1 1   □ f. Install High Efficiency HVAC Filter (MERV 6+) 1 1   □ 7. Don't Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less Than 60% using CSA Standards 1 1   □ s. Install Effective Exhaust Systems in Bathrooms and Kitchens □ 1 1   □ a. Install Entergry STAR Bathroom Fans Vented to the Outside 1 1 1   □ b. All Bathroom Fans Are on Timer or Humidistat 1 1 1   □ c. Install Kitchanical Ventilation System for Cooling (Maximum 4 Points) 1 1 1   □ a. Install Entergry STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms 1 1 1   □ b. Install Whole House Fan with Variable Speeds 0 1 1   □ c. Auto matically Controlled Integrated System with Variable Speed Control 0 2 0   10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points) 0 2 0   10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points) 0 2 0   10. Install Air-to-Air Heat Exchanger that meets ASHRAE 622 0 1 2   11. Install Carbon Monoxide Alam(s) 1 1 1			-					-
						-		-
☑ e. Protect Ducts during Construction and Clean All Ducts before Occupancy       1       1       1         ☑ f. Install High Efficiency HVAC Filter (MERV 6+)       1       1       1         ☑ 7. Don't Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less Than 60% using CSA Standards       1       1       1         ☑ Install Effective Exhaust Systems in Bathrooms and Kitchens       2       1 <td></td> <td></td> <td>_</td> <td></td> <td></td> <td></td> <td>-</td> <td>-</td>			_				-	-
✓         6. Install High Efficiency HVAC Filter (MERV 6+)         1 <td< td=""><td></td><td></td><td>_</td><td></td><td>-</td><td>-</td><td></td><td>1</td></td<>			_		-	-		1
✓       7. Don't Install Fireplace or Install Sealed Gas Fireplaces with Efficiency Rating Not Less Than 60% using CSA Standards       1			-		1	-		-
Using CSA Standards         1           8. Install Effective Exhaust Systems in Bathrooms and Kitchens	<b>√</b>		1			_		1
8. Install Effective Exhaust Systems in Bathrooms and Kitchens       □ <t< td=""><td>V</td><td></td><td>1</td><td></td><td></td><td>1</td><td>3</td><td>i</td></t<>	V		1			1	3	i
☑ a. Install ENERGY STAR Bathroom Fans Verted to the Outside       1       1         ☑ b. All Bathroom Fans Are on Timer or Humidistat       1       1         ☑ c. Install Kitchen Range Hood Verted to the Outside       1       1         9. Install Mechanical Vertilation System for Cooling (Maximum 4 Points)       ■         ☑ a. Install ENERGY STAR Ceiling Fans & Light Kits in Living Areas & Bedrooms       1       1         ☐ b. Install Whole House Fan with Variable Speeds       0       1         ☐ c. Automatically Controlled Integrated System       0       2         ☐ d. Automatically Controlled Integrated System with Variable Speed Control       0       3         10. Install Mechanical Fresh Air Vertilation System (Maximum 3 Points)       ■         ☑ a. Any Whole House Vertilation System That Meets ASHRAE 622       0       2         ☑ b. install Air-to-Air Heat Exchanger that meets ASHRAE 622       0       1       2         ☑ b. install Carbon Monoxide Alarm(s)       1       1       1					_			
☑       b. All Bathroom Fans Are on Timer or Humidistat       1       1         ☑       c. Install Kitchen Range Hood Vented to the Outside       1       1         9. Install Mechanical Ventilation System for Cooling (Maximum 4 Points)	J	The state of the s	1		Ĭ	1 -	Ť T	1
✓ c. Install Kitchen Range Hood Vented to the Outside       1       1         9. Install Mechanical Ventilation System for Cooling (Maximum 4 Points)				_	1	-		+
9. Install Mechanical Ventilation System for Cooling (Maximum 4 Points)			_			_		1
☑       a. Install ENERGY STAR Ceiling Fars & Light Kits in Living Areas & Bedrooms       1       1         ☐       b. Install Whole House Fan with Variable Speeds       0       1         ☐       c. Automatically Controlled Integrated System       0       2         ☐       d. Automatically Controlled Integrated System with Variable Speed Control       0       3         10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)         ☐       a. Any Whole House Ventilation System That Meets ASHRAE 622       0       2         ☐       b. install Air-to-Air Heat Exchanger that meets ASHRAE 622       0       1       2         ☑       11. Install Carbon Monoxide Alarm(s)       1       1       1	Ç.				1	1		1
□       b. Install Whole House Fan with Variable Speeds       0       1         □       c. Automatically Controlled Integrated System       0       2         □       d. Automatically Controlled Integrated System with Variable Speed Control       0       3         10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)         □       a. Any Whole House Ventilation System That Meets ASHRAE 622       0       2         □       b. install Air-to-Air Heat Exchanger that meets ASHRAE 622       0       1       2         □       11. Install Carbon Monoxide Alarm(s)       1       1       1		F (1908) 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	4		1			
□ c. Automatically Controlled Integrated System       0       2         □ d. Automatically Controlled Integrated System with Variable Speed Control       0       3     10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)  a. Any Whole House Ventilation System That Meets ASHRAE 622  b. install Air-to-Air Heat Exchanger that meets ASHRAE 622  b. install Carbon Monoxide Alarm(s)  1 1 1					-			-
□ d. Automatically Controlled Integrated System with Variable Speed Control       0       3         10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)         □ a. Any Whole House Ventilation System That Meets ASHRAE 622       0       2         □ b. install Air-to-Air Heat Exchanger that meets ASHRAE 622       0       1       2         ☑ 11. Install Carbon Monoxide Alarm(s)       1       1       1			_		_		-	+
10. Install Mechanical Fresh Air Ventilation System (Maximum 3 Points)         □ a. Any Whole House Ventilation System That Meets ASHRAE 622       0       2         □ b. install Air-to-Air Heat Exchanger that meets ASHRAE 622       0       1       2         ☑ 11. Install Carbon Monoxide Alarm(s)       1       1       1			-		1			+
□         a. Any Whole House Ventilation System That Meets ASHRAE 622         0         2           □         b. install Air-to-Air Heat Exchanger that meets ASHRAE 622         0         1         2           ☑         11. Install Carbon Monoxide Alarm(s)         1         1         1	F		U		3			
b. install Air-to-Air Heat Exchanger that meets ASHRAE 622         0         1         2           ☑ 11. Install Carbon Monoxide Alarm(s)         1         1			0			- 2		
11. Install Carbon Monoxide Alarm(s)			-		-			1
	-				1	_		1
	N		-			1		
		EWADDITEMENG1		-	OHAS AV	and DIEP	el ivieasi	ALC:
RENEWABLE ENERGY Points Available Per Measure  1. Pre-Plumb for Solar Hot Water Heating  0 4	REN	1 Dra Diumb for Color Hot Water Heating	n.		A			

ADIENTE RESIDENCE - ADU	Points Achieved	Community	Energy	A Q/Health	Resources	Water
Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0	0
<ol> <li>Innovation: List innovative measures that meet the green building objectives of the Guidelines. Enter up to a maximum combined total of 20 pts. See Innovation Checklist for suggested measures, using the link to the right.</li> </ol>		Build   Guide	t Green lines	Check	lists an	<u>d</u>
Innovation in <b>Community</b> : Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0	0
Innovation in Energy. Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0	0
Innovation in IAQ/Health: Enter description here, and enter points available for measure in appropriate categories to the right.	0.	0	0	0	0	0
Innovation in Resources: Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0	0
Innovation in <b>Water</b> . Enter description here, and enter points available for measure in appropriate categories to the right.	0	0	0	0	0	0
Total Available Points in Other = 4:	0					
ummary						
Total Available Points in Specific Categories		4+	96+	42+	66+	43
Minimum Points Required in Specific Categories		0	30	5	6	3
Total Points Achieved	116	4	48	26	13	2

Single Family GreenPoint Checklist 2007 Version

Page 2 of 4

NO. DESCRIPTION

NO. DESCRIPTION

BY DATE

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DeMattei Construction, Inc.

1794 The Alameda, San Jose, CA. 95126
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F: (408) 286-6589
LIC.# B-478455

DATE: 12/17/2018 SCALE:

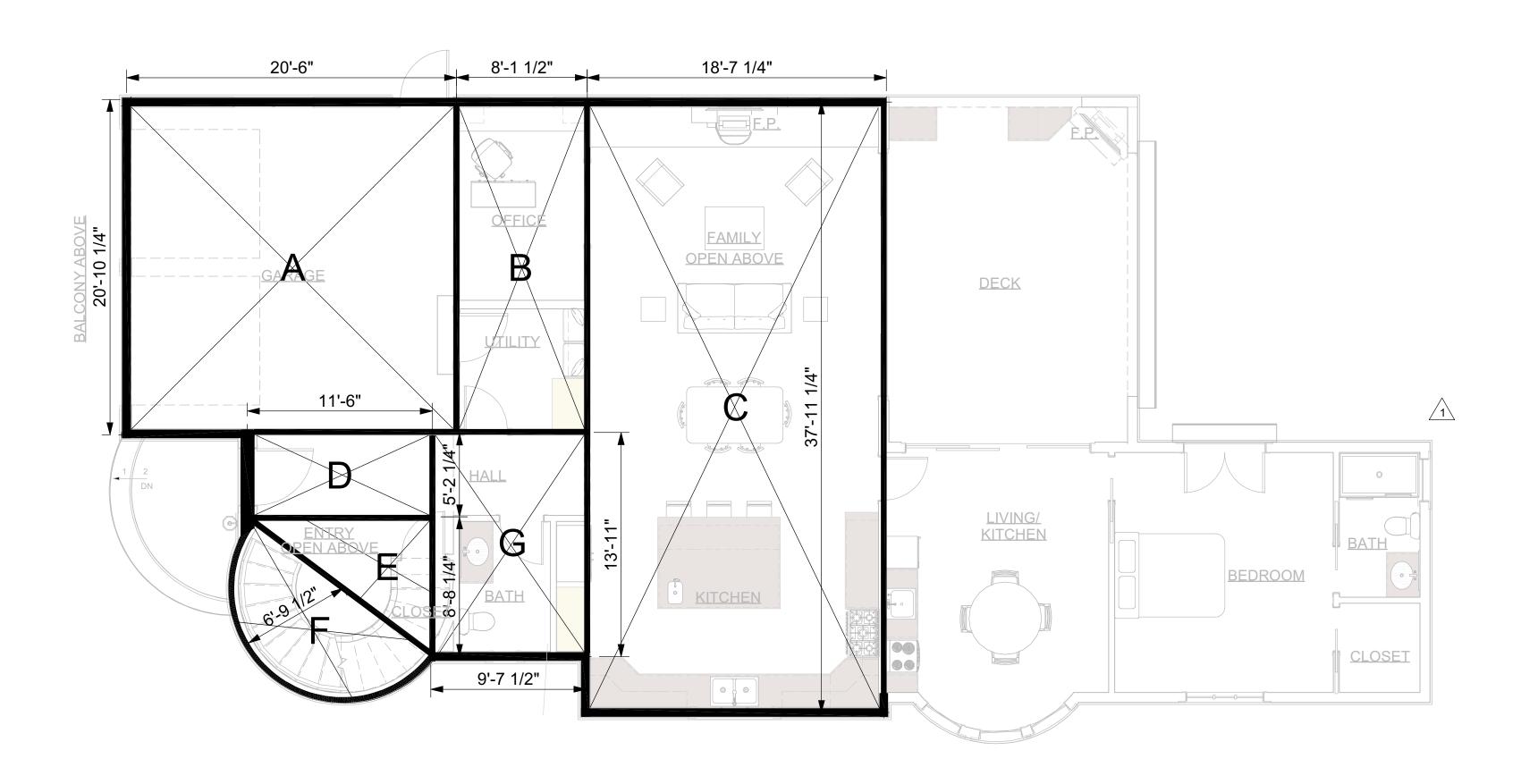
As shown DRAWN BY:

LL / JW

SHEET:

A0/2/2040 A0

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FIRST FLOOR:

LETTER WIDTH LENGTH AREA

B 8'-1 1/2" 20'-10 1/4" 167.58

C 18'-7 1/4" 37'-11 1/4" 705.80

D 11'-6" 5'-2 1/4" 59.66

E 11'-6" 8'-8 1/4" 49.95

F radius= 6'-9 1/2" 72.46

G 9'-7 1/2" 13'-11" 133.95

FIRST FLOOR TOTAL 1,189.40 SF

SECOND FLOOR:

LETTER WIDTH LENGTH AREA

K 13'-11 3/4" 20'-10 1/4" 291.52

L 13'-9 1/2" 18'-2" 250.55

M radius= 2'-8" 5.59

N 5'-5 3/4" 5'-5" 29.68

P 40'-8 1/4" 16'-5 1/2" 669.65

Q 4'-3 3/4" 6'-4 1/4" 26.68

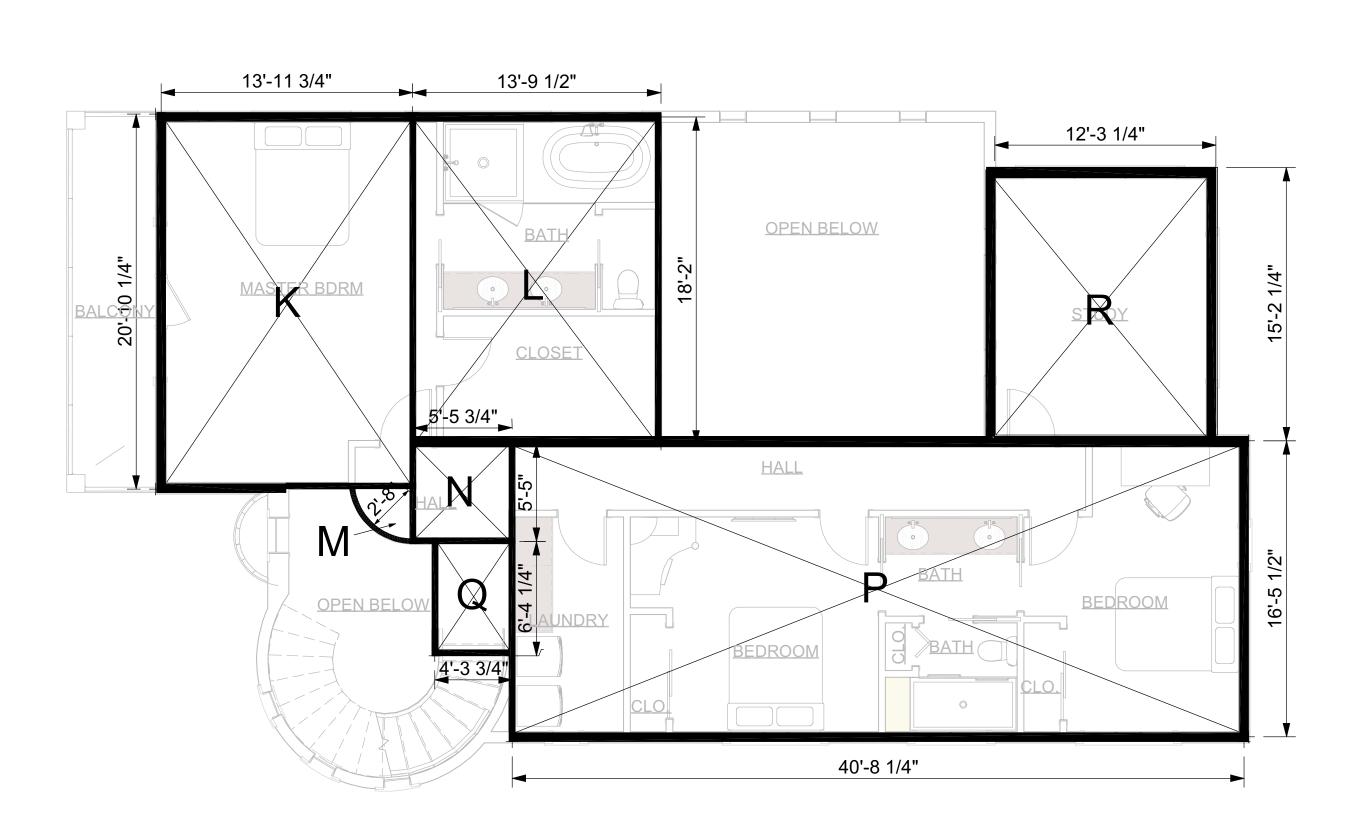
R 12'-3 1/4" 15'-2 1/4" 186

SECOND FLOOR TOTAL 1,459.67 SF

1 PROPOSED FIRST FLOOR PLAN
Scale: 3/16"=1'-0"

Project North

True North



PROPOSED SECOND FLOOR PLAN

Scale: 3/16"=1'-0"

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DESCRIPTION
ESPONSES TO PLAN CHECK COMMENTS

LL 03/26/2019

FLOOR AREA DIAGRAMS

Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

DRAWINGS PROVIDED BY:

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LIC.# B-478455

DATE: 12/17/2018

SCALE:

As shown

DRAWN BY:

LL / JW

SHEET:

## **TYPICAL NOTES:**

#### **BATHROOM ELECTRICAL:**

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

#### KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS-STOVES).
- MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG. E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

D. REQ'D RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A

#### LAUNDRY ELECTRICAL:

- A ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFCI) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER. B PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY
- RECEPTACLE OUTLET. C MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

#### LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW: A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO
- B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° FL BOWS AND A MIN. OF 4" DIA.
- C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (i.e., DRYERS, BATH AND UTILITY FANS. ETC., MUST BE 3 FEET AWAY FROM DOORS WINDOWS.
- OPENING SKYLIGHTS OR ATTIC VENTS). D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTIL ATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED SEPARATELY FROM LIGHTING SYSTEM.

#### HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(k)G
- C. ALL JA8 COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATRHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR. E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT
- FOR KITCHEN EXHAUST HOODS). F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER
- LIGHTING SYSTEMS. G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES, LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY
- VACANCY SENSORS. H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF. I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9.
- J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS AND VACANCY

## **CARBON MONOXIDE ALARMS:**

- CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS: A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE
- VICINITY OF THE BEDROOM (S). B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- C. IN GROUP R-1 OCCUPANCIES; ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE
- MANUFACTURER'S INSTALLATION INSTRUCTIONS. D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT
- E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM
- SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

## **SMOKE DETECTORS:**

- A. SMOKE DETECTOR SYSTEM SHALL BE HARD WIRED, INTERCONNECTED TO SOUND SIMULTANEOUSLY AND EQUIPPED WITH BATTERY BACKUP.
- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT. C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/

ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS

- (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.). D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND
- MANUFACTURERS INSTRUCTIONS.

#### PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
- C. ALL NEW SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 80 PSI.
- D. ALL NEW KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI.

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1
- C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT. FIBER REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE
- D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER AND BATHTUB. LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC.
- F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN AND ABLE TO CONTAIN A 30" DIA. CIRCLE.
- G. SHOWER AND TUB SHOWER COMBINATION IN ALL BUILDING SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE.

#### ATTIC/UNDERFLOOR INSTALLED FAU:

- A. UNIT SHALL BE ACCESSIBLE THROUGH AN OPENING AND PASSAGEWAY NOT LESS THAN THE LARGEST COMPONENT OF THE UNIT AND NOT LESS THAN 22"x30" B. THE DISTANCE FROM THE PASSAGEWAY ACCESS TO THE UNIT SHALL NOT EXCEED
  - C. THE WIDTH OF THE PASSAGEWAY SHALL BE UNOBSTRUCTED AND SHALL HAVE
  - SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO
- D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN FRONT OF THE SERVICE SIDE OF THE UNIT. E. A PERMANENT 120V RECEPTACLE OUTLET AND A LIGHTING FIXTURE SHALL BE INSTALLED NEAR THE UNIT. THE SWITCH CONTROLLING THE LIGHTING FIXTURE

SHALL BE LOCATED AT THE ENTRANCE TO THE PASSAGEWAY.

#### KITCHEN VENTILATION:

WHERE COMBUSTION APPLIANCES OR SOLID-FUEL BURNING APPLIANCES ARE LOCATED INSIDE THE PRESSURE BOUNDARY, THE MAXIMUM ALLOWABLE NET EXHAUST FLOW OF THE TWO LARGEST EXHAUST FANS SHALL NOT EXCEED 15 CFM PER 100 SQ. FT. OF OCCUPIABLE SPACE, WHEN OPERATING AT FULL CAPACITY. IF THE DESIGNED TOTAL NET FLOW EXCEEDS THIS LIMIT, THE NET EXHAUST FLOW MUST BE REDUCED BY REDUCING THE EXHAUST FLOW OR PROVIDING COMPENSATING OUT-DOOR AIRFLOW (NOTE: IF MAKE-UP AIR FAN IS INSTALLED IT MUST BE ELECTRICALLY INTERLOCKED WITH THE LARGEST EXHAUST FAN)

## **ELECTRIC VEHICLE (EV) CHARGING:**

ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:

- A. A LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX,OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
- B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV
- D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

#### **TOWN STANDARDS:**

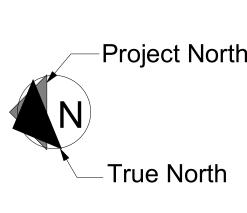
RESIDENTIAL ACCESSIBILITY

- A ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL. B THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A
- 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INFERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE

## C A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.

#### FIREPLACE:

A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.



1

**PLANNING SET 10/3/2019** 

1

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P: (408) 295-7516

DATE:

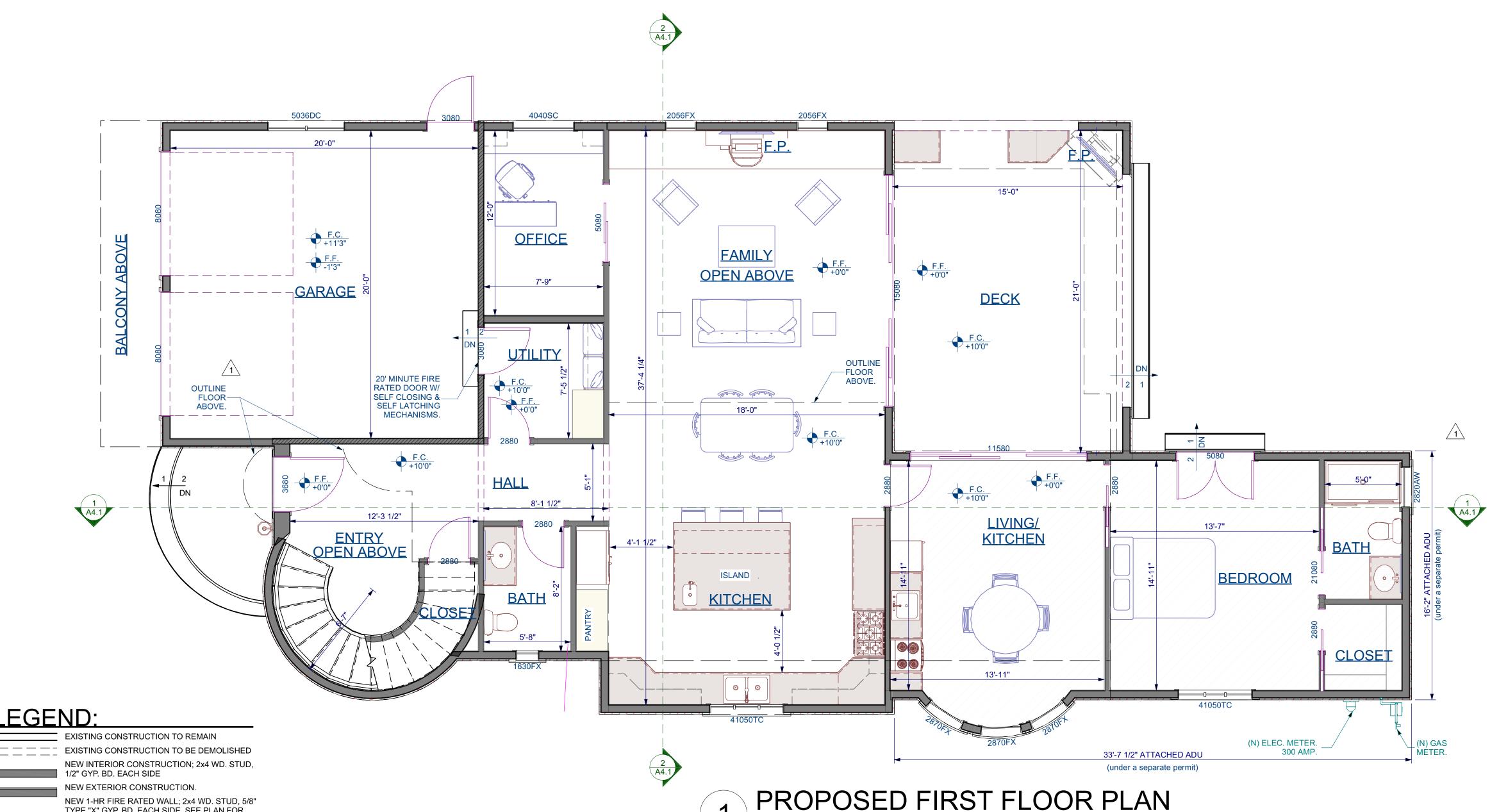
12/17/2018 SCALE:

As shown

DRAWN BY: LL / JW

SHEET:

**A2.**1



Scale: 1/4"=1'-0"

## **TYPICAL NOTES:**

#### **BATHROOM ELECTRICAL:**

- A. PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE BATHROOM OUTLETS. THIS CIRCUIT CANNOT SUPPLY ANY OTHER RECEPTACLES, LIGHTS, FANS, ETC. (EXCEPTION-WHERE THE CIRCUIT SUPPLIES A SINGLE BATHROOM, OUTLETS FOR OTHER EQUIPMENT WITHIN THE SAME BATHROOM SHALL BE PERMITTED TO BE SUPPLIED).
- B. ALL BRANCH CIRCUITS TO BE PROTECTED BY GROUND FAULT CIRCUIT INTERRUPTER (GFCI).

#### KITCHEN ELECTRICAL:

- A. ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTER(AFCI).
- B. PROVIDE AFCI AND GFCI PROTECTION AT ALL RECEPTACLES SERVING KITCHEN COUNTERTOPS.
- C. AT EACH KITCHEN AND DINING AREA COUNTER SPACE WIDER THAN 12", LOCATE A RECEPTACLE SO THAT NO POINT ALONG THE COUNTER WALL IS OVER 24" FROM A RECEPTACLE. COUNTERTOP RECEPTACLES REQUIRED WITHIN 24" EACH SIDE OF A BREAK IN THE CONTINUOUS COUNTERTOP SURFACE (SINKS-STOVES).
- D. REQ'D RECEPTACLES MOUNTED ON THE SIDES OF CABINETS SHALL BE A MAXIMUM OF 12" BELOW THE COUNTERTOP SURFACE WITH A MAXIMUM OF 6" COUNTERTOP OVERHANG.

#### E. PROVIDE AT LEAST TWO (2) 20 AMP CIRCUITS FOR COUNTER RECEPTACLES.

#### LAUNDRY ELECTRICAL:

SEPARATELY FROM LIGHTING SYSTEM.

- A ALL BRANCH CIRCUITS TO BE PROTECTED BY ARC-FAULT (AFCI) CIRCUIT INTERRUPTER AND GROUND FAULT (GFCI) CIRCUIT INTERRUPTER. B PROVIDE 20AMP DEDICATED BRANCH CIRCUIT TO SUPPLY THE LAUNDRY
- RECEPTACLE OUTLET. C MINIMUM 30 AMP DEDICATED CIRCUIT FOR DRYER PER CEC 220.54.

## LAUNDRY/BATHROOM VENTILATION:

- FOR LAUNDRY ROOMS AND BATHROOMS WITHOUT AN OPERABLE WINDOW: A. PROVIDE MECHANICAL VENTILATION SYSTEM CAPABLE OF 5 AIR CHANGES/HR. TO
- B. USE SMOOTH METAL DUCT FOR DRYER EXHAUST WITH A MAX. LENGTH OF 14', TO OUTSIDE WITH BACKDRAFT DAMPER AND TWO 90° ELBOWS AND A MIN. OF 4" DIA. C. TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS SHALL BE A MINIMUM OF 3 FEET

FROM PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING (i.e., DRYERS,

BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS). D. EXHAUST FANS SHALL HAVE A MIN. OF 50 CFM FOR INTERMITTENT VENTIL ATION OR 20 CFM FOR CONTINUOUS VENTILATION AND BE ENERGYSTAR COMPLIANT AND BE EQUIPPED WITH A HUMIDISTAT AND HUMIDITY CONTROL. AND BE SWITCHED

#### HIGH EFFICACY LIGHTING:

- A. ALL LIGHTING SHALL BE HIGH EFFICACY AS DEFINED BY CEC TABLE 150.0-A B. ALL PERMANENTLY INSTALLED SCREW-BASED LIGHT FIXTURES SHALL CONTAIN SCREW-BASED JA8 (JOINT APPENDIX 8) COMPLIANT LAMPS AND BE MARKED AS JA8-2016 OR JA8-2016-E. CEC 150.0(k)G
- C. ALL JA8 COMPLIANT LIGHT FIXTURES INSTALLED IN CEILING RECESSED DOWNLIGHTS, LED LUMINARIES WITH INTEGRAL SOURCES, PIN-BASED LED LAMPS, AND GU24 BASED LED LIGHT SOURCES SHALL BE CONTROLLED BY VACANCY SENSORS OR DIMMERS.
- D. AT LEAST ONE FIXTURE IN EACH BATRHROOM, GARAGE, LAUNDRY ROOM, AND UTILITY ROOM SHALL BE CONTROLLED BY A VACANCY SENSOR.
- E. ALL LIGHTING SHALL BE SWITCHED SEPARATELY FROM EXHAUST FANS (EXCEPT FOR KITCHEN EXHAUST HOODS). F. ALL UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER
- LIGHTING SYSTEMS. G. GARAGE, LAUNDRY, AND UTILITY ROOMS: LIGHTING INSTALLED IN GARAGES,
- LAUNDRY, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY VACANCY SENSORS. H. HIGH EFFICACY LIGHTING IS NOT REQUIRED IN CLOSETS OF LESS THAN 70 SF. I. OUTDOOR LIGHTING PERMANENTLY MOUNTED TO A RESIDENTIAL BUILDING SHALL BE HIGH EFFICACY AND CONTROLLED WITH A MANUAL ON/OFF SWITCH AND BY
- PHOTO CONTROL AND A MOTION SENSOR. PER ENERGY 110.9. J. ALL OTHER ROOMS: LIGHTING INSTALLED IN ALL OTHER ROOMS SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY EITHER DIMMERS OR VACANCY

#### **CARBON MONOXIDE ALARMS:**

CARBON MONOXIDE ALARMS REQUIRED BY SECTION 420.6.2 SHALL BE INSTALLED AND MAINTAINED IN THE FOLLOWING LOCATIONS: A. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE

- VICINITY OF THE BEDROOM (S). B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.
- C. IN GROUP R-1 OCCUPANCIES; ON THE CEILING OF EVERY SLEEPING UNIT OR OTHER LOCATIONS WITHIN THE SLEEPING UNIT IN COMPLIANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- D. CARBON MONOXIDE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND SHALL BE EQUIPPED WITH BATTERY BACK-UP. ALARM WIRING SHALL BE DIRECTLY CONNECTED TO THE PERMANENT BUILDING WIRING WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVERCURRENT
- E. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED WITHIN THE DWELLING UNIT OR WITHIN A SLEEPING UNIT, THE ALARM SHALL BE INTERCONNECTED IN A MANNER THAT ACTIVATION OF ONE ALARM
- SHALL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. F. CARBON MONOXIDE ALARMS SHALL BE LISTED AND COMPLY WITH UL 2034 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

### **SMOKE DETECTORS:**

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- B. INSTALL DETECTORS IN EACH BEDROOM, AT EACH CORRIDOR/AREA NEXT TO THE BEDROOM, AT THE TOP OF STAIRS AND EACH STORY AND BASEMENT. C. MULTIPLE SMOKE DETECTORS ARE REQUIRED WHEN CEILING LEVELS/
- ELEVATIONS CHANGE OR ARE INTERRUPTED BY ARCHITECTURAL ELEMENTS (CASED OPENINGS, ARCHWAYS, SKYLIGHT WELLS, ETC.).
- D. SMOKE DETECTORS SHALL BE LISTED AND COMPLY WITH UL 217 AND BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH NFPA 720 AND MANUFACTURERS INSTRUCTIONS.

#### PLUMBING:

- A. ALL NEW TOILETS SHALL HAVE AN EFFECTIVE FLUSH VOLUME NOT TO EXCEED 1.28 GALLONS PER FLUSH.
- B. ALL NEW LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 1.2 GALLONS PER MINUTE AT 60 PSI.
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### AT 60 PSI.

- A. WATER CLOSETS SHALL BE LOCATED IN SPACES NOT LESS THAN 30" IN WIDTH AND 24" IN FRONT.
- B. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED WHERE THERE WILL BE DIRECT EXPOSURE TO WATER. CRC 702.3.7.1 C. BACKER FOR SHOWER AND TUB SHOWER WALLS TO BE FIBER-CEMENT. FIBER
- REINFORCED CEMENTITIOUS BACKER UNITS, GLASS MAT GYPSUM BACKERS OR FIBER-REINFORCED GYPSUM BACKERS TO A MIN HEIGHT OF 72" ABOVE THE D. USE 2X8 WOODEN BACKING IN ALL BATHROOM WALLS AT WATER CLOSET SHOWER
- AND BATHTUB. LOCATED AT 34" FROM FLOOR TO CENTER OF THE BACKING SUITABLE FOR THE ADDITION OF GRAB BARS.
- E. DOORS AND PANELS OF TUB AND SHOWER ENCLOSURES SHALL BE FULLY TEMPERED LAMINATED SAFETY GLASS OR APPROVED PLASTIC. F. SHOWER COMPARTMENTS SHALL HAVE MIN INTERIOR FLOOR AREA OF 1024 SQ IN
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- SOLID FLOORING NOT LESS THAN 24" WIDE FROM THE ENTRANCE OPENING TO D. A LEVEL WORKING PLATFORM NOT LESS THAN 30" BY 30" SHALL BE PROVIDED IN
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# **ELECTRIC VEHICLE (EV) CHARGING:**

ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE INSTALLED TO FACILITATE THE FUTURE INSTALLATION OF AN EV CHARGING DEVICE AND MUST COMPLY WITH THE FOLLOWING:

- A. A LISTED TRADE SIZE 1 RACEWAY SHALL BE INSTALLED TO ACCOMMODATE A DEDICATED 208/240-VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE FROM THE MAIN SERVICE PANEL OR SUB PANEL AND TERMINATES INTO A LISTED CABINET, BOX,OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE FUTURE CHARGING DEVICE.
- B. THE SERVICE PANEL AND/OR SUB PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MIN. BRANCH CIRCUIT AND SPACE RESERVED TO ACCOMMODATE A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- C. THE ELECTRICAL PANEL SCHEDULE SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE RESERVED FOR FUTURE EV CHARGING AS "EV
- D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE".

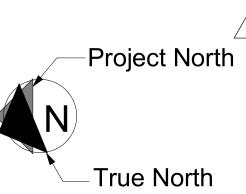
#### **TOWN STANDARDS:**

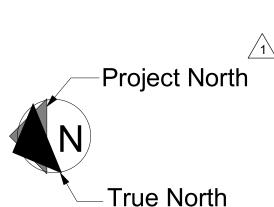
RESIDENTIAL ACCESSIBILITY

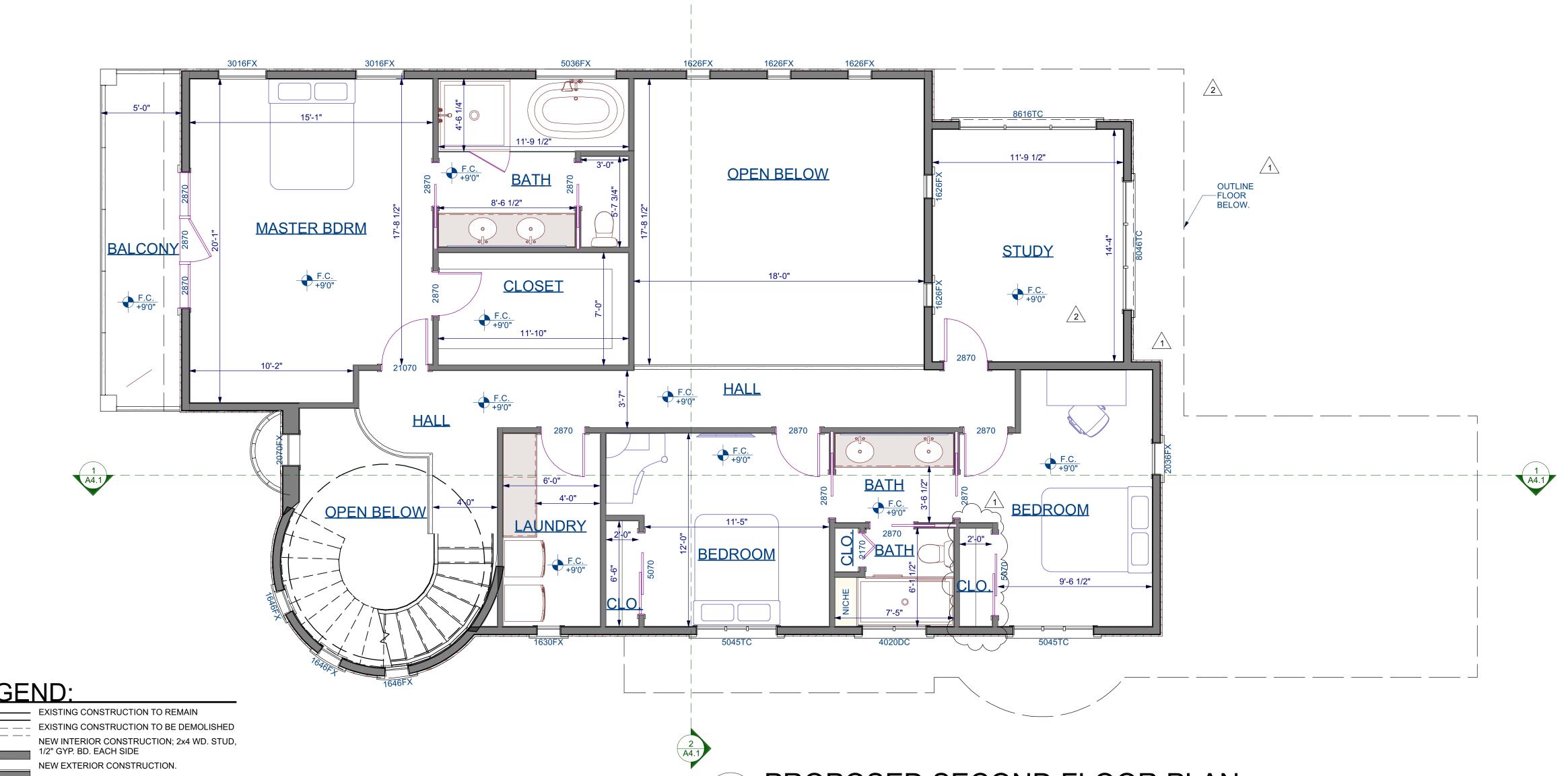
- A ALL PASSAGE DOOR SHALL BE AT LEAST 32 INCH DOORS ON THE ACCESSIBLE FLOOR LEVEL.
- B THE PRIMARY ENTRANCE DOOR SHALL BE A 36 INCH WIDE DOOR INCLUDING A 5'X5' LEVEL LANDING, MORE THAN 1 INCH OUT OF PLANE WITH THE IMMEDIATE INFERIOR FLOOR LEVEL AND WITH AN 18 INCH CLEARANCE AT INTERIOR STRIKE
- C A DOOR BUZZER, BELL OR CHIME SHALL BE HARD WIRED AT PRIMARY ENTRANCE.

#### FIREPLACE:

A. NEW WOOD BURNING FIREPLACES SHALL BE AN EPA PHASE II APPROVED APPLIANCES OR GAS APPLIANCE PER TOWN ORDINANCE 1905. TREE LIMBS SHALL BE CUT WITHIN 10 FEET OF CHIMNEYS.







LEGEND: **EXISTING CONSTRUCTION TO REMAIN** 

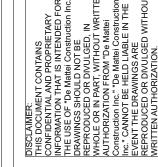
> NEW INTERIOR CONSTRUCTION; 2x4 WD. STUD, NEW 1-HR FIRE RATED WALL; 2x4 WD. STUD, 5/8"

TYPE "X" GYP. BD. EACH SIDE. SEE PLAN FOR

LOCATIONS.

PROPOSED SECOND FLOOR PLAN Scale: 1/4"=1'-0"

**PLANNING SET 10/3/2019** 



12/17/2018

SCALE: As shown

DRAWN BY:

LL / JW

SHEET:

**A2.2** 



# 2 SOUTH REAR EXTERIOR ELEVATION Scale: 1/4"=1'-0"



1 NORTH FRONT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"

NOTES: A. DECORATIVE WOOD. IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2 1769/2019 INFORMATION THAT IS INTENDENTIAL AND PROPRIET INFORMATION THE PRANMINGS ARE EVENT THE DRAWINGS ARE REPRODUCED OR DIVULGED IN WRITTEN AUTHORIZATION.

NO.	NO. DESCRIPTION	ВҮ	BY DATE
	RESPONSES TO PLAN CHECK COMMENTS	Ⅎ	03/26/20
2	RESPONSES TO PLAN CHECK COMMENTS	Ⅎ	07/09/20

PROPOSED EXTERIO ELEVATIONS

Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

DRAWINGS PROVIDED BY:

DeMattei Construction, Inc.
1794 The Alameda, San Jose, CA. 95126
P: (408) 295-7516
F: (408) 286-6589
LIC.# B-478455

DATE:

12/17/2018

SCALE:

As shown DRAWN BY:

LL / JW
SHEET:

A3.1



2 WEST RIGHT EXTERIOR ELEVATION
Scale: 1/4"=1'-0"



EAST LEFT EXTERIOR ELEVATION

Scale: 1/4"=1'-0"

NOTES: A. DECORATIVE WOOD. IGNITION-RESISTANT, FIRE-RETARDANT-TREATED WOOD PER SFM STANDARD 12-7A-5, ASTM E84. SEE DETAIL 7/A4.2 LL 03/26/2019 THE USE OF "De Ma THE USE OF "De Ma DRAWINGS SHOULE PREPRODUCED OR INTERNATION FROM THE OR IN PARTY AUTHORIZATION FROM THE EVENT THE DRAWIN REPRODUCED OR INTERNAUTHORIZATION REMAINDER HE EVENT THE DRAWIN REPRODUCED OR INTERNAUTHORIZATION FROM THE DRAWIN REPRODUCED OR INTERNAUTHORIZATION FROM THE EVENT THE DRAWING THE EVENT THE EVENT THE DRAWING THE EVENT THE E

O. DESCRIPTION

RESPONSES TO PLAN CHECK COMMENTS

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RESPONSES TO PLAN CHECK COMMENTS

LL 07/09/20

PROPOSED EXTERIO ELEVATIONS

> Coulson Residence 16336 Shady View Ln Los Gatos, CA 95032

Mattei Construction, Inc.
1794 The Alameda, San Jose,CA. 95126
P: (408) 295-7516
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DATE: 12/17/2018

SCALE:

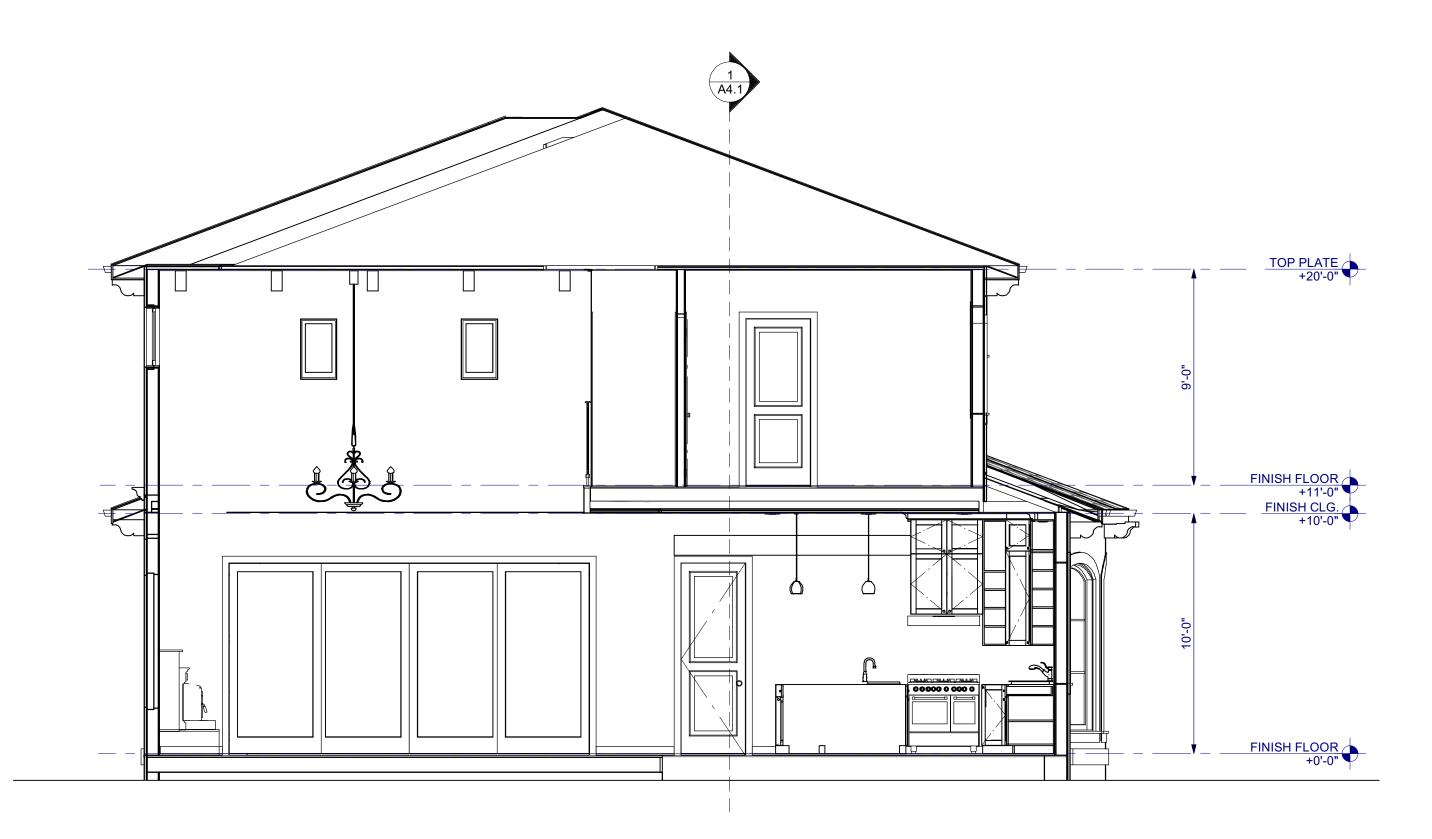
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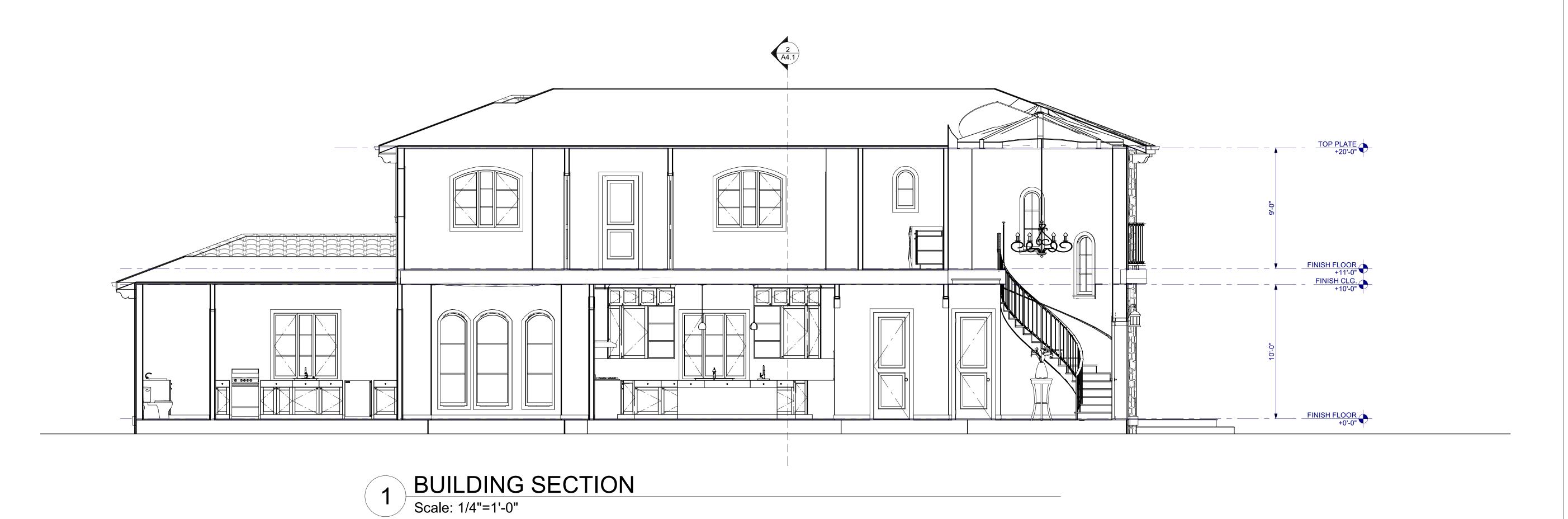
LL / JW

SHEET:

A3.2



BUILDING SECTION
Scale: 1/4"=1'-0"



PLANNING SET 10/3/2019

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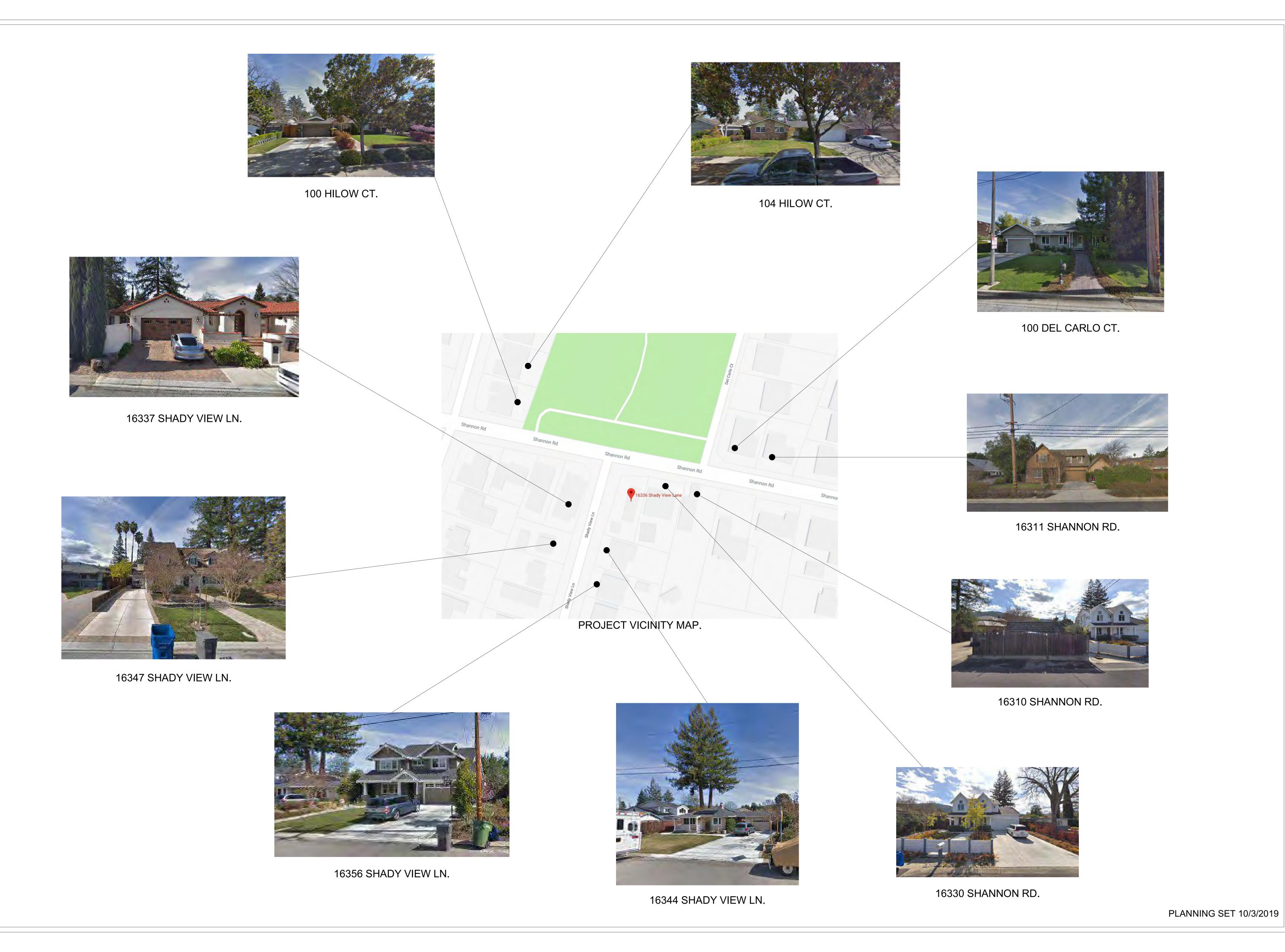
SCALE:

As shown DRAWN BY:

LL / JW

SHEET:

**A4.1** 



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DESCRIPTION BY DA

NEIGHBORHOOD PHOTOGRAPHS

> 16336 Shady View Ln Los Gatos, CA 95032

ttei Construction, Inc.
The Alameda, San Jose, CA. 95126
P: (408) 295-7516
F: (408) 286-6589

DRAWINGS F DeMat := 1794

DATE: 12/17/2018

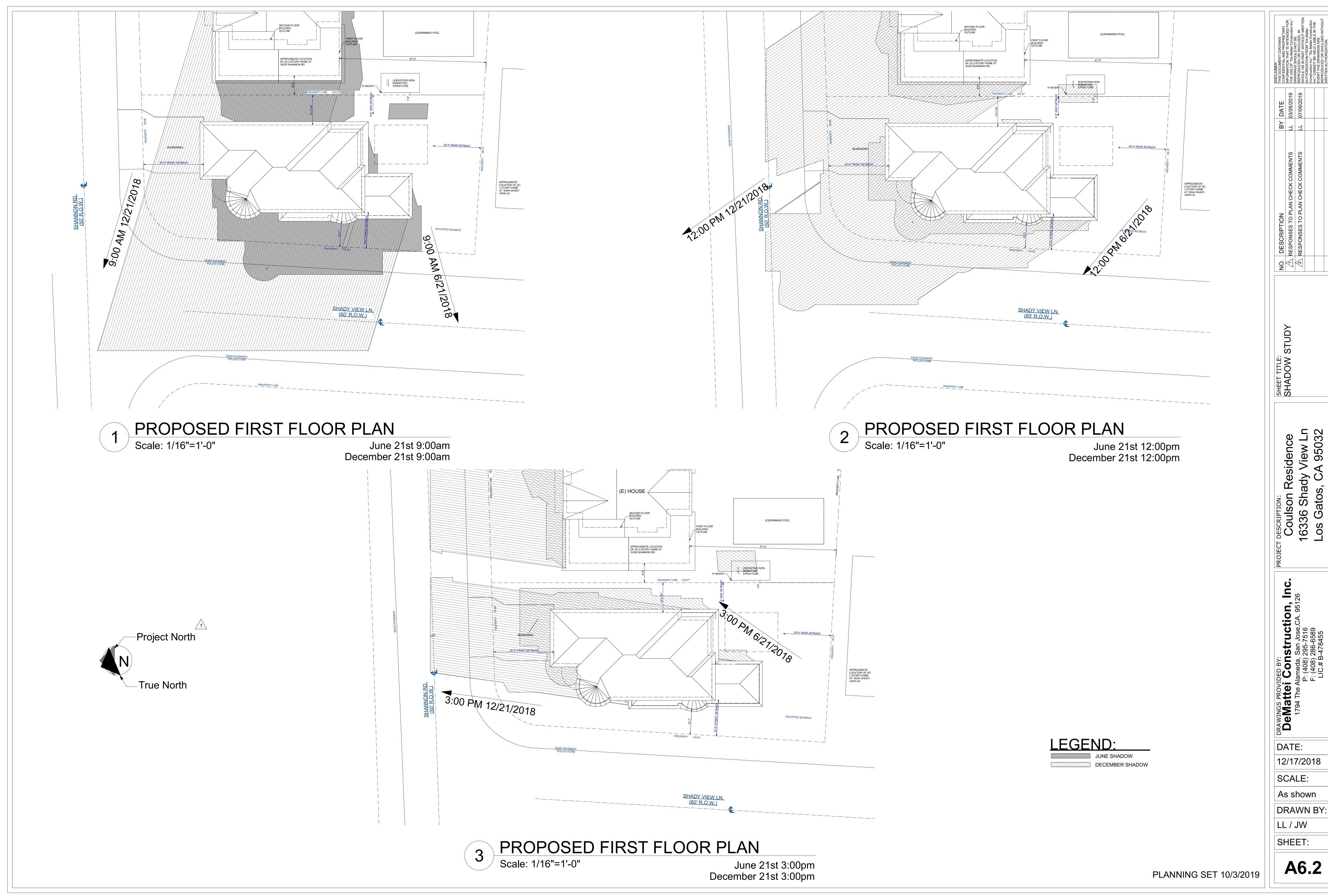
SCALE:

SCALE:
As shown

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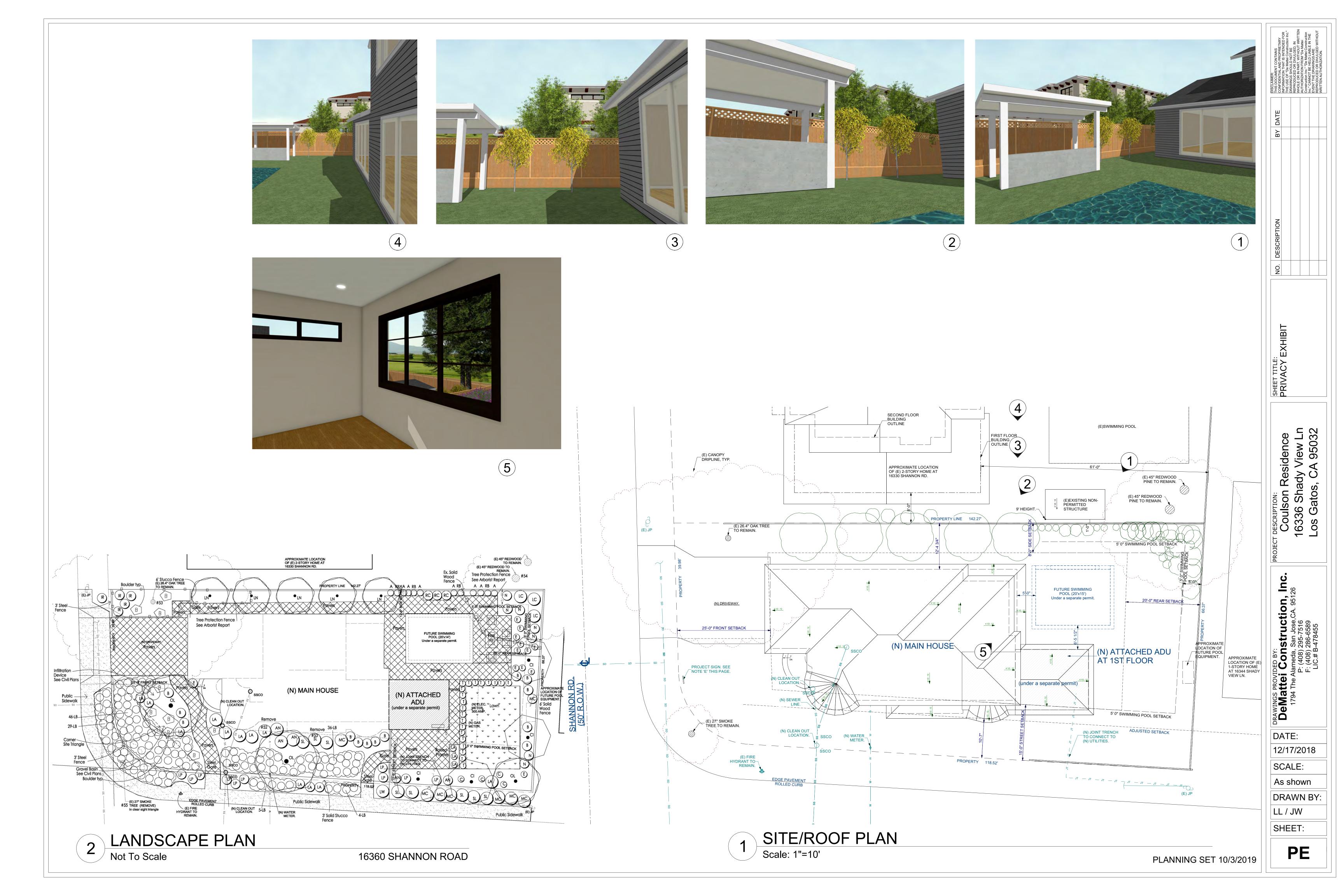
**A6.1** 



A6.2



PLANNING SET 10/3/2019 **A6.3** 



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