

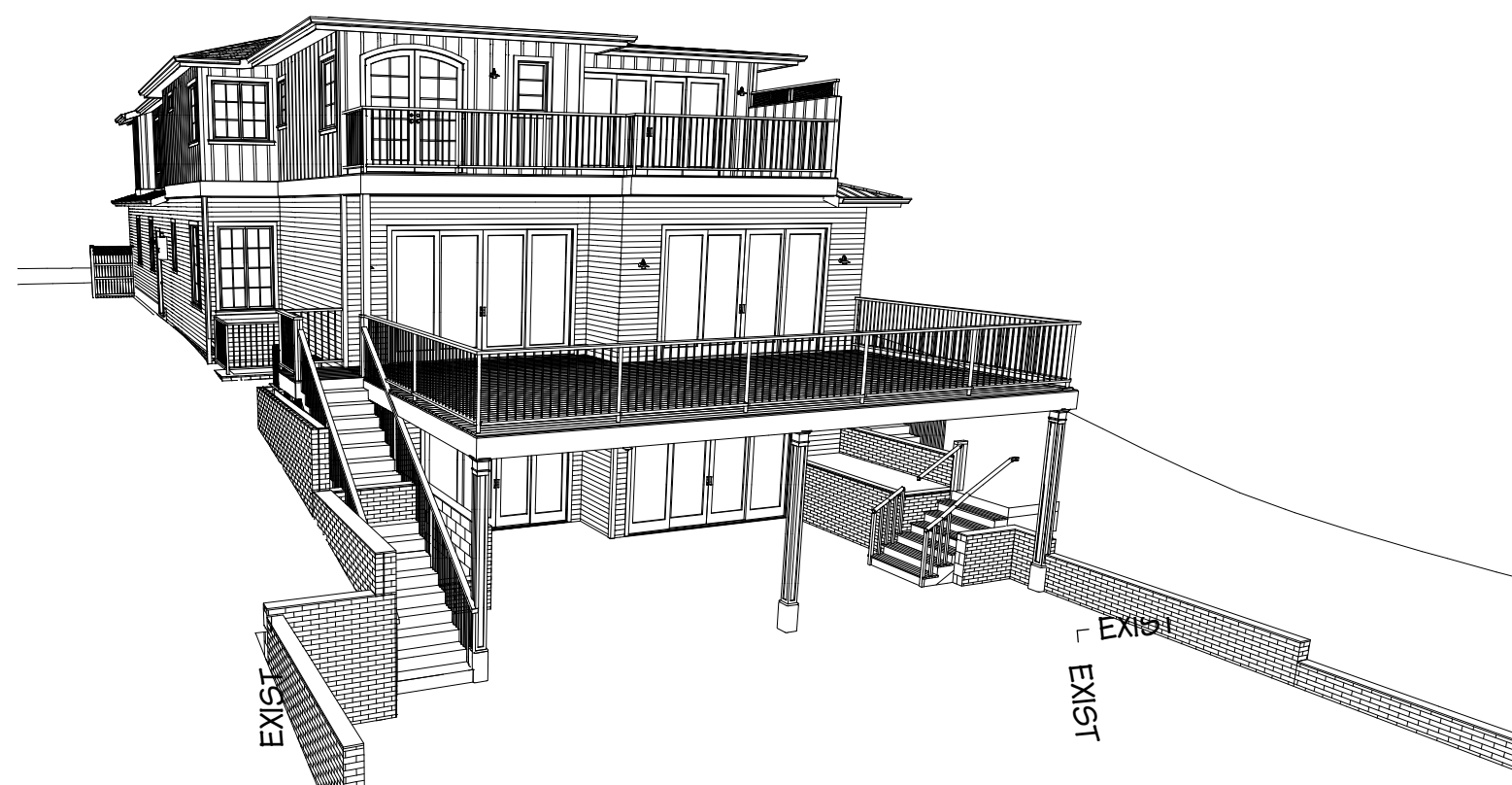
The table below lists the trees and the condition assessment for each (Table 2).

Table 2: Condition Assessment

Tree Species	#	Trunk Diameter (in.)	Vigor	Structure	Form	Condition
Italian cypress (<i>Cupressus sempervirens</i>)	515	8	Good	Good	Good	Good
Italian cypress (<i>Cupressus sempervirens</i>)	516	12	Good	Good	Good	Good
coast live oak (<i>Quercus agrifolia</i>)	517	11	Good	Poor	Poor	Poor
coast live oak (<i>Quercus agrifolia</i>)	518	9	Good	Poor	Poor	Poor
coast live oak (<i>Quercus agrifolia</i>)	519	12	Good	Good	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	520	28	Good	Good	Good	Good
Canary Island date palm (<i>Phoenix canariensis</i>)	521	24	Good	Good	Good	Good
orange (<i>Citrus sinensis</i>)	522	4	Poor	Poor	Poor	Poor
stone pine (<i>Pinus pinea</i>)	523	34	Good	Poor	Poor	Poor
deodar cedar (<i>Cedrus deodara</i>)	524	27	Fair	Fair	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	525	22	Good	Good	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	526	27	Good	Poor	Good	Fair
blue oak (<i>Quercus douglasii</i>)	527	24	Good	Fair	Good	Fair
blue oak (<i>Quercus douglasii</i>)	528	28	Good	Good	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	529	16	Good	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	530	5	Fair	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	531	15	Good	Good	Fair	Fair
bay laurel (<i>Umbellularia californica</i>)	532	4	Good	Fair	Good	Fair
coast live oak (<i>Quercus agrifolia</i>)	533	13	Good	Fair	Fair	Fair
coast live oak (<i>Quercus agrifolia</i>)	534	13	Good	Good	Fair	Fair



A.D.U. UNDER A SEPARATE PERMIT, NOT PART OF THIS REVIEW.



A.P.N.: 529-35-041 LOT61
 ZONING: R-1:10
 LOT SIZE: 11,281 S.F.
 EXISTING HOUSE: 1,188 S.F. (TO BE REMOVED)

FIRST FLOOR: SECOND FLOOR: TOTAL:
 NEW HOUSE: 1,435 S.F. 1,230 S.F. 2,665 S.F.

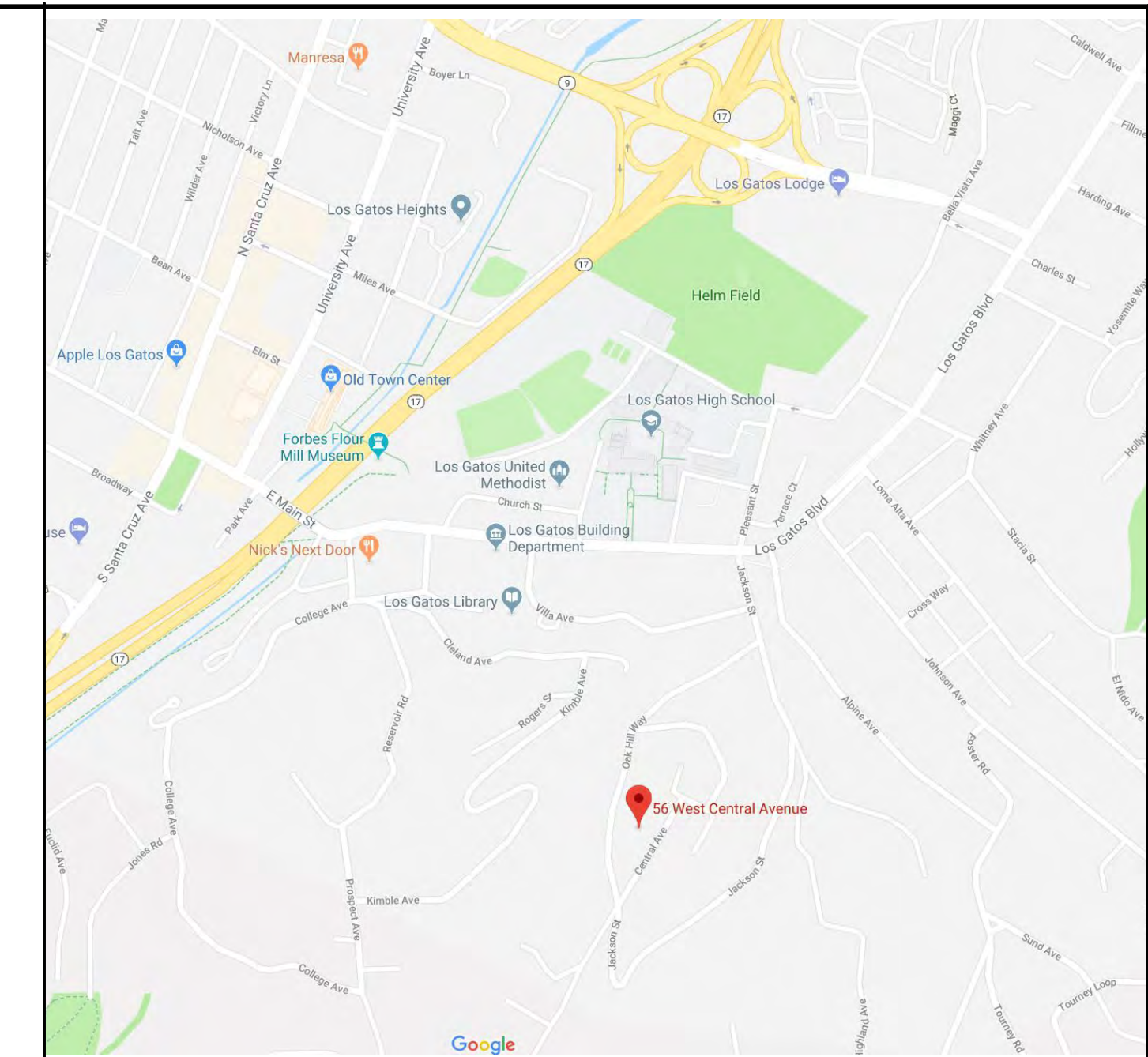
CELLAR: 1,590 S.F.
 GARAGE: 717 S.F.
 FRONT PORCH: 319 S.F.
 COVERED PATIO: 632 S.F.

F.A.R. ALLOWED: 8235.13, X.324 = 2,668 S.F.
 PROPOSED: 2,665 S.F.

LOT COV. ALLOWED: 8235.13, X.40 = 3,294 S.F.
 PROPOSED: 3,129 = 37.9%

TYPE OF CONSTRUCTION: VB
 OCCUPANCY GROUP: R-3, U

THIS PROJECT SHALL COMPLY WITH 2016 CBC, CRC, CMC, CPC, CEC, CFC, CAL GREEN, CAL ENERGY CODE, AND LOCAL ORD.



SITE DATA

VICINITY MAP

SHEET INDEX

- A-1 SITE PLAN
- A-2 1ST FLOOR PLAN
- A-3 2ND FLOOR PLAN
- A-4 CELLAR FLOOR PLAN
- A-5 ELEVATIONS
- A-6 ELEVATIONS, SECTIONS
- A-7 SECTION
- A-8 AREA CALCS
- A-9 STREET SECTION/SCAPE
- A-10 BUILD IT GREEN, SHADOW STUDY
- C-1 GRADING & DRAINAGE PLAN
- C-1 EROSION CONTROL PLAN
- L1.01 LANDSCAPE SITE PLAN
- L1.02 CONCEPTION PLANTING PLAN
- L1.03 PLANTING & MATERIALS BOARD
- L1.04 PLANTING & MATERIALS BOARD

AVE. SLOPE = 18.5%
 LOT SIZE REDUCTION = 10 + (2 X 8.5) = 27%
 11,281 X .27 = 3,045.87
 11,281 - 3,045.87 = 8,235.13 S.F. NET

F.A.R. = .35 - [(A-5) / 25] X .20 =
 .35 - [(8,235 - 5) / 25] X .20 = .324
 8235.13, X .324 = 2,668 S.F.

EARTHWORK QUANTITIES

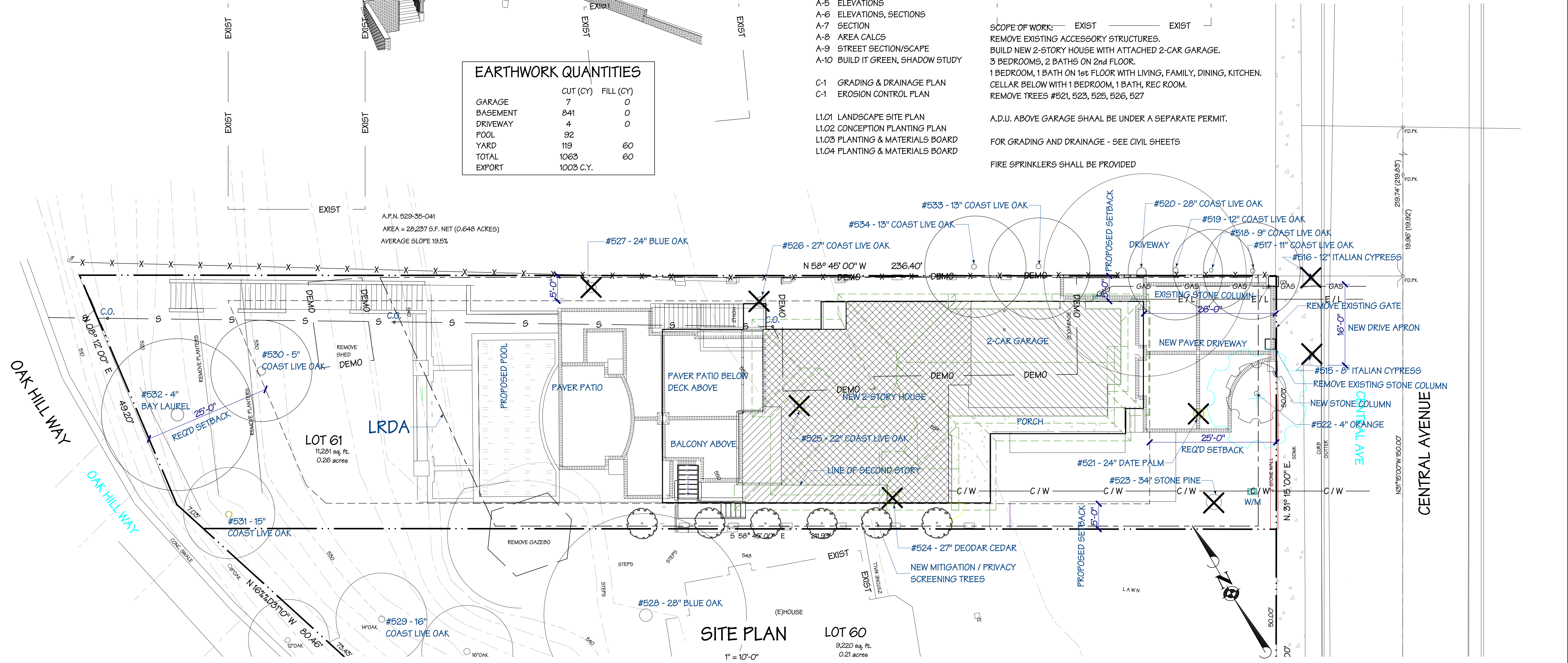
	CUT (CY)	FILL (CY)
GARAGE	7	0
BASEMENT	841	0
DRIVEWAY	4	0
POOL	92	0
YARD	119	60
TOTAL	1063	60
EXPORT	1003 C.Y.	

SCOPE OF WORK: EXIST EXIST
 REMOVE EXISTING ACCESSORY STRUCTURES.
 BUILD NEW 2-STORY HOUSE WITH ATTACHED 2-CAR GARAGE.
 3 BEDROOMS, 2 BATHS ON 2nd FLOOR.
 1 BEDROOM, 1 BATH ON 1st FLOOR WITH LIVING, FAMILY, DINING, KITCHEN.
 CELLAR BELOW WITH 1 BEDROOM, 1 BATH, REC ROOM.
 REMOVE TREES #521, 523, 525, 526, 527

A.D.U. ABOVE GARAGE SHALL BE UNDER A SEPARATE PERMIT.

FOR GRADING AND DRAINAGE - SEE CIVIL SHEETS

FIRE SPRINKLERS SHALL BE PROVIDED



REVISIONS	BY
PLANNING 10-9-18	
PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

RICHARD A. HARTMAN
 A.L.A.
 488.996.1496
 HomeArch@gmail.com

HOMETEC
 ARCHITECTURE, INC.
 619 NORTH FIRST STREET, SAN JOSE, CA 95112

NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
 56 CENTRAL AVENUE, LOS GATOS, CA. 95030

Date: 8-30-18
 Scale: 1" = 10'-0"
 Drawn: RAH
 Job: 18-013
 Sheet: **A-1**
 of Sheets

WALL TYPES	
	NEW WALLS
	1-HOUR FIRE WALLS, INTERIOR - SEE
	1-HOUR FIRE WALLS, EXTERIOR - SEE

REVISIONS	BY
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PLANNING 9-3-19	

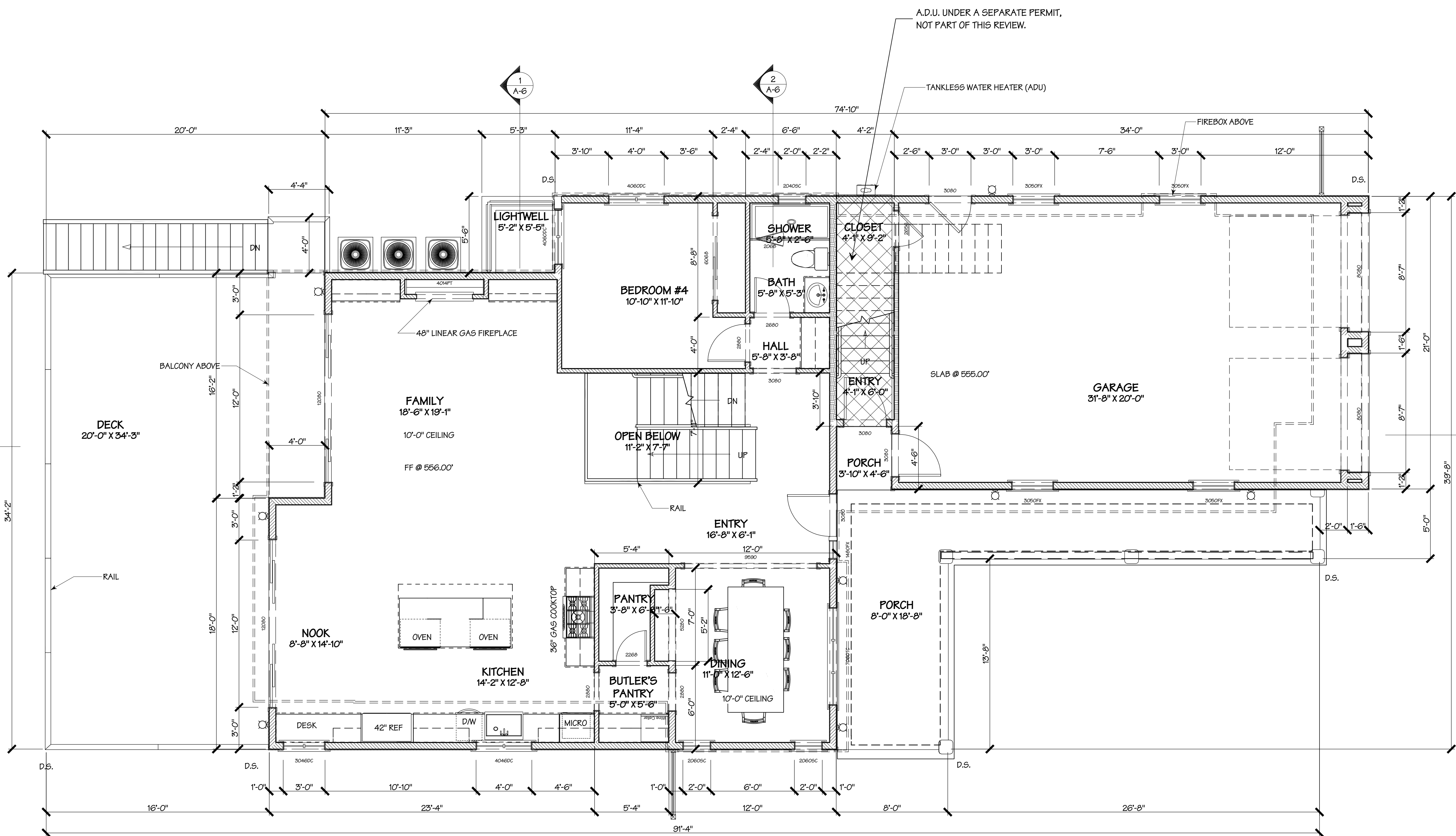
HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112

RICHARD A. HARTMAN
A.I.A.
408995-1496
HometecArch@gmail.com

NEW HOME FOR:
ANDREW & ASHLEY BOTHMAN
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Scale 1/4" = 1'-0"
Drawn RAH
Job 18-013
Sheet

A-2
of Sheets



LIVING AREA
1468 SQ. FT

FIRST FLOOR PLAN

REVISIONS	BY
PLANNING	
10-9-18	
PLANNING	
12-10-18	
PLANNING	
3-27-19	
PLANNING	
9-3-19	

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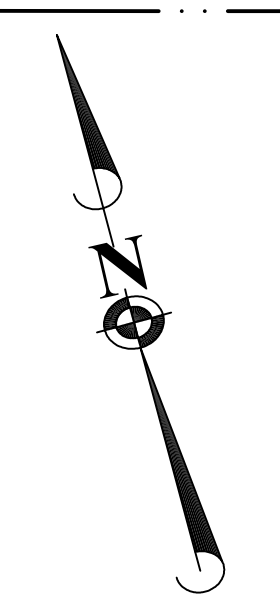
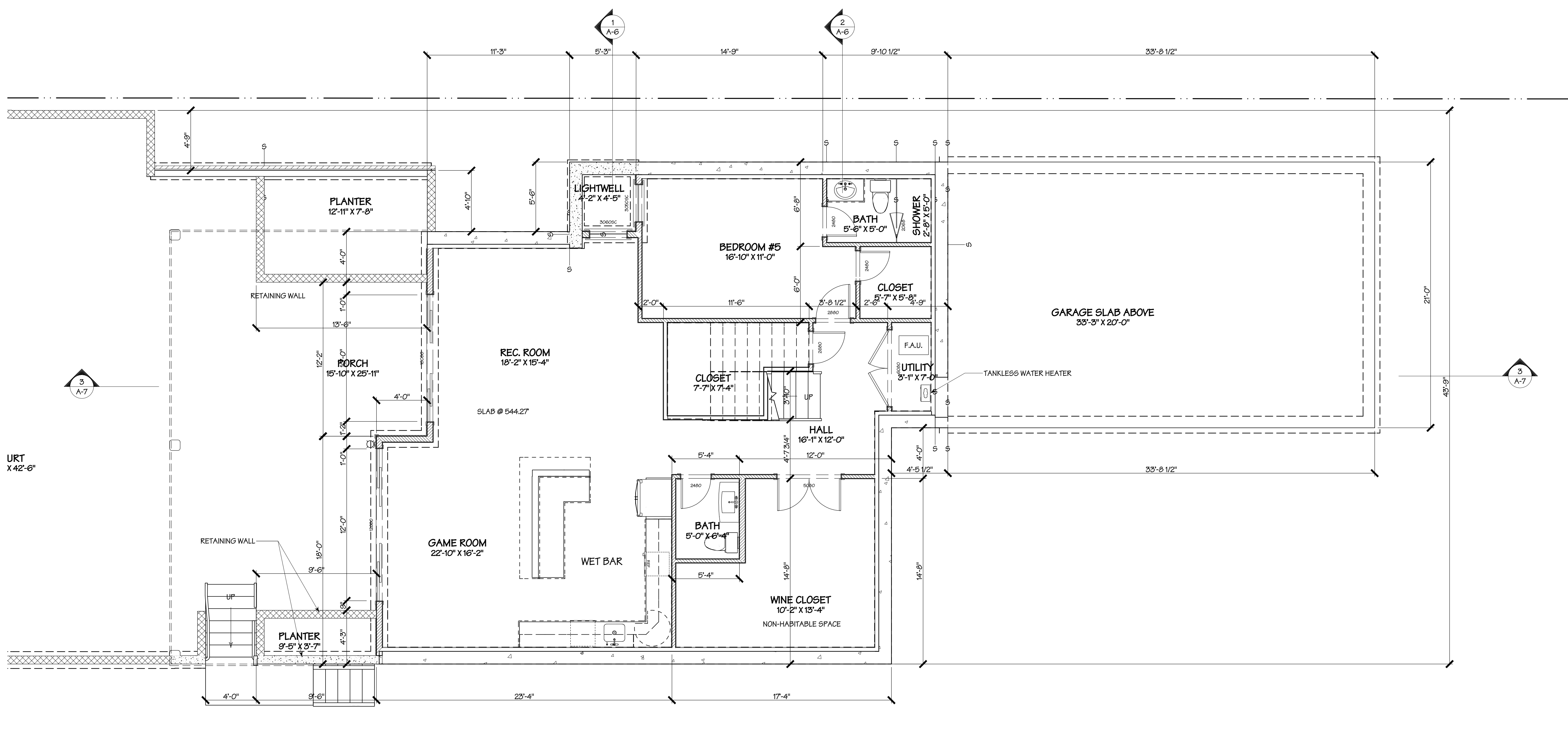
RICHARD A. HARTMAN
A.L.A.
408.995.1496
HometecArch@gmail.com

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Date	8-30-18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	18-013
Sheet	A-4
of	Sheets

WALL TYPES

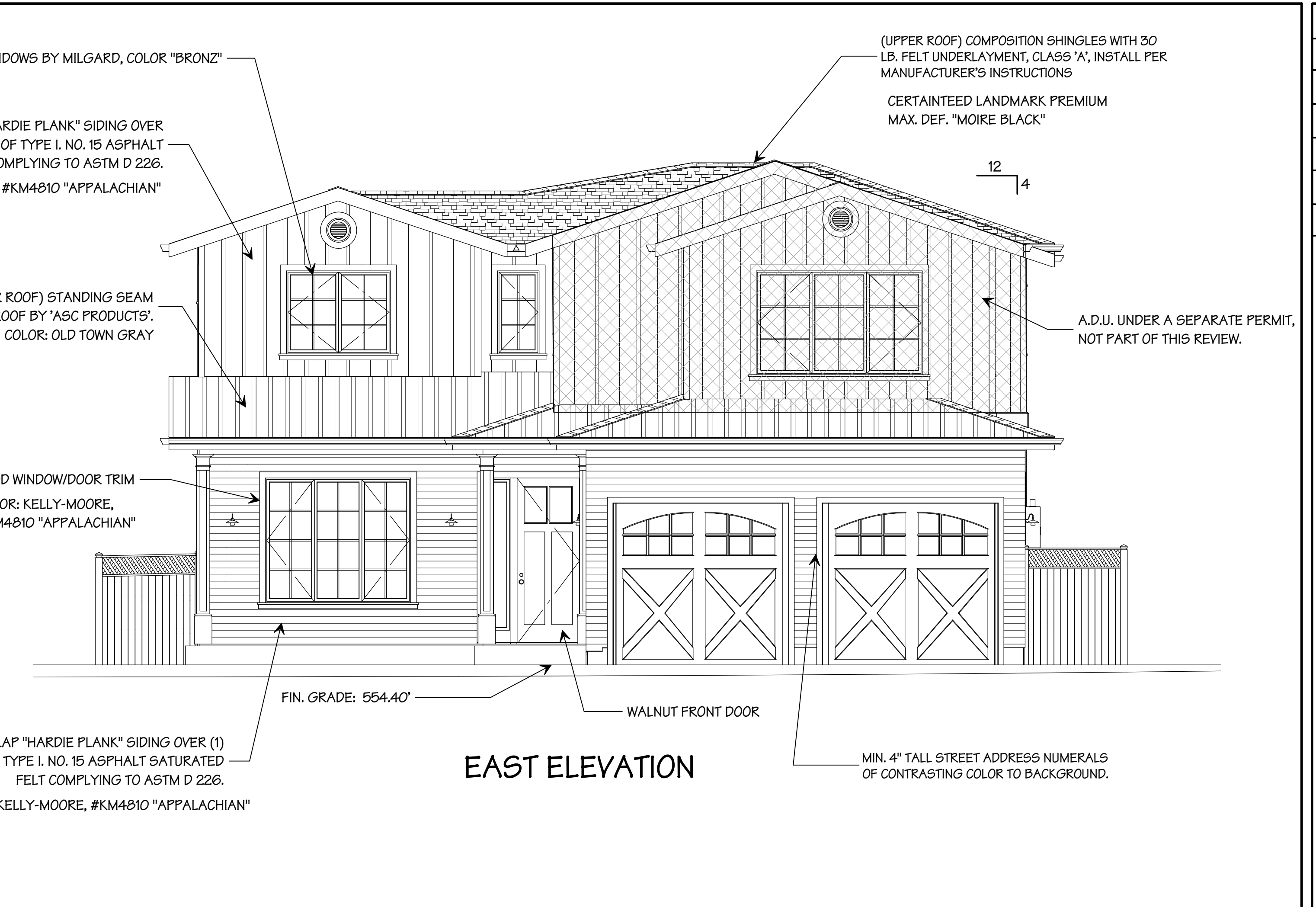
- NEW WALLS
- 1-HOUR FIRE WALLS, INTERIOR - SEE
- 1-HOUR FIRE WALLS, EXTERIOR - SEE



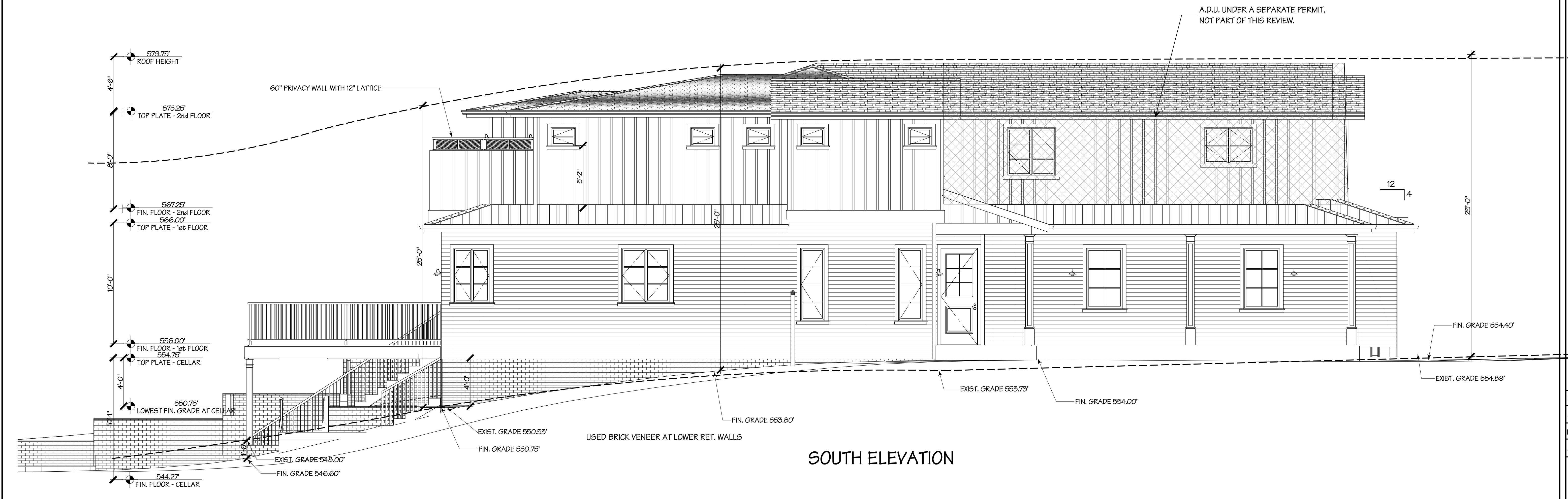
CELLAR FLOOR PLAN



WEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

REVISIONS	BY
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PLANNING 9-3-19	

RICHARD A. HARTMAN
A.L.A.
488995-1496
HometeqArch@gmail.com

HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112

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ANDREW & ASHLEY BOTHMAN
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Date 8-30-18
Scale 1/4" = 1'-0"
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Job 18-013
Sheet
A-5
of Sheets

REVISIONS	BY
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PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

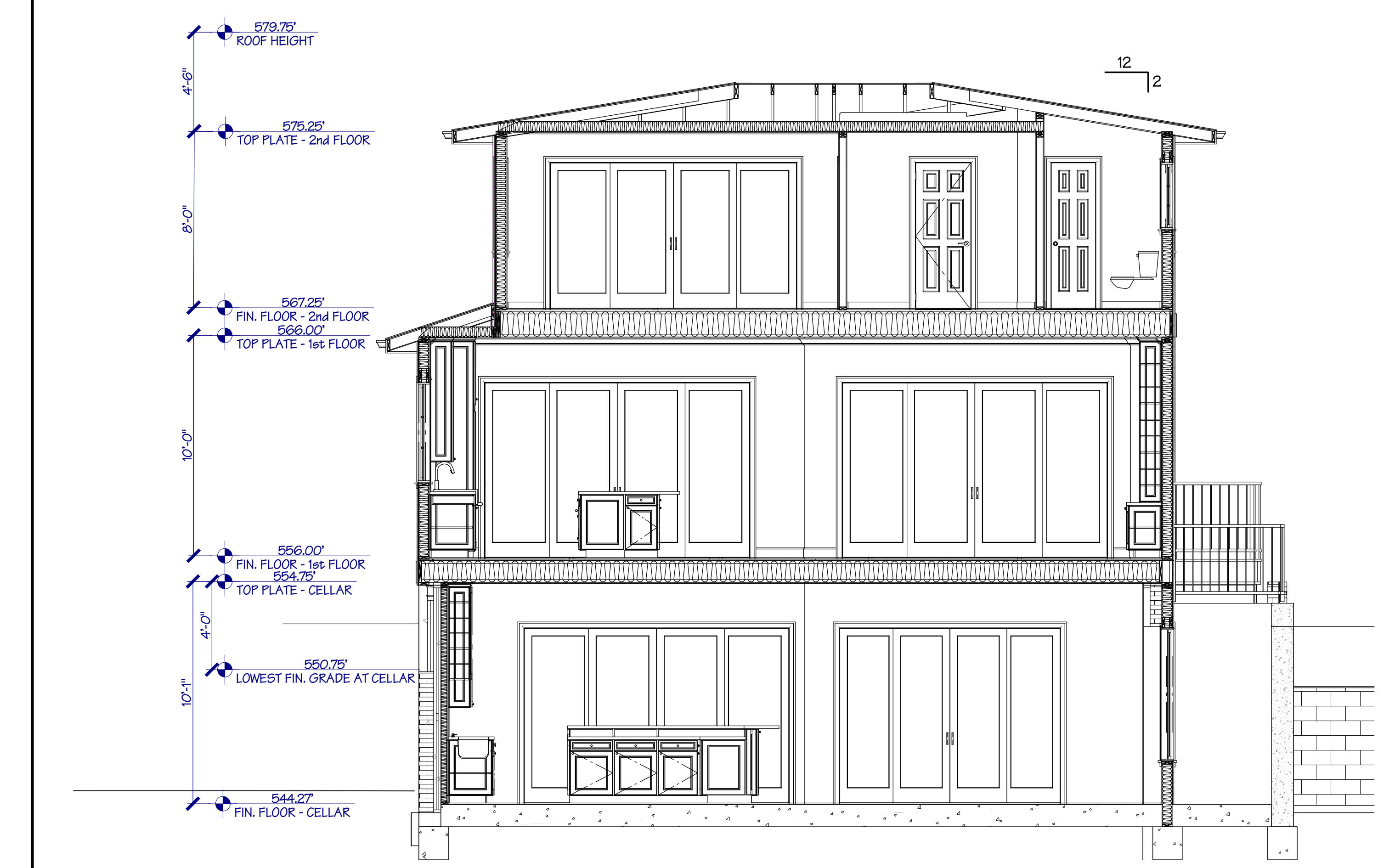
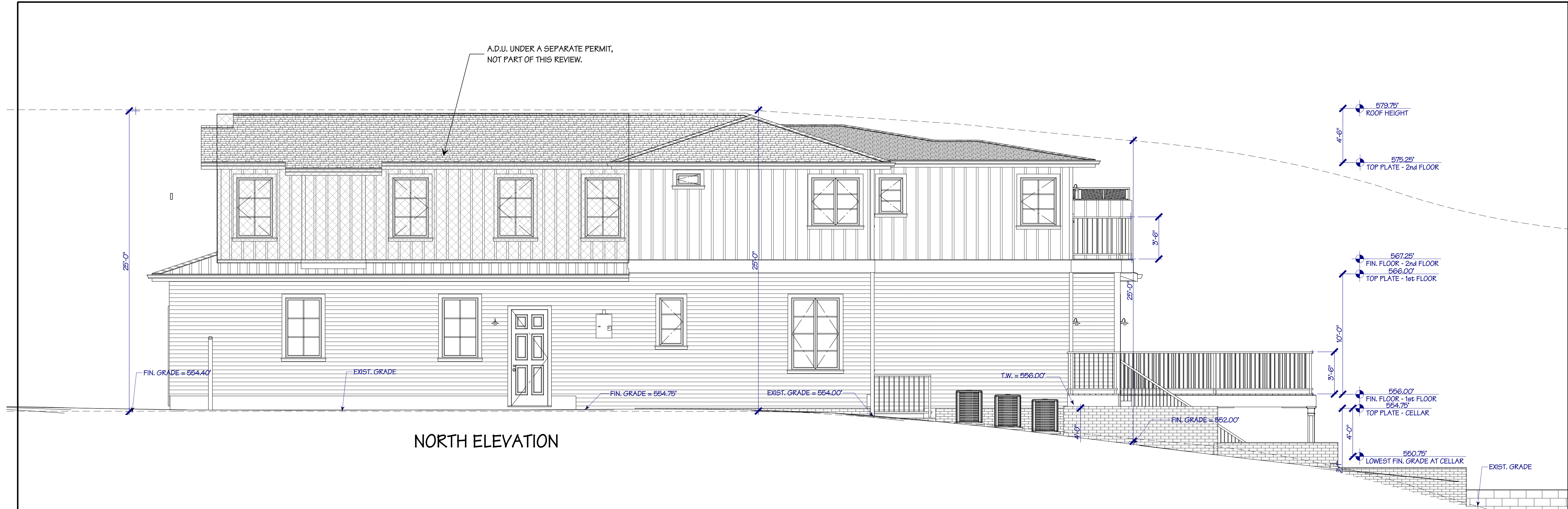
HOMETEC
ARCHITECTURE, INC.

RICHARD A. HARTMAN
A.L.A.
488995-1496
HometecArch@gmail.com

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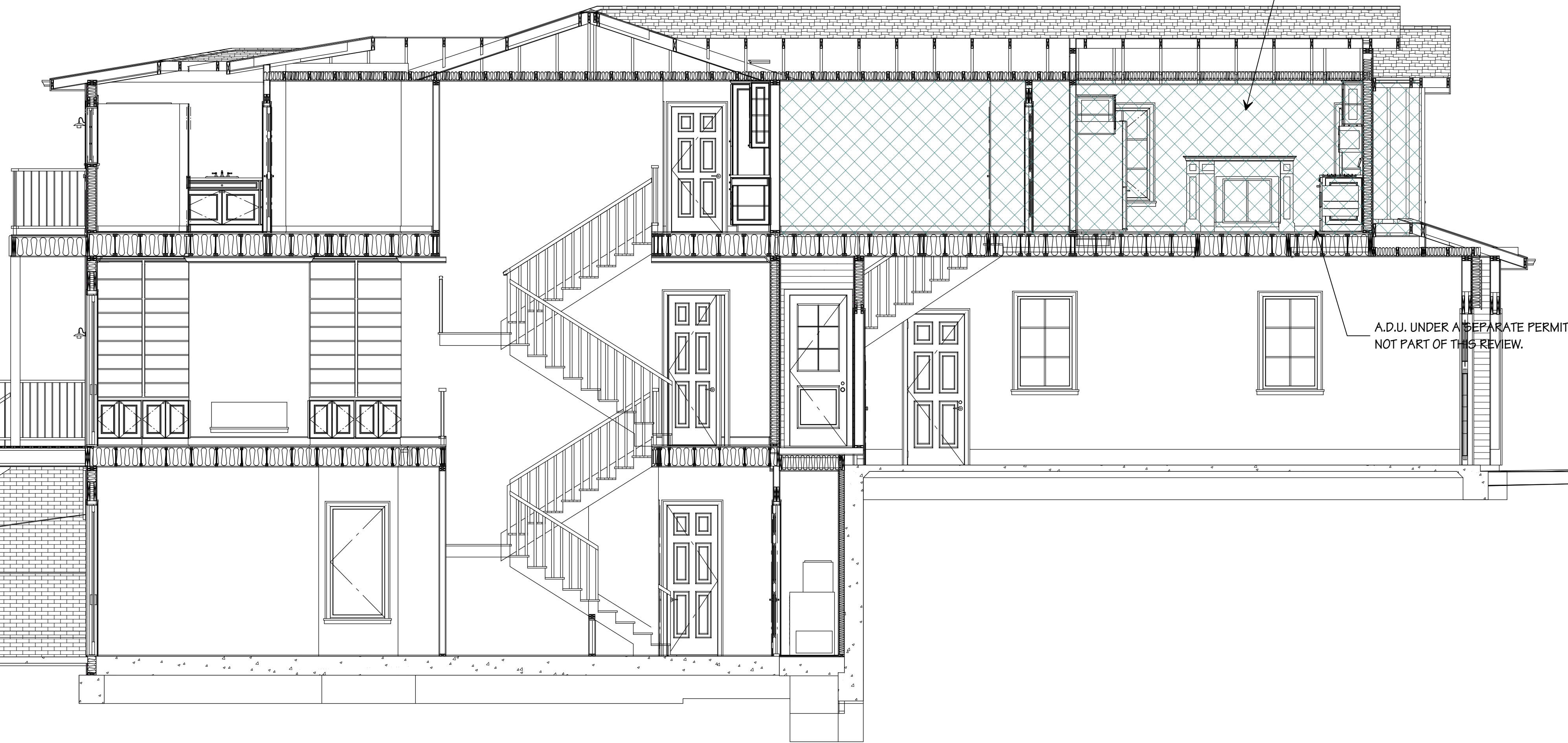
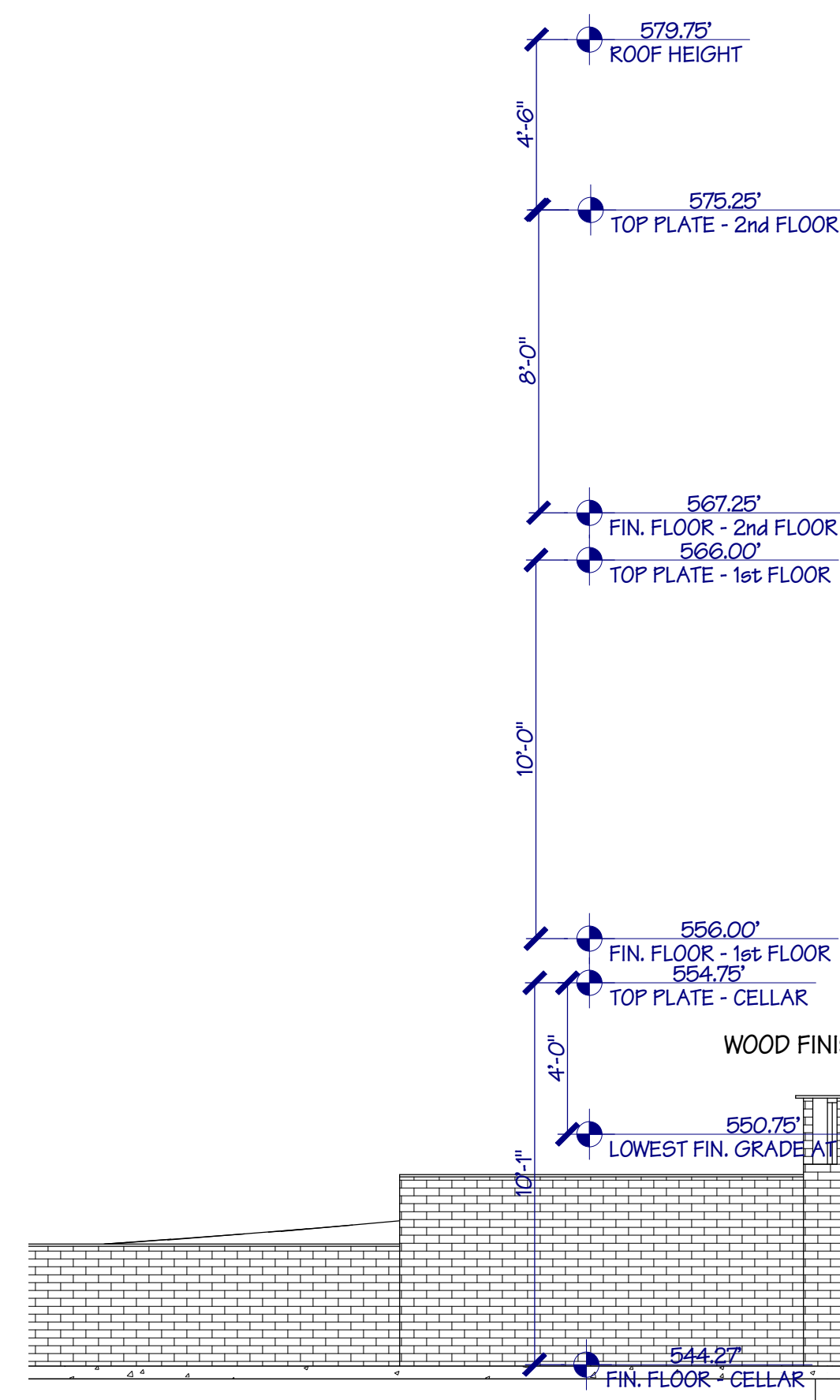
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Job	18-013
Sheet	A-6
of	Sheets



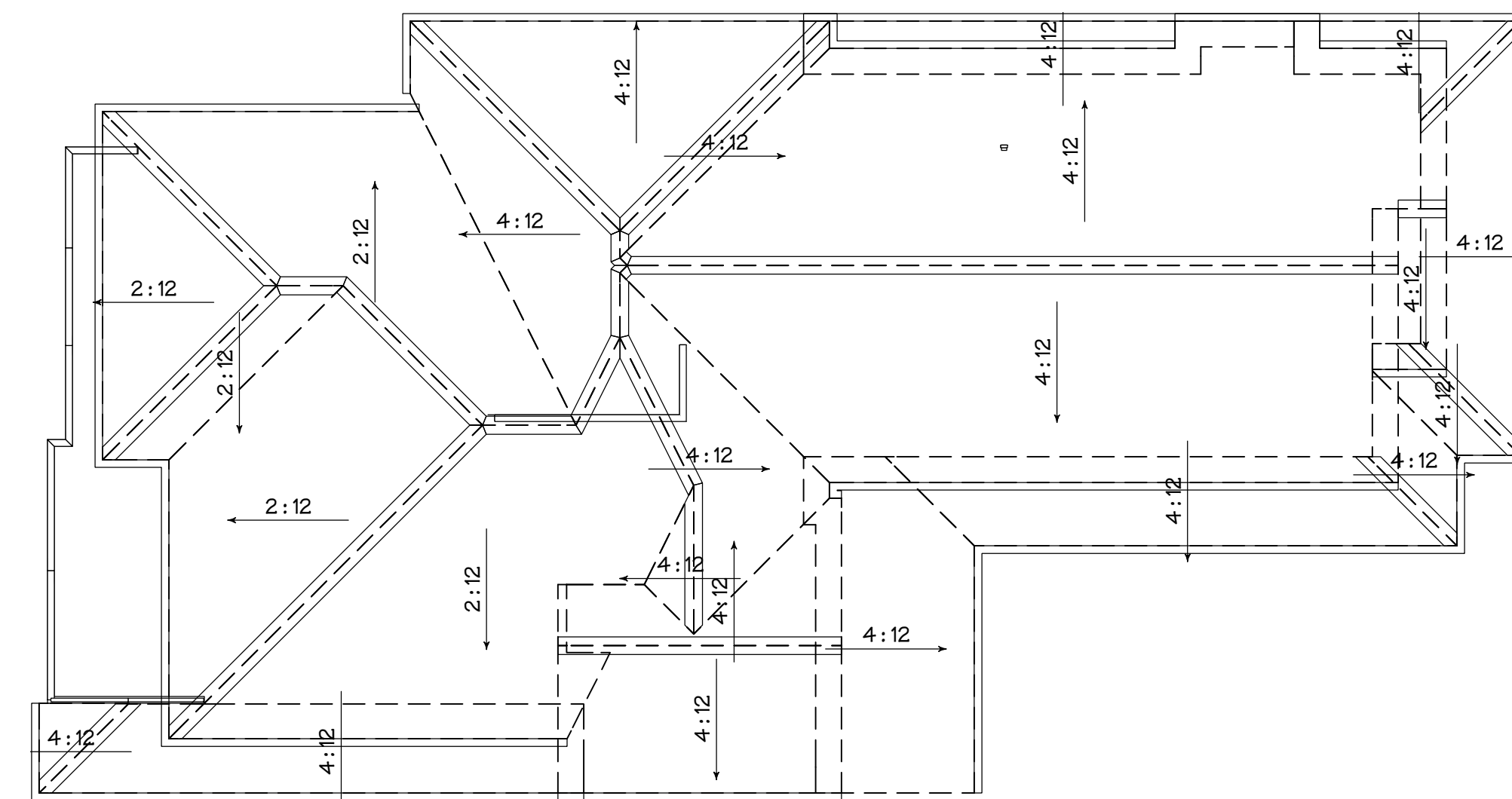
① SECTION



② SECTION



3 SECTION



ROOF PLAN

1/8" = 1'-0"

REVISIONS	BY
PLANNING 10-9-18	
PLANNING 12-10-18	
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PLANNING 9-3-19	

RICHARD A. HARTMAN
A.L.A.
488995-JAR96
HomeTecArch@gmail.com

HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112

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ANDREW & ASHLEY BOTHMAN
56 CENTRAL AVENUE, LOS GATOS, CA. 95303

Date 8-30-18
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Job 18-013
Sheet

A-7
of Sheets

REVISIONS	BY
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PLANNING 9-3-19	

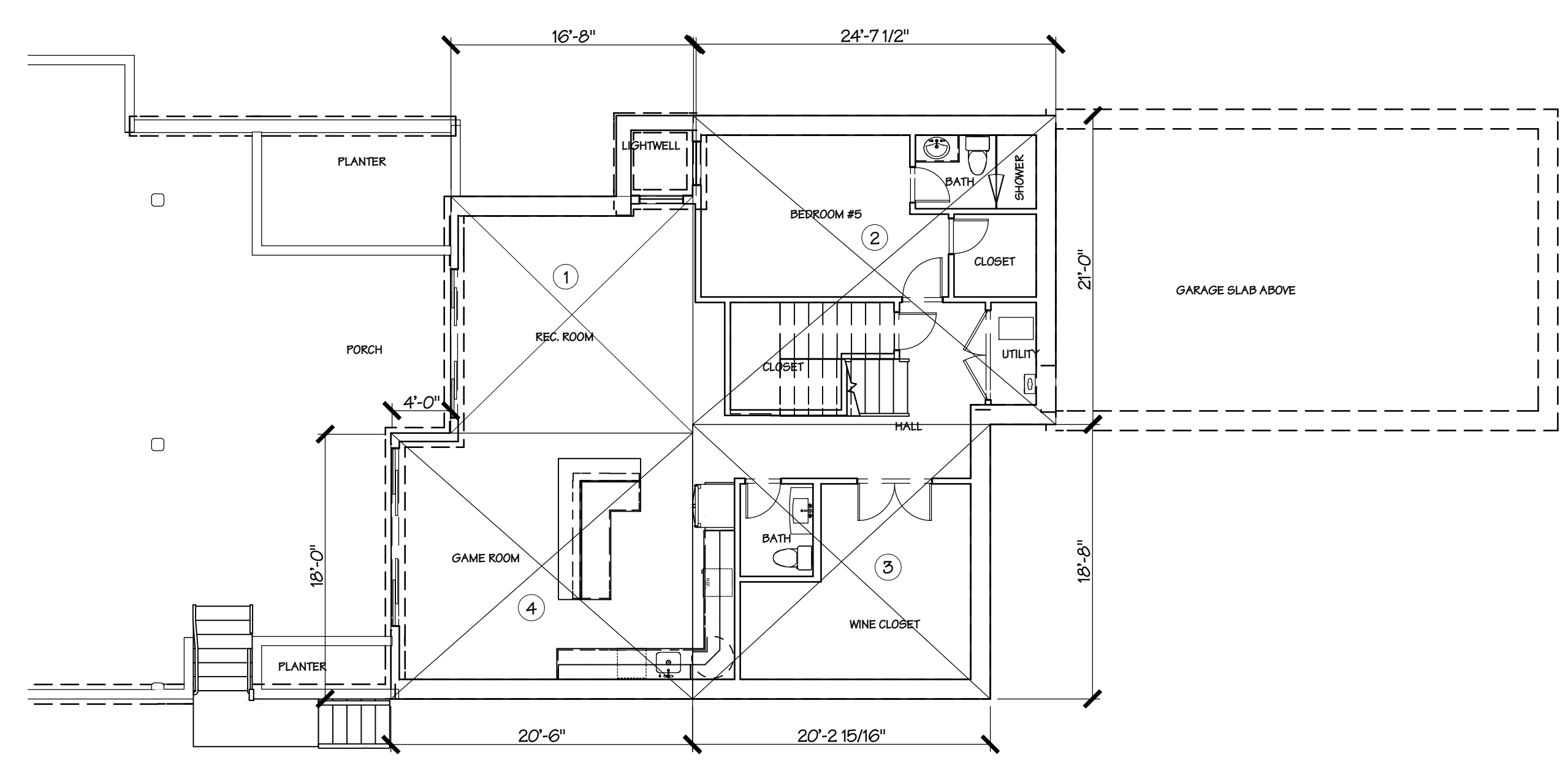
HOMETEC
ARCHITECTURE, INC.

RICHARD A. HARTMAN
A.L.A.
488995-1496
HometecArch@gmail.com

619 NORTH FIRST STREET, SAN JOSE, CA 95112

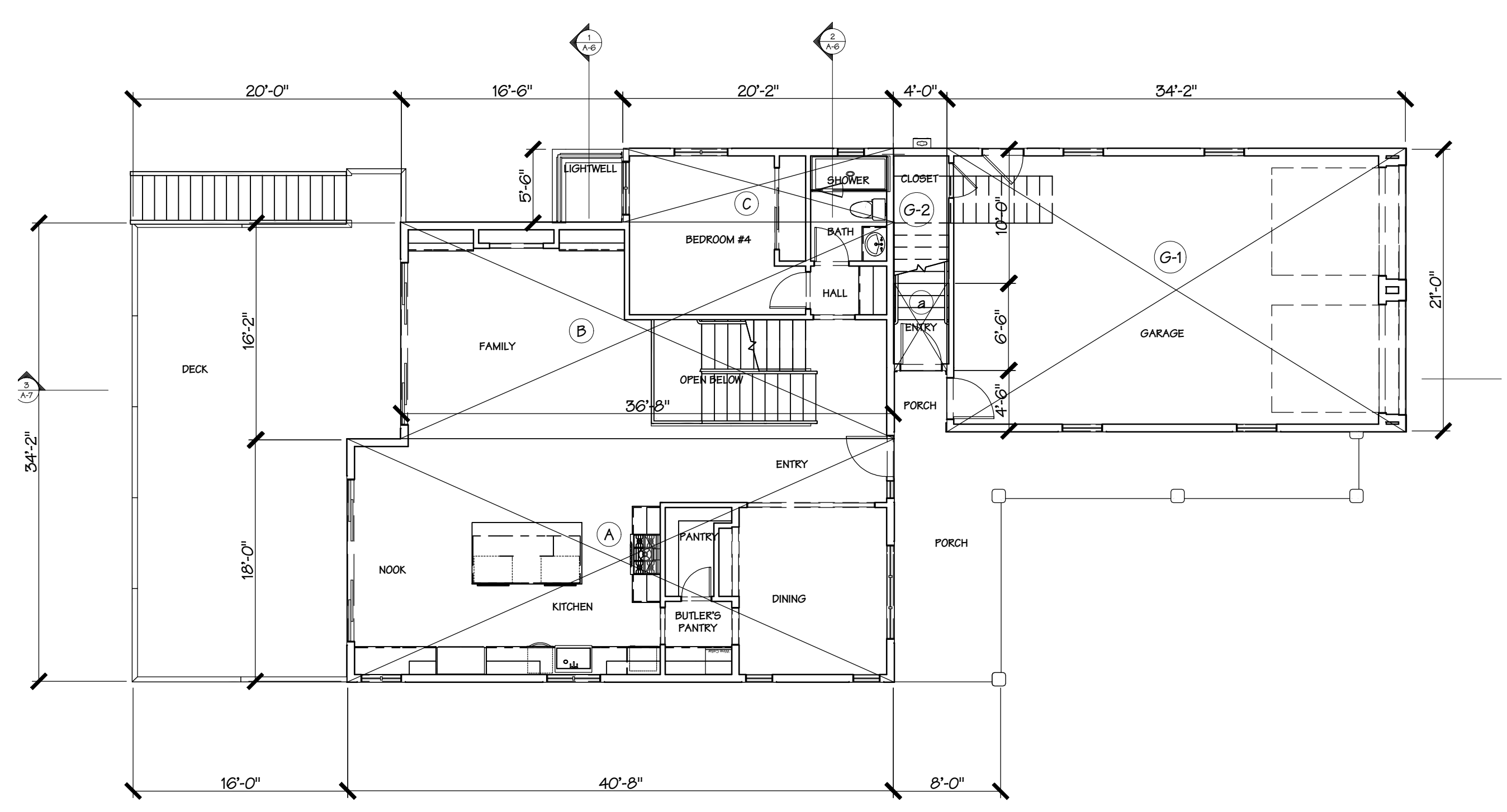
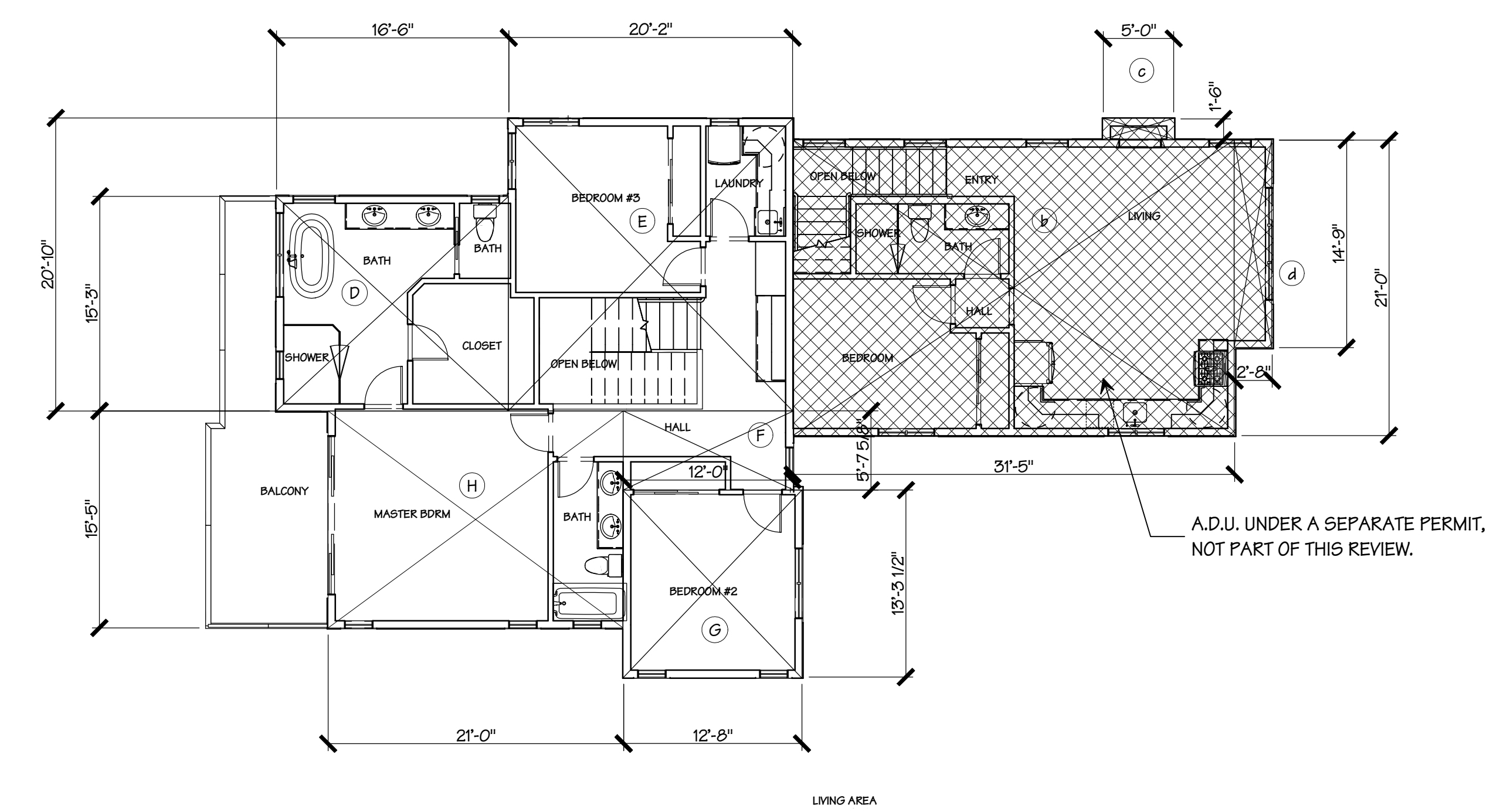
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Date	8 - 30 - 18
Scale	1/4" = 1'-0"
Drawn	RAH
Job	18-013
Sheet	A-8
of	Sheets



CELLAR F.A.R.

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
1	18.00	16.16	290.88	0.00	290.88
2	24.62	21.00	517.02	0.00	517.02
3	20.25	18.66	377.87	0.00	377.87
4	22.50	18.00	405.00	0.00	405.00
GRAND TOTAL			0.00	0.00	1590.77



HOUSE F.A.R.

SPACE	DIM	DIM	AREA	AREA/2	TOTAL
A	40.66	18.00	731.88	0.00	731.88
B	36.66	16.16	592.43	0.00	592.43
C	20.16	5.50	110.88	0.00	110.88
D	16.50	15.25	251.63	0.00	251.63
E	20.16	20.83	419.93	0.00	419.93
F	12.00	5.54	66.48	0.00	66.48
G	12.66	13.29	168.25	0.00	168.25
H	21.00	15.41	323.61	0.00	323.61
GRAND TOTAL			0.00	0.00	2665.08

GARAGE

G-1: 34.16 X 21 = 696.36
G-2: 4 X 10 = 40

TOTAL GARAGE = 717 S.F.

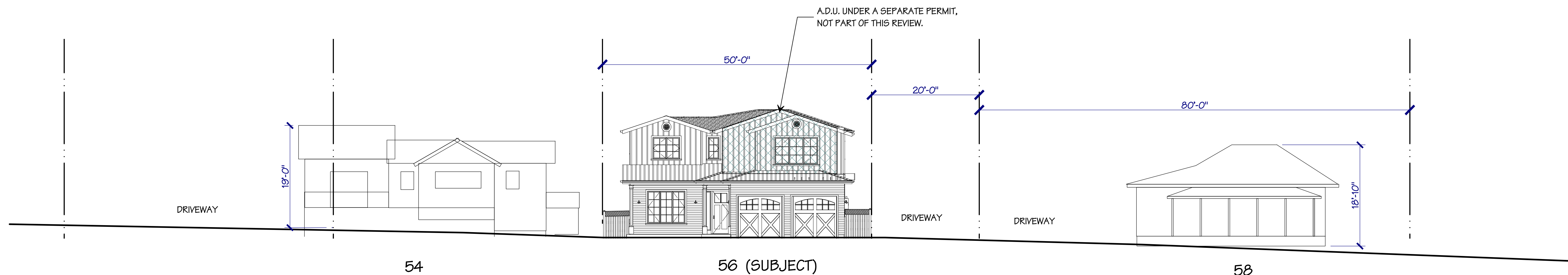
AREA CALCULATIONS

REVISIONS	BY
PLANNING 10-9-18	
PLANNING 12-10-18	
PLANNING 3-27-19	
PLANNING 9-3-19	

HOMETEC
ARCHITECTURE, INC.
619 NORTH FIRST STREET, SAN JOSE, CA 95112
RICHARD A. HARTMAN
A.L.A.
408.995.1496
HometecArch@gmail.com

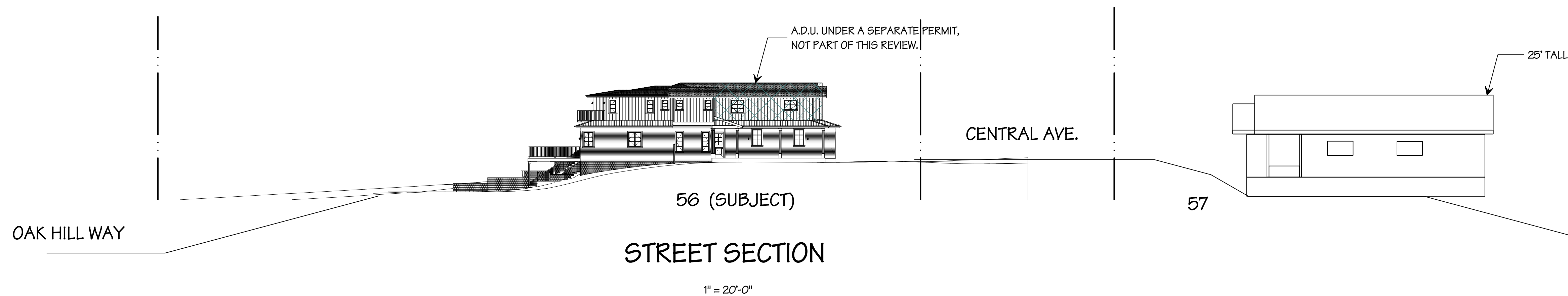


STREET SCAPE (ACROSS STREET)



STREET SCAPE

1" = 10'-0"



STREET SECTION

1" = 20'-0"

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Date 8 - 30 - 18
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Drawn RAH
Job 18-013
Sheet
A-9
of Sheets

Single Family GreenPoint Checklist

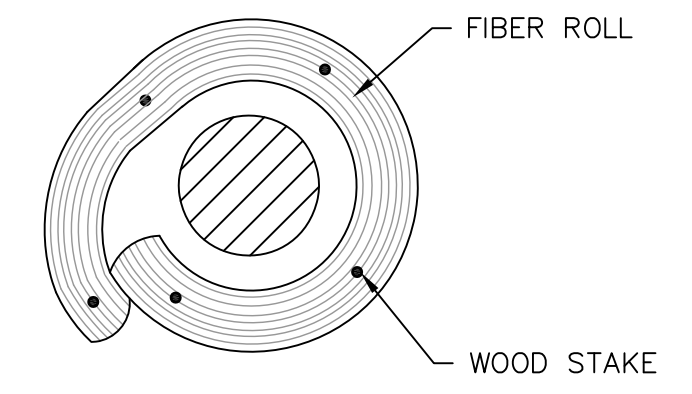
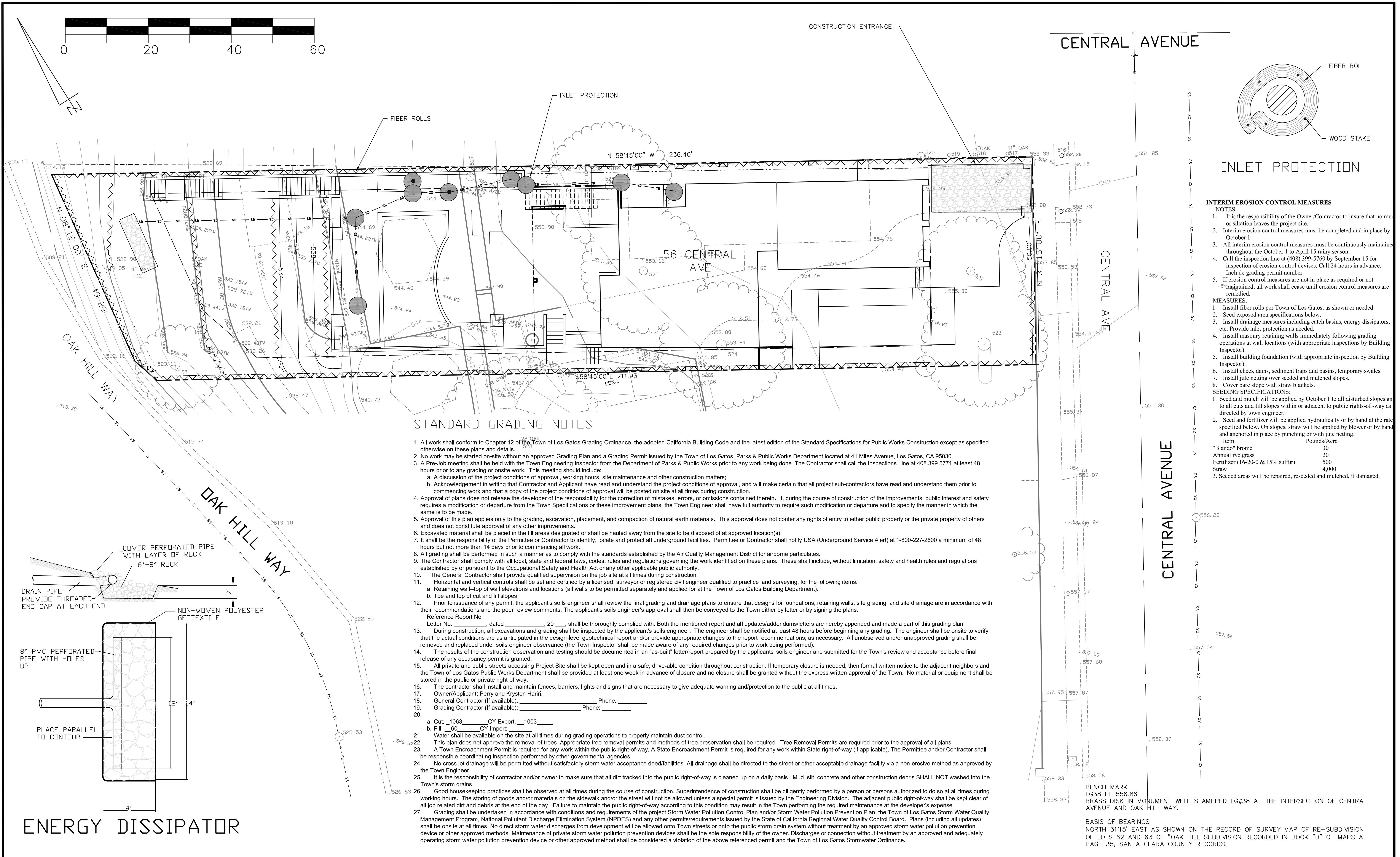
The GreenPoint Checklist is based on the various green features incorporated into the home and is the basis for the GreenPoint Rated program. A home can be considered green if it fulfills the prerequisites, earns at least 50 points, and meets the minimum points per category. Energy (25), Indoor Air Quality (Health) (5), Resources (6), and Water (9). Please contact Build It Green for a list of qualified GreenPoint Raters if you are interested in pursuing third-party verification. The green building standards listed herein are described in the New Home Construction Green Building Guidelines, available at www.builditgreen.org



Community	Energy	Indoor Air Quality	Resources	Water
51	21	21	21	29

BOTHMAN HOUSE

Points Achieved	Community	Energy	Indoor Air Quality	Resources	Water
A. SITE					
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees					
1	1	1	1	1	1
2. Decommission or Demolish Existing Buildings On Site					
3	3	3	3	3	3
3. Recycle Job Site Construction Waste (Including Green Waste)					
2	2	2	2	2	2
4. Use Recycled Content Aggregate (Minimum 25%)					
1	1	1	1	1	1
5. Use Recycled Content Asphalt (Minimum 25%)					
1	1	1	1	1	1
6. Use Recycled Content Concrete (Minimum 25%)					
1	1	1	1	1	1
7. Use Recycled Content Gravel (Minimum 25%)					
1	1	1	1	1	1
8. Use Recycled Content Sand (Minimum 25%)					
1	1	1	1	1	1
9. Use Recycled Content Stone (Minimum 25%)					
1	1	1	1	1	1
10. Use Recycled Content Topsoil (Minimum 25%)					
1	1	1	1	1	1
11. Use Recycled Content Mulch (Minimum 25%)					
1	1	1	1	1	1
12. Use Recycled Content Fertilizer (Minimum 25%)					
1	1	1	1	1	1
13. Use Recycled Content Compost (Minimum 25%)					
1	1	1	1	1	1
14. Use Recycled Content Bark (Minimum 25%)					
1	1	1	1	1	1
15. Use Recycled Content Wood Chips (Minimum 25%)					
1	1	1	1	1	1
16. Use Recycled Content Grass Clippings (Minimum 25%)					
1	1	1	1	1	1
17. Use Recycled Content Leaves (Minimum 25%)					
1	1	1	1	1	1
18. Use Recycled Content Manure (Minimum 25%)					
1	1	1	1	1	1
19. Use Recycled Content Bone Meal (Minimum 25%)					
1	1	1	1	1	1
20. Use Recycled Content Blood Meal (Minimum 25%)					
1	1	1	1	1	1
21. Use Recycled Content Fish Meal (Minimum 25%)					
1	1	1	1	1	1
22. Use Recycled Content Kelp Meal (Minimum 25%)					
1	1	1	1	1	1
23. Use Recycled Content Soybean Meal (Minimum 25%)					
1	1	1	1	1	1
24. Use Recycled Content Cottonseed Meal (Minimum 25%)					
1	1	1	1	1	1
25. Use Recycled Content Linseed Meal (Minimum 25%)					
1	1	1	1	1	1
26. Use Recycled Content Sunflower Meal (Minimum 25%)					
1	1	1	1	1	1
27. Use Recycled Content Canola Meal (Minimum 25%)					
1	1	1	1	1	1
28. Use Recycled Content Rapeseed Meal (Minimum 25%)					
1	1	1	1	1	1
29. Use Recycled Content Sesame Meal (Minimum 25%)					
1	1	1	1	1	1
30. Use Recycled Content Soybean Hulls (Minimum 25%)					
1	1	1	1	1	1
31. Use Recycled Content Cottonseed Hulls (Minimum 25%)					
1	1	1	1	1	1
32. Use Recycled Content Linseed Hulls (Minimum 25%)					
1	1	1	1	1	1
33. Use Recycled Content Sunflower Hulls (Minimum 25%)					
1	1	1	1	1	1
34. Use Recycled Content Canola Hulls (Minimum 25%)					
1	1	1	1	1	1
35. Use Recycled Content Rapeseed Hulls (Minimum 25%)					
1	1	1	1	1	1
36. Use Recycled Content Sesame Hulls (Minimum 25%)					
1	1	1	1	1	1
37. Use Recycled Content Soybean Stalks (Minimum 25%)					
1	1	1	1	1	1
38. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
1	1	1	1	1	1
39. Use Recycled Content Linseed Stalks (Minimum 25%)					
1	1	1	1	1	1
40. Use Recycled Content Sunflower Stalks (Minimum 25%)					
1	1	1	1	1	1
41. Use Recycled Content Canola Stalks (Minimum 25%)					
1	1	1	1	1	1
42. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
1	1	1	1	1	1
43. Use Recycled Content Sesame Stalks (Minimum 25%)					
1	1	1	1	1	1
44. Use Recycled Content Soybean Straws (Minimum 25%)					
1	1	1	1	1	1
45. Use Recycled Content Cottonseed Straws (Minimum 25%)					
1	1	1	1	1	1
46. Use Recycled Content Linseed Straws (Minimum 25%)					
1	1	1	1	1	1
47. Use Recycled Content Sunflower Straws (Minimum 25%)					
1	1	1	1	1	1
48. Use Recycled Content Canola Straws (Minimum 25%)					
1	1	1	1	1	1
49. Use Recycled Content Rapeseed Straws (Minimum 25%)					
1	1	1	1	1	1
50. Use Recycled Content Sesame Straws (Minimum 25%)					
1	1	1	1	1	1
51. Use Recycled Content Soybean Stalks (Minimum 25%)					
1	1	1	1	1	1
52. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
1	1	1	1	1	1
53. Use Recycled Content Linseed Stalks (Minimum 25%)					
1	1	1	1	1	1
54. Use Recycled Content Sunflower Stalks (Minimum 25%)					
1	1	1	1	1	1
55. Use Recycled Content Canola Stalks (Minimum 25%)					
1	1	1	1	1	1
56. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
1	1	1	1	1	1
57. Use Recycled Content Sesame Stalks (Minimum 25%)					
1	1	1	1	1	1
58. Use Recycled Content Soybean Stalks (Minimum 25%)					
1	1	1	1	1	1
59. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
1	1	1	1	1	1
60. Use Recycled Content Linseed Stalks (Minimum 25%)					
1	1	1	1	1	1
61. Use Recycled Content Sunflower Stalks (Minimum 25%)					
1	1	1	1	1	1
62. Use Recycled Content Canola Stalks (Minimum 25%)					
1	1	1	1	1	1
63. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
1	1	1	1	1	1
64. Use Recycled Content Sesame Stalks (Minimum 25%)					
1	1	1	1	1	1
65. Use Recycled Content Soybean Stalks (Minimum 25%)					
1	1	1	1	1	1
66. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
1	1	1	1	1	1
67. Use Recycled Content Linseed Stalks (Minimum 25%)					
1	1	1	1	1	1
68. Use Recycled Content Sunflower Stalks (Minimum 25%)					
1	1	1	1	1	1
69. Use Recycled Content Canola Stalks (Minimum 25%)					
1	1	1	1	1	1
70. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
1	1	1	1	1	1
71. Use Recycled Content Sesame Stalks (Minimum 25%)					
1	1	1	1	1	1
72. Use Recycled Content Soybean Stalks (Minimum 25%)					
1	1	1	1	1	1
73. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
1	1	1	1	1	1
74. Use Recycled Content Linseed Stalks (Minimum 25%)					
1	1	1	1	1	1
75. Use Recycled Content Sunflower Stalks (Minimum 25%)					
1	1	1	1	1	1
76. Use Recycled Content Canola Stalks (Minimum 25%)					
1	1	1	1	1	1
77. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
1	1	1	1	1	1
78. Use Recycled Content Sesame Stalks (Minimum 25%)					
1	1	1	1	1	1
79. Use Recycled Content Soybean Stalks (Minimum 25%)					
1	1	1	1	1	1
80. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
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81. Use Recycled Content Linseed Stalks (Minimum 25%)					
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82. Use Recycled Content Sunflower Stalks (Minimum 25%)					
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84. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
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85. Use Recycled Content Sesame Stalks (Minimum 25%)					
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93. Use Recycled Content Soybean Stalks (Minimum 25%)					
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94. Use Recycled Content Cottonseed Stalks (Minimum 25%)					
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95. Use Recycled Content Linseed Stalks (Minimum 25%)					
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100. Use Recycled Content Soybean Stalks (Minimum 25%)					
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109. Use Recycled Content Linseed Stalks (Minimum 25%)					
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126. Use Recycled Content Rapeseed Stalks (Minimum 25%)					
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142. Use Recycled Content Soybean Stalks (Minimum 25%)					
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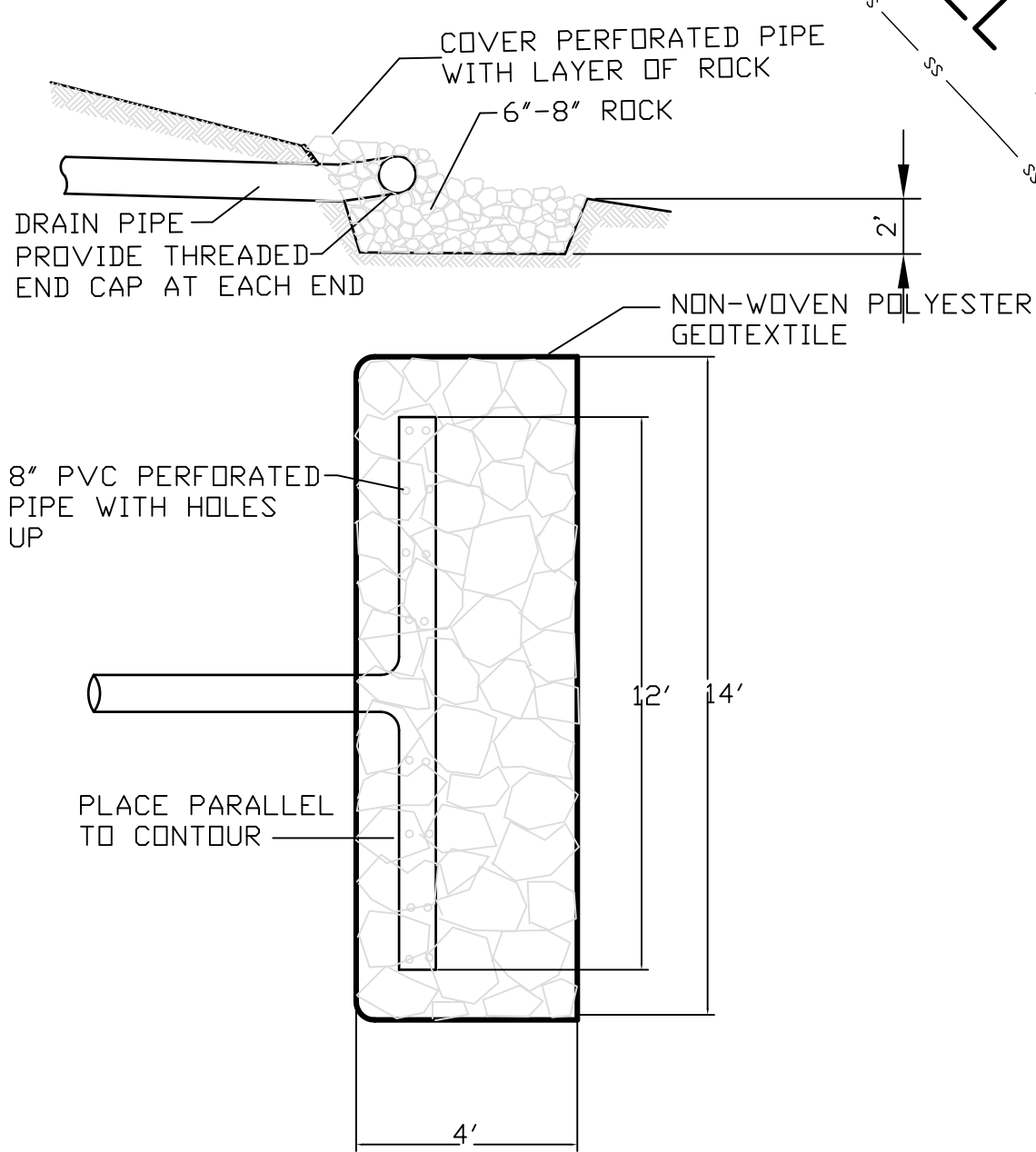


INLET PROTECTION

- INTERIM EROSION CONTROL MEASURES**
- NOTES:
1. It is the responsibility of the Owner/Contractor to insure that no mud or siltation leaves the project site.
 2. Interim erosion control measures must be completed and in place by October 1.
 3. All interim erosion control measures must be continuously maintained throughout the October 1 to April 15 rainy season.
 4. Call the inspection line at (408) 399-5760 by September 15 for inspection of erosion control devices. Call 24 hours in advance. Include grading permit number.
 5. If erosion control measures are not in place as required or not maintained, all work shall cease until erosion control measures are remedied.
- MEASURES:**
1. Install fiber rolls per Town of Los Gatos, as shown or needed.
 2. Seed exposed area specifications below.
 3. Install drainage measures including catch basins, energy dissipators, etc. Provide inlet protection as needed.
 4. Install masonry retaining walls immediately following grading operations at wall locations (with appropriate inspections by Building Inspector).
 5. Install building foundation (with appropriate inspection by Building Inspector).
 6. Install check dams, sediment traps and basins, temporary swales.
 7. Install jute netting over seeded and mulched slopes.
 8. Cover bare slope with straw blankets.
- SEEDING SPECIFICATIONS:**
1. Seed and mulch will be applied by October 1 to all disturbed slopes and to all cuts and fill slopes within or adjacent to public rights-of-way as directed by town engineer.
 2. Seed and fertilizer will be applied hydraulically or by hand at the rate specified below. On slopes, straw will be applied by blower or by hand and anchored in place by punching or with jute netting.
- | Item | Pounds/Acre |
|-----------------------------------|-------------|
| "Blando" bromo | 30 |
| Annual rye grass | 20 |
| Fertilizer (16-20-0 & 15% sulfur) | 500 |
| Straw | 4,000 |
3. Seeded areas will be repaired, reseeded and mulched, if damaged.

STANDARD GRADING NOTES

1. All work shall conform to Chapter 12 of the Town of Los Gatos Grading Ordinance, the adopted California Building Code and the latest edition of the Standard Specifications for Public Works Construction except as specified otherwise on these plans and details.
2. No work may be started on-site without an approved Grading Plan and a Grading Permit issued by the Town of Los Gatos, Parks & Public Works Department located at 41 Miles Avenue, Los Gatos, CA 95030
3. A Pre-Job meeting shall be held with the Town Engineering Inspector from the Department of Parks & Public Works prior to any work being done. The Contractor shall call the Inspections Line at 408.399.5771 at least 48 hours prior to any grading or onsite work. This meeting should include:
 - a. A discussion of the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledgement in writing that Contractor and Applicant have read and understand the project conditions of approval, and will make certain that all project sub-contractors have read and understand them prior to commencing work and that a copy of the project conditions of approval will be posted on site at all times during construction.
4. Approval of plans does not release the developer of the responsibility for the correction of mistakes, errors, or omissions contained therein. If, during the course of construction of the improvements, public interest and safety requires a modification or departure from the Town Specifications or these improvement plans, the Town Engineer shall have full authority to require such modification or departure and to specify the manner in which the same is to be made.
5. Approval of this plan applies only to the grading, excavation, placement, and compaction of natural earth materials. This approval does not confer any rights of entry to either public property or the private property of others and does not constitute approval of any other improvements.
6. Excavated material shall be placed in the fill areas designated or shall be hauled away from the site to be disposed of at approved location(s).
7. It shall be the responsibility of the Permittee or Contractor to identify, locate and protect all underground facilities. Permittee or Contractor shall notify USA (Underground Service Alert) at 1-800-227-2600 a minimum of 48 hours but not more than 14 days prior to commencing all work.
8. All grading shall be performed in such a manner as to comply with the standards established by the Air Quality Management District for airborne particulates.
9. The Contractor shall comply with all local, state and federal laws, codes, rules and regulations governing the work identified on these plans. These shall include, without limitation, safety and health rules and regulations established by or pursuant to the Occupational Safety and Health Act or any other applicable public authority.
10. The General Contractor shall provide qualified supervision on the job site at all times during construction.
11. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered civil engineer qualified to practice land surveying, for the following items:
 - a. Retaining wall-top of wall elevations and locations (all walls to be permitted separately and applied for at the Town of Los Gatos Building Department).
 - b. Toe and top of cut and fill slopes
12. Prior to issuance of any permit, the applicant's soils engineer shall review the final grading and drainage plans to ensure that designs for foundations, retaining walls, site grading, and site drainage are in accordance with their recommendations and the peer review comments. The applicant's soils engineer's approval shall then be conveyed to the Town either by letter or by signing the plans. Reference Report No. _____ Letter No. _____, dated _____, 20____ shall be thoroughly complied with. Both the mentioned report and all updates/addendums/letters are hereby appended and made a part of this grading plan.
13. During construction, all excavations and grading shall be inspected by the applicant's soils engineer. The engineer shall be notified at least 48 hours before beginning any grading. The engineer shall be onsite to verify that the actual conditions are as anticipated in the design-level geotechnical report and/or provide appropriate changes to the report recommendations, as necessary. All unobserved and/or unapproved grading shall be removed and replaced under soils engineer observation (the Town Inspector shall be made aware of any required changes prior to work being performed).
14. The results of the construction observation and testing should be documented in an "as-built" letter/report prepared by the applicants' soils engineer and submitted for the Town's review and acceptance before final release of any occupancy permit is granted.
15. All private and public streets accessing Project Site shall be kept open and in a safe, drive-able condition throughout construction. If temporary closure is needed, then formal written notice to the adjacent neighbors and the Town of Los Gatos Public Works Department shall be provided at least one week in advance of closure and no closure shall be granted without the express written approval of the Town. No material or equipment shall be stored in the public or private right-of-way.
16. The contractor shall install and maintain fences, barriers, lights and signs that are necessary to give adequate warning and protection to the public at all times.
17. Owner/Applicant: Perry and Krysten Hanin.
18. General Contractor (If available): _____ Phone: _____
19. Grading Contractor (If available): _____ Phone: _____
20. a. Cut: 1063 _____ CY Export: 1003 _____
b. Fill: 60 _____ CY Import: _____
21. Water shall be available on the site at all times during grading operations to properly maintain dust control.
22. This plan does not approve the removal of trees. Appropriate tree removal permits and methods of tree preservation shall be required. Tree Removal Permits are required prior to the approval of all plans.
23. A Town Encroachment Permit is required for any work within the public right-of-way. A State Encroachment Permit is required for any work within State right-of-way (if applicable). The Permittee and/or Contractor shall be responsible coordinating inspection performed by other governmental agencies.
24. No cross lot drainage will be permitted without satisfactory storm water acceptance deed/facilities. All drainage shall be directed to the street or other acceptable drainage facility via a non-erosive method as approved by the Town Engineer.
25. It is the responsibility of contractor and/or owner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT washed into the Town's storm drains.
26. Good housekeeping practices shall be observed at all times during the course of construction. Superintendence of construction shall be diligently performed by a person or persons authorized to do so at all times during working hours. The storing of goods and/or materials on the sidewalk and/or the street will not be allowed unless a special permit is issued by the Engineering Division. The adjacent public right-of-way shall be kept clear of all job related dirt and debris at the end of the day. Failure to maintain the public right-of-way according to this condition may result in the Town performing the required maintenance at the developer's expense.
27. Grading shall be undertaken in accordance with conditions and requirements of the project Storm Water Pollution Control Plan and/or Storm Water Pollution Prevention Plan, the Town of Los Gatos Storm Water Quality Management Program, National Pollutant Discharge Elimination System (NPDES) and any other permits/requirements issued by the State of California Regional Water Quality Control Board. Plans (including all updates) shall be onsite at all times. No direct storm water discharges from development will be allowed onto Town streets or onto the public storm drain system without treatment by an approved storm water pollution prevention device or other approved methods. Maintenance of private storm water pollution prevention devices shall be the sole responsibility of the owner. Discharges or connection without treatment by an approved and adequately operating storm water pollution prevention device or other approved method shall be considered a violation of the above referenced permit and the Town of Los Gatos Stormwater Ordinance.



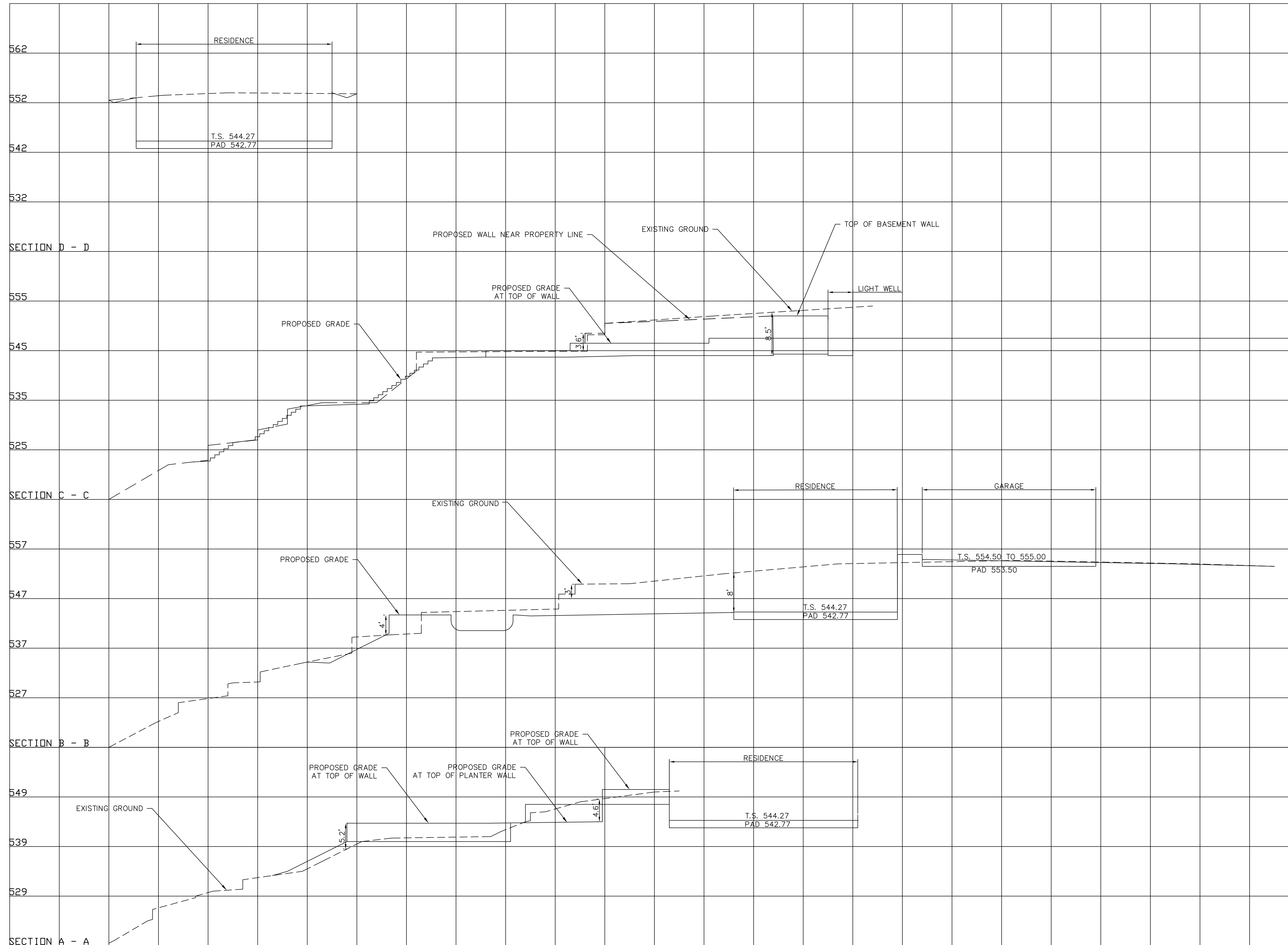
ENERGY DISSIPATOR

NO.	BY	DATE	REVISION	BY	DATE	DATE: May 2019
						SCALE: HOR. 1" = 10'
						VERT.
						DESIGNED:
						DRAWN: JK, HB
						PRJ. ENGR:

WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

EROSION CONTROL PLAN
BOTHMAN RESIDENCE
56 CENTRAL AVENUE, LOS GATOS, CA

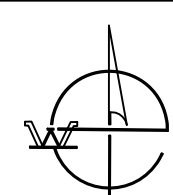
JOB NO.
2012-043
SHEET C2
OF 3



VERTICAL SCALE: 1 inch = 10 feet
 HORIZONTAL SCALE: 1 inch = 10 feet

NO.	BY	DATE	REVISION	BY	DATE	DATE: May 2019
						SCALE: HDR. 1"=10' VERT. 1"=10'
						DESIGNED:
						DRAWN: JK, HB
						PRDJ. ENGR:

BY: KAREL CYMBAL, RCE 34534
 DATE:



WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

**SECTIONS
 BOTHMAN RESIDENCE**
 56 CENTRAL AVENUE, LOS GATOS, CA

JOB NO.
 2012-043
 SHEET C3
 OF 3

CONSULTANT:

BOTHMAN RESIDENCE
56 CENTRAL AVENUE
LOS GATOS, CA 95030
ANDREW & ASHLEY BOTHMAN
228 SUNSHINE AVENUE
CAMPBELL, CA 95008

PROJECT:

REVISIONS:

MARK	DATE	DESCRIPTION

DRAWING TITLE:
LANDSCAPE SITE PLAN

DATE: 03/25/2019

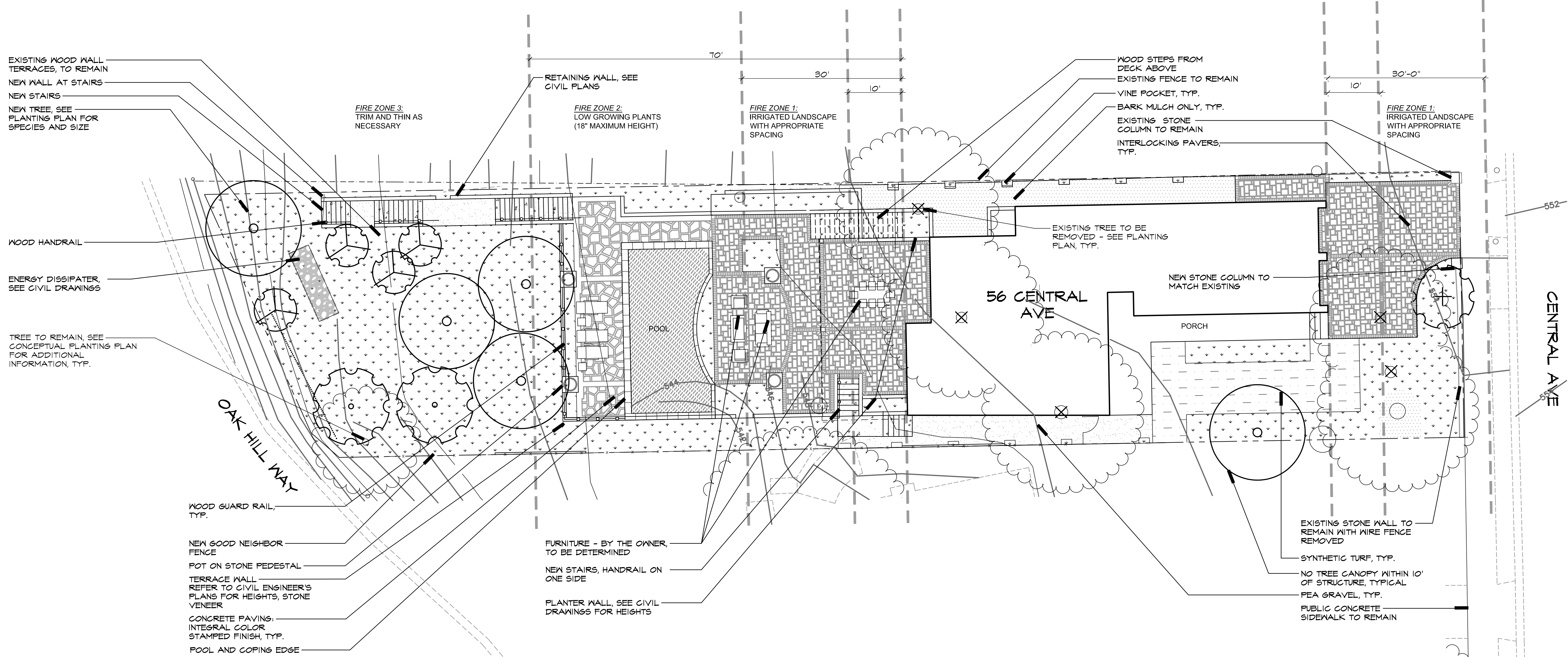
JOB NUMBER: 1828

DRAWN: KU CHECKED: EP

SCALE: AS NOTED

SHEET NUMBER

L1.01



EXISTING WOOD WALL TERRACES, TO REMAIN
NEW WALL AT STAIRS
NEW STAIRS
NEW TREE, SEE PLANTING PLAN FOR SPECIES AND SIZE

WOOD HANDRAIL
ENERGY DISSIPATER, SEE CIVIL DRAWINGS

TREE TO REMAIN, SEE CONCEPTUAL PLANTING PLAN FOR ADDITIONAL INFORMATION, TYP.

WOOD GUARD RAIL, TYP.
NEW GOOD NEIGHBOR FENCE
POT ON STONE PEDESTAL
TERRACE WALL, REFER TO CIVIL ENGINEER'S PLANS FOR HEIGHTS, STONE VENEER
CONCRETE PAVING, INTEGRAL COLOR STAMPED FINISH, TYP.
POOL AND COPING EDGE

FURNITURE - BY THE OWNER, TO BE DETERMINED
NEW STAIRS, HANDRAIL ON ONE SIDE
PLANTER WALL, SEE CIVIL DRAWINGS FOR HEIGHTS

RETAINING WALL, SEE CIVIL PLANS
FIRE ZONE 2: LOW GROWING PLANTS (18" MAXIMUM HEIGHT)

FIRE ZONE 1: IRRIGATED LANDSCAPE WITH APPROPRIATE SPACING

WOOD STEPS FROM DECK ABOVE
EXISTING FENCE TO REMAIN
VINE POCKET, TYP.
BARK MULCH ONLY, TYP.
EXISTING STONE COLUMN TO REMAIN
INTERLOCKING PAVERS, TYP.

FIRE ZONE 1: IRRIGATED LANDSCAPE WITH APPROPRIATE SPACING

EXISTING TREE TO BE REMOVED - SEE PLANTING PLAN, TYP.

NEW STONE COLUMN TO MATCH EXISTING

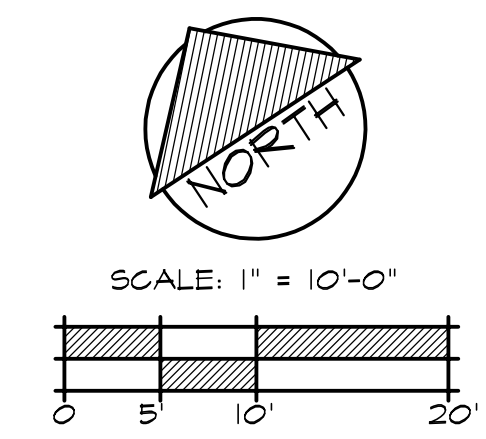
PORCH

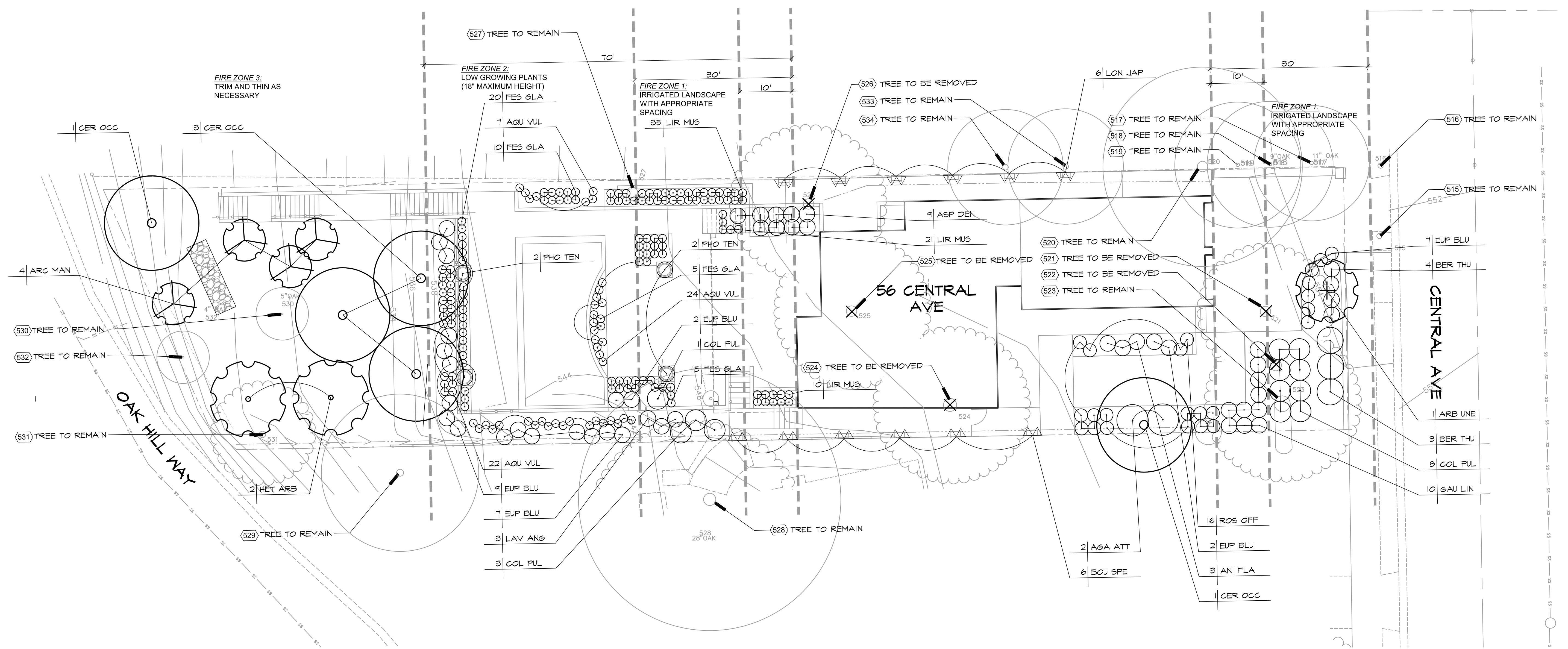
EXISTING STONE WALL TO REMAIN WITH WIRE FENCE REMOVED
SYNTHETIC TURF, TYP.
NO TREE CANOPY WITHIN 10' OF STRUCTURE, TYPICAL
PEA GRAVEL, TYP.
PUBLIC CONCRETE SIDEWALK TO REMAIN

LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	INTERLOCKING PAVERS, SEE DETAIL ON SHEET L1.03		PEA GRAVEL
	CONCRETE PAVING, INTEGRAL COLOR STAMPED FINISH		SYNTHETIC TURF
	CONCRETE PAVING, INTEGRAL COLOR MEDIUM BROOM FINISH		STANDARD SHRUB AND GROUND COVER PLANTING
	GOOD NEIGHBOR WOOD FENCE, 6' HIGH		BARK MULCH ONLY
	WOOD GUARD RAIL, 42" HIGH		
	WOOD HANDRAIL AT STEPS		

REFER TO PLANTING PLAN, L1.02



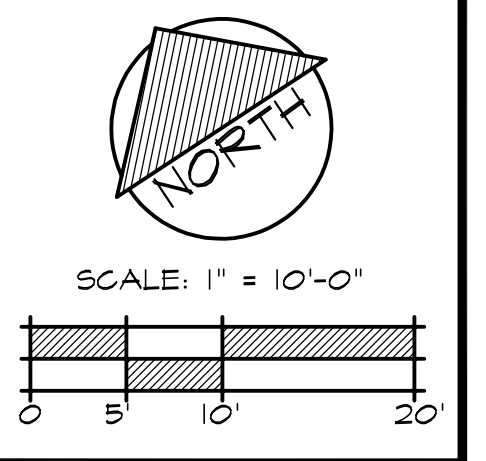


ID	BOTANICAL NAME	COMMON NAME	TRUNK DIA. (IN.)	HEIGHT (FT.)	CANOPY DIA. (FT.)	CONDITION	SUITABILITY	IMPACT	STATUS
515	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	8	35	4	GOOD	FAIR	LOW	PROTECTED
516	CUPRESSUS SEMPERVIRENS	ITALIAN CYPRESS	12	35	4	GOOD	FAIR	LOW	PROTECTED
517	QUERCUS AGRIFOLIA	COAST LIVE OAK	11	25	25	POOR	FAIR	MOD/HIGH	PROTECTED
518	QUERCUS AGRIFOLIA	COAST LIVE OAK	9	25	25	POOR	FAIR	MOD/HIGH	PROTECTED
519	QUERCUS AGRIFOLIA	COAST LIVE OAK	12	25	25	FAIR	FAIR	MOD/HIGH	PROTECTED
520	QUERCUS AGRIFOLIA	COAST LIVE OAK	28	45	38	GOOD	FAIR	MOD/HIGH	LARGE PROTECTED
521	PHOENIX CANARIENSIS	CANARY ISLAND DATE PALM	24	40	20	GOOD	POOR	HIGH	PROTECTED
522	CITRUS SINENSIS	ORANGE	4	6	6	POOR	POOR	HIGH	EXEMPT
523	PINUS FINEA	STONE PINE	34	55	50	POOR	POOR	HIGH	PROTECTED
524	CEDRUS DEODARA	DEODAR CEDAR	27	55	45	FAIR	POOR	HIGH	PROTECTED
525	QUERCUS AGRIFOLIA	COAST LIVE OAK	22	45	40	FAIR	FAIR	HIGH	PROTECTED
526	QUERCUS AGRIFOLIA	COAST LIVE OAK	27	45	40	FAIR	FAIR	HIGH	LARGE PROTECTED
527	QUERCUS DOUGLASII	BLUE OAK	24	45	40	FAIR	FAIR	HIGH	LARGE PROTECTED
528	QUERCUS DOUGLASII	BLUE OAK	28	55	50	FAIR	FAIR	LOW	LARGE PROTECTED
529	QUERCUS AGRIFOLIA	COAST LIVE OAK	16	30	30	FAIR	FAIR	LOW	PROTECTED
530	QUERCUS AGRIFOLIA	COAST LIVE OAK	5	15	10	FAIR	FAIR	HIGH	PROTECTED
531	QUERCUS AGRIFOLIA	COAST LIVE OAK	15	30	30	FAIR	FAIR	MOD/HIGH	PROTECTED
532	UMBELLULARIA CALIFORNICA	BAY LAUREL	4	20	10	FAIR	FAIR	HIGH	PROTECTED
533	QUERCUS AGRIFOLIA	COAST LIVE OAK	13	35	30	FAIR	FAIR	MOD/HIGH	PROTECTED
534	QUERCUS AGRIFOLIA	COAST LIVE OAK	13	35	30	FAIR	FAIR	MOD/HIGH	PROTECTED

EXISTING TREE NOTES
 1. ALL EXISTING TREES TO BE REMOVED SHALL RECEIVE ADDITIONAL REVIEW BY A CERTIFIED ARBORIST.
 2. (13) NEW TREES ARE PROPOSED TO MITIGATE (5) EXISTING TREES TO BE REMOVED.
 (6) 36" BOX AND (7) 24" BOX

ABBR.	BOTANICAL NAME	COMMON NAME	CONT. SIZE	MATURE SIZE	QUANTITY
TREES					
ARB UNE	ARBUS UNEDO	STRAWBERRY TREE	36" BOX	25'W X 25'H	1
ARC MAN	ARCTOSTAPHYLOS MANZANITA 'DR HURD'	MANZANITA	24" BOX	10'W X 10'H	5
CER OCC	CERCIS OCCIDENTALIS	WESTERN RED BUD	36" BOX MULTI TRUNK	18'W X 18'H	5
HET ARB	HETEROMELES ARBUTIFOLIA	TOYON	24" BOX	15'W X 15'H	2
AGA ATT	AGAVE ATTENUATA	FOX TAIL AGAVE	5 GAL.	6'W X 6'H	2
ASP DEN	ASPARAGUS DENSIFLORUS 'MYERS'	MYERS ASPARAGUS	5 GAL.	3'W X 3'H	4
ANI FLA	ANIGOZANTHOS FLAVIDUM 'BIG RED'	RED KANGAROO PAW	5 GAL.	3'W X 4'H	3
AQU VUL	AQUILEGIA VULGARIS	COLUMBINE	1 GAL.	12'W X 24'H	58
BER THU	BERBERIS THUNBERGII	JAPANESE BARBERRY	5 GAL.	5'W X 5'H	3
COL PUL	COLEONEMA PULCHELLUM 'SUNSET GOLD'	DIOSMA	5 GAL.	5'W X 5'H	12
EUP BLU	EUPHORBIA SEQUIERIANA 'BLUE HAZE'	BLUE HAZE SPURGE	5 GAL.	3'W X 18'H	27
FES GLA	FESTUCA GLAUGA OVINA	BLUE FESCUE	1 GAL.	12'W X 12'H	50
GAU LIN	GAURA LINDHEIMERI	GAURA	1 GAL.	3'W X 3'H	10
LAV ANG	LAVANDULA ANGUSTIFOLIA 'MUMSTEAD'	ENGLISH LAVENDER	5 GAL.	36'W X 36'H	3
LIR MUS	LIRIOPE MUSCARI 'VARIEGATA'	LILY TURF	1 GAL.	24'W X 24'H	50
PHO TEN	PHORMIUM TENAX 'PLATTS BLACK'	NEW ZEALAND FLAX	5 GAL.	36'W X 36'H	4
ROS OFF	ROSMARINUS OFFICINALIS 'LOCKWOOD DE FOREST'	ROSEMARY	5 GAL.	30'W X 30'H	16
VINES					
BOU SPE	BOUGAINVILLEA SPECTABILIS 'SAN DIEGO RED'	BOUGAINVILLEA	5 GAL.	8'W X 15'H	6
LON PER	LONICERA JAPONICA 'PURPUREUM'	JAPANESE HONEYSUCKLE	5 GAL.	6'W X 10'H	6

- IRRIGATION NOTES
1. ALL PLANTING AREAS SHALL BE IRRIGATED WITH A NETAFIM TYPE DRIP SYSTEM.
 2. ALL TREES SHALL BE IRRIGATED BY (2) TREE BUBBLERS IN DRAIN TUBES.
 3. AN AUTOMATIC WEATHER-BASED IRRIGATION CONTROLLER WITH AN ET SENSOR SHALL BE INSTALLED AND CONTROL THE ENTIRE IRRIGATION SYSTEM.
 4. ALL IRRIGATION SHALL BE DESIGNED AND INSTALLED IN COMPLIANCE WITH THE WATER EFFICIENT LANDSCAPE ORDINANCE.



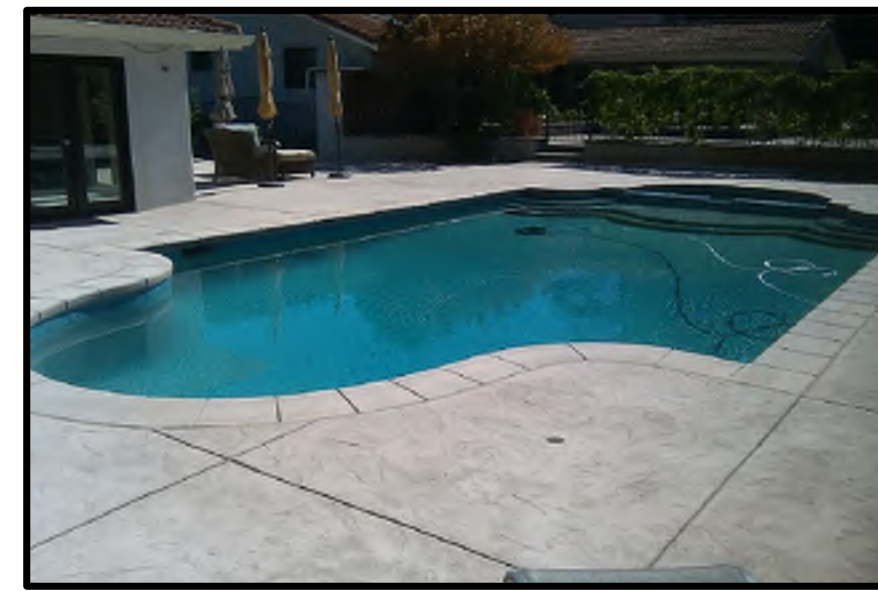
HARDSCAPE:



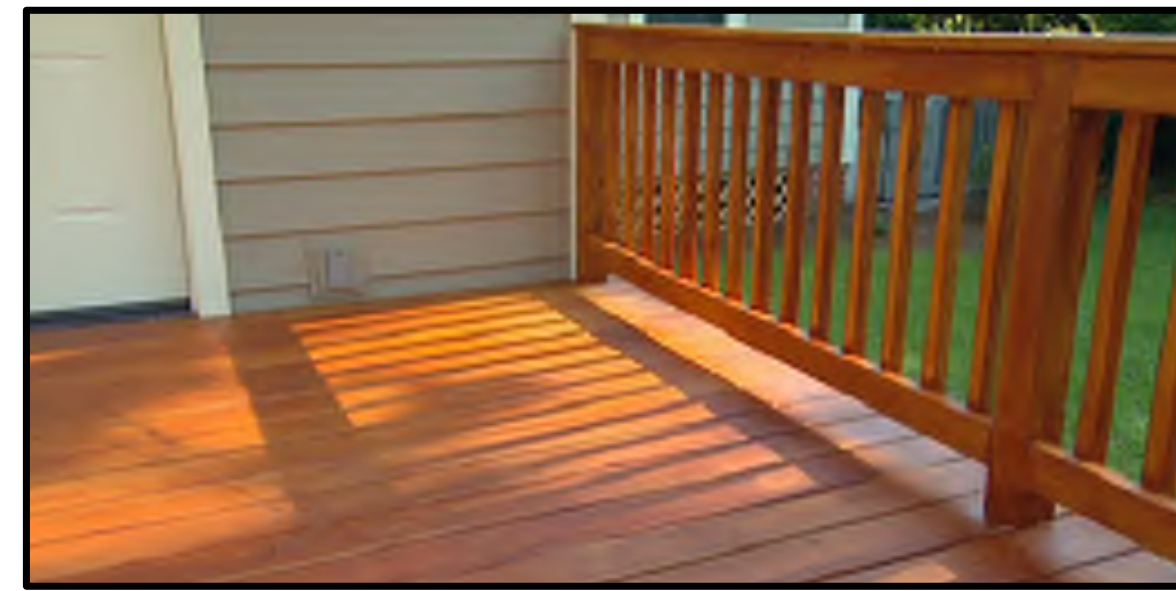
INTERLOCKING PAVERS



POOL COPING



COLOR STAMPED CONCRETE AT POOL



1ST FLOOR DECKING



1/4" GRANITE GRAVEL PATH



SYNTHETIC TURF

SITE ELEMENTS:



HANDRAIL AT STEPS



GUARD RAIL AT POOL AREA



TERRACE WALL



TERRACE CAP
(MULTIPLE COLORS AVAILABLE)



CERAMIC POT



GOOD NEIGHBOR FENCE



POTS ON STONE PEDESTALS



ROCK WALL IN FRONT YARD

FIREZONE 1 SHRUBS & GRASSES (IRRIGATED ORNAMENTALS):



AGAVE ATTENUATA
AGAVE



ANIGOZANTHOS SP.
KANGAROO PAW



ASPARAGUS DENSIFLORUS "MYERS"
MYERS ASPARAGUS



ARCTOSTAPHYLOS DENSIFLORA
'HOWARD McMINN'
HOWARD McMINN MANZANITA



COLEONEMA PULCHERIMA 'SUNSET GOLD'
BREATH OF HEAVEN



EUPHORBIA 'BLUE HAZE'
SPURGE



FESTUCA GLAUCA
BLUE OAT GRASS



GAURA LINDHEIMERI
WHITE GAURA



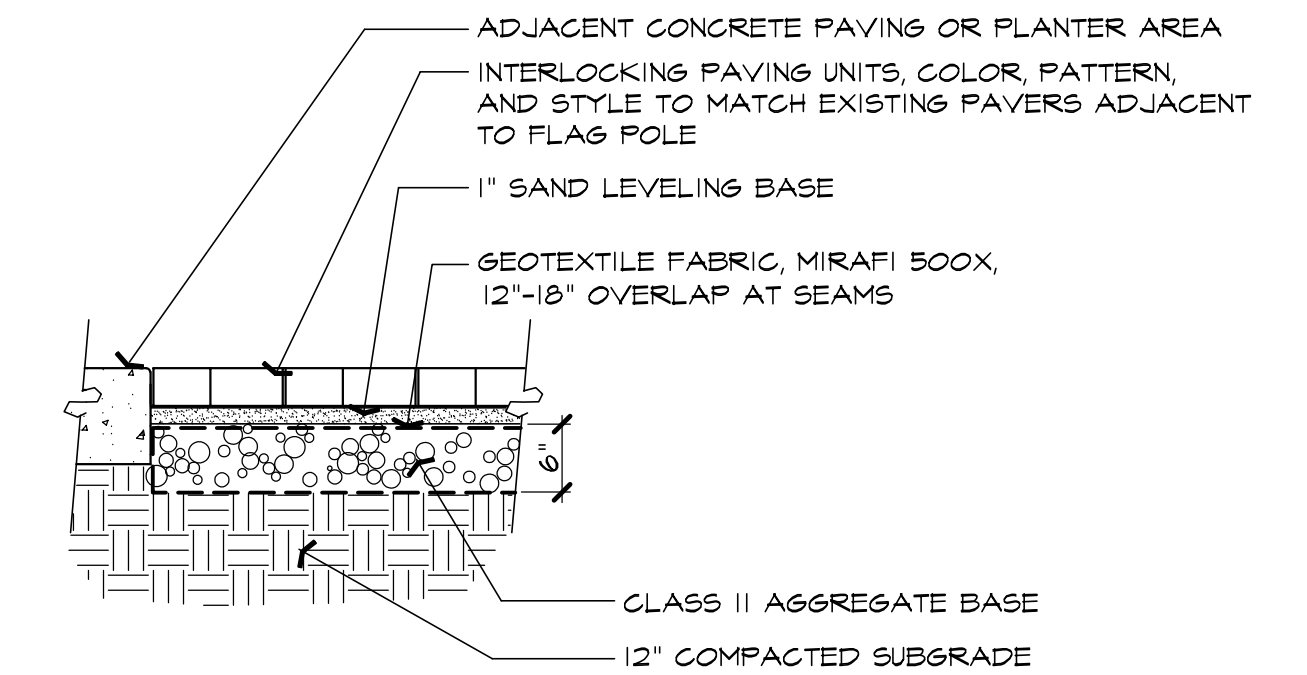
LIRIOPE MUSCARI
VARIEGATED LILY TURF



PHORMIUM TENAX
NEW ZEALAND FLAX



ROSMARINUS OFFICINALIS 'TUSCAN BLUE'
UPRIGHT TUSCAN BLUE ROSEMARY



NOTES:

1. INTERLOCKING PAVING UNITS TO BE 60 MM MIN. THICKNESS CONCRETE AND SHALL HAVE MIN. COMP. STRENGTH OF 8,000 PSI.
2. PAVERS SHALL BE FLUSH W/ CONCRETE BANDING & ADJACENT PAVING.
3. LAYOUT PAVERS PRIOR TO INSTALLATION & SPACE SO THAT NO PAVERS REQUIRE SAWCUTTING LESS THAN 2" IN ANY DIRECTION.
4. INSTALL PAVERS W/ TIGHT JOINTS. FILL VOIDS W/ SAND & COMPACT UNTIL ALL JOINTS ARE TIGHT.
5. PAVER SURFACE SHALL BE SMOOTH AND CONTINUOUS SURFACE WITH NO GAPS.
6. PAVERS SHALL BE CALSTONE, ANTIQUE MISSION.
COLOR: TAN/BROWN/CHARCOAL
PATTERN: FIELD, MISSION 3; BAND 4X8

INTERLOCKING PAVERS DETAIL

FIREZONE 2 SHRUBS & GRASSES (LOW GROWING FIRE BREAK):



AQUILEGIA VULGARIS
COLUMBINE



AEONIUM 'GARNET'



ARTEMISIA CALIFORNICA
CALIFORNIA SAGEBRUSH



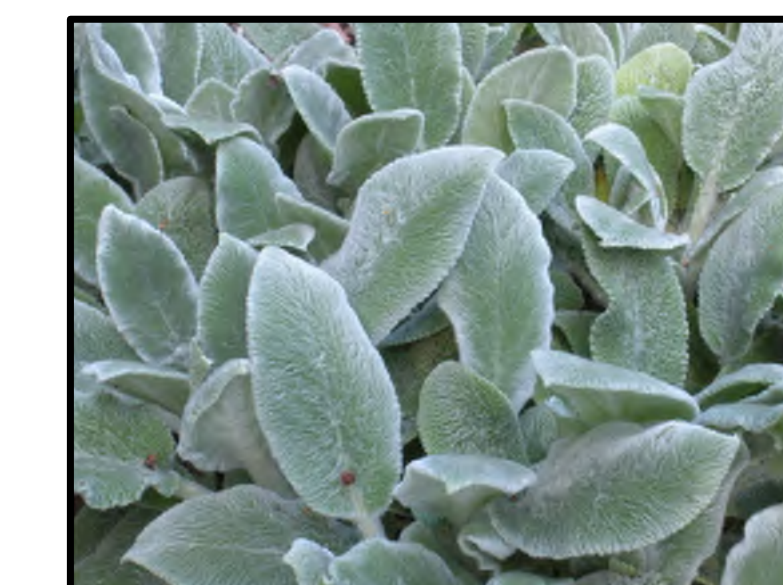
FESTUCA GLAUCA
BLUE OAT GRASS



LAVANDULA SP.
LAVENDER



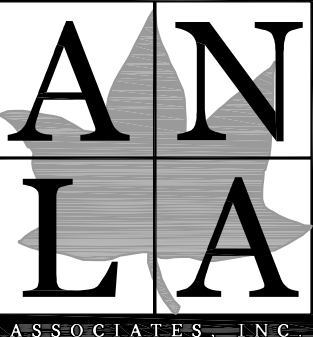
PENSTEMON EATONII
FIRECRACKER BEARD TONGUE



STACHYS 'SILVER CARPET'
LAMB'S EAR



ZAUSCHNERIA CALIFORNICA
CALIFORNIA FUSCHIA



1213 Lincoln Ave, Suite 211
San Jose, CA 95125
T. 408.292.2195
www.anla-associates.com

CONSULTANT:

PROJECT: BOTHMAN RESIDENCE

66 CENTRAL AVENUE
LOS GATOS, CA 95030

OWNER: ANDREW & ASHLEY BOTHMAN

228 SUNSHINE AVENUE
CAMPBELL, CA 95008

REVISIONS:

MARK	DATE	DESCRIPTION

DRAWING TITLE:

**PLANTING
AND
MATERIALS
BOARD**

DATE: 03/25/2019

JOB NUMBER: 1828

DRAWN: KU CHECKED: EP

SCALE: AS NOTED

SHEET NUMBER

L1.03

FIREZONE 3 SHRUBS & GRASSES (SPARSELY PLANTED):



ARTEMISIA CALIFORNICA
CALIFORNIA SAGEBRUSH



ARCTOSTAPHYLOS DENSIFLORA
'HOWARD McMINN'
HOWARD McMINN MANZANITA



CEANOTHUS SP.
CALIFORNIA LILAC



LAVANDULA SP.
LAVENDER



ROSMARINUS OFFICINALIS
'TUSCAN BLUE'
UPRIGHT TUSCAN BLUE
ROSEMARY

GROUND COVERS:



ARCTOSTAPHYLOS 'EMERALD CARPET'
CARPET MANZANITA



ASARUM CAUDATUM
WILD GINGER



LIRIOPE SPICATA
CREEPING LILY TURF



ROSMARINUS OFFICINALIS 'PROSTRATUS'
CREEPING ROSEMARY



VINES:



BOUGAINVILLEA SP.



LONICERA SP.
JAPANESE HONEYSUCKLE



WISTERIA SINENSIS
CHINESE WISTERIA

TREES:



ARBUTUS UNEDO
STRAWBERRY TREE



ARCTOTAPHYLOS MANZANITA "DR HURD"
MANZANITA



ACER SP.
MAPLE TREE



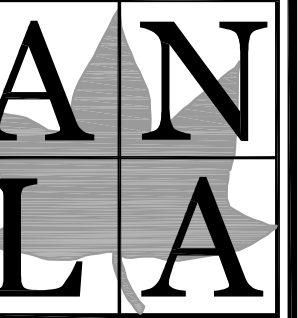
CERIS OCCIDENTALIS
WESTERN REDBUD



WESTERN REDBUD IN BLOOM



HETEROMELES ABUTILIFOLIA
TOYON



ASSOCIATES INC.
1213 Lincoln Ave, Suite 211
San Jose, CA 95125
T. 408.292.2196
www.anla-associates.com

CONSULTANT:

PROJECT: **BOTHMAN RESIDENCE**
56 CENTRAL AVENUE
LOS GATOS, CA 95030

OWNER: **ANDREW & ASHLEY BOTHMAN**
228 SUNSHINE AVENUE
CAMPBELL, CA 95008

REVISIONS:

MARK	DATE	DESCRIPTION

DRAWING TITLE:

**PLANTING
AND
MATERIALS
BOARD**

DATE: 03/25/2019

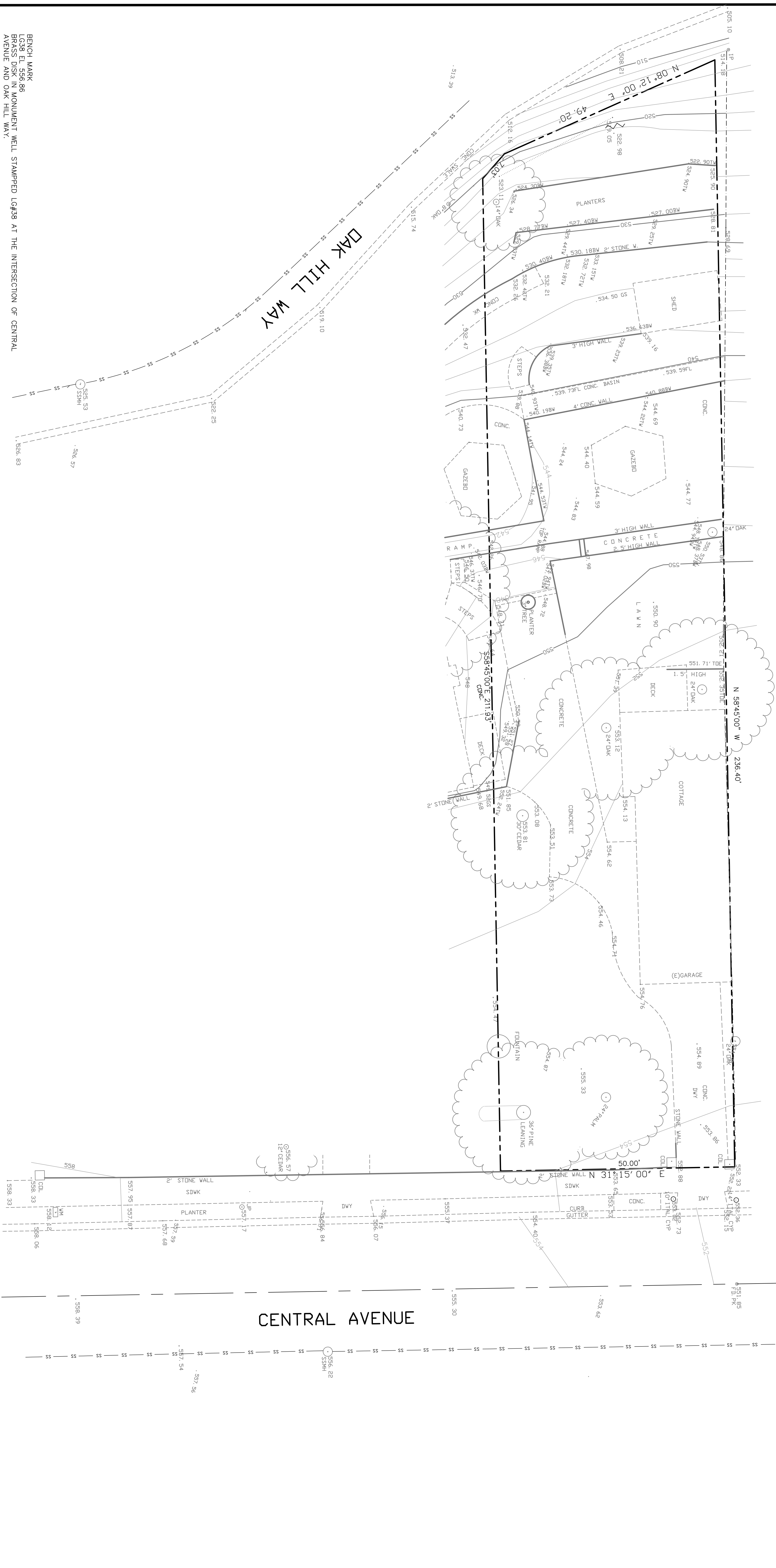
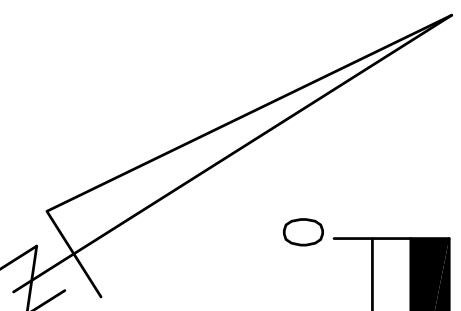
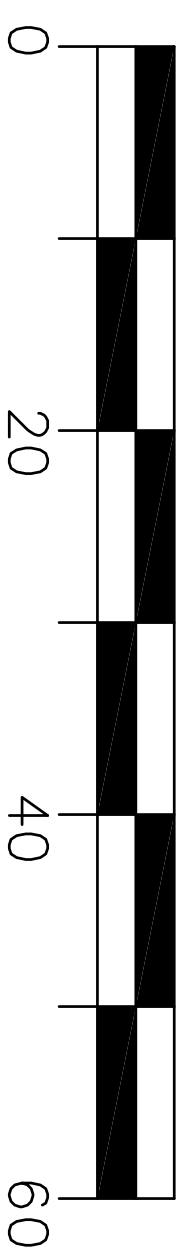
JOB NUMBER: 1828

DRAWN: KU CHECKED: EP

SCALE: AS NOTED

SHEET NUMBER

L1.04



BENCH MARK
 LG38 EL. 556.86
 BRASS DISK IN MONUMENT WELL STAMPED LG#38 AT THE INTERSECTION OF CENTRAL AVENUE AND OAK HILL WAY.

BASE OF BEARINGS
 NORTH, 3.115' EAST AS SHOWN ON THE RECORD OF SURVEY MAP OF RE-SUBDIVISION OF LOTS 62 AND 63 OF "OAK HILL SUBDIVISION RECORDED IN BOOK "D" OF MAPS AT PAGE 35, SANTA CLARA COUNTY RECORDS.

NO.	BY	DATE	REVISION

DATE:	BY:
AUGUST 2018	KAREL CYMBAL, RCE 34534

WESTFALL ENGINEERS, INC.
 14593 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

TOPOGRAPHIC MAP
 BOTHMAN RESIDENCE
 56 CENTRAL AVENUE, LOS GATOS, CA