



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 09/10/2025

ITEM NO: 2

DATE: September 5, 2025
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Consider a Request for Approval of a Zone Change from O (Office) to R-1:8 (Single-Family Residential, Minimum Lot Size of 8,000 Square Feet). **Located at 14331 Capri Drive.** APN 406-32-004. Zone Change Application Z-23-005. Categorically Exempt Pursuant to CEQA Guidelines Section 15061(b)(3): Common Sense Exemption. Property Owner: Ravi Kiran Vallamdas. Applicant: Gordon K. Wong. Project Planner: Ryan Safty.

RECOMMENDATION:

Consider a request for approval of a zone change from O (Office) to R-1:8 (Single-Family Residential, minimum lot size of 8,000 square feet), located at 14331 Capri Drive.

PROJECT DATA:

General Plan Designation: Low Density Residential
Current Zoning Designation: O, Office
Applicable Plans and Standards: General Plan
Parcel Size: 13,092 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Commercial	Neighborhood Commercial	C-1
West	Residential	Low Density Residential	R-1:8

PREPARED BY: Ryan Safty
Associate Planner

Reviewed by: Planning Manager, Community Development Director, and Town Attorney

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15061(b)(3): Common Sense Exemption.

FINDINGS:

- The application is not subject to the California Environmental Quality Act, Section 15061(b)(3), in that it can be seen with certainty that there is no possibility that the proposed amendment to the Town Code will have a significant effect on the environment. The application proposes to change the zoning classification of a property to be consistent with the underlining General Plan Land Use Designation. The associated Architecture and Site Application (S-24-043) for construction of a new residence and site grading is Categorically Exempt pursuant to the California Environmental Quality Act, Section 15303: New Construction.
- The proposed zone change is consistent with the General Plan and its Elements.

ACTION:

The Planning Commission will provide a recommendation to the Town Council who will render the final decision on the proposal.

BACKGROUND:

The subject property is located at the southwest corner of Capri Drive and Vasona Avenue (Exhibit 1). The 13,092-square foot lot is zoned O (Office) and is currently developed with a 1,128-square foot single-family residence and a detached, 1,150-square foot, two-story structure which includes two permitted Accessory Dwelling Units, one on each floor.

The applicant submitted an Architecture and Site application (S-24-043) to demolish the existing residence and construct a new, two-story single-family residence and associated site grading, and a Zone Change application to change the property zoning from O (Office) to R-1:8 (Single-Family Residential) to match the existing and proposed use and underlining General Plan Land Use Designation of Low Density Residential. The proposed zone change requires a recommendation from the Planning Commission with a final decision being made by the Town Council.

This Zone Change application, as well as the associated Architecture and Site application, was reviewed by the Planning Commission on June 25, 2025. The Planning Commission forwarded a recommendation for approval to the Town Council on both applications (Exhibit 4). However, following this meeting and in consultation with the Town Attorney, it was determined that the Zone Change application did not receive proper public notification pursuant to Government Code Section 65854. Therefore, this application, with proper noticing, is coming back before the Planning Commission for a recommendation to the Town Council.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is 13,092 square feet, located at the southwest corner of Capri Drive and Vasona Avenue (Exhibit 1). The property is currently developed with a 1,128-square foot single-family residence and a detached, 1,150-square foot, two-story structure including two permitted ADUs. Single-family residential development surrounds the property with a commercial use located across Capri Drive, east of the subject site.

B. Project Summary

The applicant proposes a zone change from O (Office) to R-1:8 (Single-Family Residential) (Exhibit 5).

C. Zoning Compliance

A single-family residence is a permitted use in the R-1:8 zone. The proposed residence, with approval of the zone change, is in compliance with the maximum allowable floor area, building height, setbacks, lot coverage, and on-site parking requirements for the property, applicable to the R-1:8 zone.

DISCUSSION:

A. Zone Change Analysis

To facilitate the Architecture and Site application for a new single-family residence, the applicant is requesting approval of a zone change from O to R-1:8. Residential is not a permitted use in the O zone, and residential uses are only allowed in the O zone with a Conditional Use Permit when a part of a mixed-use project. The proposal to demolish and replace the existing single-family residence necessitates this zone change.

The property is zoned O, but has a General Plan Land Use Designation of Low Density Residential. The surrounding neighboring properties on the west side of Capri Drive are all zoned R-1:8 (Exhibit 1). The proposed zone change from O to R-1:8 is consistent with the surrounding neighborhood.

The applicant proposes a new single-family residence on a R-1:8 zoned property. Single-family residential is a permitted use in the R-1:8 zone. The 13,092-square foot property complies with the 8,000-square foot minimum lot size, as well as the minimum frontage and depth requirements for R-1:8 properties. The proposed new residence would comply with all applicable R-1:8 zoning requirements, including maximum allowable floor area, building height, setbacks, lot coverage, and on-site parking requirements.

B. General Plan

The proposed R-1:8 zoning would conform with the existing General Plan Land Use designation of Low Density Residential. Pursuant to the General Plan, “the Low Density Residential designation provides for single-family residential properties located on generally level terrain.”

The surrounding neighboring properties on the west side of Capri Drive all have a Low Density Residential General Plan Designation and are zoned R-1:8 (Exhibit 1). The proposed zone change from O to R-1:8 is consistent with both the General Plan and surrounding neighborhood.

PUBLIC COMMENTS:

Story poles (for the Architecture and Site application) and signage (for both applications) were installed on the site and written notice was sent to property owners and tenants located within 300 feet of the subject property. One public comment was received prior to the June 25, 2025, Planning Commission hearing, which was related to the design of the residence. No public comment was received regarding the Zone Change application. At time of publication of this report, no additional public comments have been received.

CONCLUSION:

A. Summary

Due to a public noticing error, this Zone Change application is coming back before the Planning Commission for a recommendation to the Town Council on approval. On June 25, 2025, the Planning Commission unanimously forwarded a recommendation of approval on the Zone Change application to the Town Council. The proposed zone change would be consistent with the existing General Plan Land Use Designation and the existing pattern of land uses and zones surrounding the subject parcel (Exhibit 1).

B. Recommendation

Based on the analysis above, staff recommends that the Planning Commission forward a recommendation to the Town Council for approval of the Zone Change application by taking the following actions:

1. Make the finding that the project is not subject to the California Environmental Quality Act Section 15061(b)(3), in that it can be seen with certainty that there is no possibility that the proposed amendment to the Town Code will have a significant effect on the environment (Exhibit 2);
2. Make the finding that the proposed zone change is consistent with the General Plan and its Elements (Exhibit 2); and
3. Forward a recommendation of approval of Zone Change application Z-23-005 to the Town Council.

C. Alternatives

Alternatively, the Planning Commission can:

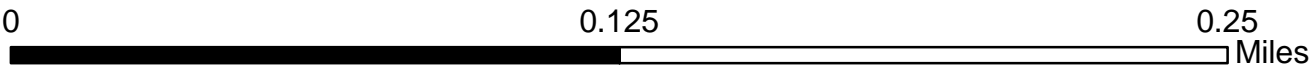
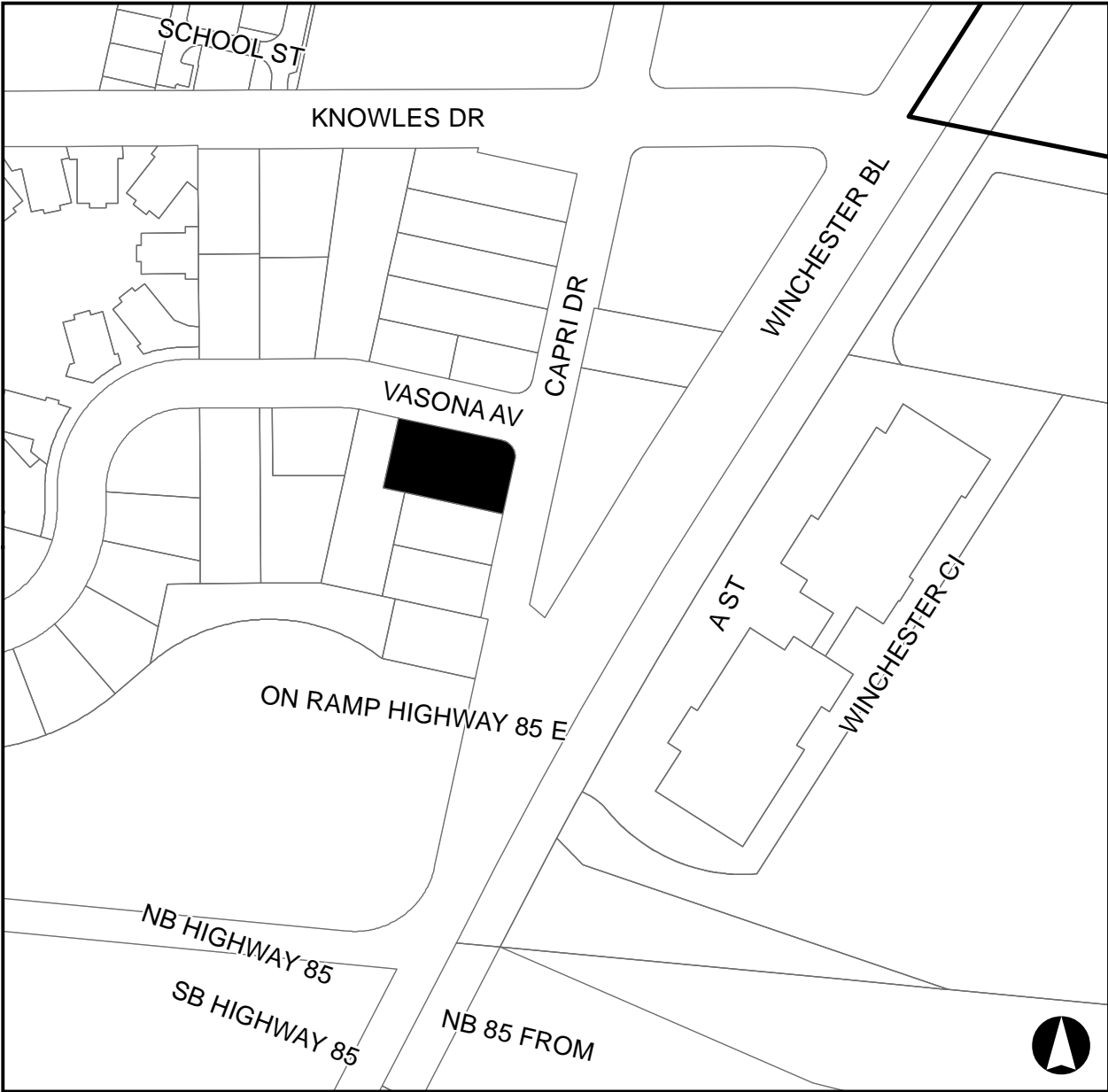
1. Continue the matter to a date certain with specific direction;
2. Provide a recommendation for approval with modification to the Town Council; or
3. Forward a recommendation for denial to the Town Council providing findings for denial.

EXHIBITS:

1. Location Maps (including General Plan Land Use Designations and Existing Zoning)
2. Required Findings
3. Draft Ordinance for Zone Change, with Exhibit A
4. Planning Commission Meeting Minutes, June 25, 2025
5. Letter of Justification
6. Project Plans

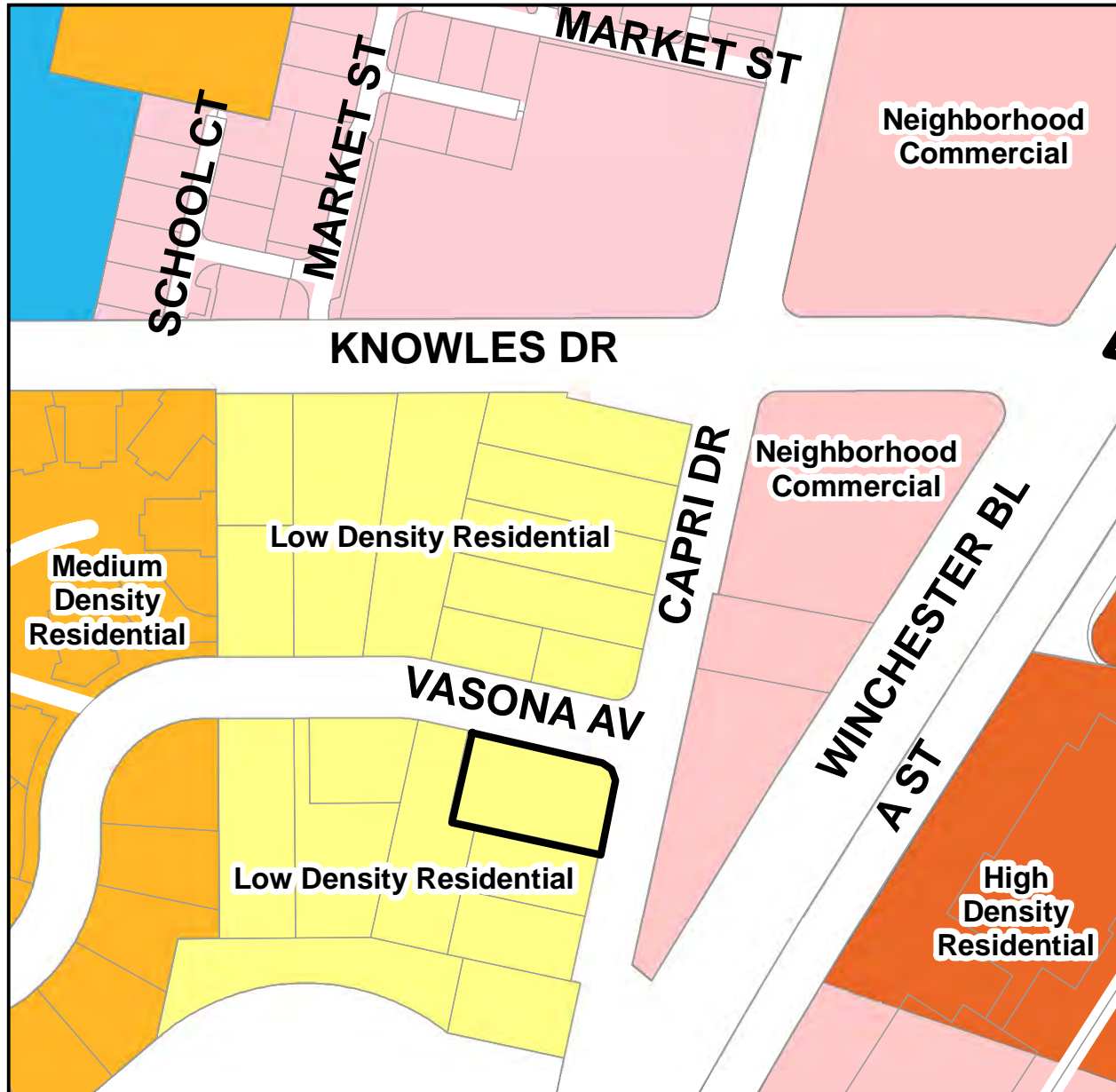
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14331 Capri Drive

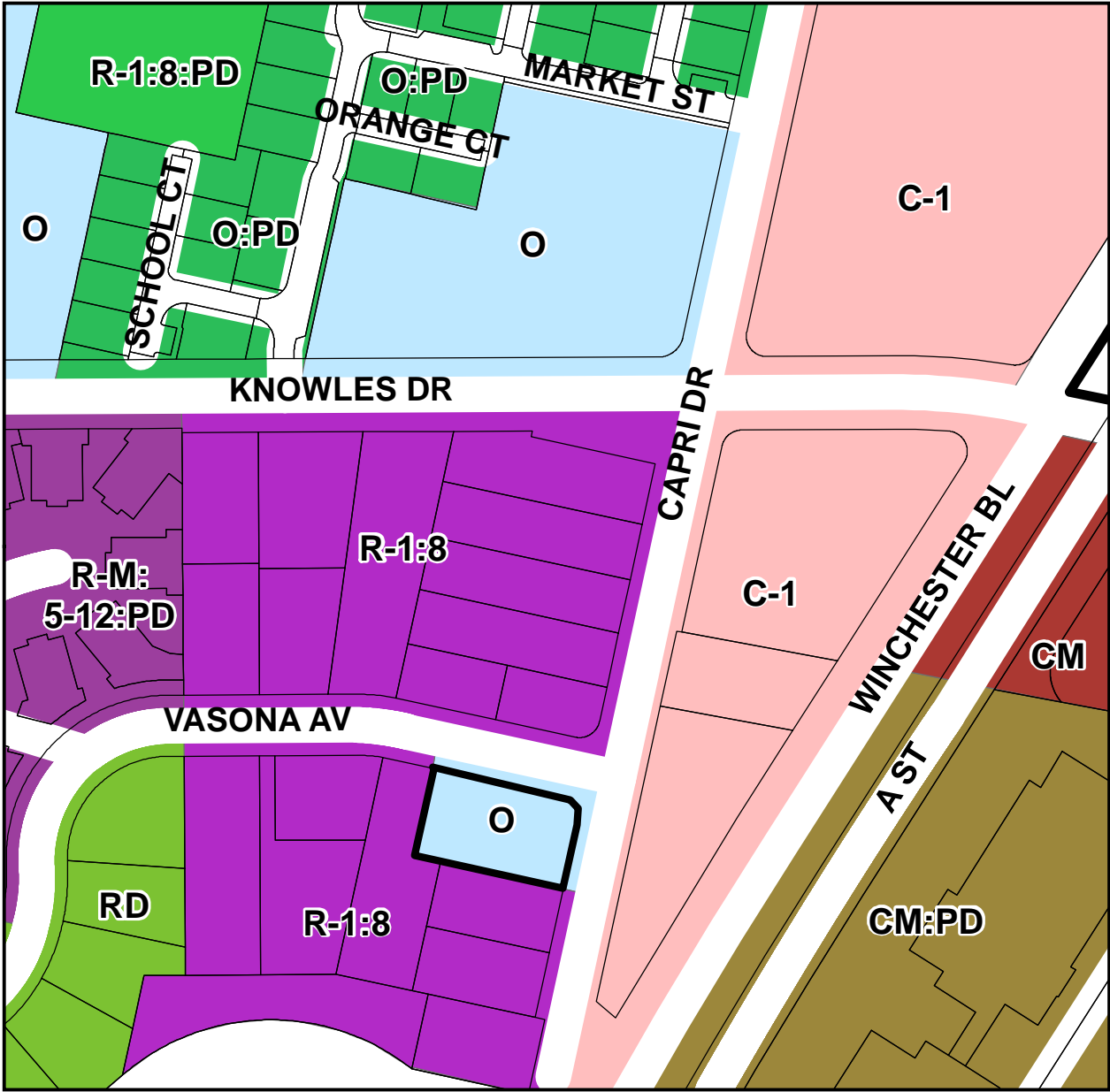


14331 Capri Drive

Existing Land Use Designation



14331 Capri Drive
Existing Zoning



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PLANNING COMMISSION – September 10, 2025
REQUIRED FINDINGS FOR:

14331 Capri Drive

Zone Change Application Z-23-005

Consider a Request for Approval of a Zone Change from O (Office) to R-1:8 (Single-Family Residential, Minimum Lot Size of 8,000 Square Feet). APN 406-32-004. Categorically Exempt Pursuant to CEQA Guidelines Section 15061(b)(3): Common Sense Exemption. PROPERTY OWNER: Ravi Kiran Vallamdas. APPLICANT: Gordon K. Wong. PROJECT PLANNER: Ryan Safty.

FINDINGS

Required findings for CEQA:

- That the project (Zone Change application) is not subject to the California Environmental Quality Act, Section 15061(b)(3), in that it can be seen with certainty that there is no possibility that the proposed amendment to the Town Code will have a significant effect on the environment. The application proposes to change the zoning classification of a property to be consistent with the underlining General Plan Land Use Designation. The associated Architecture and Site Application (S-24-043) for construction of a new residence and site grading is Categorically Exempt pursuant to the California Environmental Quality Act, Section 15303: New Construction.

Required consistency with the Town's General Plan:

- The proposed zone change is consistent with the General Plan and its Elements in that the proposed zoning is consistent with the existing General Plan Land Use Designation.

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DRAFT ORDINANCE

**AN ORDINANCE OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS
AMENDING THE ZONING FROM O (OFFICE) TO R-1:8
(SINGLE-FAMILY RESIDENTIAL, MINIMUM LOT SIZE OF 8,000 SQUARE FEET)
FOR PROPERTY LOCATED AT 14331 CAPRI DRIVE.**

WHEREAS, the applicant, Gordon K. Wong, proposes to demolish the existing single-family residence, construct a new single-family residence (S-24-043), and change the zoning classification of the property from O (Office) to R-1:8 (Single-Family Residential, minimum lot size of 8,000 square feet);

WHEREAS, the existing property is zoned O, which is inconsistent with the Low Density Residential General Plan Land Use Designation for this property, which provides for, "single-family residential properties located on generally level terrain;"

WHEREAS, the proposed new single-family residence necessitates this zone change as single-family residential is not an allowed use in the O zoning classification;

WHEREAS, Government Code Section 65860 requires that zoning be consistent with General Plan land use designations;

WHEREAS, staff recommends approval of the zone change from O (Office) to R-1:8 (Single-Family Residential, minimum lot size of 8,000 square feet) in order to be consistent with both the General Plan and surrounding neighborhood.

NOW, THEREFORE, THE PEOPLE OF THE TOWN OF LOS GATOS AND THE TOWN COUNCIL DO HEREBY ORDAIN AS FOLLOWS:

1. The Zoning Map in the Town Code of the Town of Los Gatos is hereby amended to change the zoning of the property at 14331 Capri Drive (Santa Clara County Assessor Parcel Number 406-32-004) as shown on the map attached hereto as Exhibit A, and is part of this Ordinance, from O (Office) to R-1:8 (Single-Family Residential, minimum lot size of 8,000 square feet).
2. This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on the ____ day of ____ 2025, and adopted by the following vote as an ordinance of the Town of Los Gatos at a regular meeting of the Town Council of the Town of Los Gatos on the ____ day of ____ 2025.
3. This ordinance takes effect 30 days after it is adopted.

4. In lieu of publication of the full text of the ordinance within fifteen (15) days after its passage a summary of the ordinance may be published at least five (5) days prior to and fifteen (15) days after adoption by the Town Council and a certified copy shall be posted in the office of the Town Clerk, pursuant to GC 36933(c)(1).
5. The proposed zone change is exempt pursuant to CEQA, Section 15061(b)(3), because it can be seen with certainty that it will not significantly affect the physical environment in that it aligns the regulations with existing land use. The associated Architecture and Site Application (S-24-043) for construction of a new residence and site grading is Categorically Exempt pursuant to CEQA, Section 15303: New Construction.

COUNCIL MEMBERS:

AYES:

NAYS:

ABSENT:

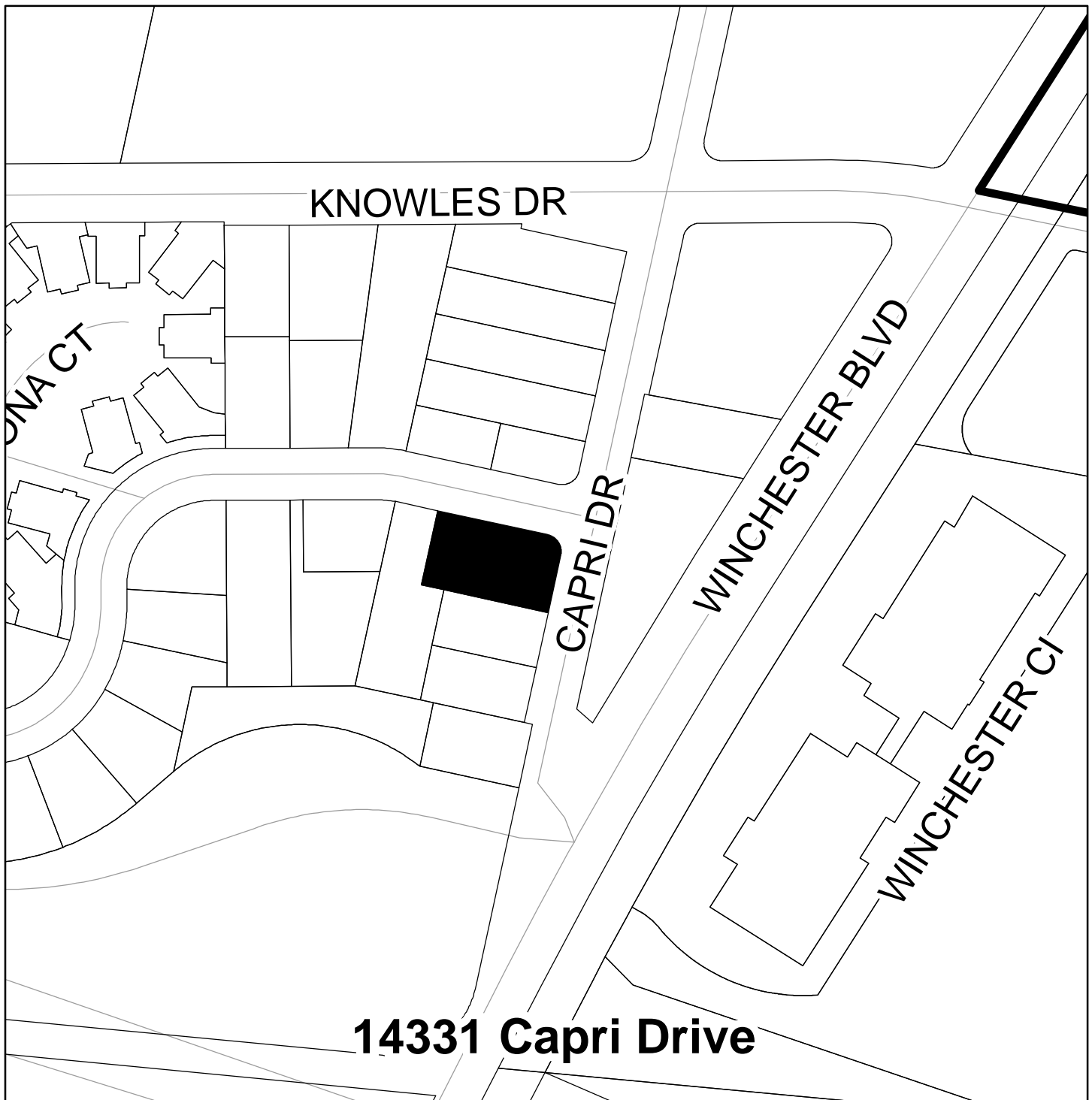
ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS
LOS GATOS, CALIFORNIA



TOWN OF LOS GATOS

Application No. Z-23-005

A.P.N. # 409-32-004

Change of zoning map amending the Town Zoning Ordinance.

☒ Zone Change

From: O: To: R-1:8

☐ Prezoning



Forwarded by Planning Commission

Date:

Approved by Town Council

Date:

Ord:

Clerk Administrator

Mayor

EXHIBIT A

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**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

**MINUTES OF THE PLANNING COMMISSION MEETING
JUNE 25, 2025**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, June 25, 2025, at 7:00 p.m.

MEETING CALLED TO ORDER AT 7:00 PM

ROLL CALL

Present: Vice Chair Kendra Burch, Commissioner Jeffrey Barnett, Commissioner Susan Burnett, Commissioner Steve Raspe, Commissioner Joseph Sordi, and Commissioner Rob Stump.

Absent: Chair Emily Thomas.

PLEDGE OF ALLEGIANCE

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – June 11, 2025

MOTION: Motion by Commissioner Stump to approve adoption of the Consent Calendar. **Seconded by Commissioner Barnett.**

VOTE: Motion passed unanimously.

PUBLIC HEARINGS

2. 14331 Capri Drive

Architecture and Site Application S-24-043

Zone Change Application Z-23-005

APN 406-32-004

Applicant: Gordon K. Wong

Property Owner: Ravi Kiran Vallamdas

Project Planner: Ryan Safty

Consider a request for approval to demolish an existing single-family residence, construct a new single-family residence, site improvements requiring a Grading Permit,

and a Zone Change from O (Office) to R-1:8 (Single-Family Residential, minimum lot size of 8,000 square feet). Categorically exempt pursuant to CEQA Guidelines Section 15303: New Construction, and Section 15061(b)(3): Common Sense Exemption.

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Kevin Yu (Architect)

Our intent is to design a home that blends into the existing neighborhood, enhances the overall aesthetic, contributes to the area's long-term value, and benefits the community as a whole. The building complies with the setback requirements, height, FAR, and the General Plan. 16 trees were preserved for privacy screening and natural shade. This project will use high-quality materials and craftsmanship. We have adjusted our plans in consideration of the community feedback, such as reduced window sizes, flushed the wall of the master bedroom to increase the distance from the building to the property line, added privacy planting to alleviate the direct line of sight into the neighboring property, and reduced the floor area. This project is the third tallest and the fourth largest in terms of FAR.

Michelle McCormick,

I am the neighbor at 14333 Capri Drive. I appreciate the architects making adjustments, but I had brought up concerns to the homeowner regarding the size of the building. For our direct neighborhood, Knowles is down the road and is our main street, but the proposed home, although beautiful, is huge and out of place in our neighborhood. The lot is so deep it would be easy to build a beautiful one-story home there. The garage is the original structure that went with the old home that is now demolished, and it doesn't match this new modern proposed home.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Raspe** to recommend Town Council approval of a Zone Change application for 14331 Capri Drive. **Seconded by Commissioner Stump.**

VOTE: **Motion passed unanimously.**

MOTION: **Motion by Commissioner Raspe** to recommend Town Council approval of an Architecture and Site Application, including a Grading Permit, for 14331 Capri Drive, with added recommendations to modify the plans to incorporate a five-foot second-floor setback consistent with Residential Design Guideline 3.3.2, and inclusion of the applicant's design suggestions noted during the hearing to modify the master bedroom window size, recess the wall, and incorporate planting screening.

Commissioner Raspe amended the motion clarify the five-foot second-floor setback is for the Capri Drive side of the property.

Seconded by Commissioner Sordi.

VOTE: Motion passed 4-2 with Commissioners Barnett and Burnett dissenting.

REPORT FROM THE COMMUNITY DEVELOPMENT DEPARTMENT

Joel Paulson, Community Development Director

- Town Council met 6/17/25:
 - o Heard an appeal of the denial of the Planning Commission decision on 16511 Cypress way related to the garage and directed staff to return with a resolution granting the appeal.
 - o Approved a Tolling Agreement for a housing development at 101 Blossom Hill Road, one of the SB 330 projects, to give time for staff and the property owner to wait for the outcome of the declaratory relief filed by the Town.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

Historic Preservation Committee

Commissioner Burnett

- HPC met 6/25/25 and heard six items:
 - o One was rescheduled.
 - o Two were preliminary reviews.
 - o One regarding a sliding door and was denied.
 - o One regarding replacement windows was approved.
 - o The HPC will try to have a workplan for the HPC to be presented to the Town Council.

ADJOURNMENT

The meeting adjourned at 8:04 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the June 25, 2025 meeting as approved by the Planning Commission.

/s/ Vicki Blandin

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Gordon Wong, AIA, Architect, LEED GA, CSLB
710 E. McGlincy Lane, Suite 109
Campbell, CA 95008
408-315-2125 | Gordonkwong@Gkwarchitects.com
www.gkwarchitects.com

To: Town of Los Gatos, Planning Department
110 E Main St
Los Gatos, CA 95030

Address: 14331 Capri Drive
Los Gatos, CA 95032

App. No.: AS-24-043

From: Gkw Architects, Inc.

Letter of Justification For Zone Change

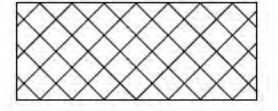
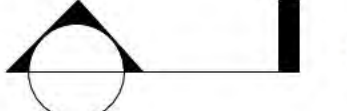
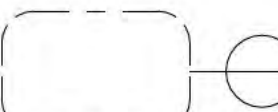


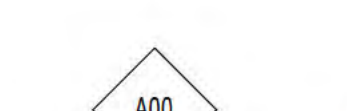

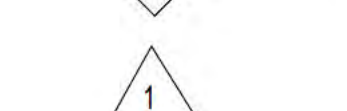


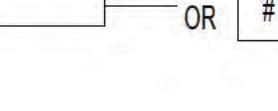
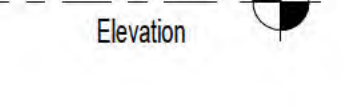
This application is requesting a zone change from O (Office) to R-1:8 (Single-Family Residential). The existing condition of the site consists of a single-family residence and a two -story detached accessory dwelling units (one on first floor and one on 2nd floor). In addition, the zoning of the adjacent neighborhood is R-1:8, except for the property facing roughly Northeast which is zone C1. Yet, that property is not really part of the neighborhood as the right of way is facing out towards Winchester Blvd.

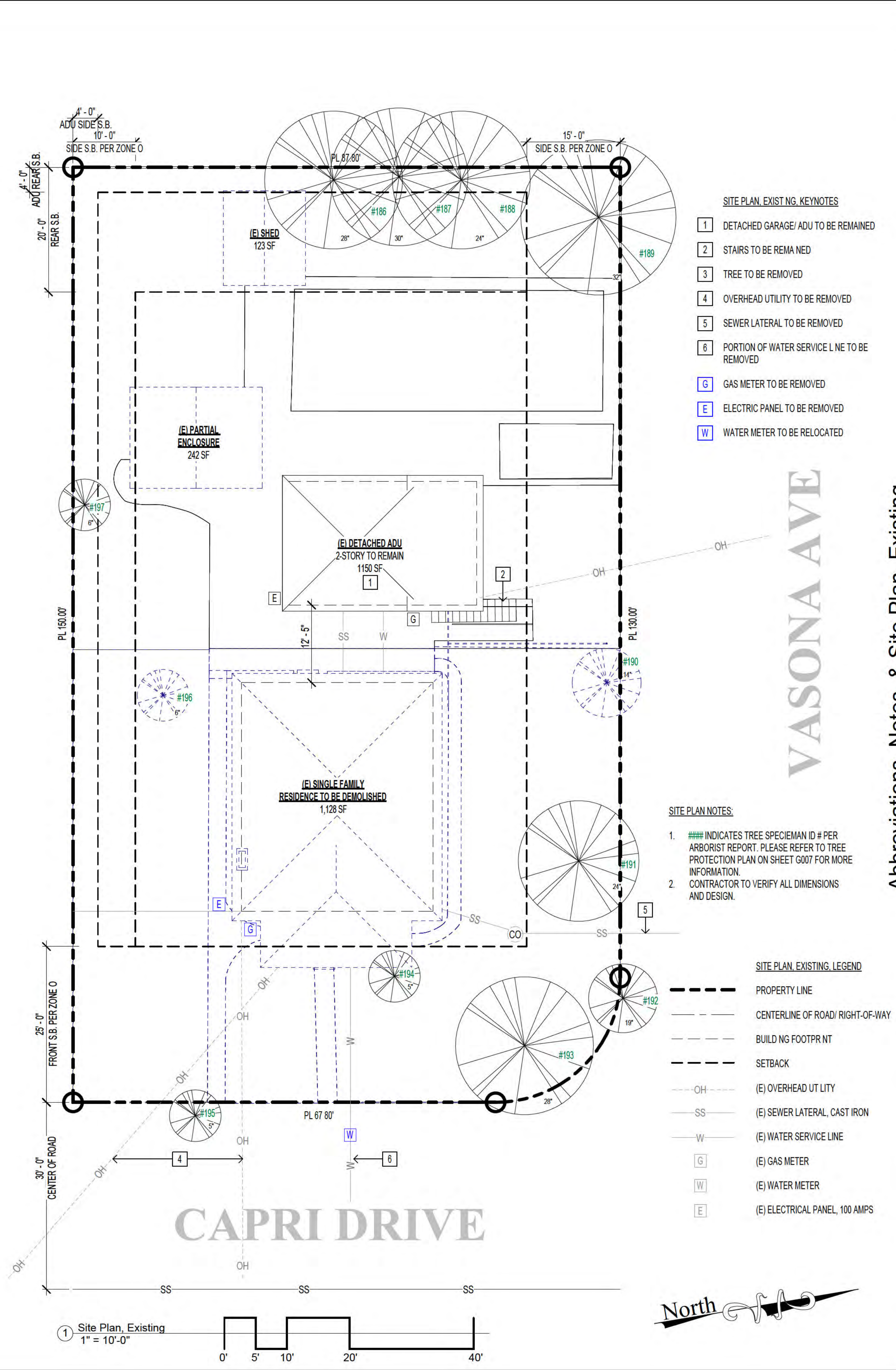
Proceeding forward with the zone change from O to R-1:8, which we believed, will be beneficial to the whole area as it matches the surrounding residential neighborhood. We also recognized that the Town of Los Gatos's general plan land use indicates the area to be Low Density Residential which adds supporting evidence to the zone change. Furthermore, it doesn't make sense to keep the existing zone (Office) as developing future office space does not conform with the existing residential neighborhood.


With the Town's approval, this will make it feasible for the property owner's wishes to construct a future proposed single family residence through Architectural & Site Review after the zone change. The proposed single family residence will replace the existing one-story single family residence, while the two-story detached accessory dwelling unit will remain. The new proposed single residence will enrich the neighborhood and enhance the land value throughout.

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ABBREVIATIONS			
A		N	
ABV	ABOVE	(N)	NEW
AC	ASPHALT CONCRETE	N	NORTH
AD	AREA DRAIN	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NOM	NOMINAL
AFF	ABOVE FINISH FLOOR	NP	NO PARKING
ASPH	ASPHALT	NR	NON-RATED
		NTS	NOT TO SCALE
B		O	
BITUM	BITUMINOUS	OA	OVERALL
BKG	BACKING	OC	ON CENTER
BLDG	BUILDING	OD	OUTSIDE DIAMETER/ DIMENSION
BM	BEAM	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
BR	BACKER ROD	OFOI	OWNER FURNISHED OWNER INSTALL
BUR	BUILT-UP-ROOF		
BDR	BEDROOM		
BW	BOTTOM OF WALL		
		P	
C		(P)	PROPOSED
CAB	CABINET	PEIN	PERFORATED
CB	CATCH BASIN	PERF	PERPENDICULAR
CEM	CEMENT	PERP	PERPENDICULAR
CF	CUBIC FEET	PL	PLATE
CJ	CONTROL JOINT	PL	PROPERTY LINE
CL	CLOSET	PLAS	PLASTER
CTL	CENTERLINE	PLBG	PLYWOOD
CLG	CEILING	PLWD	PANEL
CONC	CONCRETE	PNL	POINT OF CONNECTION
CPT	CARPET	POC	PERMEABLE PAVERS
		PP	PREFABRICATED
D		PREFAB	POUNDS PER SQUARE FOOT
D	DECK	PSF	POUNDS PER SQUARE INCH
DR	DRAIN	PSI	PANTEE
		PTD	PRESSURE TREATED
E		PTR	PRESSURE TREATED WOOD
(E)	EXISTING	PTRWDQ	
E	EAST		
ELEC	ELECTRICAL	Q	
EP	ELECTRICAL PANEL	QTY	QUANTITY
EXT	EXTERIOR		
		R	
F		R	REVEAL OR RISER
FDN	FOUNDATION	RAD	RADIUS
FH	FIRE HYDRANT	RCP	REINFORCED CONCRETE PIPE
FIN	FINISH	RD	ROOF DRAIN
FF	FINISH FLOOR	REF	REFERENCE
FL	FLOW LINE	REFL	REFLECTED
FLUOR	FLUORESCENT	REFR	REFRIGERATOR
FOC	FACE OF CONCRETE	REFR	RETAINING OR RETARDANT
FOF	FACE OF FINISH	RET	REGISTER
FOS	FACE OF STUD	SEG	ROUGH OPENING
FR	FIRE RATED	SCD	SEE CIVIL DRAWINGS
FS	FLOOR SINK	SCHD	SCHEDULE
FSL	FIRE SPRINKLER	SD	STORM DRAIN
FG	FOOTING	SECT	SECTION
GALV	GALVANIZED	SED	SEE ELECTRICAL DRAWINGS
GC	GENERAL CONTRACTOR	SF	SQUARE FOOT OR FEET
GL	GLASS	SHR	SHOWER
GND	GROUND	SHT	SHEET
GWB	GYPSON WALL BOARD	SHTG	SHEATHING
GYP	GYPSON	SM	SIMILAR
		SJ	SEISMIC JOINT
H		SL	SEALANT
HDBD	HARDBOARD	SLO	SEE LANDSCAPE DRAWINGS
HDR	HEADER	SM	SHEET METAL
HDWR	HARDWARE	SMD	SEE MECHANICAL DRAWINGS
HDWD	HARDWOOD	SOF	SOFFIT
HTR	HEATER	SOG	SLAB ON GRADE
HVAC	HEATING, VENT, & A.C.	SPD	SEE PLUMBING DRAWINGS
		SPEC/S	SPECIFICATION
I		SQ	SQUARE
IN	NON	SS	SANITARY SEWER
INCAND	INCANDESCENT	SSD	SEE STRUCTURAL DRAWINGS
INSUL	INSULATION	STC	SOUND TRANSMISSION COEFFICIENT
INT	INTERIOR	STD	STANDARD
INV	INVERT	STL	STEEL
		STOR	STORAGE
J		STRUL	STRUCTURAL
JST	JOIST	SY	SQUARE YARD
JT	JOINT		
K		T	
K	KPS	T&B	TOP AND BOTTOM
KIT	KITCHEN	T&G	TONGUE AND GROOVE
KP	KICK PLATE	TC	TOP OF CURB
		TOC	TOP OF CONCRETE
L		TOP	TOP OF PAVING
LOC	LOCATION	TOS	TOP OF STEEL
LT	LIGHT	TRD	TREAD
		TW	TOP OF WALL
M		U	
MB	MACHANE BOLT	UL	UNDERWRITERS LABORATORIES
MDF	MEDIUM DENSITY FIBERBOARD	UTL	UTILITIES
MECH	MECHANICAL		
MEMB	MEMBRANE	V	
MET	METAL	VCP	VITREOUS CLAY PIPE
MH	MANHOLE	VERT	VERTICAL
MSC	MISCELLANEOUS	VTR	VENT THROUGH ROOF
MTD	MOUNTED		
MTL	METAL	W	
		W	WEST OR WIDTH
		WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		W/O	WITHOUT
		WP	WATER PROOF
		WPT	WORKING POINT
		WR	WATER RESISTANT

GENERAL NOTES	
1.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THE WORK.
2.	ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
3.	THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
4.	NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
5.	THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
6.	ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAINED IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7.	THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
8.	ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
9.	IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
10.	ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
11.	THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
12.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
13.	ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
14.	OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GWK ARCHITECTS - GORDON WONG, ARCHITECT, THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
15.	LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
16.	ANY EXISTING TO REMAIN SHALL BE IN GOOD CONDITION PRIOR TO THE PLANNING FINAL INSPECTION.
17.	NEW LANDSCAPING SHALL COMPLY WITH STATE WATER EFFICIENCY STANDARDS.
SITE PLAN & PUBLIC WORK NOTES	
1.	CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
2.	UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
3.	CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF SAN JOSE.
4.	OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS PER CITY OF LOS GATOS CODES.
5.	PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
6.	ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER UBC SECTION 3403.2.
7.	CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
8.	CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.
9.	PER CGSBC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
10.	PER CGSBC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGREEN CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.
GRAPHIC SYMBOLS	
	CONCRETE PAD
	BUILDING SECTION
	DETAIL REFERENCE
	APPROXIMATE LINE OF WORK
	INTERIOR ELEVATION
	WINDOW TYPE
	WALL TYPE
	REVISION
	KEY NOTE
	DOOR TYPE
	REMOVE
	ROOM TAG





GORDON K WONG ARCHITECTS
RESIDENTIAL / COMMERCIAL

RESIDENCE

14331 Capri Drive
LOS GATOS, CA 95032

Project Schedule Revision	
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3	2024.09.11 PLANNING
4	2025.01.08 PLANNING
5	2025.04.30 PLANNING

Abbreviations, Notes, & Site Plan, Existing

G001

SCALE As indicated

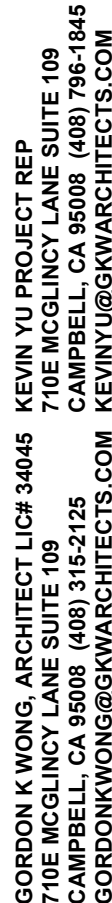
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GORDON K WONG, ARCHITECT LIC# 34045
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2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)



14331 Capri Drive
LOS GATOS, CA 95032

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4	2025.01.08	PLANNING
5	2025.04.30	PLANNING

General, Green Building Check List

G002.2

SCALE

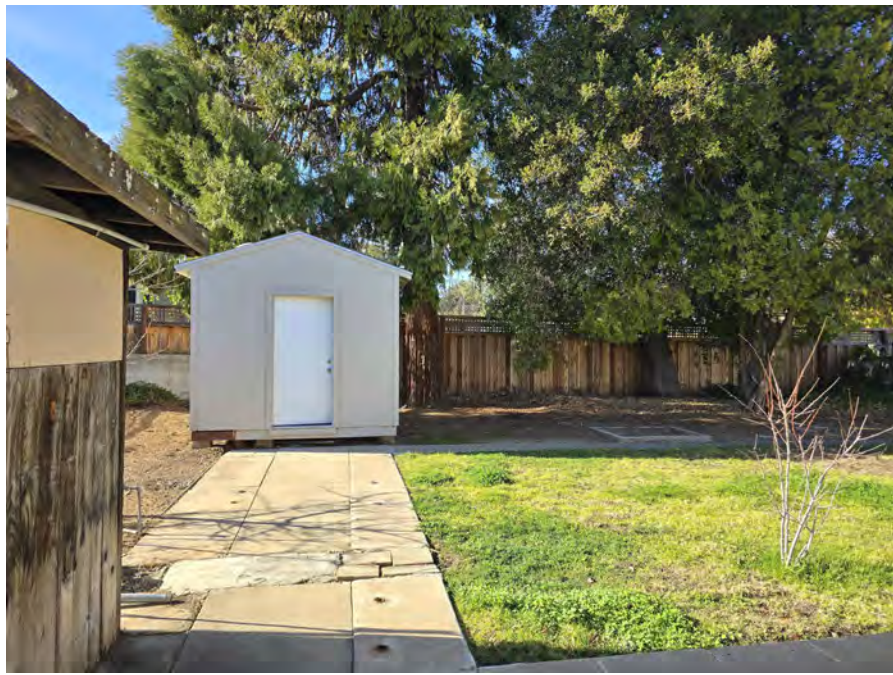
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DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODEBOOK.



(I) EXIST NG PARTIAL ENCLOSURE



(J) EXISTING SHED



(K) EXISTING DETACHED ADU & PARTIAL ENCLOSURE



(L) EXISTING DETACHED ADU & ACCESSORY STRUCTURES



(E) EXISTING SINGLE FAM LY RESIDENCE - S DE PERSPECTIVE



(F) EXISTING TREES



(G) EXISTING TREES



(H) EXIST NG SINGLE FAMILY RESIDENCE & DETACHED ADU



(A) EXISTING SINGLE FAMILY RESIDENCE - FRONT PERSPECTIVE



(B) EXISTING SINGLE FAMILY RESIDENCE - SIDE PERSPECTIVE



(C) EXIST NG SINGLE FAMILY RES DENCE - SIDE PERSPECTIVE



(D) EXIST NG SINGLE FAMILY RES DENCE - REAR PERSPECTIVE

FLOOR AREA BREAKDOWN @ SITE

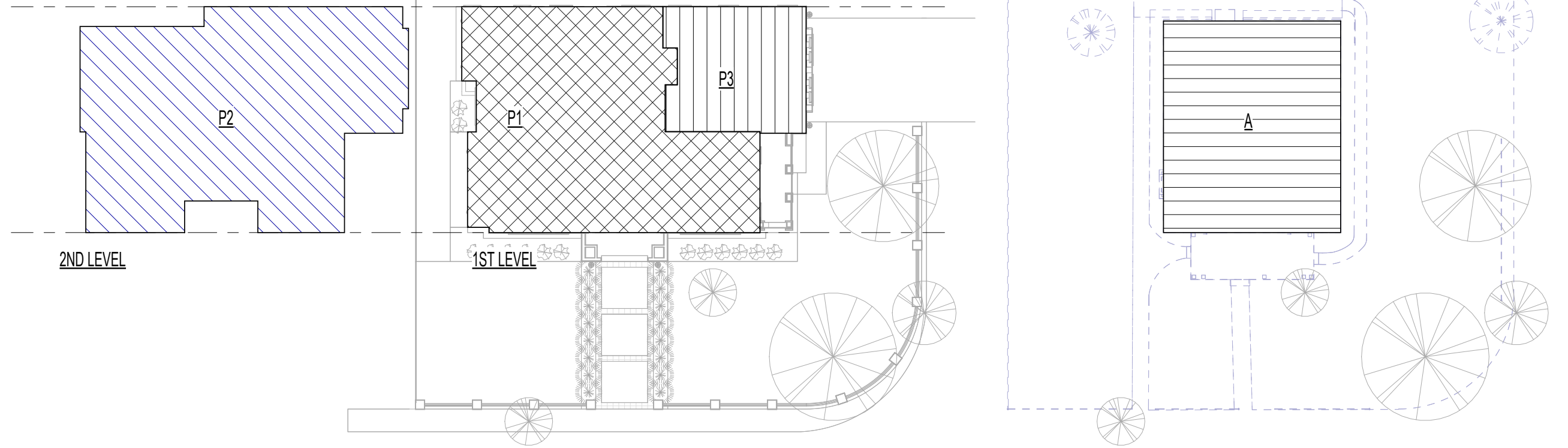
EXISTING

	DESCR PTION	FLOOR AREA (SF)
A	(E) SINGLE FAMILY	1128 SF
B	(E) DETACHED ADU	1150 SF
C	(E) PARTIAL ENCLOSURE	242 SF
D	(E) SHED	123 SF

NOTE: BLUE TEXT TO REPRESENT DEMO

PROPOSED

	DESCR PTION	FLOOR AREA (SF)
A		
B	(E) DETACHED ADU	1150 SF
C		
D		
P1	(P) 1ST STORY	1637 SF
P2	(P) 2ND STORY	1874 SF
P3	(P) ATTACHED GARAGE	498 SF



② Site Area Analysis, Proposed
1" = 20'-0"

① Site Area Analysis, Existing
1" = 20'-0"

MAX SF CALCULATION (MAIN RESIDENCE)

(E) LOT AREA:	13,092 SF
FAR =	$0.35 - (([A - 5] / 25) \times 0.20)$
FAR =	0.35 - 0.064
FAR =	0.284
MAX SF =	+/- 3,797 SF

PROPOSED SF CALCULATION (MAIN RESIDENCE)

(E) RESIDENCE:	1,128 SF TO BE DEMO'D
(E) DETACHED ADU	1,150 SF TO BE REMAINED
PORTION OF (E) RESIDENCE TO BE CONVERTED TO GARAGE:	N/A
(P) FIRST FLOOR AREA:	1,637 SF
(P) SECOND FLOOR AREA:	1,874 SF
(P) ATTACHED GARAGE	498 SF

SUMMARY (SF) AFTER CHANGES

(N) LVL 1:	1,637 SF
(N) LVL 2:	1,874 SF
TOTAL SF (MAIN RESIDENCE):	3,511 SF
(N) GARAGE:	498 SF

PROJECT PLAN

- HISTORICAL LIST REMOVAL (TOWN'S HISTORIC PRESERVATION COMMITTEE) - APPROVED
- OFFICE ZON NG TO R-1 ZONING CONVERSION
- PLANNING PHASE
- BU LD NG PHASE

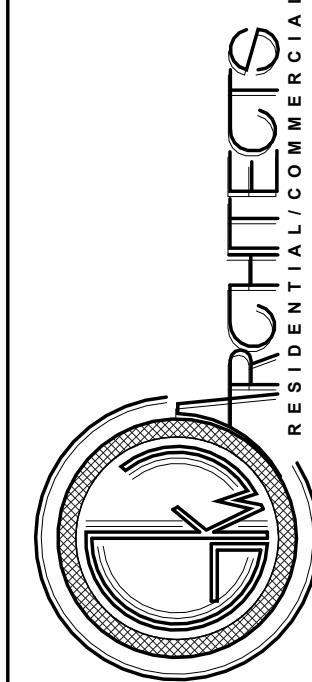
PROJECT SETBACKS (AFTER REZONE)

PER R-1:8 ZONING	
FRONT SETBACK:	25 FT
SIDE SETBACK:	8 FT
REAR SETBACK:	20 FT
SIDE ABUTTING:	15 FT

Existing Conditions & Proposed Analysis



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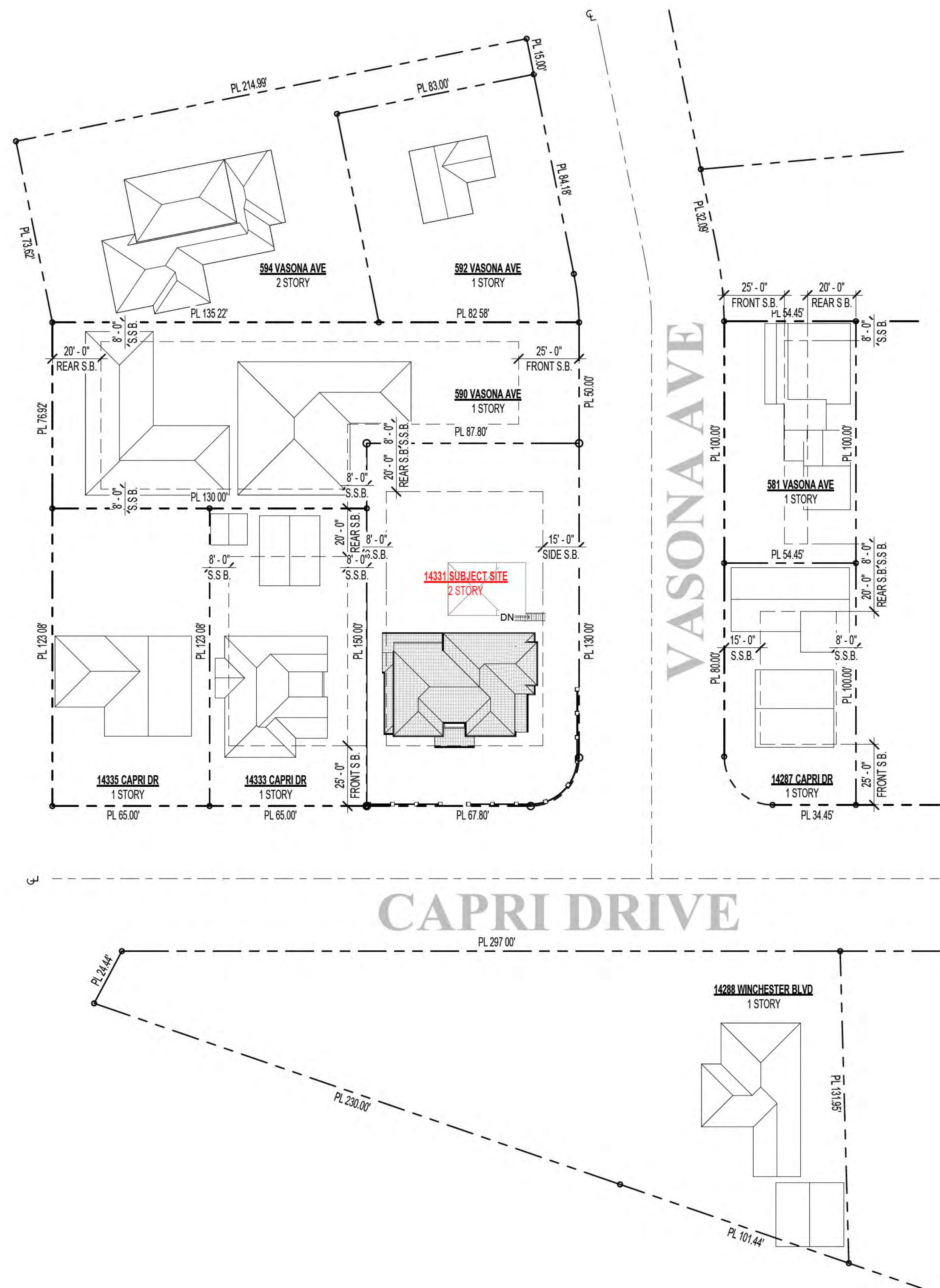
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△	2025.01.08	PLANNING
△	2025.04.30	PLANNING

Existing
Conditions &
Proposed Analysis

G003

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① Site Analysis, Adjacent Properties
1" = 30'-0"



14288 WINCHESTER BLVD, LOS GATOS, CA 95032



14333 CAPRI DR, LOS GATOS, CA 95032



14335 CAPRI DR, LOS GATOS, CA 95032



590 VASONA AVE, LOS GATOS, CA 95032



592 VASONA AVE, LOS GATOS, CA 95032



594 VASONA AVE, LOS GATOS, CA 95032



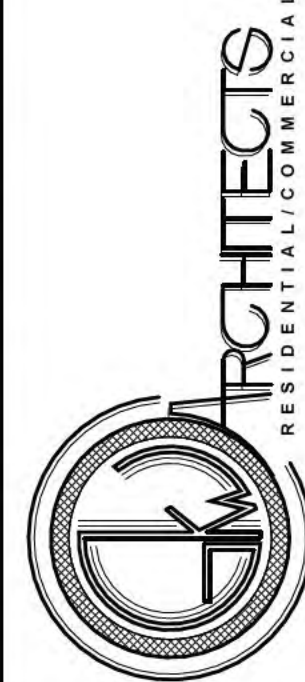
14287 CAPRI DR, LOS GATOS, CA 95032



581 VASONA AVE, LOS GATOS, CA 95032



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△	2025.04.30	PLANNING

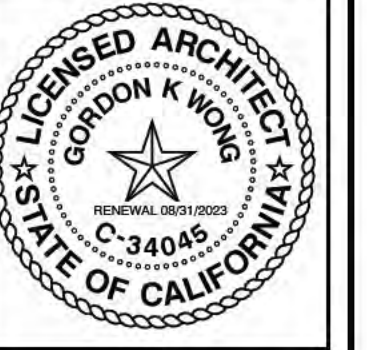
Neighborhood & Adjacent Building Analysis

G004

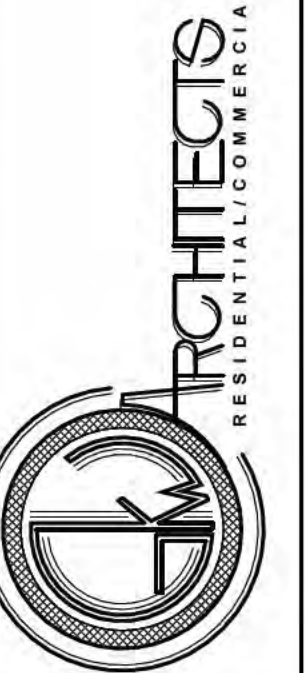
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Neighborhood & Adjacent Building Analysis



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RESIDENCE

14331 Capri Drive
LOS GATOS, CA 95032

Project Schedule Revision	
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△	2024.09.11 PLANNING
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△	2025.04.30 PLANNING

Streetscape &
Shadow Study

G005

SCALE 1/16" = 1'-0"

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Streetscape & Shadow Study

CAPRI DR STREETSCAPE ELEVATIONS:

1. ADDRESS:	14335 CAPRI DR, LOS GATOS, CA 95032
APN:	406-32-006
HEIGHT:	~16.5 FT
2. ADDRESS:	14333 CAPRI DR, LOS GATOS, CA 95032
APN:	406-32-005
HEIGHT:	~15 FT
3. ADDRESS:	14287 CAPRI DR, LOS GATOS, CA 95032
APN:	406-28-015
HEIGHT:	~14 FT

VASONA AVE STREETSCAPE ELEVATIONS:

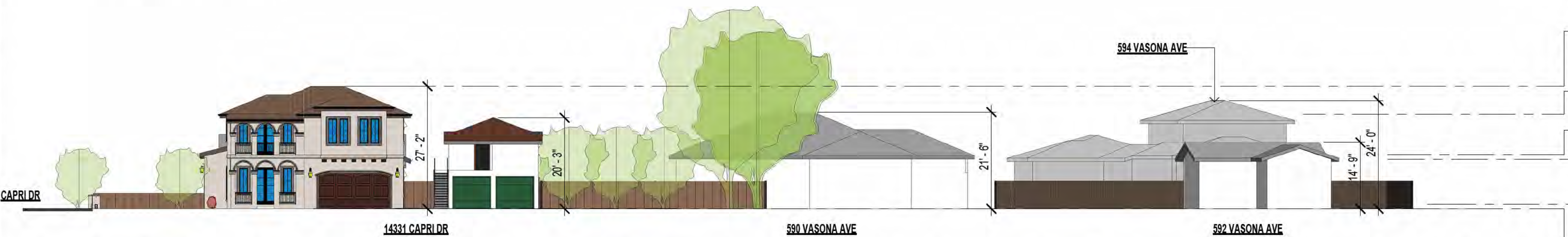
1. ADDRESS:	590 VASONA AVE, LOS GATOS, CA 95032
APN:	406-32-003
HEIGHT:	~21.5 FT
2. ADDRESS:	592 VASONA AVE, LOS GATOS, CA 95032
APN:	406-32-049
HEIGHT:	~14.75 FT
3. ADDRESS:	594 VASONA AVE, LOS GATOS, CA 95032
APN:	406-32-048
HEIGHT:	~24 FT

TOR
529' - 2 1/32"
Level 2, TOP
523' - 0"
F.F. Lvl 2
514' - 0"
Level 1, TOP
513' - 0"
F.F.
503' - 0"
(P) Grade
502' - 0"

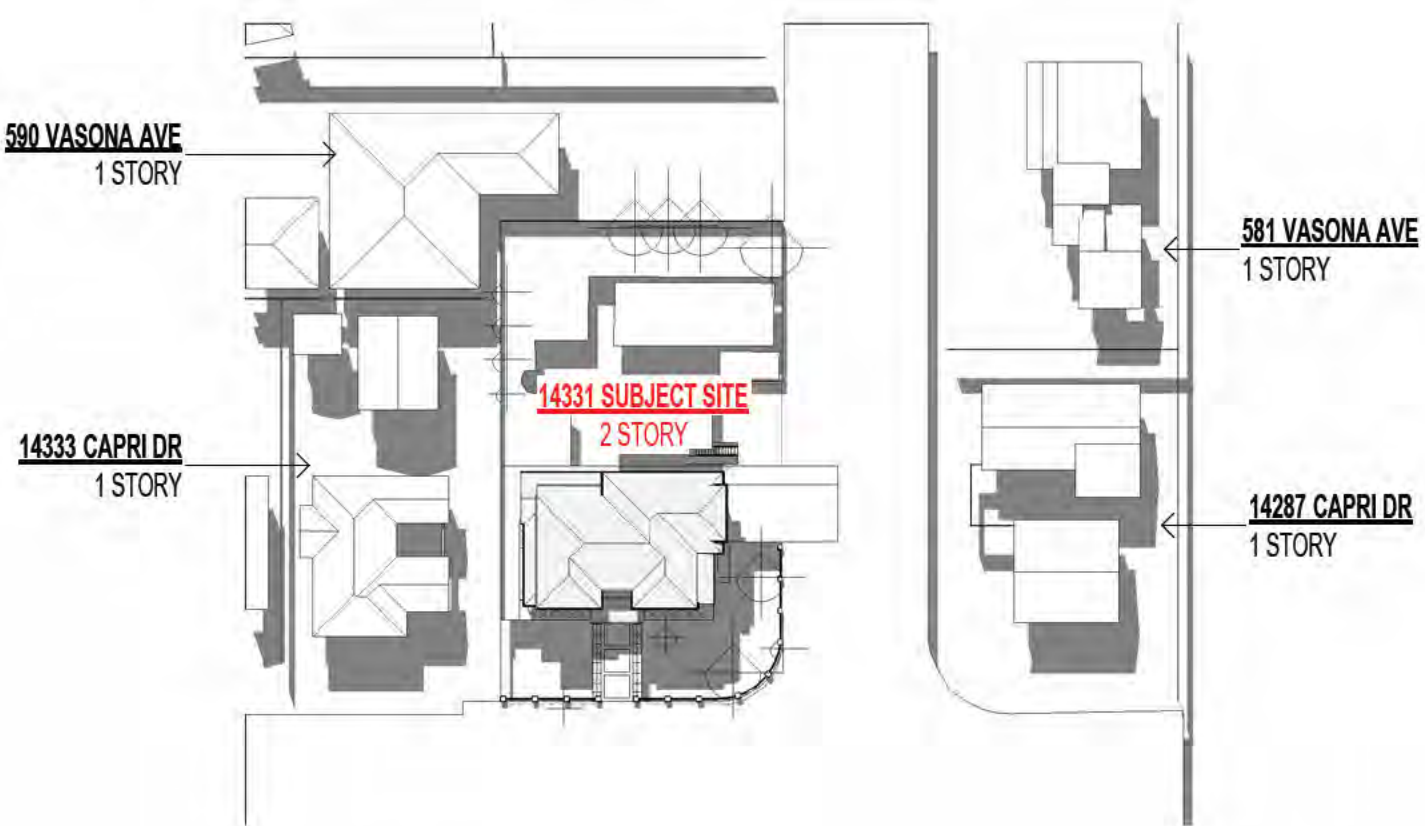
TOR
529' - 2 1/32"
Level 2, TOP
523' - 0"
F.F. Lvl 2
514' - 0"
Level 1, TOP
513' - 0"
F.F.
503' - 0"
(P) Grade
502' - 0"



① East, Proposed Streetscape
1/16" = 1'-0"



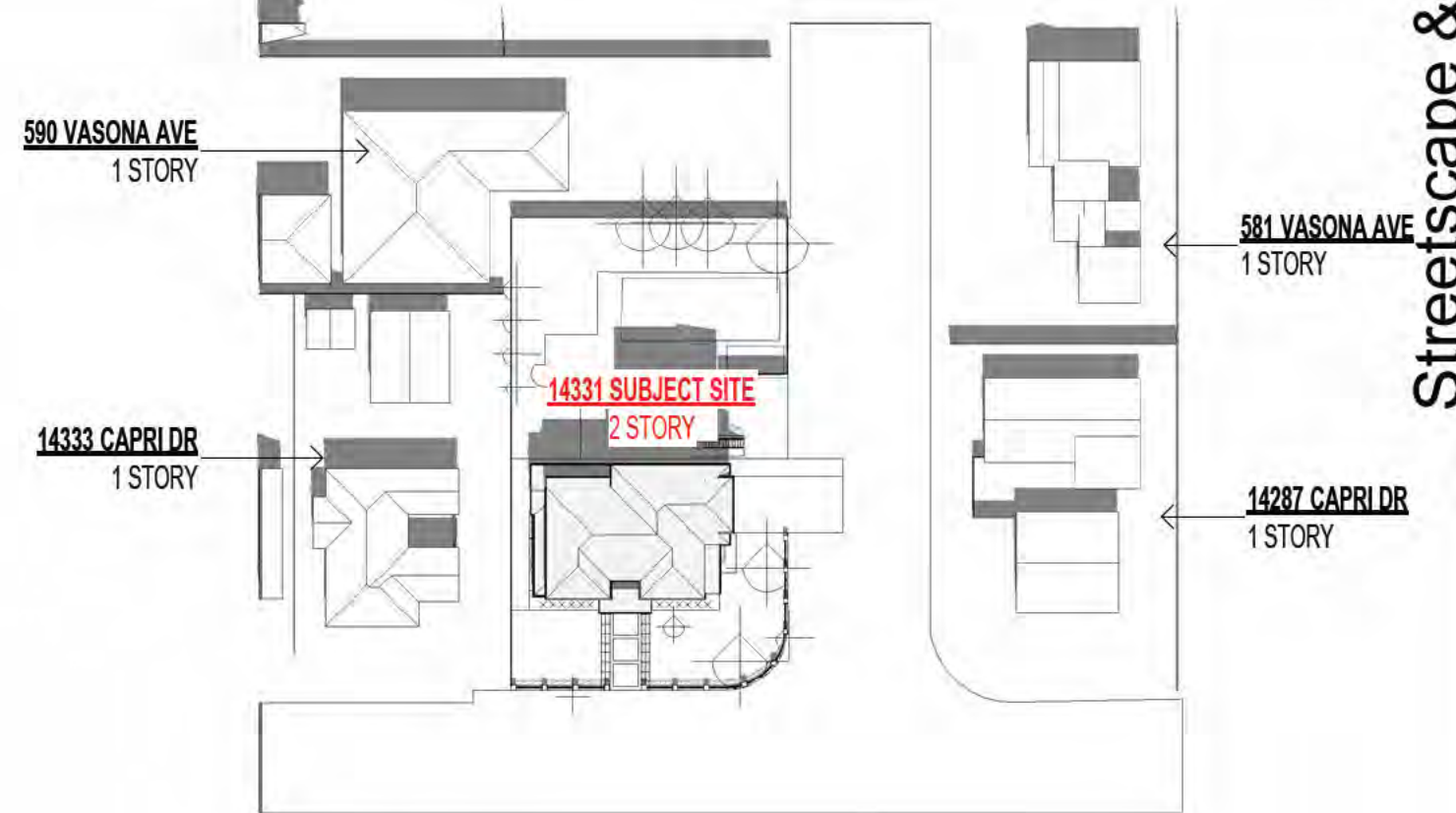
④ North, Proposed Streetscape
1/16" = 1'-0"



⑤ Summer Solstice 3PM



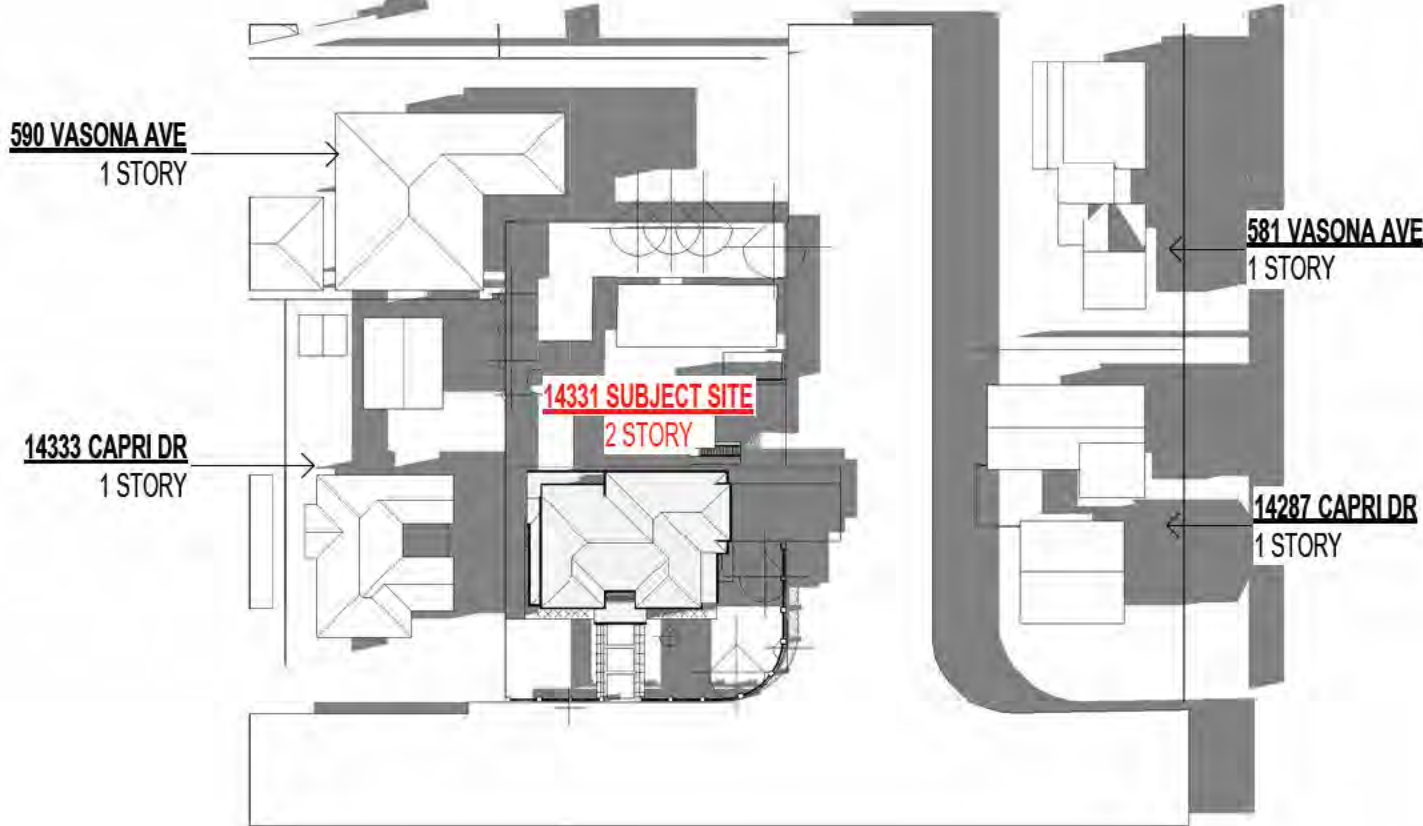
③ Summer Solstice Noon



② Summer Solstice 9AM



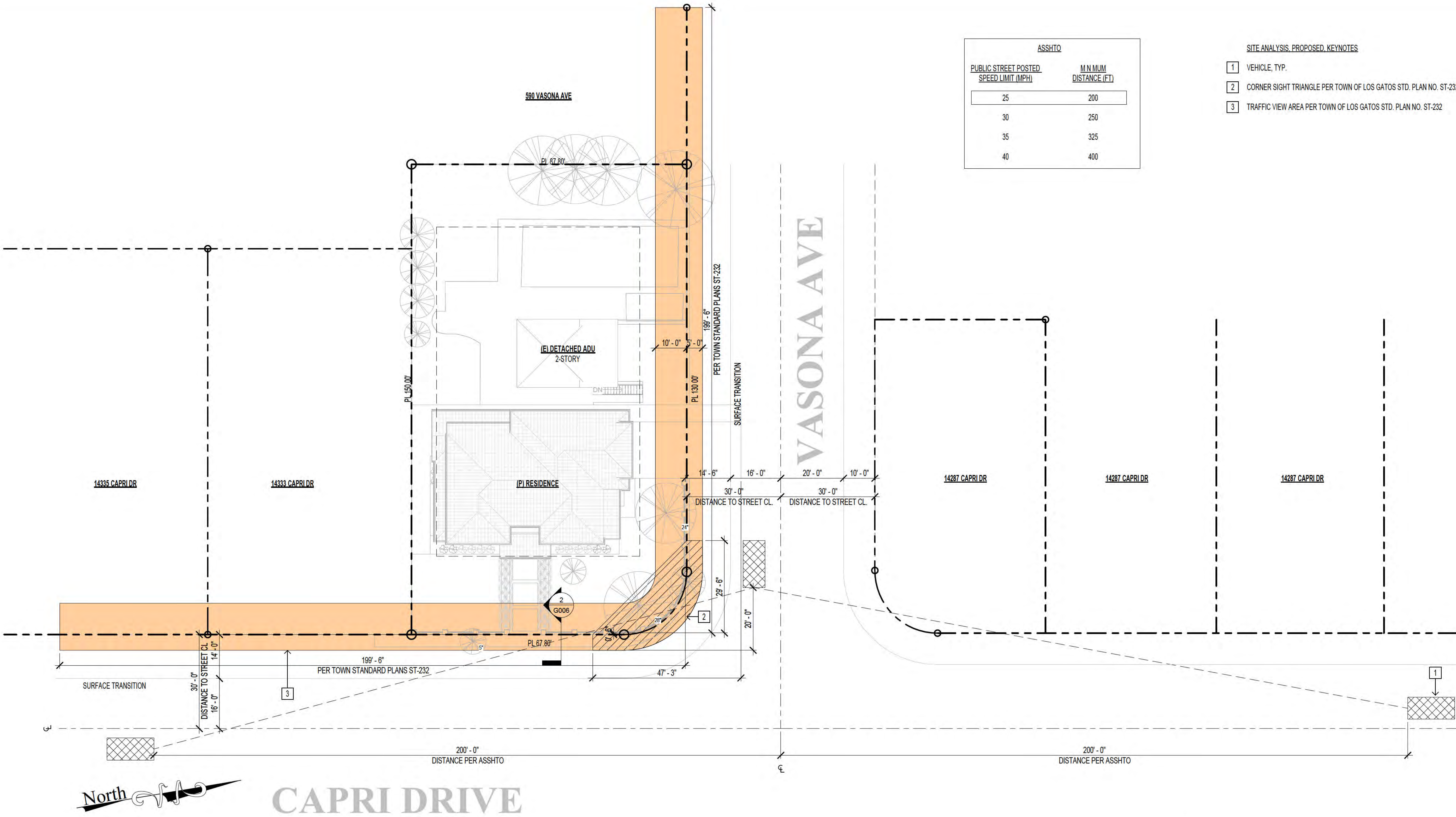
⑧ Winter Solstice 3PM



⑦ Winter Solstice Noon



⑥ Winter Solstice 9AM



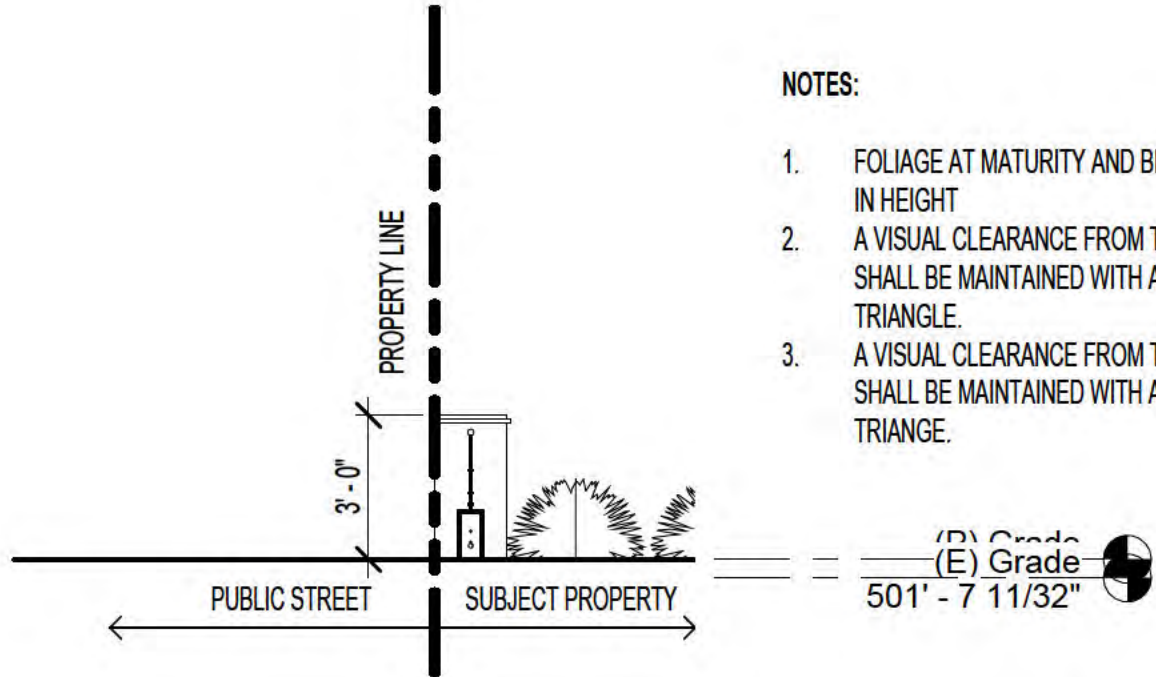
ASSHTO	
PUBLIC STREET POSTED SPEED LIMIT (MPH)	MINIMUM DISTANCE (FT)
25	200
30	250
35	325
40	400

SITE ANALYSIS, PROPOSED, KEYNOTES

- 1
- VEHICLE, TYP.
- 2
- CORNER SIGHT TRIANGLE PER TOWN OF LOS GATOS STD. PLAN NO. ST-232
- 3
- TRAFFIC VIEW AREA PER TOWN OF LOS GATOS STD. PLAN NO. ST-232

1 Site Analysis, Proposed
1/16" = 1'-0"

2 Section, Street Visual Clearance
1/4" = 1'-0"



- NOTES:
1.
- FOLIAGE AT MATURITY AND BERM, IF ANY, SHALL NOT EXCEED 3 FT IN HEIGHT
2.
- A VISUAL CLEARANCE FROM THE STREET TO 15 FT IN HEIGHT SHALL BE MAINTAINED WITH ALL TREE FOLIAGE WITHIN THE SITE TRIANGLE.
3.
- A VISUAL CLEARANCE FROM THE SIDEWALK TO 7 FT IN HEIGHT SHALL BE MAINTAINED WITH ALL TREE FOLIAGE WITHIN THE SITE TRIANGLE.



ARCHITECTS
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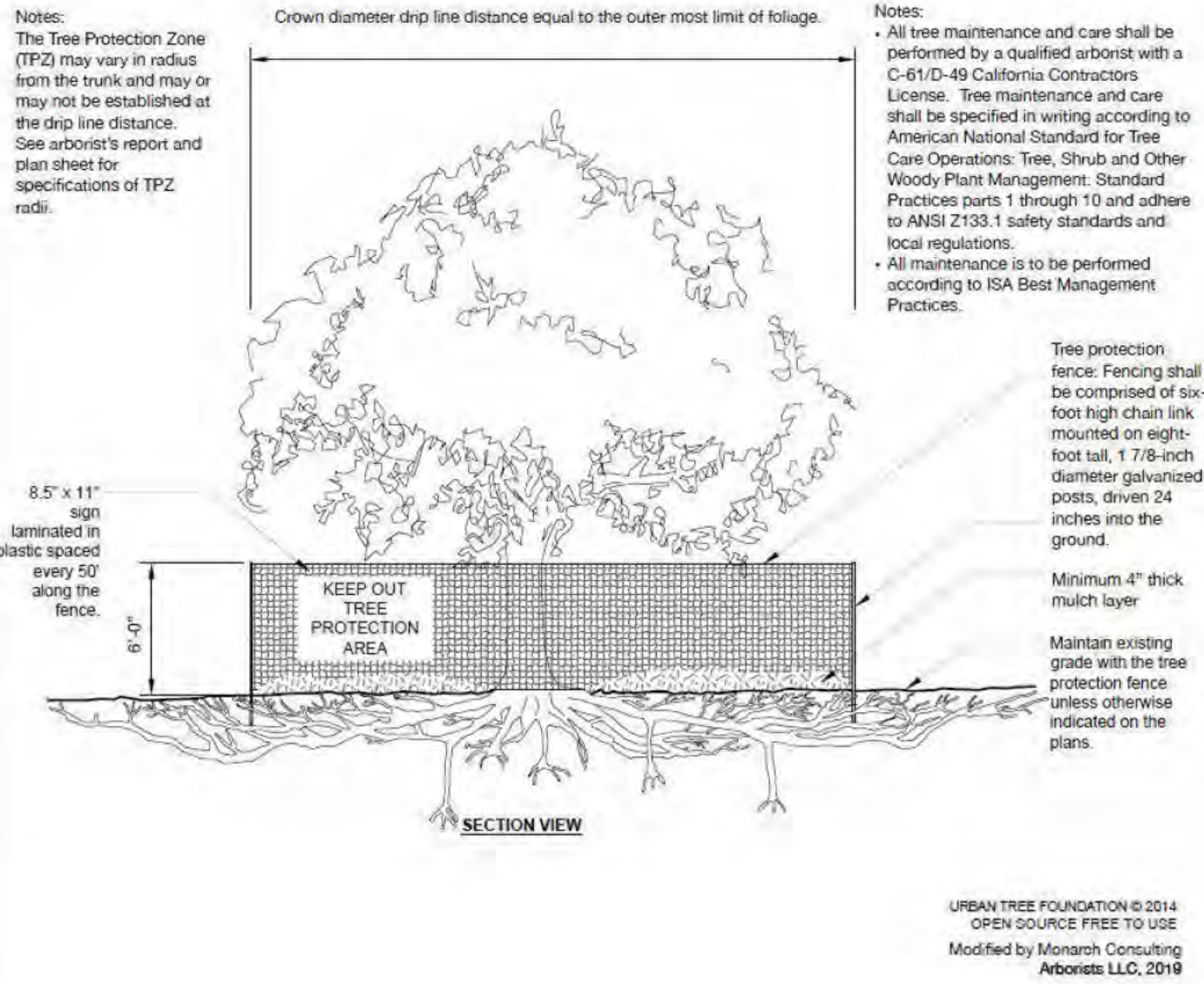
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Site Analysis & Details

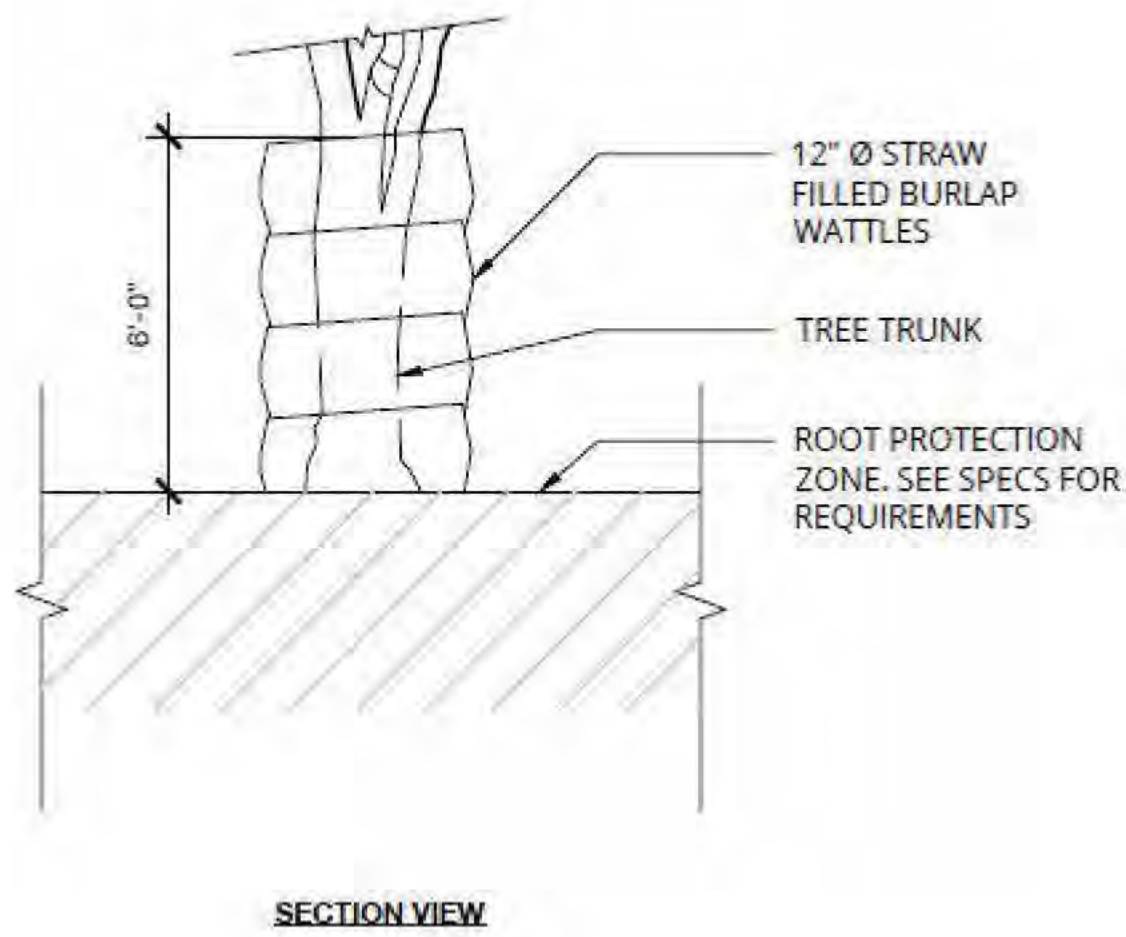
G006

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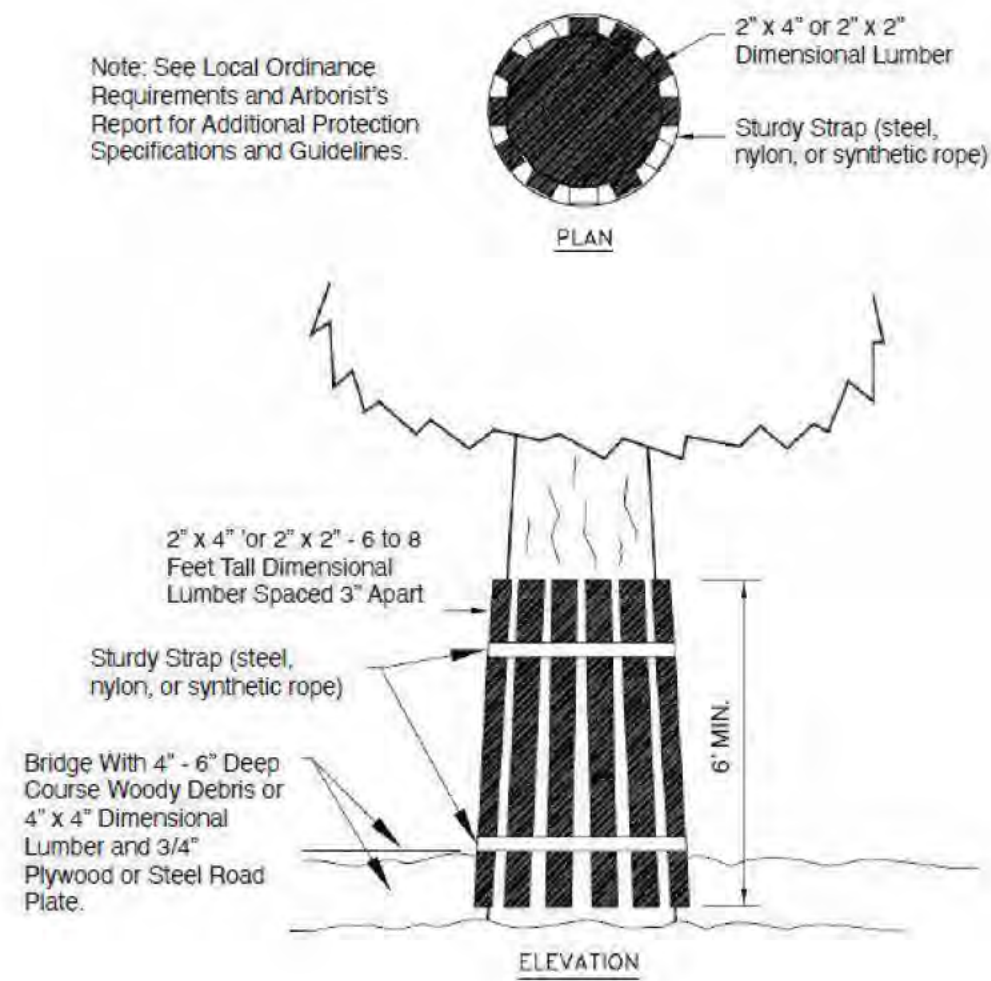
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3 Type I Tree Protection
NTS



4 Type II Tree Protection
NTS



5 Type III Tree Protection
NTS

TABLE 1: TREE INVENTORY & ASSESSMENT TABLES
PER ARBORIST REPORT DATED DEC 4, 2023

EXISTING

ID #	TREE SPECIES	TRUNK DIAMETER (IN)	CANOPY DIAMETER (N)	PHYSICAL CONDITION	EXPECTED IMPACT	PROTECTION STATUS	SAVED, REMOVED, OR PRUNED	REASON FOR REMOVAL
186	INCENSE CEDAR (CALOCEDRUS DECURRENS)	34	30	GOOD	LOW	PROTECTED	SAVED	
187	COAST LIVE OAK (QUERCUS AGRIFOLIA)	30	35	GOOD	LOW	PROTECTED	SAVED	
188	JUNIPER (JUNIPERUS CHINENSIS)	6, 10, 8	15	FAIR	LOW	PROTECTED	SAVED	
189	INCENSE CEDAR (CALOCEDRUS DECURRENS)	36	35	POOR	LOW	PROTECTED	SAVED	
190	OLIVE (OLEA EUROPAEA)	12, 14	25	GOOD	MODERATE	PROTECTED	REMOVED	LOCATION IS IN CONFLICT WITH THE PROPOSED DRIVEWAY
191	OLIVE (OLEA EUROPAEA)	13, 10, 23	25	GOOD	MODERATE	PROTECTED	PRUNED	
192	FAN PALM (WASHINGTONIA ROBUSTA)	19	15	GOOD	LOW	EXEMPT	SAVED	
193	STONE PINE (PINUS P. NEA)	28	35	FAIR	LOW	PROTECTED	PRUNED	
194	ORANGE (CITRUS SINENSIS)	5, 6	10	FAIR	LOW	EXEMPT	SAVED	
195	PITTOSPORUM (PITTOSPORUM UNDULATUM)	5, 5, 5, 5, 2	10	FAIR	LOW	PROTECTED	SAVED	
196	ORANGE (CITRUS SINENSIS)	6, 6	10	GOOD	HIGH	EXEMPT	REMOVED	LOCATION IS IN CONFLICT WITH THE PROPOSED BUILDING FOOTPRINT
197	CAMPBOR (CAMPBORA C. NNAMOMIUM)	6	10	FAIR	LOW	PROTECTED	SAVED	

PROPOSED

ID #	TREE SPECIES	INITIAL PLANTING SIZE	SIZE @ MATURITY		FENCING	---	---	REASON FOR PROPOSE
			HEIGHT (FT)	WIDTH OF DRIPLINE (FT)				
A	OLIVE (OLEA EUROPAEA)	24"	25 - 30	25 - 30	---	---	---	REPLACEMENT REQUIREMENT PER CANOPY SIZE OF REMOVED TREE
B	OLIVE (OLEA EUROPAEA)	24"	25 - 30	25 - 30	---	---	---	REPLACEMENT REQUIREMENT PER CANOPY SIZE OF REMOVED TREE
C	OLIVE (OLEA EUROPAEA)	24"	25 - 30	25 - 30	---	---	---	REPLACEMENT REQUIREMENT PER CANOPY SIZE OF REMOVED TREE

TABLE 2: TOWN OF LOS GATOS TREE CANOPY - REPLACEMENT STANDARD

CANOPY SIZE OF REMOVED TREE (1)	REPLACEMENT REQUIREMENT (2)(4)	SINGLE FAMILY RESIDENTIAL REPLACEMENT OPTION (3) (4)
10 FT OR LESS	TWO 24 INCH BOX TREES	TWO 15 GALLON TREES
MORE THAN 10 FT TO 25 FT	THREE 24 INCH BOX TREES	THREE 15 GALLON TREES
MORE THAN 25 FT TO 40 FT	FOUR 24 INCH BOX TREES OR TWO 36 INCH BOX TREES	FOUR 15 GALLON TREES
MORE THAN 40 FT TO 55 FT	SIX 24 INCH BOX TREES; OR THREE 36 INCH BOX TREES	NOT AVAILABLE
GREATER THAN 55 FT	TEN 24 INCH BOX TREES; OR FIVE 36 INCH BOX TREES	NOT AVAILABLE

MITIGATION FOR REMOVAL PER ARBORIST'S RECOMMENDATIONS:

- THE TABLE ABOVE INDICATES THE RECOMMENDED REPLACEMENT VALUES (TABLE 2).
- TO MEASURE AN ASYMMETRICAL CANOPY OF A TREE, THE WIDEST MEASUREMENT SHALL BE USED TO DETERMINE CANOPY SIZE.
 - OFTEN, IT IS NOT POSSIBLE TO REPLACE A SINGLE LARGE, OLDER TREE WITH AN EQUIVALENT TREE(S). IN THIS CASE, THE TREE MAY BE REPLACED WITH A COMBINATION OF BOTH THE TREE CANOPY REPLACEMENT STANDARD AND IN-LIEU PAYMENT IN AN AMOUNT SET FORTH BY TOWN COUNCIL RESOLUTION PAID TO THE TOWN TREE REPLACEMENT FUND.
 - SINGLE FAMILY RESIDENTIAL REPLACEMENT OPTION IS AVAILABLE FOR DEVELOPED SINGLE FAMILY RESIDENTIAL LOTS UNDER 10,000 SQUARE FEET THAT ARE NOT SUBJECT TO THE TOWN'S HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES. ALL 15-GALLON TREES MUST BE PLANTED ON-SITE. ANY IN-LIEU FEES FOR SINGLE FAMILY RESIDENTIAL SHALL BE BASED ON 24" BOX TREE RATES AS ADOPTED BY TOWN COUNCIL.
 - REPLACEMENT TREES SHALL BE APPROVED BY THE TOWN ARBORIST AND SHALL BE OF A SPECIES SUITED TO THE AVAILABLE PLANTING LOCATION, PROXIMITY TO STRUCTURES, OVERHEAD CLEARANCES, SOIL TYPE, COMPATIBILITY WITH SURROUNDING CANOPY AND OTHER RELEVANT FACTORS. REPLACEMENT WITH NATIVE SPECIES SHALL BE STRONGLY ENCOURAGED. REPLACEMENT REQUIREMENTS IN THE HILLSIDES SHALL COMPLY WITH THE HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES APPENDIX A AND SECTION 29.10.0987 SPECIAL PROVISIONS - HILLSIDES.

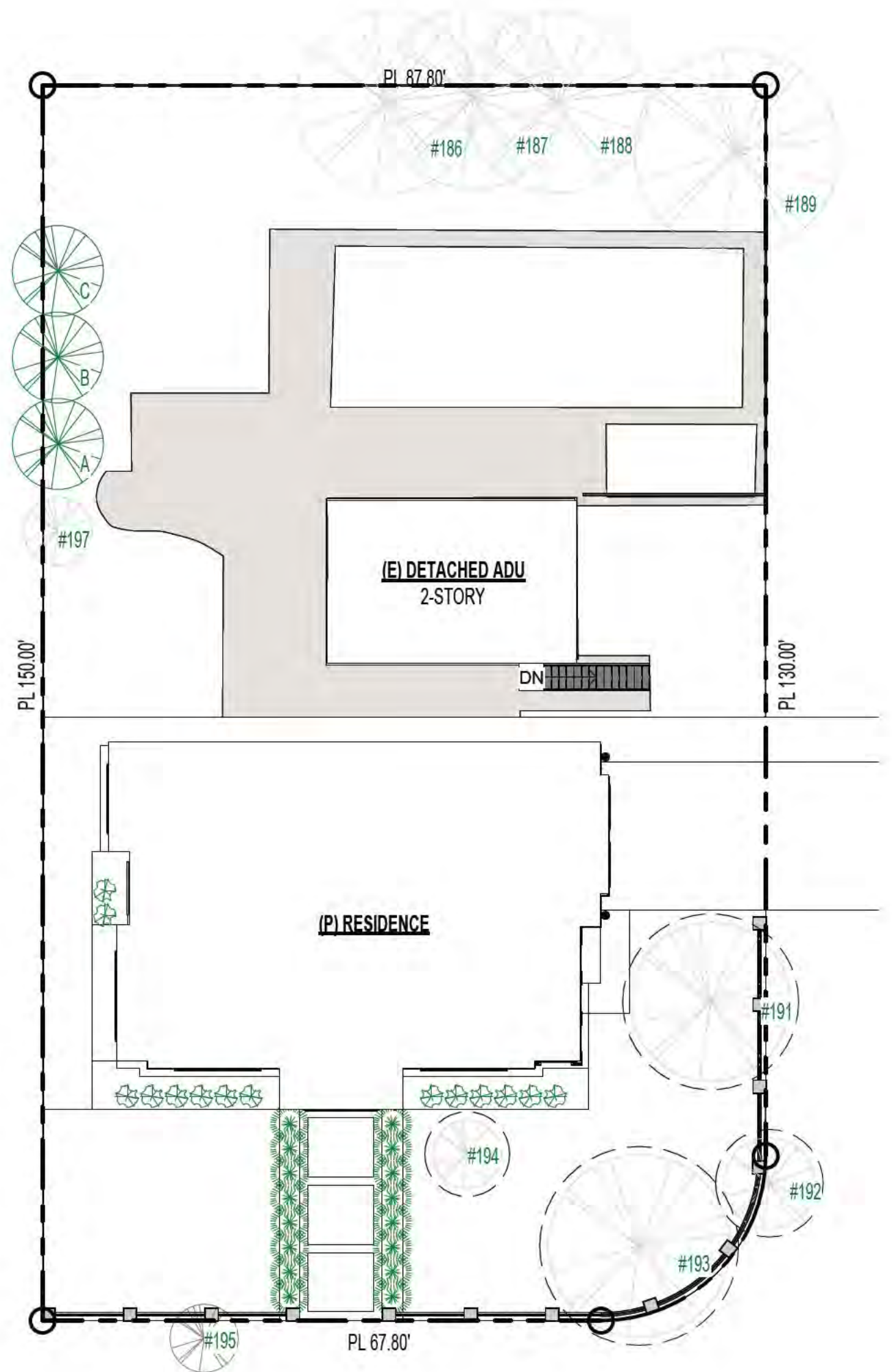
SECTION 29.10.1005 - PROTECTION OF TREES DURING CONSTRUCTION:

TREE PROTECTION ZONES & FENCE SPECIFICATIONS

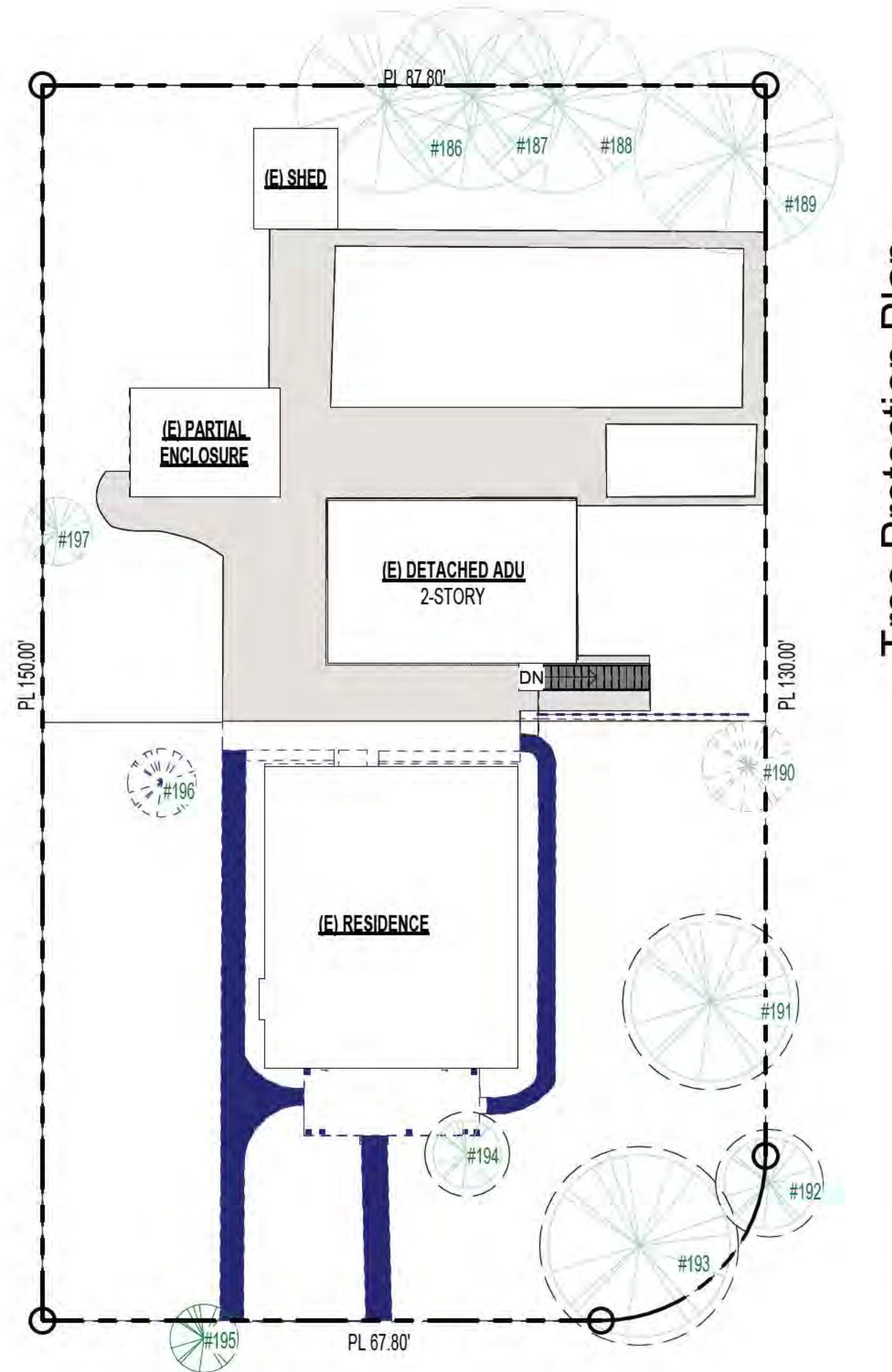
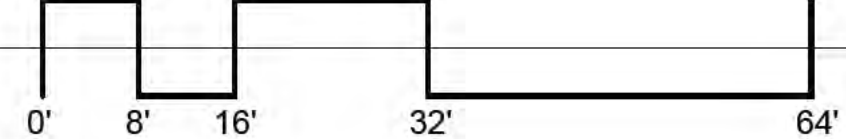
- SIZE AND MATERIALS:** SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.
- AREA TYPE TO BE FENCED:** TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRAPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP: CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN); ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.
- DURATION OF TYPE I, II, III FENCING:** FENCING SHALL BE ERRECTED BEFORE DEMOLITION, GRADING, OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.
- WARNING SIGN:** EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN EIGHT AND ONE-HALF INCH BY ELEVEN-INCH SIGN STATING: "WARNING - TREE PROTECTION ZONE - THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025." TEXT ON THE SIGNS SHOULD BE IN BOTH ENGLISH AND SPANISH (APPENDIX E).

PLAN NOTES PER ARBORIST'S RECOMMENDATIONS:

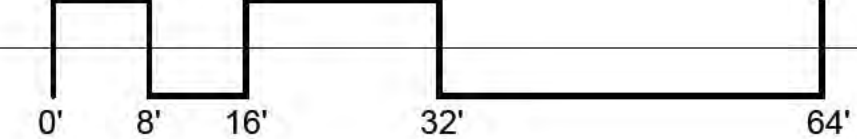
- PLACE 4 - 6 INCHES OF MULCH INSIDE THE TREE PROTECTION ZONE. INSTALL TEMPORARY IRRIGATION OR SOAKED HOSES IN THE TPZ. MONITOR WATERING TIMES OR AMOUNTS TO ENSURE ADEQUATE SOIL SATURATION. (A 5/8" SOAKER HOSE REQUIRES ABOUT 200 MINUTES TO DELIVER ONE INCH OF WATER TO A GARDEN. THIS NUMBER IS AFFECTED BY THE LENGTH OF THE HOSE AND THE OVERALL RATE OF FLOW FROM THE FAUCET. A GOOD RULE OF THUMB IS TO EXPECT ABOUT 1/2 GPM AS A STANDARD FAUCET FLOW RATE.) INFREQUENT DEEPER WATERING IS PREFERRED.
- ALL TREE MAINTENANCE AND CARE SHALL BE PERFORMED BY A QUALIFIED ARBORIST WITH A C-61/D-49 CALIFORNIA CONTRACTORS LICENSE. TREE MAINTENANCE AND CARE SHALL BE SPECIFIED IN WRITING ACCORDING TO AMERICAN NATIONAL STANDARD FOR TREE CARE OPERATIONS: TREE, SHRUB, AND OTHER WOODY PLANT MANAGEMENT: STANDARD PRACTICES PARTS 1 THROUGH 10 AND ADHERE TO ANSI Z133.1 SAFETY STANDARDS AND LOCAL REGULATIONS. ALL MAINTENANCE IS TO BE PERFORMED ACCORDING TO ISA BEST MANAGEMENT PRACTICES.
- REFER TO APPENDIX D FOR GENERAL TREE PROTECTION GUIDELINES INCLUDING RECOMMENDATIONS FOR ARBORIST ASSISTANCE WHILE WORKING UNDER TREES, TRENCHING, OR EXCAVATION WITHIN A TREE'S DRIP LINE OR DESIGNATED TPZ/CRZ.
- PROVIDE A COPY OF THIS REPORT TO ALL CONTRACTORS AND PROJECT MANAGERS, INCLUDING THE ARCHITECT, CIVIL ENGINEER, AND LANDSCAPE DESIGNER OR ARCHITECT. IT IS THE RESPONSIBILITY OF THE OWNER TO ENSURE ALL PARTS ARE FAMILIAR WITH THIS DOCUMENT. ARRANGE A PRE-CONSTRUCTION MEETING WITH THE PROJECT ARBORIST OR LANDSCAPE ARCHITECT TO VERIFY TREE PROTECTION IS IN PLACE, WITH THE CORRECT MATERIALS, AND AT PROPER DISTANCES.



2 Tree Plan, Proposed
1/16" = 1'-0"



1 Tree Plan, Existing
1/16" = 1'-0"



Tree Protection Plan



GORDON K WONG, ARCHITECT, LLC 34045
KEVIN YU PROJECT REP
710E MCCLINTOCK LANE SUITE 108
CAMPBELL, CA 95008 (408) 796-1845
GORDONK.WONG@GKWAARCHITECTS.COM KEVINYU@GKWAARCHITECTS.COM



RESIDENCE

14331 Capri Drive
LOS GATOS, CA 95032

Project Schedule Revision	
#	REV DATE DESCRIPTION
1	2024.11.29 PLANNING
2	2024.06.06 PLANNING
3	2024.09.11 PLANNING
4	2025.01.08 PLANNING
5	2025.04.30 PLANNING

Tree Protection
Plan

G007

SCALE As indicated

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NERIUM



LAVANDULA



PITTOSPORUM



LOMANDRA



OLEA

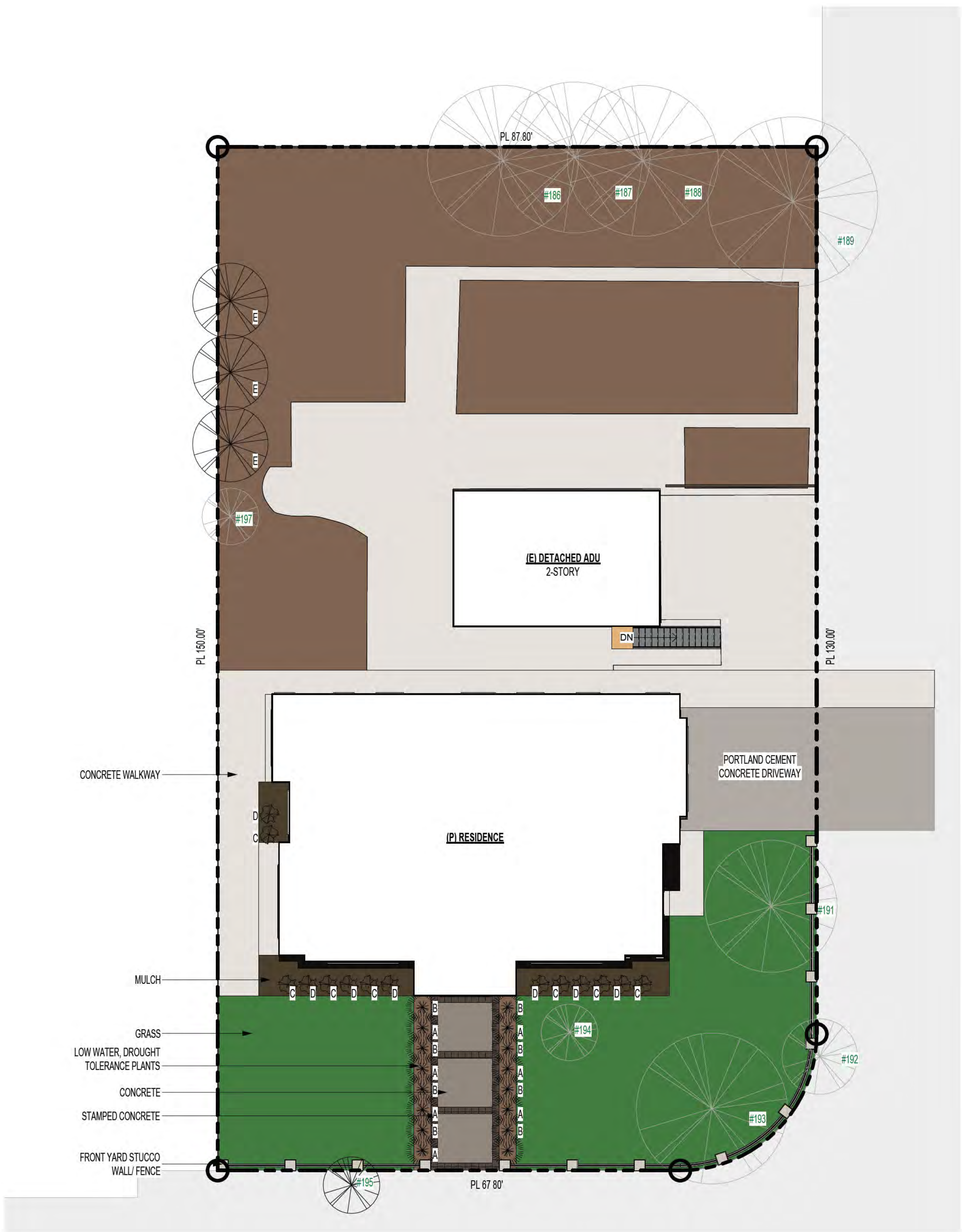


PLANT LEGEND AND NOTES

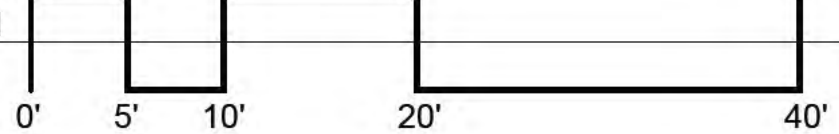
SYMBOL	SPECIES	SIZE	WATER	WUCOLS
A	NERIUM DEANDAR PETITE PINK	5 GALLON	LOW	03
B	LAVANDULA MUNSTEAD	5 GALLON	LOW	03
C	PITTOSPORUM TOBIRA	5 GALLON	LOW	03
D	LOMANDRA BREEZE	5 GALLON	LOW	03
E	OLEA EUROPAEA	24'-NOH BOX	LOW	03

NOTES:

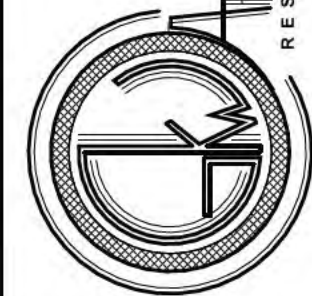
- VERIFY LANDSCAPE DEMOLITION PRIOR TO CONSTRUCTION
- PROTECT EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION.
- CONTRACTOR TO SUBMIT SOIL SAMPLE TO LAB FOR FERTILITY ANALYSIS AND RECOMMENDATIONS FOR SOIL PREPARATION PRIOR TO PLANTING (IF NEEDED).
- VERIFY LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION AND ADJUST LOCATION OF PROPOSED TREES, ETC. AS NEEDED.
- DOUBLE STAKE ALL TREES.
- VERIFY LAYOUT OF PLANTING IN FIELD.
- SPREAD 3" OF WOOD CHIP MULCH (PROCH P EARTHTONE) OR EQUAL. SHREDDED BARK WILL NOT BE ACCEPTED.



1 Landscape Plan, Proposed
1" = 10'-0"



Landscape Plan, Proposed



RESIDENCE

14331 Capri Drive
LOS GATOS, CA 95032

#	REV DATE	DESCRIPTION
1	2024.11.29	PLANNING
2	2024.06.06	PLANNING
3	2024.09.11	PLANNING
4	2025.01.08	PLANNING
5	2025.04.30	PLANNING

Landscape Plan,
Proposed

G008

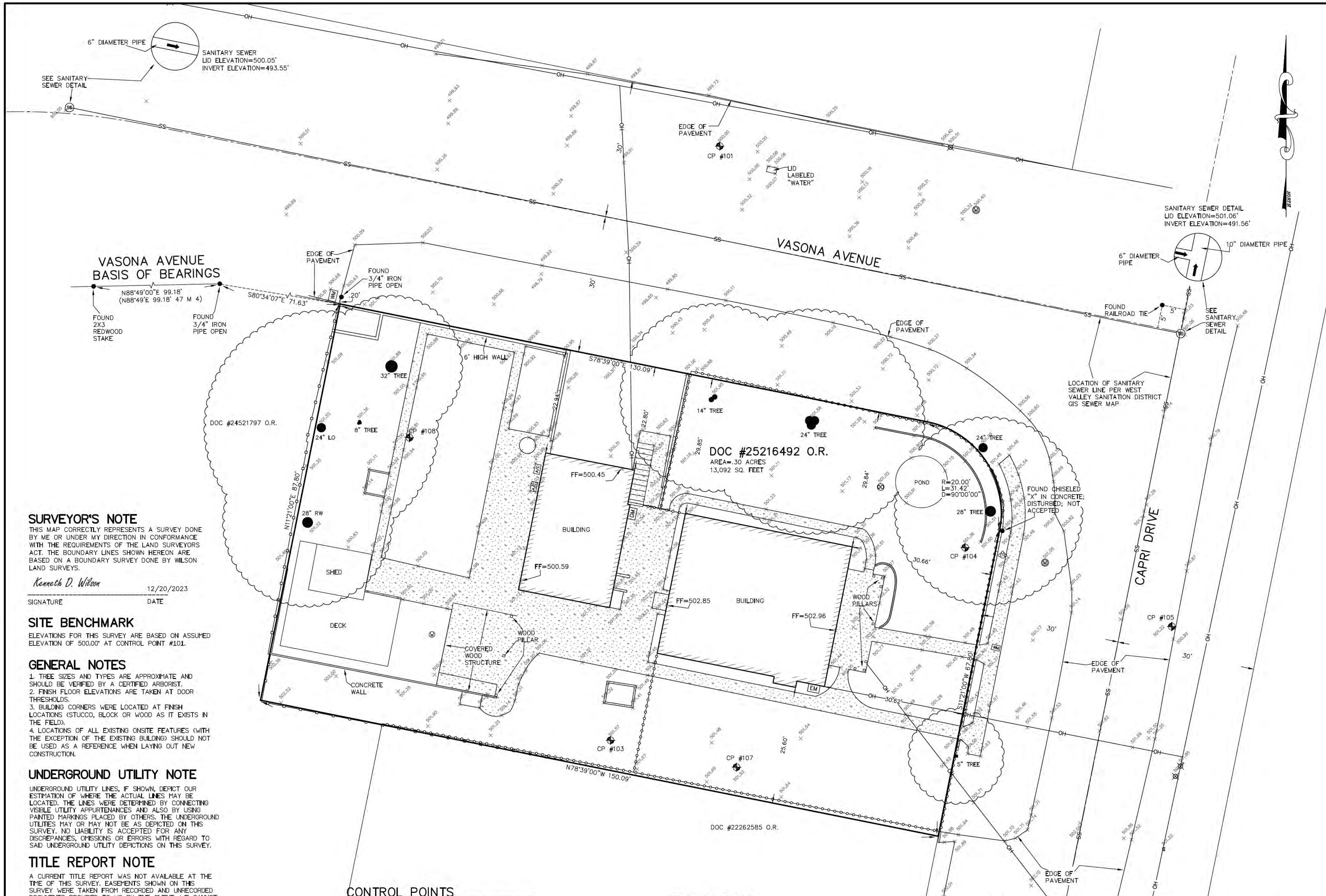
SCALE 1" = 10'-0"

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ARCHITECTS
RESIDENTIAL / COMMERCIAL



LEGEND

- FOUND AS NOTED
- SET AS NOTED
- PROPERTY LINE
- EASEMENT LINE
- TIE LINE
- SS- UG SEWER LINE
- W- UG WATER LINE
- G- UG GAS LINE
- PH- UG PHONE LINE
- E- UG ELEC LINE
- OH- OVERHEAD LINE
- UTILITY BOX
- ★ TRAFFIC SIGNAL
- ★ LAMP POST
- WOOD FENCE
- CHAIN LINK FENCE
- GUYWIRE
- MB MAILBOX
- CONCRETE
- BUILDING
- BRICKS
- PAVERS
- DOMES
- DECK
- GROOVED CONCRETE
- JP JOINT POLE
- PP POWER POLE
- UP UTILITY POLE
- TP TELEPHONE POLE
- ◆ BOLLARD
- ⊗ VALVE
- ⊗ HCP SYMBOL
- SIGN
- TRAFFIC ARROWS
- SS SANITARY SEWER MANHOLE
- SD STORM DRAIN MANHOLE
- CM COMMUNICATION MANHOLE
- HVAC UNIT
- HYDRANT
- SEWER CLEANOUT
- SC SURVEY CONTROL POINT
- EM ELECTRIC METER
- GM GAS METER
- WM WATER METER
- LP LIGHT POLE AND LIGHT
- WALL
- DI DROP INLET
- MW MONITORING WELL

ABBREVIATIONS

- LO LIVE OAK
- WO WHITE OAK
- EUC EUCALYPTUS
- RW REDWOOD
- PUE PUBLIC UTILITY EASEMENT
- FF FINISH FLOOR ELEVATION
- O.R. OFFICIAL RECORDS

SURVEYOR'S NOTE

THIS MAP CORRECTLY REPRESENTS A SURVEY DONE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE LAND SURVEYORS ACT. THE BOUNDARY LINES SHOWN HEREON ARE BASED ON A BOUNDARY SURVEY DONE BY WILSON LAND SURVEYS.

Kenneth D. Wilson

12/20/2023
DATE

SITE BENCHMARK

ELEVATIONS FOR THIS SURVEY ARE BASED ON ASSUMED ELEVATION OF 500.00' AT CONTROL POINT #101.

GENERAL NOTES

1. TREE SIZES AND TYPES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
2. FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLDS.
3. BUILDING CORNERS WERE LOCATED AT FINISH LOCATIONS (STUCCO, BLOCK OR WOOD AS IT EXISTS IN THE FIELD).
4. LOCATIONS OF ALL EXISTING ON-SITE FEATURES (WITH THE EXCEPTION OF THE EXISTING BUILDING) SHOULD NOT BE USED AS A REFERENCE WHEN LAYING OUT NEW CONSTRUCTION.

UNDERGROUND UTILITY NOTE

UNDERGROUND UTILITY LINES, IF SHOWN, DEPICT OUR ESTIMATION OF WHERE THE ACTUAL LINES MAY BE LOCATED. THE LINES WERE DETERMINED BY CONNECTING VISIBLE UTILITY APPURTENANCES AND ALSO BY USING PAINTED MARKINGS PLACED BY OTHERS. THE UNDERGROUND UTILITIES MAY OR MAY NOT BE AS DEPICTED ON THIS SURVEY. NO LIABILITY IS ACCEPTED FOR ANY DISCREPANCIES, OMISSIONS OR ERRORS WITH REGARD TO SAID UNDERGROUND UTILITY DEPICTIONS ON THIS SURVEY.

TITLE REPORT NOTE

A CURRENT TITLE REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. EASEMENTS SHOWN ON THIS SURVEY WERE TAKEN FROM RECORDED AND UNRECORDED DOCUMENTS PROVIDED TO US BY THE CLIENT. WE CANNOT DETERMINE IF ANY EASEMENTS SHOWN HEREON ARE STILL VALID AND IN EXISTENCE. OTHER EASEMENTS WHICH ARE NOT SHOWN HEREON MAY ALSO EXIST. A CURRENT TITLE REPORT IS REQUIRED IN ORDER TO DETERMINE THE VALIDITY AND EXISTENCE OF ANY EASEMENTS OF RECORD. THE BOUNDARY WAS DETERMINED FROM THE CURRENT VESTING DEED.

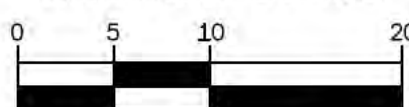
SETBACK LINES NOTE

BUILDING SETBACK LINES WERE NOT SHOWN ON THIS MAP (EVEN IF THEY ARE SHOWN ON THE ORIGINAL TRACT MAP). THE DESIGNER SHOULD CHECK WITH THE APPROPRIATE AUTHORITY TO DETERMINE BUILDING SETBACK LINES.

CONTROL POINTS

Point	Northing	Easting	Elevation	Description
101	16579.1313	16639.0577	500.0000	CP N+T
103	16450.0299	16615.3424	501.5679	CP SPIKE
104	16491.9393	16692.3289	501.3603	CP SPIKE
105	16474.7613	16737.2172	501.2220	CP N+T
107	16444.1892	16642.7037	501.5209	CP SPIKE
108	16515.7885	16571.6820	500.8080	CP SPIKE

GRAPHIC SCALE



(IN FEET)
1 inch = 10 ft.

This map was prepared as an instrument of service for the preparation of plans and specifications for construction on the site shown on this map. The information shown hereon shall not be used in whole or in part for any other project without written authority of Wilson Land Surveys.

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Wilson Land Surveys, All rights reserved.
Copies of this drawing shall have this notice. Any drawing taking the information on this map shall contain the following: "Topographic Survey by Wilson Land Surveys, Los Gatos, CA"



Email: koenw@wilsonlandsurveys.com
www.wilsonlandsurveys.com



BOUNDARY AND TOPOGRAPHIC SURVEY

AS REQUESTED BY:
GW ARCHITECTS, INC.

LEGAL DESCRIPTION: LAND AS DESCRIBED IN DOC #25216492 O.R., TOWN OF LOS GATOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA

APN: 406-32-004

DATE: DECEMBER 2023

FILENAME: P-180 CAPRI GW TOPO

SITE ADDRESS: 14331 CAPRI DRIVE, LOS GATOS, CA

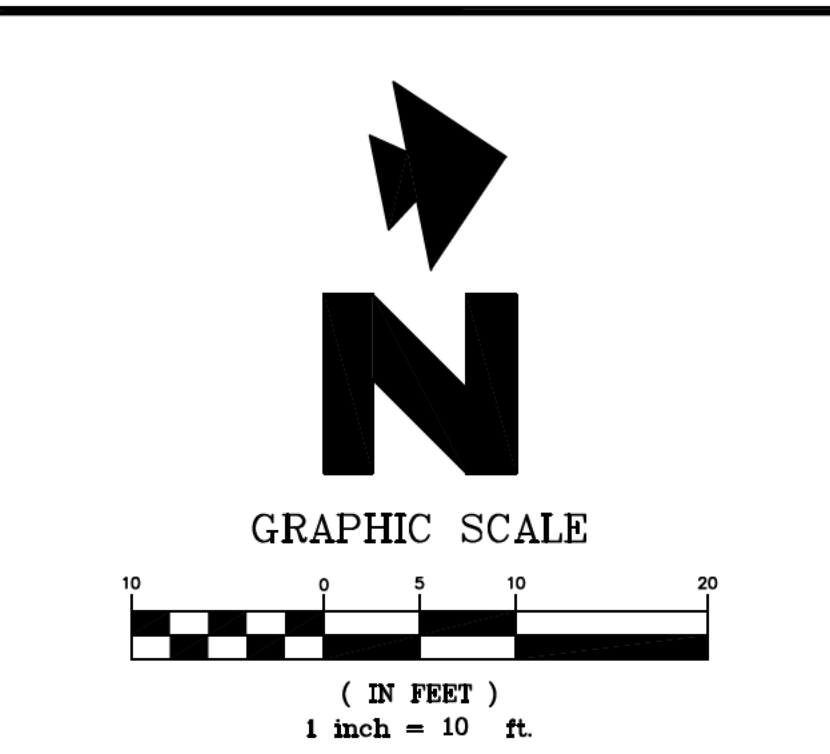
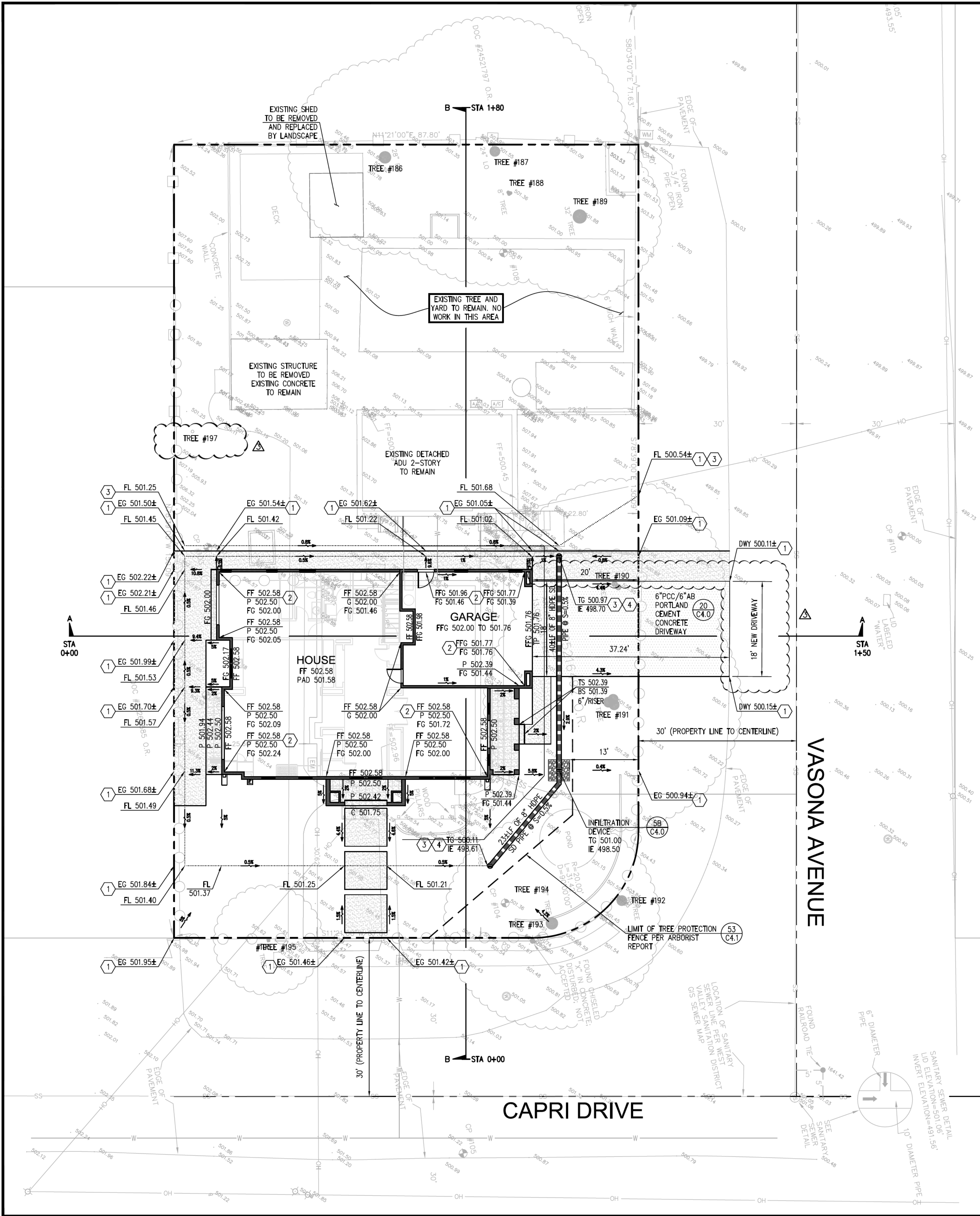
DRAWN BY: ARD

SCALE: 1"=10'

PROJECT: F-021

JOB NUMBER: P-180

SHEET: 1 OF 1



PRE & POST DEVELOPMENT PERVIOUS/IMPERVIOUS AREAS:		
AREA TYPE	EXISTING (SF)	PROPOSED (SF)
LOT AREA	13,092 SF	13,092 SF
	0.301 ACRE	0.301 ACRE
TOTAL LAND DISTURBANCE *		0.130 ACRE
HOUSE (ROOF)	1,153	2,776
EX GARAGE	608	608
PATIO/HARDSCAPE	2,912	1,704
NEW PATIO/HARDSCAPE	N/A	221
DRIVEWAY	521	307
SHED	122	0
TOTAL IMPERVIOUS AREA	5,316	5,616
NET IMPERVIOUS AREA INCREASED:		+300
PERVIOUS AREA	7,776	7,476
TOTAL PERVIOUS AREA	7,776	7,476

STORM DRAIN VOLUME CALCULATION:		
TIME OF CONCENTRATION = 5 MIN INTENSITY = 10 YEAR = 3.79 IN/HR IMPERVIOUS AREA INCREASED = 300 SF = 0.007 ACRE		
PRE-CONDITION Q=CIA Q=0.35 X 3.79 X 0.010 Q=0.009 CFS	C=0.35 V=1.5(Q POST - Q PRE) X 10 MIN Q=1.5(0.023 - 0.009) X 600 Q=12.9 CF	VOLUME REQUIRED: V=63 LF X 8" Ø STORAGE PIPE V=63 LF X 0.35 SF V=22.0 CF (TOTAL)
POST-CONDITION Q=CIA Q=0.90 X 3.79 X 0.010 Q=0.023 CFS		

EARTHWORK VOLUME: TABLE: MAXIMUM GRADED CUTS AND FILLS						
SITE ELEMENT	CUT (CY)	FILL (CY)	MAX FT (CUT)	MAX FT (FILL)	IMPORT (CY)	EXPORT (CY)
BUILDING	24	4	2.9	0.08	0	20
GARAGE	19	1	2.9	0.75	0	18
DRIVEWAY	6	2	1	0.50	0	4
HARDSCAPE	2	6	1	0.16	4	0
LANDSCAPE OR YARD	25	8	0.75	0.25	0	17
TOTAL	76	21			0	55

CONTRACTOR SHALL ESTIMATE THEIR EARTHWORK QUANTITIES WHEN BIDDING ON THIS PROJECT

- GENERAL NOTES:**
- IF ANY EXISTING STRUCTURES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
 - CONTRACTOR SHALL PROTECT ALL PROPERTY CORNERS.
 - CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
 - CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
 - CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDING FOR ALL NATURAL AND PAVED AREAS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
 - THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
 - UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
 - UTILITY INSTALLATION IF ANY SHALL BE IN ACCORDANCE WITH TOWN OF LOS GATOS STANDARDS
 - CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.

LEGEND	
	= PROPERTY LINE
	= STREET CENTER LINE
	= EX. ROLLED CURB
	= EX. SPOT ELEVATION
	= FLOW DIRECTION
	= GRADE BREAK
	= FLOW LINE
	= INFILTRATION DEVICE
	= AREA INLET
	= STORM DRAIN PIPE
	= CONCRETE SPLASH PAD
	= 6" PCC/6" AB DRIVEWAY CONCRETE PAVEMENT
	20 C4.0
	= TREE PROTECTION FENCING PER ARBORIST REPORT PAGE 15 OF 28
	= TREE # (TO BE PROTECTED PER ARBORIST REPORT PAGE 15 OF 28)

ABBREVIATIONS:			
BS = BOTTOM OF STEP	FL = FLOW LINE	S = SLOPE	
BOW = BACK OF WALK	G = GARAGE	SD = STORM DRAIN	
BW = BOTTOM OF WALL	GB = GRADE BREAK	SR = STRAW ROLL	
C = CONCRETE	IE = INVERT ELEVATION	TC = TOP OF CURB	
DWY = DRIVEWAY	L = LAWN	TG = TOP OF GRATE	
DK = DECK	LF = LINEAL FOOT	TP = TOP OF PAVEMENT	
EG = EXISTING GRADE	LP = LOW POINT	TS = TOP OF STEP	
EX(E) = EXISTING	N = NEW	TW = TOP OF WALL	
FF = FINISHED FLOOR	P = PATIO OR PORCH	TYP = TYPICAL	
FFG = FINISHED FLOOR GARAGE	PLT = RAISED PLANTER		
FG = FINISHED GRADE	R.O.W. = RIGHT-OF-WAY		

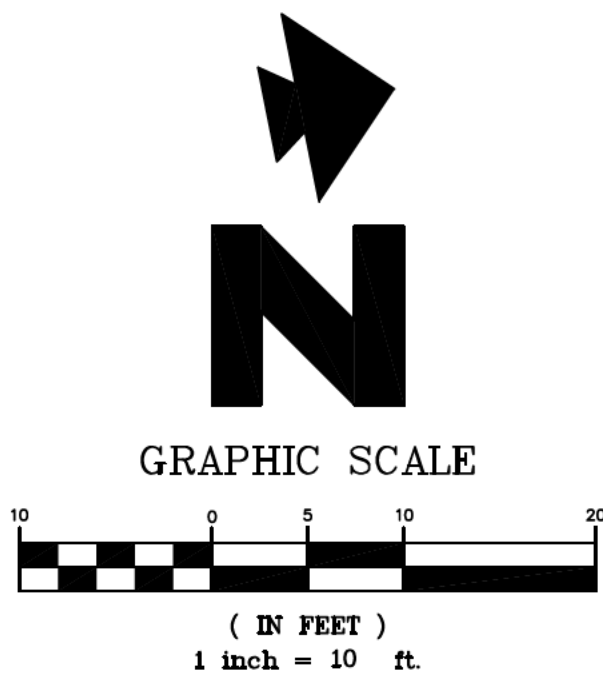
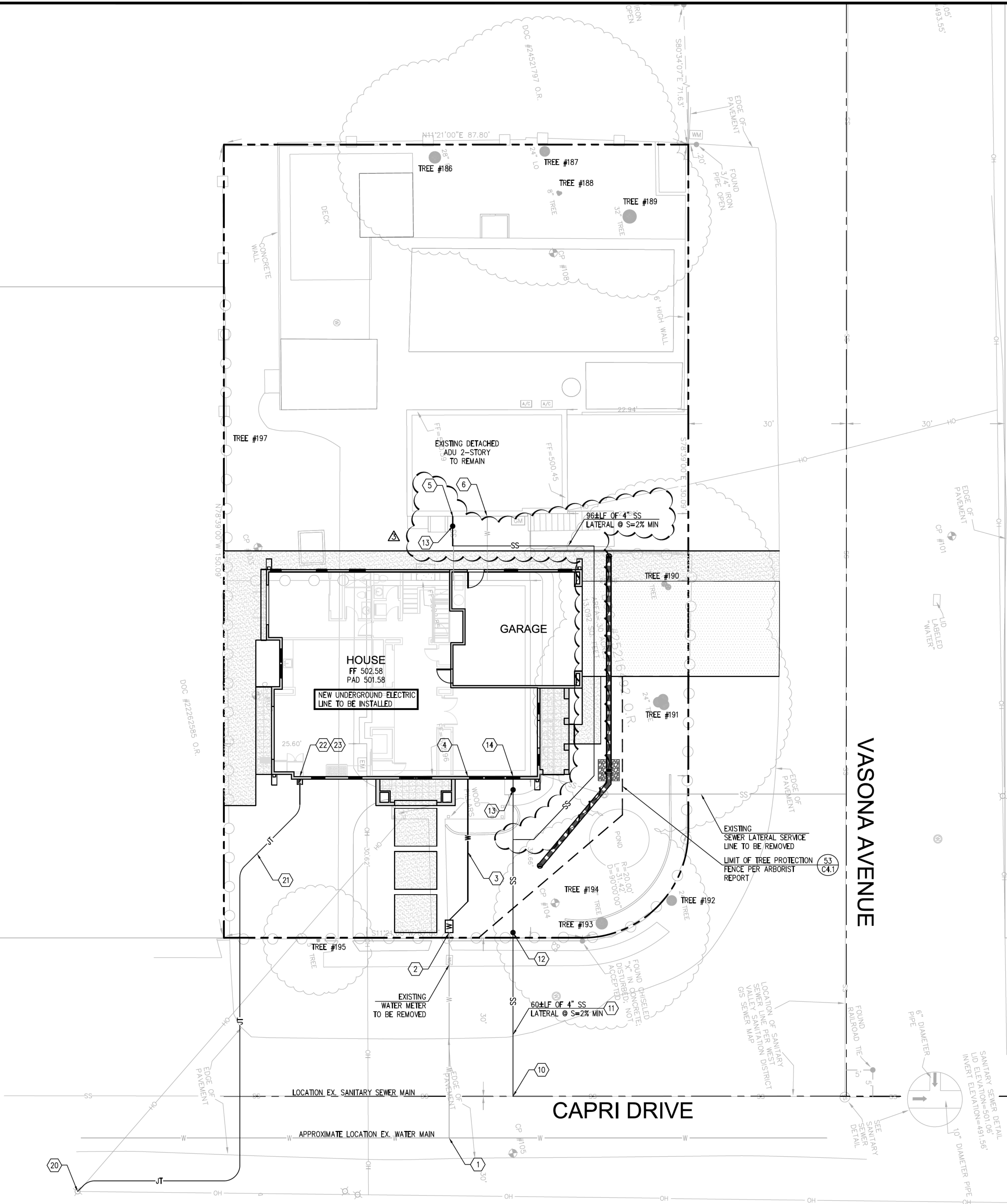
- GRADING NOTES**
- MATCH EXISTING ELEVATION. GRADING LIMIT IS TO PROPERTY LINE. NO GRADING ALLOWED ON ADJACENT PROPERTIES
 - DOWNSPOUT WITH CONCRETE SPLASH PAD PER DETAIL #1A/C4
 - BEGIN/END SWALE PER DETAIL #2A/C4
 - DRAIN INLET PER DETAIL #3A/C4

GRADING AND DRAINAGE PLAN
RESIDENCE
14331 CAPRI DRIVE
LOS GATOS, CA 95032

GREEN
CIVIL ENGINEERING, INC.
INFO@GREEN-CE.COM
1900 S. NORFOLK ST. SUITE #350
SAN MATEO, CA 94403

CHAI HANG WONG
PROFESSIONAL ENGINEER
NO. 13598
EXP. 12/31/2026
CIVIL
STATE OF CALIFORNIA

SCALE
VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN
DATE: 02/01/2024
DESIGNED: HCL
DRAWN: BL
REVIEWED: HCL
JOB NO.: 20230050
SHEET
C1
1 OF 7 SHEETS



GENERAL NOTES:

- IF ANY EXISTING STRUCTURES/UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.
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- UTILITY VAULTS, TRANSFORMERS, UTILITY CABINETS, CONCRETE BASES, OR OTHER STRUCTURES CANNOT BE PLACED OVER WATER MAINS/SERVICES. MAINTAIN 1' HORIZONTAL CLEAR SEPARATION FROM THE VAULTS, CABINETS & CONCRETE BASES TO EXISTING UTILITIES AS FOUND IN THE FIELD. IF THERE IS CONFLICT WITH EXISTING UTILITIES, CABINETS, VAULTS & BASES SHALL BE RELOCATED FROM THE PLAN LOCATION AS NEEDED TO MEET FIELD CONDITIONS. TREES MAY NOT BE PLANTED WITHIN 10' OF EXISTING WATER MAINS/SERVICES OR METERS. MAINTAIN 10' BETWEEN TREES AND WATER SERVICES, MAINS & METERS.
- UTILITY INSTALLATION IF ANY SHALL BE IN ACCORDANCE WITH TOWN OF LOS GATOS OR LOCAL UTILITIES AGENCIES STANDARDS.
- CONTRACTOR SHALL REFER TO ARCH. PLANS FOR EXACT LOCATIONS OF UTILITIES SERVICES TO NEW BUILDING. COORDINATE WITH LOCAL UTILITIES COMPANIES FOR SERVICE CONNECTIONS.

LEGEND

- | | | | |
|------|-----------------------|-----|--|
| --- | PROPERTY LINE | ● | STORM/SEWER CLEANOUT |
| —G— | GAS LINE | ■ | INFILTRATION DEVICE |
| —G— | EX. GAS LINE | ● | AREA INLET OR POP UP DRAIN |
| —SS— | EX. SEWER LINE | --- | TREE PROTECTION FENCING PER ARBORIST REPORT PAGE 15 OF 28 |
| —W— | EX. WATER LINE | --- | TREE # (TO BE PROTECTED PER ARBORIST REPORT PAGE 15 OF 28) |
| —W— | NEW WATER LINE | | |
| --- | STORM DRAIN PIPE | | |
| —SS— | NEW 4" SEWER LATERAL | | |
| —JT— | PROPOSED JOINT TRENCH | | |

ABBREVIATIONS:
EX = EXISTING
LF = LINEAL FOOT
S = SLOPE

UTILITY NOTES

- EXISTING WATER SERVICE LINE TO EXISTING WATER MAIN TO REMAIN
- INSTALL NEW WATER METER WITHIN THE PROPERTY LINE
- WATER SERVICE POINT OF ENTRY. SEE ARCH PLANS FOR EXACT LOCATION
- NEW SEWER CONNECTION AND MATCH EXISTING SEWER SERVICE POINT OF CONNECTION FOR ADU. CONTRACTOR TO VERIFY EXACT LOCATION
- EXISTING WATER SERVICE FOR ADU. CONTRACTOR TO VERIFY EXACT LOCATION
- CONNECTION TO EXISTING SEWER MAIN; MATCH EXISTING INVERT ELEVATION
- CONNECTION TO EXISTING SEWER MAIN; NEW 4" SEWER LATERAL @ 2% MINIMUM SLOPE TO BUILDING PER WEST VALLEY SANITATION DISTRICT OF SANTA CLARA DRAWING #15 AS SHOWN ON SHEET C4.0
- NEW SANITARY SEWER CLEANOUT 1' MAXIMUM BEHIND PROPERTY LINE PER WEST VALLEY SANITATION DISTRICT OF SANTA CLARA COUNTY DRAWING #3 AS SHOWN ON SHEET C4.0
- INSTALL SANITARY SEWER CLEANOUT WITH BACKFLOW PREVENTION DEVICE PER TOWN OF LOS GATOS ORDANANCE. PLACE CLEANOUT MINIMUM 2' OUTSIDE OF BUILDING FOUNDATION
- 4" SANITARY SEWER SERVICE ENTRY TO BUILDING. SEE ARCH PLANS FOR EXACT LOCATION AND LINE CONTINUATION TO BUILDING
- CONNECTION TO EXISTING ELECTRICAL LINE. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY AGENCY PRIOR ANY CONSTRUCTION.
- JOINT TRENCH (ELECTRIC, TELECOMMUNICATION & CABLE TV SERVICE LINES) TO NEW BUILDING. CONTRACTOR SHALL COORDINATE WITH LOCAL UTILITY AGENCY PRIOR TO INSTALLATION.
- ELECTRICAL METER. SEE ARCH PLANS FOR EXACT LOCATION.
- ELECTRICAL, TELECOMMUNICATION AND CABLE TV SERVICES POINT OF ENTRY TO BUILDING. SEE ARCH PLANS FOR EXACT LOCATIONS

UTILITY PLAN
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SCALE

VERTICAL: 1"= AS SHOWN
HORIZONTAL: 1"= AS SHOWN

DATE: 02/01/2024

DESIGNED: HCL

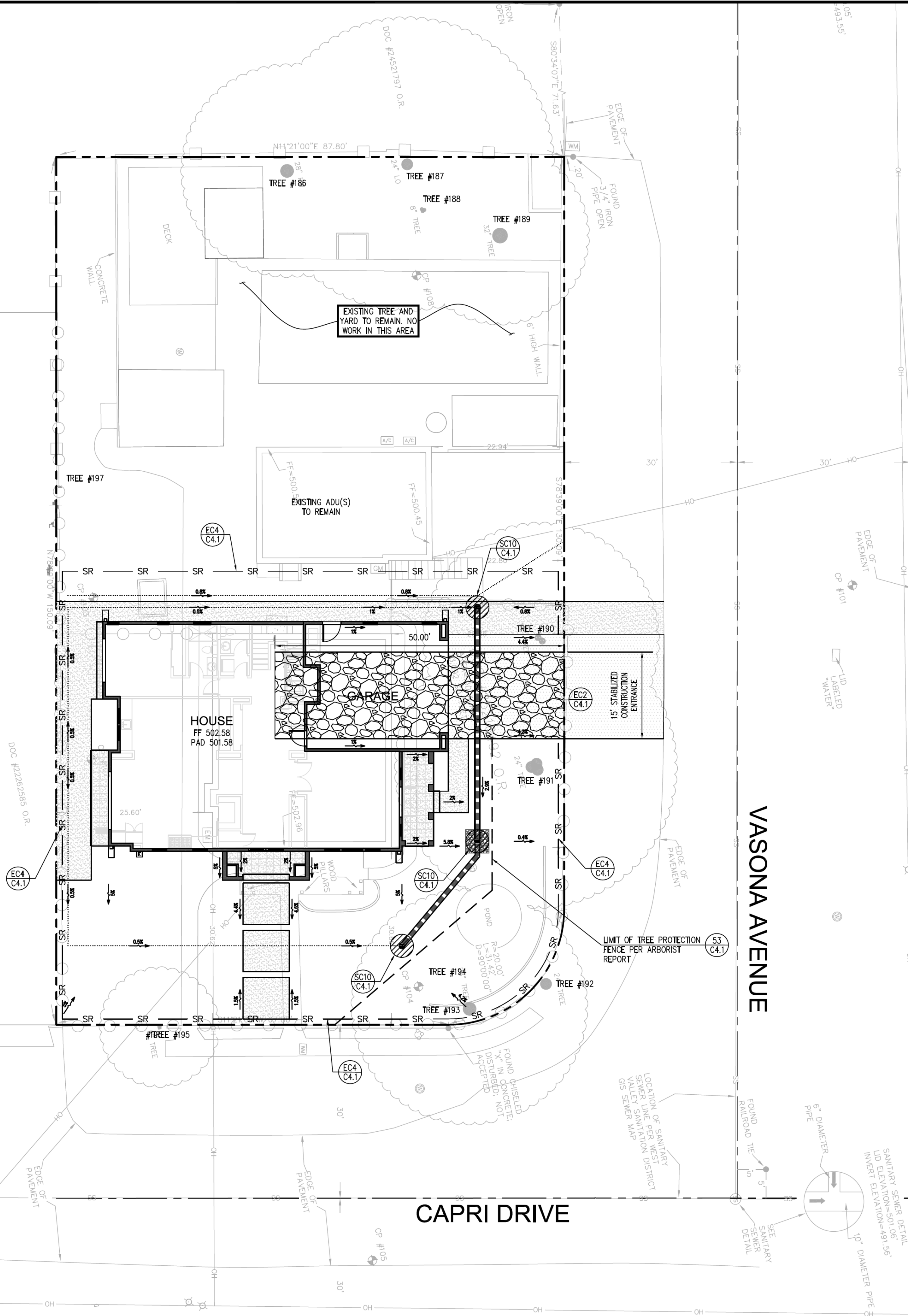
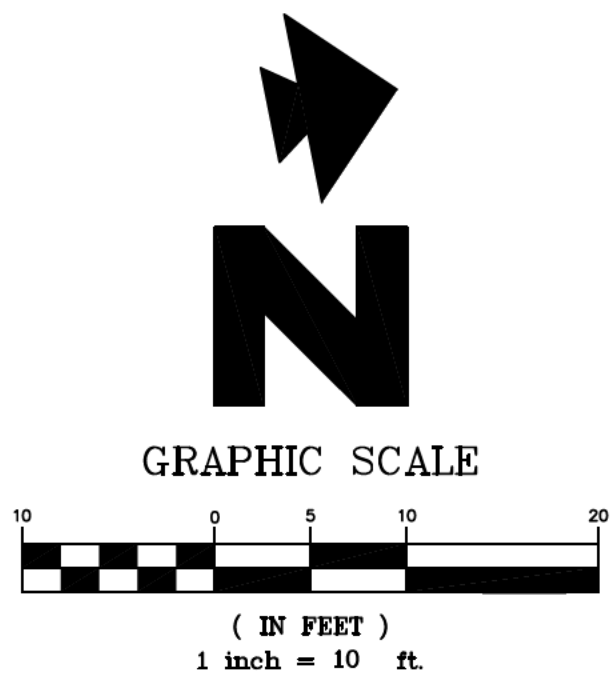
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SHEET
C2

3 OF 7 SHEETS



EROSION AND SEDIMENT CONTROL NOTES & MEASURES:

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 30. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON, WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE TOWN ENGINEER.
- IF HYDROSEEDING IS NOT USED, THEN OTHER METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF: 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TACKIFIER AND MULCH. CONTACT TOWN OF PORTOLA VALLEY FOR APPROVED SEED MIX. UTILIZE EROSION FABRIC ON DISTURBED SLOPES GREATER THAN 2:1.
- DURING WINTER MONTHS, ALL DISTURBED SLOPES GREATER THAN 2:1 SHALL HAVE MANDATORY EROSION CONTROL FABRIC.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FORM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE TOWN REPRESENTATIVE OF ANY FIELD CHANGES.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS OF FUTURE CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEMS, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- DEMOLITION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTORS SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE, AND LOCAL AGENCY REQUIREMENTS.
- WITH THE APPROVAL OF THE TOWN INSPECTOR, EROSION AND SEDIMENT CONTROLS MAYBE REMOVED AFTER AREAS ABOVE THEM HAVE BEEN STABILIZED.
- ALL TRUCKS TRANSPORTING MATERIALS TO AND FROM THE SITE SHALL BE COVERED.

MAINTENANCE NOTES

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAPS RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF ONE FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - RILLS AND GULLIES MUST BE REPAIRED.

DEMOLITION NOTES:

- THE EXISTING BUILDING SHALL BE REMOVED ENTIRELY. NO GRADING REQUIRED BEYOND REPAIR AT FOUNDATION REMOVAL AREAS.
- LOCATE AND MARK ALL UNDERGROUND UTILITIES. THE UTILITIES SHALL BE TREATED AS FOLLOWS:

WATER SERVICE

- EXISTING WATER SHALL BE CAPPED AND REMOVED IF NECESSARY FOR NEW CONSTRUCTION.

ELECTRICAL SERVICE

- ELECTRICAL LINE SHALL BE PROTECTED IN PLACE.

GAS SERVICE

- GAS LINE SHALL BE PROTECTED IN PLACE.

LEGEND

- 50' X 15' STABILIZED CONSTRUCTION ENTRANCE PER TOWN OF LOS GATOS STANDARD DETAIL; (52A C4.1)
- SR STRAW ROLL (50 C4.1)
- TREE PROTECTION PER ARBORIST REPORT PAGE 15 OF 28; ALL TREE PROTECTION FENCING SHALL BE CHAIN LINK AND A MINIMUM OF 6' IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND (53 C4.1)
- INLET PROTECTION (SC10 C4.1)
- TREE #190 TREE # (TO BE PROTECTED PER ARBORIST REPORT PAGE 15 OF 28)

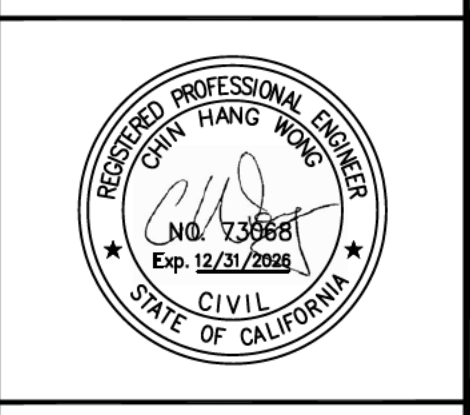
EROSION CONTROL POINT OF CONTACT:

NAME: CHIN HANG WONG
TITLE/QUALIFICATION: PE, QSD
PHONE: (650) 931-2514
E-MAIL: awong@green-ce.com

REV.	DATE	DESCRIPTION
A	10/31/24	PER ENGINEERING DIV REVIEW COMMENTS, 9/11/24
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EROSION CONTROL PLAN
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JOB NO.:	20230050
SHEET C3	
4 OF 7 SHEETS	

NOTE:
FIBER ROLLS SHALL BE
PLACED IN LOCATIONS SHOWN
ON PLAN AND UPSTREAM OF
EXISTING DRAIN INLETS

WOOD STAKE 1" X 2" AT
3' SPACING, ALTERNATING
FRONT & BACK OF ROLL.

TEMPORARY FIBER ROLL OR
APPROVED EQUAL SEDIMENTATION
CONTROL DEVICES. DO NOT
SUBSTITUTE HAY BALES. MAINTAIN
AND LEAVE IN PLACE UNTIL
CONSTRUCTION IS COMPLETED,
THEN REMOVE.

9" MI.

10" MAX.

30"

FLOW

LEGEND:

1. SEE ARBORIST REPORT
FOR TREES TO BE
PROTECTED FOR THIS
DEMOLITION PROJECT.

2. TREE DRIP LINE.

3. STEEL T-POST. 6' O.C.
MAX. DRIVE POST INTO
UNDISTURBED SOIL,
AVOIDING MAJOR ROOTS
AS MUCH AS POSSIBLE.

4. CHAIN LINK FENCING, 6'
TALL.

5. EXTEND FENCING 50%
BEYOND DRIPLINE OF
SIGNIFICANT MATURE
SPECIMEN TREES WHERE
POSSIBLE, UNLESS
OTHERWISE SHOWN ON
PLAN.

1

2

3

4

5

PLAN

1

2

3

4

UNDISTURBED SOIL

24" MIN.

ELEVATION

50

STRAW ROLL

N.T.S.

53

TREE PROTECTION FENCING

N.T.S.

Storm Drain Inlet Protection

SC-10

NOTES:

- For use in areas where grading has been completed and final soil stabilization and seeding are pending.
- Not applicable in paved areas.
- Not applicable with concentrated flows.

Caltrans Storm Water Quality Handbooks
Construction Site Best Management Practices Manual
March 1, 2012
Section 4
Storm Drain Inlet Protection SC-10
4 of 7

PROJECT SIZE	LENGTH OF	
	CRUSHED ROCK	ATB
≤ 1/4 ACRE	30	0
≤ 1 ACRE	50	0
< 3 ACRE	100	0
> 3 ACRE	100	50

NOTES:

- CRUSHED ROCK WITH GEOTEXTILE MATERIAL UNDERNEATH.
- THE MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY. ALTERNATE CONSTRUCTION ENTRANCES WILL BE ALLOWED WITH APPROVAL OF THE CITY ENGINEER ON A CASE BY CASE BASIS, WHERE PHYSICAL CONDITIONS AND SIZE DICTATE.
- DRIVEWAY RAMP, OR SITE ACCESS ROAD 20' WIDE MIN. SEE TABLE ABOVE FOR REQUIRED LENGTH.
- INSTALL ORANGE BARRIER FENCE TO DIRECT TRAFFIC ONTO CONSTRUCTION ENTRANCE.
- INSTALL 12" MIN. DIA. CULVERT IF A ROADSIDE DITCH IS PRESENT.

NOTES:

- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

APPROVED BY	DATE		STD. PLAN NO.
TOWN ENGINEER	NOVEMBER 2010		ST-250

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STABILIZED CONSTRUCTION ENTRANCE

N.T.S.

S2A
C4.1

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DETAIL SHEET
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SCALE

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SHEET

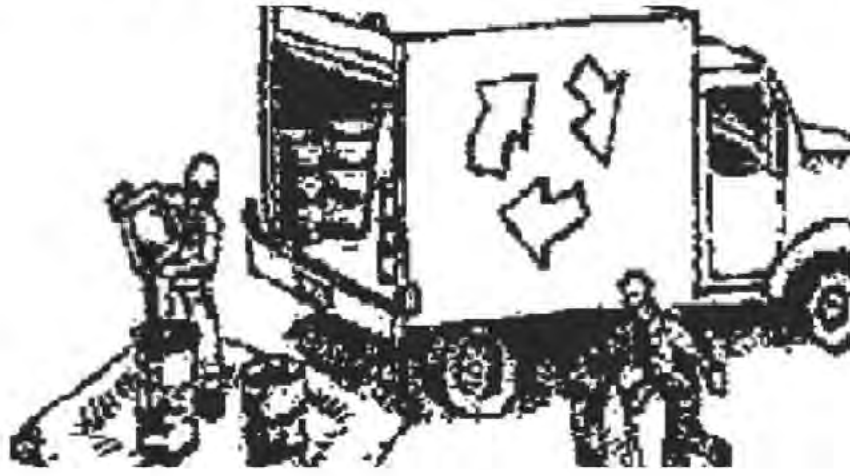
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6 OF 7 SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement year-round stormwater BMPs.

Materials, Waste, and Sediment Management



Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls, and stabilize all construction entrances and exits to sufficiently control erosion, sediment discharges and tracking of sediment offsite.
- Sweep or vacuum immediately any tracking of sediment offsite and secure sediment source to prevent further tracking. Never hose down streets or sidewalks.

Non-Hazardous Materials and Dust Control

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or when they are not in use. Weigh down and secure tarps for wind protection.
- Keep materials off the ground (e.g., store bagged materials on wood pallets, store loose materials on tarps not pavement, etc.).
- Use captured water from other activities (e.g., testing fire lines) for dust control.
- Ensure dust control water doesn't leave site or discharge to storm drains. Only use enough to control dust. Contain and dispose of excess water properly.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with City, County, State and Federal regulations.
- Store hazardous materials and wastes in watertight containers, store in appropriate secondary containment, and cover them at the end of every workday, during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and do not use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes. Have all pertinent Safety Data Sheets (i.e., SDS/MSDS/PSDS) onsite.

Waste Management

- Inform trash-hauling contractors that you will accept only watertight dumpsters for onsite use. Repair/replace any dumpster that is not watertight or leaking.
- Cover and maintain dumpsters. Check frequently for leaks. Place dumpsters under roofs or cover with tarps or plastic sheeting secured around the outside of the dumpster. If the dumpster leaks, place a plastic liner underneath the dumpster to collect leaks. Never clean out a dumpster by hosing it down on the construction site – clean with dry methods, clean offsite or replace dumpster.
- Place portable toilets and hand wash stations away from storm drains. Make sure they are equipped with containment pans (secondary containment) and are in good working order. Check frequently for leaks.
- Dispose of all wastes and demolition debris properly per SDS and applicable regulations. Recycle or compost materials and wastes as feasible and appropriate, including solvents, water-based paints, vehicle fluids, broken asphalt and concrete, wood, and cleared vegetation.
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste per SDS.
- Keep site free of litter (e.g., lunch items, water bottles, cigarette butts and plastic packaging).
- Prevent litter from uncovered loads by covering loads that are being transported to and from site.

Equipment Management & Spill Control



Vehicle and Equipment Maintenance

- Designate an area of the construction site equipped with appropriate BMPs, well away from creeks or storm drain inlets, for auto and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle/equipment washing offsite.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment, and do not use diesel oil to lubricate equipment or parts onsite.

Spill Prevention and Control

- Always keep spill cleanup materials (e.g., rags, absorbents, and cat litter) available at the construction site.
- Maintain all vehicles and heavy equipment. Inspect frequently for leaks. Use drip pans to catch leaks until repairs are made.
- Clean up leaks, drips and other spills immediately using dry cleanup methods whenever possible (absorbent materials, cat litter and/or rags) and dispose of cleanup materials properly.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately. If the spill poses a significant hazard to human health and safety, property or the environment, report it to the State Office of Emergency Services at (800) 852-7350 (24 hours).

Earthmoving



Grading and Earthwork

- Schedule grading and excavation work during dry weather.
- Prevent sediment from migrating offsite and protect storm drain inlets, drainage courses and creeks by installing and maintaining appropriate BMPs tailored to the site's specific characteristics and conditions. Examples of such BMPs may include silt fences, gravel bags, fiber rolls, temporary swales, compost socks, etc. Ensure that BMPs are installed in accordance with manufacturer's specifications and properly maintained throughout the duration of construction activities.
- Stabilize all denuded areas and install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when necessary. Plant temporary vegetation to prevent erosion on slopes or in areas where construction is not immediately planned.
- Keep excavated soil and/or transfer it to dump trucks, onsite, not in the streets. Ensure all subcontractors working onsite are implementing appropriate BMPs.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the [Regional Water Quality Control Board](#) and the local agency: 1) Unusual soil conditions, discoloration, or odor. 2) Abandoned underground tanks. 3) Abandoned wells. 4) Buried barrels, debris, or trash.
- If the above conditions are observed, document any signs of potential contamination, clearly mark areas and fence/tape them off so they are not disturbed by construction activities.

Landscaping

- Protect stockpiled landscaping materials from wind and rain by storing them under tarps year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.
- Store materials onsite, not in the street.

Concrete Management & Dewatering



Concrete Management

- Store both dry and wet concrete-related materials under cover, protected from rainfall and runoff and away from storm drains or creeks. Store materials off the ground on pallets. Protect dry materials from wind.
- Avoid pouring concrete in wet weather or when rainfall is imminent to prevent concrete that has not cured from contacting stormwater runoff.
- Wash out concrete equipment/mixers/trucks offsite, or onsite only in designated washout containers/areas where the water will flow into a temporary lined waste pit and in a manner that will prevent leaching into the underlying soils. (See CASQA Construction Stormwater BMP Handbook for temporary concrete washout facility details).
- Do not wash sweepings from exposed aggregate concrete into the street or storm drain. Collect and return sweepings to aggregate base stockpile or dispose properly.
- Make sure that construction waste (e.g., concrete, stucco, cement wastewater, or residual materials) is collected, removed, and disposed of only at authorized disposal areas. Do not dispose of construction waste in storm drains, ditches, streets, creeks, dirt areas, or the sanitary sewer.

Dewatering

- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible, send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer, obtain permission from the local wastewater treatment plant.
- Divert water originating from offsite away from all onsite disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call the local agency to determine whether the groundwater must be tested. Pumped groundwater may need to be collected and hauled offsite for treatment and proper disposal.
- For additional information, refer to the CASQA's Sheet NS-2 "Dewatering Operations."

Paving/Asphalt Work



Paving

- Avoid paving and seal coating in wet weather or when rain is forecast to prevent materials that have not cured from contacting with stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, slurry seal, fog seal, or similar materials.
- When construction is complete, remove all covers from storm drain inlets and manholes.
- Collect and recycle or properly dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters, storm drains, streets, dirt areas, or the sanitary sewer.

Sawcutting & Asphalt/Concrete Removal

- Protect storm drain inlets during saw cutting.
- When making saw cuts, use as little water as possible.
- Residue from saw cutting, coring and grinding operations shall be picked up by means of a vacuum device.
- Shovel, absorb, or vacuum saw cut slurry deposits and dispose of all waste properly and as soon as reasonably possible. Sawcutting residue should not be left on pavement surface.
- If saw cut slurry enters a storm drain inlet, clean it up immediately and notify the local municipality.

Copper Architectural Features

Discharges to storm drains generated by installing, cleaning, treating or washing copper architectural features, is a violation of the municipal stormwater ordinance and may be subject to a fine. These BMPs must be implemented to prevent prohibited discharges to storm drains:

During Installation

- If possible, purchase copper materials that have been pre-patinated at the factory.
- If patination done on site, implement one or more of the following BMPs:
 - Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm drain. Block off storm drain inlet if needed.
 - Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer.
 - Collect the rinse water in a tank and haul off-site for proper disposal.
- Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. This will also maintain the desired color for a longer time, requiring less maintenance.

During Maintenance such as, power washing roof, re-patination, or re-application of impervious coating:

- Block storm drain inlets as needed to prevent runoff from entering storm drains.
- Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paintcontainers to landscaping, dirt areas or into a street, gutter, storm drain, or creek.
- For water-based paints, paint out brushes to the extent possible, and then rinse into a drain connected to the sanitary sewer. Never pour paint down a storm drain inlet.
- For oil-based paints, paint out brushes to the extent possible, and then clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Sweep up or collect paint chips and dust generated from non-hazardous dry stripping and sand blasting into plastic drop cloths and dispose of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead-based paint removal requires a state-certified contractor.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

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BLUEPRINT FOR A CLEAN BAY
RESIDENCE
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LOS GATOS, CA 95032


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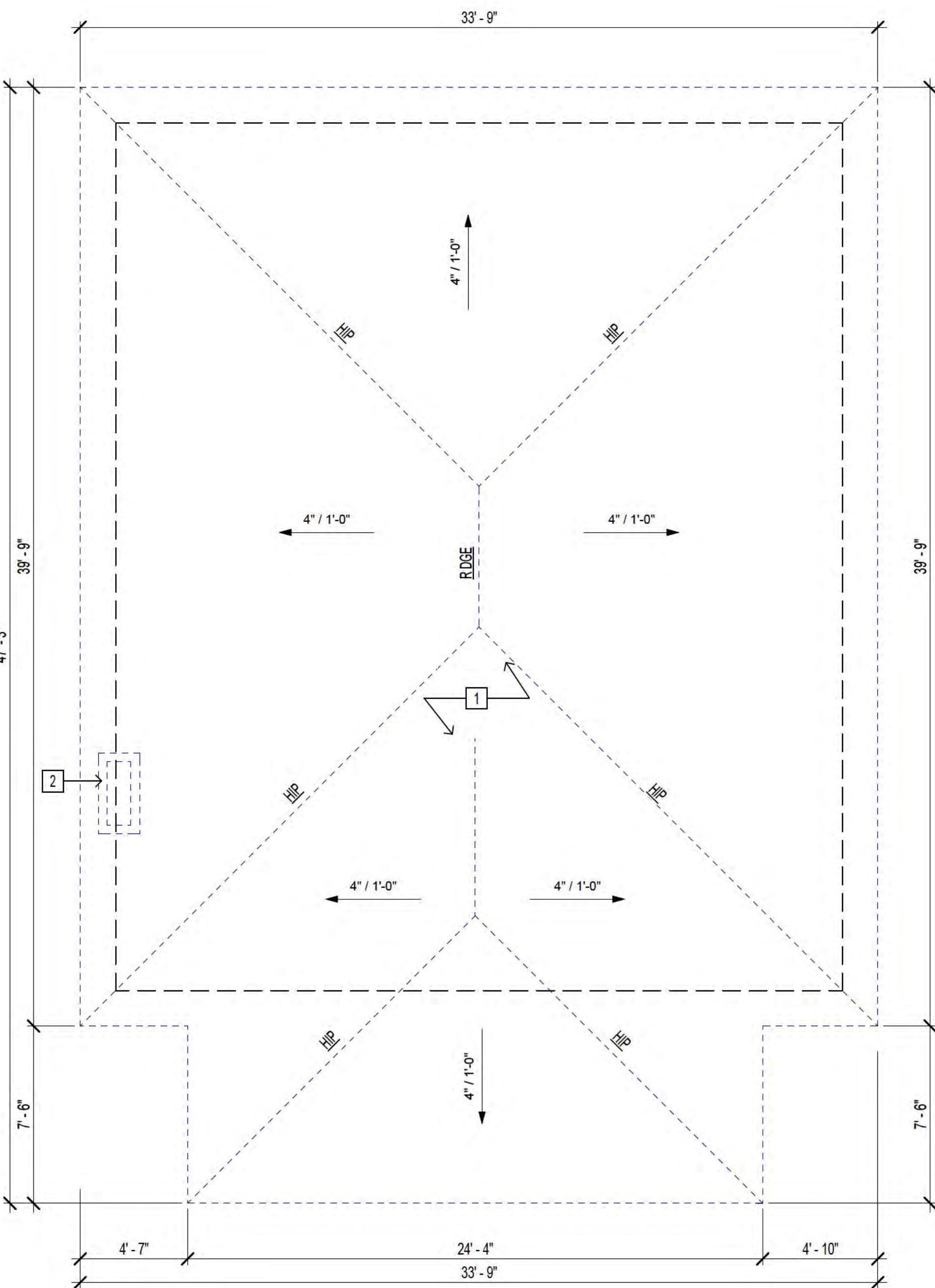
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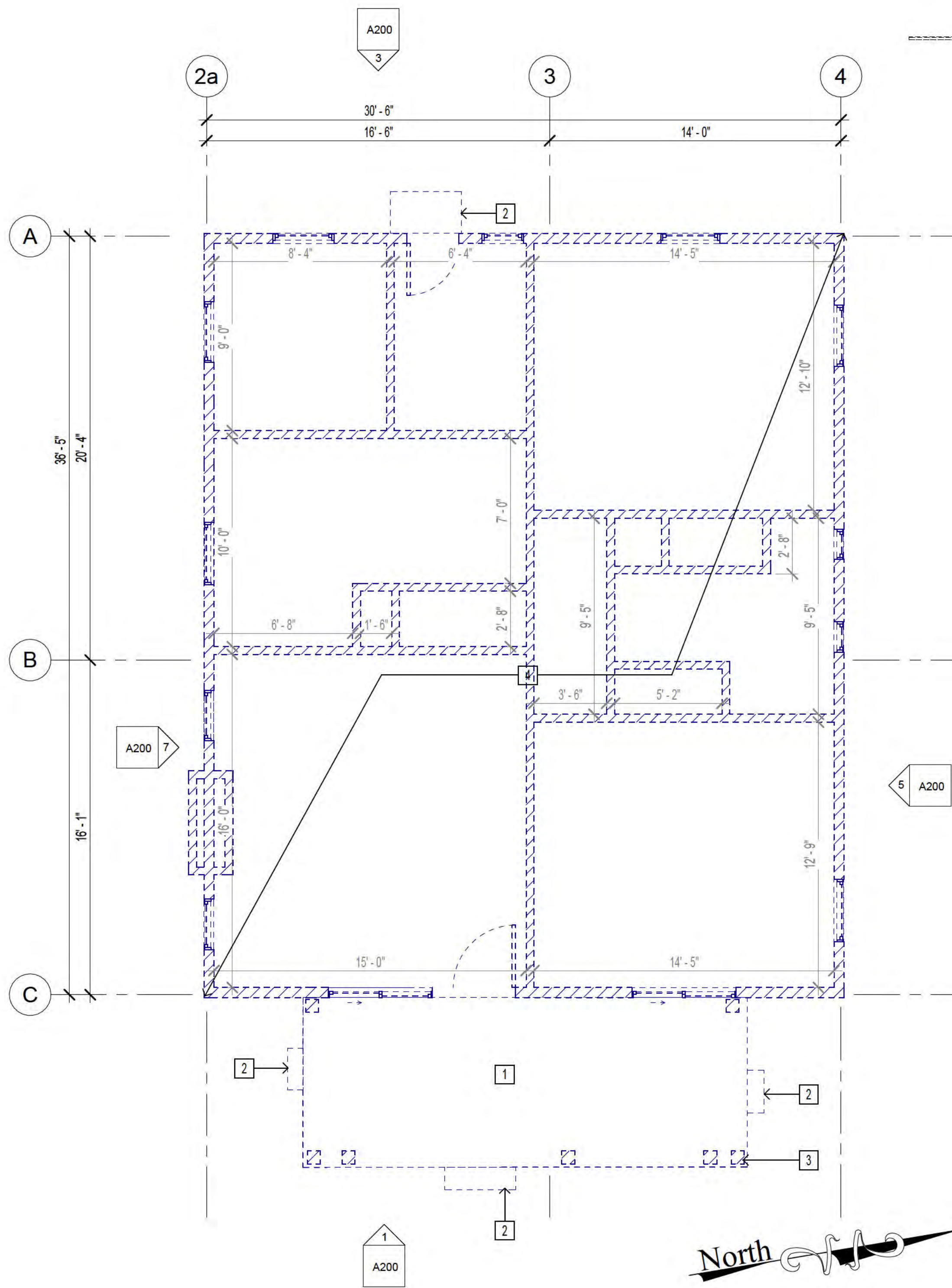
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DRAWN:	BL
REVIEWED:	HCL
JOB NO.:	20230050

SHEET
C5

7 OF 7 SHEETS



② Roof Plan, Existing
1/4" = 1'-0"



① Floor Plan, Lvl 1, Existing
1/4" = 1'-0"

FLOOR PLAN, EXIST'NG, KEYNOTES

- 1 CONCRETE PORCH TO BE DEMOD
- 2 CONCRETE STEP TO BE DEMOD
- 3 POST TO BE DEMOD
- 4 RESIDENCE TO BE DEMOD

ROOF PLAN, EXIST'NG, KEYNOTES

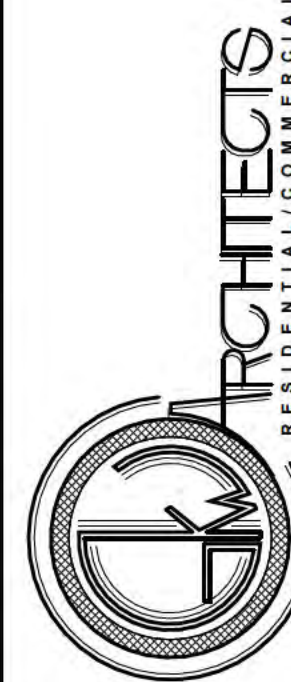
- 1 ROOF TO BE DEMOD
- 2 CHIMNEY TO BE DEMOD

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS.
2. REFER TO ELEVATIONS FOR ALL EXIST'NG ELEMENTS ALIGNMENT.
3. ELEMENTS IN GRAY ARE EXIST'NG WHILE ELEMENTS IN BLACK ARE PROPOSED.
4. LANDING MINIMUM 36" DEEP LANDING AND NOT MORE THAN 1 1/2" LOWER THAN THRESHOLD FOR OUTSWINGING DOORS.
5. WINDOWS HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR OPENS DIRECTLY TO STREET, PUBLIC ALLEY YARD, OR COURT THAT OPENS TO A PUBLIC RIGHT OF WAY. CRC SECTION R310.
6. DOORS AND PANELS OF SHOWER AND BATHTUB ENCLOSURES SHALL BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC. CRC SECTION R308.4.5.
7. WATER RESISTANT GYPSUM BACKING BOARD SHALL NOT BE USED OVER A VAPOR RETARDER IN SHOWER OR BATHTUB COMPARTMENTS. CRC R307.2 AND R702.4.
8. CLEAR SPACE AROUND A TOILET SHALL MEASURE A MINIMUM 15" FROM CENTERLINE OF TOILET TO WALL OR BARRIER ON EACH SIDE, AND A MINIMUM 24" IN FRONT OF THE TOILET.
9. SHOWER PAN DIMENSIONS MUST BE A MINIMUM AREA OF 1024 SQ. INCHES AND A MINIMUM FINISH DIMENSION OF 30" IN ANY DIRECTION.
10. SHOWER DOORS SHALL OPEN A MINIMUM 22" UNOBSTRUCTED OPENING FOR EGRESS.
11. STAIR RISE (MAXIMUM 7'-3/4") AND RUN (MINIMUM 10") FROM NOSING TO NOSING. WHERE TREAD DEPTH IS LESS THAN 11", A NOSING OF 3/4" MINIMUM TO 1-1/4" MAXIMUM IS REQUIRED.
12. PLEASE SEE WALL SCHEDULES ON SHEET A400.
13. PLEASE SEE WINDOW & DOOR SCHEDULES ON SHEET A400.



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RESIDENCE

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Project Schedule Revision		
#	REV DATE	DESCRIPTION
1	2024.11.29	PLANNING
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3	2024.09.11	PLANNING
4	2025.01.08	PLANNING
5	2025.04.30	PLANNING

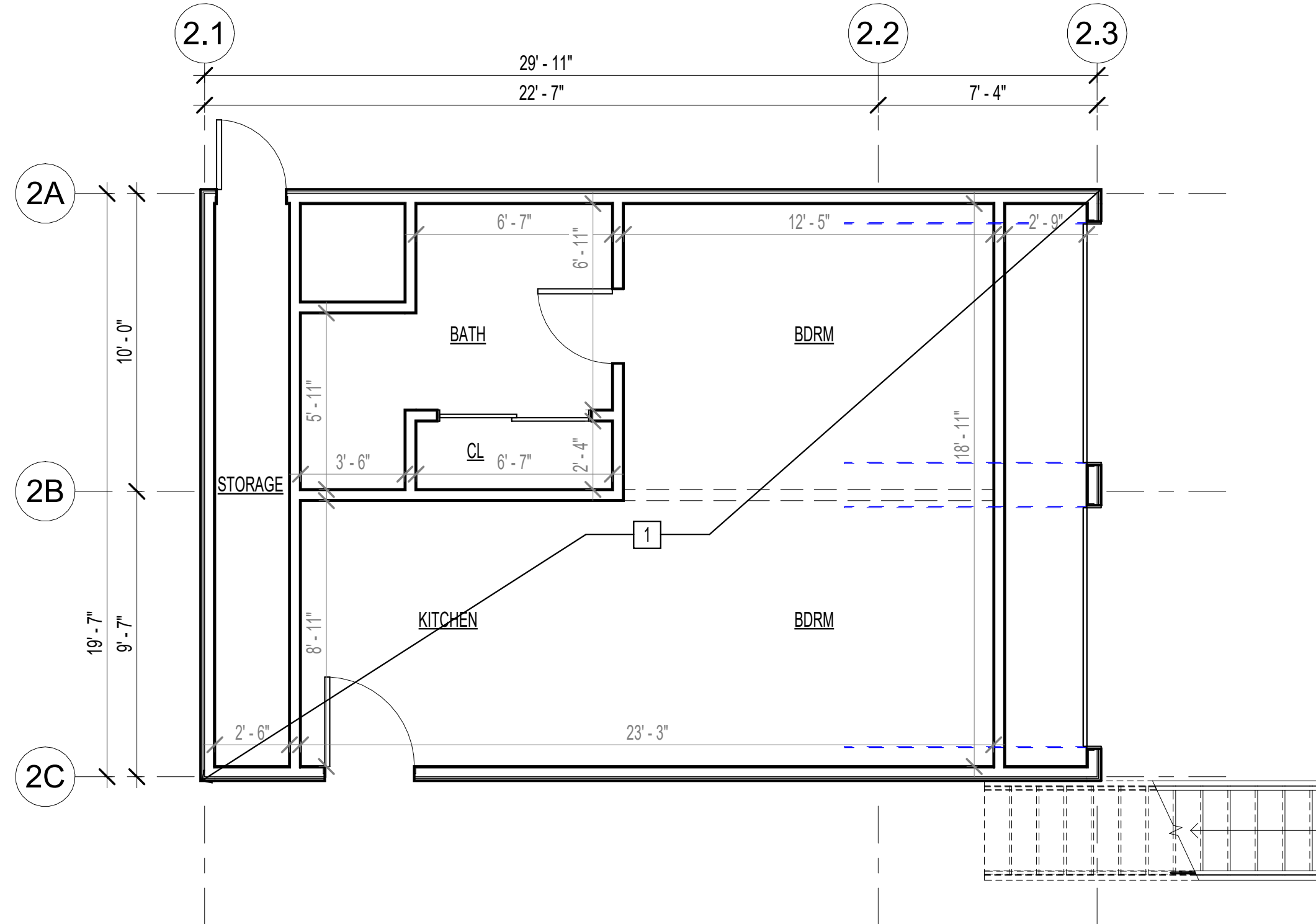
Floor & Roof
Plans, Existing

A100

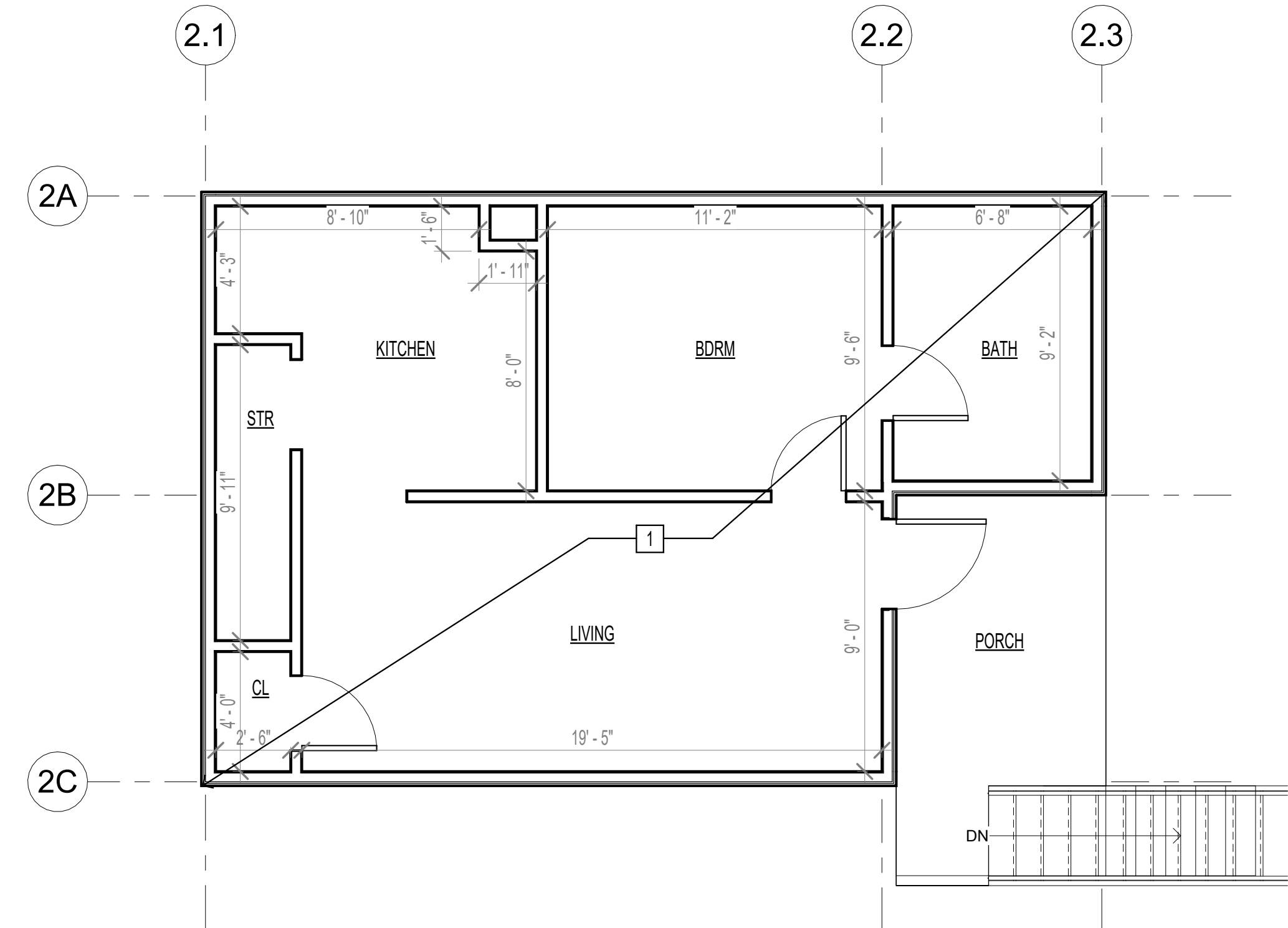
SCALE 1/4" = 1'-0"

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1 ADU Plan, Lvl 1, Existing
1/4" = 1'-0"



2 ADU Plan, Lvl 2, Existing
1/4" = 1'-0"

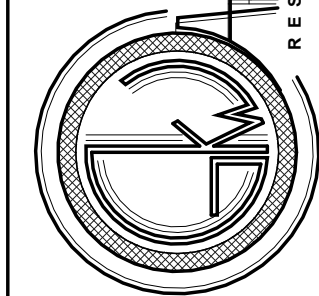


FLOOR PLAN, EXIST NG, KEYNOTES

1 DETACHED ADU TO BE REMA NED

- GENERAL NOTES:**
1. CONTRACTOR TO VER FY ALL F ELD MEASUREMENTS.
 2. REFER TO ELEVATIONS FOR ALL EXT. ELEMENTS ALIGNMENT.

Floor Plan, Existing, Detached ADU



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Floor Plan,
Existing,
Detached ADU

A100.1

SCALE 1/4" = 1'-0"

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GORDON K WONG, ARCHITECT, L.C. #34045

KEVIN YU PROJECT REP

710E MCCLINCY LANE SUITE 108

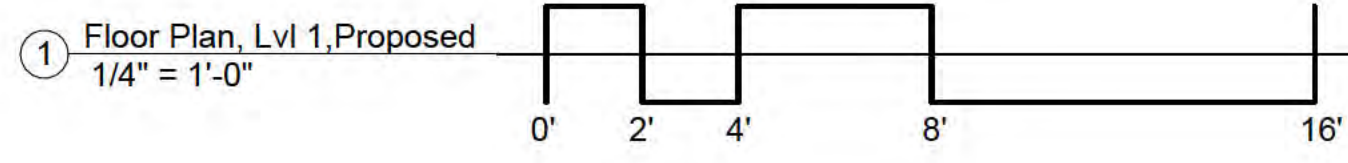
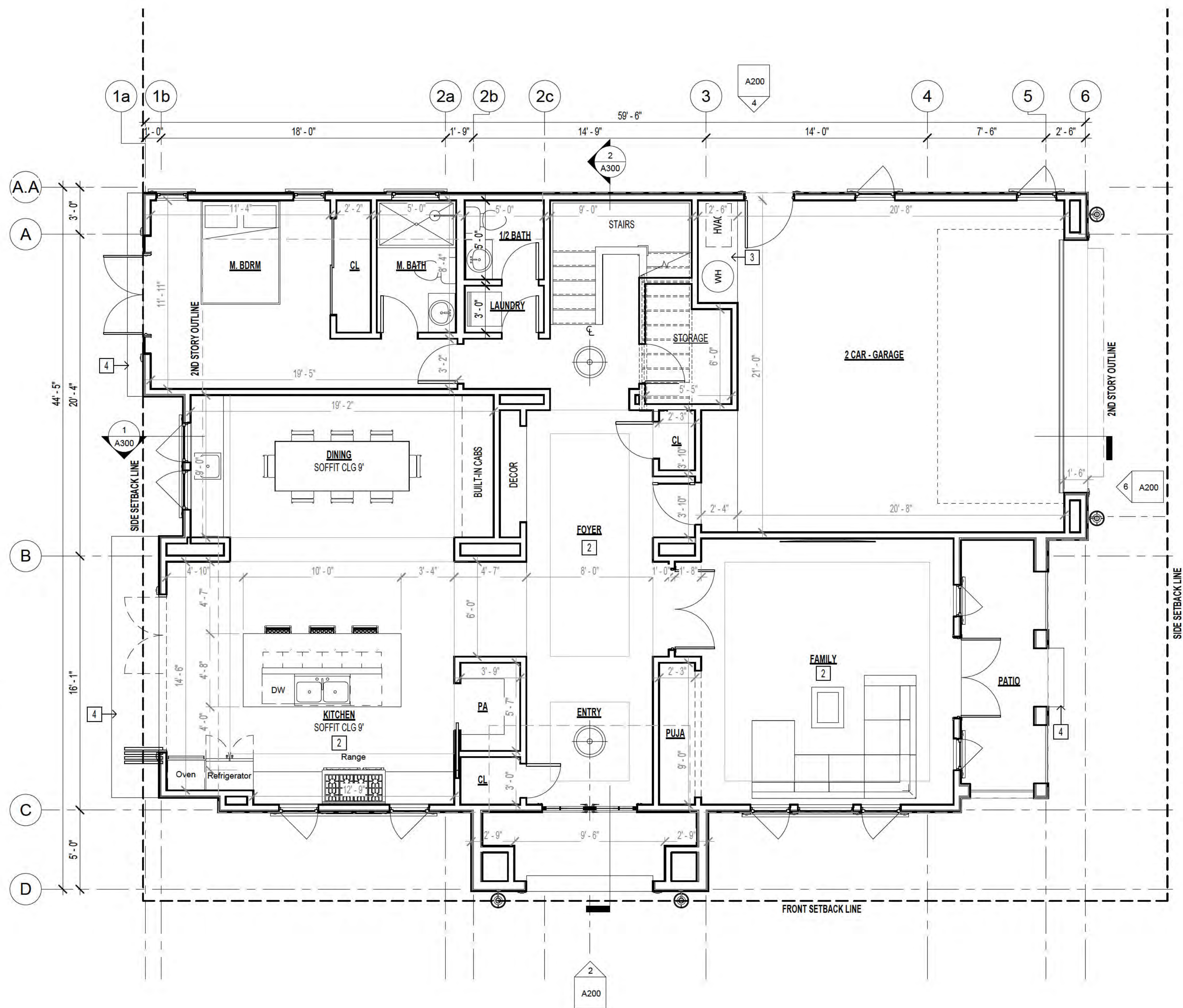
CAMPBELL, CA 95008 (408) 315-2125

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Floor Plan, Level 1, Proposed

- FLOOR PLAN, PROPOSED, KEYNOTES
- 1 DECOR
 - 2 COFFERED CEILING
 - 3 RAISED PLATFORM
 - 4 CONCRETE STEP DOWN

- GENERAL NOTES:
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 - REFER TO ELEVATIONS FOR ALL EXISTING ELEMENTS ALIGNMENT.
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 - WINDOWS HAVE THE BOTTOM OF THE CLEAR OPENING NOT MORE THAN 44 INCHES ABOVE THE FLOOR OPENS DIRECTLY TO STREET, PUBLIC ALLEY YARD, OR COURT THAT OPENS TO A PUBLIC RIGHT OF WAY. CRC SECTION R310.
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 - PLEASE SEE WALL SCHEDULES ON SHEET A400
 - PLEASE SEE WINDOW & DOOR SCHEDULES ON SHEET A400





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Floor Plan, Level 2, Proposed

FLOOR PLAN, PROPOSED, KEYNOTES

- 1 DECOR
- 2 COFFERED CEILING

GENERAL NOTES:

1. CONTRACTOR TO VERIFY ALL FIELD MEASUREMENTS.
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12. PLEASE SEE WALL SCHEDULES ON SHEET A400
13. PLEASE SEE WINDOW & DOOR SCHEDULES ON SHEET A400

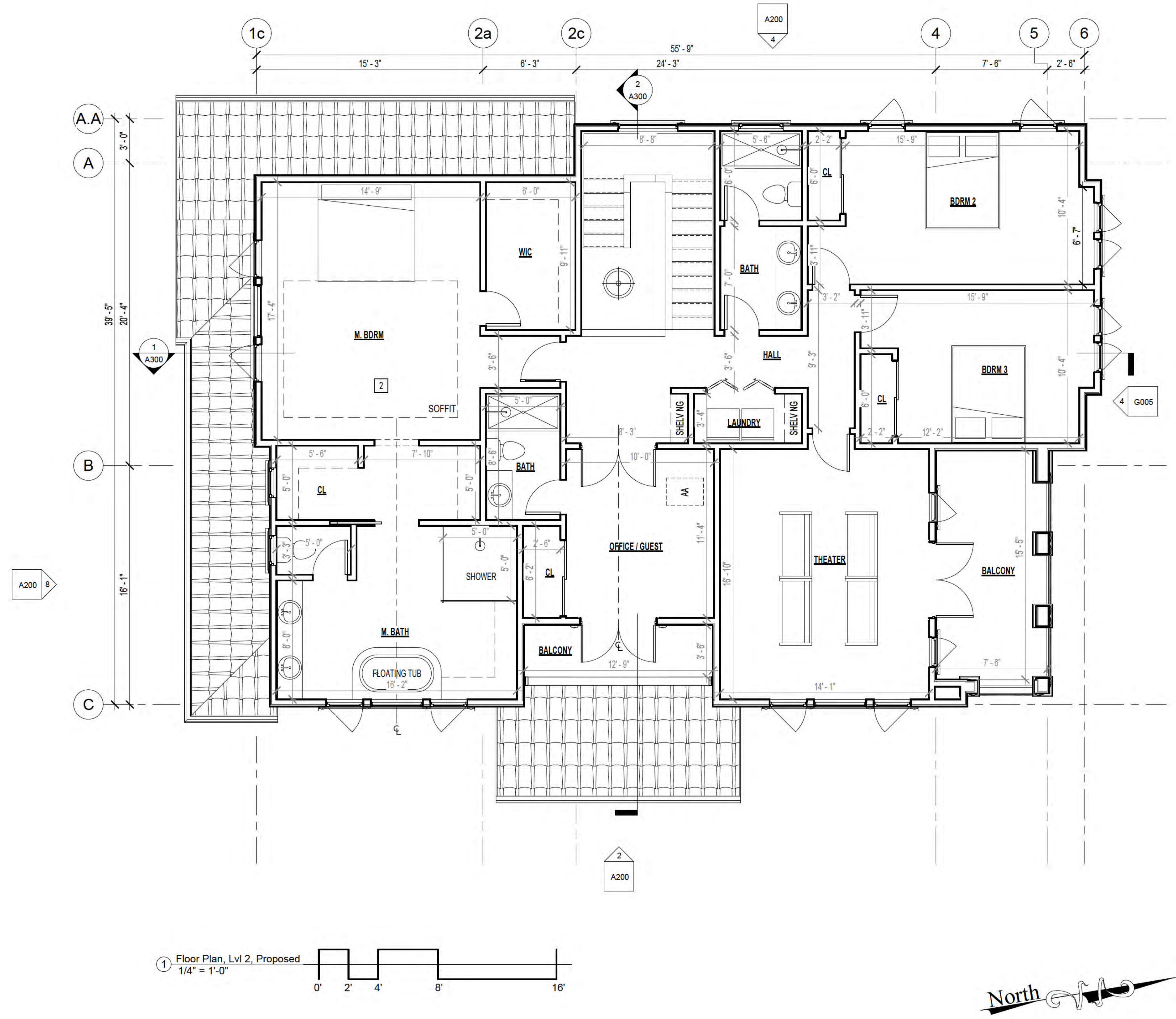
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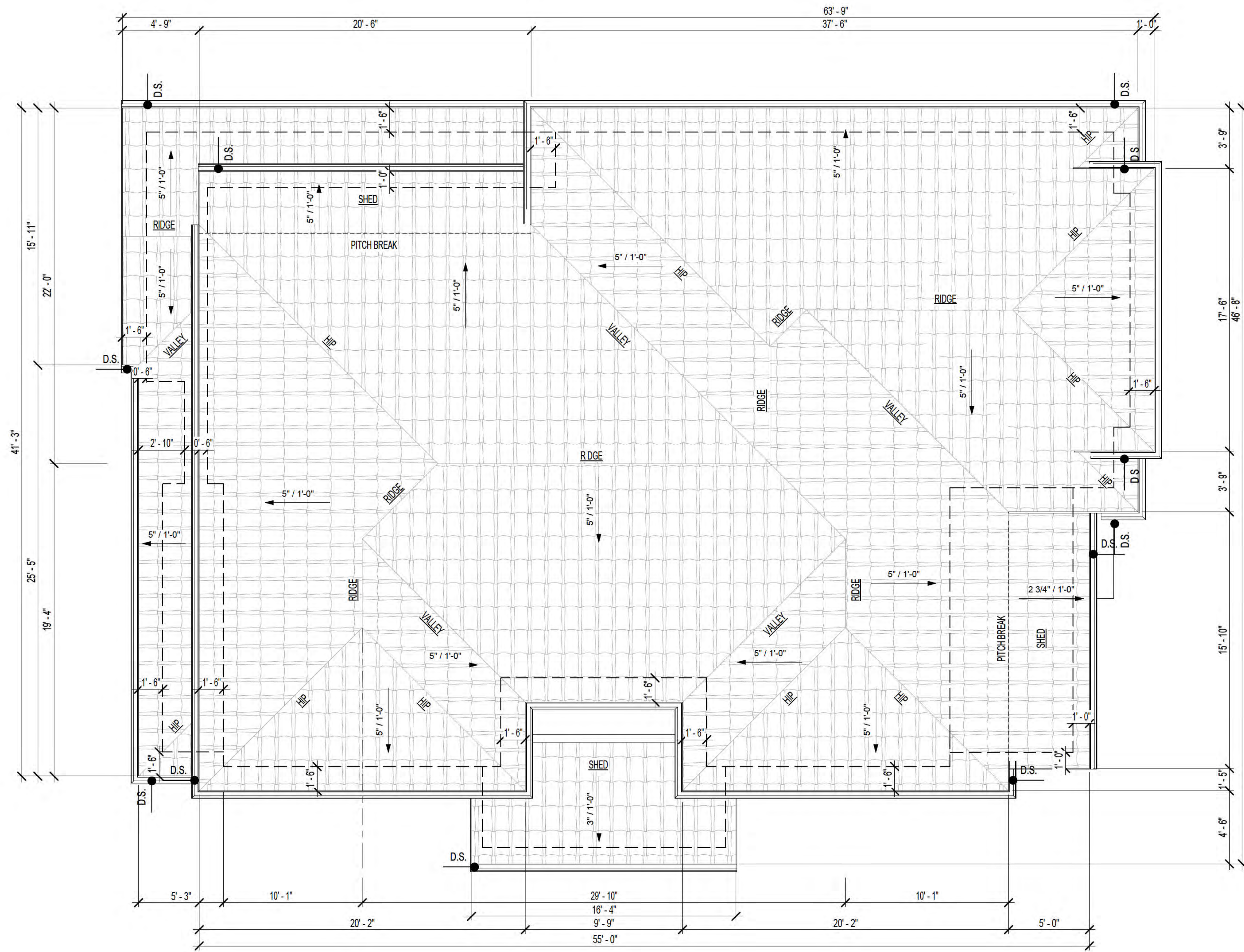
Floor Plan, Level 2, Proposed

A102

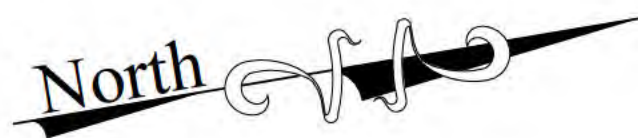
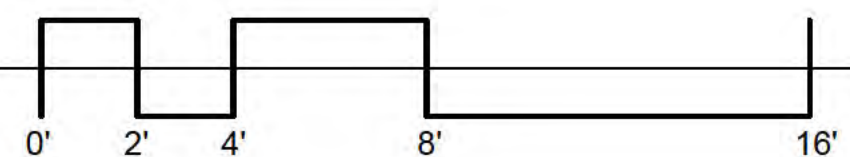
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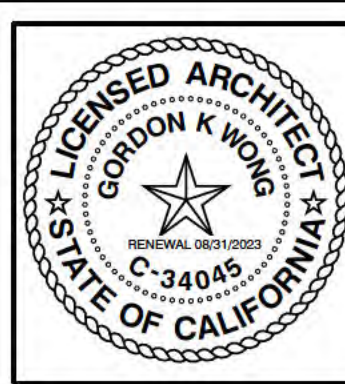
1 Roof Plan, Proposed
1/4" = 1'-0"



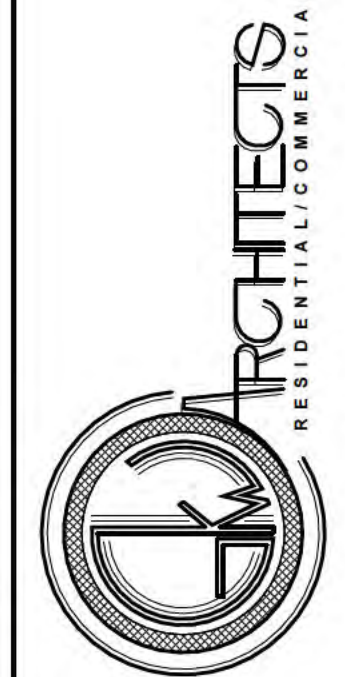
ROOF PLAN, PROPOSED, KEYNOTES

- 1 CLAY TILE ROOF, MIN. CLASS C RATING
- 2 FASCIA
- 3 GUTTER
- 4 DOWNSPOUTS

Roof Plan, Proposed



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Roof Plan,
Proposed

A103

SCALE 1/4" = 1'-0"

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ELEVATIONS, EXISTING, KEYNOTES

- 1 BUILDING TO BE DEMOLISHED

ELEVATIONS, EXISTING, KEYNOTES

ELEVATIONS, PROPOSED, KEYNOTES

- 1 ADDRESS IDENTIFICATION PER SCCFD STANDARDS
2 EXTERIOR WALL LIGHT NG
3 ARCHITECTURAL FEATURE - WROUGHT IRON DECOR
4 RAILING
5 STUCCO TR M
6 CORBEL

NOTES:

1. CONTRACTOR TO VERIFY ALL DIMENSION AND DESIGN ON SITE.
2. **ADDRESS IDENTIFICATION:** NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES HIGH WITH A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED. CFC SEC. 505.1
3. ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED WITH BULBS SHIELDED FROM VIEW.

MATERIAL & COLOR, LEGEND



CLAY ROOF TILES, BROWN VERREA



GARAGE DOOR, SPANISH STYLE WOOD STAINED FINISH, CUSTOM



STUCCO, ACCESSIBLE BEIGE SHERWIN WILLIAMS



ACCORDION DOOR, ALUMINUM W/ BLACK PAINT PANORAMIC SLIDING



FASICA BOARD, REDWOOD PAINTED FINISH W/ VAN DYKE BROWN SHERWIN WILLIAMS



WINDOW, 400 SERIES ANDERSEN



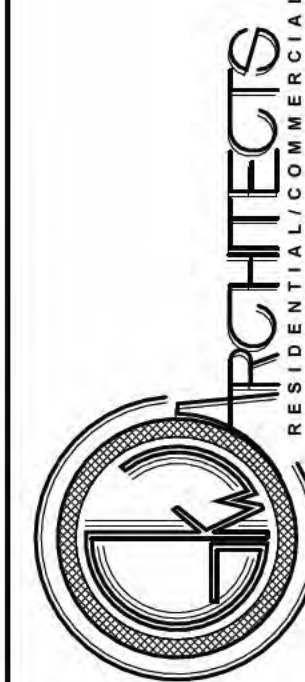
GUTTER ALUMINUM W/ BLACK PAINT GUTTER SUPPLY



RAILING WROUGHT IRON CUSTOM



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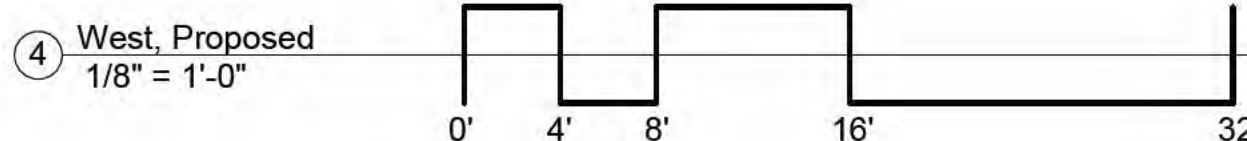
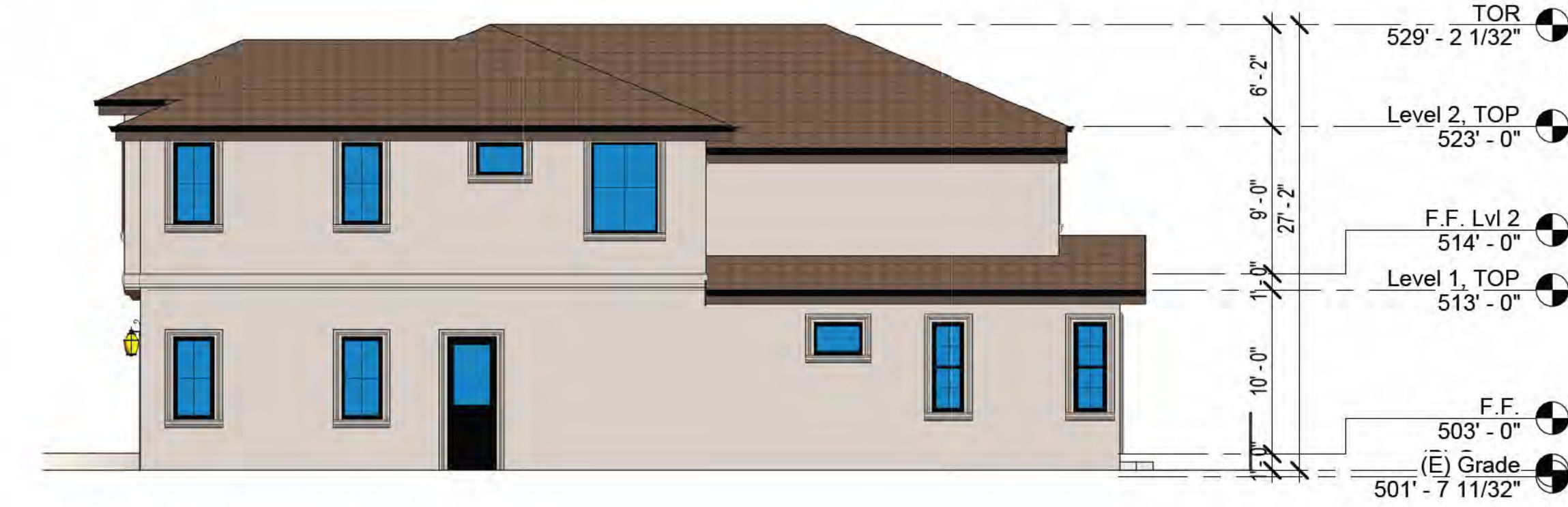
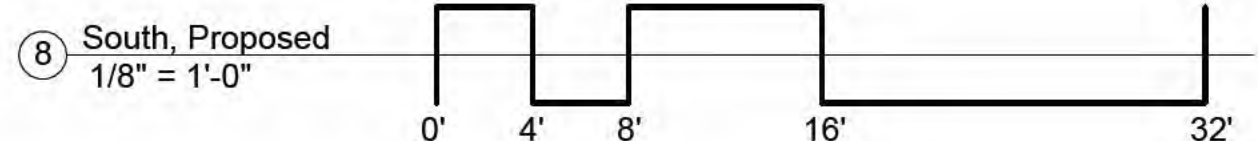
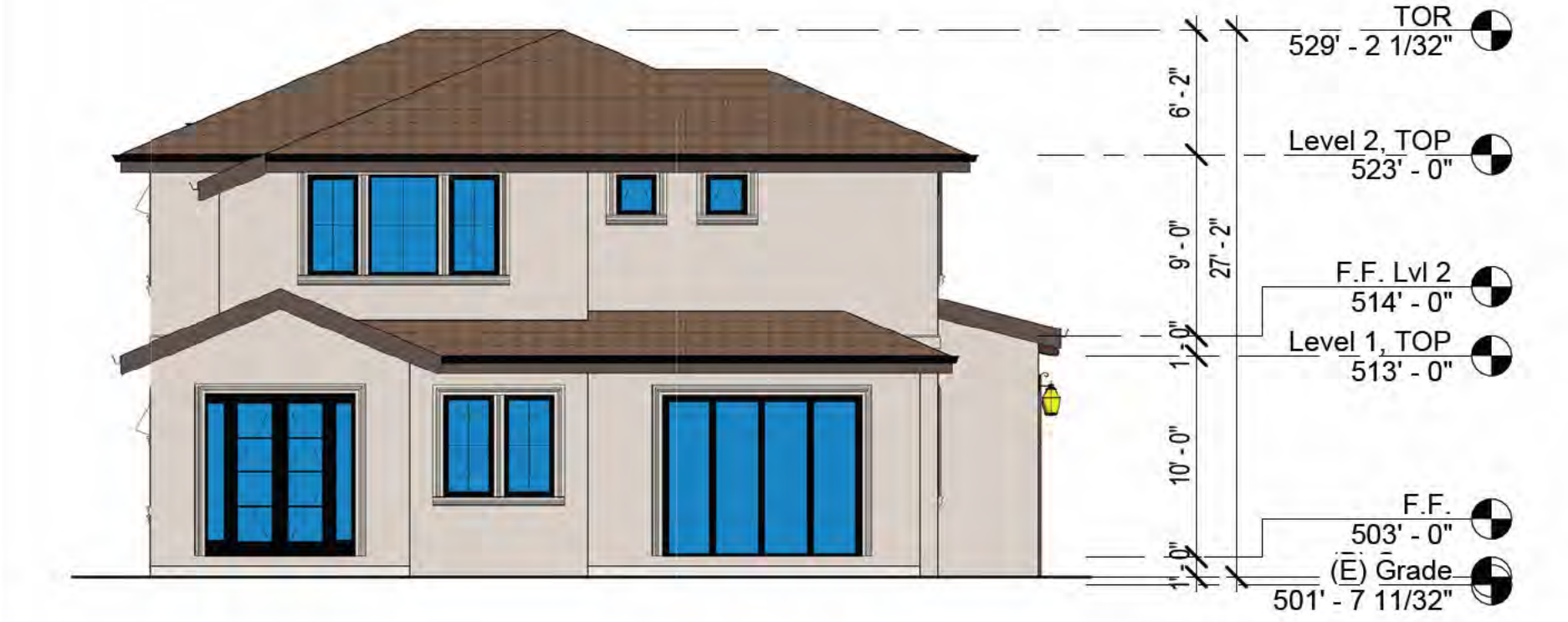
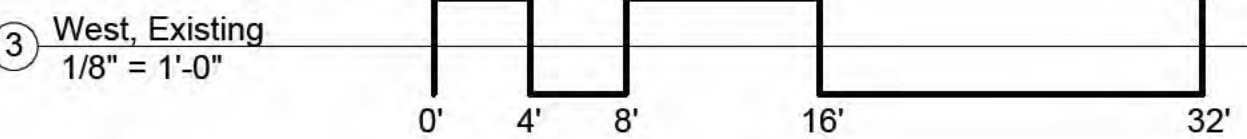
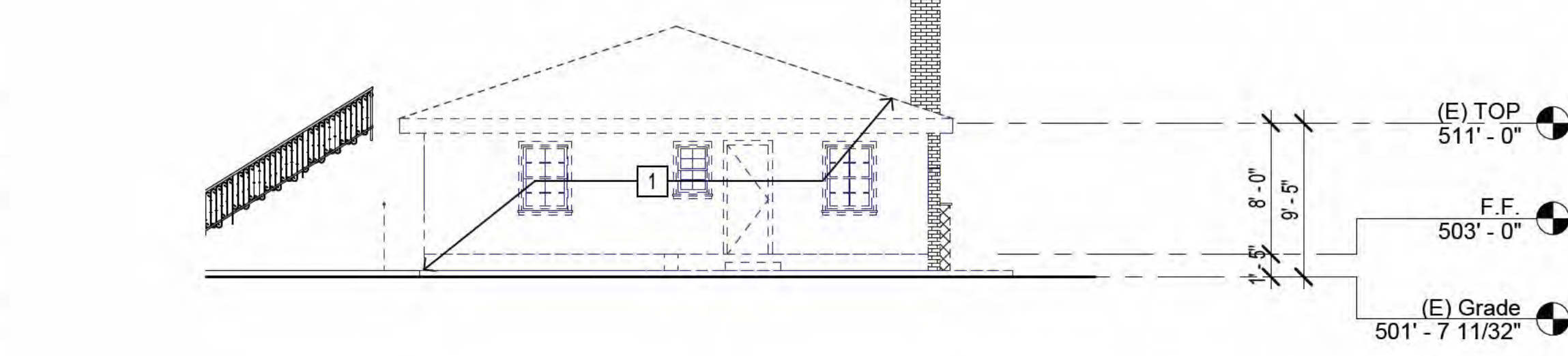
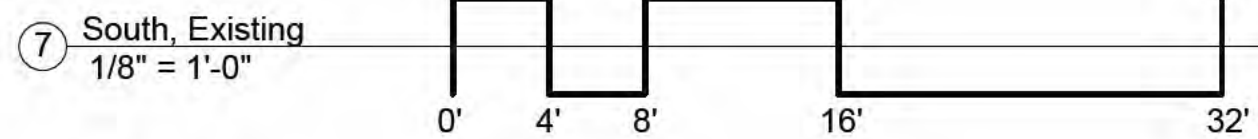
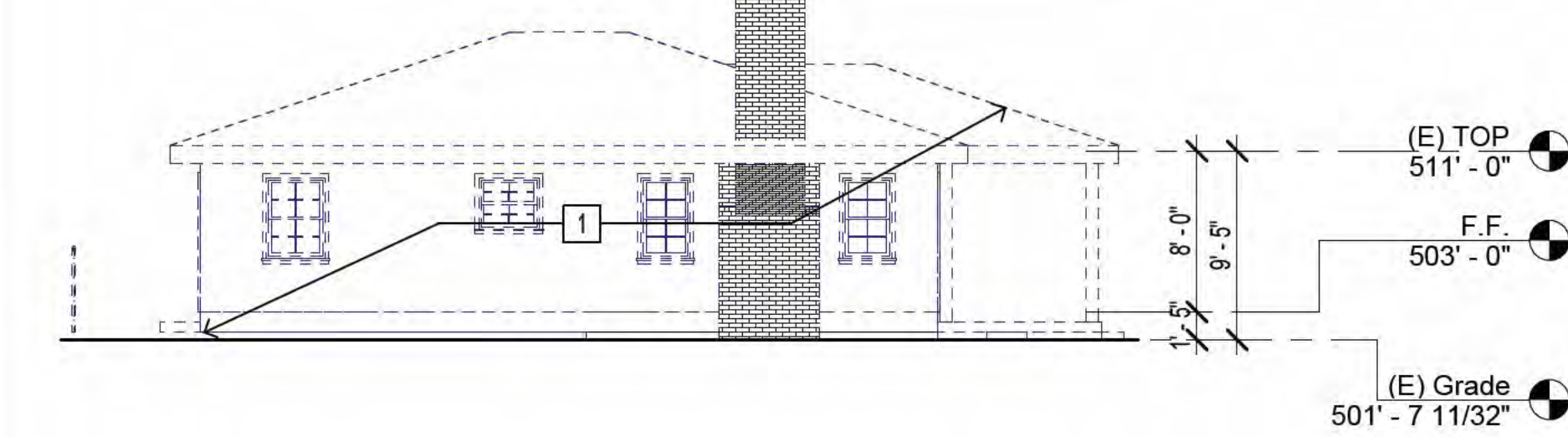
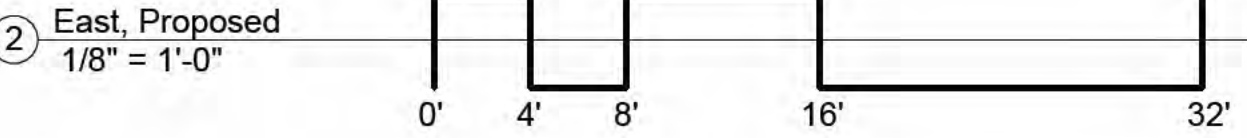
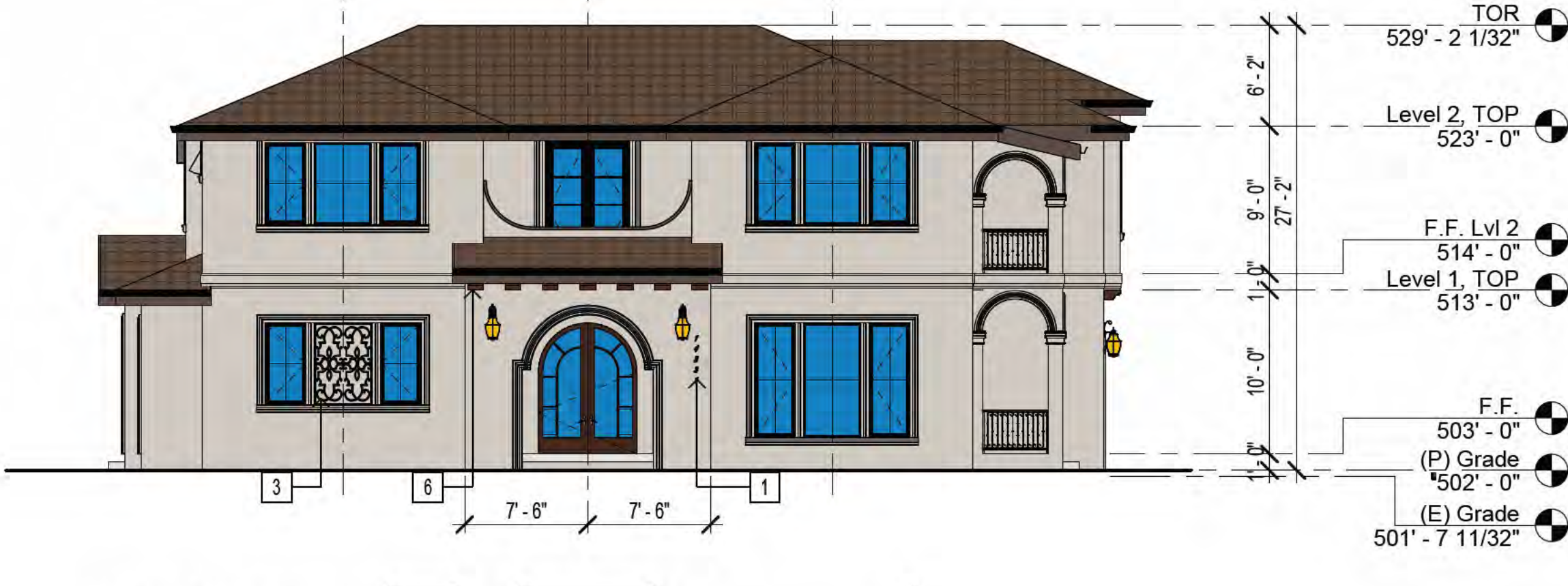
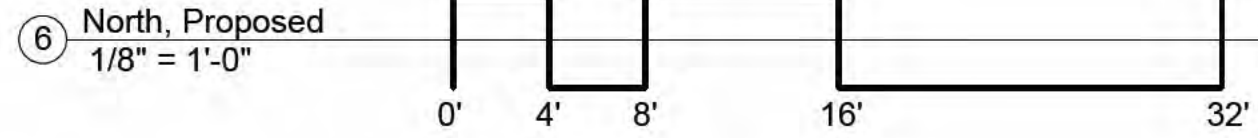
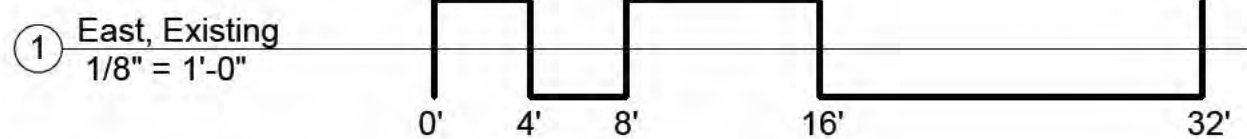
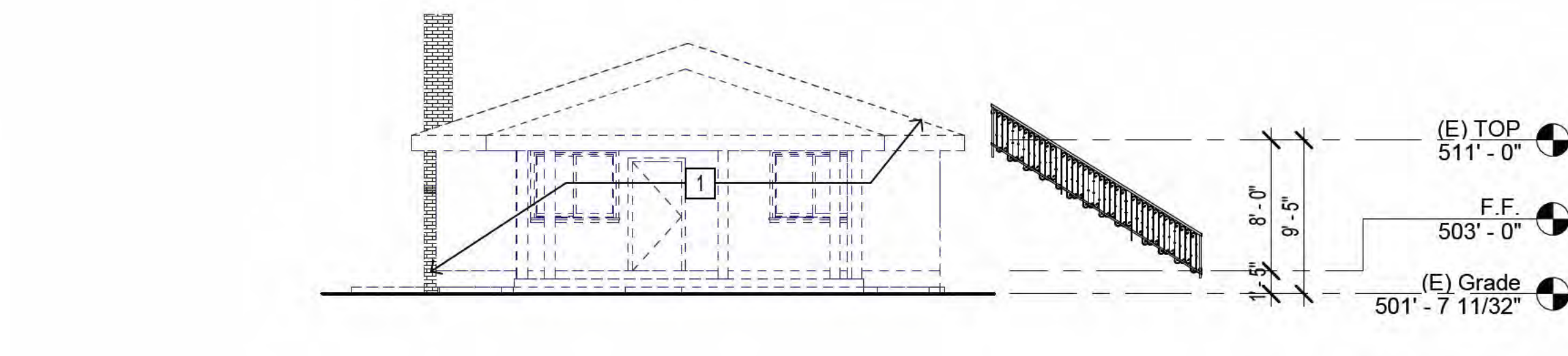
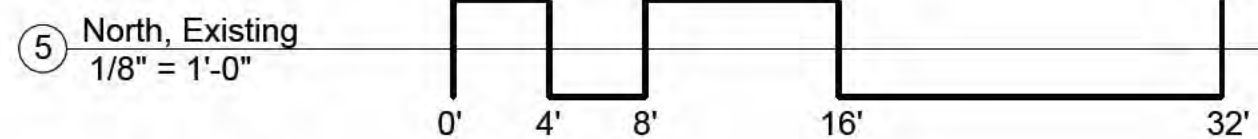
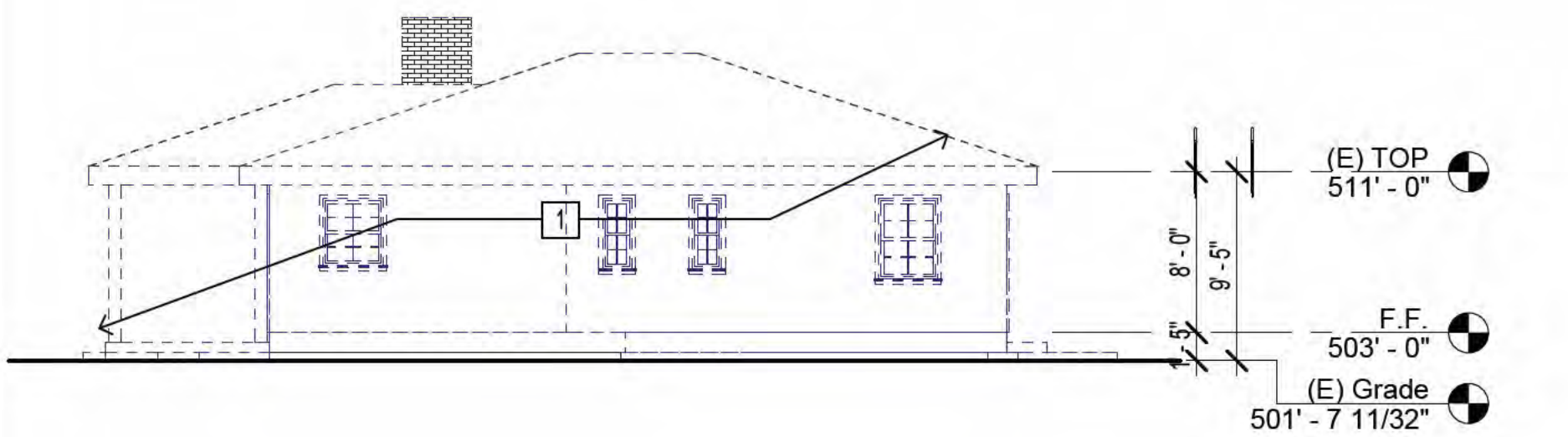
Elevations,
Existing &
Proposed

A200

SCALE As indicated

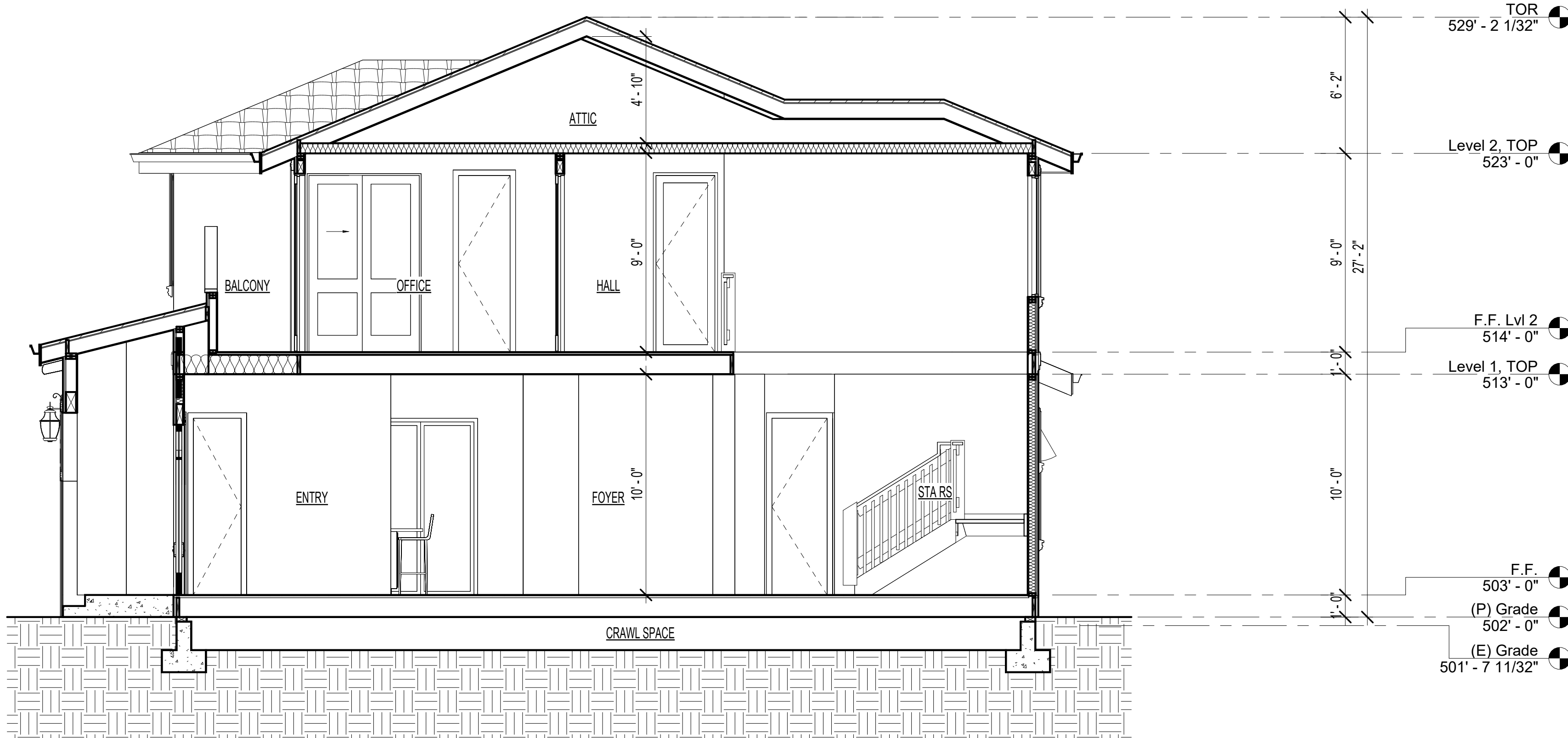
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Elevations, Existing & Proposed





1 Section AA
1/4" = 1'-0"



2 Section BB
1/4" = 1'-0"

SECTIONS, PROPOSED, KEYNOTES

- 1 DECOR
2 COFFERED CEILING

GENERAL SECTION NOTES:

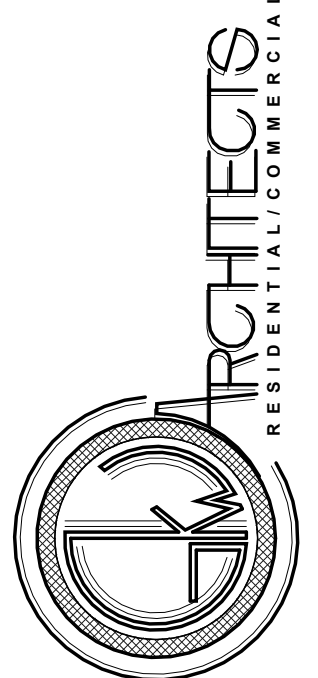
- PROVIDE MINIMUM CLEARANCE BETWEEN TOP PLATE OF INTERIOR PARTITIONS AND BOTTOM CHORD OF TRUSSES, S.S.D.
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS PER C.R.C. SECTION R302.11 AS FOLLOWS:
A. VERTICALLY AT THE CEILING AND FLOOR LEVELS
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10'
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING, AND COVE CEILING PER CRC SECTION R302.11.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN PER CRC SECTION 302.11.
- AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO MEET THE ASTM E 136 REQUIREMENTS.
- FIREBLOCKING OF CORNICES OF A TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF DWELLING UNIT SEPARATION.
- WITHIN CONCEALED SPACES OF EXTERIOR WALL FINISH AND OTHER EXTERIOR ARCHITECTURAL ELEMENTS WHERE PERMITTED TO BE COMBUSTIBLE CONSTRUCTION PER CBC SECTION 1406, OR WHERE ERECTED WITH COMBUSTIBLE FRAMES AT MAXIMUM INTERVALS OF 20 FEET, SO THAT THERE WILL BE NO OPEN SPACE EXCEEDING 100 SQUARE FEET PER CBC SECTION 717.26.
- WHERE WOOD FURRING STRIPS ARE USED, THEY SHALL BE ON AN APPROVED WOOD OF NATURAL DECAY RESISTANCE OR PRESERVATIVE-TREATED WOOD. IF CONTINUOUS, SUCH ELEMENTS SHALL HAVE CLOSED ENDS, WITH 4-INCH MINIMUM SEPARATION BETWEEN SECTIONS PER CBC SECTION 717.2.6

EXCEPTIONS: (PER CBC 717.2.6)

- FIREBLOCKING SHALL NOT BE REQUIRED WHERE INSTALLED ON NONCOMBUSTIBLE FRAMING AND THE FACE OF THE EXTERIOR WALL FINISH EXPOSED TO THE CONCEALED SPACE IS COVERED BY ONE OF THE FOLLOWING MATERIALS:
2.1 ALUMINUM HAVING A MINIMUM THICKNESS OF 0.019 INCH.
2.2 CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS NOT LESS THAN 0.016 INCH AT ANY POINT.
2.3 OTHER APPROVED NONCOMBUSTIBLE MATERIALS



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Sections,
Proposed

A300

SCALE 1/4" = 1'-0"

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