

10.1.20

Print date:
 2/11/20
 1/20/20
 8/2/20
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 2/22/20
 1/7/20

JAY PLETT
 ARCHITECT

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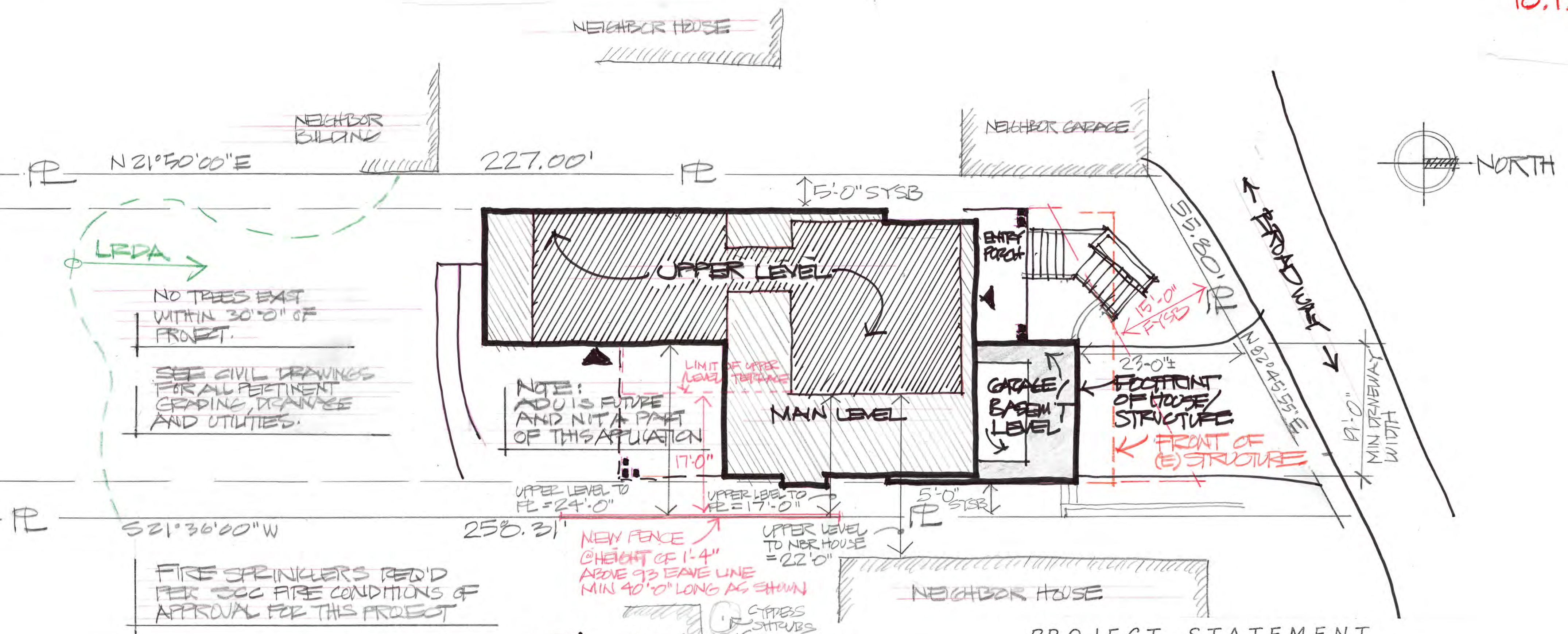
Date: Sheet

A-1

INDEX to DRAWINGS

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A-2	GARAGE / BASEMENT FLOOR PLAN
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C-2	CIVIL / GRADING PLANS
C-3	CIVIL / GRADING PLANS

N 61°21'00"W
 50.00'
 20'-0" FTSB



SITE PLAN 1"=10'-0"

OWNER
 MARK De MATTEI
 408 639 3337
 1794 The ALAMEDA
 SAN JOSE, Ca 95126

SITE PARTICULARS
 ZONE R-1D LHP
 APN 510-45-041
 SETBACKS: F = 15', S's = 5', R = 20'

AREA SUMMARY

GROSS SITE	12,132.0 sf
S = 23% = 39% reduction	
NET SITE	7,400.5 sf
FAR = .331	
ALLOWABLE FLOOR AREA	2,449.5 sf

PROPOSED FLOOR AREA

	BELOW GRADE SF	ABOVE GRADE SF
LOWER LEVEL	41.0 sf	0
MAIN LEVEL	0	1,341.5 sf
UPPER LEVEL	0	1,108.0 sf
TOTAL PROPOSED FLOOR AREA		2,449.5 sf

GARAGE AREA SUMMARY
 FAR_{gar} = .093
 ALLOWED GARAGE = 690 sf

PROPOSED GARAGE AREA

	BELOW GRADE SF	ABOVE GRADE SF
GARAGE AREAS	428 sf	367 sf
TOTAL GARAGE AREA		795 sf

LOT COVERAGE 2,697.5 22%
 LANAI/FRONT PORCH 418 sf
 FUTURE ADU 665 +/- sf

EXISTING HOUSE AS VIEWED FROM STREET W/ NON-HISTORIC, INAPPROPRIATE ALTERATIONS ACROSS ENTIRE FACADE. ALL HISTORIC VALUE HAS BEEN DESTROYED.



PHOTO OF EXISTING STRUCTURE.

PROJECT STATEMENT

THE EXISTING THREE STORY HOUSE IS PROPOSED TO BE DEMOLISHED. JUSTIFICATION AS FOLLOWS PER LIBRARY AND PLANNING RESOURCES:

- THE HOME IS NOT FOUND ON SANBORN MAPS
- THE HOME IS NOT FOUND IN ANNE BLOOMFIELD'S INVENTORY
- THE FRONT OF THE STRUCTURE HAS PRIORLY BEEN MODIFIED IN A MOST UNSEEMLY, UN-HISTORIC MANNER, THEREFORE ANY HISTORIC VALUE HAS ALREADY BEEN DESTROYED.
- THE STRUCTURE WAS SUBJECTED TO A FIRE IN 2017 - THE BUILDING'S INTEGRITY WAS AND HAS BEEN SEVERELY STRUCTURALLY COMPROMISED BY THAT FIRE AND AS A RESULT, ITS INTERIOR HAS BEEN FURTHER COMPROMISED BEING OPEN TO THE WEATHER, WITH NO EFFORT TO PROTECT IT.

A NEW HOME IS PROPOSED PER THE PLANS. IT HAS BEEN DESIGNED WITH THE CONSULTATION OF THE TOWN'S DESIGN GUIDELINES. IT BEEN SITUATED ON THE SITE TO BE IN HARMONY WITH THE HOMES ON EITHER SIDE AND THE NEIGHBORHOOD WITH MASSING THAT STEPS UP THE SLOPING LOT, FITTING AND BLENDING INTO ITS SITE ENVIRONMENT. THE SIDING WILL BE PREDOMINATELY HORIZONTAL LAP WOOD SIDING WHICH IS TYPICAL OF HISTORIC STYLE WITH A PLASTER BASE AT THE LOWER LEVEL. THE WINDOWS AND DOORS HAVE BEEN DESIGNED WITH A HISTORIC VERNACULAR OF A FOUR LITE DESIGN PATTERN WITH THE EXTERIOR DOORS HAVING A PANEL DESIGN AT THE BOTTOM.

THE DE MATTEI RES.
 101 BROADWAY
 LOS GATOS CA

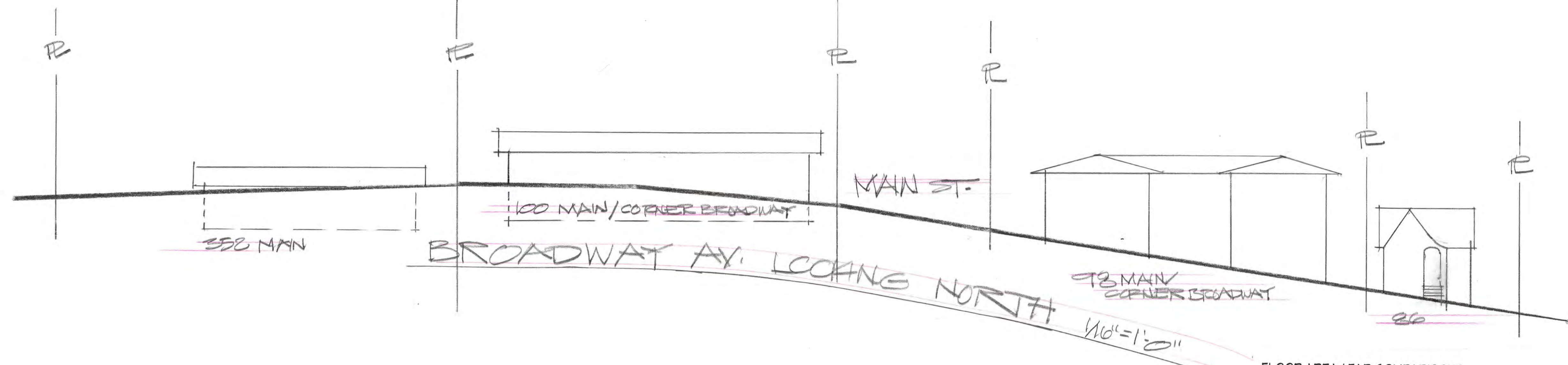
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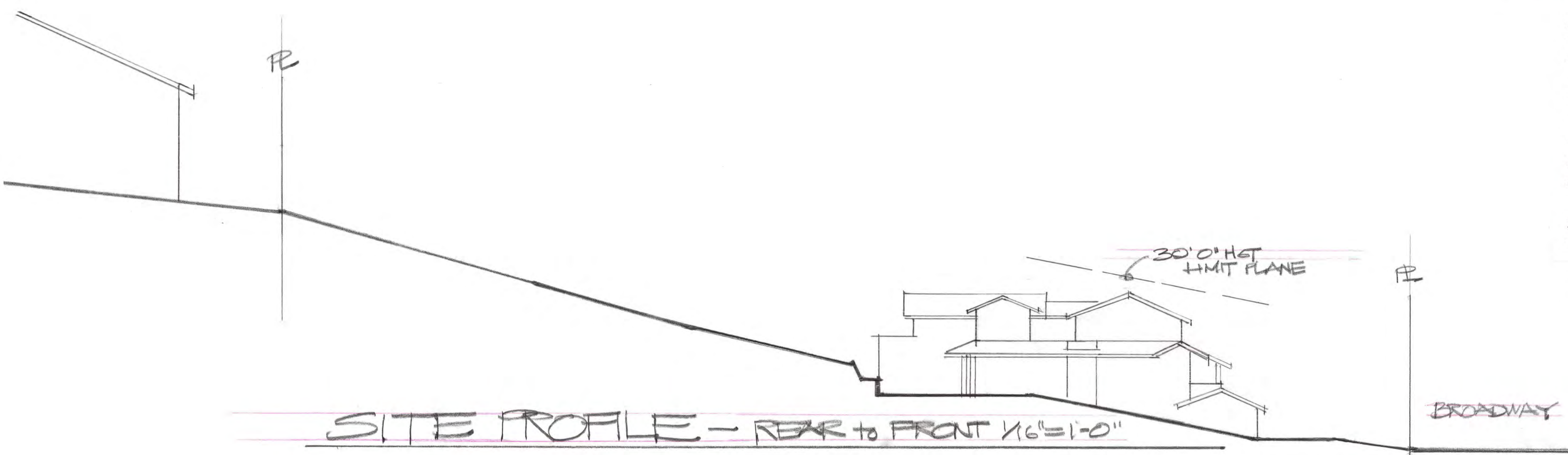
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 A-1.1



FLOOR AREA / FAR COMPARISONS

ADDRESS	LOT SIZE	FLOOR AREA	GARAGE	COMPARATIVE FAR
89 BROADWAY	6,419	1,270	200	0.198
93 BROADWAY	5,662	1,817	322	0.321
107 BROADWAY	11,300	1,496	360	0.132
115 BROADWAY	21,502	2,614	192	0.122
100 BROADWAY	13,080	3,608	0	0.276
98 BROADWAY	5,701	2,336	0	0.410
352 W. MAIN	24,990	5,502	0	0.220
86 BROADWAY	5,440	2,493	324	0.458
PROJECT HOME				
101 BROADWAY	12,132	2,449.5	690	0.202



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7/20/20
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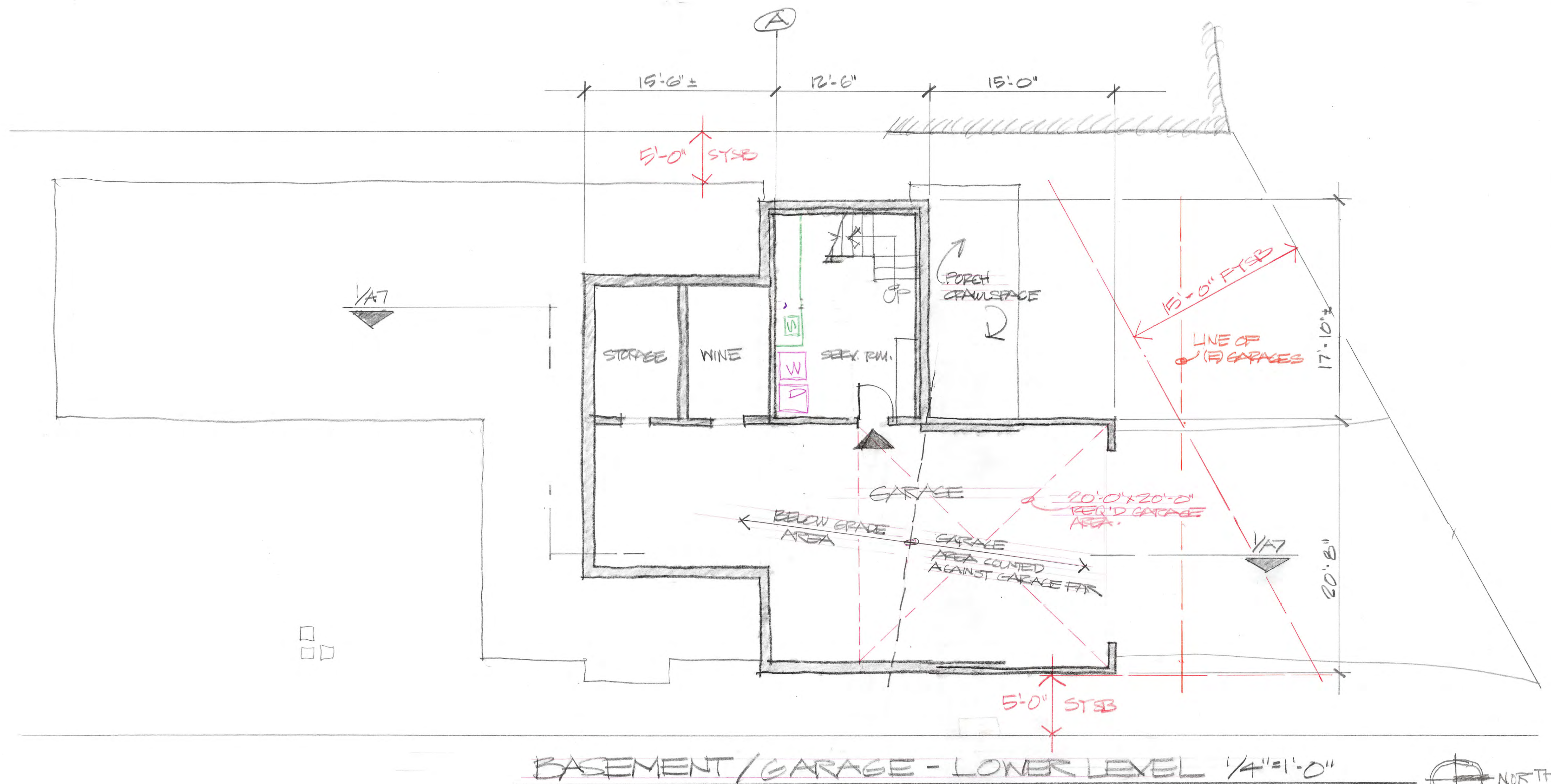
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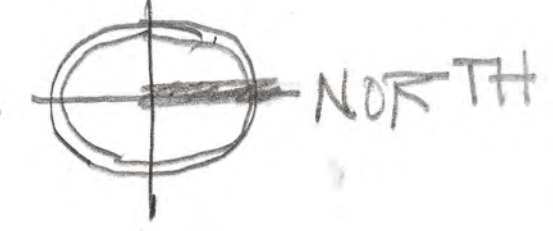
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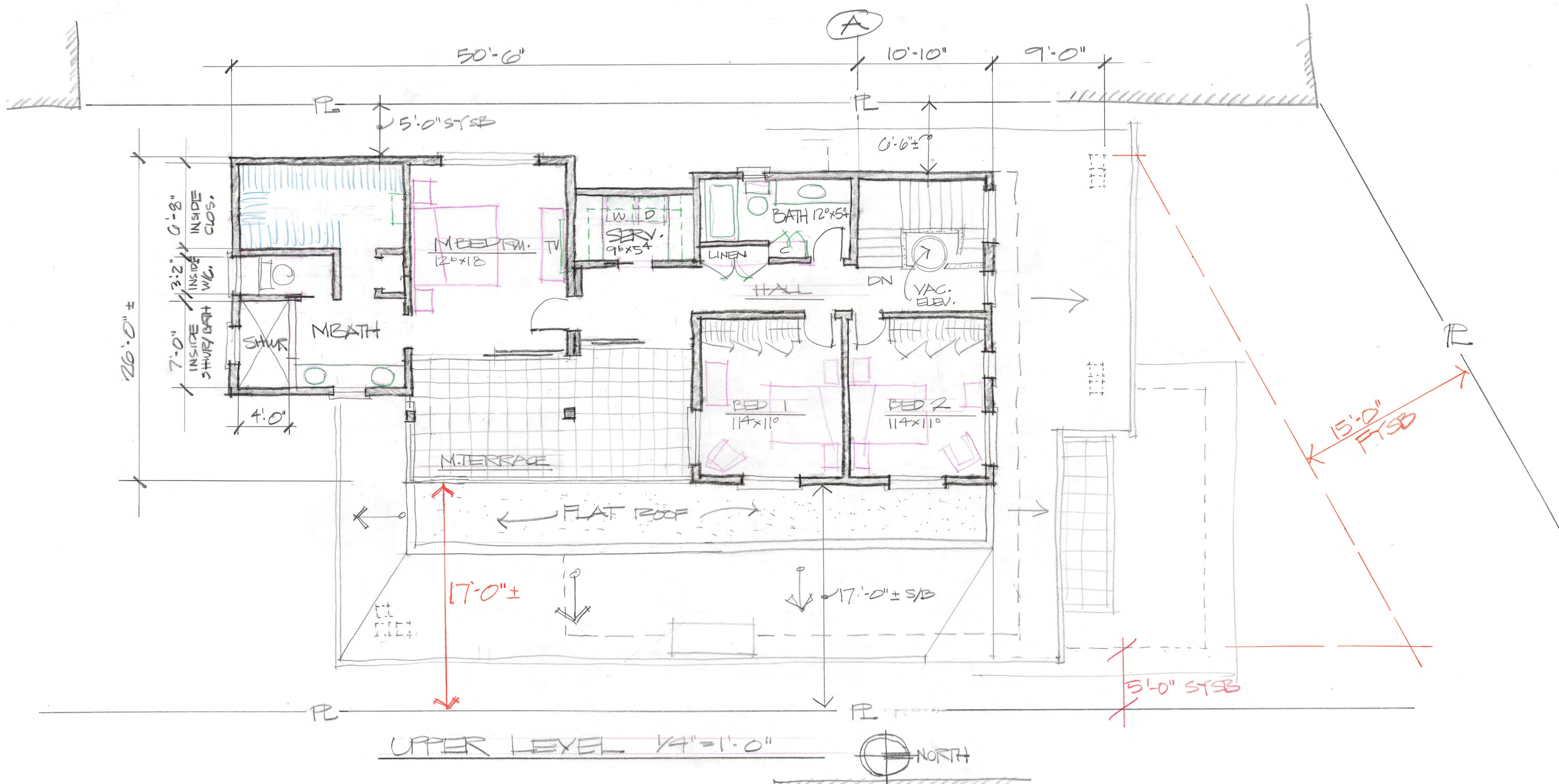
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A-2



BASEMENT/GARAGE - LOWER LEVEL 1/4"=1'-0"





UPPER LEVEL 1/4" = 1'-0" NORTH

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 01 BROADWAY
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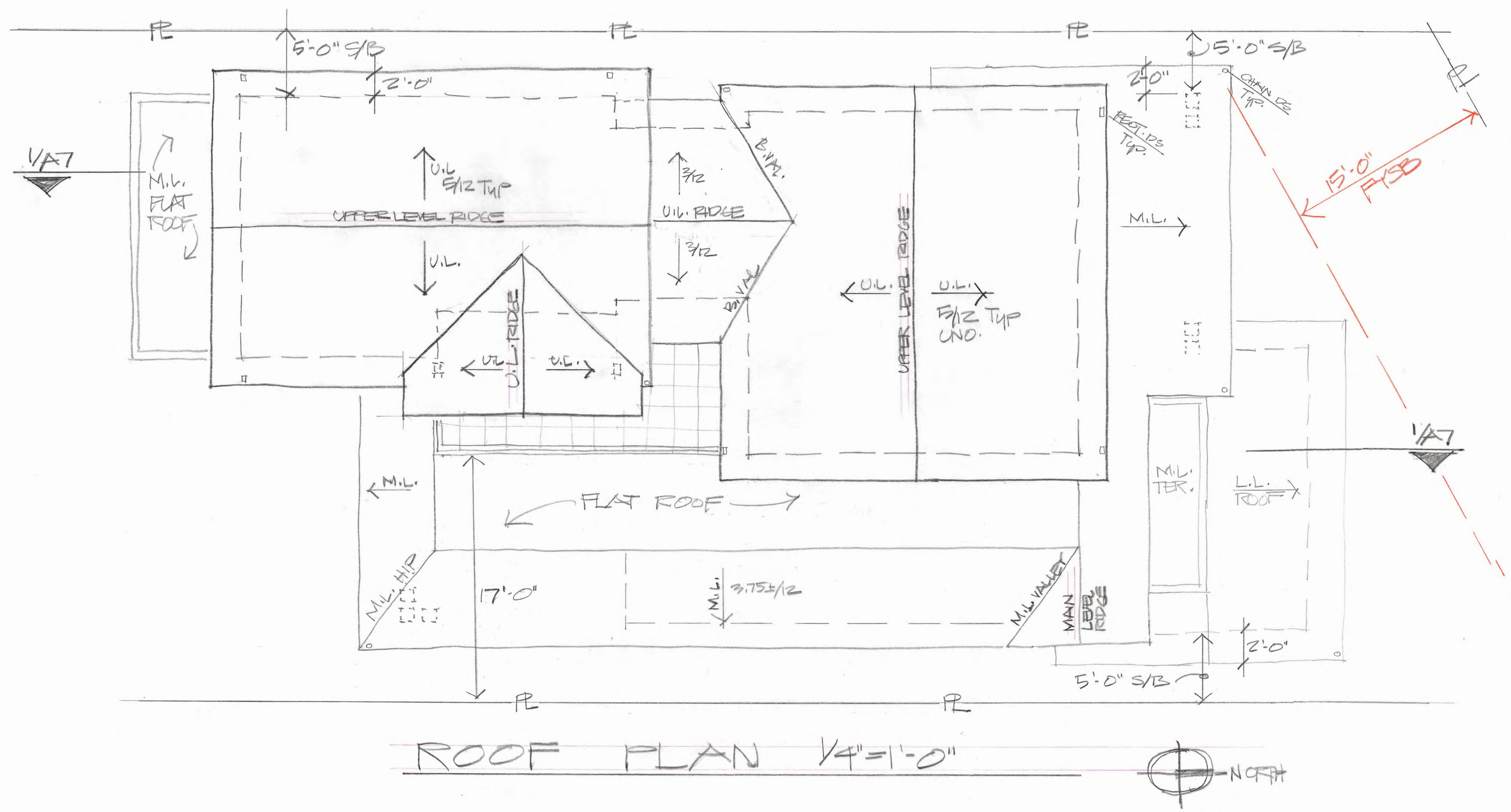
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ROOF PLAN 1/4"=1'-0" 

TTC DONATEL RES
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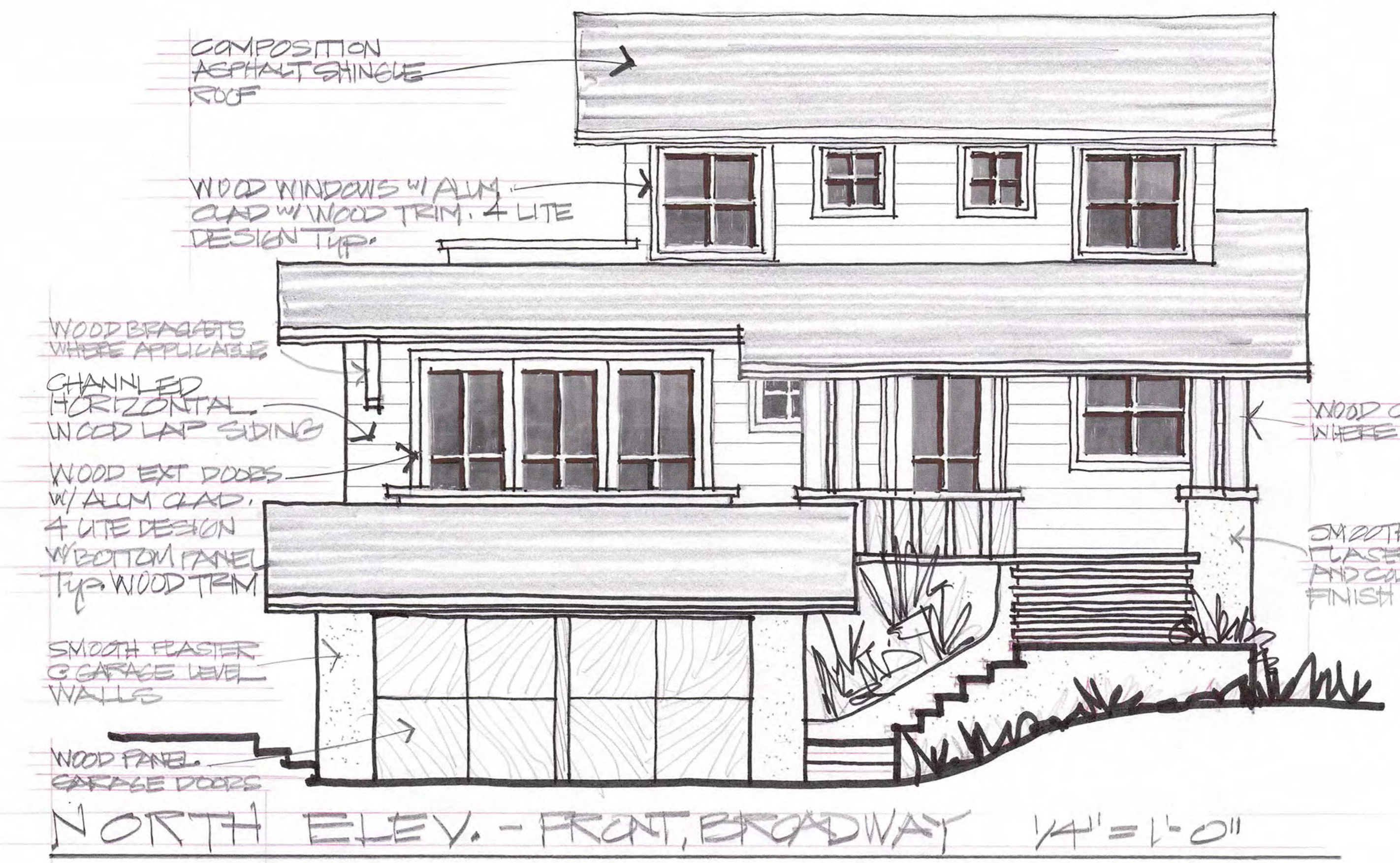
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Date: Sheet

A-6



SOUTH ELEV. 1/4" = 1'-0"



NORTH ELEV. - FRONT, BROADWAY 1/4" = 1'-0"

COMPOSITION
ASPHALT SHINGLE
ROOF

WOOD WINDOWS w/ ALUM.
CLAD w/ WOOD TRIM. & LITE
DESIGN TIP.

WOOD BRACKETS
WHERE APPLICABLE

CHANNELLED
HORIZONTAL
WOOD LAP SIDING

WOOD EXT. DOORS
w/ ALUM. CLAD.
& LITE DESIGN
w/ BOTTOM PANEL
TYP. WOOD TRIM.

SMOOTH PLASTER
& GARAGE LEVEL
WALLS

WOOD PANEL
GARAGE DOORS

WOOD COLUMNS
WHERE OCCURS

SMOOTH
PLASTER
AND COLUMN BASE
FINISH.



EAST ELEV. 1/4" = 1'-0"

30'-0" MAX ALLOWED
HEIGHT RELATIVE NATURAL GRADE

28'-6" ±
MAX PROPOSED
HEIGHT

FINISH GRADE -
SOLID LINE

CEILING
SPACE

ABOVE
GRADE

BELOW GRADE
SPACE

EXISTING/NATURAL
GRADE - DASHED
LINE

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 1/17/20

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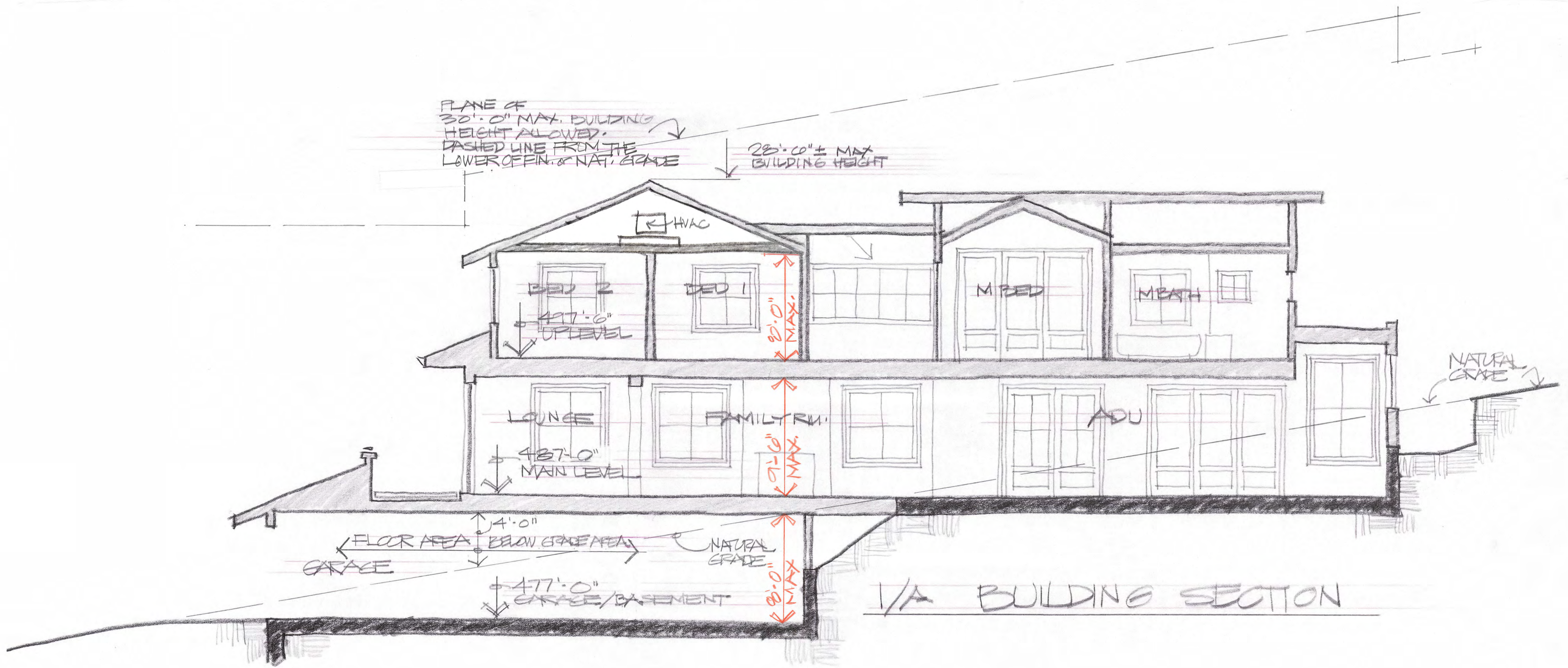
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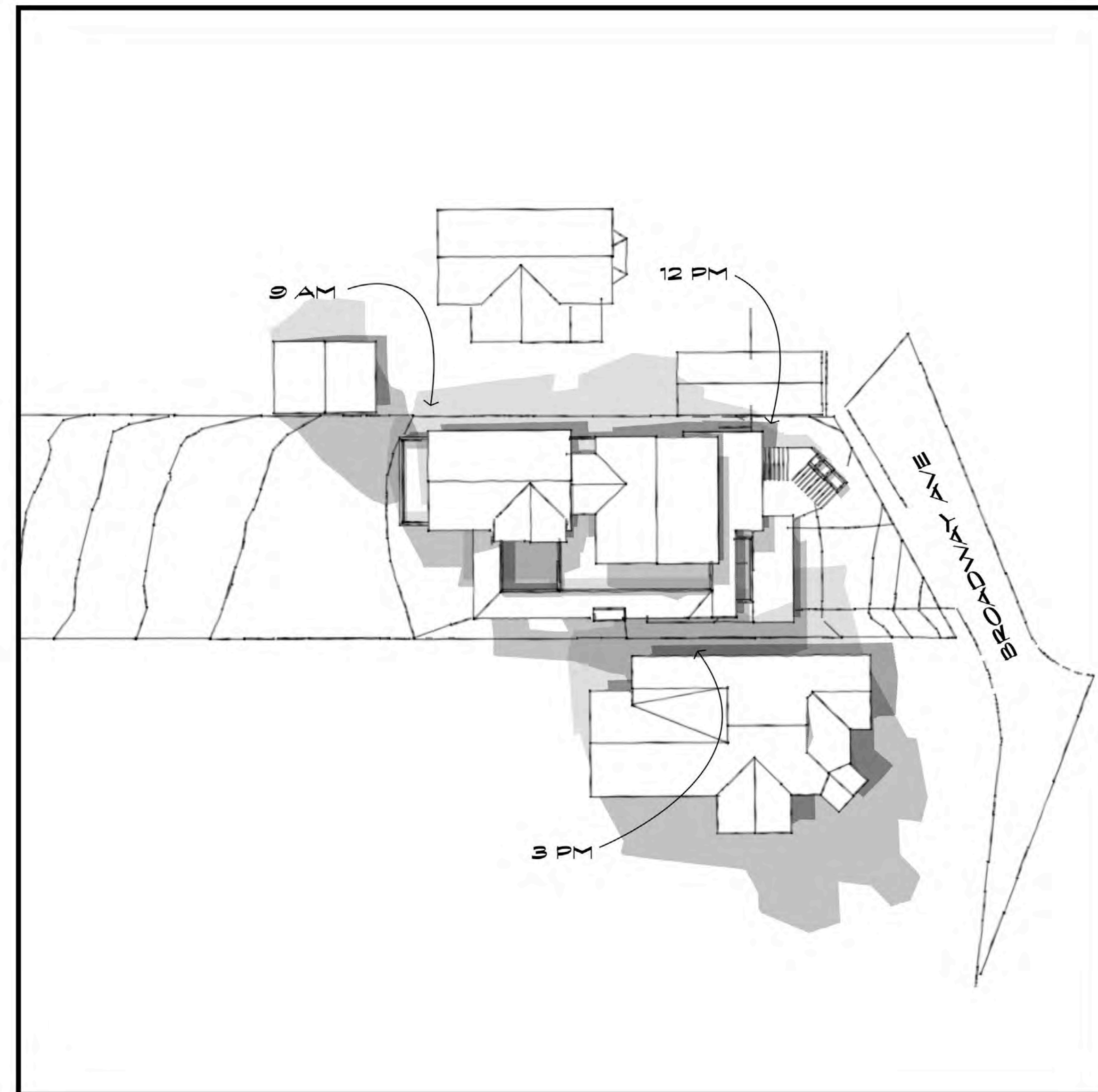
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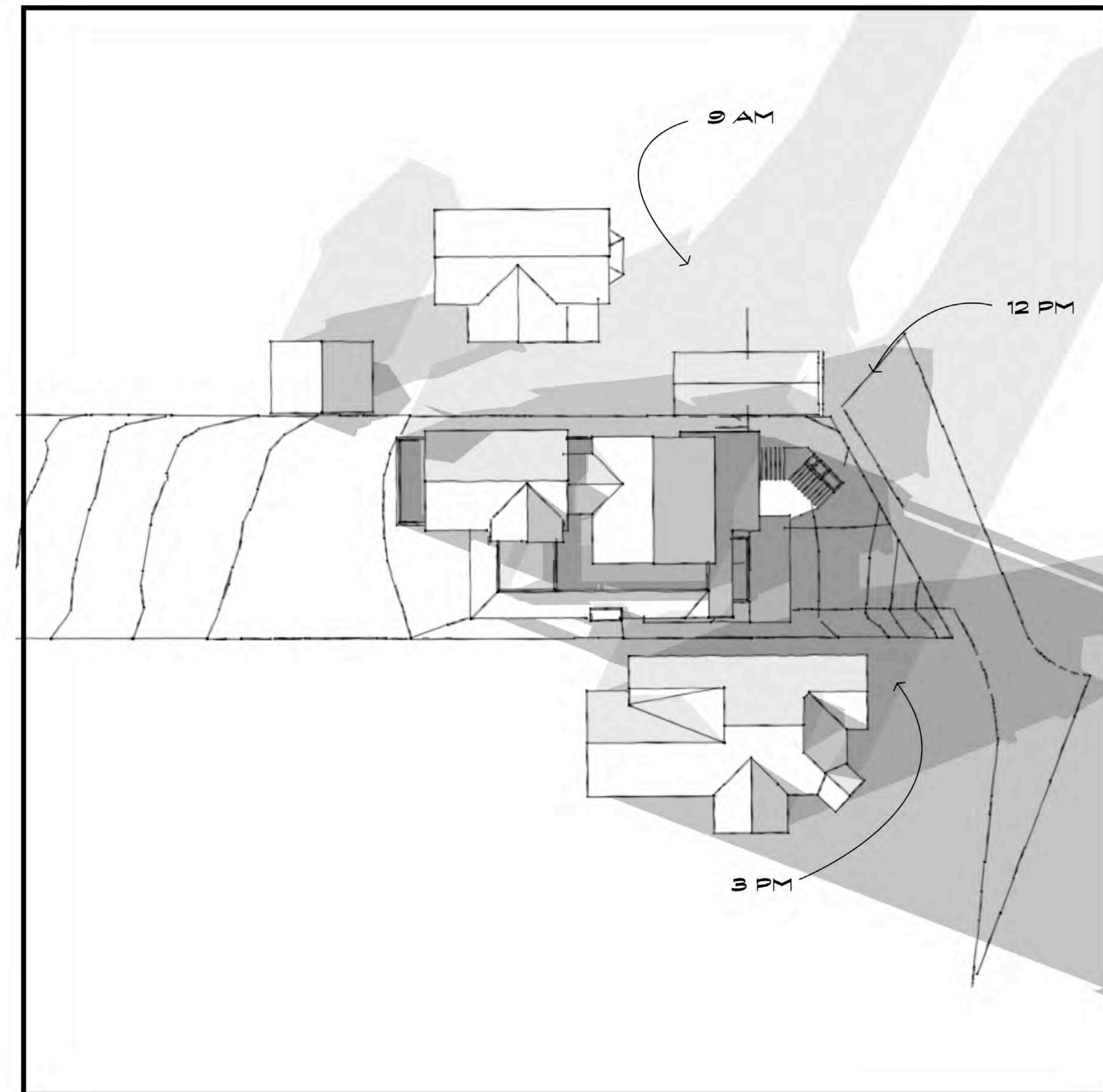
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SHADOW STUDIES JUNE 21



SHADOW STUDIES DECEMBER 21

Print date :

1/7/20
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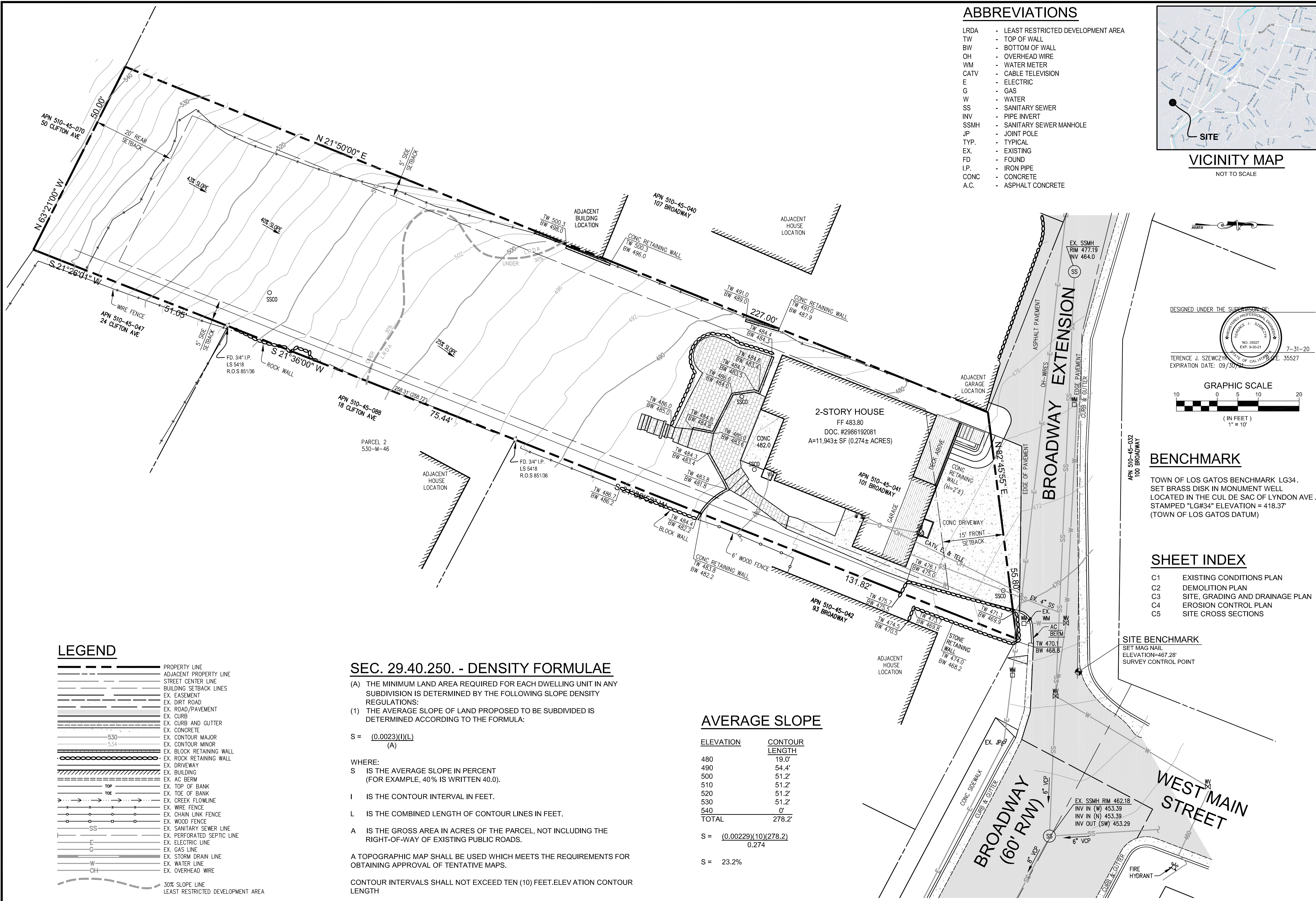
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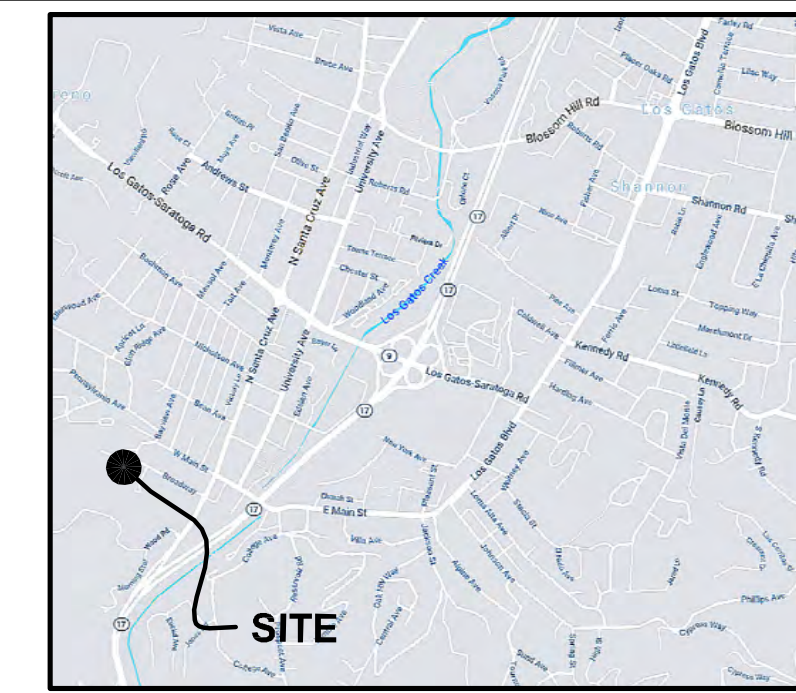
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ABBREVIATIONS

- LRDA - LEAST RESTRICTED DEVELOPMENT AREA
- TW - TOP OF WALL
- BW - BOTTOM OF WALL
- OH - OVERHEAD WIRE
- WM - WATER METER
- CATV - CABLE TELEVISION
- E - ELECTRIC
- G - GAS
- W - WATER
- SS - SANITARY SEWER
- INV - PIPE INVERT
- SSMH - SANITARY SEWER MANHOLE
- JP - JOINT POLE
- TYP. - TYPICAL
- EX. - EXISTING
- FD - FOUND
- I.P. - IRON PIPE
- CONC - CONCRETE
- A.C. - ASPHALT CONCRETE



VICINITY MAP
NOT TO SCALE

DESIGNED UNDER THE SUPERVISION OF

 TERENCE J. SZEWCZYK
 EXPIRATION DATE: 09/30/2021
 7-31-20

GRAPHIC SCALE
 10 0 5 10 20
 (IN FEET)
 1" = 10'

BENCHMARK

TOWN OF LOS GATOS BENCHMARK LG34.
 SET BRASS DISK IN MONUMENT WELL
 LOCATED IN THE CUL DE SAC OF LYNDON AVE.
 STAMPED "LG#34" ELEVATION = 418.37'
 (TOWN OF LOS GATOS DATUM)

SHEET INDEX

- C1 EXISTING CONDITIONS PLAN
- C2 DEMOLITION PLAN
- C3 SITE, GRADING AND DRAINAGE PLAN
- C4 EROSION CONTROL PLAN
- C5 SITE CROSS SECTIONS

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- STREET CENTER LINE
- BUILDING SETBACK LINES
- EX. EASEMENT
- EX. DIRT ROAD
- EX. ROAD/PAVEMENT
- EX. CURB
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. CONTOUR MAJOR
- EX. CONTOUR MINOR
- EX. BLOCK RETAINING WALL
- EX. ROCK RETAINING WALL
- EX. DRIVEWAY
- EX. BUILDING
- EX. AC BERM
- EX. TOP OF BANK
- EX. TOE OF BANK
- EX. CREEK FLOWLINE
- EX. WIRE FENCE
- EX. CHAIN LINK FENCE
- EX. WOOD FENCE
- EX. SANITARY SEWER LINE
- EX. PERFORATED SEPTIC LINE
- EX. ELECTRIC LINE
- EX. GAS LINE
- EX. STORM DRAIN LINE
- EX. WATER LINE
- EX. OVERHEAD WIRE
- 30% SLOPE LINE
- LEAST RESTRICTED DEVELOPMENT AREA

SEC. 29.40.250. - DENSITY FORMULAE

(A) THE MINIMUM LAND AREA REQUIRED FOR EACH DWELLING UNIT IN ANY SUBDIVISION IS DETERMINED BY THE FOLLOWING SLOPE DENSITY REGULATIONS:

(1) THE AVERAGE SLOPE OF LAND PROPOSED TO BE SUBDIVIDED IS DETERMINED ACCORDING TO THE FORMULA:

$$S = \frac{(0.0023)(I)(L)}{(A)}$$

WHERE:

S IS THE AVERAGE SLOPE IN PERCENT (FOR EXAMPLE, 40% IS WRITTEN 40.0).

I IS THE CONTOUR INTERVAL IN FEET.

L IS THE COMBINED LENGTH OF CONTOUR LINES IN FEET.

A IS THE GROSS AREA IN ACRES OF THE PARCEL, NOT INCLUDING THE RIGHT-OF-WAY OF EXISTING PUBLIC ROADS.

A TOPOGRAPHIC MAP SHALL BE USED WHICH MEETS THE REQUIREMENTS FOR OBTAINING APPROVAL OF TENTATIVE MAPS.

CONTOUR INTERVALS SHALL NOT EXCEED TEN (10) FEET. ELEVATION CONTOUR LENGTH

AVERAGE SLOPE

ELEVATION	CONTOUR LENGTH
480	19.0'
490	54.4'
500	51.2'
510	51.2'
520	51.2'
530	51.2'
540	0'
TOTAL	278.2'

$$S = \frac{(0.00229)(10)(278.2)}{0.274}$$

$$S = 23.2\%$$

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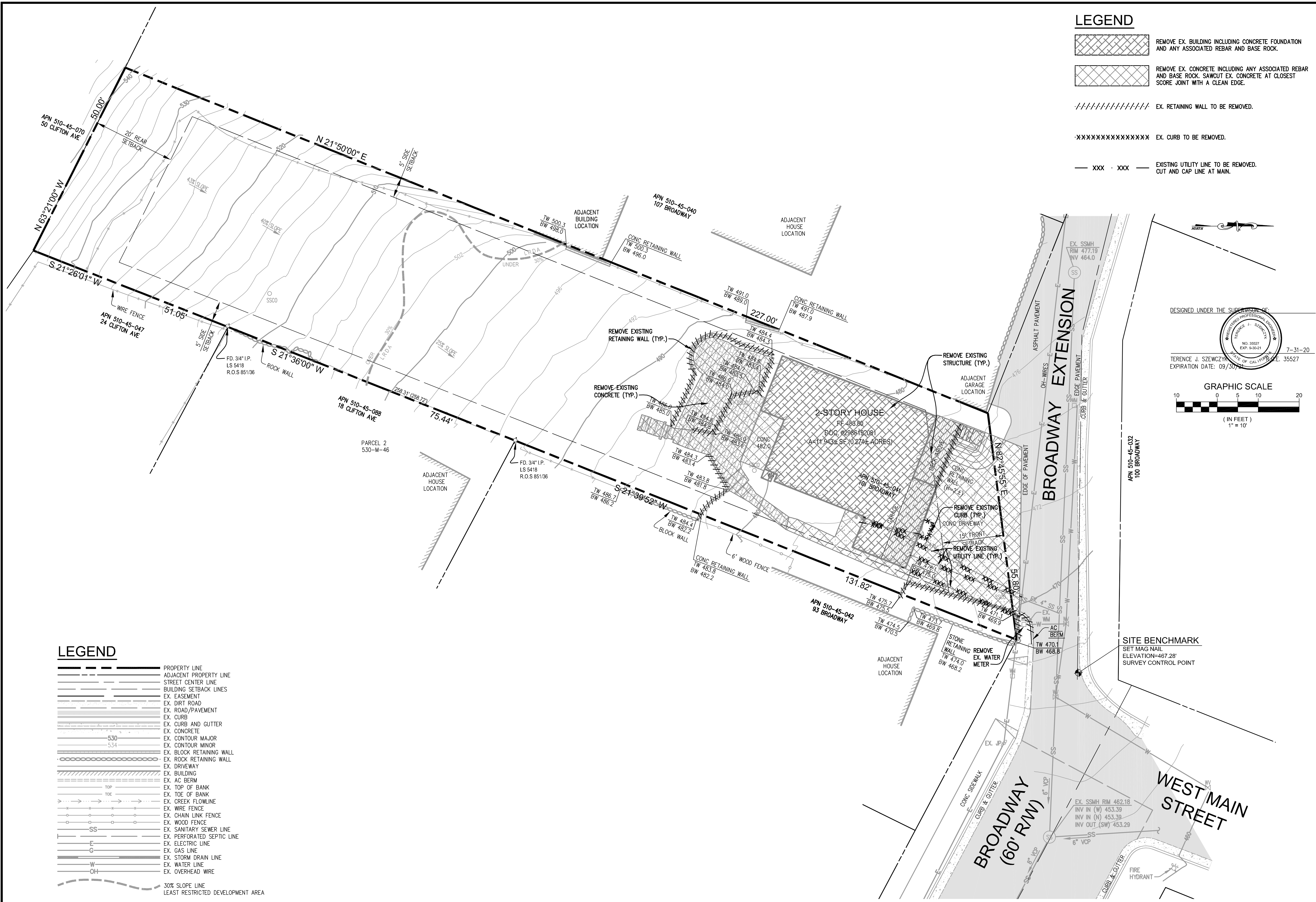
EXISTING CONDITIONS PLAN
 101 BROADWAY
 LOS GATOS, CA, 95030
 APN 510-45-041

NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

DATE: 7-31-20
 SCALE: 1"=10'
 DRAWN BY: DKH
 SURVEYED BY: TJS
 PROJ ENGR: TJS
 CHECK BY: TJS
 SHEET NO. **C1**
 OF 5 SHEETS
 JOB NO. 19-246

07/31/2020 4:20pm - N:\2019 JOBS\19-246\DWG\19-246 C1 EXISTING CONDITIONS.dwg - C1

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LEGEND

- REMOVE EX. BUILDING INCLUDING CONCRETE FOUNDATION AND ANY ASSOCIATED REBAR AND BASE ROCK.
- REMOVE EX. CONCRETE INCLUDING ANY ASSOCIATED REBAR AND BASE ROCK, SAWCUT EX. CONCRETE AT CLOSEST SCORE JOINT WITH A CLEAN EDGE.
- EX. RETAINING WALL TO BE REMOVED.
- EX. CURB TO BE REMOVED.
- EXISTING UTILITY LINE TO BE REMOVED. CUT AND CAP LINE AT MAIN.

LEGEND

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- STREET CENTER LINE
- BUILDING SETBACK LINES
- EX. EASEMENT
- EX. DIRT ROAD
- EX. ROAD/PAVEMENT
- EX. CURB
- EX. CURB AND GUTTER
- EX. CONCRETE
- EX. CONTOUR MAJOR
- EX. CONTOUR MINOR
- EX. BLOCK RETAINING WALL
- EX. ROCK RETAINING WALL
- EX. DRIVEWAY
- EX. BUILDING
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- EX. SANITARY SEWER LINE
- EX. PERFORATED SEPTIC LINE
- EX. ELECTRIC LINE
- EX. GAS LINE
- EX. STORM DRAIN LINE
- EX. WATER LINE
- EX. OVERHEAD WIRE
- 30% SLOPE LINE
- LEAST RESTRICTED DEVELOPMENT AREA

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWCZYK
 EXPIRATION DATE: 09/30/21

GRAPHIC SCALE
 1" = 10'

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DEMOLITION PLAN
 101 BROADWAY
 LOS GATOS, CA, 95030
 APN 510-45-041

NO.	REVISIONS	DATE
6		
5		
4		
3		
2		
1		

DATE: 7-31-20
 SCALE: 1"=10'
 DRAWN BY: DKH
 SURVEYED BY:
 PROJ ENGR: TJS
 CHECK BY: TJS
 SHEET NO. **C2**
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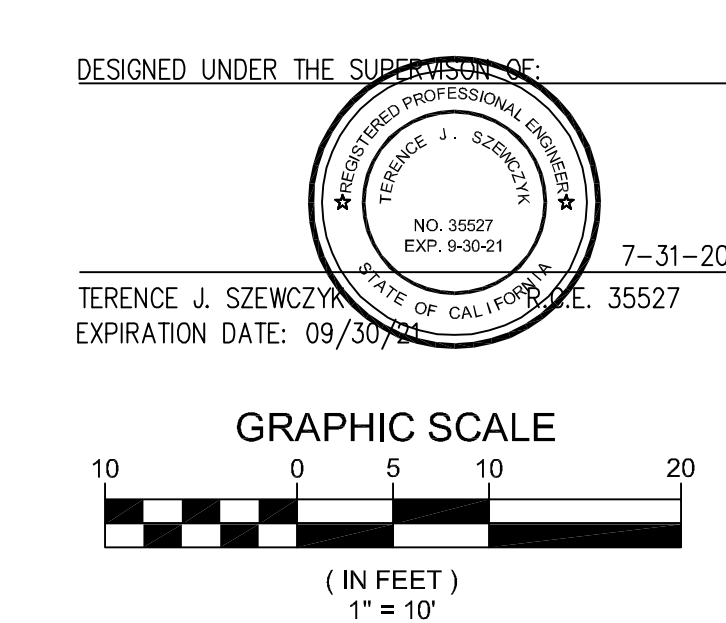
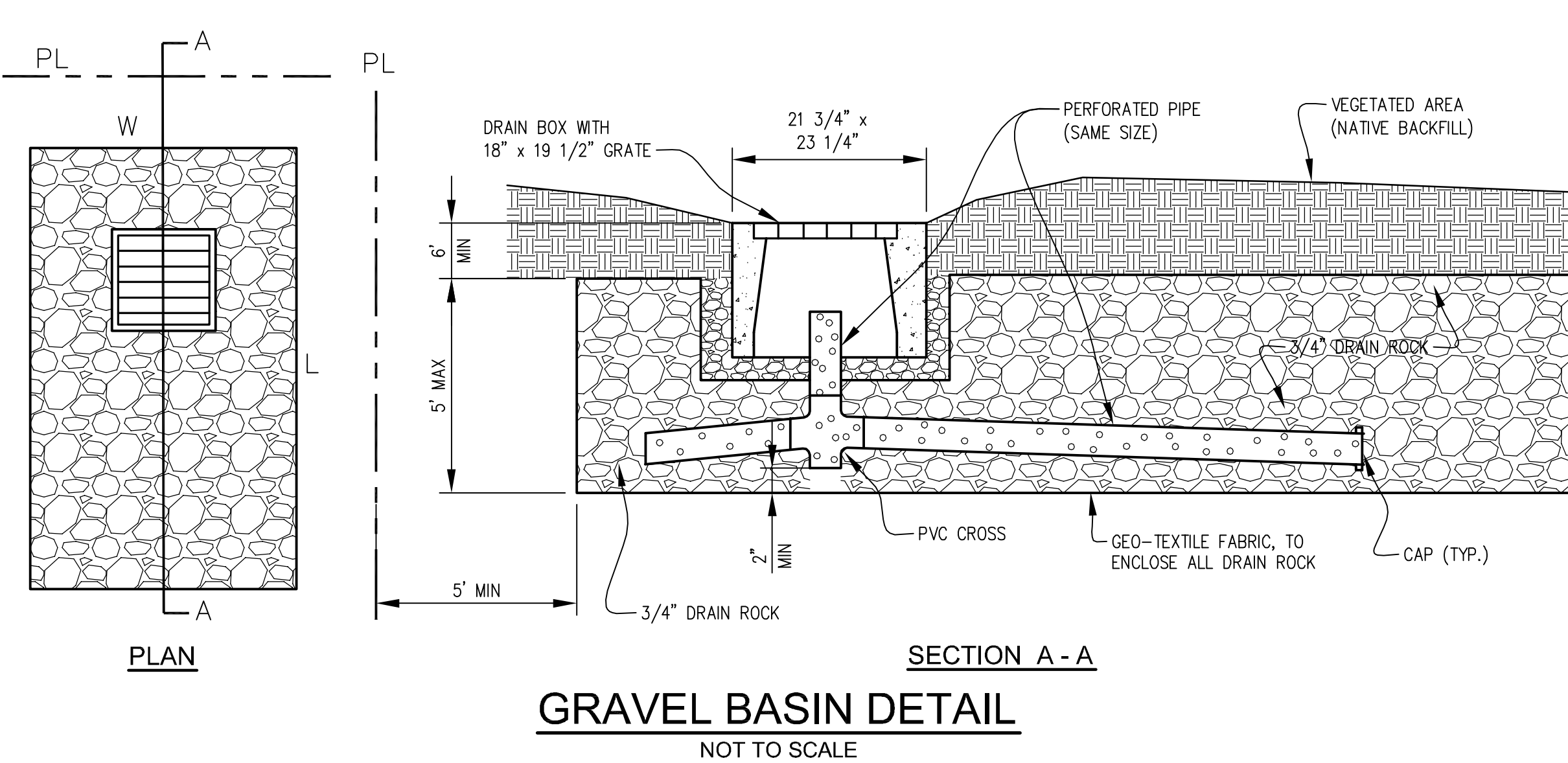
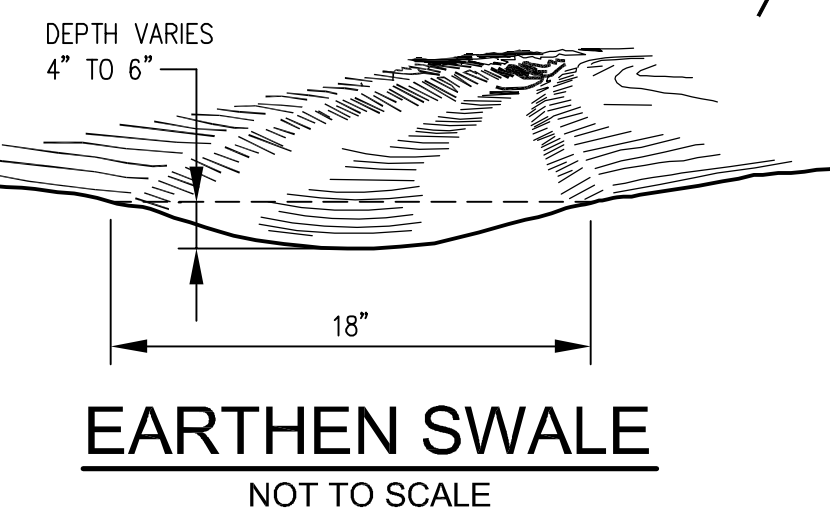
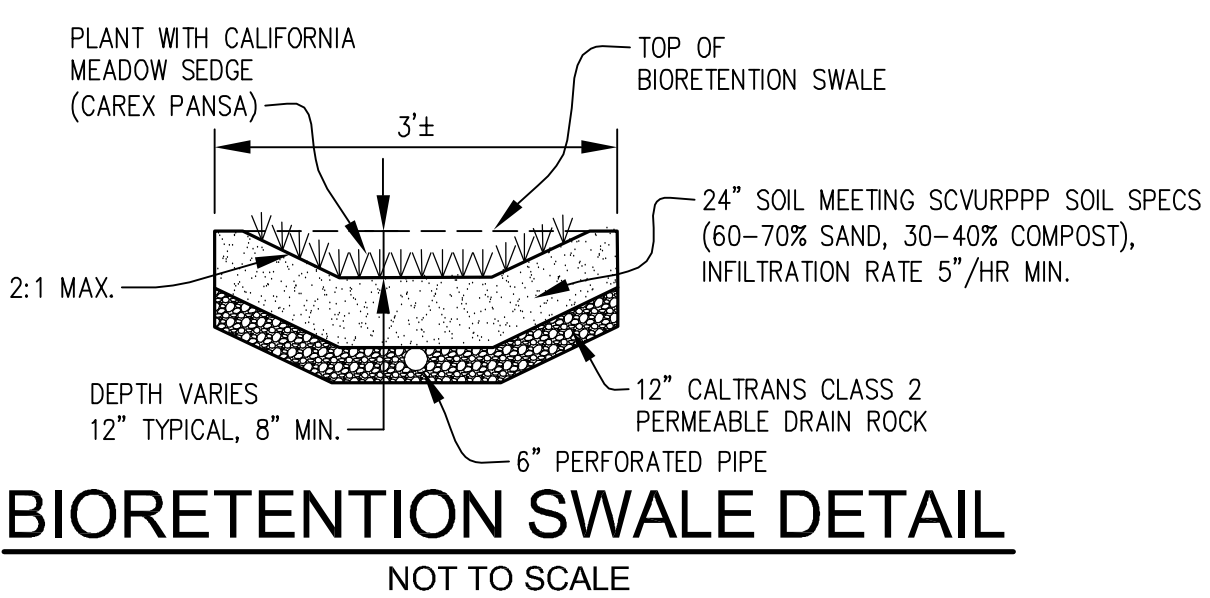
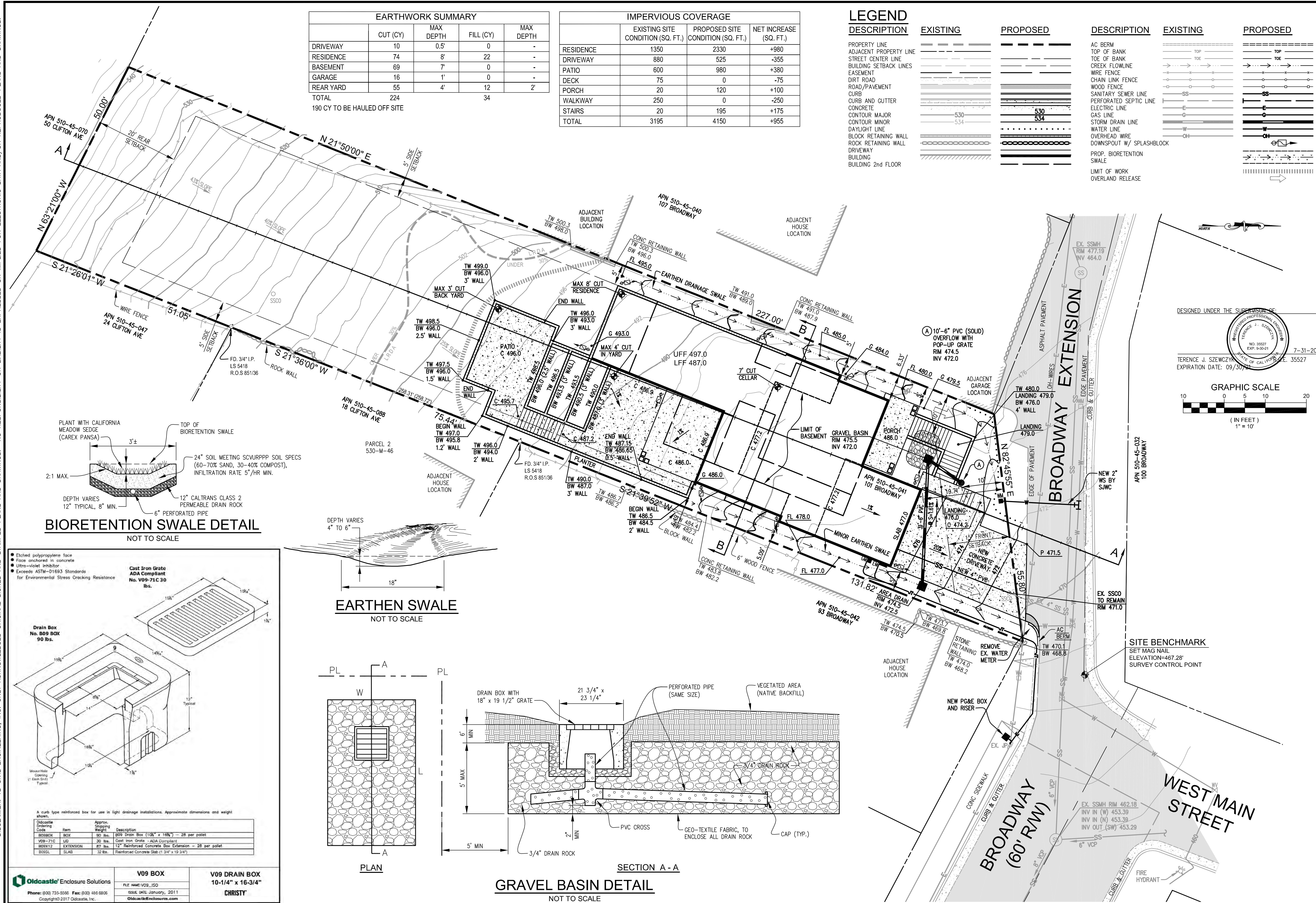
EARTHWORK SUMMARY				
	CUT (CY)	MAX DEPTH	FILL (CY)	MAX DEPTH
DRIVEWAY	10	0.5'	0	-
RESIDENCE	74	8'	22	-
BASEMENT	69	7'	0	-
GARAGE	16	1'	0	-
REAR YARD	55	4'	12	2'
TOTAL	224		34	

190 CY TO BE HAULED OFF SITE

IMPERVIOUS COVERAGE			
	EXISTING SITE CONDITION (SQ. FT.)	PROPOSED SITE CONDITION (SQ. FT.)	NET INCREASE (SQ. FT.)
RESIDENCE	1350	2330	+980
DRIVEWAY	880	525	-355
PATIO	600	980	+380
DECK	75	0	-75
PORCH	20	120	+100
WALKWAY	250	0	-250
STAIRS	20	195	+175
TOTAL	3195	4150	+955

LEGEND

DESCRIPTION	EXISTING	PROPOSED	DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE	---	---	AC BERM	---	---
ADJACENT PROPERTY LINE	---	---	TOP OF BANK	---	---
STREET CENTER LINE	---	---	TOE OF BANK	---	---
BUILDING SETBACK LINES	---	---	CREEK FLOWLINE	---	---
EASEMENT	---	---	WIRE FENCE	---	---
DIRT ROAD	---	---	CHAIN LINK FENCE	---	---
ROAD/PAVEMENT	---	---	WOOD FENCE	---	---
CURB	---	---	SANITARY SEWER LINE	---	---
CURB AND GUTTER	---	---	PERFORATED SEPTIC LINE	---	---
CONCRETE	---	---	ELECTRIC LINE	---	---
CONTOUR MAJOR	---	---	GAS LINE	---	---
CONTOUR MINOR	---	---	STORM DRAIN LINE	---	---
DAYLIGHT LINE	---	---	WATER LINE	---	---
BLOCK RETAINING WALL	---	---	OVERHEAD WIRE	---	---
ROCK RETAINING WALL	---	---	DOWNSPOUT W/ SPLASHBLOCK	---	---
DRIVEWAY	---	---	PROP. BIORETENTION SWALE	---	---
BUILDING	---	---	SWALE	---	---
BUILDING 2nd FLOOR	---	---	LIMIT OF WORK	---	---
			OVERLAND RELEASE	---	---



- Etched polypropylene face
- Face anchored in concrete
- Ultra-violet inhibitor
- Exceeds ASTM-D1693 Standards for Environmental Stress Cracking Resistance

Cast Iron Grate
ADA Compliant
No. V09-71C 30 lbs.

Drain Box
No. B09 BOX 90 lbs.

V09 BOX
10-1/4" x 16-3/4" CHRISTY

V09 DRAIN BOX
10-1/4" x 16-3/4" CHRISTY

Disposal Code	Item	Approx. Weight	Description
B09BOX	BOX	90 lbs.	B09 drain box (10 1/4" x 16 3/4") - 28 per pallet
V09-71C	LD	30 lbs.	Cast iron Grate - ADA Compliant
B09K12	EXTENSION	87 lbs.	12" Reinforced Concrete Box Extension - 28 per pallet
B05SL	SLAB	32 lbs.	Reinforced Concrete Slab (1 3/4" x 19 3/4")

Oldcastle Enclosure Solutions
Phone: (800) 735-5596 Fax: (800) 486-6806
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TS CIVIL ENGINEERING, INC.
 1776 TECHNOLOGY DRIVE
 SAN JOSE, CA 95110
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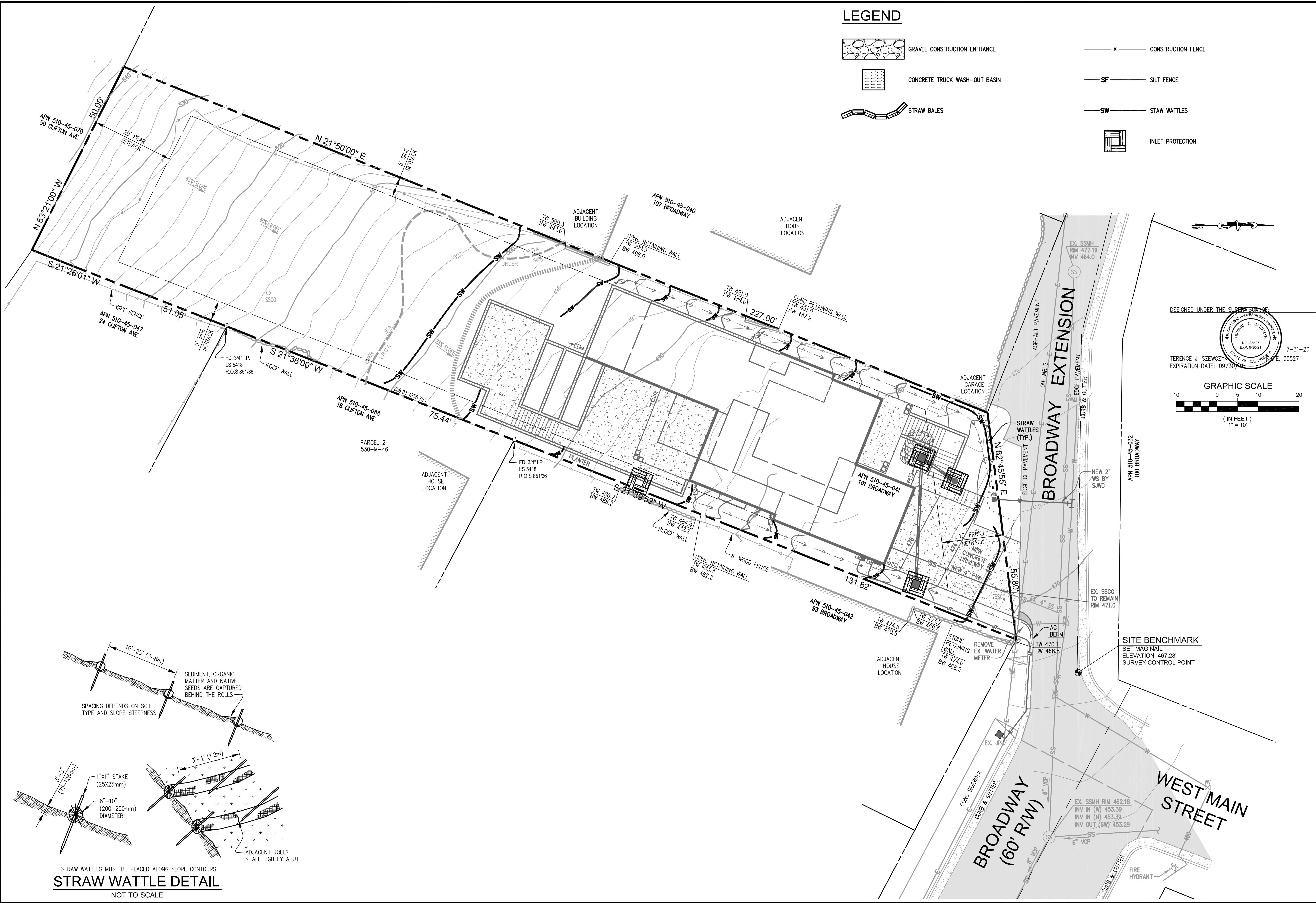
SITE, GRADING AND DRAINAGE PLAN
 101 BROADWAY
 LOS GATOS, CA, 95030
 APN 510-45-041

NO.	DATE	REVISIONS	BY
6			
5			
4			
3			
2			
1			

DATE: 7-31-20
 SCALE: 1"=10'
 DRAWN BY: DKH
 SURVEYED BY:
 PROJ ENGR: TJS
 CHECK BY: TJS
 SHEET NO. **C3**
 OF 5 SHEETS
 JOB NO. 19-246

07/31/2020 4:34pm - N:\2019 JOBS\19-246\DWG\19-246 C3 SITE GRADING AND DRAINAGE.dwg - C3

DISCLAIMER: TS CIVIL ENGINEERING, INC. ONLY ACKNOWLEDGES ORIGINAL SIGNED AND STAMPED PLANS AND DRAWINGS. NO RESPONSIBILITY OR LIABILITY IS EXPRESSED OR IMPLIED FOR ELECTRONIC DATA AND/OR REPRODUCED PLANS AND DRAWINGS.



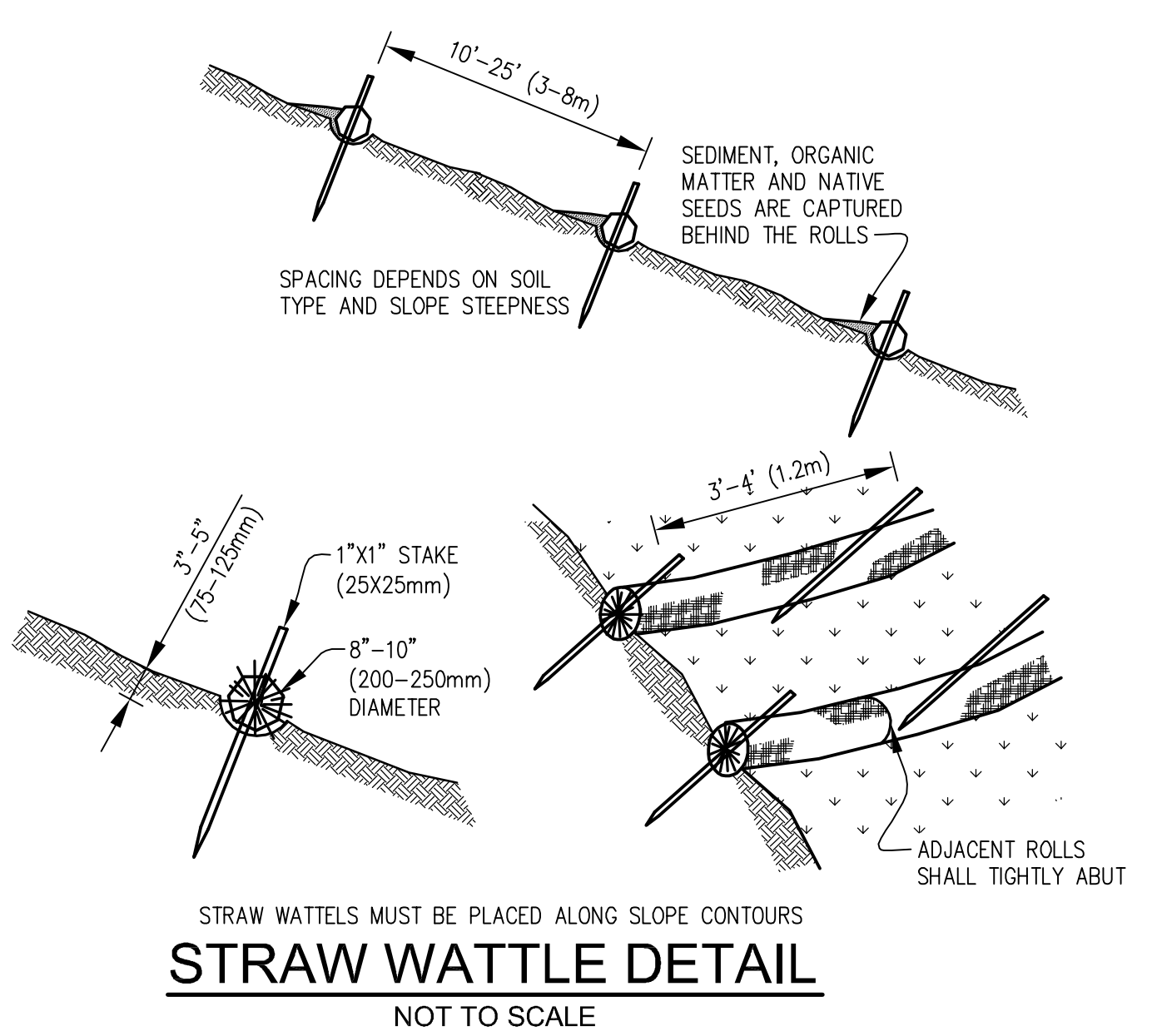
LEGEND

- GRAVEL CONSTRUCTION ENTRANCE
- CONCRETE TRUCK WASH-OUT BASIN
- STRAW BALES
- CONSTRUCTION FENCE
- SILT FENCE
- STRAW WATTLES
- INLET PROTECTION

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWCZYK
 EXPIRATION DATE: 09/30/21

GRAPHIC SCALE
 1" = 10'



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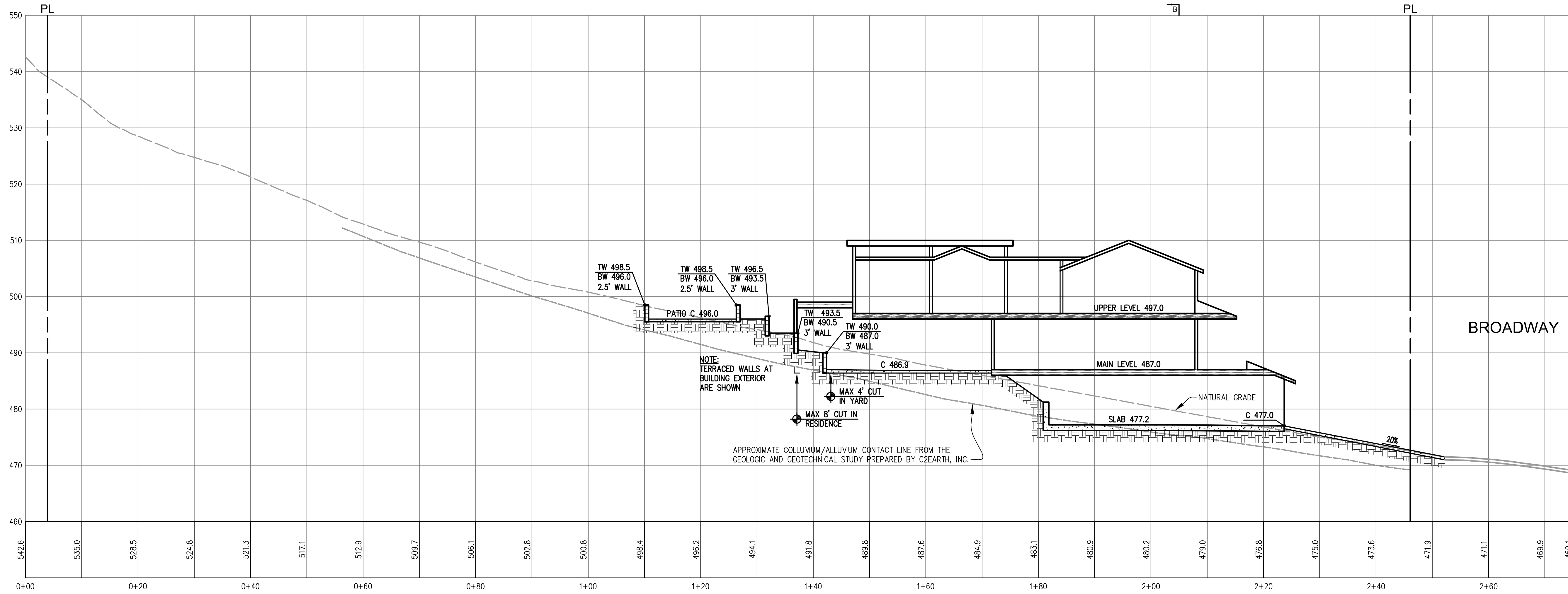
EROSION CONTROL PLAN
 101 BROADWAY
 LOS GATOS, CA, 95030
 APN 510-45-041

NO.	DATE	BY	REVISIONS
6			
5			
4			
3			
2			
1			

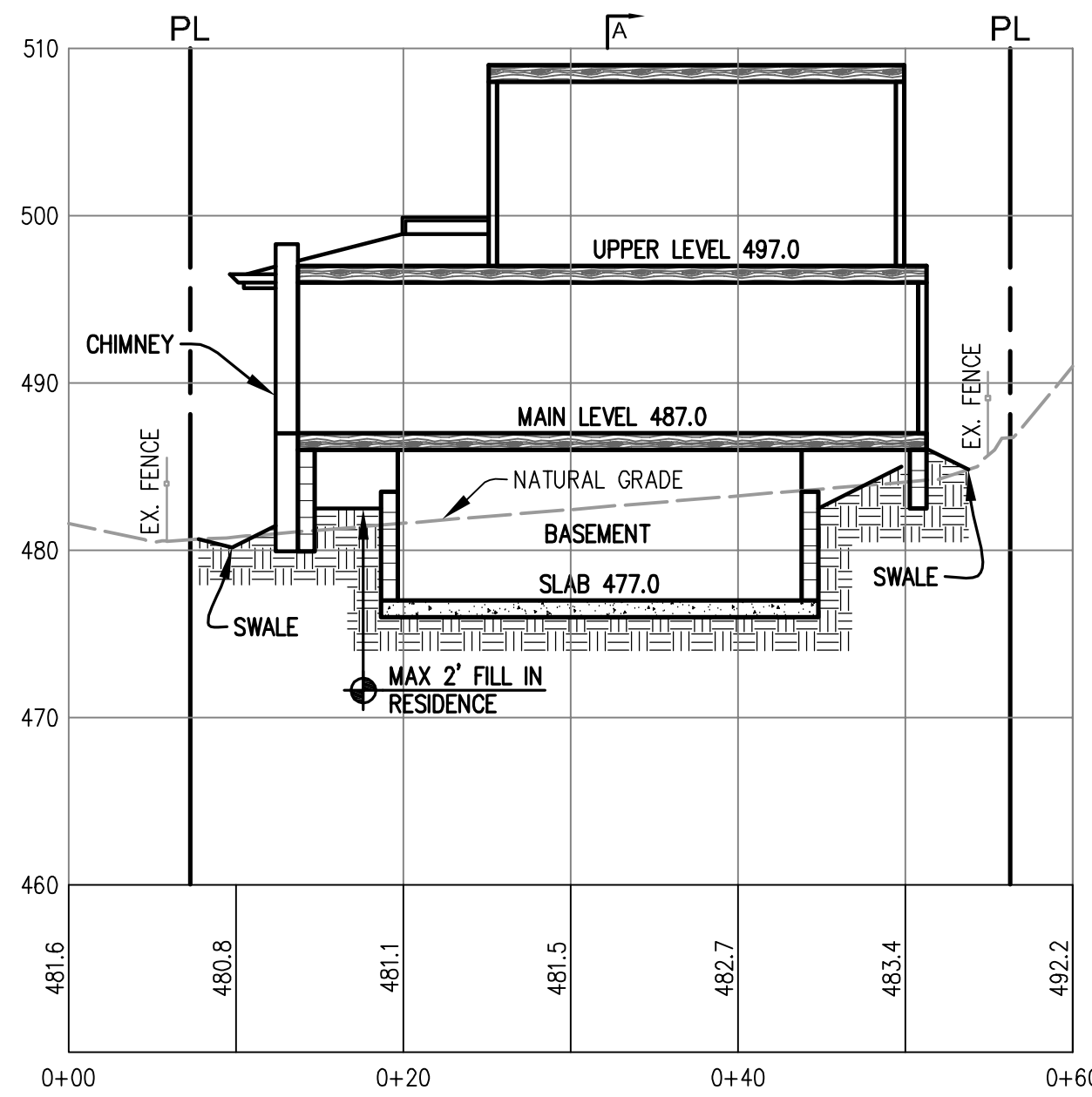
DATE: 7-31-20
 SCALE: 1"=10'
 DRAWN BY: DKH
 SURVEYED BY:
 PROJ ENGR: TJS
 CHECK BY: TJS
 SHEET NO. **C4**
 OF 5 SHEETS
 JOB NO. 19-246

07/31/2020 4:32pm - N:\2019 JOBS\19-246\DWG\19-246 C4 EROSION CONTROL.DWG - C4

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SECTION A-A
1"=10'



SECTION B-B
1"=10'

DESIGNED UNDER THE SUPERVISION OF:

TERENCE J. SZEWCZYK
EXPIRATION DATE: 09/30/21

7-31-20

GRAPHIC SCALE
1" = 10'

TS CIVIL ENGINEERING
1776 TECHNOLOGY DRIVE
SAN JOSE, CA 95110
PH: 408.452.9300
FAX: 408.837.7550

SITE CROSS SECTIONS
101 BROADWAY
LOS GATOS, CA, 95030
APN 510-45-041

NO.	REVISIONS	DATE
6		
5		
4		
3		
2		
1		

DATE: 7-31-20
SCALE: 1"=10'
DRAWN BY: DKH
SURVEYED BY:
PROJ ENGR: TJS
CHECK BY: TJS

SHEET NO. **C5**
OF 5 SHEETS
JOB NO. 19-246

07/31/2020 4:06pm - N:\2019 JOBS\19-246\C5 SITE CROSS SECTIONS.dwg - C5