



**METRO
DESIGN
GROUP**

ARCHITECTURE-PLANNING-INTERIORS

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PROJECT NAME

**DIEP
RESIDENCE**

15925 QUAIL HILL ROAD
LOS GATOS, CA
95030

REVISIONS

NO.	DESCRIPTION



GENERAL NOTES	
1. CODES AND REGULATIONS	ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES, AS WELL AS ALL APPLICABLE STATE CODES & LOCAL CITY ORDINANCES, 2016 CALIFORNIA BUILDING CODE (C.B.C.), 2016 CALIFORNIA RESIDENTIAL CODE (C.R.C.), 2016 CALIFORNIA ELECTRICAL CODE (C.E.C.), 2016 CALIFORNIA PLUMBING CODE (C.P.C.), 2016 CALIFORNIA MECHANICAL CODE (C.M.C.), 2016 CALIFORNIA FIRE CODE (C.F.C.), 2016 CALIFORNIA ENERGY CODE (C.E.C.), 2016 CALIFORNIA GREEN CODE (C.G.C.) NOTHING ON THE DRAWINGS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES & REGULATIONS.
2. SITE VERIFICATION	GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL EXAMINE THOROUGHLY THE SITE AND SATISFY THEMSELVES AS TO THE CONDITIONS TO WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS WORK, AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF THE SAME. NO EXTRA COST TO THE OWNER WILL BE ALLOWED RESULTING FROM HIS NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS AFFECTING HIS WORK.
3. MEASUREMENTS	CONTRACTOR SHALL VERIFY ALL DIMENSIONS SHOWN ON THE DRAWINGS BY TAKING FIELD MEASUREMENTS; FOR PROPER FIT AND ATTACHMENT OF ALL PARTS IS REQUIRED. SHOULD THERE BE ANY DISCREPANCIES, IMMEDIATELY REPORT TO THE ARCHITECT IN WRITING PRIOR TO COMMENCEMENT OF ANY RELATED WORK. IN THE EVENT OF THE CONTRACTOR'S FAILURE TO DO SO, THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE CORRECTION OR ADJUSTMENT OF ANY SUCH RELATED WORK OR ERRORS.
4. DIMENSIONS	DO NOT SCALE THESE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DRAWINGS.
5. DISCREPANCIES	MINOR DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS ARE TO BE EXPECTED. CONDITIONS REQUIRING CLARIFICATION SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
6. MANUFACTURER'S SPECIFICATIONS	CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSTALL OR APPLY, AND PROTECT ALL PRODUCTS, MATERIALS, PROCESSES, METHODS, COATINGS, EQUIPMENT, APPLIANCES, HARDWARE, SOFTWARE, ETC. IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS, DETAILS & INSTRUCTIONS, TYPICAL. ALL MANUALS OR INSTRUCTIONS PROVIDED BY THESE MANUFACTURERS FOR PROPER OPERATION AND MAINTENANCE OF THE ABOVE ARE TO BE DELIVERED TO THE OWNER AT THE COMPLETION AND FINAL INSPECTION OF THE PROJECT.
7. WINDOWS AND DOORS	CONTRACTOR SHALL VERIFY THE QUANTITY, ROUGH OPENINGS AND TYPES OF DOORS AND WINDOW AND DOOR SCHEDULES IN RELATION TO FRAMING PER FIELD PRIOR TO ORDERING. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
8. CALGREEN STANDARDS	ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. PER CGBC SEC. 4.504.2.4 PRIOR TO FINAL INSPECTION, A LETTER, SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (OR ANY OWNER/BUILDER) PROJECTS MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBC SECTION 4.504.

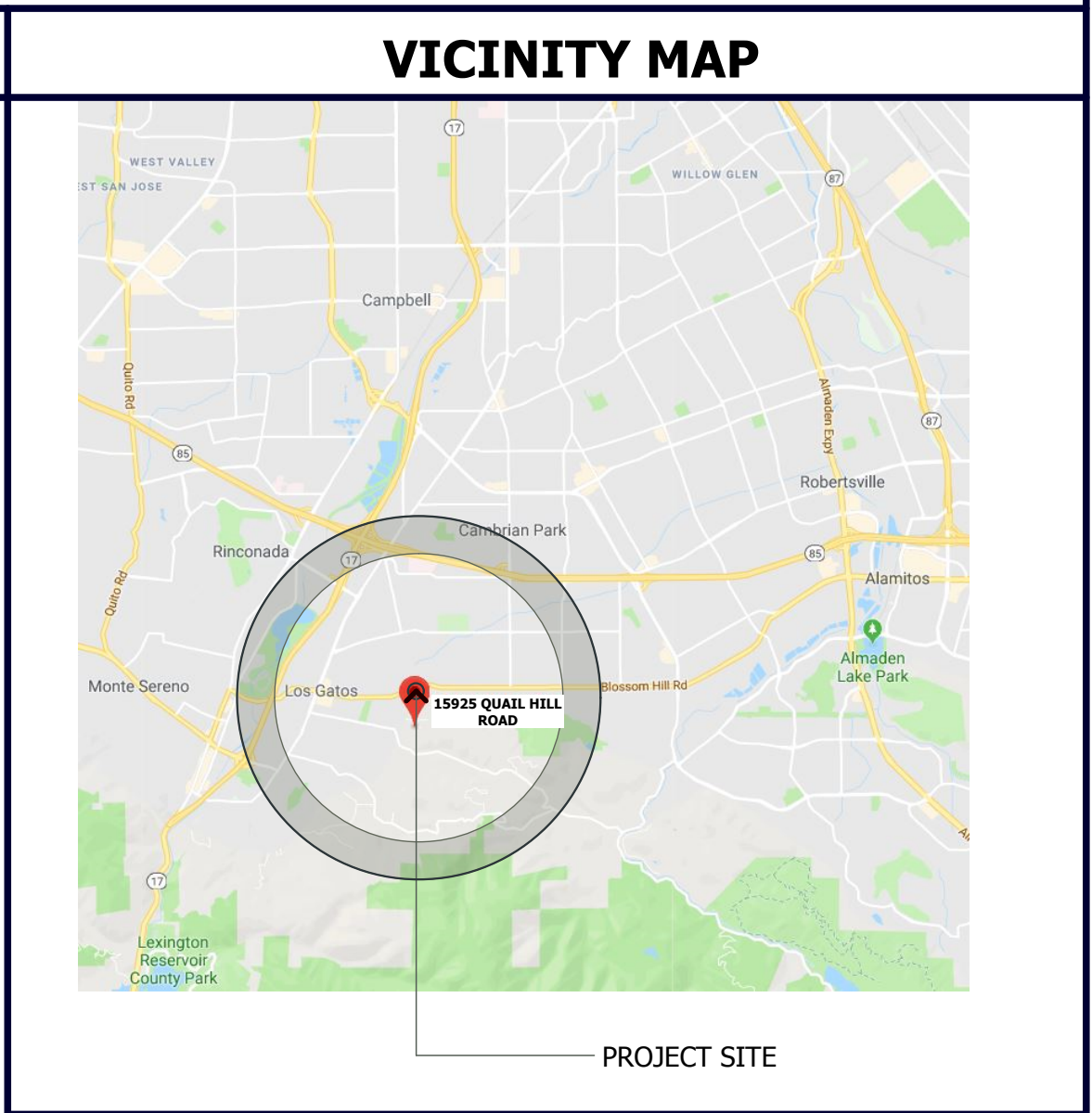
CONSULTANT DIRECTORY	
ARCHITECT METRO DESIGN GROUP CONTACT: TOM SLOAN A.I.A. 1475 S. BASCOM AVE. # 208 CAMPBELL, CALIFORNIA 95008 (408) 871-1071 PHONE	CIVIL ENGINEER HANNA & BRUNETTI, INC. CIVIL ENGINEERS, SURVEYORS, CONSTRUCTION MANAGERS CONTACT: AMANDA WILSON, PE 7651 EIGLEBERRY STREET GILROY, CALIFORNIA 95020 (408) 842-2173 PHONE (408) 842-3662 FAX
GEOTECHNICAL ENGINEERING POLLAK ENGINEERING, INC. 555 SANTA CRUZ AVE. LOS GATOS, CA 95030 (408) 354-0420 PHONE	LANDSCAPE ARCHITECT DAVID R. FOX & COMPANY LANDSCAPE ARCHITECTURE CONTACT: DAVID FOX 1188 KOTENBERG AVENUE SAN JOSE, CA 95125 (408) 761-0212 PHONE
TOPO SURVEY & BOUNDARIES WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY #3 SARATOGA, CA 95070 (408) 867-0244 PHONE	

PROJECT DESCRIPTION	
THIS PROJECT IS LOCATED ON A CORNER HILLSIDE SITE THAT PROPOSES THE DEMOLITION OF AN EXISTING SINGLE FAMILY RESIDENCE AND EXISTING ACCESSORY DWELLING UNIT THAT ARE LOCATED WITHIN THE MOST LEVEL AREA OF THE SITE. WHEREAS THE GREATEST LRDA IS LOCATED AT THE FLATEST AREA OF THE SITE, THE VIEW IMPACTS TO ADJACENT PROPERTIES AS WELL AS RIDGELINE VIEW PROTECTION DICTATED THAT THE NEW RESIDENCE BE LOCATED NEAR THE LOWEST PORTION OF THE SITE. THE MAJORITY OF THE DEVELOPMENT IS LOCATED ON AREAS WITH A SLOPE BELOW 30% AND WITHIN AN AREA THAT WOULD PROVIDE THE LEAST AMOUNT OF DISTURBANCE AND IMPACT TO THE SURROUNDING NEIGHBORS AND ENVIRONMENT. THE PROJECT INCLUDES A HOME WITH A FLOOR AREA BELOW THE MAXIMUM ALLOWABLE HEIGHT AND FLOOR AREA. PARKING IS LOCATED BELOW GRADE AND OUT OF VIEW. THE RESIDENCE HAS A FLAT ROOF WITH MASSING ELEMENTS THAT STEP BACK AND INTEGRATE INTO THE HILLSIDE. BECAUSE THE HOUSE IS TUCKED INTO THE HILLSIDE, FLOOR AREA BELOW GRADE INCLUDES A FEW LIGHTWELLS TO PROVIDE EGRESS, LIGHT AND VENTILATION. ON SITE PARKING INCLUDES 3 GUEST PARKING STALLS AND 4 ENCLOSED PARKING STALLS. A LANDSCAPE PLAN WAS DESIGNED TO MITIGATE THE VISUAL IMPACT OF THE RESIDENCE AND MINIMIZE GRADING FOR THE DRIVEWAY.	

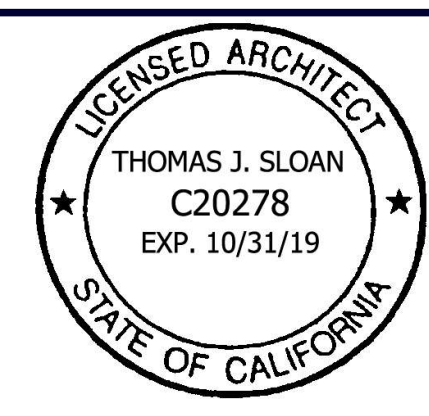
AREA TABULATIONS			
1. SITE AREA - PER HILLSIDE DEVELOPMENT STANDARDS AND GUIDELINES			
GROSS:	42,253.00 SF (0.96 AC)		
NET AFTER REDUCTION:	23,239.06 SF (0.53 AC) (AFTER 45% SLOPE REDUCTION)		
AVERAGE SLOPE OF SITE: 25.12 %			
SLOPE AT LANDING AREAS:	1% MIN, AWAY FROM THE STRUCTURE		
SLOPE AT PAVED AREAS:	2% MIN, AWAY FROM THE STRUCTURE		
SLOPE AT LANDSCAPE AREAS:	5% MIN, AWAY FROM THE STRUCTURE		
2. FLOOR AREA *			
	GROSS FLOOR AREA	- BGA**	= FLOOR AREA PER DEF.
LOWER FLOOR	724	- 724	= 0
MAIN FLOOR	4,643	- 2,428	= 2,215
UPPER FLOOR	2,940	- 60	= 2,880
TOTAL AREA	8,307	-3,212	= 5,095
* SEE FLOOR AREA DIAGRAMS ON SHEET A-4.0.			
** BGA = BELOW GRADE AREA- IS NOT INCLUDED IN FLOOR AREA			
GARAGE	2,175	-2,175	= 0
TOTAL FLOOR AREA	10,482	-5,387	= 5,095
GARAGE AREA OUTSIDE MAIN FLOOR FOOTPRINT : 211 SF			
* SEE FLOOR AREA DIAGRAMS ON SHEET A-4.0.			
** BELOW GRADE AREA AND 400 SQ. FT. GARAGE ARE EXEMPT			
3. MAXIMUM FLOOR AREA - FAR PER RESIDENTIAL DESIGN GUIDELINES			
BUILDING FLOOR AREA	MAXIMUM ALLOWABLE	PROPOSED	
	5,100 SF	5,095 SF	
TOTAL ALLOWABLE FLOOR AREA: 5,100 SQ. FT. PER HDGS TABLE 2/PAGE 28.			
3. BUILDING COVERAGE			
MAXIMUM ALLOWABLE COVERAGE:	NO MAXIMUM		
PROPOSED COVERAGE:	4,954 SQ. FT.	11.72 %	
5. PARKING SPACE			
4 COVERED AT GARAGE			
3 GUEST SPACES			

AVERAGE SLOPE AND LOT AREA REDUCTION CALCULATION	
$S = \frac{0.00229 \times 5 \times 2,127.90}{0.97} = 25.12 \%$	AVERAGE SITE SLOPE
AVERAGE SLOPE = 25%	
PERCENT OF NET LOT AREA TO BE DEDUCTED = 30% + 5 (3%) = 45% DEDUCTION	
42,253 (45) = 19,013.94 SF	
42,253 - 19,013.94 = 23,239.06 SF	
MAX ALLOWABLE GROSS FLOOR AREA up to 24,000 SF : FAR = 21.3%	
5,100 SF house	

PROJECT INFORMATION	
PROPERTY OWNERS	JOHN AND ALLISON DIEP
PHONE	(408) 314-8493
MAILING ADDRESS	5950 COUNTRY CLUB PARKWAY SAN JOSE, CA 95138
PROJECT ADDRESS	15925 QUAIL HILL ROAD LOS GATOS, CA 95030
SITE AREA	42,253 SF (0.96 AC)
A.P.N.	527-02-007
ZONING	HR-1
LOCATED WITHIN DESIGNATED WILDLAND URBAN INTERFACE FIRE AREA	YES - STATE MANDATED LRA (VHFHA)
SETBACK REQUIREMENTS	REQUIRED: FRONT: 30'-0" SIDE: 20'-0" REAR: 25'-0" PROPOSED: FRONT: 97'-6" LEFT SIDE: 21'-11" RIGHT SIDE: 21'-8" REAR: 150'-4"
MAX HEIGHT	ALLOWED: 25'-0" PROPOSED: 24'-10"
CONSTRUCTION TYPE	V-B
OCCUPANCY	R-3/U
STORIES	2 2
EXISTING USE	SINGLE FAMILY RESIDENCE
FIRE SPRINKLERS	REQUIRED (NFPA-13D) THE OWNER(S), OCCUPANT(S) AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH WATER PURVEYOR OF THE EXISTING WATER SERVICE IS REQUIRED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, A COMPLETED PERMIT APPLICATION AND APPROPRIATE FEES TO THIS DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING OF THEIR WORK. CRC SEC. 313.2 AS ADOPTED AND AMENDED BY LGTC. CONSTRUCTION SITE FIRE SAFETY ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND THE FIRE DEPARTMENT'S STANDARD DETAIL AND SPECIFICATION SI-7. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT. CFC CHP.33



SHEET INDEX			
A-0	COVER SHEET	A-1.0	EXTERIOR LIGHTING PLAN
A-0.1	BUILD IT GREEN CHECKLIST	A-2.1	LOWER FLOOR PLAN
C-1.	TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS	A-2.2	MAIN FLOOR PLAN
C-2	BLUEPRINT FOR A CLEAN BAY	A-2.3	UPPER FLOOR PLAN
C-3	EXISTING TOPOGRAPHY AND DEMOLITION PLAN	A-3.0	PROPOSED EXTERIOR ELEVATIONS
C-4	GRADING & DRAINAGE PLAN -DRIVEWAY & GARAGE LEVEL	A-3.1	PROPOSED EXTERIOR ELEVATIONS SECTION 'A-A'
C-5	GRADING & DRAINAGE PLAN -MAIN LEVEL	A-4.0	SECTION 'A-A'
C-6	GRADING & DRAINAGE PLAN -UPPER LEVEL	L-1.0	PRELIMINARY LANDSCAPE PLAN
C-7	DRIVEWAY PROFILE	L-2.0	TREE PROTECTION PLAN
C-8	EROSION CONTROL PLAN		



COVER SHEET

GENERAL NOTES
PROJECT INFORMATION
AREA TABULATIONS
PROJECT DESCRIPTION
VICINITY MAP
SHEET INDEX
CONSULTANT DIRECTORY

DATE : 10-24-19

SCALE : AS-NOTED

DRAWN BY : TS / D.Z.

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 18652

SHEET NUMBER

A-0



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PROJECT NAME
DIEP RESIDENCE
15925 QUAIL HILL ROAD
LOS GATOS, CA
95030

Table with 2 columns: REVISIONS, Description of revisions.



NEW HOME RATING SYSTEM, VERSION 6.0

SINGLE FAMILY CHECKLIST

The GreenPoint Rated checklist tracks green features incorporated into the home. GreenPoint Rated is administered by Build It Green, a non-profit whose mission is to promote healthy, energy and resource efficient buildings in California.

Points Achieved: 58

Certification Level: Certified

POINTS REQUIRED



A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rater through Build It Green.

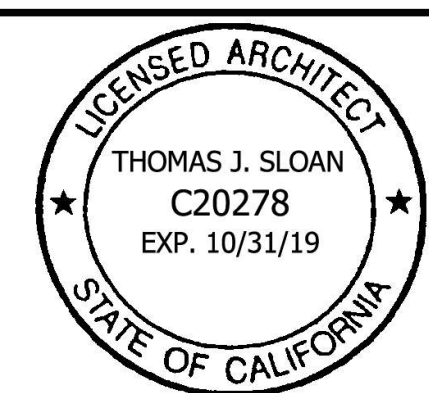
Main checklist table for DIEP RESIDENCE. Columns include Category, Feature, Points Achieved, Possible Points, and Notes. Categories include CALGreen, A. SITE, B. FOUNDATION, C. LANDSCAPE, D. STRUCTURAL FRAME AND BUILDING ENVELOPE, E. EXTERIOR, F. INSULATION, G. PLUMBING, H. HEATING, VENTILATION, AND AIR CONDITIONING, I. RENEWABLE ENERGY, J. ENERGY PERFORMANCE AND TESTING, K. FINISHES, L. FLOORING, M. APPLIANCES AND LIGHTING, N. COMMUNITY, O. OTHER.

Single Family New Home Version 6.0.2

Checklist table for Single Family New Home Version 6.0.2. Columns include Category, Feature, Points Achieved, Possible Points, and Notes. Categories include CALGreen, A. SITE, B. FOUNDATION, C. LANDSCAPE, D. STRUCTURAL FRAME AND BUILDING ENVELOPE, E. EXTERIOR, F. INSULATION, G. PLUMBING, H. HEATING, VENTILATION, AND AIR CONDITIONING, I. RENEWABLE ENERGY, J. ENERGY PERFORMANCE AND TESTING, K. FINISHES, L. FLOORING, M. APPLIANCES AND LIGHTING, N. COMMUNITY, O. OTHER.

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Checklist table for Single Family New Home Version 6.0.2. Columns include Category, Feature, Points Achieved, Possible Points, and Notes. Categories include CALGreen, A. SITE, B. FOUNDATION, C. LANDSCAPE, D. STRUCTURAL FRAME AND BUILDING ENVELOPE, E. EXTERIOR, F. INSULATION, G. PLUMBING, H. HEATING, VENTILATION, AND AIR CONDITIONING, I. RENEWABLE ENERGY, J. ENERGY PERFORMANCE AND TESTING, K. FINISHES, L. FLOORING, M. APPLIANCES AND LIGHTING, N. COMMUNITY, O. OTHER.

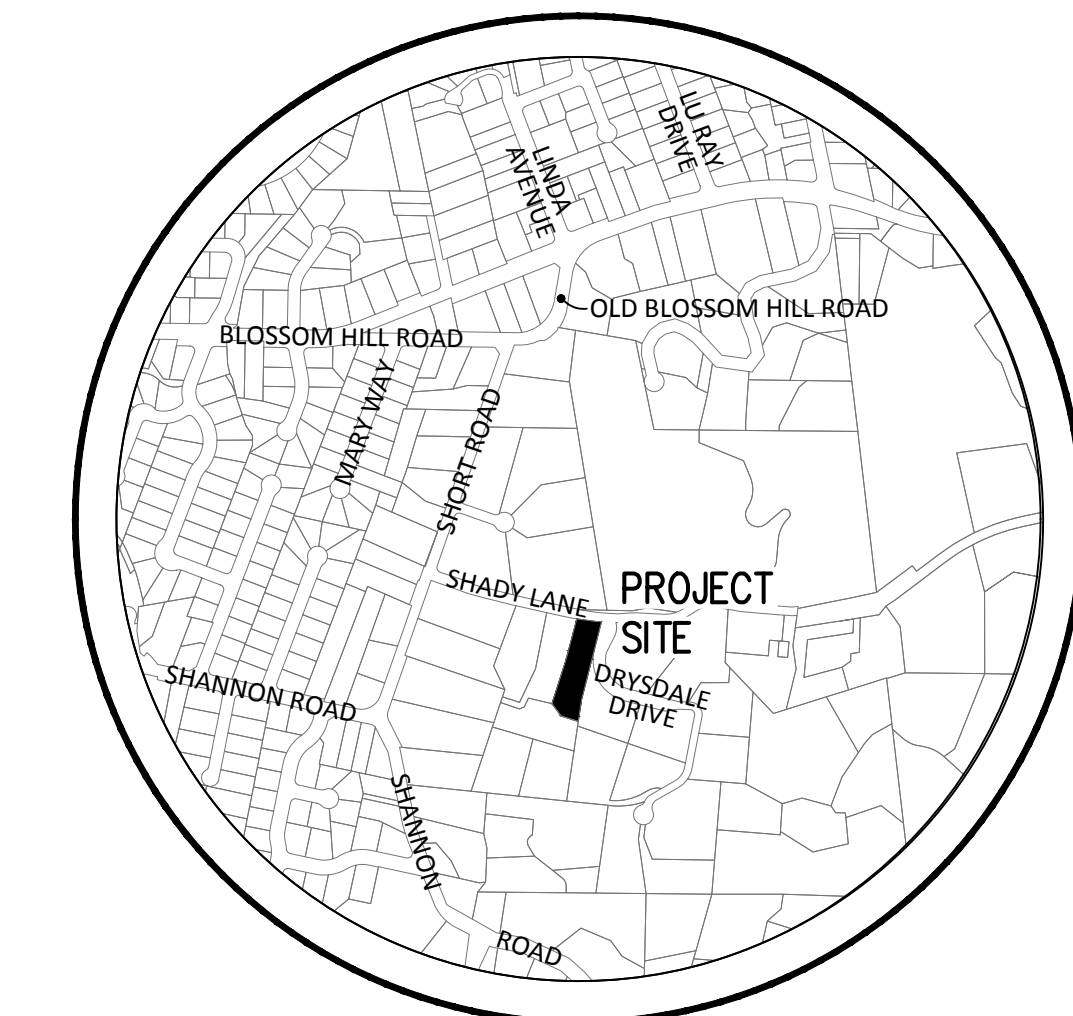


BUILD IT GREEN CHECKLIST

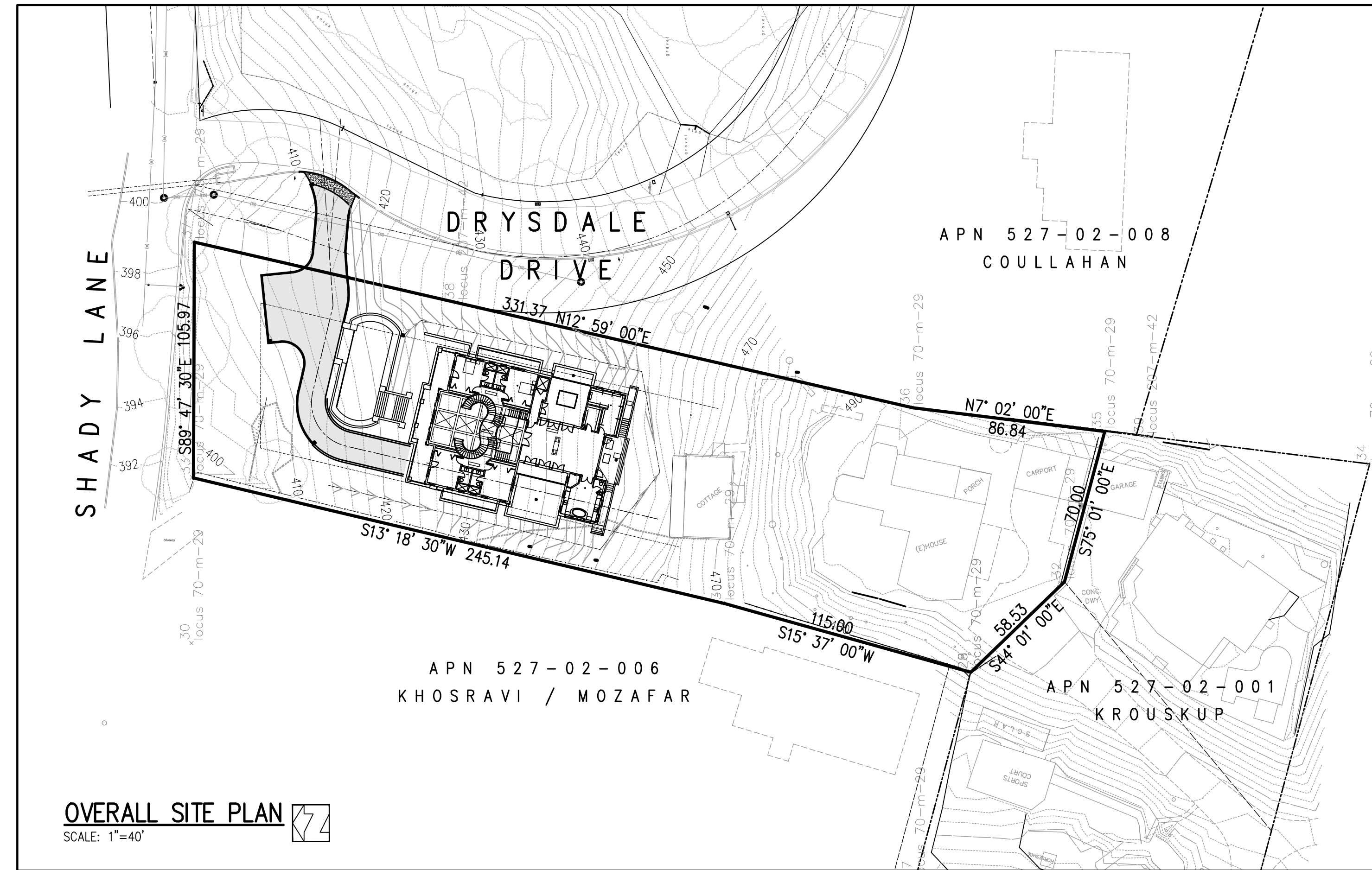
DATE : 10-24-19
SCALE : N.T.S.
DRAWN BY : T&Z
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 18652

SHEET NUMBER
A-0.1

PLAN FOR THE IMPROVEMENT OF GRADING & DRAINAGE PLANS TOWN OF LOS GATOS ARCHITECTURAL AND SITE APPLICATION NO. S-19-012



VICINITY MAP

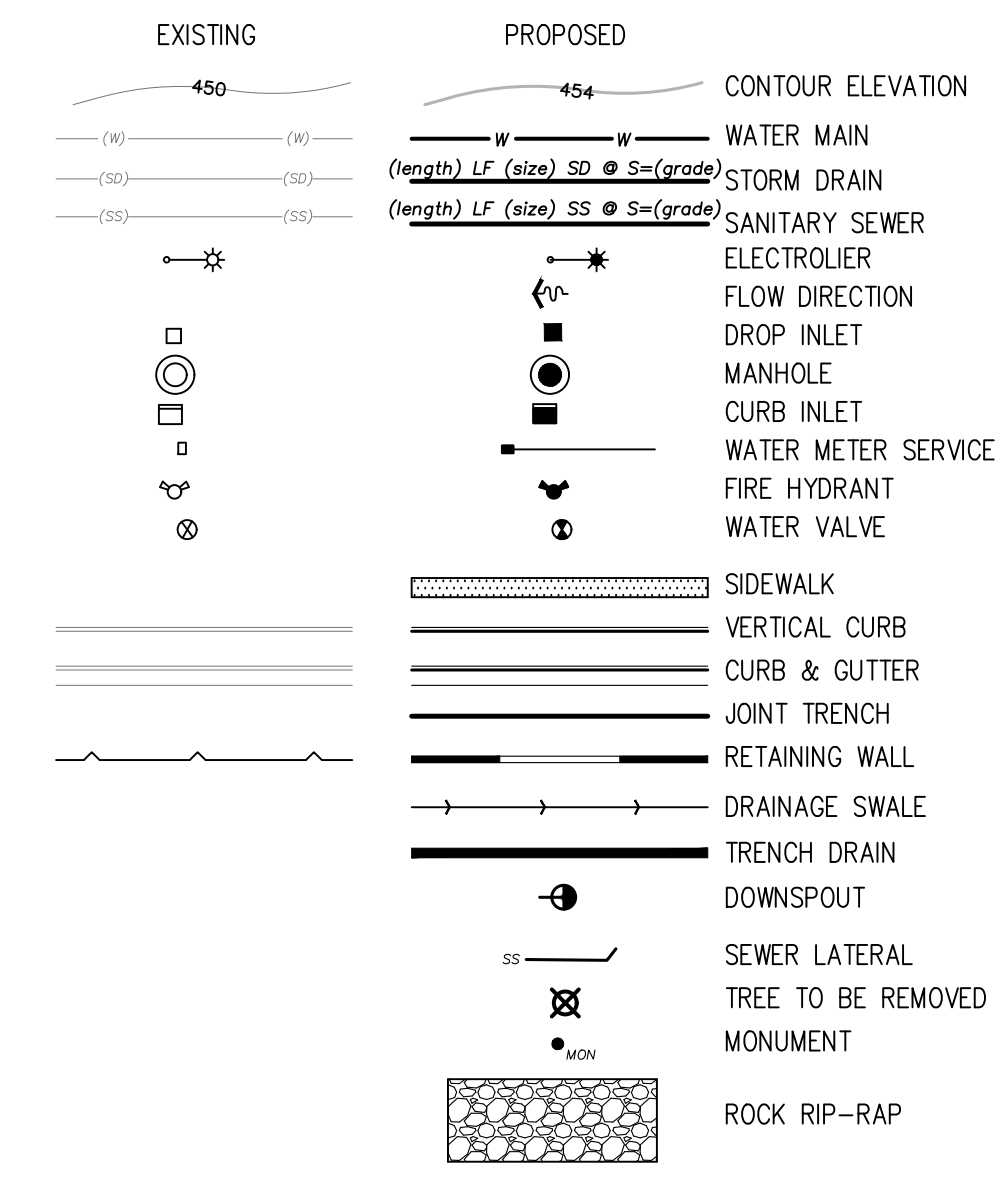


OVERALL SITE PLAN
SCALE: 1"=40'

SHEET INDEX

- C.1 TOWN NOTES, PROJECT DATA, LEGEND & ABBREVIATIONS
- C.2 BLUEPRINT FOR A CLEAN BAY SHEET
- C.3 EXISTING TOPOGRAPHY AND DEMOLITION PLAN
- C.4 GRADING & DRAINAGE PLAN - DRIVEWAY AND GARAGE LEVEL
- C.5 GRADING & DRAINAGE PLAN - MAIN LEVEL
- C.6 GRADING & DRAINAGE PLAN - UPPER LEVEL
- C.7 DRIVEWAY PROFILE
- C.8 EROSION CONTROL PLAN

LEGEND



ABBREVIATIONS

RCP	GAS	REINFORCED CONCRETE PIPE
RIM	GAUGE	RIM ELEVATION
R/W	GRADE BREAK	RIGHT-OF-WAY
(S)	GAS METER	SOUTH
S	GAS SERVICE	SLOPE
SCC	HIGH-DENSITY POLYETHYLENE	SANTA CLARA COUNTY
SCCFD	HP	SANTA CLARA COUNTY FIRE DEPARTMENT
SD	IEE	STORM DRAIN
SDCO	IN	STORM DRAIN CLEANOUT
SDE	INV	STORM DRAIN EASEMENT
SDMH	LAT	STORM DRAIN MANHOLE
SDR	LG	STANDARD DIMENSION RATIO
SF	LP	SQUARE FEET
SIWC	MAX	SAN JOSE WATER COMPANY
SS	MH	SANITARY SEWER
SSCO	MIN	SANITARY SEWER CLEANOUT
SSS	MPH	SANITARY SEWER EASEMENT
SSMH	(N)	SANITARY SEWER MANHOLE
STD	N.T.S.	STANDARD
S/W	O.C.	SIDEWALK
TC	ON CENTER	TOP OF CURB
TELE	O.D.	TELEPHONE
PCC	PAD	PORTLAND CEMENT CONCRETE
PERF	PAD ELEVATION	PERFORATED
PG&E	PCC	PACIFIC GAS & ELECTRIC COMPANY
PIEE	PERF	PRIVATE INGRESS/EGRESS EASEMENT
PL	PG&E	PROPERTY LINE
PR	PIEE	PROPOSED
PSDE	PL	PRIVATE STORM DRAIN EASEMENT
PSE	PR	PUBLIC SERVICE EASEMENT
PSSE	PSDE	PRIVATE SANITARY SEWER EASEMENT
PUE	PSE	PUBLIC UTILITY EASEMENT
PVC	PSSE	POLYVINYL CHLORIDE
XING	PUE	CROSSING
	PVC	
	XING	

TOTAL SITE AREA:	TOTAL SITE AREA DISTURBED:	PROPOSED AREA (SF)		TOTAL AREA
40,886 SF	18,870 SF (INCLUDING CLEARING, GRADING OR EXCAVATING)	EXISTING AREA (SF)	REPLACED NEW	POST-PROJECT (SF)
		6,102 SF	6,102 SF 3806	9908
IMPERVIOUS AREA				
TOTAL NEW & REPLACED IMPERVIOUS AREA			9908	
PERVIOUS AREA		34,784		

NOTE:

WHERE THE FIRM OF HANNA & BRUNETTI DOES NOT PROVIDE CONSTRUCTION STAKES, SAID FIRM WILL ASSUME NO RESPONSIBILITY WHATSOEVER FOR IMPROVEMENTS CONSTRUCTED THEREFROM.

NOTE TO CONTRACTOR

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.

NOTE:

ADVANCE NOTICE SHALL BE PROVIDED TO NEIGHBORING PROPERTY OWNERS AND SCHOOLS OF HEAVY CONSTRUCTION ACTIVITIES AND HEAVY CONSTRUCTION SHALL NOT START BEFORE 8:30 AM ON DAYS WHEN SCHOOLS ARE IN SESSION. NO CONSTRUCTION IS ALLOWED ON SUNDAYS.

BASIS OF BEARINGS

THE BEARINGS AND DISTANCES ON THESE PLANS ARE BASED ON THE FOUND MONUMENTS IN THE RECORDED "RECORD OF SURVEY" IN BOOK 70 OF MAPS AT PAGE 29; SANTA CLARA COUNTY RECORDS, ON JUNE 13th, 1956.

FLOODZONE STATEMENT

COMMUNITY PANEL NUMBER: 06085C0377H
MAP REVISED: MAY 18, 2009

PROJECT IS LOCATED IN ZONE X

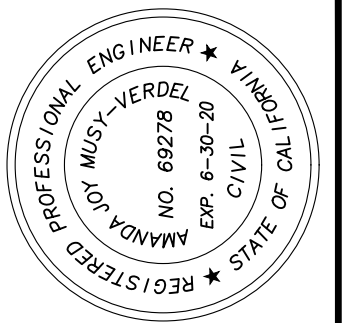
ZONE X
AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

TOWN OF LOS GATOS STANDARD PUBLIC IMPROVEMENT NOTES

- ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH THE FOLLOWING:
 - TOWN OF LOS GATOS ENGINEERING DESIGN STANDARDS AND SPECIFICATIONS (UNLESS SPECIFICALLY STATED OTHERWISE ON THE PLANS).
 - ALL TOWN OF LOS GATOS CONDITIONS OF APPROVAL RELATED TO THE PROJECT.
 - THESE PLANS AND DETAILS.
 - RECOMMENDATIONS OF THE PROJECT SOILS INVESTIGATION SOILS ENGINEER
REFERENCE REPORT NO. _____ DATED _____
LETTER NO. _____ SHALL BE THOROUGHLY COMPLIED WITH. BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THESE PLANS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- CONTRACTOR SHALL EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE, WATER, SEWER, ELECTRICAL OR TELECOMMUNICATION FACILITIES WHETHER ABOVE GROUND OR UNDERGROUND. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING.
- DURING CONSTRUCTION, ALL APPLICABLE WORK (SUBGRADE, PAVING, ETC.) SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST 48 HOURS BEFORE BEGINNING SUCH WORK. THE ENGINEER SHALL BE ON-SITE TO VERIFY CONDITIONS AS REQUIRED IN HIS REPORT. SHOULD ANY CHANGES TO THE REPORT RECOMMENDATIONS BE NECESSARY, TOWN APPROVAL SHALL BE OBTAINED PRIOR TO ANY ASSOCIATED WORK.
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHALL BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE, AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR: _____ PHONE: _____
- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.



DATE:	MAY 23, 2019
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM

LANDS OF DIEP - 15925 QUAIL HILL DRIVE
 APN 527-02-007
 COVER SHEET
 ARCHITECTURAL AND SITE APPLICATION NO. S-19-012
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT
 PROJECT NO.: 18083

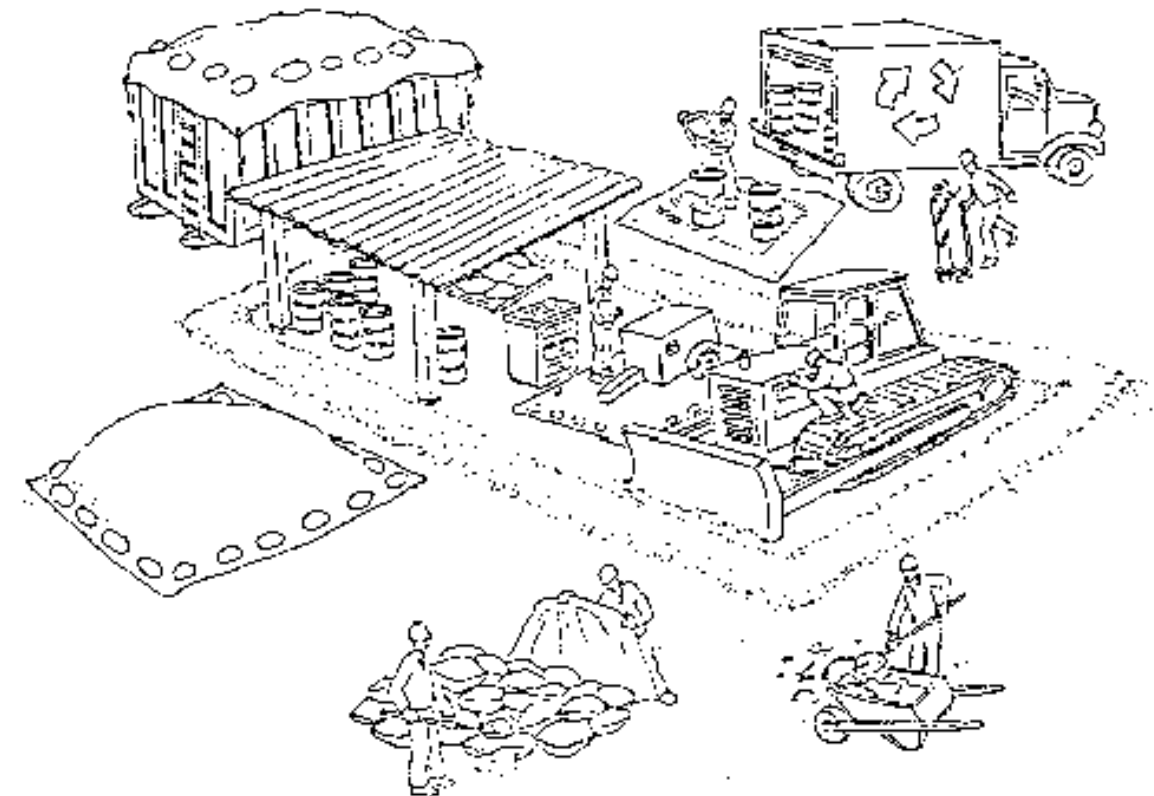
HANNA BRUNETTI
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS
 7651 EGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
 OFFICE (408) 842-2173 • FAX (408) 842-2662
 EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

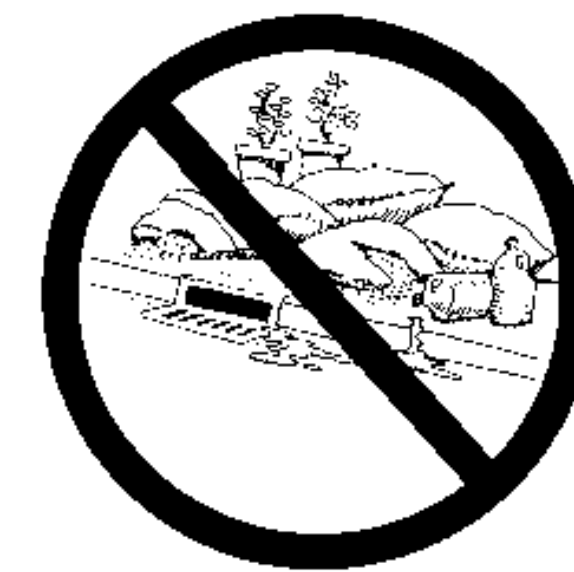
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



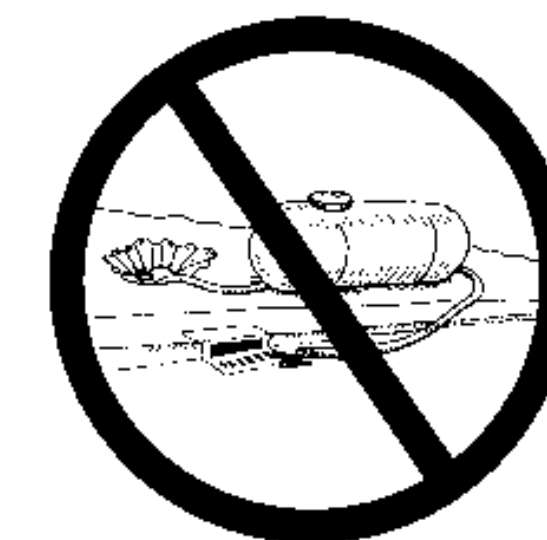
Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow on to dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



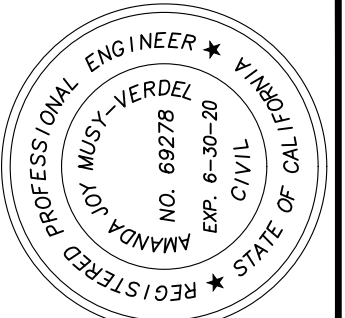
Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE



DATE: APRIL 11, 2019
SCALE: NONE
DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 18083

GRADING & DRAINAGE PLANS
LANDS OF DIEP - 15925 QUAIL HILL DRIVE
BLUEPRINT FOR A CLEAN BAY
ARCHITECTURAL AND SITE APPLICATION NO. S-19-012

PARKS AND PUBLIC WORKS DEPARTMENT

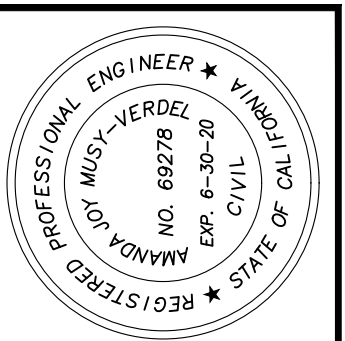
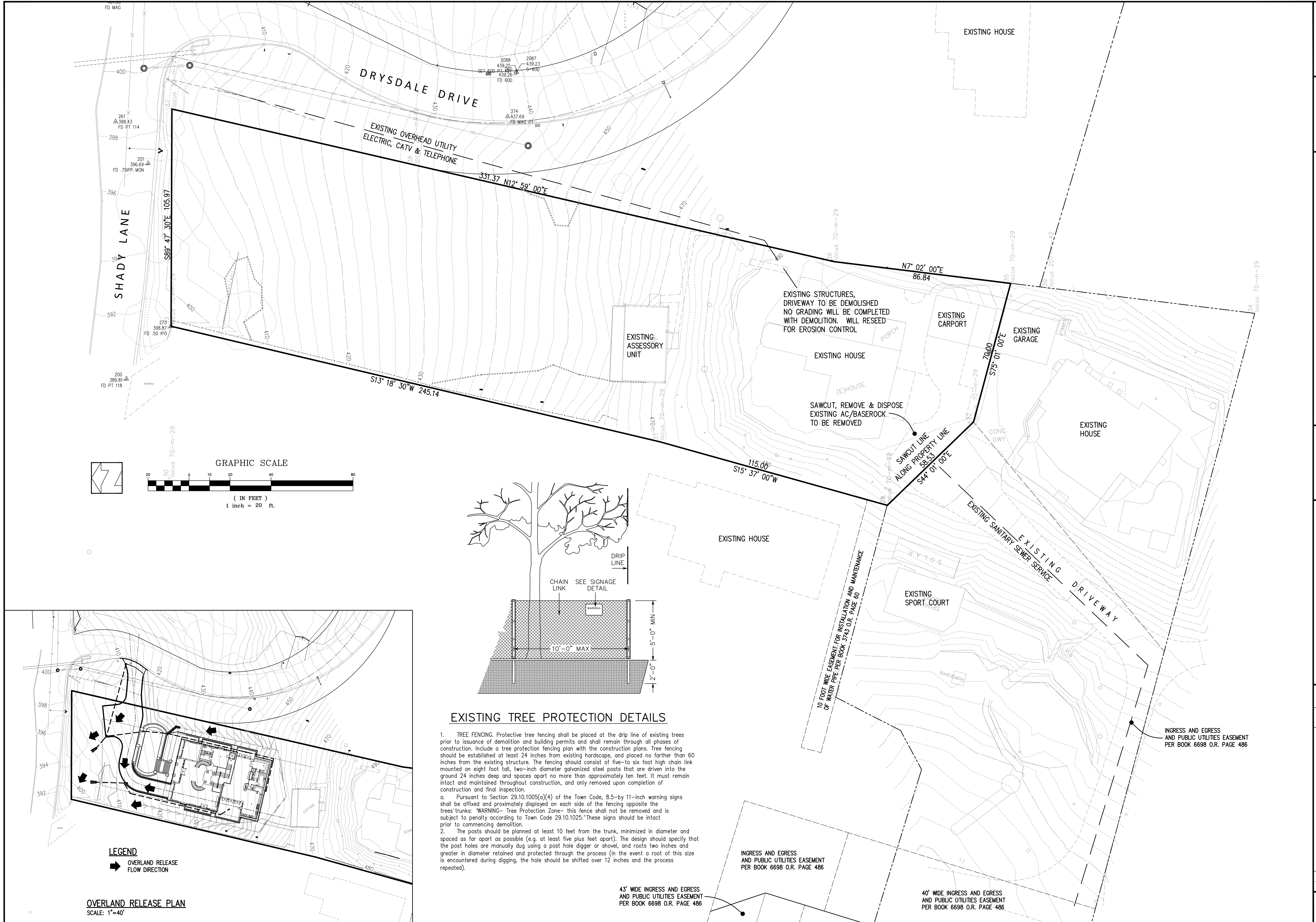
TOWN OF LOS GATOS

HANNA BRUNETTI
REGISTERED PROFESSIONAL ENGINEER
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7651 ELEGERRY STREET • GILROY, CA 95020 • CALIFORNIA
OFFICE (408) 842-2173 • FAX (408) 842-2662
EMAIL: ENGINEERING@HANNABRUNETTI.COM

REVISIONS	DATE

SHEET C.2 OF 7

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR OR SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS;



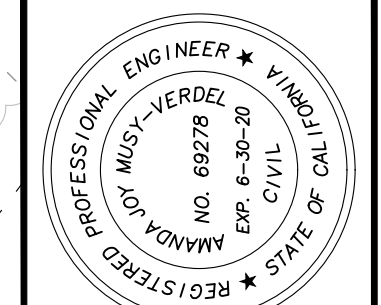
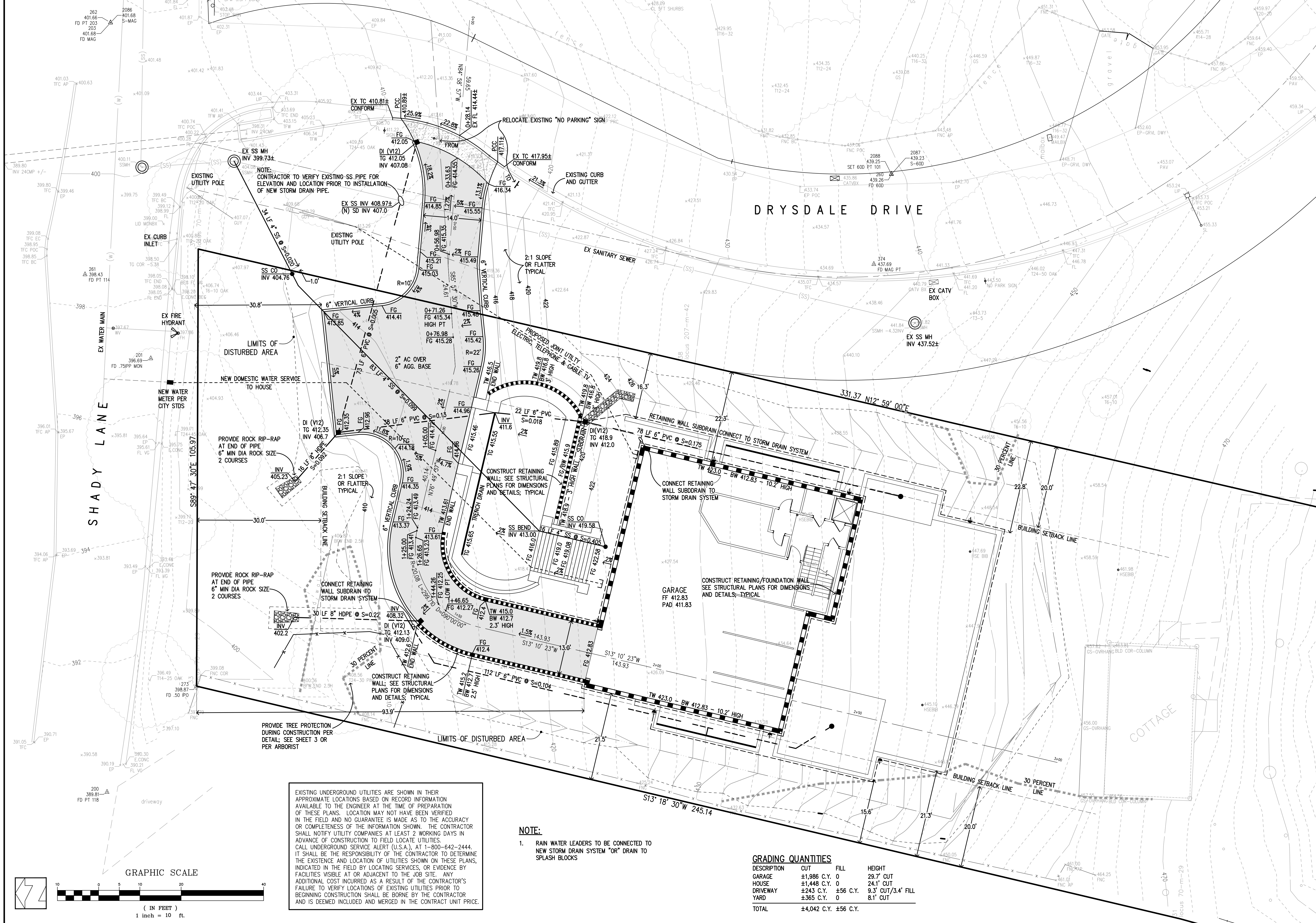
DATE:	MAY 23, 2019
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ENGR:	AM

PLAN FOR THE IMPROVEMENT OF
LANDS OF DIEP - 15925 QUAIL HILL DRIVE
EXISTING TOPOGRAPHY
AND DEMOLITION PLAN
 ARCHITECTURAL AND SITE APPLICATION NO. 5-19-012
 TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT
 PROJECT NO.: 18083

HANNA-BRUNETTI
 EST. 1910
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS

REVISIONS	DATE

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DATE:	MAY 23, 2019
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PROJECT NO.:	18083

PLAN FOR THE IMPROVEMENT OF
LANDS OF DIEP - 15925 QUAIL HILL DRIVE
GRADING & DRAINAGE PLAN
 ARCHITECTURAL AND SITE APPLICATION NO. S-19-012

TOWN OF LOS GATOS
 PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
 CIVIL ENGINEER
 CIVIL ENGINEERS • LAND SURVEYORS
 CONSTRUCTION MANAGERS
 7851 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
 OFFICE (408) 842-2173 • FAX (408) 842-2662
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REVISIONS	DATE

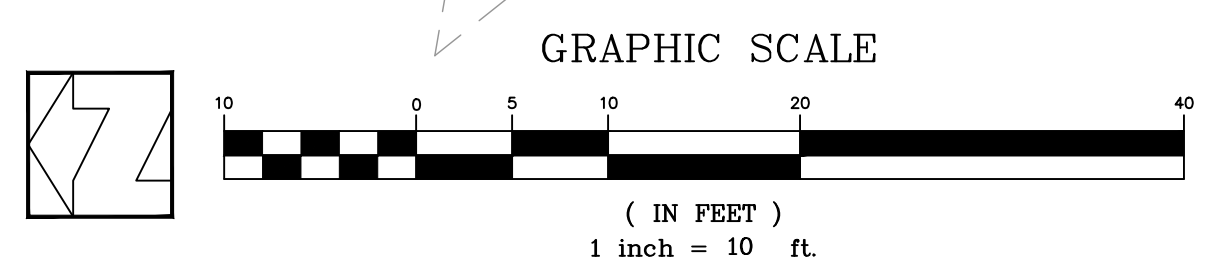
SHEET C.4 OF 8

EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.

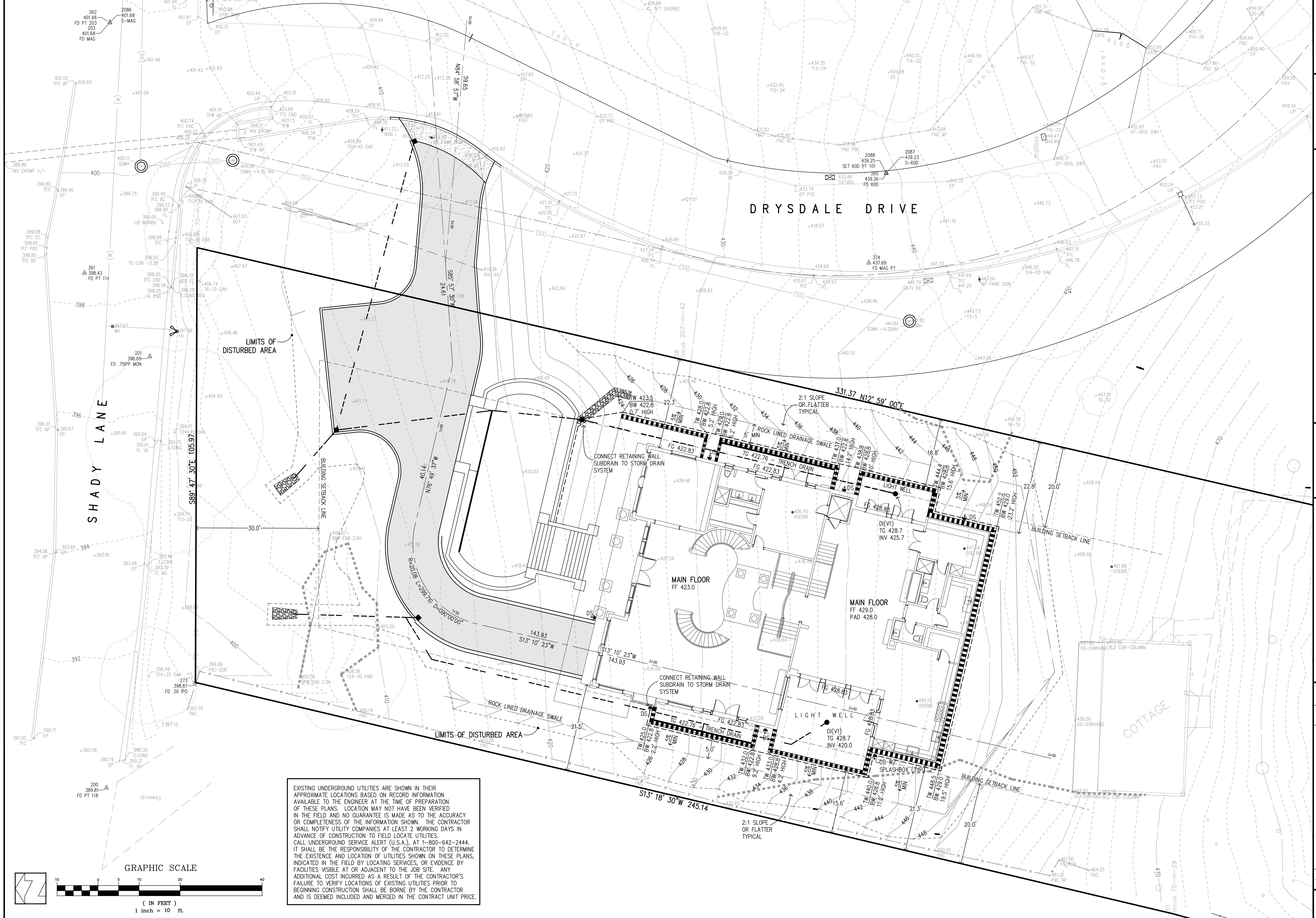
- NOTE:**
- RAIN WATER LEADERS TO BE CONNECTED TO NEW STORM DRAIN SYSTEM "OR" DRAIN TO SPLASH BLOCKS

GRADING QUANTITIES

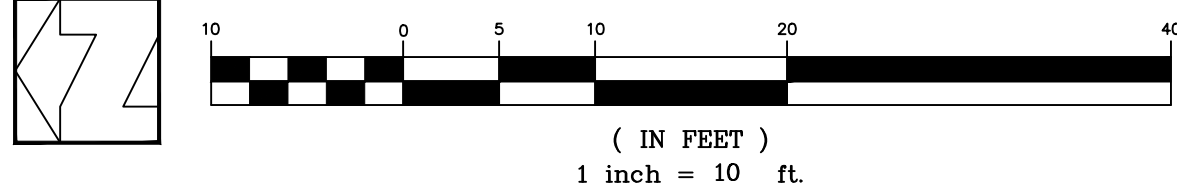
DESCRIPTION	CUT	FILL	HEIGHT
GARAGE	±1,986 C.Y.	0	29.7' CUT
HOUSE	±1,448 C.Y.	0	24.1' CUT
DRIVEWAY	±243 C.Y.	±56 C.Y.	9.3' CUT/3.4' FILL
YARD	±365 C.Y.	0	8.1' CUT
TOTAL	±4,042 C.Y.	±56 C.Y.	



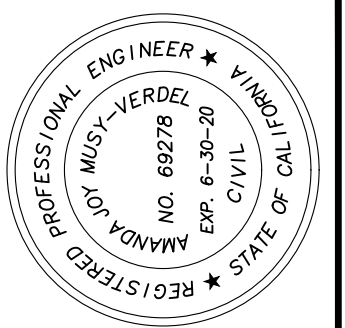
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GRAPHIC SCALE



EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED ON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF PREPARATION OF THESE PLANS. LOCATION MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST 2 WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. CALL UNDERGROUND SERVICE ALERT (U.S.A.), AT 1-800-642-2444. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF UTILITIES SHOWN ON THESE PLANS, INDICATED IN THE FIELD BY LOCATING SERVICES, OR EVIDENCE BY FACILITIES VISIBLE AT OR ADJACENT TO THE JOB SITE. ANY ADDITIONAL COST INCURRED AS A RESULT OF THE CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION SHALL BE BORNE BY THE CONTRACTOR AND IS DEEMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE.



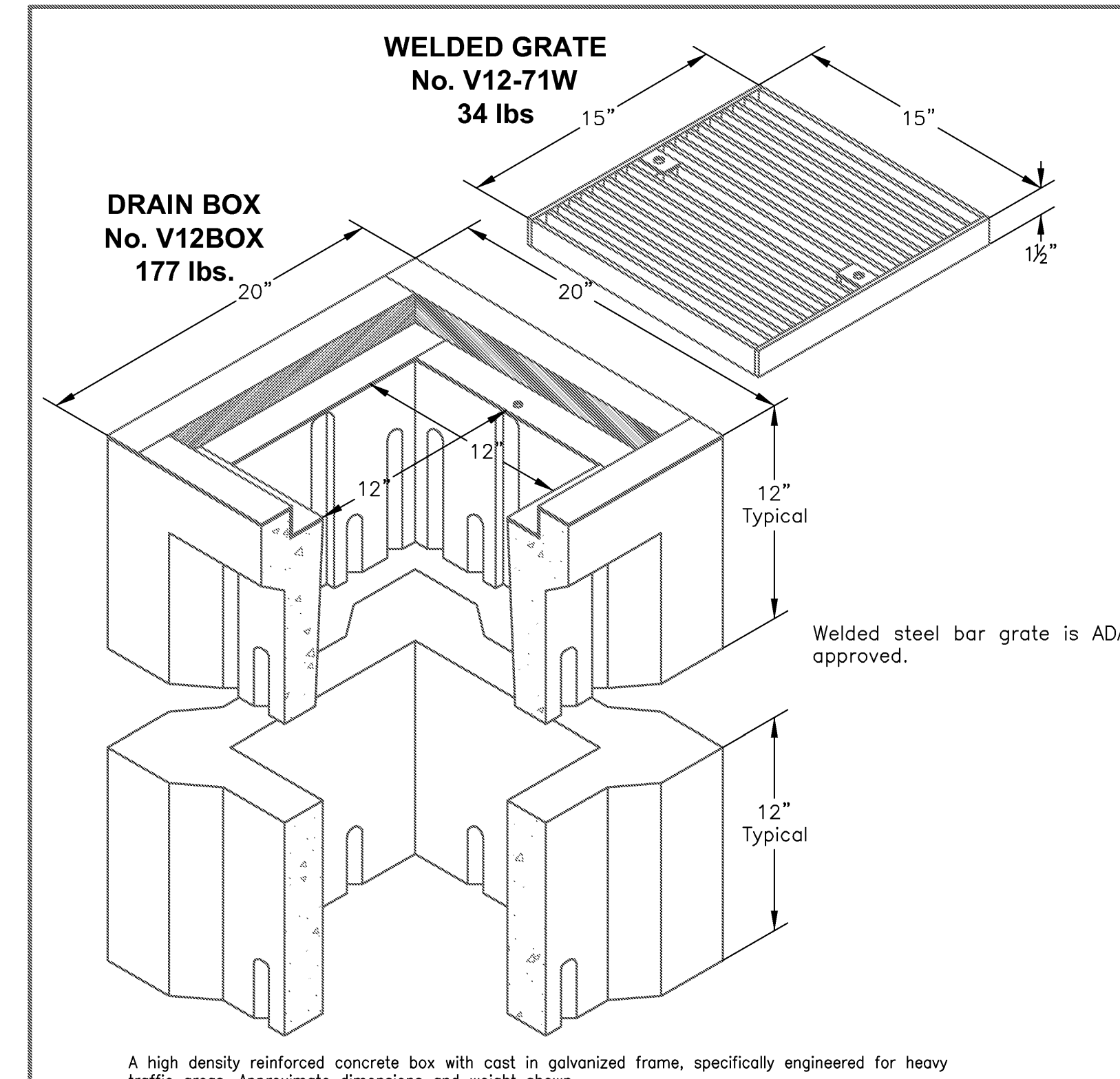
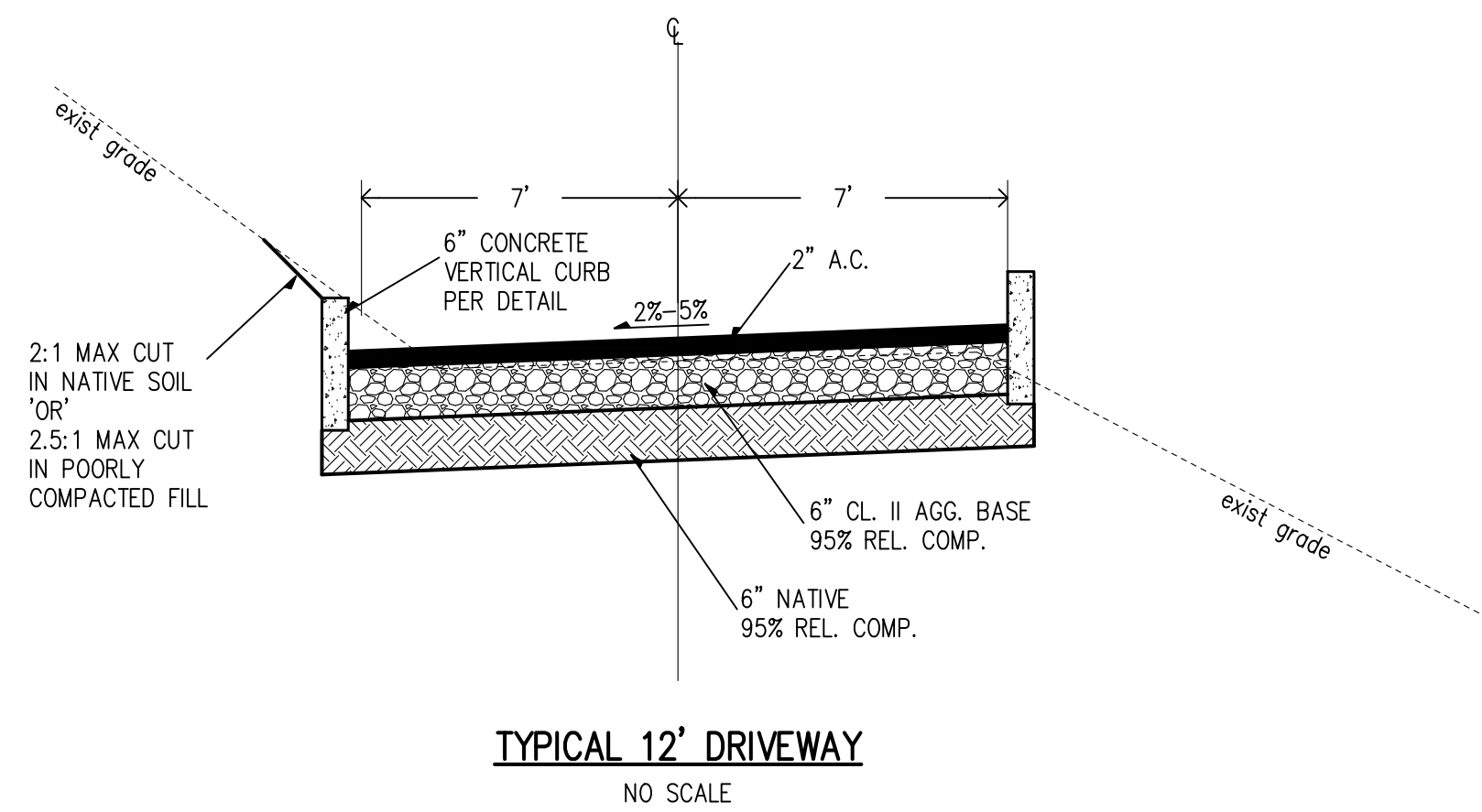
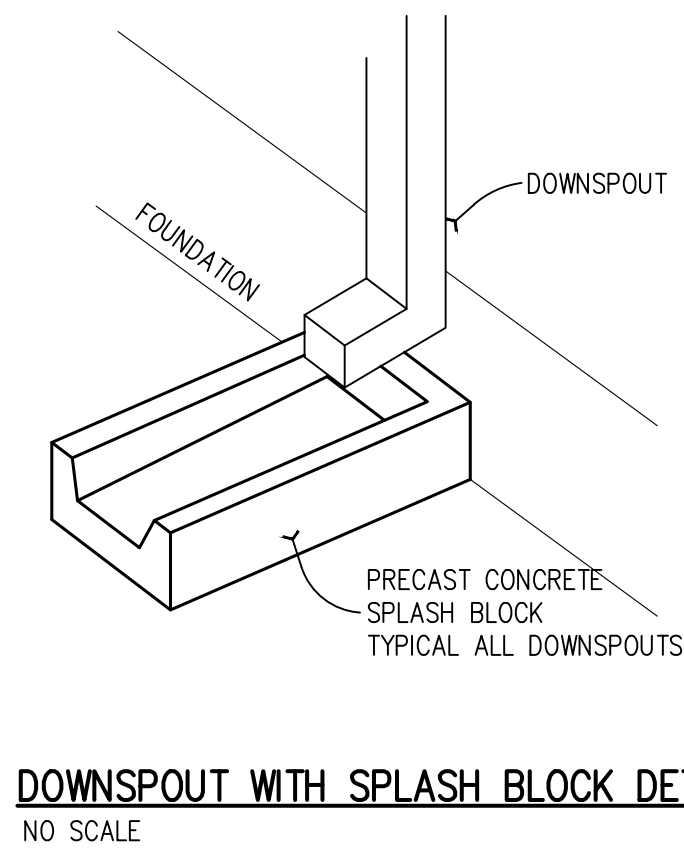
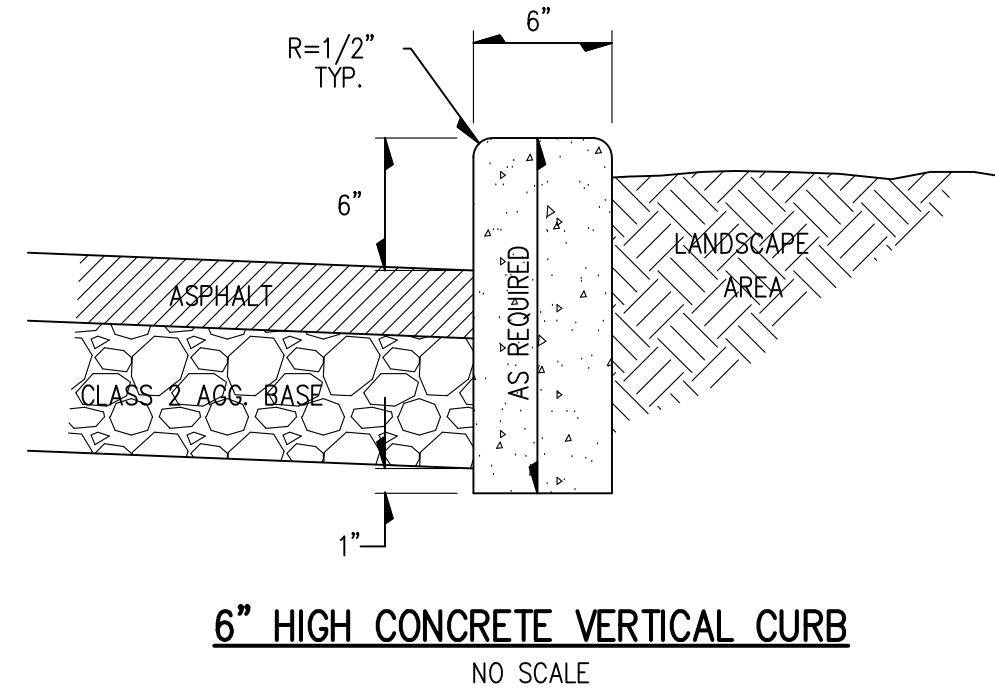
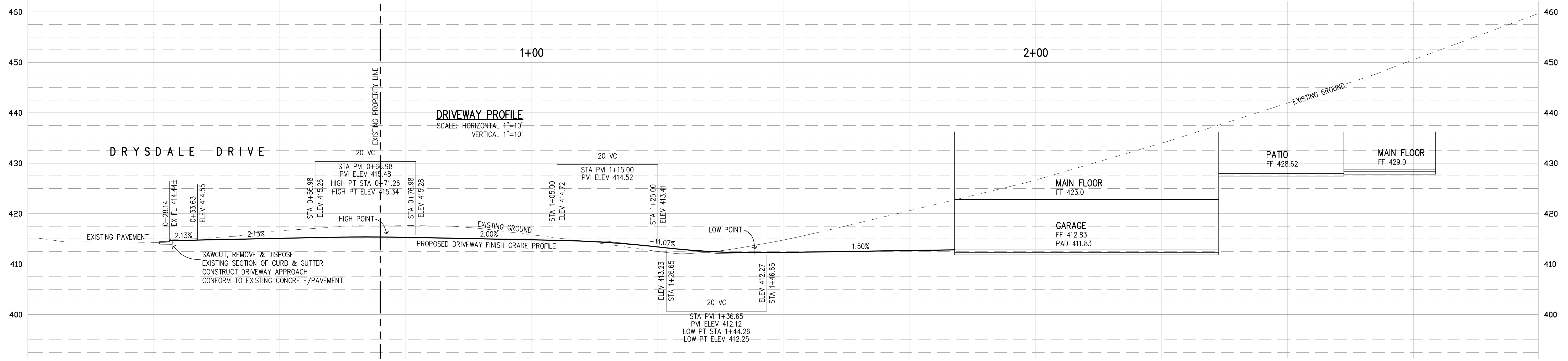
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ENGR:	AM

PLAN FOR THE IMPROVEMENT OF
LANDS OF DIEP - 15925 QUAIL HILL DRIVE
GRADING & DRAINAGE PLAN
ARCHITECTURAL AND SITE APPLICATION NO. S-19-012
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
REGISTERED
CIVIL ENGINEERS • LAND SURVEYORS
CONSTRUCTION MANAGERS
7851 EGGLEBERRY STREET • GILROY • 95020 • CALIFORNIA
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REVISIONS	DATE

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY OF ALL PERSONS AND PROPERTY, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS;



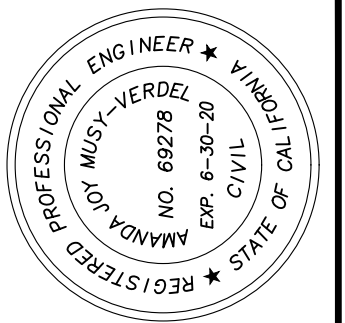
A high density reinforced concrete box with cast in galvanized frame, specifically engineered for heavy traffic areas. Approximate dimensions and weight shown.

Ordering Code	Item	Approx. Shipping Weight	Description
V12BOX	BOX	177	V12 Drain Box (12 x 12") H/20 Loading, bolt down Interchangeable with Brooks #1212 Box- 12 per pallet
V12-71W	GRATE	34	Welded, steel cross bars, H/20 loading, galvanized
V12X12	EXTENSION	120	12" Reinforced concrete- 12 per pallet

Oldcastle Precast®
Enclosure Solutions
MADEIRA/TRACY/ROSELILLE/PHOENIX
Phone: (800) 486-7070 Fax: (800) 486-6804
Copyright © 2009 Oldcastle Precast Inc.

V12 DRAIN BOX
FILE NAME: V12_JSO
ISSUE DATE: January, 2009
www.oldcastleprecast.com

V12 DRAIN BOX 12" x 12"
Christy



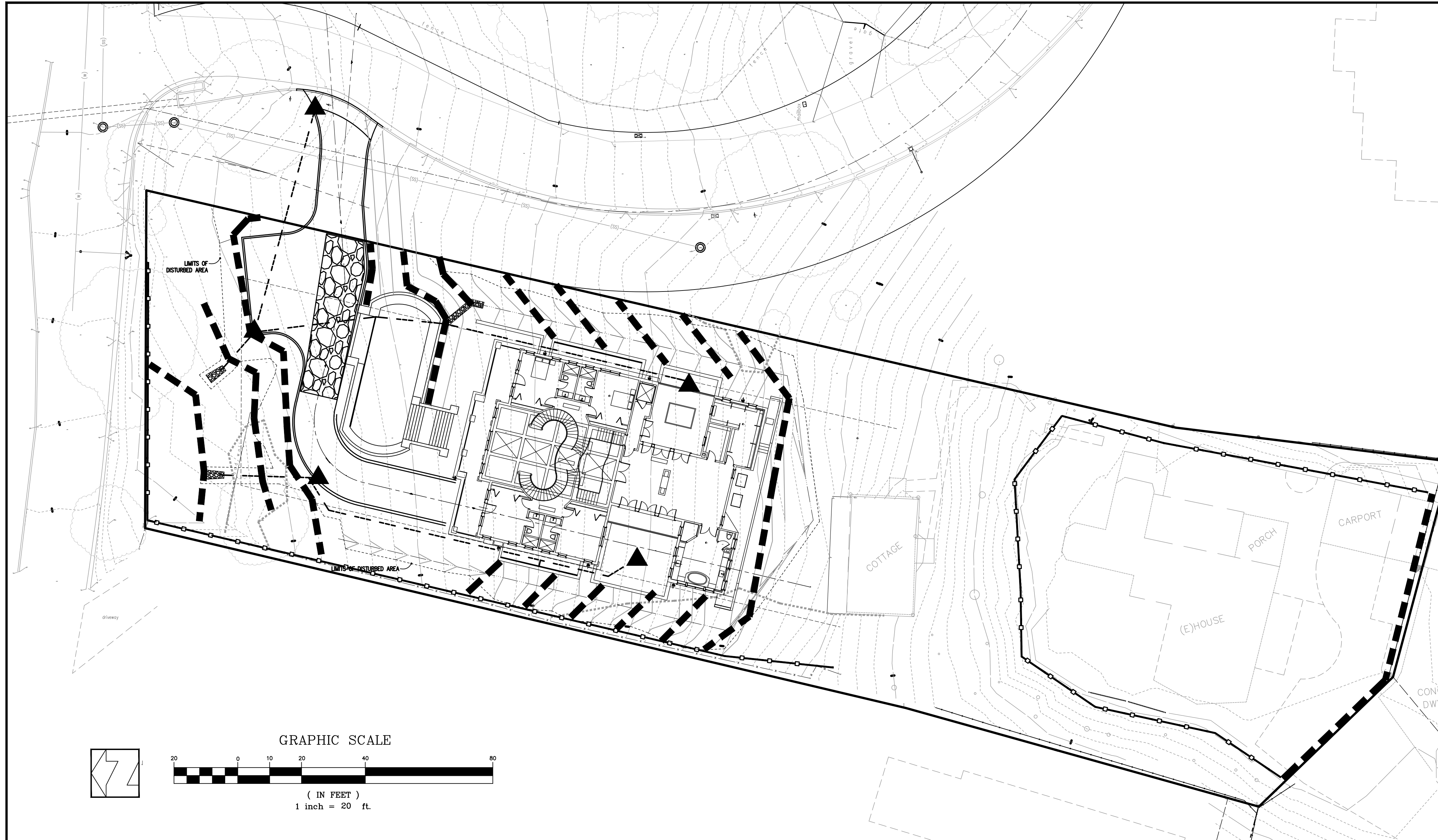
DATE: MAY 23, 2019
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DESIGN: AM
DRAWN: TM
CHECK: XX
ENGR: AM
PROJECT NO.: 18083

PLAN FOR THE IMPROVEMENT OF
LANDS OF DIEP - 15925 QUAIL HILL DRIVE
DRIVEWAY PROFILE & DETAILS
ARCHITECTURAL AND SITE APPLICATION NO. S-19-012
TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT

HANNA BRUNETTI
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CONSTRUCTION MANAGERS
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REVISIONS	DATE	BY

CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL EROSION CONTROL MEASURES AND SHALL BE RESPONSIBLE FOR THE PERFORMANCE OF WORK ON THIS PROJECT, ACCEPTING FULL LIABILITY ARISING FROM THE SOLE RESPONSIBILITY OF THE CONTRACTOR.



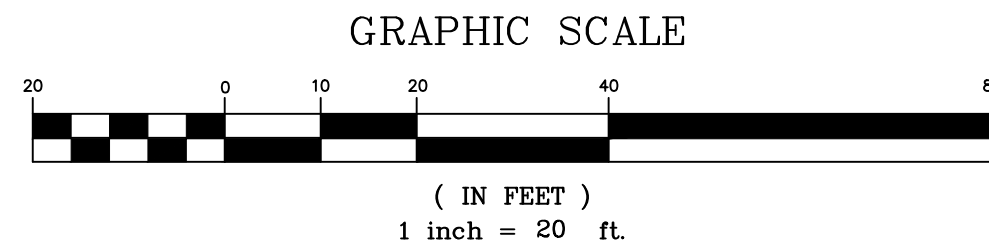
EROSION CONTROL NOTES

1. EROSION CONTROL MEASURES SHALL BE EFFECTIVE FOR CONSTRUCTION DURING THE RAINY SEASON; OCTOBER 15 THROUGH APRIL 15.
2. NO STORM WATER RUNOFF SHALL BE ALLOWED TO DRAIN INTO THE EXISTING AND/OR PROPOSED UNDERGROUND STORM SYSTEM UNTIL SUITABLE EROSION CONTROL MEASURES ARE FULLY IMPLEMENTED. NO STORM WATER RUNOFF SHALL BE ALLOWED TO ENTER THE STORM DRAIN SYSTEM THAT IS NOT CLEAR, AND FREE OF SILTS.
3. A FIBER ROLL PER "FIBER ROLL DETAIL SE-5" SHALL BE INSTALL ALONG THE PERIMETER OF THE PROJECT SITE. THE LOCATION OF THE FIBER ROLL ALONG THE PERIMETER SHALL BE ADJUSTED TO ELIMINATE SEDIMENT LADEN RUNOFF FROM LEAVING THE SITE. A FIBER ROLL SHALL ALSO BE REQUIRED AROUND THE PERIMETER OF ANY STOCKPILE OR OTHER SITE OF BARE, LOOSE EARTH.
4. ALL STORM DRAIN MANHOLES, CATCH BASINS, AND/OR DROP INLETS THAT ARE TO ACCEPT STORM WATER SHALL HAVE INLET PROTECTION MEASURES PER DETAIL SE-10. STORM WATER RUNOFF SHALL BE DIRECTED TO THESE INLETS ONLY. STORM DRAIN CATCH BASINS THAT ARE NOT COMPLETE, SHALL BE BLOCKED OFF COMPLETELY.
5. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
6. PRIOR TO GRADING, AN ENTRANCE SHALL BE CONSTRUCTED, CONSISTING OF A MINIMUM OF 50 LF OF DRAIN ROCK, 3" IN DIAMETER, PLACED OVER MIRAFI 500X (OR EQUAL) PER DETAIL TC-1. THE ENTRANCE SHALL CONFORM TO "CONSTRUCTION ENTRANCE DETAIL TC-1". THERE SHALL BE ONLY ONE ENTRANCE/EXIT POINT TO THE SITE DURING THE RAINY SEASON. THE LOCATION SHALL BE AS SHOWN ON THESE PLANS, OR AT A LOCATION APPROVED BY THE CITY.
7. ALL AREAS OF BARE, TURNED OR DISTURBED EARTH SHALL BE STABILIZED BY USE OF HYDROSEED OR NON-VEGETATIVE STABILIZATION PER EC-16, PER THE TABLE BELOW. ALL STOCKPILES, AND/OR BORROW AREAS SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES SUCH AS A PERIMETER SILT FENCE, AND OTHER METHODS TO PREVENT ANY EROSION OR SILTS MIGRATION. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THE EROSION CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS, BUT ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OSD. THE STORM DRAIN SYSTEM SHALL MAINTAIN A FORM OF DRAIN INLET PROTECTION UNTIL CITY ACCEPTS THE FINAL STREET IMPROVEMENTS. THE DRAIN INLET PROTECTION SHALL BE MAINTAINED, EFFECTIVE AND SUBJECT TO CITY ENGINEER'S APPROVAL.
8. ALL PAVED STREET, AND AREAS ADJACENT TO THE SITE SHALL BE KEPT CLEAR OF EARTH MATERIALS AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO ELIMINATE SEDIMENT LADEN RUNOFF FROM ENTERING THE STORM DRAIN SYSTEM.
9. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSPECT AND REPAIR ALL EROSION CONTROL FACILITIES AT THE END OF EACH DAY. ANY DAMAGED STRUCTURAL MEASURES ARE TO BE REPAIRED BY END OF THE DAY. TRAPPED SEDIMENT IN "SD INLETS" (AND OTHER EROSION CONTROL MEASURES) SHALL BE REMOVED TO MAINTAIN TRAP EFFICIENCY. REMOVED SEDIMENT SHALL BE DISPOSED BY SPREADING ON SITE, WHERE IT WILL NOT MIGRATE.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREVENT THE FORMATION OF AIRBORNE DUST NUISANCE AND SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM A FAILURE TO DO SO.
11. ALL DRAIN SWALES SHALL BE PER DETAIL EC-9.
12. INCOMPLETE GRADING SHALL NOT BE ALLOWED. CONTRACTOR SHALL MAINTAIN A DRAIN PATH AS SHOWN ON THIS PLAN. SAID DRAIN PATH SHALL BE MAINTAINED LINED DRAIN SWALES, AND INLET PROTECTION AT A MINIMUM. IF PONDING DOES OCCUR ON THE SITE AFTER GRADING, THE WATER MUST BE FREE AND CLEAR OF SEDIMENT PRIOR TO DISCHARGE TO THE STORM DRAIN SYSTEM. THIS REQUIREMENT MAY NECESSITATE THE USE OF NATURAL AND/OR MECHANICAL DESILTING METHODS, SUBJECT TO APPROVAL BY THE CITY ENGINEER.
13. IF THESE EROSION CONTROL MEASURE PROVE INADEQUATE, STRAW MULCH, TACKIFIER, AND ADDITIONAL HYDROSEEDING MAY BE REQUIRED.

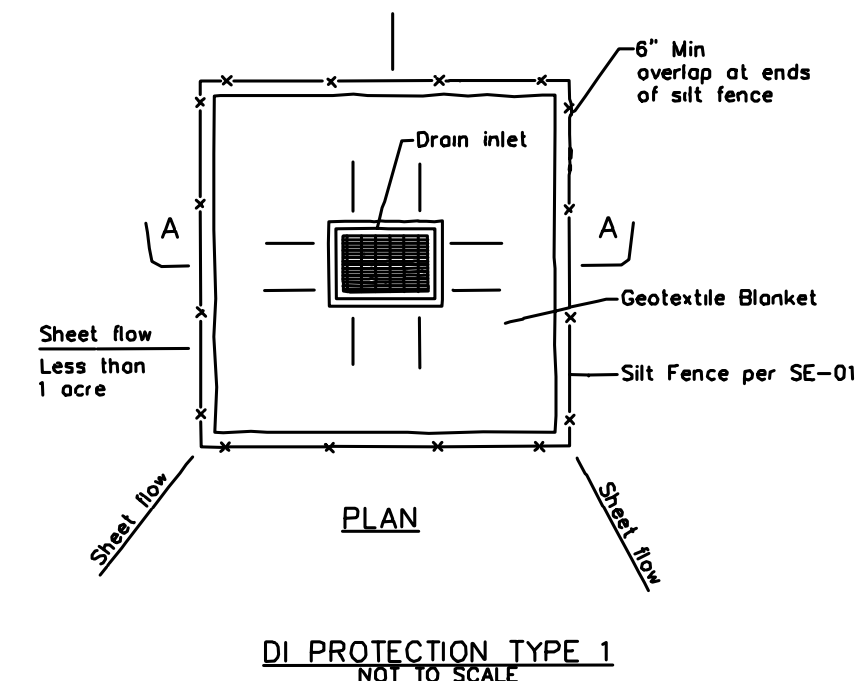
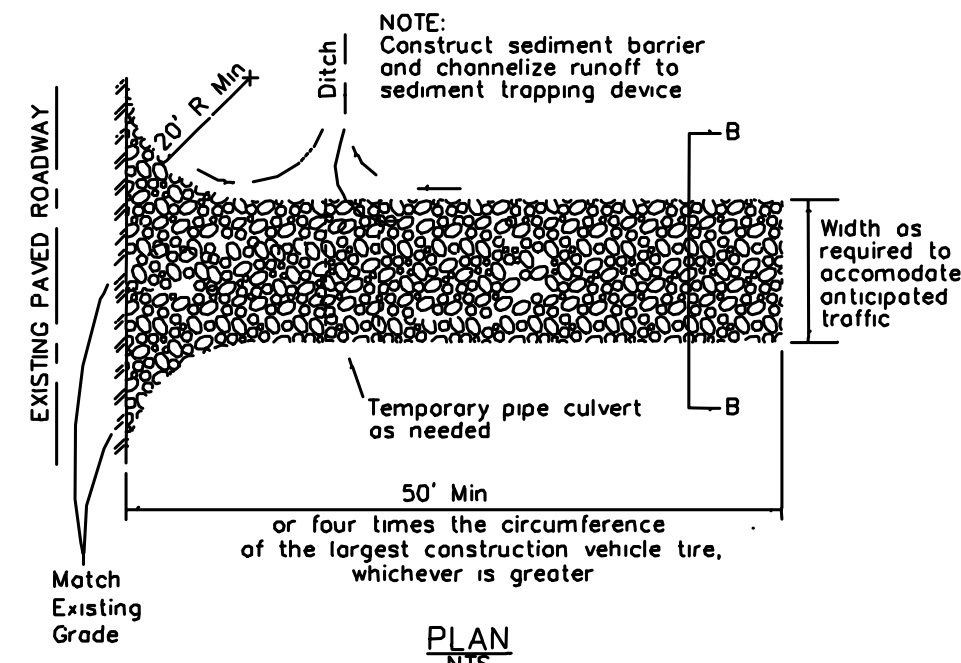
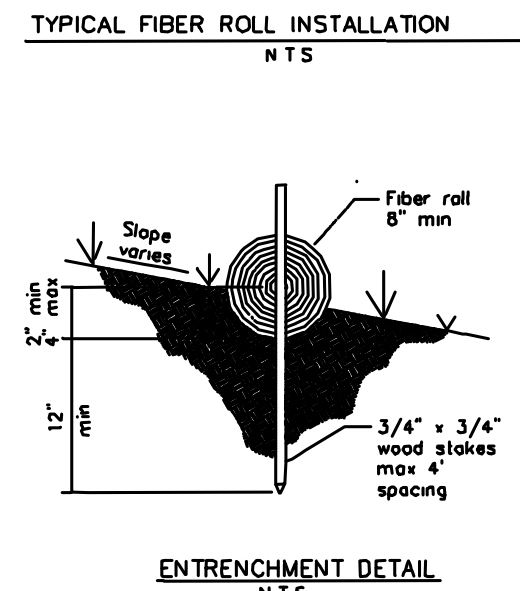
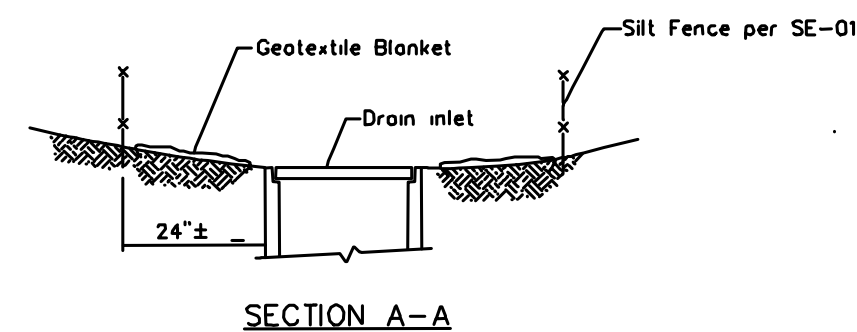
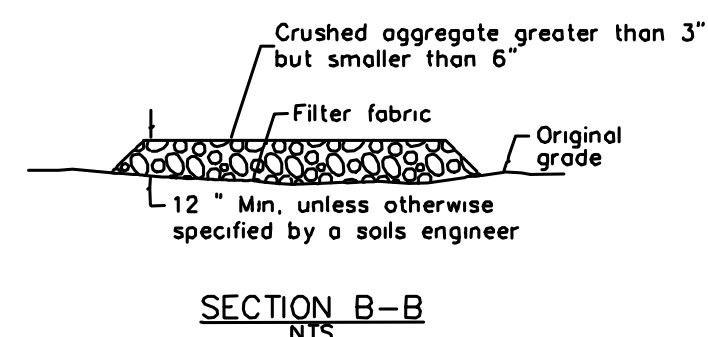
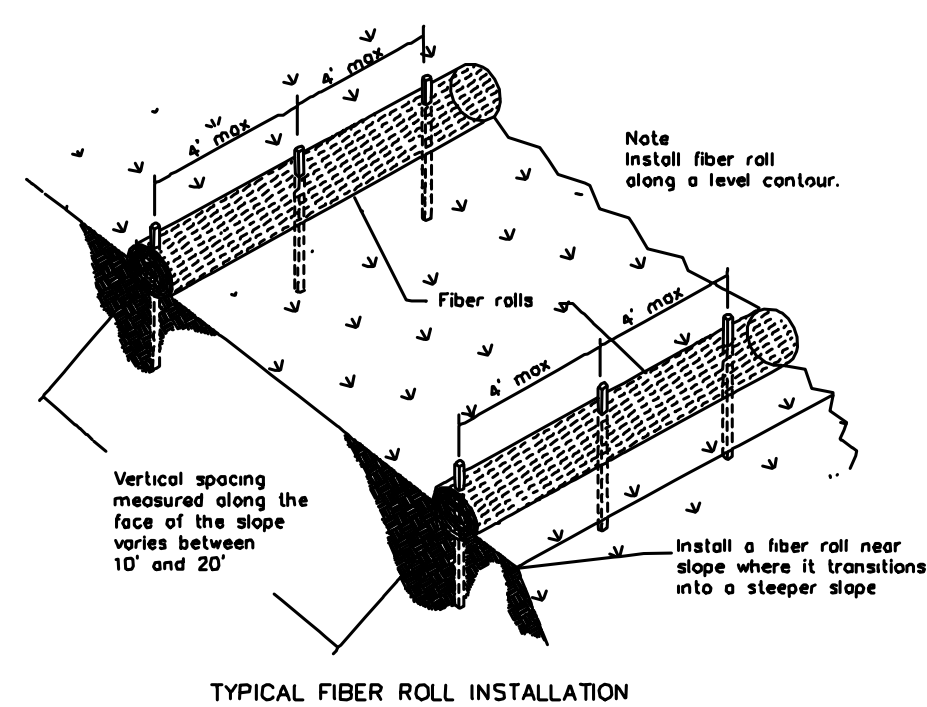
HYDROSEED TABLE	
ITEM	LBS/ACRE
COMMON BARLEY	45
ANNUAL RYEGRASS	45
CRIMSON CLOVER	10
FERTILIZER 7-2-3	400
FIBER MULCH	2000
TACKIFIER	100

LEGEND

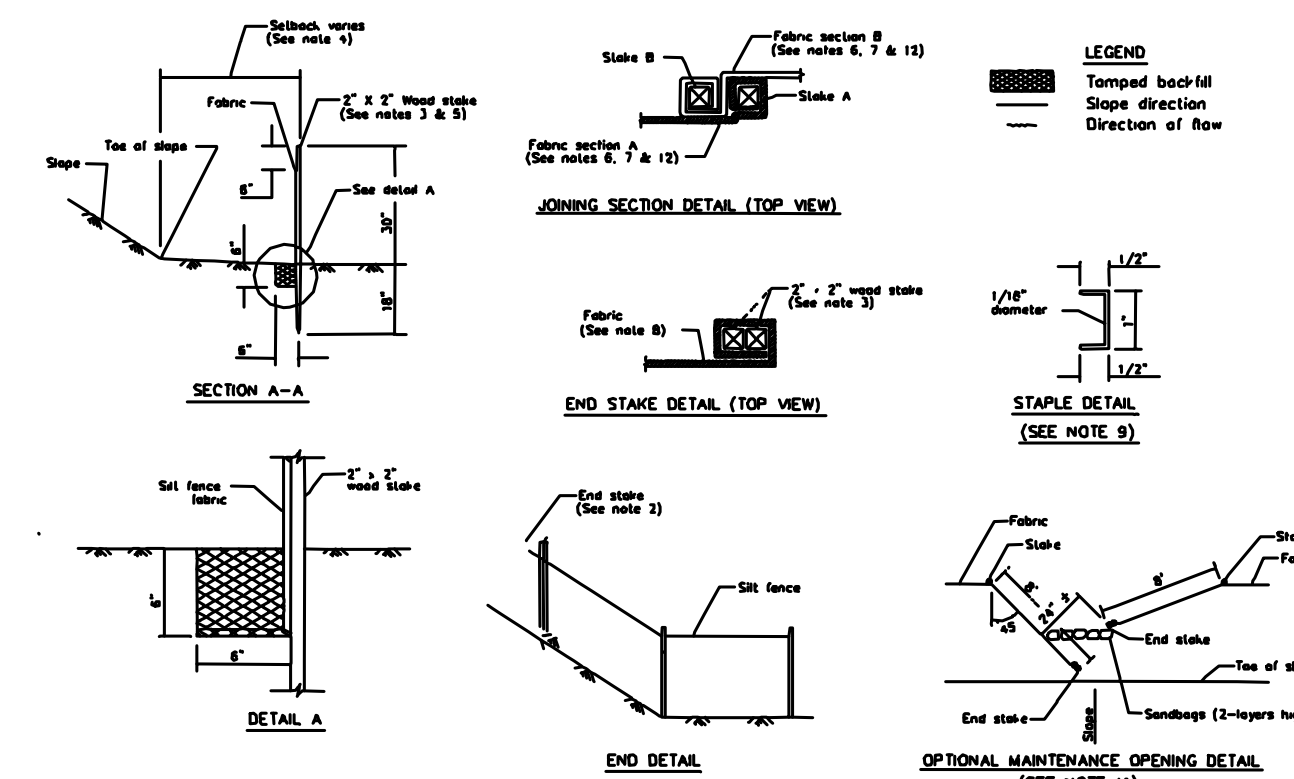
- CONSTRUCTION ENTRANCE/EXIT PER DETAIL TC-1
- FIBER ROLL BARRIER PER DETAIL SE-5
- STORM DRAIN INLET PROTECTION PER DETAIL SE-10
- SILT FENCE BARRIER PER DETAIL SE-1 AROUND PERIMETER OF PROJECT SITE



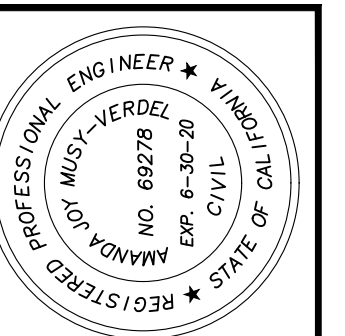
SE-5 Fiber Rolls Stabilized Construction Entrance/Exit TC-1 SE-10 Storm Drain Inlet Protection



- NOTES
- 1 For use in areas where grading has been completed and final soil stabilization and seeding are pending.
 - 2 Not applicable in paved areas.
 - 3 Not applicable with concentrated flows.



SE-1 Silt Fence



DATE:	MAY 23, 2019
SCALE:	AS SHOWN
DESIGN:	AM
DRAWN:	TM
CHECK:	XX
ENGR:	AM

PLAN FOR THE IMPROVEMENT OF
LANDS OF DIEP - 10 DRYSDALE DRIVE
EROSION CONTROL PLAN
ARCHITECTURAL AND SITE APPLICATION NO. S-19-012

HANNA BRUNETTI
S.E. Plans
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REVISIONS	DATE



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PROJECT NAME

DIEP RESIDENCE

15925 QUAIL HILL ROAD
LOS GATOS, CA
95030

REVISIONS

NO.	DESCRIPTION

PROPOSED WALL MOUNTED LIGHT 'A'

"ELLINGTON DARK SKY TRADITIONAL" OUTDOOR WALL SCONCE



THIS DESIGNER'S FOUNTAIN COLLECTION OF ELLINGTON DARK SKY TRADITIONAL OUTDOOR WALL SCONCE OFFERS QUALITY OUTDOOR LIGHTING. THE DARK SKY WALL SCONCE ARE DESIGNED TO MINIMIZE GLARE AND REDUCE LIGHT TRESPASS. THE INTRICATE DESIGN OF C-LIKE SHAPES GIVES THIS CAST ALUMINUM WALL SCONCE A BEAUTIFUL MEDITERRANEAN PATINA FINISH.

FEATURES

- SAFETY RATING: UL/CUL
- LOCATION RATING: WET
- DARK SKY: YES
- MODEL#: XFD-PM-12113
- ORIGIN: CN
- WALL PROJECTION: 11.75"
- FINISH: MEDITERRANEAN PATINA
- MATERIAL: CAST ALUMINUM
- LAMPING: (1) 100W 120V INCANDESCENT, MEDIUM BASE (E26)
- DIMENSION: 16.25" (H) x 9" (W) x 11.75" (L)

PROPOSED EXTERIOR SOFFIT RECESSED MOUNT LIGHT 'B'

'HALO' 4" DIA. LED LIGHTING H456ICAT120D WITH LENS RECESSED MOUNT CEILING FIXTURE

HOUSING



H456ICAT120D

SustainableLEDesign

4" Aperture Shallow Ceiling, New Construction, ICAT High Efficacy LED Housing, Dimmable

H456ICAT120D is an insulated ceiling, AIR-TITE™ housing offering 120 volt dimming capability with many incandescent or electronic low voltage dimmers. Designed for use with EL4 series LED Light Engines and TL4 LED Series Trims, the H456ICAT120D offers high quality downlighting along with high efficacy – the result being great lighting and significant energy savings.



ENGINE

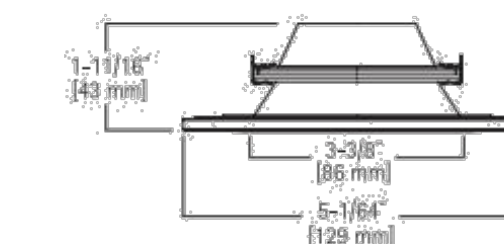
EL405827, EL405830, EL405835, EL405840

H4 LED Light Engine Available in 2700°K, 3000°K, 3500°K and 4000°K Correlated Color Temperatures

The Halo LED EL4058xx Light Engines are designed for use in the LED dedicated housing Series H455x. Halo LED H4 Series light engines deliver in the range of 534-700 lumens (depending upon the trim and selected color temperature); and the H4 Series offers a selection of four color temperatures: 2700K, 3000K, 3500K, 4000K. Halo LED offers a superior optical design that yields productive beam lumens, good cutoff and low glare.



4" RECESSED DOWNLIGHTING TRIM



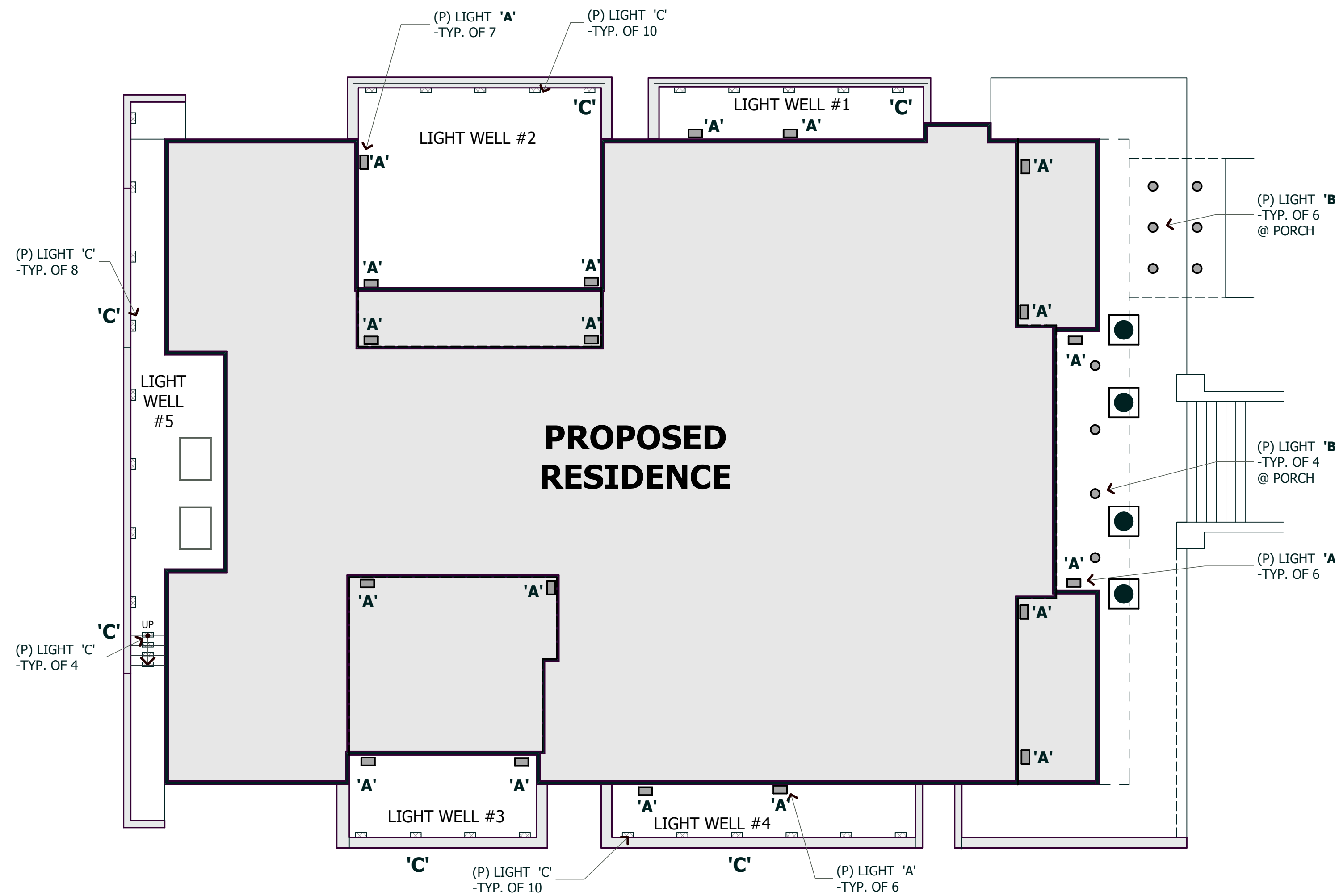
TL402TBZS - Tuscan bronze reflector with Solite® lens, and tuscan bronze trim ring

4" LED Solite® Regressed Flat Lens Reflector and Baffle Trims

- Solite® lensed trims offer high-clarity glass lenses for high-lumen transmission along with a subtle diffusion of source brightness
- Wet location, shower rated

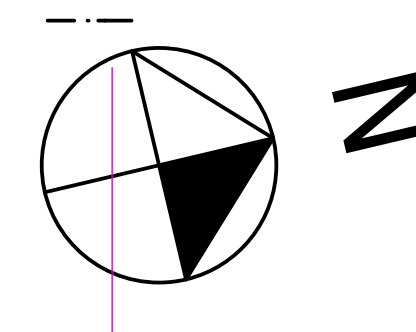
4" Reflector and Baffle Trims Summary

- Trim designs and dimensions are consistent with Halo 4" series for a true 4" family
- Precision-formed aluminum reflectors and baffles and die-cast trim rings offer high-quality fit and finish
- Standard trim ring provides clearance for remodeler flange and gasket
- Trim gasket provides AIR-TITE™ seal and compliance where local codes require a gasket on wet location, shower-rated trims
- Accessory die-cast trim rings in designer finishes; mix and match with baffles and reflectors.



LIGHT TYPE	SYMBOL	TOTAL
(P) LIGHT 'A'	▣ 'A'	19
(P) LIGHT 'B'	○ 'B'	10
(P) LIGHT 'C'	▣ 'C'	32

PROPOSED EXTERIOR LIGHTING PLAN



PROPOSED STEP LIGHT 'C'

HINKLEY LIGHTING 58508BZ BRONZE 1LIGHT 3" HEIGHT ADA COMPLIANT LED OUTDOOR STEP LIGHT - LUNA COLLECTION



Product Details for the Hinkley Lighting 58508BZ in Bronze

Single Light 3" Height ADA Compliant LED Outdoor Step Light from the Luna Collection

Features:

- Made of zinc-aluminum alloy
- Energy efficient
- ADA Compliant
- Suitable for wet locations

Lamping Technology:

- LED - Light Emitting Diode: Highly efficient diodes produce little heat and have an extremely long lifespan.

Specifications:

- Bulb Included: Yes
- Bulb Type: LED
- Dark Sky: No
- Extension: 0.5" (measured from mounting surface to furthest protruding point on fixture)
- Height: 3"
- LED: Yes

- Material: Aluminum
- Number of Bulbs: 1
- Product Weight: 1 lbs
- Sloped Ceiling Compatible: No
- Title 24: No
- UL Rating: Wet Location
- Voltage: 120v
- Wattage: 4
- Watts Per Bulb: 4
- Width: 4.5" (measured from furthest point left to furthest point right on fixture)

Compliance:

- UL Listed - Indicates whether a product meets standards and compliance guidelines set by Underwriters Laboratories. This listing determines what types of rooms or environments a product can be used in safely.
- ADA Compliance - The Americans with Disabilities Act (ADA). Fixtures hung between 27" and 80" above the floor must have an extension of 4" or less; this applies to wall lights hung in walkways, halls, corridors, passageways or aisles. Ceiling Fixtures must be hung no lower than 80".

DATE : 10-24-19

SCALE : 1/8" = 1'-0"

DRAWN BY : T&Z

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 18652

SHEET NUMBER

A-1.0



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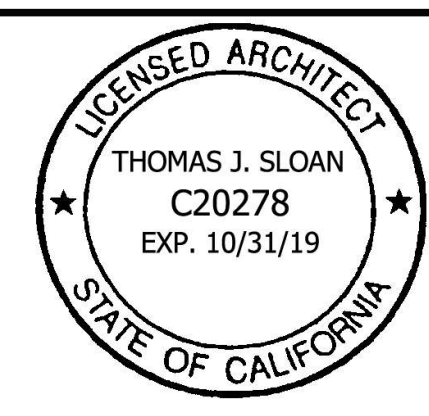
PROJECT NAME

**DIEP
RESIDENCE**

15925 QUAIL HILL ROAD
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95030

REVISIONS

NO.	DESCRIPTION

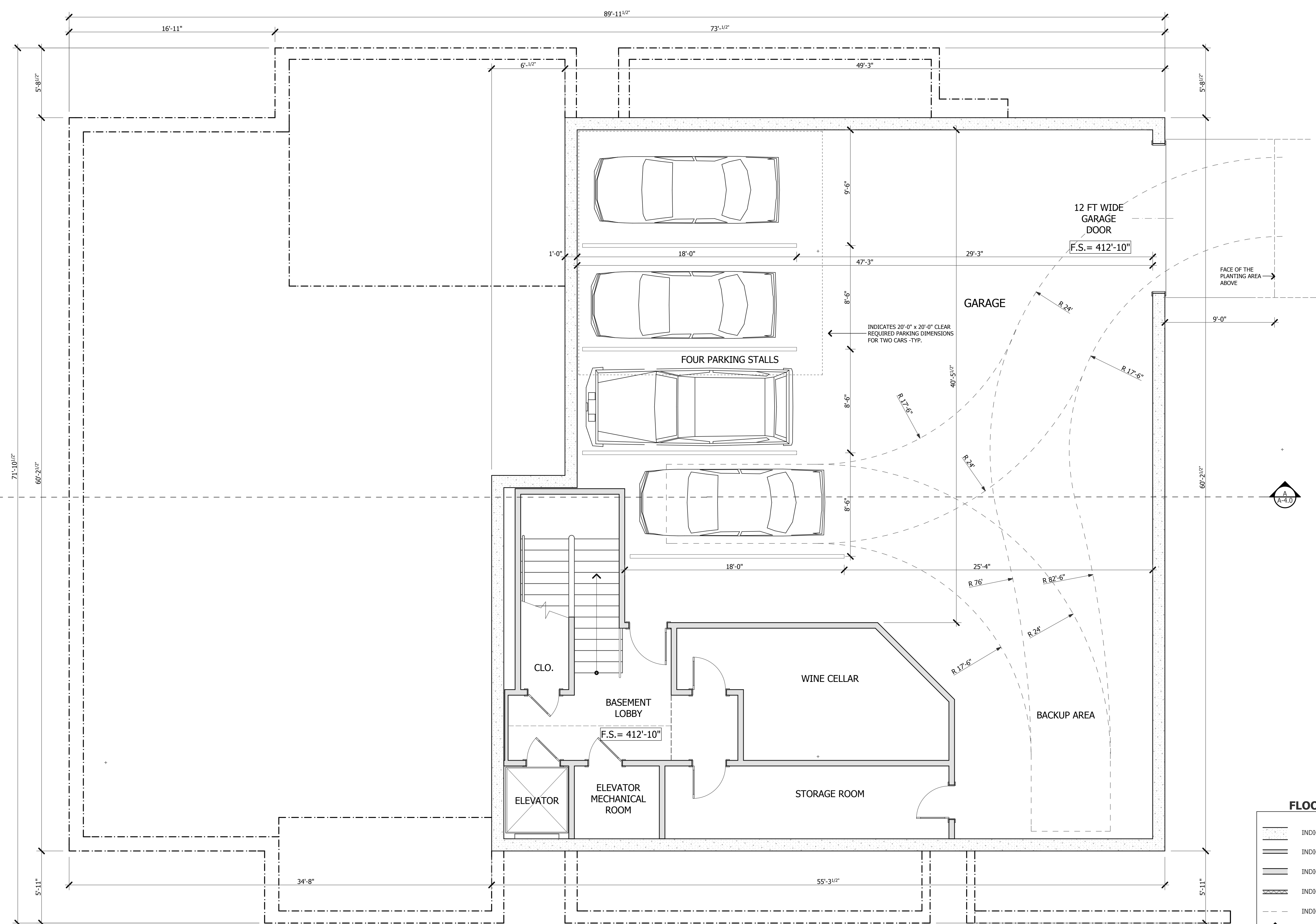


**LOWER
FLOOR PLAN**

DATE : 10-24-19
SCALE : 1/4" = 1'-0"
DRAWN BY : D.TS
CHECKED BY : TS
ARCHITECT : TOM SLOAN
PROJECT NO : 18652

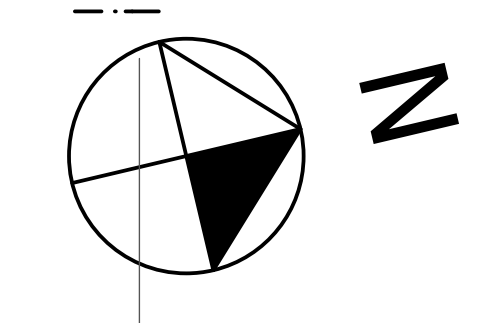
SHEET NUMBER

A-2.1



FLOOR PLAN LEGEND

	INDICATES NEW RETAINING WALLS
	INDICATES NEW 2x4 WALLS
	INDICATES NEW 2x6 WALLS
	INDICATES WALL W/ SOUND INSULATION
	INDICATES CEILING TRANSITION
	INDICATES CROSS SECTION MARKER SEE A-4 SHEETS
	INDICATES NEW CABINETS
	INDICATES NEW PLUMBING FIXTURE
	INDICATES NEW WALL MOUNTED DOWNLIGHT ENERGY EFFICIENT LIGHTING
	RECESSED DOWNLIGHT ENERGY EFFICIENT LIGHTING





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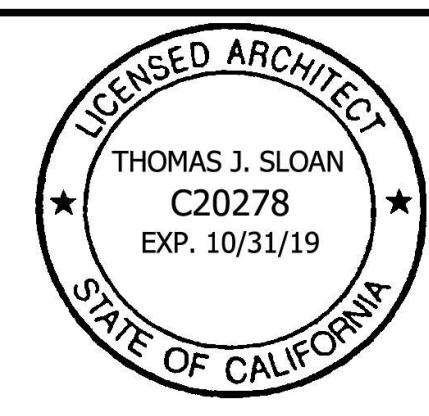
PROJECT NAME

**DIEP
RESIDENCE**

15925 QUAIL HILL ROAD
LOS GATOS, CA
95030

REVISIONS

NO.	DESCRIPTION



**MAIN
FLOOR PLAN**

DATE : 10-24-19

SCALE : 1/4" = 1'-0"

DRAWN BY : **MS**

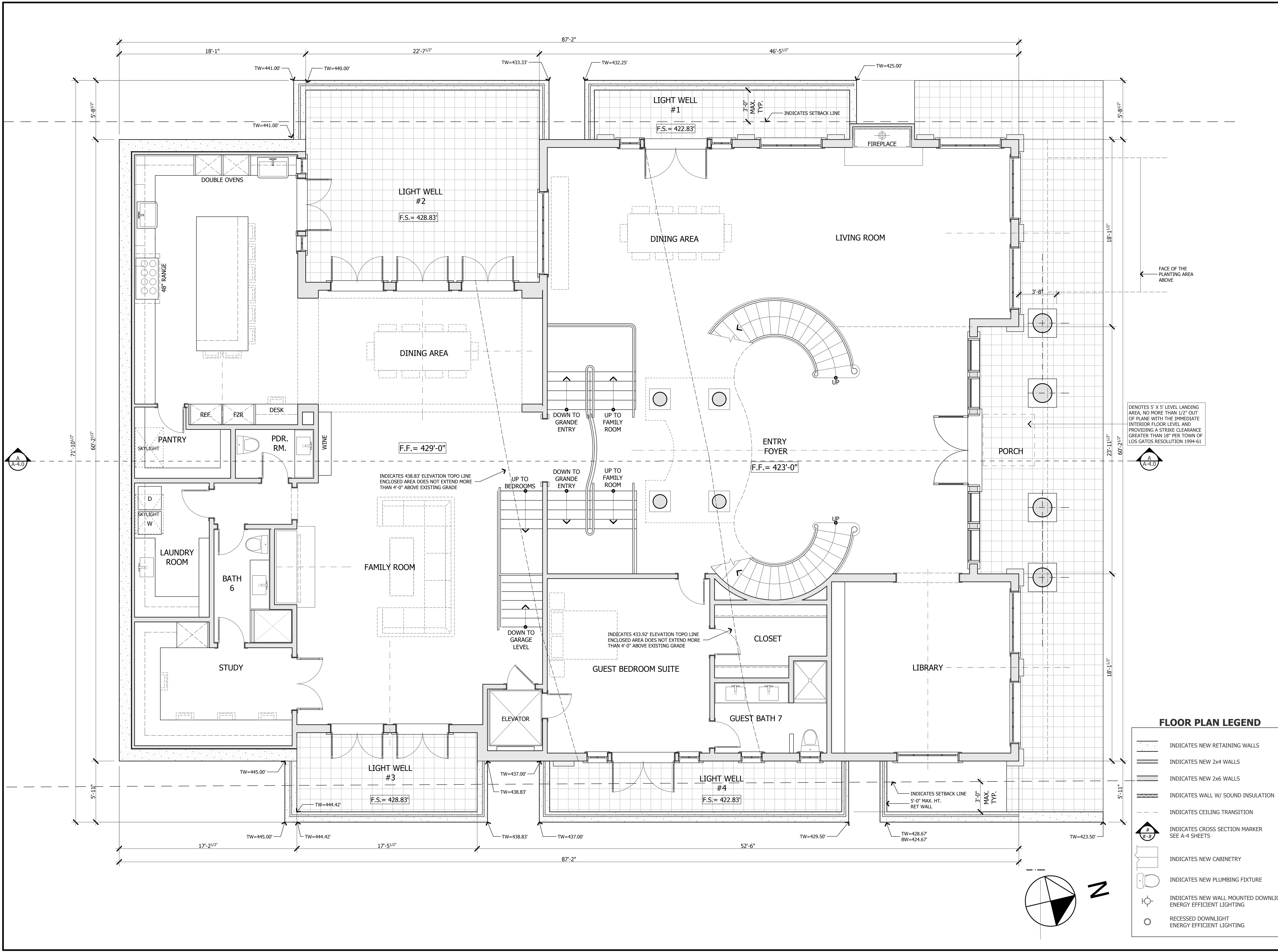
CHECKED BY : **TS**

ARCHITECT : **TOM SLOAN**

PROJECT NO : 18652

SHEET NUMBER

A-2.2

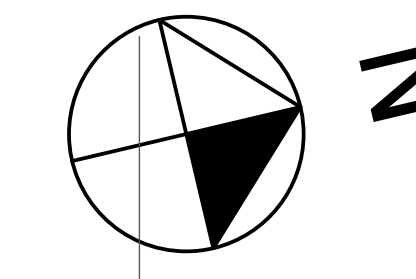


INDICATES 5' X 5' LEVEL LANDING AREA, NO MORE THAN 1/2" OUT OF PLANE WITH THE IMMEDIATE INTERIOR FLOOR LEVEL AND PROVIDING A STRIKE CLEARANCE GREATER THAN 18" PER TOWN OF LOS GATOS RESOLUTION 1994-61

INDICATES 438.83' ELEVATION TOPO LINE ENCLOSED AREA DOES NOT EXTEND MORE THAN 4'-0" ABOVE EXISTING GRADE

INDICATES 433.92' ELEVATION TOPO LINE ENCLOSED AREA DOES NOT EXTEND MORE THAN 4'-0" ABOVE EXISTING GRADE

- FLOOR PLAN LEGEND**
- INDICATES NEW RETAINING WALLS
 - INDICATES NEW 2x4 WALLS
 - INDICATES NEW 2x6 WALLS
 - INDICATES WALL W/ SOUND INSULATION
 - INDICATES CEILING TRANSITION
 - INDICATES CROSS SECTION MARKER SEE A-4 SHEETS
 - INDICATES NEW CABINETRY
 - INDICATES NEW PLUMBING FIXTURE
 - INDICATES NEW WALL MOUNTED DOWNLIGHT ENERGY EFFICIENT LIGHTING
 - RECESSED DOWNLIGHT ENERGY EFFICIENT LIGHTING



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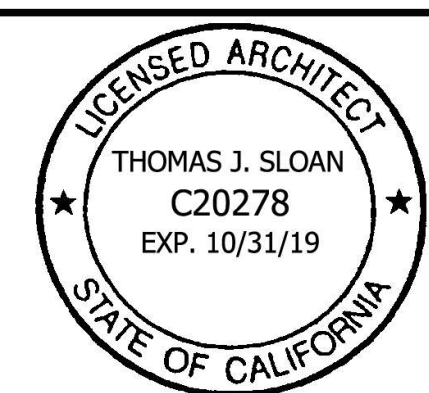
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PROJECT NAME
**DIEP
RESIDENCE**

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95030

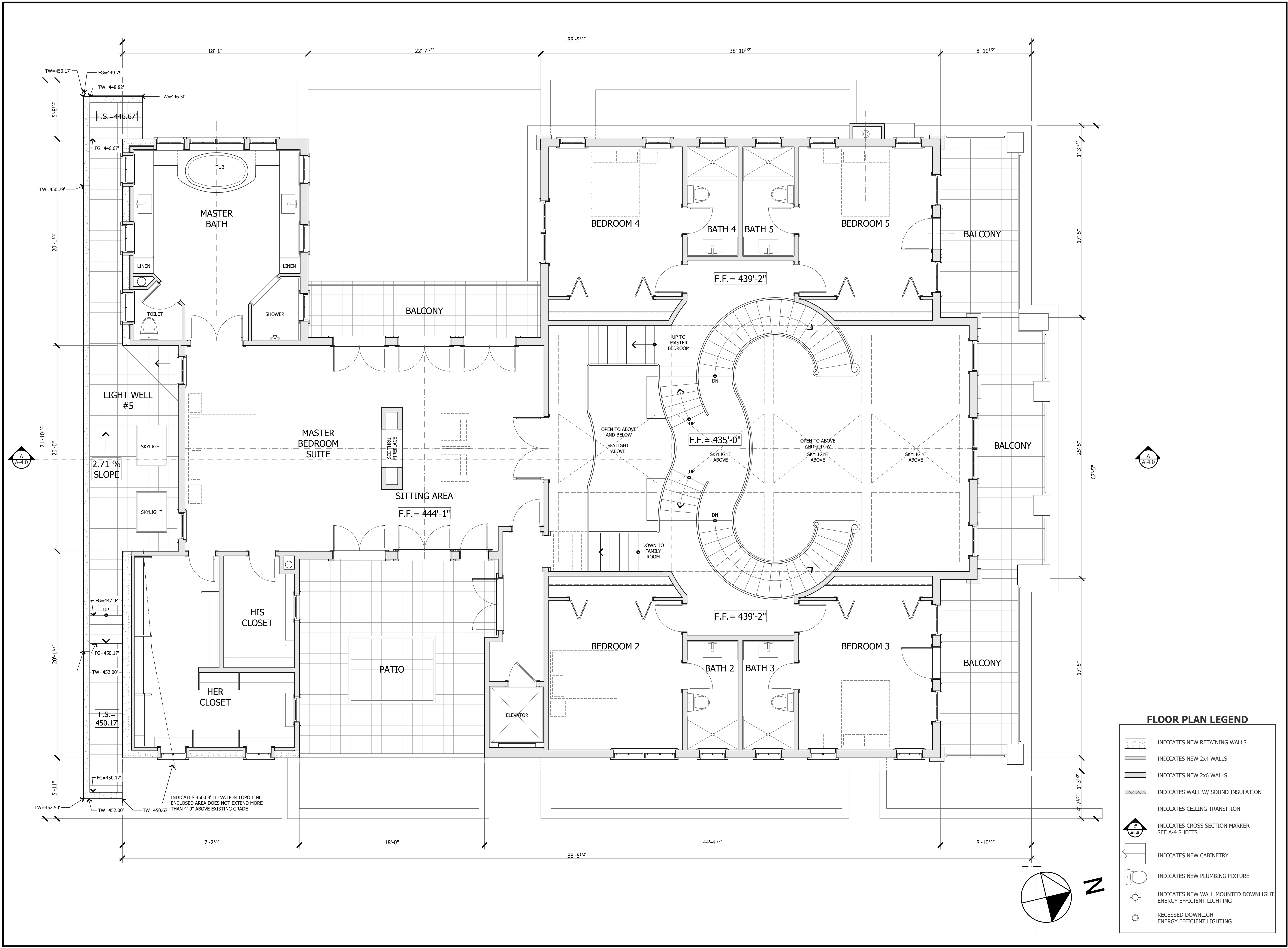
NO.	REVISIONS



**UPPER
FLOOR PLAN**

DATE : 10-24-19
SCALE : 1/4" = 1'-0"
DRAWN BY : **T.S.**
CHECKED BY : **TS**
ARCHITECT : **TOM SLOAN**
PROJECT NO : 18652

SHEET NUMBER
A-2.3



FLOOR PLAN LEGEND

- INDICATES NEW RETAINING WALLS
- INDICATES NEW 2x4 WALLS
- INDICATES NEW 2x6 WALLS
- INDICATES WALL W/ SOUND INSULATION
- INDICATES CEILING TRANSITION
- INDICATES CROSS SECTION MARKER SEE A-4 SHEETS
- INDICATES NEW CABINERY
- INDICATES NEW PLUMBING FIXTURE
- INDICATES NEW WALL MOUNTED DOWNLIGHT ENERGY EFFICIENT LIGHTING
- RECESSED DOWNLIGHT ENERGY EFFICIENT LIGHTING

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PROJECT NAME

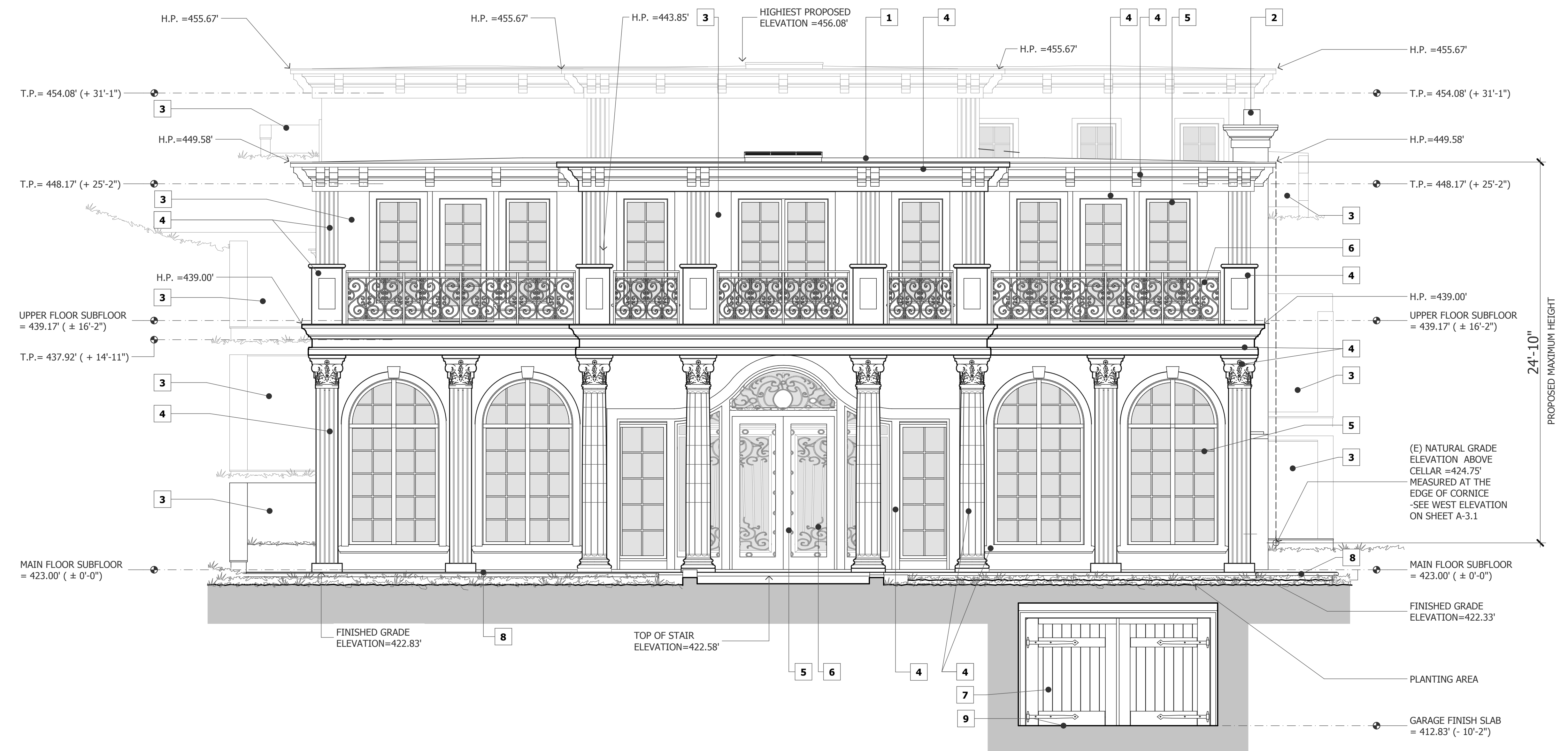
DIEP RESIDENCE

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LOS GATOS, CA
95030

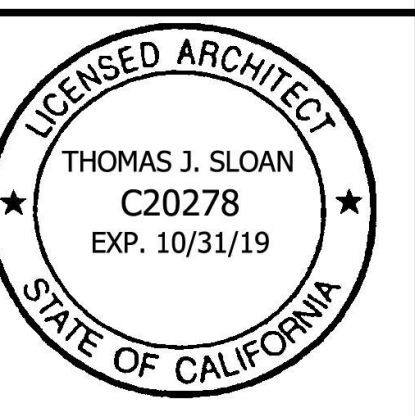
REVISIONS

NO.	DESCRIPTION

LEGEND - EXERIOR FINISHES	
1 ROOFING:	GAF 'EVERGUARD @ TPO', CLASS "A" MANSARD BROWN COLOR KMA65-5 GROUND BEAN LRV 10
2 CHIMNEY CAP:	CHIMNEY CAP ARCHITECTURAL COPPER W/ SPARK ARRESTOR SW 6962 LRV 7 / SW 6976 LRV 5 RUGGED BROWN RUGGED BROWN -AVERAGE LRV 6
3 EXTERIOR WALL AND RETAINING WALL FINISH:	COLOR INTEGRAL PLASTER FINISH HARD TROWELED SMOOTH FINISH COAT TO MATCH KELLY MOORE KM5716-3 RODEO ROUNDUP-LRV 30
4 PARAPET, EXTERIOR TRIM ELEMENTS, WINDOWS/DOORS SURROUND & SILLS, COLUMNS:	CAST STONE TRIM 'MILLBROCK STONE' CUSTOM CAST STONE SURROUND & SILLS, COLUMNS: SW 6109 HOPSACK LRV 24
5 EXTERIOR DOORS & WINDOWS:	CLAD WOOD WINDOWS - BRONZE COLOR CLAD WOOD DOORS - BRONZE COLOR CAST STONE DOOR SURROUND & SILLS SW 6990 CAVIAR LRV 5
6 EXTERIOR WROUGHT IRON DOORS, GUARDRAIL, GATE:	WROUGHT IRON RAILING BRONZE PAINTED W.I. RAILING & GUARDRAILS SW 6990 CAVIAR LRV 5
7 GARAGE DOOR:	'CARRIAGE' STYLE DOOR STAINED WOOD SW 6068 LRV 10 / SW 6038 LRV 8 -AVERAGE LRV 9 BREVITY BROWN/ SABLE
8 WALKWAYS & PATIOS:	LIMESTONE - ANTIQUE FINISH
9 DRIVEWAY:	PERVIOUS PAVERS: ECO-FRIENDLY SF-RIMA PERMEABLE PAVEMENT -TUMBLER TAN CHARCOAL COLOR BY 'BASALITE'



NORTH ELEVATION, FRONT



PROPOSED EXTERIOR ELEVATIONS

NORTH ELEVATION, FRONT
 DATE : 10-24-19
 SCALE : 1/4" = 1'-0"
 DRAWN BY : DJS
 CHECKED BY : TS
 ARCHITECT : TOM SLOAN
 PROJECT NO : 18652

SHEET NUMBER

A-3.0



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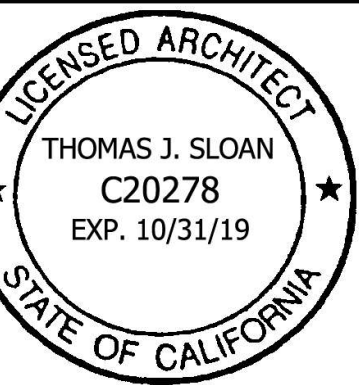
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REVISIONS

NO.	DESCRIPTION



PROPOSED EXTERIOR ELEVATIONS

SOUTH ELEVATION, REAR
WEST ELEVATION, SIDE

DATE : 10-24-19

SCALE : 1/4" = 1'-0"

DRAWN BY : DJS

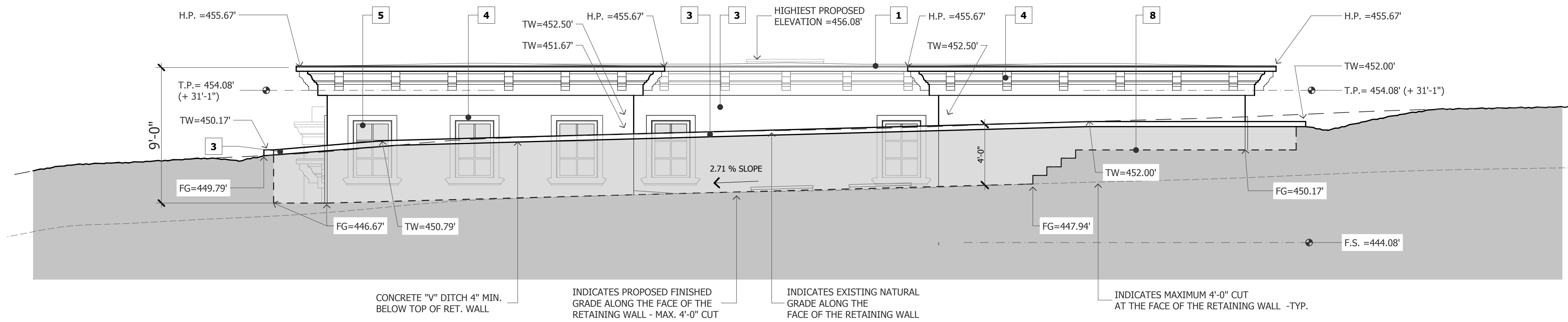
CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 18652

SHEET NUMBER

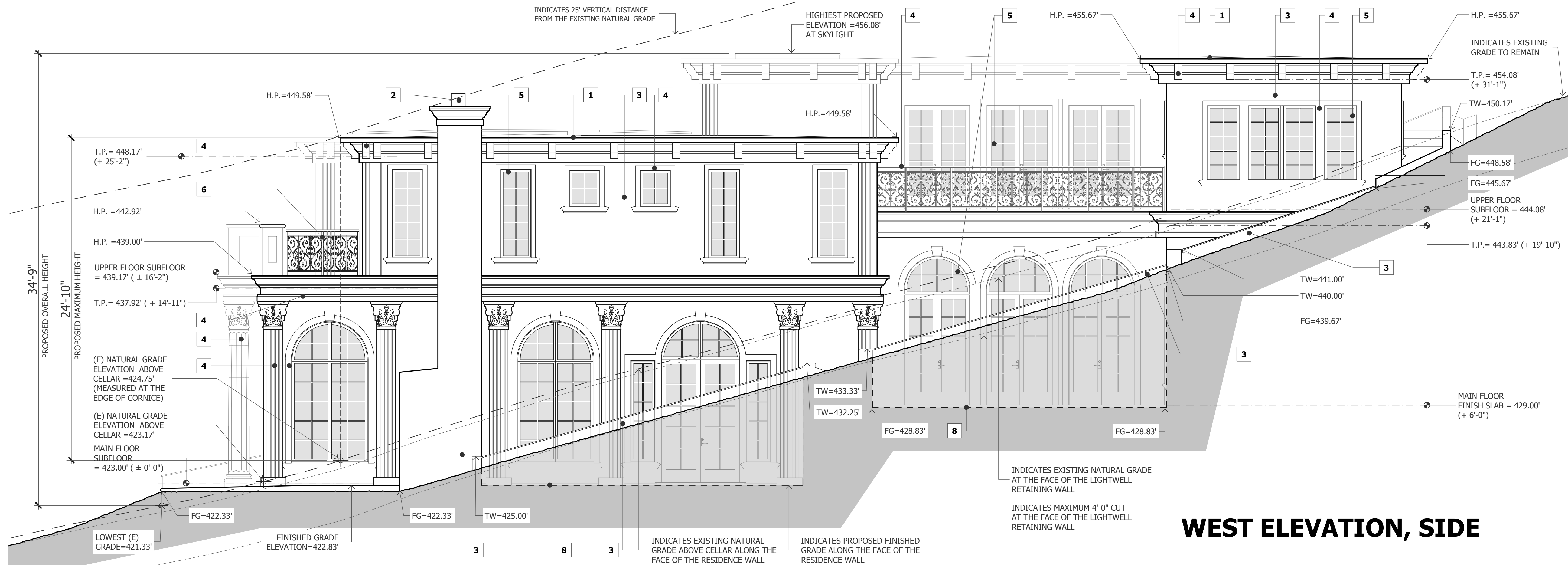
A-3.1



SOUTH ELEVATION, REAR

LEGEND - EXTERIOR FINISHES

1 ROOFING:	GAF 'EVERGUARD @ TPO', CLASS 'A' -MANSARD BROWN COLOR KMA65-5 GROUND BEAN LRV 10	5 EXTERIOR DOORS & WINDOWS:	CLAD WOOD WINDOWS - BRONZE COLOR CLAD WOOD DOORS - BRONZE COLOR CAST STONE DOOR SURROUND & SILLS SW 6990 CAVIAR LRV 5
2 CHIMNEY CAP:	CHIMNEY CAP ARCHITECTURAL COPPER W/ SPARK ARRESTOR SW 6062 LRV 7 / SW 6076 LRV 5 RUGGED BROWN / RUGGED BROWN -AVERAGE LRV 6	6 EXTERIOR WROUGHT IRON DOORS, GUARDRAIL, GATE:	WROUGHT IRON RAILING BRONZE PAINTED W.I. RAILING & GUARDRAILS SW 6990 CAVIAR LRV 5
3 EXTERIOR WALL AND RETAINING WALL FINISH:	COLOR INTEGRAL PLASTER FINISH HARD TROWELED SMOOTH FINISH COAT TO MATCH KELLY MOORE KM5716-3 'RODEO ROUNDUP'-LRV 30	7 GARAGE DOOR:	'CARRIAGE' STYLE DOOR STAINED WOOD SW 6068 LRV 10 / SW 6038 LRV 8 -AVERAGE LRV 9 BREVITY BROWN / SABLE
4 PARAPET, EXTERIOR TRIM ELEMENTS, WINDOWS/DOORS SURROUND & SILLS, COLUMNS:	CAST STONE TRIM 'MILLBROOK STONE' CUSTOM CAST STONE SW 6109 HOPSACK LRV 24	8 WALKWAYS & PATIOS:	LIMESTONE - ANTIQUE FINISH
		9 DRIVEWAY:	PERVIOUS PAVERS: ECO-FRIENDLY 'SF-RIMA PERMEABLE PAVEMENT' -TUMBLE TAN CHARCOAL COLOR BY 'BASALITE'



WEST ELEVATION, SIDE



METRO
DESIGN
GROUP

ARCHITECTURE-PLANNING-INTERIORS

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PROJECT NAME

DIEP RESIDENCE

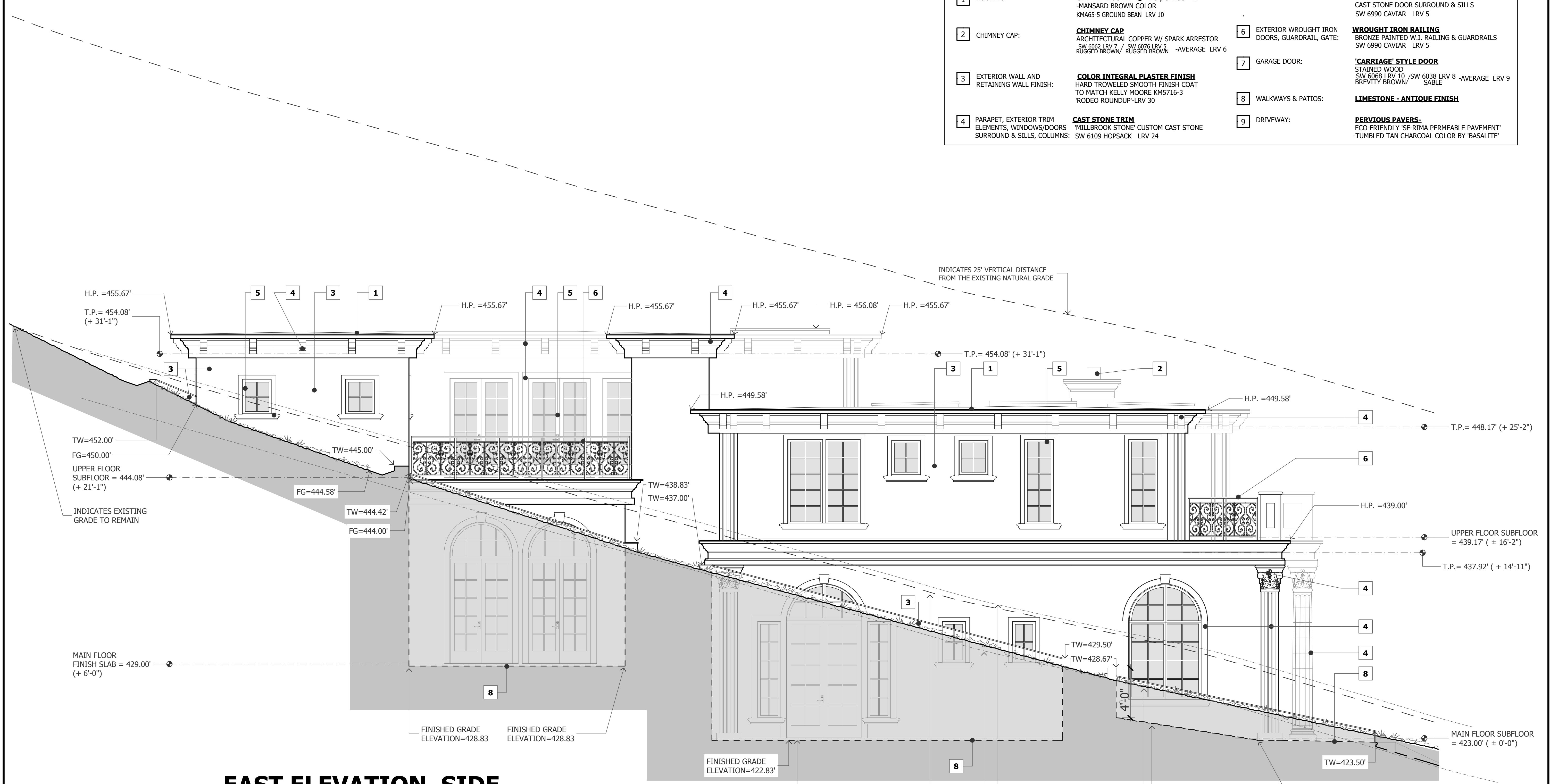
15925 QUAIL HILL ROAD
LOS GATOS, CA
95030

REVISIONS

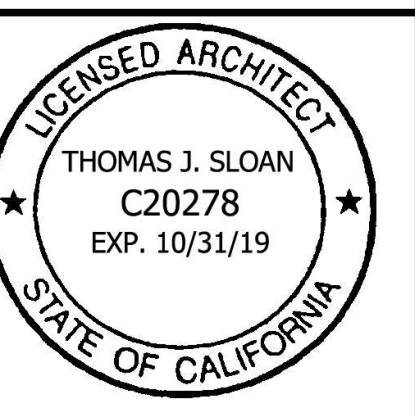
NO.	DESCRIPTION

LEGEND - EXTERIOR FINISHES

- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>1 ROOFING: GAF 'EVERGUARD @ TPO', CLASS 'A'
-MANSARD BROWN COLOR
KMA65-5 GROUND BEAN LRV 10</p> <p>2 CHIMNEY CAP: CHIMNEY CAP
ARCHITECTURAL COPPER W/ SPARK ARRESTOR
SW 6062 LRV 7 / SW 6076 LRV 5
RUGGED BROWN/ RUGGED BROWN -AVERAGE LRV 6</p> <p>3 EXTERIOR WALL AND RETAINING WALL FINISH: COLOR INTEGRAL PLASTER FINISH
HARD TROWELED SMOOTH FINISH COAT
TO MATCH KELLY MOORE KM5716-3
'RODEO ROUNDUP'-LRV 30</p> <p>4 PARAPET, EXTERIOR TRIM ELEMENTS, WINDOWS/DOORS SURROUND & SILLS, COLUMNS: CAST STONE TRIM
'MILLBROOK STONE' CUSTOM CAST STONE
SW 6109 HOPSACK LRV 24</p> | <p>5 EXTERIOR DOORS & WINDOWS: CLAD WOOD WINDOWS - BRONZE COLOR
CLAD WOOD DOORS - BRONZE COLOR
CAST STONE DOOR SURROUND & SILLS
SW 6990 CAVIAR LRV 5</p> <p>6 EXTERIOR WROUGHT IRON DOORS, GUARDRAIL, GATE: WROUGHT IRON RAILING
BRONZE PAINTED W.I. RAILING & GUARDRAILS
SW 6990 CAVIAR LRV 5</p> <p>7 GARAGE DOOR: 'CARRIAGE' STYLE DOOR
STAINED WOOD
SW 6068 LRV 10 /SW 6038 LRV 8 -AVERAGE LRV 9
BREVIITY BROWN/ SABLE</p> <p>8 WALKWAYS & PATIOS: LIMESTONE - ANTIQUE FINISH</p> <p>9 DRIVEWAY: PERVIOUS PAVERS-
ECO-FRIENDLY 'SF-RIMA PERMEABLE PAVEMENT'
-TUMBLED TAN CHARCOAL COLOR BY 'BASALITE'</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|



EAST ELEVATION, SIDE



PROPOSED EXTERIOR ELEVATIONS

EAST ELEVATION, SIDE

DATE : 10-24-19

SCALE : 1/4" = 1'-0"

DRAWN BY : DJS

CHECKED BY : TS

ARCHITECT : TOM SLOAN

PROJECT NO : 18652

SHEET NUMBER

A-3.2



**METRO
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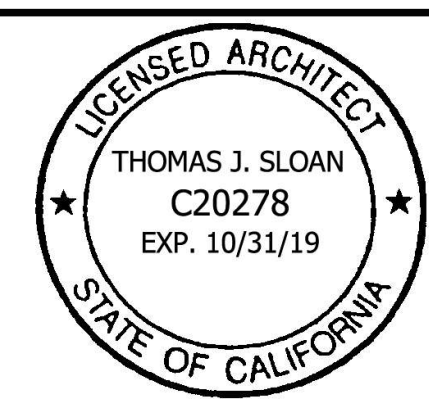
PROJECT NAME

**DIEP
RESIDENCE**

15925 QUAIL HILL ROAD
LOS GATOS, CA
95030

REVISIONS

NO.	DESCRIPTION



**SECTION
A-A**

AREA DIAGRAMS

DATE : 10-24-19

SCALE : 1/4" = 1'-0"

DRAWN BY :

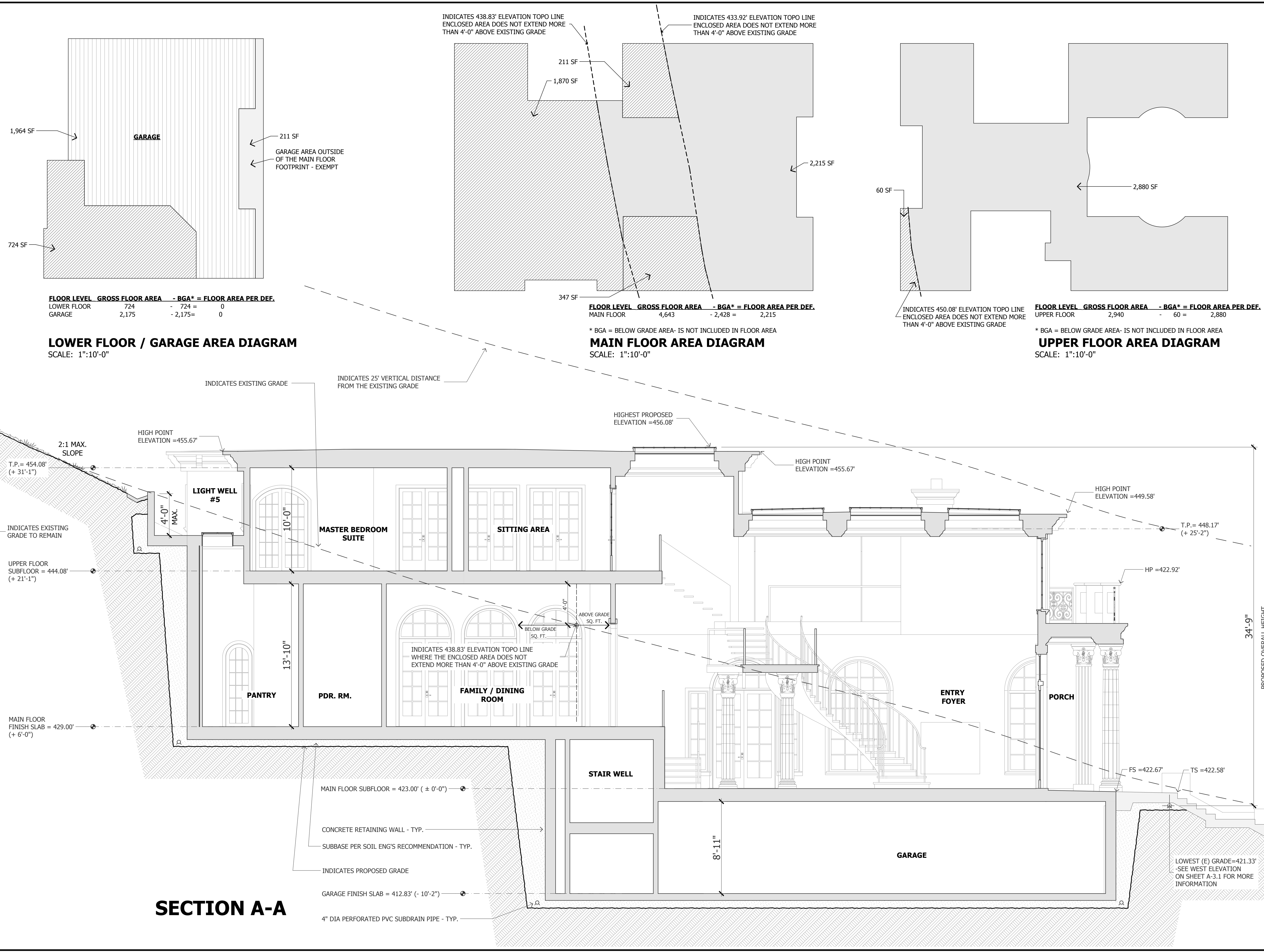
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ARCHITECT : TOM SLOAN

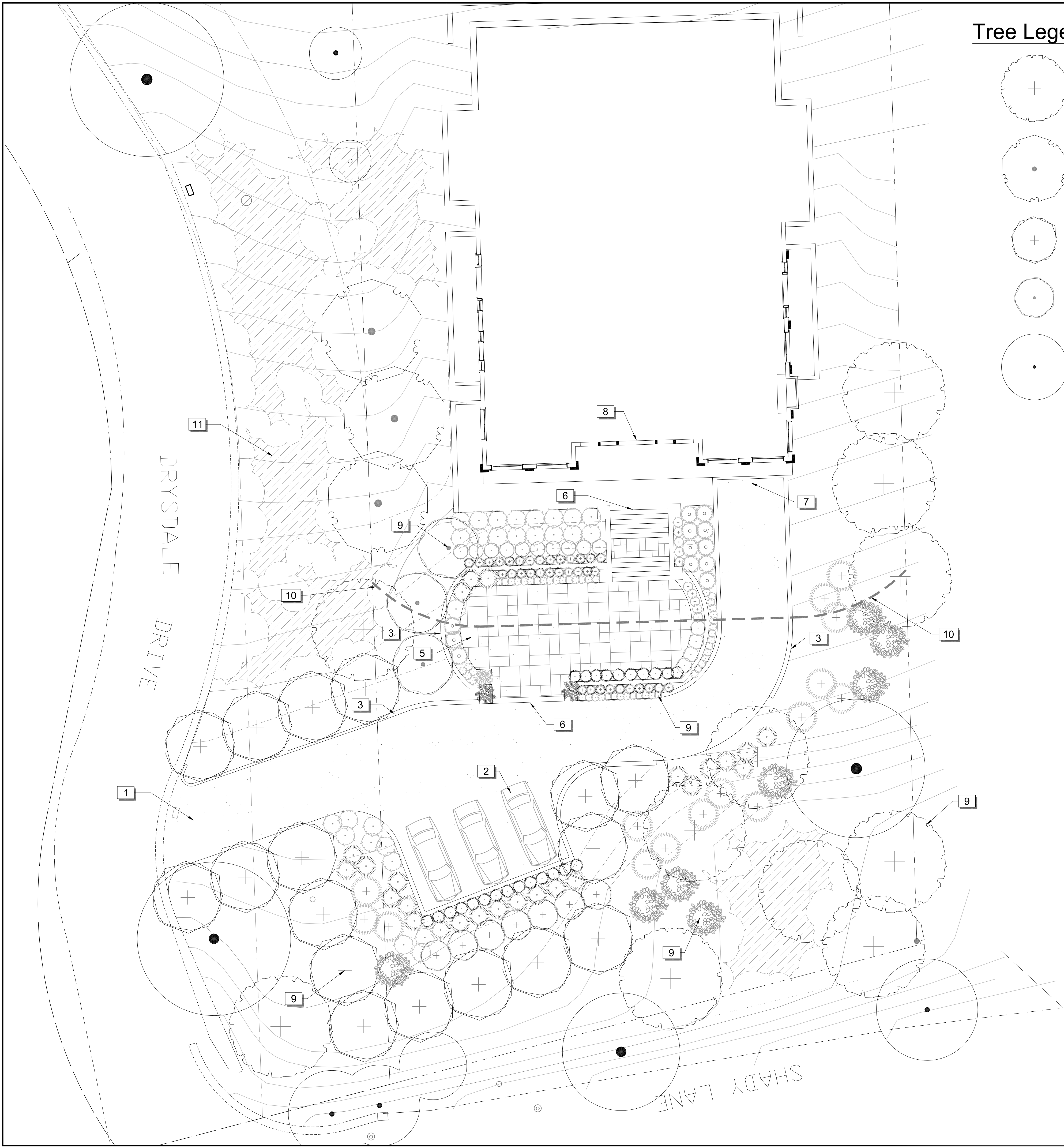
PROJECT NO : 18652

SHEET NUMBER

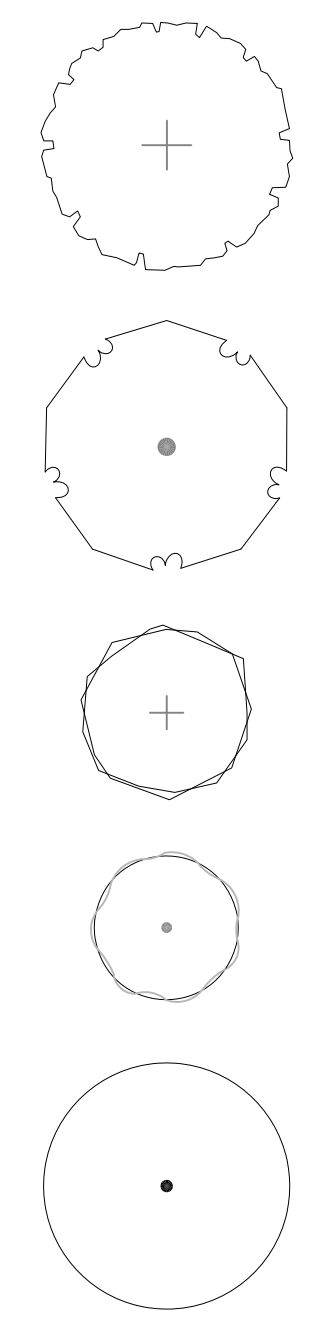
A-4.0



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DIEP PRELIM 5-21-19.dwg



Tree Legend



- Quercus Agrifolia
Coast Live Oak
24" box
- Platanus Racemosa
California Sycamore
24" box
- Cercis Occidentalis
Western Redbud
24" box
- Lagerstroemia Indica
Crepe Myrtle
24" box
- Existing Tree
See sheet L2.0

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	Entry from Drysdale drive
2	Three guest parking places
3	Retaining walls
4	Steps to entry court
5	Raised entry court
6	Steps to upper entry terrace
7	Entry to lower garage
8	Front door to house
9	Tree and shrub plantings
10	Line denotes 30' offset from house
11	Any planting that occurs in the right of way outside the property lines will come from the native planting list

Plant List Inside 30' Zone

TREES	CONT	SIZE
Lagerstroemia indica / Crepe Myrtle	24"box	
SHRUBS		
Anigozanthos x 'Big Red' / Big Red Kangaroo Paw		1 gal
Clytostoma callistegioides / Violet Trumpet Vine		5 gal
Echium candicans 'Select Blue' / Pride of Madeira		5 gal
Helictotrichon sempervirens 'Sapphire' / Blue Oat Grass		1 gal
Heteromeles arbutifolia / Toyon		5 gal
Lavandula x Intermedia 'Grosso' / Grosso Lavender		1 gal
Limonium perezii / Statice		1 gal
Miscanthus sinensis 'Adagio' / Adagio Eulalia Grass		5 gal
Miscanthus sinensis 'Gracillimus' / Maiden Grass		5 gal
Miscanthus sinensis 'Little Kitten' / Little Kitten Eulalia Grass		1 gal
Miscanthus sinensis 'Purpurescens' / Flame Eulalia Grass		1 gal
Muhlenbergia rigens / Deer Grass		1 gal
Olea europaea 'Little Ollie' / Little Ollie Olive		5 gal
Pennisetum rubrum / Red Fountain Grass		1 gal
Perovskia atriplicifolia 'Lacey Blue' / Russian Sage		1 gal
Phormium tenax 'Dark Delight' / Dark Delight Flax		5 gal
Phormium 'Bronze Baby' / Bronze Baby Flax		1 gal
Romneya coulteri 'White Cloud' / White Cloud Matilija Poppy		5 gal

Plant List Outside 30' Zone

TREES	CONT	SIZE
Acer macrophyllum / Big Leaf Maple	24"box	
Cercis occidentalis / Western Redbud	24"box	
Platanus racemosa / California Sycamore	24"box	
Quercus agrifolia / Coast Live Oak	24"box	
SHRUBS		
Arctostaphylos densiflora 'Harmony' / Harmony Manzanita		1 gal
Arctostaphylos densiflora 'Howard McMinn' / Howard McMinn Manzanita		5 gal
Arctostaphylos x 'John Dourley' / John Dourley Manzanita		1 gal
Ceanothus griseus 'Point Sal' / Point Sal Wild Lilac		1 gal
Ceanothus x 'Concha' / California Lilac		1 gal
Ceanothus x 'Dark Star' / California Lilac		5 gal
Salvia x 'Gracias' / Sage		1 gal
Salvia 'Celestial Blue' / Santa Rosa Island Sage		1 gal

Notes:
 1. The plant symbols shown on the plan are generic and do not indicate individual plants. They are shown to indicate areas that are to be planted with plants from the appropriate list.

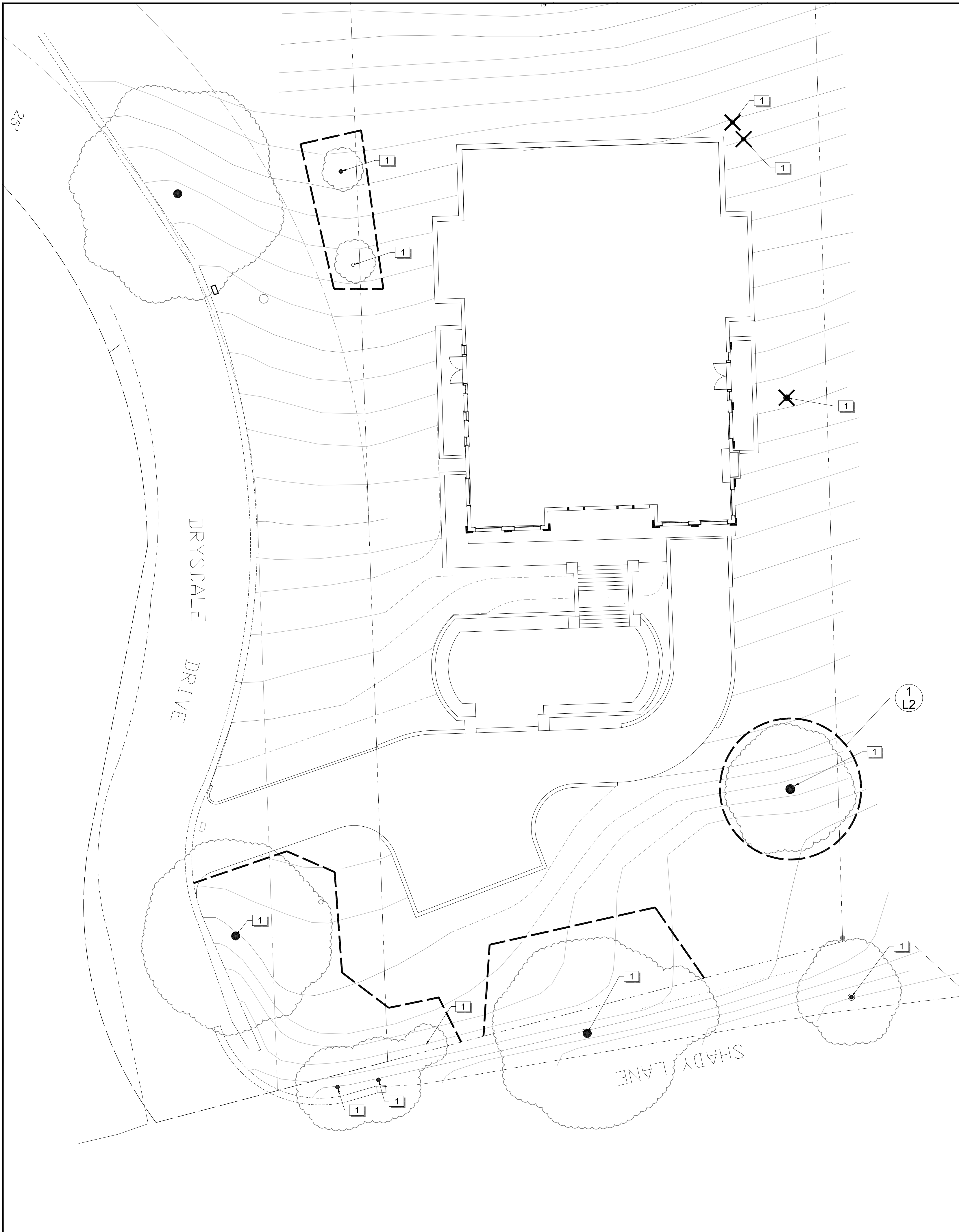
REVISIONS	BY
1	Town tech review comments

David R. Fox & Company, Landscape Architecture
 1188 Kellenberg Avenue San Jose 95126
 408-761-0212 phone david@foxla.net

Preliminary Landscape Plan

The Diep Residence
 15925 Quail Hill Rd
 Los Gatos California

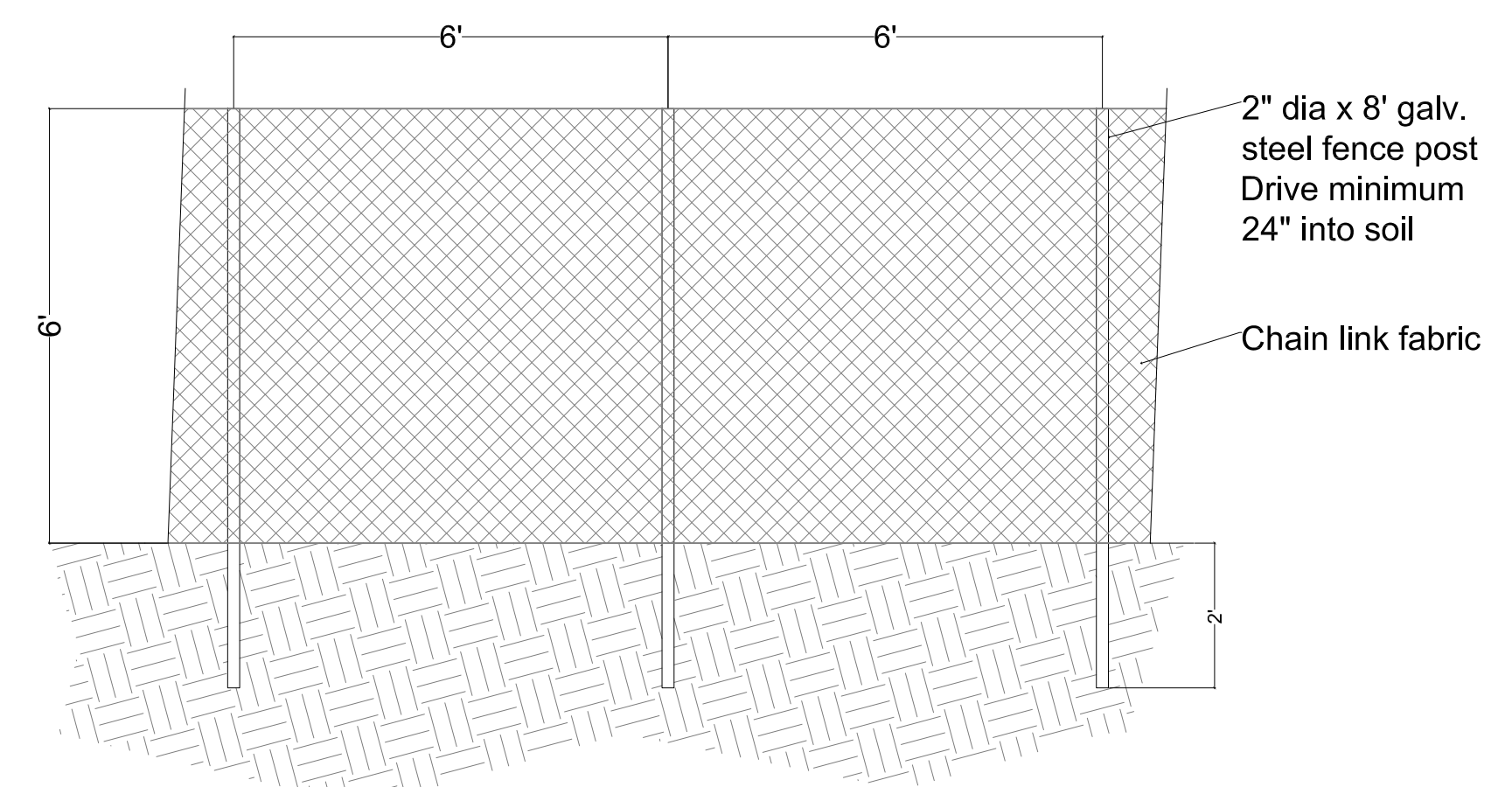
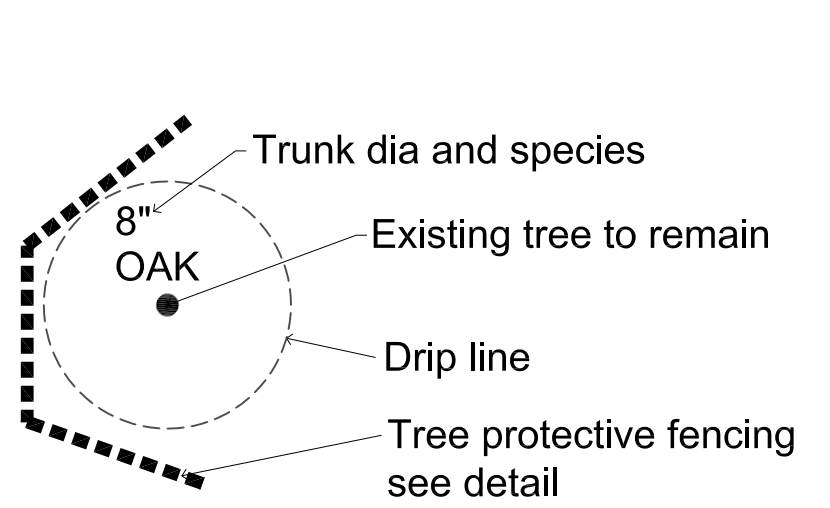
Date	2-1-2019
Scale	1"=10'-0"
Drawn	DRF
Job	Diep
Sheet	L1.0
Of	Sheets



Tree Protection Zones and Fence Specifications

1. Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
2. Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip; chain link fence around the entire planter strip to the outer branches; Type III: Protection for a tree located in a small planter cutout only (such as downtown); orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
3. Duration of Type I, II, III fencing: Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
4. Warning Sign: Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).
All persons, shall comply with the following precautions
 1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
 2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
 3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
 4. Prohibit the attachment of wires, signs or ropes to any protected tree.
 5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
 6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
 7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

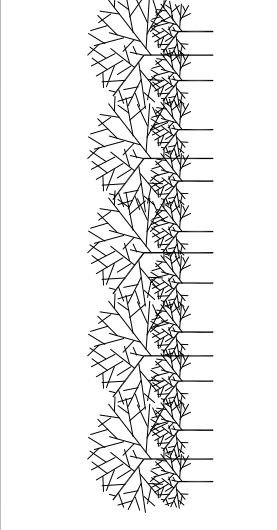
Tree Table			
Tree Species	Number	Trunk dia.	To be removed
Oak	1	8	Yes
Oak	2	10	Yes
Pine	3	30	Yes
Oak	4	25	No
Oak	5	20	No
Oak	6	45	No
Oak	7	10	No
Oak	8	10	No
Oak	9	20	No
Oak	10	45	No
Oak	11	10	No
Oak	12	10	No



1 TYPE I TREE PROTECTIVE FENCING
NTS

REVISIONS	BY
1	Town tech review comments

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Tree Protection Notes
Tree Table

The Diep Residence
15925 Quail Hill Rd
Los Gatos California

Date	2-1-2019
Scale	NTS
Drawn	DRF
Job	Diep
Sheet	L2.0
Of	Sheets