



62 ELLENWOOD AVENUE

ARCANUM
 REGISTERED ARCHITECT
 TIMOTHY CHAPPELLE
 REV. 07.31.14
 STATE OF CALIFORNIA
 329 Market Street, 9th Floor
 San Francisco, CA 94107
 415.357.4400
 arcanumarchitecture.com

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

VICINITY MAP



PROJECT DIRECTORY

OWNER: Case and Lisa Swenson
 62 Ellenwood Avenue
 Los Gatos, CA 95030
ARCHITECT: Arcanum Architecture, Inc.
 329 Bryant Street, Suite 3C
 San Francisco, CA 94107
SURVEYOR: Westfall Engineers, Inc.
 14583 Big Basin Way
 Saratoga, CA 95070
LANDSCAPE ARCHITECT: Studio Green
 232 Sir Francis Drake Blvd
 San Anselmo, CA 94960
CIVIL: BKF Engineers
 255 Shoreline Drive, Suite 200
 Redwood City, CA 94065
GEOTECHNICAL ENGINEER: Pollak Engineers, Inc.
 61 East Main Street, Suite D
 Los Gatos, CA 95030

Lisa Swenson
 T: (408) 690-0173
 E: lisa@swenson.com
Tim Chappelle
 T: (415) 357-4400
 E: tim@arcanumarchitecture.com
Harry Babicka
 T: (408) 867-0244
 E: harry@westf.com
John Merten
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 E: john@studiogreen.com
Craig Smith
 T: (650) 482-6300
 E: csmith@bkf.com
Robert Pollak
 T: (408) 499-5589
 E: rp@pollakengineering.com

PROJECT STATISTICS

PROJECT LOCATION: 62 ELLENWOOD AVENUE
 LOS GATOS, CA 95030
A.P.N.: 510-20-068
LOT SIZE: 32,733 SF (0.75 ACRES) PER SURVEY
PROJECT TYPE: (N) TWO STORY SINGLE FAMILY DWELLING W/ PARTIAL BASEMENT. THE PROJECT ALSO WILL INCLUDE A (N) POOL AND POOL PAVILION.
EXISTING CONDITIONS: ALL (E) STRUCTURES TO BE DEMOLISHED OR REMOVED.
ZONING: R-1-12
OCCUPANCY GROUP: R-3 SINGLE FAMILY DWELLING, U-GARAGE
CONSTRUCTION TYPE: TYPE V-B
STORIES: TWO OVER PARTIAL BASEMENT
SEPTIC/SEWER: SEWER
SIZE OF PROPERTY: 0.75 ACRES (32,733 SF)
IMPERVIOUS COVERAGE: NONE
WILDLAND URBAN INTERFACE FIRE AREA: -
SANITARY DISTRICT: WEST VALLEY SANITATION DISTRICT
GRADING QUANTITIES: SEE CIVIL DRAWINGS
LOT AVERAGE SLOPE: 7.9%
LOT UNDER HDGS: YES (LOT AREA > 30,000 SF)
NOTE: NO NEED TO FOLLOW HDGS, SEE LOT AVERAGE SLOPE
FIRE SPRINKLERS: YES

SHEET INDEX

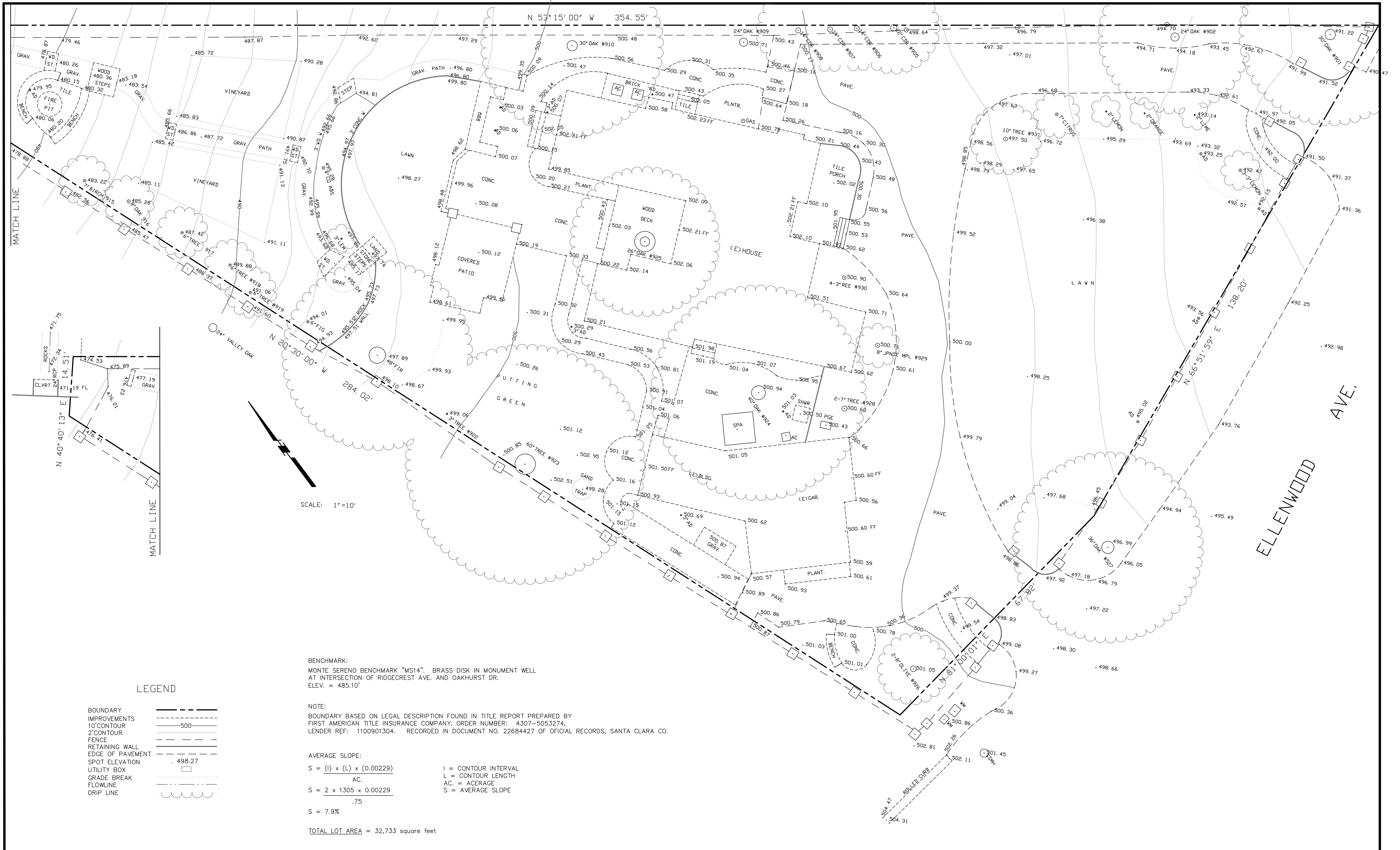
- A0.0 COVER SHEET
- SU-1 BOUNDARY AND TOPOGRAPHIC SURVEY
- CIVIL**
- C0.0 TITLE SHEET
- C0.1 NOTES
- C1.1 EXISTING CONDITIONS
- C2.1 GRADING PLAN
- C2.2 SITE SECTIONS
- C3.1 UTILITY PLAN
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- C4.2 BEST MANAGEMENT PRACTICES
- C5.1 DETAIL SHEET
- ARCHITECTURAL**
- A0.1 EXISTING SITE PLAN AND SITE PHOTOS
- A0.2 SITE PLAN
- A0.3 BASEMENT FLOOR PLAN AND FLOOR AREA CALCULATIONS
- A0.4 FIRST FLOOR PLAN
- A0.5 SECOND AND POOL PAVILION FLOOR PLANS
- A0.6 EXTERIOR ELEVATIONS
- A0.7 EXTERIOR ELEVATIONS
- A0.8 EXTERIOR ELEVATIONS AND SECTIONS
- A0.9 POOL PAVILION EXTERIOR ELEVATIONS
- A1.0 STREETScape ELEVATIONS AND SECTIONS
- A1.1 STREETScape ELEVATIONS AND SECTIONS AND OVERLAY ELEVATION
- A1.2 SHADOW STUDIES
- LANDSCAPE**
- L0.0 SITE PLAN & LANDSCAPE COVER SHEET
- L0.0R RENDERED SITE PLAN
- L0.1 EXISTING TREE & REMOVAL PLAN
- L0.2 EXISTING TREE & REMOVAL PLAN
- L1.0 MATERIAL & CALLOUT PLAN
- L1.1 MATERIAL & CALLOUT PLAN
- L2.0 LIGHTING SCHEDULE & PLAN
- L2.1 LIGHTING PLAN
- L3.0 PLANTING LEGEND
- L3.1 PLANTING PLAN
- L3.2 PLANTING PLAN
- L5.0 DETAILS
- L5.1 DETAILS
- L5.2 DETAILS
- L5.3 SECTIONS/ ELEVATIONS
- L5.4 FRONT GATE & FENCE PERSPECTIVES

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	11.17.20
8.18.20	1.27.21

COVER SHEET

A0.0

EXHIBIT 19



BENCHMARK:
 MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL
 AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR.
 ELEV. = 485.10'

NOTE:
 BOUNDARY BASED ON LEGAL DESCRIPTION FOUND IN TITLE REPORT PREPARED BY
 FIRST AMERICAN TITLE INSURANCE COMPANY, ORDER NUMBER: 4307-5053274,
 LENDER REF: 1100901304. RECORDED IN DOCUMENT NO. 22684427 OF OFFICIAL RECORDS, SANTA CLARA CO.

AVERAGE SLOPE:
 $S = (I) \times (L) \times (0.00229)$
 AC.
 $S = 2 \times 1305 \times 0.00229$
 .75
 $S = 7.9\%$

I = CONTOUR INTERVAL
 L = CONTOUR LENGTH
 AC. = ACERAGE
 S = AVERAGE SLOPE

TOTAL LOT AREA = 32,733 square feet

LEGEND

- BOUNDARY IMPROVEMENTS
- 10' CONTOUR
- 2' CONTOUR
- FENCE
- RETAINING WALL
- EDGE OF PAVEMENT
- SPOT ELEVATION
- UTILITY BOX
- GRADE BREAK
- FLOWLINE
- DRIP LINE

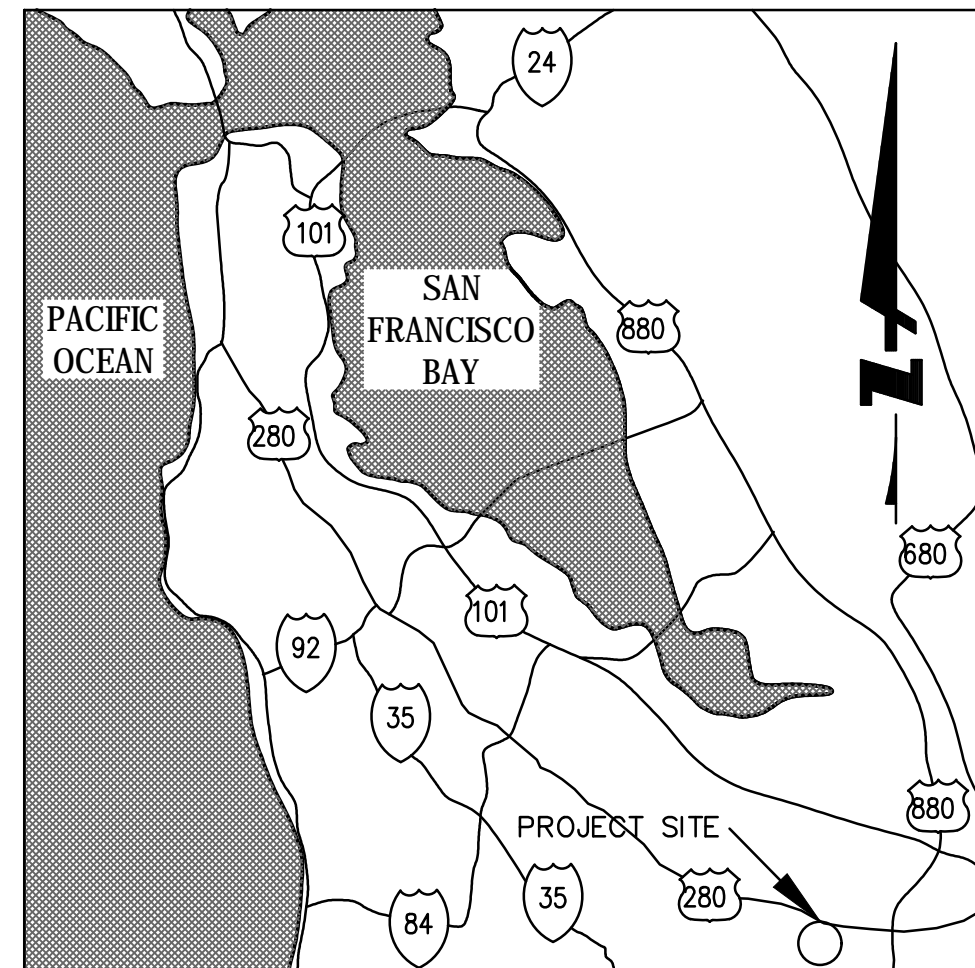
NO.	BY	DATE	REVISION	BY	DATE	DATE: AUGUST, 2018
						SCALE: HOR: 1"=10' VERT.
						DESIGNED:
						DRAWN: JK
						PRDJ. ENGR:

BY: HARRY BABICKA L. S. 4953
 DATE:

WESTFALL ENGINEERS, INC.
 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

TOPOGRAPHIC MAP
 62 ELLENWOOD AVENUE, LOS GATOS

JOB NO. 2017-003
SHEET 1
OF 1



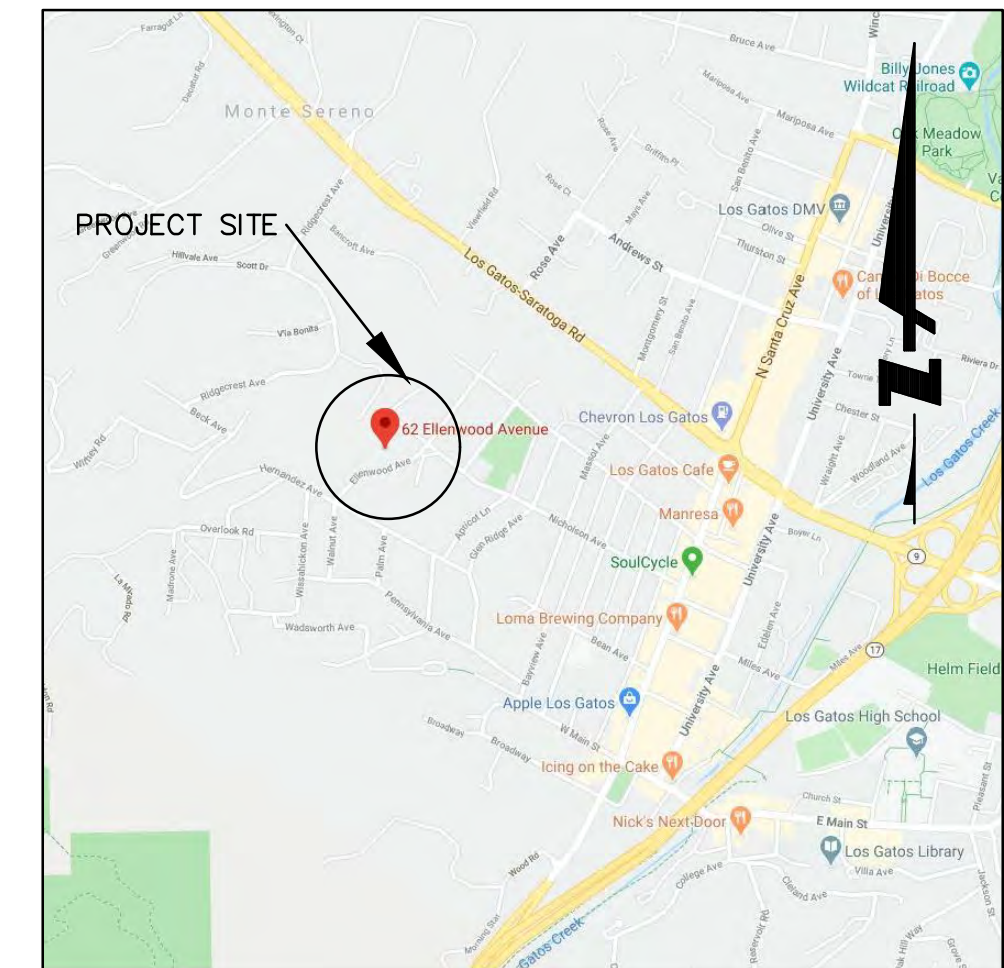
VICINITY MAP
N.T.S.

SWENSON RESIDENCE

62 ELLENWOOD AVENUE

LOS GATOS, CA

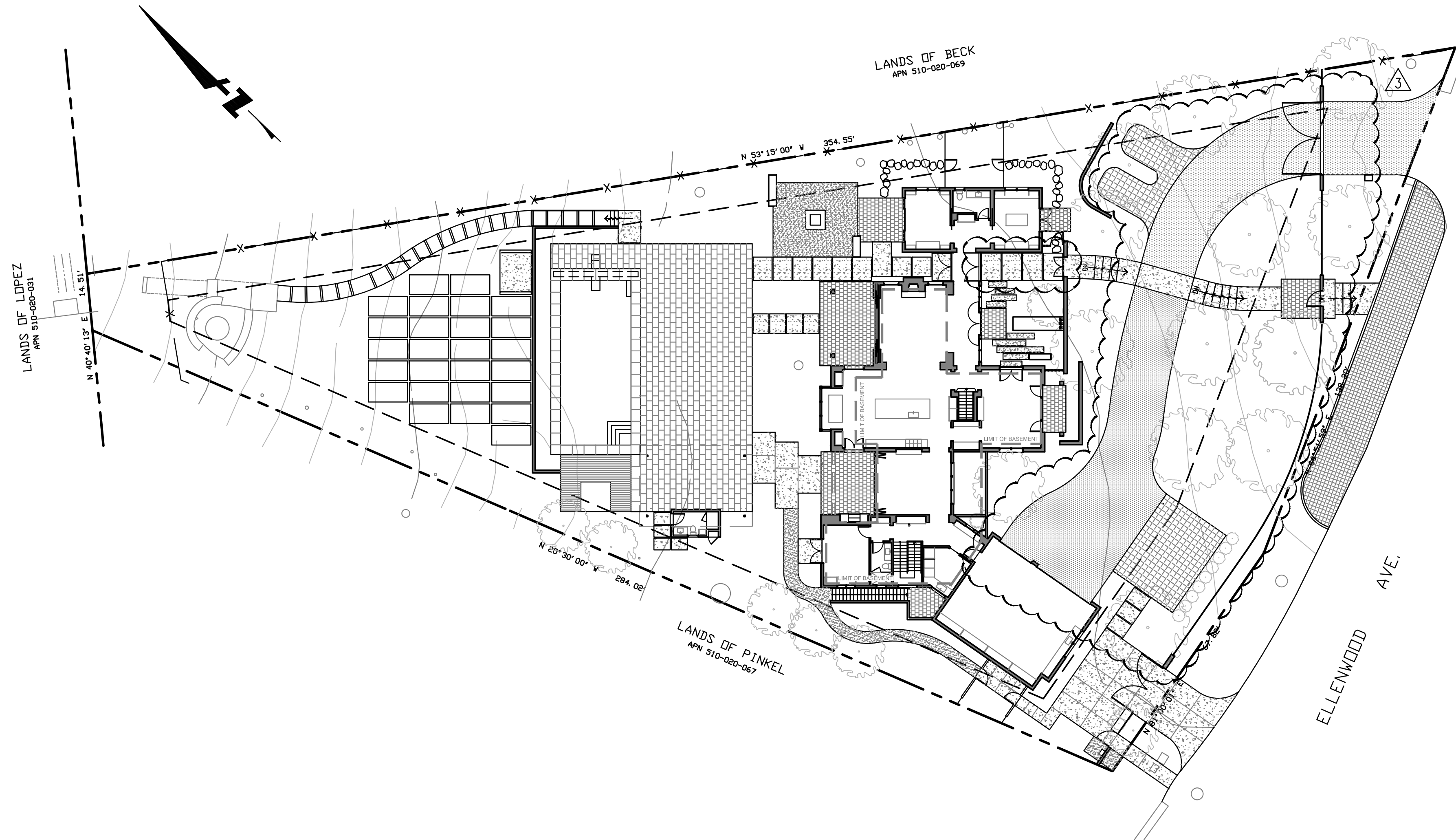
APN: 510-20-068



LOCATION MAP
N.T.S.

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PH	POOL HOUSE
PV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER



LEGEND:

EXISTING	PROPOSED	BOUNDARY
6" SS	6" SS	LIMIT OF WORK
10" SD	10" SD	SANITARY SEWER
4" SBD	4" SBD	SOLID STORM DRAIN
FM	2" FM	PERFORATED SUB DRAIN
10" FW	10" FW	FORCE MAIN
2" W	2" W	FIRE SERVICE
IRR	2" IRR	DOMESTIC WATER SERVICE
G	G	IRRIGATION SERVICE
T	T	NATURAL GAS
TV	TV	TELEPHONE
E	E	TV/CABLE TV
JT	JT	ELECTRIC
O/H	O/H	JOINT TRENCH
X	X	OVERHEAD WIRES
○	○	FENCE
○	○	CLEAN OUT TO GRADE
○	○	FOUND MONUMENT
○	○	DOUBLE DETECTOR CHECK VALVE
○	○	VALVE
○	○	METER BOX
○	○	STREET LIGHT
○	○	DRAIN
○	○	ATRIUM DRAIN
○	○	CATCH BASIN
○	○	FIRE HYDRANT
○	○	FIRE DEPARTMENT CONNECTION
○	○	BENCHMARK
○	○	MANHOLE
○	○	SIGN
○	○	SPLASH BLOCK
○	○	DETAIL NUMBER
○	○	SHEET LOCATION

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C0.1	NOTES
C1.1	EXISTING CONDITIONS
C2.1	GRADING PLAN
C2.2	SITE SECTIONS
C3.1	UTILITY PLAN
C4.1	EROSION CONTROL PLAN
C4.2	BEST MANAGEMENT PRACTICES
C5.1	DETAIL SHEET

EARTHWORK QUANTITIES

GROSS FIGURES		QUANTITY BREAKDOWN	
CUT	1,770 CUBIC YARDS	BUILDINGS (BASEMENT/LIGHTWELL)	
FILL	140 CUBIC YARDS	CUT	1,370 CUBIC YARDS
TOTAL	1,910 CUBIC YARDS	BUILDINGS (CS/SLAB ON GRADE)	
BALANCE	1,630 CUBIC YARDS OF EXPORT	CUT	100 CUBIC YARDS
		POOL	
		CUT	190 CUBIC YARDS
		DRIVEWAY	
		CUT	60 CUBIC YARDS
		FILL	10 CUBIC YARDS
		SITE WORK AND LANDSCAPING	
		CUT	50 CUBIC YARDS
		FILL	140 CUBIC YARDS
		BALANCE	30 CUBIC YARDS OF IMPORT

FOR SITE DEVELOPMENT REVIEW SUBMITTAL, EARTHWORK CUT VOLUME WITHIN FOOTPRINT OF HOUSE AND POOL HAVE BEEN OMITTED.

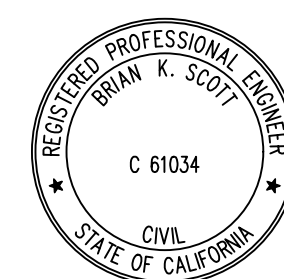
EARTHWORK QUANTITIES SHOWN ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES.

ENGINEER'S STATEMENT

THIS SITE IMPROVEMENT PLAN SUBMITTAL HAS BEEN PREPARED UNDER MY DIRECTION.

BRIAN K. SCOTT
PRINCIPAL
P.E. #61034
BKF ENGINEERS

DATE



ENGINEER OF WORK

I HEREBY DECLARE THAT I AM THE CIVIL ENGINEER OF WORK FOR THIS PROJECT AND THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THIS PROJECT AS DEFINED IN SECTION 6703 OF THE STATE OF CALIFORNIA, BUSINESS PROFESSIONAL CODES, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

DALE LEDA
PROJECT MANAGER
P.E. #78436
BKF ENGINEERS

DATE

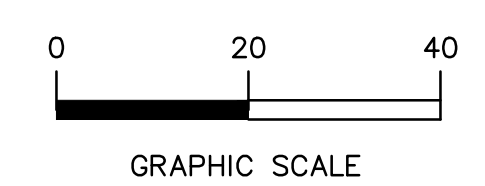


IMPERVIOUS AREAS

TOTAL PROPERTY AREA 32,753 SF

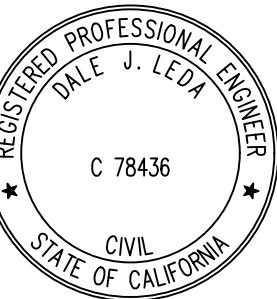
IMPERVIOUS AREAS:

PRE-CONSTRUCTION 14,336 SF
POST-CONSTRUCTION 15,481 SF



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PLOT DATE: 01-26-21 PLOTTED BY: wort

TITLE SHEET
SWENSON RESIDENCE
62 ELLENWOOD AVENUE
SANTA CLARA COUNTY
CALIFORNIA



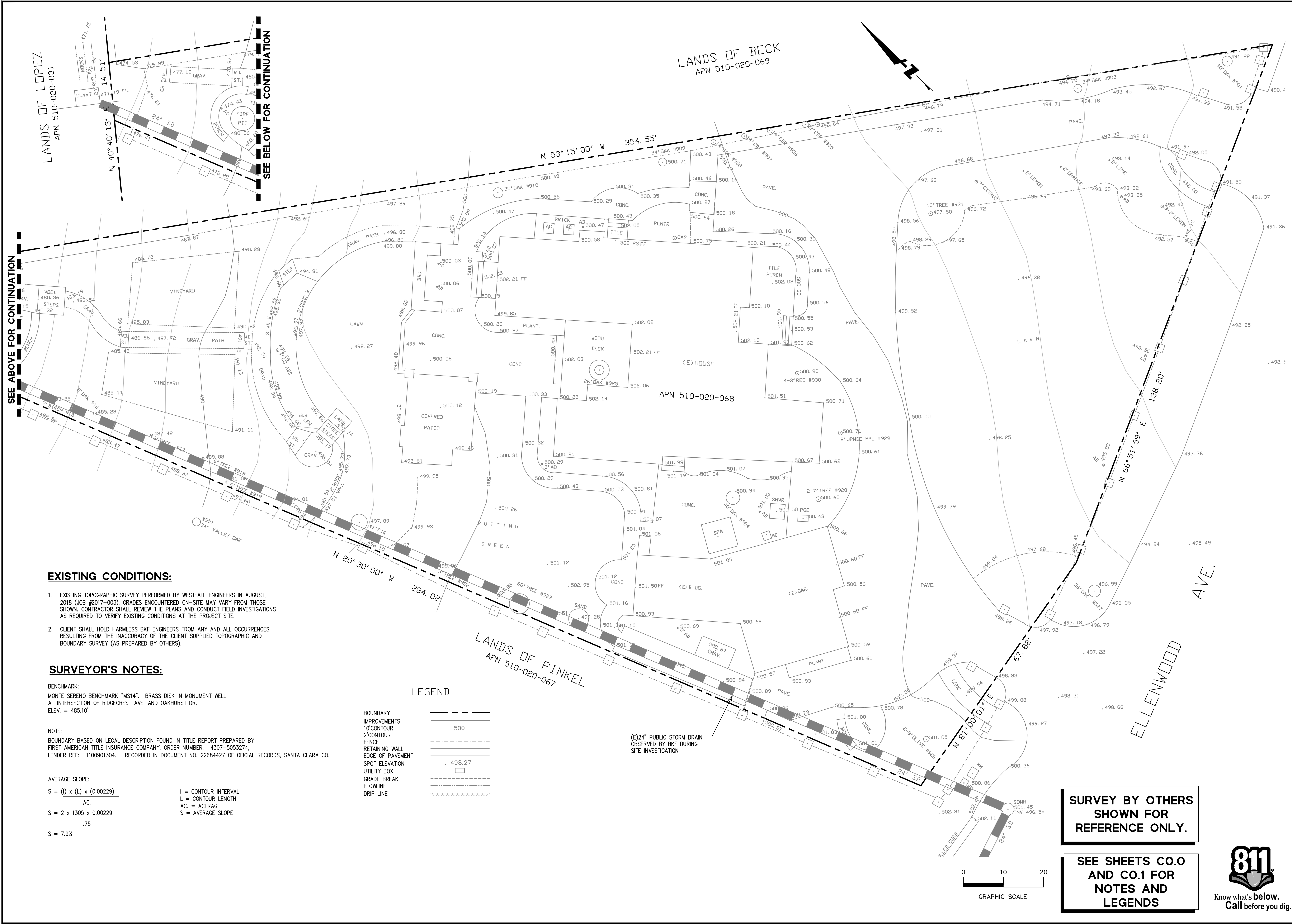
Date	08/18/2020
Scale	AS SHOWN
Design	CHS
Drawn	CW
Approved	DLL
Job No	20200194-10
Drawing Number:	C0.0
OF	

BKF100
YEARS
ENGINEERS · SURVEYORS · PLANNERS
255 SHORELINE DR.,
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

Date	Revisions	No.	TR COMMENTS
08/18/2020			
11/19/2020			
01/27/2021			

Date	Scale	Design	Drawn	Approved	Job No
04/23/2020	1" = 10'	CHS	CW	DLL	20200194-10

Drawing Number: **C1.1**
OF



EXISTING CONDITIONS:

- EXISTING TOPOGRAPHIC SURVEY PERFORMED BY WESTFALL ENGINEERS IN AUGUST, 2018 (JOB #2017-003). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT SHALL HOLD HARMLESS BKF ENGINEERS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

SURVEYOR'S NOTES:

BENCHMARK:
MONTE SERENO BENCHMARK "MS14". BRASS DISK IN MONUMENT WELL AT INTERSECTION OF RIDGECREST AVE. AND OAKHURST DR.
ELEV. = 485.10'

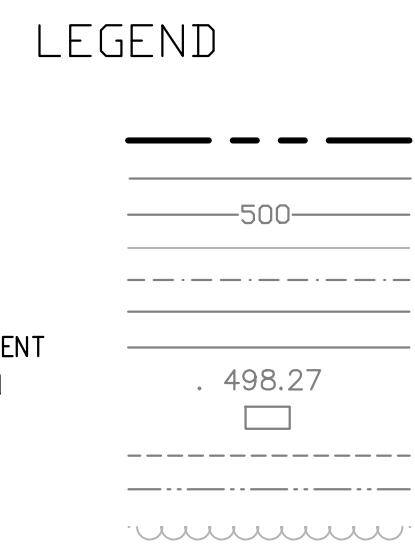
NOTE:
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AVERAGE SLOPE:

$S = (l) \times (L) \times (0.00229)$
AC.
 $S = 2 \times 1305 \times 0.00229$
.75
 $S = 7.9\%$

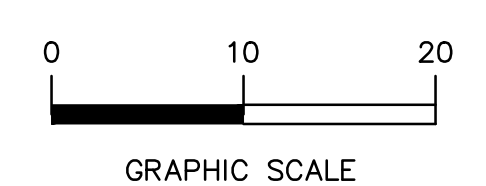
LEGEND

I = CONTOUR INTERVAL
L = CONTOUR LENGTH
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S = AVERAGE SLOPE



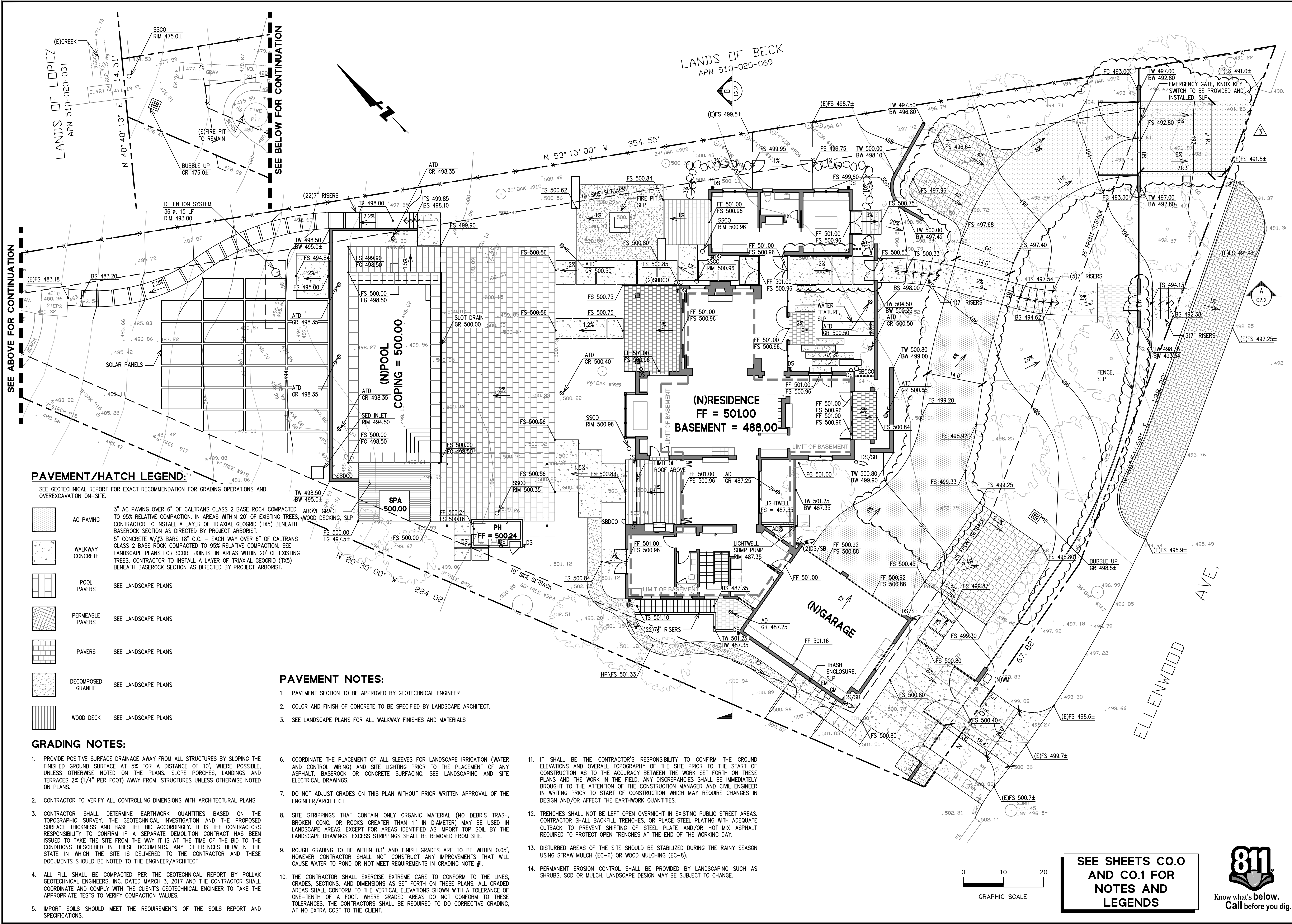
**SURVEY BY OTHERS
SHOWN FOR
REFERENCE ONLY.**

**SEE SHEETS C.O.0
AND C.O.1 FOR
NOTES AND
LEGENDS**



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PLOT DATE: 01-26-21
PLOTTED BY: wort

Date	Revisions	No.	TR COMMENTS
08/19/2020			
11/19/2020			
01/27/2021			



PAVEMENT/HATCH LEGEND:

- SEE GEOTECHNICAL REPORT FOR EXACT RECOMMENDATION FOR GRADING OPERATIONS AND OVEREXCAVATION ON-SITE.
- AC PAVING: 3" AC PAVING OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. IN AREAS WITHIN 20' OF EXISTING TREES, CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
 - WALKWAY CONCRETE: 5" CONCRETE W/ #3 BARS 18" O.C. - EACH WAY OVER 6" OF CALTRANS CLASS 2 BASE ROCK COMPACTED TO 95% RELATIVE COMPACTION. SEE LANDSCAPE PLANS FOR SCORE JOINTS. IN AREAS WITHIN 20' OF EXISTING TREES, CONTRACTOR TO INSTALL A LAYER OF TRIAXIAL GEOGRID (TXS) BENEATH BASE ROCK SECTION AS DIRECTED BY PROJECT ARBORIST.
 - POOL PAVERS: SEE LANDSCAPE PLANS
 - PERMEABLE PAVERS: SEE LANDSCAPE PLANS
 - PAVERS: SEE LANDSCAPE PLANS
 - DECOMPOSED GRANITE: SEE LANDSCAPE PLANS
 - WOOD DECK: SEE LANDSCAPE PLANS

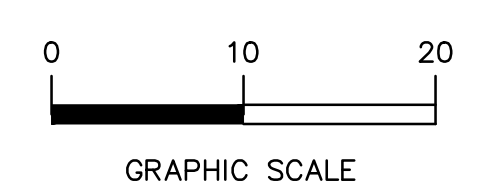
GRADING NOTES:

- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT 5% FOR A DISTANCE OF 10', WHERE POSSIBLE, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
- CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
- ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT BY POLLAK GEOTECHNICAL ENGINEERS, INC. DATED MARCH 3, 2017 AND THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH THE CLIENT'S GEOTECHNICAL ENGINEER TO TAKE THE APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
- IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.

PAVEMENT NOTES:

- PAVEMENT SECTION TO BE APPROVED BY GEOTECHNICAL ENGINEER
- COLOR AND FINISH OF CONCRETE TO BE SPECIFIED BY LANDSCAPE ARCHITECT.
- SEE LANDSCAPE PLANS FOR ALL WALKWAY FINISHES AND MATERIALS
- COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASE ROCK OR CONCRETE SURFACING. SEE LANDSCAPING AND SITE ELECTRICAL DRAWINGS.
- DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
- SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
- ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05', HOWEVER CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
- THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITH A TOLERANCE OF ONE-TENTH OF A FOOT, WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT.

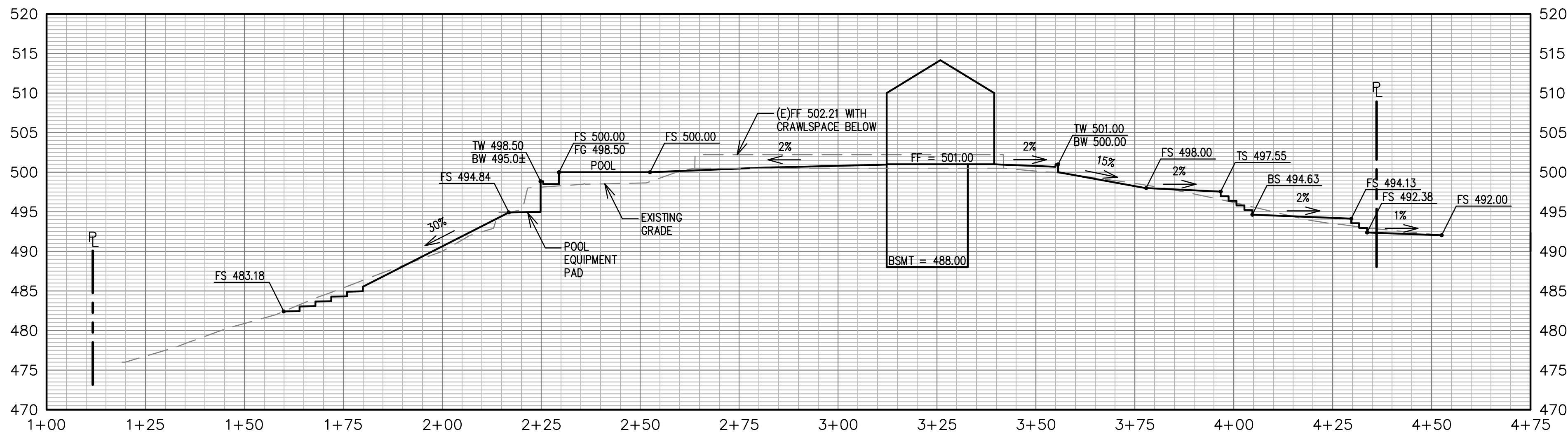
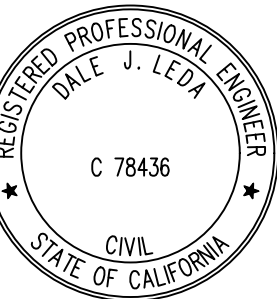
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
- TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOO OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.



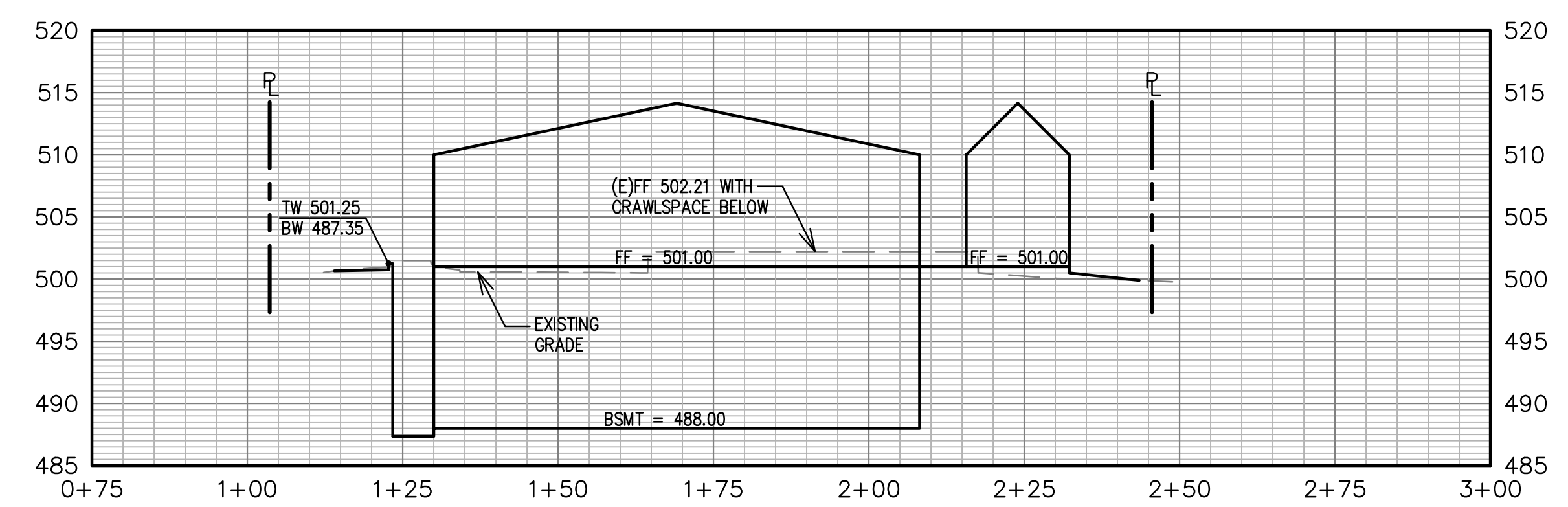
SEE SHEETS C.O.0 AND C.O.1 FOR NOTES AND LEGENDS



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PLOT DATE: 01-26-21
PLOTTED BY: wort



SECTION A
SCALE: 1" = 20' HORIZ.
1" = 10' VERT.



SECTION B
SCALE: 1" = 20' HORIZ.
1" = 10' VERT.

DRAWING NAME: K:\2020\200194_62_Ellenwood.Ave\ENG\elsheets.dwg
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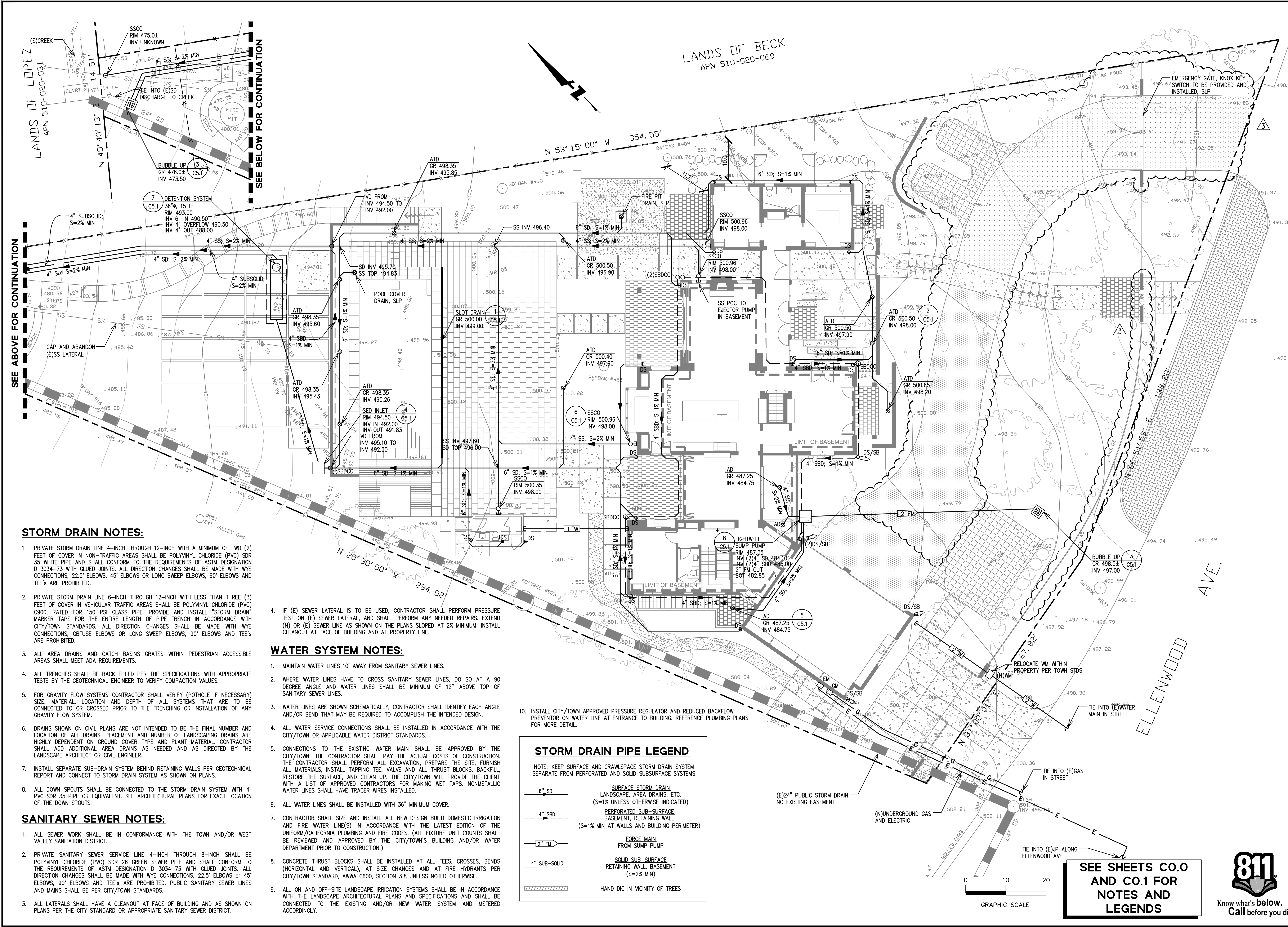


Date	Revisions	No.	Date
08/18/2020	TR COMMENTS	1	08/18/2020
11/19/2020	REVISION	2	11/19/2020
01/27/2021	REVISION	3	01/27/2021

Date	Scale	AS SHOWN	04/23/2020
Design	CHS		
Drawn	CW		
Approved	DDL		
Drawing Number:			Job No 20200194-10

Revisions	Date
08/19/2020	
11/19/2020	
01/27/2021	

No.	TR COMMENTS	REVISION
04/23/2020		
1" = 10'		
CHS		
Drawn CW		
Approved DJL		
Job No 20200194-10		



STORM DRAIN NOTES:

- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY/TOWN STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, OBTUSE ELBOWS OR LONG SWEEP ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS.
- ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT OR CIVIL ENGINEER.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM AS SHOWN ON PLANS.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM WITH 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

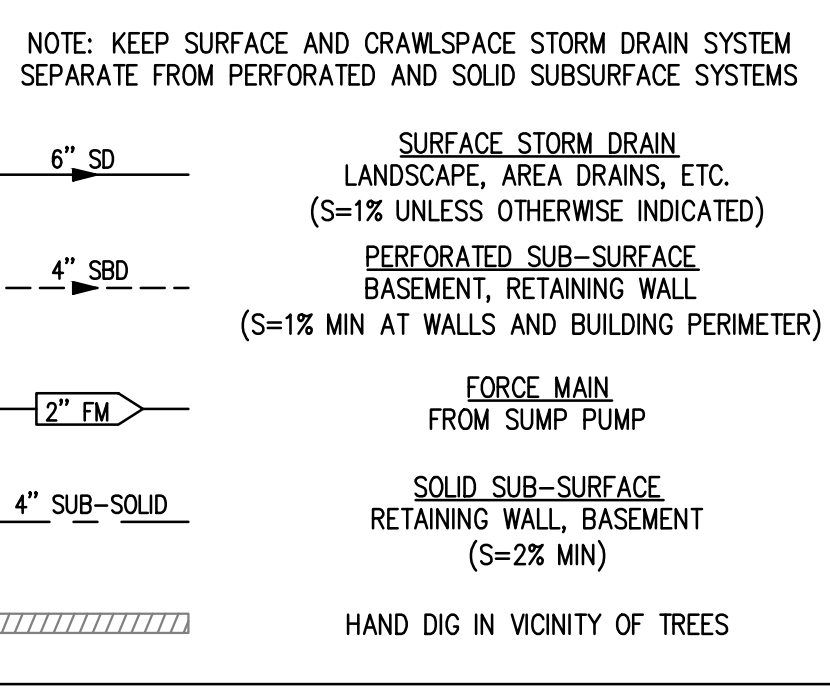
SANITARY SEWER NOTES:

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE TOWN AND/OR WEST VALLEY SANITATION DISTRICT.
- PRIVATE SANITARY SEWER SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS OR 45° ELBOWS, 90° ELBOWS AND TEE'S ARE PROHIBITED. PUBLIC SANITARY SEWER LINES AND MAINS SHALL BE PER CITY/TOWN STANDARDS.
- ALL LATERALS SHALL HAVE A CLEANOUT AT FACE OF BUILDING AND AS SHOWN ON PLANS PER THE CITY STANDARD OR APPROPRIATE SANITARY SEWER DISTRICT.

WATER SYSTEM NOTES:

- MAINTAIN WATER LINES 10' AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12" ABOVE TOP OF SANITARY SEWER LINES.
- WATER LINES ARE SHOWN SCHEMATICALLY, CONTRACTOR SHALL IDENTIFY EACH ANGLE AND/OR BEND THAT MAY BE REQUIRED TO ACCOMPLISH THE INTENDED DESIGN.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE CITY/TOWN OR APPLICABLE WATER DISTRICT STANDARDS.
- CONNECTIONS TO THE EXISTING WATER MAIN SHALL BE APPROVED BY THE CITY/TOWN. THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY/TOWN WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY THE CITY/TOWN'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER CITY/TOWN STANDARD, AWWA C600, SECTION 3.8 UNLESS NOTED OTHERWISE.
- ALL ON AND OFF-SITE LANDSCAPE IRRIGATION SYSTEMS SHALL BE IN ACCORDANCE WITH THE LANDSCAPE ARCHITECTURAL PLANS AND SPECIFICATIONS AND SHALL BE CONNECTED TO THE EXISTING AND/OR NEW WATER SYSTEM AND METERED ACCORDINGLY.

STORM DRAIN PIPE LEGEND

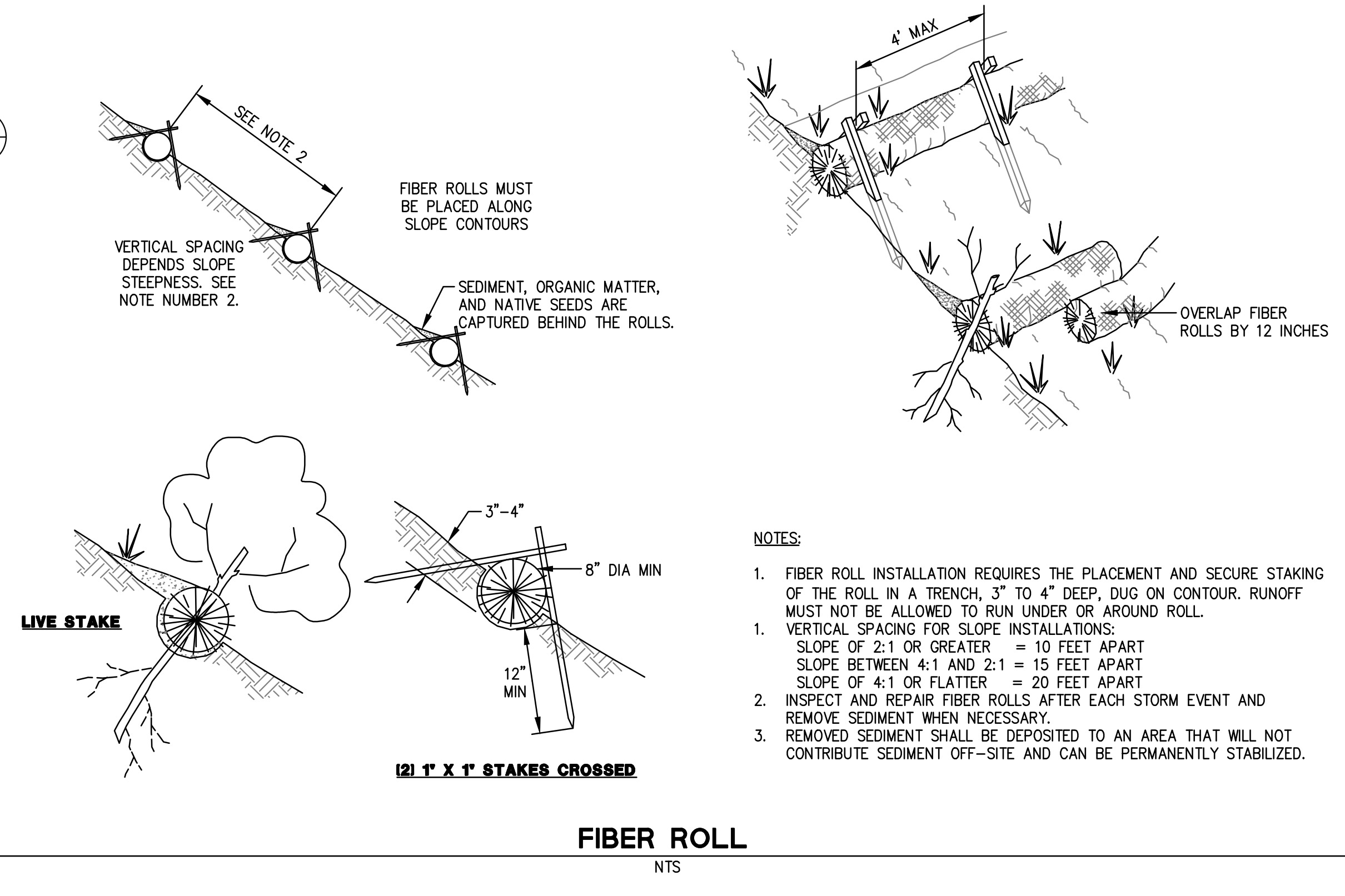
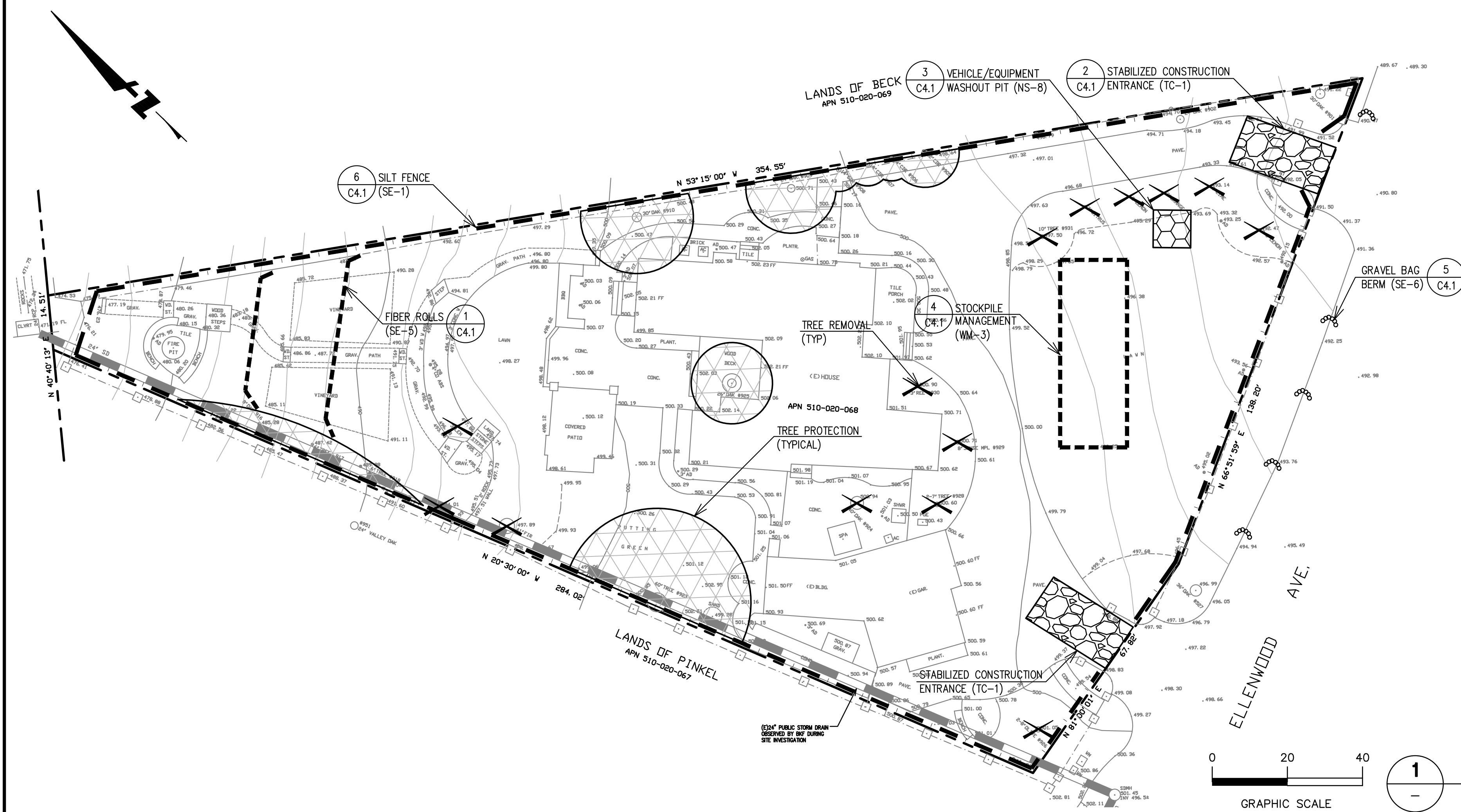


SEE SHEETS C.O. AND C.O.1 FOR NOTES AND LEGENDS



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PLOT DATE: 01-26-21
PLOTTED BY: wort

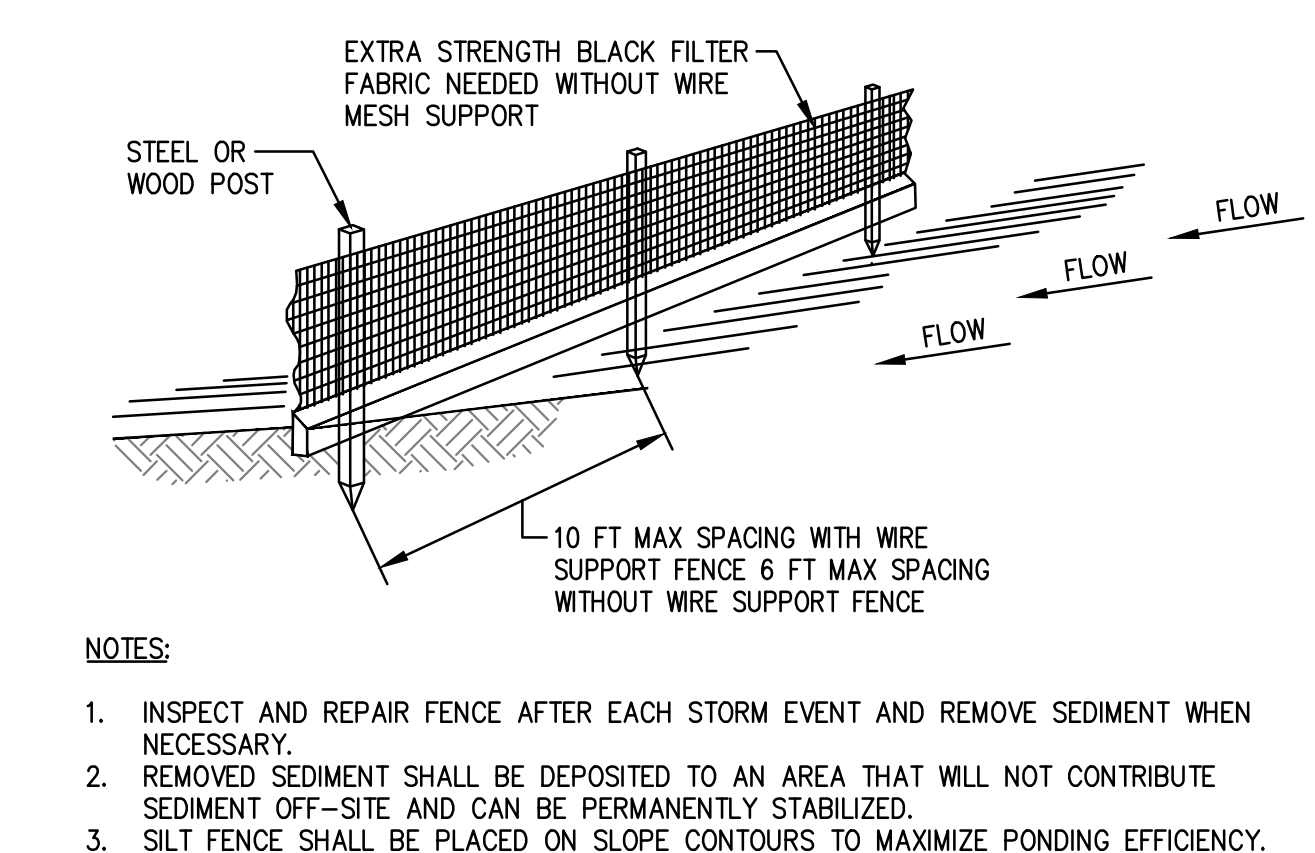
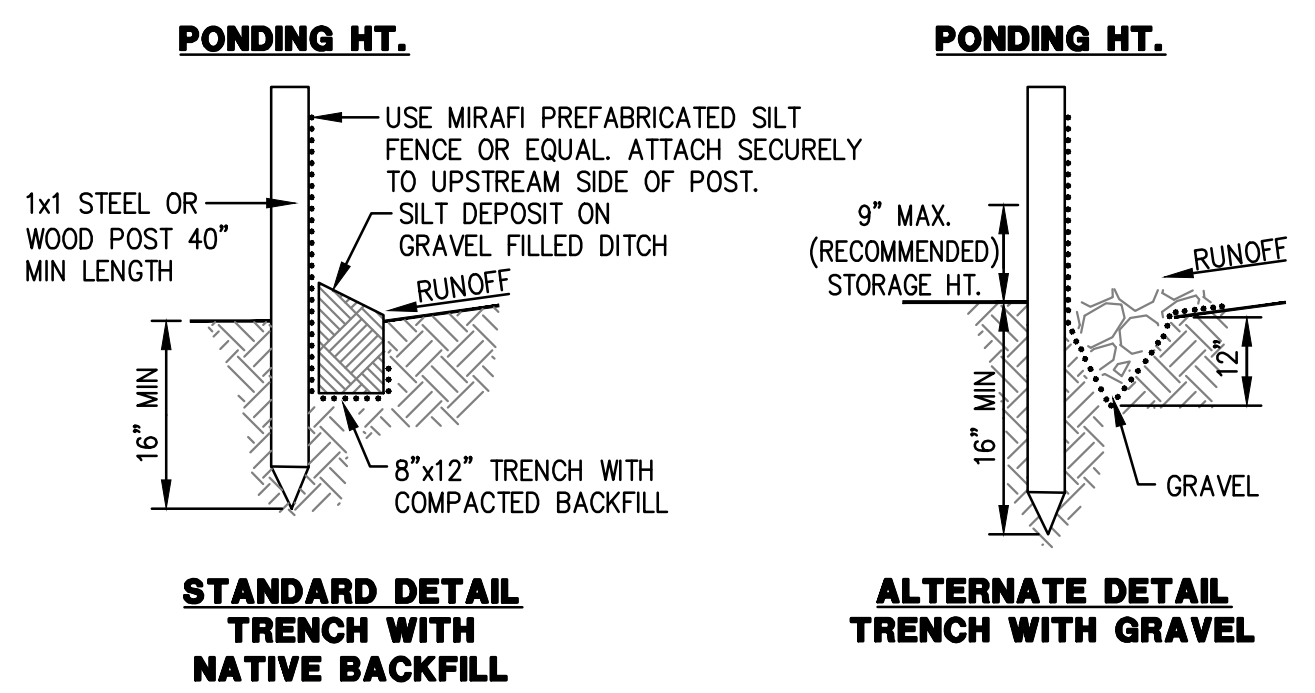
Date	Revisions	No.	TR COMMENTS
08/19/2020			
11/19/2020			
01/27/2021			



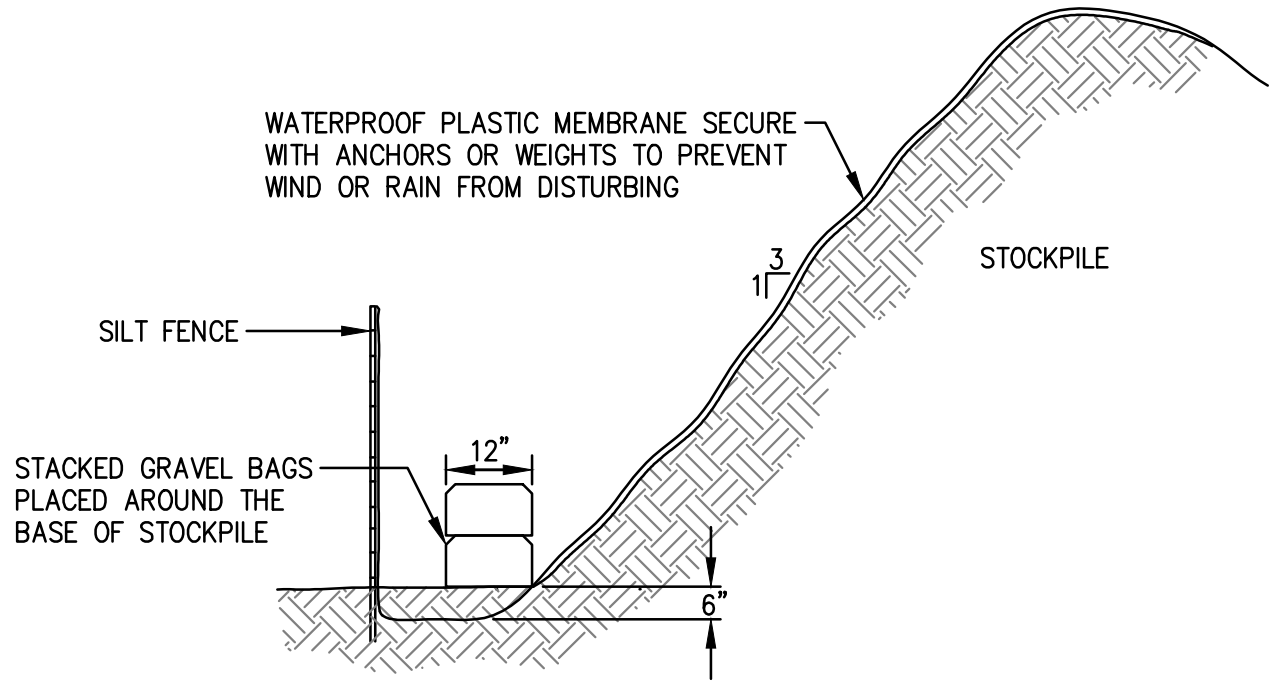
- NOTES:**
- FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
 - VERTICAL SPACING FOR SLOPE INSTALLATIONS:
 SLOPE OF 2:1 OR GREATER = 10 FEET APART
 SLOPE BETWEEN 4:1 AND 2:1 = 15 FEET APART
 SLOPE OF 4:1 OR FLATTER = 20 FEET APART
 - INSPECT AND REPAIR FIBER ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

PERMANENT EROSION/SEDIMENT CONTROLS:

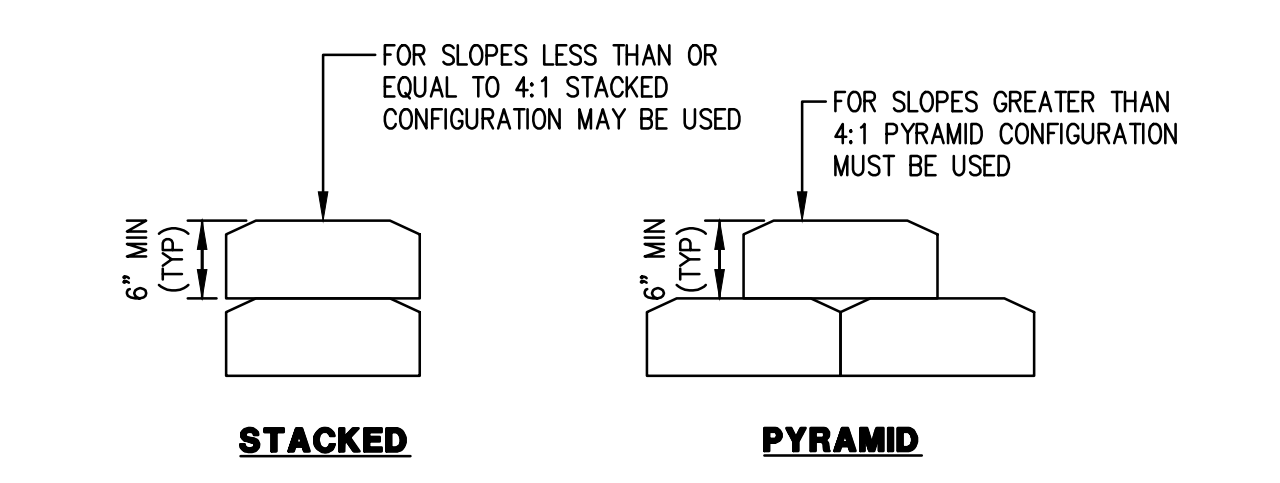
- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.



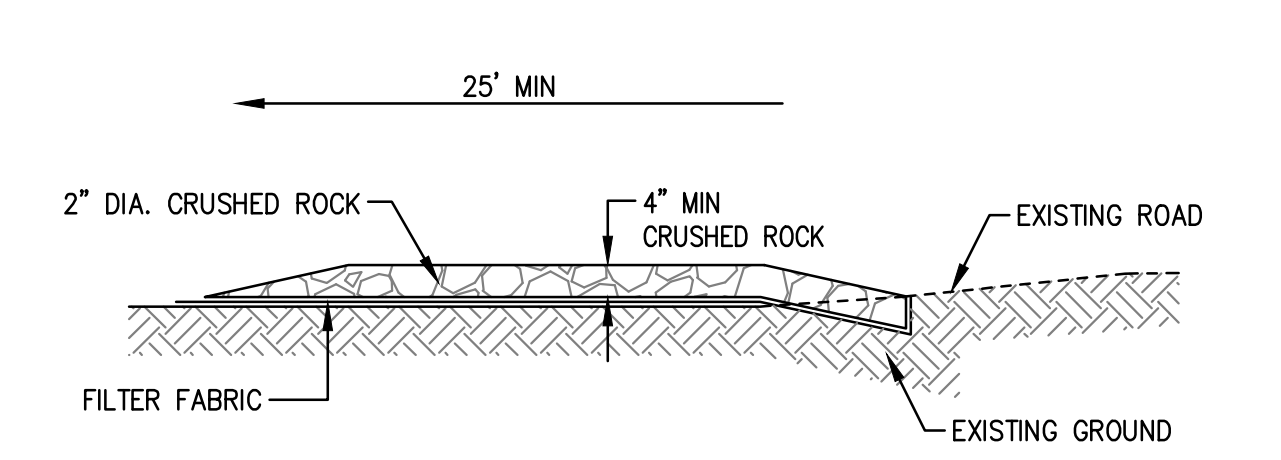
6 SILT FENCE
 NTS



4 STOCKPILE COVERING
 NTS

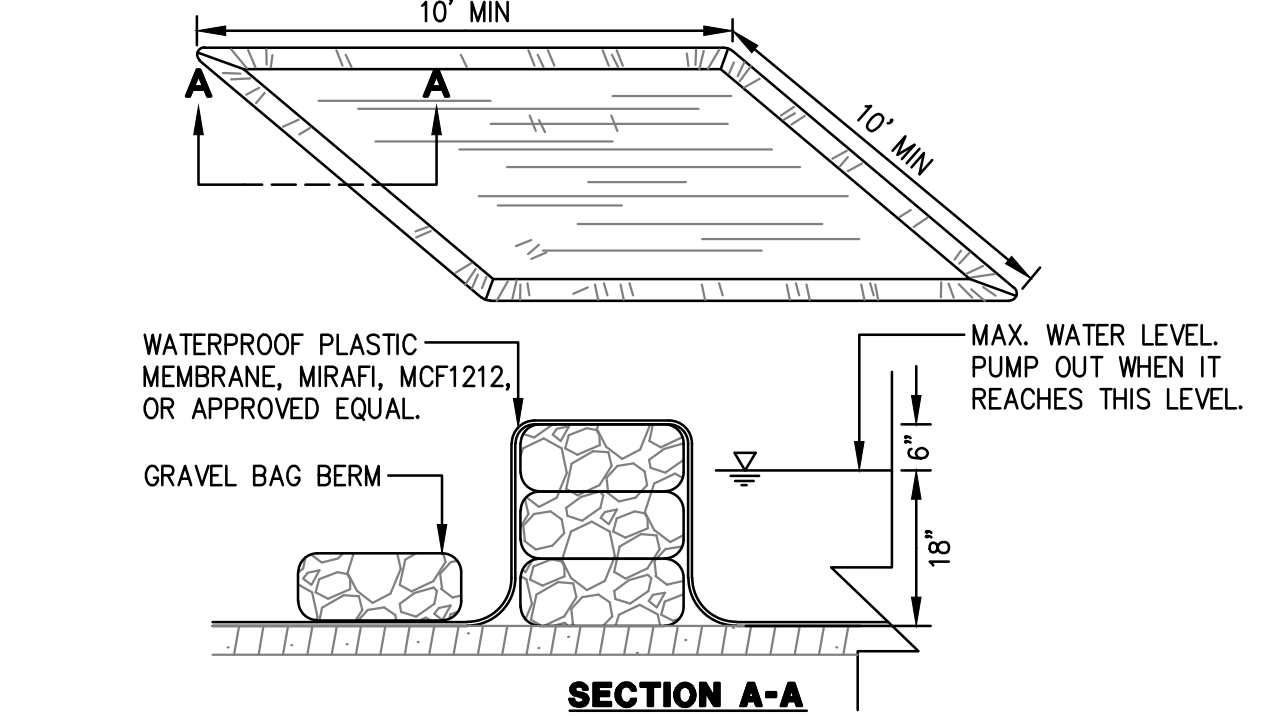


5 GRAVEL BAG BERM
 NTS



- NOTES:**
- PROVIDE A FANDED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
 - INSTALL ALONG NEW DWP CORRIDOR FOR THE FULL PROPOSED WIDTH.

2 STABILIZED CONSTRUCTION ENTRANCE
 NTS



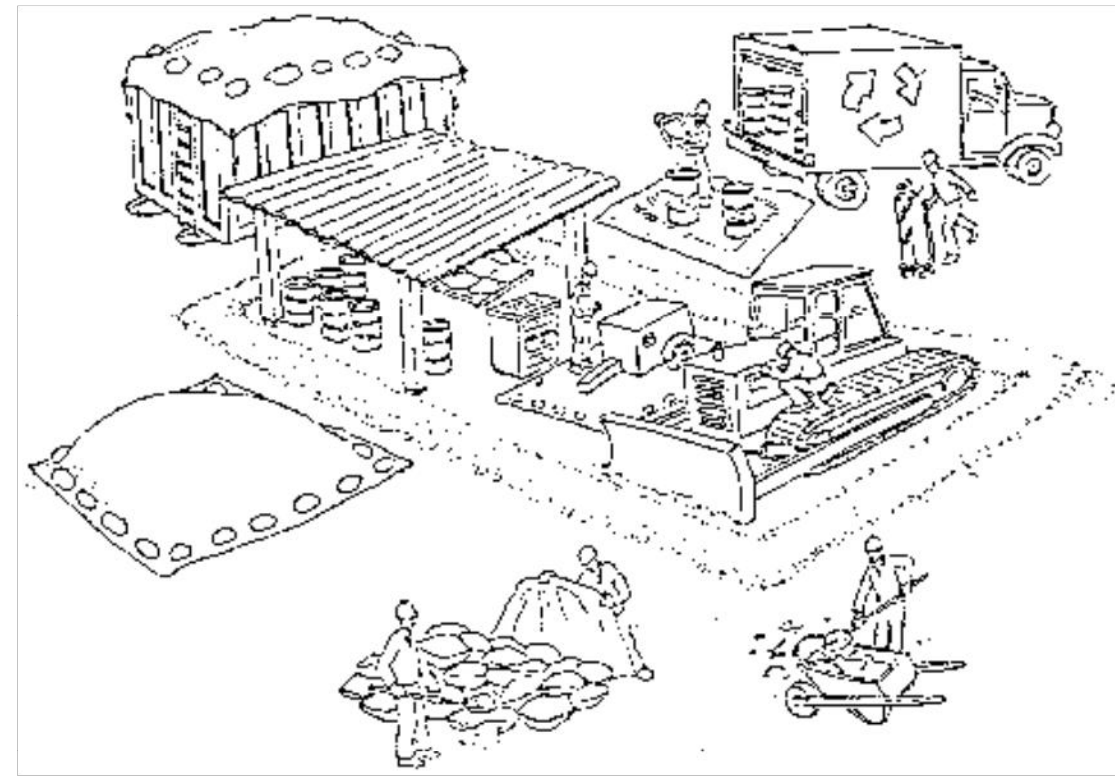
3 VEHICLE/EQUIPMENT WASHOUT PIT
 NTS

SEE SHEETS C.O.0
 AND C.O.1 FOR
 NOTES AND
 LEGENDS



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 PLOT DATE: 01-26-21
 PLOTTED BY: wort

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

Painting



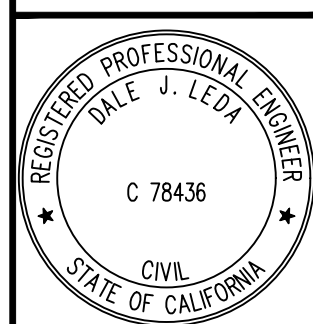
- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

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PLOT DATE: 01-26-21
PLOT BY: wort

BASMAA Bay Area Stormwater Management
Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

BEST MANAGEMENT PRACTICES
SWENSON RESIDENCE
62 ELLENWOOD AVENUE
SANTA CLARA COUNTY CALIFORNIA
LOS GATOS



No.	TR COMMENTS	Date
1	REVISION	08/19/2020
2	REVISION	11/19/2020
3	REVISION	01/27/2021

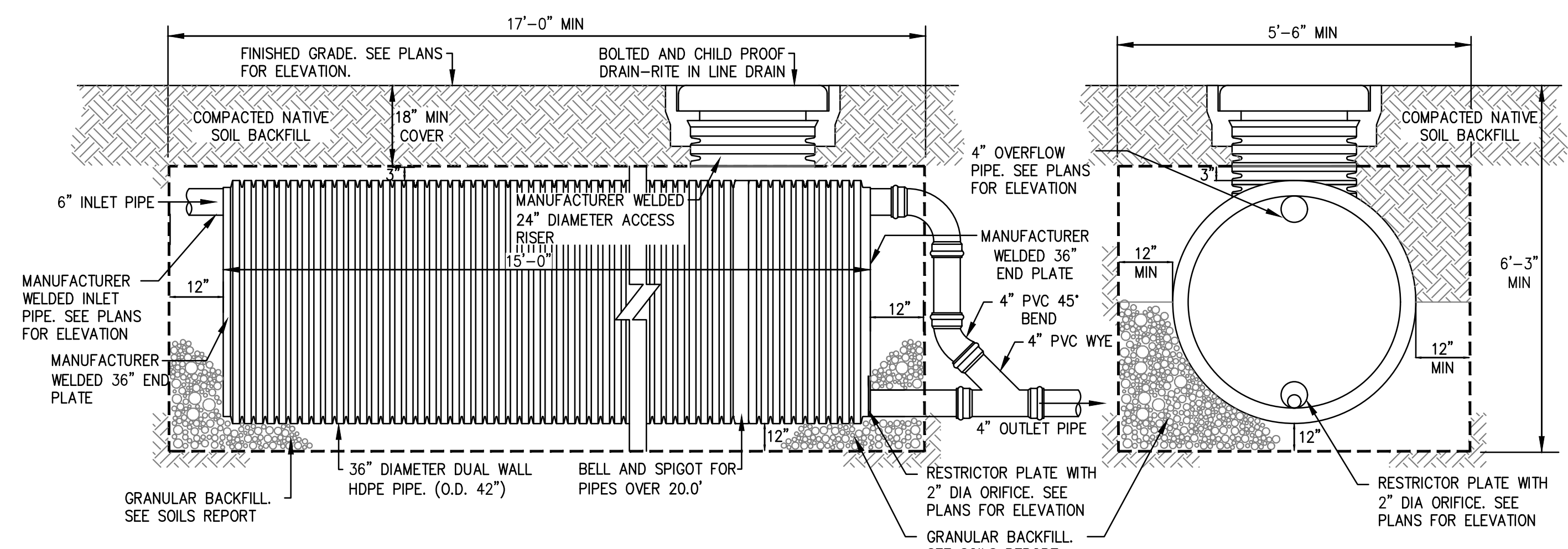
Drawing Number:
C4.2
OF

BKF100
YEARS
ENGINEERS • SURVEYORS • PLANNERS
255 SHORELINE DR.,
SUITE 200 REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

Date	Revisions	No.	TR COMMENTS
08/16/2020			
11/19/2020			
01/27/2021			

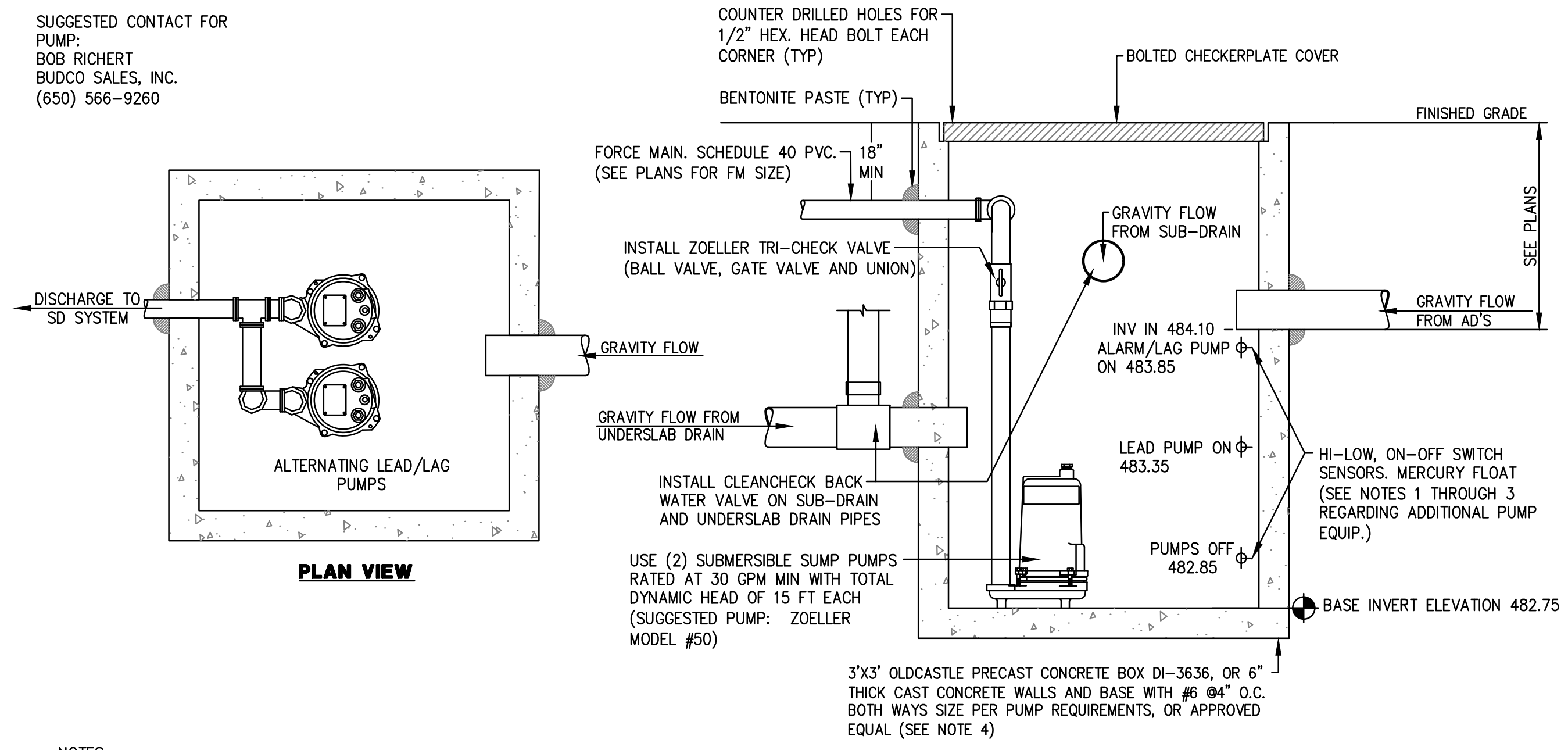
Date	Scale	AS SHOWN	Design	CHS	Drawn	CW	Approved	DDL	Job No
04/23/2020									20200194-10

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 PLOT DATE: 01-26-21
 PLOTTED BY: wort



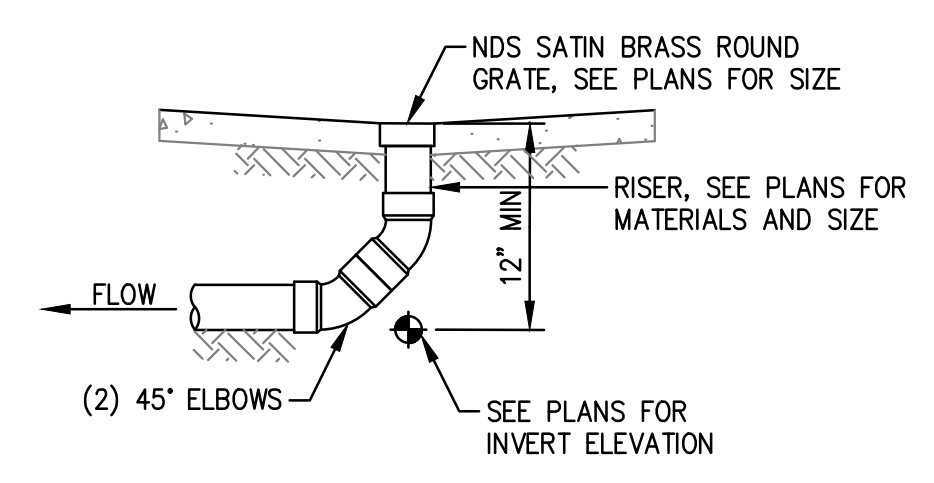
- NOTES:**
- BOTTOM OF TRENCH MUST BE A MINIMUM OF 10 FEET ABOVE GROUND WATER TABLE.

7
DETECTION SYSTEM
 NTS

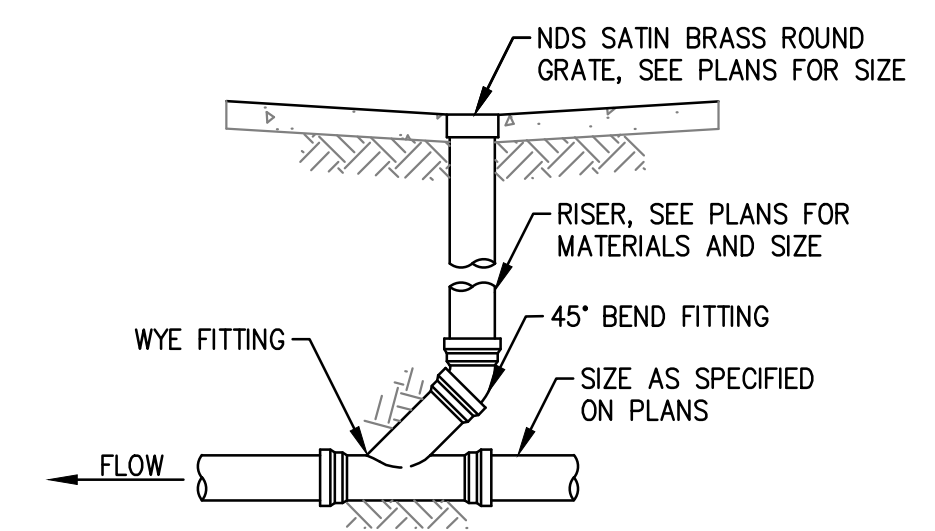


- NOTES:**
- INSTALL PUMP(S) PER MANUFACTURES RECOMMENDATIONS
 - CONTRACTOR SHALL SUPPLY A COMPLETELY SELF-CONTAINED DUPLEX MOTOR CONTROL PANEL. THE CONTROL PANEL SHALL PROVIDE SHORT CIRCUIT AND OVERLOAD PROTECTION FOR THE PUMPS.
 - PROVIDE HIGH-WATER ALARM SYSTEM AND CONNECT TO HOUSE SECURITY SYSTEM.
 - PROVIDE BENTONITE PASTE AT ALL PIPE CONNECTIONS TO PUMP BASIN.
 - CONTRACTOR SHALL COORDINATE LOCATION OF SUMP PUMP BASIN WITH PROJECT ARCHITECT PRIOR TO CONSTRUCTION AND FIELD VERIFY ACTUAL BASE ELEVATION BASED ON FINAL FIELD CONDITIONS.
 - SUMP PUMP MAINTENANCE REQUIREMENTS: CLEAN PUMP VAULT AND PUMP OF DEBRIS EVERY SIX MONTHS MINIMUM.

8
BASEMENT DUAL SUMP PUMP
 NTS



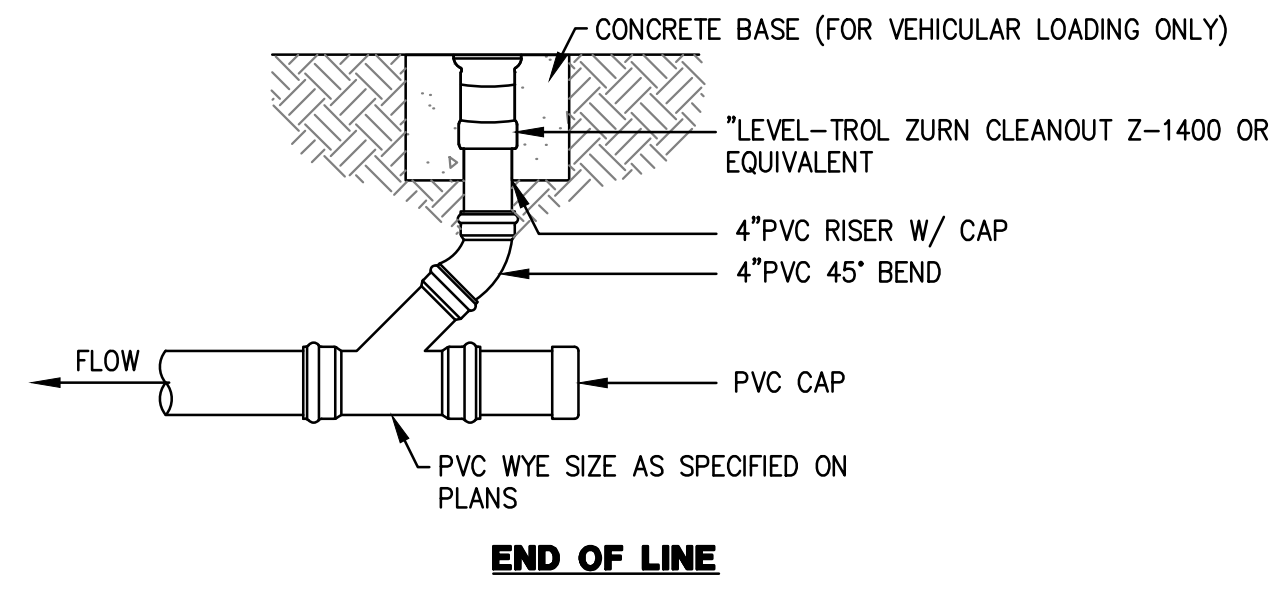
END OF LINE



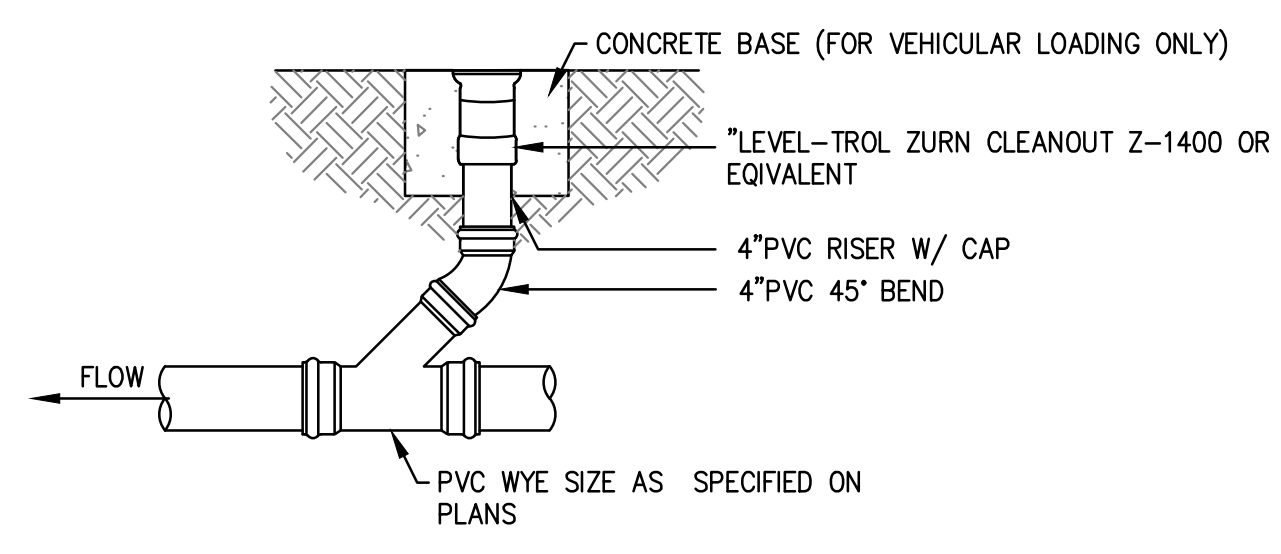
IN-LINE

- NOTES:**
- GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

5
SMALL AREA DRAIN
 NTS



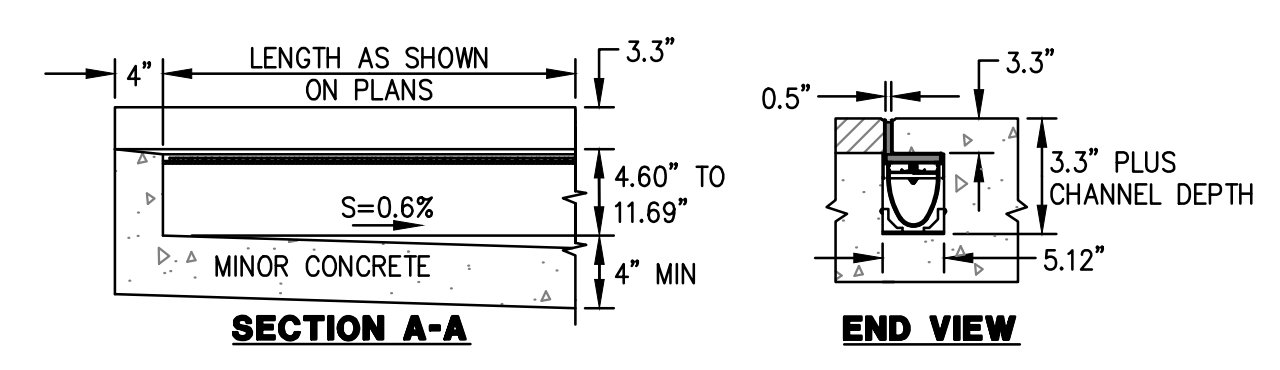
END OF LINE



IN-LINE

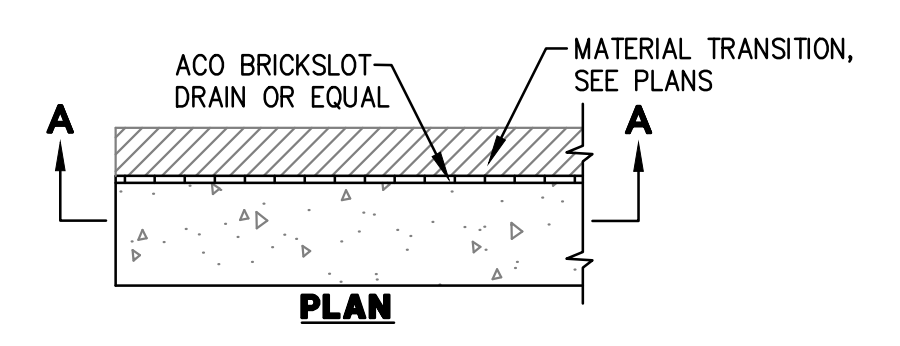
- NOTES:**
- GLUED FITTINGS MAY BE SUBSTITUTED FOR GASKETED FITTINGS AT THE OPTION OF THE INSTALLATION CONTRACTOR.

6
SEWER CLEANOUT
 NTS



SECTION A-A

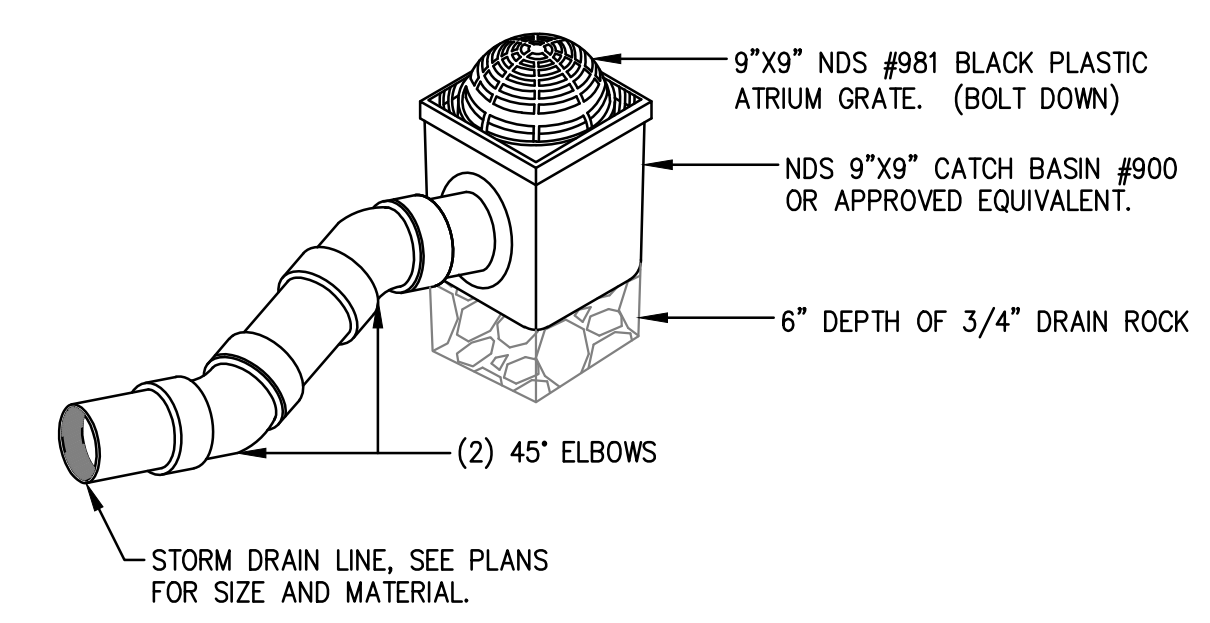
END VIEW



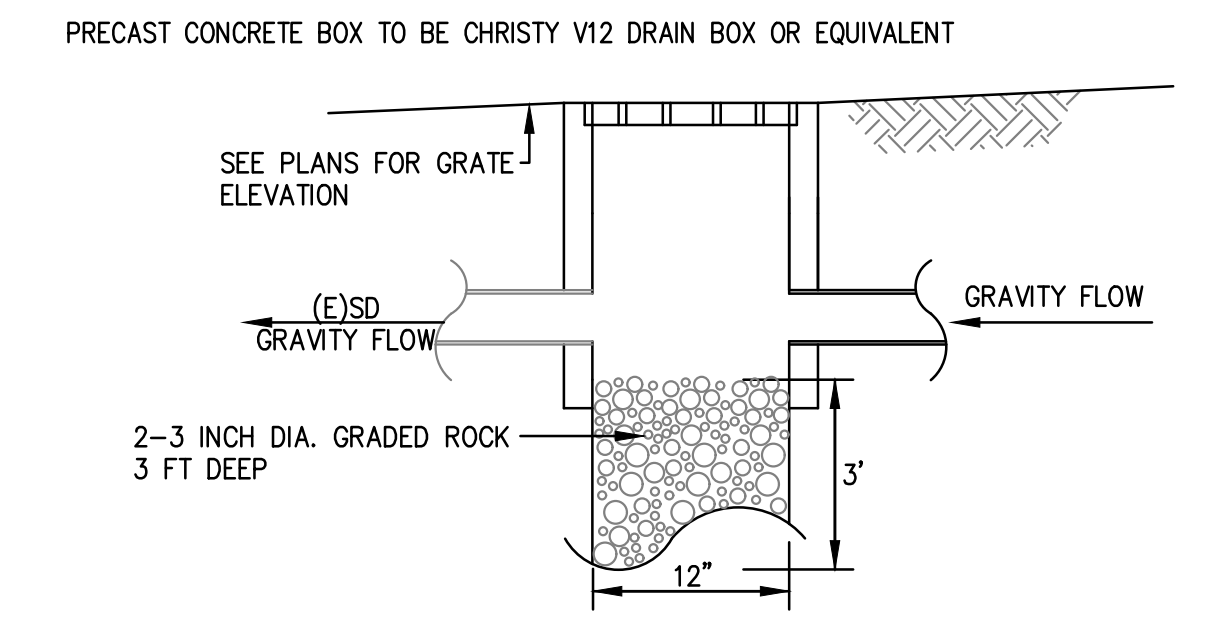
PLAN

- NOTES:**
- ACO BRICKSLOT 0.6% SLOPED CHANNELS IN METER LENGTHS AND 30 DEPTHS WHICH CONNECT TO CREATE CONTINUOUSLY SLOPING RUN. HALF METER CHANNELS AND NEUTRAL SLOPING CHANNELS ARE ALSO AVAILABLE. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

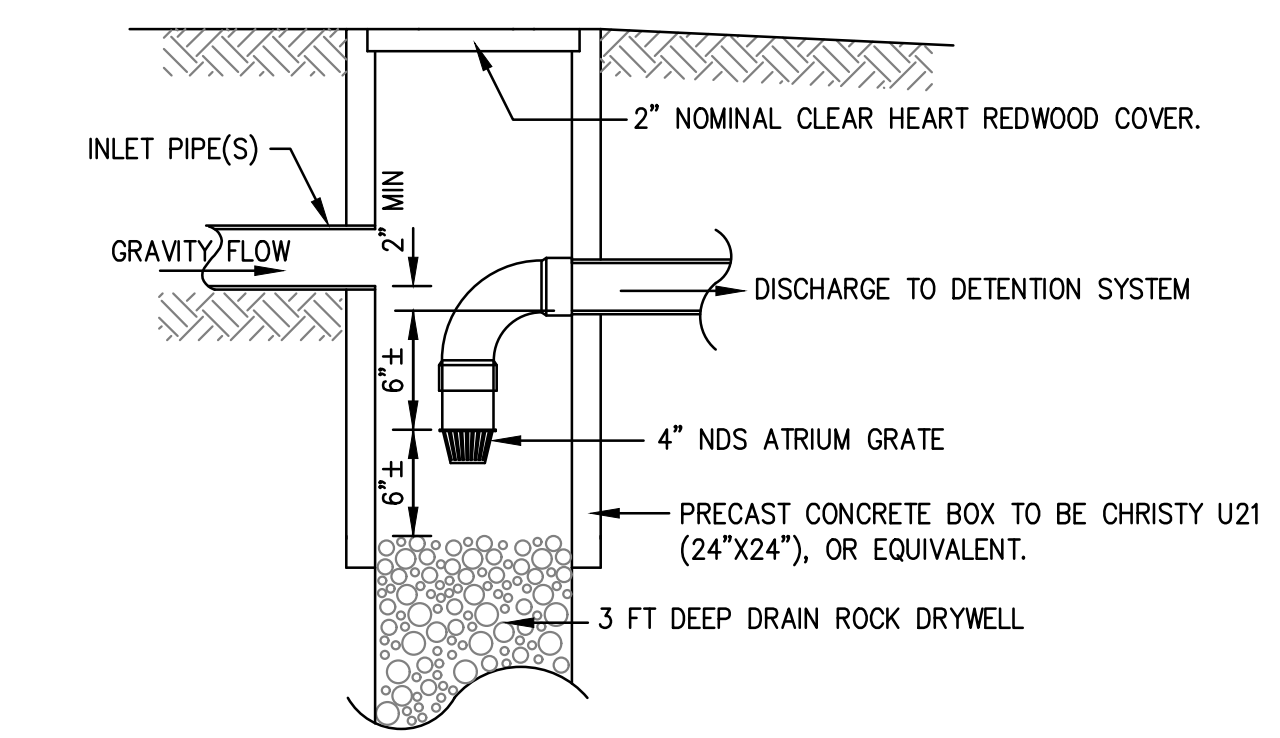
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ACO BRICKSLOT DRAIN
 NTS



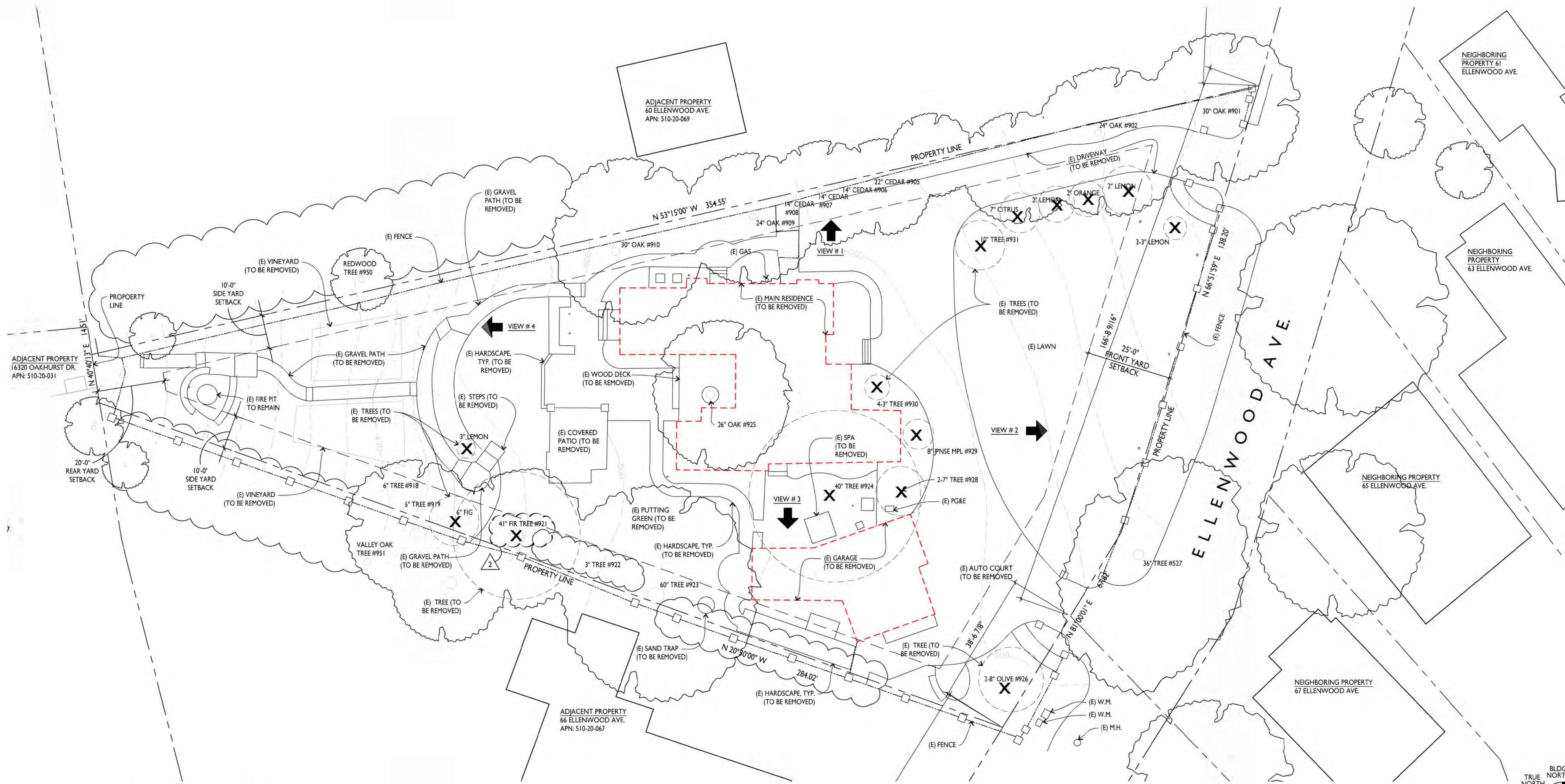
2
9"x9" ATRIUM DRIAN
 NTS



3
BUBBLE UP BOX
 NTS



4
SEDIMENTATION INLET
 NTS



2 EXISTING SITE PLAN
A0.1



VIEW #1 FACING NORTH (60 ELLENWOOD AVE)



VIEW #2 FACING EAST (63 & 65 ELLENWOOD)



VIEW #3 FACING SOUTH (66 ELLENWOOD AVE)



VIEW #4 WEST (16320 OAKHURST DRIVE)

1 EXISTING SITE PHOTOS
A0.1

ARCANUM
 REGISTERED ARCHITECT
 ARCHITECTURE, INC.
 379 SAN FRANCISCO ST.
 SAN FRANCISCO CA 94107
 415.357.4400
 arcanumarchitect.com

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	
Drawn By	
Checked By	
Project No.	18004
Date	
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

EXISTING SITE PLAN AND SITE PHOTOS

SCALE: 1/16" = 1'-0"

A0.1



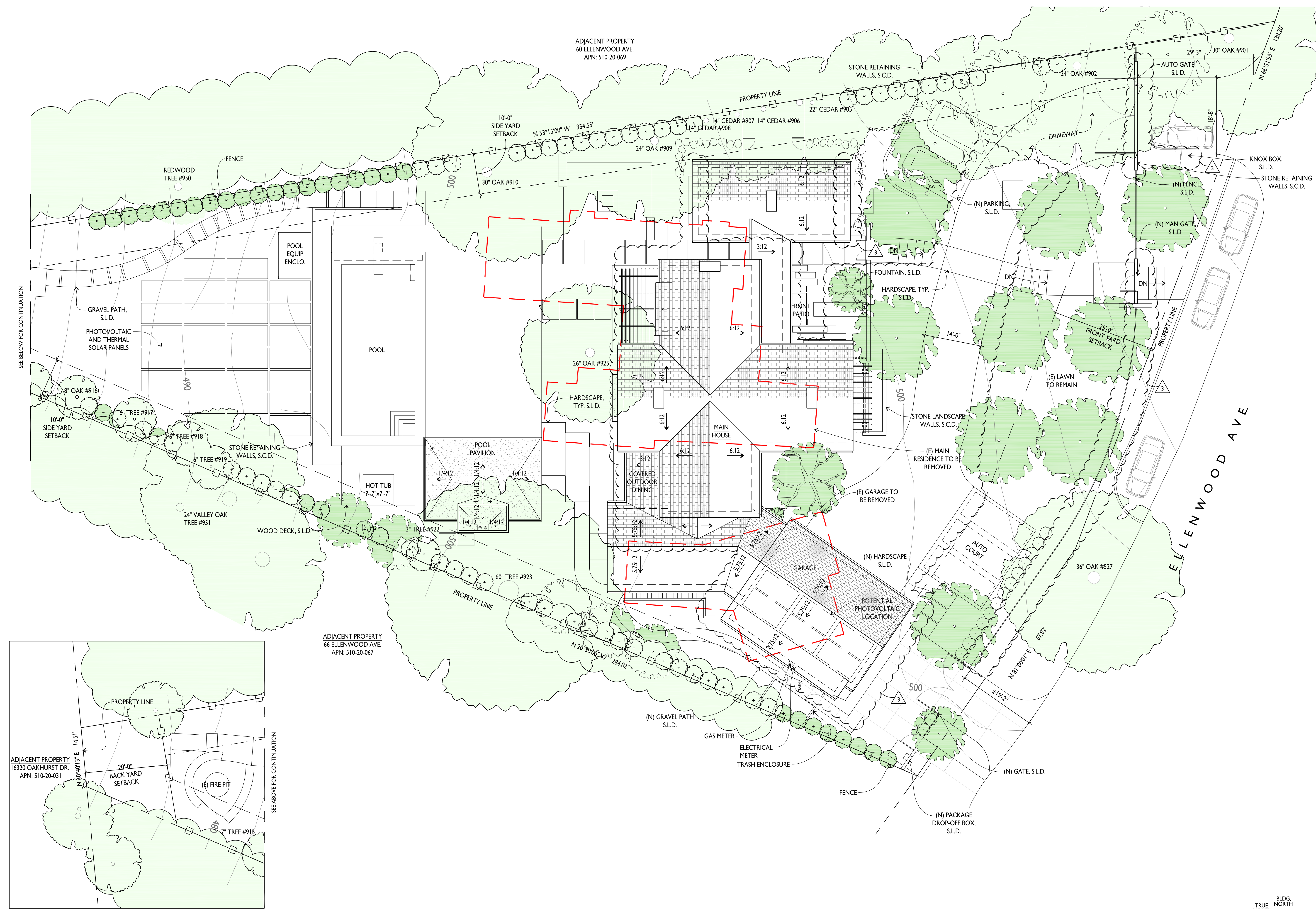
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	_____	Issue	_____
Drawn By	_____	Checked By	_____
Project No.	18004	Issue	TECHNICAL REVIEW
Date	4.23.20	Issue	T.R. COMMENTS
Date	8.18.20	Issue	REVISION
Date	11.17.20	Issue	REVISION
Date	1.27.21	Issue	REVISION

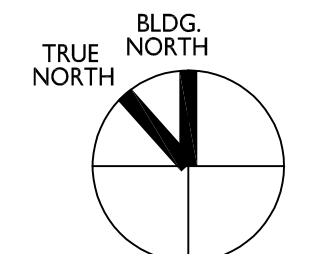
SITE PLAN

SCALE: 3/32" = 1'-0"

A0.2



SITE PLAN
 A0.2

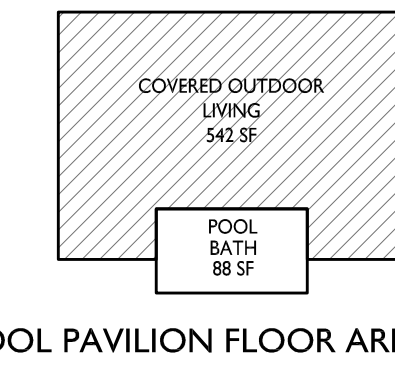
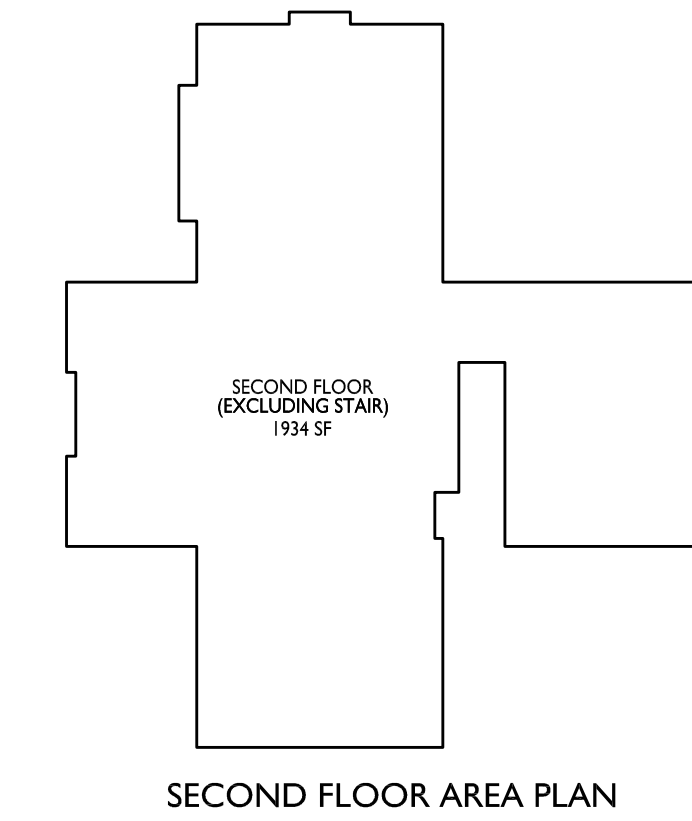
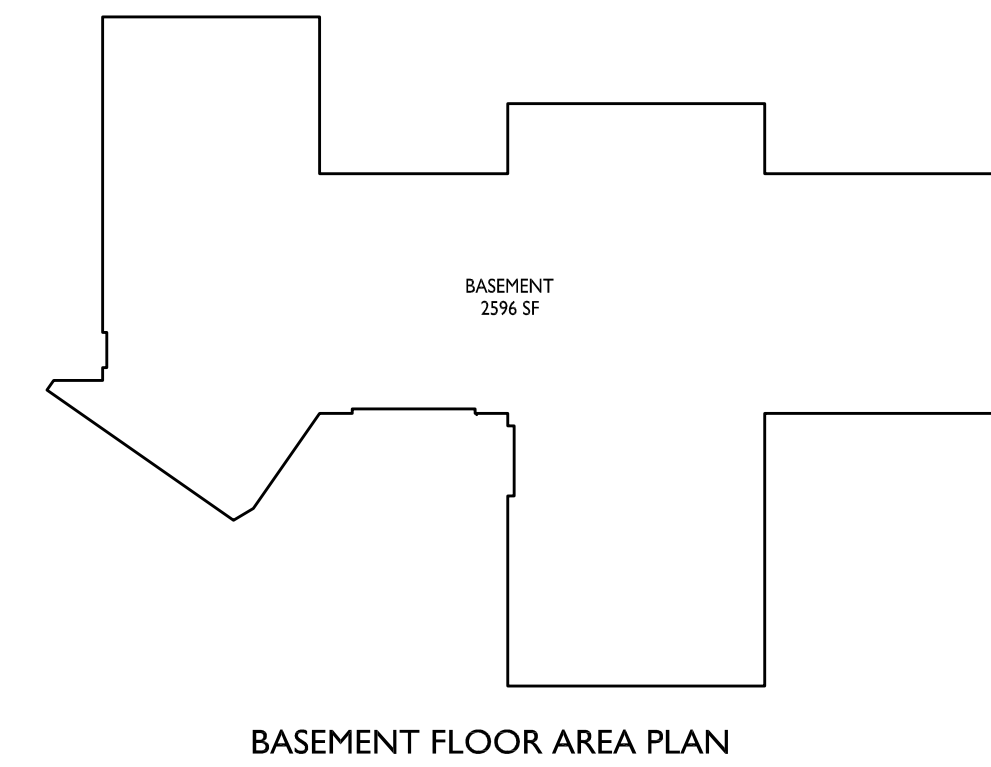
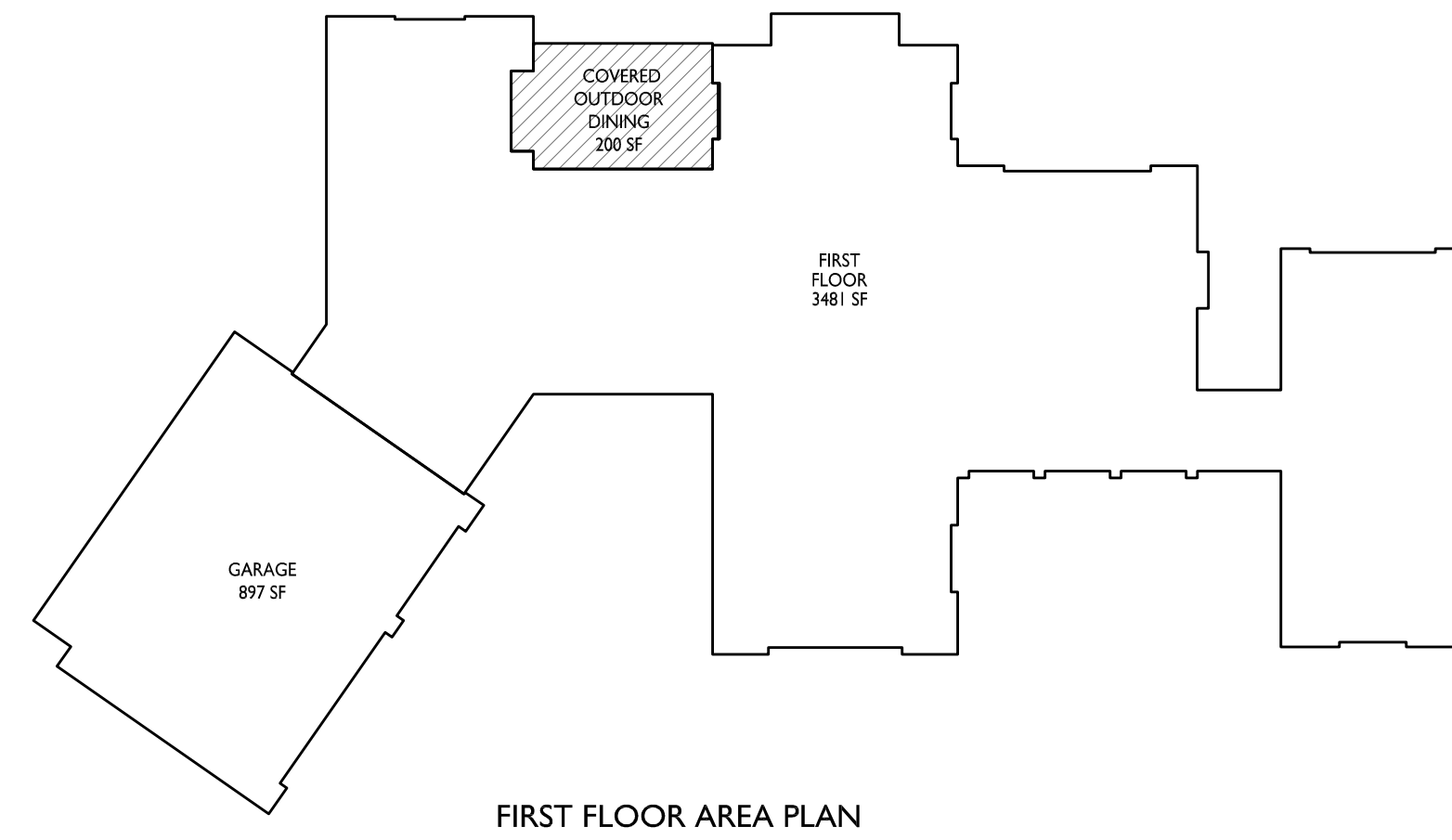


FLOOR AREA CALCULATIONS

PLANNING FLOOR AREA CALCULATIONS:

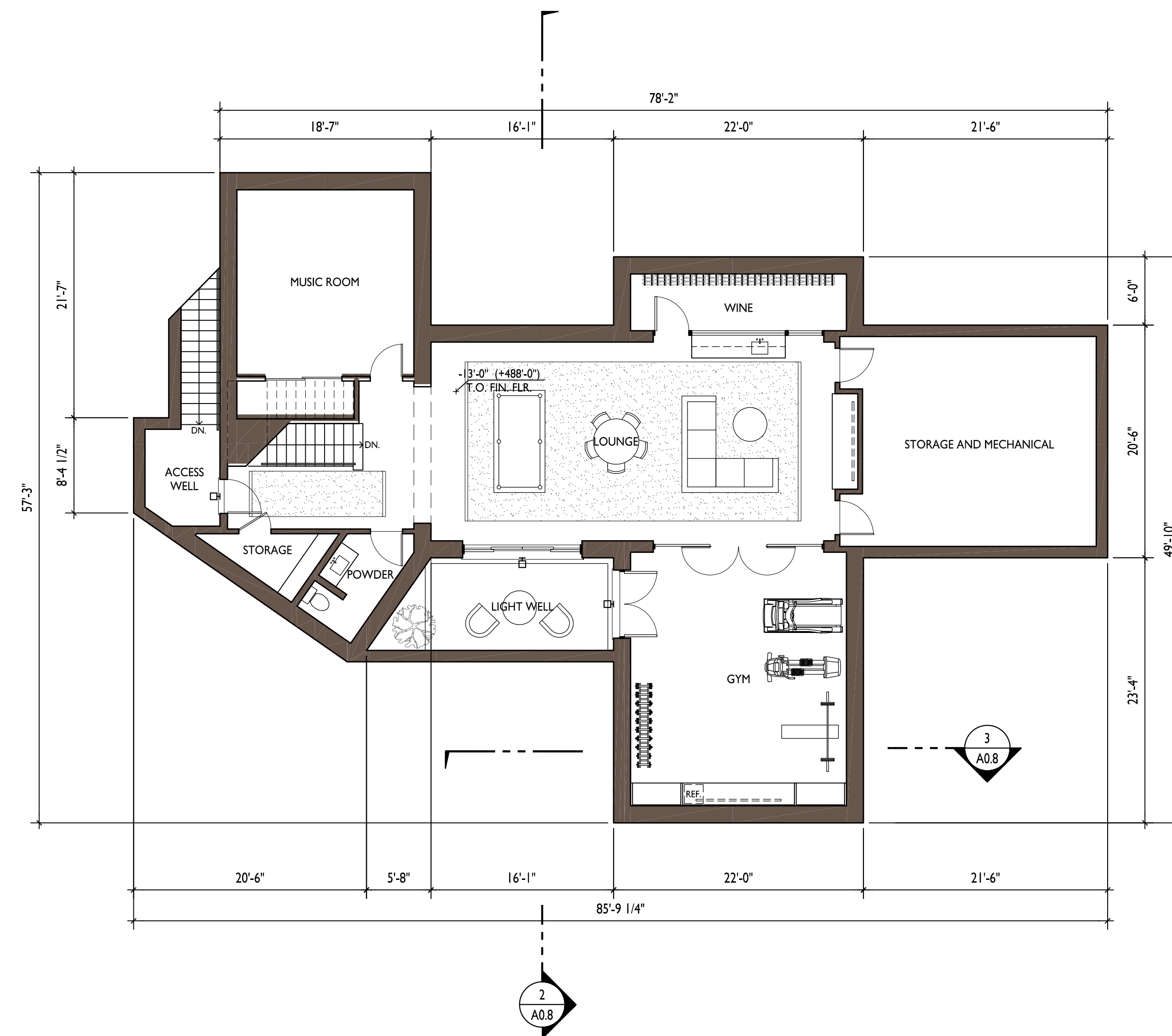
ALLOWABLE FLOOR AREA (AFA):	PROPOSED	ALLOWED
FIRST FLOOR:	3481 SF	
SECOND FLOOR (EXCLUDING STAIR):	1934 SF	
GARAGE: (897 SF - 400 SF ^{**})	497 SF	
POOL BATH:	88 SF	
BASEMENT LEVEL (NOT INCLUDED):	2596 SF	
TOTAL:	6000 SF	6000 SF
LOT COVERAGE:		
FIRST FLOOR (INCLUDING GARAGE):	4378 SF	
POOL BATH:	88 SF	
COVERED OUTDOOR LIVING & DINING:	742 SF	
TOTAL:	5208 SF	13093 SF

** THE FIRST 400 SQUARE FEET OF A GARAGE, ATTACHED OR DETACHED, IS EXCLUDED FROM THE FLOOR AREA ALLOWANCE

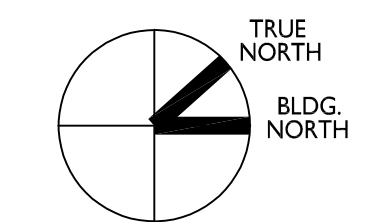


LEGEND

COVERED OUTDOOR LIVING & DINING



BASEMENT FLOOR PLAN



LIGHTING LEGEND

BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)

TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)

BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)

WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)

PENDANT LIGHT

RESTORATION HARDWARE 'PETRUS SQUARE' WALL SCONCE (SEE ENCLOSED CUT SHEET)

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.

ARCANUM
 REGISTERED ARCHITECT
 ARCHITECTURE, INC.
 319 SAN FRANCISCO CA 94107
 415.357.4400
 arcanumarchitecture.com

62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068

Date	Issue
Drawn By	TECHNICAL REVIEW
Checked By	T.R. COMMENTS
Project No.	18004
Date	REVISION
4.23.20	
8.18.20	
11.17.20	
1.27.21	

BASEMENT FLOOR PLAN AND FLOOR AREA CALCULATIONS

SCALE: 1/8" = 1'-0"

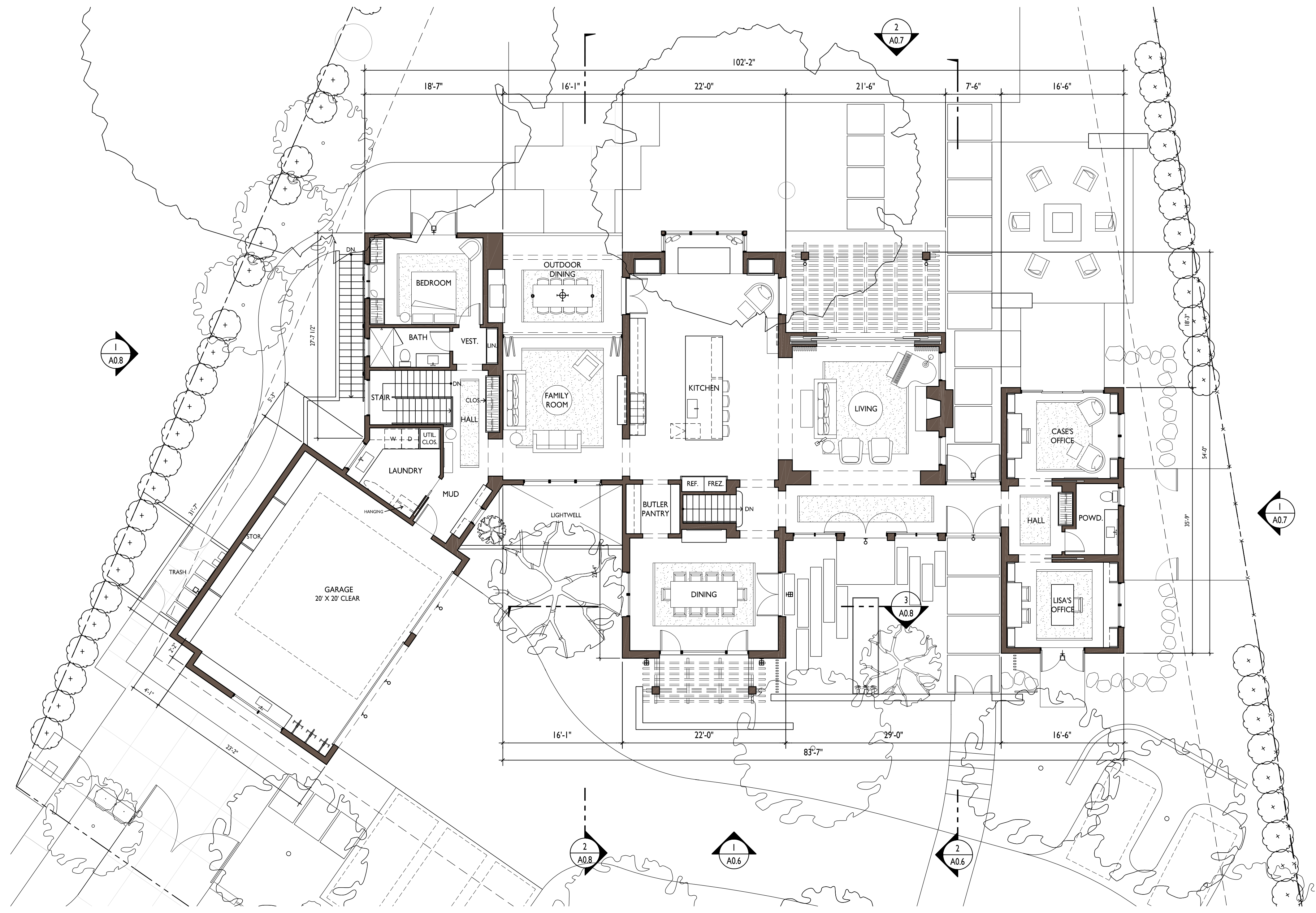
A0.3



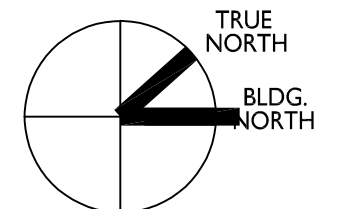
62 ELLENWOOD AVE
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8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"



1 A0.4 FIRST FLOOR PLAN



LIGHTING LEGEND

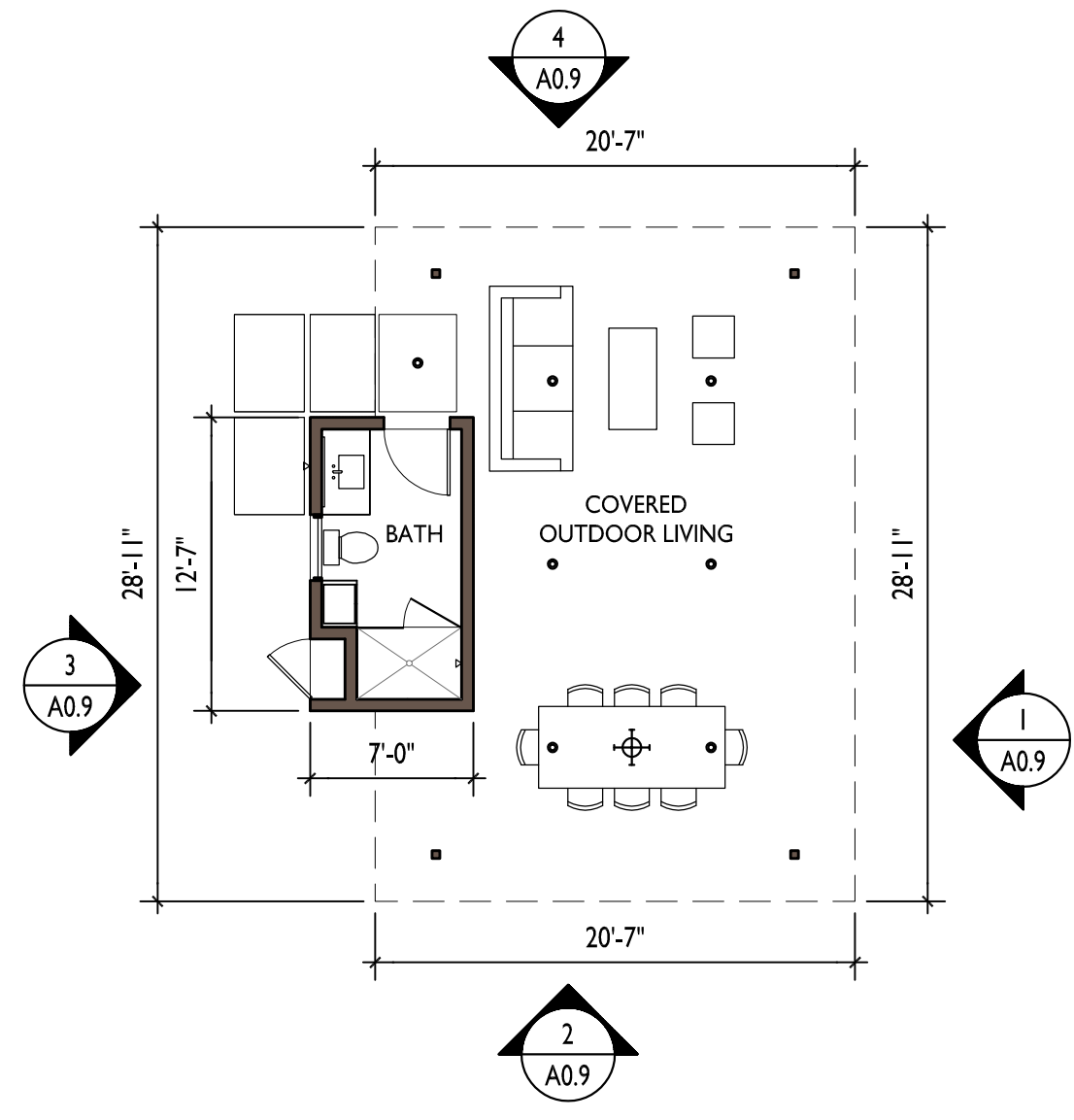
- 1 A0.4 BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- 2 TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- 3 BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- 4 WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- 5 PENDANT LIGHT
- 6 RESTORATION HARDWARE 'PETRUS SQUARE' WALL SCONCE (SEE ENCLOSED CUT SHEET)

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.

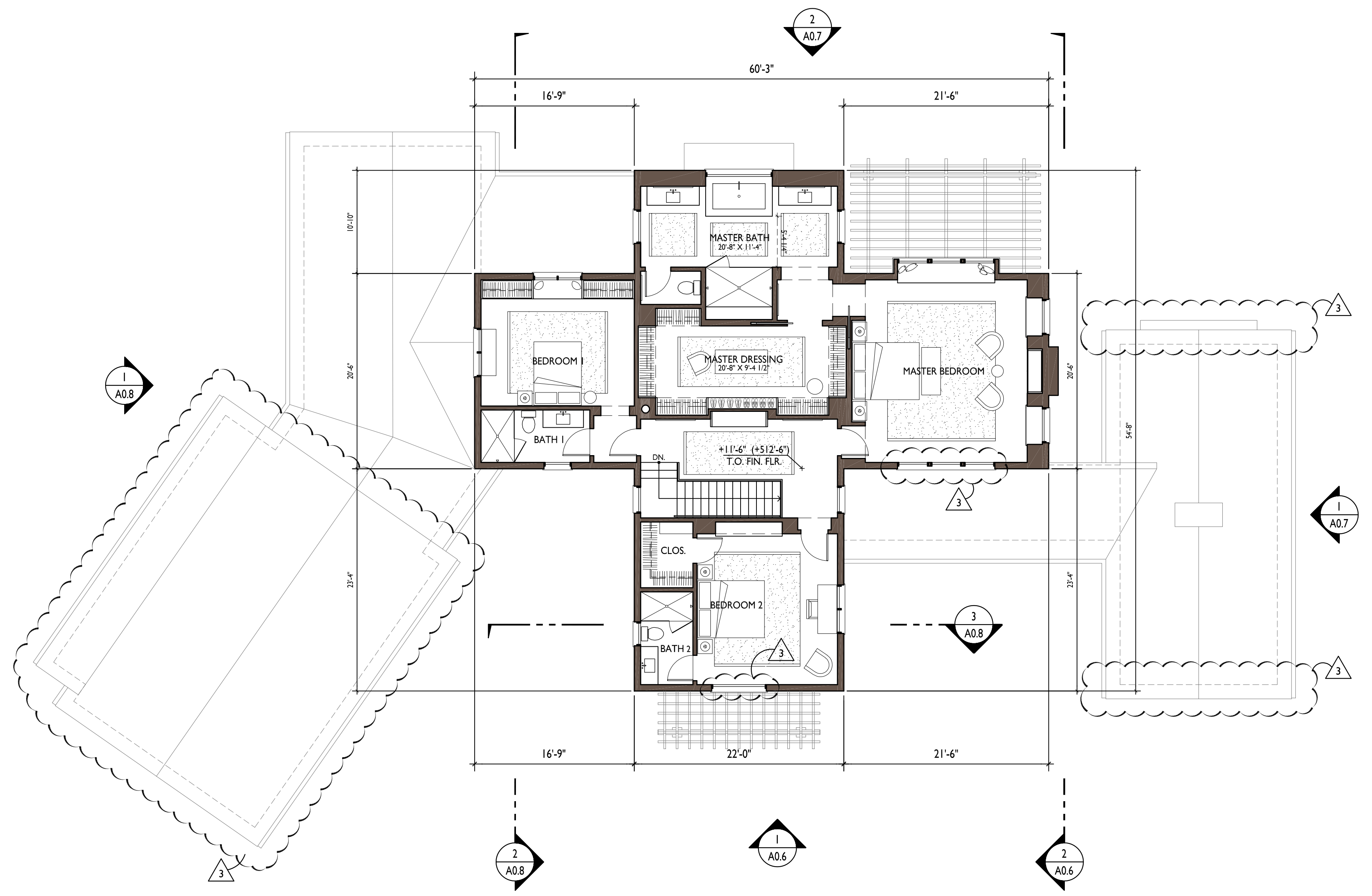
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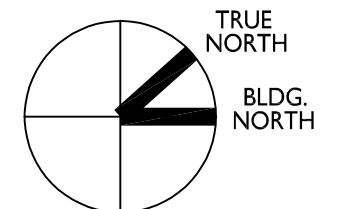
62 ELLENWOOD AVE
 LOS GATOS, CALIFORNIA
 APN: 510-20-068



2
A0.5 POOL PAVILION FLOOR PLAN



1
A0.5 SECOND FLOOR PLAN



Date	
Drawn By	
Checked By	
Project No.	18004
Date	
Issue	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

SECOND FLOOR PLAN
 AND POOL PAVILION
 FLOOR PLAN

SCALE: 1/8" = 1'-0"

LIGHTING LEGEND

- [L1] BK LIGHTING 'NITE STAR' EXTERIOR LOW VOLTAGE MONOPOINT (SEE ENCLOSED CUT SHEET)
- [L2] TECH LIGHTING EXTERIOR 'PITCH' SINGLE WALL SCONCE (SEE ENCLOSED CUT SHEET)
- [L3] BK LIGHTING 'VERSA STAR' EXTERIOR LOW VOLTAGE DOWN LIGHT (SEE ENCLOSED CUT SHEET)
- [L4] WAC LIGHTING 'RECTANGLE STEP LIGHT' (SEE ENCLOSED CUT SHEET)
- [L5] PENDANT LIGHT
- [L6] RESTORATION HARDWARE 'PETRUS SQUARE' WALL SCONCE (SEE ENCLOSED CUT SHEET)

NOTE: ALL EXTERIOR LIGHT FIXTURES WILL COMPLY WITH THE REQUIREMENTS OF SECTION 29.20.0915 OF THE TOWN CODE TO BE SHIELDED AND DOWNWARD DIRECTED.



62 ELLENWOOD AVE
LOS GATOS, CALIFORNIA
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Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

EXTERIOR ELEVATIONS

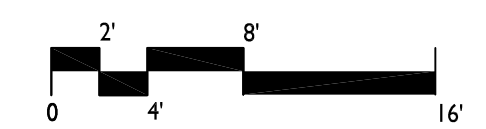
SCALE: 1/8" = 1'-0"

A0.6



2 NORTH ELEVATION / SECTION
A0.6

1 EAST ELEVATION
A0.6



KEYNOTES / FINISH NOTES

- | | | | | |
|---------------------------------|---|---|--|---------------------------|
| 1 WOOD SHINGLE ROOF | 5 STAINED CEDAR WOOD RAFTER TAILS AND DECKING | 9 STAINED CEDAR GARAGE DOORS | 13 PAINTED METAL DINING NOOK | 17 STEEL WINDOWS & DOORS |
| 2 WOOD TRELLIS AND COLUMNS | 6 PAINTED HORIZONTAL WOOD SIDING AND TRIM | 10 SPLIT FACED STONE LANDSCAPE WALL, S.L.D. | 14 EXTERIOR LIGHT FIXTURE | 18 OUTDOOR SHOWER |
| 3 COPPER DOWNSPOUTS AND GUTTERS | 7 SPLIT FACED STONE VENEER | 11 (E) GRADE SHOWN DASHED | 15 RECLAIMED, SOLID WOOD LINTEL | 19 EXISTING HOUSE OUTLINE |
| 4 METAL CLAD WOOD WINDOWS | 8 COPPER FLUE ENCLOSURE | 12 PROPOSED GRADE | 16 PAINTED STEEL POSTS, FASCIA & GUARDRAIL | 20 EXTERIOR LIGHT FIXTURE |



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11.17.20	RESUBMITTAL
1.27.21	REVISION

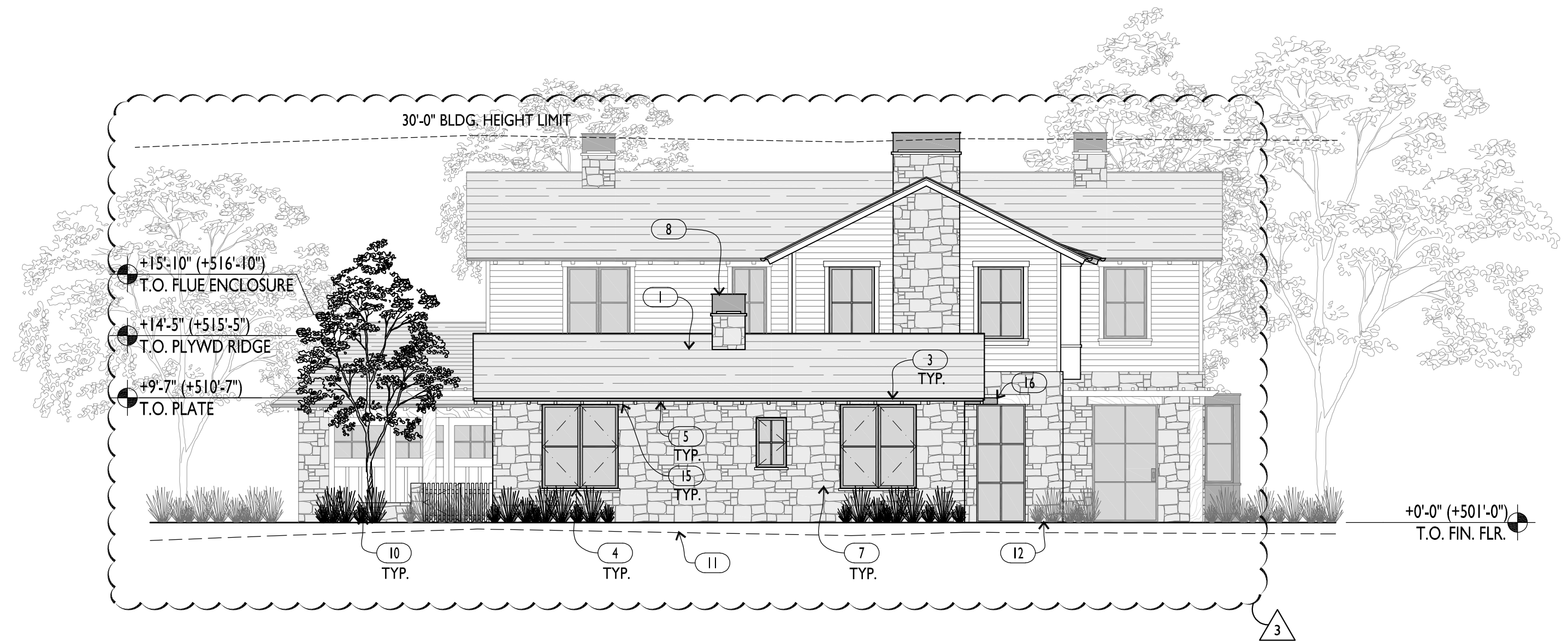
EXTERIOR ELEVATIONS

SCALE: 1/8" = 1'-0"

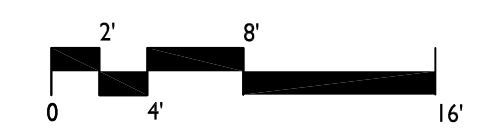
A0.7



2 WEST ELEVATION
A0.7

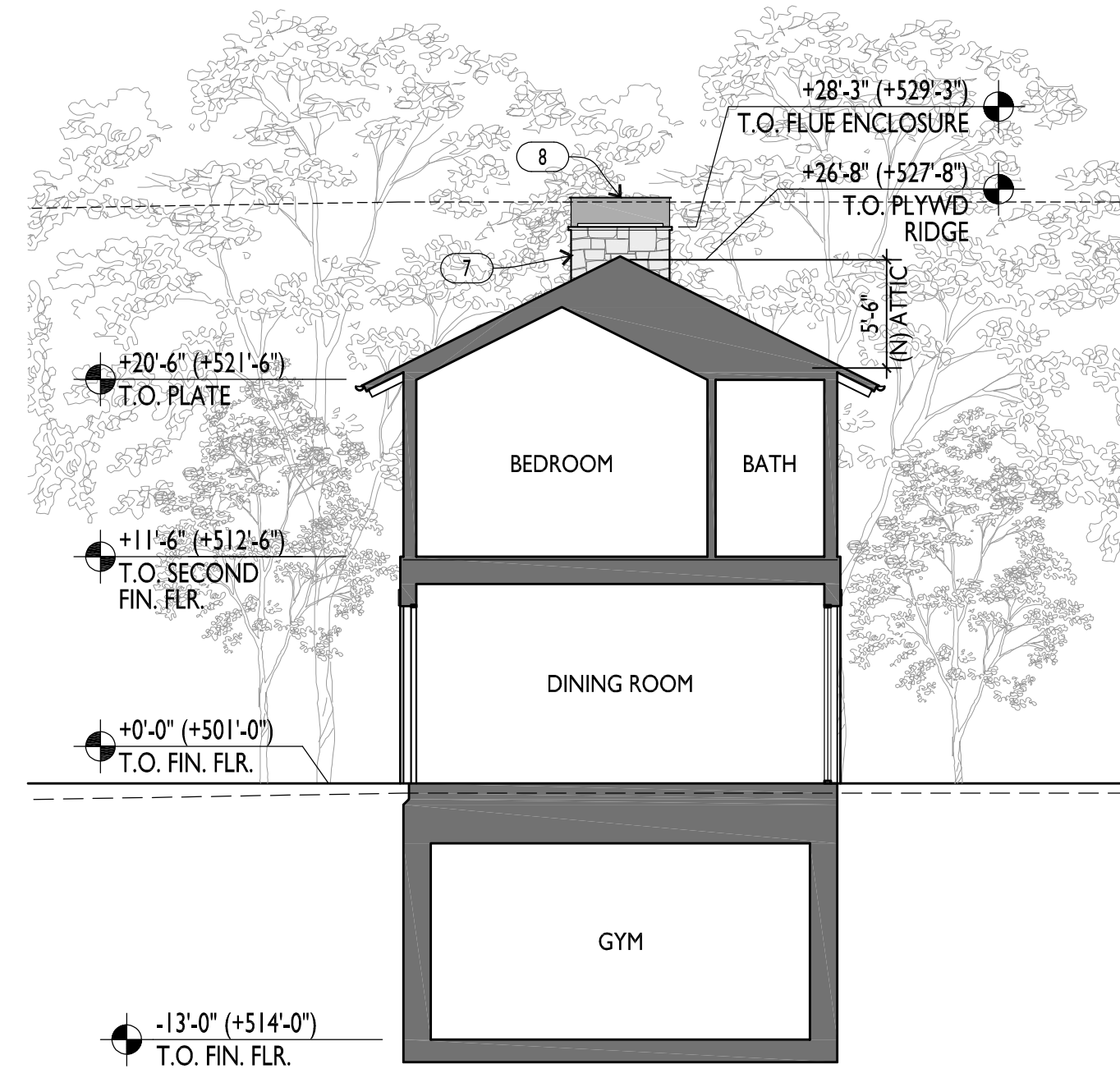


1 NORTH ELEVATION
A0.7

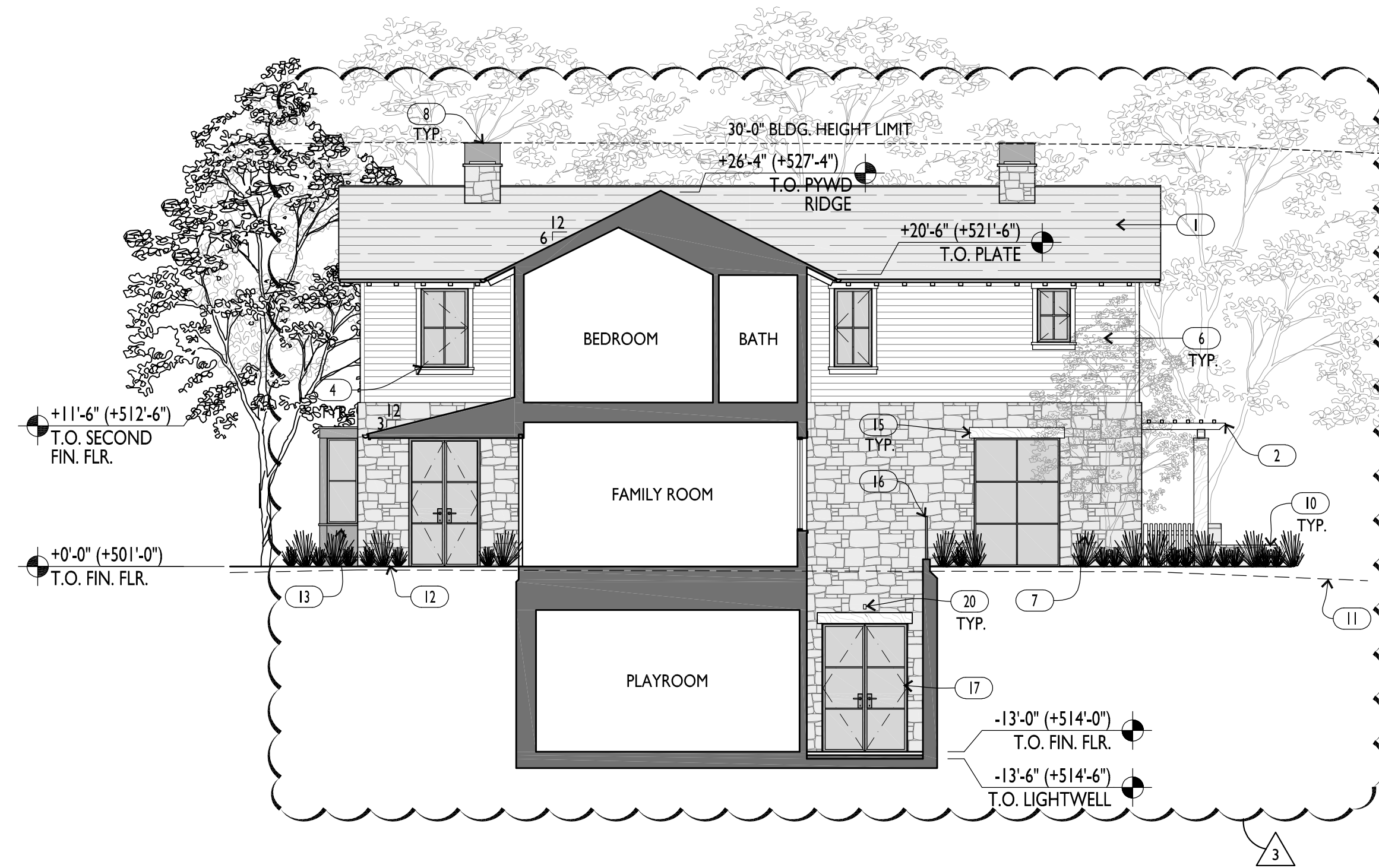


KEYNOTES / FINISH NOTES

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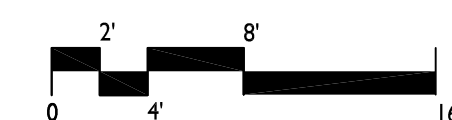
3 EAST SECTION
A0.8



2 SOUTH ELEVATION / SECTION
A0.8



1 SOUTH ELEVATION
A0.8



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1.27.21	REVISION

EXTERIOR
ELEVATIONS AND
SECTIONS

SCALE: 1/8" = 1'-0"

KEYNOTES / FINISH NOTES

- | | | | | |
|---------------------------------|---|---|--|---------------------------|
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A0.8



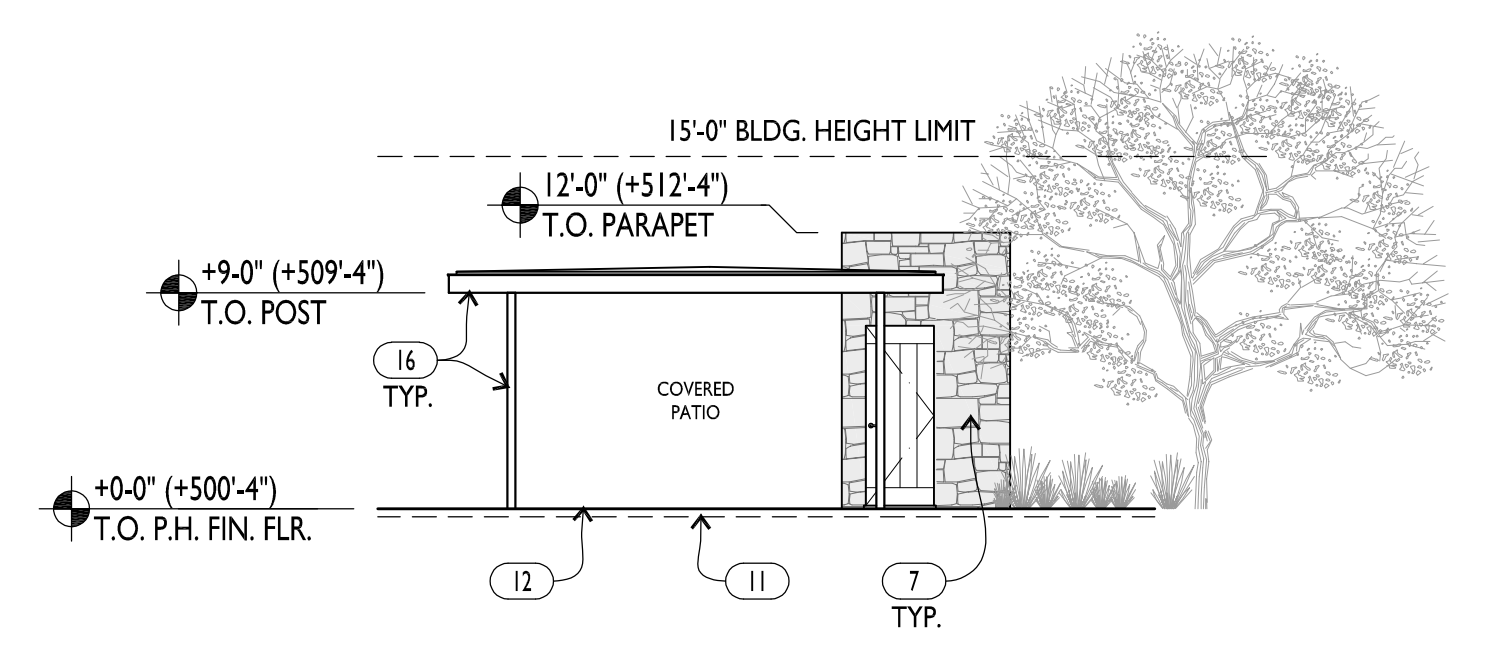
62 ELLENWOOD AVE
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1.27.21	REVISION

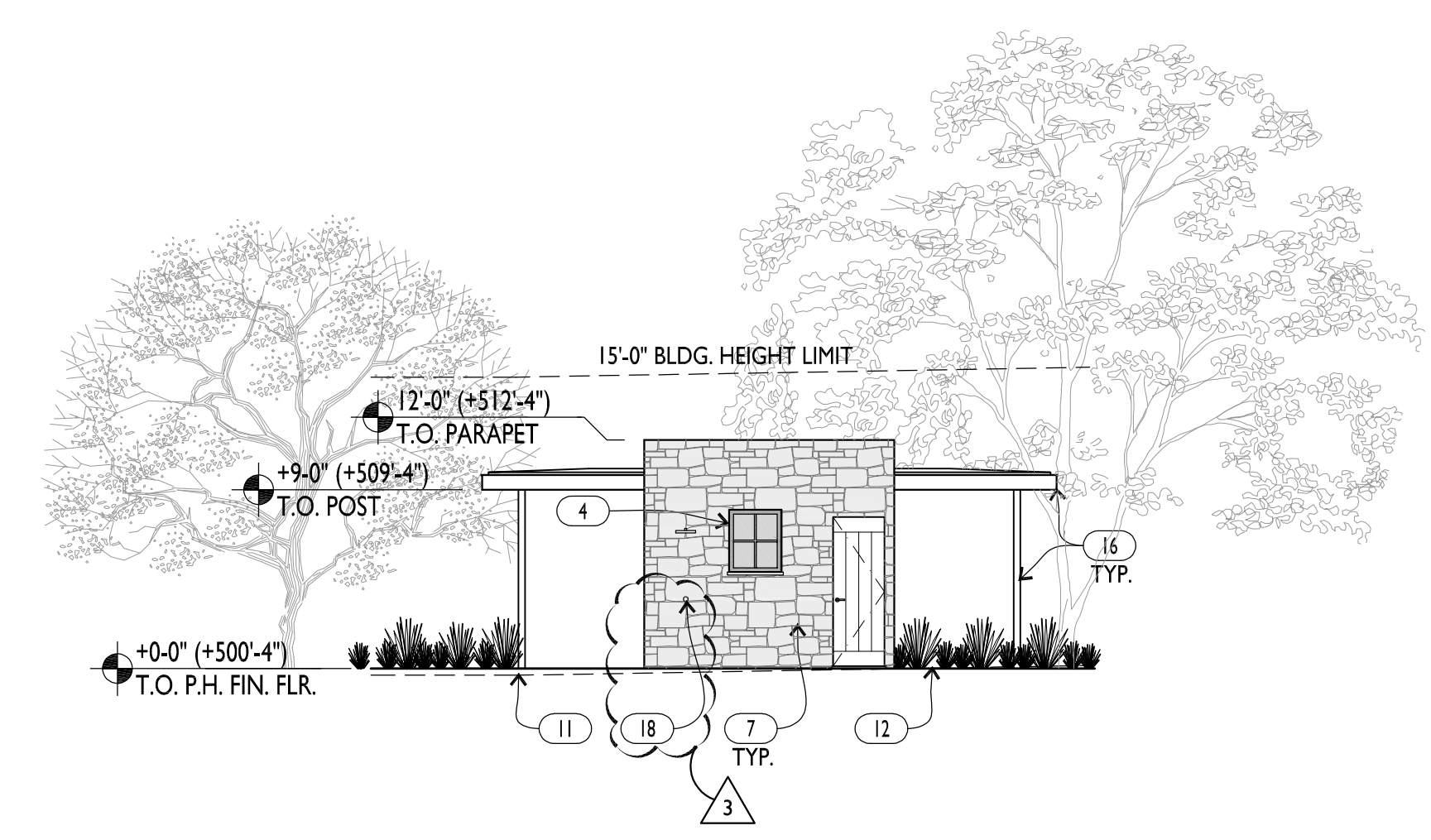
POOL PAVILION
 EXTERIOR
 ELEVATIONS

SCALE: 1/8" = 1'-0"

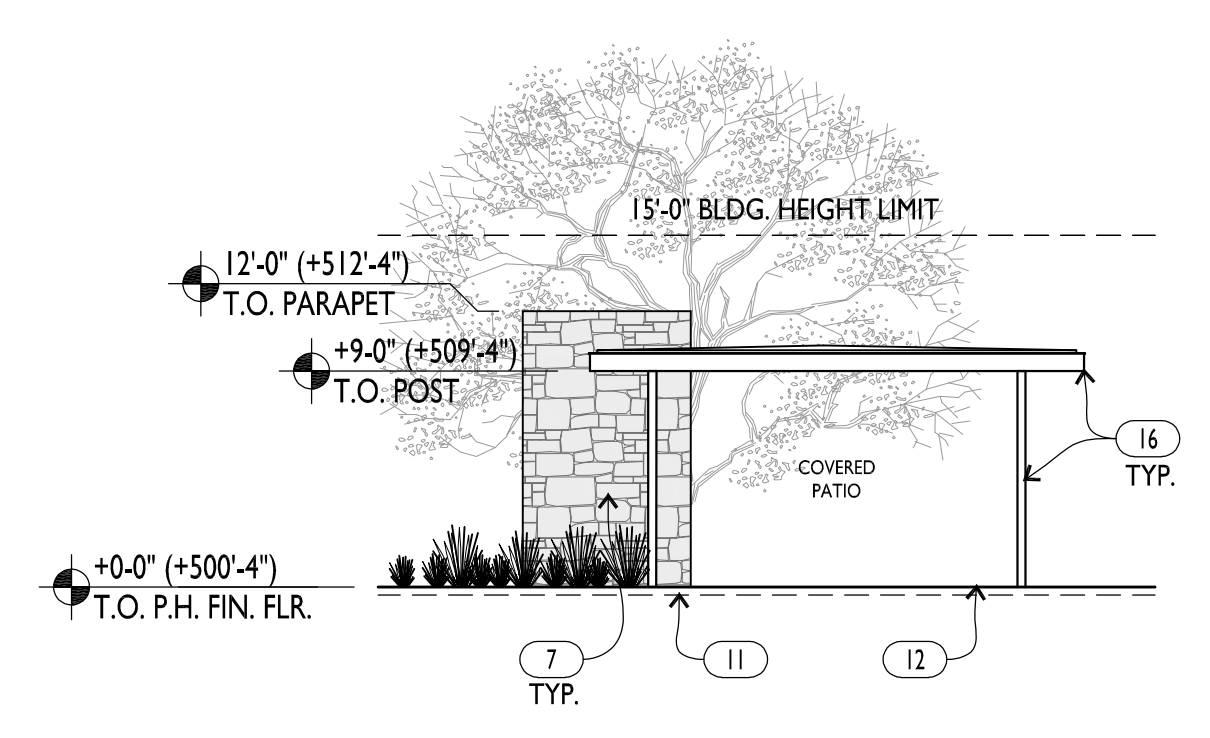
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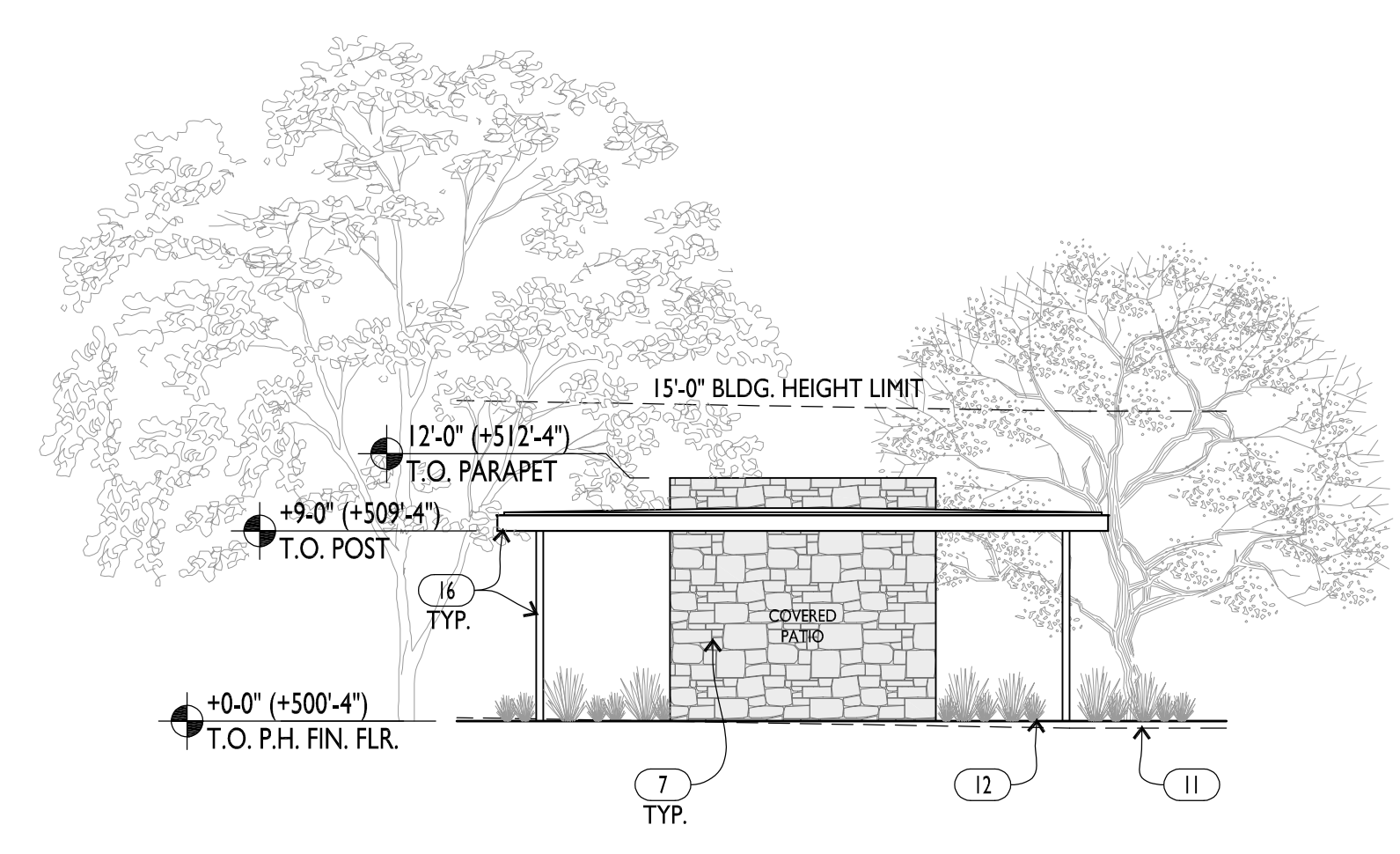
4 WEST ELEVATION
 A0.9



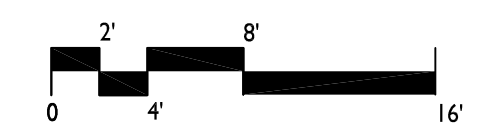
3 SOUTH ELEVATION
 A0.9



2 EAST ELEVATION
 A0.9



1 NORTH ELEVATION
 A0.9

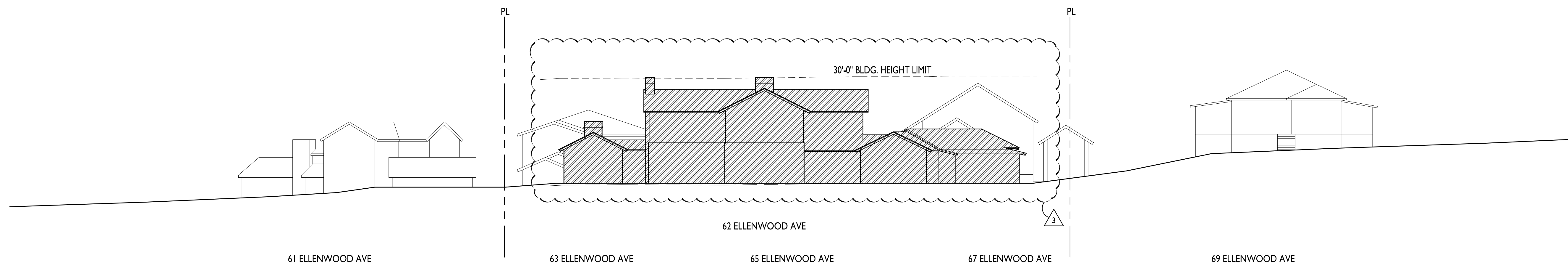


KEYNOTES / FINISH NOTES

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LOS GATOS, CALIFORNIA
APN: 510-20-068



2 SITE SECTION - FACING EAST
A1.0



1 STREETScape ELEVATION - FACING EAST
A1.0

Date	
Drawn By	
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Project No.	18004
Date	Issue
4.23.20	TECHNICAL REVIEW
8.18.20	T.R. COMMENTS
11.17.20	REVISION
1.27.21	REVISION

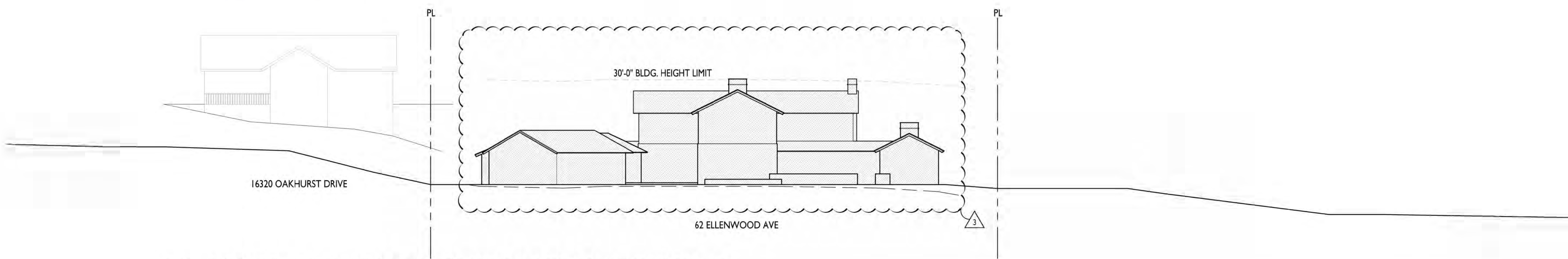
STREETSCAPE
ELEVATIONS &
SECTIONS

SCALE: 1/16" = 1'-0"

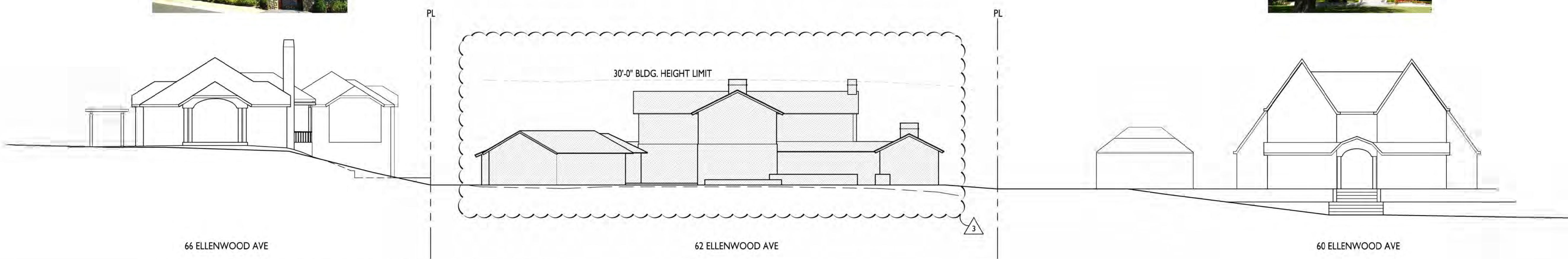
A1.0



3 EAST OVERLAY ELEVATION
SCALE: 1/8" = 1'-0"



2 SITE SECTION - FACING WEST (TOWARDS OAKHURST DRIVE)



1 STREETScape ELEVATION - FACING WEST

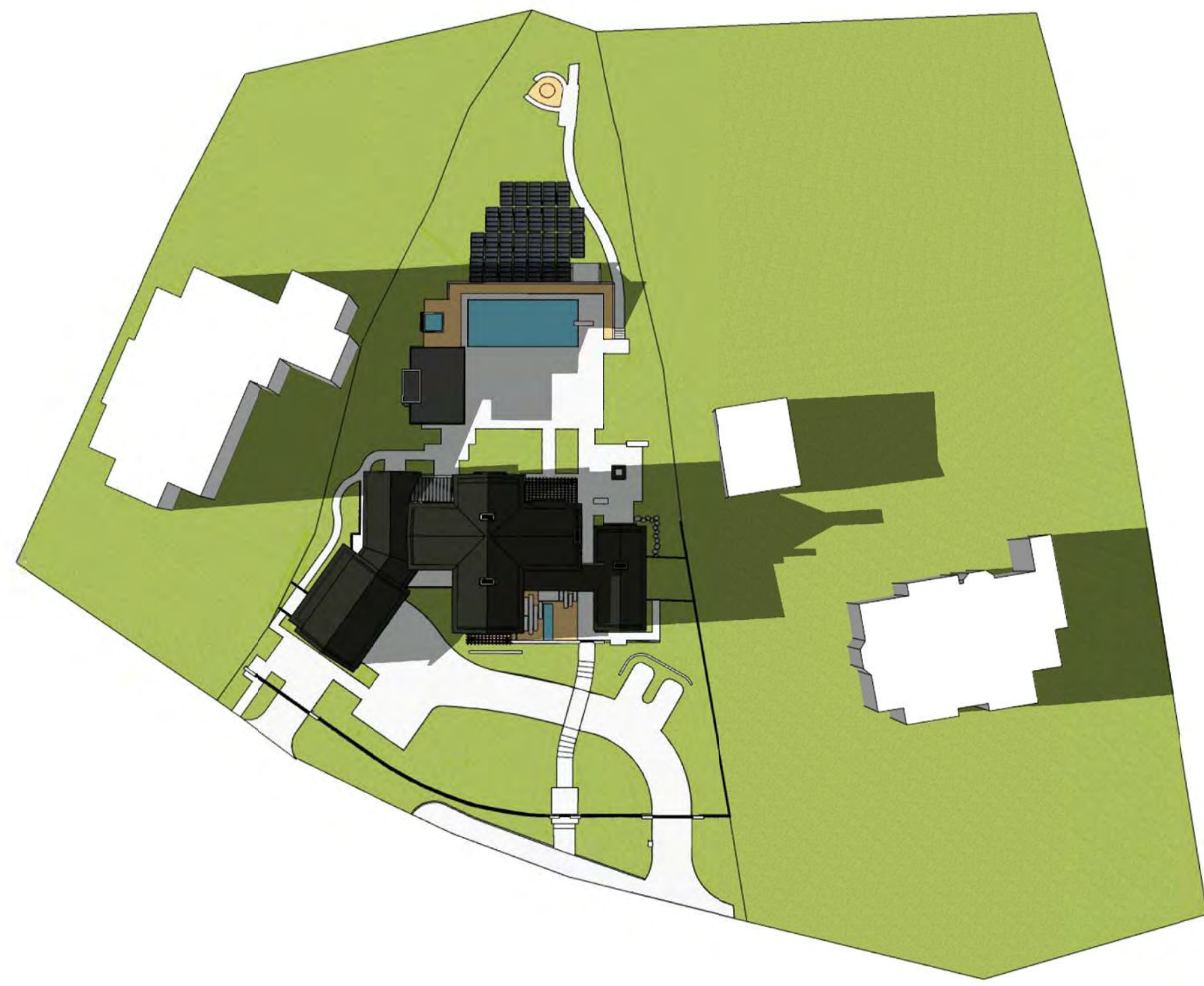
ARCANUM
 REGISTERED ARCHITECT
 STATE OF CALIFORNIA
 No. 33068
 REV. 07.31.21
 arcanumarchitecture.com
 415.357.4400
 arcanumarchitecture.com
 339 Mission St., Suite 300
 San Francisco, CA 94107

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 LOS GATOS, CALIFORNIA
 APN: 510-20-068

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Drawn By	TECHNICAL REVIEW
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Project No.	18004
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11.17.20	REVISION
1.27.21	REVISION

STREETScape
 ELEVATIONS &
 SECTIONS, OVERLAY
 ELEVATION
 SCALE: 1/16" = 1'-0"

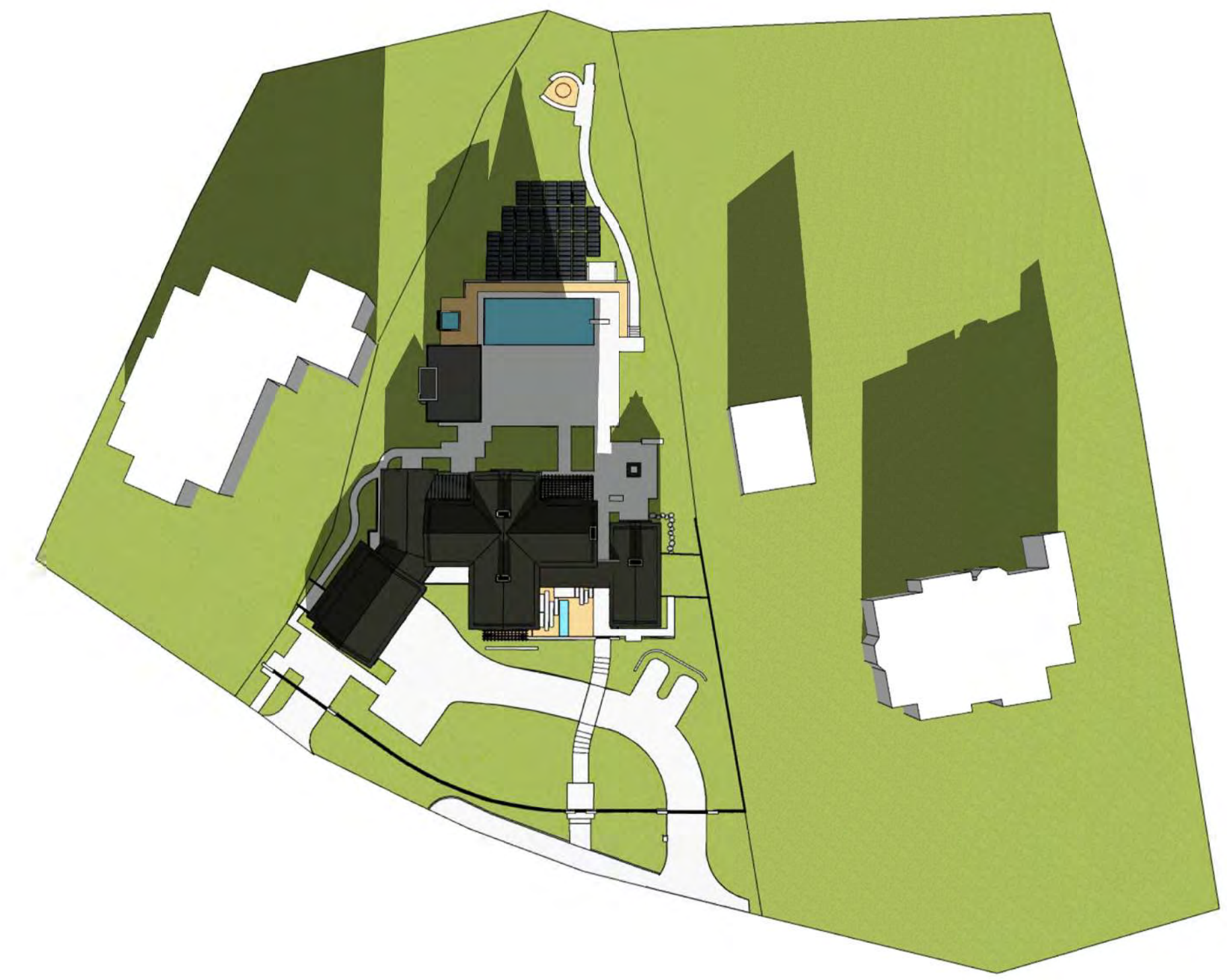
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DECEMBER 21, 3 PM



DECEMBER 21, 12 PM



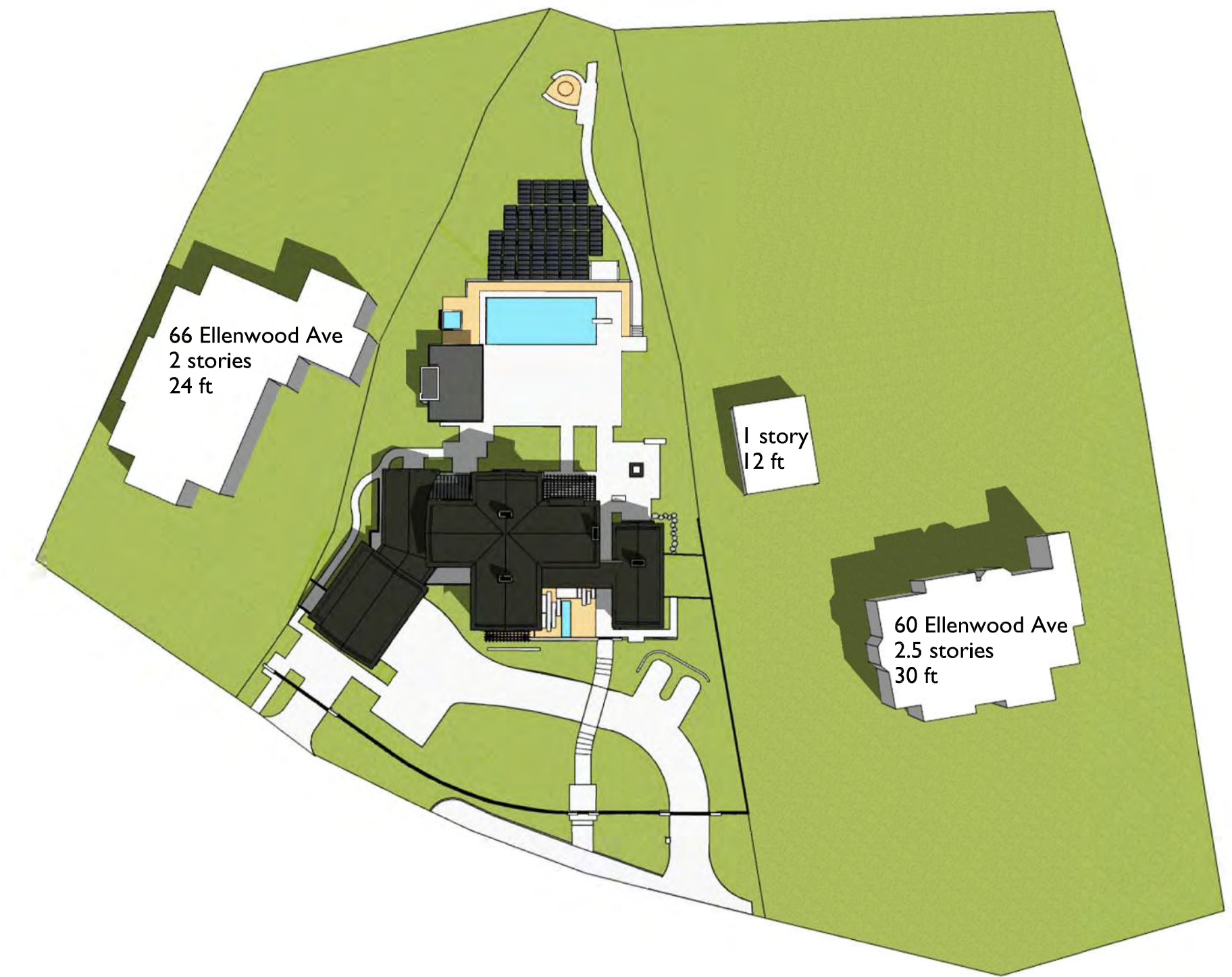
DECEMBER 21, 9 AM



JUNE 21, 3 PM

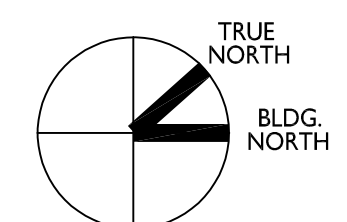


JUNE 21, 12 PM



JUNE 21, 9 AM

A1.2 SHADOW STUDY - EFFECT ON ADJACENT PROPERTIES



ARCANUM
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 415.357.4400
 arcnumarchitecture.com

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 LOS GATOS, CALIFORNIA
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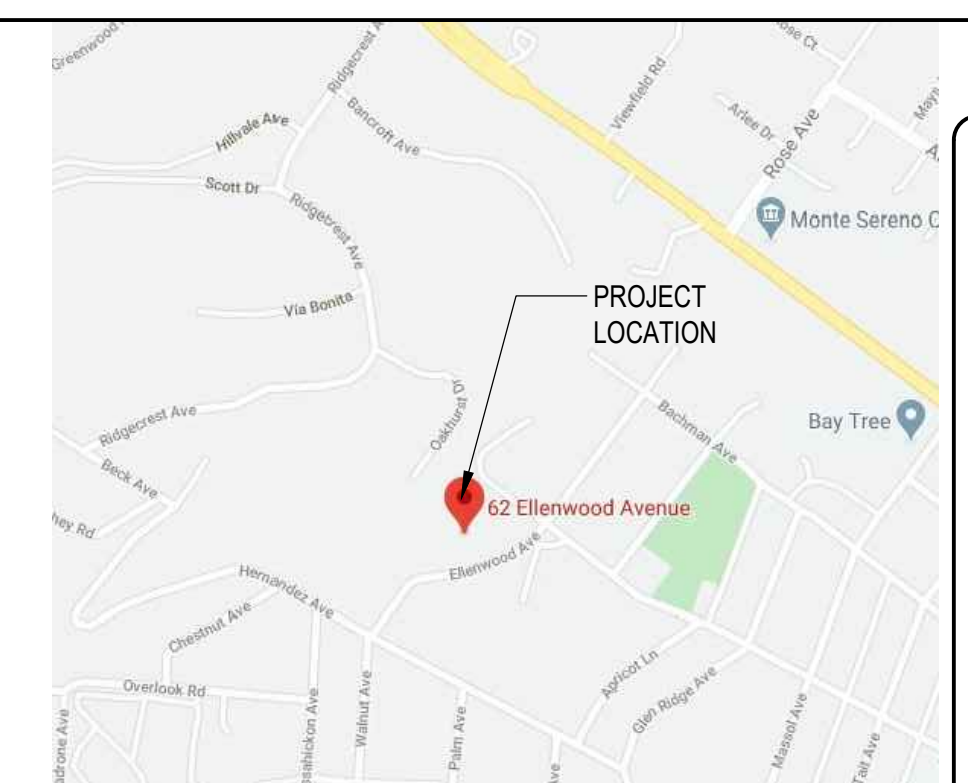
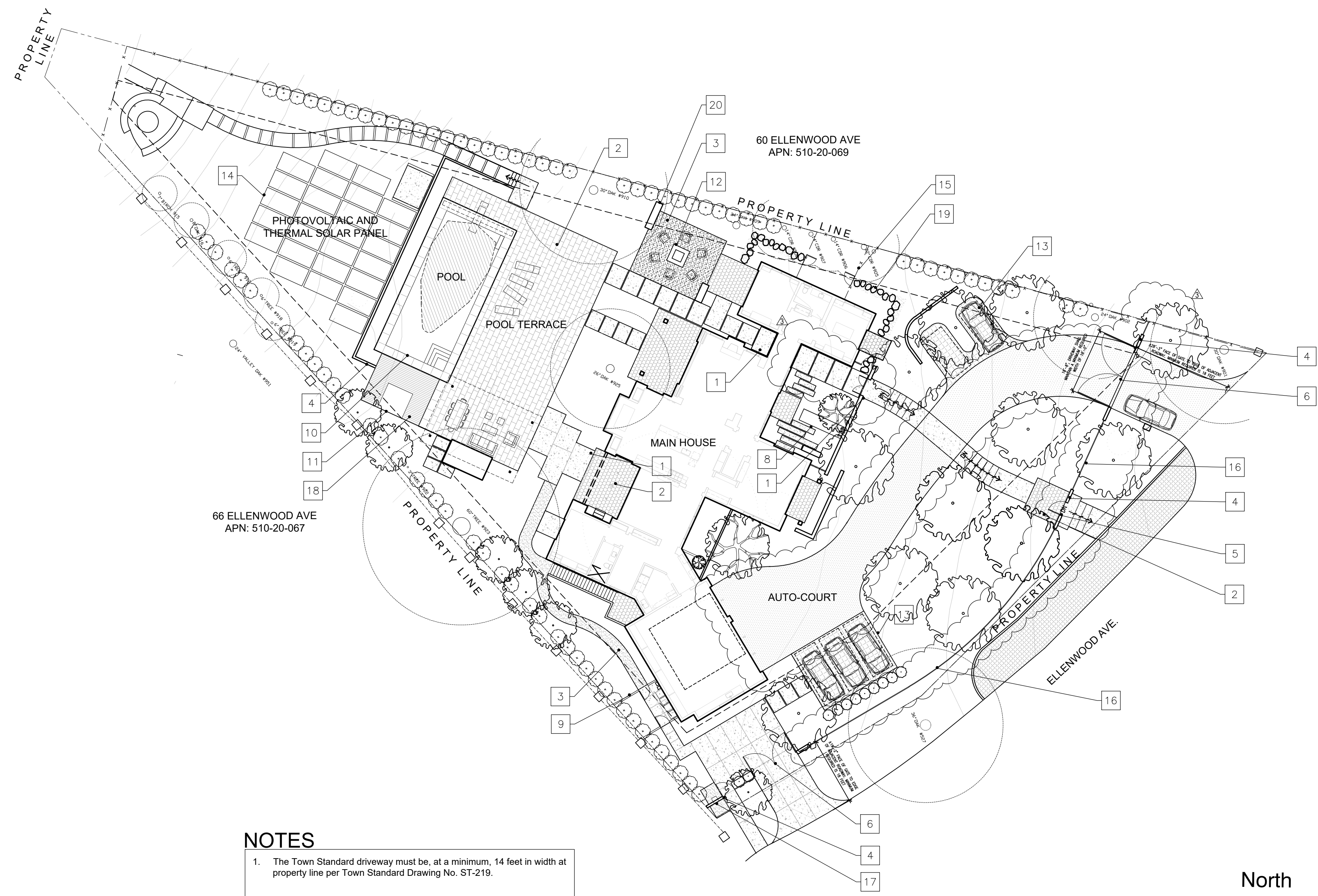
Date	_____
Drawn By	_____
Checked By	_____
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11.17.20	REVISION
1.27.21	REVISION

SHADOW STUDY

DIAGRAMS NOT TO SCALE

A1.2

16320 OAKHURST DR
APN: 510-20-031



N
PARCEL
NOT TO SCALE

SHEET INDEX

LANDSCAPE DRAWINGS	
L0.0	SITE PLAN & LANDSCAPE COVER SHEET
L0.0R	RENDERED SITE PLAN
L0.1	EXISTING TREE & REMOVAL PLAN
L0.2	EXISTING TREE & REMOVAL PLAN
L1.0	MATERIAL & CALLOUT PLAN
L1.1	MATERIAL & CALLOUT PLAN
L2.0	LIGHTING SCHEDULE & PLAN
L2.2	LIGHTING PLAN
L3.0	PLANTING LEGEND
L3.1	PLANTING PLAN
L3.2	PLANTING PLAN
L5.0	DETAILS
L5.1	DETAILS
L5.2	DETAILS
L5.3	SECTIONS/ELEVATIONS
L5.4	FRONT GATE & FENCE PERSPECTIVES

PROJECT INFORMATION

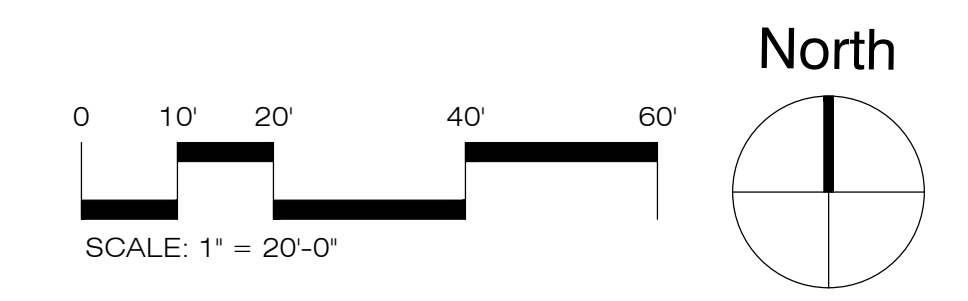
Owners:	Lisa & Case Swenson 62 Ellenwood Avenue, Los Gatos, CA 95030
Landscape Architect:	Studio Green 232 Sir Francis Drake Boulevard San Anselmo, CA 94960 415.721.0905
Architect:	Arcanum Architecture, inc. 329 Bryant Street, Suite 3c San Francisco CA, 94107 arcanumarchitecture.com 415.357.4400
Civil Engineers:	BKF Engineering 255 Shoreline Drive, Suite 200, Redwood City, CA 94065 650.482.6315

NOTES

- The Town Standard driveway must be, at a minimum, 14 feet in width at property line per Town Standard Drawing No. ST-219.

SCCFD NOTES

- This project shall comply with the following: The California Fire (CFC) & Building (CBC) 2016 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Code of Regulations (CCR) and Health & Safety Code
- Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such a project, and comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor or record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 019 CFC Dec. 903.3.5 and Health and Safety Code 13114.7
- Address identification: new and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with the background. address numbers shall be arabic numbers or alphabetical letters. numbers shall be a minimum of 4 inches (101.6mm) high and a minimum stroke width of 0.5 inch (12.7 mm), where access is by means of a private road and building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. cfc sec 505.1.
- Emergency Gate/Access Gate Requirements: Gate installations conform with Fire Department Standard Details and Specifications G-1 and, when open shall not obstruct any portion of the minimum required width of 20' for emergency access roadways or driveways. Locks, if provided, shall be fire department approved prior to installation. Gates across the emergency access roadways shall be equipped with an approved access devices. If the gates are operated electrically, an approved Knox key switch shall be installed. Gates providing access from a road to a driveway or other roadway shall be at least 18 feet from the road being exited. [CFC Sec. 503.6 and 506] [LGTC Sec.29.40.030]. Knox Key Switch will be provided and installed.
- Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals as appropriate to project. CFC Chp 33.
- Fire Apparatus (Engine) Access Driveway Required: Provide an access driveway with a paved all weather surface, a minimum unobstructed width of 14 feet, vertical clearance of 13 feet 6 inches, minimum circulating turning radius of 36 feet outside and 23 feet inside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1.



ABBREVIATION

AC	ASPHALTIC CONCRETE	DWG	DRAWING	LA	LANDSCAPE ARCHITECT	RET	RETAINING
AGG	AGGREGATE	(E)	EXISTING	MAX	MAXIMUM	SCH	SCHEDULE
ALT	ALTERNATE	EA	EACH	MIN	MINIMUM	SF	SQUARE FEET
BLDG	BUILDING	ELEC	ELECTRICAL	MFR	MANUFACTURER	SIM	SIMILAR
BW	BOTTOM WALL	EQ	EQUAL	(N)	NEW	STRCT	STRUCTURAL
CB	CATCH BASIN	FG	FINISH GRADE	NIC	NOT IN CONTRACT	TP	TOP OF PAVING
CLR	CLEAR	FW	FACE OF WALL	NTS	NOT TO SCALE	TW	TOP OF WALL
CY	CUBIC YARD	GALV	GALVANIZED	OC	ON CENTER	TYP	TYPICAL
CONC	CONCRETE	IRRIG	IRRIGATION	PA	PLANTING AREA	W	WITH
DG	DECOMPOSED GRANITE	LF	LINEAR FEET	RAD	RADIUS	W/O	WITHOUT

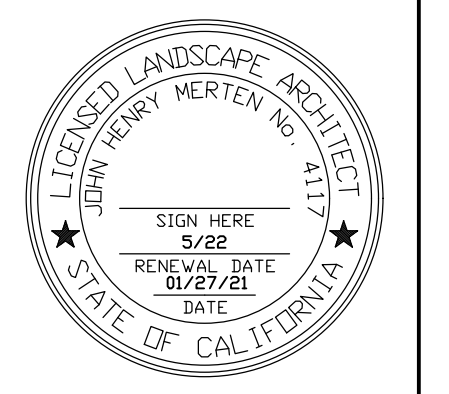
SCOPE OF WORK

- Concrete Paving
Earth tone gray color
- Stone Paving
Earth tone gray color
- Gravel Paving
Earth tone gray color
- Stone Walls
Material to match house
- Pedestrian Gate
4'-6" Tall Steel Pedestrian Gate painted dark gray
- Vehicle Gate
4'-6" Tall Steel Gate w/ approved Knox Key switch
- Wood Wire Fence/Gate
Wire Mesh with wood frame
- Water Feature
Bronze Spillway & trough
- Trash Enclosure
Wood Enclosure painted to match garage doors
- Pool
18'x42' Pool with diving board
- Hot Tub
7'-7" x 7'-7" Hot Tub
- Fire Pit
Bronze Pre-Fab Fire Pit
- Permeable Paving
- Photovoltaic and Thermal Solar Panel
On ground mounted panels
- Dog Run
Mulched area with wood wire enclosure
- Vertical Picket Fence
Grape Vine Stake wood pickets with steel support frame
- Package Drop-box
Steel drop-box embedded into stone wall
- Wood Deck
IPE wood deck
- Stepping Stone Pathway
Irregular natural warm earth tones
- Stone Seat Wall
Earth tone gray color

LEGEND

---	CENTER LINE	⊕	CENTER POINT
---	PROPERTY LINE	↔	ALIGN
---	LIMIT OF WORK	13	LANDSCAPE FEATURE
---(200)---	EXISTING CONTOUR	(500)	EXISTING ELEVATION
---200---	PROPOSED CONTOUR	500	PROPOSED ELEVATION
---	MATCHLINE	(+101.7')	EXISTING SPOT ELEVATION
---	PLANTING AREA	+101.7'	PROPOSED SPOT ELEVATION
---	GAS SUPPLY LINE	5%	% SLOPE AND DIRECTION
---	WATER SUPPLY LINE	2'-10"	DIMENSIONS/DISTANCE

STUDIO GREEN
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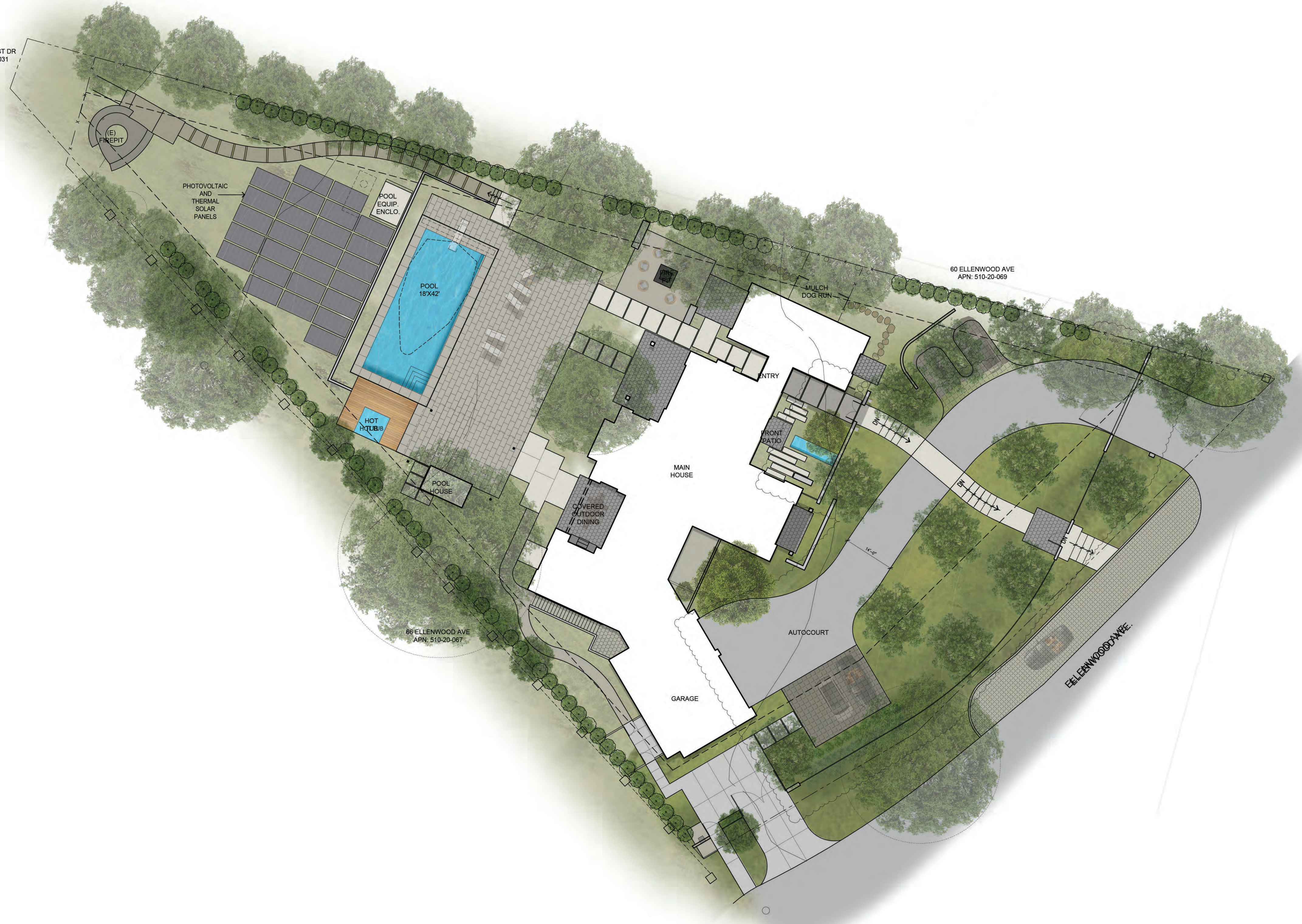


SWENSON RESIDENCE
62 Ellenwood Avenue
Los Gatos, CA
APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
11.17.20	Revision
01.27.21	Revision

SITE PLAN & LANDSCAPE COVER SHEET
Drawn by: RP
Checked by: JM
L0.0

16320 OAKHURST DR
APN: 510-20-031



60 ELLENWOOD AVE
APN: 510-20-069

66 ELLENWOOD AVE
APN: 510-20-067

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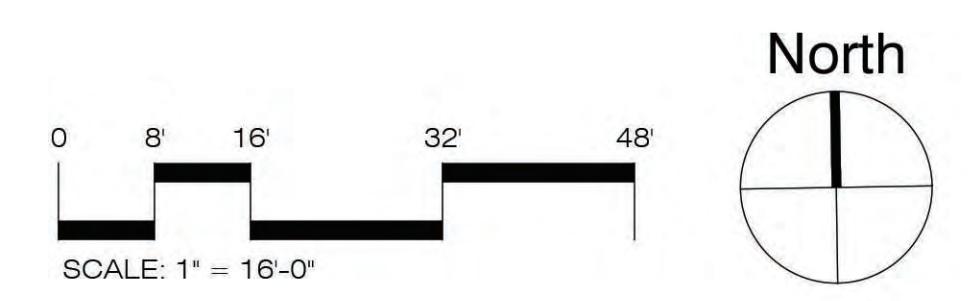
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**RENDERED
SITE
PLAN**

Drawn by: RP
Checked by: JM

L0.0R





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EXISTING TREE & REMOVAL PLAN

Drawn by: RP
 Checked by: JM
L0.1

LEGEND

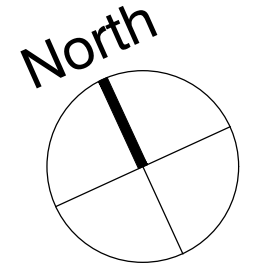
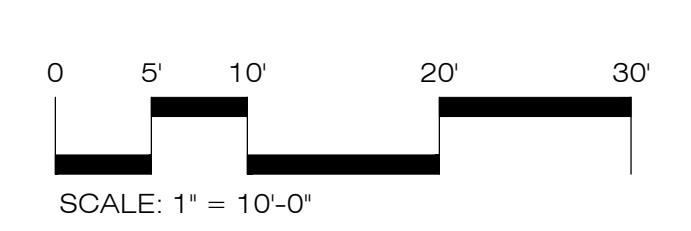
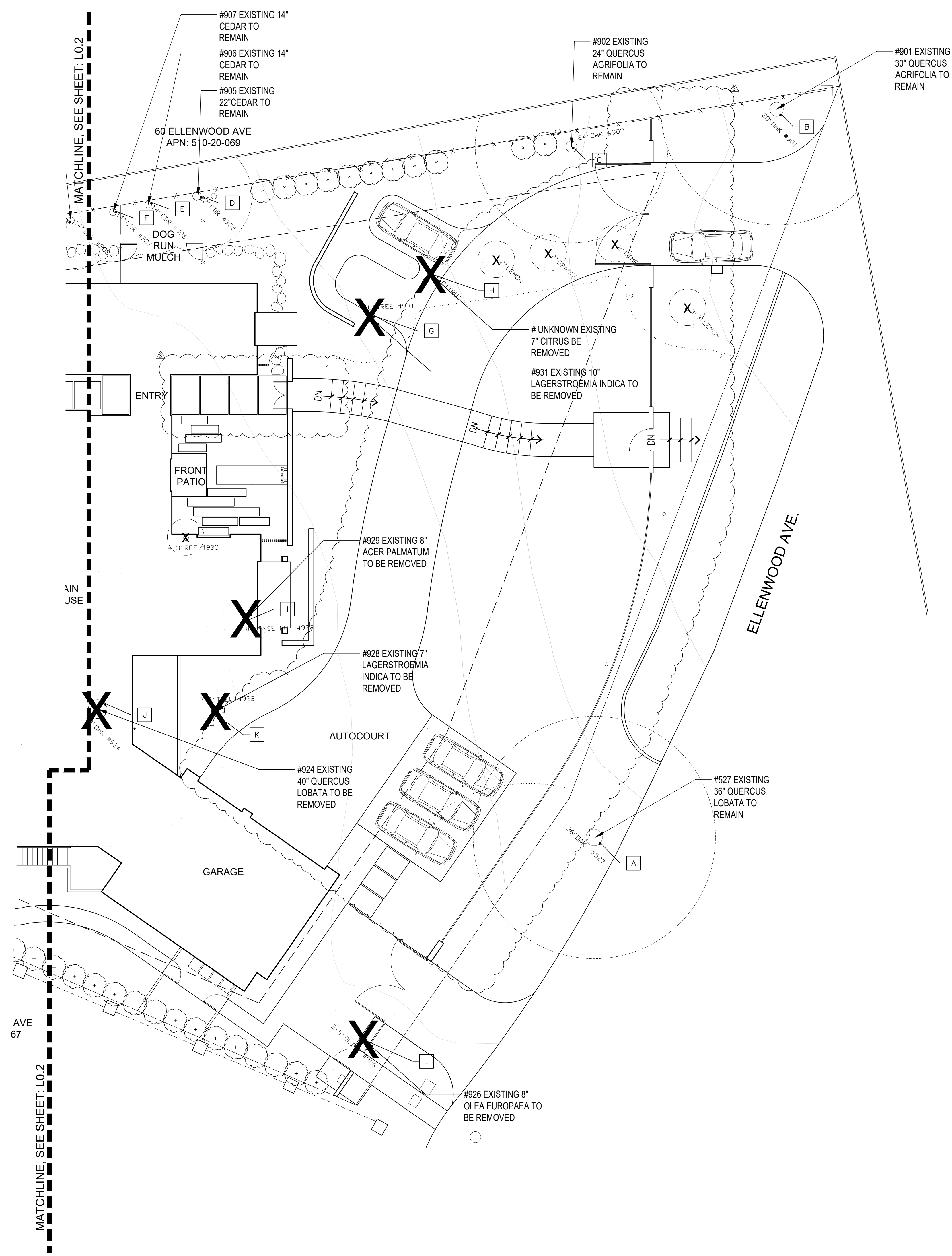
X >4" TREES TO BE REMOVED

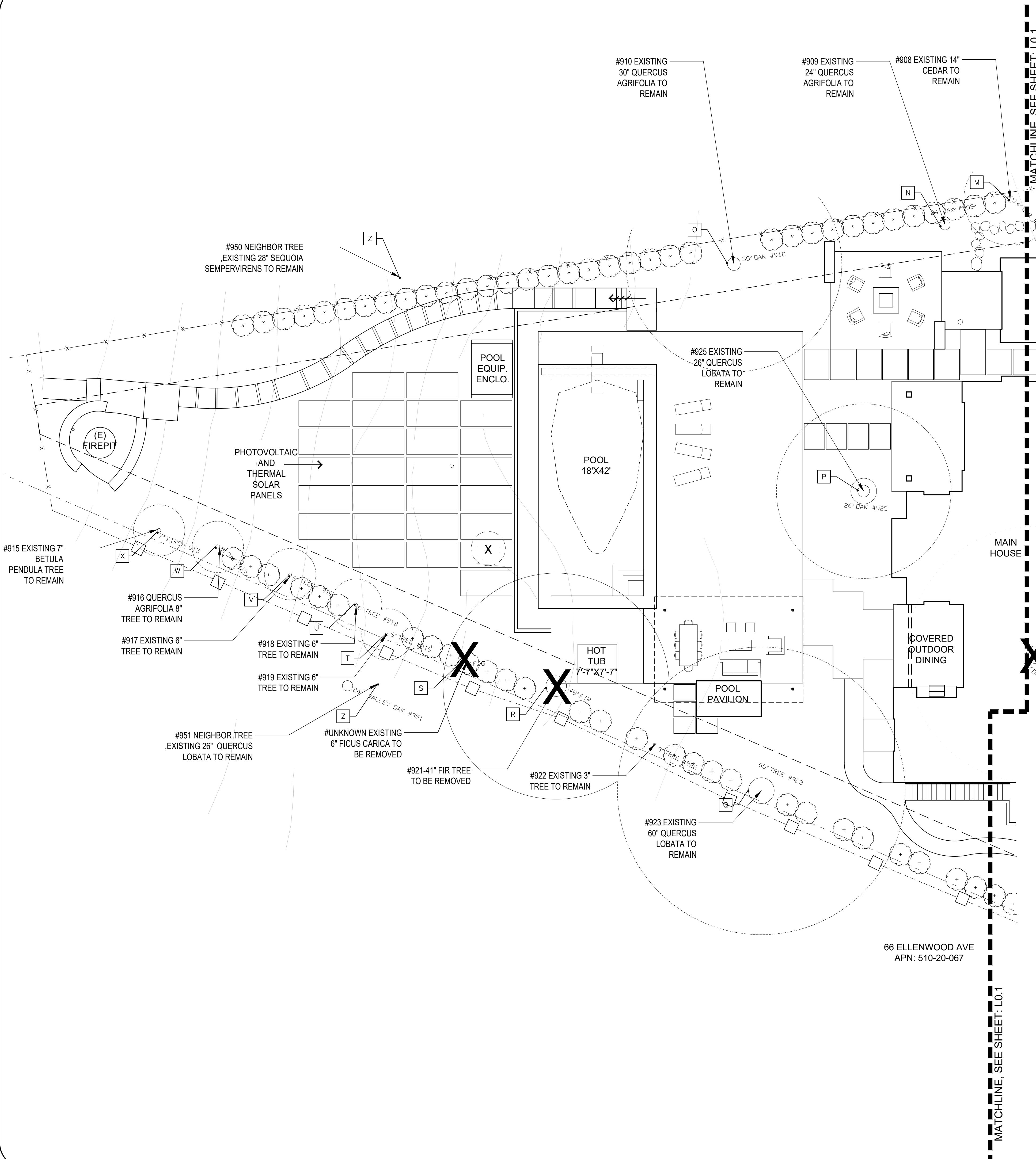
(X) >4" TREES TO BE REMOVED

[A] SYMBOL

>4" EXISTING TREE TREE LEGEND

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
A	527	QUERCUS LOBATA	VALLEY OAK	36" Ø	GOOD	NO	
B	901	QUERCUS LOBATA	VALLEY OAK	24.7" Ø	FAIR	NO	
C	902	QUERCUS LOBATA	VALLEY OAK	23.1" Ø	GOOD	NO	
D	905	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
E	906	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	GOOD	NO	
F	907	CEDRUS DEODARA	DEODAR CEDAR	18" Ø	FAIR	NO	
G	931	LAGERSTROEMIA INDICA	CREPE MYTLE	10" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
H	UNKNOWN	CITUS X LIMON	LEMON TREE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
I	929	ACER PALMATUM	JAPANESE MAPLE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
J	924	QUERCUS LOBATA	VALLEY OAK	39.8" Ø	FAIR	YES	IN PROPOSED DEVELOPMENT AREA
K	928	LAGERSTROEMIA INDICA	CREPE MYTLE	7" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA
L	926	OLEA EUROPAEA	OLIVE TREE	8" Ø	GOOD	YES	IN PROPOSED DEVELOPMENT AREA





LEGEND

X >4" TREES TO BE REMOVED

X >4" TREES TO BE REMOVED

A SYMBOL

>4" EXISTING TREE TREE LEGEND

SYMBOL	TREE #	BOTANICAL NAME	COMMON NAME	TRUNK CIR.	CONDITION	REMOVAL	REASON FOR REMOVAL
M	908	CEDRUS DEODARA	DEODAR CEDAR	15" Ø	GOOD	NO	
N	909	CEDRUS DEODARA	DEODAR CEDAR	24" Ø	GOOD	NO	
O	910	QUERCUS AGRIFOLIA	COAST LIVE OAK	32" Ø	GOOD	NO	
P	925	QUERCUS LOBATA	VALLEY OAK	25.2" Ø	POOR	NO	
Q	923	QUERCUS LOBATA	VALLEY OAK	59.6" Ø	FAIR	NO	
R	921	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	41.0" Ø	FAIR	YES	CRITICAL ROOTS IN CONSTRUCTION ZONE
S	UNKNOWN	FICUS CARICA	FIG TREE	6" Ø	GOOD	YES	UNDESIRABLE
T	919	ACER SPECIES	ACER	6" Ø	GOOD	NO	
U	918	ACER SPECIES	ACER	6" Ø	GOOD	NO	
V	917	ACER SPECIES	ACER	6" Ø	GOOD	NO	
W	916	QUERCUS AGRIFOLIA	COAST LIVE OAK	10.1" Ø	FAIR	NO	
X	915	BETULA PENDULA	EUROPEAN BIRCH	9" Ø	GOOD	NO	
Y	950	(NEIGHBOR'S) SEQUOIA SEMPERVIRENS	REDWOOD TREE	28" Ø	FAIR	NO	
Z	951	(NEIGHBOR'S) QUERCUS LOBATA	VALLEY OAK	26" Ø	FAIR	NO	

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LICENSED LANDSCAPE ARCHITECT
 JOHN ADRIAN MERTEN NO. A147
 SIGN HERE
 RENEWAL DATE
 RENEWAL DATE
 RENEWAL DATE
 STATE OF CALIFORNIA

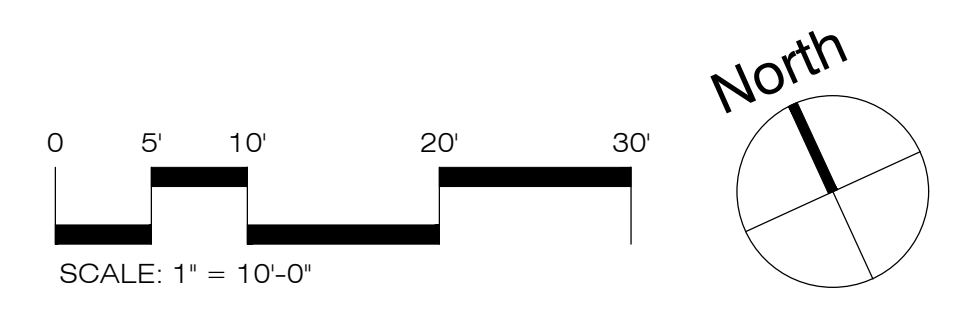
SWENSON RESIDENCE
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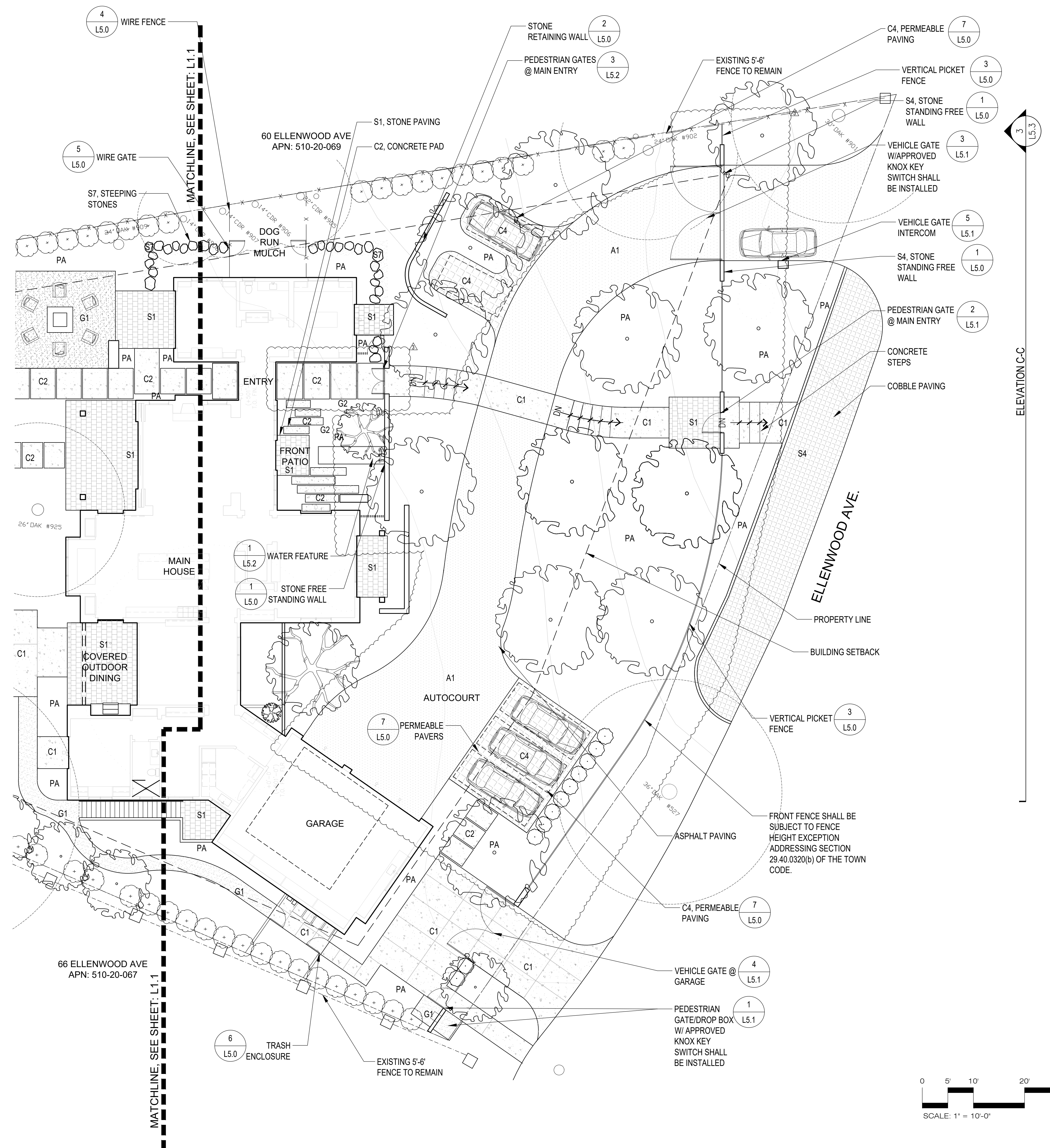
Date:	Issue:
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EXISTING TREE & REMOVAL PLAN

Drawn by: RP
 Checked by: JM

L0.2

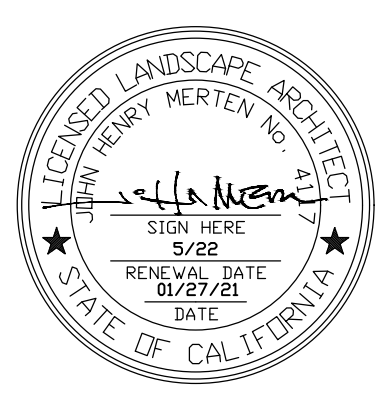




MATERIAL SCHEDULE

- A1 ASPHALT PAVING
- C1 CONCRETE PAVING
 - Color: Davis Colors, Miami Buff 5447, Powder Dose 1LB per 94LB Sack of Cement
 - Finish: Grace Top-Cast, Sandblast-05 Powder Blue Violet
 - Joint: 1-1/2" deep tooled
 - Sample: Provide 24"x24" sample on site for approval
- C2 CONCRETE PAD
 - Match C1 specification
- C3 CONCRETE WALLS
 - Color: Match C1
 - Finish: Board form finish, 5 1/2" boards w/ 1/16" gaps.
- C4 PERMEABLE PAVERS
 - Color: Warm Gray tones
- G1 DECOMPOSED GRANITE PAVING
 - COLOR: Tan/gold color, 1/4" minus with stabilizer solutions from Lyngso
 - BRAND: Lyngso, (650.364.1730), or approved equal. apply per mfr's recommendations. submit samples for approval.
- G2 DECORATIVE STONE
 - Size: 2-3" Decorative rounded pebbles.
 - Finish: Ivory Seaside Beach Pebble or Equal
 - Brand: Coverall Stone (800-779-3234).
 - Sample: Submit samples for approval.
- G3 FIRE PIT STONE
 - Size: 1-2" Black Lava Rock
- S1 STONE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S2 STONE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S3 STONE POOL COPING
 - Color: Match S2
 - Finish: Match S2
 - Size: Varies
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S4 COBBLE PAVING
 - Color: Warm Gray
 - Finish: Flamed
 - Size/Pattern: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S5 STONE VENEER WALL
 - Color: Warm Gray
 - Finish: TBD
 - Size: TBD
 - Brand: TBD
 - Sample: Provide sample pieces for approval
 - Contact: TBD
- S6 STONE CAP
 - Match S5
- S7 STEPPING STONES
 - Color: Warm Gray
- W1 WOOD DECKING
 - WOOD DECKING
 - 1X6 IPE WOOD

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MATERIAL CALLOUT PLAN

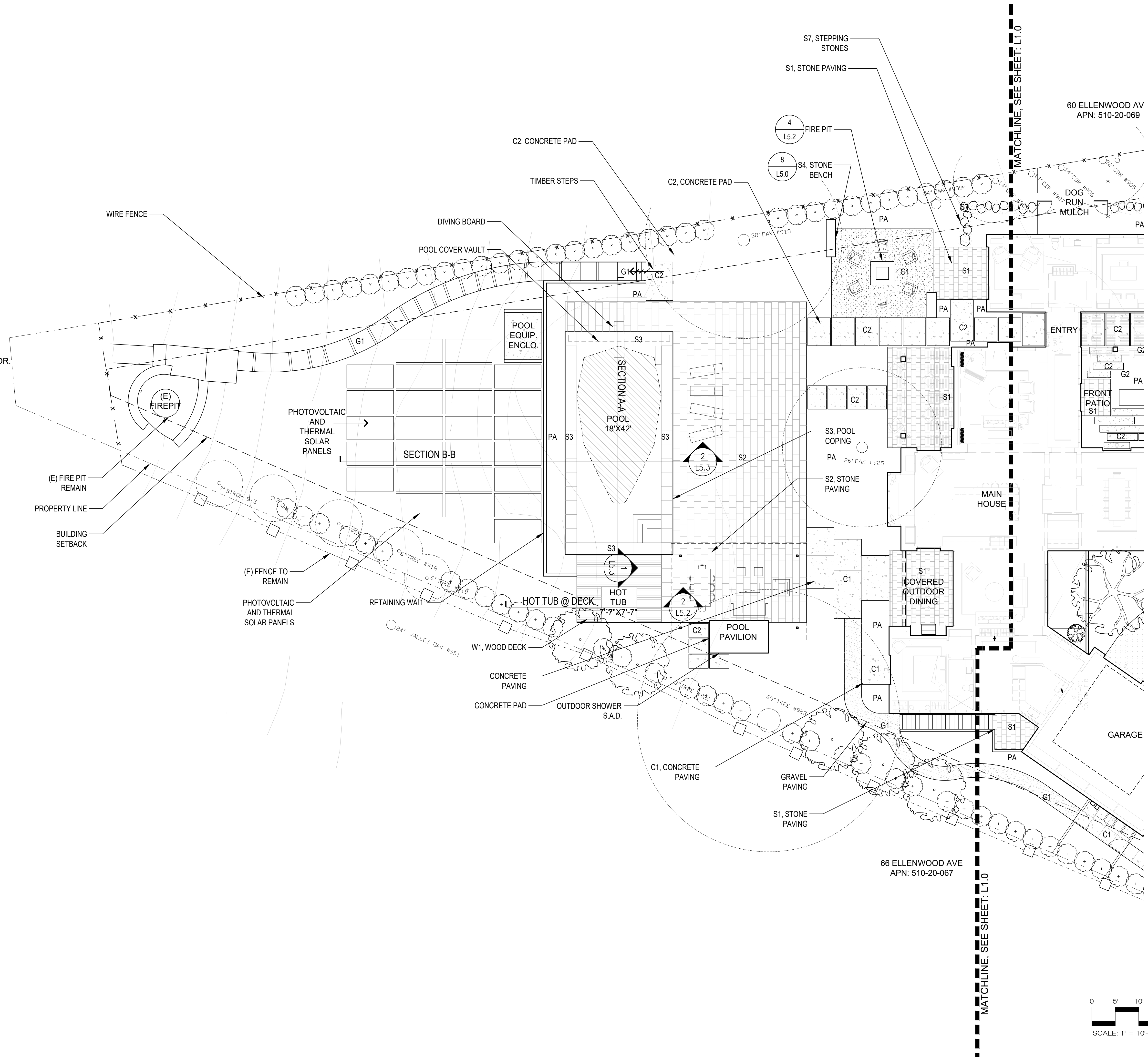
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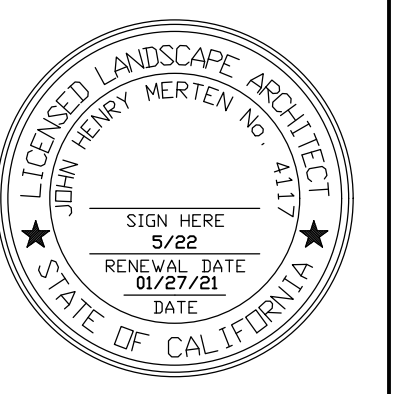
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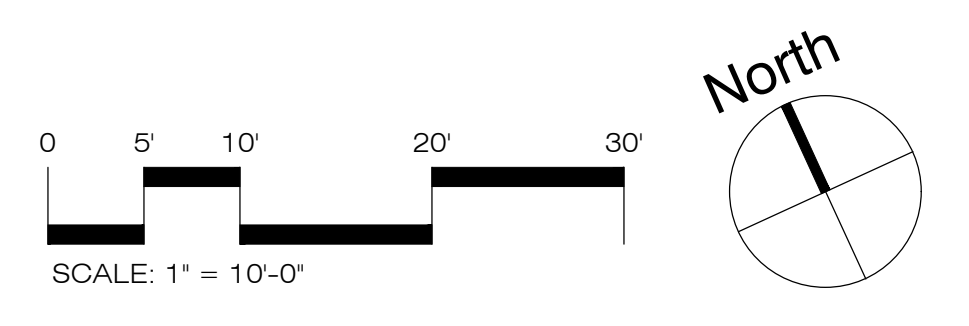
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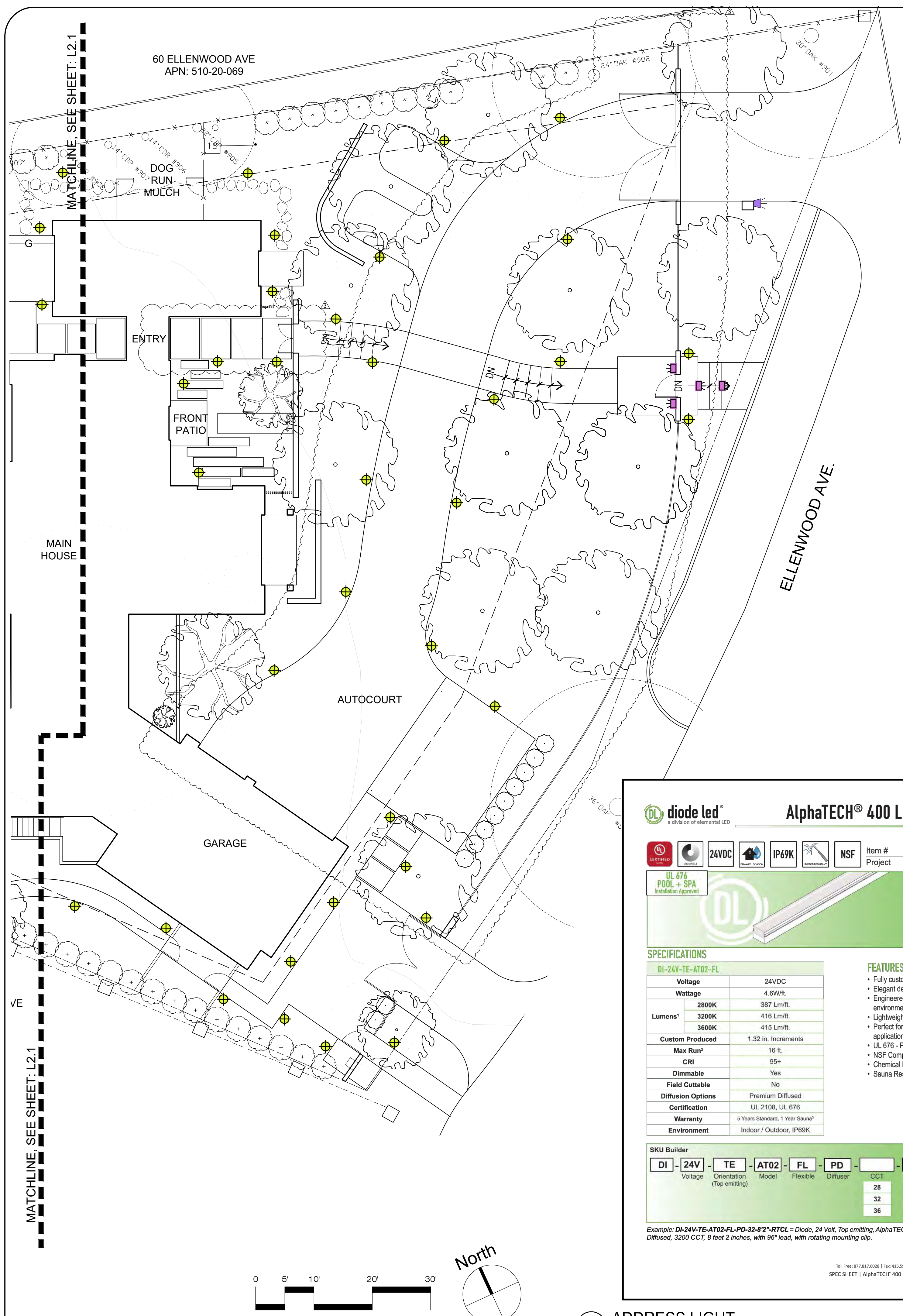
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MATERIAL CALLOUT PLAN

Drawn by: RP
 Checked by: JM

L1.1





LIGHTING NOTES

1/L2.1: PATH LIGHT:
SPJ LIGHTING
Model #: SPJ-BG3-MBR-1.5W-125-2700K-8-15V

2/L2.1: WALL/STEP LIGHT:
W.A.C. Lighting,
Model #: 4011-27-BK

3/L2.1: STRIP LIGHT
DIODE LED ALPPHATECH 400 LED
STRIP LIGHT
MODEL: DI-24V-TE-AT02-FL-PD

POOL LIGHT:
By Pool Contractor

120 VOLT ELECTRICAL LINE IN
CONDUIT

NATURAL GAS LINE FROM
HOUSE

GFCI RECPTACLE - Wall mounted

LIGHTING NOTES

1. All exterior light fixtures will comply with the requirements of Section 29.20.09015 of the town code to be shielded and downward directed

Forever Bright

Model: SPJ-BG3
Finish: Matte Bronze

Adjustable Below Grade Path Lighting

DESCRIPTION
Model#: SPJ-BG3
Material: Solid Brass
Electrical: 8-15V
Engine: FB-01CK
Lumens: 125
Color Temp: 2700K
Mounting: SPJ19-03-RBBG Incl.
LED: Nichia
Beam Spread: 180°

Option: Adjustable Below Grade Elser
Model: SPJ19-03-RBBG
Finish: Matte Bronze
Base: Solid brass top fits on our standard perme post with finish to match initial fixture at grade level and as the landscape grows adjust fixture height as needed.

ORDERING INFORMATION

Model#	Finishes	Wattage	Lumens	Color Temp.	Electrical
SPJ-BG3	MBR	1.5W	125	2700K	8-15V

www.spjlighting.com

1 PATH LIGHT
Scale: NTS

WAC LANDSCAPE LIGHTING

RECTANGLE STEP LIGHTS 12V
4011

PRODUCT DESCRIPTION
Horizontal rectangle step light designed for safety and style on stairways, patios, decks, balcony areas, walkways and building perimeters.

FEATURES

- Solid diecast brass, corrosion resistant aluminum alloy, or cast stainless steel construction.
- IP66 rated. Protected against high-pressure water jets.
- Conveniently adapts into existing 12V system.
- Invisible hardware.
- Maintains constant lumen output against voltage drop.
- UL 1688 Listed.

ORDERING NUMBER

Color Temp.	CR	Finish	Lumens
27	2700K	90 BBR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 BR Bronze on Brass	17
		90 BK Black on Aluminum	17
		90 BZ Bronze on Aluminum	17
		90 WT White on Aluminum	38
		90 SS Cast Stainless Steel	23
		90 BR Bronze on Brass	11
		90 BK Black on Aluminum	11
		90 BZ Bronze on Aluminum	11
		90 WT White on Aluminum	22
		90 SS Cast Stainless Steel	14

Example: 4011-30BK

2 WALL/STEP LIGHT
Scale: NTS

diode led AlphaTECH® 400 LED STRIP LIGHT

DL a division of elemental LED

UL 676 POOL + SPA Component Approved

FEATURES

- Fully customizable
- Elegant design
- Engineered for rugged environments
- Lightweight, durable, and flexible
- Perfect for both indoor and outdoor applications
- UL 676 - Pool and Spa certified
- NSF Component Approved
- Chemical Resistant
- Sauna Resistant

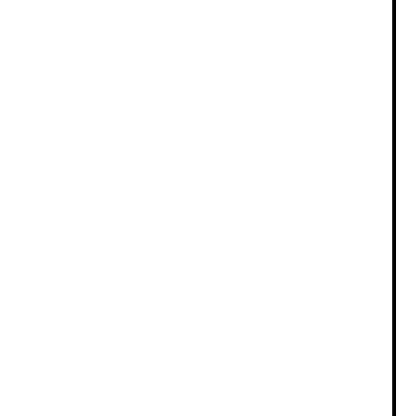
SKU Builder

DI - 24V - TE - AT02 - FL - PD - [] - [] - []

Example: DI-24V-TE-AT02-FL-PD-32-8*2*-RTCL = Diode, 24 Volt, Top emitting, AlphaTECH® 400 Type 2, Flexible, Premium Diffused, 3200 CCT, 8 feet 2 inches, with 96" lead, with rotating mounting clip.

3 ADDRESS LIGHT
Scale: NTS

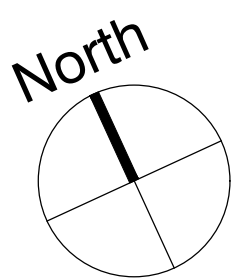
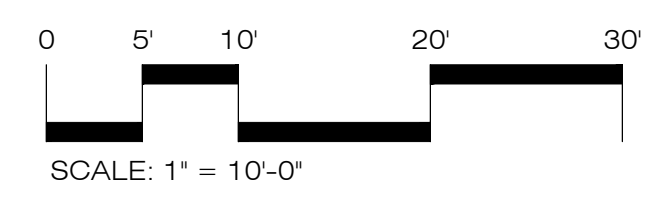
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LIGHTING SCHEDULE & PLAN
L2.0
Drawn by: RP
Checked by: JM



© 2018 Elemental LED, Inc. All rights reserved. Specifications are subject to change without notice. Phone: (800) 526-2588 44 Harbor Park Drive Port Washington, NY 11050 SPEC SHEET | ALPHATECH® 400 LED STRIP LIGHT | SSS10419-1.0 | 3 OF 7



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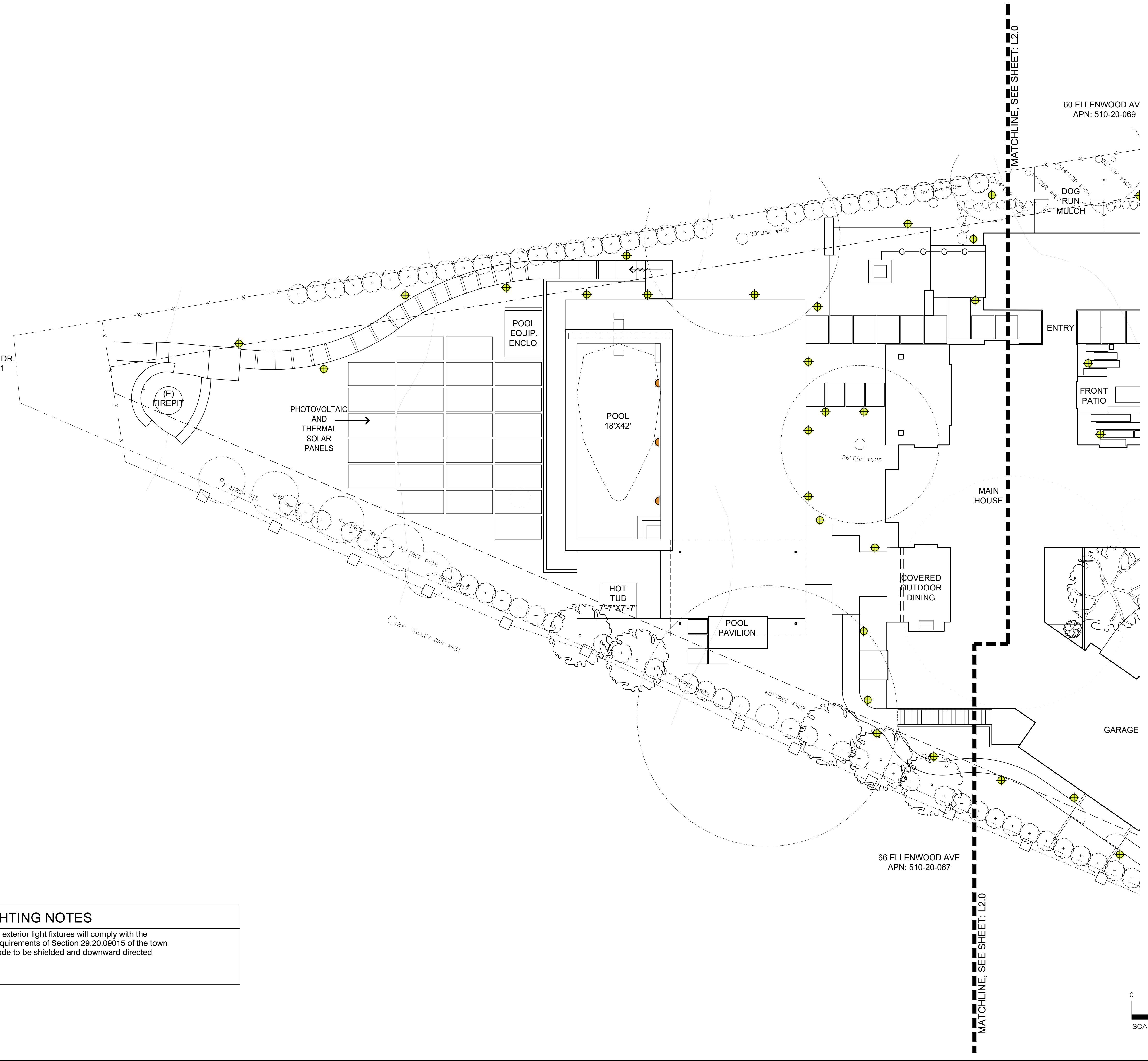
LIGHTING PLAN

Drawn by: RP
 Checked by: JM
L2.1

16320 OAKHURST DR.
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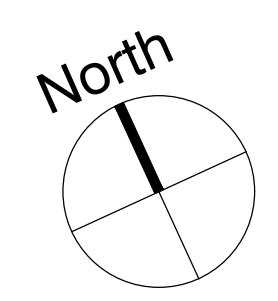
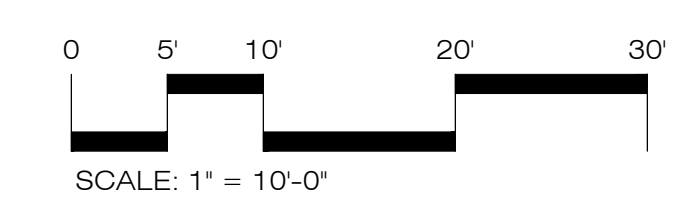
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TREES



ACER PALMATUM
JAPANESE MAPLE



CERCIS CANADENSIS
EASTERN REDBUD



LAURUS 'SARATOGA'
SARATOGA LAUREL (STANDARD)



MAGNOLIA X SOULANGEANA
SAUCER MAGNOLIA



OLEA EUROPAEA 'SWAN HILL'
SWALL HILL OLIVE

ACE PAL

CER CAN

LAU STD

MAG SOU

OLE EUR

LARGE SHRUBS



LAURUS 'SARATOGA'
SARATOGA LAUREL (MULTI)



PRUNUS LAUROCERASUS
ENGLISH LAUREL



RHUS INTEGRIFOLIA
LEMONADE BERRY



THUJA OCCIDENTALIS 'EMERALD GREEN'
EMERALD GREEN ARBORVITAE

LAU SAR

PRU LAU

RHU INT

THU EME

SHRUBS & PERENNIALS



BACCHARIS PILULARIS 'PIGEON POINT'
COYOTE BUSH



CAREX DIVULSA
BERKELEY SEDGE



CEANOTHUS GRISEUS VAR. HORIZONTALIS
YANKEE POINT CEANOTHUS



COPROSMA KIRKII
CREEPING COPROSMA



LAVANDULA X INTERMEDIA 'GROSSO'
GROSSO LAVENDER



OLEA EUROPAEA 'MONTRA'
DWARF LITTLE OLLIE



LOMANDRA LONGIFOLIA
BREEZE DWARF MAT RUSH

BAC PIL

CAR DIV

CEA GRI

COP KIR

LAV GTO

LIT OLI

LOM LON



MUHLENBERGIA RIGENS
DEER GRASS



RHAMNUS CALIFORNICA 'EVE CASE'
COFFEEBERRY



SALVIA CLEVELANDII
CLEVELAND SAGE

MUH RIG

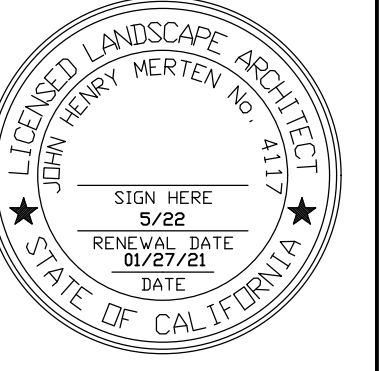
RHA CAL

SAL CLE

SCREENING LEGEND							
SYM.	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT PLANTED	MATURE SIZE/PLAN TYPE	TYPE	WUCOLS
TREES							
CER CAN	CERCIS CANADENSIS	EASTERN REDBUD	36" BOX	6'-8" TALL	14' TALL	DECIDUOUS	M
MAG SOU	MAGNOLIA X SOULANGIANA	SAUCER MAGNOLIA	36" BOX	6'-10" TALL	18'-20' TALL	DECIDUOUS	M
OLE EUR	OLEA EUROPAEA 'SWAN HILL'	SWAN HILL OLIVE	36" BOX	6'-10" TALL	18'-20' TALL	EVERGREEN	L
QUE AGR	QUERCUS AGRIFOLIA	COAST LIVE OAK	36" BOX	12' TALL	15'-25' TALL	EVERGREEN	L
LARGE SHRUBS							
LAU SAR	LAURUS 'SARATOGA'	SARATOGA LAUREL	24" BOX	5' TALL	8' TALL	EVERGREEN	L
PRU LAU	PRUNUS LAUROCERASUS	ENGLISH LAUREL	B&B	5' TALL	8' TALL	EVERGREEN	M
RHU INT	RHUS INTEGRIFOLIA	LEMONADE BERRY	24" BOX	3' TALL	4' TALL	EVERGREEN	L
THU EME	THUJA OCCIDENTALIS 'EMERALD GREEN'	EMERALD GREEN ARBORVITAE	15 GAL	3' TALL	4' TALL	EVERGREEN	L
SHRUB & PERENNIALS							
BAC PIL	BACCHARIS PILULARIS 'PIGEON POINT'	COYOTE BUSH	1 GAL	>1' TALL	2' TALL	EVERGREEN	L
CAR DIV	CAREX DIVULSA	EUROPEAN GREY SEDGE	1 GAL	1' TALL	2' TALL	EVERGREEN	M
CEA GRI	CEANOTHUS GRISEUS HORIZONTALIS	CARMEL CREEPER	1 GAL	1' TALL	1' TALL	EVERGREEN	L
COP KIR	COPROSMA KIRKII	KIRK'S COPROSMA	1 GAL	1' TALL	1' TALL	EVERGREEN	L
LAV GRO	LAVANDULA X INTERMEDIA 'GROSSO'	GROSSO LAVENDER	1 GAL	2' TALL	3' TALL	EVERGREEN	L
LIT OLE	OLEA EUROPAEA 'MONTRA'	DWARF LITTLE OLLIE	15 GAL	2' TALL	4' TALL	EVERGREEN	L
LOM LON	LOMANDRA LONGIFOLIA BREEZE	DWARF MAT RUSH	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
MUH RIG	MUHLENBERGIA RIGENS	DEER GRASS	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L
RHA CAL	RHAMNUS CALIFORNICA 'EVE CASE'	COFFEEBERRY	15 GAL	2' TALL	4' TALL	EVERGREEN	L
SAL CLE	SALVIA CLEVELANDII	CLEVELAND SAGE	1 GAL	1' TALL	2'-3' TALL	EVERGREEN	L

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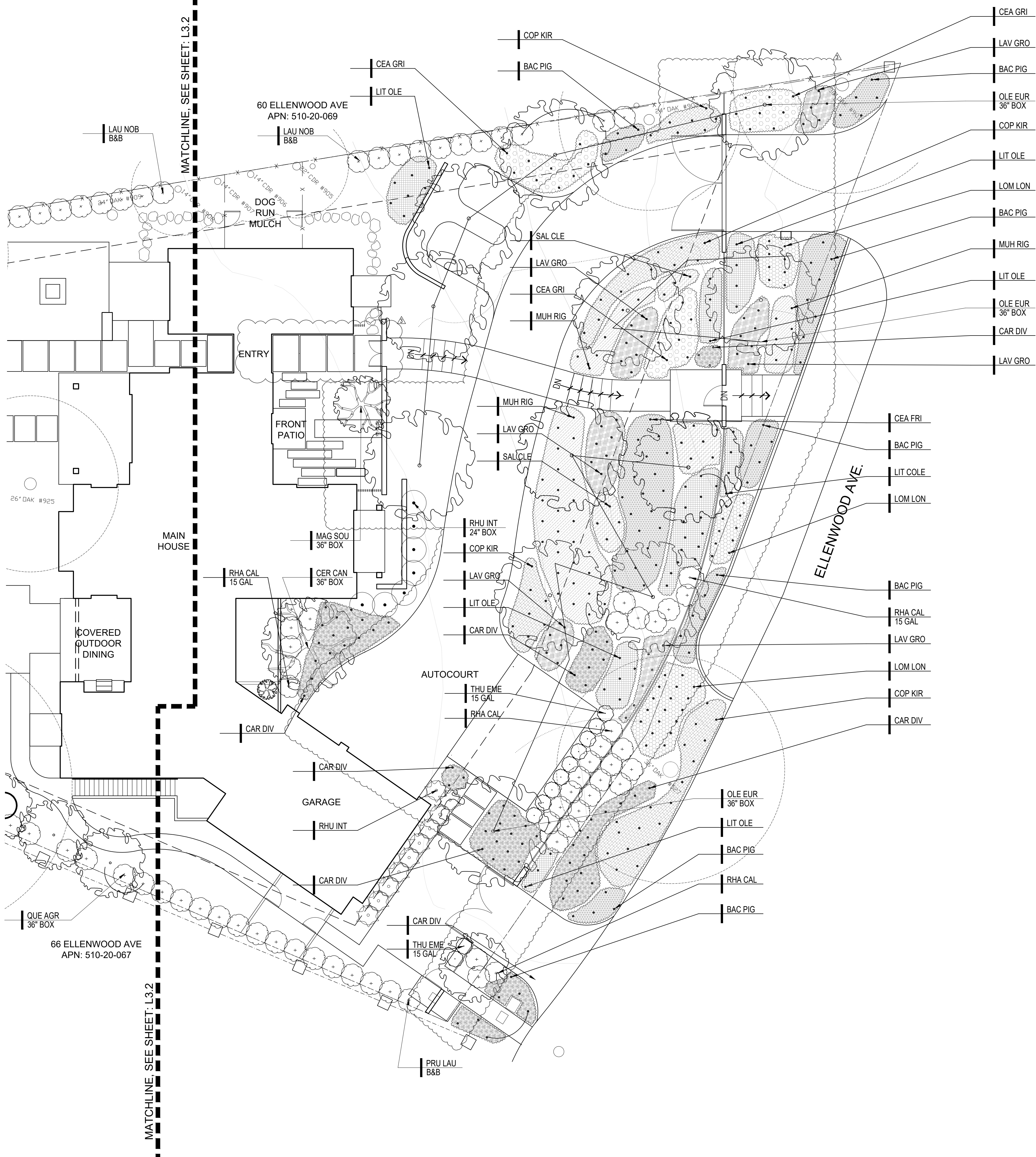


SWENSON RESIDENCE
62 Ellenwood Avenue
Los Gatos, CA
APN: 510-20-068

Date:	Issue:
04.23.20	Technical Review
08.18.20	T.R. Comments
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01.27.21	Revision

PLANTING LEGEND

Drawn by: RP
Checked by: JM
L3.0



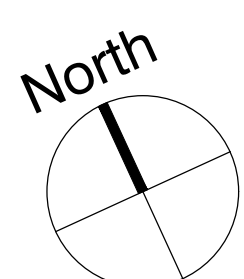
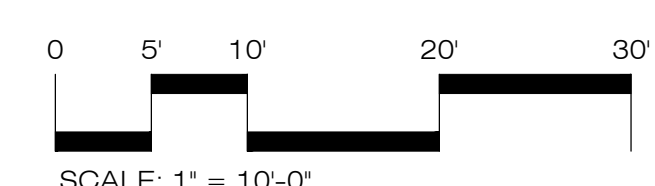
MATCHLINE, SEE SHEET: L3.2

MATCHLINE, SEE SHEET: L3.2

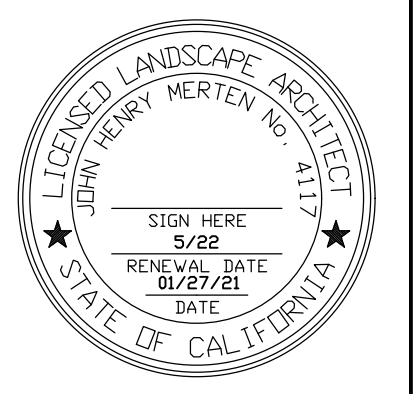
60 ELLENWOOD AVE
APN: 510-20-069

66 ELLENWOOD AVE
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ELLENWOOD AVE.



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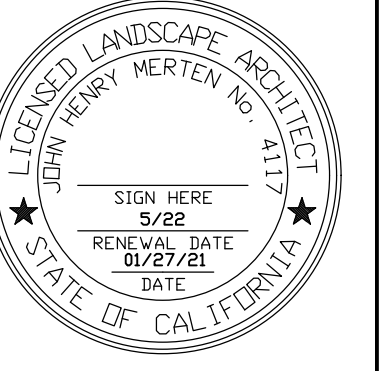
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PLANTING PLAN

Drawn by: RP
Checked by: JM

L3.1

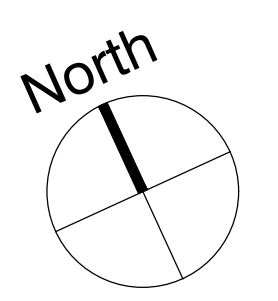
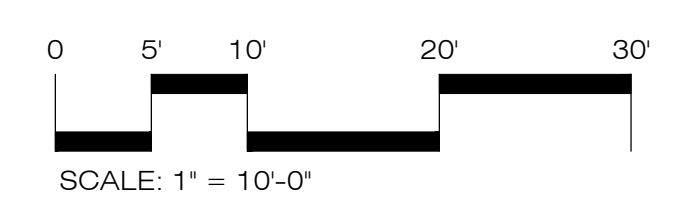
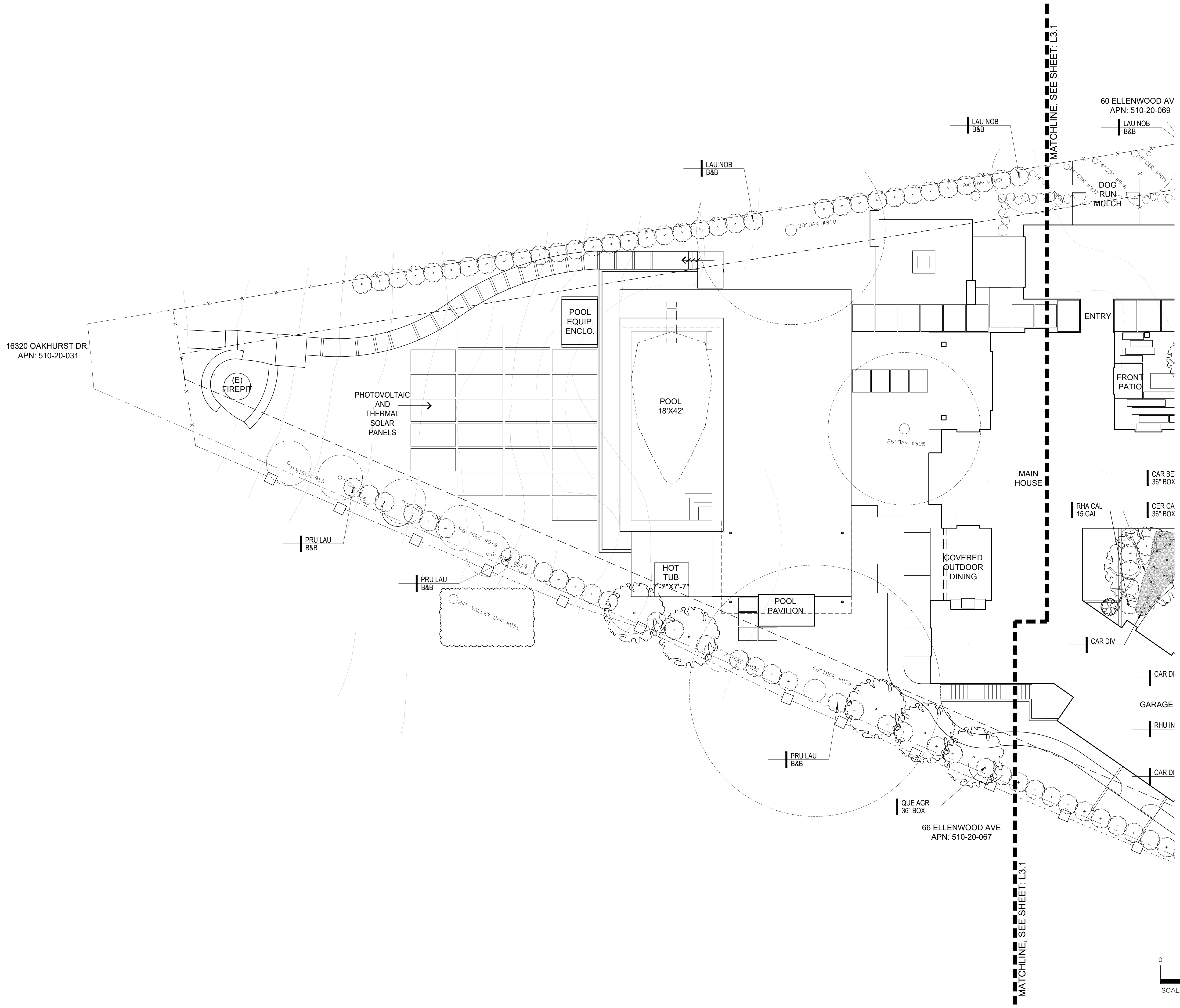


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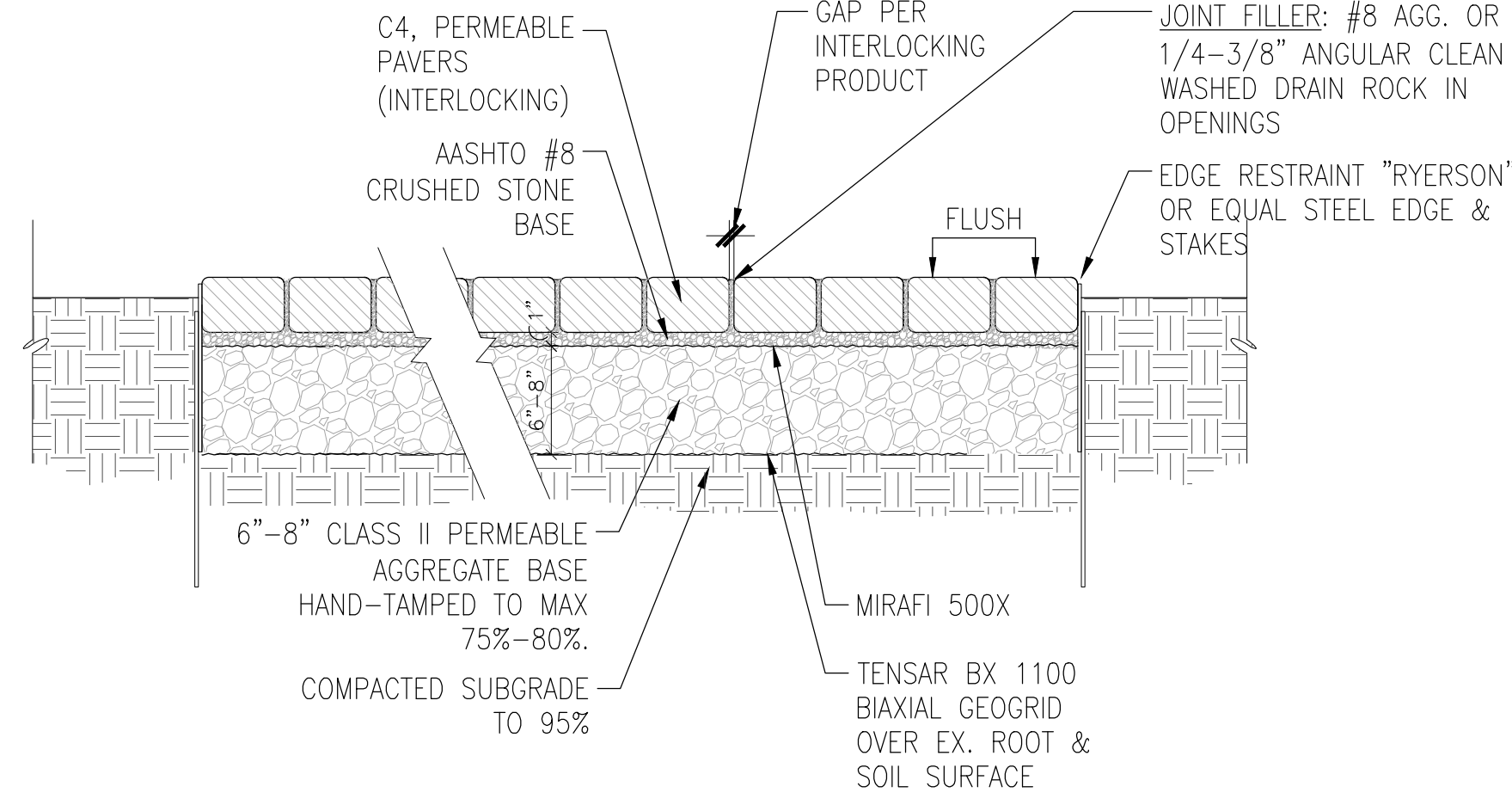
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PLANTING PLAN

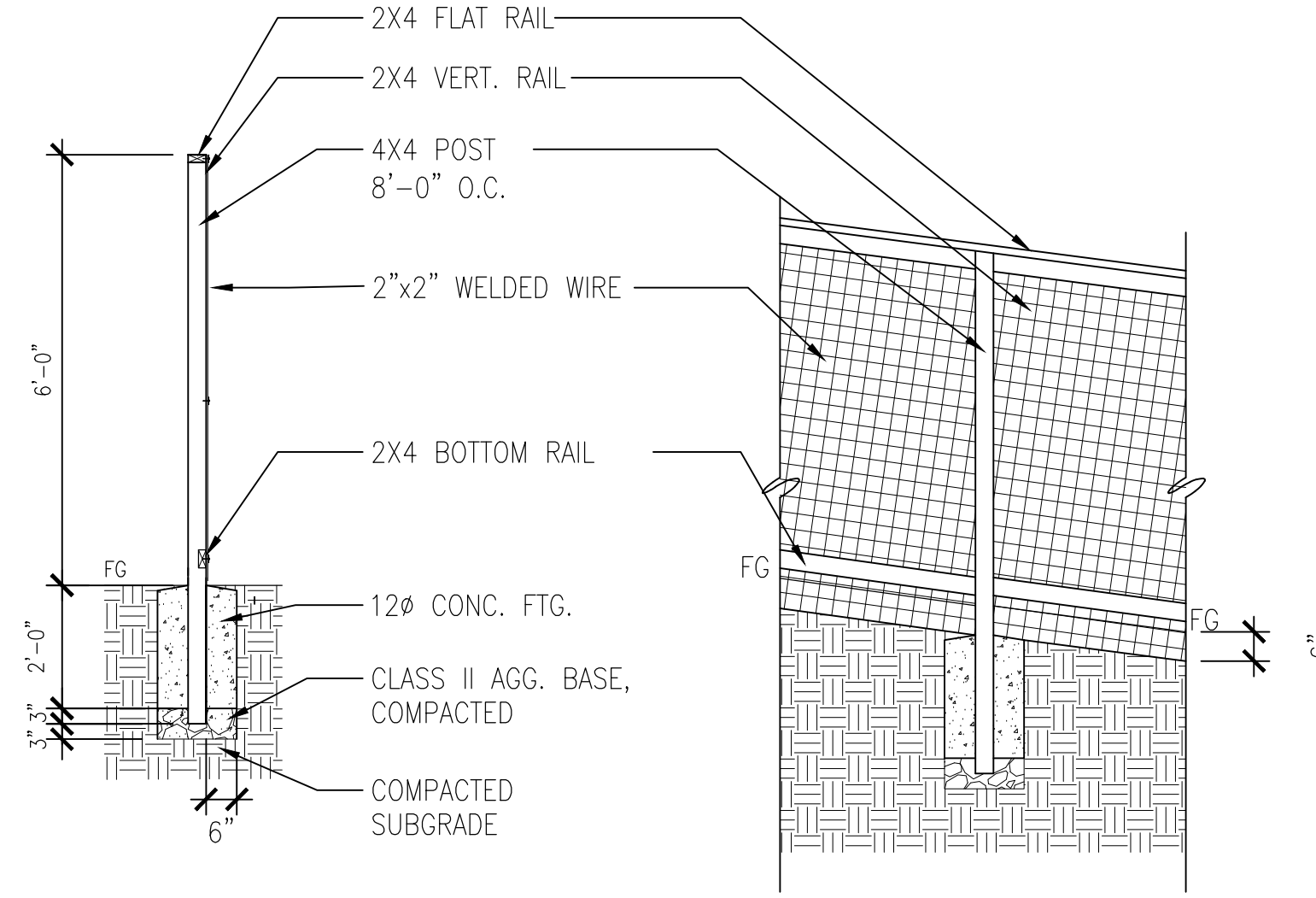
Drawn by: RP
 Checked by: JM
L3.2



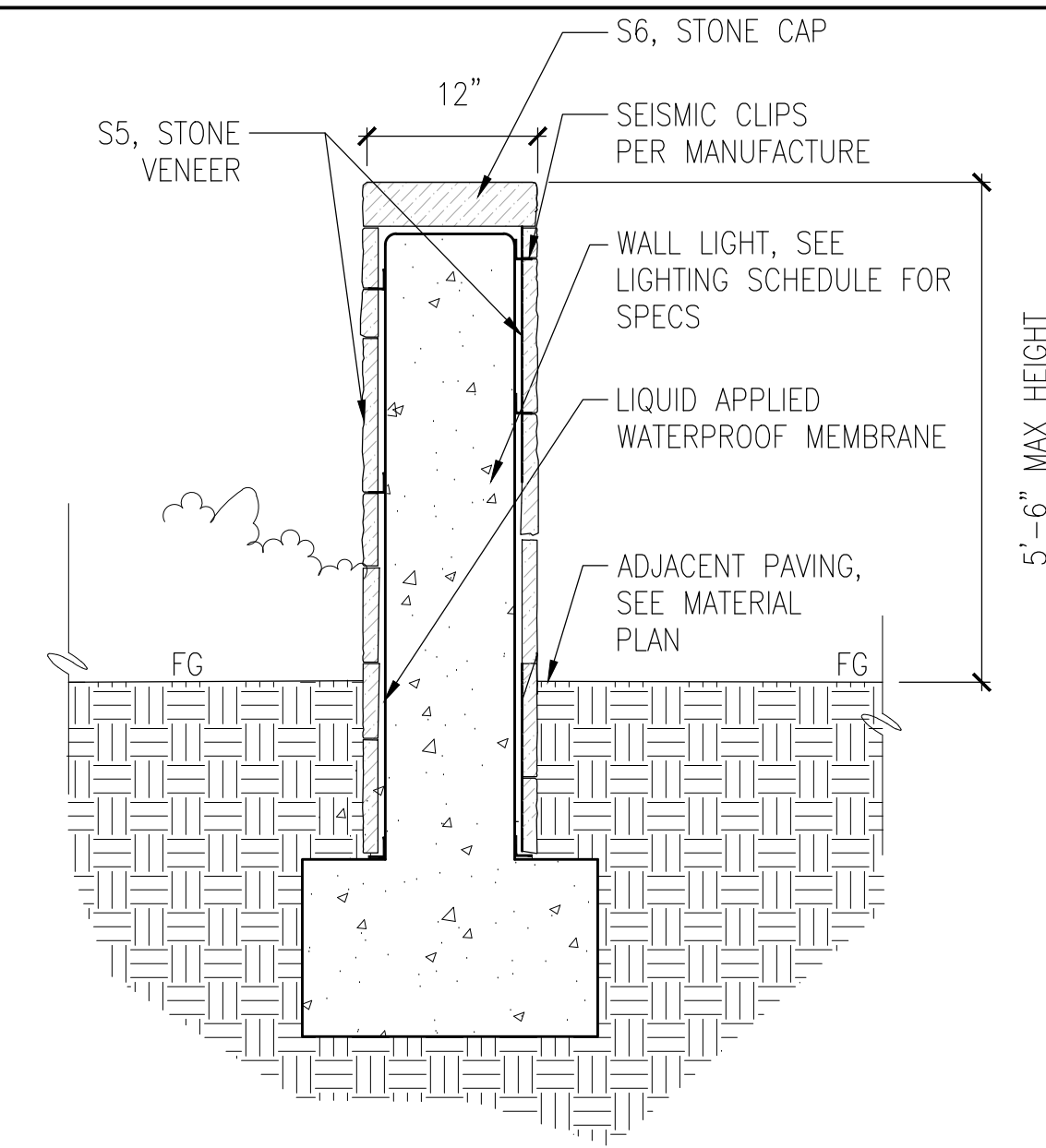
- NOTES:
 1. LAYOUT OF SUBGRADE CONCRETE CURB IN THE FIELD WITH THE LANDSCAPE ARCHITECT IN ORDER TO OBTAIN ALIGNMENT WITH PAVING GRID PATTERN
 2. ALL BASE ROCK TO BE CLEAN WASHED, PERMEABLE AND COMPACTED. PROTECT FROM CONTAMINATION OF FINES.



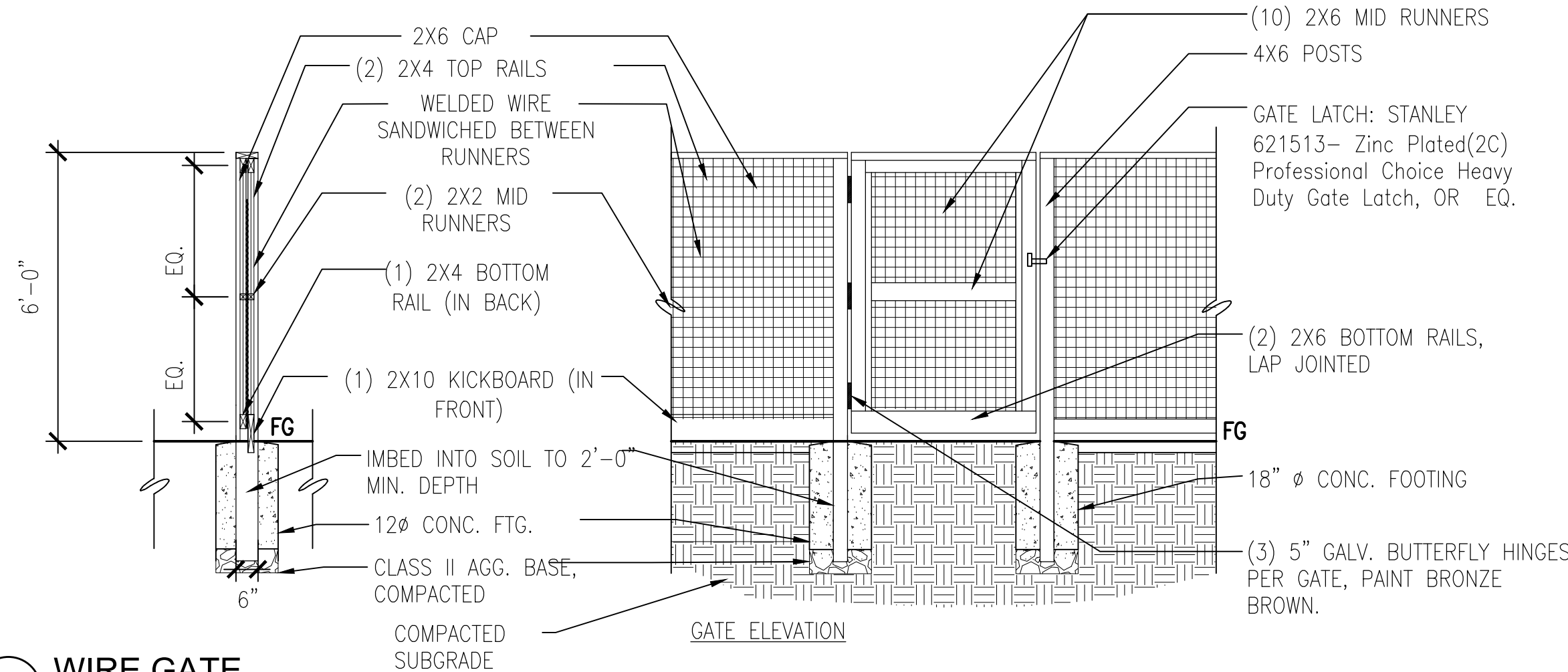
7 PERMEABLE PAVER
 Scale: 1"=1'-0"



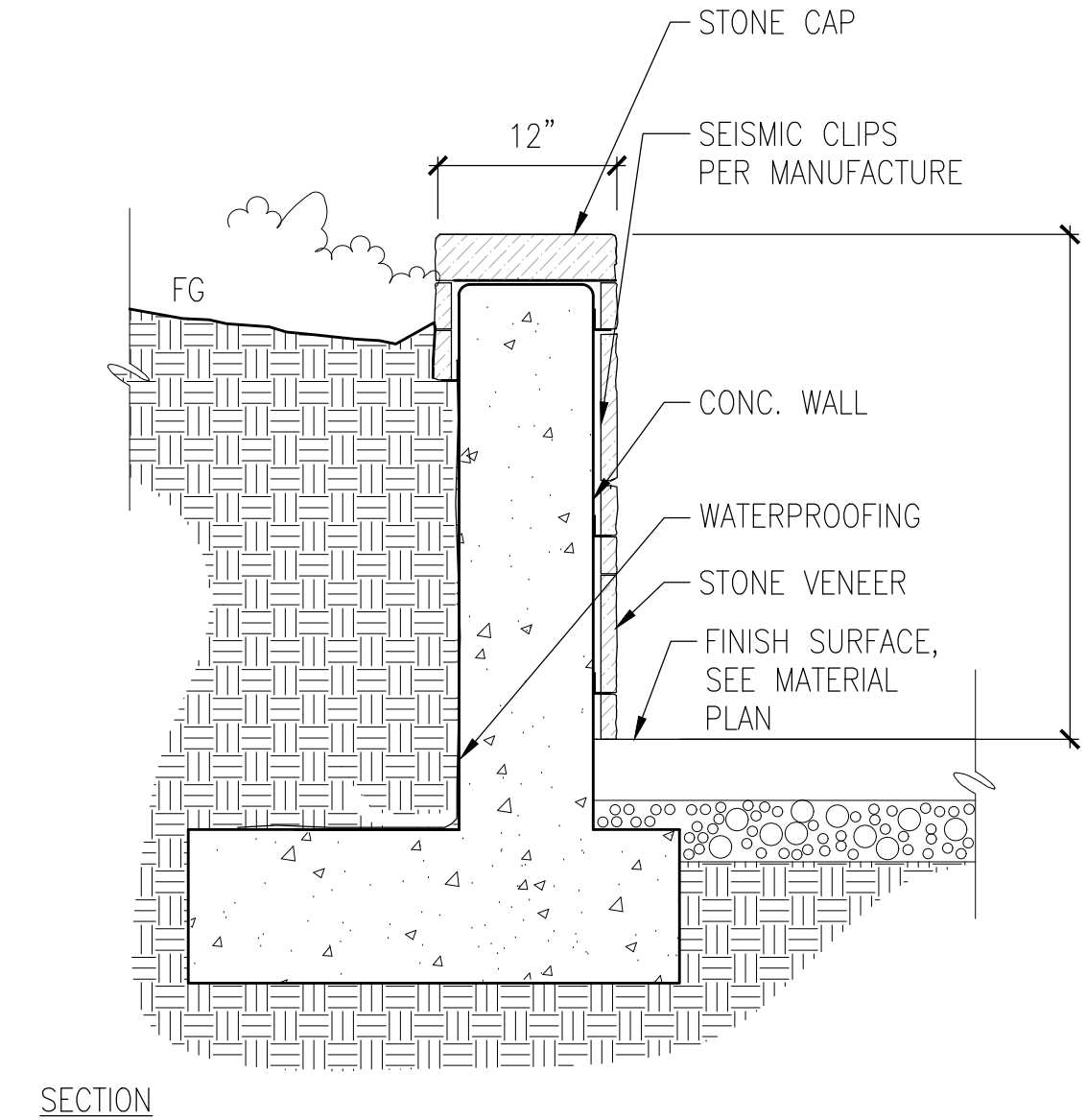
4 WIRE FENCE
 Scale: 3/8"=1'-0"



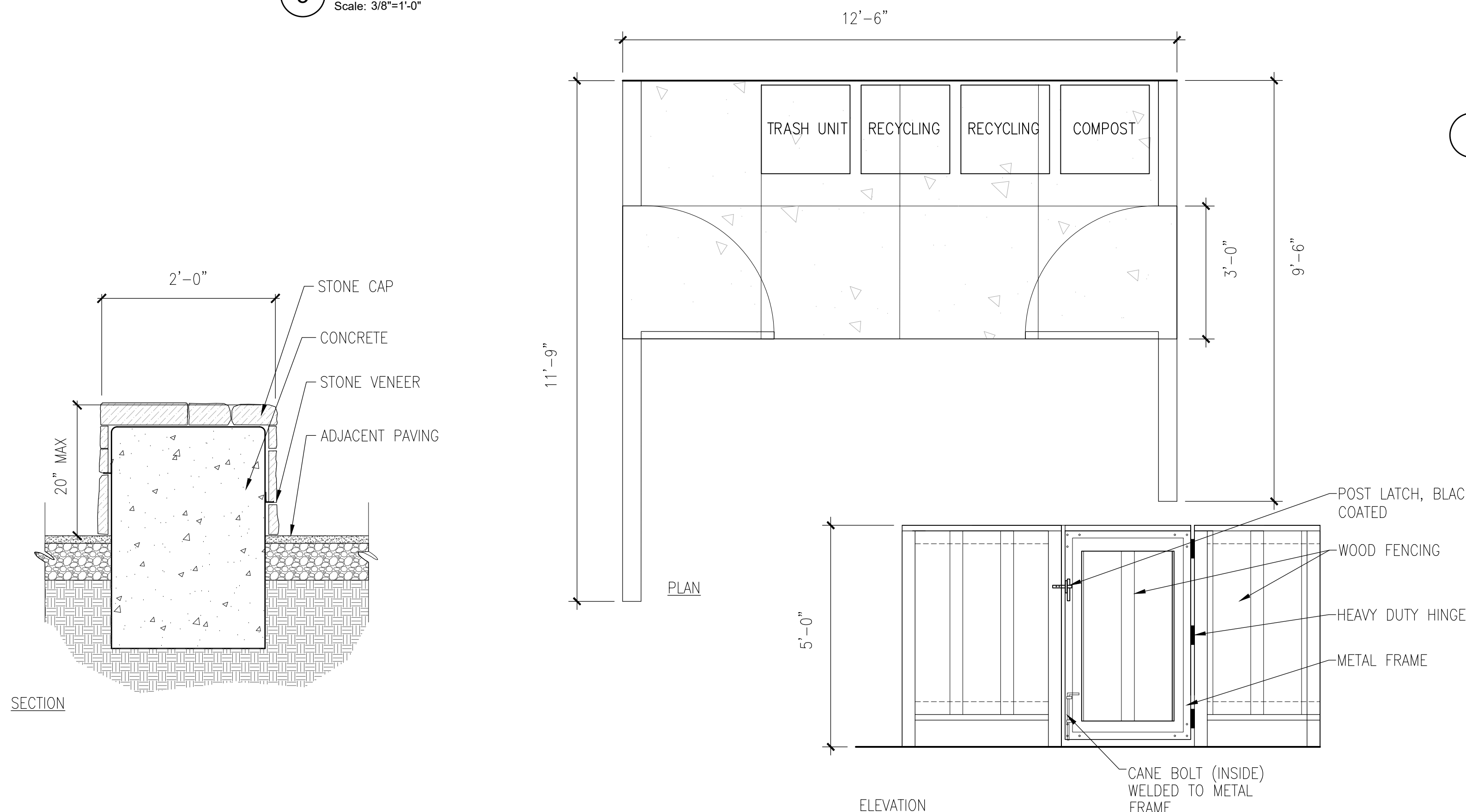
1 STONE FREE STANDING WALL
 Scale: 1"=1'-0"



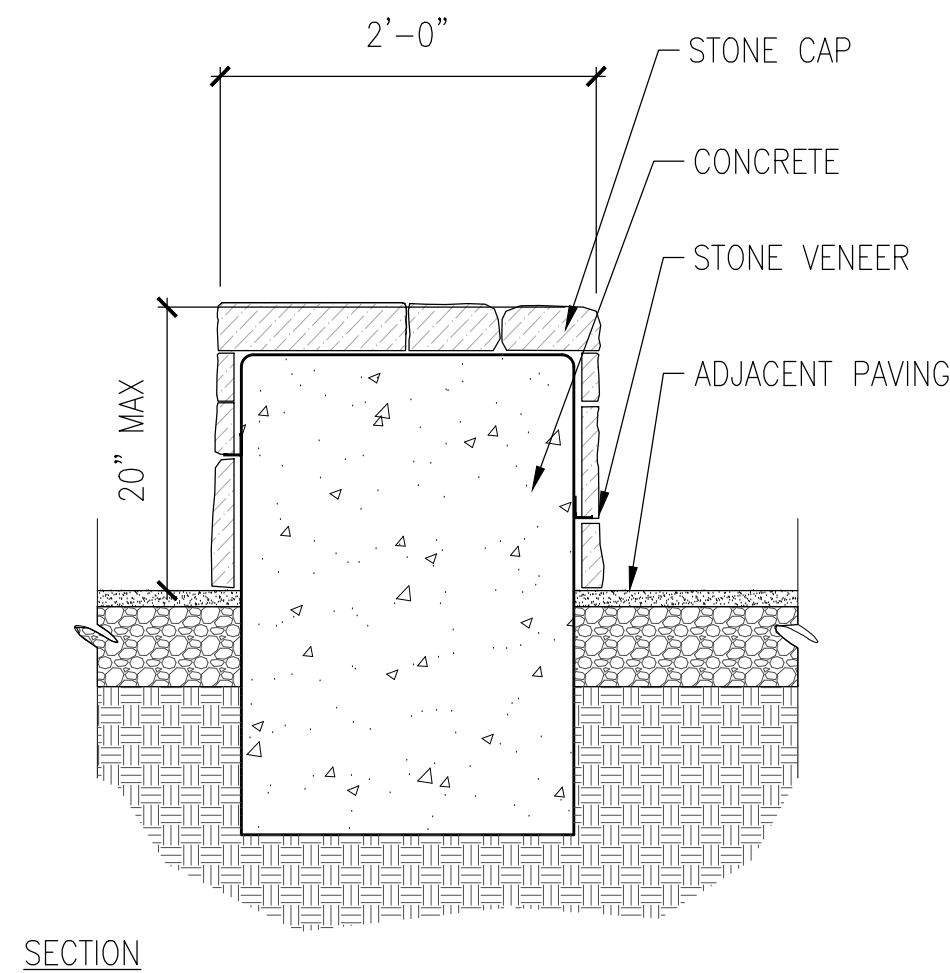
5 WIRE GATE
 Scale: 3/8"=1'-0"



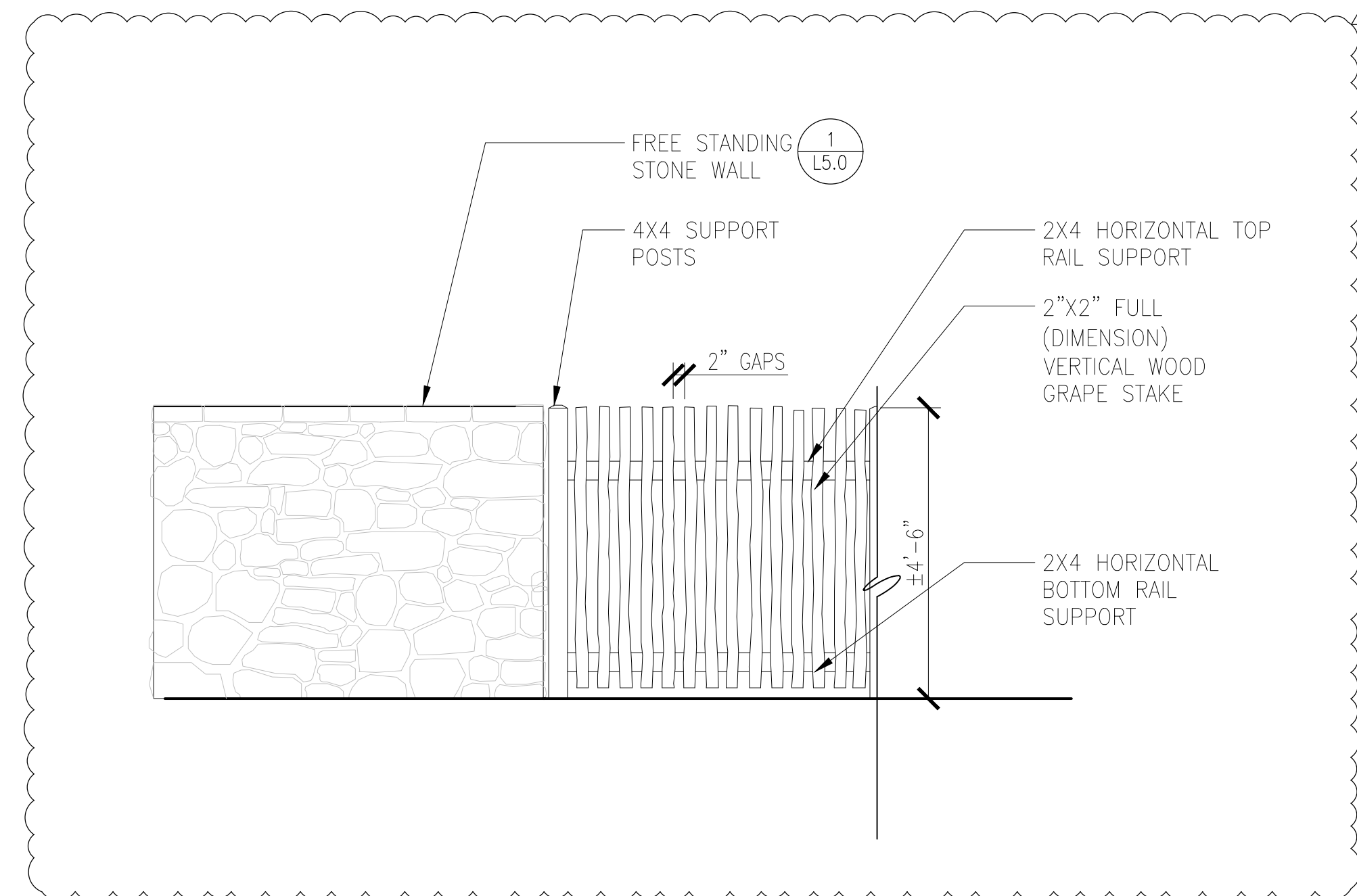
2 STONE RETAINING WALL
 Scale: 1"=1'-0"



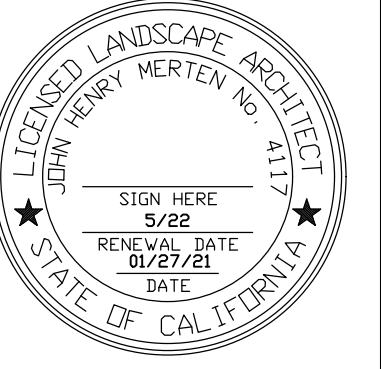
6 TRASH ENCLOSURE
 Scale: 1/2"=1'-0"



8 STONE BENCH
 Scale: 1"=1'-0"



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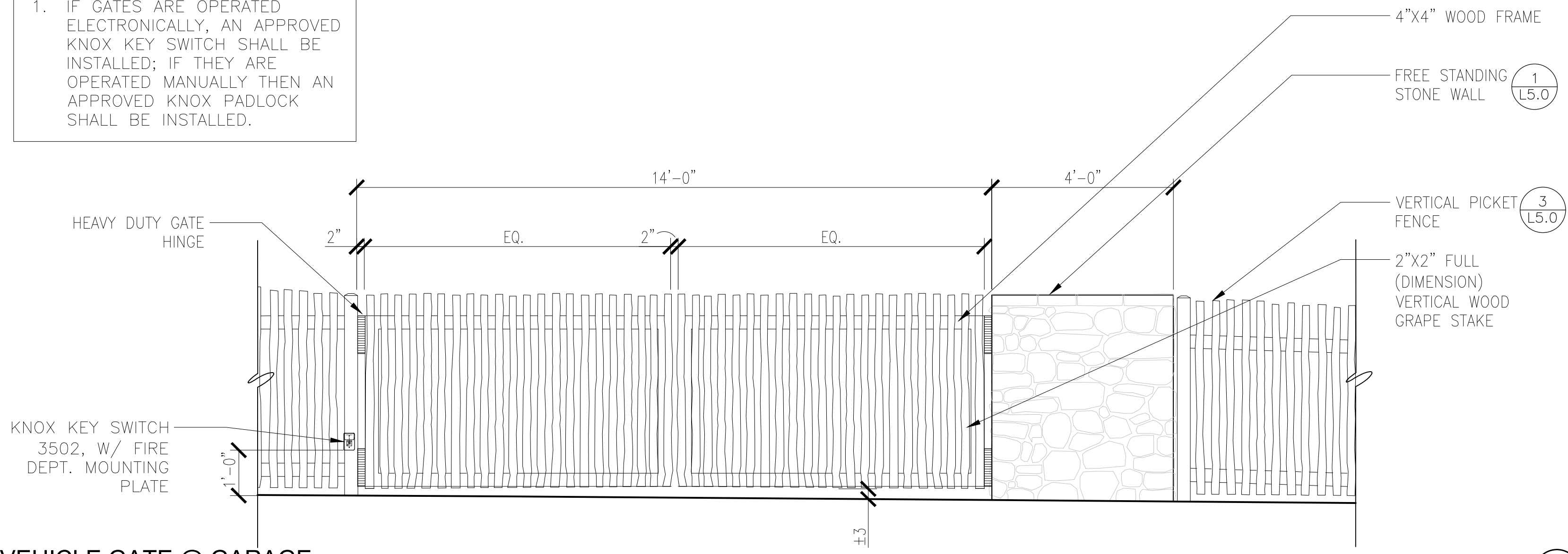
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DETAILS

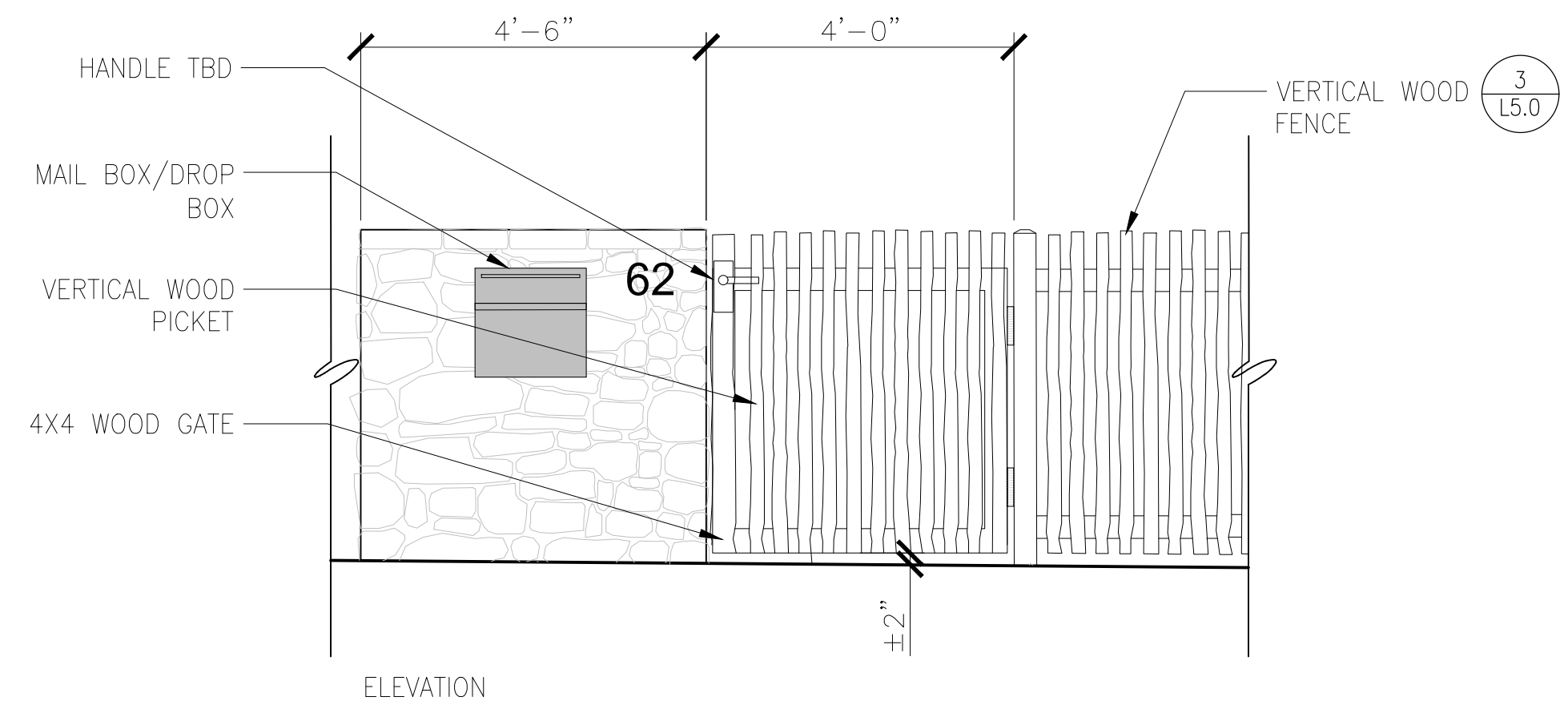
Drawn by: RP
 Checked by: JM

L5.0

NOTE:
 1. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.

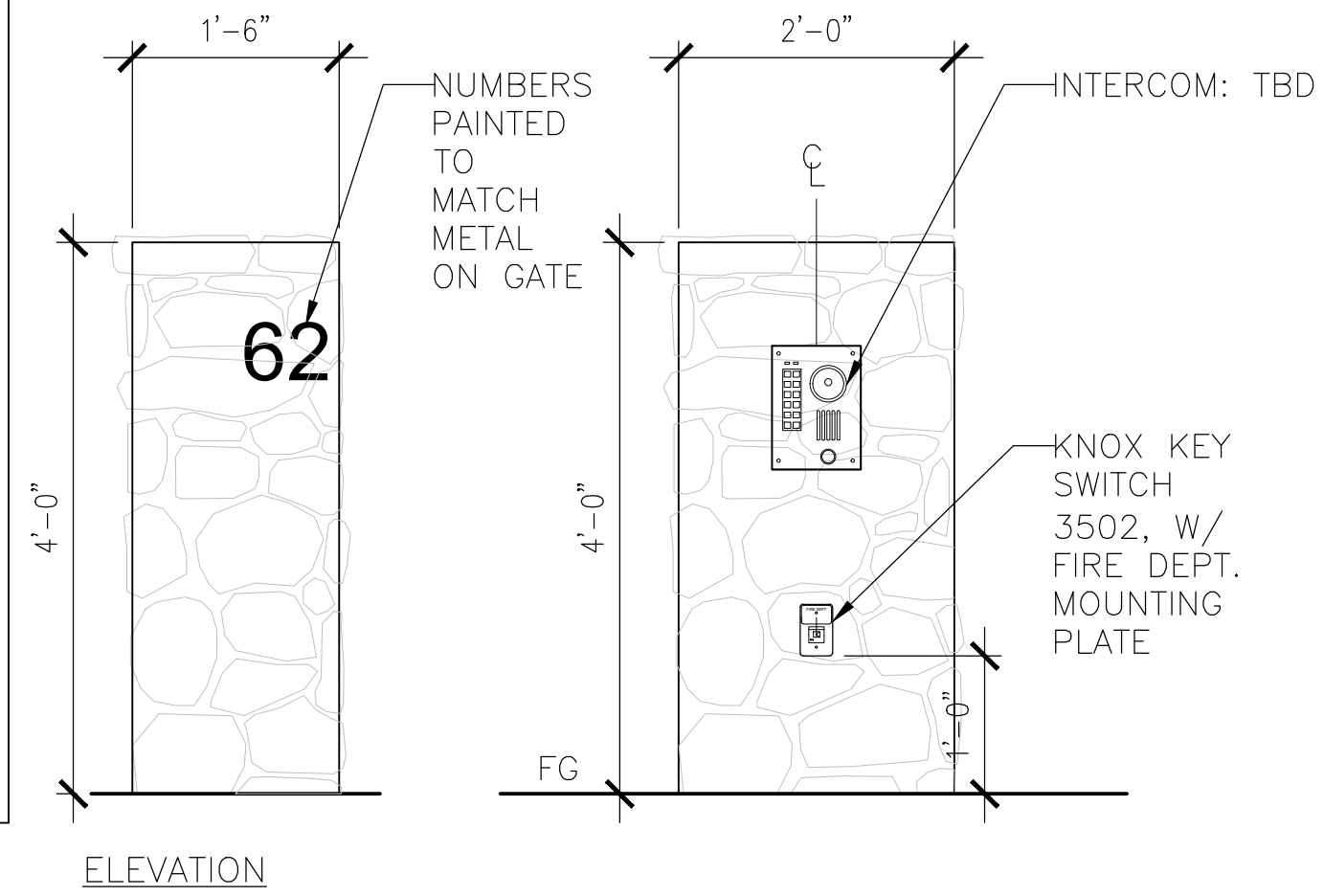


4 VEHICLE GATE @ GARAGE
 Scale: 1/2"=1'-0"

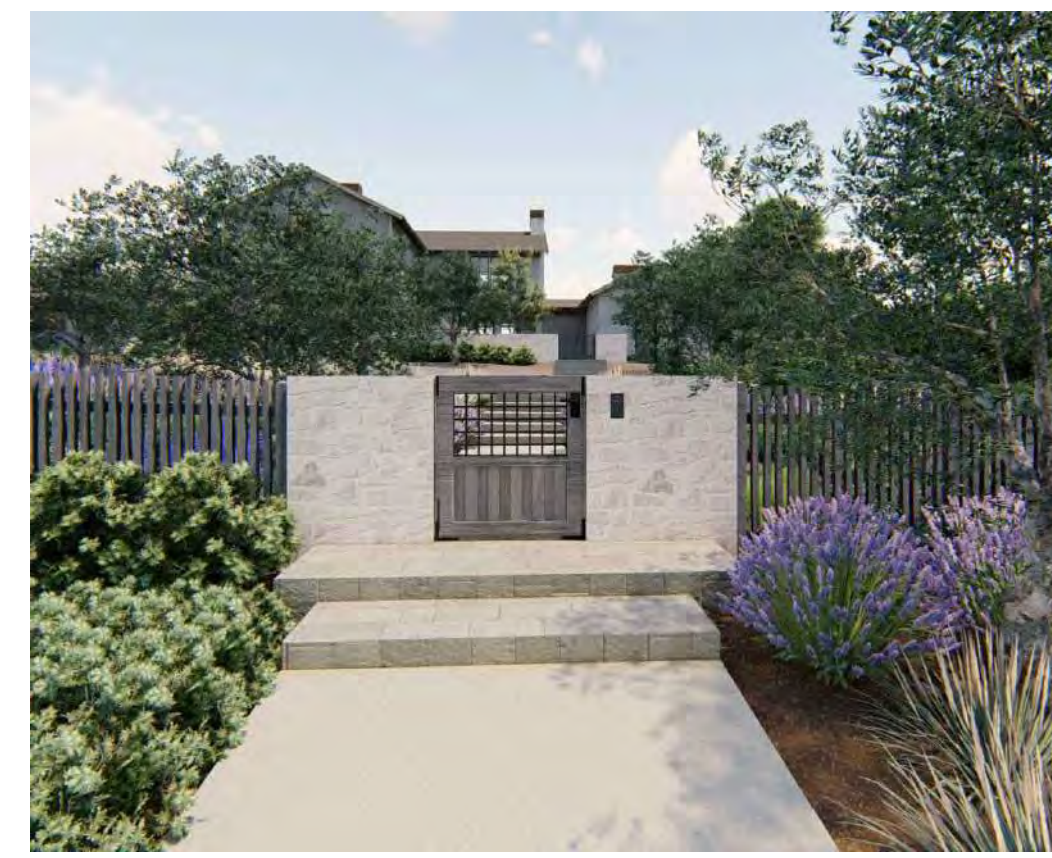


1 PEDESTRIAN GATE/DROP-BOX
 Scale: 1/2"=1'-0"

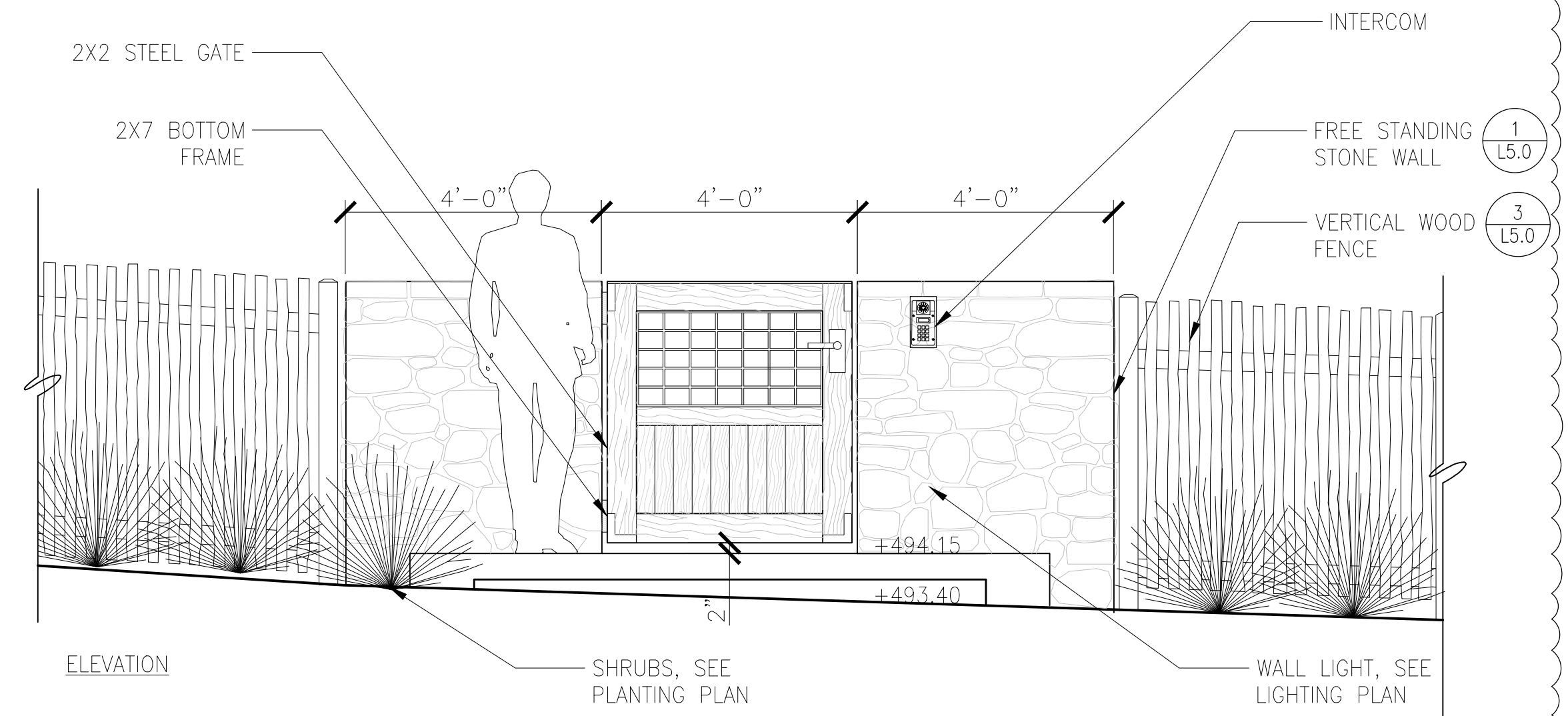
NOTE:
 1. ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THE BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 4 INCHES (101.6MM) HIGH AND A MINIMUM STROKE WIDTH OF 0.5 INCH (12.7 MM). WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. CFC SEC 505.1.
 2. IF GATES ARE OPERATED ELECTRONICALLY, AN APPROVED KNOX KEY SWITCH SHALL BE INSTALLED; IF THEY ARE OPERATED MANUALLY THEN AN APPROVED KNOX PADLOCK SHALL BE INSTALLED.



5 VEHICLE GATE INTERCOM
 Scale: 3/4"=1'-0"



PERSPECTIVE

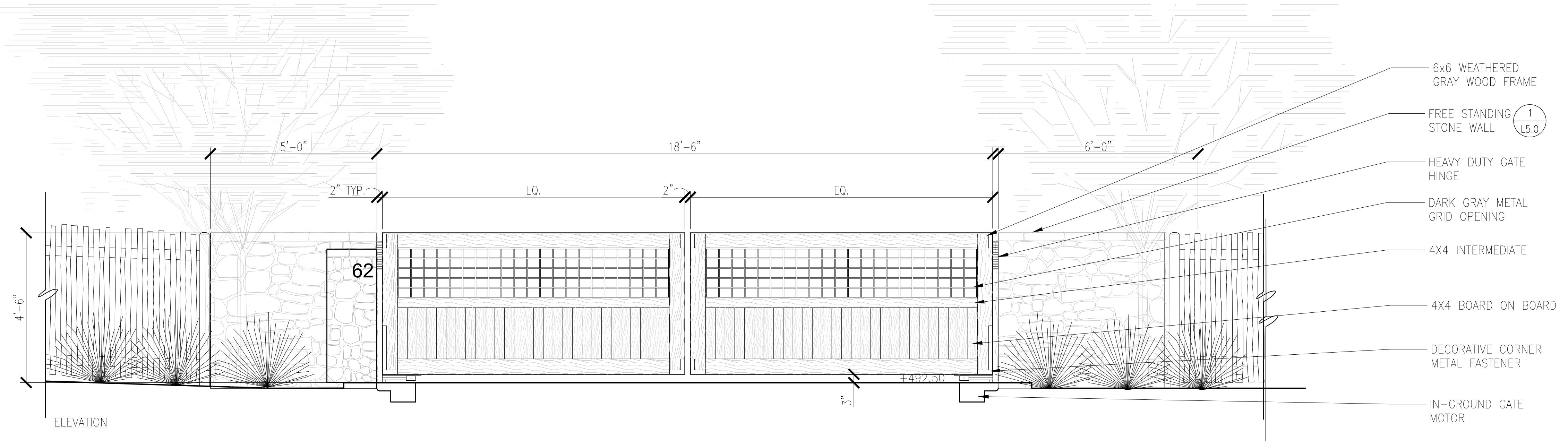


2 PEDESTRIAN GATE @ MAIN ENTRY
 Scale: 1/2"=1'-0"

NOTE:
 1. LGTC SEC 29.40.0315 (C) 3 REQUIRES A MINIMUM SET BACK OF 18' FROM THE EDGE OF THE STREET TO THE GATE.
 2. SEE 5/L5.1 FOR APPROVED KNOX BOX KEY SWITCH LOCATION
 3. ALL WOOD TO BE NATURAL WEATHERED GARY TONE

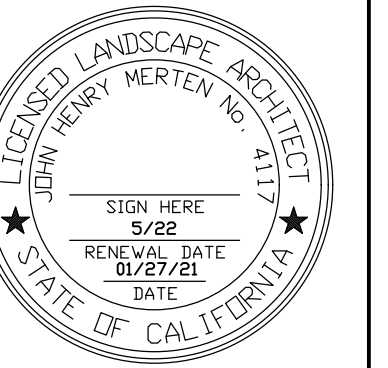


PERSPECTIVE



3 VEHICLE GATE
 Scale: 1/2"=1'-0"

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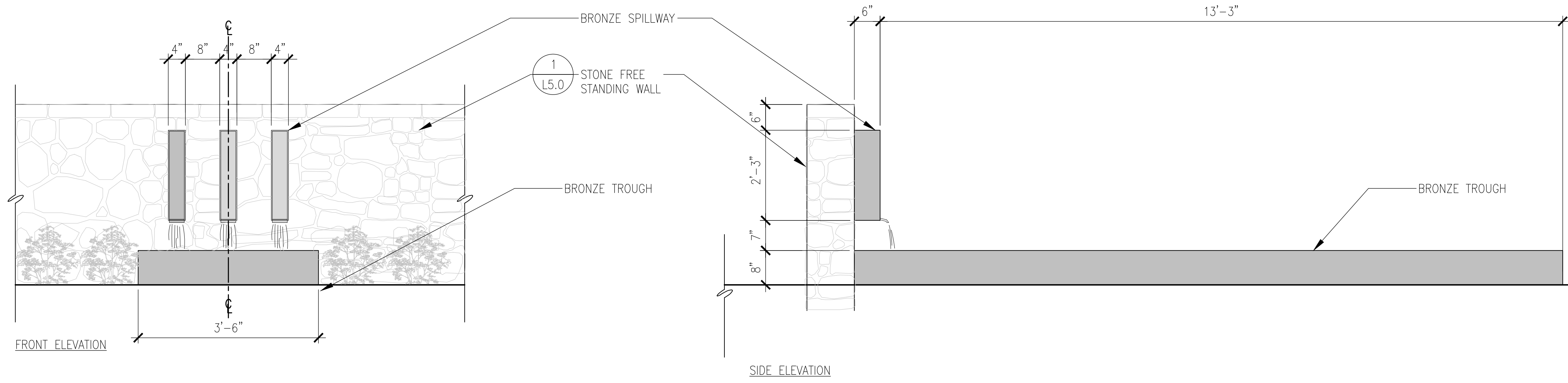
DETAILS

Drawn by: RP
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L5.1



PERSPECTIVE

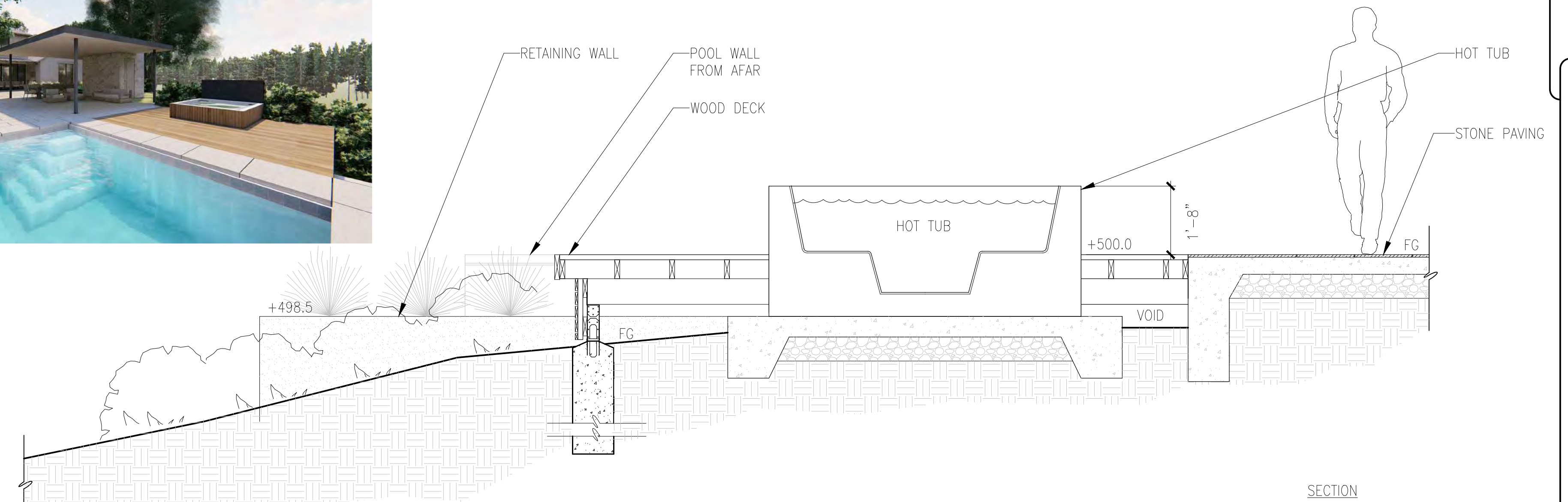


1 WATER FEATURE

Scale: 3/4"=1'-0"



PERSPECTIVE

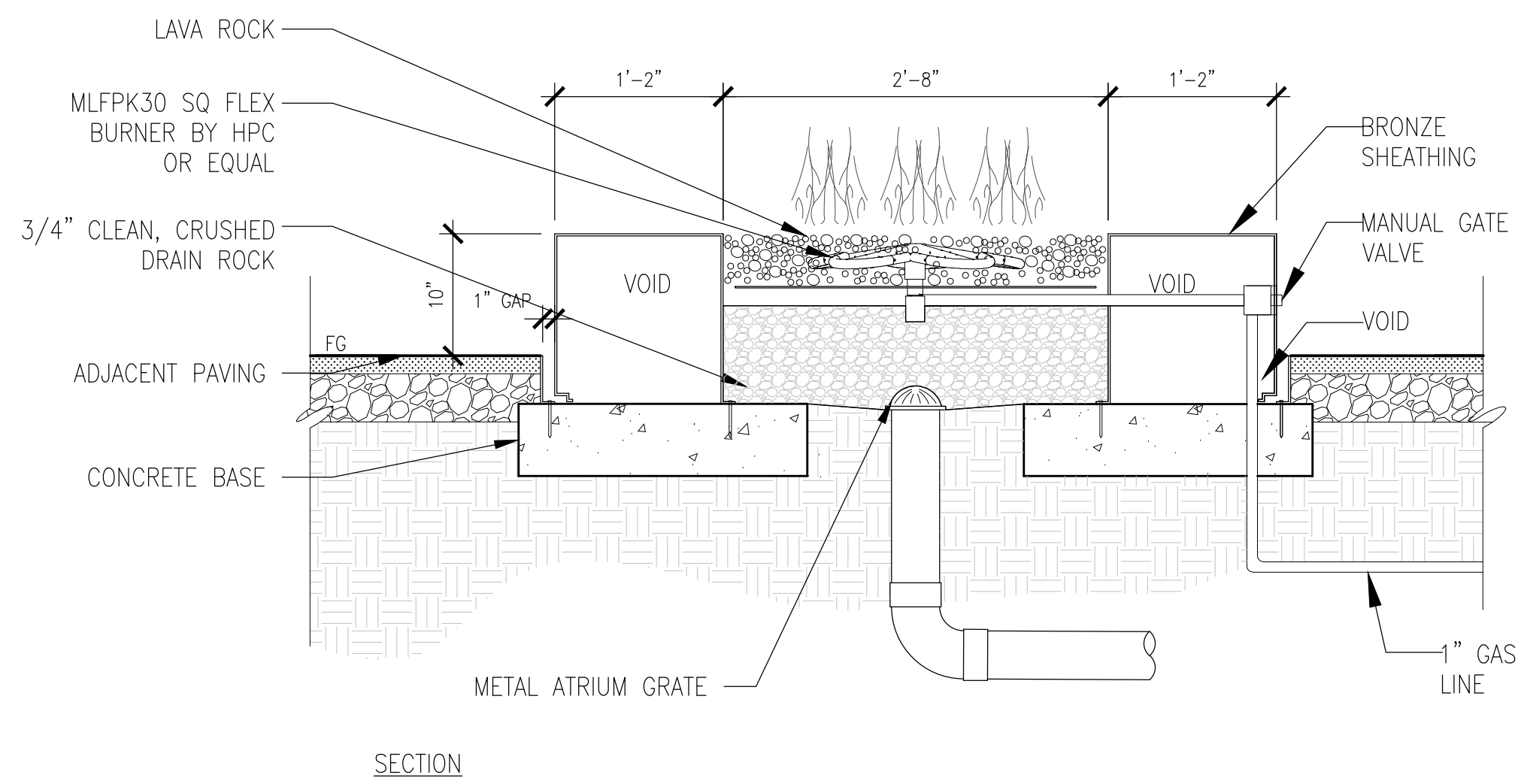


2 HOT TUB @ DECK

Scale: 1/2"=1'-0"

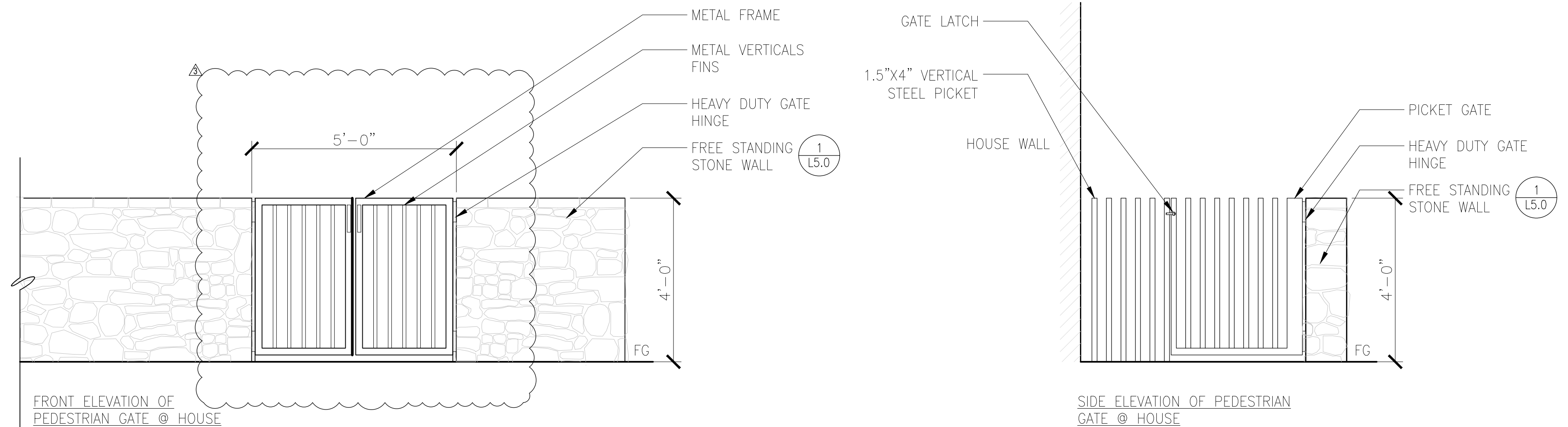


PERSPECTIVE



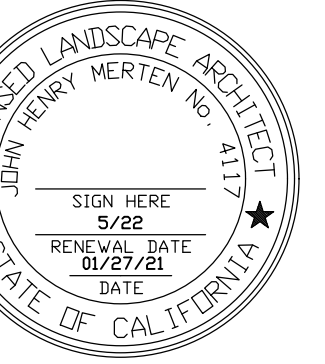
4 FIRE PIT

Scale: NTS



3 PEDESTRIAN GATES @ MAIN HOUSE

Scale: 1/2"=1'-0"



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DETAILS

Drawn by: RP
Checked by: JM

L5.2

SRSmith

ASSEMBLY AND INSTALLATION INSTRUCTIONS

656/658 SUPREME FIBERGLASS JUMP STAND

CAUTION

ALL MINIMUM ENVELOPE DIMENSIONS FOR RESIDENTIAL INGROUND SWIMMING POOLS MUST MEET THE ANSIP/APSP/ICC-5 STANDARD FOR RESIDENTIAL INGROUND SWIMMING POOLS. REFERENCED THROUGHOUT THESE ASSEMBLY AND INSTALLATION INSTRUCTIONS AS "ANSIP/APSP/ICC-5". ALL DIMENSIONS AND RELATED EQUIPMENT ARE MANUFACTURED FOR SWIMMING POOLS ONLY. THE U.S. SOUTH SOUTHWEST SCIENCE TECHNOLOGY GROUP STANDARDS ARE DESIGNED TO BE SAFELY TRANSPORTED AND INSTALLED. FOLLOW ALL INSTRUCTIONS CAREFULLY AND INSPECT CAREFULLY TO ASSURE PROPER AND SAFE INSTALLATION. IMPROPER INSTALLATION CANNOT BE OVERSTATED. IMPROPER INSTALLATION VOIDS S.R. SMITH'S WARRANTY AND MAY AFFECT THE SAFETY OF THE USER.

ATTENTION! THESE INSTRUCTIONS MUST REMAIN WITH STAND OWNER

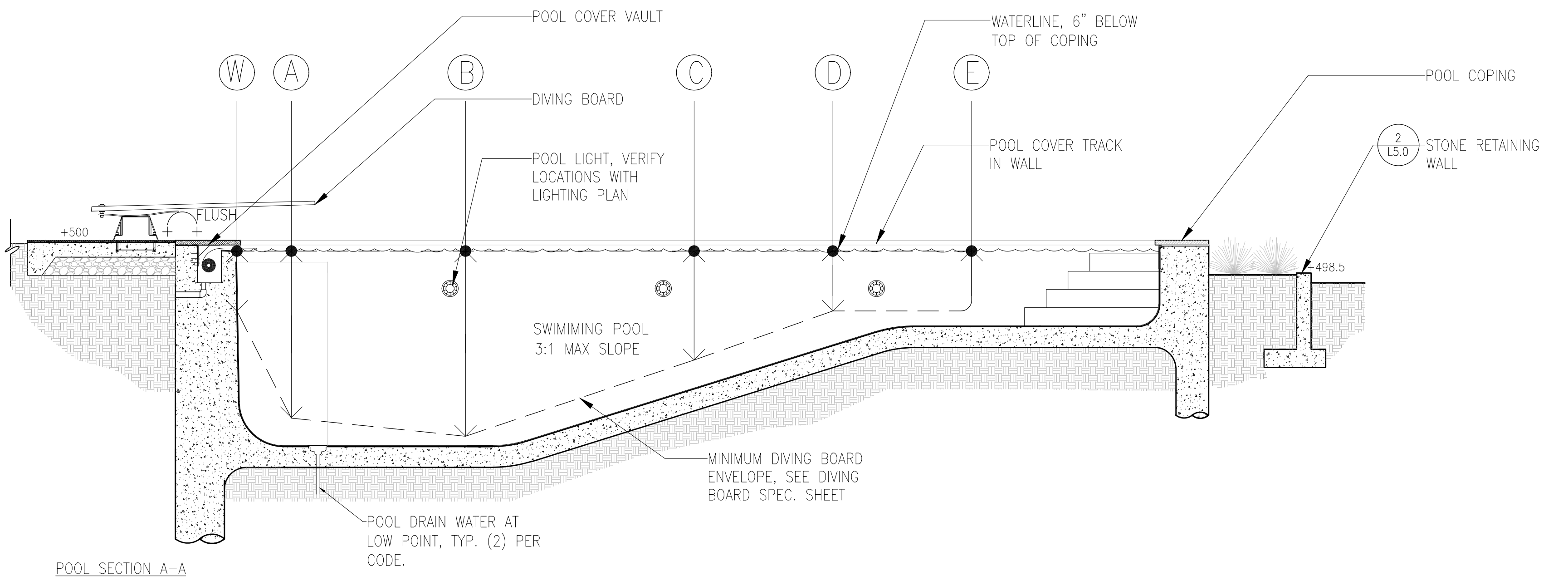
06-336 MAY05

ANSI/APSP/ICC-5 2011

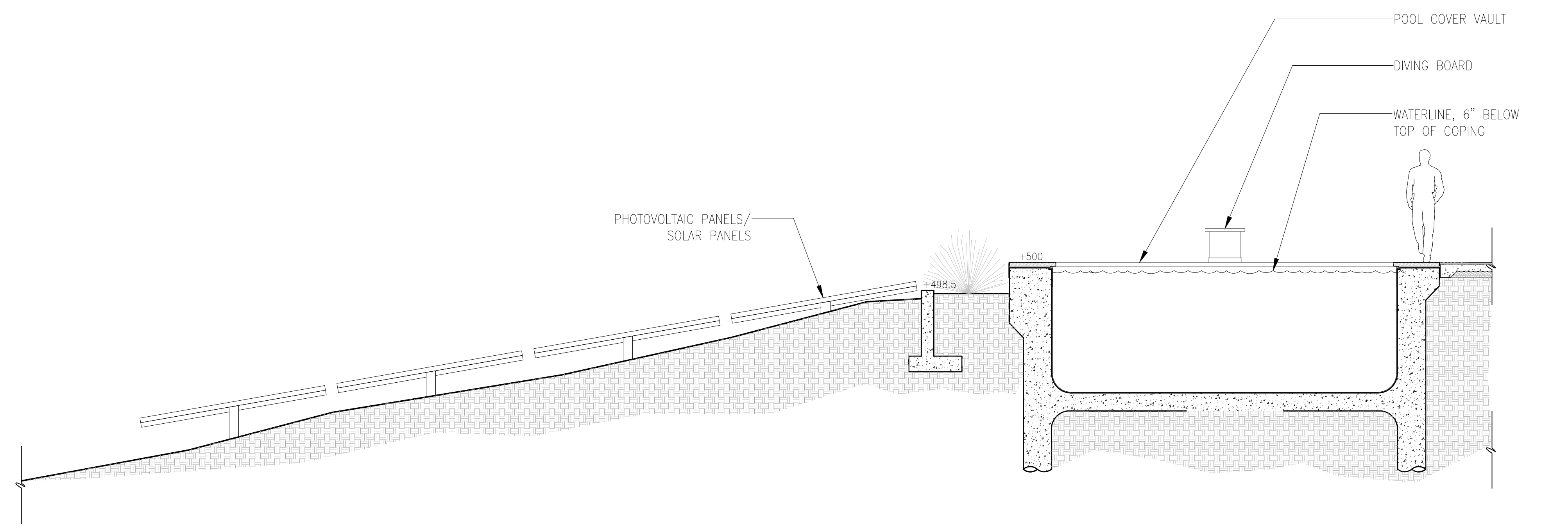
Figure 3 Minimum diving water envelope

Pool Type	Minimum Depth at Point				Minimum Depth at Point				Minimum Length between Points				
	A	B	C	D	A	B	C	D	VA	BC	CD	DE	WE
1	4'-0"	3'-0"	2'-0"	1'-0"	4'-0"	3'-0"	2'-0"	1'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
2	4'-0"	3'-0"	2'-0"	1'-0"	4'-0"	3'-0"	2'-0"	1'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
3	4'-0"	3'-0"	2'-0"	1'-0"	4'-0"	3'-0"	2'-0"	1'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
4	4'-0"	3'-0"	2'-0"	1'-0"	4'-0"	3'-0"	2'-0"	1'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"
5	4'-0"	3'-0"	2'-0"	1'-0"	4'-0"	3'-0"	2'-0"	1'-0"	10'-0"	10'-0"	10'-0"	10'-0"	10'-0"

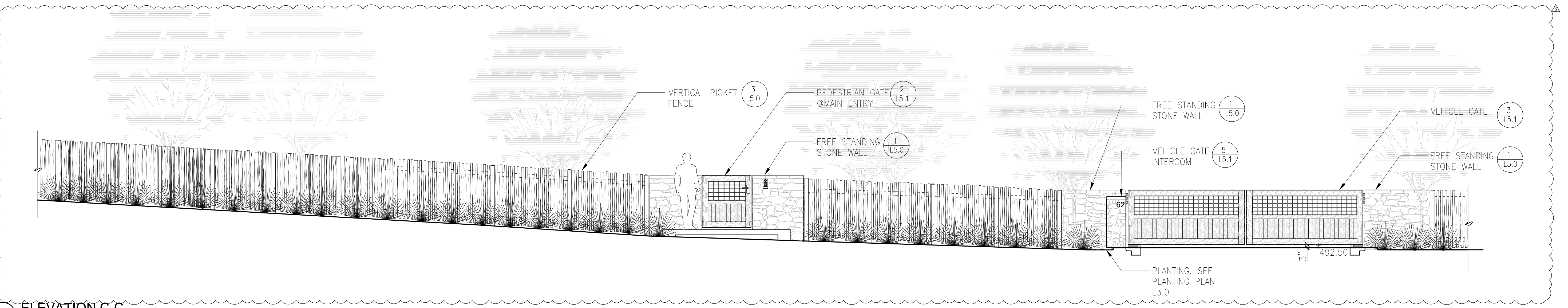
NOTES:
 1. Minimum depth between points (CD) shall apply to the depth at point (D) and the slope between points (CD).
 2. Slope shall not be steeper than 1:1.
 3. Height of concrete elements shall not be less than 12 inches above the finished grade or the Minimum Water Elevation (MWE) (L5.1).
 4. Pool type designations shall apply to the pool type as defined by the design and manufacturer.



1 SECTION A-A
Scale: 1/4"=1'-0"

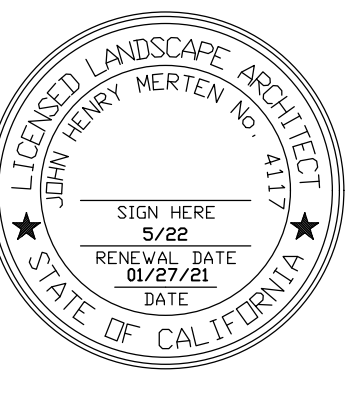


2 SECTION B-B
Scale: 1/4"=1'-0"



3 ELEVATION C-C
Scale: 1/4"=1'-0"

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**SECTION/
ELEVATIONS**

Drawn by: RP
Checked by: JM

L5.3



EXISTING CONDITION

Scale: NTS



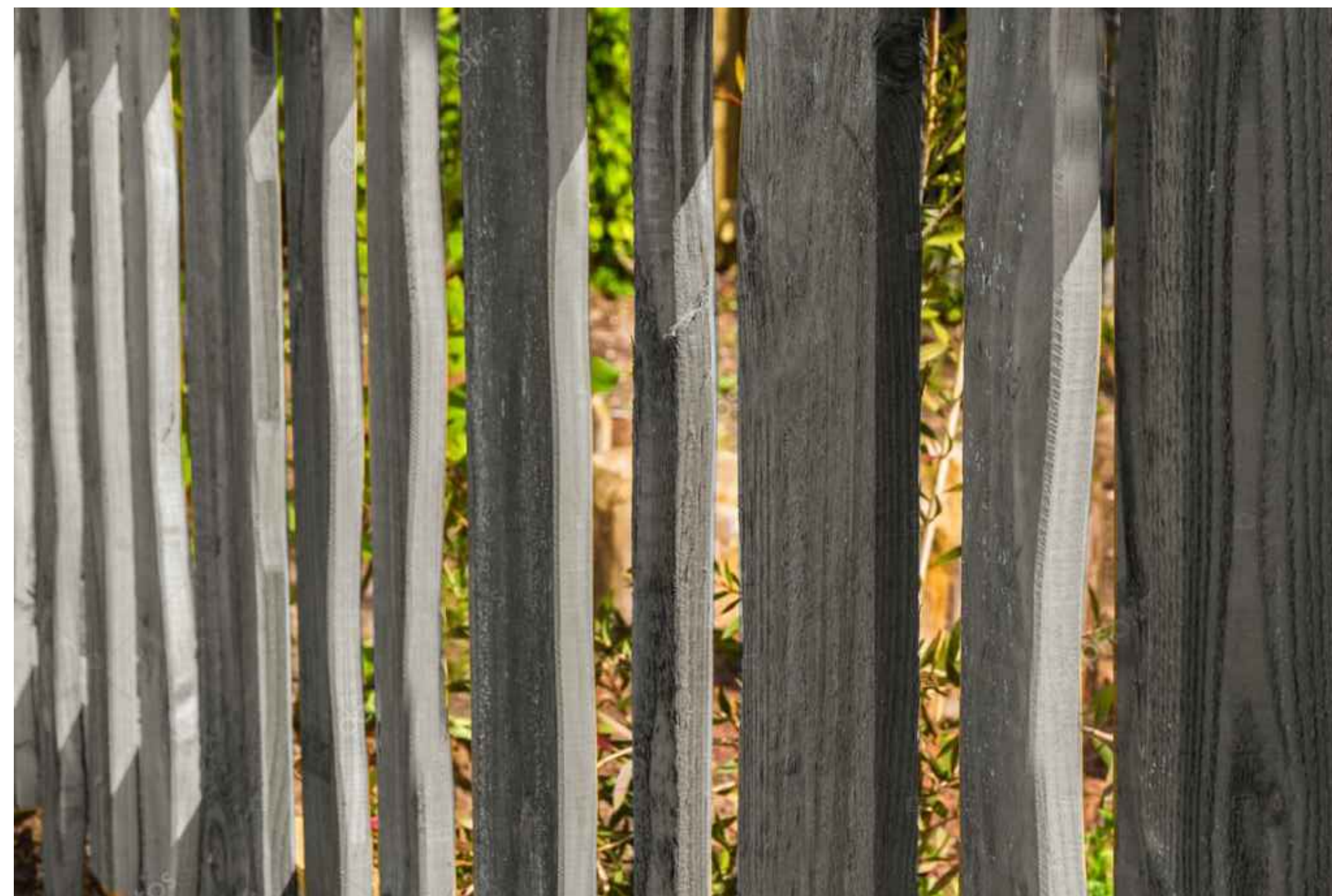
PROPOSED FENCE/GATE-PERSPECTIVES

Scale: NTS



PROPOSED VEHICLE GATE-PERSPECTIVE

Scale: NTS

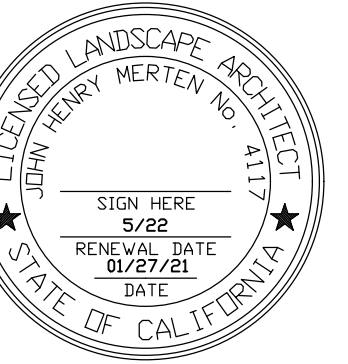


PROPOSED WOOD MATERIAL EXAMPLE

Scale: NTS

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FENCE EXCEPTION

An exception to fence height maybe granted for any one of the many reasons. The home owner in this instance has allowable justifications for the exception for a variety of reasons.

- a) Special Security Concerns: the homeowner must feel secure and safe at home. A 3ft fence does not offer any barrier or a sense of security in a meaningful way. Mr. Swenson has received death threats and feels vulnerable at times. The fencing must act in a way to deter and define an edge to the property along with other measures of security.
- b) Special Animal Issues: the homeowners pet dog can jump over a 3ft fence and would likely escape if given the opportunity. Many homeowners in the neighborhood have an existing and taller fence above 3' to provide for pet safety and deer protection.
- c) A Special Circumstance Exists: Because it is mandatory for the homeowner to feel secure in their own home, the fence shall extend along the street frontage. Due to the "pie" shape of this lot, the property is much wider on the street side compared to the rear of the property. This condition is a unique condition, hardship and by product of the configuration of the lot.

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FRONT GATE & FENCE PERSPECTIVES

Drawn by: RP
Checked by: JM

L5.4

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