

# SITE PLAN 1/8" = 1'-0"

**OWNERS**  
 BLAKE AND JESSICA THORNBERRY  
 176 LOMA ALTA AVENUE  
 LOS GATOS 916-833-3234

**PARTICULARS**  
 ZONE RI-8 NON-CONFORMING  
 AVG SLOPE 6.4% APN:532-28-031

**AREA SUMMARY**

SITE AREA	7,435 SF
FAR-HOUSE = .33	
ALLOWED FLOOR AREA	2,454 SF

**\* PROPOSED HOUSE**

MAIN LEVEL FLOOR AREA	1,684.5 SF/58%
UPPER LEVEL FLOOR AREA	1,212.5 SF/42%
* ABOVE GRADE FLOOR AREA	2,897.0 SF/100%

BELOW GRADE FLOOR AREA - THIS WILL NOT CONTRIBUTE IN ANY WAY TO MASS OR BULK OF STRUCTURE

* TOTAL FLOOR AREA	521.0 SF
	3,418.0 SF

ABOVE GRADE FAR	.39
ABOVE GRADE + BELOW GRADE FAR	.46

**GARAGE AREA**

FAR GARAGE = .09	
ALLOWED GARAGE FAR	691.0 SF
ALLOWED GARAGE FAR	528.5 SF
PROPOSED GARAGE	528.5 SF
BUILDING COVERAGE	2,432.5/ 33%
IMPERVIOUS COVERAGE	2,168.5/ 31%

**BUILDING DEPARTMENT REQUIREMENTS:**

- A SEPARATE BUILDING PERMIT WILL BE REQUIRED FOR THE PHOTOVOLTAIC SYSTEM. PLEASE ADD A NOTE TO THE COVER SHEET OF THE PLANS STATING THE FOLLOWING, "A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE CALIFORNIA ENERGY CODE PERFORMANCE OR PRESCRIPTIVE STANDARDS. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY."
- ONE OF THE REQUIREMENTS OF THE TOWN'S ENERGY REACH CODE IS THAT ALL NEW HOMES USE ELECTRICITY AS THE ONLY SOURCE OF ENERGY FOR SPACE HEATING, WATER HEATING (INCLUDING POOLS AND SPAS), COOKING APPLIANCES, CLOTHES DRYING APPLIANCES, AND OTHER FEATURES FOR BOTH INTERIOR AND EXTERIOR APPLICATIONS. PLEASE REMOVE ALL REFERENCE TO GAS APPLIANCES AND ADD A NOTE TO THE COVER SHEET OF THE PLANS STATING THE FOLLOWING, "THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE."
- EMERGENCY ESCAPE AND AREA WELLS MUST HAVE A HORIZONTAL PROJECTION AND WIDTH OF NOT LESS THAN 36", SHEET C2.1 AND C3.1.

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**FIRE SPRINKLERS REQUIRED PER SCC FIRE CONDITIONS OF APPROVAL FOR THE PROJECT.**

**SANTA CLARA COUNTY FIRE DEPARTMENT**  
 1910 Oak Avenue, Campbell, CA 95008 | (408) 538-4519 | SCCTFD.org

**DEVELOPMENTAL REVIEW COMMENTS**

**Plans and Scope of Review**

This project shall comply with the following:  
 The California Fire Code (CFC) & Building Code (CBC) 2022 edition, as adopted by the Town of Los Gatos Town Code (LGC) 17. California Code of Regulations (CCR) and Health & Safety Code.

The scope of this project includes the following:  
 Proposed new 4,315 SF two-story single-family residence with basement and 529 SF detached garage.

**Plan Status:**  
 Plan Review Conditions. Revise and resubmit drawings and provide a response letter addressing comments on this plan review. All comments having BOLD font require action prior to approval.

**Plan Review Comments:**

- Review of this Developmental proposal is limited to acceptability of site access, water supply and any other specific additional requirements as they pertain to the department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- NOTE: The subject property is located within the Very High Fire Hazard Severity Zone (VHFH-CZ) of the Local Hazard Ordinance (LHO). Pursuant to California Public Resources Code (PRC) 4302, the California State Fire Marshal (CSFM) is required to... [text continues]

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**Plan Status:**  
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**Plan Review Comments:**

- Fire Sprinklers Required: Approved automatic sprinkler systems in new and existing buildings and structures shall be installed in the locations described in this section or in Sections 903.2.1 through 903.2.12 which refer to the fire resistance and Section 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be penetrated in accordance with the California Building Code and shall be without openings or penetrations. Make a note on sheet A-1 that sprinklers will be installed for both main house and garage.
- Required Fire Flow: The minimum required fire flow for this project is 875 Gallons Per Minute (GPM) at 20 psi residual pressure. This fire flow assumes installation of automatic fire sprinklers per CFC 903.2.1.5.
- Provide a fire flow letter from a local water purveyor confirming the required fire flow of 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (San Jose Water) for details on how to obtain the fire flow letter.
- Water Supply Requirements: Potable water supplies shall be protected from contamination caused by the protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that are physically connected in any manner to an apparatus capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the systems) under consideration shall not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2014 CFC, Sec. 903.2.2 and Health and Safety Code 171147.

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**DEVELOPMENTAL REVIEW COMMENTS**

approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 6 inches high with a minimum stroke width of 0.1 inch (2.5 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign of means shall be used to identify the structure. Address numbers shall be maintained. CFC, Sec. 903.1.

8. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 18 and our Standard Detail and Specification 31.7. Provide appropriate notations on subsequent plan submissions, as appropriate to the project. CFC Chp. 33.

This review shall not be construed to be an approval or a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit premising to give authority to violate or exceed the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. CFC, Ch. 1, 105.5.1.

Print date :

11.04.24  
 09.30.24  
 01.09.24

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**THORNBERRY FAMILY**  
**176 LOMA ALTA AVE.**

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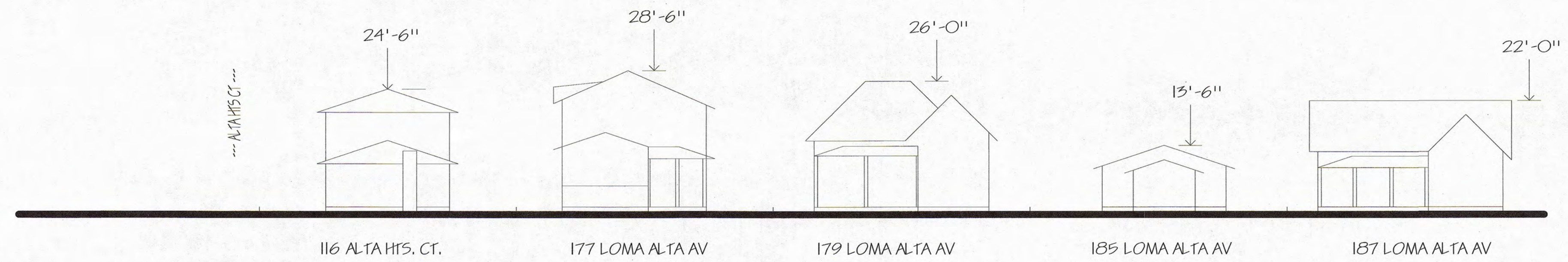
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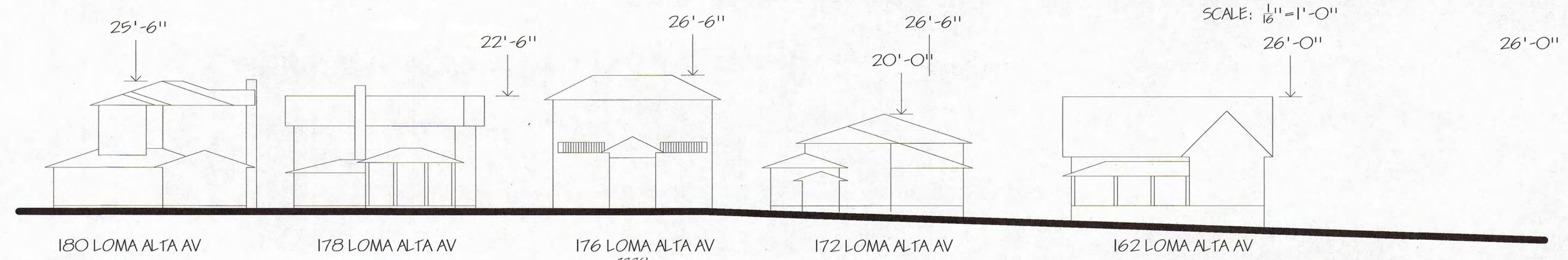
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**A-1**  
 EXHIBIT 15



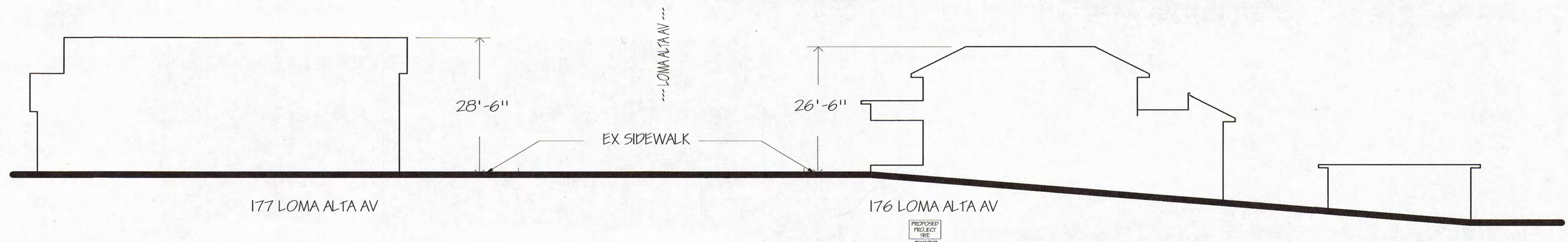
STREETSCAPE - ACROSS THE STREET



STREETSCAPE

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"



SITE CROSS SECTION

SCALE: 1/16" = 1'-0"

HOUSE SIZE COMPARISON CHART FOR 176 LOMA ALTA AVENUE

	Address	Zoning	Bldg SF Town Records	Bldg SF County Records	Site SF	Bldg FAR Town Records	Bldg FAR County Records	Garage SF
Existing	178 Loma Alta Ave	R-1.8	1,300	2,660	8,090	0.16	0.34	325
Existing	180 Loma Alta Ave	R-1.8	2,605	2,605	8,010	0.33	0.34	733
Existing	172 Loma Alta Ave	R-1.8	2,332	2,588	7,132	0.33	0.37	630
Existing	162 Loma Alta Ave	R-1.8	2,647	2,599	8,680	0.30	0.30	622
Existing	177 Loma Alta Ave	R-1.8	2,227	3,018	6,640	0.34	0.45	484
Existing	179 Loma Alta Ave	R-1.8	2,919	2,919	7,405	0.39	0.39	577
Existing	185 Loma Alta Ave	R-1.8	1,206	1,206	7,405	0.16	0.16	0
Existing	116 Alta Heights Ct	R-1.8	1,933	1,993	6,490	0.30	0.31	437
Existing	187 Loma Alta Ave	R-1.8	1,866	1,814	7,405	0.25	0.24	0
Existing	176 Loma Alta Ave (E)	R-1.8	996	996	7,435	0.13	0.13	280
<b>Proposed</b>								
Proposed	176 Loma Alta Ave (P)	R-1.8	2,897		7,435	0.39	0	528.5
	Below Grade Bsmt Floor Area		521			0.07		
	Above Grade + Below Grade Area		3,418			0.46		

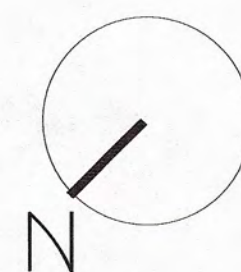
HOUSE SIZE COMPARISON CHART

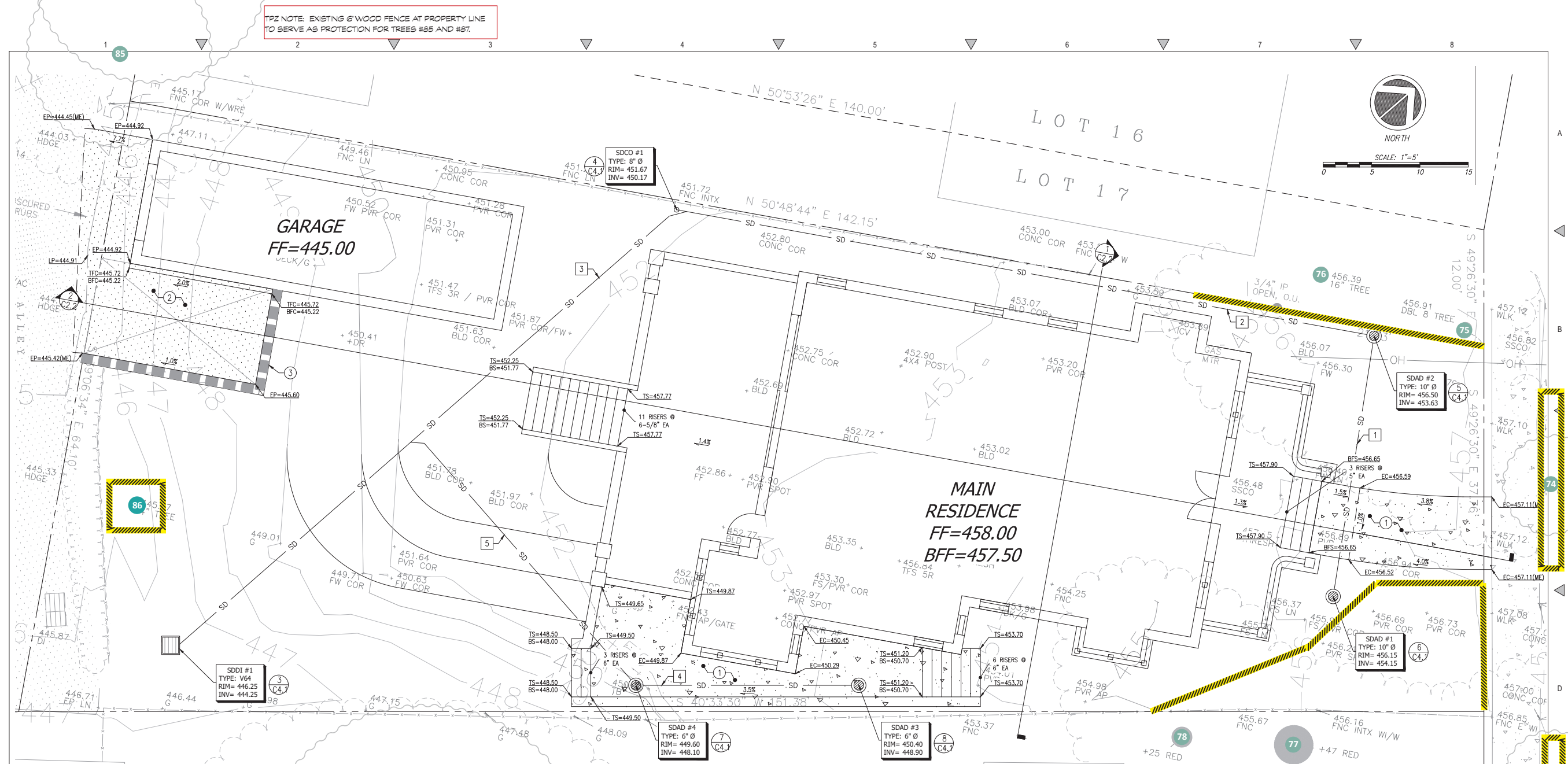
\* THERE ARE TWO HOMES WITH LARGER ABOVE GROUND FLOOR AREAS:  
179 LOMA ALTA = 2,919 SF  
177 LOMA ALTA = 3,018 SF (PER COUNTY RECORDS)



NEIGHBORHOOD PLAN

SCALE: 1" = 50'





TPZ NOTE: EXISTING 6" WOOD FENCE AT PROPERTY LINE TO SERVE AS PROTECTION FOR TREES #85 AND #87.

TPZ NOTE: EXISTING 6" WOOD FENCE AT PROPERTY LINE TO SERVE AS PROTECTION FOR TREE #88.

TPZ NOTE: TPZ FENCING MAY NEED TO BE ADJUSTED DURING DEMOLITION OF EXISTING DRIVEWAY. PROMPTLY RESTORE TPZ FENCING TO ORIGINAL LOCATION UPON COMPLETION.

As required by the Town of Los Gatos:

Pruning or root pruning must be supervised by an ISA-certified arborist or an ASCA-Registered Arborist. See Section 29.10.10.10 of the Town Code for specifications to determine if a pruning permit is required.

Tree protection fencing requirements:

- Six-foot high chain link fencing mounted on two-inch diameter galvanized iron posts shall be driven into the ground at least two-feet deep at no more than ten-foot spacing. When stipulated, for existing paving areas that will not be demolished, posts may be supported by concrete base.
- Posted eight and one-half-inch by eleven-inch sign on each tree fence stating: "Warning - Tree Protection Zone - This fence shall not be removed and is subject to penalty according to Town Code 29.10.10.25"
- Labeled photographs of the installed fencing shall be emailed to the project planner prior to issuance of permits.
- Tree protection fencing is required to remain in place throughout construction. Any protected tree on-site will require replacement according to its appraised value if it is damaged beyond repair as a result of construction.

TPZ MAP LEGEND:

	TREE TO REMAIN
	TREE ON NEIGHBORS' PROPERTY / CITY STREET TREE
	TREE PROTECTION FENCING

# TREE PROTECTION ZONE MAP

176 LOMA ALTA, LOS GATOS, CA



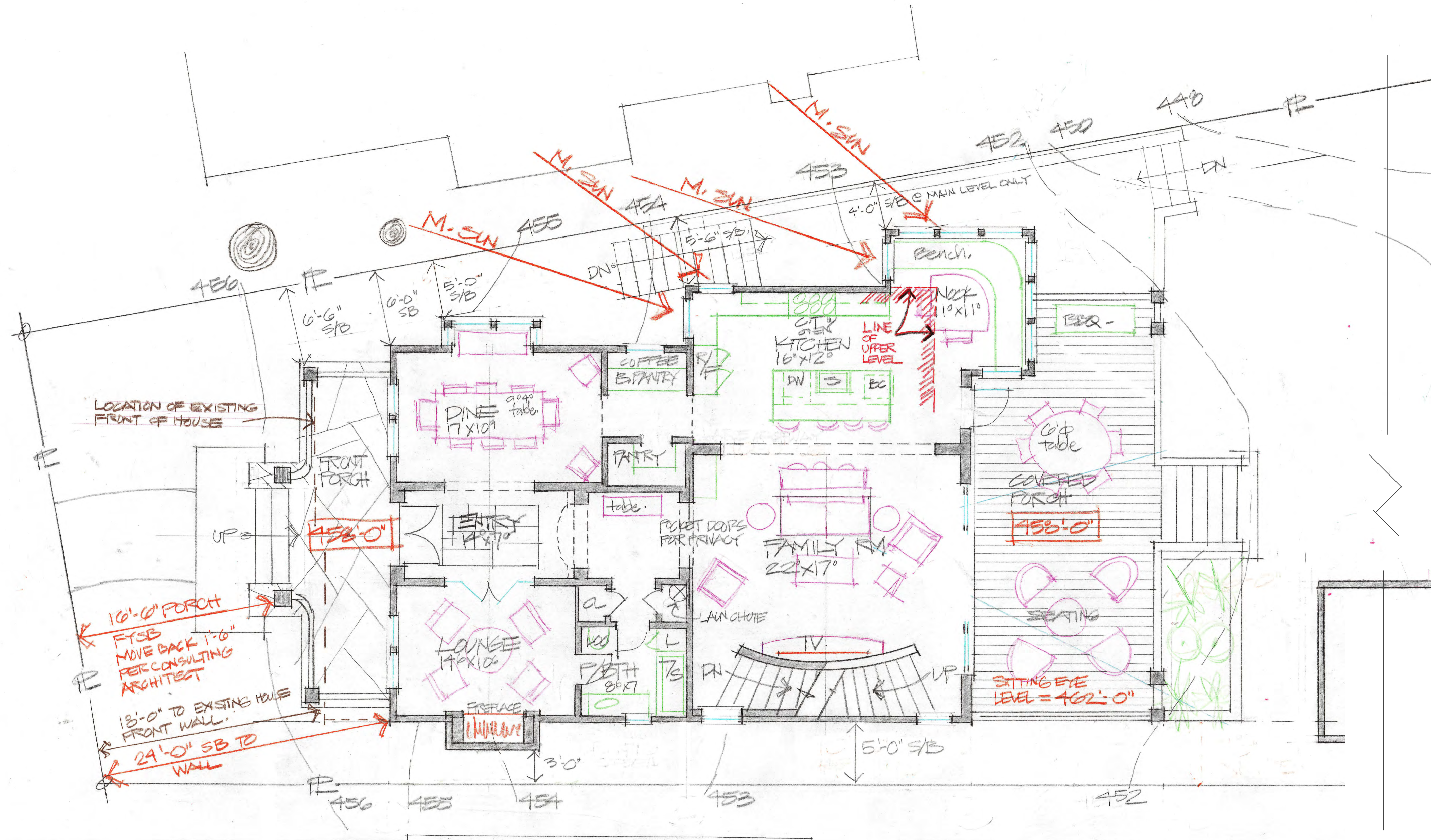
DATE: 07/18/24

TPZ ELEMENTS DRAWN:  
B. FIRESTONE  
ISA BOARD CERTIFIED  
MASTER ARBORIST  
#WE-8525B

BASE MAP: SITE PLAN C2.1  
by C2G CIVIL CONSULTANTS  
GROUP  
(06/18/2024)

ARBORIST REPORT  
pg. 21

TR-1



**MAIN FLOOR PLAN 1/4" = 1'-0"**

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**A-2**

**THORNBERRY FAMILY  
176 LOMA ALTA AVE.**

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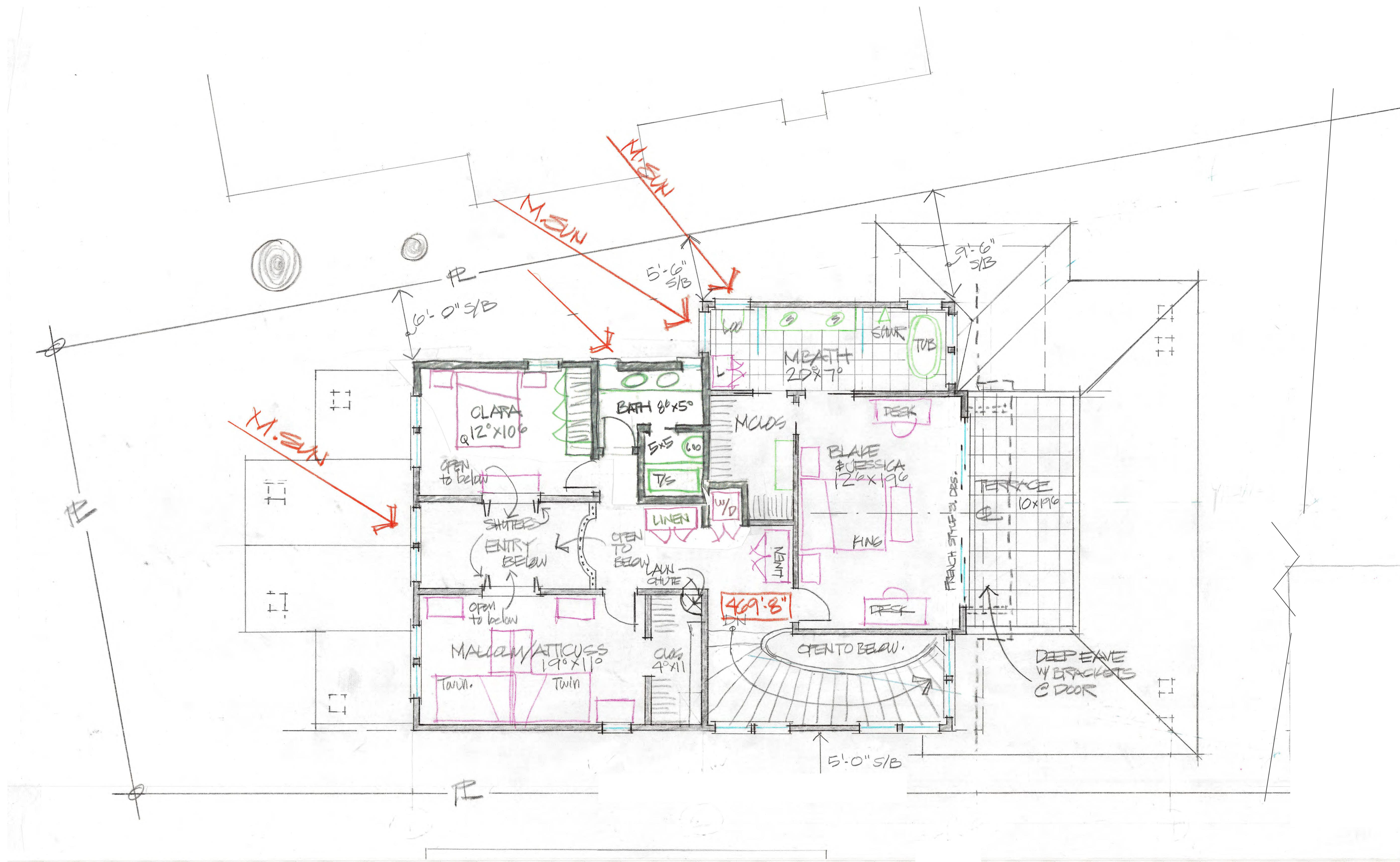
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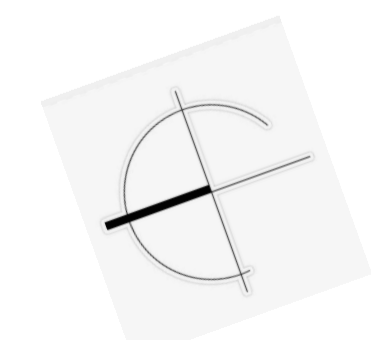
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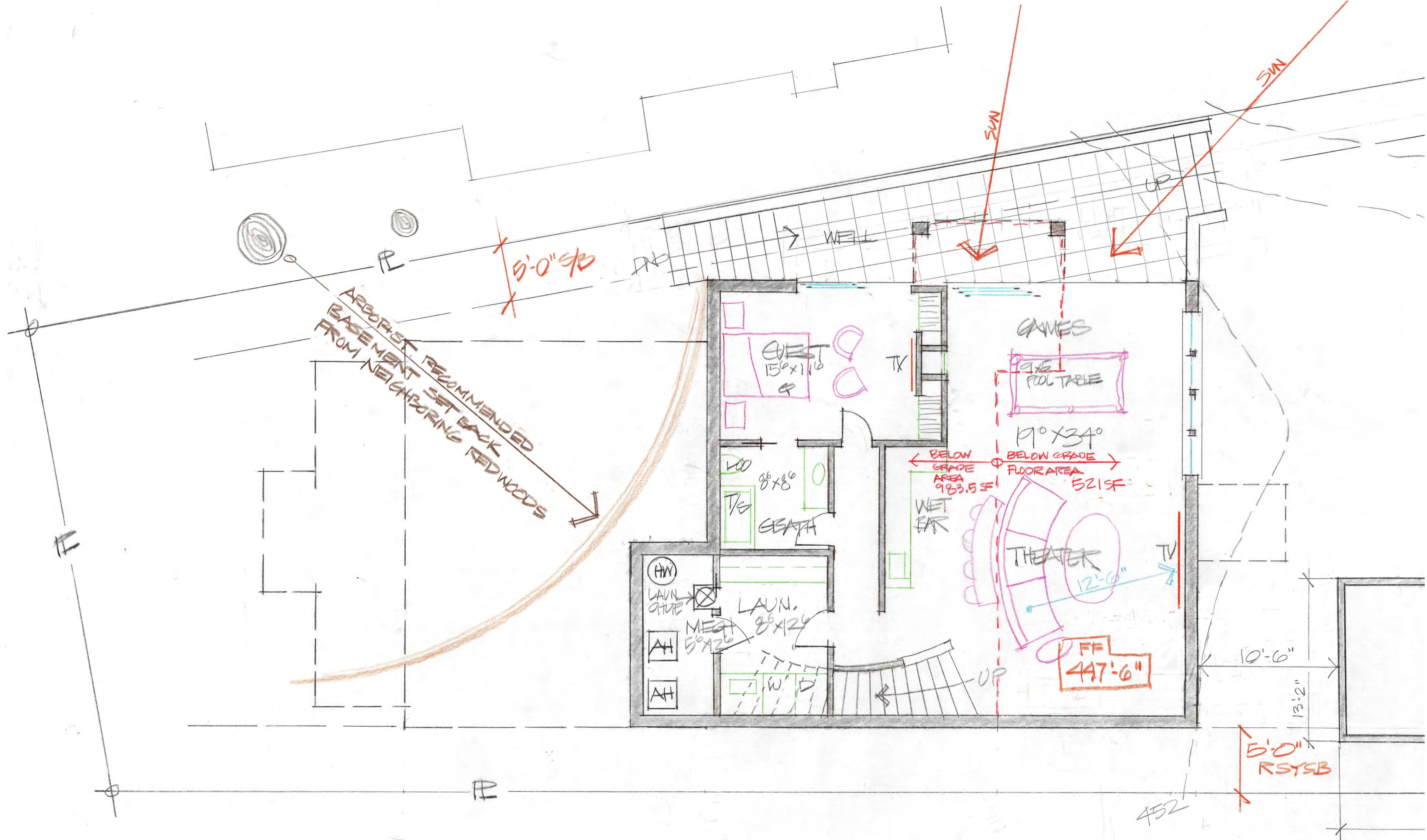
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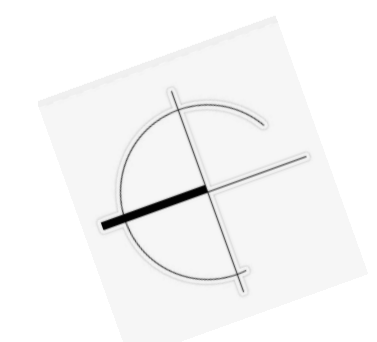


**UPPER FLOOR PLAN 1/4" = 1'-0"**





**BASEMENT FLOOR PLAN 1/4" = 1'-0"**



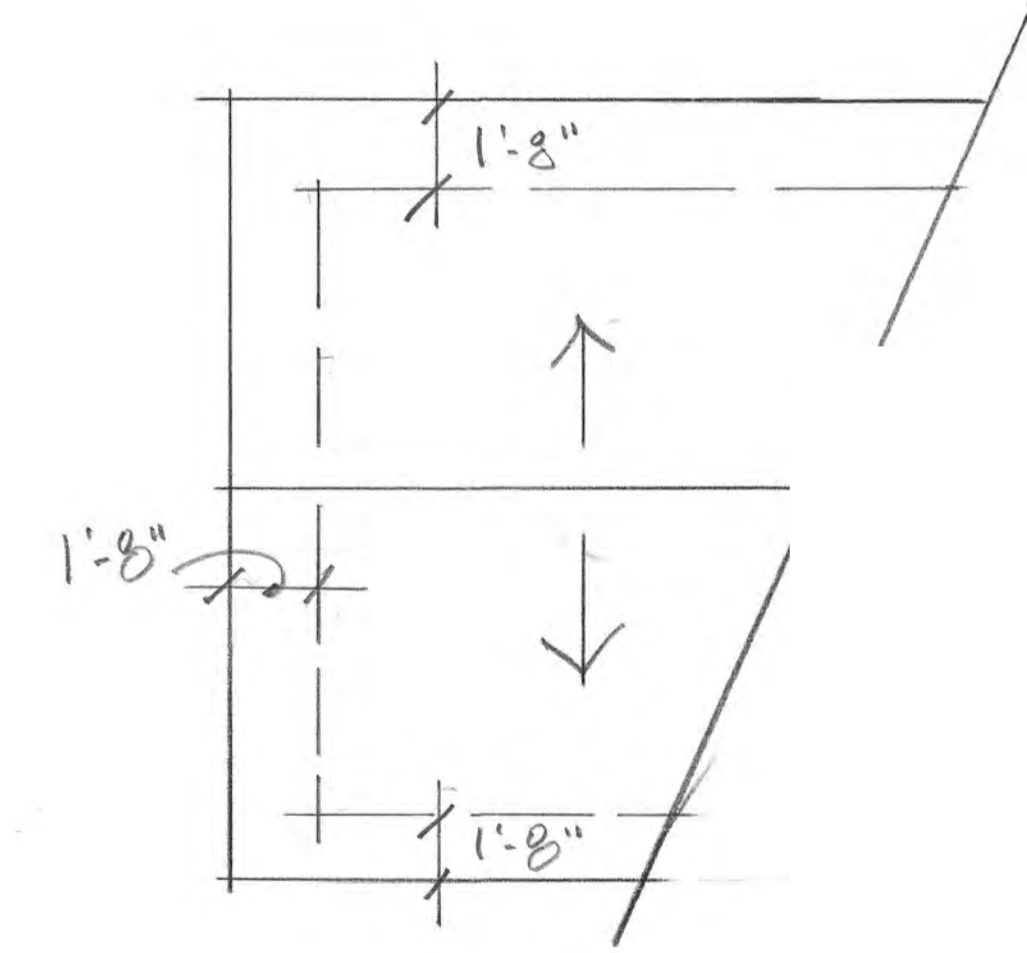
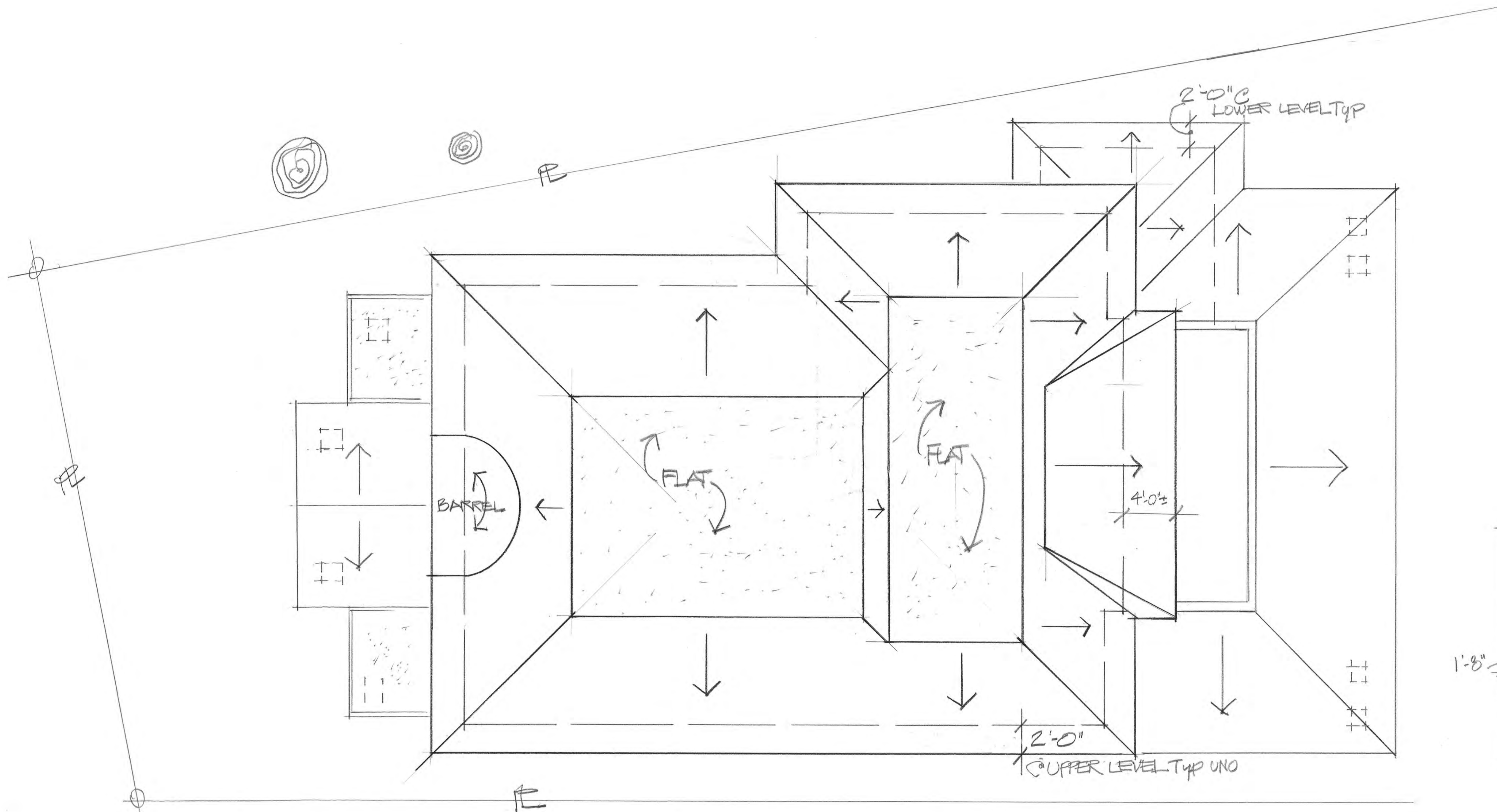
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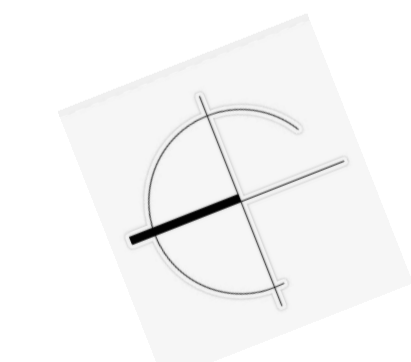
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**ROOF PLAN** 1/4" = 1'-0"



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**A-5**

1.14.25  
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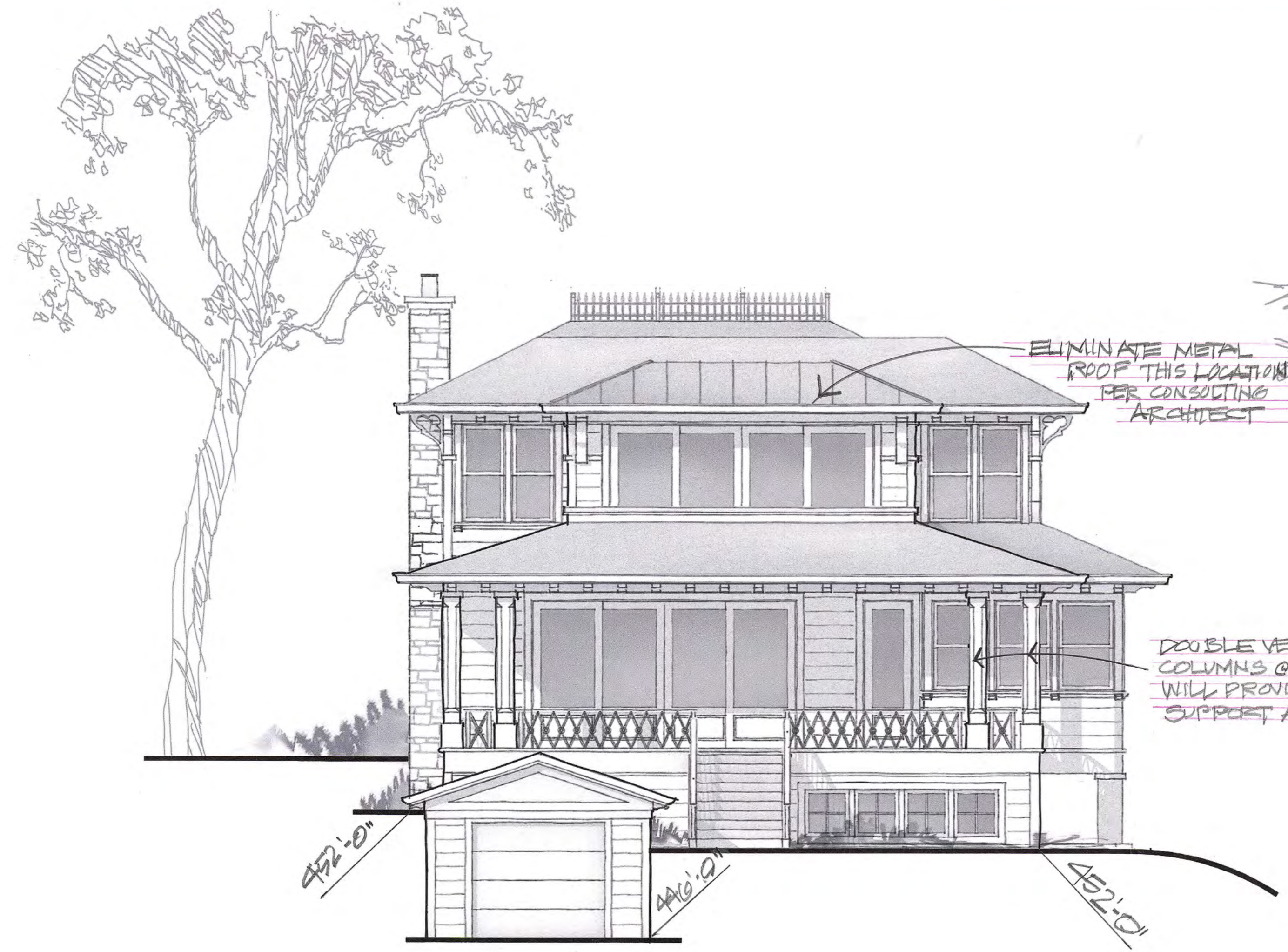
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**A-6**



### WEST/REAR ELEVATION

3/16" = 1'-0"



### EAST/FRONT ELEVATION

3/16" = 1'-0"



### SOUTH/LEFT ELEVATIONS

3/16" = 1'-0"



1.14.25  
07.09.24

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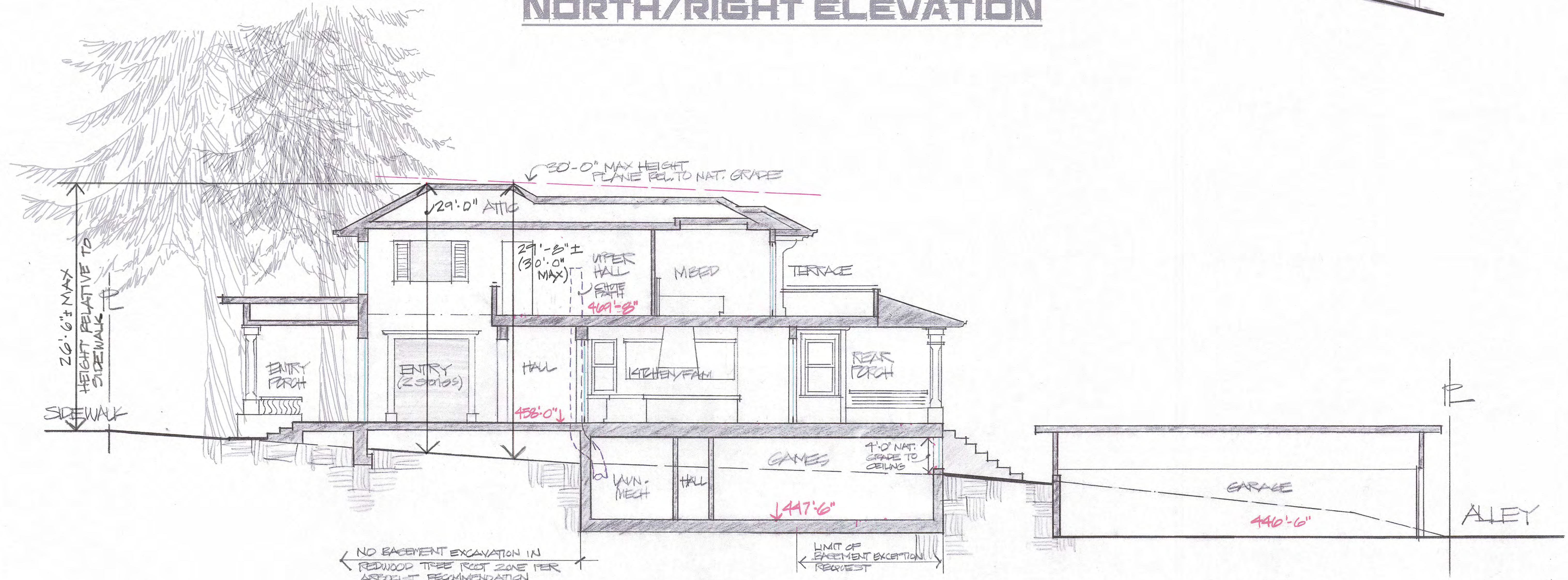
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A-7



**NORTH/RIGHT ELEVATION**



**SECTION A-A**

Print date :

09.30.24  
07.09.24

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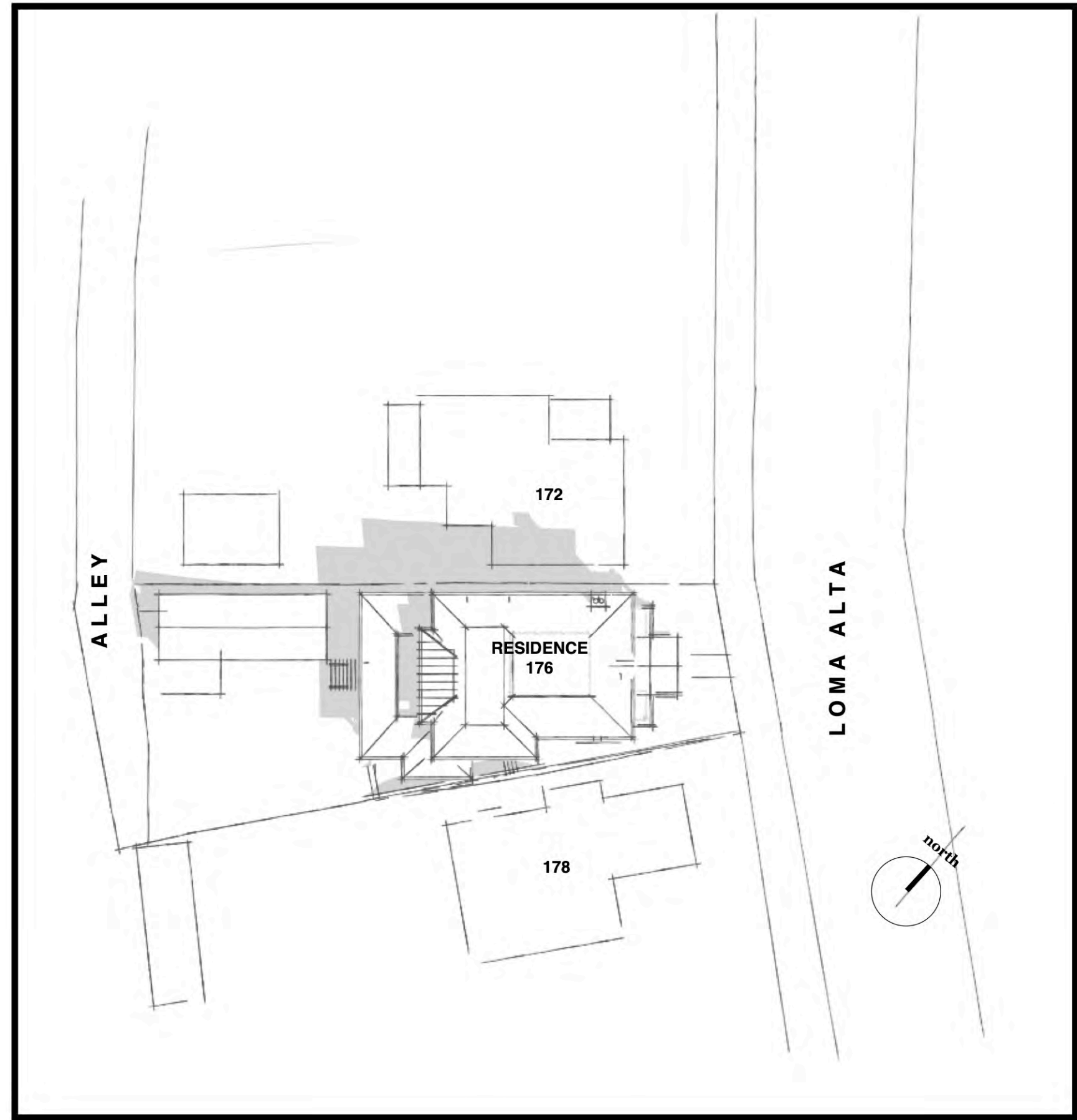
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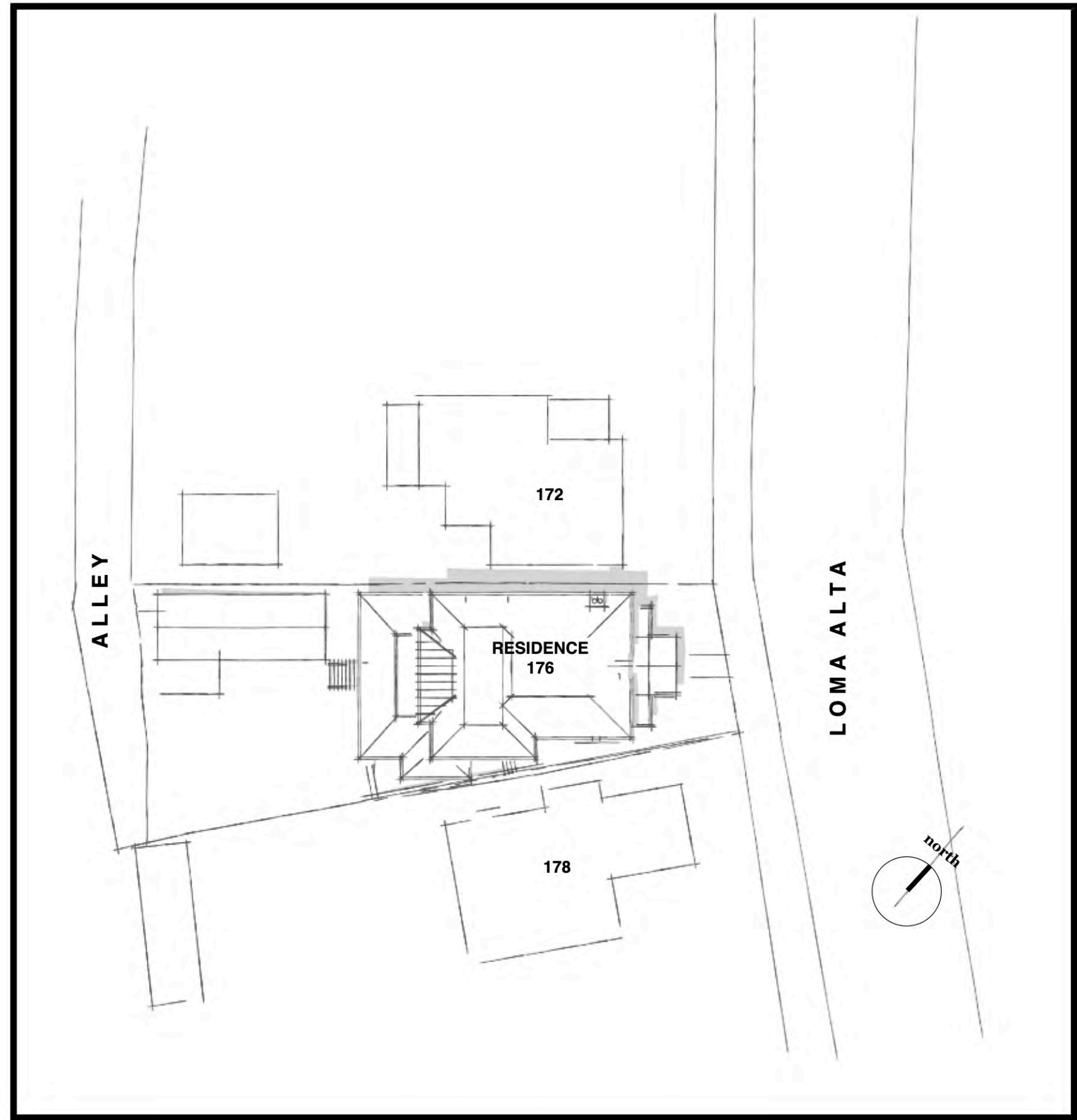
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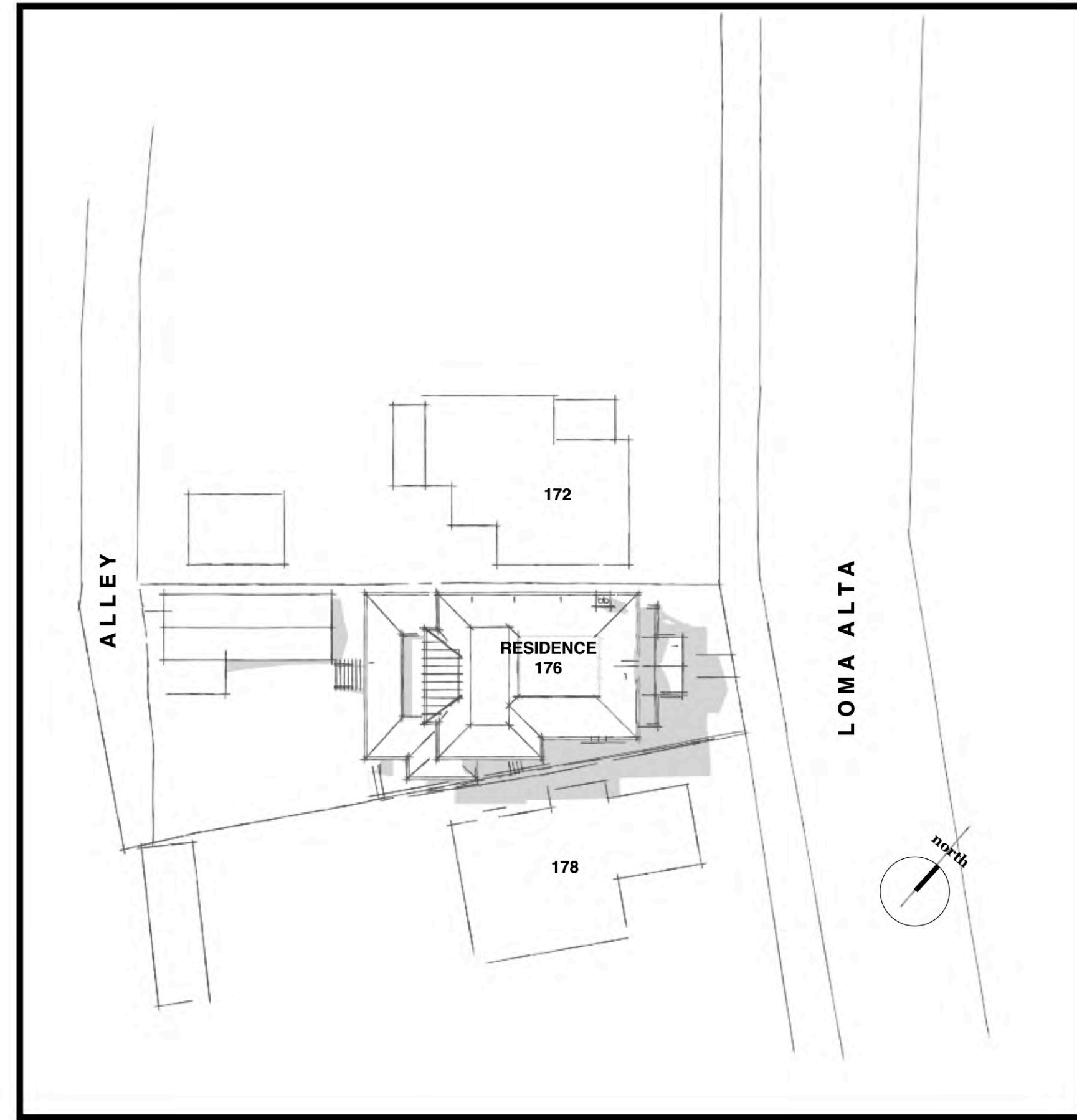
**SHW-1**



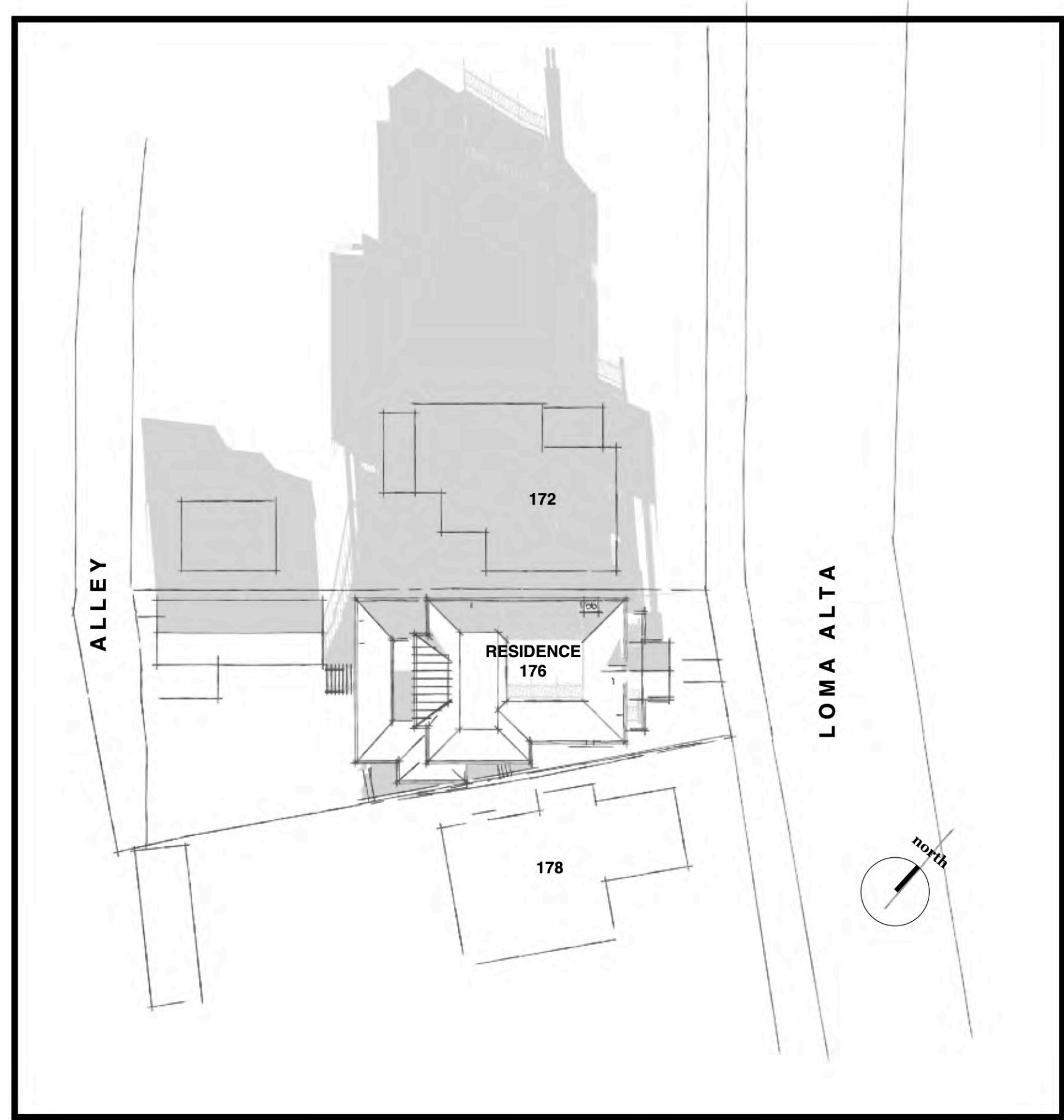
**JUNE 21 @ 9AM**



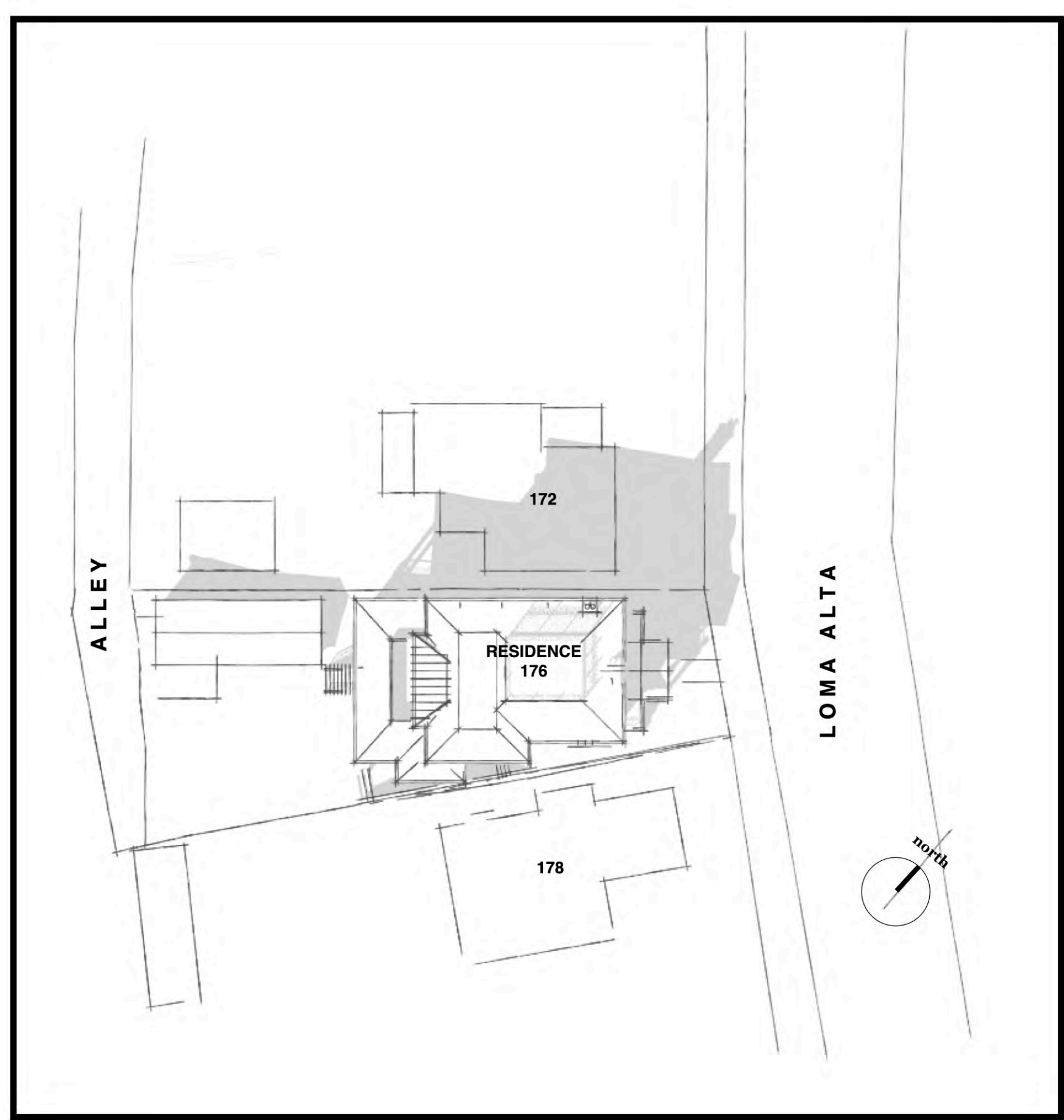
**JUNE 21 @ 12PM**



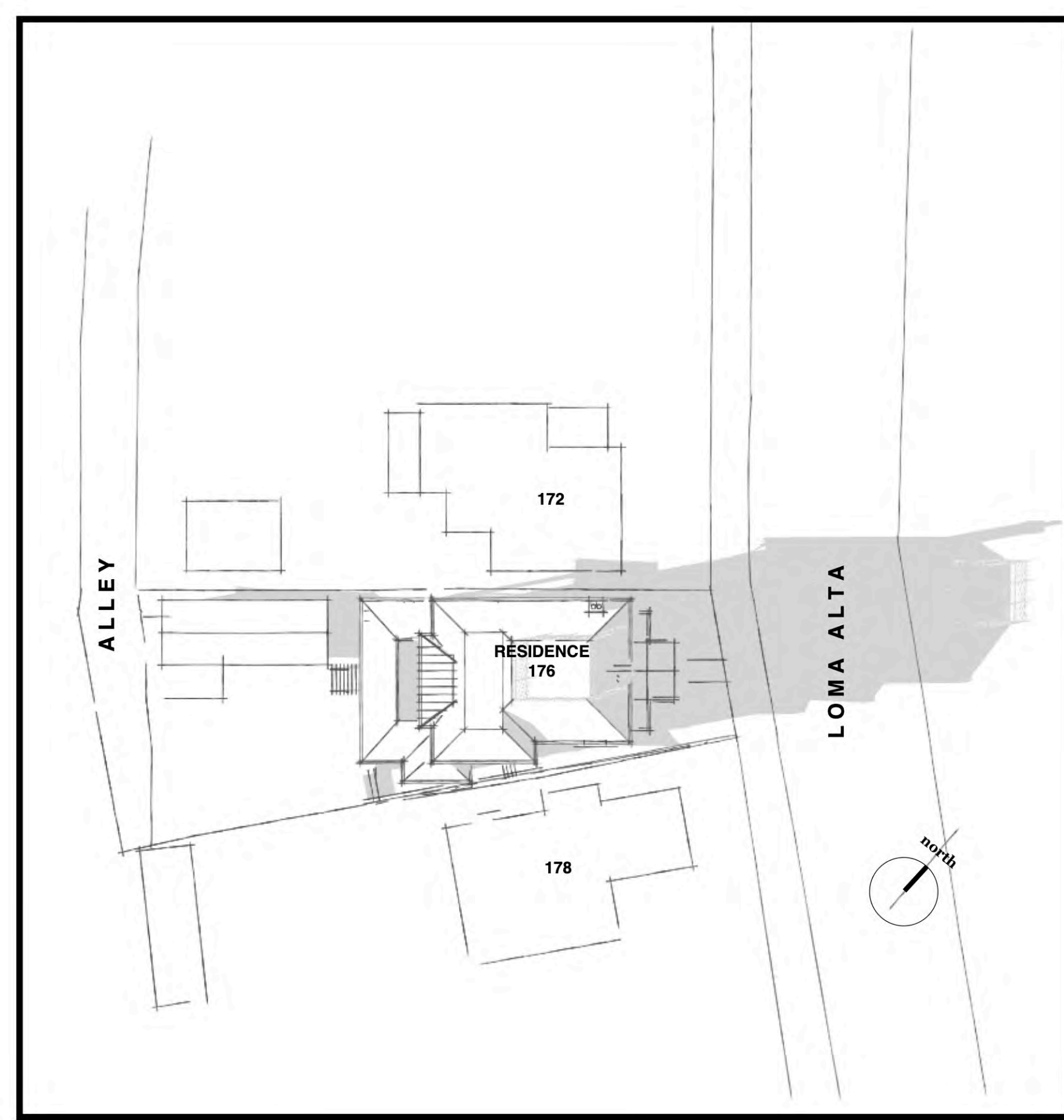
**JUNE 21 @ 3PM**



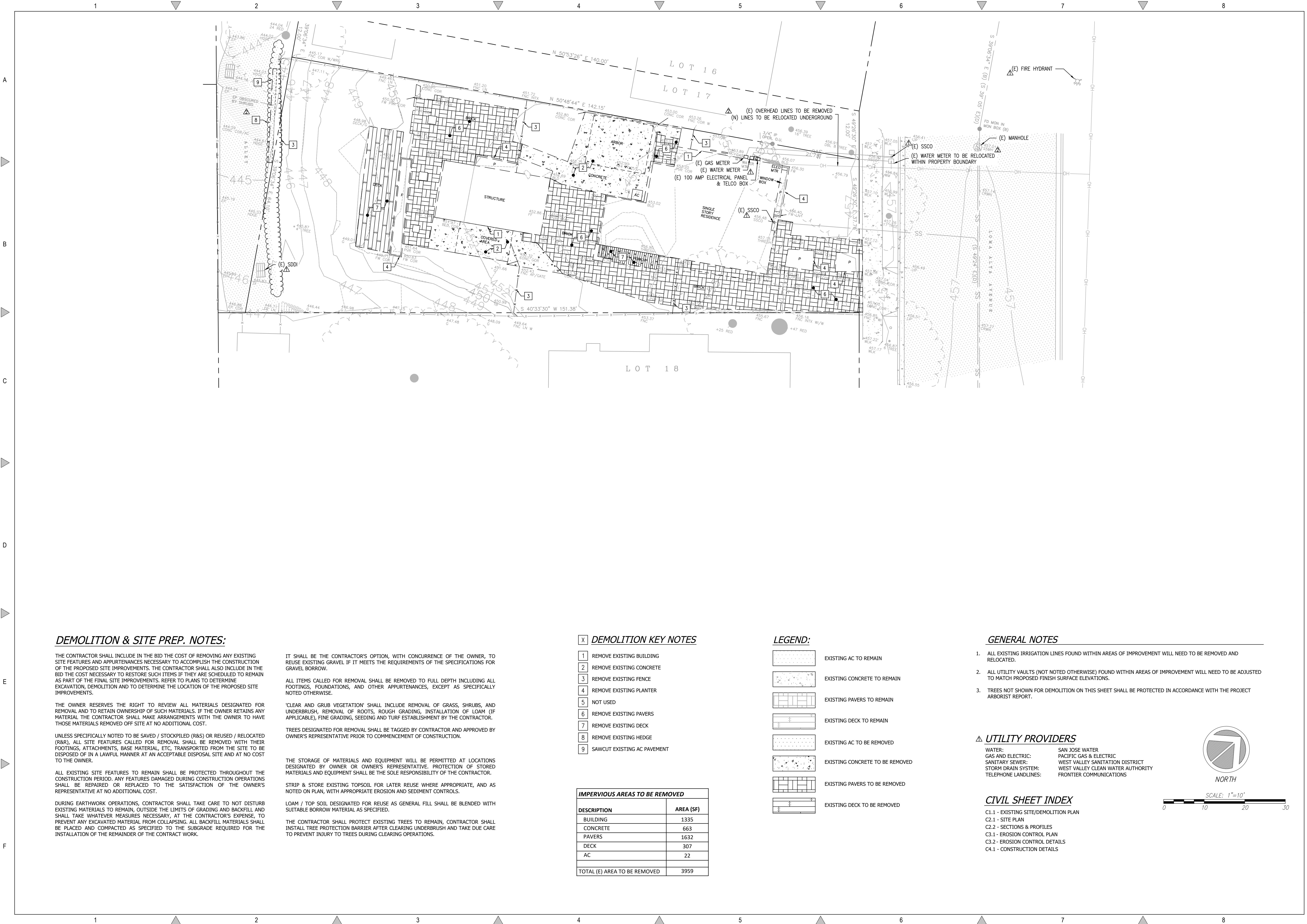
**DEC 21 @ 9AM**



**DEC 21 @ 12PM**



**DEC 21 @ 3PM**



**DEMOLITION & SITE PREP. NOTES:**

THE CONTRACTOR SHALL INCLUDE IN THE BID THE COST OF REMOVING ANY EXISTING SITE FEATURES AND APPURTENANCES NECESSARY TO ACCOMPLISH THE CONSTRUCTION OF THE PROPOSED SITE IMPROVEMENTS. THE CONTRACTOR SHALL ALSO INCLUDE IN THE BID THE COST NECESSARY TO RESTORE SUCH ITEMS IF THEY ARE SCHEDULED TO REMAIN AS PART OF THE FINAL SITE IMPROVEMENTS. REFER TO PLANS TO DETERMINE EXCAVATION, DEMOLITION AND TO DETERMINE THE LOCATION OF THE PROPOSED SITE IMPROVEMENTS.

THE OWNER RESERVES THE RIGHT TO REVIEW ALL MATERIALS DESIGNATED FOR REMOVAL AND TO RETAIN OWNERSHIP OF SUCH MATERIALS. IF THE OWNER RETAINS ANY MATERIAL THE CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE OWNER TO HAVE THOSE MATERIALS REMOVED OFF SITE AT NO ADDITIONAL COST.

UNLESS SPECIFICALLY NOTED TO BE SAVED / STOCKPILED (R&S) OR REUSED / RELOCATED (R&R), ALL SITE FEATURES CALLED FOR REMOVAL SHALL BE REMOVED WITH THEIR FOOTINGS, ATTACHMENTS, BASE MATERIAL, ETC, TRANSPORTED FROM THE SITE TO BE DISPOSED OF IN A LAWFUL MANNER AT AN ACCEPTABLE DISPOSAL SITE AND AT NO COST TO THE OWNER.

ALL EXISTING SITE FEATURES TO REMAIN SHALL BE PROTECTED THROUGHOUT THE CONSTRUCTION PERIOD. ANY FEATURES DAMAGED DURING CONSTRUCTION OPERATIONS SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AT NO ADDITIONAL COST.

DURING EARTHWORK OPERATIONS, CONTRACTOR SHALL TAKE CARE TO NOT DISTURB EXISTING MATERIALS TO REMAIN, OUTSIDE THE LIMITS OF GRADING AND BACKFILL AND SHALL TAKE WHATEVER MEASURES NECESSARY, AT THE CONTRACTOR'S EXPENSE, TO PREVENT ANY EXCAVATED MATERIAL FROM COLLAPSING. ALL BACKFILL MATERIALS SHALL BE PLACED AND COMPACTED AS SPECIFIED TO THE SUBGRADE REQUIRED FOR THE INSTALLATION OF THE REMAINDER OF THE CONTRACT WORK.

IT SHALL BE THE CONTRACTOR'S OPTION, WITH CONCURRENCE OF THE OWNER, TO REUSE EXISTING GRAVEL IF IT MEETS THE REQUIREMENTS OF THE SPECIFICATIONS FOR GRAVEL BORROW.

ALL ITEMS CALLED FOR REMOVAL SHALL BE REMOVED TO FULL DEPTH INCLUDING ALL FOOTINGS, FOUNDATIONS, AND OTHER APPURTENANCES, EXCEPT AS SPECIFICALLY NOTED OTHERWISE.

'CLEAR AND GRUB VEGETATION' SHALL INCLUDE REMOVAL OF GRASS, SHRUBS, AND UNDERBRUSH, REMOVAL OF ROOTS, ROUGH GRADING, INSTALLATION OF LOAM (IF APPLICABLE), FINE GRADING, SEEDING AND TURF ESTABLISHMENT BY THE CONTRACTOR.

TREES DESIGNATED FOR REMOVAL SHALL BE TAGGED BY CONTRACTOR AND APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE STORAGE OF MATERIALS AND EQUIPMENT WILL BE PERMITTED AT LOCATIONS DESIGNATED BY OWNER OR OWNER'S REPRESENTATIVE. PROTECTION OF STORED MATERIALS AND EQUIPMENT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

STRIP & STORE EXISTING TOPSOIL FOR LATER REUSE WHERE APPROPRIATE, AND AS NOTED ON PLAN, WITH APPROPRIATE EROSION AND SEDIMENT CONTROLS.

LOAM / TOP SOIL DESIGNATED FOR REUSE AS GENERAL FILL SHALL BE BLENDED WITH SUITABLE BORROW MATERIAL AS SPECIFIED.

THE CONTRACTOR SHALL PROTECT EXISTING TREES TO REMAIN, CONTRACTOR SHALL INSTALL TREE PROTECTION BARRIER AFTER CLEARING UNDERBRUSH AND TAKE DUE CARE TO PREVENT INJURY TO TREES DURING CLEARING OPERATIONS.

**DEMOLITION KEY NOTES**

- 1 REMOVE EXISTING BUILDING
- 2 REMOVE EXISTING CONCRETE
- 3 REMOVE EXISTING FENCE
- 4 REMOVE EXISTING PLANTER
- 5 NOT USED
- 6 REMOVE EXISTING PAVERS
- 7 REMOVE EXISTING DECK
- 8 REMOVE EXISTING HEDGE
- 9 SAWCUT EXISTING AC PAVEMENT

IMPERVIOUS AREAS TO BE REMOVED	
DESCRIPTION	AREA (SF)
BUILDING	1335
CONCRETE	663
PAVERS	1632
DECK	307
AC	22
<b>TOTAL (E) AREA TO BE REMOVED</b>	<b>3959</b>

**LEGEND:**

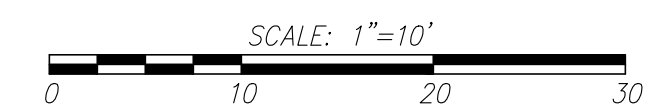
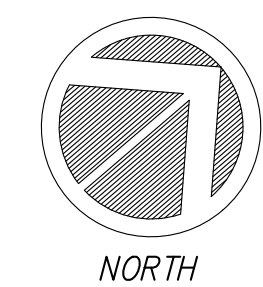
- EXISTING AC TO REMAIN
- EXISTING CONCRETE TO REMAIN
- EXISTING PAVERS TO REMAIN
- EXISTING DECK TO REMAIN
- EXISTING AC TO BE REMOVED
- EXISTING CONCRETE TO BE REMOVED
- EXISTING PAVERS TO BE REMOVED
- EXISTING DECK TO BE REMOVED

**GENERAL NOTES**

1. ALL EXISTING IRRIGATION LINES FOUND WITHIN AREAS OF IMPROVEMENT WILL NEED TO BE REMOVED AND RELOCATED.
2. ALL UTILITY VAULTS (NOT NOTED OTHERWISE) FOUND WITHIN AREAS OF IMPROVEMENT WILL NEED TO BE ADJUSTED TO MATCH PROPOSED FINISH SURFACE ELEVATIONS.
3. TREES NOT SHOWN FOR DEMOLITION ON THIS SHEET SHALL BE PROTECTED IN ACCORDANCE WITH THE PROJECT ARBORIST REPORT.

**UTILITY PROVIDERS**

WATER: SAN JOSE WATER  
 GAS AND ELECTRIC: PACIFIC GAS & ELECTRIC  
 SANITARY SEWER: WEST VALLEY SANITATION DISTRICT  
 STORM DRAIN SYSTEM: WEST VALLEY CLEAN WATER AUTHORITY  
 TELEPHONE LANDLINES: FRONTIER COMMUNICATIONS

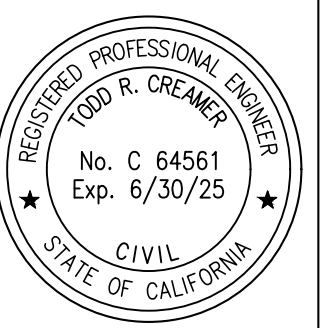


**CIVIL SHEET INDEX**

- C1.1 - EXISTING SITE/DEMOLITION PLAN
- C2.1 - SITE PLAN
- C2.2 - SECTIONS & PROFILES
- C3.1 - EROSION CONTROL PLAN
- C3.2 - EROSION CONTROL DETAILS
- C4.1 - CONSTRUCTION DETAILS

REVISIONS	BY
PLAN CHECK RESPONSE 09.27.24	RK
PLAN CHECK RESPONSE 10.31.24	RK

**EXISTING SITE AND DEMOLITION PLAN**

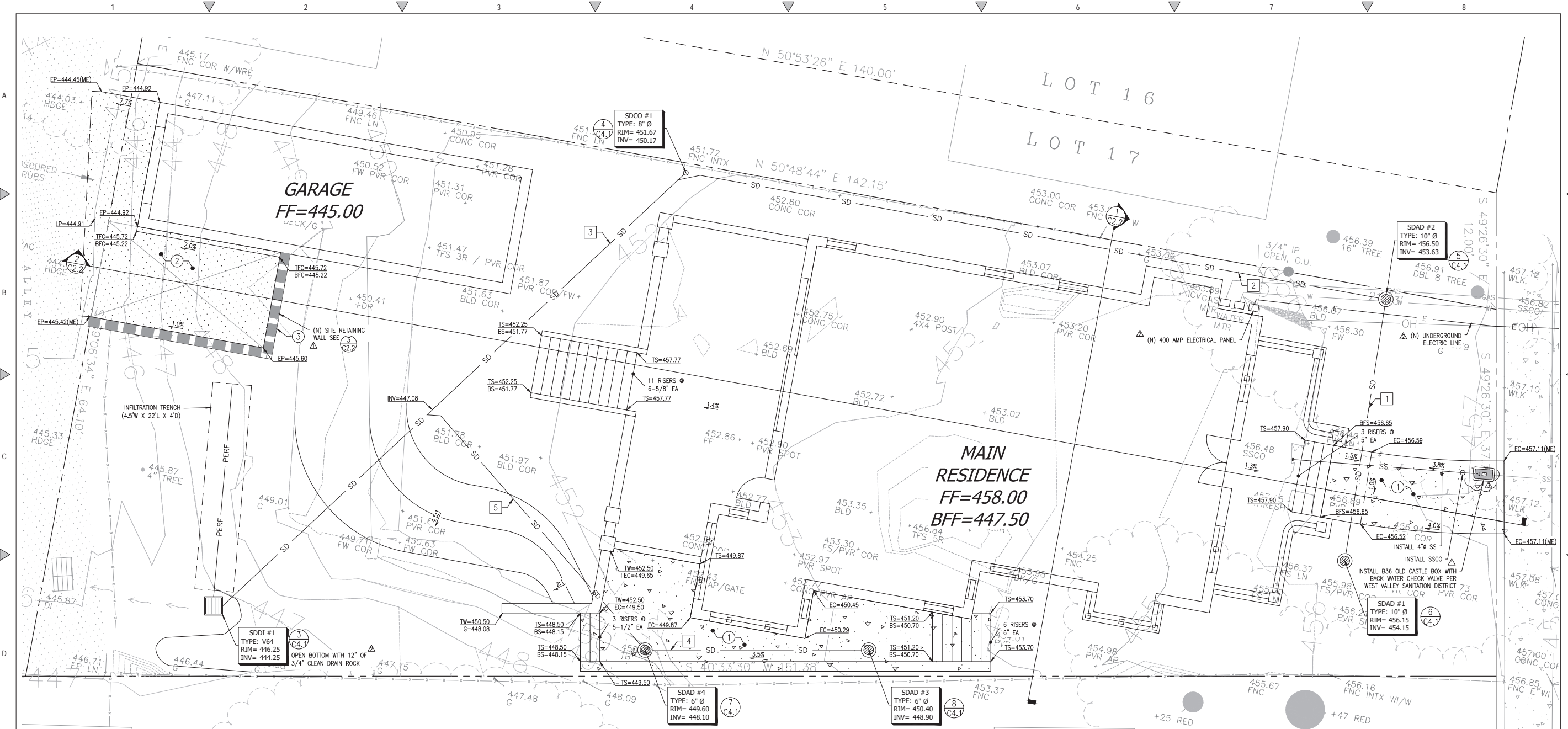


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**THORNBERRY RESIDENCE**  
**176 LOMA ALTA AVENUE, LOS GATOS**  
**APN: 532-38-031**

Date:	06.18.2024
Scale:	1" = 10'
Drawn:	DD/RK
Job:	9060.01
Sheet:	C1.1
Of 6 Sheets	

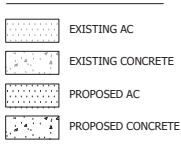
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 Last Saved: Mon Dec 09, 2024 - 10:24am  
 Last Printed: Mon Dec 09, 2024 - 11:02am  
 By: Rikard/Mermy



**GENERAL GRADING NOTES:**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE PROJECT'S GEOTECHNICAL REPORT.
- ALL AREAS TO RECEIVE FILL SHALL BE STRIPPED TO A DEPTH TO BE DETERMINED BY THE GEOTECHNICAL ENGINEER. ANY (E) A.C. OR P.C.C. PAVING SHALL BE SCARIFIED & REMOVED & SUBGRADE PREPARED & COMPACTED AS SHOWN IN THESE PLANS.
- ALL MATERIAL TO BE USED AS FILL WITHIN BUILDING PAD AREAS & PARKING OR DRIVEWAY AREAS TO BE FREE OF ALL VEGETATION & FOREIGN MATTER AND SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER.
- ALL BUILDING PADS TO BE COMPACTED TO 90% RELATIVE COMPACTION; DRIVEWAY & STREET AREAS TO BE COMPACTED TO 95% RELATIVE COMPACTION PER ASTM D1557 MOST RECENT EDITION.
- BUILDING PAD TO BE LEVEL SIDE-TO-SIDE, FRONT-TO-REAR, UNLESS OTHERWISE SHOWN.
- STRIPPINGS MAY BE PLACED IN PLANTING AREAS; ALL EXCESS STRIPPING SHALL BE HAULED OFF. PAVING DEBRIS SHALL BE HAULED OFF TO AN APPROVED DISPOSAL SITE.
- ALL WORK SHOWN OR NOTED IN THESE PLANS SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER, ALL LOCAL, STATE AND FEDERAL MINIMUM STANDARDS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE.
- CONTRACTOR SHALL PROTECT ALL EXISTING SITE IMPROVEMENTS NOT IDENTIFIED FOR REMOVAL DURING CONSTRUCTION. CONTRACTOR SHALL REPAIR ANY DAMAGE TO AS-NEW CONDITION AT THEIR SOLE EXPENSE.
- CONTRACTOR SHALL VERIFY ALL EXISTING SITE CONDITIONS, SITE DIMENSIONS AND GRADES PRIOR TO THE START OF CONSTRUCTION.
- ALL GRADING AND RELATED WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD REQUIREMENTS OF THE TOWN OF LOS GATOS.
- GRADING SLOPES FOR BOTH CUT AND FILL SHALL NOT EXCEED 2(H):1(V) UNDER 5-FEET IN HEIGHT. GRADING SLOPES GREATER THAN 5-FEET IN HEIGHT SHALL NOT EXCEED 3(H):1(V), UNLESS OTHERWISE DIRECTED BY THE GEOTECHNICAL ENGINEER.
- ALL SOFTSCAPE GRADES ADJACENT TO (N) BUILDINGS SHALL BE 8" (MIN.) BELOW FINISH FLOOR.
- CONTRACTOR SHALL GRADE TO ENSURE DRAINAGE FLOWS AWAY FROM (N) BUILDINGS.
- ALL EXCESS EARTHWORK SHALL BE PLACED ON SITE AT AN APPROVED LOCATION.

**PAVING LEGEND**



NEW IMPERVIOUS AREAS	
DESCRIPTION	AREA (SF)
BUILDING	3161
CONCRETE	366
AC	279
STAIR/PATIO	185
TOTAL (N) IMPERVIOUS AREA	3991
EXISTING IMPERVIOUS AREA TBR	3959
NET INCREASE OF IMPERVIOUS AREA	32
<b>TOTAL AREA OF DISTURBANCE</b>	<b>6071.82 SF</b>

**GENERAL UTILITY NOTES**

- NO CHANGE TO THE PLANS SHALL BE PERMITTED WITHOUT PRIOR WRITTEN APPROVAL BY THE OWNER OR OWNERS REPRESENTATIVES AND THE CITY OF CAPITOLA.
- CONTRACTOR SHALL VERIFY LOCATIONS, ELEVATIONS AND INVERTS OF EXISTING UTILITY PRIOR TO COMMENCEMENT OF WORK AND SHALL NOTIFY OWNER OR OWNERS REPRESENTATIVES OF VARIANCE FROM THOSE SHOWN ON THE PLANS.
- UNDERGROUND FACILITIES AND UTILITIES HAVE BEEN SHOWN BASED ON RECORD DRAWINGS AND VISIBLE EVIDENCE FOUND IN FIELD. NO WARRANTY IS MADE REGARDING THE COMPLETENESS OR ACCURACY OF SUCH INFORMATION. PRIOR TO CONSTRUCTION, DETERMINE THE EXACT LOCATION OF UNDERGROUND FACILITIES AND UTILITIES, AND PRESERVE SAME FROM DAMAGE. PRIOR TO CONSTRUCTION, VERIFY LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AT THE CROSSING POINTS WITH PROPOSED UTILITIES. THE CONTRACTOR SHALL NOTIFY THE OWNER OR OWNERS REPRESENTATIVES IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE DRAWINGS AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITION HAS BEEN EVALUATED. CONTACT UNDERGROUND SERVICES ALERT (USA) (1-800-227-2600) TWO (2) WORKING DAYS PRIOR TO DIGGING. REPAIR UNDERGROUND UTILITIES DAMAGED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES ASSOCIATED WITH CONTRACTOR'S FAILURE TO EXACTLY LOCATED AND PRESERVE UNDERGROUND FACILITIES AND UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE APPROPRIATE UTILITY COMPANIES AND/OR AGENCIES TO VERIFY THE EXISTENCE AND/OR LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF WORK. AND SHALL NOTIFY U.S.A. @ (800) 227-2600 AT LEAST 48-HOURS IN ADVANCE OF EXCAVATION.
- IF ANY INDICATIONS OF ARCHEOLOGICAL REMAINS ARE ENCOUNTERED DURING GRADING ACTIVITIES FOR ANY DEVELOPMENT WITHIN THE PROJECT SITE, ALL WORK SHALL BE HALTED WITHIN 200 FOOT RADIUS OF THE FIND. OWNER SHALL RETAIN A QUALIFIED ARCHEOLOGIST RETAINED TO DETERMINE THE NATURE OF THE DISCOVERY AND RECOMMEND APPROPRIATE EVALUATION PROCEDURES.

**BASEMENT & GARAGE EXCAVATION**

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL, AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
BASEMENT	302	0	302(C)	10.1	0
GARAGE	95	0	95(C)	7.3	0
TOTAL	397	0	397(C)		

**NET VOLUME = 397 CU.YDS. OF CUT**

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

**SITE GRADING QUANTITIES**

NOTE: THE EARTHWORK QUANTITIES SHOWN HEREON ARE EXCLUSIVE OF WALL FOOTINGS, EXISTING PAVEMENT REMOVAL, AND OVER EXCAVATION AND RECOMPACTION, UTILITY TRENCH SPOILS & SOIL EXPANSION AND CONTRACTION FACTORS.

DESCRIPTION	CUT (cu.yds)	FILL (cu.yds)	NET (cu.yds)	MAX CUT (ft) HEIGHT	MAX FILL (ft) HEIGHT
DWWY/YARD/GROTTO & LIGHT WELL	47	2	49(C)	4.3	1.6

**NET VOLUME = 49 CU.YDS. OF CUT**

THE ABOVE QUANTITIES ARE FOR INFORMATION PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE NECESSARY CUT AND FILL TO ACCOMPLISH FINISH GRADE SHOWN ON THESE PLANS.

**IMPROVEMENT NOTES**

- (X) CONCRETE SIDEWALK SECTION PER DETAIL 1, SHEET C4.1
- (1) VEHICULAR CONCRETE SECTION PER DETAIL 2, SHEET C4.1
- (3) RETAINING WALL PER DETAIL 3, SHEET C2.2

**STORM DRAIN PIPE DATA**

- 1 26 LF OF 6" PVC SDR-35 PIPE @ 2.0% SLOPE
- 2 72 LF OF 6" PVC SDR-35 PIPE @ 4.8% SLOPE
- 3 68 LF OF 6" PVC SDR-35 PIPE @ 8.7% SLOPE
- 4 22 LF OF 6" PVC SDR-35 PIPE @ 3.7% SLOPE
- 5 33 LF OF 6" PVC SDR-35 PIPE @ 3.0% SLOPE



REVISIONS	BY
PLAN CHECK RESPONSE 09.27.24	RK
PLAN CHECK RESPONSE 10.31.24	RK
PLAN CHECK RESPONSE 12.09.24	RK

**SITE IMPROVEMENTS PLAN**



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 4445 Loma Alta Avenue, Suite 6  
 San Jose, CA 95128  
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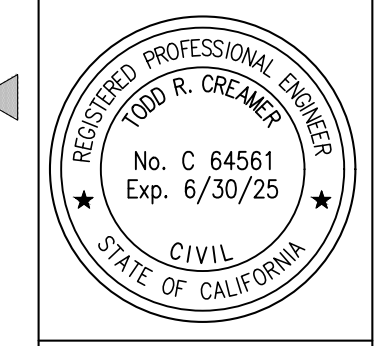
**THORNBERRY RESIDENCE**  
**176 LOMA ALTA AVENUE, LOS GATOS**  
**APN: 532-38-031**

Date: 06.18.2024  
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 Of 6 Sheets

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PLAN CHECK RESPONSE 09.27.24	RK

SECTIONS AND PROFILES

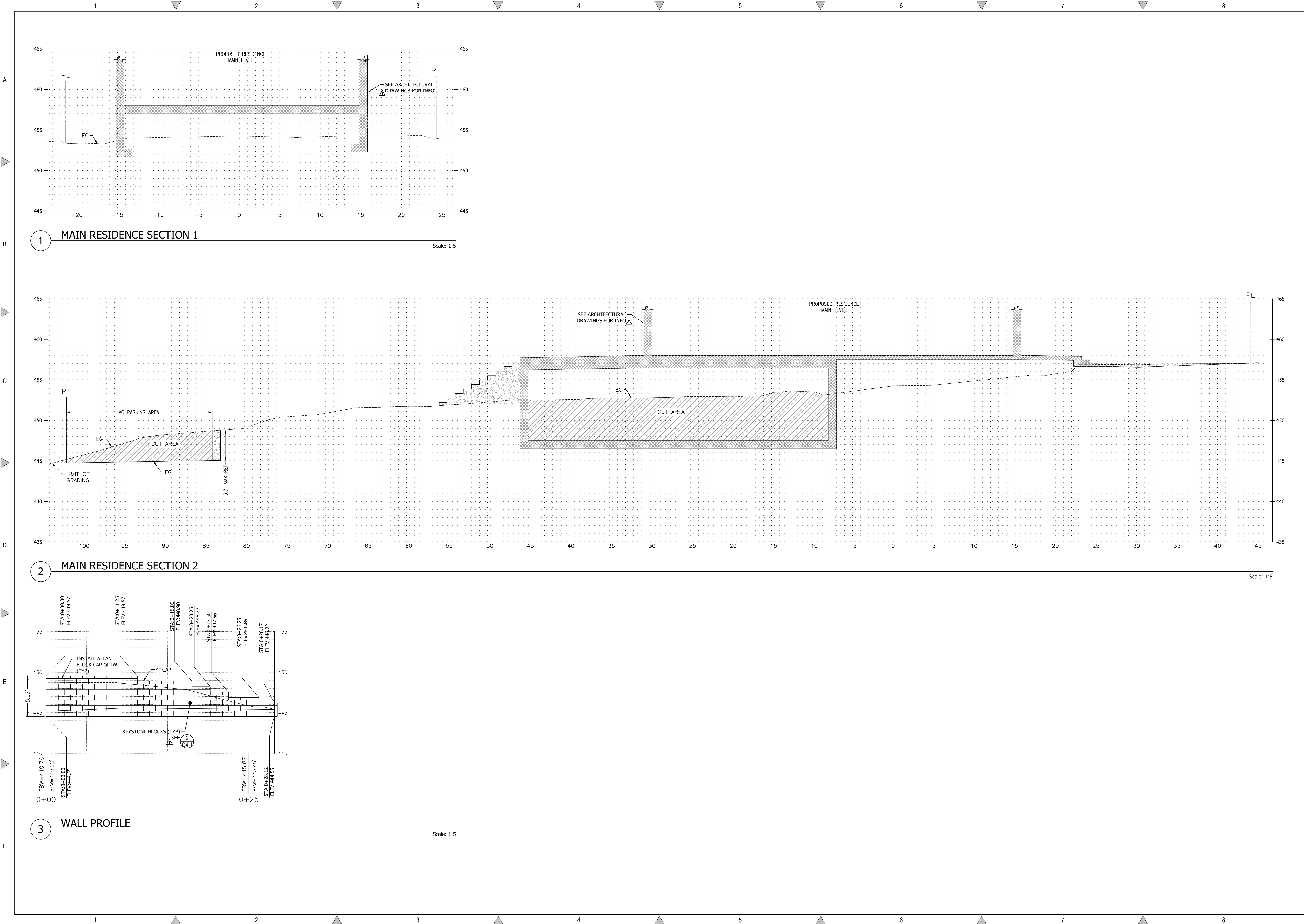


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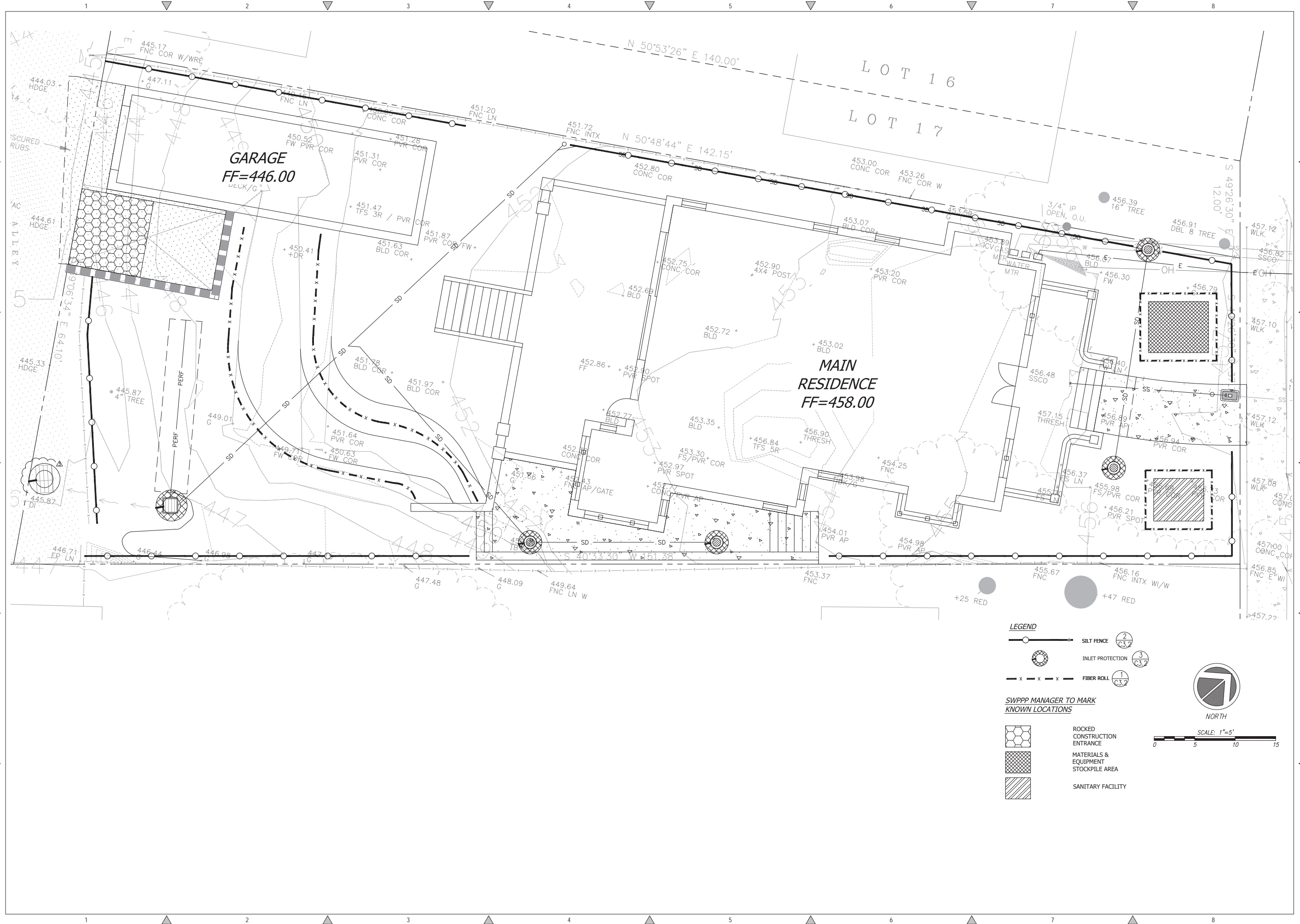
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**1** MAIN RESIDENCE SECTION 1  
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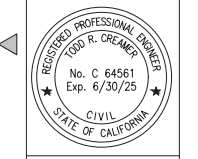
**2** MAIN RESIDENCE SECTION 2  
Scale: 1:5

**3** WALL PROFILE  
Scale: 1:5



REVISIONS	BY
PLAN CHECK RESPONSE 12.09.24	RK

**EROSION CONTROL  
PLAN**

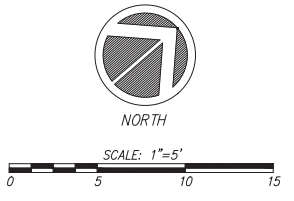


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Scale:	1" = 5'
Drawn:	DD/RK
Job:	9060.01
Sheet:	<b>C3.1</b>
Of	6 Sheets

- LEGEND**
- SILT FENCE (2/C3.2)
  - INLET PROTECTION (3/C3.2)
  - FIBER ROLL (1/C3.2)
- SWPPP MANAGER TO MARK KNOWN LOCATIONS**
- ROCKED CONSTRUCTION ENTRANCE
  - MATERIALS & EQUIPMENT STOCKPILE AREA
  - SANITARY FACILITY



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 User: tkennedy  
 Last Printed: Mon Dec 09, 2024 - 11:25am

- NOTE:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED AT AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
  - SILT FENCE SHALL BE REPLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

**CONSTRUCTION SPECIFICATIONS**

THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES. STORAGE HEIGHT SHALL NEVER EXCEED 18". THE FENCE LINE SHALL FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE.

IF POSSIBLE, THE FILTER FABRIC SHALL BE CUT FROM A CONTINUOUS ROLL TO AVOID THE USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP AND BOTH ENDS SECURELY FASTENED TO THE POST.

POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 12 INCHES). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET. TURN THE ENDS OF THE FENCE UPHILL.

A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES WIDE AND 6 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.

WHEN STANDARD-STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH LONG. TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES AND SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE.

THE STANDARD-STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 6 INCHES OF THE FABRIC SHALL EXTEND INTO THE TRENCH. FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.

WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING ARE USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS.

THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE TOE OF THE FILTER FABRIC.

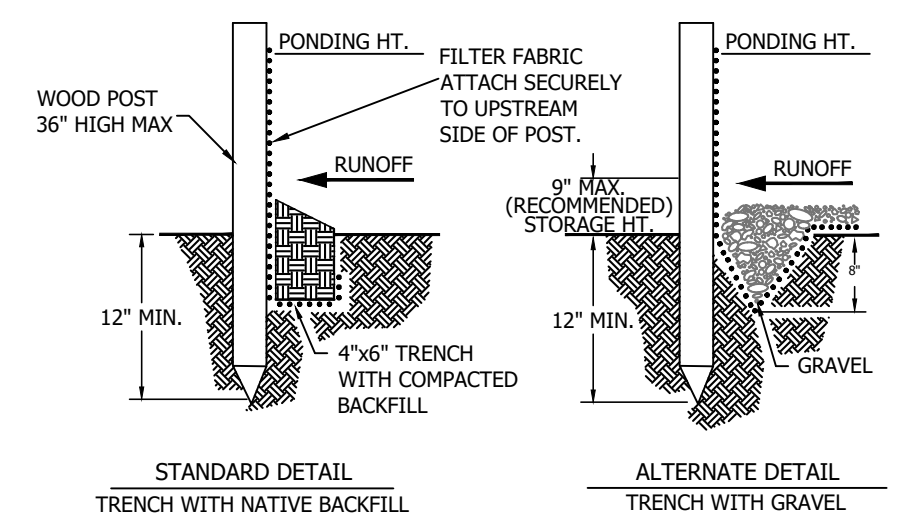
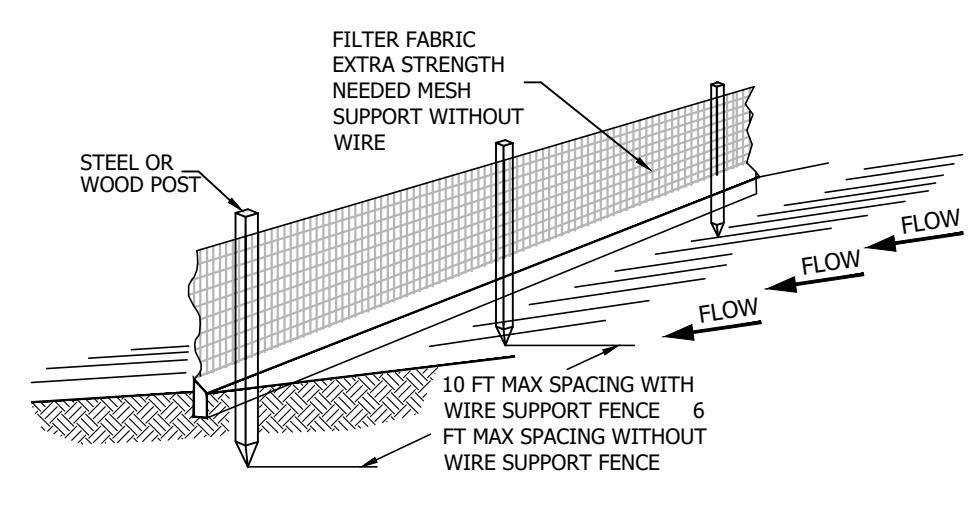
SILT FENCES PLACED AT THE TOE OF A SLOPE SHALL BE SET AT LEAST 6 FEET FROM THE TOE IN ORDER TO INCREASE PONDING VOLUME.

SILT FENCES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFUL PURPOSE, BUT NOT BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED, AND ANY SEDIMENT STORED BEHIND THE SILT FENCE HAS BEEN REMOVED.

**INSPECTION AND MAINTENANCE**

SILT FENCES AND FILTER BARRIERS SHALL BE INSPECTED WEEKLY AND AFTER EACH SIGNIFICANT STORM (1" IN 24 HR.). ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/3 HEIGHT OF THE FENCE OR 9 INCHES MAXIMUM.

THE REMOVED SEDIMENT SHALL VEGETATE OR OTHERWISE STABILIZED.

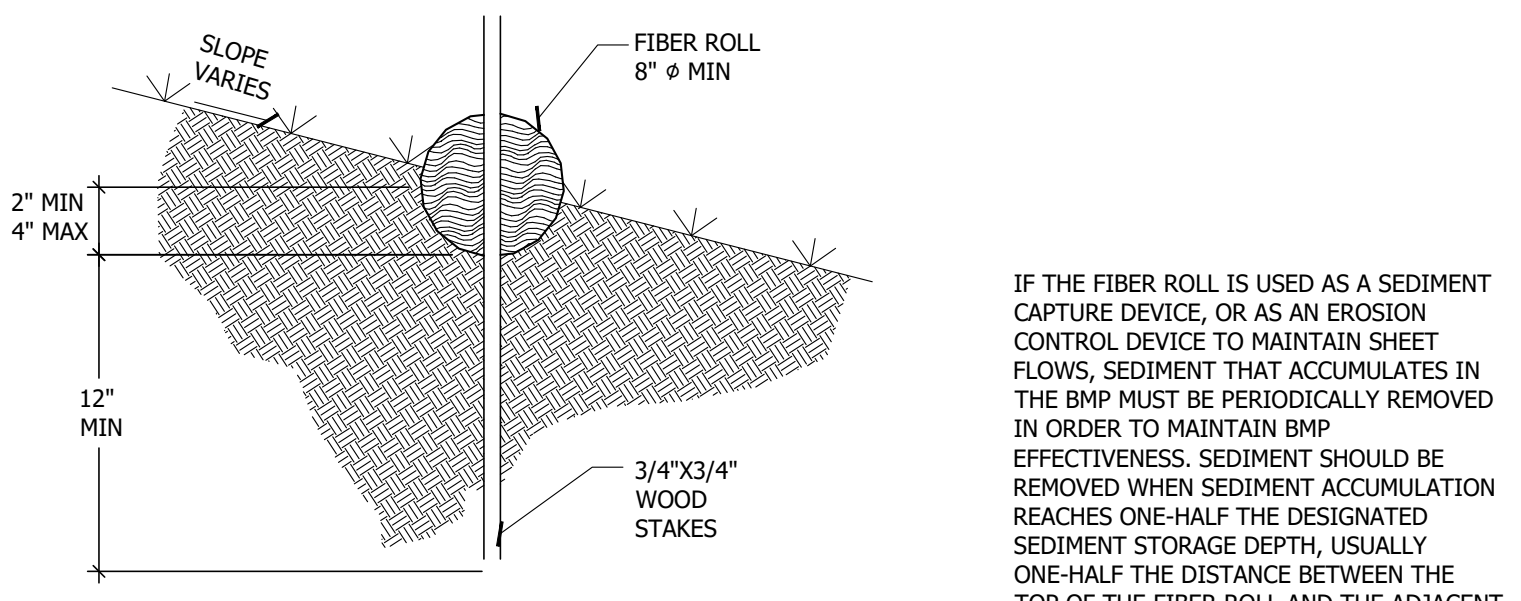


**2 SILT FENCE** Scale: NTS

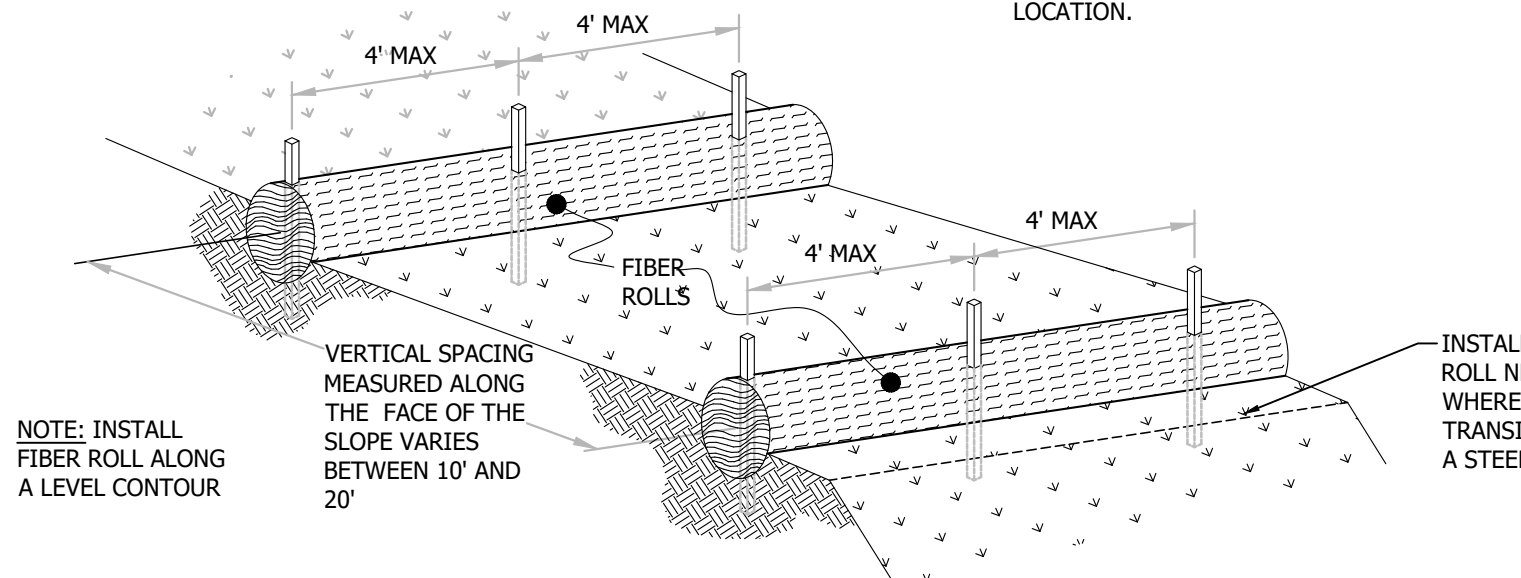
**CONSTRUCTION SPECIFICATIONS**

LOCATE FIBER ROLLS ON LEVEL CONTOURS SPACED AS FOLLOWS:

- SLOPE INCLINATION OF 4 :1 (H:V) OR FLATTER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 20 FT.
- SLOPE INCLINATION BETWEEN 4:1 AND 2:1 (H:V) FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 15 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- SLOPE INCLINATION OF 2:1 (H:V) OR GREATER: FIBER ROLLS SHOULD BE PLACED AT A MAXIMUM INTERVAL OF 10 FT. (A CLOSER SPACING IS MORE EFFECTIVE).
- TURN THE ENDS OF THE FIBER ROLL UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND THE ROLL. STAKE FIBER ROLLS INTO A 2 TO 4 IN. DEEP TRENCH WITH A WIDTH EQUAL TO THE DIAMETER OF THE FIBER ROLL.
- DRIVE STAKES AT THE END OF EACH FIBER ROLL AND SPACED 4 FT MAXIMUM ON CENTER.
- USE WOOD STAKES WITH A NOMINAL CLASSIFICATION OF 0.75 BY 0.75 IN. AND A MINIMUM LENGTH OF 24 IN.
- IF MORE THAN ONE FIBER ROLL IS PLACED IN A ROW, THE ROLLS SHOULD BE OVERLAPPED, NOT ABUTTED. REPAIR OR REPLACE SPLIT, TORN, UNRAVELING OR SLUMPING FIBER ROLLS.



IF THE FIBER ROLL IS USED AS A SEDIMENT CAPTURE DEVICE, OR AS AN EROSION CONTROL DEVICE TO MAINTAIN SHEET FLOWS, SEDIMENT THAT ACCUMULATES IN THE BMP MUST BE PERIODICALLY REMOVED IN ORDER TO MAINTAIN BMP EFFECTIVENESS. SEDIMENT SHOULD BE REMOVED WHEN SEDIMENT ACCUMULATION REACHES ONE-HALF THE DESIGNATED SEDIMENT STORAGE DEPTH, USUALLY ONE-HALF THE DISTANCE BETWEEN THE TOP OF THE FIBER ROLL AND THE ADJACENT GROUND SURFACE. SEDIMENT REMOVED DURING THE MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.



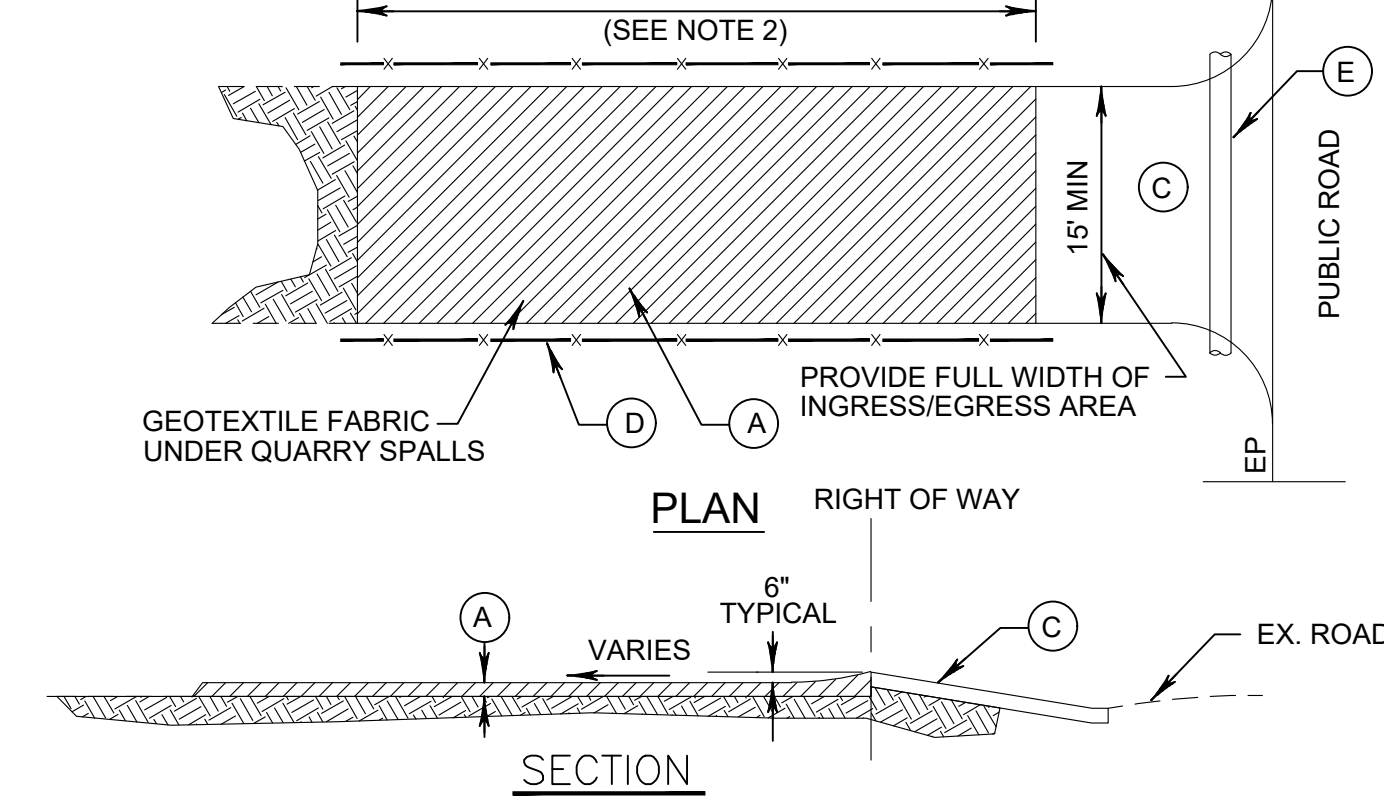
NOTE: INSTALL FIBER ROLL ALONG A LEVEL CONTOUR

VERTICAL SPACING MEASURED ALONG THE FACE OF THE SLOPE VARIES BETWEEN 10' AND 20'

INSTALL A FIBER ROLL NEAR SLOPE WHERE IT TRANSITIONS INTO A STEEPER SLOPE

**1 FIBER ROLLS** Scale: NTS

PROJECT SIZE	LENGTH OF	
	CRUSHED ROCK	ATB
≤ 1/4 ACRE	30	0
≤ 1 ACRE	50	0
≤ 3 ACRE	100	0
> 3 ACRE	100	50



- (A) 4" CRUSHED ROCK WITH GEOTEXTILE MATERIAL UNDERNEATH.
- (B) THE MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY. ALTERNATIVE CONSTRUCTION ENTRANCES WILL BE ALLOWED WITH THE APPROVAL OF THE CITY ENGINEER ON A CASE BY CASE BASIS, WHERE PHYSICAL SITE CONDITIONS AND SIZE DICTATE.
- (C) ATB DRIVEWAY RAMP, OR SITE ACCESS ROAD 20' WIDE MIN. SEE TABLE ABOVE FOR REQUIRED LENGTH.
- (D) INSTALL ORANGE BARRIER FENCE TO DIRECT TRAFFIC ONTO CONSTRUCTION ENTRANCE.
- (E) INSTALL A 12" MIN. DIA. CULVERT IF A ROADSIDE DITCH IS PRESENT.

- NOTES:**
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
  - MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
  - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
  - PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**4 STABILIZED CONSTRUCTION ENTRANCE (ST-250)** Scale: NTS

**CEMENT AND CONCRETE WORK**

- AVOID MIXING EXCESS AMOUNTS OF FRESH CONCRETE OR CEMENT MORTAR ON-SITE.
- STORE DRY AND WET CONCRETE AND CEMENT UNDER COVER, PROTECTED FROM RAINFALL AND RUNOFF.
- WASH OUT CONCRETE TRANSPORT MIXERS ONLY IN DESIGNATED WASH-OUT AREAS. WHENEVER POSSIBLE, RECYCLE WASHOUT BY PUMPING BACK INTO MIXERS FOR REUSE. DO NOT DISPOSE OF WASHOUT INTO THE STREET, STORM DRAINS, DRAINAGE DITCHES, OR CREEKS. DESIGNATED WASH-OUT AREAS MUST BE MAINTAINED TO PREVENT OVER FLOW.
- WHENEVER POSSIBLE, RETURN CONTENTS OF MIXER BARREL TO THE OFF-SITE YARD FOR RECYCLING. DISPOSE OF SMALL AMOUNTS OF EXCESS CONCRETE, GROUT, AND MORTAR IN THE TRASH.

**ROADWORK / PAVEMENT**

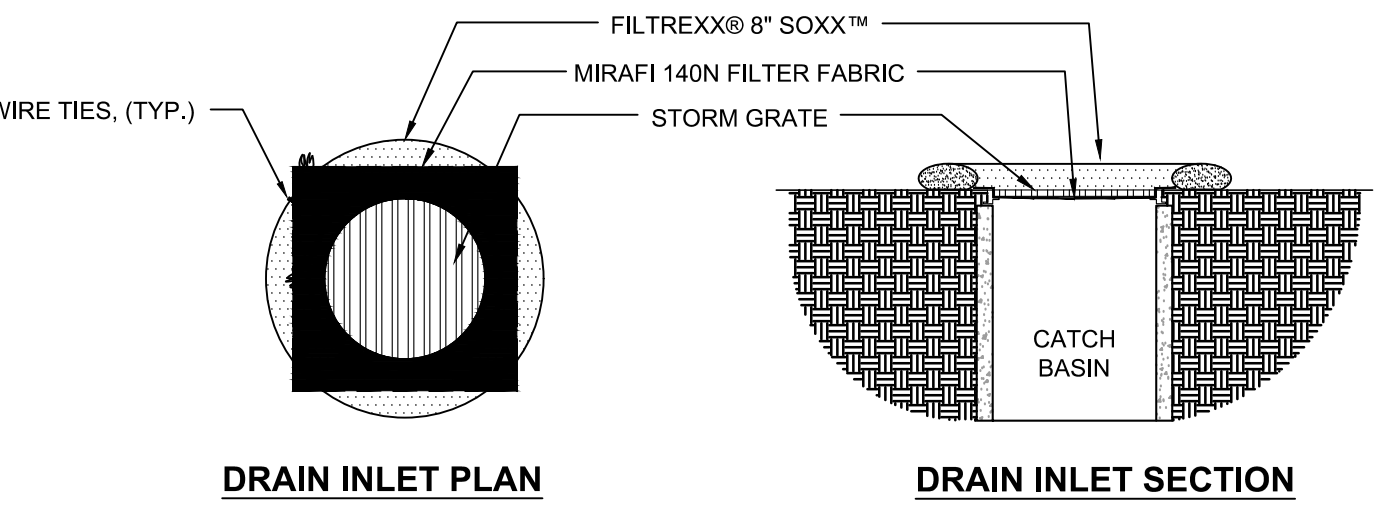
- APPLY CONCRETE, ASPHALT, AND SEAL COAT DURING DRY WEATHER TO PREVENT CONTAMINANTS FROM CONTACTING STORMWATER RUNOFF.
- COVER STORM DRAIN INLETS AND MANHOLES WHEN PAVING OR APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, AND SIMILAR MATERIALS.
- ALWAYS PARK PAVING MACHINES OVER DRIP PANS OR ABSORBENT MATERIALS, SINCE THEY TEND TO DRIP CONTINUOUSLY.
- WHEN MAKING SAW-CUTS IN PAVEMENT, USE AS LITTLE WATER AS POSSIBLE. COVER POTENTIALLY AFFECTED STORM DRAIN INLETS COMPLETELY WITH FILTER FABRIC DURING THE SAWING OPERATION AND CONTAIN THE SLURRY BY WET-VACUUMING, OR BY PLACING STRAW BALES, SANDBAGS, OR GRAVEL DAMS AROUND THE CATCH BASINS. AFTER THE LIQUID DRAINS OR EVAPORATES, SHOVEL OR VACUUM THE SLURRY RESIDUE FROM THE PAVEMENT OR GUTTER AND REMOVE FROM SITE.
- WASH DOWN EXPOSED AGGREGATE CONCRETE ONLY WHEN THE WASH WATER CAN: (1) FLOW ONTO A DIRT AREA; (2) DRAIN ONTO A BERMED SURFACE FROM WHICH IT CAN BE PUMPED AND DISPOSED OF PROPERLY; OR (3) BE VACUUMED FROM THE AREA ALONG THE CURB WHERE SEDIMENT HAS ACCUMULATED BY BLOCKING A STORM DRAIN INLET.
- ALLOW AGGREGATE RINSE TO SETTLE, AND PUMP THE WATER TO THE SANITARY SEWER IF ALLOWED BY YOUR LOCAL WASTEWATER AUTHORITY.
- DO NOT WASH SWEEPINGS FROM EXPOSED AGGREGATE CONCRETE INTO A STREET OR STORM DRAIN. COLLECT AND RETURN TO AGGREGATE BASE STOCKPILE, OR DISPOSE WITH TRASH.
- RECYCLE BROKEN CONCRETE AND ASPHALT.

**HAZARDOUS MATERIAL SPILL PREVENTION, SPILL REPORTING AND RESPONSE**

- ALL HAZARDOUS MATERIALS SHALL BE STORED SO THAT THEY ARE PROTECTED FROM INELEMNT WEATHER AND VANDALISM.
- MOTOR VEHICLES SHALL NOT BE FUELED ON THE PROJECT SITE.
- SPILL CONTAINMENT MEASURES MUST BE MADE PRIOR TO FUELING WHEN FUELING EQUIPMENT OTHER THAN MOTOR VEHICLES.
- VEHICLE MAINTENANCE, OTHER THAN EMERGENCY REPAIRS, SHALL NOT BE PERFORMED ON THE PROJECT SITE.
- APPROPRIATE EMERGENCY SPILL CONTAINMENT SUPPLIES SHALL BE MAINTAINED ON SITE BY THE CONTRACTOR.
- SPILLS GREATER THAN ONE QUART SHALL BE IMMEDIATELY REPORTED TO THE CITY'S REPRESENTATIVE AND COUNTY INSPECTOR.
- SPILLS SHALL BE DIKED OR CONTAINED BY TRAINED PERSONNEL TO PREVENT THE SPILLED HAZARDOUS MATERIAL FROM ENTERING THE STORM WATER SYSTEM OR LEAVING THE PROJECT SITE.
- SPILLS OF LESS THAN FIVE (5) GALLONS SHALL BE ABSORBED USING AN APPROPRIATE MATERIAL. ALL CONTAMINATED MATERIALS SHALL BE CONTAINED, REMOVED FROM THE JOBSITE AND DISPOSED IN ACCORDANCE WITH FEDERAL, STATE AND LOCAL REGULATIONS.
- SPILLS IN EXCESS OF FIVE (5) GALLONS SHALL BE ABSORBED USING AN APPROPRIATE MATERIAL AND PLACED IN CONTAINERS UNDER THE DIRECTION OF THE COUNTY OFFICE OF ENVIRONMENTAL HEALTH AND SAFETY.
- ANY CONTAMINATED SOIL SHALL BE REMOVED BY THE CONTRACTOR AND REPLACED WITH ACCEPTABLE FRESH SOIL.
- RESPONSE SHALL BE CARRIED OUT BY APPROPRIATELY TRAINED PERSONNEL UTILIZING SAFE PRACTICES.

**GOOD HOUSEKEEPING PRACTICES**

- DO NOT WASH DOWN PAVEMENT OR SURFACES WHERE SILT HAS BEEN DEPOSITED OR MATERIALS HAVE SPILLED. USE DRY CLEANUP METHODS.
- AVOID CONTAMINATING CLEAN RUNOFF FROM AREAS ADJACENT TO YOUR SITE BY USING BERMS AND/OR TEMPORARY OR PERMANENT DRAINAGE DITCHES TO DIVERT WATER FLOW AROUND THE SITE.
- COVER EXPOSED PILES OF SOIL, CONSTRUCTION MATERIALS AND WASTES WITH PLASTIC SHEETING OR TEMPORARY ROOFS BEFORE IT RAINS. SWEEP AND REMOVE MATERIALS FROM SURFACES THAT DRAIN TO STORM DRAINS, CREEKS, OR CHANNELS.
- PLACE TRASH CANS AROUND THE SITE TO REDUCE POTENTIAL LITTER. DISPOSE OF NON-HAZARDOUS CONSTRUCTION WASTES IN COVERED DUMPSTERS OR RECYCLING RECEPTACLES. RECYCLE LEFTOVER MATERIALS WHENEVER POSSIBLE.
- DISPOSE OF ALL WASTES PROPERLY. MATERIALS THAT CAN NOT BE REUSED OR RECYCLED MUST BE TAKEN TO AN APPROPRIATE LANDFILL OR DISPOSED OF AS HAZARDOUS WASTE, AS APPROPRIATE.
- COVER OPEN DUMPSTERS WITH PLASTIC SHEETING OR A TARP DURING RAINY WEATHER. SECURE THE SHEETING OR TARP AROUND THE OUTSIDE OF THE DUMPSTER. IF THE DUMPSTER HAS A COVER, CLOSE IT.
- TRAIN YOUR EMPLOYEES AND INFORM CONTRACTORS AND SUBCONTRACTORS ABOUT STORM WATER MANAGEMENT REQUIREMENTS AND THEIR RESPONSIBILITIES FOR COMPLIANCE.



- NOTES:**
- ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
  - FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
  - COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.
  - CONTRACTOR SHALL EXTEND MIRAFI 140N FABRIC 6" BEYOND CATCH BASIN AFTER PLACEMENT OF GRATE
  - CONTRACTOR SHALL REMOVE ALL FILTER FABRIC FROM ALL STORM DRAIN INLETS UPON COMPLETION OF PROJECT

**3 FILTREX® INLET PROTECTION** Scale: NTS

REVISIONS	BY
PLAN CHECK RESPONSE 09.27.24	RK

**EROSION CONTROL DETAILS**

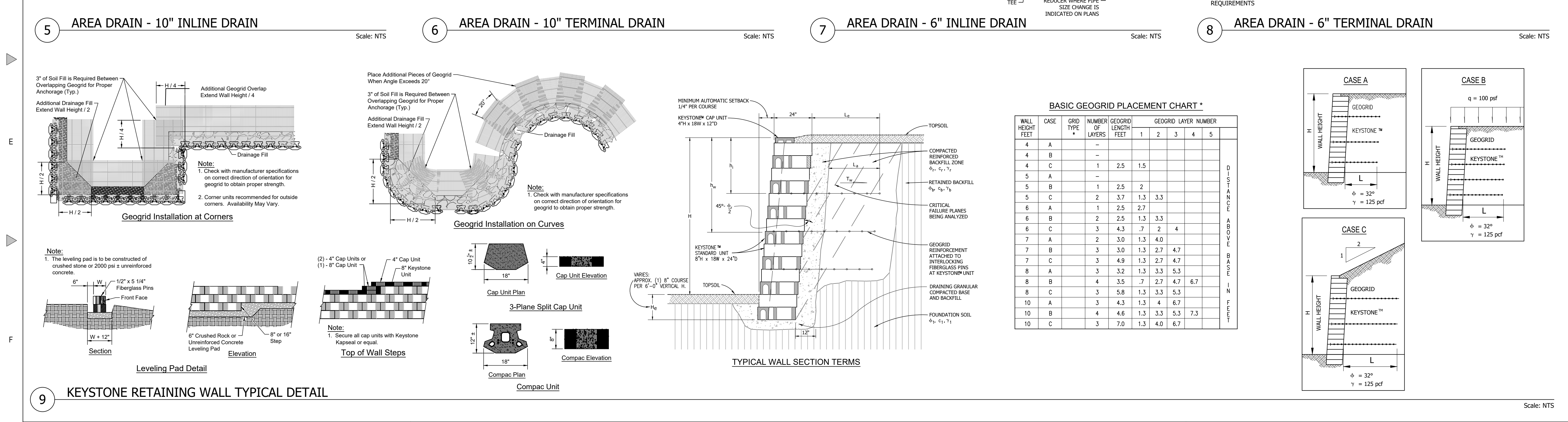
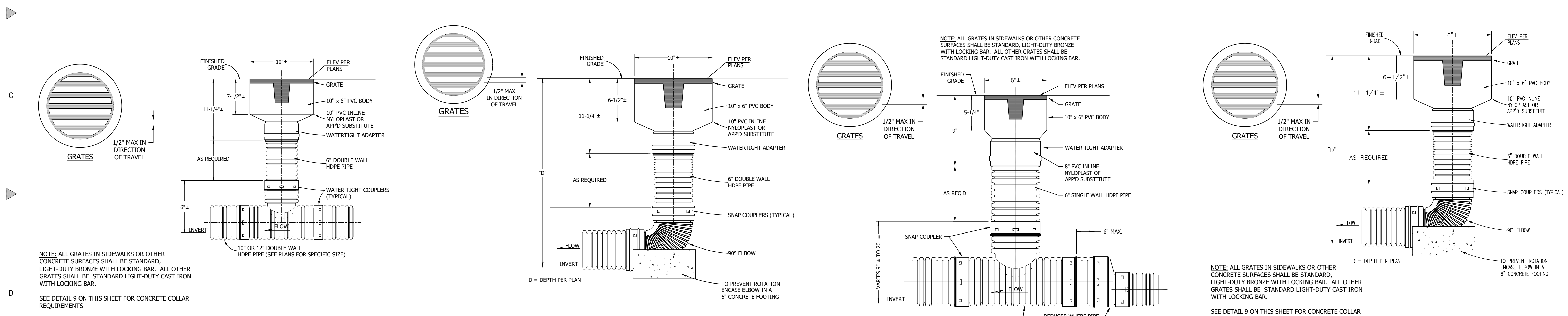
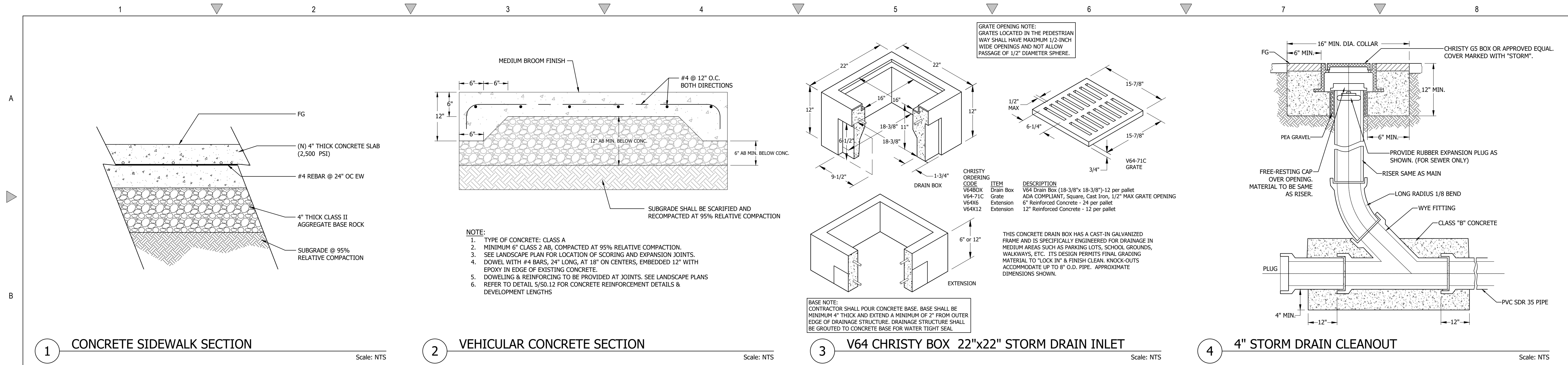
**THORNBERRY RESIDENCE**  
176 LOMA ALTA AVENUE, LOS GATOS  
APN: 532-38-031

C2G/CIVIL CONSULTANTS GROUP, INC.  
Engineers/Planners  
4444 Scots Valley Drive / Suite 6  
Scots Valley, CA 95066  
831.831.438-4420

REGISTERED PROFESSIONAL ENGINEER  
TOM R. CREMER  
No. C 64561  
Exp. 6/30/25  
CIVIL  
STATE OF CALIFORNIA

Date: 06.18.2024  
Scale: NTS  
Drawn: DD/RK  
Job: 9060.01  
Sheet: C3.2  
Of 6 Sheets

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Leaf: Sheet: Main: 09. 09. 2024 - 10:52am  
Leaf: Plotter: Mem: 09. 09. 2024 - 11:03am  
By: Rosemary



REVISIONS

BY

CONSTRUCTION DETAILS

REGISTERED PROFESSIONAL ENGINEER  
 TOM R. CREMER  
 No. C 64561  
 Exp. 6/30/25  
 CIVIL  
 STATE OF CALIFORNIA

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THORNBERRY RESIDENCE  
 176 LOMA ALTA AVENUE, LOS GATOS  
 APN: 532-38-031

Date: 06.18.2024  
 Scale: NTS  
 Drawn: DD/RK  
 Job: 9060.01  
 Sheet: C4.1  
 Of 6 Sheets