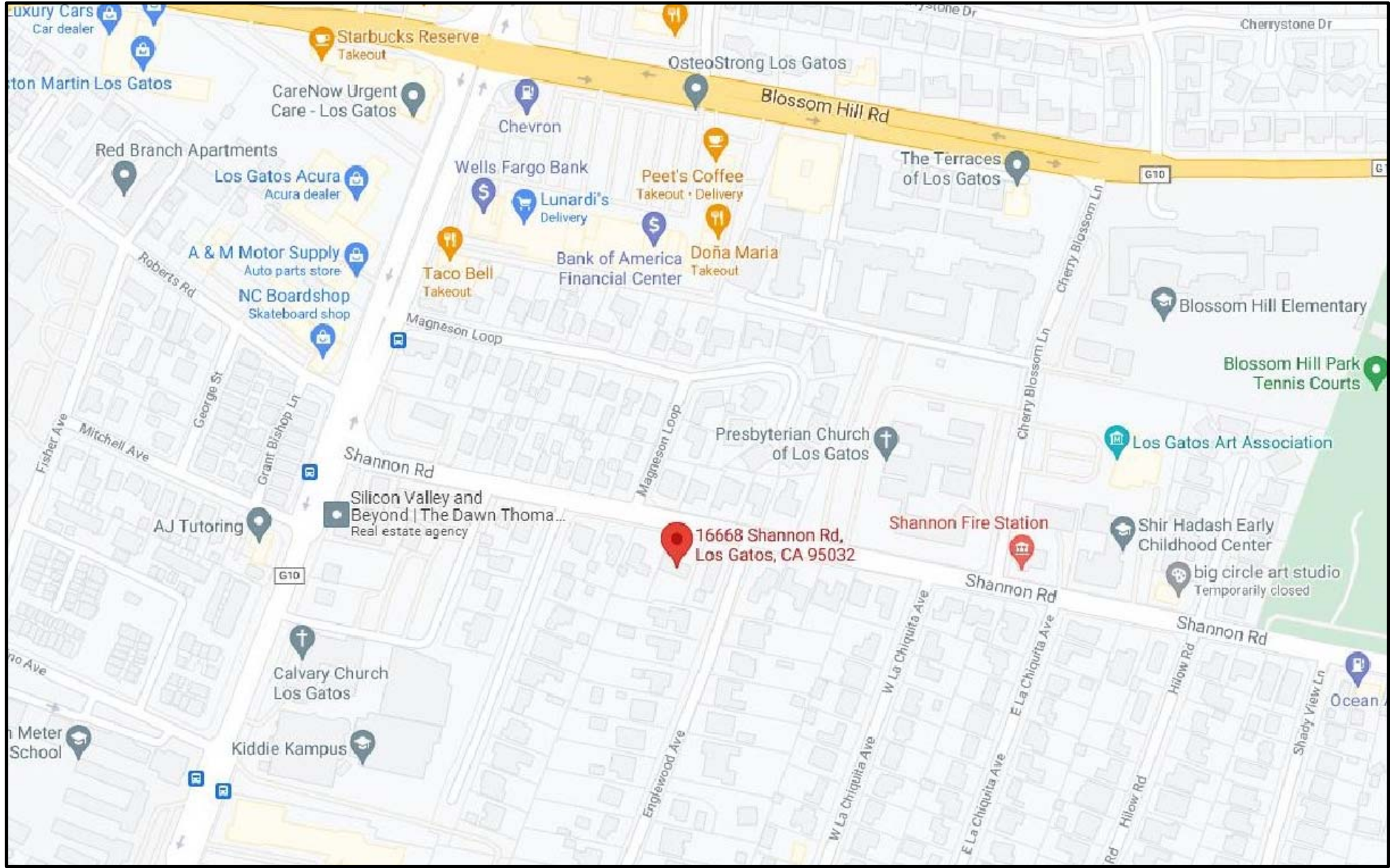


BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032



VICINITY MAP

- A1.0 PROJECT DATA / VICINITY MAP
- A1.1 PROPOSED SITE PLAN
- A1.2 EXISTING/ DEMOLITION SITE PLAN
- A1.3 TREE PROTECTION CONDITIONS
- G1 GRADING PLAN
- A2.1 PROPOSED FIRST FLOOR PLAN
- A2.2 PROPOSED SECOND FLOOR PLAN
- A2.3 PROPOSED CELLAR PLAN / BUILDING SECTION
- A2.4 TECHNICALDEMOLITION FLOOR PLAN
- A2.5 ROOF PLAN
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS / LIGHT FIXTURE
- A4.1 EXISTING FLOOR PLAN
- A4.2 EXISTING ELEVATIONS / PICTURES
- A5.1 STREETSCAPE
- A5.2 SHADOW STUDY

SHEET INDEX

CONTACT: PETER & CHERI BINKLEY  
(281) 543-3041

- NET LOT SIZE: 15,392 SQ. FT. = 0.36 AC.  
APN 532-05-002  
ZONING: R-1:8  
LOT HAS LESS THAN 2% SLOPE

FIRE SPRINKLERS WILL BE INSTALLED

PROJECT SCOPE:

TECHNICAL DEMOLITION OF EXISTING ONE-STORY 1806 S.F. RESIDENCE AND 715 S.F. ATTACHED GARAGE. PROPOSED NEW TWO-STORY HOME WITH ATTACHED THREE CAR GARAGE. PROPOSED ATTACHED JUNIOR ADU (SEPARATE ADU PERMIT REQUIRED). NO PROTECTED TREES ARE PROPOSED TO BE REMOVED

- ALLOWED FLOOR AREA FOR THE HOUSE EXCLUDING GARAGES:  
FAR = 0.35 - (15.4 - 5)/25 x 0.20  
FAR = 0.35 - 0.428 x 0.20  
FAR = 0.2668 = 26.7 %  
FAR FOR HOUSE = 4,109 SQ. FT.
- ALLOWED FLOOR AREA FOR THE GARAGES:  
FAR = 0.10 - (15.4 - 5)/25 x 0.07  
FAR = 0.10 - 0.428 x 0.07  
FAR = 0.070 = 7.0 %  
FAR GARAGES = 1,077 SQ. FT.
- MAXIMUM ALLOWABLE FLOOR AREA FOR GARAGE: 1,091 S.F.

FLOOR AREA RATIO (FAR)

|                                | EXISTING    | PROPOSED                                                                        | MAX. ALLOWED    |                                                                                  |
|--------------------------------|-------------|---------------------------------------------------------------------------------|-----------------|----------------------------------------------------------------------------------|
| LOT SIZE                       | 15,392 S.F. | SAME                                                                            |                 |                                                                                  |
| 1ST FLOOR                      | 1,806 S.F.  | 2,480 S.F.                                                                      |                 |                                                                                  |
| 2ND FLOOR                      | 0           | 750 S.F.                                                                        |                 |                                                                                  |
| ATTIC                          | 0           | 80 S.F.                                                                         |                 |                                                                                  |
| BELOW GRADE S.F.               | 0           | 450 S.F.<br>(NOT COUNTABLE)                                                     |                 |                                                                                  |
| TOTAL COUNTABLE                | 1,806 S.F.  | 3,230 S.F. +<br>Countable ADU 110 S.F.<br>+ Attic Space 80 s.f.<br>= 3,420 S.F. | 4,108 S.F. MAX. | REQUIRES APPROVAL<br>OF A4S FOR NEW 2 STORY<br>HOUSE                             |
| GARAGE                         | 500 S.F.    | 715 S.F.                                                                        | 1,091 S.F. MAX. |                                                                                  |
| APPROVED<br>DETACHED ADU       | 0           | 810 S.F.<br>(ADU EXEMPT)                                                        |                 | APPROVED D-22-010                                                                |
| ATTACHED 2ND.<br>STORY JR. ADU | 0           | 390 S.F. (ADU Exempt<br>+ 110 S.F. (Countable<br>Towards House) =<br>500 S.F.   |                 | REQUIRES APPROVAL<br>OF A4S FOR NEW 2 STORY<br>HOUSE, ADU PERMIE,<br>NEW ADDRESS |
| ADU FAR<br>10% BUMP            | 0           | 1,200 S.F. MAX.                                                                 |                 | 1,200 S.F. MAX.                                                                  |

LOT COVERAGE:

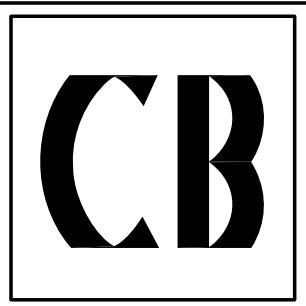
| FLOOR AREA         | AREA       | COVERAGE |
|--------------------|------------|----------|
| HOUSE & GARAGE     | 3,195 S.F. | 20.75 %  |
| PORCHES            | 685 S.F.   | 4.4 %    |
| DETACHED ADU       | 810 S.F.   | 5.26 %   |
| TOTAL LOT COVERAGE |            | 30.41 %  |

ALLOWED LOT COVERAGE: 40%

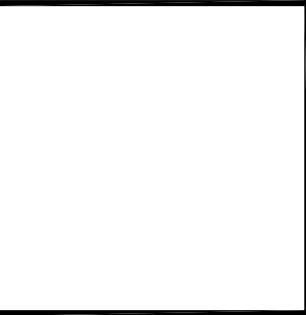
PERMIT APPROVED D-22-010

PROJECT DATA

| REVISIONS | BY |
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|           |    |
|           |    |



BASSAL  
Architecture  
916.435.0605  
408.674.2077



PROJECT DATA

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|           |           |
|-----------|-----------|
| DATE:     | 3-21-2022 |
| SCALE:    | NOTED     |
| DRAWN     | CB        |
| JOB NO    |           |
| SHEET NO. | A1.0      |
| OF SHEETS |           |





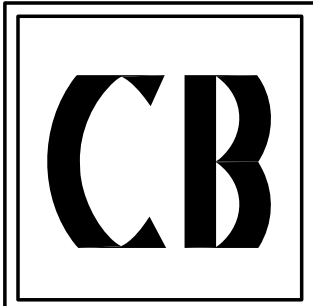
Tree Protection Conditions

1. TREE FENCING. Protective tree fencing shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection fencing plan with the construction plans. Tree fencing should be established at least 24 inches from existing hardscape, and placed no farther than 60 inches from the existing structure. The fencing should consist of five-to six foot high chain link mounted on eight foot tall, two-inch diameter galvanized steel posts that are driven into the ground 24 inches deep and spaces apart no more than approximately ten feet. It must remain intact and maintained throughout construction, and only removed upon completion of construction and final inspection.
- a. Pursuant to Section 29.10.1005(a)(4) of the Town Code, 8.5-by 11-inch warning signs shall be affixed and proximately displayed on each side of the fencing opposite the trees' trunks: "WARNING- Tree Protection Zone- this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." These signs should be intact prior to commencing demolition.
2. The posts should be planned at least 10 feet from the trunk, minimized in diameter and spaced as far apart as possible (e.g. at least five plus feet apart). The design should specify that the post holes are manually dug using a post hole digger or shovel, and roots two inches and greater in diameter retained and protected through the process (in the event a root of this size is encountered during digging, the hole should be shifted over 12 inches and the process repeated).
3. All utilities and services (e.g. storm drain, area drain, joint trenches, electrical, water, sewer, fiber optic, gas, etc) should be routed beyond the tree protection zone (TPZ). In the event this is not feasible, the location and proximity to the tree's trunk would dictate which of the following methods can offer sufficient mitigation: hand-digging, a pneumatic air device or directional boring. For directional boring, the ground above any tunnel must remain undistributed, and access pits and any infrastructure (e.g. splice boxes, meters and vaults) established beyond the TPZ.
4. Any future pathway or other landscape features established within a TPZ should be a raised or no-dig design, with a vertical soil cute of no more than 2 to 3 inches (including for base material, edging and forms); or where there are large surface roots (e.g. greater or equal to 2 inches in diameter), then on top of (i.e. raised above) the roots. Additionally, compaction of the soil surface or subgrade must be avoided (foot tamping is acceptable), and soil fill used to bevel the top of walk or drive to existing grade should be confined to 24 inches beyond the edge, and be at least 24 inches from the tree's trunk.
5. Where beneath a tree's canopy, over excavation, compaction, grading, trenching, and other soil disturbance beyond any approved curb, gutter, pavement, wall, building foundation or driveway should be confined to 12 inches.
6. Staging areas and routes of access should be planned beyond tree canopies.
7. Preventative measures shall be implemented to avoid soil eroding or being spread/placed downhill beneath a tree's canopy.
8. Spoils created during digging should not be piled or spread on unpaved ground within the TPZ, rather they should be temporarily piled on plywood or a tarp.

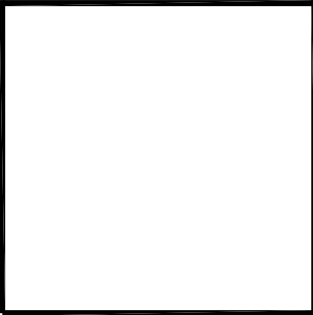
9. The limits of grading should be staked upon completion of demolition and prior to any soil cut, fill or compaction (the protection fencing may also need to be modified at this stage to protect tree roots).
10. Great care must be taken during demolition of existing hardscape, curb/gutters, staircases, walkways, walls, sheds, foundations, fences, planter boards, mowbands, etc. within a TPZ to avoid excavating into roots and existing grade. Also, equipment used during the process must not operate or travel on a newly exposed soil surface.
11. Tree trunks must not be used as winch supports for moving or lifting heavy loads.
12. Fill and debris covering root collars should be cleared to minimize the risk of harmful organisms rotting healthy tissue. This work involves manually clearing soil to expose the root collar, work that must be carefully performed to avoid damaging the trunk and roots during the process.
13. Dust accumulating on trunks and canopies during dry weather periods should be periodically washed away (e.g. every month or two).
14. The disposal of harmful products (such as cement, paint, chemicals, oil and gasoline) is prohibited beneath canopies or anywhere on site that allows drainage beneath or near TPZs. Herbicides should not be used with a TPZ; where used on site, they should be labeled for safe use near trees.
15. The landscape design should conform to the following additional guidelines:
- a. Plant material installed beneath the canopies of oaks must be drought-tolerant, limited in amount, and planted at least five or more feet from their trunks. Plant material installed beneath the canopies of all other trees should be at least 24 to 36 inches from their trunk.
- b. Irrigation can, overtime, adversely impact the oaks and should be avoided. Irrigation for any new plant material beneath an oak's canopy should be low volume, applied irregularly (such as only once or twice per week), and temporary (such as no more than three years).
- c. Irrigation should not be applies within five feet from the oak trunks, or within six inches from the trunks of all other trees (existing and proposed).
- d. Irrigation and lighting features (e.g. main line, lateral lines, valve boxes, wiring and controllers) should be established so that no trenching occurs within a TPZ. In the event this is not feasible, they may require being installed in a radial direction to a tree's trunk, and terminate a specific distance from a trunk (versus crossing past it). Should this not be possible, the work may need to be performed using a pneumatic air device to avoid root damage.
- e. Ground cover beneath canopies should be compromised of a three- to four-inch layer of coarse wood chips or other high-quality mulch (gorilla hair, bark or rock, stone, gravel, black plastic or other synthetic ground cover should be avoided). Mulch should not be placed against the tree trunk.

TREE PROTECTION CONDITIONS

| REVISIONS | BY |
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**BASSAL**  
**Architecture**  
**916.435.0605**  
**408.674.2077**



TREE PROTECTION CONDITIONS

**BINKLEY RESIDENCE**  
**16668 SHANNON ROAD**  
**LOS GATOS, CA 95032**

|           |           |
|-----------|-----------|
| DATE:     | 3-21-2022 |
| SCALE:    | NOTED     |
| DRAWN     | CB        |
| JOB NO    |           |
| SHEET NO. | A1.3      |
| OF        | SHEETS    |

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# CONSTRUCTION NOTES

- 1) Roof rainwater leaders are to be discharged onto splash blocks or paved surfaces that will spread the rainwater so that it enters the landscaped areas as sheet flow. No improvements shall obstruct or divert runoff to the detriment of an adjacent downstream or downslope property.
- 2) GENERAL: All public improvements shall be made according to the latest adopted town standards plans, standard specifications and engineering design standards. All work shall conform to the applicable Town ordinances. The adjacent public right of way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or street will not be allowed unless an encroachment permit is issued by the engineering division of the Parks and Public Works Department. The owner and/or applicants' representative in charge shall be at the job site during all working hours. Failure to maintain the public right of way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the owner and/or applicant's expense.
- 3) ENCROACHMENT PERMIT: All work in the public right of way will require a construction encroachment permit. All work over \$5000 will require construction security. It is the responsibility of the owner/applicant to obtain any necessary encroachment permits from affected agencies and private parties including but not limited to PG&E, AT&T, Comcast, Valley Water, Caltrans. Copies of any approvals or permits must be submitted to the town engineering division of the parks and public works department prior to releasing any permit.
- 4) PUBLIC WORKS INSPECTIONS: The owner and/or applicant or their representative shall notify the engineering inspector at least 24 hours before starting any work pertaining to the on-site drainage facilities, grading or paving, and all work in the town's right of way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
- 5) RESTORATION OF PUBLIC IMPROVEMENTS: The owner and or applicant or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the owner and or applicant or their representative's operations. Improvements such as, but not limited to, curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermal plastic pavement markings, etc. shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the engineering construction inspector and shall comply with all title 24 disabled access provisions. The restoration of all improvements identified by the engineering construction inspector shall be completed before the issuance of a certificate of occupancy. The owner and or applicant or their representative shall request a walkthrough with the engineering construction inspector before the start of construction to verify existing conditions.
- 6) SITE SUPERVISION: The general contractor shall provide qualified supervision on the job site at all times during construction.
- 7) STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and or sidewalk requires an encroachment permit special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- 8) DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The owner and or applicants project engineer shall notify in writing the Town engineer at least 72 hours in advance of all of the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- 9) TREE REMOVAL: copies of all necessary tree removal permits shall be provided prior to the issuance of a grading permit /building permit.
- 10) PRECONSTRUCTION MEETING: prior to the commencement of any site work, the general contractor shall:
  - a) Along with the owner and or applicant, attend a pre-construction meeting with the town engineer to discuss the project conditions of approval, working hours, site maintenance and other construction matters.
  - b) Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project subcontractors have read and understood them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on site at all times during construction.
- 11) WATER METER: The existing water meter currently located within the Shannon Road right of way shall be relocated within the property in question directly behind the public right of way line. The owner and or applicant shall repair and replace to existing town standards any portion of concrete flat work within said right of way that is damaged during this activity prior to the issuance of a certificate of occupancy.
- 12) SANITARY SEWER CLEANOUT: A sanitary sewer cleanout shall be located within the property in question within one foot of the property line per West Valley Sanitation District standard drawing 3 or at a location specified by the Town. the owner and or applicant shall repair and replace to existing town standards any portion of concrete flat work within said right of way that is damaged during this activity prior to the issuance of a certificate of occupancy.
- 13) CONSTRUCTION VEHICLE PARKING: construction vehicle parking within the public right of way will only be allowed if it does not cause access or safety problems as determined by the town.
- 14) ADVANCE NOTIFICATION: advanced notification of all affected residents and emergency services shall be made regarding parking restriction, lane or road closure, with specification dates and hours of operation.
- 15) HAULING OF SOIL: Hauling of soil on or off site shall not occur during the morning or evening peak periods (between 7:00 o'clock AM and 9:00 o'clock AM and between 4:00 o'clock PM and 6:00 o'clock PM) and at other times as specified by the Director of Parks and Public Works. Cover all trucks hauling soil, sand and other loose debris.
- 16) CONSTRUCTION NOISE: Between the hours of 8:00 AM to 8:00 PM weekdays and 9:00 AM to 7:00 PM weekends and holidays construction, alteration or repair activities shall be allowed. no individual piece of equipment shall produce a noise level exceeding 85 dBA at 25 feet from the source. If the device is located within a structure on the property the measurement shall be made at a distance as close to 25 feet from the device as possible. The noise level at any point outside of the property plane shall not exceed 85 dBA.
- 17) WEST VALLEY SANITATION DISTRICT: A sanitary sewer clean out is required add the property line, within one foot of the property line per West Valley sanitation district standard drawing 3, or at a location specified by the town.
- 18) BEST MANAGEMENT PRACTICES (BMPs): the owner and or applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. BMP's shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and or operations that need protection. Removal of BMP's (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with construction BMP's will result in the issuance of correction notices, citations, or stop work orders.
- 19) EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the engineering division of the parks and public works department. A

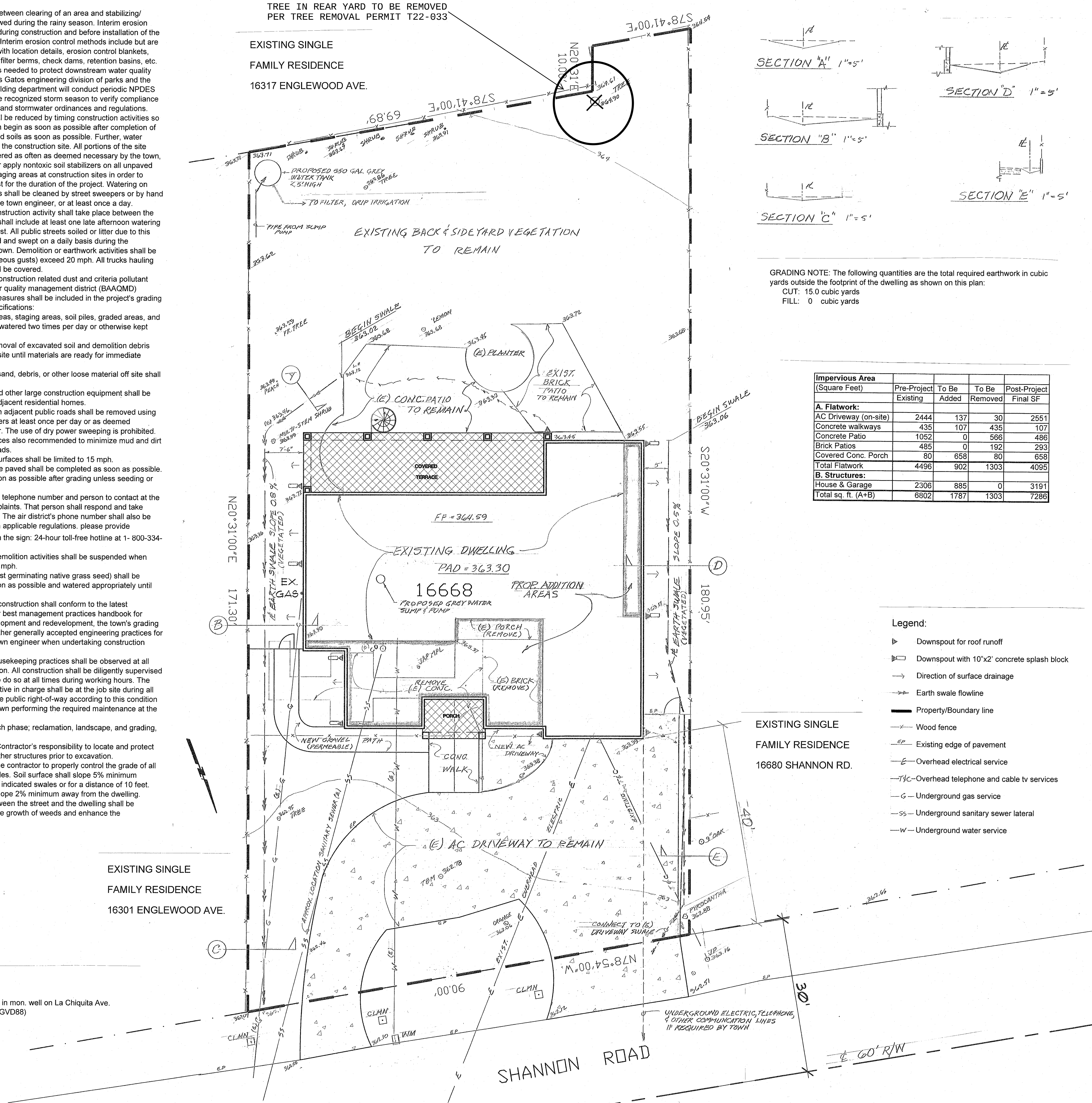
- maximum of two weeks is allowed between clearing of an area and stabilizing/ building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control methods include but are not limited to: silt fences, fiber rolls with location details, erosion control blankets, town standard seating specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months the town of Los Gatos engineering division of parks and the public works department and the building department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the construction general permit and stormwater ordinances and regulations.
- 20) DUST CONTROL: blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the town, or a minimum of three times daily, or apply nontoxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to ensure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the town engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8:00 AM and 5:00 PM and shall include at least one late afternoon watering to minimize the effects of blowing dust. All public streets soiled or litter due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed 20 mph. All trucks hauling soil, sand, or other loose debris shall be covered.
- 21) AIR QUALITY: to limit the projects construction related dust and criteria pollutant emissions, the following Bay Area air quality management district (BAAQMD) recommended basic construction measures shall be included in the project's grading plan building plans and contract specifications:
  - a) All exposed surfaces (parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day or otherwise kept dust free.
  - b) All haul trucks designated for removal of excavated soil and demolition debris from the site shall be staged offsite until materials are ready for immediate loading and removal from site.
  - c) All haul trucks transporting soil, sand, debris, or other loose material off site shall be covered.
  - d) As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
  - e) All visible mud or dirt track out on adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day or as deemed appropriate by the town engineer. The use of dry power sweeping is prohibited. And on site trackout control devices also recommended to minimize mud and dirt track out onto adjacent public roads.
  - f) All vehicle speeds on unpaved surfaces shall be limited to 15 mph.
  - g) All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
  - h) Post a publicly visible sign with a telephone number and person to contact at the lead agency regarding dust complaints. That person shall respond and take corrective action within 48 hours. The air district's phone number shall also be visible to ensure compliance with applicable regulations. please provide BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
  - i) all excavation, grading, and or demolition activities shall be suspended when average wind speeds exceed 20 mph.
  - j) Vegetative ground cover (e.g., fast germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 22) CONSTRUCTION ACTIVITIES: all construction shall conform to the latest requirements of CASQA storm water best management practices handbook for construction activities and new development and redevelopment, the town's grading and erosion control ordinance and other generally accepted engineering practices for erosion control as required by the town engineer when undertaking construction activities.
- 23) GOOD HOUSEKEEPING: Good Housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The owner and/or applicant's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the town performing the required maintenance at the owner and/or applicant's expense.
- 24) PERMIT ISSUANCE: permits for each phase; reclamation, landscape, and grading, shall be issued simultaneously.
- 25) UNDERGROUND STRUCTURES: Contractor's responsibility to locate and protect all underground utilities, pipes and other structures prior to excavation.
- 26) GRADES: It is the responsibility of the contractor to properly control the grade of all drain lines, sloped surfaces and swales. Soil surface shall slope 5% minimum downward away from the dwelling to indicated swales or for a distance of 10 feet. Paved impermeable surfaces shall slope 2% minimum away from the dwelling.
- 27) MULCH: All disturbed soil areas between the street and the dwelling shall be smoothed and mulched to prevent the growth of weeds and enhance the appearance during construction.

BENCHMARK:  
LGBM #39, Brass disk in mon. well on La Chiquita Ave.  
Elevation = 360.23' (NGVD83)

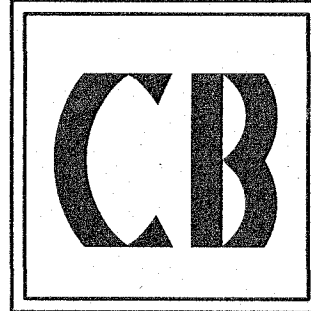
EXISTING SINGLE  
FAMILY RESIDENCE  
16301 ENGLEWOOD AVE.

TREE IN REAR YARD TO BE REMOVED  
PER TREE REMOVAL PERMIT T22-033

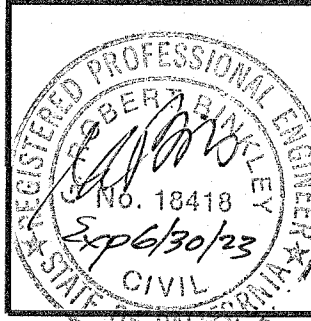
EXISTING SINGLE  
FAMILY RESIDENCE  
16317 ENGLEWOOD AVE.



| REVISIONS        | BY  |
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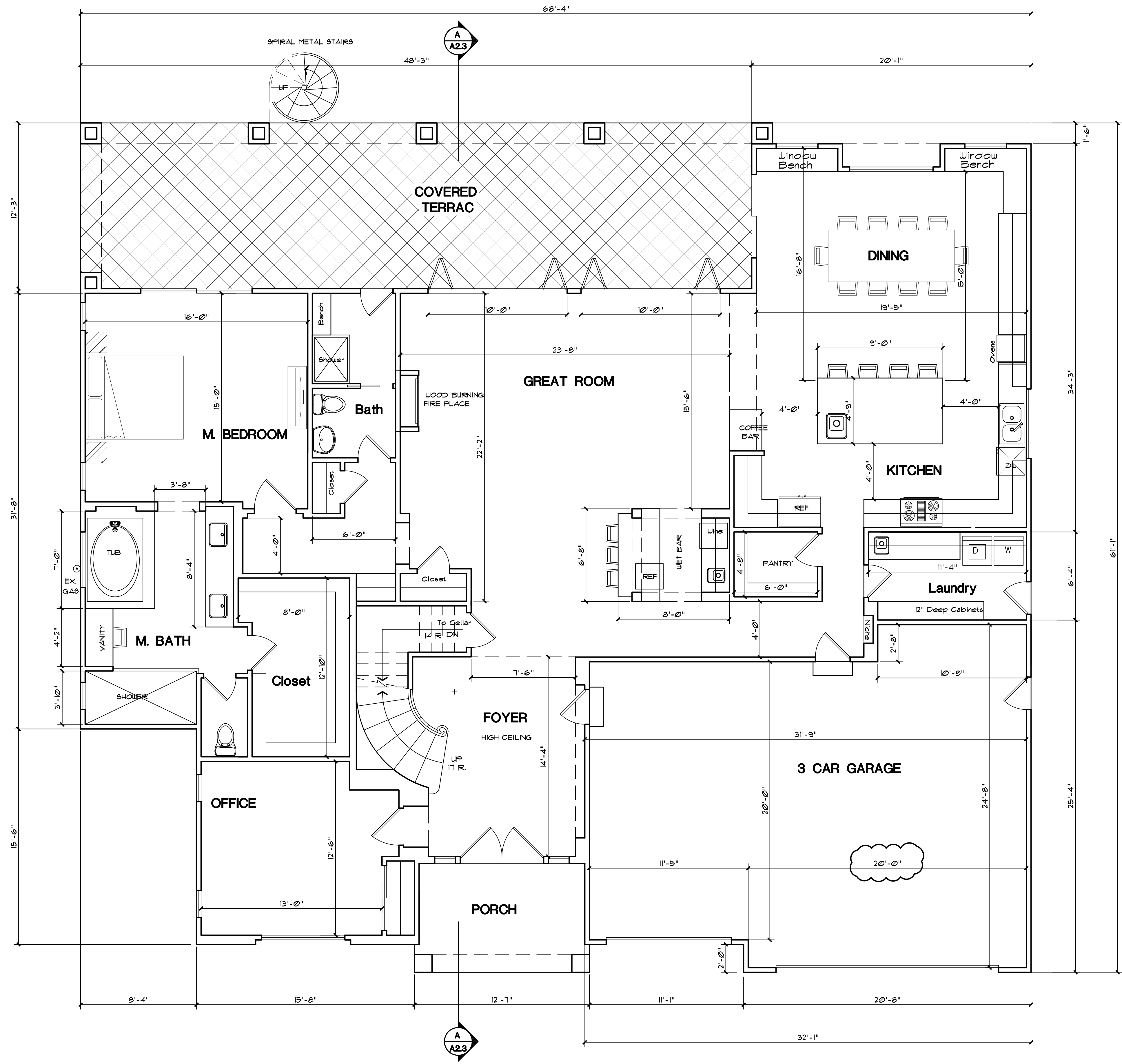
**BASSAL**  
**Architecture**  
916.435.0605  
408.674.9077



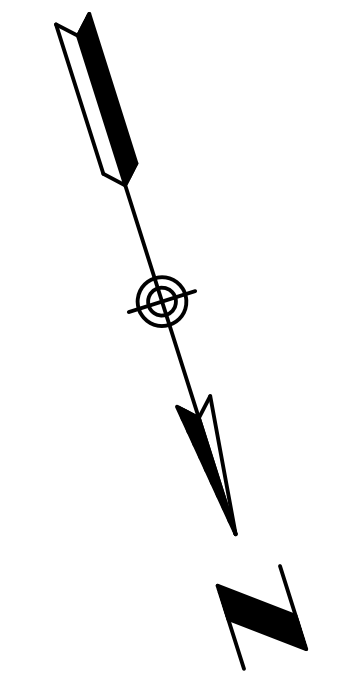
GRADING AND DRAINAGE  
PLAN

**BINKLEY RESIDENCE**  
**16688 SHANNON ROAD**  
**LOS GATOS, CA 95032**

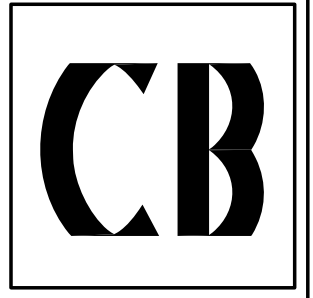
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SHEET NO: 1  
OF 1 SHEETS



FIRST FLOOR  
2,480 SQ. FT. (NOT INCLUDING STAIRS)



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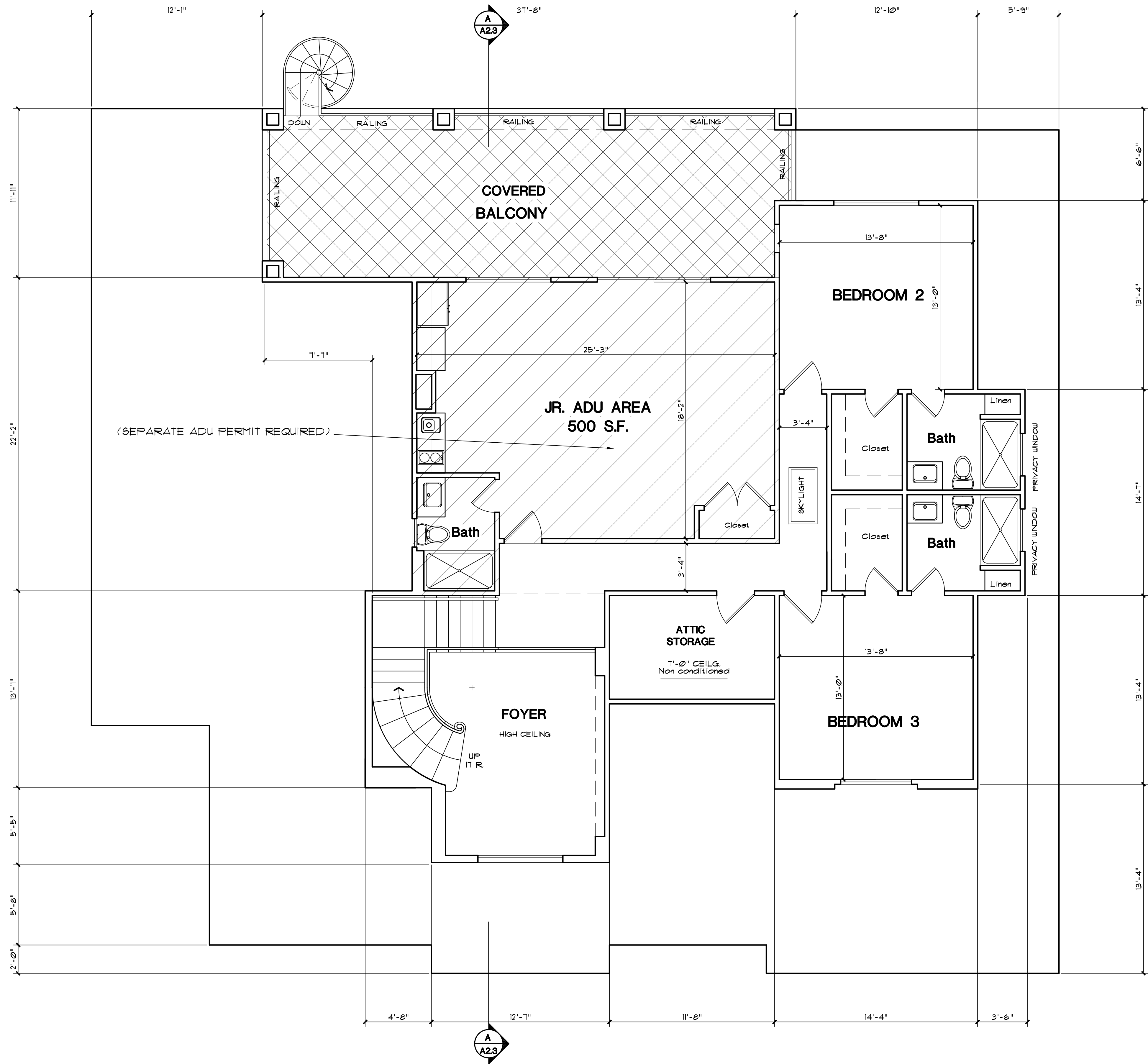
**BASSAL**  
**Architecture**  
916.435.0605  
408.674.2077

**FIRST FLOOR PLAN**

**BINKLEY RESIDENCE**  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|                          |
|--------------------------|
| DATE:<br>3-21-2022       |
| SCALE:<br>1/4" = 1'-0"   |
| DRAWN<br>CB              |
| JOB NO                   |
| SHEET NO.<br><b>A2.1</b> |
| OF SHEETS                |

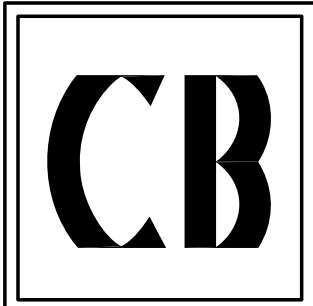
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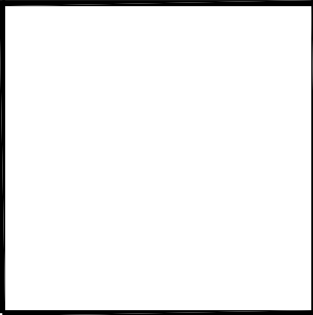
SECOND FLOOR 750 SQ. FT.  
JR. ADU 500 SQ. FT.  
(STAIRS COUNTED ONCE)

SECOND FLOOR PLAN

| REVISIONS | BY |
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BASSAL  
Architecture  
916.435.0605  
408.674.2077



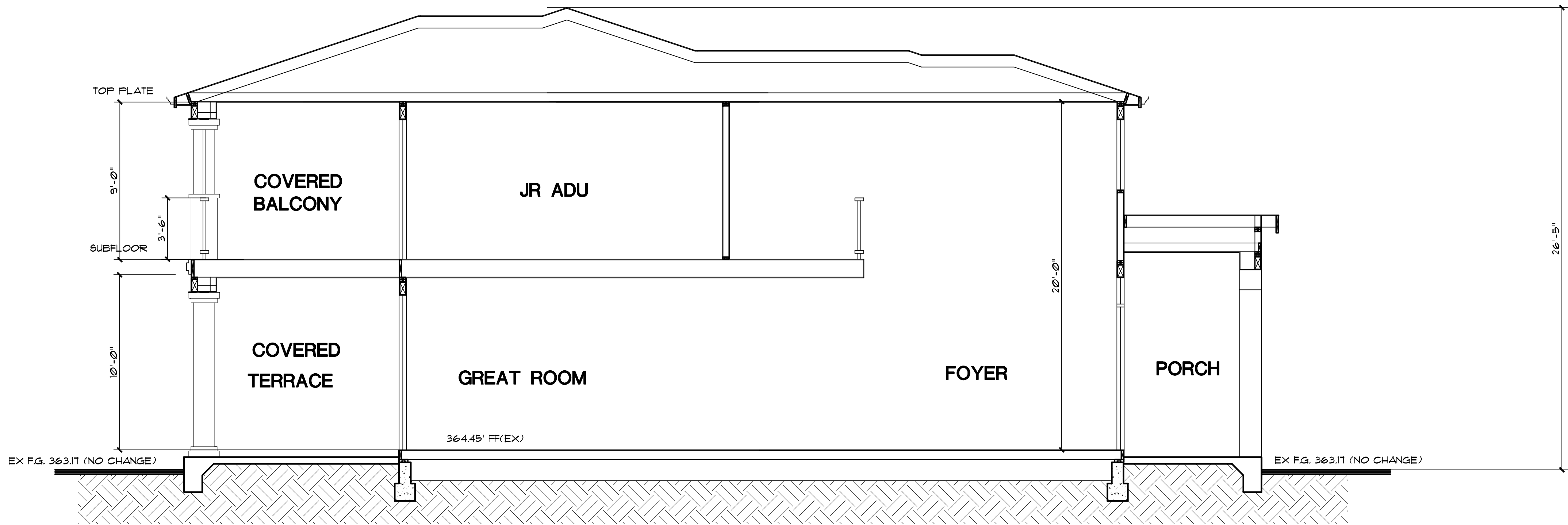
SECOND  
FLOOR PLAN

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

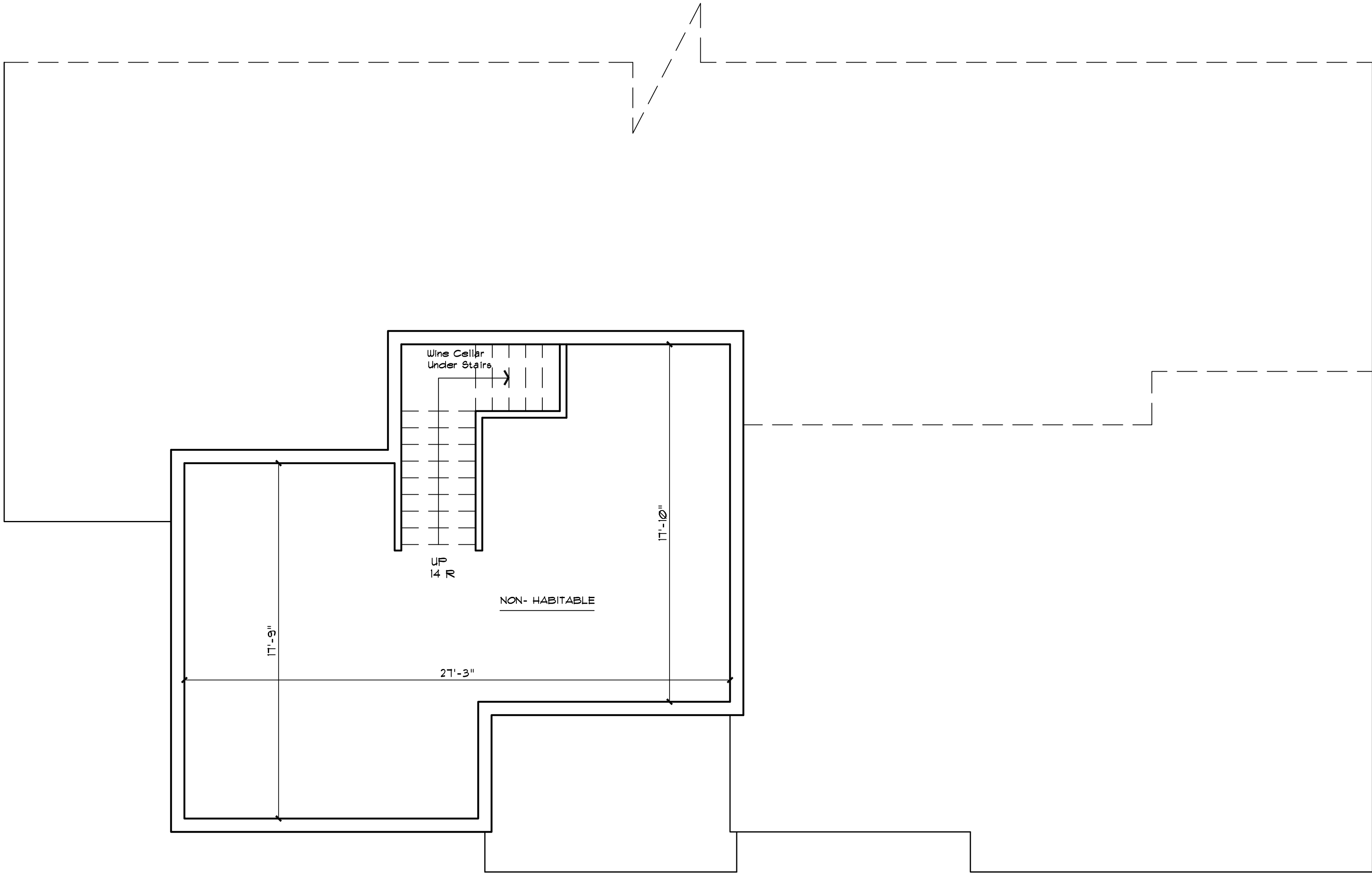
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| DATE:  | 3-21-2022    |
| SCALE: | 1/4" = 1'-0" |
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| SHEET NO. | A2.2 |
| OF SHEETS |      |

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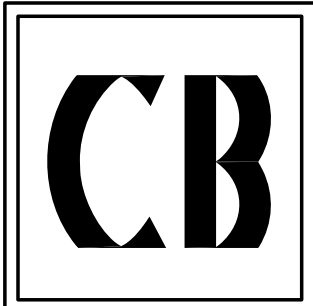
BUILDING SECTION A -- A



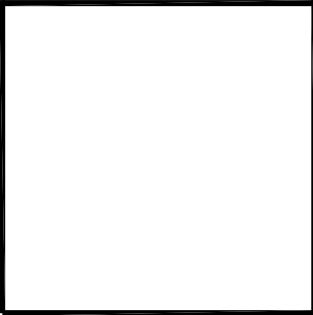
CELLAR

CELLAR FLOOR PLAN

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**BASSAL**  
**Architecture**  
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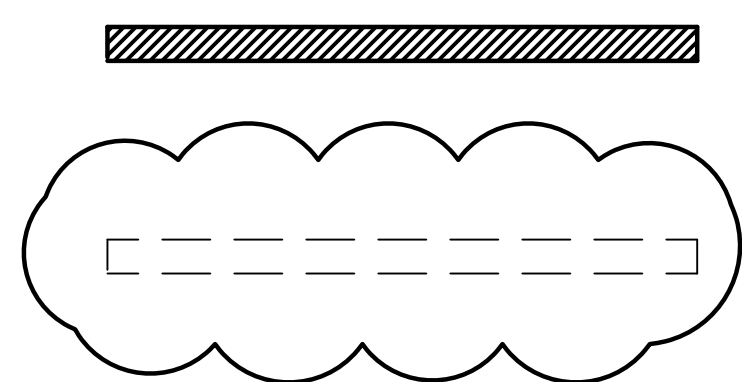
CELLAR  
FLOOR PLAN

**BINKLEY RESIDENCE**  
**16668 SHANNON ROAD**  
**LOS GATOS, CA 95032**

|        |              |
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| DATE:  | 2-2-2022     |
| SCALE: | 1/4" = 1'-0" |
| DRAWN  | CB           |
| JOB NO |              |

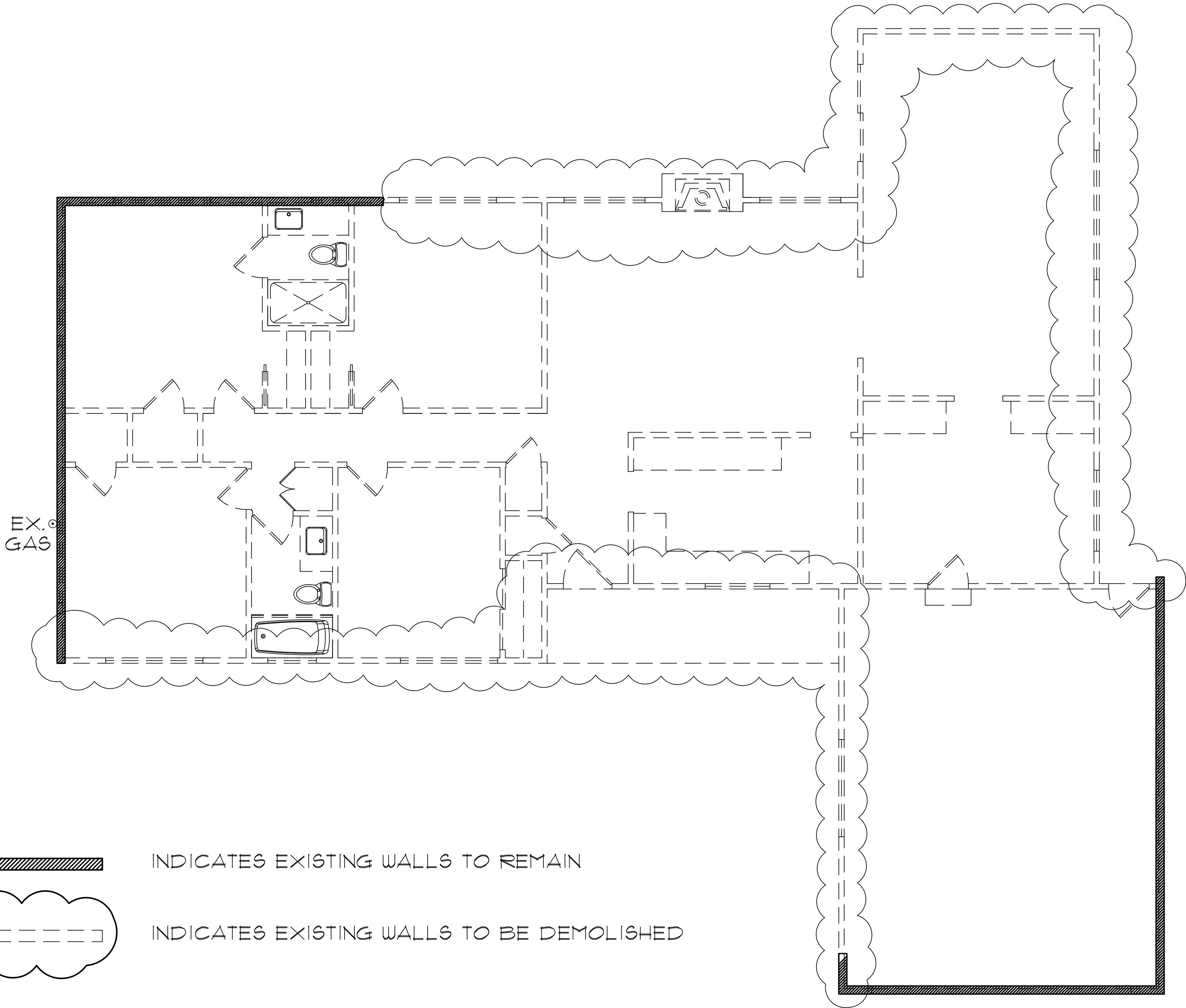
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| SHEET NO. | A2.3 |
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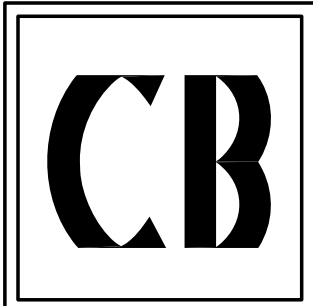
INDICATES EXISTING WALLS TO REMAIN

INDICATES EXISTING WALLS TO BE DEMOLISHED

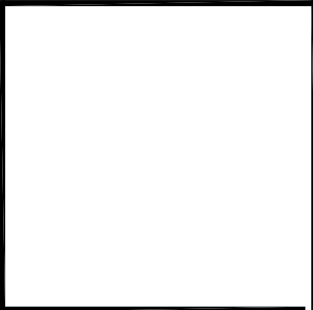


TECHNICAL DEMOLITION PER TOWN CODE

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**BASSAL**  
**Architecture**  
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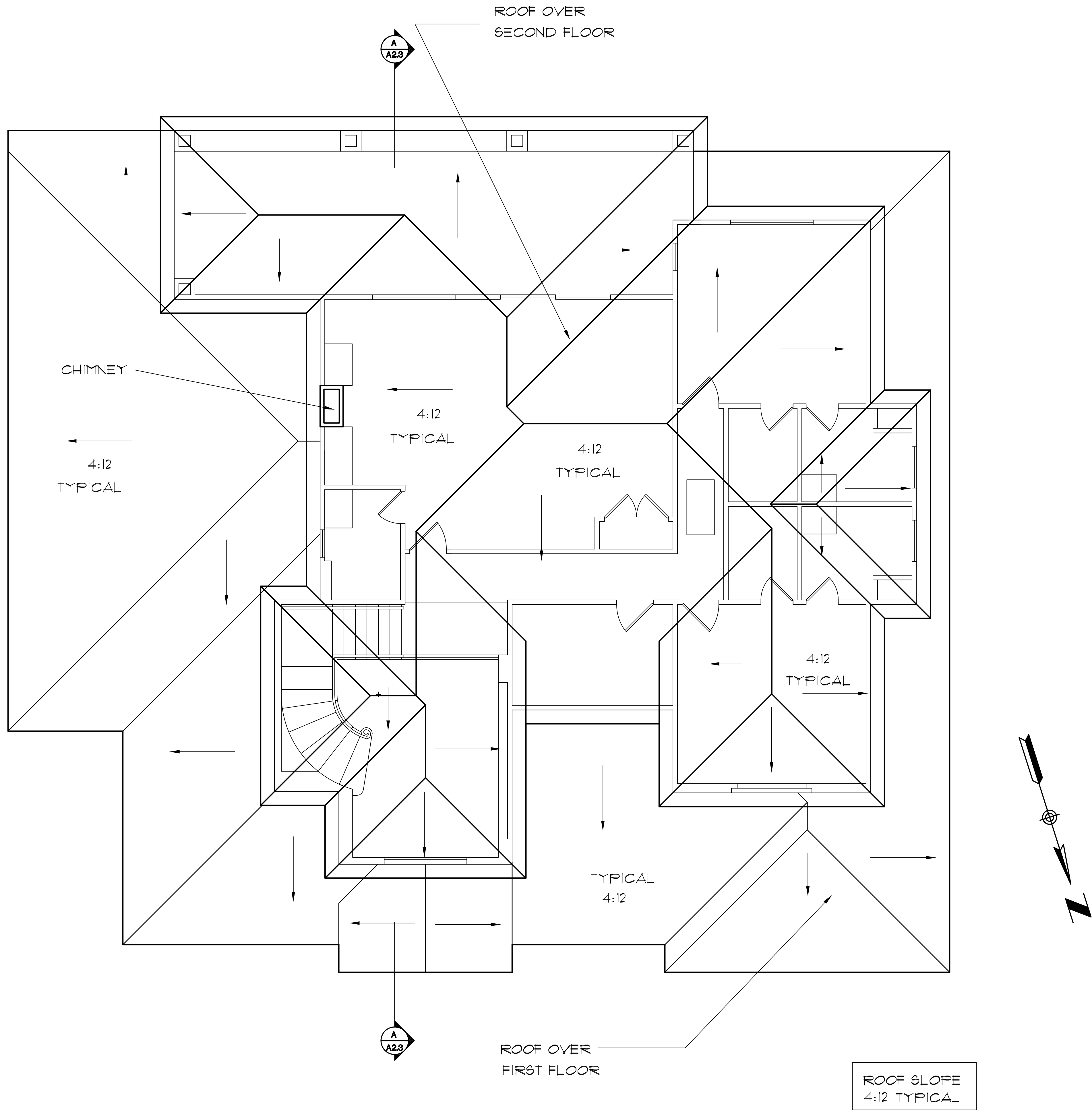
DEMOLITION DIAGRAM

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|        |              |
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| DATE:  | 2-2-2022     |
| SCALE: | 1/4" = 1'-0" |
| DRAWN  | CB           |
| JOB NO |              |

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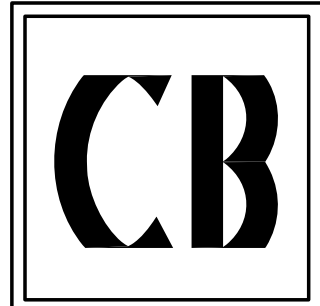
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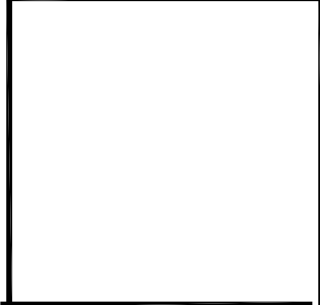
ROOF SLOPE  
4:12 TYPICAL

ROOF PLAN

| REVISIONS | BY |
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**BASSAL**  
**Architecture**  
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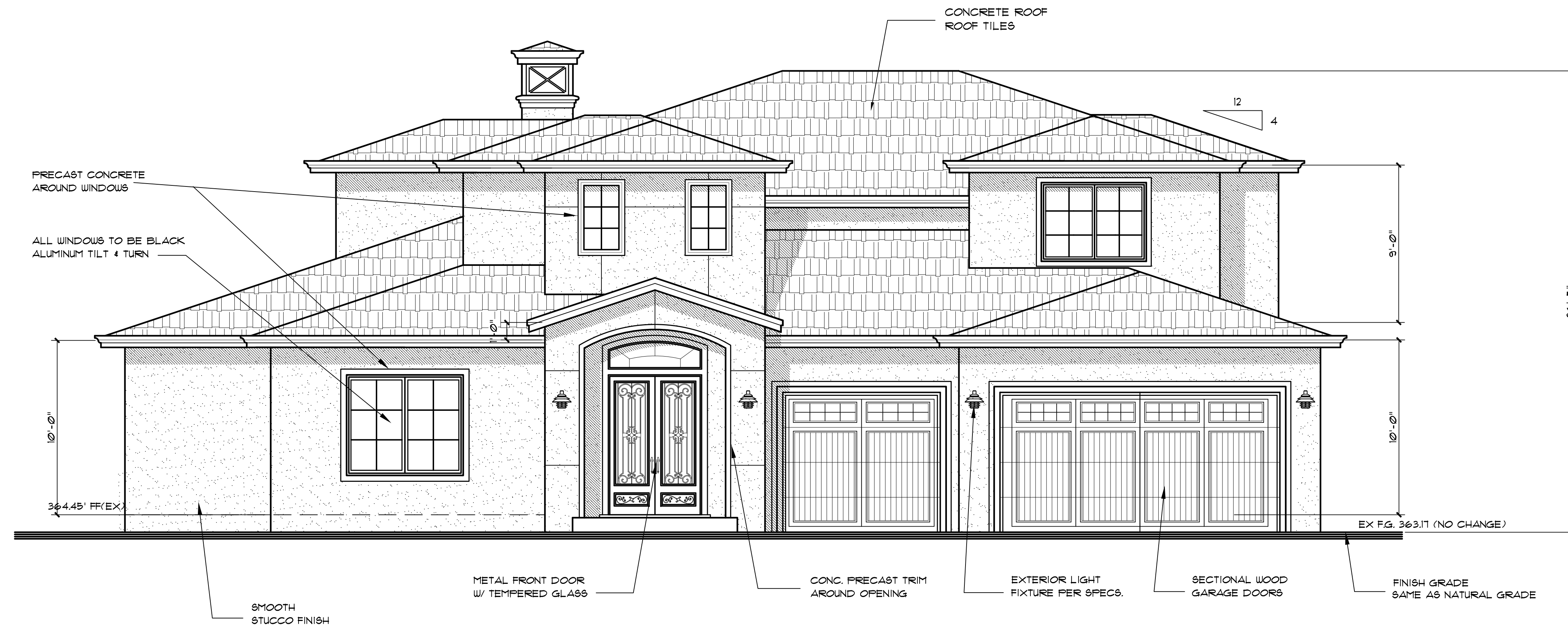
ROOF PLAN

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

DATE: 2-2-2022  
SCALE: 1/4" = 1'-0"  
DRAWN: CB  
JOB NO:

SHEET NO.  
**A2.5**  
OF SHEETS

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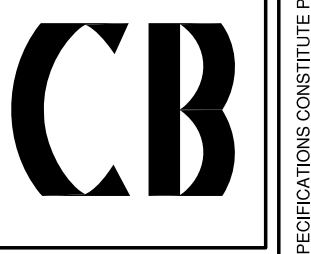
FRONT ELEVATION



REAR ELEVATION

| EXTERIOR FINISHES:                   |                                                                            |
|--------------------------------------|----------------------------------------------------------------------------|
| ROOFING:                             |                                                                            |
| ①                                    | 199 CHARCOAL RANGE GOLDEN EAGLE PROFILE BY "EAGLE ROOFING"                 |
| BUILDING COLORS BY: SHERWIN WILLIAMS |                                                                            |
| ②                                    | MAIN COLOR: Swiss Coffee KM123                                             |
| ③                                    | SECOND COLOR: Winter Solstice KM5812                                       |
| ④                                    | GARAGE DOOR COLOR: Swiss Coffee KM123                                      |
| ⑤                                    | SECTIONAL GARAGE DOORS.                                                    |
| ⑥                                    | ALL WINDOWS TO BE BLACK ALUMINUM TILT & TURN                               |
| ⑦                                    | ALL EXTERIOR WINDOWS AND DOORS FRAME TO BE DARK COLOR (BLACK OR DARK GRAY) |

| REVISIONS | BY |
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**BASSAL**  
**Architecture**  
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EXTERIOR  
ELEVATIONS

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|           |              |
|-----------|--------------|
| DATE:     | 3-21-2022    |
| SCALE:    | 1/4" = 1'-0" |
| DRAWN     | CB           |
| JOB NO    |              |
| SHEET NO. | A3.1         |
| OF SHEETS |              |





MM-MLP

TYPE:

CAT # LWM350-S7-GTL-

LWM350-S7-GTL EQUINOX

The LWM350 series of LED Wall Sconces is the latest addition to our growing line of innovative and exquisite wall mount luminaires. This series is available in four elegant shade designs and two progressive sizes. Its timeless design enhances architecture and garden elements such as pergolas or gazebos. Provide design continuity and use in conjunction with our LBD Bollard and LML Pendant Light series to create the perfect transition between landscape and architecture.

See LWM250 for additional size and configuration options.

Features include:

- 20 Watts
- Cree XLAMP® Extreme High Power (XHP) LED
- 2700, 3000 or 4500K (CRI 80 typ.)
- Thermally Integrated® and Field Serviceable LED Module
- TRIAC Dimming to <10% typ.
- 12 VAC Electronic or Magnetic Source Compatible
- Solid Copper and Brass Construction

Approved by CREE LEDs

12V

Standard Configuration

With optional MM-M

With optional M-B

8 1/4" 210mm

8 11/16" 221mm

2 11/16" 68mm

7 1/2" 191mm

6 1/4" 159mm

1 13/16" 46mm

1 1/8" 28mm

ORDERING GUIDE: LWM350-S7-GTL L (LED) WM (WALL MOUNT) 350 (SERIES) S (SPHERICAL) 7 (INCHES) GTL (GLIMMER TOP W/ LOUVER)

INDICATES REQUIRED FIELD

INDICATES OPTIONAL FIELD

LED COLOR

[270] 2700K

[300] 3000K

[450] 4500K

[D] = Dimmable

MOUNT

[MM-M] Micro Wall Mount

[MM-B] Micro Wall Mount w/ Micro J-Box

Provides 3 ports for multi-conduit entries

1/2" NPS CANOPIES:

[CP-4] 4" Cover Plate

[CP-4S] 4 1/2" Cover Plate

[MC-4S] 4 1/2" Mount Canopy

[PC-4S] Power Canopy (Int. 60W 120-120V trans.)

[SM-JB] 3 1/2" Surface Mount J-Box

FINISH

[NAT] Natural

[BLP-XD] BLP Extra Living Pattern

[BLP-XD] BLP Extra Dark

[N] Nickel PVD\*

\*When N is selected underside will match

\*Brass Escutcheon is standard. Add "C" for Copper

MM

MB

CP-C

CP-S

MC-C

PC-S

SM-B

CARLSBAD, CA | PHONE 877 942 1179 | FAX 760 931 2916 | E-MAIL SALES@AUORALIGHT.COM | AUORALIGHT.COM

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PROPOSED LIGHT FIXTURES

ALL EXTERIOR LIGHTING SHALL BE KEPT TO A MINIMUM, AND SHALL BE DOWN DIRECTED FIXTURES THAT WILL NOT REFLECT OR ENCROACH ONTO ADJACENT PROPERTIES. ALL LIGHTING SHALL UTILIZE SHIELDS SO THAT NO BULB IS VISIBLE AND TO ENSURE THAT THE LIGHT IS DIRECTED TO THE GROUND SURFACE AND DOES NOT SPILL LIGHT ONTO NEIGHBORING PARCELS OR PRODUCE GLARE WHEN SEEN FROM NEARBY HOMES. NO FLOOD LIGHTS SHALL BE USED UNLESS IT CAN BE DEMONSTRATED THAT THEY ARE NEEDED FOR SAFETY OR SECURITY

EXTERIOR FINISHES:

ROOFING:

1

19S CHARCOAL RANGE GOLDEN EAGLE PROFILE BY "EAGLE ROOFING"

BUILDING COLORS BY: SHERWIN WILLIAMS

2

MAIN COLOR: Swiss Coffee KM23

3

SECOND COLOR : Winter Solstice KM5812

4

GARAGE DOOR COLOR : Swiss Coffee KM23

5

SECTIONAL GARAGE DOORS.

6

ALL WINDOWS TO BE BLACK ALUMINUM TILT & TURN

1

ALL EXTERIOR WINDOWS AND DOORS FRAME TO BE DARK COLOR (BLACK OR DARK GRAY)

LEFT SIDE ELEVATION

EXTERIOR ELEVATIONS

| REVISIONS | BY |
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CB

BASSAL Architecture

916.435.0605

408.674.2077

EXTERIOR ELEVATIONS

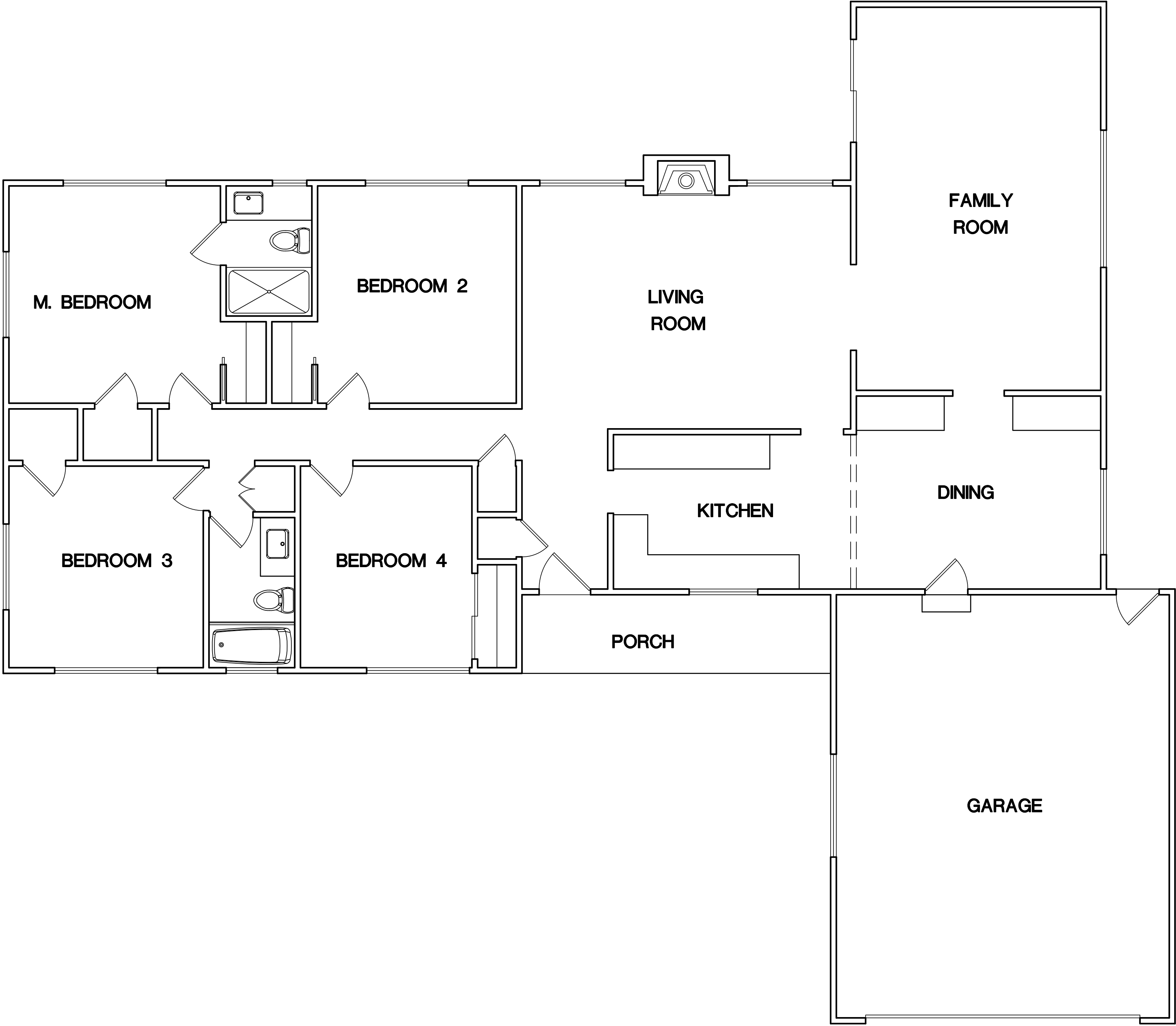
BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|           |              |
|-----------|--------------|
| DATE:     | 3-21-2022    |
| SCALE:    | 1/4" = 1'-0" |
| DRAWN     | CB           |
| JOB NO    |              |
| SHEET NO. | A3.2         |
| OF SHEETS |              |

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EXISTING ELEVATIONS



EXISTING FLOOR PLAN

| REVISIONS | BY |
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CB

BASSAL  
Architecture  
916.435.0605  
408.674.2077

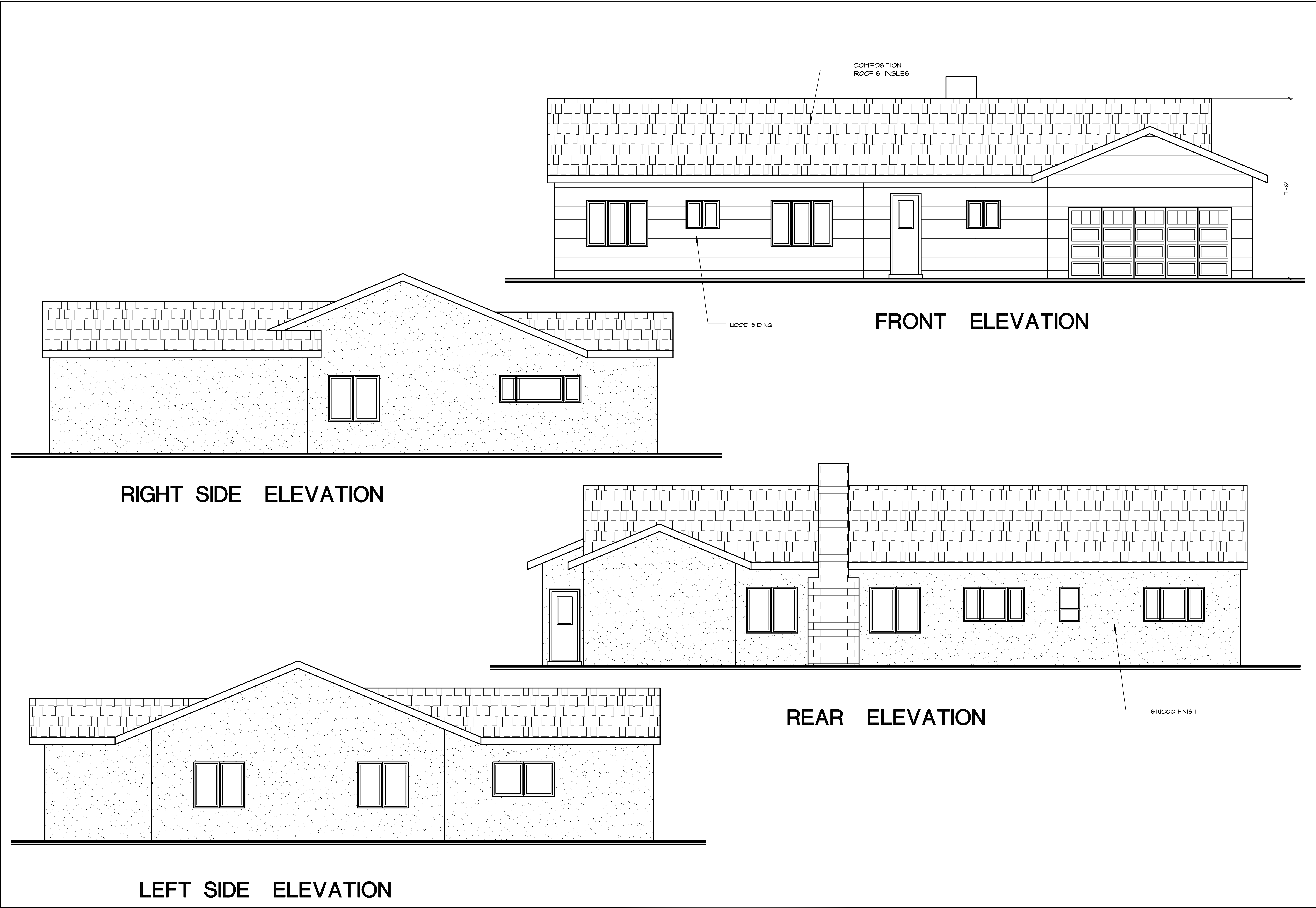
PICTURES OF EXISTING  
EXISTING FLOOR PLAN

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|        |                |
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| DATE:  | 2-2-2022       |
| SCALE: | 1/4" = 1' - 0" |
| DRAWN  | CB             |
| JOB NO |                |

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| SHEET NO. | A4.1 |
| OF SHEETS |      |

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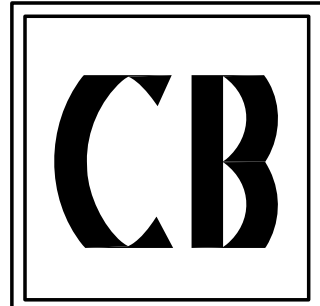
**BASSAL**  
**Architecture**  
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EXISTING ELEVATIONS

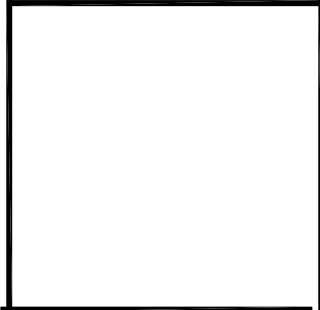
BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

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| DATE:     | 2-2-2022       |
| SCALE:    | 1/4" = 1' - 0" |
| DRAWN     | CB             |
| JOB NO    |                |
| SHEET NO. | A4.2           |
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**BASSAL**  
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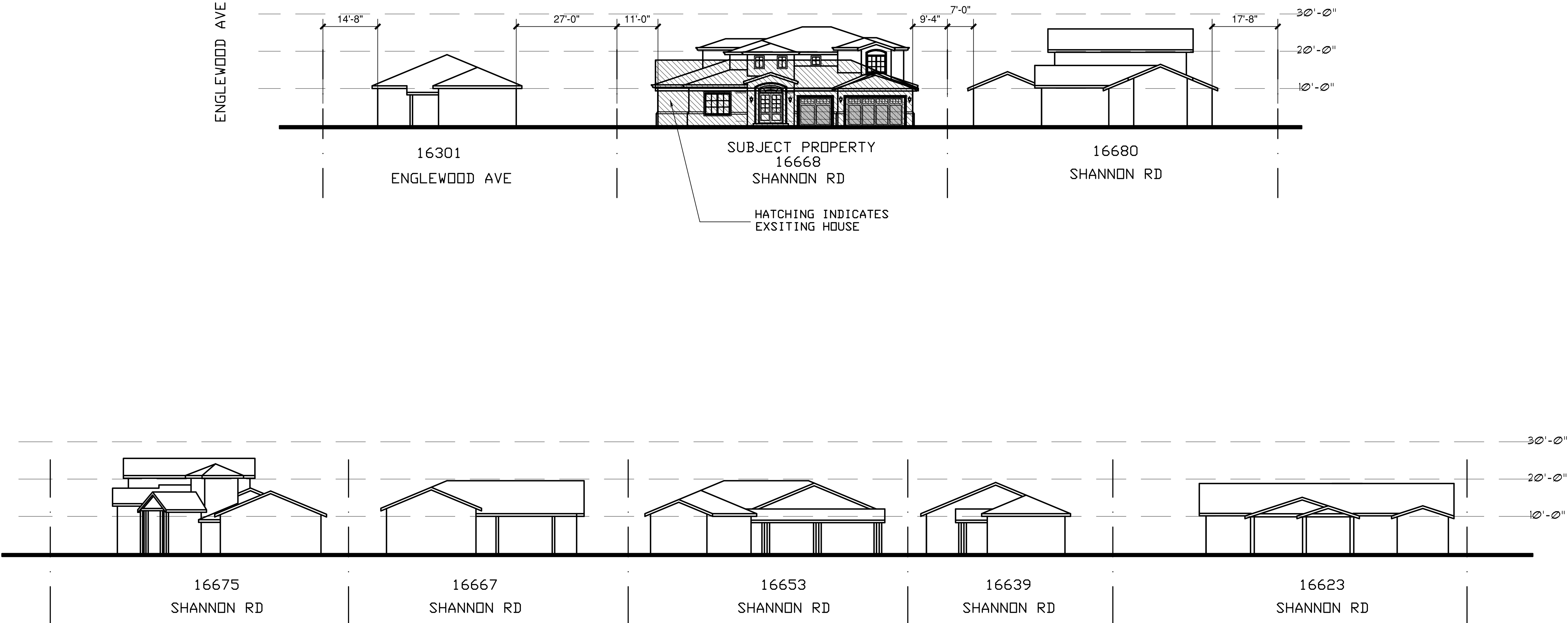


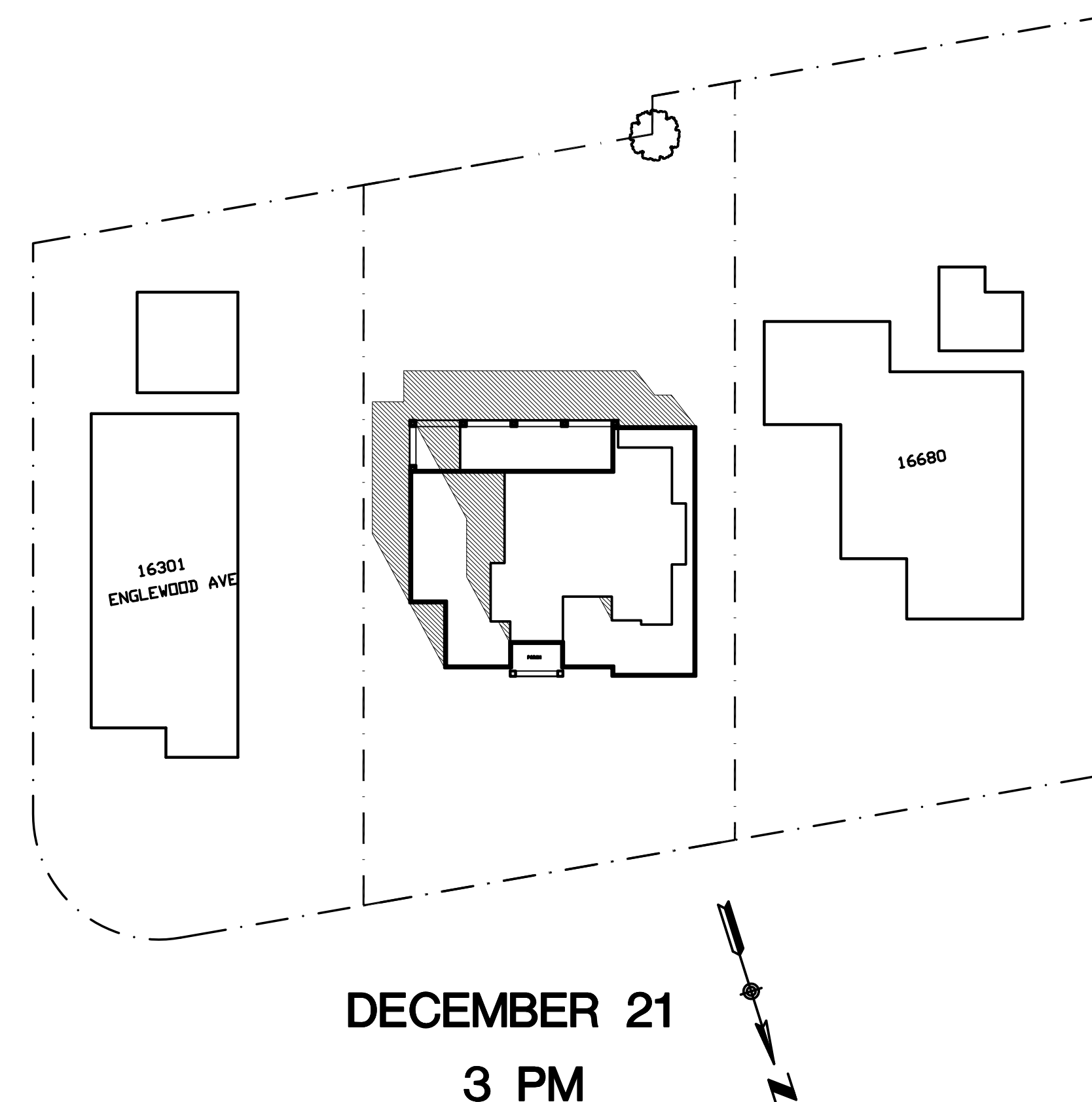
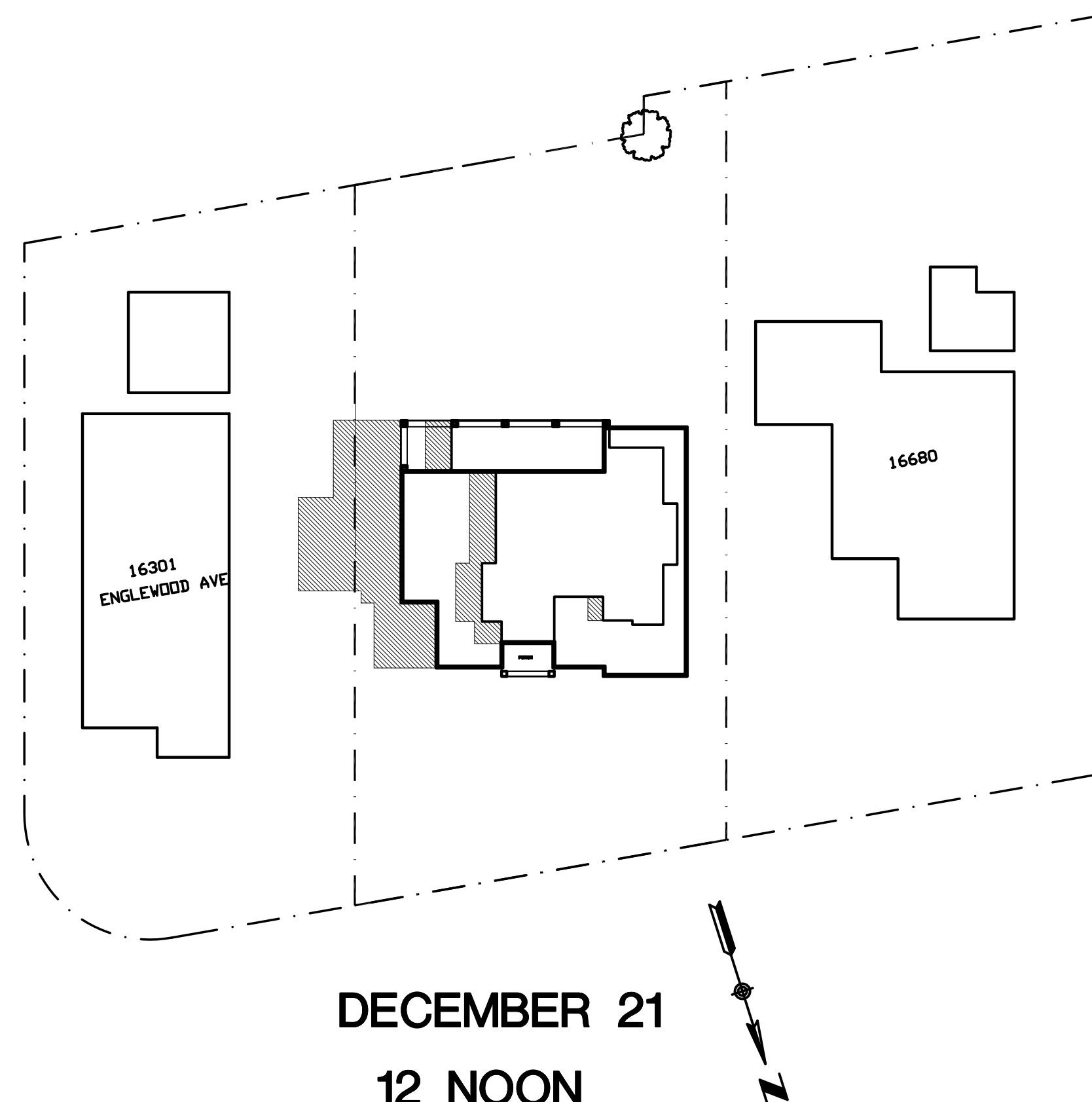
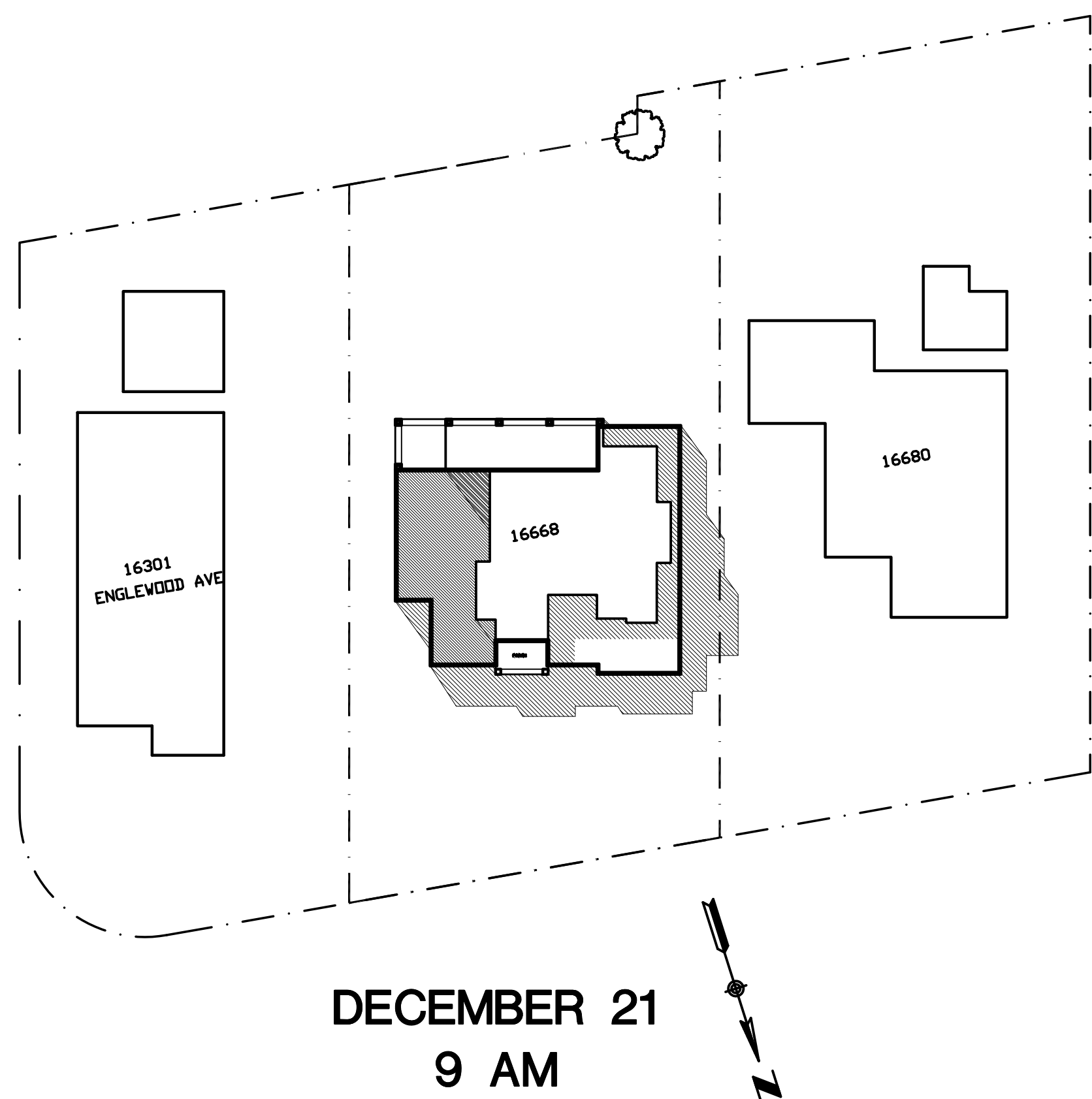
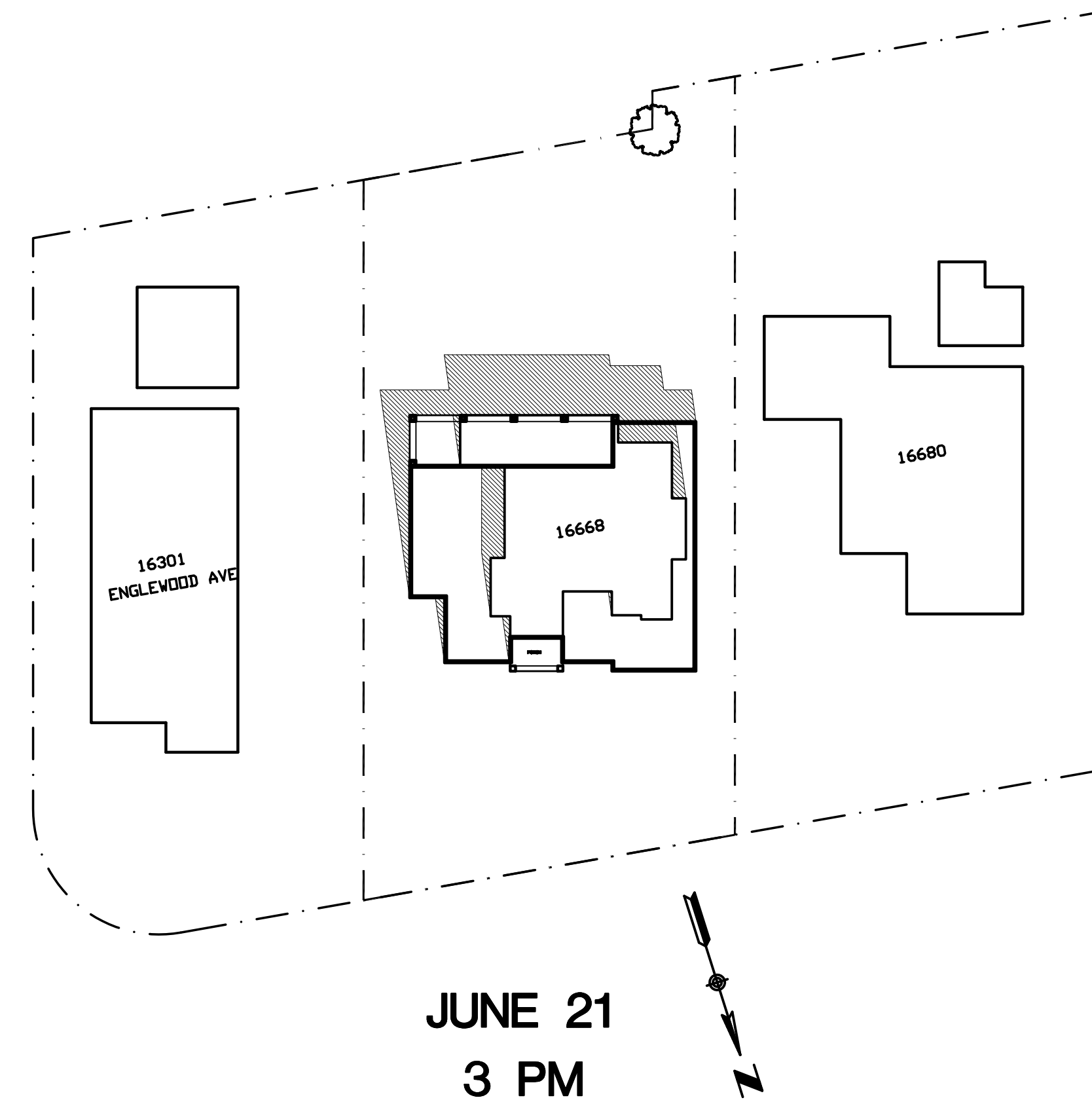
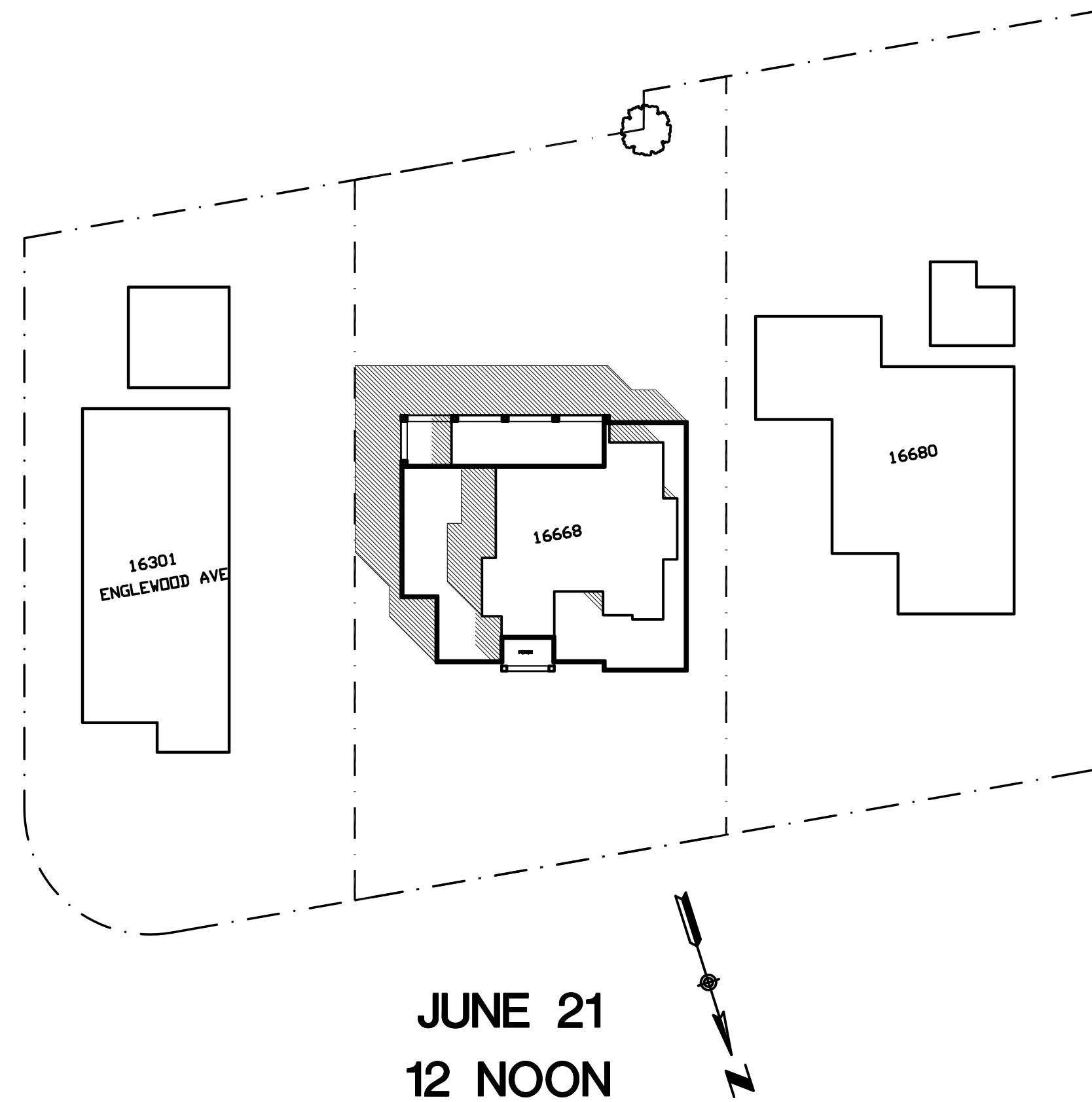
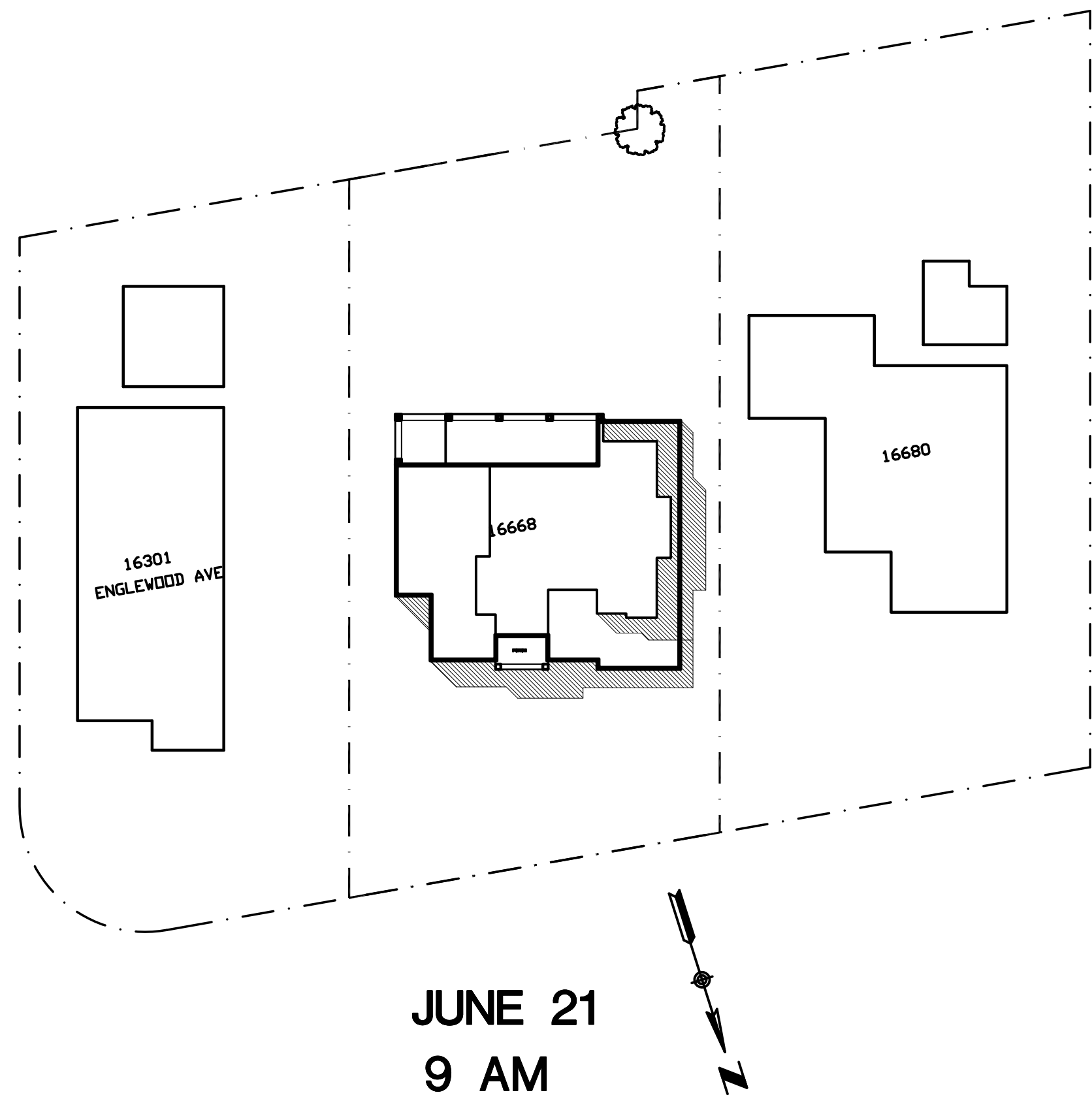
DEMOLITION PLAN

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

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| DATE:  | 2-2-2022      |
| SCALE: | 1/16" = 1'-0" |
| DRAWN  | CB            |
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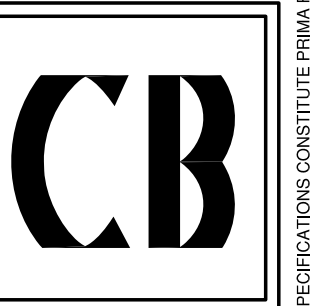
DECEMBER 21  
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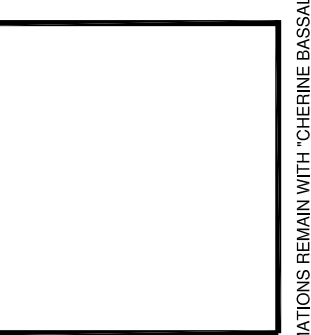
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SHADOW STUDY

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SHADOW STUDY

BINKLEY RESIDENCE  
16668 SHANNON ROAD  
LOS GATOS, CA 95032

|           |                |
|-----------|----------------|
| DATE:     | 2-2-2022       |
| SCALE:    | 1/4" = 1' - 0" |
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