

TOWN OF LOS GATOS COUNCIL AGENDA REPORT

DATE:	December 12, 2024
TO:	Town Council
FROM:	Chris Constantin, Town Manager
SUBJECT:	Consider an Appeal of a Planning Commission Decision to Approve an Architecture and Site Application for Construction of a Single-Family Residence and Site Improvements Requiring a Grading Permit on Vacant Property Zoned R-1:8. Located at 15411 National Avenue. APN 424-12- 140. Architecture and Site Application S-23-033. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owners: Vyankatesh and Ramya Muddada. Applicant: Jose Rama. Appellant: Hellen Martinez. Project Planner: Erin Walters.
	reneri wardinez. i roject i armer, Erni Walters.

RECOMMENDATION:

Adopt a resolution denying an appeal of a Planning Commission decision to approve an Architecture and Site application for construction of a new single-family residence and site improvements requiring a grading permit on vacant property zoned R-1:8, located at 15411 National Avenue.

BACKGROUND:

The subject property is 13,209 square feet, located on the west side of National Avenue approximately 152 feet south of Blackwell Drive (Attachment 1, Exhibit 1). The property is a vacant rear flag lot, located behind a property with an existing one-story single-family residence.

On October 10, 2023, the applicant submitted an Architecture and Site application for the construction of a two-story single-family residence with a cellar and associated site grading on the subject site. In August 2024, the applicant obtained permits and demolished multiple accessory structures from the subject site. The site is currently vacant.

<u>PREPARED BY</u> :	Erin Walters
	Associate Planner

Reviewed by: Town Manager, Assistant Town Manager, Town Attorney, and Community Development Director

PAGE 2 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

On November 13, 2024, the Planning Commission considered the application, including written and verbal public comments (Attachments 1, 2, and 3). The Planning Commission approved the application subject to modified conditions as described in the Action Letter (Attachment 4) and Section B below.

On November 25, 2024, the decision of the Planning Commission was appealed to the Town Council by an interested person, Hellen Martinez, property owner of 377 Blackwell Drive (Attachment 5). The appellant indicated that there was an error or abuse of discretion by the Planning Commission.

Pursuant to the Town Code, any interested person as defined by Section 29.10.020 may appeal to the Council any decision of the Planning Commission. For residential projects, an interested person is defined as "a person or entity who owns property or resides within 1,000 feet of a property for which a decision has been rendered and can demonstrate that their property will be injured by the decision." The appellant meets the requirements.

Pursuant to Town Code Section 29.20.280, the appeal must be heard within 56 days of the Planning Commission hearing, in this case by January 8, 2025. The Council must at least open the public hearing for the item and may continue the matter to a date certain if the Council does not complete its deliberations.

Pursuant to Town Code Section 29.20.295, in the appeal, and based on the record, the appellant bears the burden to prove that either there was an error or abuse of discretion by the Planning Commission or the decision was not supported by substantial evidence in the record. If neither is proved, the appeal should be denied. If the appellant meets the burden, the Council shall grant the appeal and may modify, in whole or in part, the determination from which the appeal was taken or, at its discretion, return the matter to the Planning Commission. If the basis for granting the appeal is, in whole or in part, information not presented to or considered by the Planning Commission, the matter shall be returned to the Planning Commission for review.

DISCUSSION:

A. Project Summary

The applicant proposes construction of a new 3,240-square foot, two-story residence with an attached 901-square foot, three-car garage. The residence also includes 1,700 square feet of below grade square footage, which includes a 500-square foot Junior Accessory Dwelling Unit (JADU). The development plans also include a detached 900-square foot Accessory Dwelling Unit (ADU). The proposed JADU and ADU are not the subject of this application and require ministerial building permit approval pursuant to state law. (Attachment 1, Exhibit 11).

PAGE 3 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

A single-family residence is permitted in the R-1:8 zone. The proposed residence is in compliance with the maximum allowable floor area, building height, setbacks, lot coverage, and on-site parking requirements for the property. A full discussion and analysis of the application is provided in the November 13, 2024, Planning Commission Staff Report (Attachment 1). Within the immediate neighborhood, the proposed project results in the largest residence in terms of square footage, by 511 square feet, and the largest garage in terms of square footage, by 124 square feet.

B. Planning Commission

On November 13, 2024, the Planning Commission received the staff report and addendum (Attachment 1 and 2). After receiving public comment and asking questions of the applicant, the Planning Commission closed the public hearing and discussed the project. Based on the neighbor's concerns, the motion for approval included additional conditions of approval requiring selection of non-allergenic privacy tree species, window placement, and the use of obscured glass on windows to address privacy concerns (Attachment 4, Conditions 10, 11, 12, and 14). The Planning Commission voted three to two to approve the application with modified conditions of approval. Attachment 3 contains the verbatim minutes.

C. Appeal to Town Council

The decision of the Planning Commission was appealed on November 25, 2024, by an interested person, Hellen Martinez (Attachment 5). On the appeal form, the appellant states that there was an error or abuse of discretion by the Planning Commission based on the following:

- The project is inconsistent with neighborhood compatibility per the Residential Design Guidelines;
- Incorrect assumption was made that neighbors would only accept a single-story development; and
- The conditions of approval are vague and difficult to enforce.

On December 4, 2024, the appellant submitted a supplemental letter to support their appeal (Attachment 6). The supplemental letter expands on reasons for the appeal as described in the November 25, 2024, Appeal of a Planning Commission Decision form (Attachment 5). On December 10, 2024, the applicant submitted a response to the appeal (Attachment 7). A summary of the specific reasons listed in the appeal form and in the appellant's supplemental letter are provided below as verbatim excerpts, followed by the applicant's response in italic, and staff's response.

PAGE 4 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

 <u>Appellant</u>: There was an error or abuse of discretion by the Planning Commission as "the project is inconsistent with neighborhood compatibly per the Residential Design Guidelines."

Excerpt from Appellant's Supplemental Letter: "The project is inconsistent with neighborhood compatibility, sizing, massing, and scale of the Residential Design Guidelines. The proposed two-story, three level structure, with 3,240 square feet, a 901square foot oddly distributed garage, a 1,700 square foot basement, a 570 sq ft covered patio, and a 36 square feet front porch coverage, totaling 6,447 square feet of gross square footage, plus an attic, is massive. The project maximizes the allowable size, which as one of the commissioners put it, "is a maximum, not a goal", and would be by far the largest structure among the surrounding single-family, residential homes. It is over twice the structural size of the largest adjacent two-story and single-story houses, which also lie on similarly sized lots of approximately 10,000 square feet. One of the commissioners said the proposed structure is "not that much larger than the next largest house" and that is incorrect. The size, massing, scale, bulk, and style of the proposed structure does not harmonize with the houses in the immediate neighborhood, including ours, and it stands out even more so by its location in the middle of the city block (in a flag lot/corridor lot), which causes it to overlook all the neighboring backyards from every side. This is not in line with the Residential Design Guidelines."

<u>Appellant's Request</u>: The appellant requests to "decrease the size of the proposed twostory structure to one that is less massive, more harmonious and in scale, bulk, and size with the surrounding structures and its positioning in the middle of the city block, by following the Residential Design Guidelines."

<u>Applicant's Response</u>: "We have worked with the staff for over a year to make sure we are following all the Town codes and guidelines, to not exceed Floor Area calculated by staff, to meet almost all suggestions mentioned by the Town Architect, and plan multi-generational home while still adhering to the FAR provided to us."

"We are following the Residential Design Guidelines as stated by Planning Commission."

<u>Staff Response</u>: The proposed residence is 511 square feet larger than the next largest residence in the immediate neighborhood. The project does not exceed the maximum allowable floor area and is not the largest floor area ratio in the immediate neighborhood. The Planning Commission made the finding that the project is in compliance with the Residential Design Guidelines for single-family residences not in hillside areas and approved the project with modified conditions.

PAGE 5 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

 <u>Appellant</u>: There was an error or abuse of discretion by the Planning Commission as an "incorrect assumption was made that neighbors would only accept a single-story development."

<u>Excerpt from Appellant's Supplemental Letter</u>: "Based on various comments made by some of the Commissioners during the hearing, we believe they incorrectly assumed that we, the neighbors, were asking that the application be changed from a two-story house to a one-story house. This is inaccurate. In fact, two of our properties are two-story houses (373 Blackwell Dr and 377 Blackwell Dr), so we have no fundamental opposition to another two-story structure."

<u>Appellant's Request</u>: The appellant requests that the size of the proposed two-story structure be reduced to one that is less massive and more harmonious with the surrounding structures, especially given its location in the middle of the city block (flag lot), which causes it to overlook all the neighboring backyards from every side.

<u>Applicant's Response</u>: No response provided.

<u>Staff Response</u>: During the Commissions deliberations Planning Commissioner Hansen suggested making some adjustments to the residence in order to satisfy the back neighbors and stated that she "suspected that the only adjustment that would work for the neighbors would be making the project a single-story" and that it would not be reasonable to reduce the project to a single-story because there are other two-story homes in the neighborhood.

3. <u>Appellant</u>: There was an error or abuse of discretion by the Planning Commission as an "the conditions of approval are vague and difficult to enforce."

Relocation of Windows

Excerpt from Appellant's Supplemental Letter: "Clarification is needed on the condition of approval to relocate windows. One of the Commission's conditions for approval is that, in order to address the strong privacy concerns brought up by multiple neighbors before and during the hearing, 'the applicants shall meet in good faith to relocate the offending windows such that they are the least offensive to the privacy interest of the neighbors.' We feel that this language is vague and does not specifically state that the windows shall be relocated, or encompass all the windows brought up as an issue during the hearing."

<u>Appellant's Request</u>: The appellant requests that the condition of approval be amended to require redesign that all the offending windows shall be repositioned to a location that addresses the neighbors' privacy interests.

PAGE 6 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

<u>Applicant's Response</u>: "We are going to put permanent obscure glass to cover the line of sight on both the egress windows and to address the Planning Commissions' conditions of approval we have decided to obscure additional windows."

"Unfortunately, we cannot move our egress windows facing Blackwell Drive. The first window, the suggestion to move to the front, will affect my neighbor, 15385 National Ave; we had assured him that there would be no egress window on the front side of the property facing his, and going against it would be more offensive. The second egress window has multiple issues due to which this cannot be moved. a. We had assured 113 Leila Ct neighbor that there would be no egress window on the back side of the property facing their property, this discussion is in the staff report as part of neighborhood reach out. b. Our current patio roof design doesn't allow for an egress window in the back."

<u>Staff Response</u>: Condition of Approval 12 requires that the applicant shall meet in good faith to relocate the offending windows such that they are least offensive to the privacy interests of the neighbors (Attachment 4). Prior to submitting for Building Permits the applicant must relocate the offending windows to address privacy interests of the neighbors. Note some windows may need to retain their location due to building egress and ingress requirements.

Privacy Trees

<u>Excerpt from Appellant's Supplemental Letter</u>: "Clarification is needed on the condition of approval regarding trees. One of the Commission's conditions for approval is that "the [privacy] tree species shall be mutually agreed upon by the neighbors that they are a minimum protective of privacy and non-allergenic to any of the neighbors." While we appreciate and value this condition, we believe it's insufficient to address the concerns we expressed before and during the hearing, given that the proposed plan includes planting privacy trees by the section of the north fence facing 373 Blackwell Drive only, but not the section facing our property at 377 Blackwell Drive."

<u>Appellant's Request</u>: The appellant requests that the condition of approval be amended to require that both the species and also the number and location of the privacy trees shall be mutually agreed upon by the neighbors.

Applicant's Response: No response provided.

<u>Staff Response</u>: The Planning Commission added Condition of Approval 10 requiring the tree species to be mutually agreed upon by the neighbors, that they are at a minimum protective of privacy, and non-allergenic to any of the neighbors. The motion by the Planning Commission did not include requiring that the number and location of the privacy trees shall be mutually agreed upon by the neighbors. Condition of Approval 11 requires that prior to obtaining a building final, the property owner must plant five 24-

PAGE 7 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

gallon trees along the northern fence line. Privacy trees must be maintained by the property owner.

Appellants Additional Reasons for the Appeal

The appellant provided additional reasons for the appeal, which are included in the appellant's supplemental letter (Attachment 6). These reasons were not included in the November 25, 2024, Appeal of a Planning Commission Decision form (Attachment 5).

1. Ongoing Tree Maintenance Covenant

Excerpt from Appellant's Supplemental Letter: "All the adjacent neighbors have experienced difficulties with the applicants during the last seven years since their ownership of the two lots, with multiple maintenance and repair and maintenance issues, specifically with respect to the level and speed of responsiveness even when dealing with severe damage caused by storms, for instance. We all have severe concerns about their level of commitment to perform the adequate level and frequency of maintenance to the privacy trees (which will be on their property)."

<u>Appellant's Request</u>: Add a condition of approval that an enforceable covenant of ongoing maintenance be established.

<u>Applicant's Response</u>: "The maintenance of the fence and gigantic oak tree that sits between two properties is the responsibility of all the property owners who share them, and this was never an issue before 2024. We shared the project plans with our neighbors in early 2024. I have never backed out of a commitment to have a new fence or pay my share. The same goes for the trimming of the Oak tree. I did request additional time as there was an access issue at my end of the property. Currently, the fences for both properties are new, and the Oak tree is trimmed."

<u>Staff Response</u>: Condition of Approval 11 requires the privacy trees to be maintained by the property owner (Attachment 4). During the public hearing, the Planning Commission discussed the possibility of including a tree maintenance covenant; however, this was not included in the final motion.

2. Unaddressed Significant Privacy and Quality of Life Concerns

<u>Excerpt from Appellant's Supplemental Letter</u>: "We have significant privacy and quality of life concerns given the intended use of the flag lot by the applicants as a high-density multidwelling complex. This includes the massive proposed 3-level structure, which could easily be subdivided at any time to be partially/totally used as multi-family dwellings, as well as their stated intent to build two ADUs in the future (which we understand is allowed by California law). While the applicant claims the proposed structure is a single-family

PAGE 8 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

residence, its size, design, and layout suggest it could be easily converted into a multi-family dwelling or house several tenants."

<u>Appellant's Request</u>: "We respectfully encourage the Town Council/Planning Commission to reject this proposal. Allowing what is likely a multi-family unit to be disguised as a single-family home would not only be a violation of the zoning regulations but would also undermine the very fabric of our neighborhood. We ask that the size of the proposed two-story structure, be reduced to one that is less massive, more harmonious and in scale with the surrounding structures and its positioning in the middle of the city block."

<u>Applicant's Response</u>: "The letter provided by the appellant contained a lot of incorrect, misleading, and misinformation. It is riddled with unfounded accusations that have no proof and is made with a sole intent of undermining our project and question our character."

<u>Staff Response</u>: A single-family residence, ADU, and JADU are permitted uses in the subject R-1:8 zone. The detached ADU and JADU are not the subject of this application and will require a ministerial building permit approval pursuant to state law.

If the property or uses are not compliant with Town Code, the Town's Code Enforcement Officer can be contacted.

3. <u>Clarification Regarding Visibility of Proposed House from Street</u>

Excerpt from Appellant's Supplemental Letter: "Inaccurate information regarding the visibility from the street of the proposed development, given that one of the very large trees (#67) blocking the structure from the street shows as 'to be removed' in the development plans, and upon further inquiry continues to be in question as to whether it will remain or not. This was a stated key clarifying point for one Commissioner as she considered the applicant's not meeting one of the consulting architect's recommendations."

<u>Applicant's Response</u>: Our proposed plan is not visible from any street corner; you can only see it if you are standing right across 15415 National Avenue. The top of the front façade is only visible to 15400 National Avenue which is an office space and 15385 National Avenue (who has no objection to the project)."

<u>Staff Response</u>: The proposed two-story residence is partially visible from National Avenue as it is located behind the existing one-story house located at 15415 National Avenue. The Planning Commissioner asked staff if the tower feature on the front elevation of the residence could be seen from National Avenue. Staff responded that it could not be seen from the street.

PAGE 9 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

Tree #67, located on the front property, is proposed to be removed as part of a separate public sidewalk improvements requirement. Trees #62, #61, #68, #69 and #70 will remain at the front property.

PUBLIC COMMENTS:

Story poles and signage have been maintained on the site since the November 13, 2024, Planning Commission meeting. Written notice of the Town Council hearing was sent to property owners and tenants within 300 feet of the subject property. Public comments received between 11:01 a.m., Wednesday, November 13, 2024, and 11:00 a.m., Thursday, December 12, 2024, are included as Exhibit 9.

ENVIRONMENTAL REVIEW:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

CONCLUSION:

A. <u>Recommendation</u>

For the reasons stated in this report, it is recommended that the Town Council uphold the decision of the Planning Commission and adopt a resolution (Attachment 8) denying the appeal.

B. <u>Alternatives</u>

Alternatively, the Town Council could continue the application to a date certain and:

- 1. Provide direction to staff to prepare a resolution to grant the appeal and remand the application back to the Planning Commission with specific direction;
- 2. Provide direction to staff to prepare a resolution granting the appeal and denying the application; or
- 3. Continue the application to a date certain with other specific direction.

PAGE 10 OF 10 SUBJECT: 15411 National Avenue/S-23-033 DATE: December 17, 2024

Attachments:

- 1. November 13, 2024 Planning Commission Staff Report, with Exhibits 1 through 12
- 2. November 12, 2024 Planning Commission Addendum, with Exhibits 13 and 14
- 3. November 13, 2024 Planning Commission Verbatim Minutes
- 4. November 15, 2024 Planning Commission Action Letter with Modified Conditions of Approval
- 5. Appeal of the Planning Commission Decision, received January 22, 2024
- 6. Supplemental Correspondence from the Appellant, received December 4, 2024
- 7. Applicant's Response to Appeal, Received December 10, 2024
- 8. Draft Resolution to Deny Appeal and Approve Project
- 9. Public comments received between 11:01 a.m., Wednesday, November 13, 2024, and 11:00 a.m., Thursday, December 12, 2024



DATE: November 8, 2024
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Construction of a Single-Family Residence and Site Improvements Requiring a Grading Permit on a Vacant Property Zoned R-1:8.
Located at 15411 National Avenue. APN 424-12-140. Architecture and Site Application S-23-033. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Vyankatesh and Rammy Muddada. Applicant: Jose Rama. Project Planner: Erin Walters.

RECOMMENDATION:

Denial.

PROJECT DATA:

General Plan Designation:	Low Density Residential
Zoning Designation:	R-1:8, Single-Family Residential
Applicable Plans and Standards:	General Plan, Residential Design Guidelines
Gross Parcel Size:	13,209 square feet
Net Parcel Size:	10,729 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential and	Low Density Residential and Office	R-1:8 and O
	Office	Professional	
West	Residential	Low Density Residential	O:PD

PREPARED BY:

Erin Walters Associate Planner

Reviewed by: Planning Manager and Community Development Director

PAGE **2** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

<u>CEQA</u>:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, 15303: New Construction.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).
- The project complies with the Residential Design Guidelines.

CONSIDERATIONS:

 As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject 13,209 square-foot vacant rear flag lot is located on National Avenue between Los Gatos-Almaden Road and Blackwell Drive (Exhibit 1). The applicant submitted an Architecture and Site application for the construction of a single-family residence and associated site grading. The proposed project would result in the largest residence in terms of square footage, by 511 square feet, and the largest garage in terms of square footage, by 124 square feet, in the immediate neighborhood. The applicant has not addressed all of the Consulting Architect's recommendations. Public comment has also raised concerns regarding neighborhood compatibility, privacy, and landscaping. Due to the reasons listed above, the application has been referred to the Planning Commission for consideration.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is 13,209 square feet, located on the westside of National Avenue approximately 152 feet south of Blackwell Drive (Exhibit 1). The property is a vacant rear flag lot, located behind a property with an existing one-story single-family residence. Single-family residential development surrounds the property with office and multi-family development located across the street on National Avenue, east of the subject site.

B. Project Summary

The applicant proposes construction of a two-story residence and site improvements requiring a Grading Permit (Exhibit 4).

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The proposed residence is in compliance with the maximum allowable floor area, building height, setbacks, lot coverage, and on-site parking requirements for the property.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes construction of a new 3,240-square foot, two-story residence with an attached 901-square foot, three car garage. The residence also includes 1,700 square feet of below grade square footage which includes a proposed 500-square foot Junior Accessory Dwelling Unit (JADU). The proposed JADU is not part of this application and requires a ministerial building permit. The height of the proposed residence is 30 feet, where a maximum of 30 feet is allowed. The applicant proposes a future detached 900 square foot Accessory Dwelling Unit (ADU). The proposed ADU is not part of this application and requires a ministerial building permit.

Floor Area Summary			
	Proposed SF	Maximum Allowed SF	
Main Residence			
Second Floor	1,518		
First Floor	1,722		
Total Countable	3,240	3,263	
Attached Garage	901	901	
Below-Grade Area	1,700	Exempt	
Below-Grade JADU	500	Located in Below Grade	
		500 max.	
		Not part of this application.	
Detached ADU	900	1,073 s.f. max.	
		Not part of this application.	

A summary of the floor area for the proposed residence is included in the table below.

The applicant has provided a Scope of Work and a Letter of Justification summarizing the project (Exhibits 4 and 5), photographs of the existing site (Exhibit 6), and Development Plans included as Exhibit 11.

PAGE **4** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

B. Building Design

The proposed two-story contemporary style residence has been designed with contrasting colors and materials. Proposed exterior materials include: a concrete tile roof; smooth stucco siding with stone wainscot sills; metal-clad wood windows with wood trim; iron doors; and metal garage doors (Sheet A4.3, Exhibit 11). The upper floor of the residence includes the main bedroom suite, and two-bedroom suites. The second-story bedroom windows on the north elevation include obscure glass for privacy. The lower floor of the residence includes a living room, additional bedroom suite and the attached three-car garage with storage. A covered patio is located off the lower rear elevation from the kitchen and great room space.

The Town's Consulting Architect reviewed the proposed residence in October 2023 and noted that the neighborhood contains a predominance of one-story homes designed in traditional styles. These homes are modest in scale and mass and have simple roof forms (Exhibit 7). The Town's Consulting Architect stated that the proposed house design appears to emulate a traditional Mediterranean home style, but is designed in much more generic design style with lack of consistency in its design treatment. This would not appear to be consistent with the Town's Residential Design Guidelines 3.2.1 and 3.2.2.

- 3.2.1 Select an architectural style with sensitivity to the surrounding neighborhood
- 3.2.2 Design for architectural integrity Building massing, roof pitches, materials, window types and proportions, design features (e.g., roof dormers), and other architectural features should be consistent with the traditions of the selected style.

The Consulting Architect made eight recommendations to simplify the design and bring it into greater compliance with the Town's Residential Design Guidelines. In response to these recommendations, the applicant made several modifications to the design of the residence, summarizing the changes in a written response (Exhibit 8). The Consulting Architect's issues and recommendations are provided below, followed by the applicant's response in italics.

Issues and Recommendations:

- 1. Provide an under-the-eave entry in lieu of the proposed stone tower.
 - Revised the entry way from large tower to smaller stone entry way. Applicant investigated multiple homes in the surrounding that have been approved by the Town, that have a stone tower as an entry way. See Letter of Justification for image of house (Exhibit 8).
- 2. Match the lower first floor roofing to the shingles on the main roof.
 - Lower first floor roofing revised to match the shingles on the main roof.

PAGE **5** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

- 3. Add a projecting balcony at the second-floor elevation.
 - Revised front elevation by removing the JADU from the second floor over the garage, reducing the bulky design and redesigned the roofline to accommodate a smoother transition.
- 4. Extend the main roof form over the bay windows on the side elevations and use stucco in lieu of the proposed wood siding.
 - Revised the north elevation by relocating the JADU to the basement level. That reduces the massing and blends the JADU entrance with the façade. Extended the main roof form over the bay windows on side elevations and use stucco in lieu of proposed wood siding. Revised the roof line to accommodate the extension of the bay windows at all locations.
- 5. Provide projecting trim at the second-floor line around all sides of the home.
 - The applicant investigated multiple homes in the surrounding area that do not have a belly band trim at the break of the first and second floors. See Letter of Justification for image of house (Exhibit 8).
- 6. Provide a projecting stucco base around all façades.
 - *Revised the base to project from wall with a wainscot profile.*
- 7. Integrate the stair on the right-side elevation into the main building form.
 - Stairs removed.
- 8. Provide a visual screen on the deck side nearest the adjacent property line.
 - Second story rear deck removed to address privacy.

The applicant responded to the Consulting Architect's issues and recommendations through design revisions with the exception meeting the following recommendations:

- Recommendation 1 Provide an under-the-eave entry in lieu of the proposed stone tower.
- Recommendation 5 Provide projecting trim at the second-floor line around all sides of the home.
- C. <u>Neighborhood Compatibility</u>

The subject rear flag lot has a net lot size of 10,728 square feet and the maximum allowable floor area is 3,263 square feet for the residence, and 901 square feet for the garage. The maximum allowable FAR for the residence and any accessory structure is 0.30. The table

PAGE **6** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

below reflects the current conditions of the residences in the immediate neighborhood based on County records.

FAR Comparison - Neighborhood Analysis							
Address	Zoning	Residential SF	Garage SF	Total SF	Lot Area SF	Residential FAR	No. of Stories
373 Blackwell Dr.	R-1:8	2,693	489	3,182	10,180	0.26	2
377 Blackwell Dr.	R-1:8	2,693	468	3,161	9,883	0.27	2
381 Blackwell Dr.	R-1:8	2,173	411	2,584	10,303	0.21	1
15385 National Ave.	R-1:8	1,056	128	1,184	10,707	0.10	1
15415 National Ave.	R-1:8	1,719	317	2,036	8,060	0.21	1
15425 National Ave.	R-1:8	1,357	483	1,840	20,727	0.07	1
15439 National Ave.	R-1:8	2,386	777	3,163	9,655	0.25	1
15461 National Ave.	R-1:8	2,729	693	3,422	7,439	0.37	2
15899 Los Gatos Almaden Rd.	0						
15400 National Ave.	0						
	R-M:						
279 De Soto Dr.	5-12						
15411 National Ave. (E)	R-1:8				10,729	0.00	
15411 National Ave. (P)	R-1:8	3,240	901	4,141	10,729	0.30	2

* Residential square footage includes the residence and detached accessory structures, except garages.

** The total square footage numbers do not include below grade square footage.

The eight properties in the immediate neighborhood are developed with one- and two-story single-family residences located in the Single-Family Residential zone. The three properties located across the street from the subject property on National Avenue and are zoned Office and Multi-Family residential. These properties are not included in the immediate neighborhood comparison as they are not zoned single-family residential and are different uses, office and multi-family.

The property sizes within the immediate neighborhood range from 7,439 square feet to 20,727 square feet. Based on Town and County records, the residences in the immediate neighborhood range in size from 1,056 square feet to 2,729 square feet. The FAR of the residences in the immediate neighborhood range from 0.07 to 0.37. The applicant is proposing a 3,240-square foot residence and a FAR of 0.30 on a 10,729-square foot parcel. The proposed project has the second largest FAR in the immediate neighborhood. The proposed project would result in the largest residence in terms of square footage, by 511 square feet, and the largest garage in terms of square footage, by 124 square feet, in the immediate neighborhood.

PAGE **7** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

The applicant has provided justification for proposing the largest residence and largest garage, in terms of square footage, in the immediate neighborhood (Exhibit 5). The applicant notes that the immediate neighborhood isn't uniform in terms of building age, style, or size. The presence of both older and newer structures with varying FARs can make it challenging to establish a benchmark for comparison structures. There is a two-story residence the immediate neighborhood, built in 2017, that exceeds the maximum allowable FAR for the site. The applicant also describes that the immediate neighborhood includes a large hospital building at 15400 National Avenue. The justification includes that the uses on National Avenue are commercial, including multiple multi-story buildings, adding another layer of complexity to the neighborhood's composition and that the commercial nature of the area might further impact the comparison of FARs, especially when assessing residential properties.

The applicant's justification states that the unique configuration of the rear flag lot presents distinctive challenges and opportunities in adhering to zoning regulations while ensuring the proposed structure harmonizes with the immediate neighborhood. The applicant describes that the proposed design does not exceed the stipulated FAR and it remains in reasonable limits and is the result of conscientious planning to accommodate the needs of the multi-generational household without compromising the neighborhood's integrity. The applicant states that the design integrates architectural elements that contribute positively to the visual appeal and uniqueness of the area, aligning with the overarching aim of the Residential Design Gudelines.

D. Neighbor Outreach

The property owners have been in communication with the surrounding neighbors regarding the proposed project. A summary of their outreach efforts is included as Exhibit 10. Neighbors have provided public comment and raised concerns regarding the proposed two-story residence (Exhibit 12).

Based on the applicant's neighborhood outreach and the public comments received by staff three main issues have been raised:

- 1. Neighborhood Compatibility Height, bulk, and mass.
- 2. Privacy Window placement, and balcony placement.
- 3. Landscaping Location, height and maintenance of proposed trees.

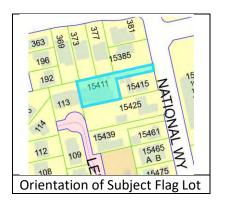
The following sections discuss each topic.

E. <u>Neighborhood Compatibility</u>

Public comments include concerns regarding neighborhood compatibility with regards to height, bulk, and mass (Exhibit 12). The subject property is a rear flag lot. Three properties

PAGE **8** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

located on Blackwell Drive, north of the subject flag lot, have rear yards that face the side of the proposed property and proposed residence.



The applicant has modified the second-floor massing on the northern elevation to reduce the bulk and mass of the building that faces the rear properties along Blackwell Drive. The applicant has removed the second-story rear balcony to further reduce massing and address privacy concerns.

F. <u>Privacy</u>

Public comments include concerns regarding privacy, including window placement, and balcony placement (Exhibit 12). To address privacy concerns the applicant has incorporated the following into the proposed design (Exhibit 10):

- Removal of second-story rear balcony;
- Use of obscure/frosted glass on the two-story bedroom windows located on north elevation facing the Blackwell Drive rear yards;
- Planting of evergreen trees to provide screening along the northern fence line;
- Retention and trimming of the existing large Oak tree at rear corner of the lot; and
- Proposed side yard setback provides between 80 to 120 feet of distance between the proposed two-story windows on the subject property and the existing two-story elevation windows at the rear of the Blackwell Avenue residences.

Exhibit 3 includes Condition of Approval #11, requiring the two second floor bedroom windows located on the northern elevation of the residence have frosted or obscure glass to provide privacy between the properties.

G. Landscaping

Public comments include concerns regarding proposed landscaping, including location of screening trees and species (Exhibit 12). To address privacy concerns the applicant has proposed planting five screening trees along the Blackwell Drive fence line (Sheet A0.12,

PAGE **9** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

Exhibit 11). The proposed tree species is Leyland Cypress. Leyland Cypress trees are fast growing, upright in growth, and evergreen. Mature height can reach 50 to 60 feet tall with a mature spread of 15 to 20 feet.

Staff received two public comments expressing the following concerns about the proposed privacy trees to be planted along the Blackwell Drive fence:

- Drainage of rainwater onto the adjacent property;
- Ongoing maintenance of the trees;
- Tree height will not adequately screen the view from the second story; and
- Future detached ADU construction may interfere with the proposed privacy trees.

Exhibit 3 includes Condition of Approval #10, requiring that prior to obtaining a building final the property owner must plant five 24-gallon Leyland Cypress trees along the northern fence line to address privacy concerns. Privacy trees must be maintained by the property owner.

H. Tree Impacts

The Town's Consulting Arborist prepared a report for the site and made recommendations for the project (Exhibit 9). The project site contains six protected trees. Four trees are proposed to be removed due the proposed location of the house and to accommodate the new driveway. Arborist recommendations for tree protection have been included in the Conditions of Approval (Exhibit 9). Tree #67 is located on the front parcel and is not part of this application.

I. <u>Grading</u>

The project includes site improvements with grading quantities exceeding 50 cubic yards, which requires approval of a Grading Permit. The Town's Parks and Public Works Engineering staff have included a condition of approval requiring submittal and evaluation of a Grading Permit in parallel with the required Building Permits (Exhibit 3).

J. Off-Site Improvements

The project includes off-site improvements requiring the applicant to install a new sidewalk, curb, and gutter along frontage of the parcel along National Avenue, tying into the existing condition to the north. In addition, applicant shall pave and/or restore pavement from the centerline to the newly constructed gutter along the National Avenue frontage per Condition of Approval 73, Exhibit 3.

K. CEQA Determination

PAGE **10** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

PUBLIC COMMENTS:

Story poles and signage were installed on the site and written notice was sent to property owners and tenants located within 300 feet of the subject property. Public comments received by 11:00 A.M., Friday, November 8, 2024, are included as Exhibit 12.

CONCLUSION:

A. <u>Summary</u>

The applicant is requesting approval of an Architecture and Site application for construction of a new two-story single-family residence. The project is consistent with the Zoning and General Plan Land Use designation for the property. The project is in compliance with the objective standards of the Town Code related to allowable floor area, height, setbacks, lot coverage, and on-site parking requirements. The proposed project would result in the largest residence in terms of square footage, by 511 square feet, and the largest garage in terms of square footage, by 124 square feet, in the immediate neighborhood. The project was reviewed by the Town's Consulting Architect who provided recommendations to address the consistency of the project with the Residential Design Guidelines. The applicant responded to the Consulting Architect's issues and recommendations through design revisions with the exception meeting two recommendations. Public comment has raised outstanding concerns regarding neighborhood compatibility, privacy, and landscaping.

The applicant has provided a Scope of Work and a Letter of Justification for the proposed two-story residence, speaking to the design's compatibly with the immediate and surrounding neighborhood (Exhibits 4 and 5).

B. <u>Recommendation</u>

Based on the analysis above, staff recommends denial of the Architecture and Site application based on concerns related to size, neighborhood compatibility, and consistency with the Residential Design Guidelines, as discussed in this report.

PAGE **11** OF **11** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 8, 2024

C. <u>Alternatives</u>

Alternatively, the Commission can:

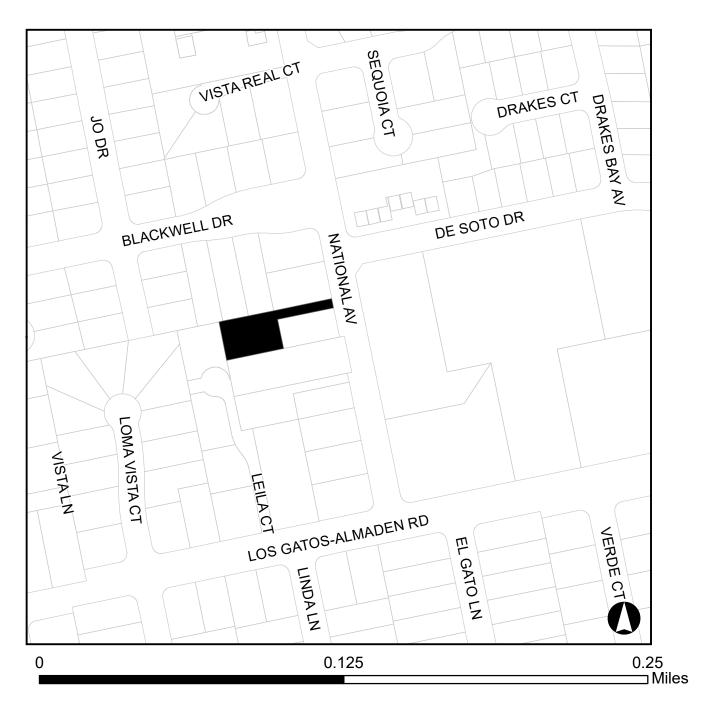
- 1. Approve the application by taking the following actions:
 - a. Make the finding that the proposed project is Categorically Exempt, pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
 - b. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
 - c. Make the finding that the project complies with the Residential Design Guidelines (Exhibit 2);
 - d. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
 - e. Approve Architecture and Site application S-23-033 with the conditions contained in Exhibit 3 and the development plans in Exhibit 11.
- 2. Approve the applications with additional and/or modified conditions; or
- 3. Continue the matter to a date certain with specific direction.

EXHIBITS:

- 1. Location Map
- 2. Required Findings and Considerations
- 3. Recommended Conditions of Approval
- 4. Scope of Work
- 5. Letter of Justification
- 6. Photographs of Site
- 7. Consulting Architect's Report
- 8. Applicant's Response to Consulting Architect
- 9. Consulting Arborist's Report
- 10. Applicant's Summary of Neighborhood Outreach
- 11. Development Plans
- 12. Public Comments received by 11:00 a.m., Friday, November 8, 2024

This Page Intentionally Left Blank

15411 National Avenue



This Page Intentionally Left Blank

PLANNING COMMISSION – November 13, 2024 **REQUIRED FINDINGS and CONSIDERATIONS FOR:**

<u>15411 National Avenue</u> Architecture and Site Application S-23-033

Requesting Approval for Construction of a Single-Family Residence and Site Improvements Requiring a Grading Permit on a Vacant Property Zoned R-1:8. APN 424-12-140. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Vyankatesh and Rammy Muddada. Applicant: Jose Rama. Project Planner: Erin Walters.

FINDINGS

Required findings for CEQA:

 The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

Required compliance with the Zoning Regulations:

 The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

Required compliance with the Residential Design Guidelines:

The project is in compliance with the Residential Design Guidelines for singlefamily residences not in hillside areas.

CONSIDERATIONS

Required considerations in review of Architecture & Site applications:

 As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project. This Page Intentionally Left Blank

PLANNING COMMISSION – November 13, 2024 **CONDITIONS OF APPROVAL**

<u>15411 National Avenue</u> Architecture and Site Application S-23-033

Requesting Approval for Construction of a Single-Family Residence and Site Improvements Requiring a Grading Permit on a Vacant Property Zoned R-1:8. APN 424-12-140. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Vyankatesh and Rammy Muddada.

Applicant: Jose Rama.

Project Planner: Erin Walters.

TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR:

Planning Division

- 1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
- 2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
- 3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
- 4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
- 5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
- ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
- 7. TREE FENCING: Protective tree fencing and other protection measures consistent with Section 29.10.1005 of the Town Code shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
- 8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
- 9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
- 10. PRIVACY TREE PLANTING: Prior to obtaining a building final the property owner must plant

five 24-gallon Leyland Cypress trees along the northern fence line. Privacy trees must be maintained by the property owner.

- 11. FROSTED/OBSCURE PRIVACY WINDOWS The two second floor bedroom windows located on the northern elevation of the residence shall have frosted or obscure glass to provide privacy between properties.
- 12. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
- 13. STORY POLES/PROJECT IDENTIFICATION SIGNAGE: Story poles and/or project identification signage on the project site shall be removed within 30 days of approval of the Architecture & Site application.
- 14. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

15. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

- 16. PERMITS REQUIRED: A Building Permit is required for the construction of the new singlefamily residence and attached garage. An additional Building Permit will be required for the PV System that is required by the California Energy Code.
- APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes.
- 18. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
- 19. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
- 20. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
- 21. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
- 22. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
- 23. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items: Building pad elevation
 - a. Finish floor elevation
 - b. Foundation corner locations
 - c. Retaining wall(s) locations and elevations
- 24. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e., directly printed, onto a plan sheet.
- 25. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch-wide doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.

- d. A door buzzer, bell or chime shall be hard wired at primary entrance.
- 26. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.40.020. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
- 27. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
- 28. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
- 29. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.
- 30. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

31. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.

- 32. PAYMENT OPTIONS:
 - a. All payments regarding fees and deposits can be mailed to:

Town of Los Gatos PPW – Attn: Engineering Dept 41 Miles Avenue Los Gatos, CA 95030

Or hand deliver/drop off payment in engineering lock box Checks made out to **"Town of Los Gatos"** and should mention **address and application number** on memo/note line.

- 33. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- 34. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
- 35. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
- 36. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
- 37. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
- 38. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be fore the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the

Engineering Construction Inspector before the start of construction to verify existing conditions.

- 39. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
- 40. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- 41. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of permits or recordation of maps.
- 42. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- 43. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
- 44. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: All grading work taking place with this application and related applications/projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
- 45. GRADING: Any grading work, cut/fill, earthwork or combination thereof (completed or proposed on submitted plans) on the parcel over the upcoming two-year period are combined with regards to grading permit thresholds. This also applies to adjacent parcels with identical owners, applicants and or developers.
- 46. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
- 47. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily, or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street

sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered. For sites greater than four (4) acres in area:

- a. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
- b. Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
- c. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- d. Replant vegetation in disturbed areas as quickly as possible.
- e. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
- 48. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 49. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- 50. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- 51. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense
- 52. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
- 53. CONSTRUCTION HOURS: All improvements and construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner,

Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.

- 54. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- 55. DELAYED/DEFERRED REPORTS AND REVIEWS: TLGPPW strongly recommend that reports requiring a peer review be submitted and completed prior to committee approval/building permit stage. Note that these reviews may require a design change by the applicant and/or additional studies. Applicants who chose to defer assume risk that required changes may send project back to planning stage.
- 56. WATER METER: Water meters currently in public right-of-way shall be relocated within the property in question, within 30" of the property line / the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- 57. SANITARY SEWER CLEANOUT: Sanitary sewer cleanouts currently in public right-of-way shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- 58. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
 - Along with the Owner, Applicant and/or Developer, setup a pre-construction meeting with Eric Christianson, Senior Public Works Inspector <u>echristianson@losgatosca.gov</u> (408) 354-6824 to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
- 59. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-ofway will only be allowed if it does not cause access or safety problems as determined by the Town.
- 60. FOR PLANTERS: The Owner, Applicant and/or Developer shall apply for an encroachment permit for the proposed planters within the public sidewalk and/or Town's right-of-way. The Owner, Applicant and/or Developer shall work with Parks and Public Works Department staff to arrive at a mutually agreeable solution that addresses safety and aesthetic issues. If no solution is reached, the vegetative screening requirement shall be waived. A Private Improvements in the Public Right-of-Way (formerly Indemnity)

Agreement will be required if planters are proposed to be located within the Town's rightof-way. A copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any grading or building permits.

- 61. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits.
- 62. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- 63. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). All grading work taking place with this application and related applications /projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. After the preceding Architecture and Site Application has been approved by the respective deciding body and the appeal period has passed, the grading permit application with grading plans and associated required materials shall be submitted via email to the PPW engineer assigned to the A&S review. Plan check fees (determined after initial submittal) shall be sent to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
- 64. SECURITY OF PERFORMANCE: Prior to approval of the grading permit, the applicant shall provide security for the performance of the work described and delineated on the approved grading plans, encroachment plans and or public improvement plans. The form of security shall be one (1) or a combination of the following to be determined by the Town Engineer and subject to the approval of the Town Attorney
 - Bond or bonds issued by one (1) or more duly authorized corporate sureties on a form approved by the Town.
 - Deposit, with the Town, money, negotiable bonds of the kind approved for securing deposits of public monies, or other instrument of credit from one (1) or more financial

institutions subject to regulation by the State or Federal Government wherein such financial institution pledges funds are on deposit and guaranteed for payment.

- 65. DRIVEWAY: The driveway conform to existing pavement on National Avenue shall be constructed in a manner such that the existing drainage patterns will not be obstructed. The Owner, Applicant and/or Developer shall install a Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
- 66. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
- 67. DRAINAGE STUDY: Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a building permit. An arborist report may be necessary. Please contact Tammy Robnett-Illges, Engineering Administrative Assistant <u>trobnett-illges@losgatosca.gov</u> (408) 399-5771 for more information.
- 69. DEDICATIONS: The following shall be dedicated by separate instrument. The dedications shall be recorded before any grading or building permits are issued:
 - a. A 10-foot street right-of-way shall be dedicated in fee.
 - b. A 5-foot Public Service Easement.
- 70. DEMOLITION: Within 60-days of the Development Review Committee approval action being final (i.e. after the 10-day appeal period and no requested appeals being submitted to the Town), the Property Owner shall record a Deed Restriction on each of the number (#) parcels in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the existing house and construction of a replacement house.
- 71. IMPROVEMENT AGREEMENT: The Owner, Applicant and/or Developer shall enter into an agreement to construct public improvements in accordance with Town Code Section

24.40.020. The Owner, Applicant and/or Developer shall supply suitable securities for all public improvements that are part of the development in a form acceptable to the Town in the amount of 100% performance and 100% labor and materials prior to the issuance of any encroachment, grading or building permit. The Owner, Applicant and/or Developer shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department. An electronic copy (PDF) of the executed agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, grading or building permit.

- 72. JOINT TRENCH PLANS: Joint trench plans shall be reviewed and approved by the Town prior to recordation of a map. The joint trench plans shall include street and/or site lighting and associated photometrics. A letter shall be provided by PG&E stating that public street light billing will by Rule LS2A, and that private lights shall be metered with billing to the homeowners' association. Pole numbers, assigned by PG&E, shall be clearly delineated on the plans.
- 73. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Owner and/or Applicant. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of any grading or building permits or the recordation of a map. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
 - a. National Avenue: New curb, gutter, sidewalk, streetlights, tie-in paving, signing, striping, utility pole relocation, as required.
 - b. National Ave: 2" overlay from the centerline to the edge of pavement, or alternative pavement restoration measure as approved by the Town Engineer.
- 74. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- 75. FRONTAGE IMPROVEMENTS: The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or repaint) etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- 76. PARKING LOTS: Parking lots and other impervious areas shall be designed to drain stormwater runoff to vegetated drainage swales, filter strips, and/or other Low Impact Development (LID) treatment devices that can be integrated into required landscaping areas and traffic islands prior to discharge into the storm drain system and/or public right-of-way. The amount of impervious area associated with parking lots shall be minimized by utilizing design features such as providing compact car spaces, reducing stall dimensions, incorporating efficient parking lanes, using permeable pavement where feasible, and

adhering to the Town's <u>Parking Development Standards</u>. The use of permeable paving for parking surfaces is encouraged to reduce runoff from the site. Such paving shall meet Santa Clara County Fire Department requirements and be structurally appropriate for the location.

- 77. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- 78. TRENCHING MORATORIUM: Trenching within a newly paved street will be allowed subject to the following requirements:
 - a. The Town standard "T" trench detail shall be used.
 - b. A Town-approved colored controlled density backfill shall be used.
 - c. All necessary utility trenches and related pavement cuts shall be consolidated to minimize the impacted area of the roadway.
 - d. The total asphalt thickness shall be a minimum of three (3) inches, meet Town standards, or shall match the existing thickness, whichever is greater. The final lift shall be 1.5-inches of one-half (½) inch medium asphalt. The initial lift(s) shall be of three-quarter (¾) inch medium asphalt.
 - e. The Contractor shall schedule a pre-paving meeting with the Town Engineering Construction Inspector the day the paving is to take place.
 - f. A slurry seal topping may be required by the construction inspector depending their assessment of the quality of the trench paving. If required, the slurry seal shall extend the full width of the street and shall extend five (5) feet beyond the longitudinal limits of trenching. Slurry seal materials shall be approved by the Town Engineering Construction Inspector prior to placement. Black sand may be required in the slurry mix. All existing striping and pavement markings shall be replaced upon completion of slurry seal operations. All pavement restorations shall be completed and approved by the Inspector before occupancy.
- 79. VALLEY GUTTER REPAIR: The Owner/Applicant shall repair and replace to existing Town standards any valley gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New valley gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of valley gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

- 80. BICYCLE FACILITIES: Bicycle facilities including, but may not be limited to, bike lanes and bike boxes will be provided in all directions and approaches of improved streets and intersections as directed by Town Engineer.
- 81. TRAFFIC STUDY: Any development of land use that generates greater traffic impacts than those assumed in the traffic study report may require an updated traffic study in accordance with the Town's traffic impact policy. Applicant can receive proposals from vendors through the Town or submit studies from other consultants and pay for peer review. For more information please contact Mike Vroman, Senior Traffic Engineer <u>MVroman@losgatosca.gov</u> (408) 399-5777.
- 82. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of any building or grading permits, the Owner shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The amount based on the current resolution is **\$10,457.76.**
- 83. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- 84. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's <u>Construction Management Plan Guidelines</u> document for additional information.
- 85. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
- 86. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures,

to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

- 87. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
 - All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
 - All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
 - All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
 - All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
 - Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.
- 88. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the

alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

- 89. GENERAL REVIEW: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- 90. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet CS) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. 1. An automatic sprinkler system shall be provided throughout all new buildings and structures, other than Group R occupancies, except as follows: a. Buildings and structures not located in any Wildland-Urban Interface and not exceeding 1,200 square feet of fire area. b. Buildings and structures located in any Wildland-Urban Interface Fire Area and not exceeding 500 square feet of fire area. c. Group S-2 or U occupancies, including photovoltaic support structures, used exclusively for vehicle parking which meet all of the following: i. Noncombustible construction. ii. Maximum 5,000 square feet in building area. iii. Structure is open on not less than three (3) sides nor 75% of structure perimeter. iv. Minimum of 10 feet separation from existing buildings, or similar structures, unless area is separated by fire walls complying.
- 91. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be

physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

- 92. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
- 93. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
- 94. FIRE APPARATUS (ENGINE)ACCESS DRIVEWAY REQUIRED: An access driveway shall be provided having an all-weather surface of either asphalt, concrete or other engineered surface capable of supporting 75,000 pounds and approved by a civil engineer. It shall have a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum turning radius of 40 feet outside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1.
- 95. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

SCOPE OF WORK

LOT SIZE AND DRIVEWAY: VACANT LOT IS APPROXIMATELY 13,209 SQUARE FEET, WITH 2,480 SQUARE FEET DESIGNATED FOR THE PROPOSED DRIVEWAY TO ACCOMMODATE ENTRANCES FOR BOTH PROPERTIES.

MAIN STRUCTURE: THE MAIN STRUCTURE WILL BE A TWO-FLOOR SINGLE-FAMILY RESIDENCE. THE FIRST FLOOR WILL HAVE 1,722 SQUARE FEET OF LIVING SPACE AND A GARAGE TOTALING 901 SQUARE FEET. THE SECOND FLOOR WILL HAVE THREE BEDROOMS AND THREE FULL BATHROOMS, INCLUDING A MASTER BEDROOM SUITE

LIVING SPACE ON THE SECOND FLOOR WILL BE 1,518 SQUARE FEET. THE TOTAL FLOOR AREA RATIO (FAR) WILL BE 3,240 SQUARE FEET,

BASEMENT AND JADU: THE MAIN STRUCTURE WILL HAVE A BASEMENT BELOW GRADE AND AN ATTACHED JUNIOR ACCESSORY DWELLING UNIT (JADU) OF 500 SQUARE FEET NOT PART OF THIS APPLICATION), WITH WINDOWS MEETING ALL REQUIREMENTS FROM THE RESIDENTIAL BUILDING CODE (RBC). THE BASEMENT WILL ALSO INCLUDE A CELLAR OF 1,200 SQUARE FEET FOR WINE, DRY FOOD, AND GENERAL STORAGE.

DETACHED ADU: UNDER A SEPARATE PERMIT NOT INCLUDED IN THIS SUBMITTAL, A DETACHED ACCESSORY DWELLING UNIT (ADU) WILL BE PROPOSED. THE ADU WILL MEET THE TOWN CODE AND WILL HAVE A TOTAL AREA OF 900 SQUARE FEET.

TREE PRESERVATION AND REPLACEMENT: SIX TREES IDENTIFIED IN THE ARBORIST REPORT WILL BE REPLACED, AND THE OWNER WILL FOLLOW REPLACEMENT REQUIREMENTS MANDATED BY CITY ORDINANCES.

OVERALL, THE SCOPE OF WORK INCLUDES (UNDER SEPERATE PERMIT), GRADING, CONSTRUCTION OF A SINGLE-FAMILY RESIDENCE WITH A BASEMENT AND JADU, PRESERVATION AND REPLACEMENT OF TREES

THE PROJECT MEETS' SETBACKS, LOT COVERAGE, HEIGHT, PARKING AND IS LESS THAN THE MAXIMUM ALLOWABLE FAR AND SQUARE FOOTAGE ALLOWED BY TOWN CODE FOR A R1:8 ZONED PARCEL.

This Page Intentionally Left Blank



24.08.28

Jose Rama 15919 Village Way Morgan Hill, Ca. 95037 jer@jerdesigngroup.com 408.843.8067

Property Owner Vyankatesh and Rammy Muddada 15411 National Ave. Los Gatos, Ca.

Subject: Justification for Project Adherence to Zoning Regulations and Residential Design Guidelines

I am writing to provide a comprehensive justification for the design aspects of 15411 National Ave. as it pertains to the zoning regulations and residential design guidelines of our neighborhood. The proposed structure has been meticulously designed to comply with the prescribed Floor Area Ratio formula, that is, as established by **Los Gatos Residential Design Guidelines**, on sheet 12.

The structure is designed to meet the allowable formula for building size in conjunction with the design guidelines. We are pleased to report that our design is under the allowable limit by 23 sq. ft.

FAR calculation of .304 was derived from neighboring houses, predominantly over 20 years old, with some even older than 50 years and having diverse styles. However, there are a few outliers in the neighborhood, notably a 2-story building constructed in 2017 (15461 National Avenue) with an FAR of .37, which exceeds the city's FAR limit of .35. Additionally, there's a large hospital building (Mission Oaks Medical Plaza, 15400 National Ave) nearby that also contributes significantly to the area.

Considering the context you've provided, it appears that the neighborhood isn't uniform in terms of building age, style, or size. The presence of both older and newer structures with varying FARs can make it challenging to establish a standard or benchmark for comparison.

Furthermore, the use of National Avenue for commercial purposes, hosting multiple multi-story buildings, adds another layer of complexity to the neighborhood's composition. The commercial nature of this area might further impact the comparison of FARs, especially when assessing residential properties.

a. Justification for Largest House in the Immediate Neighborhood:

We understand the significance of conforming to the Residential Design Guidelines while addressing the project's unique requirements. The lot is on the rear side of the property that was divided as a flag lot. The following points elucidate the justification for the size of the house:

The unique positioning of our lot, situated on the rear side and designated as a flag lot, necessitates considerations in conforming to the F.A.R. requirement in comparison to neighboring properties. Our adherence to the Residential Design Guidelines remains paramount, and the following elucidates the justification for the size of the proposed house:

Compliance with F.A.R.: While the design marginally doesn't exceed the stipulated F.A.R. it remains within reasonable limits and is a result of conscientious planning to accommodate the needs of our multi-generational household without compromising the neighborhood's integrity.

Flag Lot Dynamics: The unique configuration of our flag lot presents distinctive challenges and opportunities in adhering to zoning regulations while ensuring that the proposed structure harmonizes with the immediate surroundings.

Residential Design Guidelines: Our design integrates architectural elements that contribute positively to the visual appeal and uniqueness of the area, aligning with the overarching aim of the Residential Design Guidelines.

Family Needs: The expanded size of the house is necessitated by the specific requirements of our family structure, including multi-generational living arrangements that demand additional space for comfort and functionality.

Architectural Design: The design incorporates innovative architectural elements that enrich the character of the neighborhood, aligning with the guidelines while contributing positively to the visual appeal and uniqueness of the area.

Privacy: To ensure privacy between adjacent properties, the design incorporates several elements:

- 1. Fencing: Installing high-quality fences or walls to create a physical barrier.
- 2. Landscaping: Using trees, shrubs, and hedges to create natural screens.
- 3. **Window:** Will use opaque glass for the second-floor windows by incorporate first two divider panels.
- 4. Setbacks: Ensuring sufficient distance between structures and property lines.

These elements collectively enhance privacy while maintaining the aesthetic harmony of the neighborhood.

b. Justification for Largest Garage in the Immediate Neighborhood:

The design for 15411 National Ave. includes a larger garage, compliant with city regulations allowing for a maximum of 901 sq. ft., as specified on the cover sheet. The reasons supporting this decision are as follows:

Functional Necessity: The larger garage is essential to accommodate multiple vehicles, including recreational and utility vehicles, aligning with the needs of our household, and ensuring adequate storage space.

Aesthetic Integration: The design integrates the garage seamlessly into the overall architectural concept, maintaining aesthetic harmony with the house and neighborhood.

Sustainability Measures: The larger garage will include eco-friendly features such as battery solar panels and other systems, contributing to the neighborhood's sustainability goals and aligning with green initiatives.

Safety and Security: Enhanced security measures within the larger garage will ensure the safety of stored items and vehicles, thereby contributing to the overall safety of the neighborhood.

We recognize the significance of conforming to zoning regulations and residential design guidelines while addressing the specific attributes of our property. Our aim remains to create a residence that not only meets our family's needs but also contributes positively to the character and aesthetics of the neighborhood.

Should you require further clarification or additional information regarding our design approach and its adherence to regulations, we would be more than willing to provide it.

Sincerely,

Jose Rama

We have collaborated closely with our planning team to address each critical requirement outlined in the town's guidelines. This partnership has enabled us to design a project that fully meets the town's standards, from lot coverage and building height to setback and landscaping specifications.



Given the unique challenges of the flag lot configuration, we have carefully crafted a design that addresses access, privacy, and spatial constraints, ensuring full compliance with town code guidelines. Our approach balances functionality and aesthetic appeal, enhancing both the character and usability of the space, and contributing positively to the community. Through detailed planning and a commitment to quality, our design integrates seamlessly with the surrounding environment and meets all technical requirements.

Our design considers the following key areas to meet town standards:

- 1. Access and Driveway Requirements
 - We've incorporated a driveway that meets the town's width and length specifications, ensuring safe and convenient access to the main portion of the lot while minimizing impact on neighboring properties.
- 2. Setback and Privacy Considerations
 - Despite the limited lot shape, we've maintained all required setbacks, which helps to maximize privacy for both this lot and adjacent properties. The positioning of windows and landscaping further enhances privacy while adhering to the code.
 - We have met all side, front, and rear setback requirements, ensuring that the building has the proper spacing from property lines and neighboring structures. This compliance fosters adequate spacing, privacy, and safety.
- 3. Building Orientation and Lot Coverage
 - The building orientation has been carefully planned to optimize light and airflow while staying within the maximum allowable lot coverage. This layout provides an efficient use of space while maintaining open areas as required.
- 4. Height and Massing Compliance
 - The design meets the town's height restriction, ensuring the building is in harmony with the scale of surrounding properties and does not overpower the narrow lot.
 - The building height does not exceed 30 feet from grade, adhering to the town's height restriction. This maintains compatibility with the surrounding neighborhood structures and prevents visual obstruction.
- 5. Landscape, Buffer Zones and Open Spcae
 - Landscaping and buffer zones have been integrated to enhance aesthetics and maintain neighborhood character, meeting the town's design guidelines and environmental considerations.
 - Landscaped areas and open spaces, creating a balance between natural and built environments that enhances the visual appeal and ecological function of the site.
- 6. Lot Coverage
 - Our design respects the town's maximum lot coverage limit, ensuring the total built area remains well within the allowed percentage, which maintains the balance of built and open space as per the town's standards.
- 7. Floor Area Ratio (FAR)
- The design is under the allowable FAR by 100 square feet, following the density formula prescribed by the town. This compliance ensures that our building mass is appropriate for the area and aligns with density limitations.
- 8. Architectural Design Guidelines
- The exterior design aligns with the town's architectural guidelines, incorporating approved materials, color schemes, facade treatments, and window configurations. Our design choices support the town's aesthetic goals and enhance neighborhood cohesion.
- 9. Stormwater Management
- Stormwater systems are designed according to town specifications, including provisions for adequate drainage to
 prevent runoff and manage water flow effectively on-site.
- 10. Energy and Sustainability Standards
 - The building is designed to meet or exceed the town's energy efficiency requirements, incorporating sustainable materials and systems to reduce environmental impact and support town sustainability goals.
- 11. Light Restrictions

• We have included measures to meet town standards for lighting control, ensuring minimal impact on surrounding properties and a comfortable environment for residents

By thoughtfully addressing these elements, our design effectively overcomes the challenges of the flag lot and ensures compliance with town codes and guidelines.



This Page Intentionally Left Blank



15415 National Avenue - Site Photos – 08-27-24

This Page Intentionally Left Blank

ARCHITECTURE PLANNING URBAN DESIGN



October 13, 2023

Ms. Erin Walters Community Development Department Town of Los Gatos 110 E. Main Street Los Gatos, CA 95031

RE: 15411 National Avenue

Dear Erin:

I reviewed the drawings and evaluated the neighborhood context. My comments and recommendations on the design are as follows:

NEIGHBORHOOD CONTEXT

The site is located in an mixed use neighborhood with mostly one story traditional homes on the west side of National Avenue and taller office structures and parking lots on the east side. Photos of the site and its surrounding neighborhood are shown on the following page.







THE SITE



House immediately to the left



Nearby two story house CANNON DESIGN GROUP



Office building across National Avenue



House immediately to the right



Nearby house 700 LARKSPUR LANDING CIRCLE . SUITE 199 . LARKSPUR . CA . 94939



Proposed Front Elevation



Proposed Rear Elevation



Proposed Left Side Elevation



Proposed Right Side Elevation Cannon design group

ISSUES AND CONCERNS

The immediate neighborhood contains a predominance of one story homes designed in traditional styles. These homes are modest in scale and mass and have simple roof forms. The proposed house appears to emulate a traditional Mediterranean home style but is designed in a much more generic design style with a lack of consistency in its design treatment. This would appear to not be consistent with the Town's Residential Design Guidelines 3.2.1 and 3.2.2.

3.2.1 Select an architectural style with sensitivity to the surrounding neighborhood

3.2.2 Design for architectural integrity

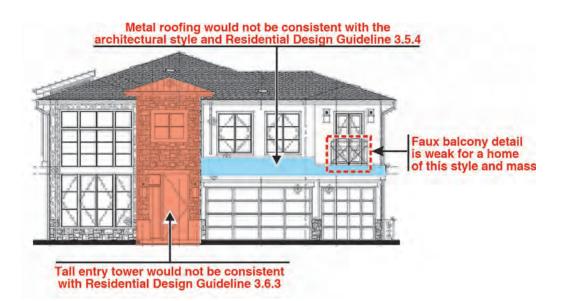
• Building massing, roof pitches, materials, window types and proportions, design features (e.g., roof dormers), and other architectural features should be consistent with the traditions of the selected style

Some specific issues include the following:

1. The tall home entry is not the norm of the immediate neighborhood and would not be consistent with Residential Design Guideline 3.6.3.

3.6.3 Design entries with sensitivity to the surrounding neighborhood

- Avoid large and formal entries unless that is the norm for nearby houses. It is often best to start the design consideration with an entry type (e.g., projecting or under eave porch) that is similar to nearby homes.
- 2. The proposed metal roofing would not be consistent with the proposed architectural style and Residential Design Guideline 3.6.3.
- 3. The faux balcony detail on the front facade is weak for a home of this style and mass.



3. The forms and wood siding on the second story bay windows on the side elevations would not be consistent with the architectural style

3.5.4 Design dormers with attention to the architectural style and the neighborhood



4. The two story wall on the left side facade lacks articulation and would not be consistent with Residential Design Guidelines 3.3.3.

3.3.3 Provide visual relief for two story walls

Some techniques include:

- Belly bands (see photo below left)
- Pop outs and bay windows
- Material and color changes
- Chimneys
- Wide overhangs with projecting brackets
- Juliet balconies
- Window boxes and pot shelves
- Landscaped trellises and lattices
- 5. The failure to carry the building base around on all four facades would not be consistent with Residential Design Guidelines 3.2.2.

3.2.2 Design for architectural integrity

• Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation. 6. The stair entry to the second floor on the right side elevation is very much out of character with the proposed architectural style and size, and it is poorly integrated into the overall design.



Stair entry is very much out of character with the proposed architectural style and size and is poorly integrated into the overall house design





7. The large second floor deck probably does not pose a privacy intrusion impact on nearby properties at present, but could in the future if the large adjacent property were to be developed in a similar manner with a home at the rear of the property.



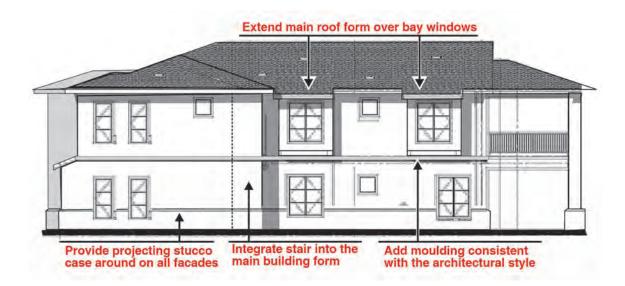
RECOMMENDATIONS

The following recommendations are intended to simplify the design and bring it into a greater compliance with the Town's Residential Design Guidelines.

- 1. Provide an under-the-eave entry in lieu of the proposed stone tower.
- 2. Match the lower first floor roofing to the shingles on the main roof.
- 3. Add a projecting balcony at the second floor on the front elevation.



- 4. Extend the main roof form over the bay windows on the side elevations and use stucco in lieu of the proposed wood siding.
- 5. Provide projecting trim at the second floor line around all sides of the home.
- 6. Provide a projecting stucco base around on all facades.
- 7. Integrate the stair on the right side elevation into the main building form.



8. Provide a visual screen on the deck side nearest the adjacent property line - some photo examples are shown below.



Erin, please let me know if you have any questions or if there are any issues that I did not address.

Sincerely, CANNON DESIGN GROUP

ann

Larry L. Cannon

15411 NATIONAL AVENUE RESPONSE TO TOWN'S CONSULTING ARCHITECT'S REPORT RECOMMENDATIONS

1. Provide an under-the-eave entry in lieu of the proposed stone tower.

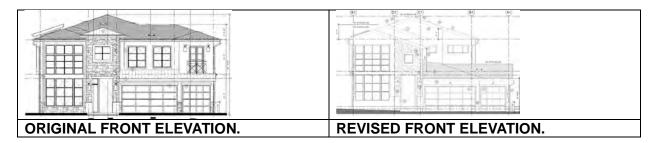
REVISED THE ENTRY WAY FROM LARGE TOWER TO SMALLER STONE ENTRY WAY -INVESTIGATED MULTIPLE HOMES IN THE SURROUNDING THAT HAVE BEEN APPROVED BY THE ARCHITECTURAL BOARD, THAT HAVE A STONE TOWER AS AN ENTRY WAY, HAVE PROVIDED PICTURES AND ADDRESS FOR REFERENCE BELOW



2. Match the lower first floor roofing to the shingles on the main roof. LOWER FIRST FLOOR ROOFING REVISED TO MATCH THE SINGLES ON THE MAIN ROOF.

3. Add a projecting balcony at the second floor on the front elevation.

REVISED FRONT ELEVATION BY REMOVING THE JADU FROM THE SECOND FLOOR OVER THE GARAGE, REDUCING THE BULKY DESIGN AND REDESIGNED THE ROOF LINE TO ACCOMMODATE A SMOOTHER TRANSITION.



4. Extend the main roof form over the bay windows on the side elevations and use stucco in lieu of the

proposed wood siding.

REVISED NORTH ELEVATION BY RELOCATING THE JADU TO THE BASEMENT LEVEL THAT ALSO REDUCES THE MASSING AND BLENDS THE JADU ENTRANCE WITH THE FAÇADE. EXTENDED MAIN ROOF FORM OVER BAY WINDOWS ON SIDE ELEVATIONS AND USE STUCCO IN LIEU OF THE PROPOSED WOOD SIDING. REVISED THE ROOF LINE TO ACCOMMODATE THE EXTENSION OF THE BAY WINDOWS AT ALL LOCATIONS.

5. Provide projecting trim at the second-floor line around all sides of the home.

INVESTIGATED MULTIPLE HOMES IN THE SURROUNDING THAT HAVE BEEN APPROVED BY THE ARCHITECTURAL BOARD, THAT DO NOT HAVE A BELLY BAND TRIM AT THE BREAK OF THE FIRST AND SECOND FLOORS AND ALSO THE FRONT ENTRANCE DESIGN. HAVE PROVIDED PICTURES AND ADDRESS FOR REFERENCE BELOW.



6. Provide a projecting stucco base around on all facades. *REVISED THE BASE TO PROJECT FROM WALL WITH A WAINSCOT PROFILE.*

7. Integrate the stair on the right-side elevation into the main building form. *Stairs removed.*

ORIGINAL NORTH SIDE ELEVATION.	REVISED NORTH SIDE ELEVATION.

8. Provide a visual screen on the deck side nearest the adjacent property line. *SECOND STORY DECK REMOVED TO ADDRESS PRIVACY.*

DRIGINAL SOUTH SIDE ELEVATION.	REVISED SOUTH SIDE ELEVATION.
	· · · · · · · · · · · · · · · · · · ·

ORIGINAL REAR ELEVATION.	REVISED REAR ELEVATION.

Tree Inventory, Assessment, and Protection Report

15411 National Avenue Los Gatos, CA 95032

Prepared for:

Town of Los Gatos

October 22, 2023

Prepared By:



Monarch Consulting Arborists

Richard Gessner P.O. Box 1010 - Felton, CA 95018 1 831 331 8982 www.monarcharborists.com

Table of Content

Summary	1
Introduction	1
Background	1
Assignment	1
Limits of the assignment	1
Purpose and use of the report	2
Observations	2
Tree Inventory	2
Analysis	4
Discussion	5
Condition Rating	5
Expected Impact Level	6
Mitigation for Removals	7
Tree Protection	8
Conclusion	9
Recommendations	10
Bibliography	11
Glossary of Terms	12
Appendix A: Tree Inventory Map and Site Plan	14
A1: Existing Site Plan and Tree Locations	14
A2: Propose Site Plan and Tree Protection Configuration	15



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

Appendix B: Tree Inventory and Assessment Tables16	ì
Appendix C: Photographs17	'
C1: Trees #61, #62, #65, #66, #67, #6817	
C2: Coast live oak #7218	
C3: Peppers #69, #70, and #7119	I
C4: Sweetgums #63 and #6420	I
Appendix D: Tree Protection Guidelines21	
D1: Plan Sheet Detail S-X (Type I)21	
D2: Plan Sheet Detail S-Y (Type III)22	
D3: Section 29.10.1005 Protection of Trees During Construction23	
Tree Protection Zones and Fence Specifications23	
All persons, shall comply with the following precautions24	
Prohibited Activities24	
Monitoring25	1
Root Pruning25	1
Boring or Tunneling25	1
Tree Pruning and Removal Operations25	1
Appendix E: Tree Protection Signs26	i
E1: English26	i
E2: Spanish27	
Qualifications, Assumptions, and Limiting Conditions	,
Certification of Performance)



Summary

The applicant is requesting approval to construct a new singlefamily residence on a vacant property zoned R-1:8. APN 424-12-140. Categorically exempt pursuant to CEQA guidelines section 15303: new construction.

The inventory contains twelve (12) trees comprised of seven (7) different species. There is one Large Protected coast live oak (*Quercus agrifolia*) #72, none are Exempt fruit trees or species listed in 29.10.0970 subsection (2) and there are no Street Trees.

Five trees are in good condition, two fair, two poor, and three very poor including mulberries (*Morus alba*) #61, #62, and pepper (*Schinus molle*) #71.

Four trees will be highly impacted, one moderate, and seven not affected. The applicant will be required to replace four protected trees.

There were twelve trees (12) protected trees appraised for a rounded depreciated value of \$120,330.00.

Two trees need access to assess on the adjacent property. There should be an attempt to retain deodar cedar (*Cedrus deodara*) #67 by modifying the alignment of the walkway and the joint trench.

Introduction

Background

The Town of Los Gatos asked me to assess the site, trees, and proposed footprint plan, and to provide a report with my findings and recommendations to help satisfy planning requirements.

Assignment

- Provide an arborist's report including an assessment of the trees within the project area and on the adjacent sites. The assessment is to include the species, size (trunk diameter), condition (health, structure, and form), and suitability for preservation ratings. Affix number tags on the trees for reference on site and on plans.
- Provide tree protection specifications, guidelines, and impact ratings for those affected by the project.
- Provide appraised values using the Trunk Formula Technique.

Limits of the assignment

- The information in this report is limited to the condition of the trees during my inspection on October 20, 2023. No tree risk assessments were performed.
- Tree heights and canopy diameters are estimates.



• The plans reviewed for this assignment were as follows (Table 1)

Table 1: Plans Reviewed Checklist

Plan	Date	Sheet	Reviewed	Source
Existing Site Topographic	2023	TM2	Yes	JER Group
Proposed Site Plan	2023	A1.0	Yes	JER Group
Erosion Control			No	
Grading and Drainage			No	
Utility Plan and Hook-up locations			No	
Exterior Elevations			No	
Landscape Plan			No	
Irrigation Plan			No	
T-1 Tree Protection Plan			No	

Purpose and use of the report

The report is intended to identify all the trees within the plan area that could be affected by a project. The report is to be used by the Town of Los Gatos and the property owners as a reference for existing tree conditions to help satisfy planning requirements.

Observations

Tree Inventory

The inventory consists of trees protected by the Town of Los Gatos located on site and those in close proximity on neighboring properties. Sec. 29.10.0960. - Scope of protected trees. All trees which have a four-inch or greater diameter (twelve and one half-inch circumference) of any trunk, when removal relates to any review for which zoning approval or subdivision approval is required. (Appendix A and B). Los Gatos Town Ordinance 29.10.0970 Exceptions (1) states the following: "A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference).



The inventory contains twelve (12) trees comprised of seven (7) different species (Chart 1). There is one Large Protected¹ coast live oak #72, none are Exempt² fruit trees or species listed in 29.10.0970 subsection (2) and there are no Street Trees³. There are potentially two more coast live oaks that were inaccessible to the south of the site.

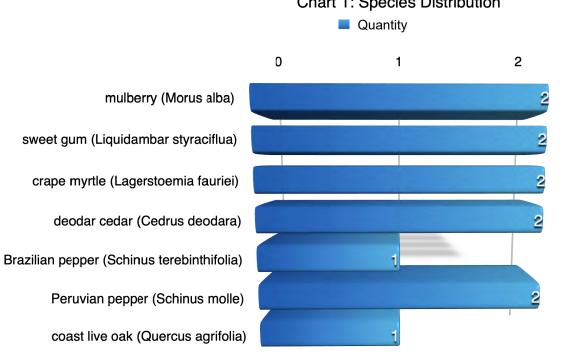


Chart 1: Species Distribution

¹ Large protected tree means any oak (Quercus spp.), California buckeye (Aesculus californica), or Pacific madrone (Arbutus menziesii) which has a 24-inch or greater diameter (75-inch circumference); or any other species of tree with a 48-inch or greater diameter (150-inch circumference).

² A fruit or nut tree that is less than eighteen (18) inches in diameter (fifty-seven-inch circumference). Species listed in 29.10.0970 subsection (2).

³ Street tree means a tree in a public place, or along or within a public street or right-of-way.

Analysis

Tree appraisal was performed according to the Council of Tree & Landscape Appraisers *Guide for Plant Appraisal 10th Edition, 2019* (CLTA) along with Western Chapter International Society of Arboriculture *Species Classification and Group Assignment, 2004*. The trees were appraised using the "Cost Approach" and more specifically the "Trunk Formula Technique" (Appendix B).

"Trunk Formula Technique" is calculated as follows: Basic Tree Cost = (Unit tree cost x Appraised trunk area), Appraised Value = (Basic tree cost X functional Limitations (percentage) X Condition (percentage) X External Limitations (percentage)).

The trunk formula valuations are based on four tree factors; size (trunk cross sectional area), condition, functional limitations, and external limitations. There are two steps to determine the overall value. The first step is to determine the "Basic Tree Cost" based on size and unit tree cost. Unit tree cost is calculated by dividing the nursery wholesale cost of a 24 inch box specimen and its replacement size (cost per square inch trunk caliper) which is determined by the *Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement*. The cost of the 24 inch box wholesale specimen was determined through personal communications with BrightView and Normans nurseries in Farmington and Central Wholesale in San Jose for an average of \$214.00.

The second part is to depreciate the tree's Basic Cost through an assessment of condition, functional limitations, and external limitations. The condition assessment guidelines and percentages are defined in the "Condition Rating" section of this report. Functional limitations are based on factors associated with the tree's interaction to its planting site that would affect condition, limit development, or reduce the utility in the future and include genetics, placement, and site conditions for the individual tree. External limitations are outside the property, out of control of the owner and also affect condition, limit development, or reduce the utility in the future (i.e power lines, municipal restrictions, drought adaptations, or species susceptibility to pests).

There were twelve trees (12) protected trees appraised for a rounded depreciated value of \$120,330.00.

Appraisal worksheets are available upon request.



Discussion

Condition Rating

A tree's condition is a determination of its overall health, structure, and form. The assessment considered all three criteria for a combined condition rating.

- 100% Exceptional = Good health and structure with significant size, location or quality.
- 61-80% Good = Normal vigor, well-developed structure, function and aesthetics not compromised with good longevity for the site.
- 41-60 % Fair = Reduced vigor, damage, dieback, or pest problems, at least one significant structural problem or multiple moderate defects requiring treatment. Major asymmetry or deviation from the species normal habit, function and aesthetics compromised.
- 21-40% Poor = Unhealthy and declining appearance with poor vigor, abnormal foliar color, size or density with potential irreversible decline. One serious structural defect or multiple significant defects that cannot be corrected and failure may occur at any time. Significant asymmetry and compromised aesthetics and intended use.
- 6-20% Very Poor = Poor vigor and dying with little foliage in irreversible decline. Severe defects with the likelihood of failure being probable or imminent. Aesthetically poor with little or no function in the landscape.
- 0-5% Dead/Unstable = Dead or imminently ready to fail.

Five trees are in good condition, two fair, two poor, and three very poor including mulberries #61, #62, and pepper #71 (Chart 2).





Expected Impact Level

Impact level defines how a tree may be affected by construction activity and proximity to the tree, and is described as low, moderate, or high. The following scale defines the impact rating:

- Low = The construction activity will have little influence on the tree.
- Moderate = The construction may cause future health or structural problems, and steps must be taken to protect the tree to reduce future problems.
- High = Tree structure and health will be compromised and removal is recommended, or other actions must be taken for the tree to remain. The tree is located in the building envelope.

Based on the plans and the tree conditions mulberries #61 and #62, and pepper #71 should be removed and replaced regardless.

The most significant tree indicated for removal is deodar cedar #67. Deodar cedar #67 is proposed for removal to accommodate improvements along the road frontage including the extension of the footpath and a joint trench. In this instance it would appear public works is requiring the removal of this tree somewhat unrelated to the proposed plan by the applicant.

There are at least two coast live oaks along the south side of the property which could be on the adjacent site or on the property line. However, I could not assess these trees because the only

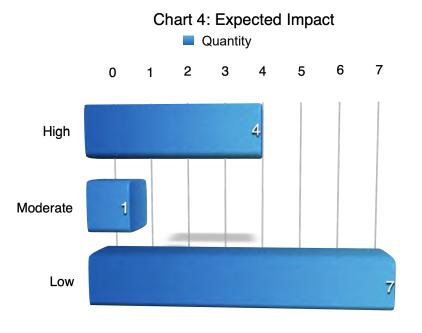


Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

access is through the adjacent property, which I do not have permission to enter. It would appear based on the existing building locations and infrastructure the proposed plan could go forward without further damaging these trees because the new structures are actually farther away.

Coast live oak #72 is large and near the proposed ADU. The plans do not actually provide enough detail to determine what the impacts could be, including exact location and foundation design.

Four trees will be highly impacted, one moderate, and seven not affected.



Mitigation for Removals

The table below indicates the recommended replacement values (Table 2). The applicant will be required to replace four protected trees. Alternatively it may be possible to create an approved landscape plan or provide an in-lieu payment. The landscape plan does not indicate any replacement trees.

Table 2: Town of Los Gatos Tree Canopy - ReplacementStandard

Canopy Size of Removed Tree (1)	Replacement Requirement (2)(4)	Single Family Residential Replacement Option (3)(4)
10 feet or less	Two 24 inch box trees	Two 15 gallon trees
More than 10 feet to 25 feet	Three 24 inch box trees	Three 15 gallon trees
More than 25 feet to 40 feet	Four 24 inch box trees or two 36 inch box trees	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or three 36 inch box trees	Not available
Greater than 55 feet	Ten 24 inch box trees; or five 36 inch box trees	Not available

¹To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.

²Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree Replacement Fund.

³Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24" box tree rates as adopted by Town Council.

⁴Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. Replacement requirements in the Hillsides shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special Provisions—Hillsides.



Tree Protection

Typically there are three different tree protection schemes which are called Type I (Appendix D1), Type II and Type III (Appendix D2) trunk protection only. The tree protection zone (TPZ) is the defined area in which certain activities are prohibited to minimize potential injury to the tree and should encompass the critical root zone. There are two tree protection zones determined which include the "calculated" and "specified" tree protection zones. The "calculated" tree protection zone is determined by a multiplication factor based on species tolerance, tree age/vigor/health, and trunk diameter (Table 3). The "specified" tree protection zone is adjusted in size and shape to accommodate the existing infrastructure, planned construction, and specific site constraints. This "specified" zone includes tree canopy conformation, visible root orientation, size, condition, maturity, and species tolerances (Gilpin, R, Hauer, R, Matheny, N, and Smiley, E.T. 2023).

Tree protection will consist primarily of protection around the coast live oak #72 because there is already fence around deodar cedar #68. Once plans indicated building and infrastructure proximities more clearly a better specified tree protection plan can be developed.



Conclusion

The applicant is requesting approval to construct a new single-family residence on a vacant property zoned R-1:8. APN 424-12-140. Categorically exempt pursuant to CEQA guidelines section 15303: new construction.

The inventory contains twelve (12) trees comprised of seven (7) different species. There is one Large Protected coast live oak #72, none are Exempt fruit trees or species listed in 29.10.0970 subsection (2) and there are no Street Trees. There are potentially two more coast live oaks that were inaccessible to the south of the site.

Five trees are in good condition, two fair, two poor, and three very poor including mulberries #61, #62, and pepper #71.

Based on the plans and the tree conditions mulberries #61 and #62, and pepper #71 should be removed and replaced regardless. The most significant tree indicated for removal is deodar cedar #67. Deodar cedar #67 is proposed for removal to accommodate improvements along the road frontage including the extension of the footpath and a joint trench. In this instance it would appear public works is requiring the removal of this tree somewhat unrelated to the proposed plan by the applicant.

There are at least two coast live oaks along the south side of the property which could be on the adjacent site or on the property line. However, I could not assess these trees because the only access is through the adjacent property, which I do not have permission to enter. It would appear based on the existing building locations and infrastructure the proposed plan could go forward without further damaging these trees because the new structures are actually farther away.

Coast live oak #72 is large and near the proposed ADU. The plans do not actually provide enough detail to determine what the impacts could be, including exact location and foundation design.

Four trees will be highly impacted, one moderate, and seven not affected. The applicant will be required to replace four protected trees.

There were twelve trees (12) protected trees appraised for a rounded depreciated value of \$120,330.00.



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

Recommendations

- 1. Place tree numbers on all the plans including the Grading and Drainage plans. Make sure the plans and tree removals are consistent between the plan sets. Provide access to trees not assessed through the property on the south side.
- 2. Re-review plans once greater detail is provided. Consider realigning or reconfiguring the walkway and joint trench to preserve deodar cedar #67.
- 3. Place 4-6 inches of mulch inside the tree protection zone. Install temporary irrigation or soaker hoses in the TPZ. Monitor watering times or amounts to ensure adequate soil saturation. (A 5/8" soaker hose requires about 200 minutes to deliver one inch of water to a garden. This number is affected by the length of the hose and the overall rate of flow from the faucet. A good rule of thumb is to expect about ½ GPM as a standard faucet flow rate.). Infrequent deeper watering is preferred.
- 4. All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: *Tree, Shrub and Other Woody Plant Management: Standard Practices* parts 1 through 10 and adhere to ANSI Z133.1 safety standards and local regulations. All maintenance is to be performed according to ISA Best Management Practices.
- 5. Refer to Appendix D for general tree protection guidelines including recommendations for arborist assistance while working under trees, trenching, or excavation within a trees drip line or designated TPZ/CRZ.
- 6. Place all the tree protection fence locations and guidelines on the plans including the grading, drainage, and utility plans. Create a separate plan sheet that includes all three protection measures labeled "T-1 Tree Protection Plan."
- 7. Provide a copy of this report to all contractors and project managers, including the architect, civil engineer, and landscape designer or architect. It is the responsibility of the owner to ensure all parties are familiar with this document. Arrange a pre-construction meeting with the project arborist or landscape architect to verify tree protection is in place, with the correct materials, and at the proper distances.



Bibliography

- American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management : Standard Practices (Management of Trees and Shrubs During Site Planning, Site Development, and Construction)(Part 5). Londonderry, NH: Secretariat, Tree Care Industry Association, 2019. Print.
- Gilpin, R, Hauer, R, Matheny, N, and Smiley, E.T. *Managing trees during construction*, Third edition. Champaign, IL: International Society of Arboriculture, 2023.
- ISA. Guide For Plant Appraisal 9th Edition. Savoy, IL: International Society of Arboriculture, 2000. Print.
- ISA. Guide For Plant Appraisal 10th Edition. Savoy, IL: International Society of Arboriculture, 2018. Print.
- ISA. Species Classification and Group Assignment, 2004 Western Chapter Regional Supplement. Western Chapter ISA
- Matheny, Nelda P., Clark, James R. Trees and development: A technical guide to preservation of trees during land development. Bedminster, PA: International Society of Arboriculture 1998.
- Smiley, E, Matheny, N, Lilly, S, ISA. *Best Management Practices: Tree Risk Assessment:* International Society of Arboriculture, 2017. Print



Glossary of Terms

calculated tree protection zone: A TPZ calculated using the trunk diameter and a multiplication factor based on species tolerance to construction and tree age. It is often plotted on a plan as a circle or other arbitrary shape and can be used as a guide for establishing the specified TPZ.

critical root zone: a conceptual soil area containing the minimal amount of all the essential parts of the root zone needed to sustain tree health and structural integrity. There are no universally accepted methods to calculate the CRZ.

basic Tree Cost: The cost of replacement for a perfect specimen of a particular species and cross sectional area prior to location and condition depreciation.

cost Approach: An indication of value by adding the land value to the depreciated value of improvements.

defect: An imperfection, weakness, or lack of something necessary. In trees defects are injuries, growth patterns, decay, or other conditions that reduce the tree's structural strength.

diameter at breast height (DBH): Measures at 1.4 meters (4.5 feet) above ground in the United States, Australia (arboriculture), New Zealand, and when using the Guide for Plant Appraisal, 9th edition; at 1.3 meters (4.3 feet) above ground in Australia (forestry), Canada, the European Union, and in UK forestry; and at 1.5 meters (5 feet) above ground in UK arboriculture.

drip Line: Imaginary line defined by the branch spread or a single plant or group of plants. The outer extent of the tree crown.

form: Describes a plant's habit, shape or silhouette defined by its genetics, environment, or management.

health: Assessment is based on the overall appearance of the tree, its leaf and twig growth, and the presence and severity of insects or disease

mechanical damage: Physical damage caused by outside forces such as cutting, chopping or any mechanized device that may strike the tree trunk, roots or branches.



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com scaffold branches: Permanent or structural branches that for the scaffold architecture or structure of a tree.

specified tree protection zone (specified TPZ): a TPZ that is adjusted in size or shape to accommodate the existing infrastructure, planned construction, and aspects of the site, as well as the tree canopy conformation, visible root orientation, size, condition, maturity, and species response to construction.

straw wattle: also known as straw worms, bio-logs, straw noodles, or straw tubes are man made cylinders of compressed, weed free straw (wheat or rice), 8 to 12 inches in diameter and 20 to 25 feet long. They are encased in jute, nylon, or other photo degradable materials,

and have an average weight of 35 pounds.

structure: Evaluation focused on the crown, trunk, trunk flare, above ground roots and the site conditions contributing to conditions and/or defects that may contribute to failure.

Tree Protection Zone (TPZ): Defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees, especially during construction or development.

Tree Risk Assessment: Process of evaluating what unexpected things could happen, how likely it is, and what the likely outcomes are. In tree management, the systematic process to determine the level of risk posed by a tree, tree part, or group of trees.

trunk: Stem of a tree.

Trunk Formula Technique: Method to appraise the monetary value of trees considered too large to be replaced with nursery or field grown stock. Based on developing a representative unit cost for replacement with the same or comparable species of the same size and in the same place, subject to depreciation for various factors. Contrast with replacement cost method.

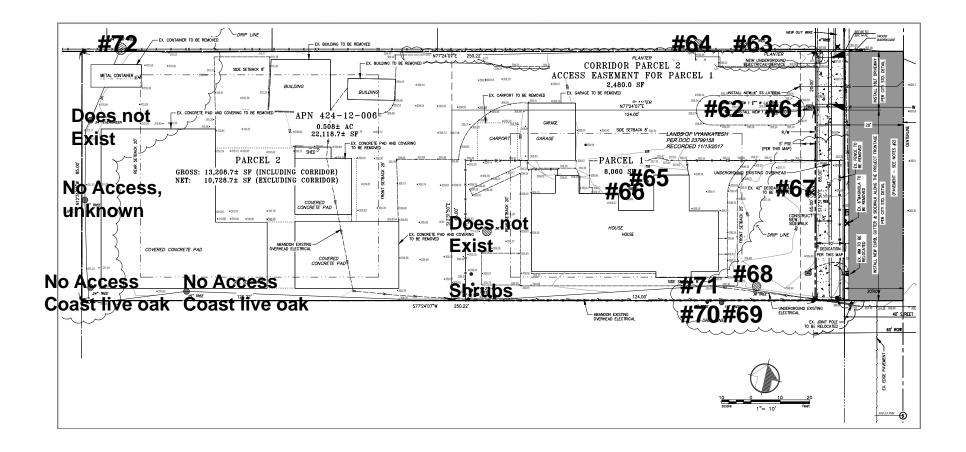
volunteer: A tree, not planted by human hands, that begins to grow on residential or commercial property. Unlike trees that are b drought in and installed on property, volunteer trees usually spring up on their own from seeds placed onto the ground by natural causes or accidental transport by people. Normally, volunteer trees are considered weeds and removed, but many desirable and attractive specimens have gone on to become permanent residents on many public and private grounds.



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

Appendix A: Tree Inventory Map and Site Plan

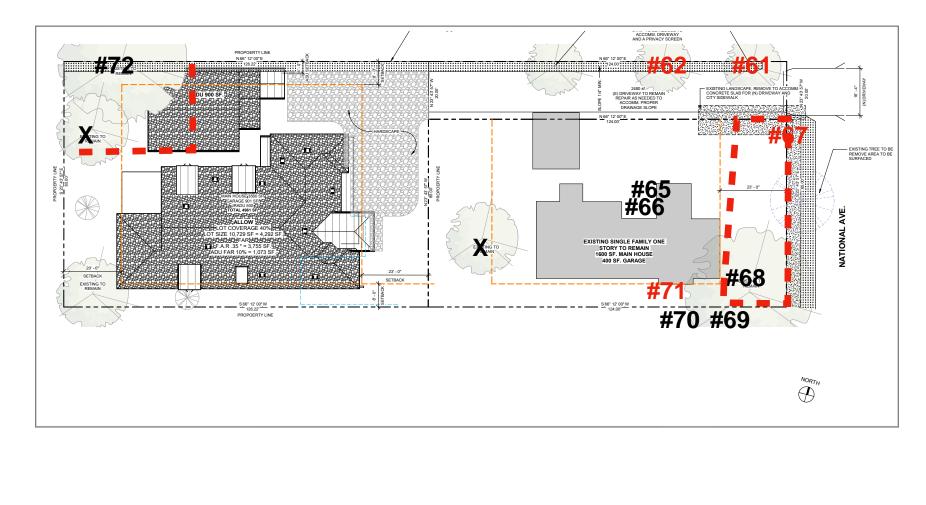
A1: Existing Site Plan and Tree Locations



06/07/202



A2: Propose Site Plan and Tree Protection Configuration





Appendix B: Tree Inventory and Assessment Tables

Tree Species	I.D. #	Trunk Diameter (in.)	~ Canopy Diameter (ft.)	Condition	Expected Impact	Protection Status	Rounded Depreciated Value	Calculated Protection Radii (ft.)
mulberry (<i>Morus alba</i>)	61	9	8	Very poor	High	Protected	\$130.00	8
mulberry (<i>Morus alba</i>)	62	9	10	Very poor	High	Protected	\$200.00	8
sweet gum (<i>Liquidambar</i> <i>styraciflua</i>)	63	12	15	Poor	Low	Protected	\$1,210.00	10
sweet gum (<i>Liquidambar</i> styraciflua)	64	12	10	Poor	Low	Protected	\$1,210.00	10
crape myrtle (Lagerstoemia fauriei)	65	2, 2, 3, 3, 3	8	Fair	Low	Protected	\$980.00	5
crape myrtle (Lagerstoemia fauriei)	66	2, 2, 2, 3, 3	8	Fair	Low	Protected	\$980.00	5
deodar cedar (Cedrus deodara)	67	46	45	Good	High	Protected	\$34,400.00	38
deodar cedar (Cedrus deodara)	68	42	35	Good	Low	Protected	\$28,700.00	35
Brazilian pepper (<i>Schinus terebinthifolia</i>)	69	12, 10	15	Good	Low	Protected	\$3,260.00	13
Peruvian pepper (Schinus molle)	70	10	15	Good	Low	Protected	\$1,160.00	8
Peruvian pepper (Schinus molle)	71	18	8	Very poor	High	Protected	\$0.00	15
coast live oak (Quercus agrifolia)	72	48	55	Good	Moderate	Large Protected	\$48,100.00	40



15411 National Avenue

Appendix C: Photographs C1: Trees #61, #62, #65, #66, #67, #68





Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

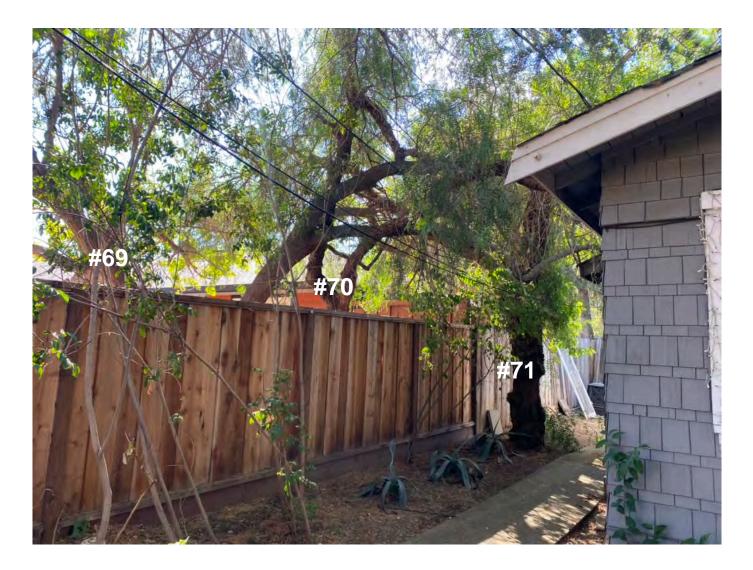
C2: Coast live oak #72





Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

C3: Peppers #69, #70, and #71





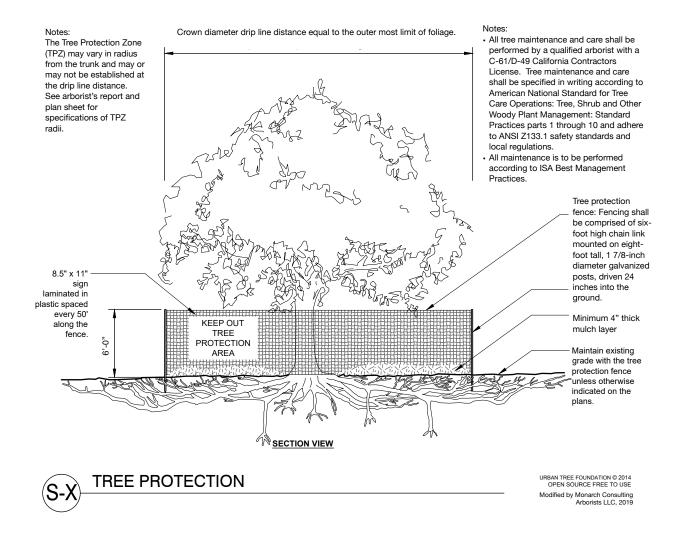
C4: Sweetgums #63 and #64





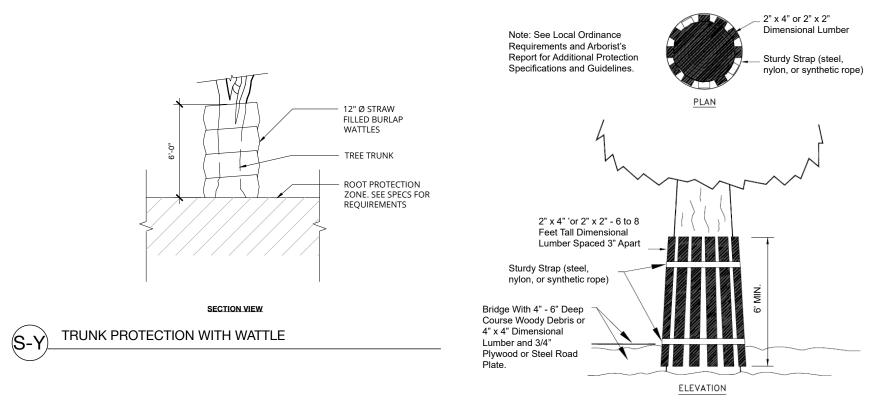
Appendix D: Tree Protection Guidelines

D1: Plan Sheet Detail S-X (Type I)





D2: Plan Sheet Detail S-Y (Type III)



Trunk Protection Vertical Timber Detail



D3: Section 29.10.1005. - Protection of Trees During Construction

Tree Protection Zones and Fence Specifications

- 1. Size and materials: Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
- 2. Area type to be fenced: Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
- 3. **Duration of Type I, II, III fencing:** Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
- 4. **Warning Sign:** Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning —Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025." Text on the signs should be in both English and Spanish (Appendix E).



All persons, shall comply with the following precautions

- 1. Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
- 2. Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
- 3. Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
- 4. Prohibit the attachment of wires, signs or ropes to any protected tree.
- 5. Design utility services and irrigation lines to be located outside of the dripline when feasible.
- 6. Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
- 7. The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

Prohibited Activities

The following are prohibited activities within the TPZ:

- Grade changes (e.g. soil cuts, fills);
- Trenches;
- Root cuts;
- Pedestrian and equipment traffic that could compact the soil or physically damage roots;
- Parking vehicles or equipment;
- Burning of brush and woody debris;
- Storing soil, construction materials, petroleum products, water, or building refuse; and,
- Disposing of wash water, fuel or other potentially damaging liquids.



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com

Monitoring

Any trenching, construction or demolition that is expected to damage or encounter tree roots should be monitored by the project arborist or a qualified ISA Certified Arborist and should be documented.

The site should be evaluated by the project arborist or a qualified ISA Certified Arborist after construction is complete, and any necessary remedial work that needs to be performed should be noted.

Root Pruning

Roots greater than two inches in diameter shall not be cut. When roots over two inches in diameter are encountered and are authorized to be cut or removed, they should be pruned by hand with loppers, handsaw, reciprocating saw, or chain saw rather than left crushed or torn. Roots should be cut beyond sinker roots or outside root branch junctions and be supervised by the project arborist. When completed, exposed roots should be kept moist with burlap or backfilled within one hour.

Boring or Tunneling

Boring machines should be set up outside the drip line or established Tree Protection Zone. Boring may also be performed by digging a trench on both sides of the tree until roots one inch in diameter are encountered and then hand dug or excavated with an Air Spade® or similar air or water excavation tool. Bore holes should be adjacent to the trunk and never go directly under the main stem to avoid oblique (heart) roots. Bore holes should be a minimum of three feet deep.

Tree Pruning and Removal Operations

All tree pruning or removals should be performed by a qualified arborist with a C-61/D-49 California Contractors License. Treatment, including pruning, shall be specified in writing according to the most recent ANSI A-300A Standards and Limitations and performed according to ISA Best Management Practices while adhering to ANSI Z133.1 safety standards. Trees that need to be removed or pruned should be identified in the pre-construction walk through.



Appendix E: Tree Protection Signs E1: English

Warning Tree Protection Zone

This Fence Shall Not Be Removed And Is Subject To Penalty According To Town Code 29.10.1025



Monarch Consulting Arborists LLC - P.O Box 1010, Felton, CA 95018 831.331.8982 - rick@monarcharborist.com E2: Spanish

Cuidado Zona De Arbol Pretejido

Esta valla no podrán ser sacados Y está sujeta a sanción en función de Código Ciudad del 29.101025



Qualifications, Assumptions, and Limiting Conditions

Any legal description provided to the consultant is assumed to be correct. Any titles or ownership of properties are assumed to be good and marketable. All property is appraised or evaluated as though free and clear, under responsible ownership and competent management.

All property is presumed to be in conformance with applicable codes, ordinances, statutes, or other regulations.

Care has been taken to obtain information from reliable sources. However, the consultant cannot be responsible for the accuracy of information provided by others.

The consultant shall not be required to give testimony or attend meetings, hearings, conferences, mediations, arbitration, or trials by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.

This report and any appraisal value expressed herein represent the opinion of the consultant, and the consultant's fee is not contingent upon the reporting of a specified appraisal value, a stipulated result, or the occurrence of a subsequent event.

Sketches, drawings, and photographs in this report are intended for use as visual aids, are not necessarily to scale, and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is only for coordination and ease of reference. Inclusion of said information with any drawings or other documents does not constitute a representation as to the sufficiency or accuracy of said information.

Unless otherwise expressed: a) this report covers only examined items and their condition at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that structural problems or deficiencies of plants or property may not arise in the future.



Certification of Performance

I Richard Gessner, Certify:

That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and/or appraisal is stated in the attached report and Terms of Assignment;

That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;

That the analysis, opinions and conclusions stated herein are my own;

That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;

That no one provided significant professional assistance to the consultant, except as indicated within the report.

That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any other subsequent events; I further certify that I am a Registered Consulting Arborist® with the American Society of Consulting Arborists, and that I acknowledge, accept and adhere to the ASCA Standards of Professional Practice. I am an International Society of Arboriculture Board Certified Master Arborist®. I have been involved with the practice of Arboriculture and the care and study of trees since 1998.

Richard J. Gessner

putrout of Mesones

ASCA Registered Consulting Arborist® #496 ISA Board Certified Master Arborist® WE-4341B



Copyright

© Copyright 2023, Monarch Consulting Arborists LLC. Other than specific exception granted for copies made by the client for the express uses stated in this report, no parts of this publication may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, recording, or otherwise without the express, written permission of the author.



Hello Erin,

Below are the 2 major concerns for privacy from the neighbors,

- 1. Balcony facing Leila Ct.
- 2. The 2 windows facing Blackwell Dr.

After multiple email communications and lot of discussion, we have proceeded to address the concerns as below,

1. Removing the balcony from the plans, which eliminates all privacy concerns from 113 Leila Ct as there are no major windows facing Leila Ct.

2. Adding 5 Leyland trees along the fence facing Blackwell Dr., these trees are known to create privacy, they are evergreen and doesn't have a canopy for drip issues.

3. Privacy layer to cover the line of sight of the window (mentioned in the housing development guidelines), updated the plans showing the change.

4. The existing large Oak tree has been trimmed and should be considered as an instrument which provides privacy.

5. The distance between the 2 windows and the neighboring property windows on Blackwell Dr is between 80ft to 120ft, which should be considered while discussing privacy.

All the comments addressing privacy concerns were sent to below address,

377 Blackwell Dr – Owner
373 Blackwell Dr – Owner
369 Blackwell Dr – Owner
113 Leila Ct – Owner

Please let me know if you have any more questions or concerns,

Best,

Ramya Muddada

Correspondence with 369 Blackwell Drive

From: Ramya Muddada	
Sent: Wednesday, July 31, 2024 4:06 PM	
To: Erin Walters <ewalters@losgatosca.gov>; Vyankatesh B <</ewalters@losgatosca.gov>	Architect)
rama da se	
Subject: Fw: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)	
[EXTERNAL SENDER]	
Email sent to 369 Blackwell Drive,	
Best,	
Ramya	
Forwarded Message	
From: Ramya Muddada <	
To:	
Cc: Vyankatesh B <; Jose (Architect) rama <	Í.
Sent: Wednesday, July 31, 2024 at 01:45:51 PM PDT	
Subject: Re: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)	

Hello

After reviewing all the neighbors' comments and concerns, we have decided to take more steps to mitigate the privacy concerns.

Below are all the things done/available to address the privacy concerns of the neighbors about the two windows and balcony:

1. Removing the balcony from the plans (please see the revised attached plans)

2. Adding 5 Leyland trees - Know the best trees to create privacy.

3. Privacy layer to cover the line of sight of the window (mentioned in the housing development guidelines).

4. The current oak tree will be trimmed and will be the best privacy screen even after the trim.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

Please let me know if you have any more questions or concerns,

Best,

Ramya

Hello

We have decided to take more steps to mitigate the privacy concerns by adding a privacy layer to cover line of sight of the window, this is one of the mitigations that can be used according to the city housing development guidelines - please see the attached (please note this is referce only not exact).

Below are all the things done/available to address privacy concerns of the neighbors with regards to the two windows and balcony:

1. Adding 3-4 Leyland trees – Know as best trees to create privacy.

2. Privacy layer to cover line of sight of the window – mentioned in the housing development guidelines.

- 3. Adding a permanent privacy screens to the balcony.
- 4. Current Oak tree which will be trimmed and would be the best privacy screen even after the trim.

5. The distance between windows (yours's and proposed) is over 100ft, which should be considered while discussing privacy.

I would like to request your contact (phone #) again - as we need to coordinate with regards to Oak tree trimming,

Please let me know if you any more concerns,

Best,

Ramya

On Tuesday, May 7, 2024 at 01:43:31 AM PDT, Ramya Muddada

> wrote:

Hello

Thank you for the response. We thought we would talk to you last Saturday, as per the email received on 05.02.24, but unfortunately, it couldn't happen; please share your phone number so we can communicate better,

As mentioned in my last email, we have been getting quotes from different arborist teams to trim the big oak tree. Since we need access to your property, please provide us with your number so we can communicate the trimming dates/times.

Your additional comments/concerns/suggestions are addressed below and highlighted in Green:

Leyland trees are known to be used for blocking out unwanted noise, shield a view of a busy street, and also act as a privacy shield from neighbors as they are evergreen trees that do not shade in winter and grow up to 40-60 feet in height and 3-4 feet in width,

1. Window Adjustment: Would it be possible to consider removing or relocating the windows that directly overlook my master bedroom and bathroom? Installing the windows on a different side of the house could help mitigate privacy issues while still allowing for natural light and ventilation. - The Windows will not be directly looking into your property due to the big oak tree in the back and also due to privacy trees that will be plated; even after a good trim, the tree canopy will act as a privacy screen. Unfortunately, the windows can not be moved to another side of the property as we have 2 windows there, too. The window closer to you can not be moved to the back of the property as the sunlight during summer (after 3 PM) will be so strong that the room will become a sauna; I have been enduring it for the past 3 years, as my office window is exactly in the same position and it gets unbearably hot during summer, it is one of the main reasons to have a much smaller window and nearer to the ceiling at the back of the property, with regards to the small window in between-its too high (over 6ft) to consider as privacy issue, please also consider the distance between properties (the estimated distance is about 100 ft for one window and over 100 on the other).

2. Skylights: Instead of traditional windows, could we explore the possibility of installing skylights for ventilation in the affected areas? Skylights would allow for ample natural light without compromising privacy, as they are typically positioned high on the ceiling and do not provide direct sightlines into neighboring properties. - The rooms with windows facing Blackwell Drive are very small, and Skylights will make them super hot during summer.

3. Improved Privacy Screen: If a permanent privacy screen is deemed necessary, could we explore options for a screen that offers better coverage and privacy? Perhaps a solid black filter without any holes would be more effective in blocking visibility from your balcony while still allowing for airflow. Yes, we can add black insect netting/mess to our chosen privacy screen.

I have CCed our designer/architect to this email so he can provide insight if needed,

As always, all suggestions/concerns regarding the project are most welcome and open for further discussion,

Best,

Ramya

(Please leave a voice mail - if I don't pick up, I may be driving or in a meeting)

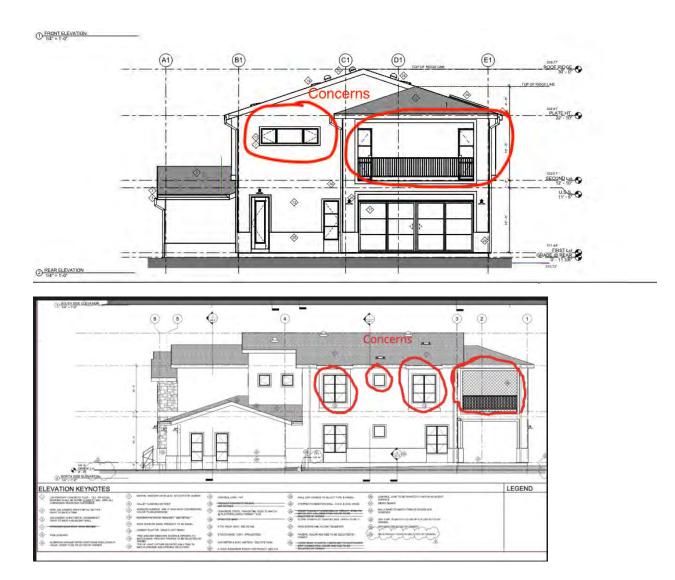
On Monday, May 6, 2024 at 02:22:37 PM PDT,

> wrote:

Hi Ramya and Venkat,

Thank you for your response and for considering my concerns regarding the privacy implications of your construction plans. I appreciate your efforts to address the issue by adding a permanent privacy screen to the balcony and planting Leyland Cypress Trees for additional privacy.

However, after carefully reviewing the proposed solutions and the attached renderings, I still have some reservations about the effectiveness of these measures in ensuring our privacy. Upon closer inspection, it seems that the permanent privacy screen may not provide adequate coverage, as there are visible gaps that could allow for sightlines into my **master bedroom and bathroom.** Additionally, the placement of the privacy trees may not fully block the view from your balcony and windows, especially during certain times of the year when foliage is sparse.



Considering these concerns, I would like to explore alternative options that could better address our privacy needs. Here are a few suggestions:

1. **Window Adjustment:** Would it be possible to consider removing or relocating the windows that directly overlook my master bedroom and bathroom? Installing the windows on a different side of the house could help mitigate privacy issues while still allowing for natural light and ventilation.

2. **Skylights**: Instead of traditional windows, could we explore the possibility of installing skylights for ventilation in the affected areas? Skylights would allow for ample natural light without compromising privacy, as they are typically positioned high on the ceiling and do not provide direct sightlines into neighboring properties.

3. **Improved Privacy Screen**: If a permanent privacy screen is deemed necessary, could we explore options for a screen that offers better coverage and privacy? Perhaps a solid black filter without any holes would be more effective in blocking visibility from your balcony while still allowing for airflow.

I understand that making changes to the construction plans may require additional time and resources, but I believe that finding a mutually satisfactory solution is important for maintaining positive relationships within our neighborhood.

I am open to further discussion and collaboration to find the best possible solution that respects the rights and privacy of both parties. Please let me know your thoughts on the proposed alternatives, and if there are any other ideas you would like to explore.

Thank you for your understanding and cooperation.

Best regards, Dev

On Mon, 6 May 2024 at 11:14, Vyankatesh B wrote: > wrote:

Hello

Please share your contact phone number so that we can connect in person as well.

Regards,

Venky

On Saturday, May 4, 2024, 12:18 AM, Ramya Muddada

wrote:

Hello

My sincere apology to have missed your email - I think it went into spam by accident,

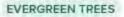
We appreciate you bringing your concerns to our attention; we take the privacy concerns of all our neighbors very seriously,

We are doing a few things to mitigate this issue, like adding a permanent privacy screen to the balcony and planting a minimum of 3-4 privacy trees (Leyland Cypress Trees) where the windows are currently situated.

We have also done some rendering of the proposed building, which I have attached to show where the trees would be placed (please note that the trees in the rendering and the proposed screen trees are different),



Below are the pictures of the proposed screening trees/material to be used,

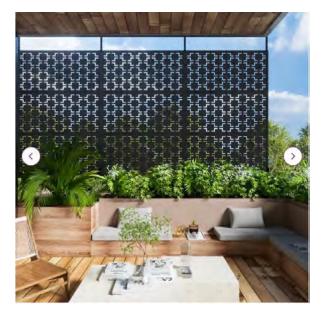




Reaching impressive heights of 40 to 60 feet, the Leyland Cypress Tree is an Ideal privacy screen.

✓ Thick foliage ensures a dense screen for any space around your home.

 This hardy tree will stay green and strong down to temperatures as low as 0 degrees.



Per our conversation when we met last time, we also know you have concerns about the big oak tree in the back, which will be trimmed very soon (we are in the process of getting a few quotes).

Please feel free to reach out if you have any questions or additional concerns, your patience and cooperation is highly appreciated.

Looking forward to talking to you,

Best, Ramya On Thursday, May 2, 2024 at 07:55:43 AM PDT,

wrote:

Hi Venky,

I hope this email finds you well. Thank you for reaching out, and I appreciate your willingness to discuss the concerns I've raised regarding the construction project.

It's unfortunate that my original email didn't reach you. I've attached a PDF copy of the email for your reference. Please let me know if you encounter any issues accessing it.

I'm glad to hear that you're open to discussing the concerns further. I agree that a conversation would be beneficial to address any questions or issues that may arise. I'm available to chat this Saturday, and I'll give you a call on your phone to discuss in more detail.

Looking forward to our conversation.

Best regards,

On Wed, 1 May 2024 at 10:13, Vyankatesh B

wrote:

Hi

Hope, everything is going well with you! I received email from Erin about the concern you have. Unfortunately, your original email to us, we never received it. Not sure, if you have the correct email.

We would like to discuss with you on your concerns and would be happy to provide you more details.

Let's connect when you have time. You can call me anytime and/or we can meetup in person. Thank you!

Best,

Venky

Correspondence with 373 Blackwell Drive

From: Ramya Muddada <
Sent: Wednesday, July 31, 2024 4:11 PM
To: Erin Walters < EWalters@losgatosca.gov>; Vyankatesh B <
rama <
Subject: Fw: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)
[EXTERNAL SENDER]
Email chain sent to 373Blackwell Drive,
Best,
Ramya
Forwarded Message
From: Ramya Muddada <
To:
Cc: Vyankatesh B <; Jose (Architect) rama
Sent: Wednesday, July 31, 2024 at 01:49:03 PM PDT

Subject: Re: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)

Hello

After reviewing all the neighbors' comments and concerns, we have decided to take more steps to mitigate the privacy concerns.

Below are all the things done/available to address the privacy concerns of the neighbors about the two windows and balcony:

1. Removing the balcony from the plans (please see the revised attached plans)

2. Adding 5 Leyland trees – Know the best trees to create privacy.

3. Privacy layer to cover the line of sight of the window (mentioned in the housing development guidelines).

4. The current oak tree will be trimmed and will be the best privacy screen even after the trim.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

Please let me know if you have any more questions or concerns,

Best,

Ramya

On Sunday, May 12, 2024 at 02:48:07 PM PDT, Ramya Muddada <

wrote:

Hello

Thank you for the comments sent to the planning, we take privacy concerns of 15411 and all immediate neighborohood very seriouly as mentioned on the email sent to you early morning of May 7th,

Below are the resposes to the comments sent (**bold**):

1. Concerned about the privacy due to a big two storied building. As our 3 bedrooms (including the Master Bedroom) are open to our backyard and it's a concern for the privacy of my family due this big construction.

We are mitigating the privacy concern by planting 3-4 Leyland trees which are commonly used to create privacy, this would cover all of the view from the 2 windows you see in the plan- These are evergreen trees with minimal maintenance, in addition to the Leyland trees we are going put privacy layer to cover line of sight of the window please see the attached (please note this refence only not exact). I would also bring to your attention that the proposed structure of 15411 is similar to your two storied structure, but due to the placement of site location the house might look big.

2. This big two floored building is going to obstruct the view of the mountains and it's a claustrophobic for my family.

All most all the mountain viewing is obstructed by the tree in your backyard or trees on my other side of my property and with regards to claustrophobic - your neighboring house which is of same height as yours's much closer to you (appro.10ft) then 15411 structure (over 80ft in distance from your structure to the purposed structure).

3. After hearing that we are going to have tree screening to obstruct view from their windows or big balcony, we are concerned about the time and maintenance of these trees going forward. Looking at the situation now, we are concerned about the maintenance.

As mentioned in my previous email and above Leyland trees are evergreen trees with minimal maintenance, and as we are going to be living on that property, we would be maintaining the Leyland trees. With regards to balcony - 80 % of the view from balcony will be blocked by the huge oak tree we share in the back yard and then for the remaining % we are going to install privacy screen on the balcony mentioned in my previous email. (please see the attached for the balcony screening)

4. As I mentioned, the way the bushes (vine iv) or sheds or barn roof iron sheets are maintained, I see animals (bobcats), snakes on the fence or barn roof and it's a big concern. Another concern about the flying barn roof iron sheets during the storm and not maintaining them.

As we are proposing to build a beautiful house replacing all the sheds there wouldn't be any flying barns roofs - this proposal would improve/enhance the neighborhood and also increase the value of the properties in the immediate neighborhood, with regards to bobcats and snakes - was the animal control called as this is first time I am hearing about it, please let me know immediately when you see any sighting of either bobcats or snakes as we all have kids and pets and need immediate attention, but all of this wouldn't be problem once the purposed plan comes to fruition results. 5. Due to vine iv bushes in the back, growing on my shed and damaging the roof. Also the fence. My gardener cleaned the vines and also paid for the repair of fence in the past.

This shouldn't be a concern - as you and I are working on getting a new fence on a different email, the only request I had made was that we trim the Oak tree we share first.

6. Looked at the latest plans at this link and here is the big balcony that my family is concerned about...This situation gives rise to considerable privacy concerns for my family.

Addressed on Comment # 3.

Correspondence with 377 Blackwell Drive

F rom: Ramya Muddada
Sent: Wednesday, July 31, 2024 4:02 PM
To: Erin Walters <ewalters@losgatosca.gov>; Vyankatesh B <</ewalters@losgatosca.gov>
rama and a second s
Subject: Fw: Your neighbor at 15411 National Ave - New construction
[EXTERNAL SENDER]
Hello Erin,
Please see the email chain for the emails sent/corresponded with our neighbors (377 Blackwell Drive)
please let me know if you have questions or concerns,
Best,
Ramya
Forwarded Message
From: Ramya Muddada
To:
Cc: Vyankatesh B < ; Jose (Architect) rama <
Sent: Wednesday, July 31, 2024 at 01:53:05 PM PDT
Subject: Re: Your neighbor at 15411 National Ave - New construction

Hello

After reviewing all the neighbors' comments and concerns, we have decided to take more steps to mitigate the privacy concerns.

Below are all the things done/available to address the privacy concerns of the neighbors about the two windows and balcony:

1. Removing the balcony from the plans (please see the revised attached plans)

2. Adding 5 Leyland trees - Know the best trees to create privacy.

3. Privacy layer to cover the line of sight of the window (mentioned in the housing development guidelines).

4. The current oak tree will be trimmed and will be the best privacy screen even after the trim.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

Please let me know if you have any more questions or concerns,

Best,

Ramya

On Tuesday, May 7, 2024 at 02:14:56 AM PDT, Ramya Muddada

wrote:

Hello

I emailed you the proposed plans in February 2024 and was hoping you would reach out to us with any questions or concerns; my husband had also tried to reach you via text but didn't get any feedback.

However, the other 2 neighbors made some comments on privacy issues, and we are trying to address them, as we take the privacy concerns of all our neighbors very seriously.

We are doing a few things to mitigate this issue, like adding a permanent privacy screen to the balcony and planting a minimum of 3-4 privacy trees (Leyland Cypress Trees) where the windows are currently situated.

We have also done some rendering of the proposed building, which I have attached to show where the trees would be placed (please note that the trees in the rendering and the proposed screen trees are different; we are working on getting the correct trees on to the rendering),

Below are the pictures of the proposed screening trees/material to be used,

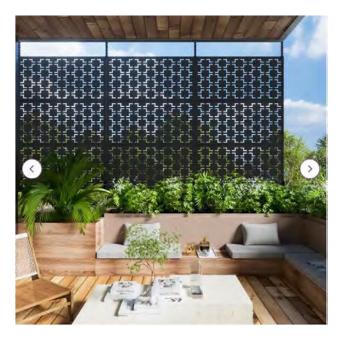


EVERGREEN TREES



Reaching impressive heights of 40 to 60 feet, the Leyland Cypress Tree is an Ideal privacy screen.

- ✓ Thick foliage ensures a dense screen for any space around your home.
- This hardy tree will stay green and strong down to temperatures as low as 0 degrees.

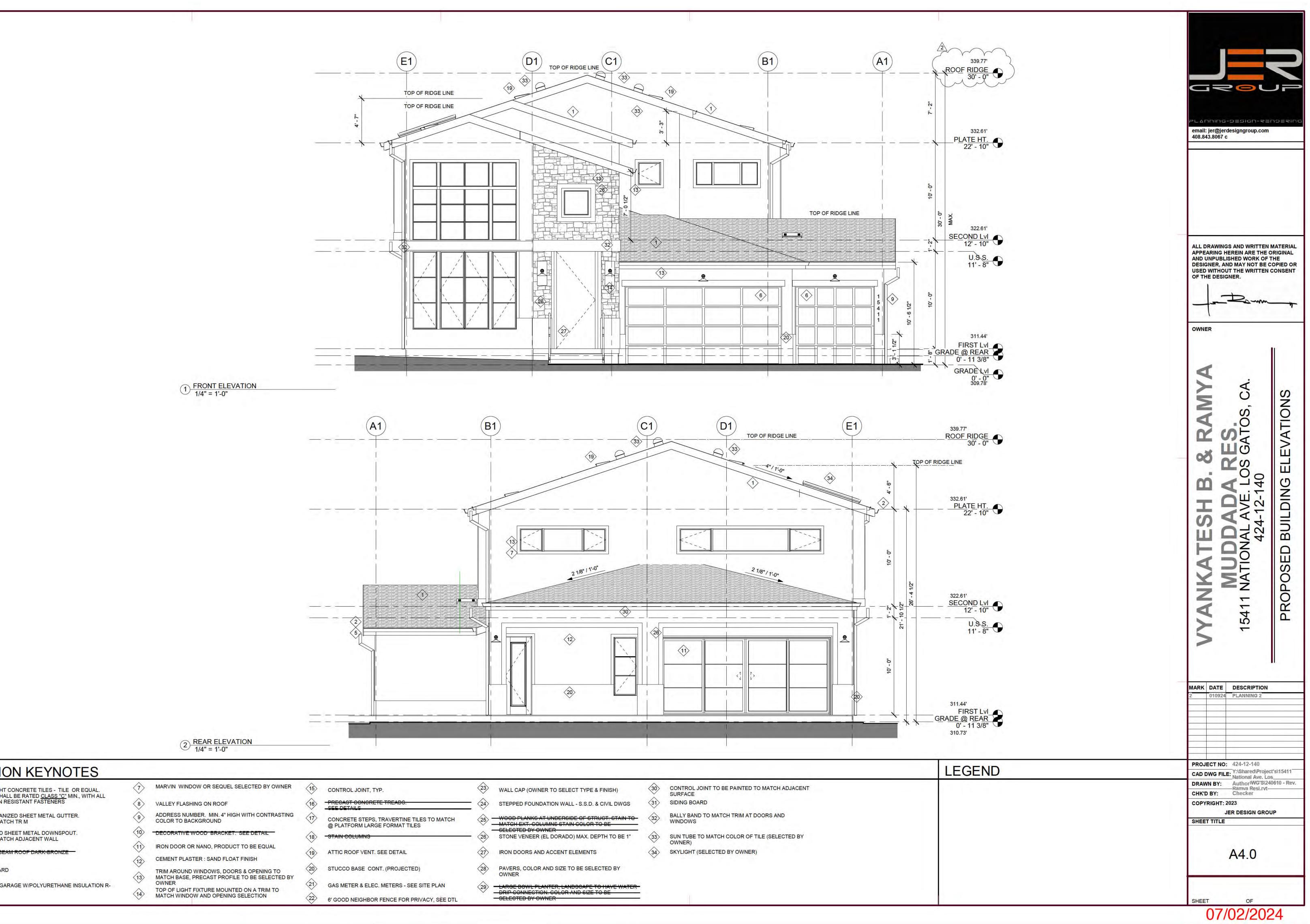


Please feel free to ask questions or express any additional concerns; your patience and cooperation are highly appreciated. I have also CCed my designer/architect so he can add to the discussion when needed,

Looking forward to talking to you,

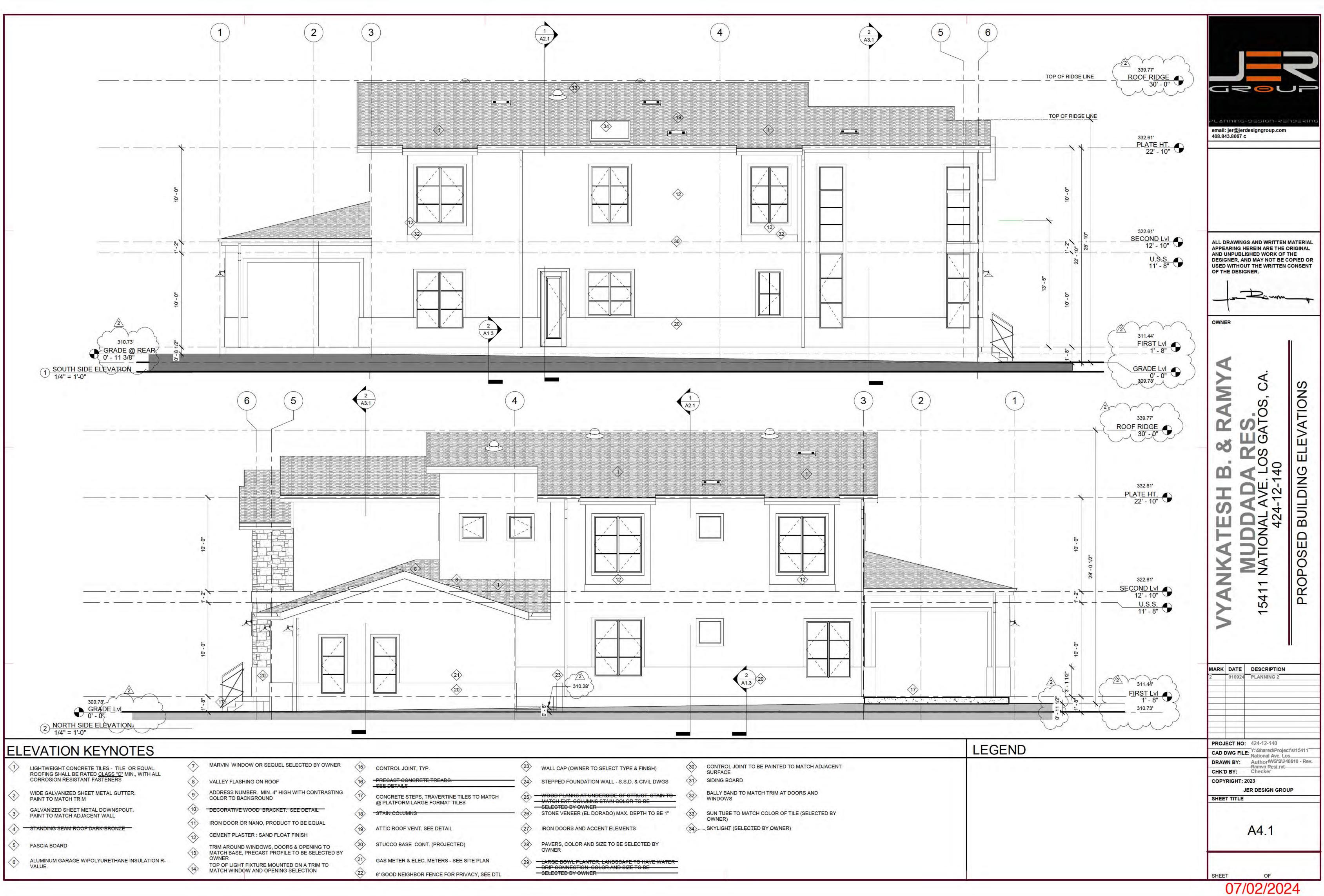
Best, Ramya

(Please leave a voice mail - if I don't pick up, I may be driving or in a meeting)



EI EVATION VEVNOTES

EL	EVATION RETNUTES									
$\langle 1 \rangle$	LIGHTWEIGHT CONCRETE TILES - TILE OR EQUAL. ROOFING SHALL BE RATED <u>CLASS "C"</u> MIN., WITH ALL	$\langle \overline{\gamma} \rangle$	MARVIN WINDOW OR SEQUEL SELECTED BY OWNER	(15)	CONTROL JOINT, TYP.	23>	WALL CAP (OWNER TO SELECT TYPE & FINISH)	30>	CONTROL JOINT TO BE PAINTED TO MATCH ADJACENT SURFACE	
	CORROSION RESISTANT FASTENERS	8	VALLEY FLASHING ON ROOF		- PRECAST CONCRETE TREADS. - SEE DETAILS	- 24	STEPPED FOUNDATION WALL - S.S.D. & CIVIL DWGS	31>	SIDING BOARD	
$\langle 2 \rangle$	WIDE GALVANIZED SHEET METAL GUTTER. PAINT TO MATCH TR M	(9)	ADDRESS NUMBER. MIN. 4" HIGH WITH CONTRASTING COLOR TO BACKGROUND		CONCRETE STEPS, TRAVERTINE TILES TO MATCH @ PLATFORM LARGE FORMAT TILES	× -	WOOD PLANKS AT UNDERSIDE OF STRUCT. STAIN TO- MATCH EXT. COLUMNS STAIN COLOR TO BE	32>	BALLY BAND TO MATCH TRIM AT DOORS AND WINDOWS	
3	GALVANIZED SHEET METAL DOWNSPOUT. PAINT TO MATCH ADJACENT WALL	< <u>10</u>	DECORATIVE WOOD BRACKET. SEE DETAIL	(18)	STAIN COLUMNS	- 26	SELECTED BY OWNER STONE VENEER (EL DORADO) MAX. DEPTH TO BE 1"	33	SUN TUBE TO MATCH COLOR OF TILE (SELECTED BY OWNER)	
<4> -	STANDING SEAM ROOF DARK-BRONZE	<11> (12)	IRON DOOR OR NANO, PRODUCT TO BE EQUAL CEMENT PLASTER : SAND FLOAT FINISH	(19)	ATTIC ROOF VENT. SEE DETAIL	27>	IRON DOORS AND ACCENT ELEMENTS	34>	SKYLIGHT (SELECTED BY OWNER)	
\$	FASCIA BOARD	12	TRIM AROUND WINDOWS, DOORS & OPENING TO MATCH BASE, PRECAST PROFILE TO BE SELECTED BY	20>	STUCCO BASE CONT. (PROJECTED)	28>	PAVERS, COLOR AND SIZE TO BE SELECTED BY OWNER			
6	ALUMINUM GARAGE W/POLYURETHANE INSULATION R- VALUE.		OWNER TOP OF LIGHT FIXTURE MOUNTED ON A TRIM TO	21	GAS METER & ELEC. METERS - SEE SITE PLAN	29	LARGE BOWL PLANTER, LANDSCAPE TO HAVE WATER DRIP CONNECTION. COLOR AND SIZE TO BE			
		\checkmark	MATCH WINDOW AND OPENING SELECTION	(22)	6' GOOD NEIGHBOR FENCE FOR PRIVACY, SEE DTL		SELECTED BY OWNER			



	23>	WALL CAP (OWNER TO SELECT TYPE & FINISH)	30>	CONTROL JOINT TO BE PAINTED TO MATCH ADJACENT SURFACE	
	- 24	STEPPED FOUNDATION WALL - S.S.D. & CIVIL DWGS	31>	SIDING BOARD	
TILES TO MATCH ES	25	WOOD PLANKS AT UNDERSIDE OF STRUCT. STAIN TO- MATCH EXT. COLUMNS STAIN COLOR TO BE	32>	BALLY BAND TO MATCH TRIM AT DOORS AND WINDOWS	
	- 26	STONE VENEER (EL DORADO) MAX. DEPTH TO BE 1"	33>	SUN TUBE TO MATCH COLOR OF TILE (SELECTED BY OWNER)	
	27>	IRON DOORS AND ACCENT ELEMENTS	34	_ SKYLIGHT (SELECTED BY OWNER)	
ED)	28	PAVERS, COLOR AND SIZE TO BE SELECTED BY OWNER			
	29>	- LARGE BOWL PLANTER, LANDSCAPE TO HAVE WATER- - DRIP CONNECTION. COLOR AND SIZE TO BE - SELECTED BY OWNER			

Correspondence with 113 Lelia Ct

From: Ramya Muddada <
Sent: Wednesday, July 31, 2024 4:38 PM
To: Erin Walters <ewalters@losgatosca.gov>; Vyankatesh B</ewalters@losgatosca.gov>
rama <>
Subject: Fw: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)
[EXTERNAL SENDER]
Email sent to 113 Leila Ct
Forwarded Message
From: Ramya Muddada <
To:
Cc: Vyankatesh B <; Jose (Architect) rama
Sent: Wednesday, July 31, 2024 at 02:03:33 PM PDT
Subject: Re: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)

Hello,

After reviewing all the neighbors' comments and concerns, we have decided to take more steps to mitigate the privacy concerns.

Below are all the things done/available to address the privacy concerns of the neighbors about the two windows and balcony:

1. Removing the balcony from the plans (please see the revised attached plans)

2. Adding 4 Leyland trees in the back – Know as the best trees to create privacy; they are evergreen, so this mitigates the issue of foliage dripping onto your property.

3. The current oak tree will be trimmed, and the privacy screen will be the best even after the trim.

4. There are currently NO big windows that would look into your side of the property, which should be considered when discussing privacy.

Please let me know if you have any more questions or concerns,

Best,

Ramya

On Tuesday, May 7, 2024 at 01:07:33 PM PDT, Ramya Muddada

wrote:

Hello,

I visited your house and emailed you the proposed plans for 15411 National Ave (APN 424-12-40 Site application S-23-033). I was hoping you would contact us with any questions or concerns; we received your concerns through the city and are trying to address them, as we take the privacy concerns of all our neighbors very seriously.

We are doing a few things to mitigate the privacy issue, like adding a permanent privacy screen to the balcony and planting a minimum of 3-4 privacy trees (Leyland Cypress Trees) where the 2nd-floor porch is situated.

We have also done some rendering of the proposed building, which I have attached to show where the trees would be placed (please note that the trees in the rendering and the proposed screen trees are different; we are working on getting the correct trees on to the rendering),

Below are the pictures of the proposed screening trees/material to be used,



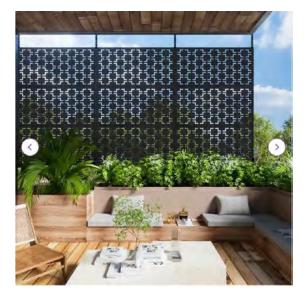
EVERGREEN TREES



Reaching impressive heights of 40 to 60 feet, the Leyland Cypress Tree is an ideal privacy screen.

✓ Thick foliage ensures a dense screen for any space around your home.

 This hardy tree will stay green and strong down to temperatures as low as 0 degrees.



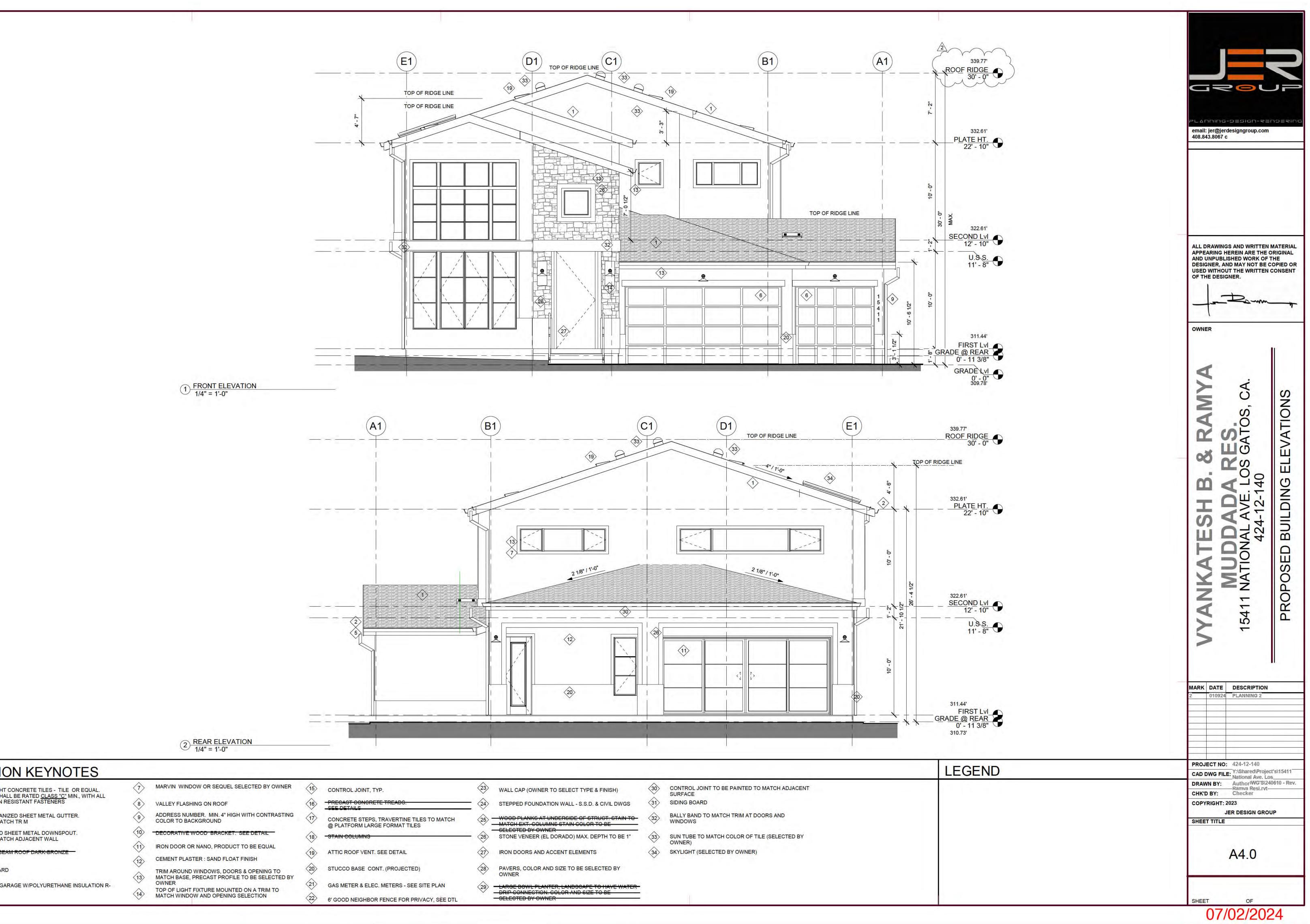
Please feel free to ask questions or express any additional concerns; your patience and cooperation are highly appreciated. I have also CCed my designer/architect so he can add to the discussion when needed,

I would like to bring to your attention that we are getting quotes to trim the big oak tree in the back and will contact you in a separate email as we will need access to your property when the date is fixed,

Looking forward to talking to you,

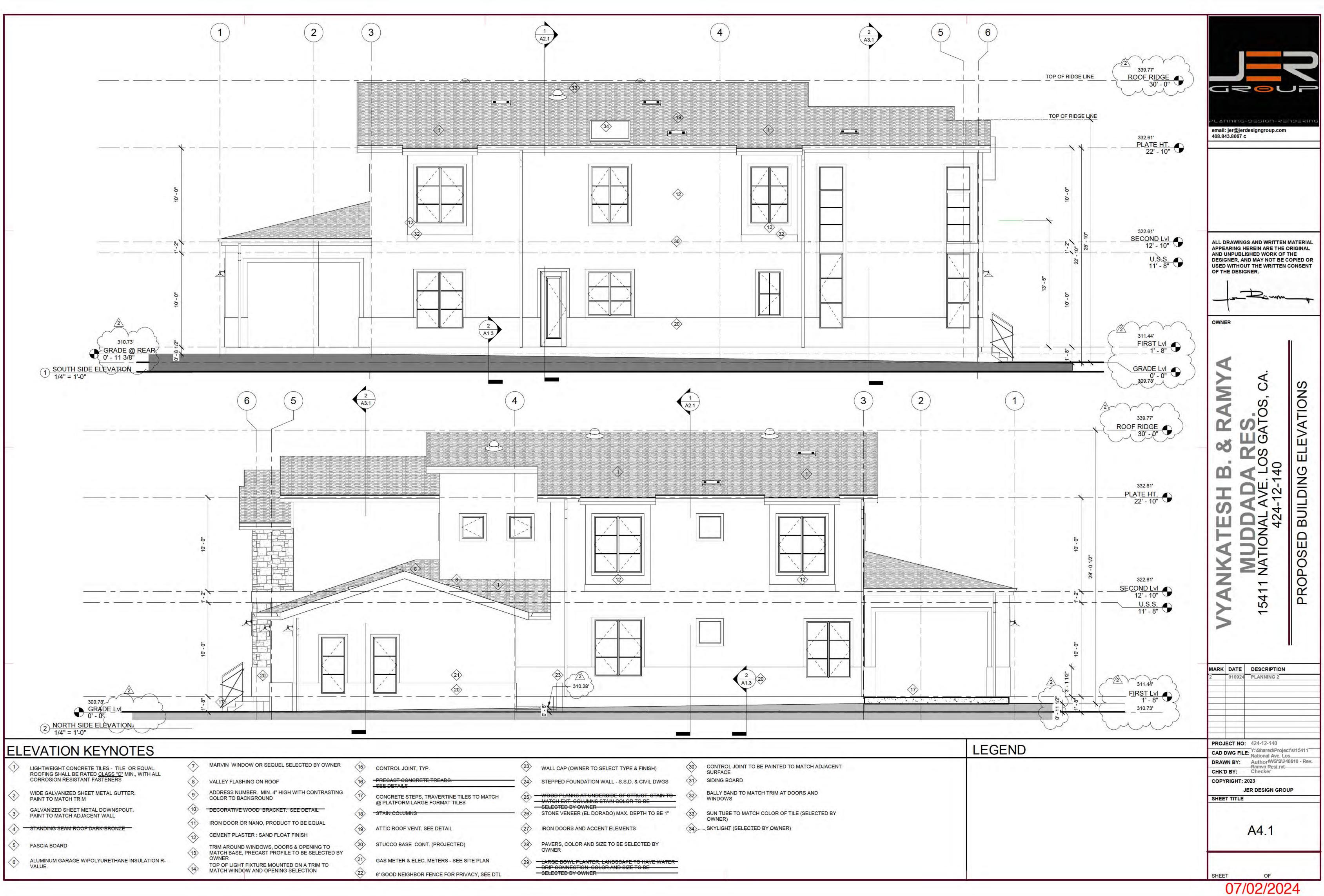
Best, Ramya

(Please leave a voice mail - if I don't pick up, I may be driving or in a meeting)



EI EVATION VEVNOTES

EL	EVATION RETNUTES									
$\langle 1 \rangle$	LIGHTWEIGHT CONCRETE TILES - TILE OR EQUAL. ROOFING SHALL BE RATED <u>CLASS "C"</u> MIN., WITH ALL	$\langle \overline{\gamma} \rangle$	MARVIN WINDOW OR SEQUEL SELECTED BY OWNER	(15)	CONTROL JOINT, TYP.	23>	WALL CAP (OWNER TO SELECT TYPE & FINISH)	30>	CONTROL JOINT TO BE PAINTED TO MATCH ADJACENT SURFACE	
	CORROSION RESISTANT FASTENERS	8	VALLEY FLASHING ON ROOF		- PRECAST CONCRETE TREADS. - SEE DETAILS	- 24	STEPPED FOUNDATION WALL - S.S.D. & CIVIL DWGS	31>	SIDING BOARD	
$\langle 2 \rangle$	WIDE GALVANIZED SHEET METAL GUTTER. PAINT TO MATCH TR M	(9)	ADDRESS NUMBER. MIN. 4" HIGH WITH CONTRASTING COLOR TO BACKGROUND		CONCRETE STEPS, TRAVERTINE TILES TO MATCH @ PLATFORM LARGE FORMAT TILES	× -	WOOD PLANKS AT UNDERSIDE OF STRUCT. STAIN TO- MATCH EXT. COLUMNS STAIN COLOR TO BE	32>	BALLY BAND TO MATCH TRIM AT DOORS AND WINDOWS	
3	GALVANIZED SHEET METAL DOWNSPOUT. PAINT TO MATCH ADJACENT WALL	< <u>10</u>	DECORATIVE WOOD BRACKET. SEE DETAIL	(18)	STAIN COLUMNS	- 26	SELECTED BY OWNER STONE VENEER (EL DORADO) MAX. DEPTH TO BE 1"	33	SUN TUBE TO MATCH COLOR OF TILE (SELECTED BY OWNER)	
<4> -	STANDING SEAM ROOF DARK-BRONZE	<11> (12)	IRON DOOR OR NANO, PRODUCT TO BE EQUAL CEMENT PLASTER : SAND FLOAT FINISH	(19)	ATTIC ROOF VENT. SEE DETAIL	27>	IRON DOORS AND ACCENT ELEMENTS	34>	SKYLIGHT (SELECTED BY OWNER)	
\$	FASCIA BOARD	12	TRIM AROUND WINDOWS, DOORS & OPENING TO MATCH BASE, PRECAST PROFILE TO BE SELECTED BY	20>	STUCCO BASE CONT. (PROJECTED)	28>	PAVERS, COLOR AND SIZE TO BE SELECTED BY OWNER			
6	ALUMINUM GARAGE W/POLYURETHANE INSULATION R- VALUE.		OWNER TOP OF LIGHT FIXTURE MOUNTED ON A TRIM TO	21	GAS METER & ELEC. METERS - SEE SITE PLAN	29	LARGE BOWL PLANTER, LANDSCAPE TO HAVE WATER DRIP CONNECTION. COLOR AND SIZE TO BE			
		\checkmark	MATCH WINDOW AND OPENING SELECTION	(22)	6' GOOD NEIGHBOR FENCE FOR PRIVACY, SEE DTL		SELECTED BY OWNER			



	23>	WALL CAP (OWNER TO SELECT TYPE & FINISH)	30>	CONTROL JOINT TO BE PAINTED TO MATCH ADJACENT SURFACE	
	- 24	STEPPED FOUNDATION WALL - S.S.D. & CIVIL DWGS	31>	SIDING BOARD	
TILES TO MATCH ES	25	WOOD PLANKS AT UNDERSIDE OF STRUCT. STAIN TO- MATCH EXT. COLUMNS STAIN COLOR TO BE	32>	BALLY BAND TO MATCH TRIM AT DOORS AND WINDOWS	
	- 26	STONE VENEER (EL DORADO) MAX. DEPTH TO BE 1"	33>	SUN TUBE TO MATCH COLOR OF TILE (SELECTED BY OWNER)	
	27>	IRON DOORS AND ACCENT ELEMENTS	34	_ SKYLIGHT (SELECTED BY OWNER)	
ED)	28	PAVERS, COLOR AND SIZE TO BE SELECTED BY OWNER			
	29>	- LARGE BOWL PLANTER, LANDSCAPE TO HAVE WATER- - DRIP CONNECTION. COLOR AND SIZE TO BE - SELECTED BY OWNER			

From: Ramya Muddada	
Sent: Thursday, November 7, 2	2024 9:35 AM
To: Erin Walters < EWalters@lo	sgatosca.gov>
Cc: Vyankatesh B <	>; Jose (Architect) rama <
Subject: Fw: Your neighbor at	15411 National Ave (APN 424-12-40 Site application S-23-033)

[EXTERNAL SENDER]

-Blackwell Dr - a response was sent to neighbors based on emails received from the city.

Best,

Ramya

----- Forwarded Message -----

From: Ramya Muddada

To: \

Cc: Vyankatesh B < _____; Jose (Architect) rama

Sent: Tuesday, November 5, 2024 at 08:45:17 PM PST

Subject: Re: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)

Hi '

This email addresses the concerns/comments sent to the city on 10.29.24

The image on the architectural drawing may not provide an accurate picture of the tree; it just shows the placement of the trees. The proposed privacy trees can easily grow in a 4x4 area and will grow within our property line; said that the photos you shared show plants near the fence. Will you also ensure the drip line of those plants, when grown, is within your property

Our first-floor windows shouldn't be a concern due to the fence. Still, I think you meant 2nd floor - The two windows combined on our property are smaller than the combined two windows on your home; even though you have more windows than us,

However, we've ensured we provide additional privacy, which was addressed in my 07.31.24 email. I am also repeating them below

1. Removing the balcony from the plans.

2. Adding five non-deciduous trees – Know the best trees to create privacy (less debry as they are non-deciduous trees)

3. A privacy layer (blurred windows) covers the window's line of sight (mentioned in the housing development guidelines).

4. The current giant oak tree will be the best privacy screen.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

I would like to point out that one of your neighbors, who is also two-story, has a clear view of your bedrooms and backyard through their side window, which is less than 20 feet in distance.

So, as you know, ADUs are not part of this application.

Again, I think you meant two-story and not three. I also want to point out that our property is just a little over 500 sqft larger than your property, which doesn't qualify as gigantic.

Please let me know if you have any additional questions or concerns.

Best,

Ramya

On Wednesday, July 31, 2024 at 01:49:03 PM PDT, Ramya Muddada < <u>r</u> wrote:

Hello

After reviewing all the neighbors' comments and concerns, we have decided to take more steps to mitigate the privacy concerns.

Below are all the things done/available to address the privacy concerns of the neighbors about the two windows and balcony:

1. Removing the balcony from the plans (please see the revised attached plans)

2. Adding 5 Leyland trees – Know the best trees to create privacy.

3. Privacy layer to cover the line of sight of the window (mentioned in the housing development guidelines).

4. The current oak tree will be trimmed and will be the best privacy screen even after the trim.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

Please let me know if you have any more questions or concerns,

Best,

Ramya

On Sunday, May 12, 2024 at 02:48:07 PM PDT, Ramya Muddada <

wrote:

Hello

Thank you for the comments sent to the planning, we take privacy concerns of 15411 and all immediate neighborohood very seriouly as mentioned on the email sent to you early morning of May 7th,

Below are the resposes to the comments sent (**bold**):

1. Concerned about the privacy due to a big two storied building. As our 3 bedrooms (including the Master Bedroom) are open to our backyard and it's a concern for the privacy of my family due this big construction.

We are mitigating the privacy concern by planting 3-4 Leyland trees which are commonly used to create privacy, this would cover all of the view from the 2 windows you see in the plan- These are evergreen trees with minimal maintenance, in addition to the Leyland trees we are going put privacy layer to cover line of sight of the window please see the attached (please note this refence only not exact). I would also bring to your attention that the proposed structure of 15411 is similar to your two storied structure, but due to the placement of site location the house might look big.

2. This big two floored building is going to obstruct the view of the mountains and it's a claustrophobic for my family.

All most all the mountain viewing is obstructed by the tree in your backyard or trees on my other side of my property and with regards to claustrophobic - your neighboring house which is of same height as yours's much closer to you (appro.10ft) then 15411 structure (over 80ft in distance from your structure to the purposed structure).

3. After hearing that we are going to have tree screening to obstruct view from their windows or big balcony, we are concerned about the time and maintenance of these trees going forward. Looking at the situation now, we are concerned about the maintenance.

As mentioned in my previous email and above Leyland trees are evergreen trees with minimal maintenance, and as we are going to be living on that property, we would be maintaining the Leyland trees. With regards to balcony - 80 % of the view from balcony will be blocked by the huge oak tree we share in the back yard and then for the remaining % we are going to install privacy screen on the balcony mentioned in my previous email. (please see the attached for the balcony screening)

4. As I mentioned, the way the bushes (vine iv) or sheds or barn roof iron sheets are maintained, I see animals (bobcats), snakes on the fence or barn roof and it's a big concern. Another concern about the flying barn roof iron sheets during the storm and not maintaining them.

As we are proposing to build a beautiful house replacing all the sheds there wouldn't be any flying barns roofs - this proposal would improve/enhance the neighborhood and also increase the value of the properties in the immediate neighborhood, with regards to bobcats and snakes - was the animal control called as this is first time I am hearing about it, please let me know immediately when you see any sighting of either bobcats or snakes as we all have kids and pets and need immediate attention, but all of this wouldn't be problem once the purposed plan comes to fruition results.

5. Due to vine iv bushes in the back, growing on my shed and damaging the roof. Also the fence. My gardener cleaned the vines and also paid for the repair of fence in the past.

This shouldn't be a concern - as you and I are working on getting a new fence on a different email, the only request I had made was that we trim the Oak tree we share first.

6. Looked at the latest plans at this link and here is the big balcony that my family is concerned about...This situation gives rise to considerable privacy concerns for my family.

Addressed on Comment # 3.

	: Thursday, November 7, 2024 9:32 AM rin Walters <ewalters@losgatosca.gov></ewalters@losgatosca.gov>
	/yankatesh B <
	ect: Fw: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033) - Commen
rece	ived in Oct-2024
[EXT	ERNAL SENDER]
113	LEILA CT - a response was sent to neighbors based on emails received from the city.
Best	
Ram	уа
	Forwarded Message
Fron	n: Ramya Muddada <
To:	
	/yankatesh B utter (and an and an and an
	ect: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033) - Comments
	ived in Oct-2024
Hello	
	ot your comments sent to the city; thank you for your concerns/comments.
	vill not have any new trees in the back, and we haven't had a chance to revise the landscape design
	s we have not finalized the landscaping.
Rega	rding the cellar/basement, we have proposed it based on the city code. The proposed basement is
almo	ost 50 feet away from your garage wall, so this should not affect your foundation.
Plea	se let me know if you have any additional questions or concerns,
Best	
Ram	уа
Fron	n: Ramya Muddada
Sent	: Thursday, November 7, 2024 9:33 AM
To: E	rin Walters <ewalters@losgatosca.gov></ewalters@losgatosca.gov>
	/yankatesh B <
Subj	ect: Fw: 15411 Nationa Ave Addressing comments received on 10.29.24
[EXT	ERNAL SENDER]
369	Blackwell Dr - a response was sent to neighbors based on emails received from the city.
	Forwarded Message
	n: Ramya Muddada
	Devavrath S.
Cc: 1	/yankatesh B

Sent: Monday, November 4, 2024 at 11:02:14 AM PST Subject: 15411 Nationa Ave. - Addressing comments received on 10.29.24

Good Morning

Thank you for the comments/concerns sent to the city, which will be addressed below:

1. Privacy: The current design of the second-floor windows, based on the story poles, continues to present a privacy issue. The placement and height of the windows appears to allow direct visibility into my master bedroom, bathroom (particularly the shower area), and backyard. Given the proximity, this remains a significant concern for my family's privacy. Additionally, the proposed new trees do not adequately shield the second-floor view. I've attached a few pictures below from my bathroom to illustrate this issue:

Thank you for the picture - which clearly shows that the Oak tree branch obstructs the bedroom window from 15411. The only clear structure visible from your photo is the garage; we have also addressed the privacy concern in the email sent on 07.31.2024

1. Removing the balcony from the plans (please see the revised attached plans)

- 2. Adding 5 Leyland trees Know the best trees to create privacy.
- 3. A privacy layer (blurred windows) covers the window's line of sight (mentioned in the housing development guidelines).
- 4. The giant oak tree will be the best privacy screen.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

I also want to add that you have a neighbor with a two-story building with three windows facing your property, and the distance between the windows is less than 20f

3. Neighborhood Comparisons:

We need not replicate any construction style in the neighborhood as it is not a community-based construction; we have used our neighbors on Blackwell Dr as an example to propose the 2-story (one of them is your neighbor).

4. Tree Placement:

The image on the architectural drawing may not provide an accurate image of the tree; it just shows the placement of the trees. The proposed privacy trees can easily grow in a 4x4 area. Adequacy of privacy is also addressed in my first point and on my 07.31.2024 email.

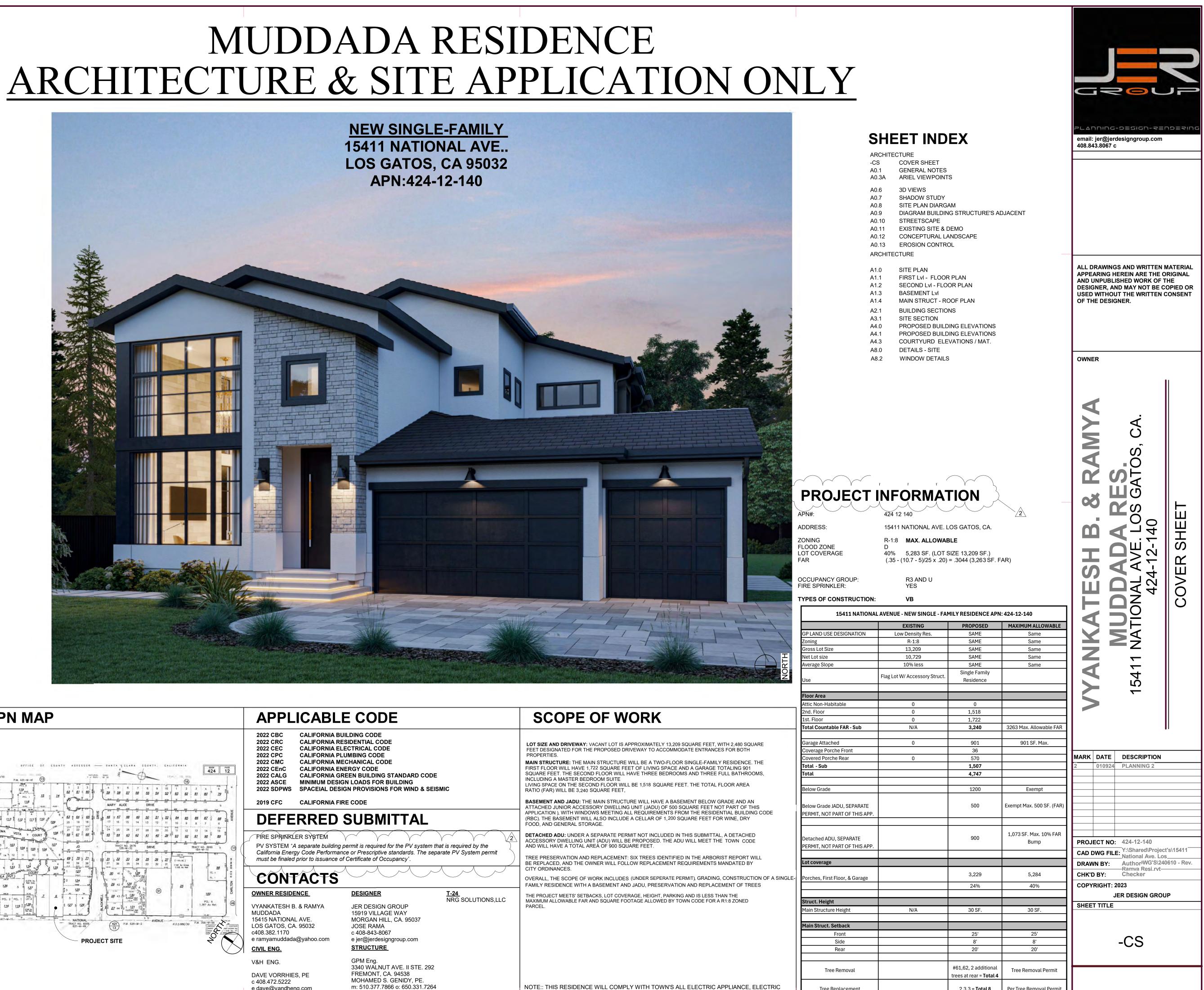
3. Basement Impact:

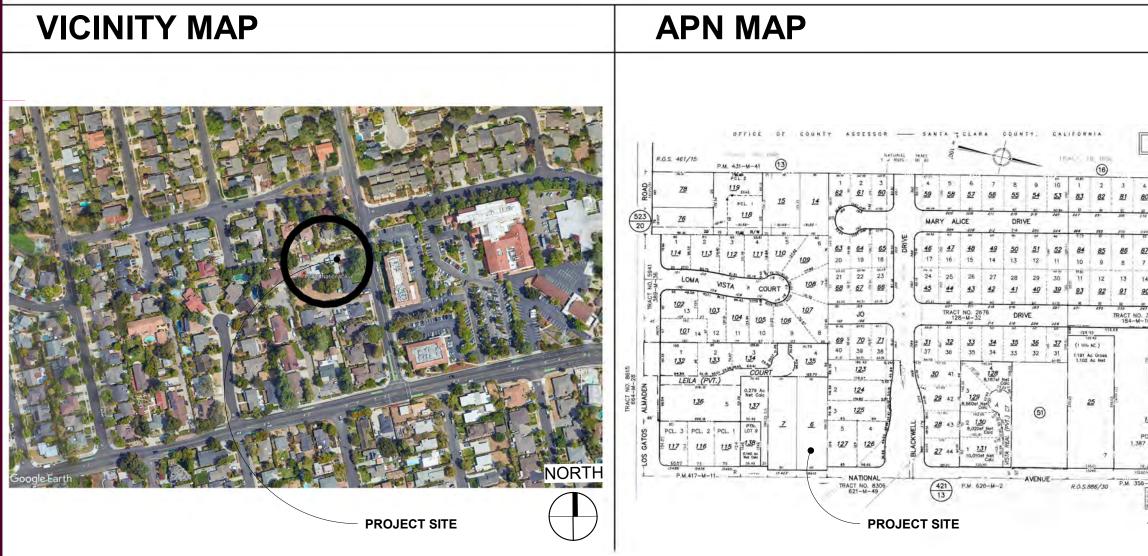
The basement/cellar is proposed according to town codes.

Please let me know if you have any additional questions or concerns,

Best, Ramya This Page Intentionally Left Blank







APPLICABLE CODE	SCOPE OF WORK
2022 CBCCALIFORNIA BUILDING CODE2022 CRCCALIFORNIA RESIDENTIAL CODE2022 CECCALIFORNIA ELECTRICAL CODE2022 CPCCALIFORNIA PLUMBING CODE2022 CMCCALIFORNIA MECHANICAL CODE2022 CEnCCALIFORNIA ENERGY CODE2022 CALGCALIFORNIA GREEN BUILDING STANDARD CODE2022 ASCEMINIMUM DESIGN LOADS FOR BUILDING2022 SDPWSSPACEIAL DESIGN PROVISIONS FOR WIND & SEISMIC	LOT SIZE AND DRIVEWAY: VACANT LOT IS APPROXIMATELY 13,209 SQUARE FEET, WITH 2,480 SQUARE FEET DESIGNATED FOR THE PROPOSED DRIVEWAY TO ACCOMMODATE ENTRANCES FOR BOTH PROPERTIES. MAIN STRUCTURE: THE MAIN STRUCTURE WILL BE A TWO-FLOOR SINGLE-FAMILY RESIDENCE. THE FIRST FLOOR WILL HAVE 1,722 SQUARE FEET OF LIVING SPACE AND A GARAGE TOTALING 901 SQUARE FEET. THE SECOND FLOOR WILL HAVE THREE BEDROOMS AND THREE FULL BATHROOMS, INCLUDING A MASTER BEDROOM SUITE LIVING SPACE ON THE SECOND FLOOR WILL BE 1,518 SQUARE FEET. THE TOTAL FLOOR AREA RATIO (FAR) WILL BE 3,240 SQUARE FEET,
2019 CFC CALIFORNIA FIRE CODE	BASEMENT AND JADU: THE MAIN STRUCTURE WILL HAVE A BASEMENT BELOW GRADE AND AN ATTACHED JUNIOR ACCESSORY DWELLING UNIT (JADU) OF 500 SQUARE FEET NOT PART OF THIS
DEFERRED SUBMITTAL	APPLICATION), WITH WINDOWS MEETING ALL REQUIREMENTS FROM THE RESIDENTIAL BUILDING CODE (RBC). THE BASEMENT WILL ALSO INCLUDE A CELLAR OF 1,200 SQUARE FEET FOR WINE, DRY FOOD, AND GENERAL STORAGE.
FIRE SPRINKLER SYSTEM PV SYSTEM "A separate building permit is required for the PV system that is required by the California Energy Code Performance or Prescriptive standards. The separate PV System permit must be finaled prior to issuance of Certificate of Occupancy'.	DETACHED ADU: UNDER A SEPARATE PERMIT NOT INCLUDED IN THIS SUBMITTAL, A DETACHED ACCESSORY DWELLING UNIT (ADU) WILL BE PROPOSED. THE ADU WILL MEET THE TOWN CODE AND WILL HAVE A TOTAL AREA OF 900 SQUARE FEET. TREE PRESERVATION AND REPLACEMENT: SIX TREES IDENTIFIED IN THE ARBORIST REPORT WILL BE REPLACED, AND THE OWNER WILL FOLLOW REPLACEMENT REQUIREMENTS MANDATED BY CITY ORDINANCES.
CONTACTS	OVERALL, THE SCOPE OF WORK INCLUDES (UNDER SEPERATE PERMIT), GRADING, CONSTRUCTION OF A SIN FAMILY RESIDENCE WITH A BASEMENT AND JADU, PRESERVATION AND REPLACEMENT OF TREES
OWNER RESIDENCEDESIGNERT-24 NRG SOLUTIONS,LLCVYANKATESH B. & RAMYAJER DESIGN GROUPMUDDADA15919 VILLAGE WAY15415 NATIONAL AVE.MORGAN HILL, CA. 95037LOS GATOS, CA. 95032JOSE RAMAc408.382.1170c 408-843-8067e ramyamuddada@yahoo.come jer@jerdesigngroup.comCIVIL ENG.STRUCTURE	THE PROJECT MEETS' SETBACKS, LOT COVERAGE, HEIGHT, PARKING AND IS LESS THAN THE MAXIMUM ALLOWABLE FAR AND SQUARE FOOTAGE ALLOWED BY TOWN CODE FOR A R1:8 ZONED PARCEL.
V&H ENG. GPM Eng. 3340 WALNUT AVE. II STE. 292	
DAVE VORRHIES, PE FREMONT, CA. 94538 c 408.472.5222 MOHAMED S. GENIDY, PE. e dave@vandheng.com m: 510.377.7866 o: 650.331.7264 e: mgenidy@gpmengineers.com	NOTE:: THIS RESIDENCE WILL COMPLY WITH TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN C

Per Tree Removal Permit	SHEET	OF
EXHIBI	T 11 <mark>09</mark>	/03/2

2,3,3 = Total 8

Tree Replacement

2024

ABBREVIATIONS

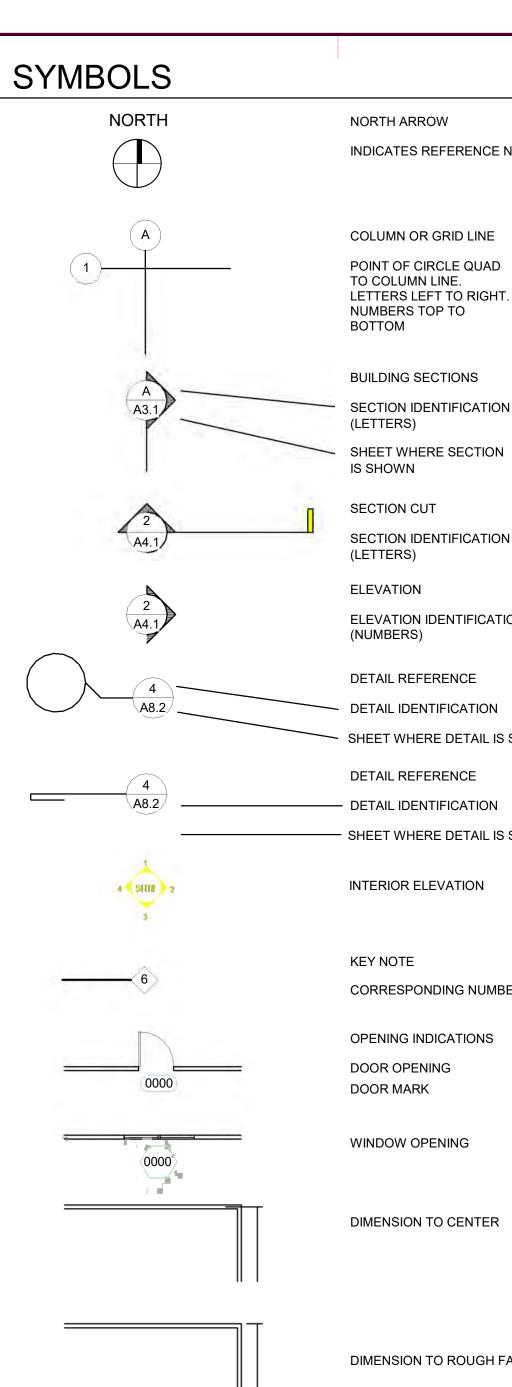
ADD INFORT DECK E.A. DEPART PARTON INSUL INSULT INSULT <thinsult< th=""> INSULT <thins< th=""><th></th><th></th><th></th><th></th><th></th><th></th><th></th><th></th></thins<></thinsult<>								
AFLF ABOLE FINIS DE LOOR E.F. EXAMPLE NT. NT. <td>А</td> <td>AMPERES</td> <td>DR</td> <td>DOOR</td> <td>INCL.</td> <td>"INCLUDE, INCLUSIVE"</td> <td>R</td> <td>F</td>	А	AMPERES	DR	DOOR	INCL.	"INCLUDE, INCLUSIVE"	R	F
AF.0. ABO/E TRUSHED FORUSE E.J. EVALUATION JANCTON PARA N.C. N.C. ABO ABO/E MUTCHING E.M. D.C. D.C. </td <td>A.B.</td> <td>ANCHOR BOLT</td> <td>E.A.</td> <td>EXPANSION ANCHOR</td> <td>INSUL.</td> <td>INSULATION</td> <td>R.D.L.</td> <td>F</td>	A.B.	ANCHOR BOLT	E.A.	EXPANSION ANCHOR	INSUL.	INSULATION	R.D.L.	F
ADC ARE CONTRICTORY FN PENA HAR PET DATE TO DATE TO <thdate th="" to<=""> <thdate th="" to<=""> DATE</thdate></thdate>	A.F.F.	ABOVE FINISHED FLOOR	E.F.	EXHAUST FAN	INT.	INTERIOR	R.D.O.	F
ABG ADDR STORT & LUTYORNE OF VIEWS & A. EV ADDR VIEW & DATA Note of the stort of th	A.F.G.	ABOVE FINISHED GRADE	E.J.	EXPANSION JOINT	J-BOX	JUNCTION BOX	R.O.	F
ABG ADDR STORT & LUTYORNE OF VIEWS & A. EV ADDR VIEW & DATA Note of the stort of th	A/C	AIR CONDITIONING	E.N.	END NAILING	JCT	JUNCTION	R.O.W. or R/W	F
AGNMOREMOREPACEPACEPACEPACEDEVDEVDEVPACE<								F
ABOY LL ELEWITON KD MODE CONNINT REMT. ABG ABSERD'S CEMENT FORM LECY ELEWITON NO NEDOC (ADN NED) RET ADD ADDUSTE ELEV ELEWITON NO NEDOC (ADN NED) RET ADD ADDUSTE ELEV ELEWITON NO NEDOC (ADN NED) RET ADD ADDUSTE ELEV ELEWITON NO NEDOC (ADN NED) RET ADDUSTE ELEV ELEWITON HER TREAL NO NEDAR PERT RET ADDUSTE ELEVITON ELEVITON ELEVITON NO NEDAR PERT REM ADDUSTE ELEVITON ELEVITON ELEVITON LAT LAINERAL REM REM ALI ALMANUEL ELEVITON ELEVITON LAINE LAINERAL REM REM ALI ALINERAL ALINERAL ELEVITON ELEVITON LAINERAL REM REM ALINERAL ALINERAL ELEVITON ELEVITON								F
ABS ABSCITO SELECT SOLVET DOARD ELCT TECTRO ELCETROL V. NO FRUDED RC00 ACOL ACOLTO ELCT TO ELCETROL VETALL CONCE CO MOCRO UT RC1 RC00 ACI ACOLTOL ELCOTROL VETALL CONCE CO UDAT CATTOL DOARD RC1 RC1 ACI ACOLTOL ELCOTROL VETALL CONCE CA UDAT CATTOL DOARD RC1 RC1 AL AL ALTONAL COLTOL ELCOTROL VETALL DOBR UA ALATONAL SC I AL ALTONAL COLDAL UAT ALTONAL SC I AL ALTONAL COLDAL COLDAL UA ALATONAL SC I AL ALTONAL COLDAL COLDAL UA UA CANTONAL SC I AL ALTONAL COLDAL COLDAL UA UA COLDAL SC I AL AL MARCONAL COLDAL COLDAL UA I I I I I								F
ACOUNTIC PERV PERVICE PERVICE NOTE ACCENT PERVICE ACOUNTICA CERLINGTING ALL END PERVICE CONTROL LED. LED. CENTROLA MERLING CONTROL LED. CENTROLA MERLINGTING PERVICE ACOUNTICA CARLOR IN THE ECHT PERVICE MERLINGTING ALL LED. LED. CENTROLA MERLINGTING PERVICE ACOUNTICA CARLOR IN THE ECOUNTICA CARLOR IN THE COUNTICAL CENTROL IN THE COUNTICAL CENT								
ADD ADD/OUTPOAL GELING FILE EAG ELSTINGAL GOVINT LE D								F
ADD. ADD. ADD. ADD. ADD. ADD. FIT ILB-REFT RM I ALU ALL ALVALIME FLC THERA ADMARFIAL ELURING IAM ALMARA SC I ALULMA ALVARAD EG SC I ALVALIMA ALVARAD SC I ALULMA ALVARAD EG SC I ALVARAD SC I ALVALIMA ALVARAD EVX EXAMPTE LUX CAVARAD SC I AVE AVERAD EVX EXAMPTE EVX EXAMPTE ILI ILIT ILIT ILIT SC ILIT								
Año. MAM AFM MARCHER NUT FLOTECA REMAINING LID TURING MAM LAMART Structure								
NU ARIUMADILS UNT EQUAL IAT. LATERAL S.C. S.C. AL CALLAL MURMUM EQUP FOUNDET LAT. LA								
AL, WALM KUNNIM COUPAGENT WW LowAnderson Statu AIT ATTENATE ESTIMATE ESTIMATE D IFAD Statu								F
NT. ANTERNATE FRT ENTMATE ID ISA0 SOUT E SOUT ARM4 ANREALED EVAC EVACATIVE COLLER LIN LINEAR SL ARM4 ARMALE EVAC EXAVATE LI LOFT LOFT SL SL ARM ANALE EVAC EXAVATE LI LOFT LOFT SC SL SL SL SL LOFT SC SL S	AHU	AIR HANDLER UNIT		EQUAL	LAT.	LATERAL		S
NNE. NNEALED EVAP EVAPORATIVE CODULT LN INARA SAL I ANPI ANPIALT EVA EXCANTE IT ILBAR SG I AVG ANFARACE EXC EXCANTE IT ILBAR SG I AVG ANFARACE EXC EXCANTE IT ILBAR ILBAR SG I AVG ANFARACE EXC EXCANTE ILBAR ILBAR ILBAR ILBAR SG SG ILBAR ILBAR ILBAR ILBAR ILBAR SG	AL. or ALUM.	ALUMINUM	EQUIP.	EQUIPMENT	LAV	LAVATORY	S.D.	S
ASPHAIT EVC IEICTEC ORFINANCI COLER UND UNDURING SSR AWG AVERAGE EXEL EXELVATE UTG UBRITA SC SC AMG AVERAGE EXEL EXELVATE UTG UBRITA SC SC AMG AVERAGE EXEL EXELVATA UTG UBRITA SC SC AMG MARTED VEREFILUARS EXELVATA UTG UBRITA SC SC BL BLOCHIMAK EXELVATA MA MARTED VEREFILUARS SC SC BL RUTO FACO FACO FACO SC	ALT.	ALTERNATE	EST.	ESTIMATE	LD.	LEAD	S.O.V.	S
AVG AVERAGE EXC EXCAVATE LT Ught Mathematics Sole ID AVG ANTERA WITE GALGE EXIST of E EXIST of E </td <td>ANL</td> <td>ANNEALED</td> <td>EVAP.</td> <td>EVAPORATIVE COOLER</td> <td>LIN.</td> <td>LINEAR</td> <td>S/L</td> <td>S</td>	ANL	ANNEALED	EVAP.	EVAPORATIVE COOLER	LIN.	LINEAR	S/L	S
AVG AVGE EVALUAT EVALUAT LTG LIGHTING SOFED. SOFED. B.M. BENCH MARK EXT. EXT. EXT. EXT. SES. I B.M. BOUNDAYT MALINO. F.A. FRE. ALAMA M.H. MACHINE BOLT SES. I B.O. BOUTOM OF F.C. FAL ADAM M.H. MACHINE BOLT SES. I B.O. BOUTOM OF F.C. FAL ADAM M.H. MACHINE BOLT SES. I B.O. BOUTOM OF F.C. FAL ADAM M.H. MACHINE MALLARLE BOLT SES. I SES.	ASPH.	ASPHALT	EWC	ELECTRIC DRINKING COOLER	LINO.	LINOLEUM	S/S	S
AVG AVGE EVALUAT EVALUAT LTG LIGHTING SOFED. SOFED. B.M. BENCH MARK EXT. EXT. EXT. EXT. SES. I B.M. BOUNDAYT MALINO. F.A. FRE. ALAMA M.H. MACHINE BOLT SES. I B.O. BOUTOM OF F.C. FAL ADAM M.H. MACHINE BOLT SES. I B.O. BOUTOM OF F.C. FAL ADAM M.H. MACHINE BOLT SES. I B.O. BOUTOM OF F.C. FAL ADAM M.H. MACHINE MALLARLE BOLT SES. I SES.	AVG	AVERAGE	EXC	EXCAVATE	LT.		SC	S
Act ANGLE EXIST NF EXIST NF IV.				FXHAUST				S
BAN BINO								S
B.N. BONNEARY MUNICIO F.A. FIRE ALARM M.H. MANIFOLE SINT S B.O.F. BOTTOM OF POTTING F.G. FLA DOIL M.I. MAINELIPIN SINT S B.O.F. BOTTOM OF POTTING F.G. FLO DOI ROMAN MAR MARCONEY OFENING SINT S B.O.G. BACK OF CURIN F.F. FIRE FXTINGUISIER MAS MARCONEY OFENING SINT S BLOG BAULDING F.C. FREE FXTINGUISIER MAS MARCONEY SINT S								S
B.O. BOTTOM OF F.C. F.A. DOR MAILEABLE IRON SHALE SHALE <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>S</td>								S
BO.F. BO.TOM OF FOOTNO F.C.O. FLOOR DEAN UT NO. NASONY OFENING SN. BU BUUT UF FO. FLOOR DRAN MAR. NARELE SPA. 1 BC BACK OF CURB F.E. FIRE EXTINUISIER MAR. NASONY SPCS 1 BLR BLOOR F.N. FELE DNALING MATL NATERAL SPC. SPC. BLR BLOOR F.N. FELE DNALING MAX. NAXMIM. SQ. FT S								
BUL BULT UP FD. FLOOR DRAIN MAR. MARSLE SPA BOC BACK OF GURB F.E FRE EXTINUUSIER MAS. MASCINGTON SPECS I BLGG BULDING F.N. FEID NAILING MATL MATLMING SAFR SPECS I BLGG BULDING F.O. FACE OF MAX. MAXMUM SOFT SOFT BLK BLOCK F.S. FLOOR SINK MED. MED.MUMUM SOFT SOFT BLK BLOCKNS F.R. FLOOR SINK MED. MANUFACTURING SOFT SOFT BLK BLRASS FACP FRE ALARY CONTROL PAREL MASCI MANUFACTURING SOFT								_
BCC BACK OF CURB F.E. FREE EXTINGUISHER MAS MASONRY SPECS I BLD BOLDING F.N. FELD NALING MATL MATENIAL SPRR. I BLDD BULDING F.O. FACE OF MAX. MAXIMUM S0, FT. I BLK BLOCK F.S. FLOOR SINK MECH. MECHANICAL S0, IN. S0, IN. S0, IN. S0, IN. S10, IN. S10, IN. S10, IN. S11, IN.<								S
BD.O BOARD F.N. FRED NALING MAX. MAXIMUM SP.FT. BLOS BULONS F.S. F.ACRE OF MAX. MAXIMUM SQ.FT.								S
BLDD BULDING FO. FACE OF MAX MAXIMUM S0, FT. BLK BLOCK F.S. FLOOR SINK MECH. MECHANICAL S0, IN. S10. S10. <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>S</td></t<>								S
BLKG BLOCK FLOCK FLOCK FLOCK BC/L MECH MECH MECH MECH STC I BMG BLOCKING FAB FABR FABR FABR FABR FABR STL I BR BRASS FACP FIRE <alarm control="" panel<="" td=""> MRR MANUFACTURNG STL I BRS BRONZE FIRE<alarm control="" panel<="" td=""> MRR MANUFACTURRER STL I CAP CONCRETA SSESTOS PIE FIC FIRE HARM CONTROL MANE MISCL MISCL MISCL SVM I C.D CONTROL JOINT FIL FILOGR MUL MULL MULL NUL NUTNCONTRACT T.B. T C.J CONTROL JOINT FLO FLOORING N.L.C NOT NO CONTROSTORMETAL TO. T C.G.M CLEAN DUT FLOR FLORESCENT N.C. NOT NO CONTROSTORMETAL TO. T C.G.M CHAMACT FLOR FLORANZEDISCONTROL NOL <t< td=""><td>BD.</td><td>BOARD</td><td>F.N.</td><td>FIELD NAILING</td><td>MAT'L</td><td>MATERIAL</td><td>SPKR.</td><td>S</td></t<></alarm></alarm>	BD.	BOARD	F.N.	FIELD NAILING	MAT'L	MATERIAL	SPKR.	S
BLKG. BLCOKING FIG FIBERUASS MED. MEDUM STC I BM BEAM FAB. FABRLFATEQ MFG. MANUFACTURENG STL. I BR BRANS FAD. FREDEFARTMENT CONNECTION MIN. MINNUMU SUS. SUL. I BRC BRANS FDC FREDEFARTMENT CONNECTION MIN. MINNUMU SUL.	BLDG	BUILDING	F.O.	FACE OF	MAX.	MAXIMUM	SQ. FT.	S
BM. BEAM FAB. FABRE FABRE TORNED FADE MANUFACTURING STL. I BR BRASS FACP FIRE ALARM CONTROL PARLE MRR. MANUFACTURING SULP. I BRZ BROXZE FIDN. FONL FOUNDATION MRS. MINGELLIAREOUS SWL I CAP. CONCRETE ASBESTOS PIRE FID. FINSH MTL. MICLLAN SYL I C.J. CONTROL-TONDOLIMENTS FIN. FINSH MTL. MULLAN SYL I C.J. CONTROL-JONDT FLO. FLOORNG N.I.C. NOT IN OCHTRACT T.S. C.G. CORTROL-JONT FLO. FLOORNG N.I.C. NOT NO CORTROSVEMETAL T.O. C C.G. CORTROL-JONT FLO. FLOORNG N.I.C. NOT NO CORTROSVEMETAL T.O. C C.G. CEAM CABERT F.O. FRE PROOF NCM NOL-ORTROSVEMETAL T.O. C C.G. CEAM CEAMAIC TELEVISIO G.L GALAUZE <td>BLK.</td> <td>BLOCK</td> <td>F.S.</td> <td>FLOOR SINK</td> <td>MECH.</td> <td>MECHANICAL</td> <td>SQ. IN.</td> <td>S</td>	BLK.	BLOCK	F.S.	FLOOR SINK	MECH.	MECHANICAL	SQ. IN.	S
BR DRASS FACP PIRE LARAM CONTROL CANLEL MARE. MAULFACTURER STL STL BRG BEARING FOC PIRE DEPARLOL PANEL MIR. MIRAL SVIP. I BRZ BRONZE FON FOUNDATION MIN. MISC. MISCL SVIP. I CAP. CONCRETE ASSESTOS PIPE FIC. PIRE LOSE CAINET MOD MOULLAR SVIP. I C.J. CONSTRUCTION DOCUMENTS FIN. PINSH MUL. MULL. MULLON T IS G C C.J. CONTROL JOINT FI.G. FLOOR MUL. MULLON T IS G C C.A. CERANUT FLUOR FLUORESCENT N.T.S. NOT FOR CONSTRUCTION T O.B. C.A. CABNET FUR PIRE PROCE NOM NOM CONSTRUCTION T O.B. C C.G. CERANIC FIL FOOTING N.B. NALER NALER T O.C. C C.G. CERANINC GAUSAURED F	BLKG.	BLOCKING	F/G	FIBERGLASS	MED.	MEDIUM	STC	S
BR DRASS FACP PIRE LARAM CONTROL CANLEL MARE. MAULFACTURER STL STL BRG BEARING FOC PIRE DEPARLOL PANEL MIR. MIRAL SVIP. I BRZ BRONZE FON FOUNDATION MIN. MISC. MISCL SVIP. I CAP. CONCRETE ASSESTOS PIPE FIC. PIRE LOSE CAINET MOD MOULLAR SVIP. I C.J. CONSTRUCTION DOCUMENTS FIN. PINSH MUL. MULL. MULLON T IS G C C.J. CONTROL JOINT FI.G. FLOOR MUL. MULLON T IS G C C.A. CERANUT FLUOR FLUORESCENT N.T.S. NOT FOR CONSTRUCTION T O.B. C.A. CABNET FUR PIRE PROCE NOM NOM CONSTRUCTION T O.B. C C.G. CERANIC FIL FOOTING N.B. NALER NALER T O.C. C C.G. CERANINC GAUSAURED F	BM.	BEAM	FAB.	FABRICATE	MFG.	MANUFACTURING	STD.	S
BRG EARING FDC FIRE DEPARTMENT CONNECTION MIN. MINMUM SURP SURP BRZ BRONZE FON FONNATONO MISC MISCELLAREOUS SWM I C.A.P. CONCRETE ASBESTOS PIPE FIA FIADE FIADE MTL MISCELLAREOUS SVM I C.O. CONSTRUCTION DOCUMENTS FIN FINDE MTL META SVS I C.J. CONTROLJOINT FLG FLOORNG N.I.C. NOTI NOORNETACT T.B. C.O. CLEAN OUT FLUOR FLUORESCENT N.S. NOTI NOORNETACT T.D. C.O. CABMICT FIG FOOTNIG N.C. NOCADESTEUCTION T.O. C.A. C.M. CAMBER FURN FURN N.C. NOL NUMERT T.O. T.O. C.F. CEEMANC GA CALVINZED FOON NO. NUMERT T.O. T.O. C.G. CABMER GA CALVINZED FOON NO. <td< td=""><td></td><td></td><td></td><td>FIRE ALARM CONTROL PANEL</td><td></td><td></td><td></td><td>S</td></td<>				FIRE ALARM CONTROL PANEL				S
BRCNZE FON FOND FOND MSC. MSC. <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>S</td></t<>								S
CAP. CONCRETE ASBESTOS PIPE FHC FIRE HOSE CABINET MOD MODULAR SYM SYM S C.D. CONSTRUCTION DOCUMENTS FIL FLOR MUL MULLUON T & G S C.J. CONTROL JOINT FLG FLOOR NUL MULLUON T & G S C.J. CONTROL JOINT FLG FLOOR NUR NOT TO SCALE T B. C.O. CLEAN OUT FLUOR FLUORESCENT N.T.S. NOT TO SCALE T B. C.T. CERVANIC TLE FP FIRE PROPE NOM NOM NONDROSPICE T O. CAM CAMBER FURSH FURSH NE NO. NUMBER T O. CCTV CLOSE DICKUITTELEVISION G.I. GALVANZED FON NO. NUMBER T O. T O. CEM CEMENT GR. CAAPAGE O.D. OUTSIDE IDMETER T O. T O. COT CORRENT FOR NINUTE GALVANZED FON NO. NUMBER T O. <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>s</td></t<>								s
CD. CONSTRUCTION DOCUMENTS FIN. FIN. FIN. MTL METAL SYS. I C.J.P. CAST N PLACE FL FLOORN NUL MULION T& 6 T C.J. CONTROL JONT FLG FLOORNG N.I.C. NOT N CONTRACT T& T T A 6 C.O. CLEAN OUT FLUGR FLOORNG N.T.S. NOT NO CONTRACT T A 6 C.O. CLEAN OUT FLUGR FLOORNG N.C. NOT NO CONTRACT T A C.O. CLEAN OUT FLG FLORNSH N.C. NOL NON CORROSH METAL T.O. CAB CABRET FURN FURNSH N.R. NALER TO C. O CO CO<								S
C.P. CAST IN PLACE FL FLOOR MUL MULLION T & G CJ. CONTROL JOINT FLG. FLOORING N.C. NOT IN CONTRACT T.S. CO. CLEAN OUT FLUOR FLUORESCENT N.T.S. NOT TO SCALE T.M.B. C.T. CERAMIC TILE FP FIRE PROOF N.C. NOT TO SCALE T.O. CAB. CAMER FIR. FOOTING N.FC NOT FOR CONSTRUCTION T.O.E. CAM. CAMEER FURN FURN HORNALED NON. NOL. NUMBER T.O.C. COTV CLOSED CREQUIT FLEVISION G.I. GALVANIZED NON. NOM. NOMINAL T.O.T. CER CERAMIC GAL GALVANIZED O.C. ON CENTREL T.O.M. CIP CHANNEL GACI GRAVAGE C.O. OUTSIDE DMATE T.O.M. CIP CHANNEL GACI GRAVARED RON NO. NUMMER T.O.M. T.O.M. CIP CHANNEL GAR GA								_
C.J. CONTROL JOINT FLG. FLOORING N.L. NOT IN CONTRACT T.B. T C.O. CLEAN OUT FLUOR. FLUORSCENT N.T.S. NOT OS GALE T.M.S. C.T. CERAMIC TILE FP FIRE PROOF NCM NON-CORROSIVE METAL T.O. C.A. CAAMER FIG. POOTING N.R. NALER NOT FOR CONSTRUCTION T.O.B. CAM. CAMMER FURN FURNSH N.R. NALER T.O.C. C CCTV CLOSED CIRCUIT TELEVISION G.I. GALVANIZED NON. NO. NUMBER T.O.C. T CCTV CLOSED CIRCUIT TELEVISION G.I. GALVANIZED NON. NO. NUMBER T.O.C. T C.M. NOMINAL T.O.S. T C.M. COMENTAL T.O.M. T C.M. T C.M. NOMINAL T N.M. T C.M. C.M. C.M. NOMINAL T N.M. C C.M. C.M. C.M. C.M.								
C.O. CLEAN OUT FLUOR FLUORESCENT N.T.S. NOT TO SCALE T.M.B. C.T. CERMANC TILE FP FIPE PROOF NOM NOM-CORROSINE METAL T.O. CAB CARINET FTG. FOOTING NCG NOT FOR CONSTRUCTION T.O.B. CAM. CAMBER FURN. FURN. RLR. NAILER NOT.OR CONSTRUCTION T.O.B. CAM. CALVANIZED IRON NO. NUMMER T.O.F. CONCOMENTAL T.O.F. CER CERMIT GA. GALVANIZED IRON NO. NUMMER T.O.J. CER CERMIT GA. GALVANIZED O.C. ON CENTER T.O.M. CER CERMIT GA. GALVANIZED RED O.C. ON CENTERLINE T.O.M. CLR CERMIT GAR GARAGE O.D. OUTSIDE CADIUS T.O.M. CLR CIRCUIT BREAKER GFI GROUND FAULT INTERRUPTER O.H. OVER HANG T.O.M. CLG CENTERLINE GL <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>								
CT. CERAMIC TILE FP FIRE PROOF NCM NON-CORROSIVE METAL T.O. T.O. CAB CABNET FIG FODTING NPC NOT FOR CONSTRUCTION T.O.E. CAM. CAMBER FURN. FURNISH NLR. NAILER T.O.C. T.O.C. CCTV CLOSED CIRCUIT TELEVISION G.I. GALVANIZED IRON NO. NUMBER T.O.J. T.O.F. CEM. CERMINT GA. GAUGE NOM. NOMMAL T.O.J. T.O.M. CER CERMINT GA. GAUGE NOM. NOMMAL T.O.J. T.O.M. CEM CEMENT GAL GALVED O.C. ON CISTIDE DIAMETER T.O.M. T.O.M. CEM CEMENTE GAL GARAGE O.D. O.UTSIDE DIAMETER T.O.M. T.O.M. CEM CERCUIT BREAKER GFI GROUND FAULT TRERUPTER O.H. OVERSHERA T.O.M. T.O. CLG CENTERED GL GLASS O.R.								
CAB CABINET FTG. FOOTING NPC NOTFOR CONSTRUCTION TO.B. CAM CAMBER FURN. FURNISH NLR. NALER TO.C. TO.C. CCTV CLOSED CIRCUIT TELEVISION G.I. GALVANIZED IRON NO. NUMBER T.O.J. TO.C. CEM CEMENT GA. GALVANIZED O.C. ON CENTER TO.M. TO.M. CFM CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DAMETER T.O.M. TO.W. CH oFL CHANNEL GFCI GROUND FAULT RERAYPTER O.I. ONMAMENTAL IRON T.S. C CL or C. CENTERLINE GL GLASS O.R. OUTSIDE ANDIS T.V. I CLG. CAUKING GM GARDE MARK OH OVER HANO THO. T.V. CLG. CLGST GM GARDE MARK OH OVER HANO THO. T.V. CLG. CLGUING GMC GALVANIZED RIGID TUBING OPPO. </td <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td>Т</td>								Т
CAM.ER FURN. FURNISH NR. NALER TO.C. CCTV CLOSED CIRCUT TELEVISION G.I. GALVANIZED IRON NO. NUMBER T.O.F. CEM. CEMENT GA. GAUVANIZED IRON NO. NOMINAL T.O.J. T.O.J. CER CERMIC GALV. GALVANIZED O.C. ON CENTER T.O.M. TO.M. CFM CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DIMIETER T.O.S. T.O.S. CH oF L CHANNEL GFCI GROUND FAULT CIRCUIT INTERRUPTER O.H. OVER HANG T.O.S. T.O.S. CK1 BKR. CIRCUIT BREAKER GL GLASS O.R. OUTSIDE AIR INTAKE TEL. CLG. CENTERLINE GL GLASS O.R. OUTSIDE AIR INTAKE TEL. TEL. CLG. CELER GLB GLUE LAMINATED BEAM OAI OUTSIDE AIR INTAKE TEL. TEL. CLG. CELER GR GARE VALVE OPNG. OPENING TH. TH. T CLG. COLOSET GAN								Т
CCTV CLOSED CIRCUIT TELEVISION G.I. CALVANIZED IRON NO. NUMBER T.O.F. CEM. CEMENT GA. GAUGE NOM. NOMINAL T.O.J. T.O.J. CER CERAMIC GALV. GALVANIZED O.C. ON CENTER T.O.M. CHW CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DIAMETER T.O.M. CH OC CHANNEL GFCI GROUND FAULT INTERRUPTER O.I. OVER HANG T.O.W. T.O.W. CKT. BKR. CRUID BRAAKER GFI GROUND FAULT INTERRUPTER O.I. OVER HANG T.V. T.O.W. CLoC CENTERLINE GL GLASS O.A. OUTSIDE ARI INTAKE TEL. T.V. T CLO. CLOSET GM GATE VALVE OPNG. OPPOINTAKE THL. THL. CLO. CLOSET GM GATE VALVE OPNG. OPPOINTG CONSTRET THKL THL. CLO. CLOSET GM GATE VALVE OPNG	CAB	CABINET	FTG.	FOOTING	NFC	NOT FOR CONSTRUCTION	Т.О.В.	Т
CEM. CERMIT GA GAUGE NOM. NOMINAL TO.J CER CERAMIC GALV. GALVANIZED O.C. ON CENTER T.O.M. CM CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DIAMETER T.O.S. T.O.M. CH or C CHANNEL GFCI GROUND FAULT NITERRUPTER O.L. OVER HANG T.O.W. T.O.W. CKT. BKR. CIRCUIT BREAKER GFI GROUND FAULT INTERRUPTER O.L. OVER HANG T.O.W. T.O.W. CLG. CELURG GL GLASS O.R. OUTSIDE RADUS T.V. T.V. CLG. CELURG GLB GLUE LAMINATED BEAM OAI OUTSIDE RADUS T.V. T.V. CLG. CELKG CAULKING GM GATE VALVE OPNO. OPPENING THL. T.C. CLG. CLERA GRC GALVANIZED RIGID TUBING OPNO. OPPENING THR. T. CMU CONCERTE MASONRY UNIT GYP. BD. GYPSUM BOARD P.L. or PRECAST CONCRETE THRU T. CM	CAM.	CAMBER	FURN.	FURNISH	NLR.	NAILER	T.O.C.	Т
CER CERMIC GALV. GALVANIZED O.C. ON CENTER T.O.M. CFM CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DIAMETER T.O.S. CH of C CHANNEL GFCI GROUND FAULT CIRCUIT INTERRUPTER O.H. OVER HANG T.O.W. TO.W. CKT. BKR. CIRCUIT BREAKER GFI GROUND FAULT INTERRUPTER O.H. OVER HANG T.S. T.V. CLG. CENTERLINE GL GLASS O.R. OUTSIDE RADIUS T.V. T.E. CLG. CELUNG GM GATE VALVE OPNG. OPENING TH. T.E. CLO. CLOSET GM GATE VALVE OPNG. OPENING TH. TH. CMU CONCRETE MASONRY UNIT GYP. GYP. GYPSUM BOARD P.L. or PROPERTY LINE TLT. TRANS. COLL COUMIN H.B. HOSE BIBB P.LAM. PLASTIC LAMINATE TRANS. TRANS. COMBINATION H.C. HOLLOW CORE P.O. POINECTION TYP. T COMSTRUCTION	CCTV	CLOSED CIRCUIT TELEVISION	G.I.	GALVANIZED IRON	NO.	NUMBER	T.O.F.	Т
CFM CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DIAMETER T.O.S. CH or L CHANNEL GFCI GROUND FAULT INTERRUPTER O.H. OVER HANG T.O.W. T.O.W. CKT BKR. CIRCUIT BREAKER GFI GROUND FAULT INTERRUPTER O.I. ORNAMENTAL IRON T.S. T.C.W. CLo C. CENTERLINE GL GLASS O.R. OUTSIDE AR INTAKE TEL. T.V. CLG. CLG. CELING GLB GLUE LAMINATED BEAM OAI OUTSIDE AR INTAKE TEL. T.V. CLG. CLOSET GM GATE VALVE OPRO. OPENING TH. TH. T.M.	CEM.	CEMENT	GA.	GAUGE	NOM.	NOMINAL	T.O.J.	Т
CFM CUBIC FEET PER MINUTE GAR. GARAGE O.D. OUTSIDE DIAMETER T.O.S. CH or L CHANNEL GFCI GROUND FAULT INTERRUPTER O.H. OVER HANG T.O.W. T.O.W. CKT BKR. CIRCUIT BREAKER GFI GROUND FAULT INTERRUPTER O.I. ORNAMENTAL IRON T.S. T.C.W. CLo C. CENTERLINE GL GLASS O.R. OUTSIDE AR INTAKE TEL. T.V. CLG. CLG. CELING GLB GLUE LAMINATED BEAM OAI OUTSIDE AR INTAKE TEL. T.V. CLG. CLOSET GM GATE VALVE OPRO. OPENING TH. TH. T.M.	CER	CERAMIC	GALV.	GALVANIZED	0.C.	ON CENTER	T.O.M.	Т
CH or C CHANNEL GFCI GROUND FAULT (IRCUTINTERRUPTER O.H. OVER HANG T.O.W. P CKT. BKR. CIRCUIT BREAKER GFI GROUND FAULT (IRCUTINTERRUPTER O.I. ORNAMENTALIRON T.S. T CL or C. CENTERLINE GL GLSS O.R. OUTSIDE AIR INTAKE TEL. T CLG. CELING GLB GLUE LAMINATED BEAM OAL OUTSIDE AIR INTAKE TEL. T CLG. CAULKING GM GRADE MARK OH OVER HEAD TH. T CLG. CLOSET GM GATE VALVE OPNG. OPENING THD. T CLG. CLORET GRC GALVANZED RIGID TUBING OPPO. OPENING THK. T CNTRD. CONCRETE MASONRY UNIT GYP. BD. GYPSUM BOARD PL.or PLASTIC LAMINATE TRANS. T COLL COLUMN H.B. HOSE BIBB PLAM. PLASTIC LAMINATE TRANS. T CONST. CONRETE H.M. HOLOW ORE P.O.C. POINT OF CONNECTION TYP. T								T
CKT. BKR. CIRCUIT BREAKER GFI GROUND FAULT INTERRUPTER O.I. ORMAENTAL IRON T.S. CL or C. CENTERLINE GL GLASS O.R. OUTSIDE RADIUS T.V. T.V. CLG. CELING GLB GLUE LAMINATED BEAM OAI OUTSIDE ARDIUS T.H. T CLG. CAUKING GM GRADE MARK OH OVER HEAD TH. T CLG. CLOSET GM GATE VALVE OPNG. OPPENING TH. T CLR. CLEAR GRC GALVAUZED RIGID TUBING OPPO. OPPOSITE THK. T CMU CONCRETE MASONRY UNIT GYP. GYPSUM P.C. PREOPERTY LINE TLT. T CMTRD. CENTERED GYP. BD. GYPSUM BOARD P.L. or P. PROPERTY LINE TLT. T COLLONN H.B. HOSE BIBB PLAM. PLASTIC LAMINATE TRANS. T COME COMBINATION H.C. HOLOW WETAL PERF. PERPENDCULAR UNF. T CONST. CONTRUCTION H/								T
CL or C CENTERLINE GL GLASS O.R. OUTSIDE RADIUS T.V. T.V. CLG. CELING GLB GLUE LAMINATED BEAM OAI OUTSIDE AIR INTAKE TEL. T CLG. CALUKING GM GARDE MARK OH OVER HEAD TH. T CLO. CLOSET GM GATE VALVE OPNG. OPPOSITE THK. T CLU. CLEAR GRC GALVANIZED RIGID TUBING OPPO. OPPOSITE THK. T CMU CONCRETE MASONRY UNIT GYP. BD. GYPSUM P.C. PRECAST CONCRETE TT. T CNTRD. CENTERED GYP, BD. GYPSUM BOARD P.L. or P PROPERTY LINE TLT. T COME COMUNATION H.B. HOSE BIB P.L. M. PLAMINATE TRANS. T CONC. CONCRETE H.M. HOLLOW MCRE P.O.C. POINT CONNECTION TYP. T CONST. CONSTRUCTION H.C. HANDICAPPED PERF. PERFENDICULAR UR U CONTRACTOR <t< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>і́т</td></t<>								і́т
CLG. CELLING GLB GLUE LAMINATED BEAM OAI OUTSIDE AIR INTAKE TEL. CLG. CAULKING GM GRADE MARK OH OVER HEAD TH. T CLO. CLOSET GM GATE VALVE OPNG. OPPOINING THD. T CLR. CLEAR GRC GALVANIZED RIGID TUBING OPPO. OPPOSITE THK. T CMU CONCRETE MASONRY UNIT GYP. GYP.BU GYPSUM BOARD P.C. PRECAST CONCRETE THRU T COL. COLUMIN H.B. HOSE BIBB PLAM. PLASTIC LAMINATE TRANS. T COME. COMBINATION H.C. HOLOW CORE P.O.C. POINT OF CONNECTION TYP. T CONST. CONSTRUCTION H/C HANDICAPED PERP. PERFORATED UNF. I CONT. CONTINUOUS HDBD. HARDBOARD PH or Ø PHASE V.B. N CU COPPER HOT. HARDBOARD PL.or P. PLASTER V.I.F. N CONTR. CONTRACTO								<u>_</u>
CLKG.CAULKINGGMGRADE MARKOHOVER HEADTH.CLO.CLOSETGMGATE VALVEOPNG.OPENINGTHD.THD.CLR.CLEARGRCGALVANIZED RIGID TUBINGOPPO.OPPOSITETHK.THC.CMUCONCRETE MASONRY UNITGYP.GYPSUMP.C.PRECAST CONCRETETHRUTCNTRD.CENTEREDGYP. BD.GYPSUM BOADDP.L. or P.PROPERTY LINETLT.TCOL.COLUMNH.B.HOSE BIBBP.LAM.PLAM.PLASTIC LAMINATETRANS.TCONS.COMRINATIONH.C.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONS.CONSTRUCTIONH/C.HANDICAPPEDPERF.PERFORATEDUNF.ICONT.CONTRACTORHDBD.HARDBOARDPH or ØPHASEV.B.NCUCOPPERHGT.HEIGHTPL.oF.PLASTERV.J.F.NCUCOPPERHGR.HOR.HORZONTALPLAS.PLASTERV.J.F.NCJ.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.NND.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.ND.G.DECOMPOSED GRANITEHVAC"HEATING. VENTILATING & AIR CONDITIONPL'YVD.PLYWOODW/CND.S.DOWNS SPOUTHWHOT WATERPOSF.POUNDS PER SQUARE FOOTWDWND.S. <td< td=""><td> ·</td><td></td><td></td><td></td><td></td><td></td><td></td><td></td></td<>	·							
CLO.CLOSETGMGATE VALVEOPNG.OPENINGTHD.TCIR.CLEARGRCGALVANIZED RGID TUBINGOPPO.OPPOSITETHK.TCMUCONCRETE MASONRY UNITGYP.GYP.SUD.GYPSUM BOARDP.C.PRECAST CONCRETETHRUTCOL.COLUMNH.B.HOSE BIBBP.L.M.PROPERTY LINET.T.TCOL.COMBINATIONH.B.HOSE BIBBP.L.M.PLAM.PLASTIC LAMINATETRANS.TCOMB.COMBINATIONH.C.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONC.CONCRETEH.M.HOLLOW METALPERF.PERFORATEDUNF.ICONT.CONTINUOUSHDBD.HARDWAREPL.PLASTERV.B.VCONT.CONTRACTORHDWHARDWAREPL.PLASTERV.B.VVCUCOPPERHGT.HEIGHTPL.or P.PLATEVAVVVVVVJ.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.VVV <td< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td><u> </u></td></td<>								<u> </u>
CLR.CLEARGRCGALVANIZED RIGID TUBINGOPPO.OPPOSITETHK.ICMUCONCRETE MASONRY UNITGYP.GYPSUMP.C.PRECAST CONCRETETHRUICNTRD.CENTEREDGYP. BD.GYPSUM BOARDP.L. or PPROPERTY LINETIT.ICOL.COLUMNH.B.HOSE BIBBP.L.M.PLASTIC LAMINATETRANS.ICOMB.COMBINATIONH.C.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.ICONC.CONCRETEH.M.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.ICONT.CONTRUCTIONH/CHANDICAPPEDPERF.PERFORATEDUNF.ICONT.CONTRUCTIONH/CHANDICAPPEDPERP. or_LPERFORATEDV.B.ICONT.CONTRACTORHDWHARDBOARDPH or ØPHASEV.B.ICUCOPPERHGT.HEIGHTPL. or_PPLASTERV.J.F.IdPENNYHOR.HORIZONTALPLASPLASTICVCTID.G.DECOMPOSED GRANITEHVAC'HEATING, VENTILATING & AIR CONDITIONPLYWD.PLUMBINGVERT.ID.G.DECOMPOSED GRANITEHVAC'HEATING, VENTILATING & AIR CONDITIONPLYWD.PLUMENGVCTID.G.DECOMPOSED GRANITEHVAC'HEATING, VENTILATING & AIR CONDITIONPLYWD.PLUMENGVCTID.G.DOWN SPOUTHWHOT WATERPORC.PORCELINNWDWI<								
CMUCONCRETE MASONRY UNITGYP.GYP. BD.GYPSUM BOARDP.C.PRECAST CONCRETETHRUPRUCNTRD.CENTEREDGYP. BD.GYPSUM BOARDP.L. or PPROPERTY LINETLT.TCOL.COLUMNH.B.HOSE BIBBP.LAM.PLASTIC LAMINATETRANS.TCOMB.COMBINATIONH.C.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONC.CONCRETEH.M.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONT.CONTRUCTIONH/CHANDBOARDPERF.PERFORATEDUNF.ICONT.CONTINUOUSHDBD.HARDBOARDPH or ØPHASEV.B.VCUCOPPERHGT.HEIGHTPL. or P.PLASTERV.I.F.VCUCOPPERHGT.HEIGHTPL. or P.PLASTERVCTVCJ.F.DRINKING FOUNTAINHTRHEATERPLUMBPLUMBINGVERT.VD.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONIPLYWD.PLYWOODW/CVD.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWND.S.DOWN SPOUTHWHOT WATERPSFPOUNDS PER SQUARE FOOTWPNDBLDUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDAGO DIAMETERI.D.INSIDE FAGEPTN.PARTITIONW/CNDIA. or Ø <td< td=""><td></td><td></td><td></td><td></td><td></td><td></td><td></td><td>] </td></td<>]
CNTRD.CENTEREDGYP. BD.GYPSUM BOARDP.L. or PPROPERTY LINETLT.COL.COLUMNH.B.HOSE BIBBP.L.M.PLASTIC LAMINATETRANS.TCOMB.COMBINATIONH.C.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONC.CONCRETEH.M.HOLLOW METALPERF.PERPORATEDUNF.TCONT.CONSTRUCTIONH/CHANDICAPPEDPERP. or_LPERPENDICULARURTCONT.CONTRACTORHDBD.HARDBOARDPH or ØPHASEV.B.NCONTR.CONTRACTORHDWHARDWAREPL.PLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL or P.PLATEVANdPENNYHOR.HORZONTALPLAS.PLASTICVCTND.F.DRINKING FOUNTAINHTRHEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODWCCND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODWCND.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWNDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDIA. or ØDIAMETERPSIPOUNDS PER SQUARE FOOTWPNNNNDIA. or ØDIAGONALIDINSIDE FACEPTN.PARTITIONW/NNDIA. or ØDIAGONAL								1
COL.COLUMNH.B.HOSE BIBBP.LAM.PLASTIC LAMINATETRANS.COMB.COMBINATIONH.C.HOLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONC.CONCRETEH.M.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.TCONST.CONSTRUCTIONH/CHANDICAPPEDPERF.PERPENDICULARURICONT.CONTRACTORHDBD.HARDBOARDPH or ØPHASEV.B.NCONTR.CONTRACTORHDWHARDWAREPL.PLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL. or P.PLASTICVCANdPENNYHOR.HORIZONTALPLAS.PLASTICVCTND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CND.G.DECOMPOSED GRANITEHVD.HYDRAULICPREFAB.PREFABRICATEDW/CNDWDISHWASHERHYD.HYD.HYDRAULICPREFAB.PREFABRICATEDW/CNDBLDUMUS DEMOLITIONI.D.INSIDE FACEPSIPOUNDS PER SQUARE FOOTW/PNDIAG.DIAGETERI.F.INSIDE FACEPTN.PARTITIONW/ON								Т
COMB.COMBINATIONH.C.HOLLOW COREP.O.C.POINT OF CONNECTIONTYP.PCONC.CONCRETEH.M.HOLLOW METALPERF.PERFORATEDUNF.ICONST.CONSTRUCTIONH/CHANDICAPPEDPERP. or_LPERPENDICULARURICONT.CONTRACTORHDBD.HARDBOARDPH or ØPHASEV.B.V.B.V.CONT.CONTRACTORHDWHARDBOARDPL or P.PLASTERV.I.F.V.F.V.CUCOPPERHGT.HEIGHTPL. or P.PLATEVAVdPENNYHOR.HORIZONTALPLAS.PLASTICVCTVD.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.VD.G.DECOMPOSED GRANITEHVAC'HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CVD.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWVDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPVDIA. or ØDIAMETERI.F.INSIDE DIAMETERPSIPOUNDS PER SQUARE FOOTWT.VDIA.DAGONALIDIDENTIFICATIONPVCPOLYVINLCLORIDEW/OVDIA.DIAMETERI.F.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.VDIA.DIAMETERI.F.INSIDE DIAMETERPVCPOLYVINLCLORIDEW/OVDIA.<								Т
CONC.CONCRETEH.M.HOLLOW METALPERF.PERFORATEDUNF.ICONST.CONSTRUCTIONH/CHANDICAPPEDPERP.or_IPERPENDICULARURICONT.CONTINUOUSHDBD.HARDBOARDPH or ØPHASEV.B.NCONTR.CONTRACTORHDWHARDBOARDPL or ØPLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL. or P.PLATEVANdPENNYHOR.HORIZONTALPLAS.PLASTICVCTND.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.ND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CND.S.DOWN SPOUTHWHOT WATERPORC.PORCLANNWDWNDMDISHWASHERI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDIA.OUBLEI.C.INSIDE DIAMETERPSIPOUNDS PER SQUARE FOOTWT.NDIA.DAGONALIDIDENTIFICATIONPVCPOLVINDYLCLORIDEW/ONDIAG.DIAGONALIDIDENTIFICATIONPVCPOUNDS PER SQUARE INCHWI.NDIAG.DIAGONALIDIDENTIFICATIONPVCPOUNDS PER SQUARE INCHW/.NDIAG.DIAGONALIDIDENTIFICATIONPVCPOUNDS PER SQUARE INCHW/.NDIAG.DIAGONALID <t< td=""><td>COL.</td><td>COLUMN</td><td>H.B.</td><td>HOSE BIBB</td><td>P.LAM.</td><td>PLASTIC LAMINATE</td><td>TRANS.</td><td>Т</td></t<>	COL.	COLUMN	H.B.	HOSE BIBB	P.LAM.	PLASTIC LAMINATE	TRANS.	Т
CONST.CONSTRUCTIONH/CHANDICAPPEDPERP. or LPERPENDICULARURICONT.CONTINUOUSHDBD.HARDBOARDPH or ØPHASEV.B.NCONTR.CONTRACTORHDWHARDWAREPL.PLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL. or P.PLATEVANdPENNYHOR.HORIZONTALPLAS.PLASTICVCTND.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.ND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CND.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWNDWDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDIA. or ØDIAMETERI.F.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIAG.DIAMETERI.F.INSIDE FACEPTN.PARTITIONW/ONDIAG.DIAMETERI.G.ISOLATED GROUNDPVCPOLYINYLCLORIDEW/ONDIAG.DEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N	COMB.	COMBINATION	H.C.	HOLLOW CORE	P.O.C.	POINT OF CONNECTION	TYP.	Т
CONST.CONSTRUCTIONH/CHANDICAPPEDPERP. or LPERPENDICULARURICONT.CONTINUOUSHDBD.HARDBOARDPH or ØPHASEV.B.NCONTR.CONTRACTORHDWHARDWAREPL.PLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL. or P.PLATEVANdPENNYHOR.HORIZONTALPLAS.PLASTICVCTND.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.ND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CND.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWNDWDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDIA. or ØDIAMETERI.F.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIAG.DIAMETERI.F.INSIDE FACEPTN.PARTITIONW/ONDIAG.DIAMETERI.G.ISOLATED GROUNDPVCPOLYINYLCLORIDEW/ONDIAG.DEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N	CONC.	CONCRETE	H.M.	HOLLOW METAL	PERF.	PERFORATED	UNF.	U
CONT.CONTINUOUSHDBD.HARDBOARDPH or ØPHASEV.B.NCONTR.CONTRACTORHDWHARDWAREPL.PLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL. or P.PLATEVANdPENNYHOR.HORIZONTALPLAS.PLASTICVCTND.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.ND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONIPLYWD.PLYWOODW/CND.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWNDWDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDEN.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDIA. or ØDIAMETERI.F.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYINYLCLORIDEW/ONDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.NDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N		CONSTRUCTION						ι
CONTR.CONTRACTORHDWHARDWAREPL.PLASTERV.I.F.NCUCOPPERHGT.HEIGHTPL. or P.PLATEVANdPENNYHOR.HORIZONTALPLAS.PLATEVAND.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.ND.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITION PLYWD.PLYWOODW/CND.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWNDWDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDEN.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDIA. or ØDIAMETERI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/ONDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.NDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N								V
CUCOPPERHGT.HEIGHTPL. or P.PLATEVAVAdPENNYHOR.HOR.HORIZONTALPLAS.PLASTICVCTVD.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.VD.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONPLYWD.PLYWOODW/CVD.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWVDWDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTVDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPVDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.VDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/VDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/OVDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.VDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.VI.								<u>v</u>
dPENNYHOR.HORIZONTALPLAS.PLASTICVCTVD.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.VD.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONITYWD.PLYWOODW/CVD.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWVD/WDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTVDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPVDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.VDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/OVDIAG.DIAGONALIDIDENTIFICATIONPVCPOULYUNYLCLORIDEW/OVDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.V								1
D.F.DRINKING FOUNTAINHTRHEATERPLUMB.PLUMBINGVERT.VD.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITION/PLYWD.PLYWOODW/CVD.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWVD/WDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTVDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPVDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.VDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/OVDIAG.DIAGONALIDIDENTIFICATIONPVCPOULYVINYLCLORIDEW/OVDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.VDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.V								<u></u>
D.G.DECOMPOSED GRANITEHVAC"HEATING, VENTILATING & AIR CONDITIONIPLYWD.PLYWOODW/CND.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWND/WDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/NDIAG.DIAGONALIDIDENTIFICATIONPVCPOULYVINYLCLORIDEW/ONDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.NDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N						-		V
D.S.DOWN SPOUTHWHOT WATERPORC.PORCELAINWDWND/WDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/NDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/ONDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.NDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N								<u></u>
D/WDISHWASHERHYD.HYDRAULICPREFAB.PREFABRICATEDWCTNDBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPNDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/NDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/ONDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.NDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N								V
DBL.DOUBLEI.C.INTERCOM OUTLETPSFPOUNDS PER SQUARE FOOTWPDEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.MDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/MDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/OMDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERPOWERWD.MDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.M								۷
DEMODEMOLITIONI.D.INSIDE DIAMETERPSIPOUNDS PER SQUARE INCHWT.NDIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/NDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/ONDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.NDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.N								۷
DIA. or ØDIAMETERI.F.INSIDE FACEPTN.PARTITIONW/MDIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/OMDIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.MDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.M		DOUBLE	I.C.	INTERCOM OUTLET		POUNDS PER SQUARE FOOT		۷
DIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/ODIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.VDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.V	DEMO	DEMOLITION	I.D.	INSIDE DIAMETER	PSI	POUNDS PER SQUARE INCH	WT.	۷
DIAG.DIAGONALIDIDENTIFICATIONPVCPOLYVINYLCLORIDEW/ODIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.VDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.V	DIA. or Ø	DIAMETER		INSIDE FACE		PARTITION	W/	۷
DIM.DIMENSIONIGISOLATED GROUNDPWR.POWERWD.VDLDEAD LOADIMCINTERMEDIATE METALLIC CONDUITQ.T.QUARRY TILEW.I.V								V
DL DEAD LOAD IMC INTERMEDIATE METALLIC CONDUIT Q.T. QUARRY TILE W.I.								v
								v
		-						Y
					<u>v</u> .		10.	<u>1</u>

GENERAL NOTES

- 1. ALL WORK LISTED, SHOWN, OR IMPLIED ON THESE CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR EXECUTION OF WORK IN ACCORDANCE WITH CONSTRUCTION DOCUMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE THE SUBCONTRACTORS'S WORK. THE CONTRACTOR SHALL CLOSELY COORDINATE WORK WITH THAT OF SUBCONTRACTORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE WITH PLANS & SPECS.xxxx
- 2. ALL MATERIALS, LABOR, INSTALLATION, FABRICATIONS, ETC. SHALL CONFORM TO ALL APPLICABLE CODES & REGULATIONS INCLUDING BUT NOT LIMITED TO THOSE LISTED UNDER PROJECT DATA IN THESE DRAWINGS, AND ALL LOCAL CODES. CONTRACTOR SHALL ADHERE TO ALL RULES GOVERNING CONSTRUCTION, SAFETY, BUILDING ACCESS AND THE USE OF THE FACILITIES AS SET BY LOCAL & STATE AUTHORITIES AND THE LANDLORD.
- 3. ALL CONSTRUCTION SHALL COMPLY WITH ENERGY STANDARDS IN TITLE 24 OF THE CALIFORNIA STATE BUILDING CODE AS OUTLINED IN THE ENERGY CERTIFICATES PROVIDED BY THE ENERGY CONSULTANT.
- 4. ALL MECHANICAL, ELECTRICAL, LIGHTING, PLUMBING, FIRE-PROTECTION ENGINEERING TO BE "DESIGN BUILD" BY OTHERS. OTHERS RESPONSIBLE FOR ENGINEERING, PERMITS, FEES, CALCULATIONS, REPORTS, DRAWINGS, ETC. REQUIRED BY LOCAL AND ALL OTHER GOVERNING AGENCIES. SUCH DESIGN SHALL BE FULLY COORDINATED WITH ALL INFORMATION PROVIDED IN THIS DRAVSET.
- 5. ALL "DESIGN-BUILD" SUBCONTRACTORS SHALL OBTAIN PERMITS AND PAY PERMIT FEES FOR THEIR RESPECTIVE FIELDS OF WORK.
- 6. EXAMINATIONS OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR AND SUBCONTRACTORS, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY THEMSELVES AS TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. THEY SHALL, ASCERTAIN AND

- 7. CHECK LOCATIONS OF THE EXISTING STRUCTURES AND EQUIPMENT, AND ALL CONDITIONS DURING CONSTRUCTION WHICH MAY AFFECT THEIR WORK. ANY CONFLICTS OR OMISSIONS, ETC. SHALL BE REPORTED TO THE DESIGNER BEFORE BIDDING OR PROCEEDING WITH ANY WORK.
- 8. ALL CONSTRUCTION DOCUMENTS ARE COMPLIMENTARY, AND WHAT IS CALLED FOR BY ONE WILL BE AS IF CALLED FOR BY ALL. ANY WORK SHOWN OR REFERRED TO ON ANY CONSTRUCTION DOCUMENT SHALL BE PROVIDED AS THOUGH ON ALL RELATED DOCUMENTS.
- 9. DRAWINGS SHALL NOT BE SCALED. ALL DIMENSIONS ON DRAWINGS TAKE PRECEDENCE OVER SCALE. DETAILS SHALL TAKE PRECEDENCE OVER GENERAL FLOOR PLANS.
- 10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE PROJECT SCHEDULE. PRIOR TO START OF PROJECT, THE GENERAL CONTRACTOR SHALL VERIFY LEAD TIMES OF FINISH MATERIALS AND SPECIAL ITEMS TO ASSURE AVAILABILITY AS SCHEDULE REQUIRES. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING THE PROGRESS OF THE WORK AND INFORMING THE DESIGNER AND TENANTS IMMEDIATELY OF ANY POTENTIAL DELAYS.
- 11. CERTAIN MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SPECIFIED SHALL BE SUBMITTED TO THE ARCHITECT IN WRITING AT LEAST TWO WEEKS PRIOR TO ORDERING OR INSTALLATION. REQUESTS WILL BE CONSIDERED ONLY IF A BETTER PRODUCT, A MORE ADVANTAGEOUS DELIVERY DATE OR A LOWER PRICE WITH CREDIT TO THE TENANT WILL BE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE AND FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT PROPOSED FOR SUBSTITUTION IS NOT EQUAL QUALITY TO THE PRODUCT SPECIFIED. SUBSTITUTE MATERIALS SHALL NOT BE PURCHASED OR INSTALLED WITHOUT THE DESIGNER'S WRITTEN APPROVAL.
- 12. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AS REQUESTED FOR FABRICATION ITEMS, CUT SHEETS OF ALL FIXTURES AND EQUIPMENT, AND SAMPLES OF ALL FINISHES TO DESIGNER FOR APPROVAL PRIOR TO INSTALLATION. BY APPROVING AND SUBMITTING SHOP DRAWINGS AND SAMPLES, CONTRACTOR REPRESENTS THAT HE DETERMINED AND VERIFIED FIELD MEASUREMENTS, FIELD CONSTRUCTION CRITERIA, MATERIALS, CATALOG NUMBERS, AND SIMILAR DATA AND THAT EACH SUBMITTAL

,
RADIUS
ROOF DRAIN LEADER
ROUGH OPENING
RIGHT OF WAY
REFRIGERATOR
REINFORCED
REQUIRED
RETURN
ROOM
REMOVE
SOLID CORE SMOKE DETECTOR
SHUT OFF VALVE
SKYLIGHT
STAINLESS STEEL
SELF CLOSING SCHEDULE
SECTION
SERVICE ENTRANCE SECTION
SHEET SHEATHING
SIMILAR
SPACE
SPECIFICATIONS SPEAKER
SQUARE FEET
SQUARE INCHES
SOUND TRANSMISSION CLASS
STANDARD STEEL
SUSPENDED
SWITCH
SYMMETRICAL SYSTEM
TONGUE AND GROOVE
THROUGH BOLT
TELEPHONE MOUNTING BOARD
TOP OF BEAM
TOP OF CURB
TOP OF FOOTING TOP OF JOIST
TOP OF MASONRY
TOP OF SLAB
TOP OF WALL TUBE STEEL
TELEVISION OUTLET
TELEPHONE
THRESHOLD
THREADED
THROUGH
TOILET
TRANSFORMER TYPICAL
UNFINISHED
URINAL
VAPOR BARRIER VERIFY IN FIELD
VOLT AMPERE
VINYL COMPOSITION TILE
VERTICAL WATER CLOSET
WINDOW
WAINSCOT
WEATHER PROOF
WEIGHT WITH
WITHOUT
WOOD
WROUGHT IRON
YARD



NORTH ARROW INDICATES REFERENCE NORTH

COLUMN OR GRID LINE

POINT OF CIRCLE QUAD TO COLUMN LINE. LETTERS LEFT TO RIGHT. NUMBERS TOP TO BOTTOM

BUILDING SECTIONS

SECTION IDENTIFICATION (LETTERS) SHEET WHERE SECTION

SECTION CUT

(LETTERS)

ELEVATION IDENTIFICATION (NUMBERS)

DETAIL REFERENCE

DETAIL IDENTIFICATION SHEET WHERE DETAIL IS SHOWN

DETAIL REFERENCE

- DETAIL IDENTIFICATION

SHEET WHERE DETAIL IS SHOWN

INTERIOR ELEVATION

KEY NOTE CORRESPONDING NUMBER

OPENING INDICATIONS DOOR OPENING DOOR MARK

WINDOW OPENING

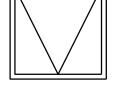
DIMENSION TO CENTER

DIMENSION TO ROUGH FACE

- 13. SUBMITTAL HAS BEEN CHECKED AND COORDINATED WITH CONTRACT REQUIREMENTS. CONTRACTOR IS RESPONSIBLE FOR ACCURACY OF SHOP DRAWINGS, PROPER FITTINGS, COORDINATION OF WORK, CONSTRUCTION TECHNIQUES, MATERIALS, AND WORK REQUIRED BY CONTRACT DOCUMENTS. SUBMITTALS WILL BE REQUIRED FOR: - PAINT.
- 14. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENTS OF DRAWINGS AND SPECIFICATIONS WILL BE ACCEPTABLE IN CONSEQUENCE OF OWNER'S OR ARCHITECT'S FAILURE TO DISCOVER OR TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION; NOR WILL PRESENCE OF INSPECTORS ON WORK RELIEVE CONTRACTOR FROM RESPONSIBILITY FOR SECURING QUALITY AND PROGRESS OF WORK, AS REQUIRED BY CONTRACT. DEFECTIVE WORK SHALL BE REPLACED BY WORK CONFORMING WITH INTENT OF CONTRACT. NO PAYMENT, WHETHER PARTIAL OR FINAL, SHALL BE CONSTRUED AS AN ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS. CONTRACTOR SHALL PROTECT WORK AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC.. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERTY OR CONSTRUCTION RESULTING FROM WORK OF CONTRACTOR AND/ OR SUBCONTRACTORS, AND SHALL REPAIR ALL SUCH DAMAGE TO ORIGINAL CONDITION AT NO ADDITIONAL COST.
- 15. CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTIONS.
- 16. THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOBSITE.
- 17. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED. ONE SET OF RECORD DRAWINGS SHALL BE PROVIDED TO THE ARCHITECT AT COMPLETION.
- 18. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION AND/ OR DEMOLITION.

- 19. CONTRACTOR SHALL PROVIDE ALL CEILING OR WALL ACCESS PAN (OR ACCESS DOORS) AS REQUIRED BY THE AIR CONDITIONING, PLUMBING, AND ELECTRICAL SYSTEM. PROVIDE APPROVED ASSEMBLIES WITH SELF CLOSING DEVICES IN RATED CONSTRUCT
- 20. ALL DIMENSIONS ARE TO THE FACE OF STUD UNLESS OTHERWISE
- 21. ALL DIMENSIONS NOTED "CLEAR" OR "CLR" ARE FOR MINIMUM CLEARANCES AND MUST BE FIELD VERIFIED AND STRICTLY MAINTAINED.
- 22. ALL DIMENSIONS NOTED "VERIFY" OR "VIF" ARE TO BE CHECKED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY VARIANCES SHOUL BE REPORTED TO THE ADESIGNER IMMEDIATELY FOR RESOLUTIO
- 23. ABBREVIATIONS USED ARE THOSE IN COMMON USE. ARCHITECT W DEFINE INTENT OF ANY QUESTIONS.
- 24. ALL ELECTRICAL OUTLETS & CONTROLS SHALL COMPLY WITH ARTICLES 3-210 & 3-380 OF THE STATE ELECTRICAL CODE.

+10'-0"____ ##





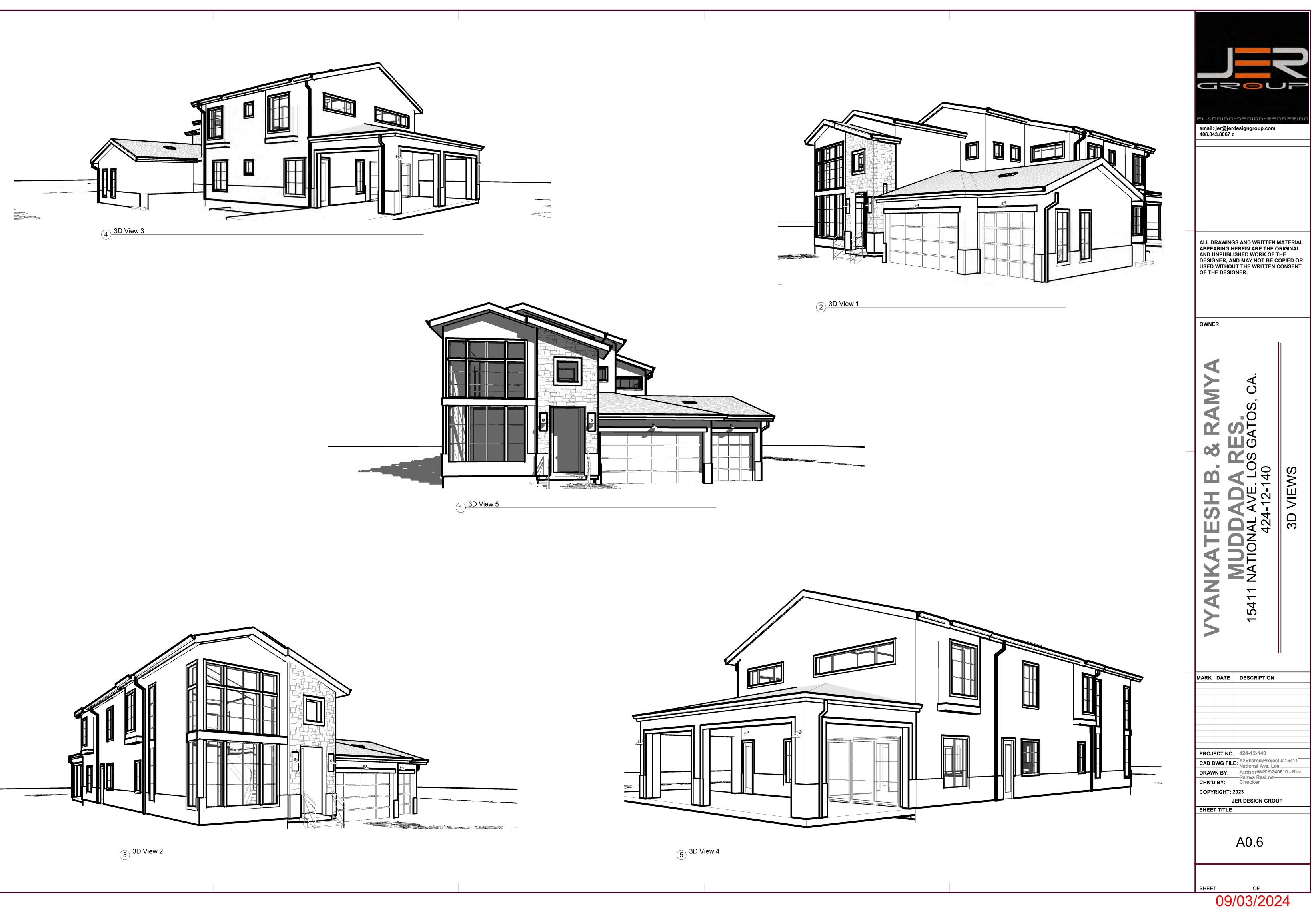
PLANNING-DESIGN-RENDERING email: jer@jerdesigngroup.com 408.843.8067 c
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
Image: Second State in the image in the
MARK DATE DESCRIPTION HARK DATE DESCRIPTION HOUSE HERRICHART HERRICHART HERRICHART HERRICHART HERRICHART HERRI



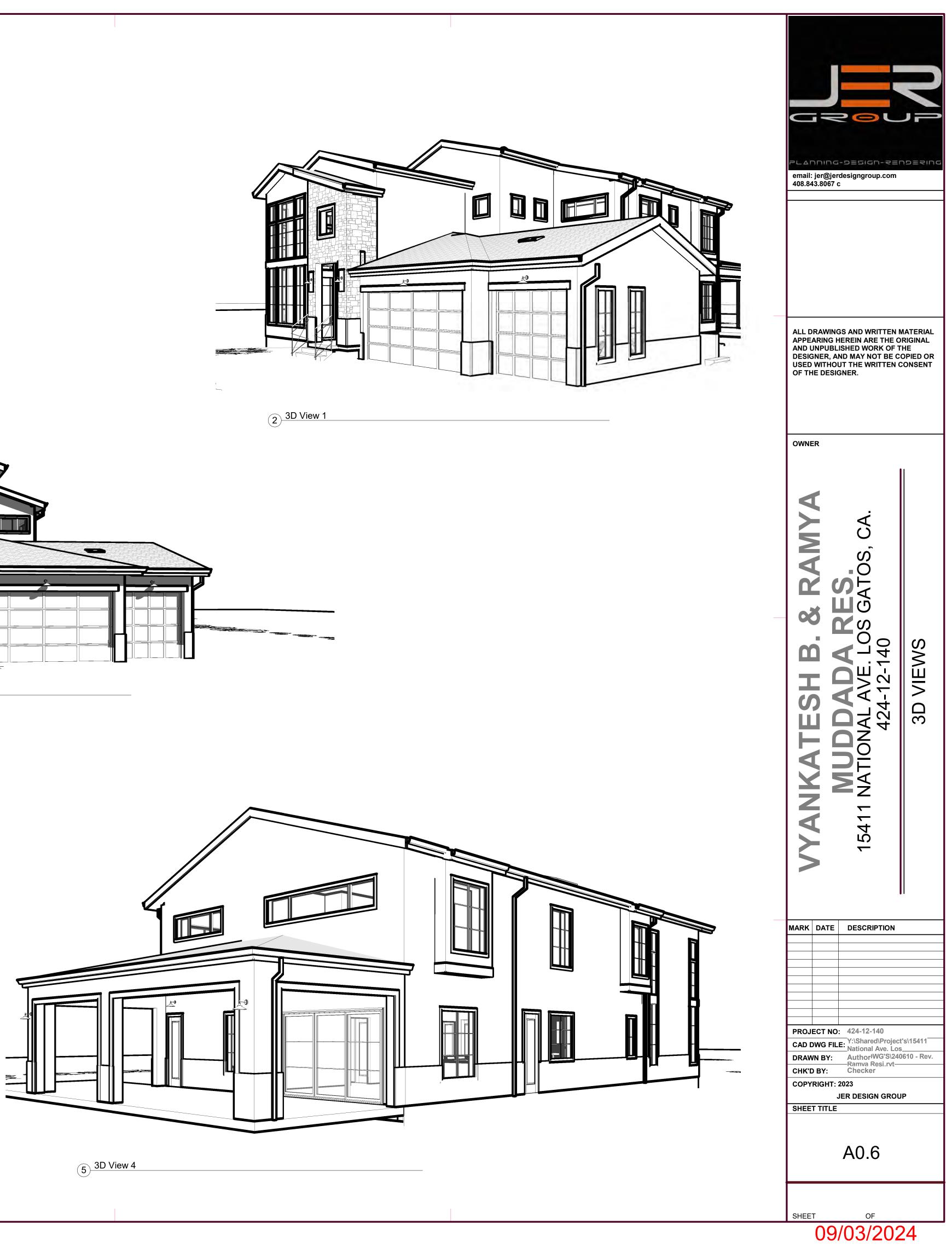
VIEWPOINT

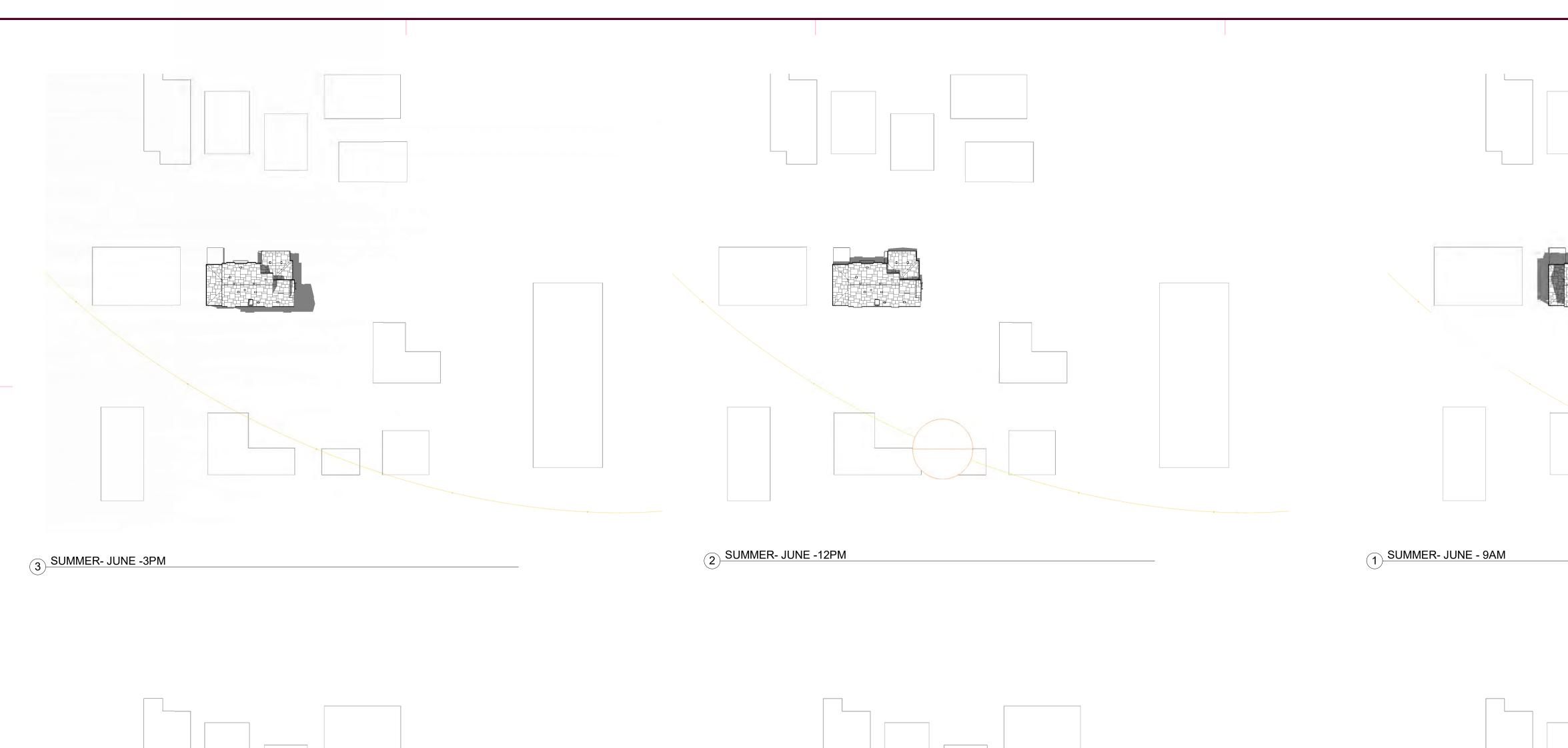
SOUTH ISOMETRIC VIEWPOINT

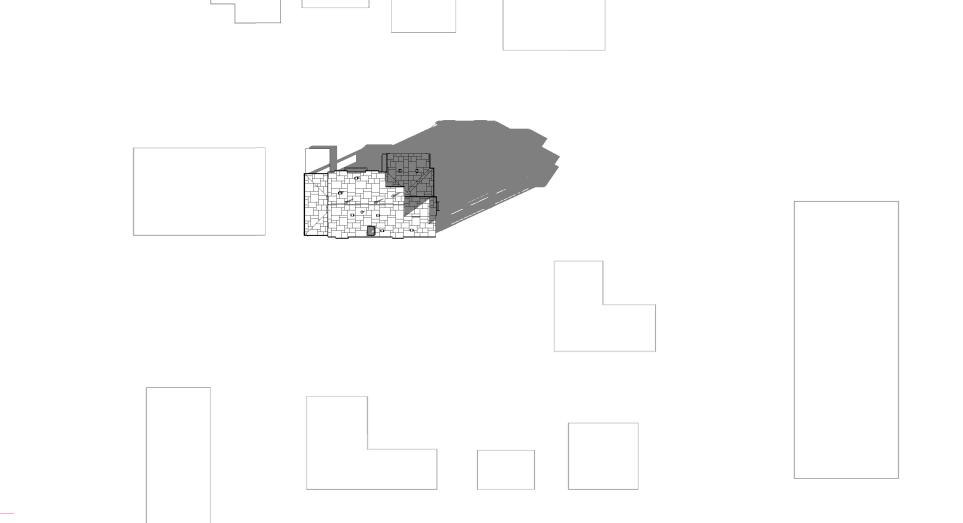




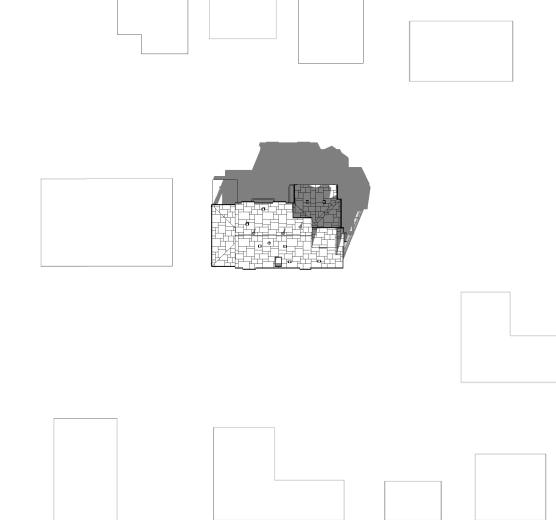




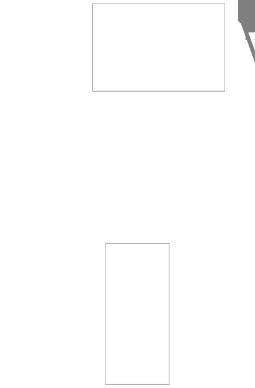




6 WINTER - DECE - 3PM





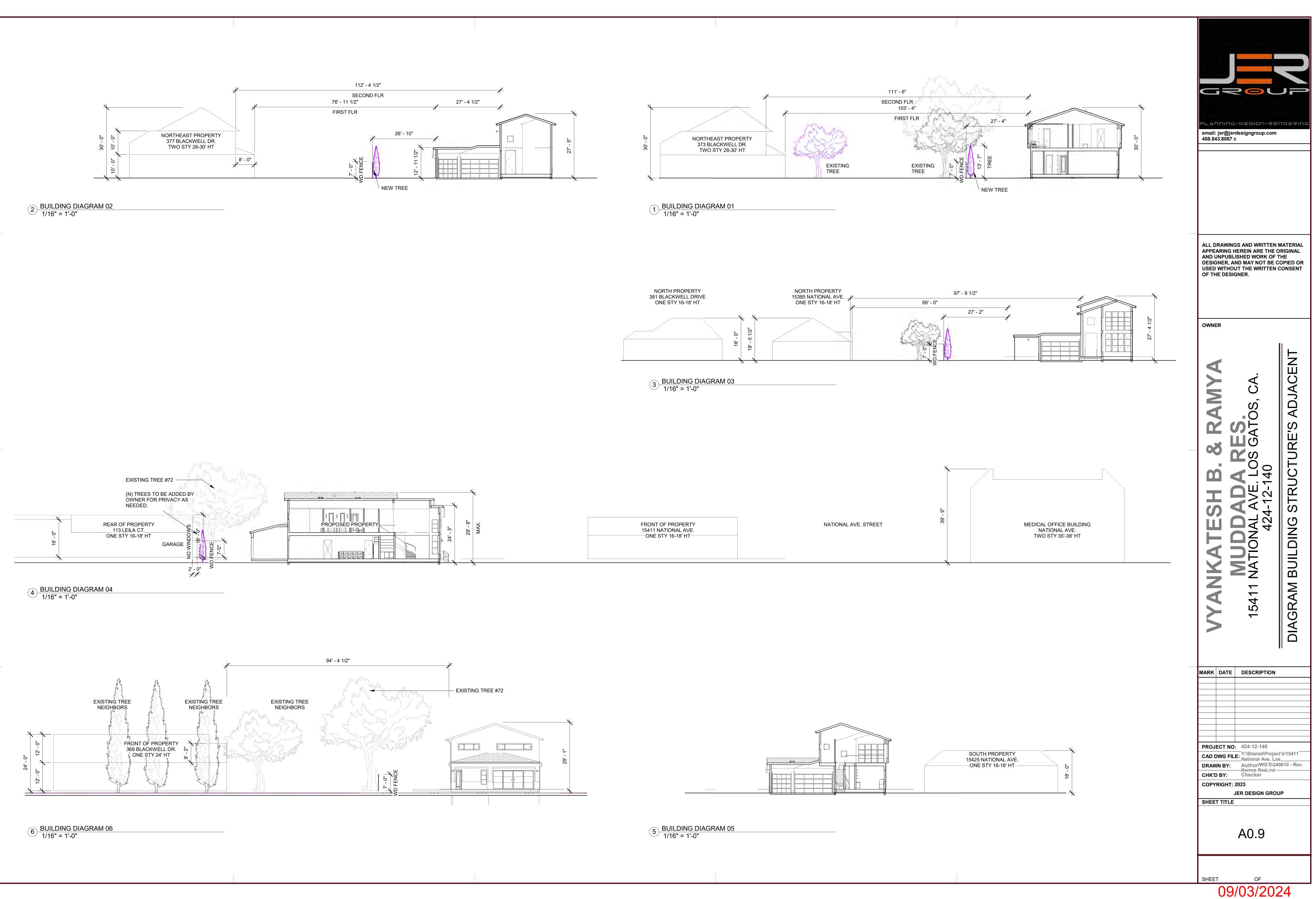


5 WINTER - DECE - 12PM

4 WINTER - DECE - 9AM

PLANNING-DESIGN-RENDERING email: jer@jerdesigngroup.com 408.843.8067 c
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
AMMATESH B. & RAMYA VYANKATESH B. & RAMYA NUDBADA RES. 15411 NATIONAL AVE. LOS GATOS, CA. 424-12-140 SHADOW STUDY
MARK DATE DESCRIPTION

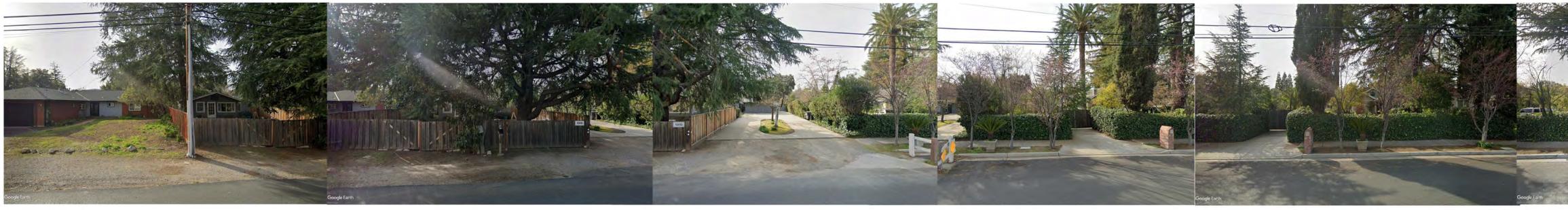




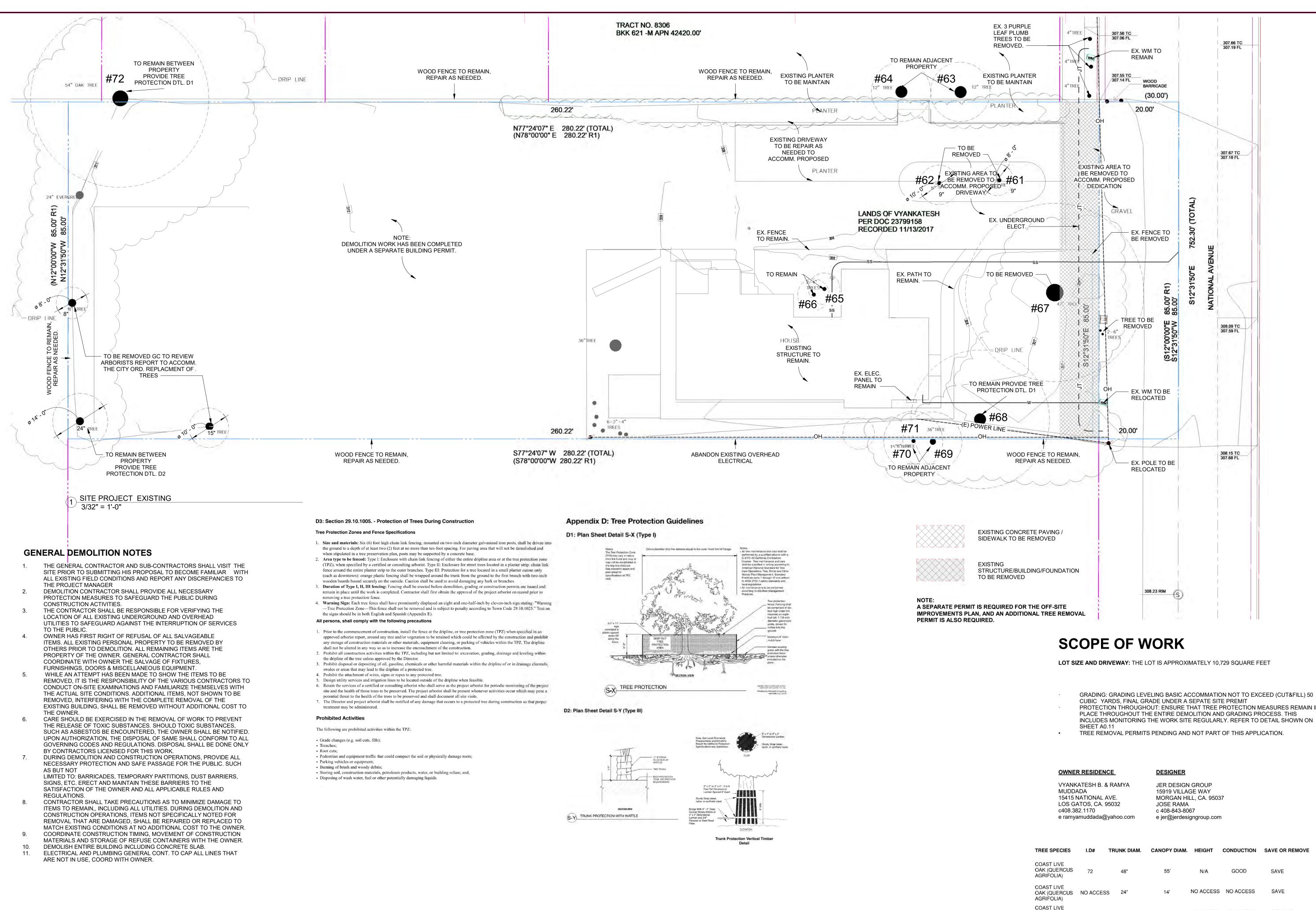










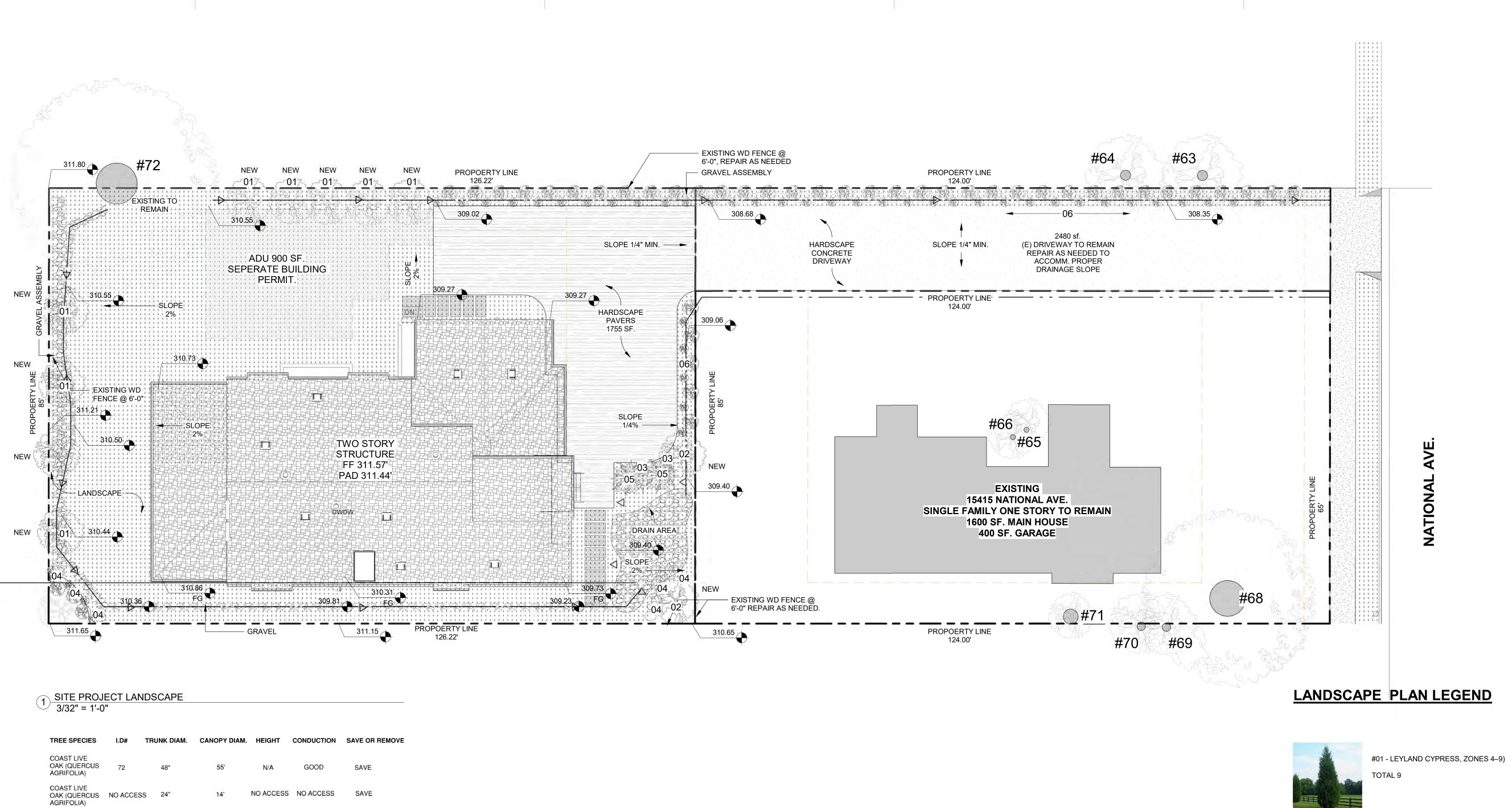


	PLANNIG-DESIGN-RE email: jer@jerdesigngroup.com 408.843.8067 c	
	ALL DRAWINGS AND WRITTEN I APPEARING HEREIN ARE THE C AND UNPUBLISHED WORK OF T DESIGNER, AND MAY NOT BE C USED WITHOUT THE WRITTEN O OF THE DESIGNER.	RIGINAL THE OPIED OR
	K	
IN	VYANKATESH B. & RAMY NUDDADA RES. 15411 NATIONAL AVE. LOS GATOS, CA. 424-12-140	EXISTING SITE & DEMO
	MARK DATE DESCRIPTION	
	PROJECT NO: 424-12-140 CAD DWG FILE: Y:\Shared\Projec National Ave. Los DRAWN BY: Author/WG'S\244 Ramva Resi.rvt- CHK'D BY: Checker COPYRIGHT: 2023 JER DESIGN GROU SHEET TITLE	0610 - Rev.
	A0.11	

SAVE NO ACCESS NO ACCESS REMOVE OAK (QUERCUS NO ACCESS 10' 15" NO ACCESS NO ACCESS REMOVE NO ACCESS NO ACCESS 8" 8'

AGRIFOLIA)

OF



TREE SPECIES	I.D# TR	UNK DIAM.	CANOPY DIAM.	HEIGHT	CONDUCTION	SAVE OR REMOVE
COAST LIVE OAK (QUERCUS AGRIFOLIA)	72	48"	55'	N/A	GOOD	SAVE
COAST LIVE OAK (QUERCUS AGRIFOLIA)	NO ACCESS	24"	14'	NO ACCESS	NO ACCESS	SAVE
COAST LIVE OAK (QUERCUS AGRIFOLIA)	NO ACCESS	15"	10'	NO ACCESS	NO ACCESS	REMOVE
NO ACCESS	NO ACCESS	8"	8'	NO ACCESS	NO ACCESS	REMOVE



#02 - CORAL BARK JAPANESE MAPLE TREE (5-9) - 24" BOX TOTAL 2

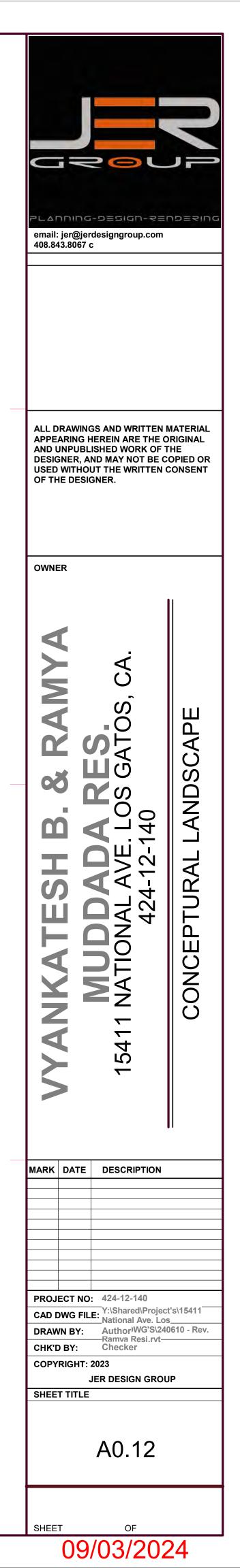
#03 - BLUE RUG JUNIPER JUNIPERUS HORIZONTALIS 'WILTONII' ZONE 3-9 - 24" BOX

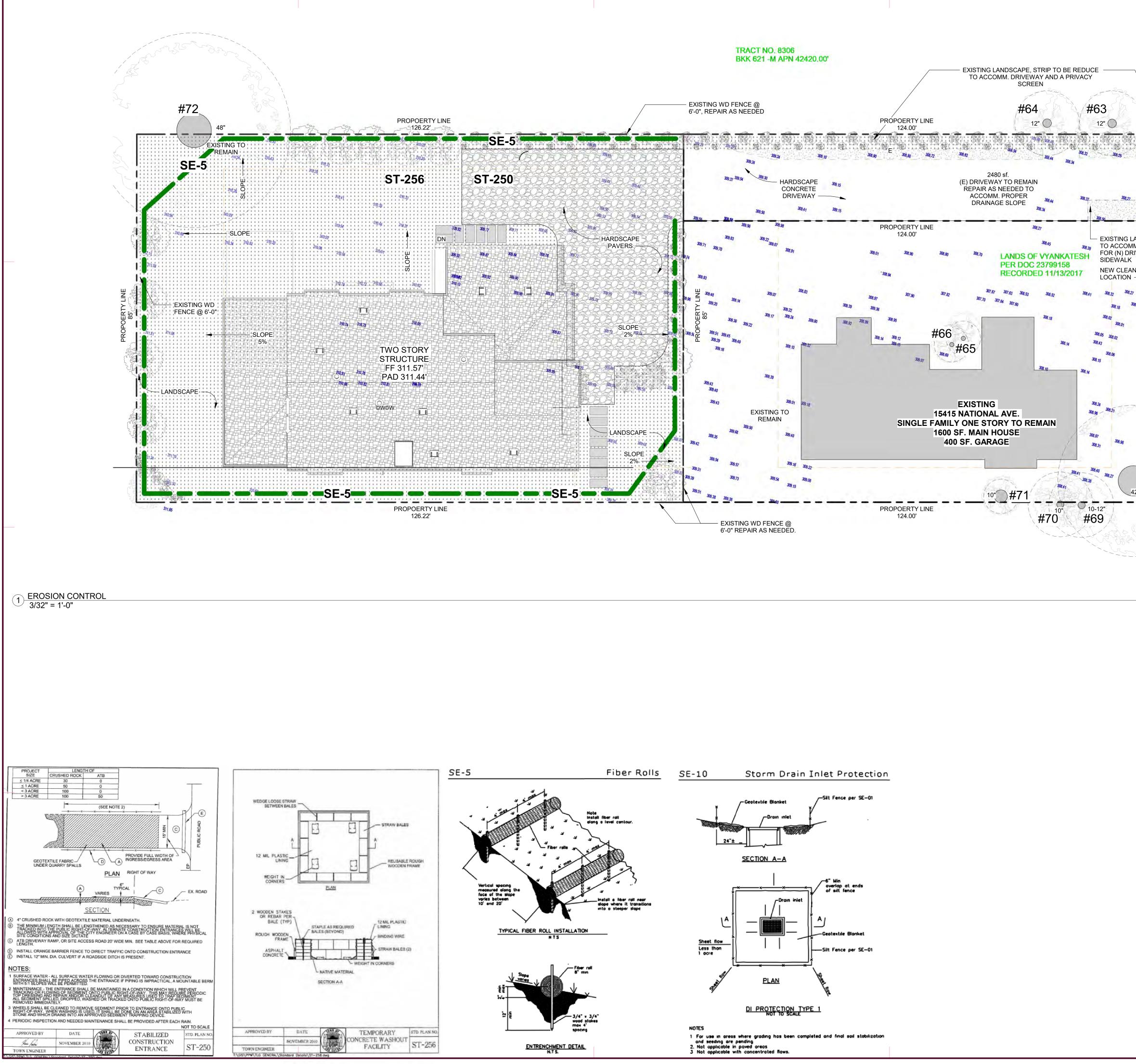
TOTAL 4

#04 - ORANGE NEW ZEALAND SEDGE (CAREX TESTACEA, ZONES 6-10) TOTAL 50

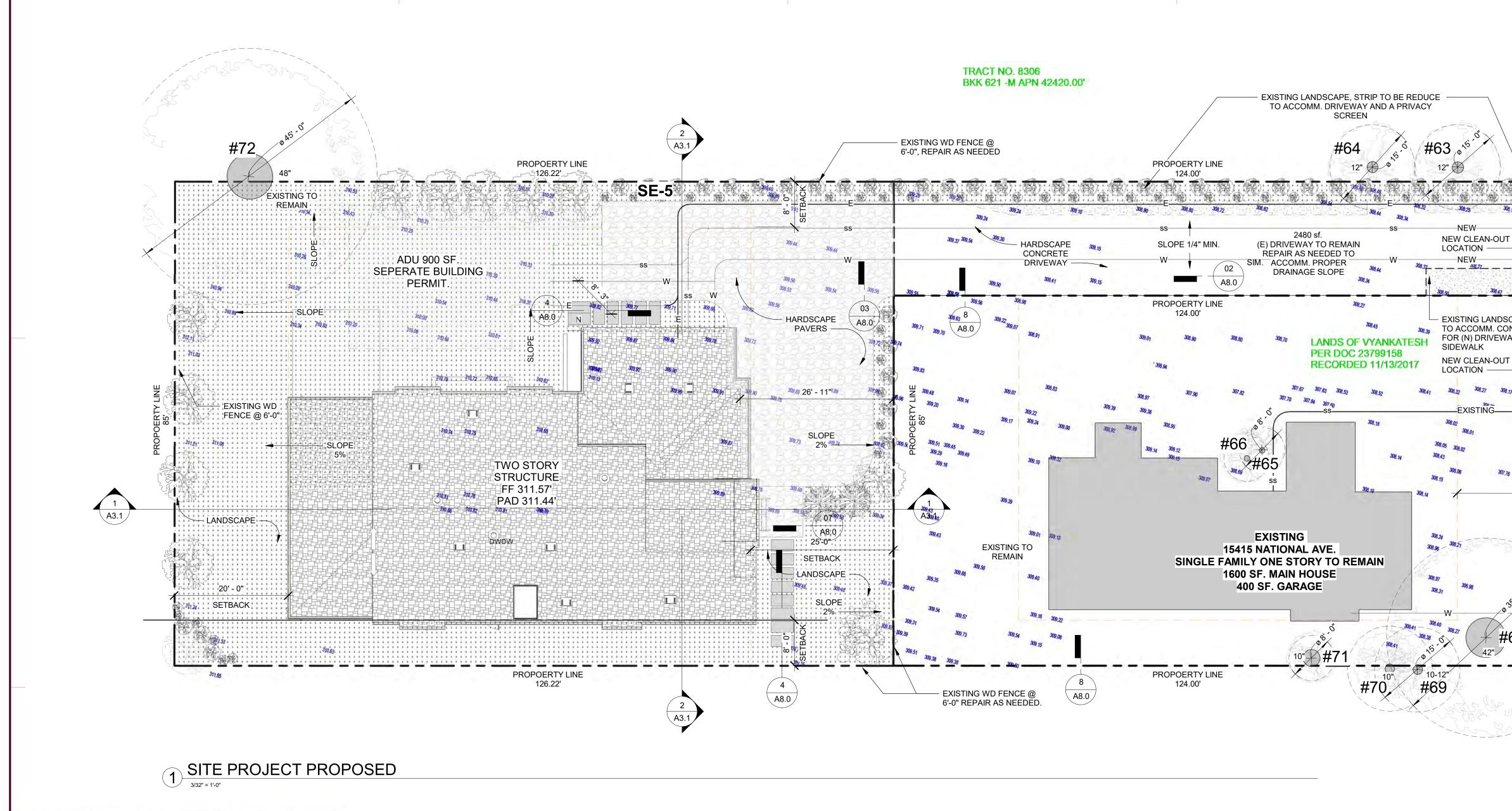
#05 - SUNDOWNER' NEW ZEALAND FLAX (PHORMIUM 'SUNDOWNER', ZONES 8B-11) TOTAL 6

#06 - ELIJAH BLUE' BLUE FESCUE (FESTUCA GLAUCA 'ELIJAH BLUE', ZONES 4-9) TOTAL 60





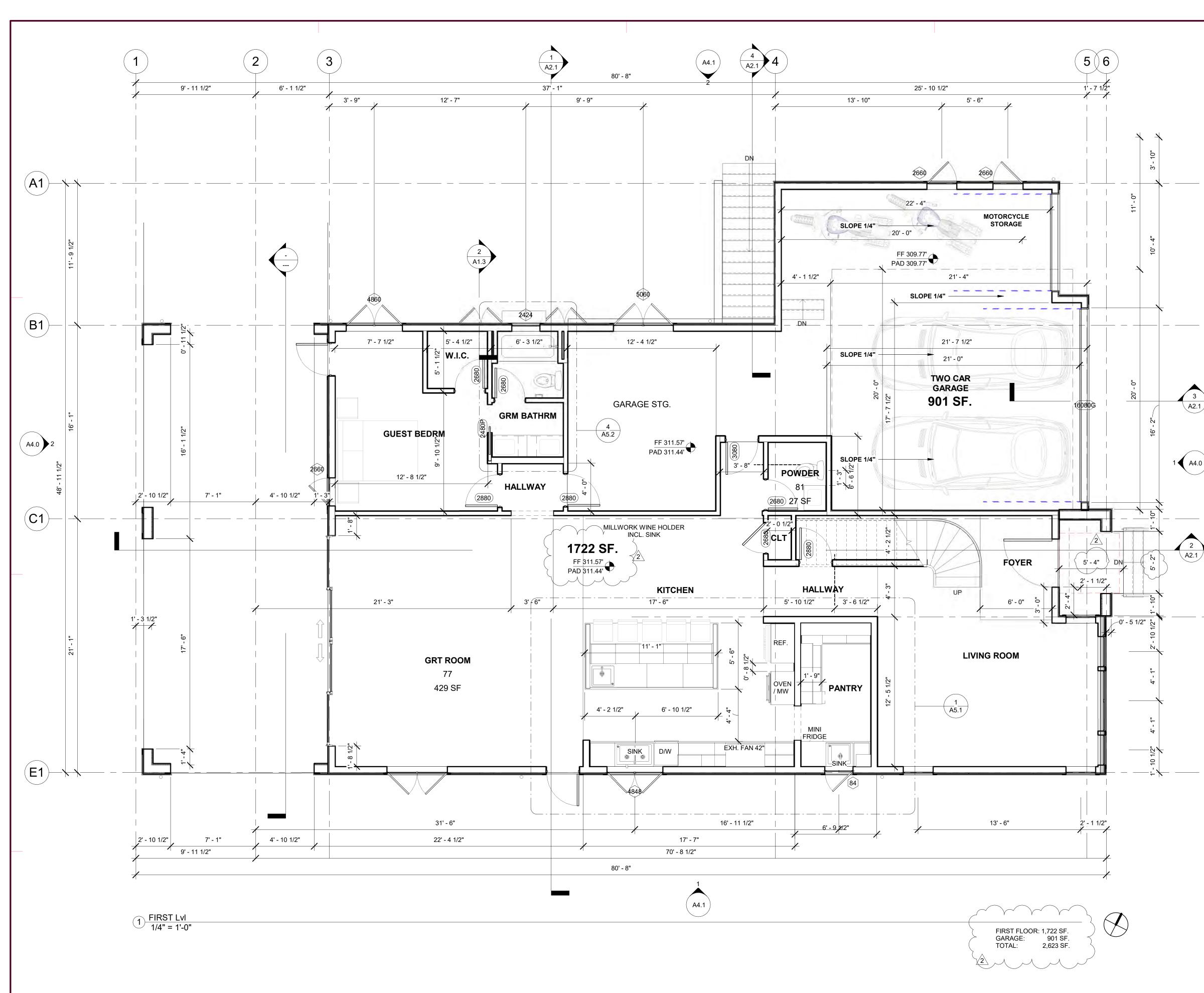
307.02	317.76 307	NEW POV POLE EX. WM TO REMAIN						PLANF email: je	r@jero		
ANDSCAPE, REMOVE % 15 IM. CONCRETE SLAB RIVEWAY AND CITY IN-OUT 7 308.17 306.63 307.76 306.63 307.76	307.67 307.71 387.87 387.87 507.47 507.47 507.47 507.47 507.57 507.57 507.57	307,59 307,51 307,59 307,51 307,56 307,51 307,76 307,52 307,76 307,54 307,76 307,54 307,76 307,54 307,76 307,54 307,76 307,54 307,76 307,54 307,78 307,58 307,78 307,58 307,78 307,58 307,78 307,58	85.00' R1) 85.00' 85.00'		NATIONAL AVENUE	3		408.843.	AWING ING H PUBLI ER, AN	S AND WRITTEN EREIN ARE THE C SHED WORK OF ID MAY NOT BE C IT THE WRITTEN	DRIGINAL THE COPIED OR
	307;	308.10	(S12° S12°3	308.06				VYANKATESH B. & RAMYA		15411 NATIONAL AVE. LOS GATOS, CA. 424-12-140	EROSION CONTROL
								PROJEC	G FILI BY: Y: GHT: 2 J	DESCRIPTION	0610 - Rev.
							NORTH	SHEET		A0.13 ₀⊧ /03/202	



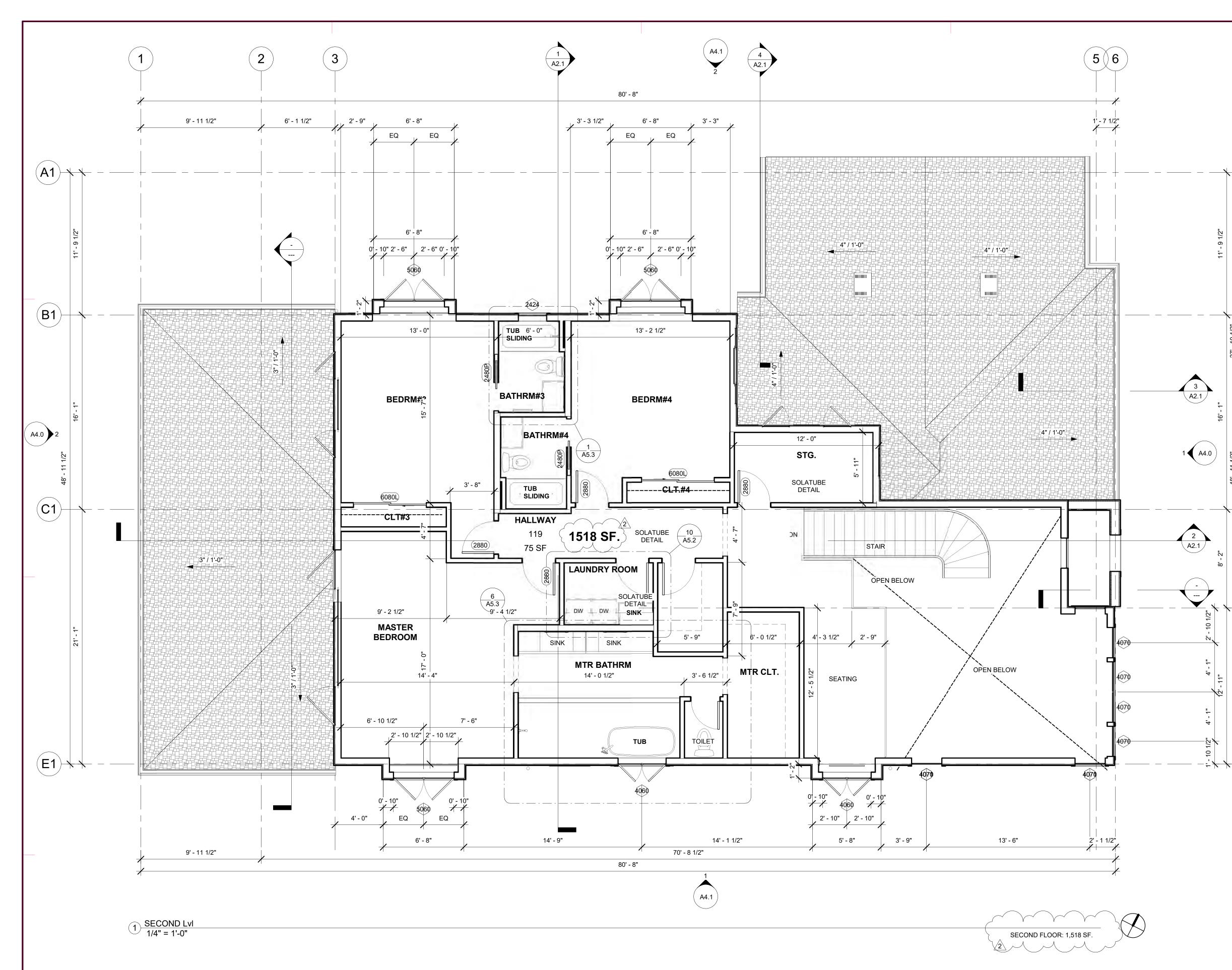
SF) = 10,729 Total Site A			sturbed (SF) =	10,729			
1	Exist	ting Area	Propos	ed Area	То	tal Area Po	st-Project (sf)
			Replaced	New			
	4,3	315		2,305			
AREA			N/A	2,305			
11	4,315						
(CY)		Max Cut/F	ill Depth (ft	Ì	(C	Y)	1
Fi	ff -	Cut	Fill	Impo	-	-	
		8"	-	-			
-	1	8"	1	1 m			
-					= i)		
							<u>,</u>
	2.2	8"					· .
- T.		10'					4 C
				1.1	11		
	(CY)	Exist 4,5 AREA 4,3	Existing Area 4,315 AREA 4,315 (CY) Max Cut/F Fill Cut 8" 6" 8" 8" 8" 8" 8" 8" 8" 8" 8" 8" 8" 8" 8"	Existing Area Propose Replaced 4,315 AREA 4,315 C(CY) Max Cut/Fill Depth (ft Fill Cut Fill 8" 8" 8"	Existing Area Proposed Area Replaced New 4,315 2,305 AREA 4,315 C(CY) Max Cut/Fill Depth (ft) Fill Cut Fill Impo 8" 8" 8"	Existing Area Proposed Area To Replaced New 4,315 2,305 AREA 4,315 C(CY) Max Cut/Fill Depth (ft) (C Fill Cut Fill Import 8" 8" 8"	Existing Area Proposed Area Total Area Po Replaced New 4,315 2,305 AREA 4,315 4,315 C(CY) Max Cut/Fill Depth (ft) (CY) Fill Cut Fill Import Export 8" 8" 8"

20' - 0" LANDSCAPE	307.7 UN 18.02	307.22 307.76 307.55 307.67 307.42 SS 307.71 307.59	307.38 307.45	307.56			
WM 303 14 2' - 8" 303 14 2' - 8" 303 14 2' - 8" 303 14 2' - 8" 5' Pi 308 13 308 13 12' - 8" 2' - 8" 2' - 8"	5' - 0" 308 04 10'-0 DEDICA		307.51 307.56 307.47 20' - 0" ROW 307.54 307.54 	1.00	S12°31'50"E 👷 752.30' (TOTAL) 🦛	NATIONAL AVENUE	
- 0" - 0" - 0" - 0" - 0" - 0" - 0" - 0"		307.76		(S12°00'00"E S12°31'50"W	S12°3	NATION 307.81	
- 306.99		308.25 307.89	POLE	308.00	308.06		

			designgrou	n-zer	
	APPE AND U DESIG USED	ARING H JNPUBL SNER, A	GS AND WF HEREIN AR ISHED WO ND MAY NO UT THE WF GNER.	e the o RK of t Dt be co	RIGINAL HE OPIED OR
	OWNE	ĒR			
	WANKATESH R & DAMVA		15411 NATIONAL AVE. LOS GATOS, CA.	424-12-140	SITE PLAN
	MARK	DATE	DESCRI	PTION	
	CAD I DRAW CHK'I COPY	DWG FIL /N BY: D BY: RIGHT: 3	: 424-12-1 E: Y:\Share National Author ^{I\} Ramva R Checker 2023 JER DESIG	d\Project Ave. Los WG'S\240 Resi.rvt— r	610 - Rev.
RTH			A1.(0	
	SHEE				
		US	/03/2	2U2	4

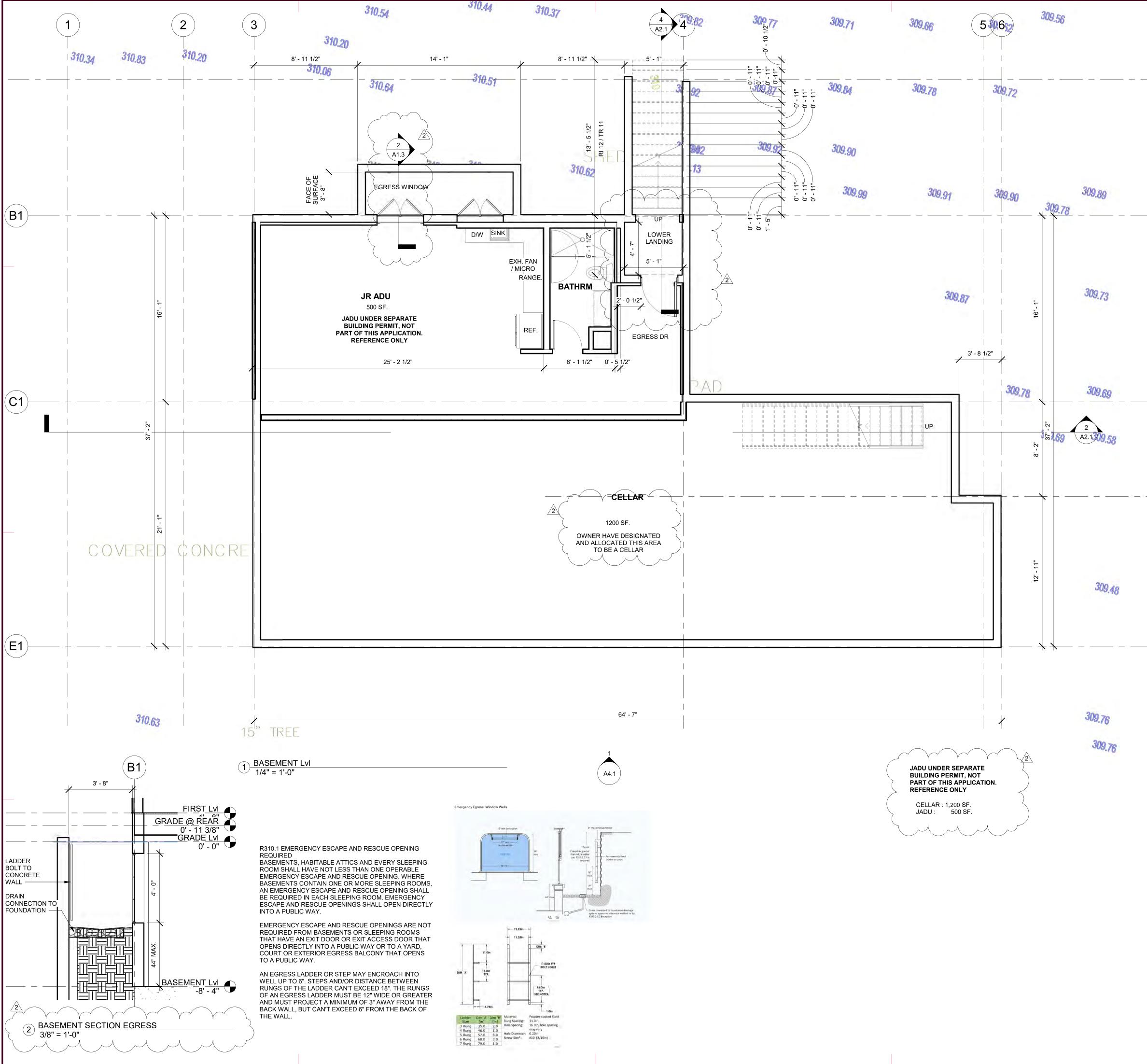


	FLOOR PLAN NOTES	
	1. ALL FLOOR PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.O.N. WHERE CLEAR DIMENSION IS INDICATED, IT SHALL BE FROM FACE OF FINISH TO FACE OF FINISH. WHERE CENTERLINE DIMENSION IS INDICATED, IT SHALL BE FROM CENTERLINE OF OBJECT NOTED.	
	 CONTRACTOR TO PROVIDE RECESSED BOXES BEHIND ALL REFRIGERATORS ICE-MAKERS & WATER LINE AND <u>WASHER/DRYER</u>. CAULKING ALL AROUND RECESSED BOXES REFER TO PROJECT INFORMATION SHEET FOR ROOF/ATTIC & 	
	UNDERFLOOR VENTILATION CALCULATIONS.4. PROVIDE FLOORING TRANSITION STRIP BETWEEN DISSIMILAR MATERIALS.	220UP
	5. MECHANICAL & PLUMBING VENTS THROUGH EXTERIOR WALLS SHALL BE EQUIPPED WITH WALL CAP, BUILT-IN BACKDRAFT DAMPER & BIRD	
-	SCREEN. WILDLAND URBAN INTERFACE FIRE HAZARD AREA A. EXTERIOR WALL COVERING ARE CONSTRUCTED OF NON- COMBUSTIBLE MATERIALS. B. EXTERIOR WALL VENTS (CRAWL SPACE VENTS, COMBUSTION AIR VENTS, ETC.)SPECIFY SUCH OPENING SHALL BE COVERED W/CORROSION-RESISTANT NON-COMBUSTIBLE WIRE MESH WITH MESH OPENINGS OF 1/8 INCH MAX. PER CRC R337.6.2.	PLANNING-DESIGN-RENDERING email: jer@jerdesigngroup.com 408.843.8067 c
1/2"	 FOR ROOM FINISHES, SEE ROOM FINISH SCHEDULE SHEET SEE INTERIOR ELEVATION SHEETS FOR MOUNTING HEIGHTS OF BATHROOM ACCESSORIES, COUNTERTOP HEIGHTS. 	
11'- 9	 SEE SHEET A-0.1 FOR ABBREVIATIONS, LEGENDS, SYMBOLS. WHERE DOOR LOCATIONS ARE NOT SPECIFIED, CENTER IN WALL OR INSTALL 4" FROM FACE OF ADJACENT WALL FRAMING. 	
_	 10. ALL INTERIOR WALLS TO BE WALL TYPE C U.O.N SEE WALL LEGEND. 11. EACH BEDROOM AND OUTSIDE SLEEPING AREA, PROVIDED WITH A SMOKE AND CARBON MONOXIDE DETECTORS INSTALLED IN A ACCORDANCE WITH CRC. R.315 CARBON MONOXIDE ALARMS COMBINED WITH SMOKE SHALL COMPLY WITH SECTION R315, ALL APPLICABLE STANDARD, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARM. 	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR
	FLOOR PLAN KEYNOTES	USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
	01 TOILET- SELECTED BY OWNER	
	02 TOILET-PAPER HOLDER - SELECTED BY OWNER	
\rightarrow	03 PEDESTAL SINK - SELECTED BY OWNER	
- 1 - 1	04 MIRROR - SEE INTERIOR ELEVATIONS FOR DIMENSIONS 05 TOWEL BAR TO BE SELECTED - PROVIDE BLKG IN WALL	OWNER
-	06 COUNTER TOP - SELECTED BY OWNER	
	07 SHOWER, SEE DTL. AND , SHOWER SURROUND - SELECTED BY OWNER	
11 1/2"	08 SHOWER SHELF - SELECTED BY OWNER	
48' -	09 SHOWER HEAD - SELECTED BY OWNER 10 PULL DOWN ATTIC ACCESS, SEE DTL.	
	10 FOLE DOWN AT HE ACCELSS, SEE DTE. 11 LAVATORY AND FAUCET - SELECTED BY OWNER	
	12 GAS FIREPLACE - SELECTED BY OWNER	
	13 ADJUSTABLE SHOWER HEAD W/HANDSHOWER - SELECTED BY OWNER	
- 2"	14 WALK-IN BATH TUB EQUIPPED WITH EXTENSION BOX TO FIT OPENING, SEE DTL.	<u>—</u> ШЭ —
ω	15 DISHWASHER - SEE APPLIANCE & EQUIPMENT SCHEDULE REFRIGERATOR SPACE, PROVIDE RECESSED BOX FOR WATERLINE &	∞ ℃ δ
	 SHUT-OFF VALVE IN WALL FOR ICE MAKER - SEE APPLIANCE & EQUIPMENT SPEC. UNDERMOUNT FARM SINK, KITCHEN SINK WITH 	
	GARBAGE DISPOSAL - SELECTED BY OWNER GAS RANGE COOKTOP - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	19 KITCHEN ISLAND	
	20 WINE COOLER - SELECTED BY OWNER	
-	 21 MILLWORK FINISH TO BE SELECTED BY OWNER - SEE INTERIOR ELEVATIONS 22 UNDERMOUNT VANITY SINK - SELECTED BY OWNER 	
2' - 11	23 BAR SINK - SELECTED BY OWNER, SEE DTL .	
~	24 WALL-MOUNTED RANGE HOOD - SEE APPLIANCE & EQUIPMENT SCHEDULE	NU ATIO
	25 TEMPERED GLASS SHOWER SCREEN & DOOR	
	26 CLOTHES DRYER - PROVIDE VENT TO EXTERIOR WITH BACKDRAFT DAMPER IN ACCORDANCE WITH CMC 504.3.2 - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	27 CLOTHES WASHER - PROVIDE PLUMBING & GALVANIZED FLASHING PAN UNDER UNIT & RECESSED VALVE AND DRAIN BOX IN WALL	241 Z
	28 PROVIDE NEW TEMPERED SHOWER GLASS DOOR WITH TOWEL BAR	
	29 CABINET SYSTEMS - N.I.C. TO BE PROVIDED & INSTALLED BY OWNER	
	30 DOWNSPOUT 31 BUILT-IN MICROWAVE & OVEN - SELECTED BY OWNER	
	31 BUILT-IN MICROWAVE & OVEN - SELECTED BY OWNER 32 UNDERCOUNTER LAZY SUSAN UNIT	
	33 TEMPER GLASS PANEL DOOR	MARK DATE DESCRIPTION
	34 BUILT-IN CABINET FOR TELEVISION	2 010924 PLANNING 2
	35 LAUNDRY SINK - SELECTED BY OWNER	
	36 PROVIDE HOT & COLD WATER ROUGH-IN FOR N.I.C. WATER SOFTENER	
	 37 CLOTHES ROD WITH 12" DEEP FIXED SHELF ABOVE, SEE DTL. 38 HANDRAIL - SEE DTL. 	
	39 BUILT-IN MILLWORK - SEE INTERIOR ELEVATIONS. REFER TO MILLWORK	
	40 COLUMNS MDO WITH STONE VENEER BASE, SEE DTL.	PROJECT NO: 424-12-140 CAD DWG FILE: Y:\Shared\Project's\15411 National Ave. Los
	41 ROOF LINE ABOVE	DRAWN BY: Author/WG'S\240610 - Rev. Ramva Resi.rvt
	42 LINEN CLOSET - PROVIDE 5-20" DEEP SHELVES - DETERMINE SPACING ON JOB WITH ARCHITECT & CLIENT.	CHK'D BY: Checker COPYRIGHT: 2023
	43 PANTRY SHELVES - PROVIDE ADJUSTABLE SHELVES	JER DESIGN GROUP
	 CRAWL SPACE VENTILATION AREAWAY - EXISTING LOCATION PATIO DECK CONCRETE OR COMPOSITE ASSEMBLY BY TREX OR EQUAL. COLOR TO BE SELECTED BY OWNER. (TO BE DETERMINED BY OWNER). 	SHEET TITLE
	 46 ROOF VENT (VENTILATION) OHAGIN 72 SQ.IN. NFVA. OR EQUAL, SEE DTL. 	A1.1
	47 CONCRETE SLAB	
	48 PRE-FABRICATED COLUMN COVER, SEE DTL.	
		SHEET OF
		09/03/2024

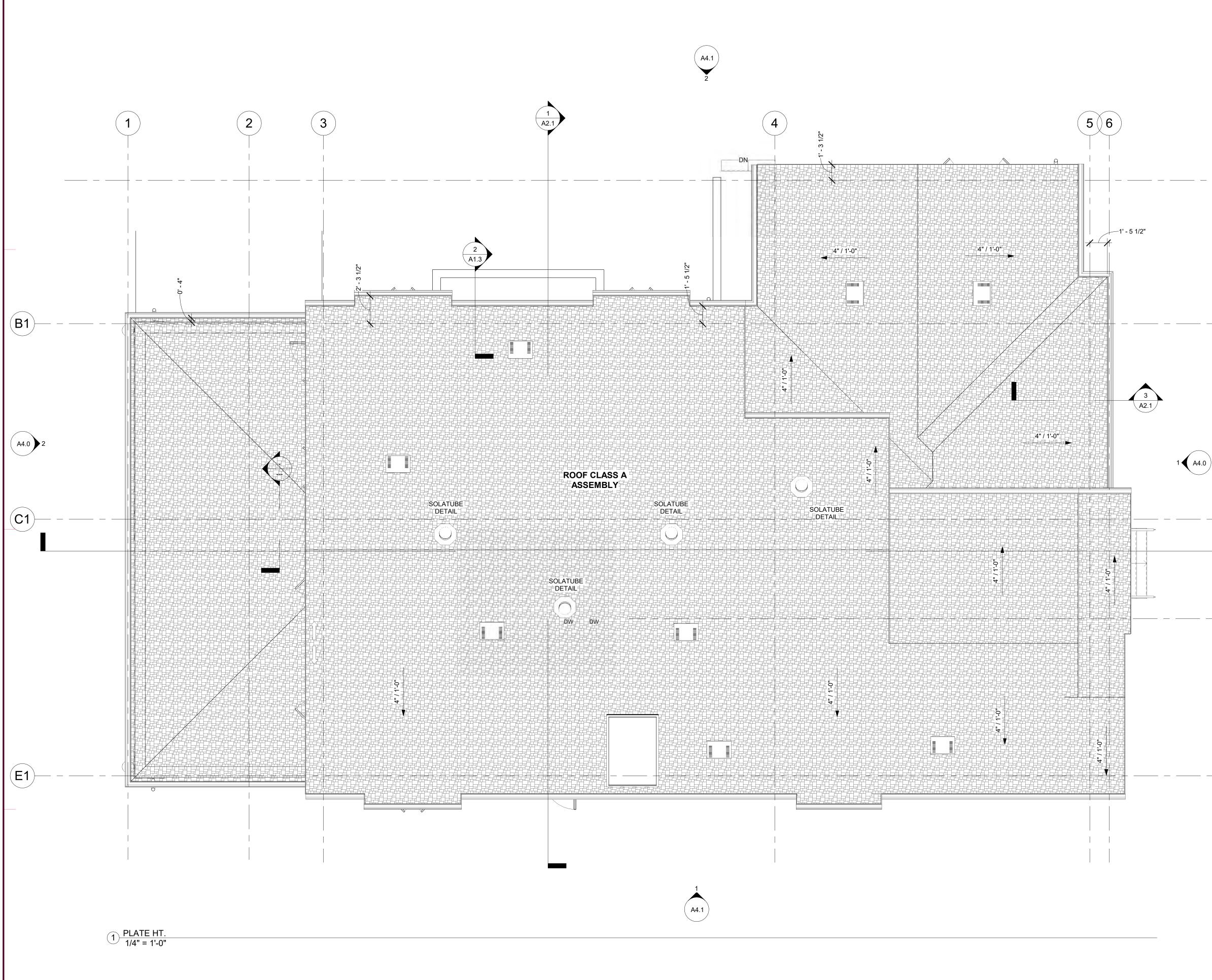


	F	LOOR PLAN NOTES	-
	1.	ALL FLOOR PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.O.N. WHERE CLEAR DIMENSION IS INDICATED, IT SHALL BE FROM FACE OF FINISH TO FACE OF FINISH. WHERE CENTERLINE DIMENSION IS INDICATED, IT SHALL BE FROM CENTERLINE OF OBJECT NOTED.	
	2.	CONTRACTOR TO PROVIDE RECESSED BOXES BEHIND ALL REFRIGERATORS ICE-MAKERS & WATER LINE AND <u>WASHER/DRYER</u> . CAULKING ALL AROUND RECESSED BOXES	
	3. 4.	REFER TO PROJECT INFORMATION SHEET FOR ROOF/ATTIC & UNDERFLOOR VENTILATION CALCULATIONS. PROVIDE FLOORING TRANSITION STRIP BETWEEN DISSIMILAR MATERIALS.	GROUP
	5.	MECHANICAL & PLUMBING VENTS THROUGH EXTERIOR WALLS SHALL BE EQUIPPED WITH WALL CAP, BUILT-IN BACKDRAFT DAMPER & BIRD	
- \ -		SCREEN. WILDLAND URBAN INTERFACE FIRE HAZARD AREA A. EXTERIOR WALL COVERING ARE CONSTRUCTED OF NON- COMBUSTIBLE MATERIALS.	email: jer@jerdesigngroup.com 408.843.8067 c
		B . EXTERIOR WALL VENTS (CRAWL SPACE VENTS, COMBUSTION AIR VENTS, ETC.)SPECIFY SUCH OPENING SHALL BE COVERED W/CORROSION-RESISTANT NON-COMBUSTIBLE WIRE MESH WITH MESH OPENINGS OF 1/8 INCH MAX. PER CRC R337.6.2.	
	6. 7.	FOR ROOM FINISHES, SEE ROOM FINISH SCHEDULE SHEET SEE INTERIOR ELEVATION SHEETS FOR MOUNTING HEIGHTS	
	8.	OF BATHROOM ACCESSORIES, COUNTERTOP HEIGHTS. SEE SHEET A-0.1 FOR ABBREVIATIONS, LEGENDS, SYMBOLS.	
	9.	WHERE DOOR LOCATIONS ARE NOT SPECIFIED, CENTER IN WALL OR INSTALL 4" FROM FACE OF ADJACENT WALL FRAMING.	
	10. 11.	ALL INTERIOR WALLS TO BE WALL TYPE C U.O.N SEE WALL LEGEND. EACH BEDROOM AND OUTSIDE SLEEPING AREA, PROVIDED WITH A SMOKE AND CARBON MONOXIDE DETECTORS INSTALLED IN A ACCORDANCE WITH CRC. R.315 CARBON MONOXIDE ALARMS COMBINED WITH SMOKE SHALL COMPLY WITH	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL
		SECTION R315, ALL APPLICABLE STANDARD, AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARM.	AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT
.17			OF THE DESIGNER.
	01	TOILET- SELECTED BY OWNER TOILET-PAPER HOLDER - SELECTED BY OWNER	
	03	PEDESTAL SINK - SELECTED BY OWNER	
	04	MIRROR - SEE INTERIOR ELEVATIONS FOR DIMENSIONS	OWNER
	05	TOWEL BAR TO BE SELECTED - PROVIDE BLKG IN WALL COUNTER TOP - SELECTED BY OWNER	
1/2"	07	SHOWER, SEE DTL. AND , SHOWER SURROUND - SELECTED BY OWNER	
- 11	08	SHOWER SHELF - SELECTED BY OWNER	
4 8	09	SHOWER HEAD - SELECTED BY OWNER	
- 🔶 —	10	PULL DOWN ATTIC ACCESS, SEE DTL.	CA MY
	11	LAVATORY AND FAUCET - SELECTED BY OWNER GAS FIREPLACE - SELECTED BY OWNER	N S S
	13	ADJUSTABLE SHOWER HEAD W/HANDSHOWER - SELECTED BY OWNER	
	14	WALK-IN BATH TUB EQUIPPED WITH EXTENSION BOX TO FIT OPENING,	
	15	SEE DTL. DISHWASHER - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	16	REFRIGERATOR SPACE, PROVIDE RECESSED BOX FOR WATERLINE & SHUT-OFF VALVE IN WALL FOR ICE MAKER - SEE APPLIANCE & EQUIPMENT SPEC. UNDERMOUNT FARM SINK, KITCHEN SINK WITH	
	17	GARBAGE DISPOSAL - SELECTED BY OWNER GAS RANGE COOKTOP - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	19	KITCHEN ISLAND	
	20	WINE COOLER - SELECTED BY OWNER	
	21	MILLWORK FINISH TO BE SELECTED BY OWNER - SEE INTERIOR ELEVATIONS	
	22	UNDERMOUNT VANITY SINK - SELECTED BY OWNER	
	23	BAR SINK - SELECTED BY OWNER, SEE DTL . WALL-MOUNTED RANGE HOOD - SEE APPLIANCE & EQUIPMENT	
	24	SCHEDULE TEMPERED GLASS SHOWER SCREEN & DOOR	
	26	CLOTHES DRYER - PROVIDE VENT TO EXTERIOR WITH BACKDRAFT DAMPER IN ACCORDANCE WITH CMC 504.3.2 - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	07	CLOTHES WASHER - PROVIDE PLUMBING & GALVANIZED FLASHING PAN	
	27	UNDER UNIT & RECESSED VALVE AND DRAIN BOX IN WALL PROVIDE NEW TEMPERED SHOWER GLASS DOOR WITH TOWEL BAR	24
	20	CABINET SYSTEMS - N.I.C. TO BE PROVIDED & INSTALLED BY OWNER	
	30	DOWNSPOUT	
	31	BUILT-IN MICROWAVE & OVEN - SELECTED BY OWNER	
	32	UNDERCOUNTER LAZY SUSAN UNIT	
	33	TEMPER GLASS PANEL DOOR	MARK DATE DESCRIPTION 2 010924 PLANNING 2
	34		
	35	LAUNDRY SINK - SELECTED BY OWNER PROVIDE HOT & COLD WATER ROUGH-IN FOR N.I.C.	
	37	WATER SOFTENER CLOTHES ROD WITH 12" DEEP FIXED SHELF ABOVE, SEE DTL.	
	38	HANDRAIL - SEE DTL.	
	39	BUILT-IN MILLWORK - SEE INTERIOR ELEVATIONS. REFER TO MILLWORK DESIGN	PROJECT NO: 424-12-140
	40	COLUMNS MDO WITH STONE VENEER BASE, SEE DTL.	CAD DWG FILE: Y:\Shared\Project's\15411 National Ave. Los DRAWN BY: Author/WG'S\240610 - Rev.
	41	ROOF LINE ABOVE LINEN CLOSET - PROVIDE 5-20" DEEP SHELVES - DETERMINE	DRAWN BY: Author/WG'S\240610 - Rev. Ramva Resi.rvt CHK'D BY: Checker
	42	SPACING ON JOB WITH ARCHITECT & CLIENT. PANTRY SHELVES - PROVIDE ADJUSTABLE SHELVES	COPYRIGHT: 2023
	44	CRAWL SPACE VENTILATION AREAWAY - EXISTING LOCATION	JER DESIGN GROUP SHEET TITLE
	45	PATIO DECK CONCRETE OR COMPOSITE ASSEMBLY BY TREX OR EQUAL. COLOR TO BE SELECTED BY OWNER. (TO BE DETERMINED BY OWNER).	
	46	ROOF VENT (VENTILATION) OHAGIN 72 SQ.IN. NFVA. OR EQUAL, SEE DTL.	A1.2
	47	CONCRETE SLAB	
	48	PRE-FABRICATED COLUMN COVER, SEE DTL.	
			SHEET OF
			09/03/2024





	F	LOOR PLAN NOTES	
	1.	ALL FLOOR PLAN DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD, U.O.N. WHERE CLEAR DIMENSION IS INDICATED, IT SHALL BE FROM	
	2.	FACE OF FINISH TO FACE OF FINISH. WHERE CENTERLINE DIMENSION IS INDICATED, IT SHALL BE FROM CENTERLINE OF OBJECT NOTED. CONTRACTOR TO PROVIDE RECESSED BOXES BEHIND ALL	
1)	3.	REFRIGERATORS ICE-MAKERS & WATER LINE AND <u>WASHER/DRYER</u> . CAULKING ALL AROUND RECESSED BOXES REFER TO PROJECT INFORMATION SHEET FOR ROOF/ATTIC &	
	4.	UNDERFLOOR VENTILATION CALCULATIONS. PROVIDE FLOORING TRANSITION STRIP BETWEEN DISSIMILAR MATERIALS.	G 2 O U P
	5.	MECHANICAL & PLUMBING VENTS THROUGH EXTERIOR WALLS SHALL BE EQUIPPED WITH WALL CAP, BUILT-IN BACKDRAFT DAMPER & BIRD SCREEN.	
		 WILDLAND URBAN INTERFACE FIRE HAZARD AREA A. EXTERIOR WALL COVERING ARE CONSTRUCTED OF NON-COMBUSTIBLE MATERIALS. B. EXTERIOR WALL VENTS (CRAWL SPACE VENTS, COMBUSTION AIR VENTS, ETC.)SPECIFY SUCH OPENING SHALL BE COVERED W/CORROSION-RESISTANT NON-COMBUSTIBLE WIRE MESH WITH MESH OPENINGS OF 1/8 INCH MAX. PER CRC R337.6.2. 	email: jer@jerdesigngroup.com 408.843.8067 c
	6. 7.	FOR ROOM FINISHES, SEE ROOM FINISH SCHEDULE SHEET SEE INTERIOR ELEVATION SHEETS FOR MOUNTING HEIGHTS OF BATHROOM ACCESSORIES, COUNTERTOP HEIGHTS.	
	8. 9.	SEE SHEET A-0.1 FOR ABBREVIATIONS, LEGENDS, SYMBOLS. WHERE DOOR LOCATIONS ARE NOT SPECIFIED, CENTER IN WALL OR INSTALL 4" FROM FACE OF ADJACENT WALL FRAMING.	
	10. 11.	ALL INTERIOR WALLS TO BE WALL TYPE C U.O.N SEE WALL LEGEND. EACH BEDROOM AND OUTSIDE SLEEPING AREA, PROVIDED WITH A SMOKE AND CARBON MONOXIDE DETECTORS INSTALLED IN A ACCORDANCE WITH CRC. R.315 CARBON MONOXIDE ALARMS COMBINED WITH SMOKE SHALL COMPLY WITH SECTION R315, ALL APPLICABLE STANDARD, AND REQUIREMENTS FOR LISTING	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR
-	FLO	AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL, FOR SMOKE ALARM.	- USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
1	01	TOILET- SELECTED BY OWNER	-
	02	TOILET-PAPER HOLDER - SELECTED BY OWNER	
	03	PEDESTAL SINK - SELECTED BY OWNER	
	04	MIRROR - SEE INTERIOR ELEVATIONS FOR DIMENSIONS	OWNER
	05	TOWEL BAR TO BE SELECTED - PROVIDE BLKG IN WALL COUNTER TOP - SELECTED BY OWNER	
	07	SHOWER, SEE DTL. AND , SHOWER SURROUND -	
	08	SELECTED BY OWNER SHOWER SHELF - SELECTED BY OWNER	
	09	SHOWER HEAD - SELECTED BY OWNER	
	10	PULL DOWN ATTIC ACCESS, SEE DTL.	
	11	LAVATORY AND FAUCET - SELECTED BY OWNER	S v
	12	GAS FIREPLACE - SELECTED BY OWNER	
	13	ADJUSTABLE SHOWER HEAD W/HANDSHOWER - SELECTED BY OWNER WALK-IN BATH TUB EQUIPPED WITH EXTENSION BOX TO FIT OPENING,	
	15	SEE DTL. DISHWASHER - SEE APPLIANCE & EQUIPMENT SCHEDULE REFRIGERATOR SPACE, PROVIDE RECESSED BOX FOR WATERLINE &	
	16	SHUT-OFF VALVE IN WALL FOR ICE MAKER - SEE APPLIANCE & EQUIPMENT SPEC. UNDERMOUNT FARM SINK, KITCHEN SINK WITH GARBAGE DISPOSAL - SELECTED BY OWNER	
	18	GAS RANGE COOKTOP - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	19		ESF IAL AV 424-11 ASEM
	20	WINE COOLER - SELECTED BY OWNER MILLWORK FINISH TO BE SELECTED BY OWNER - SEE INTERIOR ELEVATIONS	
	21	UNDERMOUNT VANITY SINK - SELECTED BY OWNER	
	23	BAR SINK - SELECTED BY OWNER, SEE DTL .	
	24	WALL-MOUNTED RANGE HOOD - SEE APPLIANCE & EQUIPMENT SCHEDULE	
	25	TEMPERED GLASS SHOWER SCREEN & DOOR CLOTHES DRYER - PROVIDE VENT TO EXTERIOR WITH BACKDRAFT DAMPER IN	
	26	ACCORDANCE WITH CMC 504.3.2 - SEE APPLIANCE & EQUIPMENT SCHEDULE CLOTHES WASHER - PROVIDE PLUMBING & GALVANIZED FLASHING PAN	4
	28	UNDER UNIT & RECESSED VALVE AND DRAIN BOX IN WALL PROVIDE NEW TEMPERED SHOWER GLASS DOOR WITH TOWEL BAR	
	29	CABINET SYSTEMS - N.I.C. TO BE PROVIDED & INSTALLED BY OWNER	
	30	DOWNSPOUT	
	31	BUILT-IN MICROWAVE & OVEN - SELECTED BY OWNER	
	32	UNDERCOUNTER LAZY SUSAN UNIT	
	33	TEMPER GLASS PANEL DOOR	MARK DATE DESCRIPTION
	34	BUILT-IN CABINET FOR TELEVISION	2 010924 PLANNING 2
	35 36	LAUNDRY SINK - SELECTED BY OWNER PROVIDE HOT & COLD WATER ROUGH-IN FOR N.I.C. WATER SOFTENER	
	37	CLOTHES ROD WITH 12" DEEP FIXED SHELF ABOVE, SEE DTL.	
	38	HANDRAIL - SEE DTL. BUILT-IN MILLWORK - SEE INTERIOR ELEVATIONS. REFER TO MILLWORK	
	39 40	DESIGN	PROJECT NO: 424-12-140 CAD DWG FILE: Y:\Shared\Project's\15411 National Ave. Los
	40	COLUMNS MDO WITH STONE VENEER BASE, SEE DTL.	DRAWN BY: Author/WG'S\240610 - Rev.
	42	LINEN CLOSET - PROVIDE 5-20" DEEP SHELVES - DETERMINE SPACING ON JOB WITH ARCHITECT & CLIENT.	Ramva Resi.rvt CHK'D BY: Checker COPYRIGHT: 2023
	43	PANTRY SHELVES - PROVIDE ADJUSTABLE SHELVES CRAWL SPACE VENTILATION AREAWAY - EXISTING LOCATION	JER DESIGN GROUP SHEET TITLE
	45	PATIO DECK CONCRETE OR COMPOSITE ASSEMBLY BY TREX OR EQUAL. COLOR TO BE SELECTED BY OWNER. (TO BE DETERMINED BY OWNER).	
	46	ROOF VENT (VENTILATION) OHAGIN 72 SQ.IN. NFVA. OR EQUAL, SEE DTL.	A1.3
	47		
	48	PRE-FABRICATED COLUMN COVER, SEE DTL.	
			SHEET OF 09/03/2024

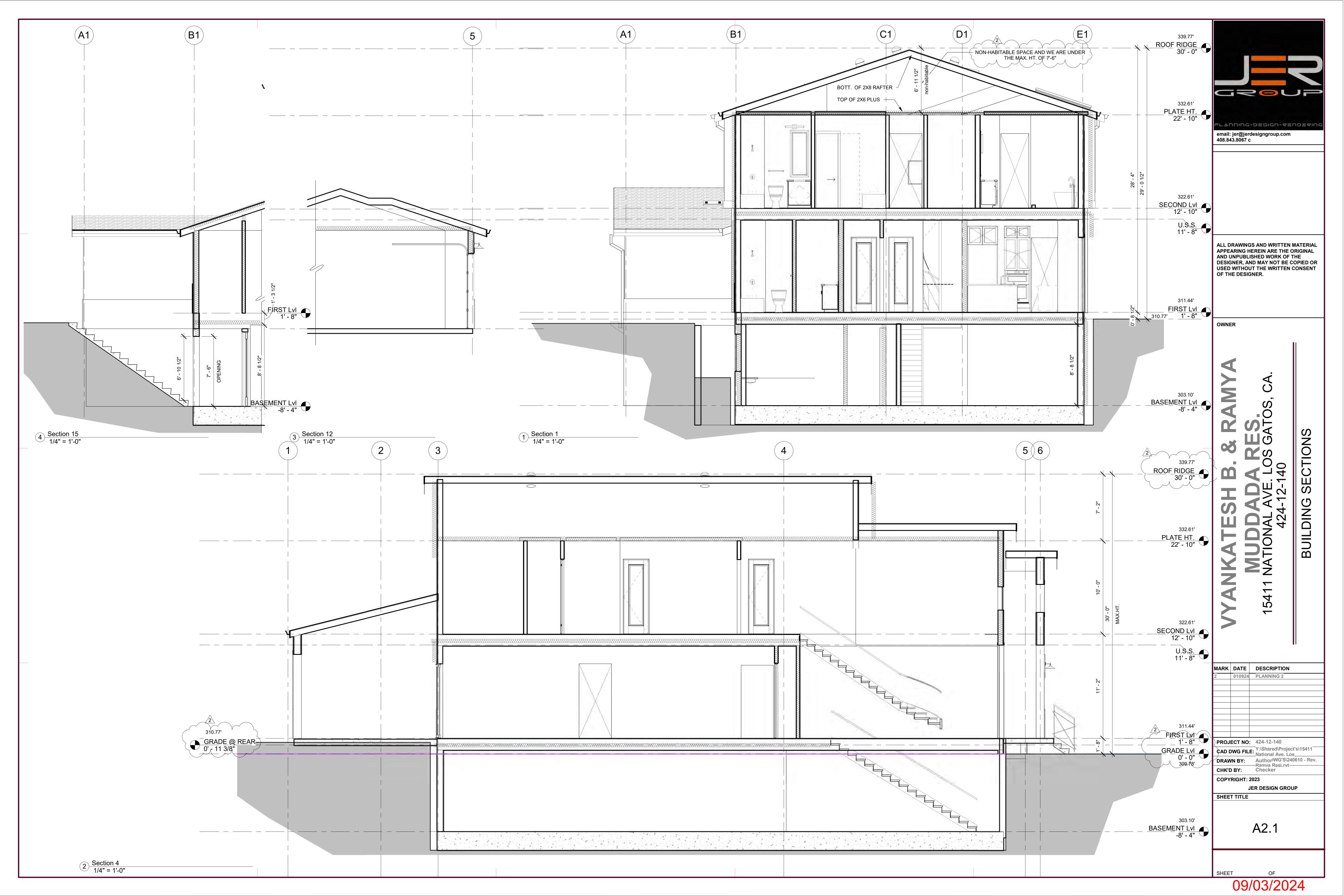


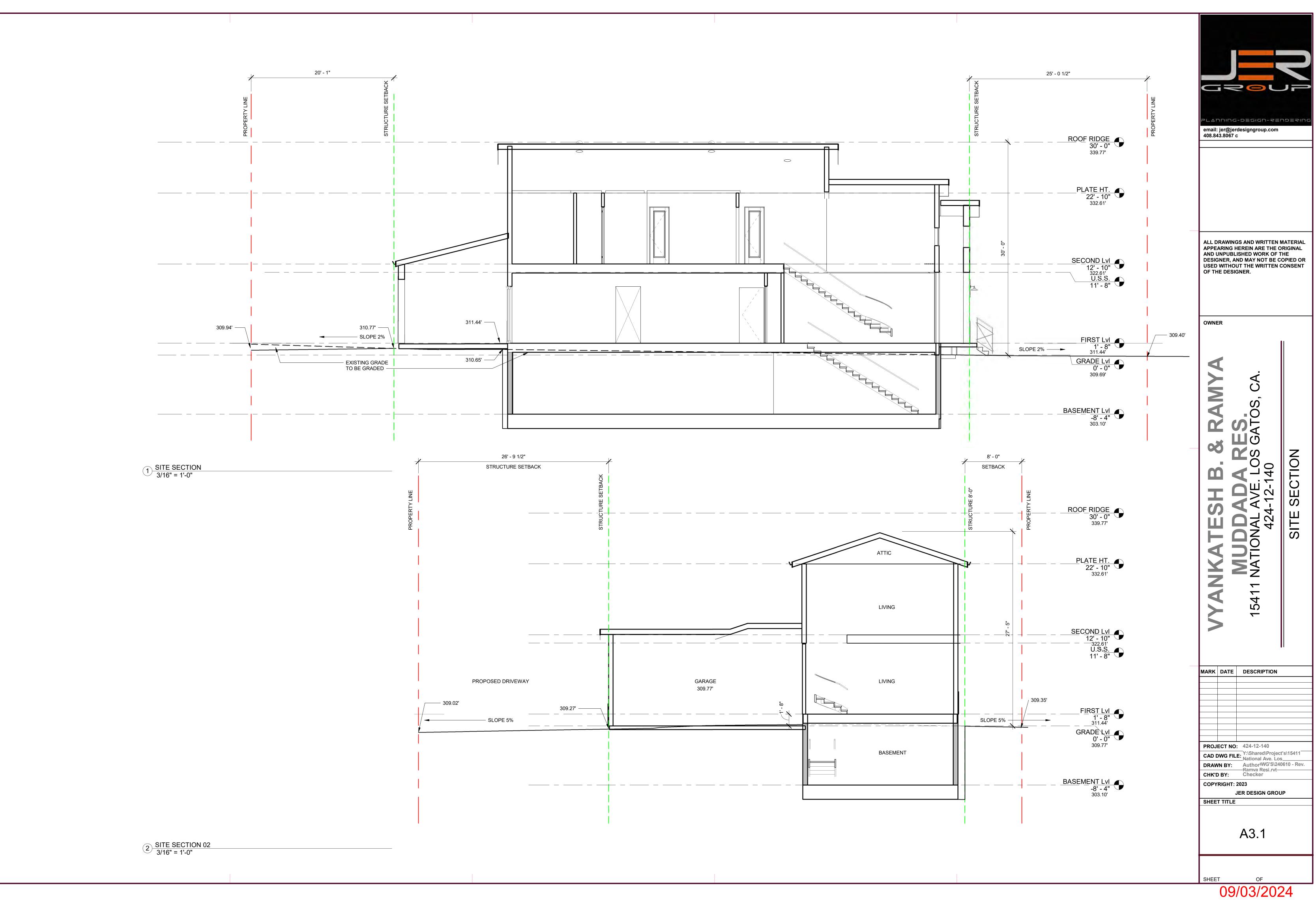
		-DESIGN-RE rdesigngroup.com	
APPE AND U DESIC USED	ARING H JNPUBL SNER, A WITHOU IE DESIG	GS AND WRITTEN HEREIN ARE THE (ISHED WORK OF ND MAY NOT BE (UT THE WRITTEN GNER.	ORIGINAL THE COPIED OR
WANKATESH P. P. DAMVA		15411 NATIONAL AVE. LOS GATOS, CA. 424-12-140	MAIN STRUCT - ROOF PLAN
 MARK	DATE	DESCRIPTION	
CAD I DRAW CHK'I COPY	DWG FIL /N BY: D BY: RIGHT:	: 424-12-140 E: Y:\Shared\Projee National Ave. Lo Author/WG'S\22 Ramva Resi.rvt- Checker 2023 JER DESIGN GRO	40610 - Rev.
SHEE		A1.4 _{OF} /03/202	24

-(A1)

2 A2.1

-**D1**





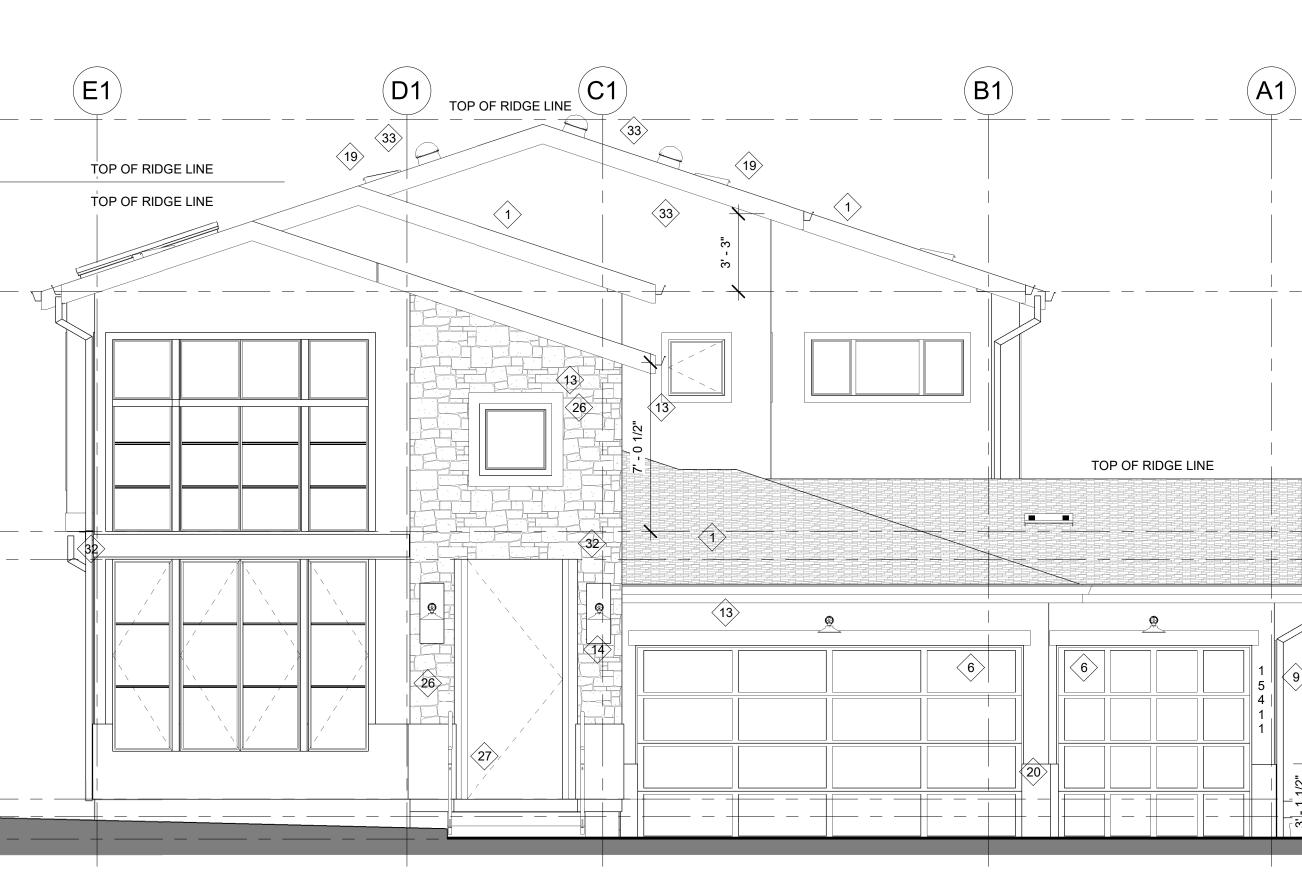
1 FRONT ELEVATION 1/4" = 1'-0"

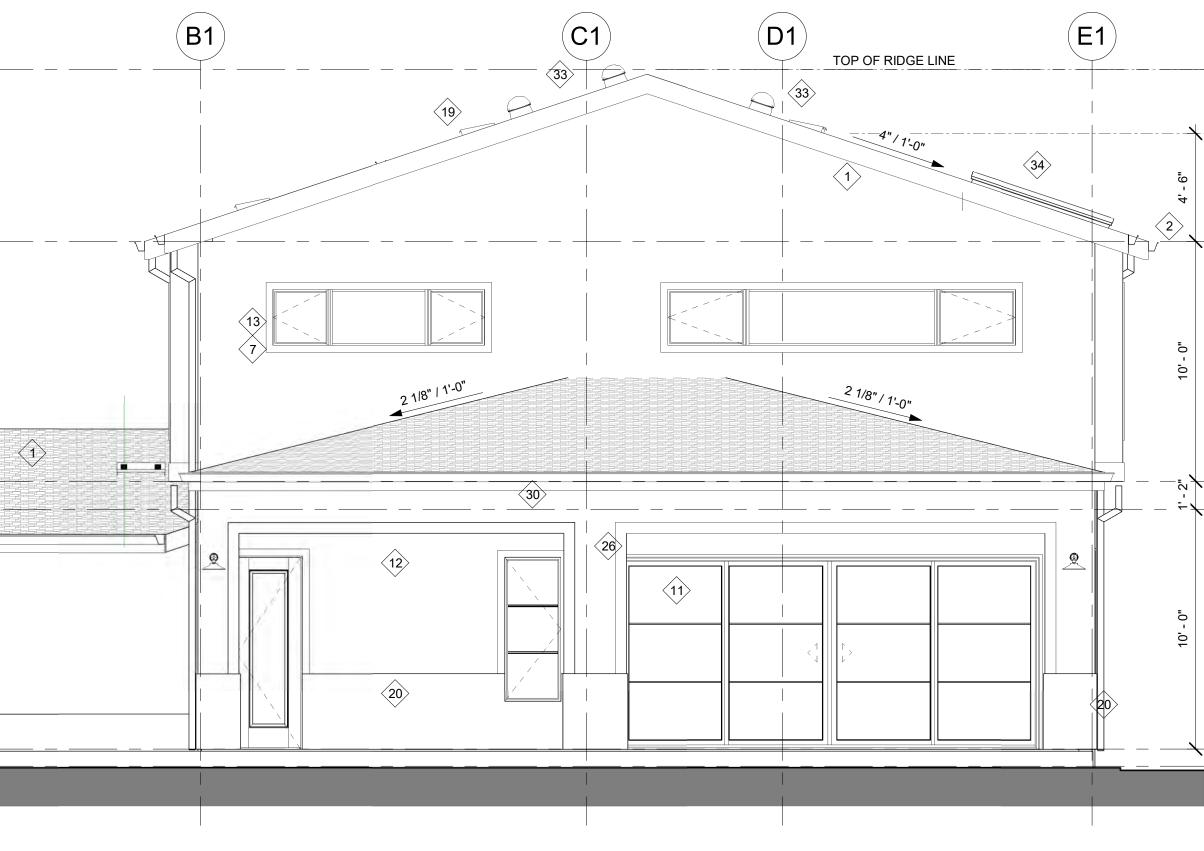
A1

2 REAR ELEVATION 1/4" = 1'-0"

ELEVATION KEYNOTES

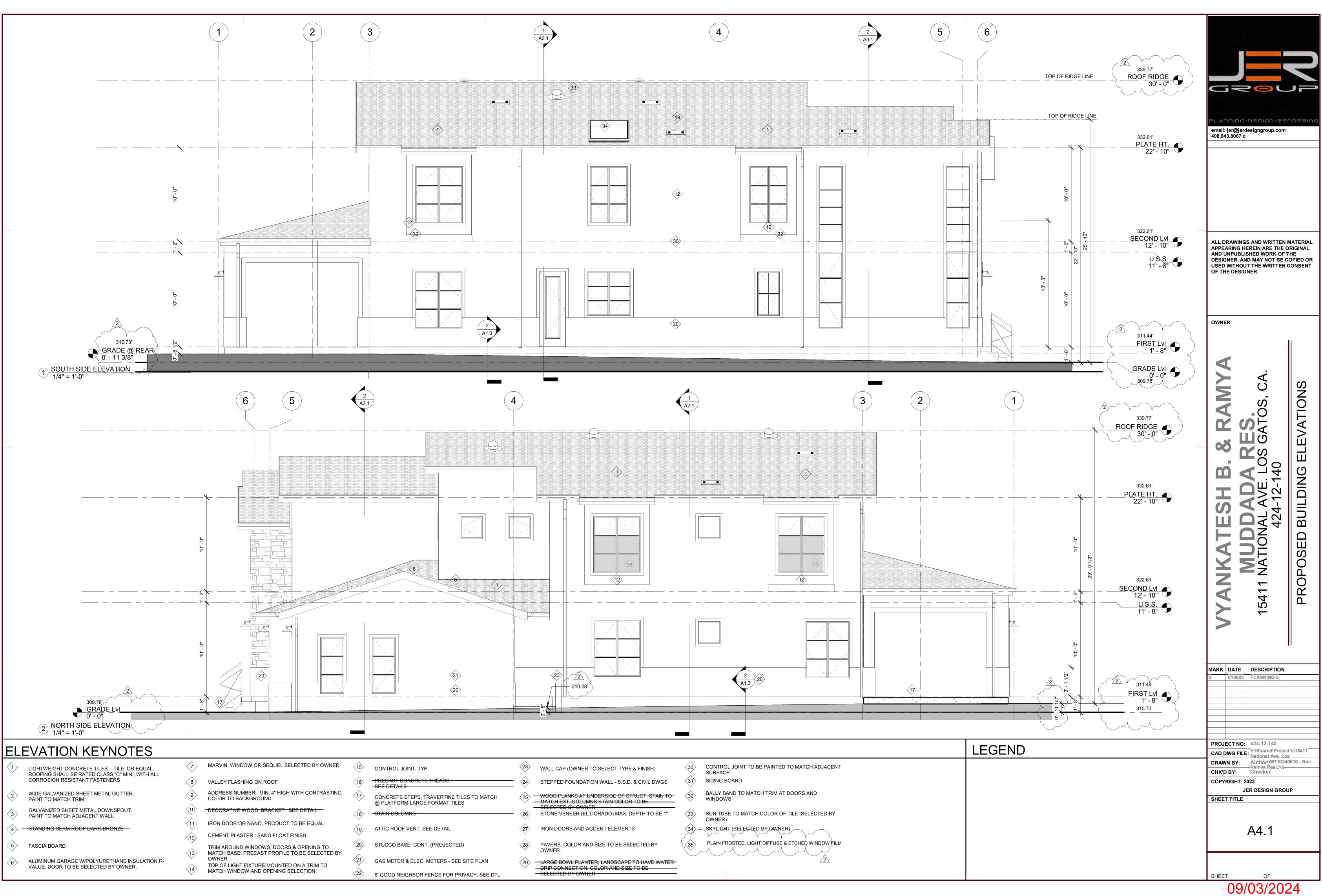
	LIGHTWEIGHT CONCRETE TILES - TILE OR EQUAL. ROOFING SHALL BE RATED CLASS "C" MIN., WITH ALL	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	MARVIN WINDOW OR SEQUEL SELECTED BY OWNER	15	CONTROL JOINT, TYP.
	CORROSION RESISTANT FASTENERS		VALLEY FLASHING ON ROOF	(16)	-PRECAST CONCRETE TREADS. -SEE DETAILS
2	WIDE GALVANIZED SHEET METAL GUTTER. PAINT TO MATCH TRIM	9	ADDRESS NUMBER. MIN. 4" HIGH WITH CONTRASTING COLOR TO BACKGROUND	(17)	CONCRETE STEPS, TRAVERTINE T @ PLATFORM LARGE FORMAT TILE
3	GALVANIZED SHEET METAL DOWNSPOUT. PAINT TO MATCH ADJACENT WALL		DECORATIVE WOOD BRACKET. SEE DETAIL	18	- STAIN COLUMNS
	STANDING SEAM ROOF DARK-BRONZE	(11)	IRON DOOR OR NANO, PRODUCT TO BE EQUAL	× (19)	ATTIC ROOF VENT. SEE DETAIL
		(12)	CEMENT PLASTER : SAND FLOAT FINISH	\sim	
5	FASCIA BOARD		TRIM AROUND WINDOWS, DOORS & OPENING TO	20>	STUCCO BASE CONT. (PROJECTEI
6	ALUMINUM GARAGE W/POLYURETHANE INSULATION R-	(13)	MATCH BASE, PRECAST PROFILE TO BE SELECTED BY OWNER	21>	GAS METER & ELEC. METERS - SEE
	VALUE. DOOR TO BE SELECTED BY OWNER.	14	TOP OF LIGHT FIXTURE MOUNTED ON A TRIM TO MATCH WINDOW AND OPENING SELECTION	22>	6' GOOD NEIGHBOR FENCE FOR PF



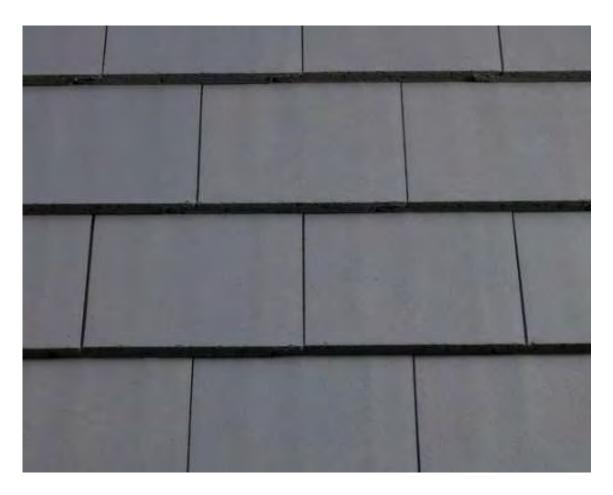


	23>	WALL CAP (OWNER TO SELECT TYPE & FINISH)	30>	CONTROL JOINT TO BE PAINTED TO MATCH ADJACENT SURFACE
	24	STEPPED FOUNDATION WALL - S.S.D. & CIVIL DWGS	31	SIDING BOARD
TILES TO MATCH LES	25	WOOD PLANKS AT UNDERSIDE OF STRUCT. STAIN TO- MATCH EXT. COLUMNS STAIN COLOR TO BE	32	BALLY BAND TO MATCH TRIM AT DOORS AND WINDOWS
	26	SELECTED BY OWNER STONE VENEER (EL DORADO) MAX. DEPTH TO BE 1"	33	SUN TUBE TO MATCH COLOR OF TILE (SELECTED BY OWNER)
	27	IRON DOORS AND ACCENT ELEMENTS	34	SKYLIGHT (SELECTED BY OWNER)
ED)	28>	PAVERS, COLOR AND SIZE TO BE SELECTED BY OWNER	35	PLAIN FROSTED, LIGHT DIFFUSE & ETCHED WINDOW FILM
EE SITE PLAN	29	- LARGE BOWL PLANTER, LANDSCAPE TO HAVE WATER- - DRIP CONNECTION, COLOR AND SIZE TO BE		
PRIVACY, SEE DTL	-	SELECTED BY OWNER		

7 - 2"	339.77' ROOF RIDGE 30' - 0" 332.61' PLATE HT. 22' - 10"	PLANNING-DESIGN-RENDERING email: jer@jerdesigngroup.com 408.843.8067 c
10' - 6 1/2" 10' - 0" 10' - 0" 10' - 0"	$\frac{100}{12} \times \frac{322.61'}{12' - 10''}$	ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN ARE THE ORIGINAL AND UNPUBLISHED WORK OF THE DESIGNER, AND MAY NOT BE COPIED OR USED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.
	311.44' FIRST LVI GRADE_@ REAR	OWNER
	0' - 11 3/8" GRADE Lvl 0' - 0" 339.77' ROOF RIDGE 30' - 0"	B. & RAMYA A RES. LOS GATOS, CA. 140 IG ELEVATIONS
21'- 10 1/2" 26'-4 1/2"	$ \begin{array}{c} 332.61' \\ PLATE HT. \\ 22' - 10'' \\ \end{array} $	VYANKATESH E NUDDAD/ 15411 NATIONAL AVE. 424-12-1. PROPOSED BUILDIN
	311.44' FIRST Lvl GRADE @ REAR 0' - 11 3/8" 310.73'	MARK DATE DESCRIPTION 2 010924 PLANNING 2
	LEGEND	PROJECT NO: 424-12-140 CAD DWG FILE: Y:\Shared\Project's\15411 National Ave. Los DRAWN BY: Author\WG'S\240610 - Rev. Ramva Resi rvt
		CHK'D BY: Checker COPYRIGHT: 2023 JER DESIGN GROUP
		SHEET TITLE A4.0
		SHEET OF 09/03/2024



	23	WALL CAP (OWNER TO SELECT TYPE & FINISH)	30>	CONTROL JOINT TO BE PAINTED TO MATCH ADJACENT SURFACE
	24	STEPPED FOUNDATION WALL - S.S.D. & CIVIL DWGS	31	SIDING BOARD
E TILES TO MATCH ILES	25	WOOD PLANKS AT UNDERSIDE OF STRUCT. STAIN TO MATCH EXT. COLUMNS STAIN COLOR TO BE SELECTED BY OWNER	32>	BALLY BAND TO MATCH TRIM AT DOORS AND WINDOWS
	26	STONE VENEER (EL DORADO) MAX. DEPTH TO BE 1"	33>	SUN TUBE TO MATCH COLOR OF TILE (SELECTED BY OWNER)
	27>	IRON DOORS AND ACCENT ELEMENTS	34	SKYLIGHT (SELECTED BY OWNER)
TED)	28	PAVERS, COLOR AND SIZE TO BE SELECTED BY OWNER	35	PLAIN FROSTED, LIGHT DIFFUSE & ETCHED WINDOW FILM
	29	- LARGE BOWL PLANTER, LANDSCAPE TO HAVE WATER - DRIP CONNECTION: COLOR AND SIZE TO BE		2



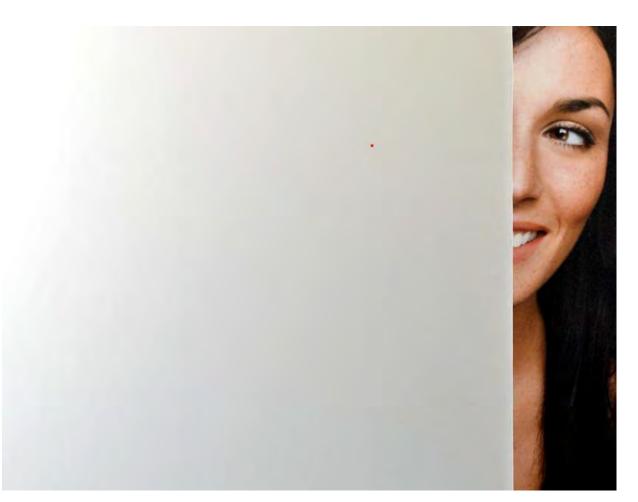
CONCRETE LIGHT TILES ROOF ROOF TYPE CLASS A



mmmmmm

WALL MOUNTED SCONCE DOWN-LIGHT

Lunnun /



WINDOWS PANEL DIFFUSE EXTERIOR SIDE WINDOW PANELS, ON THE NORTH SIDE ELEVATION TO BE PLAIN FROSTED, LIGHT DIFFUSING & ETCHED FILM. THE TWO LOWER PANEL ON BOTH WINDOWS.



MOLDING



SMOOTH STUCCO FINISH SIMPLY ELEGANT APPEARANCE





FACADE NATURAL STONE VENEER MAX. 2" THK



MARVIN OR EQUEL SLIDING DOORS





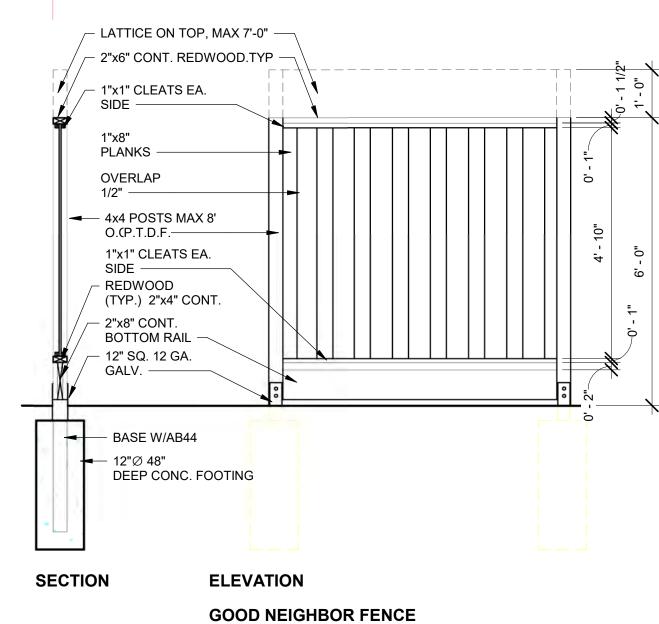
WAINSCOT SILL

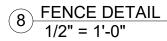


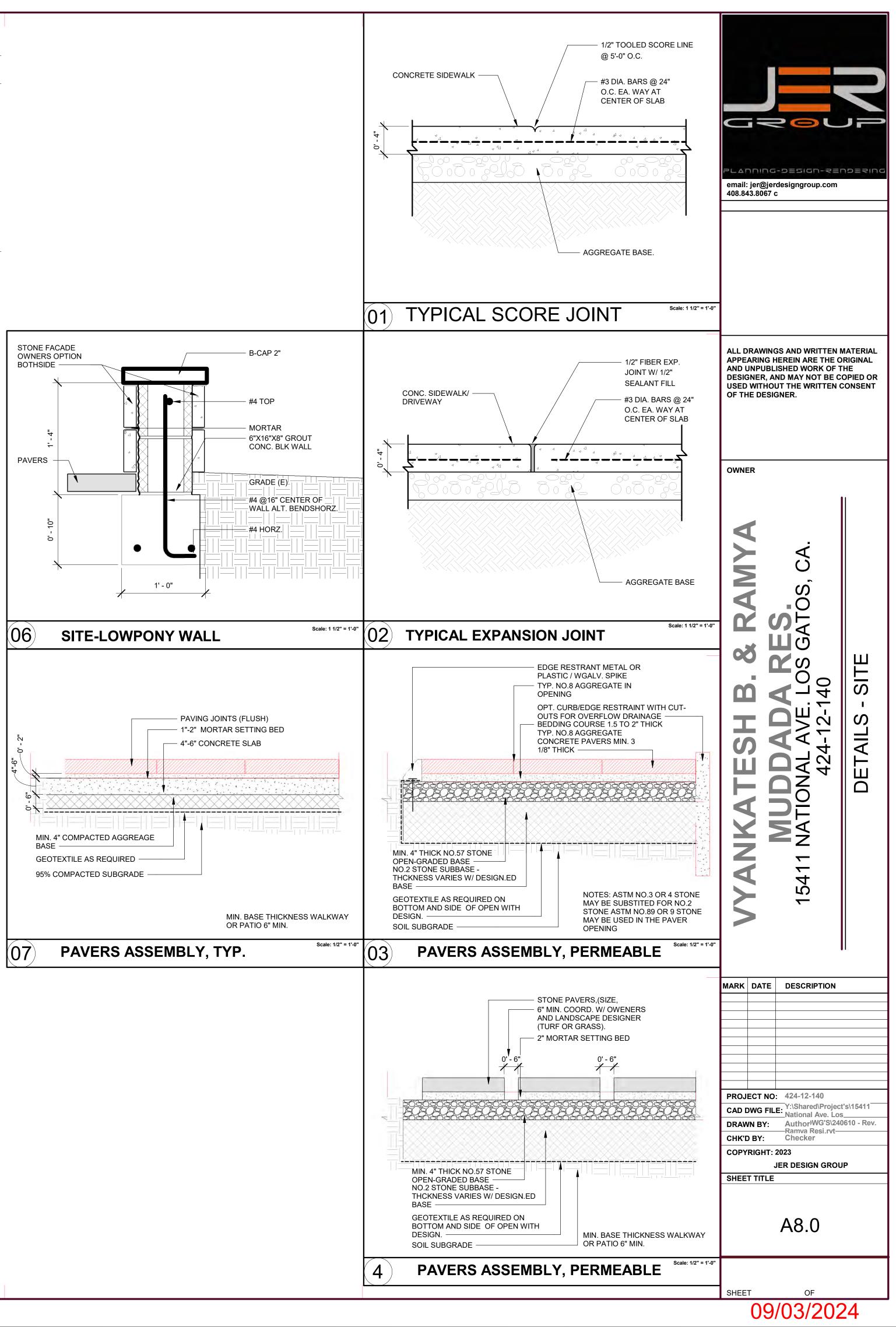
FRONT ENTRANCE

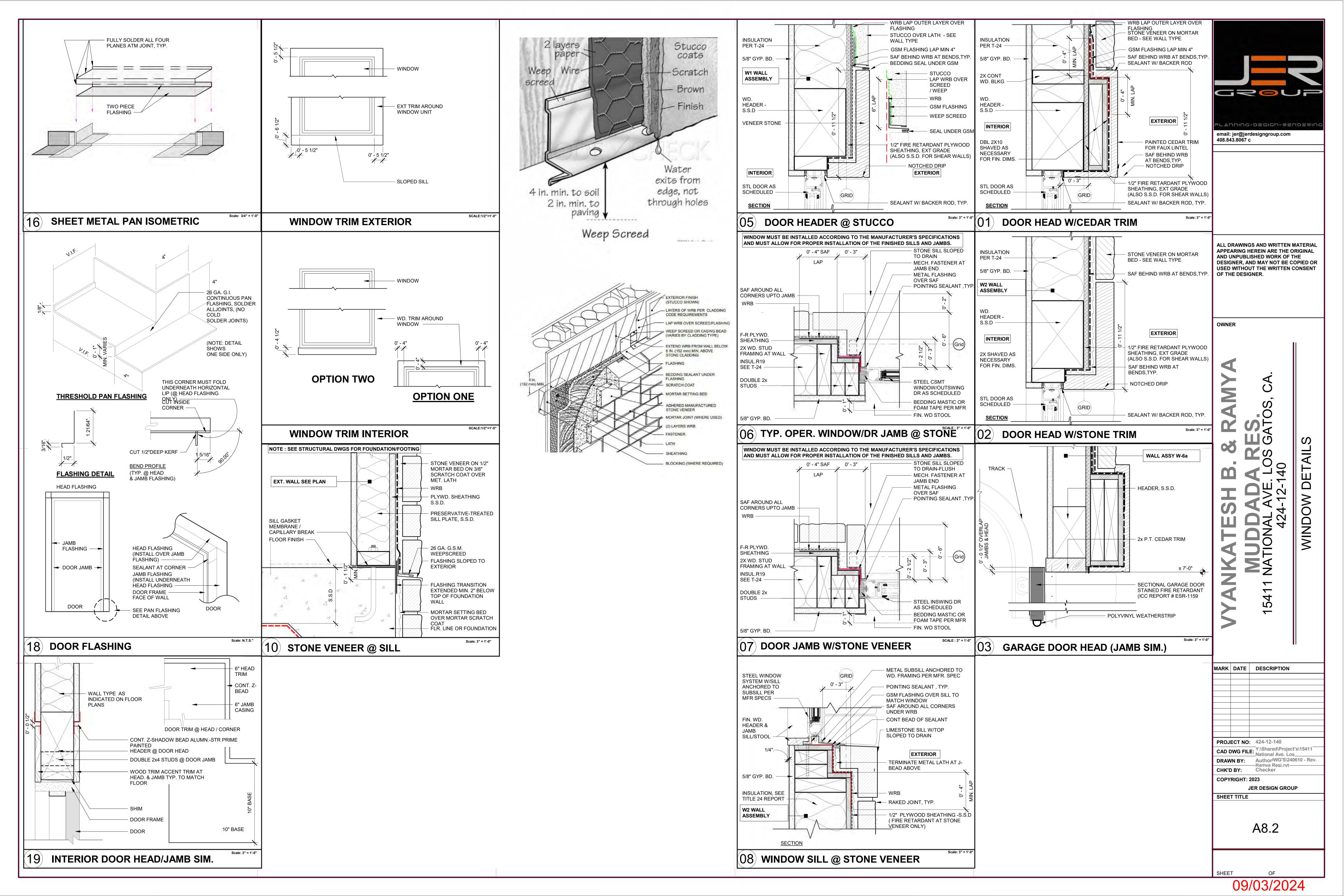
PLANDING-DESIG email: jer@jerdesigngro 408.843.8067 c	יטטו≽≡סט≡צוטס
ALL DRAWINGS AND W APPEARING HEREIN AR AND UNPUBLISHED WO DESIGNER, AND MAY N USED WITHOUT THE WI OF THE DESIGNER OR A OWNER	RE THE ORIGINAL ORK OF THE IOT BE COPIED OR RITTEN CONSENT
VYANKATESH B. & RAMYA MUDDADA RES. 15415 NATIONAL AVE. LOS GATOS, CA.	4-12- 140 ELEVATIO
MARK DATE DESCR 01 231025 PLANN	
PROJECT NO: 424-12- CAD DWG FILE: Y:\Share folder\D DRAWN BY: Author Two.rvt CHK'D BY: Checke COPYRIGHT: 2019 JER DESIG SHEET TITLE	ed\Project's\New DWG'S\opt. two In Ramya Rev. Pr GN GROUP
SHEET OI	











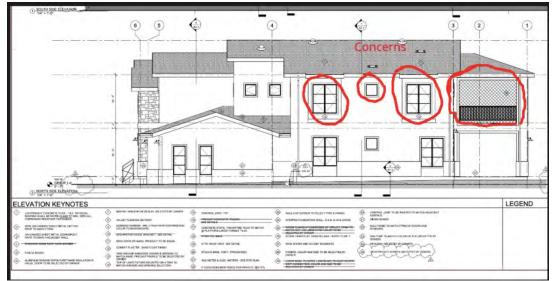
This Page Intentionally Left Blank

From: Sent: Wednesday, May 1, 2024 8:23 AM To: Erin Walters <EWalters@losgatosca.gov> Subject: Concerns Regarding Construction Project at 15411 National Avenue, Los Gatos

[EXTERNAL SENDER] Hi Erin,

I hope this email finds you well. I am writing to formally express my concerns regarding the construction project at 15411 National Avenue, Los Gatos.

Upon reviewing the architectural plans for the project, I noticed that the placement of windows and balcony on the second floor directly overlooks my master bedroom and master bathroom. As a result, my family's privacy is significantly compromised by this design.



Concerns marked in red

I have attempted to address this matter directly with the applicants, but unfortunately, I have not received a response to my previous communication. I reached out to them via email on 9th April, 2024 (attached email PDF), outlining my concerns and expressing my willingness to discuss potential adjustments to the design to mitigate the privacy implications for my family. However, I have not received any acknowledgement or response from them.

I believe that open communication and mutual consideration are essential in addressing neighborhood concerns and ensuring positive outcomes for all parties involved. Therefore, I am providing this email as part of the public comment for the project file and public hearing, as requested by your office.

I am hopeful that this email will prompt the applicant's team to engage in constructive dialogue to find a mutually satisfactory solution that respects the rights and privacy of both parties.

Thank you for your attention to this matter. Please let me know if you require any further information from my end.

Best regards,

, Los Gatos – 95032

5/1/24, 8:18 AM

Gmail - Respectful Request Regarding Privacy Concerns



Respectful Request Regarding Privacy Concerns

9 April 2024 at 05:34

Hi Ramya and Venkat,

I hope this email finds you well. I am writing to you with a matter of mutual consideration and respect in mind regarding the construction plans for your upcoming house.

While I understand the excitement and importance of your new project, I wanted to raise a concern that directly impacts my family's privacy. Upon reviewing the architectural plans, I noticed that the placement of windows and balcony on the second floor directly overlooks my master bedroom and master bathroom. As you can imagine, this prospect raises some privacy concerns for us.

I believe that open communication is key to maintaining positive relationships within our neighborhood, which is why I wanted to bring this matter to your attention early on. I am hopeful that we can find an amicable solution that addresses both our needs and respects each other's privacy.

Would it be possible to discuss potential adjustments to the design that could mitigate the privacy implications for my family?

I want to emphasize that my intention in reaching out is not to hinder your construction plans but rather to find a mutually satisfactory resolution that respects the rights and privacy of both parties. I am open to discussing this matter further and finding a solution that works for everyone involved.

Thank you for taking the time to consider my concerns. I look forward to hearing from you and discussing this matter further.

Best regards,

_os Gatos - 95032

From: LLL < Sent: Monday, May 6, 2024 10:22 PM To: Erin Walters <EWalters@losgatosca.gov> Cc:

Subject: re: APN424-12-40 Architecture site application S-23-033

[EXTERNAL SENDER]

Hello Erin,

We, Valeria Simets and Leo Rabinovich – owners of the property at the property at (APN 424-12-135) neighboring the parcel APN 424-12-40 have looked at the proposed building development plan site application S-23-033 and are concerned about the 2nd story porch overlooking the east side our property. The 2nd story porch is looking directly into our backyard with the family room and bathroom windows impeding on our privacy.

The trees proposed to be planted along the property line to create privacy will take years to mature, and when they do, the drip line will fall onto our property creating lots foliage like the existing oak trees from that property that we have to pay for to trim and constantly clean after. We propose to not build the 2nd story porch at all, or if it must be built, completely cover the West and North West facing sides of the porch.

We also propose for the trees to be planted further away from the property line fence so that the drip line is inside the property line of APN 424-12-40.

Thank you for your consideration,

Sent from Mail for Windows

From

Sent: Tuesday, May 7, 2024 10:45 AM To: Erin Walters <EWalters@losgatosca.gov>; Allen Meyer <AMeyer@losgatosca.gov> Subject: Privacy Concerns Regarding Construction Project at Backside of Blackwell., Los Gatos, CA -95032

[EXTERNAL SENDER]

Dear Erin Walters,

I hope this email finds you well. I am writing to formally express concerns regarding the construction project at 15411 National Avenue, Los Gatos, CA - 95032

After examining the architectural plans for the project, my family is

1. Concerned about the privacy due to a big two storied building. As our 3 bedrooms (including the Master Bedroom) are open to our backyard and it's a concern for the privacy of my family due this big construction.

2. This big two floored building is going to obstruct the view of the mountains and it's a claustrophobic for my family.

3. After hearing that we are going to have tree screening to obstruct view from their windows or big balcony, we are concerned about the time and maintenance of these trees going forward. Looking at the situation now, we are concerned about the maintenance.

4. As I mentioned, the way the bushes (vine iv) or sheds or barn roof iron sheets are maintained, I see animals (bobcats), snakes on the fence or barn roof and it's a big concern. Another concern about the flying barn roof iron sheets during the storm and not maintaining them.

5. Due to vine iv bushes in the back, growing on my shed and damaging the roof. Also the fence. My gardener cleaned the vines and also paid for the repair of fence in the past.

6. Looked at the latest plans at this link and here is the big balcony that my family is concerned about... <u>https://www.losgatosca.gov/2380/N</u>

Development-Plans---15411-National-Avenue-PDF (03/29/2024)



This situation gives rise to considerable privacy concerns for my family.

Thank you for your attention to this matter. Please let me know if you require any further information from my end.

Best regards, Venkat and Sahithi

Ph:

Blackwell., Los Gatos, CA - 95032



From: Sent: Monday, October 28, 2024 11:34 PM To: Erin Walters <EWalters@losgatosca.gov> Subject: APN424-12-40 Architecture site application S-23-033

[EXTERNAL SENDER]

Helow Erin,

After our first letter, see blow, our neighbors removed a balcony from plans and in our direct conversation promised to remove trees, however

I looked at existing plans and noticed that all trees are still present. If it is a plan to keep them, trees need to be move them from a fence, so all dripping area would be inside neighbor's yard.

Also, we would like to see engineering justification for prosed basement. We have concern that it can affect structural integrity of our house foundation.

Thank you for your consideration,

From: LLL < Sent: Monday, May 6, 2024 10:22 PM To: <u>EWalters@losgatosca.gov</u>

Cc:

Subject: re: APN424-12-40 Architecture site application S-23-033

Hello Erin,

We, Valeria Simets and Leo Rabinovich – owners of the property at (APN 424-12-135) neighboring the parcel APN 424-12-40 have looked at the proposed building development plan site application S-23-033 and are concerned about the 2nd story porch overlooking the east side our property. The 2nd story porch is looking directly into our backyard with the family room and bathroom windows impeding on our privacy.

The trees proposed to be planted along the property line to create privacy will take years to mature, and when they do, the drip line will fall onto our property creating lots foliage like the existing oak trees from that property that we have to pay for to trim and constantly clean after. We propose to not build the 2nd story porch at all, or if it must be built, completely cover the West and North West facing sides of the porch.

We also propose for the trees to be planted further away from the property line fence so that the drip line is inside the property line of APN 424-12-40.

Thank you for your consideration,



Sent from Mail for Windows

From: Sent: Tuesday, October 29, 2024 9:26 AM To:

Cc: Erin Walters < EWalters@losgatosca.gov> Subject: Re: Privacy Concerns Regarding Construction Project at Backside of Blackwell., Los Gatos, CA - 95032

[EXTERNAL SENDER]

Dear Erin Walters,

I am writing again to rise our concerns regarding the construction project at 15411 National Avenue, Los Gatos, CA - 95032 about the following issues after looking at the plans and letter with my neighbors.

My concern are

1. Privacy trees is a concerns as they are in our property. Rain water is going to drip into my property and it's a concern about the dry leaves(debris).

2. Privacy with the first floor gigantic 2 windows looking directly at my bedrooms is a big concern. We can't have any kind of privacy in backyard with these big windows.

3. We are concerned about the ADU on the plan next to my fence and the space space is very limited.

4. We are concerned about the underground ADU that is on the plan.

5. Overall having this gigantic 3 storied gigandintc structure between us (talking to neighbors also as they are also concerned).

I'm also attaching the pictures after they have this high preview from my bedrooms and backyard.









This situation gives rise to considerable privacy concerns for my family.

Thank you for your attention to this matter. Please let me know if you require any further information from my end.

Best regards,



Blackwell., Los Gatos, CA - 95032

On May 7, 2024, at 10:44 AM,

Dear Erin Walters,

I hope this email finds you well. I am writing to formally express concerns regarding the construction project at 15411 National Avenue, Los Gatos, CA - 95032

> wrote:

After examining the architectural plans for the project, my family is

1. Concerned about the privacy due to a big two storied building.

As our 3 bedrooms (including the Master Bedroom) are open to our backyard and it's a concern for the privacy of my family due this big construction.

2. This big two floored building is going to obstruct the view of the mountains and it's a claustrophobic for my family.

3. After hearing that we are going to have tree screening to obstruct view from their windows or big balcony, we are concerned about the time and maintenance of these trees going forward.

Looking at the situation now, we are concerned about the maintenance.

4. As I mentioned, the way the bushes (vine iv) or sheds or barn roof iron sheets are maintained, I see animals (bobcats), snakes on the fence or barn roof and it's a big concern.

Another concern about the flying barn roof iron sheets during the storm and not maintaining them.

5. Due to vine iv bushes in the back, growing on my shed and damaging the roof. Also the fence. My gardener cleaned the vines and also paid for the repair of fence in the past.

6. Looked at the latest plans at this link and here is the big balcony that my family is concerned about...

https://www.losgatosca.gov/2380/N

Development-Plans---15411-National-Avenue-PDF (03/29/2024)

<image001.png>

This situation gives rise to considerable privacy concerns for my family.

Thank you for your attention to this matter. Please let me know if you require any further information from my end.

Best regards,

Blackwell., Los Gatos, CA - 95032



From: Sent: Tuesday, October 29, 2024 11:44 AM To: Erin Walters <EWalters@losgatosca.gov> Subject: Re: Concerns Regarding Construction Project at 15411 National Avenue, Los Gatos

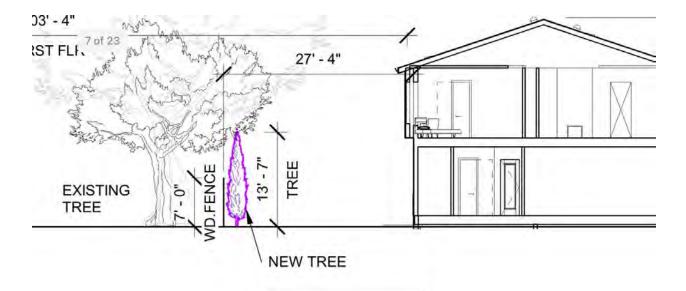
[EXTERNAL SENDER]

Hi Erin,

I hope you're well. I'm following up regarding my concerns on the construction project at 15411 National Avenue. I appreciate that story poles have been added to help visualize the structure's impact on the surrounding properties. However, after further assessment, I still have several concerns I'd like to raise:

1. Privacy: The current design of the second-floor windows, based on the story poles, continues to present a privacy issue. The placement and height of the windows appears to allow direct visibility into my master bedroom, bathroom (particularly the shower area), and backyard. Given the proximity, this remains a significant concern for my family's privacy. Additionally, the proposed new trees do not adequately shield the second-floor view. I've attached a few pictures below from my bathroom to illustrate this issue:





2. FAR Justification: The justification letter for this project refers to a few structures in the area to support the construction of a two-story building with a basement. However, I believe the examples used are not fully comparable. While the letter references Mission Oaks Medical Plaza (15400 National Ave) as an example of nearby multi-story construction, the plaza is a large hospital with a significantly different use case and footprint. The construction project at 15411 National is behind the front lot with no direct relation to the hospital, so quoting it as a basis for building a two-story structure plus a basement doesn ' t align with the property' s context.



3. Neighborhood Comparisons: A more fitting comparison is with nearby flag lot properties. For example:

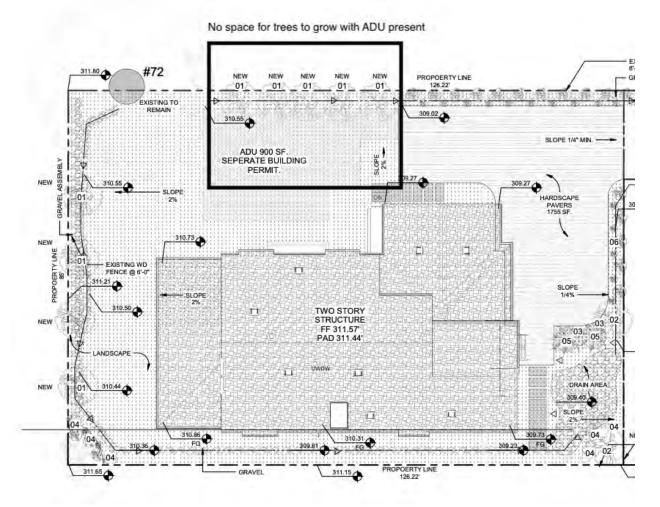
- 15439 National Avenue (Behind Lot): Constructed as a single-story, respecting the privacy of surrounding properties.

- 15461 National Avenue (Lot Facing National Avenue): Constructed as a two-story building, positioned in a more suitable location that aligns with the neighboring two-story medical plaza.

This example demonstrates a balanced approach in terms of height and placement for properties in similar configurations. It would be beneficial if the plans for 15411 National Avenue could similarly consider the neighborhood' s layout and aim to maintain harmony in both design and privacy.



4. Tree Placement: I also noticed that the proposed trees will overlap with the planned Accessory Dwelling Unit (ADU) location. Since the trees will be situated very close to the property line, I am unsure how effective they will be as a privacy barrier or how they will grow in such limited space. If planted near the fence, I worry that the ADU construction may interfere with the trees' ability to provide meaningful privacy coverage.



3. Basement Impact: Finally, I understand the project includes a basement. I am concerned about potential effects on my property' s foundation, as the excavation and subsequent construction could impact soil stability and drainage patterns.

I hope these additional observations provide helpful context for evaluating the project and its potential impacts. I am more than willing to discuss any of these points further to find an effective solution that protects my family's privacy and maintains neighborhood harmony.

Thank you for considering these concerns, and please let me know if I can provide any further information.

Best regards,

Blackwell Drive, Los Gatos - 95032

This Page Intentionally Left Blank



TOWN OF LOS GATOS PLANNING COMMISSION REPORT

DATE:	November 12, 2024
TO:	Planning Commission
FROM:	Joel Paulson, Community Development Director
SUBJECT:	Requesting Approval for Construction of a Single-Family Residence and Site Improvements Requiring a Grading Permit on a Vacant Property Zoned R-1:8. Located at 15411 National Avenue . APN 424-12-140. Architecture and Site Application S-23-033. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Vyankatesh and Rammy Muddada. Applicant: Jose Rama. Project Planner: Erin Walters.

<u>REMARKS</u>:

Exhibit 13 includes correspondence with neighbors provided by the applicant.

Exhibit 14 includes public comments received between 11:01 a.m., Friday, November 8, 2024, and 11:00 a.m., Tuesday, November 12, 2024.

<u>EXHIBITS</u>:

Previously Received with the November 8, 2024, Staff Report:

- 1. Location Map
- 2. Required Findings and Considerations
- 3. Recommended Conditions of Approval
- 4. Scope of Work
- 5. Letter of Justification
- 6. Photographs of Site
- 7. Consulting Architect's Report
- 8. Applicant's Response to Consulting Architect
- 9. Consulting Arborist's Report
- 10. Applicant's Summary of Neighborhood Outreach
- 11. Development Plans
- 12. Public Comments received by 11:00 a.m., Friday, November 8, 2024

PREPARED BY: Erin Walters Associate Planner

Reviewed by: Planning Manager and Community Development Director

PAGE **2** OF **2** SUBJECT: 15411 National Avenue/S-23-033 DATE: November 12, 2024

Received with this Addendum Report:

- 13. Applicant's Correspondence with Neighbors
- 14. Public Comments received by 11:01 a.m., Friday, November 8, 2024, and 11:00 a.m., Tuesday, November 12, 2024

From: Ramya Muddada		
Sent: Tuesday, November 12, 2	024 9:50 AM	
To: Erin Walters < EWalters@lo	sgatosca.gov>	
Cc: Vyankatesh B	; Jose (Architect) rama	>
Subject: Fw: 15411 Nationa Av	e Addressing comments received on 10.29.24	

[EXTERNAL SENDER]

Additional responses were received from neighbors, and I have also included the response sent to them,

Best,

Ramya

----- Forwarded Message -----

From: Ramya Muddada

To:

Cc: Vyankatesh B <

; Jose (Architect) rama

Sent: Monday, November 11, 2024 at 10:46:24 PM PST

Subject: Re: 15411 Nationa Ave. - Addressing comments received on 10.29.24

Hello

It is sad and disheartening that you are not willing to acknowledge the steps we have already taken and the additional efforts we are making to protect the privacy of our neighbors. But I want to reiterate the following:

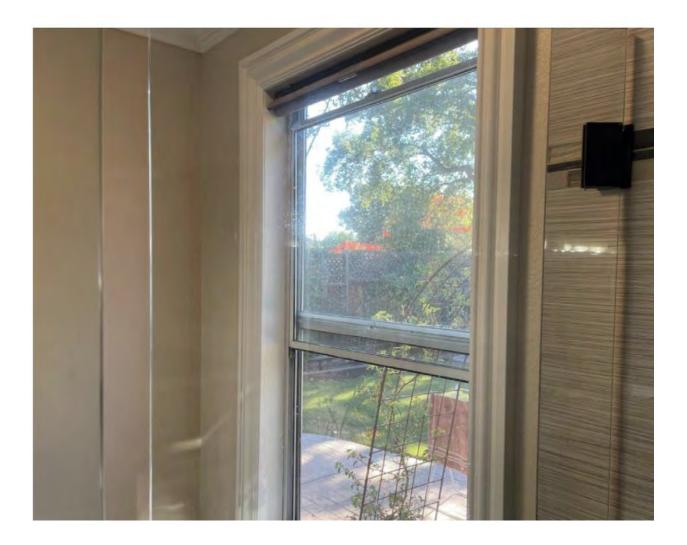
1. We have removed the whole balcony from the back of our property, and there are no windows with a line of sight to our backyard or our neighbors property.

2. The two-story bedroom windows on the north elevation face the Blackwell Drive rear yards, and they will have obscure/frosted glass—which would result in we not having a view of our side yard that would mean we don't have a view to your bathroom either.

3. We are also adding 5 Leyland trees to add more privacy.

And with regards to your shower area:

The only clear view in this photo is an area where our garage roof would be situated.



Lastly - we need not copy/imitate the same design as the other flag lot (please note the design, style, and requirements of the build are two decades old).

But I still want to provide a bit of history on the 15439 National Ave property. The house in the back was first built, and the subdivision was made later. The only space to split was the front, which resulted in a significantly higher FAR than the city's allowed FAR. In my case, we have a property in the front and subdivided the back, where we are proposing a two-story single-family residence.

Hope this helps,

Best,

Ramya

On Saturday, November 9, 2024 at 03:42:28 PM PST, Construction of the second seco

Hi Ramya,

Thank you for your response. I appreciate your consideration of the privacy concerns. However, I still have some reservations regarding the effectiveness of the giant tree in fully covering the view of my bathroom shower. The suggestion that visibility isn't an issue due to the distance (>100 feet) doesn't entirely address the privacy risk, as visibility remains a concern even with this distance.

Additionally, I believe the comparison to the neighbor's two-story building on Blackwell Drive is not fully aligned with the context of your project. There are notable differences:

The neighboring property on Blackwell Drive is not a flagpole lot, whereas your construction is.
 Their house was constructed before I purchased my current property, and its windows do not directly overlook sensitive areas of my home, like the bathroom shower.

As such, I believe this comparison is less relevant than the example I shared in my previous email. A closer and more appropriate comparison would be with the property at "15439 National Avenue", which, like yours, is a flagpole lot.

I appreciate your understanding and consideration of these points and look forward to working toward a resolution that respects the privacy needs of all parties.

Best regards,

On Mon, 4 Nov 2024 at 11:02, Ramya Muddada worden wrote: > Good Morning worde,

>

> Thank you for the comments/concerns sent to the city, which will be addressed below:

>

> 1. Privacy: The current design of the second-floor windows, based on the story poles, continues to present a privacy issue. The placement and height of the windows appears to allow direct visibility into my master bedroom, bathroom (particularly the shower area), and backyard. Given the proximity, this remains a significant concern for my family's privacy. Additionally, the proposed new trees do not adequately shield the second-floor view. I've attached a few pictures below from my bathroom to illustrate this issue:

>

> Thank you for the picture - which clearly shows that the Oak tree branch obstructs the bedroom window from 15411. The only clear structure visible from your photo is the garage; we have also addressed the privacy concern in the email sent on 07.31.2024

> 1. Removing the balcony from the plans (please see the revised attached plans)

> 2. Adding 5 Leyland trees – Know the best trees to create privacy.

> 3. A privacy layer (blurred windows) covers the window's line of sight (mentioned in the housing development guidelines).

> 4. The giant oak tree will be the best privacy screen.

> 5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

> I also want to add that you have a neighbor with a two-story building with three windows facing your property, and the distance between the windows is less than 20f

> 3. Neighborhood Comparisons:

>

>

> We need not replicate any construction style in the neighborhood as it is not a community-based construction; we have used our neighbors on Blackwell Dr as an example to propose the 2-story (one of them is your neighbor).

>

>

> 4. Tree Placement:

>

> The image on the architectural drawing may not provide an accurate image of the tree; it just shows the placement of the trees. The proposed privacy trees can easily grow in a 4x4 area.

> Adequacy of privacy is also addressed in my first point and on my 07.31.2024 email.

>

> 3. Basement Impact:

>

> The basement/cellar is proposed according to town codes.

>

> Please let me know if you have any additional questions or concerns,

>

> Best,

> Ramya

>

From: Ramya Muddada <		
Sent: Tuesday, November 12, 2024	12:42 AM	
То:		
Cc: Vyankatesh B	>; Jose (Architect) rama	>; Erin
Walters < EWalters@losgatosca.gov>	>	
Subject: Re: Your neighbor at 15411 National Ave (APN 424-12-40 Site application S-23-033)		

[EXTERNAL SENDER]

Hello ,

Unfortunately, you are unwilling to acknowledge the steps and additional efforts we have taken to protect our neighbors ' privacy.

But I want to reiterate the following:

1. We have removed the whole balcony from the back of our property, and there are no windows with a line of sight to our backyard or neighbor's property.

2. The two-story bedroom windows on the north elevation face the Blackwell Drive rear yards, and they will have obscure/frosted glass.

This would result in us not having a view of our side yard, which would mean we don't have a view of your bedrooms either.

3. We are also adding 5 Leyland trees to add more privacy.

Best,

Ramya

On Thursday, November 7, 2024 at 04:16:43 PM PST, Contraction of the second sec

Hi Ramya,

The concerns we raised with the city and also we are asking the city and you about the same concerns.

You are saying in this email, the privacy or other concerns we mentioned to the city are not going to resolve.

We will ask during the city hall meeting on Nov. 13th and see what city is going to say.

Privacy, Hazard from the trees, Building such a huge structure inside in the backyard very risky.

Thanks

On Nov 5, 2024, at 8:45 PM, Ramya Muddada wrote:

Hi

This email addresses the concerns/comments sent to the city on 10.29.24

The image on the architectural drawing may not provide an accurate picture of the tree; it just shows the placement of the trees. The proposed privacy trees can easily grow in a 4x4 area and will grow within our property line; said that the photos you shared show plants near the fence. Will you also ensure the drip line of those plants, when grown, is within your property

Our first-floor windows shouldn't be a concern due to the fence. Still, I think you meant 2nd floor - The two windows combined on our property are smaller than the combined two windows on your home; even though you have more windows than us,

However, we've ensured we provide additional privacy, which was addressed in my 07.31.24 email. I am also repeating them below

1. Removing the balcony from the plans.

2. Adding five non-deciduous trees – Know the best trees to create privacy (less debry as they are nondeciduous trees)

3. A privacy layer (blurred windows) covers the window's line of sight (mentioned in the housing development guidelines).

4. The current giant oak tree will be the best privacy screen.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

I would like to point out that one of your neighbors, who is also two-story, has a clear view of your bedrooms and backyard through their side window, which is less than 20 feet in distance.

So, as you know, ADUs are not part of this application.

Again, I think you meant two-story and not three. I also want to point out that our property is just a little over 500 sqft larger than your property, which doesn't qualify as gigantic.

Please let me know if you have any additional questions or concerns.

Best,

Ramya

On Wednesday, July 31, 2024 at 01:49:03 PM PDT, Ramya Muddada wrote:

Hello

After reviewing all the neighbors' comments and concerns, we have decided to take more steps to mitigate the privacy concerns.

Below are all the things done/available to address the privacy concerns of the neighbors about the two windows and balcony:

1. Removing the balcony from the plans (please see the revised attached plans)

2. Adding 5 Leyland trees – Know the best trees to create privacy.

3. Privacy layer to cover the line of sight of the window (mentioned in the housing development guidelines).

4. The current oak tree will be trimmed and will be the best privacy screen even after the trim.

5. The distance between windows (yours and proposed) is over 100ft, which should be considered while discussing privacy.

Please let me know if you have any more questions or concerns,

Best,

Ramya

On Sunday, May 12, 2024 at 02:48:07 PM PDT, Ramya Muddada < worker wrote:

Hello

Thank you for the comments sent to the planning, we take privacy concerns of 15411 and all immediate neighborohood very seriouly as mentioned on the email sent to you early morning of May 7th,

Below are the resposes to the comments sent (**bold**):

1. Concerned about the privacy due to a big two storied building. As our 3 bedrooms (including the Master Bedroom) are open to our backyard and it's a concern for the privacy of my family due this big construction.

We are mitigating the privacy concern by planting 3-4 Leyland trees which are commonly used to create privacy, this would cover all of the view from the 2 windows you see in the plan- These are evergreen trees with minimal maintenance, in addition to the Leyland trees we are going put privacy layer to cover line of sight of the window please see the attached (please note this refence only not exact). I would also bring to your attention that the proposed structure of 15411 is similar to your two storied structure, but due to the placement of site location the house might look big.

2. This big two floored building is going to obstruct the view of the mountains and it's a claustrophobic for my family.

All most all the mountain viewing is obstructed by the tree in your backyard or trees on my other side of my property and with regards to claustrophobic - your neighboring house which is of same height as yours's much closer to you (appro.10ft) then 15411 structure (over 80ft in distance from your structure to the purposed structure).

3. After hearing that we are going to have tree screening to obstruct view from their windows or big balcony, we are concerned about the time and maintenance of these trees going forward. Looking at the situation now, we are concerned about the maintenance.

As mentioned in my previous email and above Leyland trees are evergreen trees with minimal maintenance, and as we are going to be living on that property, we would be maintaining the Leyland trees. With regards to balcony - 80 % of the view from balcony will be blocked by the huge oak tree we share in the back yard and then for the remaining % we are going to install privacy screen on the balcony mentioned in my previous email. (please see the attached for the balcony screening)

4. As I mentioned, the way the bushes (vine iv) or sheds or barn roof iron sheets are maintained, I see animals (bobcats), snakes on the fence or barn roof and it's a big concern. Another concern about the flying barn roof iron sheets during the storm and not maintaining them.

As we are proposing to build a beautiful house replacing all the sheds there wouldn't be any flying barns roofs - this proposal would improve/enhance the neighborhood and also increase the value of the properties in the immediate neighborhood, with regards to bobcats and snakes - was the animal control called as this is first time I am hearing about it, please let me know immediately when you see any sighting of either bobcats or snakes as we all have kids and pets and need immediate attention, but all of this wouldn't be problem once the purposed plan comes to fruition results.

5. Due to vine iv bushes in the back, growing on my shed and damaging the roof. Also the fence. My gardener cleaned the vines and also paid for the repair of fence in the past.

This shouldn't be a concern - as you and I are working on getting a new fence on a different email, the only request I had made was that we trim the Oak tree we share first.

6. Looked at the latest plans at this link and here is the big balcony that my family is concerned about...This situation gives rise to considerable privacy concerns for my family.

Addressed on Comment # 3.



November 12, 2024

Town Planning Division

Ms. Erin Walters 110 E. Main Street Los Gatos, CA 95030

Subject: Objection to Building Proposal at 15411 National Avenue

Dear Members of the Town Planning Division,

We are writing to formally express our strong objection to the proposed building plans for the flag lot located at 15411 National Avenue. As adjacent neighbors, we are deeply concerned about the scale, mass, and bulky design of the proposed structure, which we believe is out of character with the surrounding neighborhood. After careful consideration of the plans, we feel that this proposal is not only inappropriate for the area, but that it will have negative and long-lasting consequences on the quality of life, as well as property values, views, and privacy, for those of us who live in close proximity to the site.

First and foremost, the proposed three-level, sprawling building is far too large and voluminous in relation to the surrounding homes, specially given that it is located in a rear/flag lot in the middle of a city block. The sheer mass and positioning of the structure, towering over our backyards, as well as the blunt design will overshadow neighboring properties, creating an unharmonious and unbalanced feeling. This level of bulk is neither consistent with the existing homes nor appropriate for the size and position of the flag lot.

In addition, the immense size and the flag lot positioning of the proposed building will block sunlight from neighboring yards, creating shadows and darkening what were once sunny spaces enjoyed on a daily basis by adjacent families.

Moreover, the scale of the project will likely lead to undue increased noise and disruption after its construction, which will negatively impact the peaceful and residential nature of the area. The excessive size of the building and the stated intent to build multiple dwelling structures in the same flag lot as well as the adjacent one on the front of the property is likely to result in much higher traffic volume, disrupting the balance of the neighborhood. In evaluating the size of the proposed single family residence, it is important to factor all the proposed dwellings

The fact that this proposed house is in the middle of the city block, makes its enormous size clash with the surrounding area, but even if it where on the street, it would still be too massive, bulky and not in line with the rest of the residential neighborhood.

Additionally, the proposal does not adequately address important concerns about privacy, light and landscaping for neighboring properties. More specific concerns about this as well as proposed solutions are included in separate, individual letters from each of the neighboring property owners listed below. Another critical concern is the potential decrease in property values. With such an out-of-scale development in such close proximity overlooking all our backyards, we fear that the alteration of the neighborhood's character will make our properties less attractive to future buyers. Homes of this size, especially when they disrupt the overall harmony of the area, tend to have a detrimental effect on surrounding property values.

We kindly ask that you carefully consider the above concerns and that you take into account the potential adverse impact this proposal could have on the character, environment, and quality of life of our harmonious community. We strongly believe that the applicants need to scale back the design to something more appropriate for the neighborhood.

Thank you for your time and consideration.

Sincerely,

Concerned neighbors at



Ms. Erin M. Walters Los Gatos Community Development Department

Dear Ms. Walters,

As the owners of the property located at **express** in Los Gatos, we are writing to you to express our various concerns about the current application and intent to build on the flag lot at 15411 National Avenue, Los Gatos.

1) Size and position of the proposed structure: We believe the proposed structure's large massing and bulky style does not harmonize with the other houses in the neighborhood surround it, including ours, especially given its position in the flag lot, in the middle of the city block. The very large size of the side of the structure facing NNW into our property (see Fig.1 below) is not shown in the provided 3D views (see Fig.2) but it can be appreciated better by the (sagging) story poles. Decreasing the size of the structure to achieve a massing which is more harmonious with all the single-family houses surrounding it (see Fig.) is our first suggestion. We feel it is important to note that this flag lot at 15411 National Avenue is a recent subdivision created in 2020 from the lot at 15415 National Avenue by the applicants, who now own both (sub)lots. We believe the size of the original lot at 15415 National Avenue (before the subdivision) would have been more adequate for the dimensions of the proposed structure and the intended additional structures (ADUs) to be built to form a multi-dwelling complex, and it would have allowed for greater flexibility in their positioning to alleviate our privacy concerns (see section #2 below).

Note also in Figure that the hospital building located at 15400 National Ave is completely outside the view from any of the surrounding houses and thus does not contribute to the area around this flag lot, contrary to one of the arguments in the project approval request in favor of such a large structure.

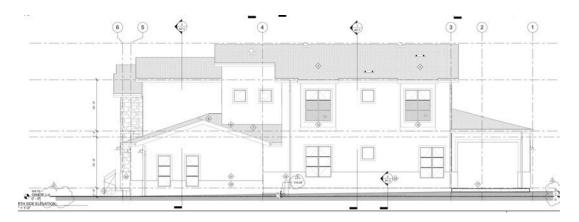


Figure 1 – Side of the house facing NNW into our property



Figure 2 – 3D views of the proposed house (NNW-facing side not shown)



Figure 6 – Aerial view of all the single-family houses around the proposed house. General area. Lot not precise.

2) Privacy concerns: The proposed three level structure raises serious various privacy concerns for us. Our houses face back. Since it is positioned in the center of the city block and given its very large size, it has numerous windows on its second and first floors facing our backyard, with direct visibility into three of our bedrooms and other outdoor and lower-level indoor living areas (family room). Additionally, we are concerned that the privacy concerns will worsen in the future due to the owners' stated intent of converting their flag lot into a multi-dwelling complex by subsequently adding (at least) two ADUs. The numerous windows facing upper- and lower-level indoor living spaces in our property in the proposed design correspond to two upstairs bedrooms, one upstairs bathroom, an upstairs storage room, and the downstairs garage, as shown in Figure 7.

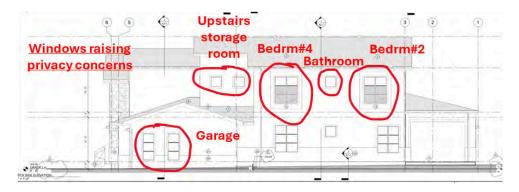
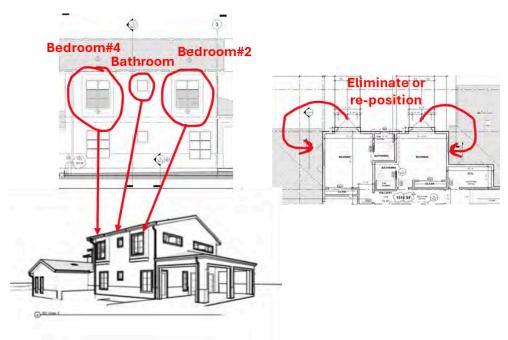


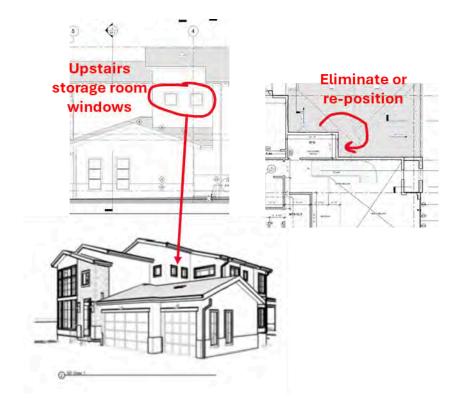
Figure 7 – Windows in the structure raising privacy concerns

The most optimum solution to address our privacy concerns would be to move Bedrooms #2 and #4 to the downstairs space directly below, currently shown as a "guest room" and as a very large "garage storage room." This would also decrease the size of the upstairs level and partially address our strong concerns about the size and massing of the structure described in section #1 above. Alternatively, these windows could either be eliminated or re-positioned. The details of our privacy concerns are as follows:

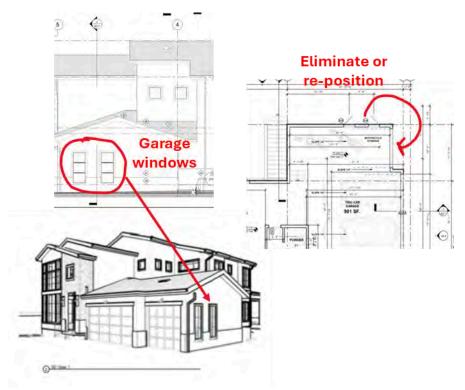
A. The windows in Bedroom #2, Bedroom #4, and the upstairs bathroom currently facing NNW have a direct line of sight into our master bedroom & bathroom upstairs, our bedroom upstairs, our bedroom downstairs, and our kitchen/family room.



B. The two windows facing NNW in the upstairs Storage Room have a direct line of sight into our master bedroom & bathroom upstairs, our bedroom upstairs, our bedroom downstairs, and our kitchen/family room.



C. The two windows currently facing NNW in the garage downstairs have a direct line of sight into our bedroom downstairs, and our kitchen/family room.



3) New trees: The current application shows the intent to plant privacy trees along the fence facing the property at , but not facing our property at Additionally, note that the drawing included on the application shown in Figure 8 below is property with "existing trees," although we erroneous since it shows our currently have no trees in our backyard. We request that privacy trees of the appropriate type and height be added to the applicant's side of the lot, with their drip lines fully on their property and thus with no maintenance requirements for us. Such trees should be high enough to address privacy concerns, but not too high in order to minimize blocking sunlight into our backyard. We would like to ensure that the location and the type of these privacy trees be enforceable, regardless of any future application for an additional ADU, which is the applicant's stated intent. Additionally, we would like to ensure that the maintenance of such trees by our neighbors be consistent and enforceable, given some concerns raised by past interactions while repairing our common fence and the generally poor state of maintenance by the current owners of the former structures on the flag lot (see Fig. 9).

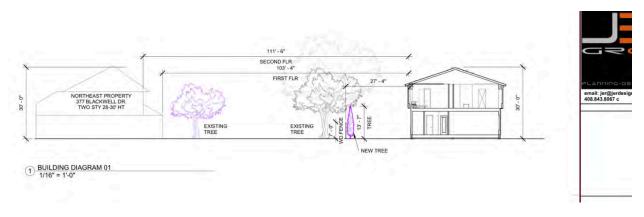


Figure 8 – Drawing erroneously showing existing trees on our property at



Figure 9 – View of the prior structures at 15411 National Avenue from our master bedroom (photo taken in May 2024, showing unrepaired storm damage on the roof from February 2024)

We thank you for your attention to this matter and are available to provide any further information or clarification.

Best regards,

Christian Urricariet and Hellen Martinez-Visbal

1	APPE	ARANCES:
2		
3	Los Gatos Planning Commissioners:	Steve Raspe, Chair Emily Thomas, Vice Chair Jeffrey Barnett
4 5		Susan Burnett Melanie Hanssen
6		
7	Town Manager:	Chris Constantin
8	Community Development Director:	Joel Paulson
9		Gabrielle Whelan
10	Town Attorney:	Gabrielle whelan
11	Transcribed by:	Vicki L. Blandin (619) 541-3405
12		(01), 511 5105
13		
14		
15		
16		
17		
18		
19		
20 21		
21		
22		
24		
25		
-		
		COMMISSION 11/13/2024 National Avenue
		1 ATTACHMENT 3

1	
2	<u>PROCEEDINGS:</u>
3	
4	CHAIR RASPE: We'll now move to the Public
5	Hearings portion of the agenda, and we have a number of
6	items tonight.
7	The first item is Item #2, requesting approval
8	for construction of a single-family residence and site
9	improvements requiring a Grading Permit on a vacant
10	property zoned R-1:8, located at 15411 National Avenue, APN
11	424-12-140, Architect and Site Application S-23-033.
12	Categorically exempt pursuant to CEQA Guidelines 15303 for
13	New Construction. Property owner Vyankatesh and Rammy
14	Muddada, and Applicant is Jose Rama.
15	First by a show of hands, Commissioners, can I
16	see those who have visited the property? Thank you, and are
17	there any disclosures this evening? Seeing none, Ms.
18	Walters, I believe you have a Staff Report for us.
19	
20	ERIN WALTERS: Good evening, Planning
21	Commissioners. The project before you this evening proposes
22	a two-story, single-family home on a vacant rear flag lot
23	located at 15411 National Avenue. The site is approximately
24	1,300 square feet. The site is located in a transitional
25	neighborhood along National Avenue. Single-family
	LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

1 residential development surrounds the property with a 2 combination of one- and two-story homes. Office and multi-3 family development is located across the street along 4 National Avenue. 5 The proposed single-family residence is б approximately 3,240 square feet and has a 901 square foot 7 three-car garage. The proposed residence and garage meet 8 the maximum allowable square footage and the maximum 9 allowable floor area ratio per Town Code. 10 The proposed project would result in the largest 11 residence in the immediate neighborhood by 511 square feet. 12 The proposed garage would result in the largest garage in 13 the immediate neighborhood by 124 square feet. The 14 Applicant has provided justification for being the largest 15 in the immediate neighborhood, and that can be found in 16 17 Exhibit 5. 18 The proposed residence does meet all required 19 setbacks, height, lot coverage, and parking requirements 20 for the zone. 21 The project was reviewed by the Town's consulting 22 architect who provided eight different recommendations. The 23 Applicant responded to all the recommendations through 24 design revisions, with the exception of meeting two 25 recommendations, which was Recommendation #1 and #5. The LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

Applicant has provided justification for not meeting those
 two recommendations in Exhibit 5.

3 The property owners have been in communication 4 with the surrounding neighbors regarding this project, and 5 a summary of their outreach can be found in Exhibit 10. б Neighbors have provided public comment and raised 7 concerns regarding neighborhood compatibility, privacy, and 8 landscaping, and that can be found in Exhibit 12. 9 To address the neighbors' concerns and address 10 the consulting architect's recommendations the Applicant 11 modified the project by reducing the second-floor massing, 12 removing the second-story rear balcony, using obscured 13 glass on the two-story bedroom windows facing the Blackwell 14 Drive rear yards, proposing to plant evergreen trees for 15 16 privacy screening, and providing large setbacks between the 17 subject property and the existing two-story rear elevation 18 along the Blackwell rear yard properties.

Development plans can be found in Exhibit 11, and then yesterday Planning Commission did receive an addendum report that had additional public comment.

Staff recommends denial of the project based on the concerns related to size, neighborhood compatibility, and consistency with the Residential Design Guidelines. However, if Planning Commission is able to make the

22

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

_	
1	required findings for approval, the findings can be found
2	in Exhibit 2.
3	This concludes the Staffs report and Planning
4	Staff as well as Public Works Staff is available for
5	questions.
6	CHAIR RASPE: Thank you, Ms. Walters. Commission,
7	any members have questions for Staff, either Ms. Walters or
8	any other members? Commissioner Burnett.
9 10	COMMISSIONER BURNETT: Yes, I do have a question.
11	The response from the Applicant regarding the response to
12	our architect's Recommendation #4, my reading is that he
13	did not want to extend the main roof form over the bay
14	windows. I don't see that on the revised front elevation.
15	ERIN WALTERS: Through the Chair, is it #4?
16	COMMISSIONER BURNETT: Yes. Well, it's Exhibit 8,
17	and I'm talking about #4. It was the response from our
18	architect's suggestion, and I don't see that in his revised
19	front elevation.
20	ERIN WALTERS: Number Four says extend the main
21	roof form over the bay windows on the side elevations.
22	COMMISSIONER BURNETT: Correct.
23	ERIN WALTERS: So, I think the Exhibit that is
24	right above #4 is showing the front elevation, but the
25	Applicant did respond to modifying the bay windows along
	Appricant ara respond to mourrying the Day windows arong
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue
	5

¹ the side elevations. The elevation that is shown underneath ² #8 shows that. The south side elevation, and the north side ³ elevation as well.

COMMISSIONER BURNETT: Okay, thank you.

4

5

21

CHAIR RASPE: Thank you. Any other questions for Staff? Seeing none, I believe the Applicant this evening is represented by their architect, Jose Rama. Mr. Rama, if you would approach the podium, and you have up to five minutes to speak on behalf of the entire team.

JOSE RAMA: My name is Jose Rama; I represent JER Design Group. I'm going to share my five minutes with the ownership.

Just echoing Erin's communication basically. We are following all the design guidelines with the exception of the belly band. That would be interrupting the surrounding of the perimeter of the building. It is a breakup element that we are providing by just having the roofline hitting the wall, and by having that belly band it would interrupt the actual aesthetic of the design.

The front aspect of the house is very straightforward. (Inaudible) accent wall accommodated by stone. Commissioner Burnett, regarding that overhang on the bay area, we implemented that into that set. We also changed the standing seam element to just straightforward

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 architectural shingles. Basically, those two elements were 2 very minor. We did one of them. The other one is the belly 3 band that is interruption. 4 Regarding massing of the requirements of the Town 5 of Los Gatos, we meet those requirements. The formula is б pretty clear. We are actually less than 23 square feet of 7 the total sum of the maximum requirements. 8 We did follow all the requirements that are 9 implementing into the design guidelines regarding height, 10 density, setbacks; there is no exception to that at all. 11 The garage itself, it's 901 as per the Los Gatos 12 requirement. 13 Regarding the density overall on the formula, we 14 are following a guideline, and the formula is pretty clear. 15 You follow the quidelines, you give that formula, and we 16 17 implement that into the set of plans. 18 There is another tier in your sheet on Design 19 Guideline #12, sheet #12. Refer to sheet #11 as well, that 20 because of the fact that we have an old, outdated design 21 guideline narrative, direction of the design guidelines in 22 general is a little bit outdated. Some of those homes on 23 adjacent properties are 30 years old. I don't know if they 24 have followed that formula or limited themselves to build 25 to a much smaller density within the site itself.

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1	The formula is pretty clear. The smaller the
2	property, the bigger the house. Using the formula in our
3	sense, the bigger the site, the smaller the house. It
4	should actually be the opposite of that. Just FYI on that.
5	Now I'm going to give it to the ownership to
6	discuss a little bit further in detail.
7	CHAIR RASPE: Yes, if you could approach the
8	podium and state your name for the record, and you'll have
9	about one-and-one-half minutes.
10	RAMMY MUDDADA: (Inaudible) increased time?
11	CHAIR RASPE: No, but we can ask you questions if
12	we need to, and at the end there is an opportunity after
13	the public speaks for you to speak. Thank you.
14 15	RAMMY MUDDADA: Good evening, Chair,
15	
10	Councilmembers, and Staff. Thank you for the opportunity to
18	present my case. I have shared a PowerPoint if (inaudible)
19	that would be great. But I'll start my (inaudible).
20	This is a single-family, two-story (inaudible)
21	sophisticated (inaudible) design and it (inaudible). I
22	think it's beautiful. It's a transitional home, so please
23	keep in mind (inaudible) and we are surrounded by-like my
24	architect said-office buildings, different setbacks,
25	different styles of homes and everything.
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 We are also saying that yes, we are the largest, 2 but please keep in mind that as the family grows, we need a 3 larger space. Me and my husband come from a multi-4 generational style of living, and we have our in-laws 5 coming in to stay with us. We think our kids will stay б longer with us, so we have accommodated that into the 7 house. That is one of the points I would like to bring in. 8 Thank you. As you can see, the time CHAIR RASPE: 9 goes quickly, so we apologize for that. But please don't 10 sit. Commission members, any questions for the Applicant? 11 Yes, Commissioner Barnett. 12 COMMISSIONER BARNETT: Your architect referred to 13 a reluctance to change the entry, which was objected to by 14 Mr. Cannon, the consulting architect, and also the belly 15 16 band. Can you explain why that's important to you? 17 RAMMY MUDDADA: Belly band, I'm sorry to say, it 18 doesn't fit with the design. If you see the design, the 19 belly band around it, because of the bay windows it doesn't 20 jibe with the design; that's why we don't want it. 21 But we also provide an example that Los Gatos did 22 approve homes without belly bands. The most recent 23 construction was on 16030 Escobar Avenue; even that doesn't 24 have a belly band. And not just that, my neighbor's home 25 that is two stories has stucco and doesn't have a belly LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

1 band. I have multiple examples to say Los Gatos did approve 2 two-story structures without belly bands, and because my 3 design doesn't look good, that's why I am hoping for that. 4 And with regard to your first question where you 5 said we did not comply, I don't have the Exhibit in front б of me, but if you see the comparisons, we did change the 7 tower. We had a huge tower in front of the entryway and we 8 actually reduced it massively and blended it in it make 9 sure the whole front is a plain one structure and not 10 sticking out like a huge tower. So, we did implement it; we 11 did not implement it fully. 12 COMMISSIONER BARNETT: Thank you so much for your 13 comments. 14 CHAIR RASPE: Commissioner Hanssen. 15 16 COMMISSIONER HANSSEN: You were talking about the 17 tower, and I wanted to go to your point about the belly 18 band thing as well. Have you and you architect read our 19 Residential Design Guidelines? 20 RAMMY MUDDADA: Yes, we did. 21 COMMISSIONER HANSSEN: I'll first talk about the 22 size. I don't know if you saw the statement in there that 23 the maximum FAR is not a goal, it's a maximum for a reason, 24 and while you're not exceeding it, it is also not a goal to 25 become the largest house in the neighborhood. I know that LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

1	you weren't purposely trying that and you're trying to
2	build a multi-generational home for your family, but not
3	every lot is well suited to being that kind of home. I'm
4	glad you've read the design guidelines, but that's one of
5	the reasons that this has come to the Planning Commission,
6	that if it's a compelling kind of thing that you have to
7	give a good explanation for it.
8	As far as the tower is concerned, if I heard your
9	response to Commissioner Barnett correctly, you have
10 11	modified the design since the consulting architect.
12	RAMMY MUDDADA: Yes.
13	COMMISSIONER HANSSEN: And the picture that you
14	showed here is the revision of that?
15	RAMMY MUDDADA: That's the one. Before, it was a
16	huge one, I mean literally huge, sticking out; it is
17	classified as a tower. This one, I would say, cannot be
18	classified as a tower because it's just blending in, but
19	the main structure before the corrected one was sticking
20	out and it was a tower.
21	COMMISSIONER HANSSEN: So, the response is that
22	even though it wasn't in your written response to the
23	consulting architect, you had actually partially addressed
24	your point.
25	
	LOS GATOS PLANNING COMMISSION 11/13/2024
	Item #2, 15411 National Avenue

1 RAMMY MUDDADA: Yes, it is there in the design, 2 before and after, in that exhibit-I forgot which one-where 3 it shows the original and revised. The picture clearly 4 shows that it was a tower first and now it is revised. 5 COMMISSIONER HANSSEN: I was looking at the б response that said that we don't need to deal with that, 7 because there are other houses in Los Gatos that have that. 8 RAMMY MUDDADA: Yes, that's the example I 9 provided; I think it was 16419 Shady View Lane. That had a 10 tower, and we could have kept it but I wanted to blend it 11 into the house, so we revised it not to have the tower, so 12 we did revise it. 13 COMMISSIONER HANSSEN: So, even though your 14 response in our packet indicated otherwise, you did go 15 16 ahead and at least partially address it. Okay, thank you. 17 RAMMY MUDDADA: I do want to say more about the 18 511 square feet which you brought up again. It seems huge, 19 511 square feet, it seems huge. I know we cannot compare 20 with the offices in front of my house, which I look at 21 every day. I mean you guys have visited (inaudible), and 22 you have seen it; it's right in front of me; it's a huge 23 structure. There is no telling about it. But, again, 24 discounting that 511 after two decades, if you see the 25 LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 overall homes, it's a minimum of two decades old home; it's
2 old homes.

3 Requirements have changed. Even now, I wouldn't 4 discount it, I'm just laying it out, more of nuclear 5 families, but in the past decades are staying a lot more б time. The in-laws are coming in to help. It's because of 7 the economic conditions, it's because of inflation and 8 everything, and we as parents want to address it ahead. I 9 have seen my own friends whose kids go to college, come 10 back, and work from their parents' homes, so I just want to 11 address that. 12 COMMISSIONER HANSSEN: Thank you for that. I 13 think you answered my question. 14 CHAIR RASPE: Thank you for those comments. 15 16 Commissioners, any other questions for the Applicant? Let 17 me just ask one quick question. A large portion of this 18 application addressed privacy issues with the neighbors. 19 Can you tell me what your current understanding is of the 20 privacy issues with the neighbors? 21 They say that our windows, not RAMMY MUDDADA: 22 side windows, are looking into their windows. But I 23 personally feel we have addressed all their concerns, 24 because we are frosting the windows. 25

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1	We have addressed multiple things. We had a
2	balcony before. Our neighbor who lives on Leila Court said
3	make sure you put privacy trees, make sure the dripline is
4	inside your space and the dripline doesn't go to their
5	space, and you are fine. They were okay with a smaller
6	balcony, but having seen so many questions about the
7	balcony, we removed it. We didn't even add line of sight
8	windows for our back side property. That means technically
9	we don't have a set of windows for our own back yard to
10	address our neighbor's privacy concerns.
11 12	Not just that. On our side yard, which is
13	in the north, we have frosted our windows, which means
14	frosted our windows for the line of sight. Anything line of
15	sight, we have frosted it. That means we ourselves don't
16	have a side yard view either. So, two sides, even though we
17	could have had windows, we don't line of sight windows, we
18	don't have a view for back yard and for our side yard.
19	CHAIR RASPE: So, is it fair to say then that you
20	think you've addressed all the neighbors' privacy concerns
21	to the best
22	RAMMY MUDDADA: To the best. And on top of that,
23	not just that, we are saying we'll put evergreen trees with
24	dripline in our property. We also said that from our window
25	to their window is 100 feet distance; that should play into
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1	the picture too. I understand you can't say window-to-
2	window, you have to say side yard, even the yard is 40 feet
3	away.
4	CHAIR RASPE: I appreciate the insight. I just
5	wanted to confirm your understanding.
б	RAMMY MUDDADA: If you think I missed anything,
7	please let me know.
8	CHAIR RASPE: I appreciate that. Commissioner
9	
10	Barnett.
11	COMMISSIONER BARNETT: I don't want to beat this
12	to death, but on the issue of the entry height, is it
13	correct or incorrect that Mr. Cannon reviewed the final
14	plan where you reduced the tower, removed the tower, but
15	you still left a large entry?
16	JOSE RAMA: There was a tower as a foyer entry,
17	double space; it's been entirely reduced. The height that
18	you see is only 17 feet. There is not much of an entry
19	anymore, it's just a little, small, just a percent of an
20	entrance.
21	The stone accommodates the hierarchy portion of
22	the building itself. There is not even a porch area there.
23	COMMISSIONER BARNETT: But what I'm trying to get
24	to is with Mr. Cannon's comment, which was adverse to the
25	entry. Was that in relation to the final plan?
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue
	15

1	JOSE RAMA: Yes, we reduced that. That's been
2	entirely redefined and revised. There's not a tower there
3	anymore; that's part of the house.
4	COMMISSIONER BARNETT: I understand about the
5	tower. But I'm trying to understand if Mr. Cannon's comment
6	about the entry was made <i>after</i> you reduced the size of the
7	tower.
8	
9	JOSE RAMA: Oh, no. That was in the beginning.
10	COMMISSIONER BARNETT: His comment was related to
11	the tower?
12	JOSE RAMA: Yes, sir.
13	COMMISSIONER BARNETT: And not the revision?
14	JOSE RAMA: No, sir.
15	COMMISSIONER BARNETT: Okay, thank you.
16	CHAIR RASPE: Thank you. Commissioner Burnett.
17	COMMISSIONER BURNETT: Yes, thank you. When you
18	purchased this property, being a flag lot adds a lot, there
19	are a lot of issues connected with that. Did you look at
20	other flag lot properties in the area? I did, and I noticed
21	that those homes that were built on the flag lots blended
22	in with the present neighborhood much better, where your
23	project is in the very middle of a block, so many different
24	homes are affected by its mass and density, and I'm
25	wondering when you wanted to do this project if you weren't
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue
	16

¹ thinking that maybe this would be too large for that flag
² lot in the middle of neighborhood, that most of the homes
³ there are just one story, smaller, so I was just wondering
⁴ what your thoughts were?

5

25

JOSE RAMA: The diagram of the adjacent property on Blackwell, the secondary perimeter is much wider, like 10', than ours is 36'. We are following the requirements. The flag lot is a narrow space, because the back becomes wider. We kept the setback, all the requirements.

On the north side on the properly line we have 11 80'; that's a big number we're discussing here. The width 12 of the house itself on the first floor, it's 48'. The 13 second story is only 36' max, and narrows to 20' only, so 14 we did put that in the equation there. It's a fitted lot, 15 16 so we are accommodating the size of the lot: narrow, 17 elongated. 18 COMMISSIONER BURNETT: Thank you for that. 19 RAMMY MUDDADA: If you don't mind, I want to add

20
20
20
20
21
CHAIR RASPE: Before you do, was your question

22
answered, Commissioner Burnett?
23
24
CHAIR RASPE: Okay, then the question has been

answered. Commissioners, any other question for the

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 Applicant? Seeing none, you may be seated, but at the end 2 you'll have another three minutes opportunity to speak. 3 RAMMY MUDDADA: But if you don't mind. 4 CHAIR RASPE: At the end you'll have three 5 minutes, please. Thank you. б I now open the matter to members of the public 7 who wish to be heard on this matter. I don't have any 8 yellow cards from anybody in the chambers, but if there is somebody in chambers ... Yes, I see somebody approaching. If 10 you could provide Staff with the cards. 11 All right, I have two cards here. The first card 12 is Helen M. If you would approach the podium, please, and 13 you'll have three minutes. 14 HELEN MARTINEZ: Good evening, Mr. Chairman. Good 15 16 evening, Vice Chair. Good evening, members of the Council, 17 Staff, members of the public and fellow neighbors. 18 My name is Helen Martinez. I am here as an 19 adjacent neighbor on the north/northwest side, the 20 Blackwell side, of the property. 21 I am here also with two other neighbors, present 22 physically as well as on Zoom, and tonight we want to 23 discuss four concerns that we have with this proposal. 24 Ideally, we'll try not to repeat ourselves for everybody's 25 sake; we'll give it our best shot. LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

I have two posters of the properties I will refer
to in a moment. You have files of these photos in your
packet. Those are the views from my property onto the lot.
The four issues that we want to address are the
size of the house, the size of the proposal, the size of
the building. The second is privacy; we all have very
serious concerns about that. The third is landscaping, and

the fourth is maintenance as it relates to the history over the last seven years with these neighbors.

When it comes to the size of the house, yes, this is a very special location. This would be a beautiful house, a great house, for another neighborhood, not for the middle of our back yards.

15 It is a rear lot, and it's not a rear lot that 16 was purchased as a rear lot, it's a rear lot that was 17 chosen to be a rear lot. The owners purchased the single 18 lot that went all the way from National Avenue to Leila 19 Court. They chose to subdivide this lot, which they have 20 every right to do.

21

At the time, in October 2020, corridor lots were not very popular here in Los Gatos, and it was approved because ideally, as the then-architect, Kurt Anderson, said in a justification letter as to why this should be approved, to make sure that the residences that were built,

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

one in the back and one in the front, would match what was in their neighborhood so that there wouldn't be an overly large, towering house proposed, and sure enough, that's what we ended up getting anyway.

5

22

Our houses that are on the north/northwest have the special architectural feature that our living areas all face the back; they all face this property. For two of us three of the bedrooms face that side, and the areas that most people use most in their house, our kitchen, family room, and that downstairs bedroom and area, so it's the spaces that we occupy the most in our house.

CHAIR RASPE: Thank you, your time is up. Before you sit down though, Commissioners, any questions for this speaker?

16 COMMISSIONER BARNETT: Do we have a better
17 representation of the photo, a better location so we can
18 actually see better. Maybe toward the front? Thanks.

CHAIR RASPE: While they're doing that, Commissioners, any other questions for this speaker? I think the Vice Chair has a question.

VICE CHAIR THOMAS: You said that size is a concern for you, and privacy, landscaping, and maintenance over the last seven years, so with regard to the size, can you explain very concisely what your main concern is?

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1	HELEN MARTINEZ: The main concern is that it just
2	doesn't fit in the area. It doesn't go along. It completely
3	disrupts the landscape from our homes. It's bulky, it
4	doesn't blend in, it's massive. Even though there is a
5	cellar or a basement that's been added of 12 to 700 square
6	feet, the whole point was to reduce the volume, and you can
7	see in the picture the size; it just does not blend in at
8	all.
9	The owners have plenty of space. They have 22,000
10	square feet, and now they have over 10,000, almost 11,000
11 12	square feet of space for their dreams and realization.
13	Our lots are 10,000 square feet and we value
14	landscaping, we value space. It's okay that they're
15	prioritizing something else, but it just cannot come at the
16	cost of our privacy.
17	VICE CHAIR THOMAS: Thank you. So, then your
18	second point was privacy. Can you just state your main
19	concern from your specific lot and your ownership, or where
20	you live? Thank you.
21	HELEN MARTINEZ: Sure. As you can see in the
22	pictures that are there, we have direct sight line pretty
23	much from the entire area facing us. Of course, the windows
24	upstairs that are two proposed bedrooms, that bathroom, and
25	then they even have a storage room that has windows
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 directly, directly, facing our house, our bedrooms, our 2 living areas, and even the garage doors on the bottom. 3 Because our house is at a certain height you have to take a 4 few steps to get into it and then the fence is lower, you 5 can completely see, even from downstairs, so those are the б main concerns from our house. 7 VICE CHAIR THOMAS: With regard to those two 8 things, is there any type of development on this lot that 9 you would be okay with? 10 HELEN MARTINEZ: Of course. Yes, of course. We've 11 addressed that there's a very similar lot nearby, but it's 12 towering, and they have a very unique ... 13 VICE CHAIR THOMAS: You answered my question. 14 Thank you. 15 16 HELEN MARTINEZ: Oh, sorry. 17 VICE CHAIR THOMAS: And then also your last 18 concern was landscaping. Can you just state what your 19 concern with landscaping is? 20 HELEN MARTINEZ: Yes, they have offered some 21 Leyland Cypress trees. All the neighbors have had serious 22 issues with the maintenance of trees currently. They are to 23 be in a 4'x4' area squinched together. First, they don't 24 resolve all my privacy issues; more trees would be needed. 25 But specifically, that type of tree, when they're together LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

¹ they're not maintained, which has been a big issue. They're
² not kept up. They're a fire danger, and they're going to
³ overlap over our fence.

VICE CHAIR THOMAS: So, what type of landscaping would you be happy with?

б HELEN MARTINEZ: We would like different types of 7 trees that do not grow to be 60' tall that cover more than 8 the house already requires. And by the way, my son is 9 allergic to cypress trees, so that also is a concern. 10 VICE CHAIR THOMAS: Okay, great. Thank you. 11 CHAIR RASPE: Thank you. Commissioner Hanssen. 12 COMMISSIONER HANSSEN: Following on our Vice 13 Chair's line of questions, the Applicant has stated in a 14 number of responses in our report from Staff about all the 15 16 things that they've done to try to address privacy. 17 Specifically, on your concerns of privacy, if as they have 18 stated they would have frosted windows on the back and the 19 side, what would be your additional concern about them 20 being able to see if they have frosted windows? Is there 21 something else?

HELEN MARTINEZ: Yes. Thank you for the question. The windows they they're proposing are not the only ones that directly face my property, it includes the storage room on the right. But frosted windows have to be

22

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 maintained. They don't block the entire view, and these 2 owners have had the opportunity to face towards the street, 3 the front, to face toward the back. That neighbor has no 4 second floor, has no windows, there's an attic. They've had 5 the opportunity to face diagonal. There is a one-story б house, to face the entire span of that very low lot where 7 there is nothing, to face diagonal towards Leila where 8 there is a cul de sac and even a basketball court. They've 9 had all these opportunities to position as much density as 10 they value, and they've put it directly in front of our 11 bedrooms, in front of our living area, and in front of our 12 yards. Frosted windows need to be maintained. 13

I've wrestled with how much to share in writing 14 or even in presentation with the problems that we've had 15 16 with maintenance. You can get a sneak peek of that in sheet 17 A0.8, the pictures on the right. Fences blowing off and 18 holes being there and not a willingness to resolve that. I 19 won't bore you with all the details, but it's been 20 extremely difficult, and this is an experience across the 21 board with neighbors that in fact didn't even come up 22 because when we get together, which is regularly. It's a 23 very harmonious neighborhood, we don't discuss this and it 24 came up when this proposal came up, so it's a concern to 25

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

¹ have those windows directly facing us when they had so many ² choices.

3 Even in the current design they have choices to 4 move those windows to the side. It seems that they have 5 this concern, they're not facing their yard. We invite б them, we encourage them, we would love for them to face 7 their own back yard or their own front yard and not have 8 those windows looking over ours. They chose to have a 9 higher density; they have an intention to add two 10 additional units. Please don't make our private back yards 11 where we spend every day with our child, our dog, our 12 families, be like the public square that the high-density 13 buildings get to overlook. 14

COMMISSIONER HANSSEN: I think I hear and 15 16 understand you. I would like to just go back to the frosted 17 windows for a moment. In my home-I live in Los Gatos, of 18 course-we do have one frosted window in the back of our 19 house in one of the bathrooms, and I don't know why it was 20 frosted; when we bought the house it was already 20 years 21 old. It overlooks the deck that's attached to our house. I 22 can't even see the deck from my frosted window, so I'm just 23 trying to understand how frosted windows wouldn't do it. I 24 understand that you would prefer that they have the windows 25 in other places, but if they can't see you and they had it,

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

¹ say, on the storage area too, I'm still trying to
² understand what the concern would be other than you wish
³ that they had put them in other places.

4 HELEN MARTINEZ: Excellent question. Right now, 5 they don't have a plan for them to be in that storage area б that directly overlooks ... Right now, they don't have a plan 7 for that, and they don't have a plan for putting it on the 8 middle bathroom window, so there are two bedrooms upstairs 9 and a middle window. They have no plan to put it on the 10 garage windows that for some reason are facing my property, 11 the garage, when there is all this space. 12

But frosted windows need to be maintained. 13 We also don't know the level of opacity, the 14 obscurity level. We cannot enforce that; we don't know it. 15 16 Big size windows, different size windows from my 17 understanding-I'm going to reveal that I'm not an architect 18 or a designer or in any way involved in this-the film 19 doesn't fully put the edge; there are still areas. It 20 truly, truly makes us so uncomfortable to have those 21 windows directly, and not just me and my property, but an 22 adjacent neighbor, and the neighbor even diagonal to that 23 who you will hear from. 24

25

COMMISSIONER HANSSEN: Okay, thank you.

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 CHAIR RASPE: Commissioners, any other questions 2 for the speaker? Seeing none, thank you so much. Our next 3 speaker then is Venkat Vonitla (phonetic). You'll have 4 three minutes, sir. 5 VENKAT VONITLA: My name is Venkat Vonitla and I б have the same concerns as Helen Martinez; I am next to her. 7 I'm behind the construction. 8 The only concern is privacy. We cannot use the 9 back yard. The big windows that they are going to have, 10 it's going to kill us. We cannot go to the back yard with 11 those windows. They need to do something about those 12 windows and the privacy. 13 And balcony, they took care of on the side, it's 14 directly looking towards mine and my neighbor's property. 15 16 They are saying five trees, but it's not going 17 to ... With the previous history, like a big oak tree and 18 flying sheets, I don't believe what they are saying like 19 five trees, we are going to maintain those trees, it's not 20 going to happen looking at the past history. 21 So, I'm worried about my privacy and that's all I 22 want to say. 23 CHAIR RASPE: Thank you for those comments. 24 Before you sit, Commissioner, questions for this speaker? 25 Commissioner Hanssen. LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

COMMISSIONER HANSSEN: What kind of house would not affect your privacy?

³ VENKAT VONITLA: I just want to go for being a
⁴ family like us, like what we have, not a big house with
⁵ multiple families living there, so I just want to have a
⁶ single-family, less windows, less construction. It's not
⁷ private. Privacy is a big concern.

15

8

VENKAT VONITLA: Yes.

16 COMMISSIONER HANSSEN: ...we can say nothing about 17 those. Every home in Los Gatos and all of California is 18 entitled to build at least one detached ADU and a Junior 19 ADU and it is a ministerial permit. They have to comply 20 with size requirements, but we can say nothing about it; 21 it's California law, so we can't really take that into 22 consideration with regard to this house, because everyone 23 in California can do the same thing and it's law. So, while 24 I appreciate what you're saying, it's not this family and 25 they can't change.

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 CHAIR RASPE: Thank you. The Vice Chair has a 2 question for you, I believe. 3 VICE CHAIR THOMAS: Thank you, and thank you for 4 that question, and thank you for coming tonight. My 5 question is just about what additional changes would you be б happy with regarding privacy? 7 VENKAT VONITLA: Single-family, smaller size, not 8 a huge building, I mean like not (inaudible) construction 9 (inaudible). 10 VICE CHAIR THOMAS: Okay, thank you. 11 CHAIR RASPE: Thank you. Any other questions for 12 the speaker? Seeing none, I have no more yellow cards for 13 speakers this evening, so thank you for those in the 14 chambers speaking on this matter. Do we have anybody on 15 16 Zoom for this matter? 17 DIRECTOR PAULSON: Thank you, Chair. I'm going to 18 allow "iPad 3" to speak. 19 CHAIR RASPE: iPad 3, if you're speaking on Item 20 #2, please state your name for the record and you'll have 21 three minutes to speak. 22 DAVID RATSABONYAH (Phonetic): My name is David 23 Ratsabonyuh. Good evening, everyone. And good morning to 24 me; it's 5:00am here. 25 LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue 29

1 I live at 369 Blackwell Drive, and I'm here to 2 express my privacy and safety concerns regarding the 3 construction plans at 15411 National Avenue. I understand 4 the desire to build, but the current design has significant 5 issues that I believe could be better addressed. б I think firstly, privacy. The second-floor 7 windows and balcony all look at my master bedroom, 8 bathroom, shower area, and back yard, creating a direct 9 sight line into sensitive areas of my home. 10 I think frosted windows or trees have been 11 proposed as privacy solutions; these may not fully address 12 my concerns. Frosted windows can still be opened and I 13 don't know what is the level of obscurity that they have. 14 I respectfully suggest design adjustments like 15 16 relocating the windows or using skylights that can prevent 17 this privacy invasion more (inaudible). 18 I think the second thing I wanted to mention was 19 like the justification letter that compares this project to 20 nearby structures, including a large hospital and two-story 21 building. However, these examples don't reflect the unique 22 nature of this flag lot. I think one of the Commissioners 23 pointed that out exactly. A more fitting comparison would 24 be nearby (inaudible) properties like 15439 National 25 Avenue, which maintain the neighborhood character by LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 building a single-story structure on its rear lot; that is 2 what the current neighbors are trying to do. 3 In summary, I am requesting adjustments that 4 protect my family's privacy and property, while allowing 5 sensitive development. Thank you for considering these б concerns, and I'm happy to work with the Applicants toward 7 a more mutually respectful solution. Thank you, folks. 8 CHAIR RASPE: Thank you so much, and before you 9 disconnect, Commissioners, any questions for this speaker? 10 Seeing none, thank you, sir. 11 Any other callers on Zoom? 12 DIRECTOR PAULSON: Thank you, Chair. I do not see 13 any other hands on Zoom. 14 CHAIR RASPE: Thank you so much. Then I'll ask 15 16 the Applicant. You have up to three minutes if you wish to 17 address any of the comments that you've heard today, and at 18 least from my own perspective, I encourage you to focus on 19 some of the privacy concerns. 20 JOSE RAMA: Right. Basically, they're talking 21 about windows. The laundry area has a 2' rear view window 22 at a height of 8'-6'', a peek-a-boo up there to oversee 23 that. They're not going to be frosted. 24 The two windows that are facing the north 25 portion, they are egress windows. We are under the LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

1 requirement of the 5.1 square feet as the minimum we have. 2 The two bays will be frosted, diffused, they can't see in, 3 they can't see out, but it is an operable window; it has to 4 be. The south portion is also (inaudible) window is not 5 frosted, but it's a height of 8', 6' of seal. б Regarding concerns about trees and the 7 maintenance of the trees, the only tree they have there is 8 an oak tree that is in great condition that is dividing that tree on 669 Blackwell Drive; it's in the center of the 10 property, and they provided a clarification that that tree 11 has to stay. 12 Also, the owner has retrofit the privacy fence, a 13 brand-new fence, that was just been installed maybe a 14 couple of months ago. 15 16 Regarding the cypress, we are keeping a full 17 height of 48" box with a full grown of 8-10'. It is a 18 cypress; they will maintain it. It's within his property. 19 There is not a dripline. 20 Regarding the cellar, we are under the 21 requirement, so there is no square footage limitation for a 22 cellar there. There is a limitation of height, and we are 23 much lower than what we're supposed to be, so it is not 24 considered to be a third story. 25 LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 Second, the window facing the north portion on 2 that cellar, it's much lower. From grade to top it's only 3 2', so there is not really a concern of privacy there. 4 We could try to see if we could relocate the 5 windows, but that's the only eqress we have. The pitch of б the slope does not clarify a relocation of those windows, 7 so basically it would be a full redesign. 8 CHAIR RASPE: Thank you, and before you sit down, 9 Commissioners, any questions? I just have one. 10 I think one of the speakers indicated that a 11 family member had perhaps an allergy to the proposed trees. 12 Would you be willing to use alternatives? 13 JOSE RAMA: Of course. Yes, sir. 14 CHAIR RASPE: Okay, thank you so much. Seeing 15 16 none, I'll close the public portion of this matter and 17 invite my fellow commissioners to pose questions of Staff, 18 of each other, make comments, and/or if appropriate, make a 19 motion. Commissioner Barnett. 20 COMMISSIONER BARNETT: I have two questions of 21 Staff. 22 The first question is if this project were 23 approved a condition could be a covenant for maintenance of 24 the trees. Could it be imposed or not? 25 ATTORNEY WHELAN: Yes, that would be defensible. LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue 33

1 COMMISSIONER BARNETT: Okay, thank you. And I 2 wonder if Staff can comment on the issue of the efficacy of 3 frosted windows. I know that's been used in the past. 4 ERIN WALTERS: It has been used in the past; it's 5 actually in our Residential Design Guidelines. We do use б them for conditions like this often. 7 COMMISSIONER BARNETT: Thank you. 8 Thank you. Vice Chair. CHAIR RASPE: 9 VICE CHAIR THOMAS: I have a couple of questions 10 about the consulting architect's comments. 11 The first recommendation was about the tower, and 12 we've already discussed that. The architect's actual 13 comments said, "Specific issues include the following," and 14 then it notes that it should, "Avoid large and formal 15 16 entries unless the norm of nearby homes." 17 I'm sorry, maybe you should come back to me. I 18 need to find my page again. 19 CHAIR RASPE: Very good, we will come back to 20 vou. Commissioner Hanssen. 21 COMMISSIONER HANSSEN: Also a question for Staff. 22 On the frosted windows, I was surprised, because I can tell 23 you I've never done anything in the 22 years of owning my 24 home to maintain the frosted window that we have. We might 25 have washed it one time. So, is that a common thing with LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

1 frosted windows that maybe I'm not aware of that you must 2 do something special to maintain them so they remain 3 frosted? 4 ERIN WALTERS: I think there are a couple of ways 5 to frost a window. One would be with a film which might б deteriorate, as I can (inaudible) my house. However, if the 7 glass is actually obscure, that's just a pane of glass and 8 it will not change. 9 COMMISSIONER HANSSEN: So, if we were to specify 10 that they must have obscured glass, then there wouldn't be 11 a maintenance issue, is that what I'm hearing? 12 ERIN WALTERS: That's correct. 13 COMMISSIONER HANSSEN: Okay, thank you. 14 CHAIR RASPE: Thank you. Vice Chair, are you 15 16 ready? 17 VICE CHAIR THOMAS: Yes. For the design 18 requirements, basically it says to, "Avoid large and formal 19 entries unless this is a norm for nearby homes ... " and then 20 it says, "e.g. projecting or under-eave porch." Like it's 21 best to start with that type of entry. Obviously, this 22 project, they weren't going back to the start, so they made 23 an adjustment, and I see how it doesn't comply, but we 24 don't have our consulting architects go back and look at 25 the reapplication. I'm just curious what my fellow LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 commissioners think, and if you have any information, Ms.
2 Walters, about if this was semi-addressed or not in Staff's
3 opinion.

4 ERIN WALTERS: I can start. It is semi-addressed. 5 They did modify. Obviously, you can see they modified the б front elevation, the side elevation, and it did modify the 7 full tower and it is integrated into that front plane. 8 VICE CHAIR THOMAS: Okay, thank you. Then I guess 9 as a follow-up, when we're saying e.g., these are just 10 examples of how to change it? 11 ERIN WALTERS: (Nods head yes.) 12 VICE CHAIR THOMAS: Okay, thank you. 13 CHAIR RASPE: Thank you. Commissioner Burnett. 14 COMMISSIONER BURNETT: Yes, thank you. I'm having 15 16 problems with this project after reading our architect's 17 comments that basically it would be not consistent with the 18 Town's Residential Design Guidelines, basically 3.2.1 and 19 3.2.2. There were other guidelines that were suggested and 20 they were followed, but there were some that were not. 21 I feel that basically it does not fit in the 22 surrounding neighborhood, which is 3.2.1, which is our 23 design guideline, and I think it's a very important one

being a flag lot and where this home is situated. I mean,

24

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

¹ it has great prominence and I think it does affect the rest
 ² of the neighborhood there.

3	I think the massing and the size of it is what
4	I'm having a real issue with. I appreciate that there were
5	some efforts to go along with some of the recommendations
б	by our architect, but I think the major…the tower. I see
7	the redesign, but I think his designs are really an
8	improvement, and actually I think the architectural
9	features of his designs basically would fit better in the
10	neighborhood if it wasn't so large of a house.
11	
12	The other issue I have with it is that noticing
13	the photos that were shown, the mountains were eliminated
14	from view from many of the homes there, as well as I don't
15	know if some of the homes in the area have solar panels, so
16	I don't know if that would be effected by the height of
17	this home, and I think it's quite large.
18	Those would be my basic concerns. Thank you.
19	CHAIR RASPE: Thank you for those comments.
20	Commissioners, any other questions or comments? I have one
21	for Staff.
22	I just wanted to confirm-and we discussed this in
23	
24	other projects-the Town of Los Gatos does not currently
25	protect, at least in our written codes, light or view
	easements. Is that correct?
	LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 ATTORNEY WHELAN: That's correct. 2 CHAIR RASPE: As part of our discussions we take 3 into consideration privacy concerns, generally speaking, 4 correct? 5 ERIN WALTERS: That is correct. б CHAIR RASPE: Thank you. Commissioner Hanssen. 7 COMMISSIONER HANSSEN: I have one more question 8 for Staff. Based on being at the site with only story poles 9 you don't really know, but it seemed to me-and I'm asking 10 Staff for your opinion' I'll leave the back neighbors 11 aside-do you feel that the front of the house where the 12 tower is, because it's in a flag lot and the way it is 13 oriented and that there are trees in front, it didn't seem 14 to me like it would be visible from the street, so I'm 15 16 asking for your opinion on that, and I'm leaving the back 17 neighbors aside for the moment. 18 ERIN WALTERS: That's correct, you can't see it 19 behind the house that's in front of it. 20 COMMISSIONER HANSSEN: I wanted to add on a 21 comment to that, if it's okay, Chair? Because that was my 22 thought on this, I do think that we have to delve in a 23 little bit more with the back neighbors, but if you 24 consider this project on the whole, while we don't 25 LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue 38

1 encourage the largest house in the neighborhood, it's not 2 that much larger than the next largest house. 3 It also won't be visible from the street-and 4 again, I'm leaving the back neighbors aside from that-it 5 also meets most aspects of our code, so it's really just a б neighborhood compatibility issue, because it doesn't 7 violate any parts of our code. 8 I wondered if the place to go might be to try to 9 make some additional adjustments to satisfy the back 10 neighbors, but I suspect that the only one that would 11 really work for them is making it a single story. I also 12 think that it wouldn't be reasonable to ask them to reduce 13 to single-story, because several other homes in that 14 neighborhood and throughout Los Gatos have two stories, and 15 16 this is something we see pretty commonly. 17 I'd be curious what the other Commissioners have 18 to say, but I do think that other than trying to do more 19 for the neighbors behind, that this project doesn't push 20 any other boundaries. 21 CHAIR RASPE: Thank you for those comments. Vice 22 Chair. 23 VICE CHAIR THOMAS: Thank you. I would like to 24 echo Commissioner Hanssen's comments. I also did recognize 25 that the entryway adjustment didn't completely provide an LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue 39 ¹ under the eave entry in lieu of the proposed stone tower or ² anything, however, I also figured that this is not ³ necessarily viewable from the street, and I do think that ⁴ the other recommendations by the consulting architect were ⁵ taken into account and I do appreciate that.

б

22

I feel the same way, that I think that it is 7 difficult to address the privacy issue in so many of these 8 hearings that we have and agenda items that we often have 9 when it is a two-story situation, however, as a body we 10 don't have the authority to just tell someone that they 11 can't build a second story, especially when they're 12 complying with all of the aspects of code and not asking 13 for any variances with regard to setbacks and height and 14 everything like that. 15

I agree with Commissioner Hanssen and I think that moving forward hopefully we can try to make some sort of recommendations to address some of the privacy issues while hopefully moving this project forward, and I do think that the changes to the landscape trees, that's a place to start.

One other thing I wanted to say about windows. We can't require anyone to have windows that don't open, because you must be able to get in and out of them, so I think the frosted windows is the best option for moving

> LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 forward, and so I am curious to hear what my fellow 2 commissioners have to say. 3 CHAIR RASPE: Thank you for those comments. 4 Commissioners, any further comments? Commissioner Barnett. 5 COMMISSIONER BARNETT: I strongly support the б recommendation of Staff to deny the Architecture and Site 7 Application based on concerns of size, neighborhood 8 compatibility, and consistency with the Residential Design 9 Guidelines. 10 One that we haven't talked about so far is 2.1 of 11 the General Neighborhood Design Principles, which says, 12 "Residential development shall be similar in mass, bulk, 13 and scale to the immediate neighborhood, although 14 consideration will be given to the existing FAR, 15 16 residential square footage, and lot size." I recognize this 17 is a very large lot and consideration should be given to 18 that, but nevertheless I think the bulk and mass are 19 unacceptable. 20 CHAIR RASPE: Thank you for those comments. I'll 21 go ahead and chime in then. I would echo, I think, largely 22 the comments of Commissioner Hanssen and Vice Chair Thomas. 23 It seems to me we have two issues, that is compliance with 24 the Design Guidelines and the privacy issue. 25 LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 On the Design Guidelines, the home-I think we've 2 discussed-is within all legal standards: within FAR, within 3 the building envelope, within height, setbacks, and they're 4 not asking for any variances. So, then we are left with is 5 the building compatible within the neighborhood? We've seen б this issue many times before. The first two-story home in a 7 neighborhood is always disruptive and it's difficult for 8 the neighbors, and we understand that. 9

Nevertheless, I think it is inevitable that as this town grows older, homes will be removed. Newer, larger homes will take their place and many times it will be second-story homes, and so I think we cannot stop that line of progression. The best I think we can do as a planning Commission is trying to mitigate that process a little bit.

16 That raises the second concern, and that is 17 privacy. In this case I think there are privacy concerns. 18 The builder has done some efforts in that regard. They've 19 agreed to remove the balcony, they've agreed to tint the 20 windows. I think there's more that can be done. Certainly, 21 we've discussed the trees, and I would argue that one of 22 the conditions of approval would be the non-allergic style 23 trees to be determined between the two neighbors. 24

I think maybe one last ask that I would have, and the architect mentioned it, and I suspect it would be

25

LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 expensive and I'm sorry to do this, but if there is a way 2 to relocate the actual location of those windows, the 3 sizing of the windows, something that would help ameliorate 4 the privacy of the back yards and still provide this 5 Applicant with eqress rights and view rights, that's a б project I could accept. Those are my thoughts. 7 Commissioner Hanssen. 8 COMMISSIONER HANSSEN: I just wanted to add a 9 clarifying comment, because you mentioned about the first 10 two-story house. Maybe you didn't mean to say it that way, 11 but it sounded to me like this might be the first two-story 12 house in the neighborhood. It is not. On page 12 we have 13 the neighborhood analysis that is defined in the 14 Residential Design Guidelines and there are clearly three 15 other two-story homes, including on Blackwell, which is 16 17 behind them. 18 CHAIR RASPE: Thank you. 19 COMMISSIONER HANSSEN: So, I don't think that 20 that's a hurdle that they need to overcome like if they 21 were the first two-story house in the neighborhood. Bulk 22 and mass could be addition to that, but not the two 23 stories. 24 CHAIR RASPE: No. I stand corrected. Thank you. 25 Yes, Commissioner Burnett. LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1	COMMISSIONER BURNETT: Thank you. I do agree with
2	our Chair's comments about a new second-story home; it's
3	not the first second-story in this neighborhood, however, I
4	think you can build a two-story home in the neighborhood
5	that would be more congruent and more acceptable to the
6	neighbors, reducing the size and the mass, and that would
7	be my comment. I don't think you have to have this large of
8	a home that impedes and has issues in quite a large, whole
9	block basically, and it's in the very middle so it's very
10	prominent. I think it could be architecturally designed as
11 12	a two-story but would be more compatible and meet the needs
12	of the neighbors that have been there for years. That's
13	just my thoughts. Thank you.
± 1	
15	CHAIR RASPE: Thank you. Commissioner Barnett.
15 16	CHAIR RASPE: Thank you. Commissioner Barnett. COMMISSIONER BARNETT: I have the concept of
15 16 17	COMMISSIONER BARNETT: I have the concept of
16	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts
16 17	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the
16 17 18	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require
16 17 18 19	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as
16 17 18 19 20	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as revised, and that I cannot make the findings required,
16 17 18 19 20 21	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as revised, and that I cannot make the findings required, something along those lines.
16 17 18 19 20 21 22	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as revised, and that I cannot make the findings required, something along those lines. CHAIR RASPE: Is there a motion pending, or do
16 17 18 19 20 21 22 23	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as revised, and that I cannot make the findings required, something along those lines. CHAIR RASPE: Is there a motion pending, or do you wish to make a motion?
16 17 18 19 20 21 22 23 24	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as revised, and that I cannot make the findings required, something along those lines. CHAIR RASPE: Is there a motion pending, or do
16 17 18 19 20 21 22 23 24	COMMISSIONER BARNETT: I have the concept of making a motion to deny the request to make further efforts to address the privacy concerns and suggestions of the neighbors, and potentially to request but not require consultation with Mr. Cannon regarding the entry as revised, and that I cannot make the findings required, something along those lines. CHAIR RASPE: Is there a motion pending, or do you wish to make a motion?

1 COMMISSIONER BARNETT: It wasn't really a motion. 2 CHAIR RASPE: That's what I thought. 3 COMMISSIONER BARNETT: It wasn't a motion, but 4 it's a promotion. 5 CHAIR RASPE: If you'd like to make that a б formalized motion, then we can take a tally and see where 7 we sit. 8 COMMISSIONER BARNETT: Okay, then. My motion is 9 to deny the requested approval for construction of a 10 single-family residence and site improvements requiring a 11 Grading Permit on vacant property zoned R-1:8 located at 12 15411 National Avenue, APN 424-12-140, Architecture and 13 Site Application S-23-033, on the basis that I cannot make 14 the findings that the project meets the objective standards 15 16 of the Zoning Code and the Residential Design Guidelines. 17 No other considerations in Section 29,21,50 of 18 the Town Code for granting approval of Architecture and 19 Site Applications and would recommend that the Applicant 20 come back to us with revised plans after consideration of 21 the neighbors' concerns and potential changes, and a 22 request, but not a requirement, that Mr. Cannon be 23 consulted with respect to the adequacy of the changes on 24 the entry. 25 LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue

1 CHAIR RASPE: Thank you for that motion. Do I 2 have a second? Commissioner Burnett. 3 COMMISSIONER BURNETT: I'll second that motion. 4 CHAIR RASPE: Thank you. I have a first and a 5 second. Discussion? All right, by a show of hands, all б those in favor the motion, please raise your hands. I see 7 two. All those opposed. Three, and the motion fails. 8 Let's try a different format. Commissioners, 9 shall I give it a try? Or Commissioner Hanssen, do you have 10 an idea? 11 COMMISSIONER HANSSEN: If you would like to go 12 ahead and make a motion, Chair, that's fine, or I can do 13 it. 14 I move to approve construction of a CHAIR RASPE: 15 16 single-family residence and site improvements requiring a 17 Grading Permit on vacant property zoned R-1:8 located at 18 15411 National Avenue, APN 424-12-140, Architecture and 19 Site Application S-23-033. Property owner Muddada and 20 Applicant Jose Rama. Subject to all the findings required 21 in our Staff Report with two additional conditions of 22 approval, that is first with respect to plantings, that 23 they be mutually agreed up by the neighbors such that they 24 are at a minimum protective of privacy and non-allergenic 25 to any of the neighbors; and second, that the Applicant LOS GATOS PLANNING COMMISSION 11/13/2024

Item #2, 15411 National Avenue

1 meet in good faith to relocate the offending windows such 2 that they are the least offensive to the privacy interests 3 of the neighbors. 4 Do I have a second? Commissioner Hanssen. 5 COMMISSIONER HANSSEN: I'll second the motion, б but I would ask for one amendment to the motion. 7 CHAIR RASPE: Please. 8 COMMISSIONER HANSSEN: That would be the windows 9 that need to be frosted have the obscured glass, not the 10 film that has to be maintained. 11 CHAIR RASPE: The motion is so amended. 12 COMMISSIONER HANSSEN: And so, I will second. 13 CHAIR RASPE: Thank you for the second. Is there 14 any discussion? Then by a show of hands, all those in favor 15 16 of the motion. Thank you. And all those opposed. And the 17 motion carries 3-2. Are there any appeal rights? 18 DIRECTOR PAULSON: Thank you, Chair. Yes, there 19 are appeal rights. Anyone who is not satisfied with the 20 decision of the Planning Commission can file an appeal to 21 the Town Council. Forms are available online and in the 22 Community Development and Clerk Office. There is a fee for 23 filing the appeal, and the appeal must be filed within ten 24 days. 25 CHAIR RASPE: Thank you so much. LOS GATOS PLANNING COMMISSION 11/13/2024 Item #2, 15411 National Avenue 47 This Page Intentionally Left Blank



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT PLANNING DIVISION (408) 354-6872 Fax (408) 354-7593

CIVIC CENTER 110 E. MAIN STREET LOS GATOS, CA 95030

November 15, 2024

Vyankatesh and Rammy Muddada 15415 National Avenue Los Gatos, CA 95032 Via Email

RE: <u>15411 National Avenue</u> Architecture and Site Application S-23-033

> Requesting Approval to Construct a Single-Family Residence, and Site Improvements Requiring a Grading Permit on a Vacant Property Zoned R-1:8. APN 424-12-140. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. PROPERTY OWNER: Vyankatesh and Rammy Muddada APPLICANT: Jose Rama

At its meeting of November 13, 2024, the Town of Los Gatos Planning Commission approved the above referenced application with additional conditions:

- The tree species shall be mutually agreed upon by the neighbors that they are a minimum protective of privacy and non-allergenic to any of the neighbors.
- The applicant shall meet in good faith to relocate the offending windows such that they are the least offensive to the privacy interests of the neighbors.
- The privacy windows shall utilize obscured glass. Privacy film shall not be used.

The attached draft modified conditions of approval will not be final until the Planning Commission has approved the November 13, 2024, meeting minutes at their next meeting, confirming any additional or modified conditions of approval for the project in the underlined font. You will be notified in writing once the Planning Commission has approved the minutes.

PLEASE NOTE: Pursuant to Section 29.20.275 of the Town Code, this approval may be appealed to the Town Council within 10 days of the date the approval is granted. Therefore, this action for approval should not be considered final, and no permits by the Town will be issued until the appeal period has passed.

If you have any questions, you may contact me by email at <u>ewalters@losgatosca.gov</u>.

Sincerely,

Erin Walters Associate Planner

Cc: Jose Rama, jer@jerdesigngroup.com

N:\DEV\PC\PC ACTION Letters\2023\01-11-23 [400 Surmont Drive - Item#2; approved].docx

PLANNING COMMISSION – *November 13, 2024* **CONDITIONS OF APPROVAL**

<u>15411 National Avenue</u> Architecture and Site Application S-23-033

Requesting Approval for Construction of a Single-Family Residence and Site Improvements Requiring a Grading Permit on a Vacant Property Zoned R-1:8. APN 424-12-140. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction. Property Owner: Vyankatesh and Rammy Muddada. Applicant: Jose Rama. Project Planner: Erin Walters.

TO THE SATISFACTION OF THE COMMUNITY DEVELOPMENT DIRECTOR:

Planning Division

- 1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC, or the Planning Commission depending on the scope of the changes.
- 2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
- 3. OUTDOOR LIGHTING: Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
- 4. TREE REMOVAL PERMIT: A Tree Removal Permit shall be obtained for any trees to be removed, prior to the issuance of a building or grading permit.
- 5. EXISTING TREES: All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan, and must remain on the site.
- ARBORIST REQUIREMENTS: The developer shall implement, at their cost, all recommendations identified in the Arborist's report for the project, on file in the Community Development Department. These recommendations must be incorporated in the building permit plans and completed prior to issuance of a building permit where applicable.
- 7. TREE FENCING: Protective tree fencing and other protection measures consistent with Section 29.10.1005 of the Town Code shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
- 8. TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties.
- 9. FRONT YARD LANDSCAPE: Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.
- 10. TREE SPECIES: The tree species shall be mutually agreed upon by the neighbors that they

are a minimum protective of privacy and non-allergenic to any of the neighbors.

- 11. PRIVACY TREE PLANTING: Prior to obtaining a building final the property owner must plant five 24-gallon Leyland Cypress trees along the northern fence line. Privacy trees must be maintained by the property owner.
- 12. <u>WINDOW LOCATION The applicant shall meet in good faith to relocate the offending</u> windows such that they are the least offensive to the privacy interests of the neighbors.
- 13. FROSTED/OBSCURE PRIVACY WINDOWS The two second floor bedroom windows located on the northern elevation of the residence shall have frosted or obscure glass to provide privacy between properties.
- 14. <u>OBSCURE GLASS The privacy windows shall utilize obscured glass. Privacy film shall not</u> <u>be used.</u>
- 15. WATER EFFICIENCY LANDSCAPE ORDINANCE: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.
- 16. STORY POLES/PROJECT IDENTIFICATION SIGNAGE: Story poles and/or project identification signage on the project site shall be removed within 30 days of approval of the Architecture & Site application.
- 17. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement ("the Project") from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods ("Challenge"). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant's sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs and expenses (including, without limitation, staff time and in-house attorney's fees on a fully-loaded basis, attorney's fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge ("Costs"), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

18. COMPLIANCE MEMORANDUM: A memorandum shall be prepared and submitted with the

building plans detailing how the Conditions of Approval will be addressed.

Building Division

- 19. PERMITS REQUIRED: A Building Permit is required for the construction of the new singlefamily residence and attached garage. An additional Building Permit will be required for the PV System that is required by the California Energy Code.
- 20. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2023, are the 2022 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes.
- 21. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and submitted with the building permit application detailing how the Conditions of Approval will be addressed.
- 22. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building Division prior to submitting for the building permit application process.
- 23. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
- 24. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation, and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
- 25. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth, or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
- 26. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items: Building pad elevation
 - a. Finish floor elevation
 - b. Foundation corner locations
 - c. Retaining wall(s) locations and elevations
- 27. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e., directly printed, onto a plan sheet.
- 28. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch-wide doors on the accessible floor level.

- c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
- d. A door buzzer, bell or chime shall be hard wired at primary entrance.
- 29. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.40.020. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
- 30. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
- 31. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available online at www.losgatosca.gov/building.
- 32. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available online at www.losgatosca.gov/building.
- 33. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

34. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.

- 35. PAYMENT OPTIONS:
 - a. All payments regarding fees and deposits can be mailed to:

Town of Los Gatos PPW – Attn: Engineering Dept 41 Miles Avenue Los Gatos, CA 95030

Or hand deliver/drop off payment in engineering lock box Checks made out to **"Town of Los Gatos"** and should mention **address and application number** on memo/note line.

- 36. APPROVAL: This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
- 37. CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
- 38. CHANGE OF OCCUPANCY: Prior to initial occupancy and any subsequent change in use or occupancy of any non-residential condominium space, the buyer or the new or existing occupant shall apply to the Community Development Department and obtain approval for use determination and building permit and obtain inspection approval for any necessary work to establish the use and/or occupancy consistent with that intended.
- 39. GENERAL LIABILITY INSURANCE: The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
- 40. PUBLIC WORKS INSPECTIONS: The Owner, Applicant and/or Developer or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
- 41. RESTORATION OF PUBLIC IMPROVEMENTS: The Owner, Applicant and/or Developer or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner, Applicant and/or Developer or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access

provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner, Applicant and/or Developer or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.

- 42. PLAN CHECK FEES: Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
- 43. SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction.
- 44. INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of permits or recordation of maps.
- 45. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
- 46. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner, Applicant and/or Developer.
- 47. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: All grading work taking place with this application and related applications/projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee prior to applying for a grading permit.
- 48. GRADING: Any grading work, cut/fill, earthwork or combination thereof (completed or proposed on submitted plans) on the parcel over the upcoming two-year period are combined with regards to grading permit thresholds. This also applies to adjacent parcels with identical owners, applicants and or developers.
- 49. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
- 50. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily,

or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered. For sites greater than four (4) acres in area:

- a. Enclose, cover, water twice daily or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
- b. Limit traffic speeds on unpaved roads to fifteen (15) miles per hour.
- c. Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
- d. Replant vegetation in disturbed areas as quickly as possible.
- e. Hydroseed or apply (non-toxic) soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
- 51. CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
- 52. SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into the Town's storm drains.
- 53. COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.
- 54. GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense
- 55. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.

- 56. CONSTRUCTION HOURS: All improvements and construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner, Applicant and/or Developer shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
- 57. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device any point outside of the property plane shall not exceed eighty-five (85) dBA.
- 58. DELAYED/DEFERRED REPORTS AND REVIEWS: TLGPPW strongly recommend that reports requiring a peer review be submitted and completed prior to committee approval/building permit stage. Note that these reviews may require a design change by the applicant and/or additional studies. Applicants who chose to defer assume risk that required changes may send project back to planning stage.
- 59. WATER METER: Water meters currently in public right-of-way shall be relocated within the property in question, within 30" of the property line / the public right-of-way line. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- 60. SANITARY SEWER CLEANOUT: Sanitary sewer cleanouts currently in public right-of-way shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner, Applicant and/or Developer shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
- 61. PRECONSTRUCTION MEETING: Prior to issuance of any grading or building permits or the commencement of any site work, the general contractor shall:
 - Along with the Owner, Applicant and/or Developer, setup a pre-construction meeting with Eric Christianson, Senior Public Works Inspector <u>echristianson@losgatosca.gov</u> (408) 354-6824 to discuss the project conditions of approval, working hours, site maintenance and other construction matters;
 - b. Acknowledge in writing that they have read and understand the project conditions of approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction.
- 62. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-ofway will only be allowed if it does not cause access or safety problems as determined by the Town.
- 63. FOR PLANTERS: The Owner, Applicant and/or Developer shall apply for an encroachment permit for the proposed planters within the public sidewalk and/or Town's right-of-

way. The Owner, Applicant and/or Developer shall work with Parks and Public Works Department staff to arrive at a mutually agreeable solution that addresses safety and aesthetic issues. If no solution is reached, the vegetative screening requirement shall be waived. A Private Improvements in the Public Right-of-Way (formerly Indemnity) Agreement will be required if planters are proposed to be located within the Town's right-of-way. A copy of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department prior to the issuance of any grading or building permits.

- 64. PRIVATE IMPROVEMENTS IN THE PUBLIC RIGHT-OF-WAY (INDEMNITY AGREEMENT): The property owner shall enter into an agreement with the Town for all existing and proposed private improvements within the Town's right-of-way. The Owner shall be solely responsible for maintaining the improvements in a good and safe condition at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Director of Parks and Public Works, and subsequently recorded by the Town Clerk at the Santa Clara County Office of the Clerk-Recorder, prior to the issuance of any grading or building permits.
- 65. STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
- 66. GRADING PERMIT: A grading permit is required for all site grading and drainage work except for exemptions listed in Section 12.20.015 of The Code of the Town of Los Gatos (Grading Ordinance). All grading work taking place with this application and related applications /projects within a two year time period are considered eligible for the grading permit process and will be counted toward the quantities used in determining grading permit requirements. After the preceding Architecture and Site Application has been approved by the respective deciding body and the appeal period has passed, the grading permit application with grading plans and associated required materials shall be submitted via email to the PPW engineer assigned to the A&S review. Plan check fees (determined after initial submittal) shall be sent to the Engineering Division of the Parks and Public Works Department located at 41 Miles Avenue. Unless specifically allowed by the Director of Parks and Public Works, the grading permit will be issued concurrently with the building permit. The grading permit is for work outside the building footprint(s). Prior to Engineering signing off and closing out on the issued grading permit, the Owner's soils engineer shall verify, with a stamped and signed letter, that the grading activities were completed per plans and per the requirements as noted in the soils report. A separate building permit, issued by the Building Department, located at 110 E. Main Street, is needed for grading within the building footprint.
- 67. SECURITY OF PERFORMANCE: Prior to approval of the grading permit, the applicant shall provide security for the performance of the work described and delineated on the approved grading plans, encroachment plans and or public improvement plans. The form of security shall be one (1) or a combination of the following to be determined by the Town Engineer and subject to the approval of the Town Attorney

- Bond or bonds issued by one (1) or more duly authorized corporate sureties on a form approved by the Town.
- Deposit, with the Town, money, negotiable bonds of the kind approved for securing deposits of public monies, or other instrument of credit from one (1) or more financial institutions subject to regulation by the State or Federal Government wherein such financial institution pledges funds are on deposit and guaranteed for payment.
- 68. DRIVEWAY: The driveway conform to existing pavement on National Avenue shall be constructed in a manner such that the existing drainage patterns will not be obstructed. The Owner, Applicant and/or Developer shall install a Town standard residential driveway approach. The new driveway approach shall be constructed per Town Standard Plans and must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore.
- 69. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner, Applicant and/or Developer to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
- 70. DRAINAGE STUDY: Prior to the issuance of any grading or building permits, the following drainage studies shall be submitted to and approved by the Town Engineer: a drainage study of the project including diversions, off-site areas that drain onto and/or through the project, and justification of any diversions; a drainage study evidencing that the proposed drainage patterns will not overload the existing storm drain facilities; and detailed drainage studies indicating how the project grading, in conjunction with the drainage conveyance systems (including applicable swales, channels, street flows, catch basins, storm drains, and flood water retarding) will allow building pads to be safe from inundation from rainfall runoff which may be expected from all storms up to and including the theoretical 100-year flood.
- TREE REMOVAL: Copies of all necessary tree removal permits shall be provided prior to the issuance of a building permit. An arborist report may be necessary. Please contact Tammy Robnett-Illges, Engineering Administrative Assistant <u>trobnett-illges@losgatosca.gov</u> (408) 399-5771 for more information.
- 72. DEDICATIONS: The following shall be dedicated by separate instrument. The dedications shall be recorded before any grading or building permits are issued:
 - a. A 10-foot street right-of-way shall be dedicated in fee.
 - b. A 5-foot Public Service Easement.
- 73. DEMOLITION: Within 60-days of the Development Review Committee approval action being final (i.e. after the 10-day appeal period and no requested appeals being submitted to the Town), the Property Owner shall record a Deed Restriction on each of the number (#) parcels in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully

obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the existing house and construction of a replacement house.

- 74. IMPROVEMENT AGREEMENT: The Owner, Applicant and/or Developer shall enter into an agreement to construct public improvements in accordance with Town Code Section 24.40.020. The Owner, Applicant and/or Developer shall supply suitable securities for all public improvements that are part of the development in a form acceptable to the Town in the amount of 100% performance and 100% labor and materials prior to the issuance of any encroachment, grading or building permit. The Owner, Applicant and/or Developer shall provide two (2) copies of documents verifying the cost of the public improvements to the satisfaction of the Engineering Division of the Parks and Public Works Department. An electronic copy (PDF) of the executed agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, grading or building permit.
- 75. JOINT TRENCH PLANS: Joint trench plans shall be reviewed and approved by the Town prior to recordation of a map. The joint trench plans shall include street and/or site lighting and associated photometrics. A letter shall be provided by PG&E stating that public street light billing will by Rule LS2A, and that private lights shall be metered with billing to the homeowners' association. Pole numbers, assigned by PG&E, shall be clearly delineated on the plans.
- 76. PUBLIC IMPROVEMENTS: The following improvements shall be installed by the Owner and/or Applicant. Plans for those improvements shall be prepared by a California registered civil engineer, reviewed and approved by the Town, and guaranteed by contract, Faithful Performance Security and Labor & Materials Security before the issuance of any grading or building permits or the recordation of a map. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
 - a. National Avenue: New curb, gutter, sidewalk, streetlights, tie-in paving, signing, striping, utility pole relocation, as required.
 - b. National Ave: 2" overlay from the centerline to the edge of pavement, or alternative pavement restoration measure as approved by the Town Engineer.
- 77. CERTIFICATE OF OCCUPANCY: The Engineering Division of the Parks and Public Works Department will not sign off on a Temporary Certificate of Occupancy or a Final Certificate of Occupancy until all required improvements within the Town's right-of-way have been completed and approved by the Town.
- 78. FRONTAGE IMPROVEMENTS: The Owner and/or Applicant shall be required to improve the project's public frontage (right-of-way line to centerline and/or to limits per the direction of the Town Engineer) to current Town Standards. These improvements may include but not limited to curb, gutter, sidewalk, driveway approach(es), curb ramp(s), signs, pavement, raised pavement markers, thermoplastic pavement markings, storm drain facilities, traffic signal(s), street lighting (upgrade and/or repaint) etc. The improvements must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.
- 79. PARKING LOTS: Parking lots and other impervious areas shall be designed to drain stormwater runoff to vegetated drainage swales, filter strips, and/or other Low Impact Development (LID) treatment devices that can be integrated into required landscaping

areas and traffic islands prior to discharge into the storm drain system and/or public rightof-way. The amount of impervious area associated with parking lots shall be minimized by utilizing design features such as providing compact car spaces, reducing stall dimensions, incorporating efficient parking lanes, using permeable pavement where feasible, and adhering to the Town's <u>Parking Development Standards</u>. The use of permeable paving for parking surfaces is encouraged to reduce runoff from the site. Such paving shall meet Santa Clara County Fire Department requirements and be structurally appropriate for the location.

- 80. UTILITIES: The Owner, Applicant and/or Developer shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television service. The Owner, Applicant and/or Developer is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.
- 81. TRENCHING MORATORIUM: Trenching within a newly paved street will be allowed subject to the following requirements:
 - a. The Town standard "T" trench detail shall be used.
 - b. A Town-approved colored controlled density backfill shall be used.
 - c. All necessary utility trenches and related pavement cuts shall be consolidated to minimize the impacted area of the roadway.
 - d. The total asphalt thickness shall be a minimum of three (3) inches, meet Town standards, or shall match the existing thickness, whichever is greater. The final lift shall be 1.5-inches of one-half (½) inch medium asphalt. The initial lift(s) shall be of three-quarter (¾) inch medium asphalt.
 - e. The Contractor shall schedule a pre-paving meeting with the Town Engineering Construction Inspector the day the paving is to take place.
 - f. A slurry seal topping may be required by the construction inspector depending their assessment of the quality of the trench paving. If required, the slurry seal shall extend the full width of the street and shall extend five (5) feet beyond the longitudinal limits of trenching. Slurry seal materials shall be approved by the Town Engineering Construction Inspector prior to placement. Black sand may be required in the slurry mix. All existing striping and pavement markings shall be replaced upon completion of slurry seal operations. All pavement restorations shall be completed and approved by the Inspector before occupancy.
- 82. VALLEY GUTTER REPAIR: The Owner/Applicant shall repair and replace to existing Town standards any valley gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New valley gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of valley gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The improvements

must be completed and accepted by the Town before a Certificate of Occupancy for any new building can be issued.

- 83. BICYCLE FACILITIES: Bicycle facilities including, but may not be limited to, bike lanes and bike boxes will be provided in all directions and approaches of improved streets and intersections as directed by Town Engineer.
- 84. TRAFFIC STUDY: Any development of land use that generates greater traffic impacts than those assumed in the traffic study report may require an updated traffic study in accordance with the Town's traffic impact policy. Applicant can receive proposals from vendors through the Town or submit studies from other consultants and pay for peer review. For more information please contact Mike Vroman, Senior Traffic Engineer <u>MVroman@losgatosca.gov</u> (408) 399-5777.
- 85. TRAFFIC IMPACT MITIGATION FEE: Prior to the issuance of any building or grading permits, the Owner shall pay the project's proportional share of transportation improvements needed to serve cumulative development within the Town of Los Gatos. The fee amount will be based upon the Town Council resolution in effect at the time the building permit is issued. The amount based on the current resolution is **\$10,457.76**.
- 86. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
- 87. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage area(s), construction trailer(s), concrete washout(s) and proposed outhouse locations. Please refer to the Town's <u>Construction Management Plan Guidelines</u> document for additional information.
- 88. NPDES STORMWATER COMPLIANCE: In the event that, during the production of construction drawings for the plans approved with this application by the Town of Los Gatos, it is determined that the project will create and/or replace more than 2,500 square feet of impervious area, completion of the NPDES Stormwater Compliance Small Projects Worksheet and implementation of at least one of the six low impact development site design measures it specifies shall be completed and submitted to the Engineering Division before issuance of a grading/building permit.
- 89. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A

maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.

- 90. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
 - All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
 - All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
 - All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
 - All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
 - Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

91. SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

- 92. GENERAL REVIEW: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
- 93. FIRE SPRINKLERS REQUIRED: (As Noted on Sheet CS) Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. 1. An automatic sprinkler system shall be provided throughout all new buildings and structures, other than Group R occupancies, except as follows: a. Buildings and structures not located in any Wildland-Urban Interface and not exceeding 1,200 square feet of fire area. b. Buildings and structures located in any Wildland-Urban Interface Fire Area and not exceeding 500 square feet of fire area. c. Group S-2 or U occupancies, including photovoltaic support structures, used exclusively for vehicle parking which meet all of the following: i. Noncombustible construction. ii. Maximum 5,000 square feet in building area. iii. Structure is open on not less than three (3) sides nor 75% of structure perimeter. iv. Minimum of 10 feet separation from existing buildings, or similar structures, unless area is separated by fire walls complying.
- 94. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such

requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

- 95. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1.
- 96. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.
- 97. FIRE APPARATUS (ENGINE)ACCESS DRIVEWAY REQUIRED: An access driveway shall be provided having an all-weather surface of either asphalt, concrete or other engineered surface capable of supporting 75,000 pounds and approved by a civil engineer. It shall have a minimum unobstructed width of 12 feet, vertical clearance of 13 feet 6 inches, minimum turning radius of 40 feet outside, and a maximum slope of 15%. Installations shall conform to Fire Department Standard Details and Specifications sheet D-1.
- 98. This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

FILING FEES \$523.00 (PLAPPEAL) Residential \$2,102.00 (PLAPPEAL), per Commercial, Multi-family, or Tentative Map Appeal

TRANSCRIPTION \$500 (PLTRANS)

Town of Los Gatos Office of the Town Clerk 110 E. Main St., Los Gatos CA 95030

RECEIVED TOWN OF LOS GATOS

NOV 2 5 2024

APPEAL OF PLANNING COMMISSION DECISION

ALLA SA.

I, the undersigned, do hereby appeal a decision of the Planning Commission as follows: (PLEASE TYPE OR PRINT NEATLY)

DATE OF PLANNING COMMISSION DECISION November 13, 2024

PROJECT / APPLICATION NO:

ADDRESS LOCATION:

S-23-033 15411 National Avenue, Los Gatos

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Council any decision of the Planning Commission.

Interested person means:

- Residential projects. Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
- Non-residential and mixed-use projects. Any person or persons or entity or entities who can demonstrate that their property
 will be injured by the decision.

Section 29.20.275 The notice of appeal shall state specifically wherein it is claimed there was an error or abuse of discretion by the Commission or wherein its decision is not supported by substantial evidence in the record.

1. There was an error or abuse of discretion by the Planning Commission:

Project is inconsistent with neighborhood compatibility Residential Design Guidelines. Incorrect assumption that

neighbors would only accept a single-story development. The condition of approval are vague and difficult to enforce . OR

The Planning Commission's decision is not supported by substantial evidence in the record:

IF MORE SPACE IS NEEDED, PLEASE ATTACH ADDITIONAL SHEETS.

IMPORTANT:

- 1. Appellant is responsible for fees for transcription of minutes. A \$500.00 deposit is required at the time of filing.
- Appeal must be filed within ten (10) calendar days of Planning Commission Decision accompanied by the required filing fee. Deadline is 4:00 p.m. on the 10th day following the decision. If the 10th day is a Friday, the appeal must be filed by 1:00 P.M. If the 10th day a Saturday, Sunday, or Town holiday, then it may be filed on the workday immediately following the 10th day, usually a Monday.
- 3. The Town Clerk will set the hearing within 56 days of the date of the Planning Commission Decision (Town Ordinance No. 1967).
- Once filed, the appeal will be heard by the Town Council.

 If the basis for granting the appeal is, in whole or in part, information not presented to or considered by the Planning Commission, the matter shall be returned to the Planning Commission for review.

PRINT NAME: DATE: PHONE:	Hellen Martinez	SIGNATURE: Allen MUS
	November 25, 2024	ADDRESS:
		EMAIL:
	**	** OFFICIAL USE ONLY ***
DATE OF PUBLI	C HEARING: Pending Planning Department Cor	ifirmation
DATE TO SEND PUBLICATION:		DATE OF PUBLICATION:

N:\DEV/PORMS\Planning\2024-25 Forms (Effective July 1, 2024)\Appealb\Word Docs\Appeal - #C.doc

06/2024

This Page Intentionally Left Blank December 4, 2024

Town of Los Gatos *Via Email*

RE: Appeal of the Planning Commission's Decision on the Proposed Structure at 15411 National Avenue

We the neighbors respectfully ask that an appeal be granted due to the following reasons:

- 1) The project is inconsistent with neighborhood compatibility, sizing, massing, and scale Residential Design Guidelines.
- 2) Clarification on neighbors' request on the size of the proposed structure.
- 3) Clarification needed on the condition of approval to relocate windows.
- 4) Clarification needed on the condition of approval regarding trees.
- 5) Ongoing tree maintenance covenant.
- 6) Unaddressed significant privacy and quality of life concerns given the intended use by the applicants.
- 7) Clarification regarding visibility of the proposed house from the street.

1) The project is inconsistent with neighborhood compatibility, sizing, massing and scale Residential Design Guidelines.

The proposed two-story, three level structure, with 3240 sq ft, a 901 sq ft oddly distributed garage, a 1700 sq ft basement, a 570 sq ft covered patio, and a 36 sq ft front porch coverage, *totalling <u>6,447 sq ft of gross square footage</u>*, plus an attic, is massive. The project maximizes the allowable size, which as one of the commissioners put it, "is a maximum, not a goal", and would be *by far* the largest structure among the surrounding single-family, residential homes. It is <u>over twice the structural size</u> of the *largest adjacent* two-story and single-story *houses*, which also lie on similarly sized lots of approximately 10,000 sq ft. One of the commissioners said the proposed structure is "not that much larger than the next largest house" and that is incorrect.

The size, massing, scale, bulk and style of the proposed structure does not harmonize with the houses in the immediate neighborhood, including ours, and it stands out even more so by its location in the middle of the city block (in a flag lot / corridor lot), which causes it to overlook all the neighboring backyards from every side. This is not in line with the Residential Design Guidelines.

Furthermore, approving such a large structure sets an undesirable precedent and new size standard for the South side parcel, that is also over 22,000 sq ft with a single-story, single family home on the National Ave side, with an expansive empty rear area, to build a similarly large development in a potential rear flag lot. This will completely disturb and negatively impact the peaceful, private, quiet nature of the immediate neighborhood along the entire city block, multiple streets, especially private Leila Court, whose entire block of neighbors originally opposed the subdivision of the 15415 National Avenue to subdivide the flag lot of this application at 15411 National Avenue, in fear of the impact of their quiet, exceptionally private settings. We ask that the impact or setting a precedent for another possible subdivision and development on a rear flag lot, on all the long standing residents and the established neighborhood, be considered when making an exception to approve this exceptionally large project.

An important background point to note is that the applicants were not forced to build such a massive structure in the rear flag lot. They chose to do so by subdividing the 15415 National Avenue lot in 2020 and creating the 15411 National Avenue flag lot (they currently own both lots). This subdivision was originally opposed by all the neighbors on Leila Court at the time, and in the letter of justification the applicants stated that a reason to approve would be that *splitting the lot would allow for two smaller structures to be developed (one in each lot), versus a large single one* in a larger lot, more in line with the sizing and scale of the neighborhood. We believe the current application contradicts that argument.

Note also that the hospital building located at 15400 National Ave is completely outside the view from any of the surrounding houses, and thus does not contribute to the area around this flag lot, contrary to one of the applicant arguments in the justification for such a large structure. What's in front, across, of the applicant's proposed dwelling is not this hospital building, but their own single-story house on the front lot. The only part of 15411 National Ave that faces the hospital is the narrow street entrance to the very long corridor to get to the far away rear lot. There is a joint letter or opposition on this matter from four neighbors on Blackwell Dr and Leila Ct and this concern has not been addressed.

Request:

Decrease the size of the proposed two-story structure to one that is less massive, more harmonious and in scale, bulk, and size with the surrounding structures and its positioning in the middle of the city block, by following the Residential Design Guidelines.

2. Clarification on neighbors' request on the size of the proposed structure.

Based on various comments made by some of the Commissioners during the hearing, we believe they incorrectly assumed that we the neighbors were asking that the application be changed from a two-story house to a one-story house. This is inaccurate – In fact, two of our properties are two-story houses (373 Blackwell Dr and 377 Blackwell Dr), so we have no fundamental opposition to another two-story structure. Our request is that the size of the proposed two-story structure be reduced to one that is less massive and more harmonious with the surrounding structures, especially given its location in the middle of the city block (flag lot), which causes it to overlook all the neighboring backyards from every side, as described in point #1 above.

Request: Decrease the size of the proposed two-story structure to one that is less massive, more harmonious and in scale with the surrounding structures and its positioning in the middle of the city block, by following the Residential Design Guidelines.

3. Clarification needed on the condition of approval to relocate windows.

One of the Commission's conditions for approval is that, in order to address the strong privacy concerns brought up by multiple neighbors before and during the hearing, "the applicants shall meet in good faith to relocate the offending windows such that they are the least offensive to the privacy interest of the neighbors." We feel that this language is vague and does not specifically state that the windows shall be relocated, or encompass all the windows brought up as an issue during the hearing. In multiple neighbor letters, there have been requests to relocate these windows and/or bedrooms due to privacy concerns. And in our own latest letter, we provided specific suggestions on how those offending windows might be moved to face East and West instead of North to address our primary privacy concerns. We also mentioned in the letter and hearing that there are other windows that are of significant concern to our property specifically and it is unclear, and open to interpretation, which and how many the approval of condition applies to. The Planning Commission tried to address the privacy concerns with this condition of approval, but it in effect does not. We believe that given the specific directive to address these concerns, the owners and architects can come up with a design that solves this.

Request: The condition of approval be amended to require redesign that all the offending windows shall be repositioned to a location that addresses the neighbors' privacy interests.

4. Clarification needed on the condition of approval regarding trees

One of the Commission's conditions for approval is that "the [privacy] tree species shall be mutually agreed upon by the neighbors that they are a minimum protective of privacy and non-allergenic to any of the neighbors." While we appreciate and value this condition, we believe it's insufficient to address the concerns we expressed before and during the hearing, given that the proposed plan includes planting privacy trees by the section of the North fence facing 373 Blackwell Drive only, but not the section facing our property at 377 Blackwell Drive.

Request: The condition of approval be amended to require that both the species and also the number and location of the privacy trees shall be mutually agreed upon by the neighbors.

5. Ongoing tree maintenance covenant.

All the adjacent neighbors have experienced difficulties with the applicants during the

last seven years since their ownership of the two lots, with multiple maintenance and repair and maintenance issues, specifically with respect to the level and speed of responsiveness even when dealing with severe damage caused by storms, for instance.

We all have severe concerns about their level of commitment to perform the adequate level and frequency of maintenance to the privacy trees (which will be on their property).

Request: Add as a condition of approval that an enforceable covenant of ongoing maintenance be established.



6.Unaddressed significant privacy and quality of life concerns given the intended use by the applicants.

We have significant privacy and quality of life concerns given the intended use of the flag lot by the applicants as a high-density multi-dwelling complex. This includes the

massive proposed 3-level structure, which could easily be subdivided at any time to be partially/totally used as multi-family dwellings, as well as their stated intent to build two ADUs in the future (which we understand is allowed by California law). While the applicant claims the proposed structure is a single-family residence, its size, design and layout suggest it could be easily converted into a multi-family dwelling or house several tenants. This would introduce an unacceptable level of density to an area that is not designed to handle such congestion. Increased numbers of occupants would increase the level of car traffic and noise in the middle of the city block (flag lot), and additionally place strain on resources such as street parking and street traffic. What may appear as a single-family home could, in reality, become a high-occupancy structure, putting further pressure on our infrastructure and the quality of life for current surrounding residents, by circumventing current zoning laws which are intended to prevent such overdevelopment. Our community has been thoughtfully designed to maintain the aesthetic and functional integrity of single-family residential zones. Approving a structure that will not align with the typical size, footprint, or use of single-family homes in the area sets a troubling precedent for future developments that could dramatically change the neighborhood's character.

Request: We respectfully encourage the Town Council/Planning Commission to reject this proposal. Allowing what is likely a multi-family unit to be disguised as a single-family home would not only be a violation of the zoning regulations but would also undermine the very fabric of our neighborhood. We ask that the size of the proposed two-story structure be reduced to one that is less massive, more harmonious and in scale with the surrounding structures and its positioning in the middle of the city block.

7. Clarification regarding visibility of the proposed house from the street.

Inaccurate information regarding the visibility from the street of the proposed development, given that one of the very large trees (#67) blocking the structure from the street shows as 'to be removed' in the development plans, and upon further inquiry continues to be in question as to whether it will remain or not. This was a stated key clarifying point for one Commissioner as she considered the applicant's not meeting one of the consulting architect's recommendations.

We humbly and respectfully ask that this appeal is granted so that the applicants may submit a proposal that addressed all the issues listed above and they can move on to build an appropriate single family house, (two-stories is fair) for single family use in this single family residential area, taking into account the privacy, safety and neighborhood character interests.

Thank you for your time and consideration.

Sincerely,

Hellen Martinez

Blackwell Dr

This Page Intentionally Left Blank

Architecture and Site Application S-23-033

Dear Council,

This letter is to address the additional comments sent by the Appellant, Please note the numbering in this letter follows the numbers in the Appellant's letter.

- 1. The Appellant's calculation of total livable square feet is incorrect and bogus; we have worked with the staff for over a year to make sure we are
 - a. Following all the Town codes and guidelines
 - b. Not exceed the FAR calculated by the staff.
 - c. Meet almost all suggestions mentioned by the Town architect
 - d. Plan a multi-generational home while still adhering to the FAR provided to us

Our proposed plan is not visible from any street corner; you can only see it if you are standing right across 15415 National Ave. The top of the front façade is only visible to the 15400 which is an office space and 15385 National Ave (who has no objection to the project), As National Ave is large, the pictures below are only taken near the intersections where the project is located.





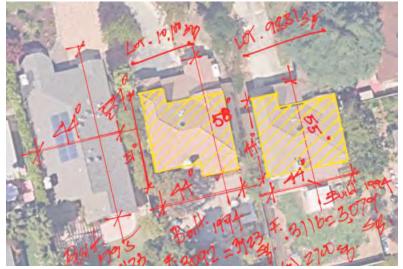
I would like to point out that the current project has no bearing on the lot split, but I would like to set the record straight as the appellant told more lies and bogus statements in the letter,

- a. There was no actual opposition to the lot split from Leila Ct. There was confusion about which lot was on the application, and as soon as we confirmed we did not have any access to Leila Ct, they corrected their statement, all of which was recorded in a public hearing.
- b. The justification letter provided doesn't say we will build a smaller house; it states we will adhere to the FAR. Again, this is in the public records.

Currently, all three homes on Leila Ct have no objections and want to stand neutral in the matter of the purposed construction; this includes 113 Leila Ct,

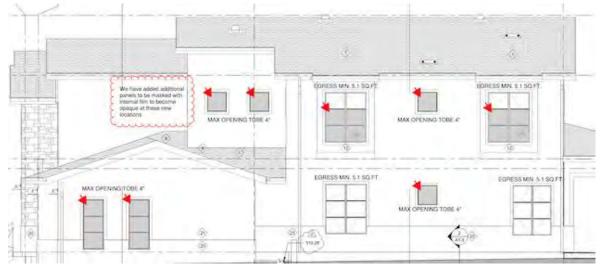
Please note that the proposed lot does not affect any houses facing National Ave, Blackwell Drive, and Leila Ct as it's on the flag lot and more towards the south of the property; we have also obtained either no objection letters or a verbal statement saying they would like to stand neutral on this matter. This includes some immediate neighbors and people surrounding them.

- 2. Again, the appellant is making incorrect assumptions. We are following the Residential Design Guidelines as stated by planning commission council.
- 3. and 4. We took measures to address privacy concerns of every Neighbor we share fence.
 - a. We moved our whole project more towards the SE of the lot without giving much concern to our privacy as the 22,000-sq ft mostly empty lot beside us may have development in future, even with this uncertainty we have provided a maximum side setback to our NW neighbors facing Blackwell Dr. The current setback is about 40 feet, and the distance between the walls of our and Blackwell Dr neighbors is between 100 and 120 feet.
 - b. We removed the balcony and line-of-sight windows from the back of the house to address privacy issues with 113 Leila Ct, 369, and 373 Blackwell Dr.
 - c. We have suggested planting five privacy trees to block the view from our egress windows, we are not going to increase the tree count as there is no other privacy concerns other than the egress windows. We have never stated that the tress is to hide our house from 373 Blackwell Dr or any neighbors, they are meant to only address egress windows. The tree selection will be made after discussing it with the neighbors.
 - d. We ensured the NW side façade is smaller than the SE façade (this does not include the garage). We are smaller by 7 feet compared to the back façade of 373 and 377 Blackwell Dr; please see the picture below.



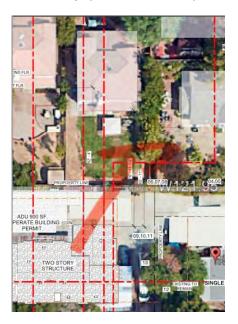
e. We are going to put permeant obscure glass to cover the line of sight on both the egress windows and to address the planning commission councils' conditions of approval we have decided to obscure additional windows.

Our garage windows, storage windows and bathroom windows will have 4inch opening, please note none of these windows are in the line of site and they are non-offending. Please see the picture below.



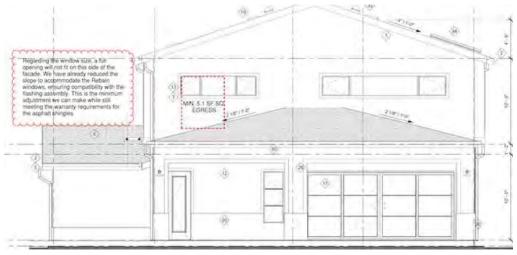
Unfortunately, we cannot move our egress windows facing Blackwell Drive.

The first window, the suggestion to move to the front, will affect my neighbor, 15385 National Ave; we had assured him that there would be no egress window on the front side of the property facing his, and going against it would be more offensive. The suggestion will not address the privacy concern as I can still look at 377 Blackwell Dr's backyard and see the whole house on 15385 National Ave. There won't be privacy trees to address this issue here due to the driveway; please see the picture below.



The second egress window has multiple issues due to which this cannot be moved.

- a. We had assured 113 Leila Ct neighbor that there would be no egress window on the back side of the property facing their property, this discussion is in the staff report as part of neighborhood reach out.
- b. Our current patio roof design doesn't allow for an egress window in the back, please see the picture below.



Please note, the current big oak tree provides an additional privacy screen, please see the picture (marked in Red for the placement of the window)



Please see some of the neighborhood pictures provided to the staff where the egress windows are not clearly visible due to the existing trees

This is from 369 Blackwell Dr – Both the egress windows are obscured by the gigantic oak tree, the only thing clearly visible from this side view is my garage.



The next one is from 373 Blackwell Dr- Both the egress windows are either obscured by the gigantic oak tree or the trees in their own backyard



5. and 6. The maintenance of the fence and gigantic oak tree that sits between two properties is the responsibility of all the property owners who share them, and this was never an issue before 2024 (We shared the project plans with our neighbors in early 2024).

I have never backed out of a commitment to have a new fence or pay my share. The same goes for the trimming of the Oak tree (I did request additional time as there was an access issue at my end of the property).

Currently, the fences for both properties are new, and the Oak tree is trimmed; please see the pictures below.





With regards to point #6 on the appellant's letter - I would like to point out to the council that the appellant is accusing of something we have no intentions to do and assuming wide verity of cooked up theories without any proof which has no foundation.

The appellant had never contacted us, even after we tried to initiate a dialogue using multiple avenues. The neighborhood outreach started early this year, and I could form an open/ongoing dialogue with all my neighbors either via email or in person other than the appellant (377 Blackwell Dr, Which I currently feel was deliberate on their part). The allergies mentioned by the appellant to the cypress trees were never in any of the letters sent to staff.

I would also like to point out to the Council that the quality of life should have been bad before the demolition as we had bought and inherited a space filled with junk storage sheds and looked more like a dump, with people constantly going in and out of the storage sheds, working in that area late into the night which caused a lot of noise, by bringing in this project we will, improve the quality of life, and increase the property value and also make it



beautiful, please see before and after (future) pictures

The letter provided by the appellant contained a lot of incorrect, misleading, and misinformation. It is riddled with unfounded accusations that have no proof and is made with a sole intent of undermining our project and question our character.

I would humbly request the council to disregard all the incorrect, misleading and misinformation and deny the appeal,

Thank you,

Best regards,

Vyankatesh Bhattulla and Ramya Muddada

National Ave.

DRAFT RESOLUTION

Draft Resolution to be modified by Town Council deliberations and direction.

RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF LOS GATOS DENYING AN APPEAL OF THE DECISION OF THE PLANNING COMMISSION APPROVING A REQUEST FOR CONSTRUCTION OF A NEW SINGLE-FAMILY RESIDENCE AND SITE IMPROVEMENTS REQUIRING A GRADING PERMIT ON VACANT PROPERTY ZONED R-1:8.

APN 424-12-140 ARCHITECTURE AND SITE APPLICATION: S-23-033 PROPERTY LOCATION: 15411 NATIONAL AVENUE APPELLANT: HELLEN MARTINEZ PROPERTY OWNERS: VYANKATESH AND RAMYA MUDDADA APPLICANT: JOSE RAMA

WHEREAS, on November 13, 2024, the Planning Commission held a public hearing and considered a request to construct a new single-family residence and site improvements requiring a grading permit on vacant property zoned R-1:8. The Planning Commission approved the Architecture and Site application subject to modified conditions of approval;

WHEREAS, on November 25, 2024, the appellant, an interested person, filed a timely appeal of the decision of the Planning Commission approving the request for construction of a new single-family residence and site improvements requiring a grading permit on vacant property zoned R-1:8;

WHEREAS, this matter came before the Town Council for public hearing on December 17, 2024, and was regularly noticed in conformance with State and Town law; and

WHEREAS, the Town Council received testimony and documentary evidence from the appellant and all interested persons who wished to testify or submit documents. The Town Council considered all testimony and materials submitted, including the record of the Planning Commission proceedings and the packet of materials contained in the Council Agenda Report for their meeting on December 17, 2024, along with any and all subsequent reports and materials prepared concerning this application; and

WHEREAS, the Town Council was unable to make the findings required to grant an appeal of a decision of the Planning Commission.

ATTACHMENT 8

NOW, THEREFORE, BE IT RESOLVED:

In accordance with Town Code section 29.20.275, the Town Council finds that:

- 1. There was not an error or abuse of discretion by the Planning Commission in approving the Architecture and Site application, because:
 - a. The application complies with all Zoning Code requirements; and
 - b. The Planning Commission made the finding that the project complies with the Residential Design Guidelines; and
 - c. The Planning Commission approved the Architecture and Site application with modified conditions of approval.
- 2. The Planning Commission decision is supported by substantial evidence in the record.
- The appeal of the decision of the Planning Commission approving a request for construction of a new single-family residence and site improvements requiring a grading permit on vacant property zoned R-1:8 is denied and the application approval is upheld.
- 4. The decision constitutes a final administrative decision pursuant to Code of Civil Procedure section 1094.6 as adopted by section 1.10.085 of the Town Code of the Town of Los Gatos. Any application for judicial relief from this decision must be sought within the time limits and pursuant to the procedures established by Code of Civil Procedure section 1094.6, or such shorter time as required by state and federal Law.

 PASSED AND ADOPTED at a regular meeting of the Town Council of the Town of Los

 Gatos, California, held on the ______ day of ______ 2024, by the following vote:

 COUNCIL MEMBERS:

 AYES:

 NAYS:

 ABSENT:

 ABSTAIN:

SIGNED:

MAYOR OF THE TOWN OF LOS GATOS LOS GATOS, CALIFORNIA

ATTEST:

TOWN CLERK OF THE TOWN OF LOS GATOS LOS GATOS, CALIFORNIA

From: Venkat V Sent: Thursday, December 12, 2024 10:30 AM To: Erin Walters <EWalters@losgatosca.gov> Subject: Re: Privacy Concerns Regarding Construction Project at Backside of 373 Blackwell., Los Gatos, CA - 95032

[EXTERNAL SENDER]

Hi Erin

I support the appeal to the Town Council of the Planning Commission Approval of the 15411 National Avenue project. The large size of the house, and the windows facing my home will have a significant impact on my property and my family's privacy in our daily life.

Thanks

Venkat

On Oct 29, 2024, at 9:26 AM, Venkat V wrote:

Dear Erin Walters,

I am writing again to rise our concerns regarding the construction project at 15411 National Avenue, Los Gatos, CA - 95032 about the following issues after looking at the plans and letter with my neighbors.

My concern are

1. Privacy trees is a concerns as they are in our property. Rain water is going to drip into my property and it's a concern about the dry leaves(debris).

2. Privacy with the first floor gigantic 2 windows looking directly at my bedrooms is a big concern. We can't have any kind of privacy in backyard with these big windows.

3. Overall having this gigantic 3 storied gigandintc structure between us (talking to neighbors also as they are also concerned).

I'm also attaching the pictures after they have this high preview from my bedrooms and backyard.

This situation gives rise to considerable privacy concerns for my family.

Thank you for your attention to this matter. Please let me know if you require any further information from my end.

Best regards,

Venkat and Sahithi

Blackwell., Los Gatos, CA - 95032

On May 7, 2024, at 10:44 AM, Venkat V

Dear Erin Walters,

I hope this email finds you well. I am writing to formally express concerns regarding the construction project at 15411 National Avenue, Los Gatos, CA - 95032

After examining the architectural plans for the project, my family is

1. Concerned about the privacy due to a big two storied building.

As our 3 bedrooms (including the Master Bedroom) are open to our backyard and it's a concern for the privacy of my family due this big construction.

2. This big two floored building is going to obstruct the view of the mountains and it's a claustrophobic for my family.

3. After hearing that we are going to have tree screening to obstruct view from their windows or big balcony, we are concerned about the time and maintenance of these trees going forward.

Looking at the situation now, we are concerned about the maintenance.

4. As I mentioned, the way the bushes (vine iv) or sheds or barn roof iron sheets are maintained, I see animals (bobcats), snakes on the fence or barn roof and it's a big concern.

Another concern about the flying barn roof iron sheets during the storm and not maintaining them.

5. Due to vine iv bushes in the back, growing on my shed and damaging the roof. Also the fence. My gardener cleaned the vines and also paid for the repair of fence in the past.

6. Looked at the latest plans at this link and here is the big balcony that my family is concerned about...

https://www.losgatosca.gov/2380/N

Development-Plans---15411-National-Avenue-PDF (03/29/2024)

<image001.png>

This situation gives rise to considerable privacy concerns for my family.

Thank you for your attention to this matter. Please let me know if you require any further information from my end.

Best regards,

Venkat and Sahithi

Blackwell., Los Gatos, CA - 95032

From: Devavrath S
Sent: Thursday, December 12, 2024 9:53 AM
To: Erin Walters < EWalters@losgatosca.gov>
Subject: Support for appeal : 15411 National Avenue

[EXTERNAL SENDER]

Hi Erin,

I would like to express my support of the appeal of the approval decision for the proposed residence at 15411 National Avenue as my concerns on its size and the loss of privacy for my family remain unresolved. Preferably I would want the windows facing Blackwell drive to be moved towards Los Gatos Almaden Road.

Thanks,

Devavrath Subramanyam