

ABBREVIATIONS

Table of architectural abbreviations including ARCH, BTWN, BLDG, BLK, BM, CSMT, CLR, CL'G, C.J., COL., CONC., CONT., DRY., DIA., DIM., D.W., DWGS., ELEV., EQ., (E), EXT., F.A.U., FIN., FLR., F.J., FTG., FRZ., GA., GALV., G.D., GRD., GYP. BD., HDR., HGT., INT., MAX., MIN., MECH., MFGR., MICRO., MTL., NAT., NEW, NO., ON CENTER, PLYWD., RISR., R.O., R.R., REV., REFR., REOD., SHEET, SL., SIM., STL., STRUCT., TEMP., TR., T.O., TYP., U.N.O., V.I.F., WASH., W.H., WOOD, INTERIOR, MAXIMUM, MINIMUM, MECHANICAL, MANUFACTURER, MICROWAVE, METAL, NATURAL, NUMBER, ON CENTER, PLYWOOD, RISERS, ROUGH OPENING, ROOF RAFTERS, REVISION, REFRIGERATOR, REQUIRED, SHEET, SLIDER, SIMILAR, STEEL, STRUCTURAL, TEMPERED, TREADS, TOUNGE & GROOVE, TOP OF, TYPICAL, UNLESS NOTED OTHERWISE, VERIFY IN FIELD, WASHER, WATER HEATER, WOOD.

Los Gatos Residence



RENDERING

NOTES

FIRE SPRINKLERS ARE REQUIRED
R313.2 One- and two-family dwellings automatic fire sprinkler systems. An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows:
1. In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than three thousand six hundred (3,600) square feet.
Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon as possible.
Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies.
CONSTRUCTION FIRE SAFETY: Section A33-47 of the Santa Clara County Code and Section 101 of the California Fire Code give the County Fire Marshal the authority to make and enforce such rules and regulations for the prevention and control of fire and fire hazards as may be necessary to carry out the intent of the Code.
PREMISES/ADDRESS IDENTIFICATION: The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting the property at the fire apparatus access point or as otherwise approved per code.

CONTACTS

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CONTENTS

Table of contents listing architectural and building sections such as COVER SHEET, BLUEPRINT FOR A CLEAN BAY, SITE PLAN, GRADING PLANS/INFO, etc.

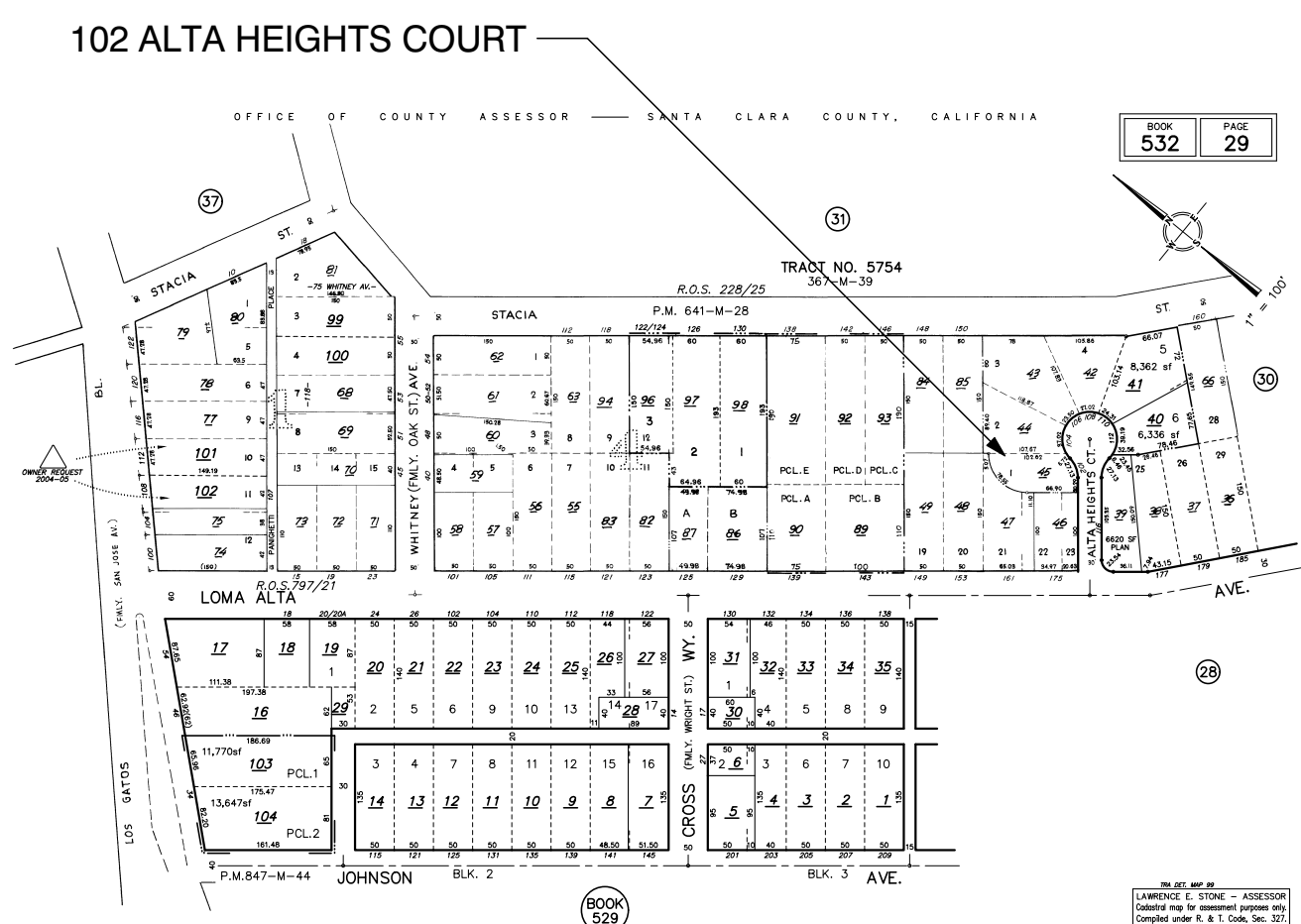
APPLICABLE CODES

- 2019 California Building Code - CCR Title 24 Part 2
2019 California Residential Code - CCR Title 24 Part 2.5
2019 California Electrical Code - CCR Title 24 Part 3
2019 California Mechanical Code - CCR Title 24 Part 4
2019 California Plumbing Code - CCR Title 24 Part 5
2019 California Building Energy Efficiency Standards - CCR Title 24 Part 6
2019 California Historical Building Code - CCR Title 24 Part 8
2019 California Existing Building Code - CCR Title 24 Part 10
2019 California Green Building Standards Code - CCR Title 24 Part 11
2019 International Existing Building Code, Appendix Chapters A2 and A5

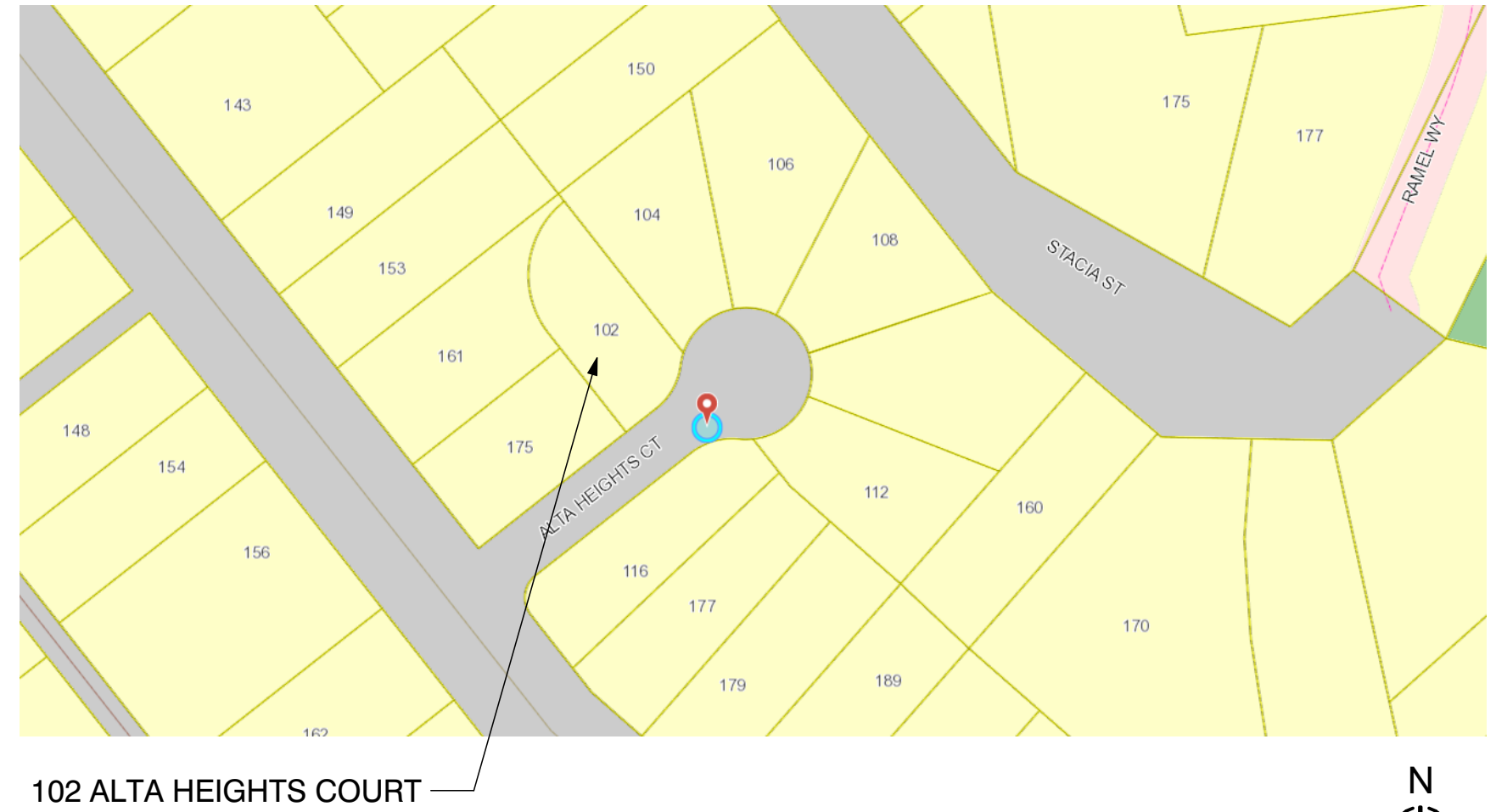
LEGEND

- DOOR
WINDOW
DETAIL
INTERIOR ELEVATIONS
SECTION
EXTERIOR ELEVATION
SLOPE
ELEVATION HEIGHTS

ASSESSOR MAP



LOS GATOS GIS TAX MAP



PROJECT DATA & DESCRIPTION

Assessor's Parcel Number (APN): 532-29-045
ZONING: R:1-8
LOT SIZE: 5,250 SF
CONSTRUCTION TYPE: TYPE V
OCCUPANCY GROUP: R3 - 2-STORY SINGLE FAMILY DWELLING + ATTACHED ADU / GROUP U PRIVATE GARAGE

PROJECT DESCRIPTION

EXISTING 1958, 1-STORY RESIDENCE TO BE REMOVED
CONSTRUCT NEW 2 STORY HOUSE WITH ATTACHED ADU AND GARAGE
EXISTING LOT IS FLAT, LANDSCAPING & GRADE TO REMAINS AS IS

DEFERRED SUBMITTALS

- 1. SPRINKLER SYSTEM Type 13D system required per SCCFD
2. SOLAR PV PANEL PLAN/SYSTEM - separate permit
3. WATER EFFICIENCY LANDSCAPE ORDINANCE/PLAN: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive.

PROJECT AREA CALCULATIONS

Table of lot calculations including LOT AREA, COVERAGE CALCULATIONS, EXISTING COVERAGE, PROPOSED COVERAGE, FAR CALCULATIONS, GARAGE FAR CALCULATIONS, FLOOR AREAS, and HOUSE TOTALS.

DRAINAGE NOTES

EXISTING SITE DRAINS ONTO THE EXISTING FLAT VEGETATED LAWN WHICH SURROUNDS THE EXISTING HOUSE. ENTIRE LOT HAS MAX. VERTICAL CHANGE OF LESS THAN 1%. SLOPE IS APPROXIMATELY 1.5%.
PER LID SITE DESIGN MEASURES: EXISTING ROOF DRAINAGE TO DISCHARGE ACROSS SPLASH BLOCKS AND INTO EXISTING LANDSCAPED AND VEGETATED AREAS

NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL

VICINITY MAP



Table of revisions including revision number, date, and initials.

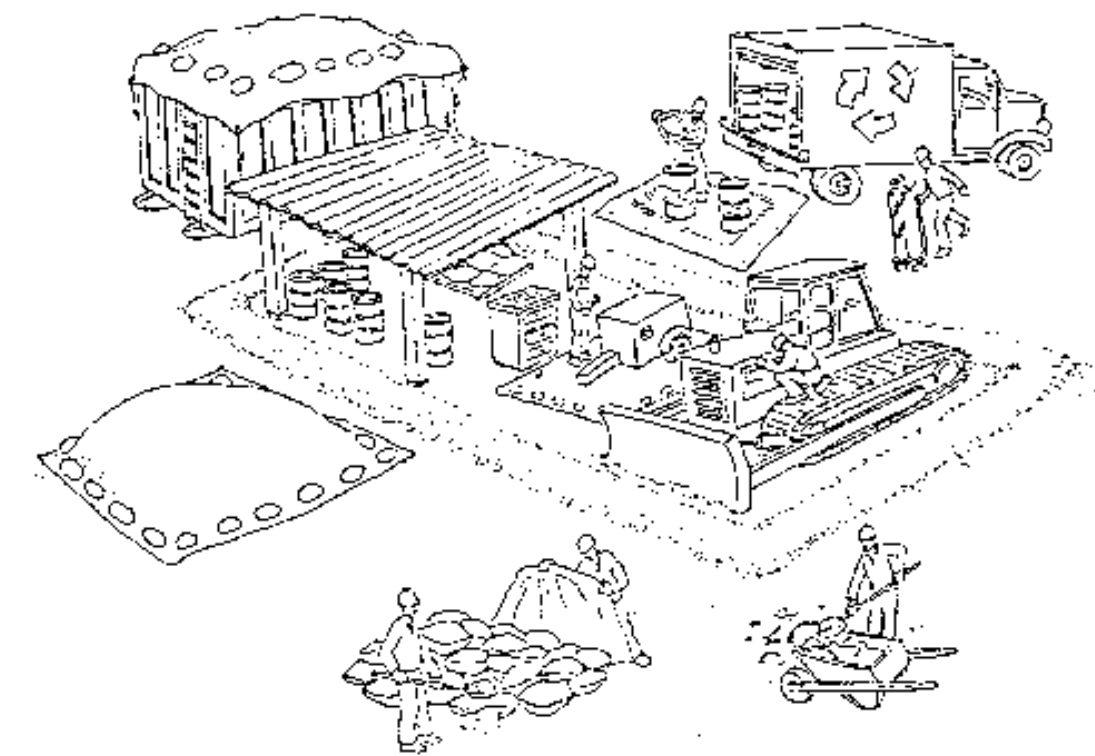
Beckstrom Architecture + Interiors logo and contact information: P.O. BOX 1317, LOS GATOS, CA 95030, eric@beckstromarchitecture.com, www.beckstromarchitecture.com

New Residence 102 Alta Heights Court Los Gatos, CA 95030 APN: 532-29-045 PLANNING PERMIT SUBMISSION UPDATE

Licensed Architect seal for Eric A. Beckstrom, C-25632, 7/31/2021, State of California.

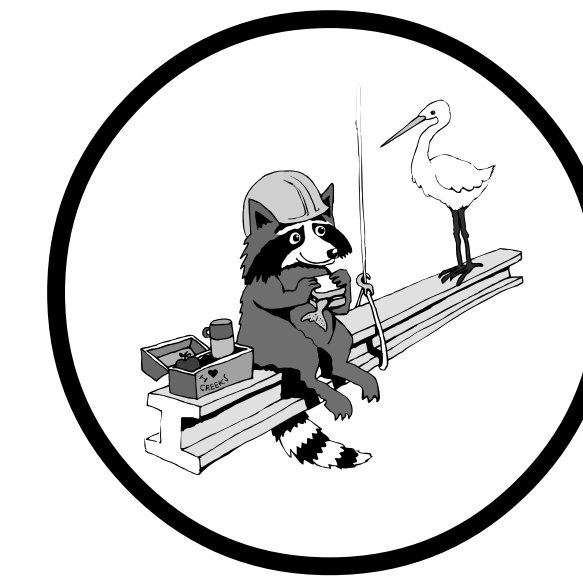
Table with drawing title (COVER SHEET), drawn by (EB), date (5/9/2021), scale (1:2.43, 1:1.55, 1' = 1'-0"), job number (6), filename (102 ah cd5.3.pln), and sheet number (A0.0).

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

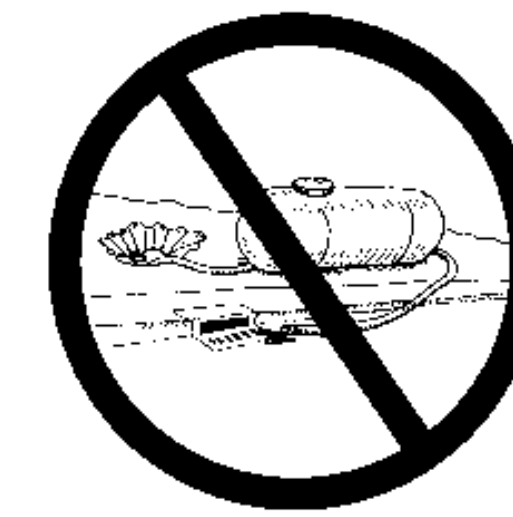
Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

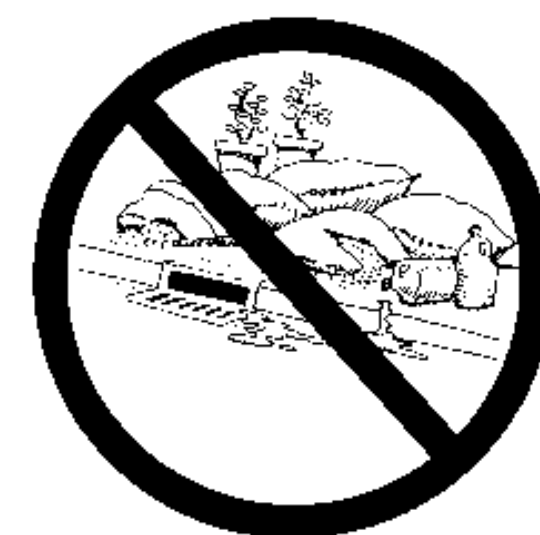
- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



BASMAA Bay Area Stormwater Management Agencies Association (BASMAA)
1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISIONS	BY
11/22/2020	EB
1/5/2021	EB
2/11/2021	EB
4/1/2021	EB
5/9/2021	EB

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New Residence
102 Alta Heights Court
Los Gatos, CA 95030
APN: 532-29-045

PLANNING
PERMIT
SUBMISSION
UPDATE



DRAWING TITLE:
BLUE PRINT FOR A CLEAN BAY

DRAWN: EB
DATE: 5/9/2021
SCALE: 1:1.20
JOB NO.: 6
FILENAME: 102 ah cd5.3.pln

SHEET
A0.1

NOTES

- ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION, TYP.
- SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS.
- EXTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- INTERIOR WALLS TO BE 2X4 STUD, U.O.N.
- PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.
- SHOWER WALLS TO HAVE A SMOOTH, HARD, NON-ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT AT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2.
- 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/SHOWER ENCLOSURES, TYP.
- PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.
- TERMINAL INSULATION:
R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS
R-19 or R-30 FACTOR THERMAL (FOAM) INSULATION TYPICAL AT ROOFS.
R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION
EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT. MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR.
1/2" THK. GYP. BD. LEVEL 4 FOR ALL INTERIOR WALLS, U.O.N.
- ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.
- ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE LIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER CRC 602.6.2.
- ANNUAL SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLEBOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.
- AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.
- ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY.
- ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.
- AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522 (c)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8, RULE 49.
- HARDWOOD PLYWOOD, PARTICLEBOARD AND MFC COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE REQUIREMENTS OF OR FORMALDEHYDE AS SPECIFIED IN ARP'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).
- WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:
A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED
B) OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY
C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL
- BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.
- INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
- WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH THEY ARE INSPECTING.
- DOCUMENTATION OF COMPLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

DEMOLITION NOTES

- ALL DEMOLITION WORK SHALL AT ALL TIMES BE UNDER THE IMMEDIATE SUPERVISION OF A PERSON WITH THE PROPER EXPERIENCE, TRAINING, AND AUTHORITY.
- ALL REMOVED BUILDING MATERIALS, APPLIANCES, AND FIXTURES MAY BE SALVAGED AT THE OWNER'S DISCRETION. VERIFY WITH OWNER PRIOR TO DEMOLITION WHAT IS TO BE REMOVED WITH CARE, SALVAGED, AND STORED AT A LOCATION DESCRIBED BY THE OWNER.
- DEMOLITION CONTRACTOR TO REDIRECT / RECONNECT ANY ACTIVE EXISTING UTILITY, DRAINAGE, AND SPRINKLER LINES WHICH ARE DISTURBED BY DEMOLITION. CAP ALL ABANDONED LINES.
- CONTRACTOR IS TO BE FAMILIAR WITH DEMOLITION AND FIELD VERIFY ALL DEMOLITION PRIOR TO BEGINNING WORK, REPORT ANY DISCREPANCIES TO ARCHITECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SELECTIVE DEMOLITION AS REQUIRED FOR IMPROVEMENTS PROPOSED, RENOVATIONS, AND ALTERATIONS TO (E) GARAGE AND (E) RESIDENCE.
- OWNER AND ARCHITECT TO WALK JOB WITH CONTRACTOR PRIOR TO COMMENCEMENT OF DEMOLITION.
- RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50% (BY WEIGHT) OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH CALGREEN 4.408.2.
- SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN:
A) IDENTIFYING THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE
B) SPECIFYING IF CONSTRUCTION AND DEMOLITION WASTE WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
C) IDENTIFYING DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE TAKEN
D) IDENTIFYING CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED
E) SPECIFYING THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME BUT NOT BY BOTH
- DOCUMENTATION WILL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH CALGREEN 4.408.2.
- A PLAN MUST BE DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
- CALGREEN RESIDENTIAL MANDATORY MEASURES

LOS GATOS PLANNING NOTES:

- ALL EXTERIOR LIGHTING WILL BE DOWNWARD DIRECTED/NIGHT SKY TYPE AND SHIELDED FROM NEIGHBOR'S PER TOWN CODE

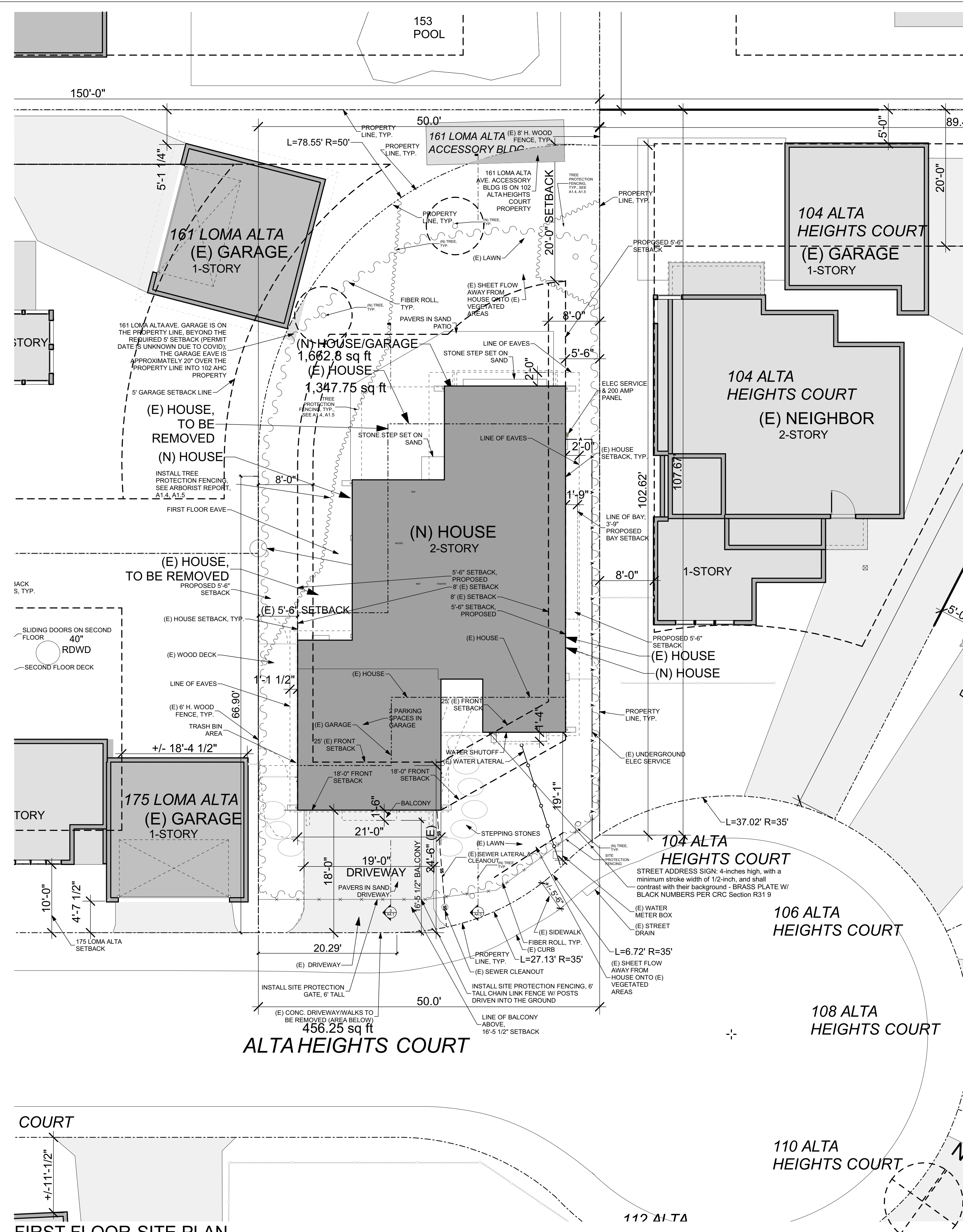
LOT CALCULATIONS

LOT AREA	5,250.00	SF	
COVERAGE CALCULATIONS			
BUILDING COVERAGE ALLOWED	40%		
ALLOWED COVERAGE	2,100.00	SF	IMPERVIOUS
EXISTING COVERAGE			
HOUSE	1,037.00	SF	EXISTING HEIGHT: APPROX. 20'-3"
GARAGE	308.00	SF	EXISTING HEIGHT: APPROX. 16'-7"
DRIVEWAY/WALK	468.00	SF	
SIDE PATIO	75.00	SF	
EXISTING COVERAGE TOTAL	1,888.00	SF	IMPERVIOUS
PROPOSED COVERAGE			
HOUSE	1,082.77	SF	Note: driveway, patio & walks to be pavers on sand
GARAGE	454.06	SF	
ADU STAIR (UNDER SEPARATE PERMIT)	57.63	SF	
TOTAL PROPOSED COVERAGE	1,594.46	SF	IMPERVIOUS
COVERAGE AMOUNT UNDER ALLOWED	505.54	SF	IMPERVIOUS
COVERAGE AMOUNT UNDER EXISTING	293.54	SF	IMPERVIOUS
102 ALTA HEIGHTS FAR CALCULATIONS			
LOT SIZE	5,250	SF	
AREA			
FAR			
HOUSE			
5.25	5	0.25	25
0.01	0.2	0.002	0.35
0.348	5,250		1,827.0
GARAGE FAR CALCULATIONS			
AREA			
FAR			
GARAGE			
5.25	5	0.25	25
0.01	0.1	0.0007	0.1
0.099	5,250		521.3
FLOOR AREAS			
FIRST FLOOR	1,082.77	SF	
SECOND FLOOR	742.40	SF	
HOUSE TOTAL	1,825.17	SF	
HOUSE ALLOWED	1,827.00	SF	
AMOUNT UNDER	1.83	SF	
GARAGE	454.06	SF	
GARAGE ALLOWED	521.33	SF	
AMOUNT UNDER	67.27	SF	
ADU (SEPARATE PERMIT)	798.58	SF	
ADU ALLOWED (SEPARATE PERMIT)	801.63	SF	
AMOUNT UNDER	3.05	SF	
HOUSE TOTAL	3,077.81	SF	

FLOOR AREA-SEE DIAGRAMS ON A1.6

FLOOR AREA	HOUSE	WIDTH	HEIGHT	AREA (SF)
A		11.87	13.25	157.28
B		6.37	5.45	34.72
C		11.08	3.33	36.90
D		19.91	23.50	467.89
E		11.08	13.12	145.37
F		17.50	13.75	240.63
FIRST FLR SUBTOTAL				1,082.77
G		9.12	12.79	116.64
H		9.87	20.16	198.98
I		6.04	10.05	60.70
J		5.95	7.62	45.34
K		10.87	7.37	80.11
L		17.50	13.75	240.63
SECOND FLR SUBTOTAL				742.40
HOUSE TOTAL				1,825.17
ADU (SEPARATE PERMIT)				798.58
M		5.95	2.39	14.22
N		12.00	13.44	161.28
O		19.00	16.58	315.02
P		6.12	5.75	35.19
Q		20.00	7.50	150.00
R		7.16	17.16	122.87
ADU TOTAL (SEPARATE PERMIT)				798.58
GARAGE				454.06
S		20.75	20.87	433.05
T		5.54	3.79	21.01
GARAGE TOTAL				454.06

NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL



FIRST FLOOR-SITE PLAN

REVISIONS

1	11/22/2020	EB
2	1/5/2021	EB
3	2/11/2021	EB
4	4/1/2021	EB
5	5/9/2021	EB

BECKSTROM ARCHITECTURE + INTERIORS
650.847.8351

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102 Alta Heights Court
Los Gatos, CA 95030
APN: 532-29-045

PLANNING PERMIT SUBMISSION UPDATE

SEAL: ERIC A. BECKSTROM C-25632 7/31/2021 RENEWAL DATE

DRAWING TITLE: SITE PLAN

DRAWN: EB

DATE: 5/9/2021

SCALE: 1" = 1'-0", 1" = 1'-1.14"

JOB NO: 6

FILENAME: 102 ah cd5.3.pln

SHEET: A1.0

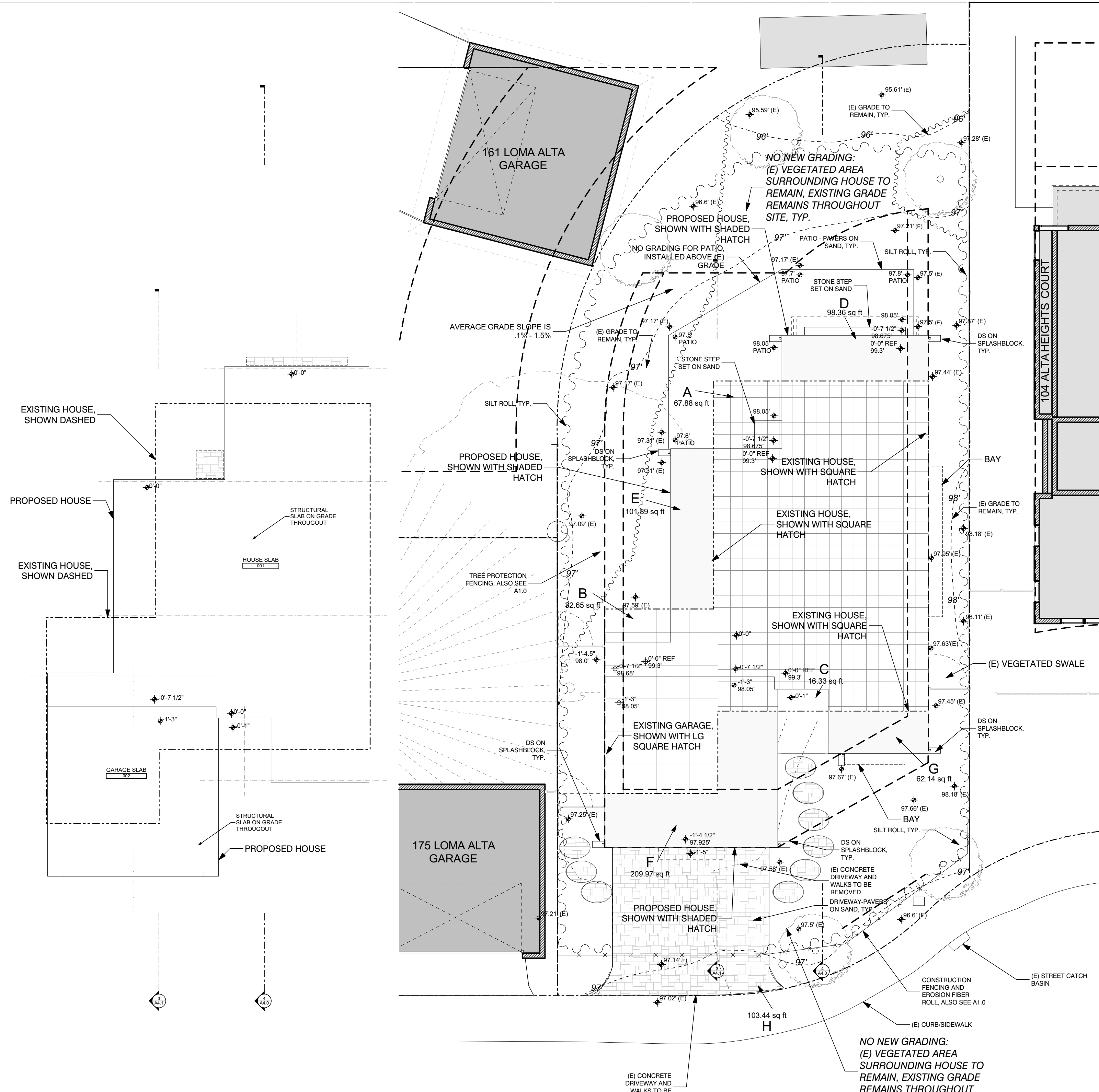
DRAINAGE NOTES

1. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MINIMUM DISTANCE OF 10'. (CBC 1804.3) EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 2%. THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF BACKFILL.
2. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2%. ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT THE REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS OF THE SITE. (CBC 1808.7.4)
3. ALL RUN OFF FROM ROOFS SHALL BE COLLECTED BY ROOF GUTTERS. ALL ROOF GUTTER DOWNSPOUTS SHALL BE EQUIPPED WITH SCREENS TO PREVENT THE INTRUSION OF LEAVES, TWIGGS & DEBRIS.
4. ROOF GUTTER DOWN SPOUTS SHALL BE EQUIPPED WITH SPLASH BLOCKS LOCATED IMMEDIATELY BELOW POINT OF DOWNSPOUT DISCHARGE. SPLASH BLOCKS SHALL DIRECT ROOF GUTTER FLOW AWAY FROM BUILDING FOUNDATION AS REQUIRED TO PREVENT PONDING OF WATER ADJACENT TO BUILDING FOUNDATION.
5. ALL STORM DRAINAGE PIPING, FITTINGS, AREA DRAINS, DROP INLETS ETC SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECS.
6. ALL PIPES FROM THE ROOF GUTTER DOWN SPOUTS AND/OR YARD PIPING SHALL BE IN 4" SDR-35 UNO. SLOPE MIN. 1% MIN TO APPROVED RELEASE LOCATION.
7. SIDE YARD DRAINAGE SWALES SHALL BE CONSTRUCTED TO FACILITATE RUNOFF AWAY FROM BUILDING FOUNDATIONS AT THE MAX RATE PRACTICABLE. RUNOFF TO ADJACENT PARCELS IS PROHIBITED.
8. UNO, ALL DRAINAGE SWALES AND OTHER LANDSCAPED FINISH SURFACES SHALL BE CONSTRUCTED TO PROMOTE RUNOFF CONTACT WITH LANDSCAPE VEGETATION AND SOIL MEDIA EN ROUTE TO APPROVED DISCHARGE LOCATION. RUN OFF SHALL BE DIRECTED TOWARD FRONT YARD AND BACKYARD AS SHOWN. PROVIDE 1% MINIMUM SLOPE TOWARD DISCHARGE LOCATION IN LANDSCAPED AREAS, EXCEPT TOWARD BUILDING FOUNDATION.
9. BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURE THAT HAVE FLOOD LEVEL RIMS LESS THAN 12-INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. CPC 710.0.
10. ONE OR MORE OF THE FOLLOWING MEASURES TO PREVENT FLOODING OF ADJACENT PROPERTY IN ACCORDANCE WITH CGSBC SECTION 4.106.2:
 - A. PROVIDE RETENTION BASINS OF SUFFICIENT SIZE TO RETAIN STORM WATER ON SITE.
 - B. WHERE STORM WATER IS CONVEYED TO THE PUBLIC DRAINAGE SYSTEM, SHOW METHOD OF FILTRATION CONSISTING OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
 - C. SHOW COMPLIANCE TO LOCAL STORM WATER ORDINANCE.
11. MATERIAL COLLECTION: THE TOWN EXCLUSIVE PROVIDER OF THIS SERVICE IS WEST VALLEY COLLECTION & RECYCLING (408) 283-9250.

EXISTING SITE DRAINS ONTO THE EXISTING FLAT VEGETATED LAWN WHICH SURROUNDS THE EXISTING HOUSE. ENTIRE LOT HAS MAX. VERTICAL CHANGE OF LESS THAN 1'. SLOPE IS APPROXIMATELY 1.5%

PER LID SITE DESIGN MEASURES:

EXISTING ROOF DRAINAGE TO DISCHARGE ACROSS SPLASH BLOCKS AND INTO EXISTING LANDSCAPED AND VEGETATED AREAS



FIRST FLOOR-SLAB PLAN

SCALE: 1/8" = 1'-0"

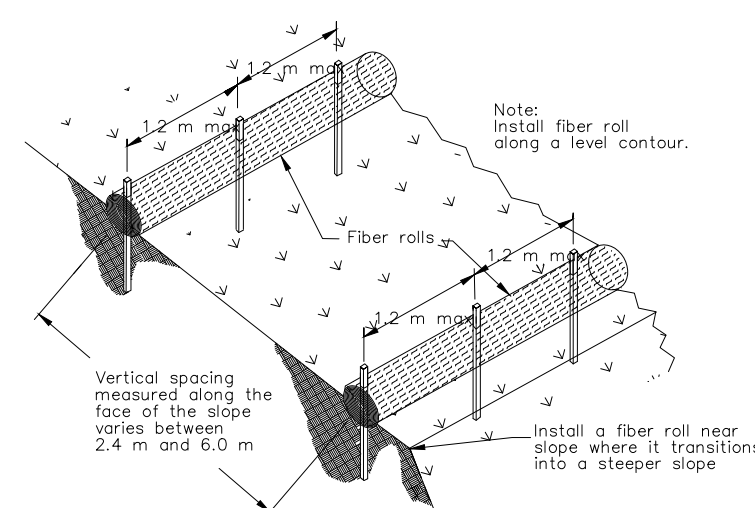
GRADING NOTES

1. HOUSE/GARAGE - NO NEW GRADING ON THE SITE BEYOND THE HOUSE FOOTPRINT, IE. ALL EXISTING GRADES TO BE MAINTAINED. HOUSE IS UTILIZING A STRUCTURAL SLAB OVER THE EXISTING HOUSE FOOTPRINT TO REDUCE SITE IMPACT EFFECTS
 - A. HOUSE/GARAGE GRADING QUANTITY: 26.19 CUBIC YARD TOTAL CUT/FILL
2. DRIVEWAY - EXISTING CONCRETE DRIVEWAY WILL BE USED DURING CONSTRUCTION AND REMOVED AT THE END OF CONSTRUCTION FOR A NEW PAVEMENT SAND DRIVEWAY TO REDUCE IMPERVIOUS SURFACES. THE DRIVEWAY WILL INCREASE SLIGHTLY IN WIDTH WHICH WILL REQUIRE MINIMAL GRADING
 - A. DRIVEWAY QUANTITY: 1.72 CUBIC YARD TOTAL CUT/FILL
3. BACK PATIO - NO GRADING REQUIRED, PAVEMENT PATIO WILL BE BUILT OVER THE EXISTING GRADE
 - A. NO GRADING REQUIRED

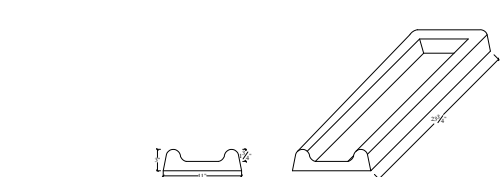
HOUSE - GRADING QUANTITIES (approx. cu. yds)													
AREA	CUT sq. ft	9 sq. ft/sq. yd	sq. yd	MAX. DEPTH yd	TOTAL (cu. yds)	AREA	FILL sq. ft	9 sq. ft/sq. yd	sq. yd	MAX. DEPTH yd	TOTAL (cu. yds)	GRAND TOTAL (cu. yds)	
A	67.88	9.00	7.54	x	0.40	3.02	D	98.36	9.00	10.93	x	0.40	4.37
B	32.65	9.00	3.63	x	0.40	1.45	E	101.89	9.00	11.32	x	0.40	4.53
C	16.33	9.00	1.81	x	0.40	0.73	F	209.97	9.00	23.33	x	0.40	9.33
							G	62.14	9.00	6.90	x	0.40	2.76
			SubTotal	12.98	sq. yd	SUBTOTAL	5.19						
									SubTotal	62.48	sq. yd	SUBTOTAL	26.19
												MAX. ALLOWED	50.00
												AMOUNT UNDER	-23.81
DRIVEWAY - GRADING QUANTITIES (approx. cu. yds)													
AREA	CUT sq. ft	9 sq. ft/sq. yd	sq. yd	MAX. DEPTH yd	TOTAL (cu. yds)	AREA	FILL sq. ft	9 sq. ft/sq. yd	sq. yd	MAX. DEPTH yd	TOTAL (cu. yds)	GRAND TOTAL (cu. yds)	
H	103.44	9.00	11.49	x	0.15	1.72							
			SubTotal	11.49	sq. yd	SUBTOTAL	1.72						
												MAX. ALLOWED	50.00
												AMOUNT UNDER	-48.28

FIRST FLOOR-GRADING PLAN

SCALE: 1/8" = 1'-0"



FIBER ROLL, TYP. DETAIL



SPLASH BLOCK, TYP.

LOT CALCULATIONS		5,250.00 SF	
LOT AREA	5,250.00	SF	
COVERAGE CALCULATIONS			
BUILDING COVERAGE ALLOWED	40%		
ALLOWED COVERAGE	2,100.00	SF	IMPERVIOUS
EXISTING COVERAGE			
HOUSE	1,037.00	SF	EXISTING HEIGHT: APPROX. 20'-3"
GARAGE	308.00	SF	EXISTING HEIGHT: APPROX. 16'-7"
DRIVEWAY/WALK	468.00	SF	
SIDE PATIO	75.00	SF	
EXISTING COVERAGE TOTAL	1,888.00	SF	IMPERVIOUS
PROPOSED COVERAGE			
HOUSE	1,082.77	SF	Note: driveway, patio & walks to be pavers on sand
GARAGE	454.06	SF	
ADU STAIR (UNDER SEPARATE PERMIT)	57.63	SF	
TOTAL PROPOSED COVERAGE	1,594.46	SF	IMPERVIOUS
COVERAGE AMOUNT UNDER ALLOWED	505.54	SF	IMPERVIOUS
COVERAGE AMOUNT UNDER EXISTING	293.54	SF	IMPERVIOUS
102 ALTA HEIGHTS FAR CALCULATIONS			
LOT SIZE	5,250	SF	
AREA	5.25	5	0.25 25 0.01 0.2 0.002 0.35 FAR 0.348 5,250 1,827.0 SF
GARAGE FAR CALCULATIONS			
AREA	5.25	5	0.25 25 0.01 0.1 0.0007 0.1 0.099 5,250 521.3 SF
FLOOR AREAS			
FIRST FLOOR	1,082.77	SF	
SECOND FLOOR	742.40	SF	
HOUSE TOTAL	1,825.17	SF	
HOUSE ALLOWED	1,827.00	SF	
AMOUNT UNDER	1.83	SF	
GARAGE			
GARAGE	454.06	SF	
GARAGE ALLOWED	521.33	SF	
AMOUNT UNDER	67.27	SF	
ADU (SEPARATE PERMIT)			
ADU (SEPARATE PERMIT)	798.58	SF	
ADU ALLOWED (SEPARATE PERMIT)	801.63	SF	
AMOUNT UNDER	3.05	SF	
HOUSE TOTAL	3,077.81	SF	

NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL

REVISIONS	BY	
1	11/22/2020	EB
2	1/5/2021	EB
3	2/11/2021	EB
4	4/1/2021	EB
5	5/9/2021	EB

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www.beckstromarchitecture.com

New Residence
102 Alta Heights Court
Los Gatos, CA 95030
APN: 532-29-045

PLANNING PERMIT SUBMISSION UPDATE

SEAL:

DRAWING TITLE: GRADING PLANS/INFO

DRAWN: EB

DATE: 5/9/2021

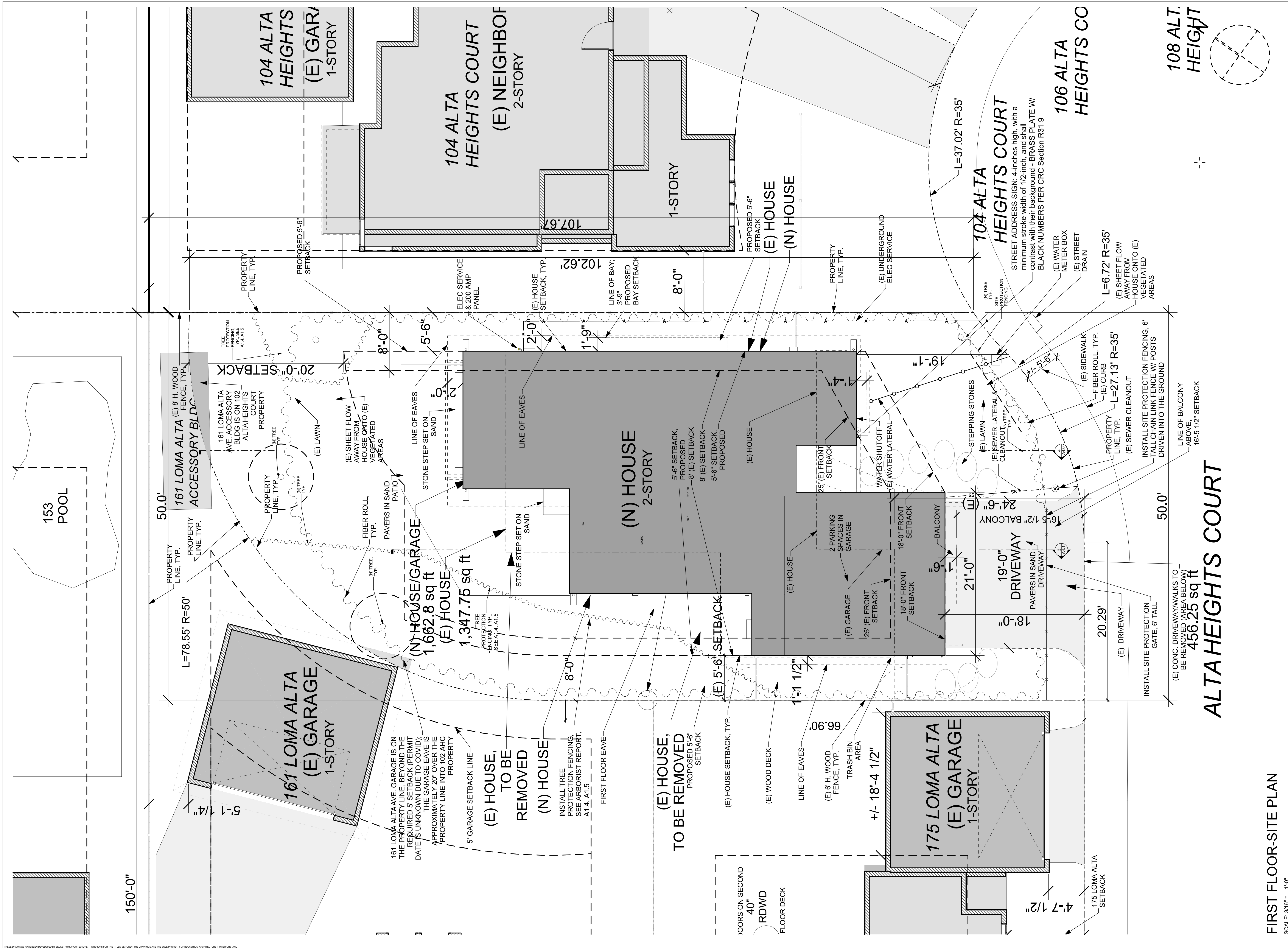
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JOB NO.: 6

FILENAME: 102 ah cd5.3.pln

SHEET: A1.1

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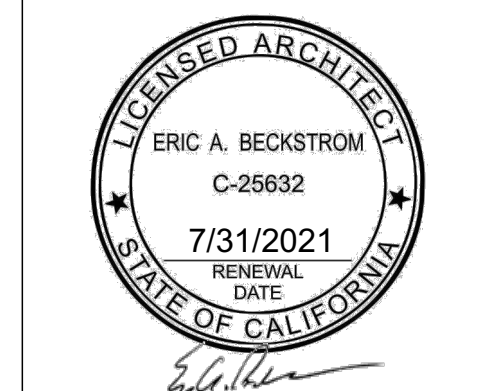
FIRST FLOOR-SITE PLAN
SCALE: 3/16" = 1'-0"

REVISIONS	BY
1 11/22/2020	EB
2 1/5/2021	EB
3 2/11/2021	EB
4 4/1/2021	EB
5 5/9/2021	EB

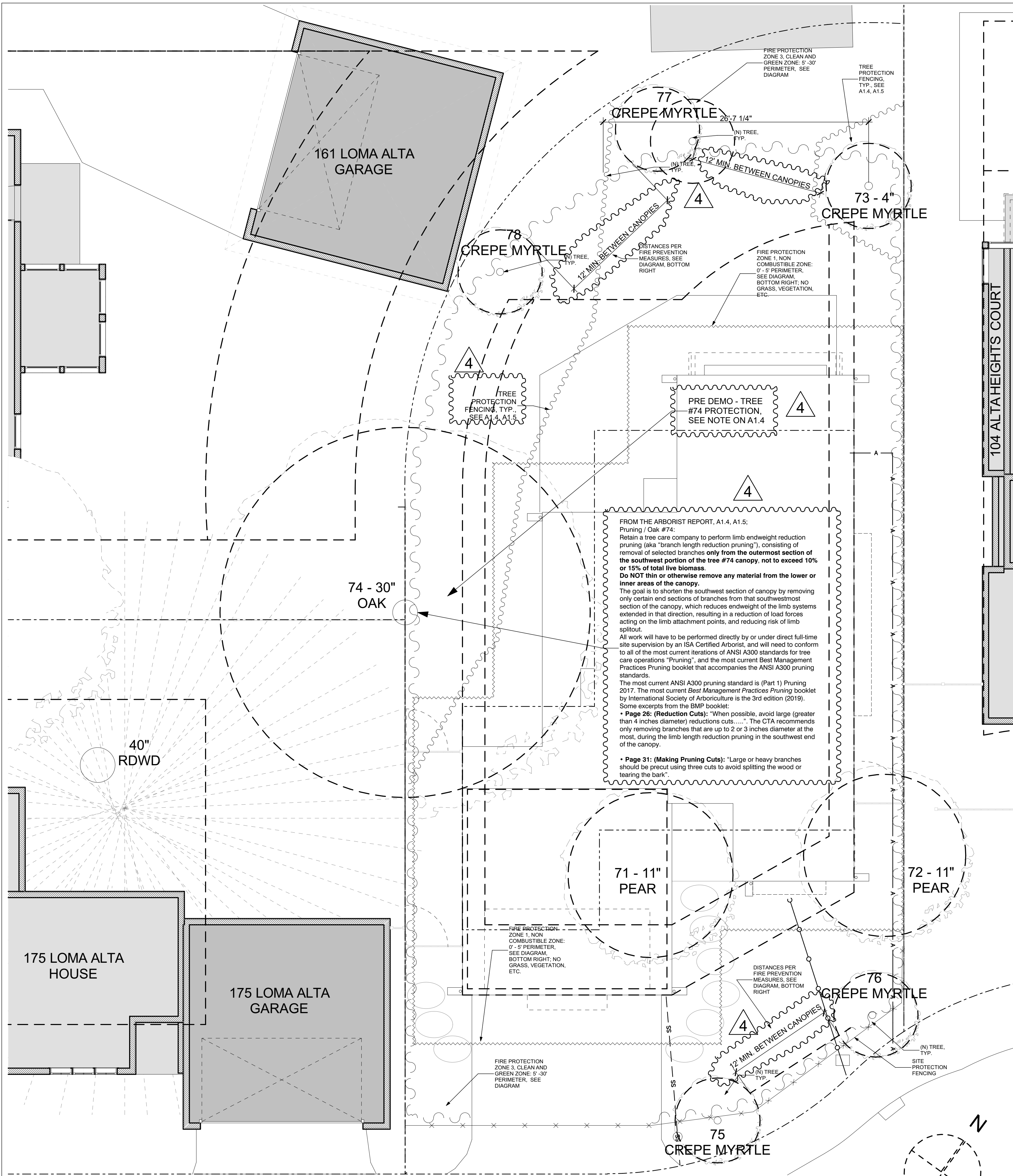
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102 Alta Heights Court
Los Gatos, CA 95030
APN: 532-29-045

PLANNING PERMIT SUBMISSION UPDATE



DRAWING TITLE:	SITE PLAN-LARGE
DRAWN:	EB
DATE:	5/9/2021
SCALE:	3/16" = 1'-0"
JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	A1.2



FIRST FLOOR/SITE PLAN-GRADING

SCALE: 3/16" = 1'-0"

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Table 1.0: REFER TO THE CTAS TREE MAP MARKUP WHEN REVIEWING THE BELOW MATRIX.

Tree Tag Number / Overall Condition / Tree Disposition	Tree Species / Current Diameter at DBH	Proposed Action	Appraised Value	Critical Root Zone (CRZ) (6" X DBH in 6" Radius)	Proposed Changes to Applicant's Proposed Plans to Meet Tree Conservation Substantially Rating (CRZ to "Retain" or "Clear" of Tree to be Retained and Protected - Suggested Root Protection Zone (RPZ) - Chain Link Fence Outer Radius)	Replacement Size Per Canopy Loss	Replacement Size Tree
71 POOR REMOVE	No. Poor	Tree will be removed. Applicant to propose new foundation footing and ampere conflicts.	\$3,000	6.5 feet offset	Assume tree is to be removed.	4" X \$200 = \$800.00	15 gallon or 24" box
72 POOR REMOVE	No. Poor	Tree will be removed. Applicant to propose new foundation footing, ampere conflicts, and aluminum gas pipe involving diameter upgrade.	\$3,000	8.7 feet offset	Assume tree is to be removed.	4" X \$200 = \$800.00	10 gallon or 24" box
73 GOOD RETAIN	Minor. Moderate	No applicant plan changes required. Maintain status quo. RPZ to be set per the CTAS tree map. All RPZs shall be set from trunk edge, and use root barriers at their location.	\$800	2.1 feet	No applicant plan changes required.	2" X \$250 = \$500.00	10 gallon or 24" box

Tree Tag Number / Overall Condition / Tree Disposition	Tree Species / Current Diameter at DBH	Proposed Action	Appraised Value	Critical Root Zone (CRZ) (6" X DBH in 6" Radius)	Proposed Changes to Applicant's Proposed Plans to Meet Tree Conservation Substantially Rating (CRZ to "Retain" or "Clear" of Tree to be Retained and Protected - Suggested Root Protection Zone (RPZ) - Chain Link Fence Outer Radius)	Replacement Size Per Canopy Loss	Replacement Size Tree
74 GOOD RETAIN	Minor. Moderate	Tree will be retained. Applicant to propose new foundation footing, ampere conflicts, and aluminum gas pipe involving diameter upgrade.	\$3,000	2.5 feet offset	In a perfect world, the "ideal" new foundation work would include the existing outer edge of the CRZ to be set from trunk edge, and use root barriers at their location.	10" X \$200 = \$2,000.00	15 gallon or 24" box

TREE TABLE

ID	SPECIES	SIZE	CONDITION	STATUS	NOTES
71	NON-FLOWERING PEAR	11"	OVERMATURE, SEVERELY STRESSED	REMOVE	TOO CLOSE TO HOUSE, DISEASED, DEAD BRANCHES, ETC.
72	NON-FLOWERING PEAR	11"	OVERMATURE, SEVERELY STRESSED	REMOVE	TOO CLOSE TO HOUSE, DISEASED, DEAD BRANCHES, ETC.
73	CREPE MYRTLE	4"	AVERAGE HEALTH	RETAIN	
74	COASTAL OAK	30"	AVERAGE HEALTH	RETAIN	ON 3 PROPERTIES, NEIGHBORS WANT IT TRIMMED FOR HEALTH
75	CREPE MYRTLE	2-3"	NEW	NEW	15 GALLON, STAKED PER CODE
76	CREPE MYRTLE	2-3"	NEW	NEW	15 GALLON, STAKED PER CODE
77	CREPE MYRTLE	2-3"	NEW	NEW	15 GALLON, STAKED PER CODE
78	CREPE MYRTLE	2-3"	NEW	NEW	15 GALLON, STAKED PER CODE

TREE PERMIT

TOWN OF LOS GATOS
 APPLICATION FOR TREE REMOVAL AND/OR PRUNING PERMIT

Purpose of Application (check all that apply): Pruned Tree Removal Pruned Tree Pruning (more than 20% in a 5 year period) Heritage or Large Protected Tree Removal Heritage or Large Protected Tree Pruning

Name of COO Planner: Elyse Salety **Project Approval #:** 20-20-229 **Date of Approval:** 11-9-2020

Property Owner Name: Catherine Dunlap 161 Beckstrom **Phone:** 502-247-6272
Property Address: 161 Alta Heights Ct **City:** Los Gatos, CA 95030 **State:** CA **Zip:** 95030

Property Owner's Signature (required): _____ **Date:** 11-9-2020

Tree #	Tree Species	Diameter (in)	Canopy (sq ft)	Listed in Tree Inventory	Remove or Prune	Reason for Removal and/or Pruning
71	Non-flowering Pear	11"	25'	Yes	Remove	Foundation of new home
72	Non-flowering Pear	11"	25'	Yes	Remove	Foundation of new home
73	Crepe Myrtle	4"	5'	Yes	Retain	No issue with foundation
74	Coastal Oak	30"	150'	Yes	Retain	No issue with foundation

Notes:
 • Tree numbers should match those in a recent report where applicable.
 • Diameter is measured at a height of 4.5' above the average grade.
 • Canopy measurement is the widest dimension of the canopy spread.
 • Applicant must provide a written plan of proposed pruning to conform to the standards of ANSI A300, particularly during the spring/summer nesting season (March through August 31st).
 • Replacement trees are not required if the tree being removed is dead or has a tree trunk diameter of 4" or less.
 • Fee is \$250 for tree, and \$125 for each additional tree. Please make check payable to "Town of Los Gatos".

IMPORTANT: Be sure to provide the following required documents when submitting the application:
 • Photos and site plan of tree(s) proposed for removal or pruning. For pruning, proposed cuts should be indicated on photos.
 • Completed Tree Replacement Worksheet. See notes for replacement requirements and worksheet.
 • Fee payment made using cash, check or credit card (VISA/MasterCard only).
 • Notification required for Heritage and Large Protected Tree permits only. See attached FAQs for guidelines.

TREE PERMIT

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT
 REPLACEMENT CANOPY WORKSHEET

Tree Replacement Requirements

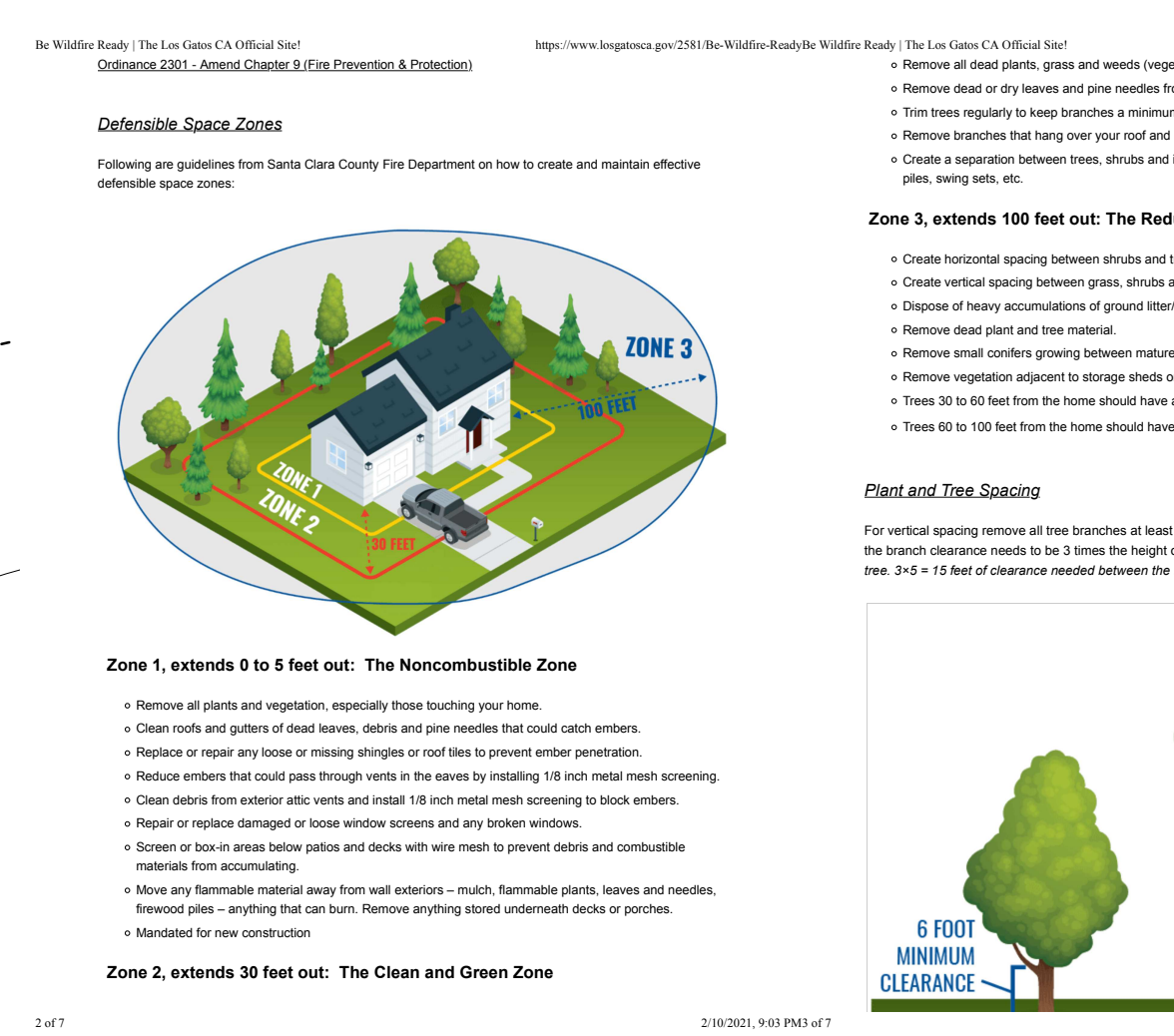
Canopy Size of Removed Tree *	Replacement Requirement**	Single Family Residential Replacement Option**
10 feet or less	Two 24 inch box trees	Two 15 gallon trees
More than 10 feet to 25 feet	Three 24 inch box trees	Three 15 gallon trees
More than 25 feet to 40 feet	Four 24 inch box trees; or Two 36 inch box trees	Four 15 gallon trees
More than 40 feet to 55 feet	Six 24 inch box trees; or Three 36 inch box trees	Not Available
Greater than 55 feet	Ten 24 inch box trees; or Five 36 inch box trees	Not Available

Tree Replacement Worksheet

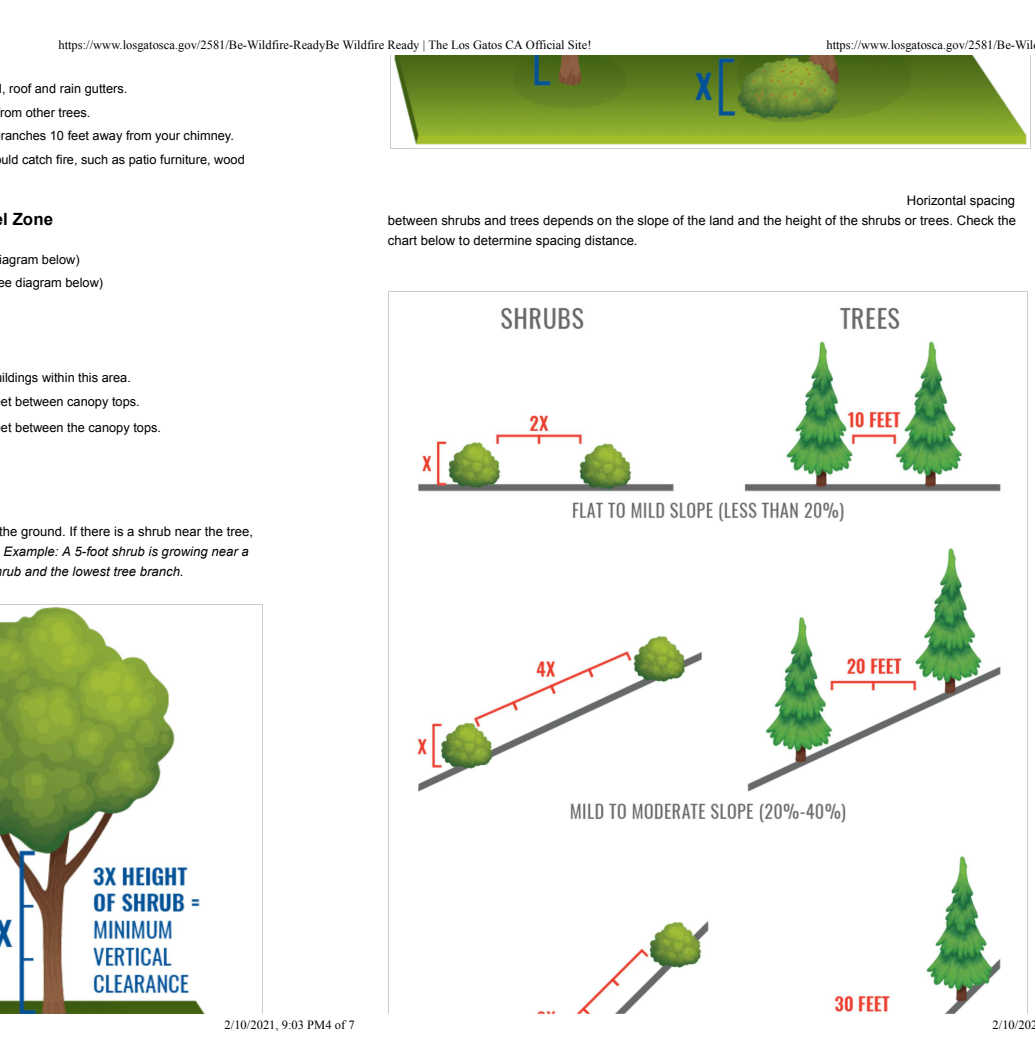
Tree #	Canopy (sq ft)	Required Replacement	Proposed Size and Species of Replacement	\$1,000.00 In-lieu Fee
71	25'	4 x 24" box trees	4 x 24" box trees	\$4,000.00
72	25'	4 x 24" box trees	4 x 24" box trees	\$4,000.00
				Total Fee: \$8,000.00

Notes:
 *Single Family Residential Replacement Option is only available for developed single family residential lots under 10,000 square feet that are not subject to the Town's Hillside Development Standards and Guidelines. All 15 gallon trees must be planted on-site. Any approved in-lieu fee for single family residential shall be based on the 24" Box Tree fee above.
 **Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly encouraged. See attached FAQs for replacement requirements in designated release areas, which shall comply with Appendix A of the Town's Hillside Development Standards and Guidelines.
 Written arborist approval is required for all in-lieu fee arrangements only!

FIRE PROTECTION/DEFENSIBLE SPACE



FIRE PROTECTION/DEFENSIBLE SPACE



REVISIONS

NO.	DATE	BY
1	11/22/2020	EB
2	1/5/2021	EB
3	2/11/2021	EB
4	4/1/2021	EB
5	5/9/2021	EB

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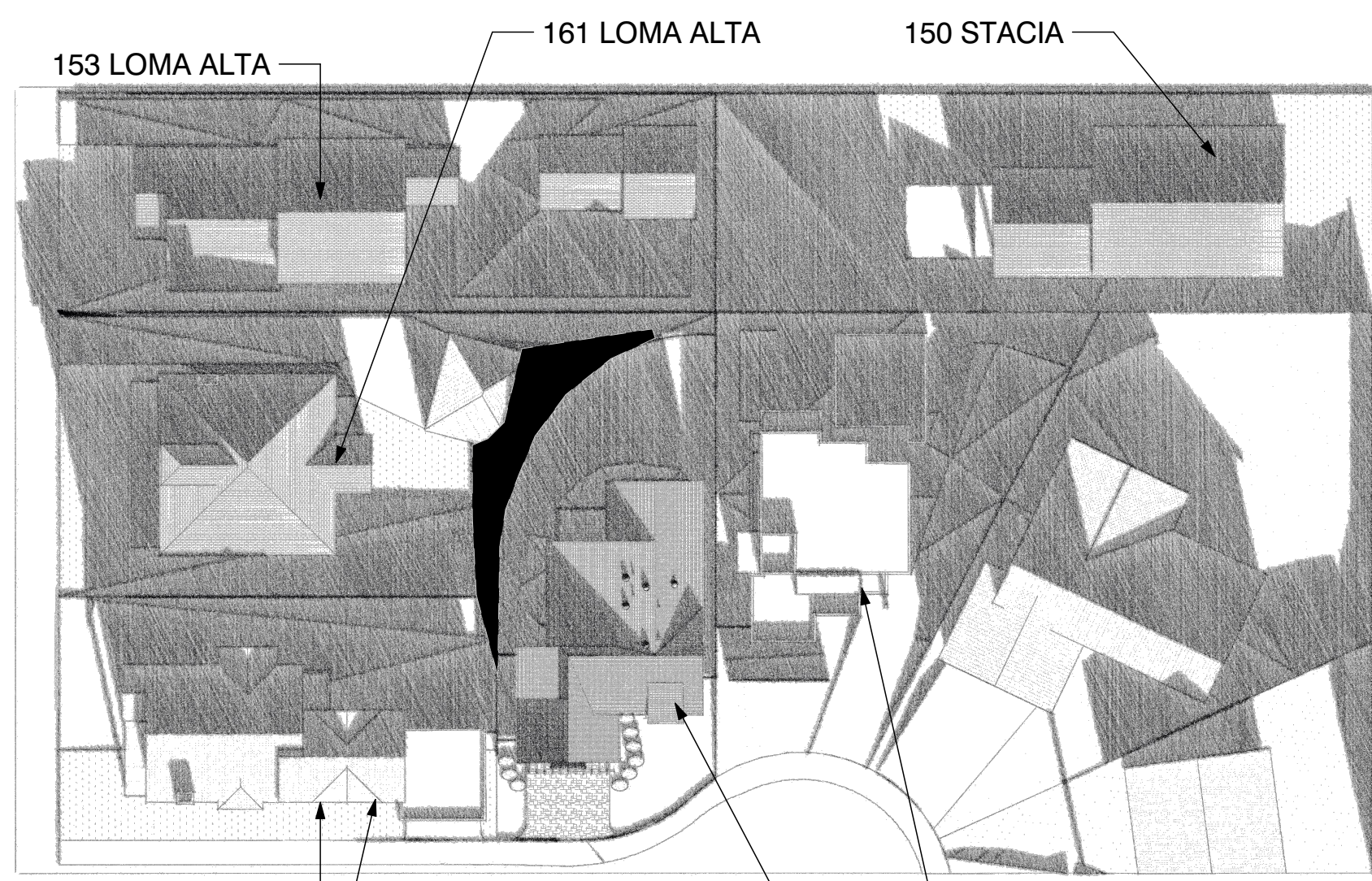
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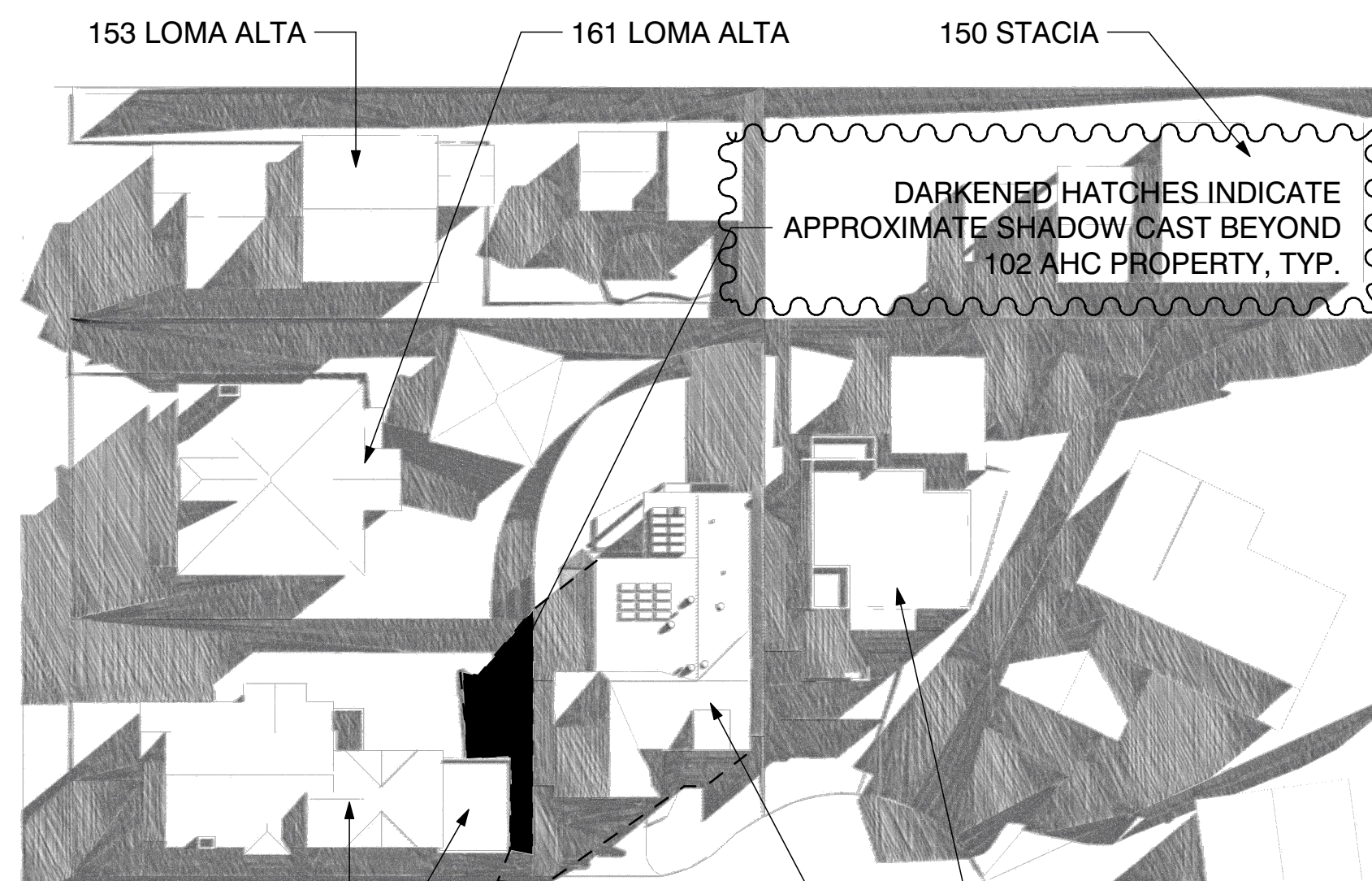
ERIC A. BECKSTROM
 C-25632
 7/31/2021
 RENEWAL DATE

DRAWING TITLE:
SITE PLAN-TREE DIAGRAM/INFO

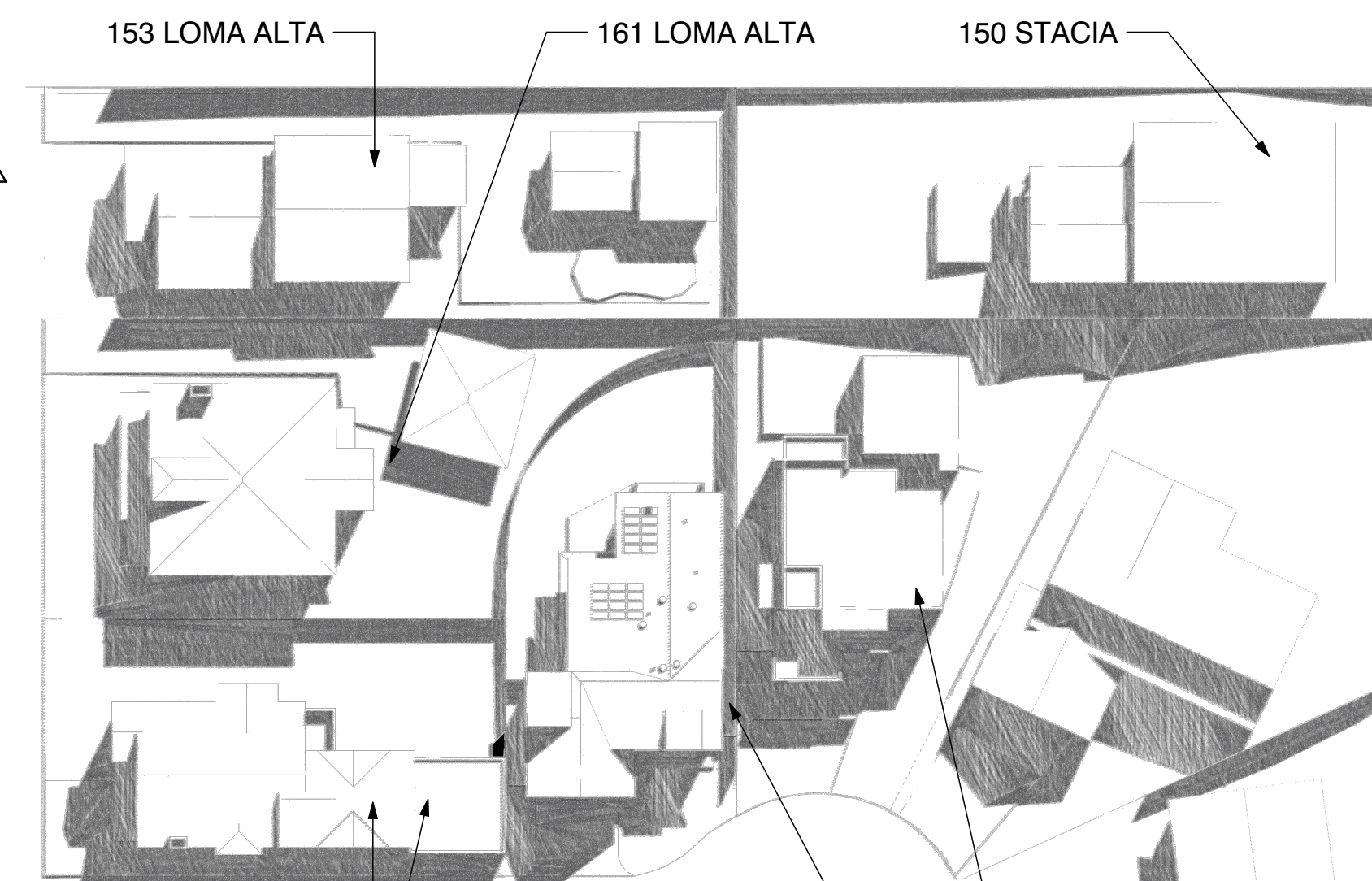
DRAWN: EB
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 SCALE: 3/16" = 1'-0", 1:1.70, 1:1.21, 1:2.13
 JOB NO.: 6
 FILENAME: 102 ah cd5.3.pln
 SHEET: **A1.3**



175 LOMA ALTA
175 LOMA ALTA GARAGE
102 ALTA HEIGHTS COURT
104 ALTA HEIGHTS COURT
12/21 9:00 AM



175 LOMA ALTA
175 LOMA ALTA GARAGE
102 ALTA HEIGHTS COURT
104 ALTA HEIGHTS COURT
3/21 9:00 AM



175 LOMA ALTA
175 LOMA ALTA GARAGE
102 ALTA HEIGHTS COURT
104 ALTA HEIGHTS COURT
6/21 9:00 AM

SHADOW NOTES

- 12-21 9AM: 102 SHADOWS ON 175 L.A. GARAGE
- 12-21 3PM: 102 SHADOWS 175 L.A. BACKYARD
- 3-21 9AM: 102 SHADOWS 175 L.A. BACKYARD
- 3-21 3PM: 102 SHADOWS 102 BACKYARD
- 6-21 9AM: 102 SHADOWS 102 FRONTYARD
- 6-21 3PM: 102 SHADOWS 102 BACKYARD

GENERAL COMMENT: THE 3D VIEWS ARE THE EASIEST TO SEE THE SHADE MOVEMENT. THE RESULT OF THE PROPOSED 102 HOUSE IS NEGLIGIBLE ON NEIGHBORING PROPERTIES DUE TO THE FLOOR LAYOUT AND ROOF PLAN OF THE NEW HOUSE WHICH MITIGATES NEARLY ALL SHADE ON NEIGHBORING PROPERTIES AS CAN BE SEEN.

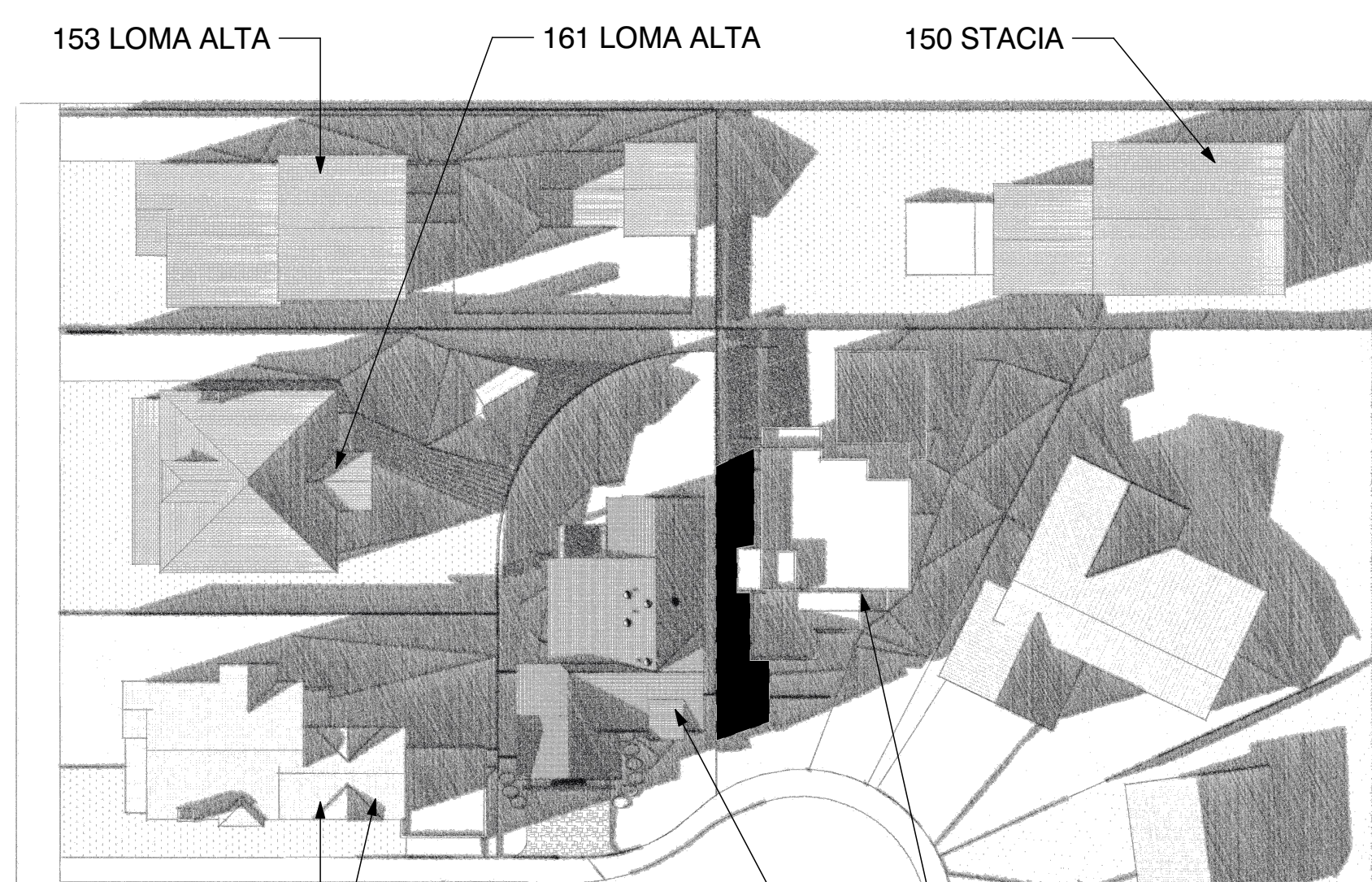
DATE	TIME	ALTITUDE	AZIMUTH	SOLAR EVENT
21-Dec	9:00 AM	14	42	WINTER SOLSTICE
21-Dec	3:00 PM	14	42	WINTER SOLSTICE
21-Mar	9:00 AM	34	58	SPRING EQUINOX
21-Mar	3:00 PM	34	58	SPRING EQUINOX
21-Jun	9:00 AM	47	77	SUMMER SOLSTICE
21-Jun	3:00 PM	47	77	SUMMER SOLSTICE

REVISIONS

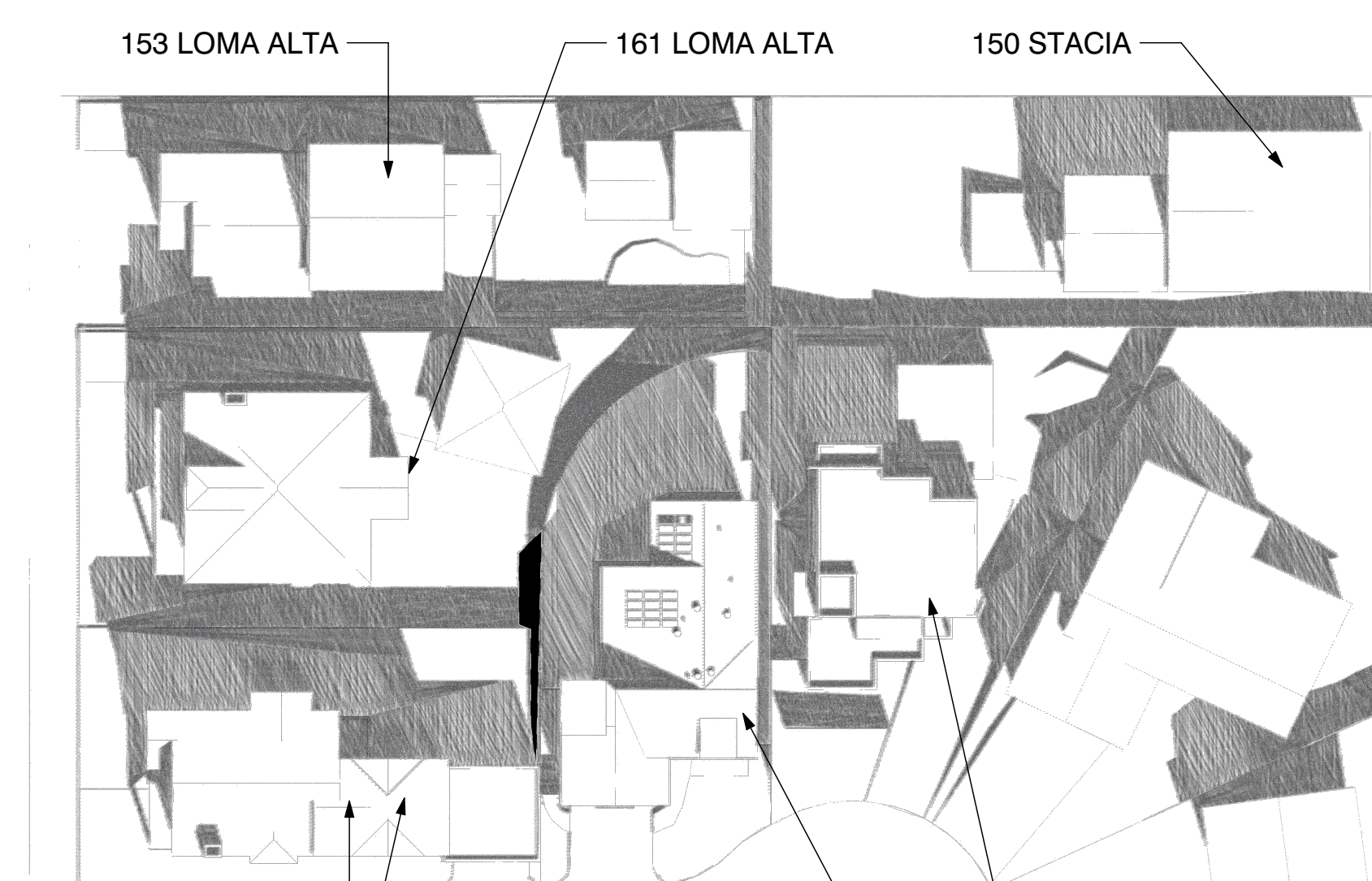
NO.	DATE	BY
1	11/22/2020	EB
2	1/5/2021	EB
3	2/11/2021	EB
4	4/1/2021	EB
5	5/9/2021	EB

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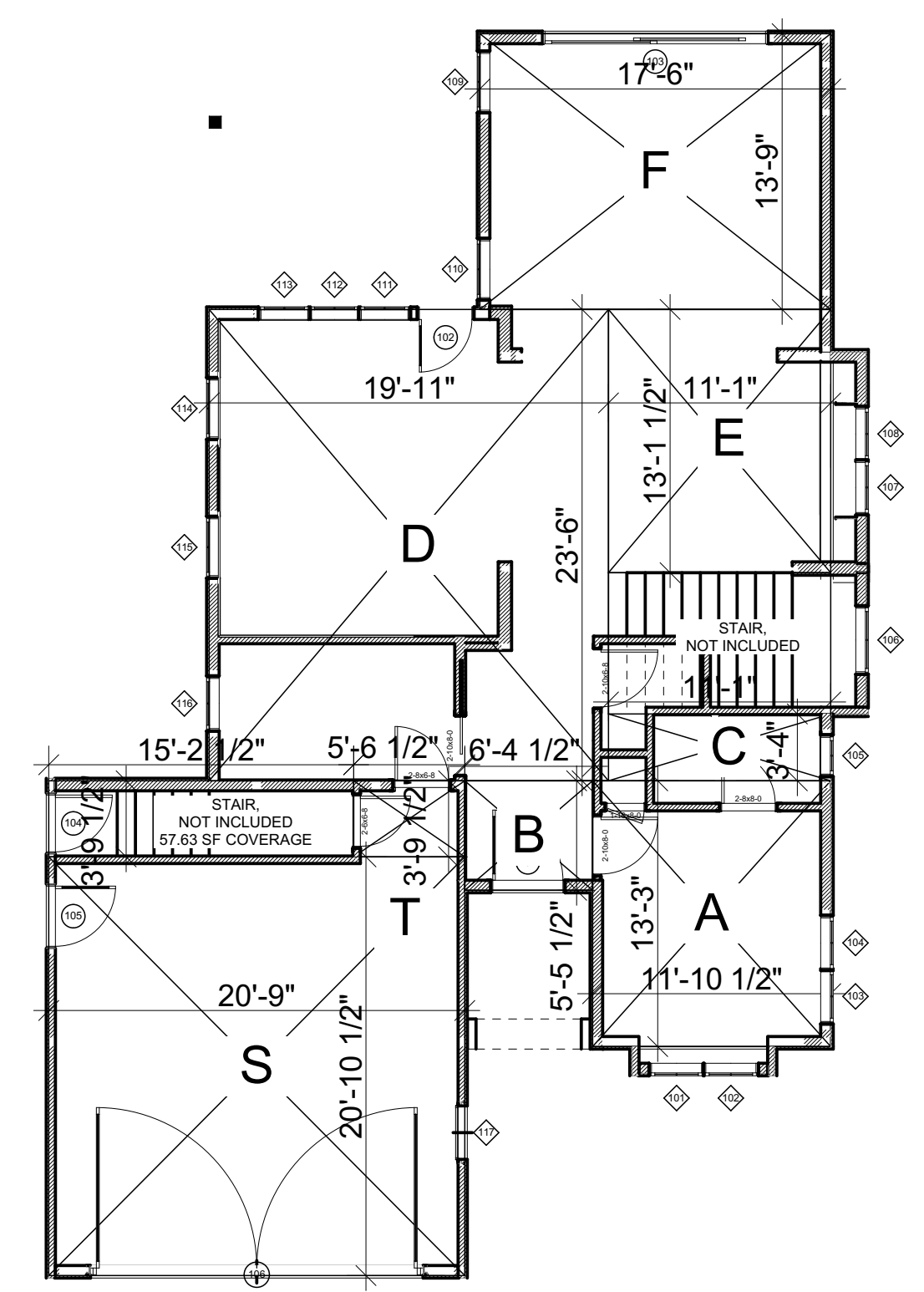
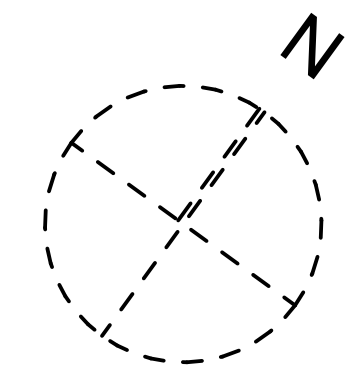
175 LOMA ALTA
175 LOMA ALTA GARAGE
102 ALTA HEIGHTS COURT
104 ALTA HEIGHTS COURT
12/21 3:00 PM



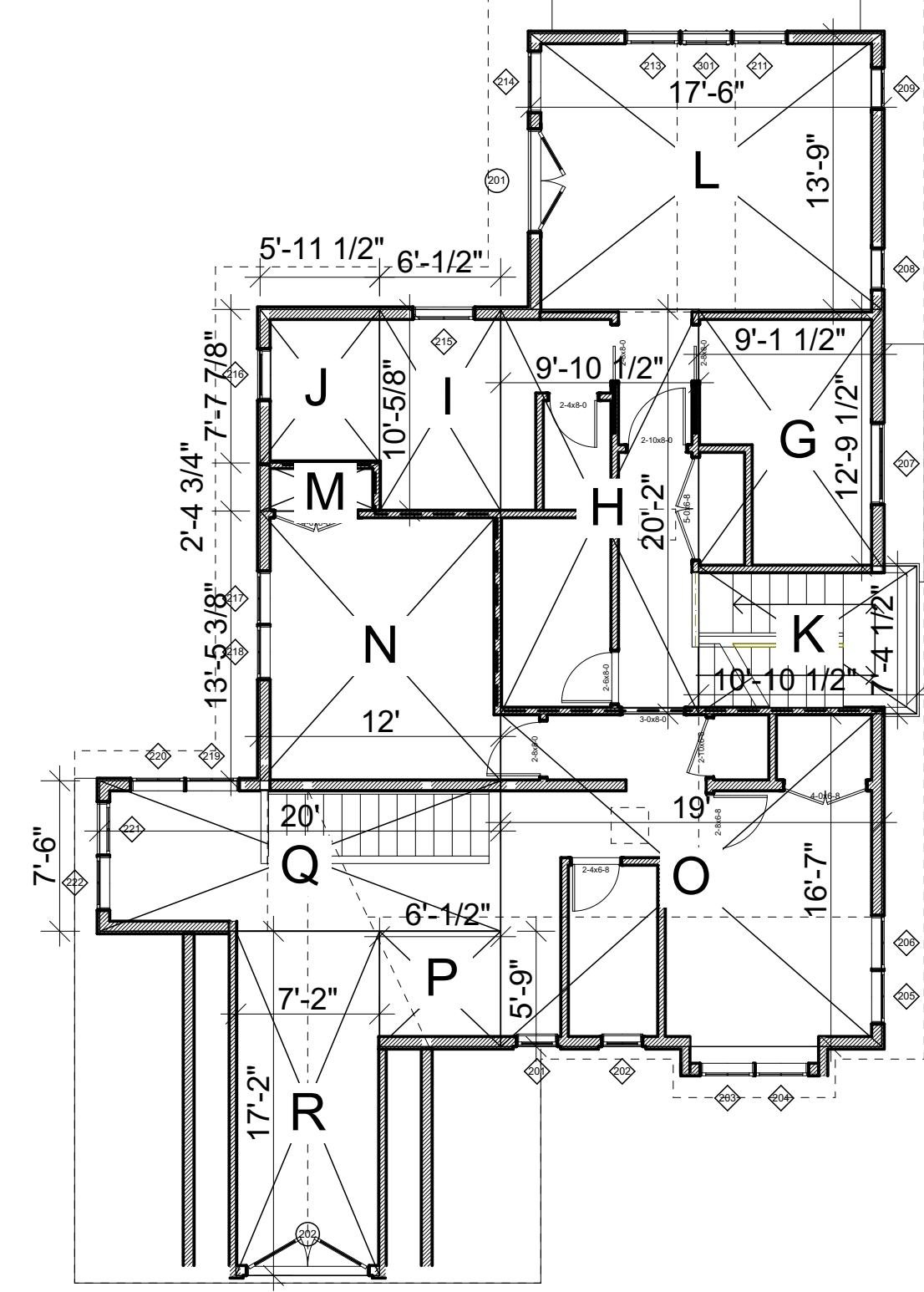
175 LOMA ALTA
175 LOMA ALTA GARAGE
102 ALTA HEIGHTS COURT
104 ALTA HEIGHTS COURT
3/21 3:00 PM



175 LOMA ALTA
175 LOMA ALTA GARAGE
102 ALTA HEIGHTS COURT
104 ALTA HEIGHTS COURT
6/21 3:00 PM



1 A1.6 FIRST FLOOR-FAR
SCALE: 1/8" = 1'-0"

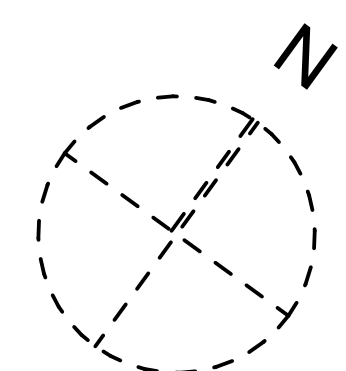


2 A1.6 SECOND FLOOR-FAR
SCALE: 1/8" = 1'-0"

FLOOR AREA

FLOOR AREA SECTION	HOUSE	WIDTH	HEIGHT	AREA (SF)
A		11.87	13.25	157.28
B		6.37	5.45	34.72
C		11.08	3.33	36.90
D		19.91	23.50	467.89
E		11.08	13.12	145.37
F		17.50	13.75	240.63
FIRST FLR SUBTOTAL				1,082.77
G		9.12	12.79	116.64
H		9.87	20.16	198.98
I		6.04	10.05	60.70
J		5.95	7.62	45.34
K		10.87	7.37	80.11
L		17.50	13.75	240.63
SECOND FLR SUBTOTAL				742.40
HOUSE TOTAL				1,825.17 SF
ADU (SEPARATE PERMIT)				
M		5.95	2.39	14.22
N		12.00	13.44	161.28
O		19.00	16.58	315.02
P		6.12	5.75	35.19
Q		20.00	7.50	150.00
R		7.16	17.16	122.87
ADU TOTAL (SEPARATE PERMIT)				798.58 SF
GARAGE				
S		20.75	20.87	433.05
T		5.54	3.79	21.01
GARAGE TOTAL				454.06 SF

NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL



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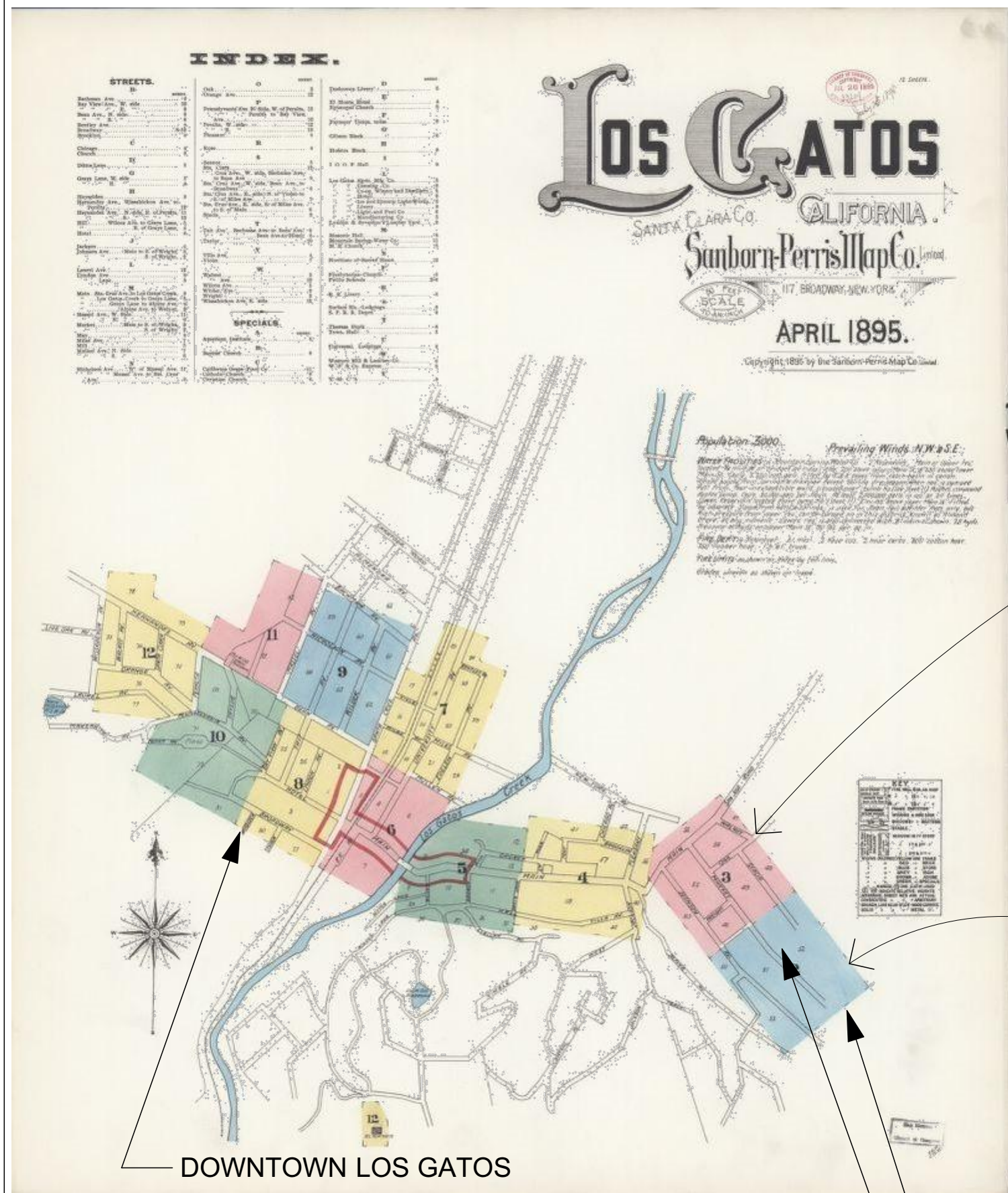
SEAL:

DRAWING TITLE:
SHADOW STUDIES & FLOOR AREA DIAGRAMS

DRAWN: EB
DATE: 5/9/2021
SCALE: 1:2.11, 1/8" = 1'-0", 1:1.14
JOB NO.: 6
FILENAME: 102 ah cd5.3.pln

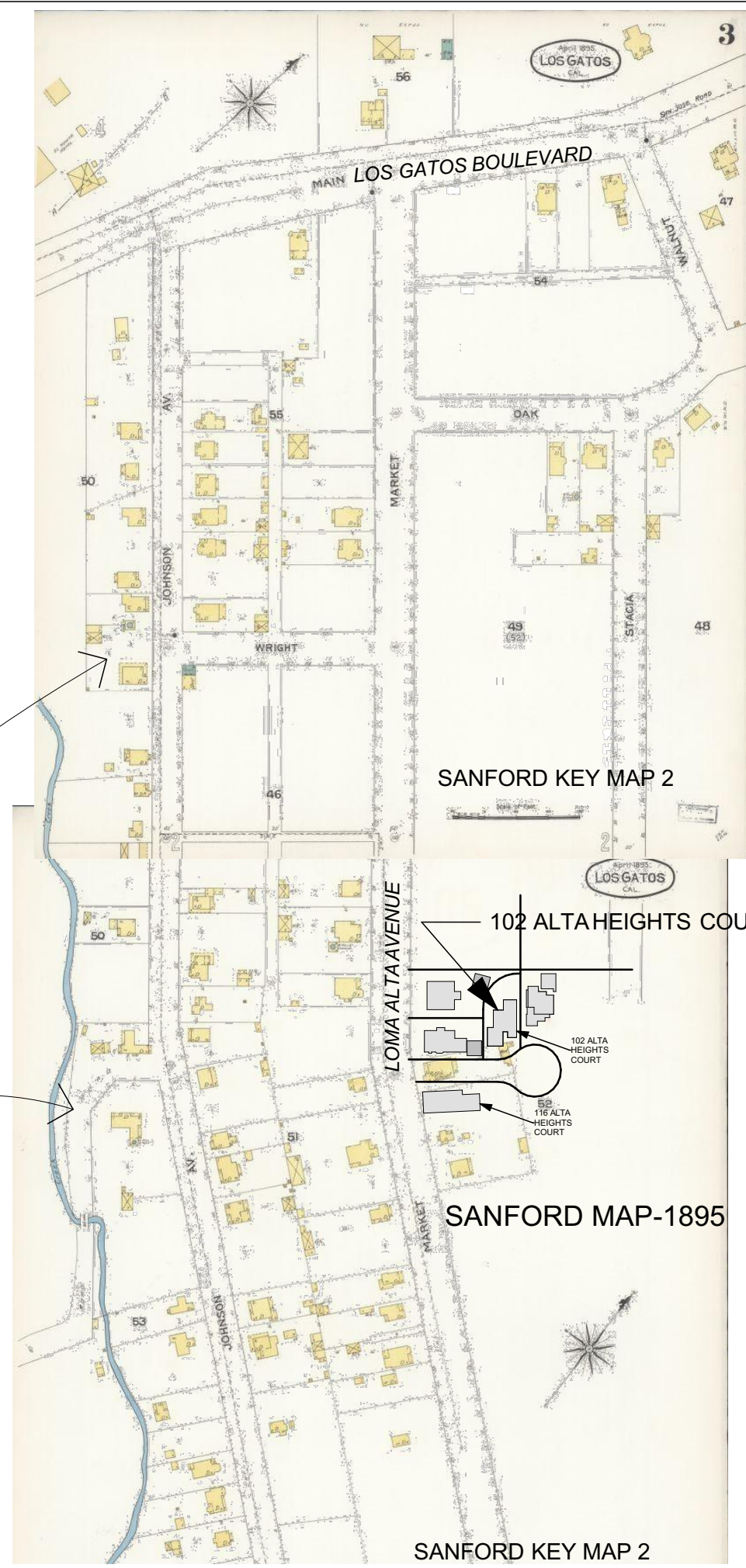
SHEET
A1.6

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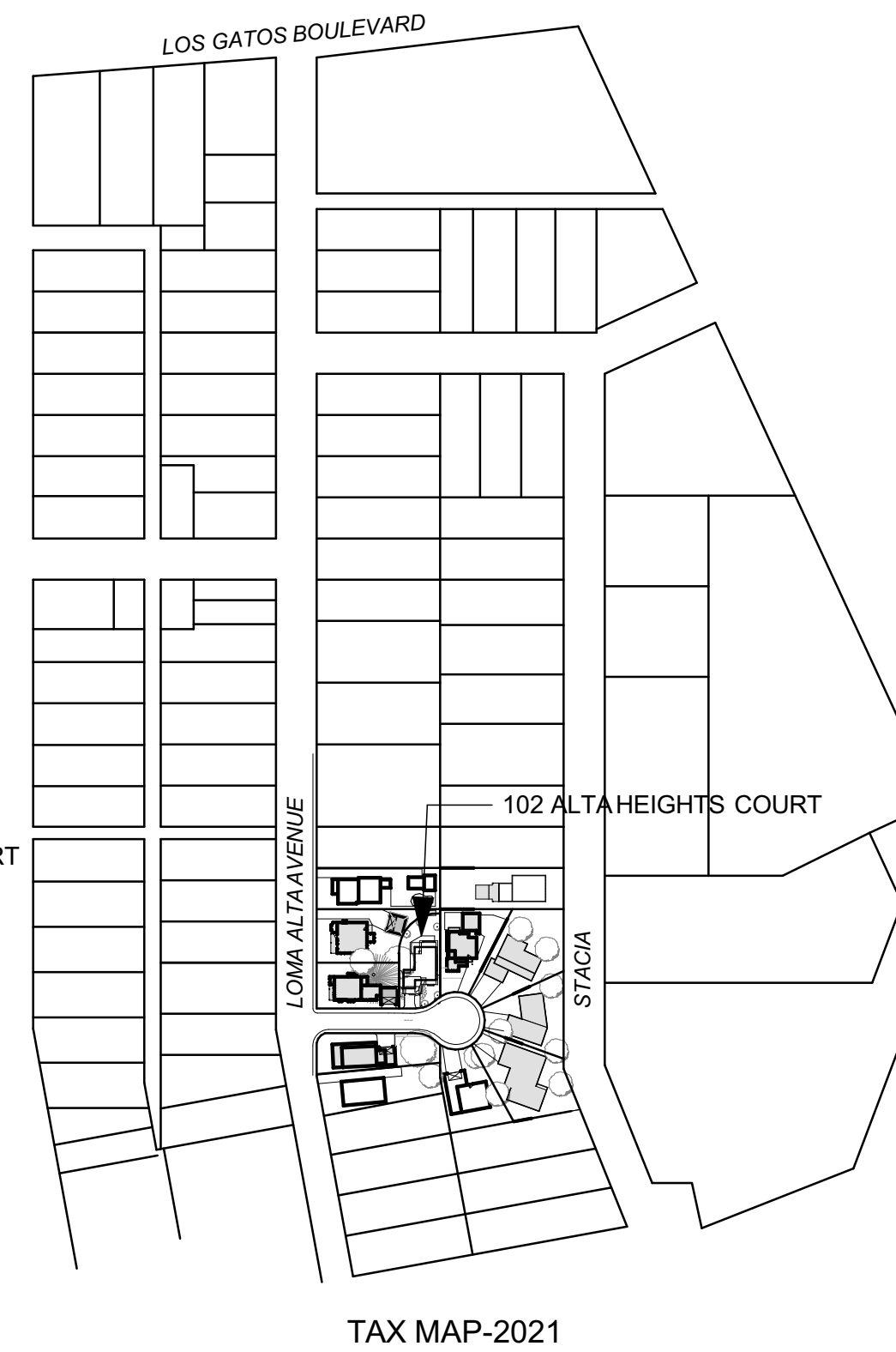


1895 SANBORN MAP

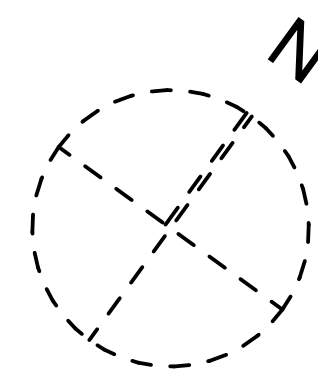
102 ALTAHEIGHTS COURT
JOHNSON ADDITION/
LOMA ALTA AVE. NEIGHBORHOOD



1 AREA PLAT HISTORY
SCALE: 1" = 200'

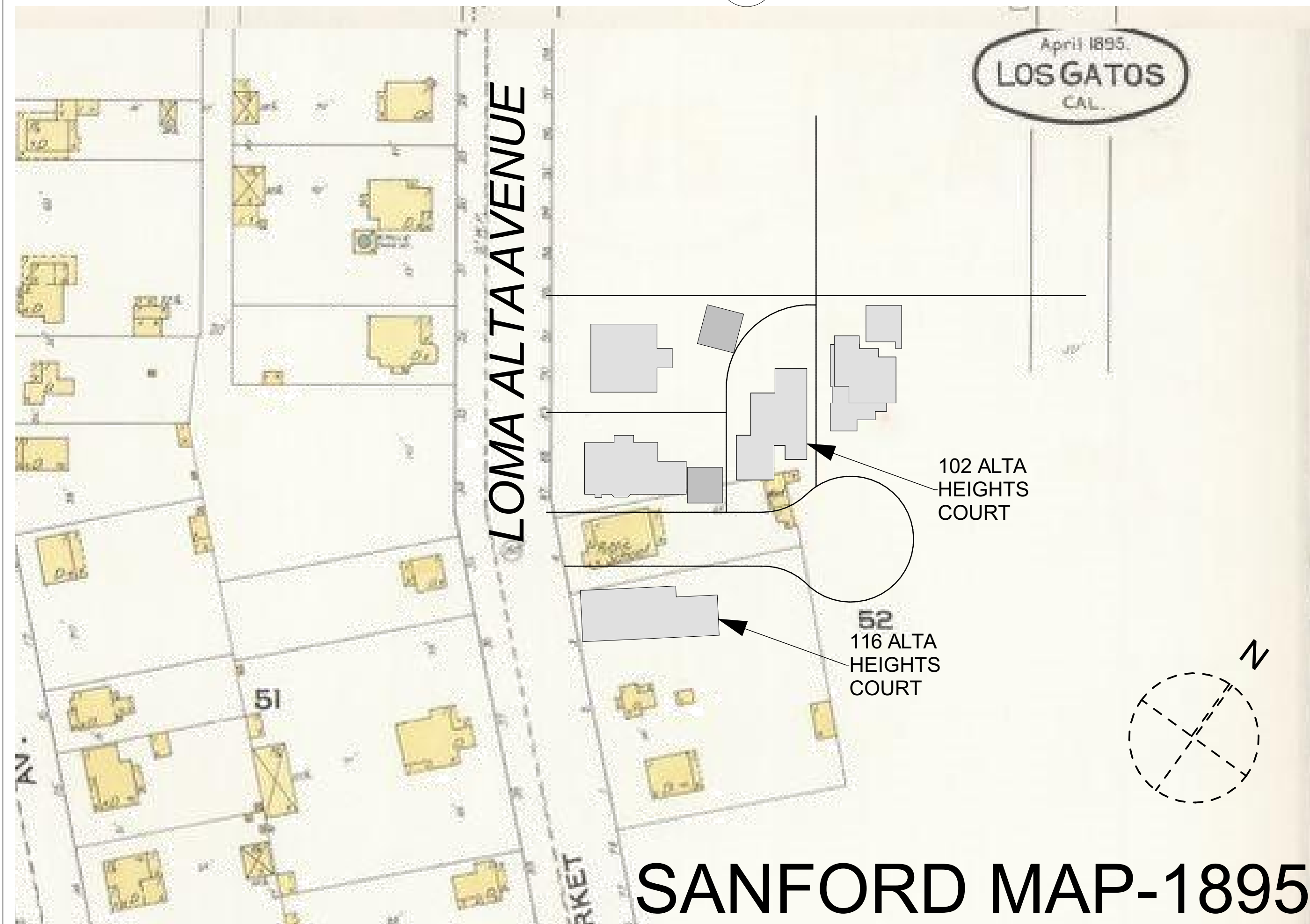


TAX MAP-2021



1910 PICTURE LOOKING SOUTH OVER DOWNTOWN LOS GATOS

102 ALTA HEIGHTS COURT
LOS GATOS HIGH SCHOOL
DOWNTOWN LOS GATOS



SANFORD MAP-1895

2 AREA PLAT HISTORY
SCALE: 1" = 50'

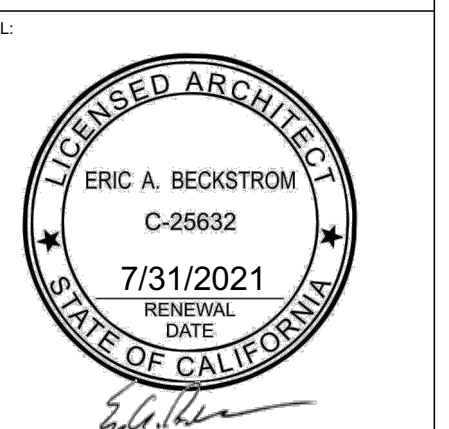


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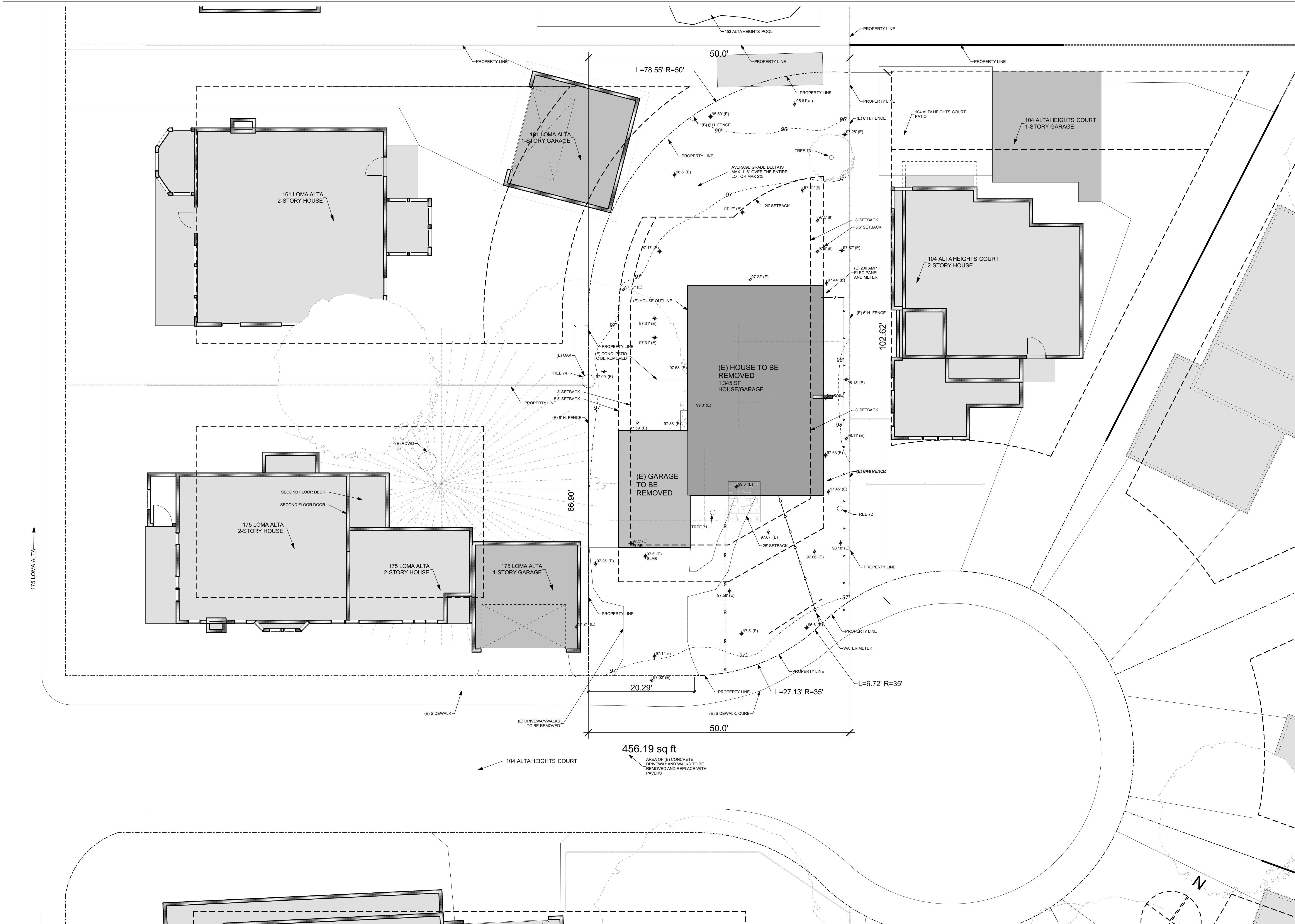
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DRAWING TITLE:
SITE PLAN-NEIGHBORHOOD HISTORY

DRAWN: EB
DATE: 5/9/2021
SCALE: 1" = 200', 1" = 50', 1:564.71
JOB NO.: 6
FILENAME: 102 ah cd5.3.pln

SHEET: A1.7



FLOOR PLAN-EXISTING

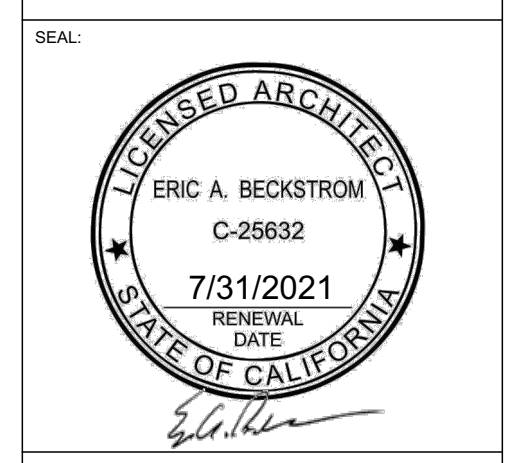
SCALE: 1/8" = 1'-0"
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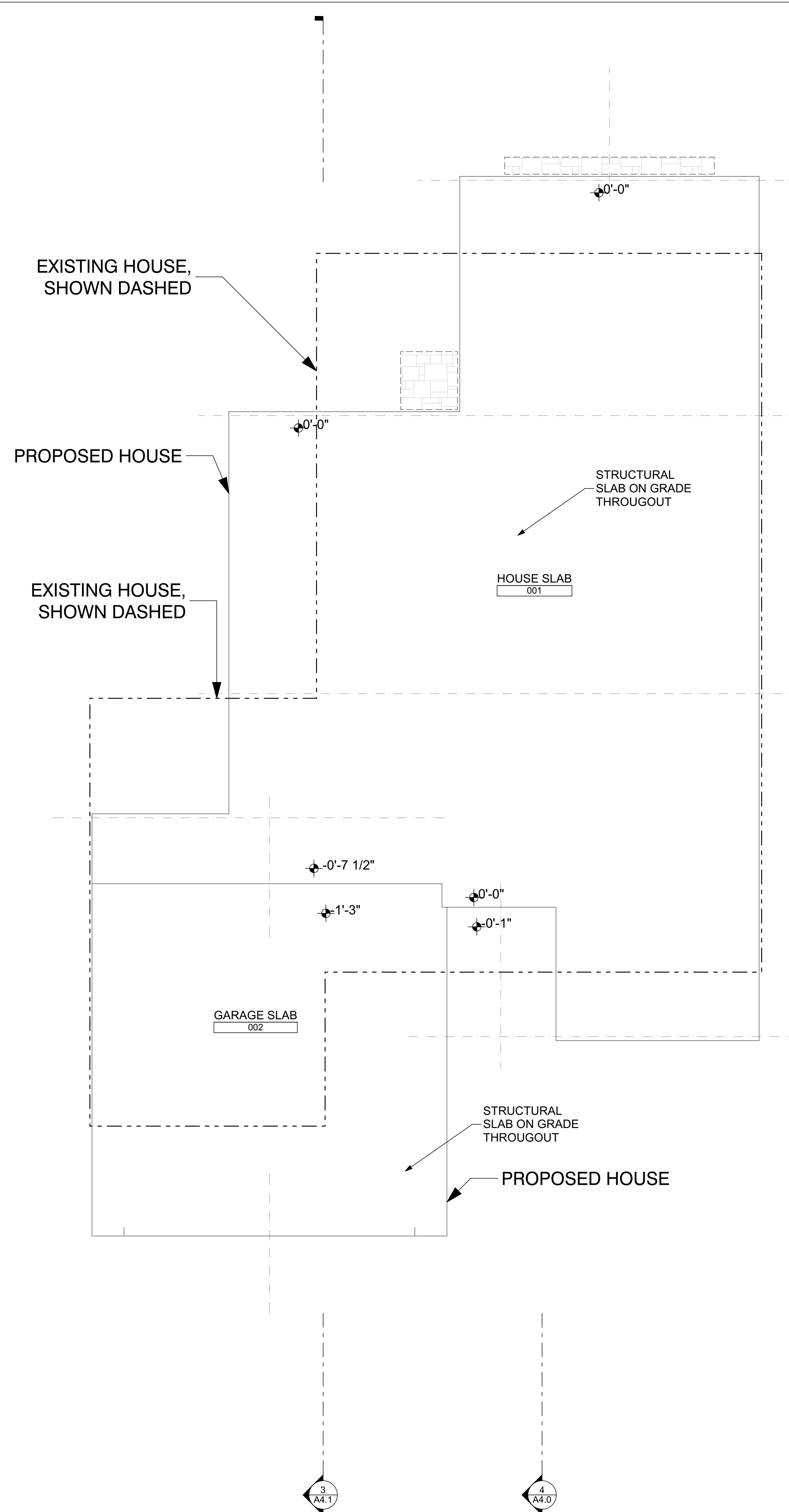
PLANNING PERMIT SUBMISSION UPDATE



DRAWING TITLE:
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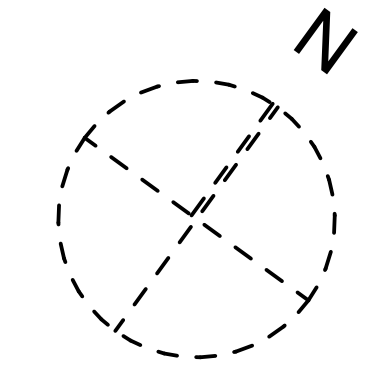
DRAWN	EB
DATE	5/9/2021
SCALE	1/8" = 1'-0"
JOB NO.	6
FILENAME	102 ah cd5.3.pln
SHEET	

A2.0



FIRST FLOOR SLAB PLAN

SCALE: 1/4" = 1'-0"

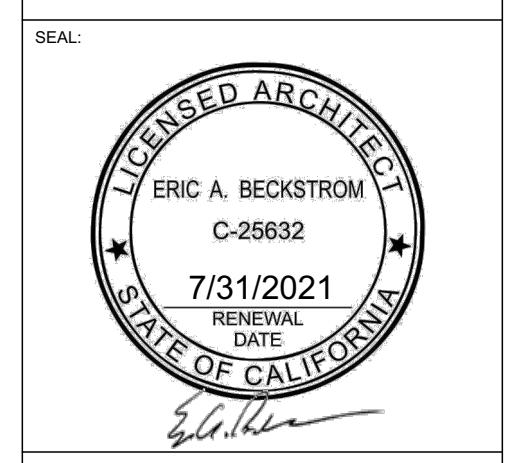


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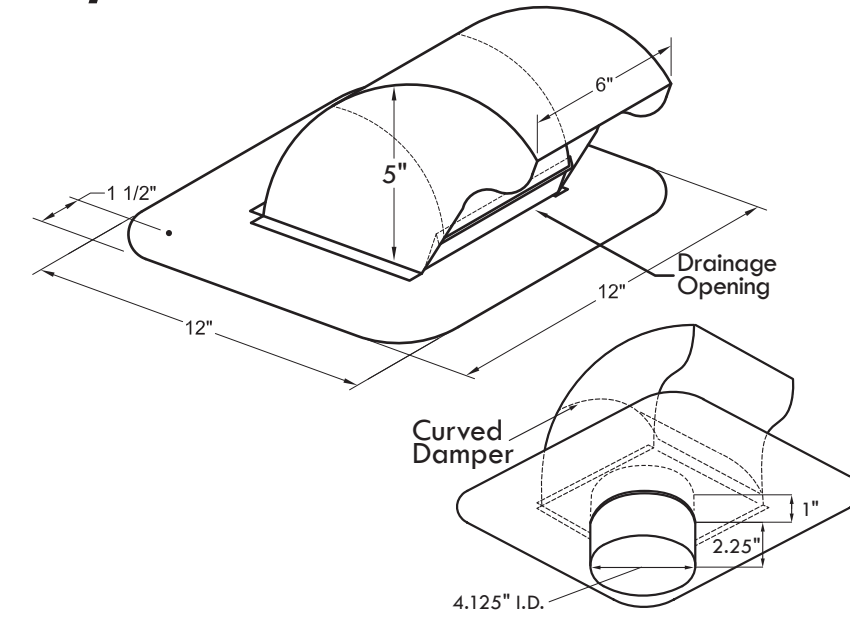
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DRAWN:	EB
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SCALE:	1/4" = 1'-0"
JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	A2.1

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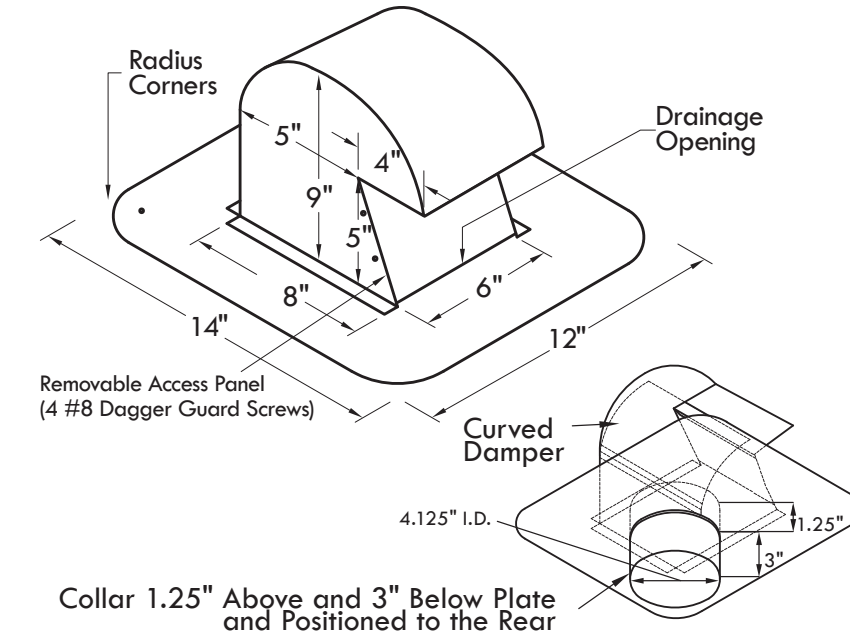
DryerJack

Technical Product Specifications

DryerJack Model 466



DryerJack Model 486

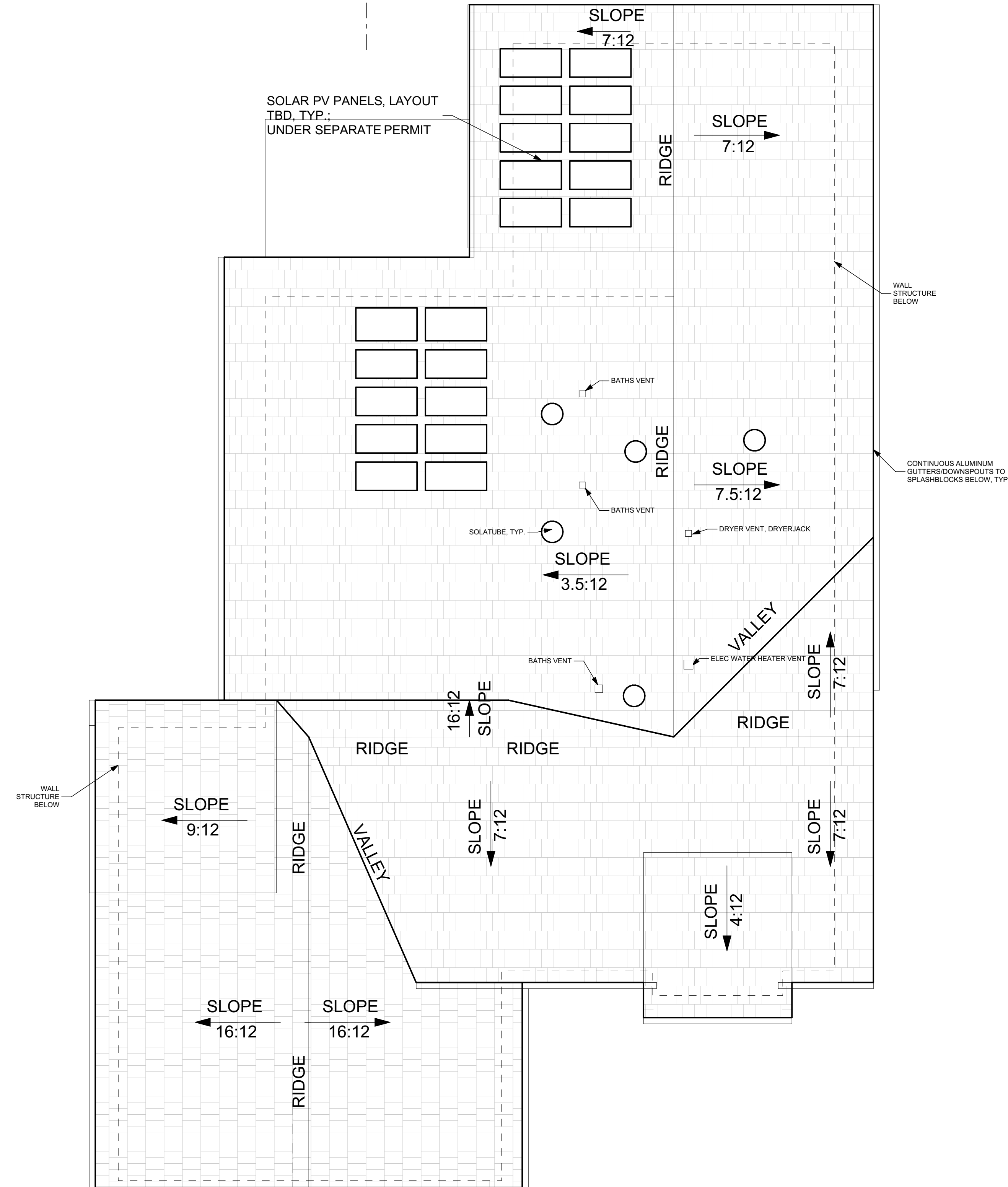


Airflow Restriction Comparison (Back Pressure Measured in Water Column Inches)



Model	Applications
DJK466	Low profile, efficient termination for safely venting the dryer through the roof.
DJK486	Extra clearance model for high profile tile or heavy snowfall zones.
Performance Data	
For Use:	
• Non-restrictive dryer roof vent termination	
• Complies with IMC 504.4 & IRC 1502.3	
Material:	
• 26 gauge Galvalume®	
Weight Each:	
DJK466 / 3 lbs. — DJK486 4 lbs.	
General Information	
Benefits:	
• Venting through the roof can shorten duct length	
• Zero back pressure lengthens appliance life	
• Improved efficiency shortens cycles, saves energy	
• Damper design deters bird and rodent entry	
• Access features ease duct cleaning & maintenance	
Features:	
• Rugged 26 gauge Galvalume	
• Rounded corner nesting flange and 6 nail holes	
• Equally suitable for new and retrofit construction	
• Watertight extended collar for secure docking	
Manufactured By	
In-O-Vate Technologies, Inc. 810 Saturn Street, Suite 20 Jupiter FL 33477 Telephone: 561-743-8696 Facsimile: 561-745-9723 www.DryerJack.com	

Made in the USA



ROOF PLAN

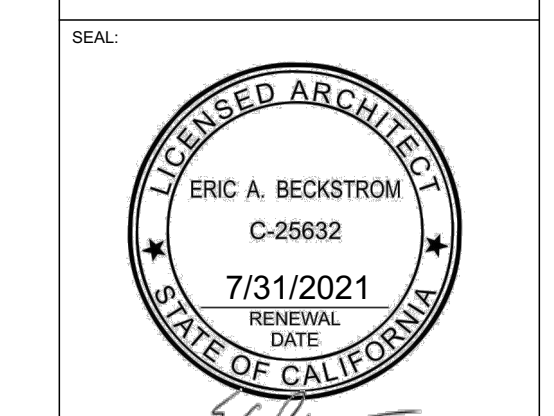
SCALE: 1/4" = 1'-0"

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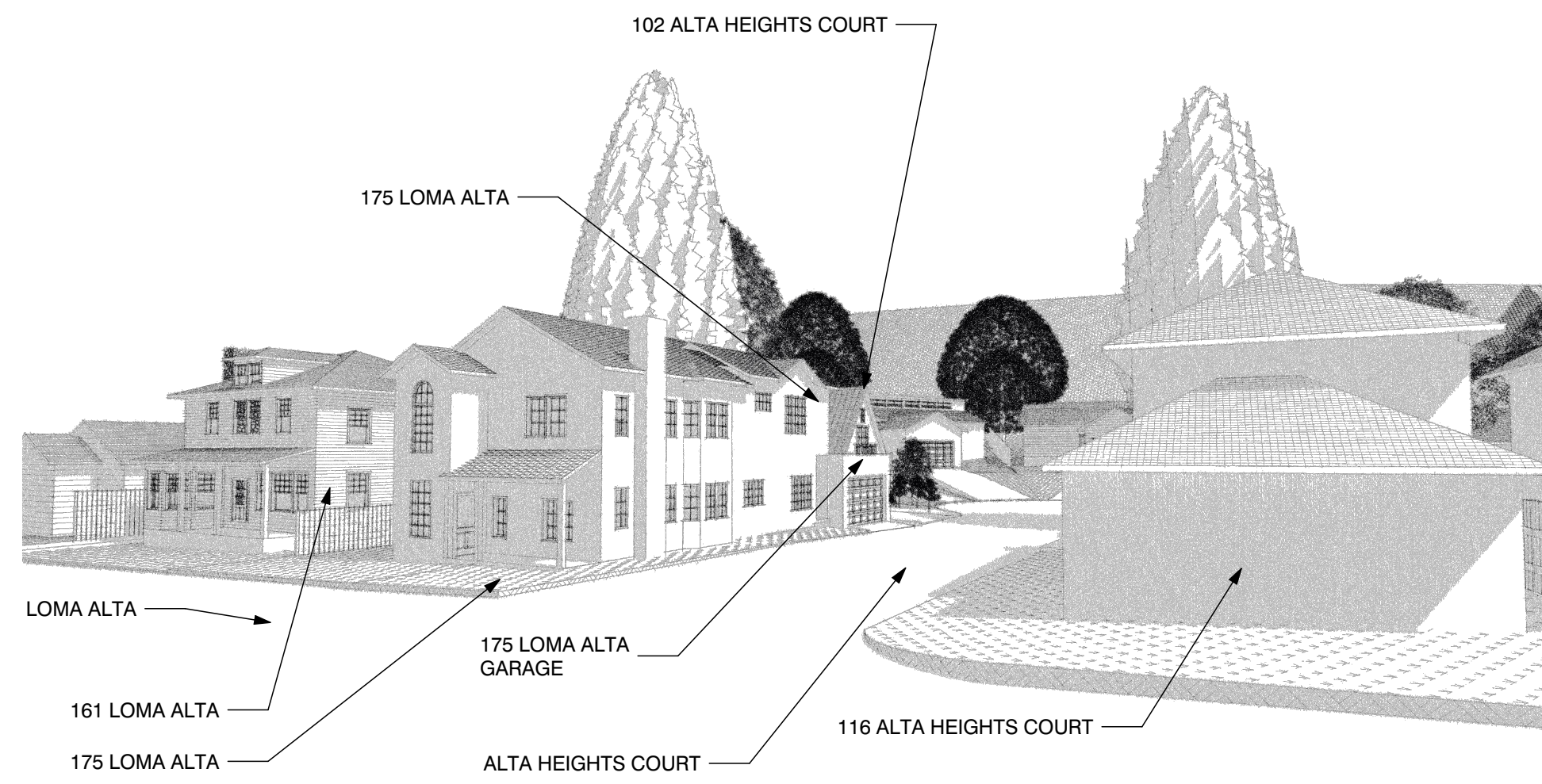
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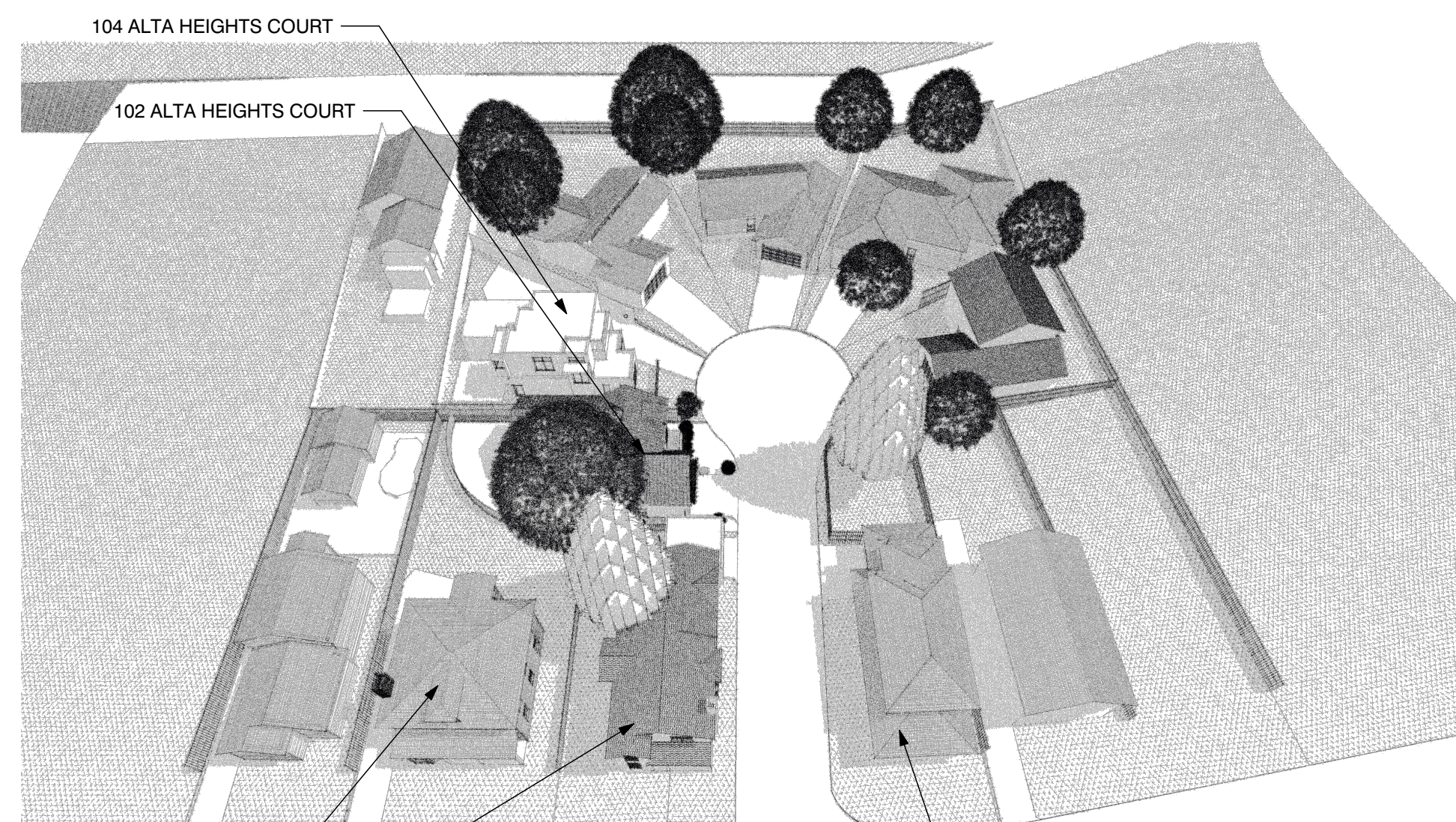


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DRAWN:	EB
DATE:	5/9/2021
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JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	A2.3

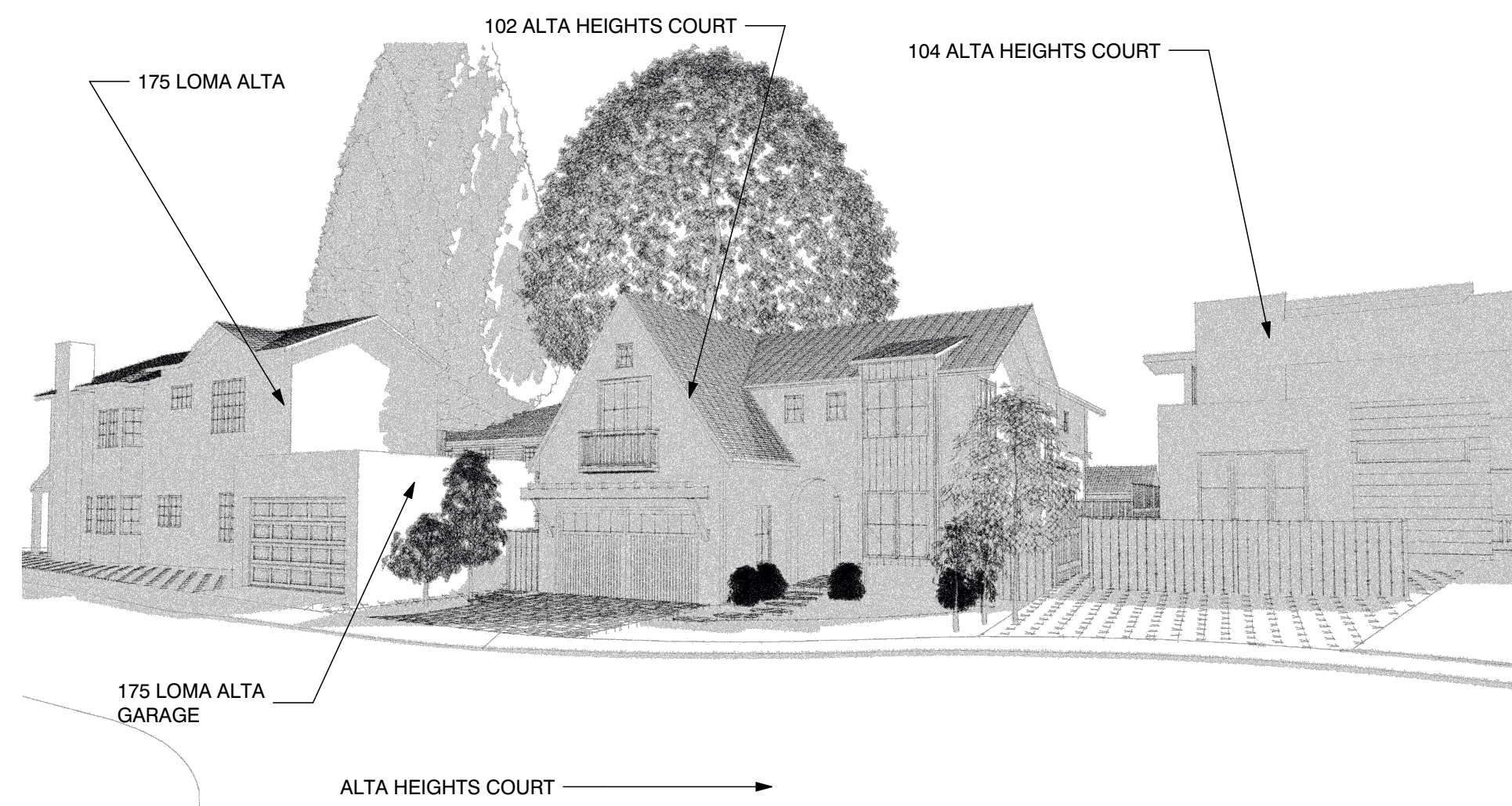
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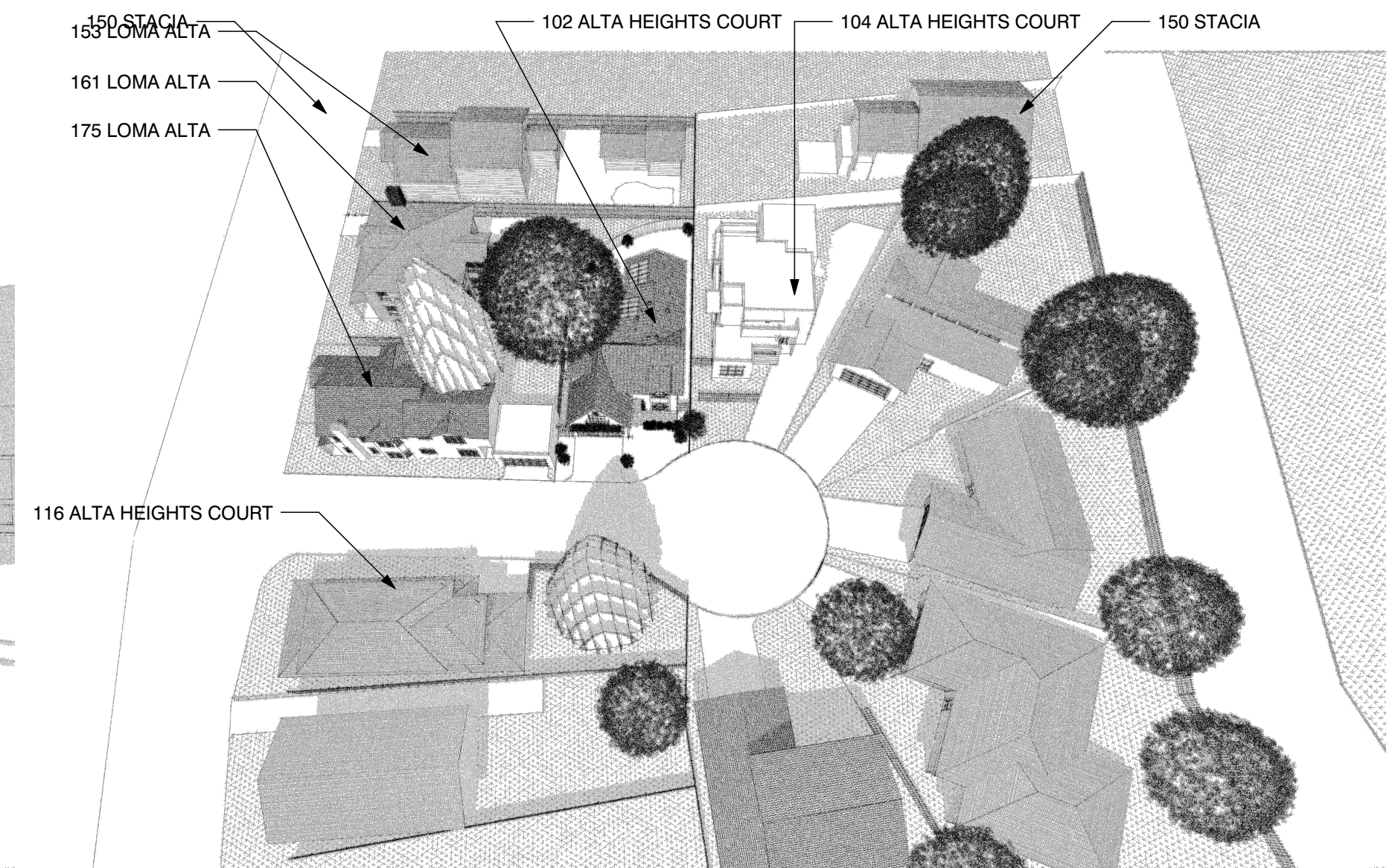
VIEW 'A' LOOKING EAST-NORTHEAST



VIEW 'D' ABOVE LOOKING EAST



VIEW 'B' LOOKING NORTHWEST



VIEW 'C' ABOVE LOOKING NORTH



NEIGHBORHOOD DESCRIPTION

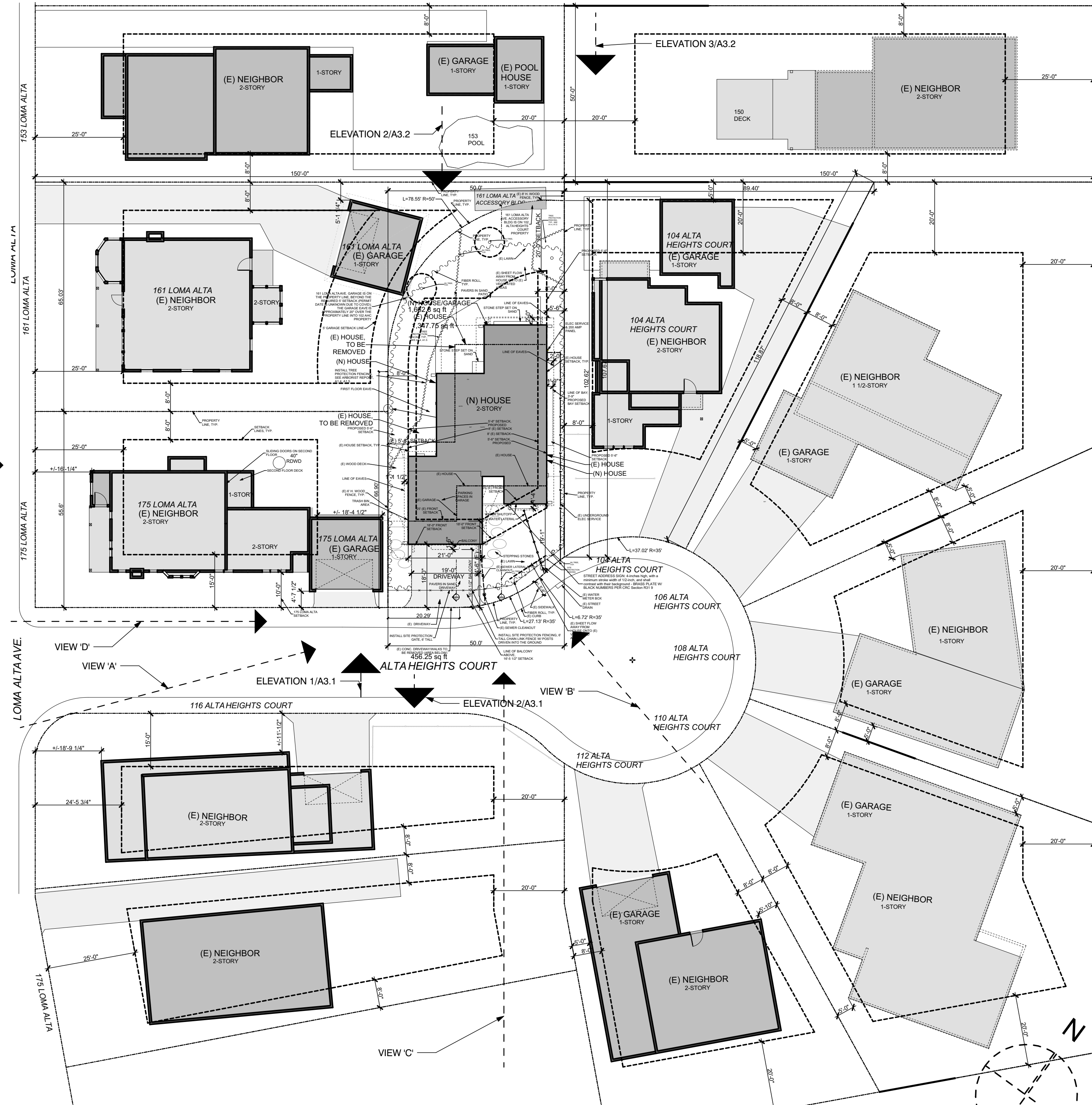
THE LOMA ALTA NEIGHBORHOOD HAS A VARIATED URBAN FORM AND HISTORY. THE NEIGHBORHOOD 'STYLE' AND MASSING PATTERN IS DISTINCTIVE IN THAT THERE IS NO 'SET' PATTERN. WHAT IS COMMON IS A HIGH DENSITY AND A RICH VARIETY OF FRONT ELEVATIONS, MASSINGS AND LANDSCAPING. THE NEIGHBORHOOD LOTS WERE LAID OUT BEFORE ZONING WHICH IS WHY IT HAS A VERY UNIQUE AND ATTRACTIVE 'URBAN VILLAGE' FEEL. RESIDENTS WHO CHOSE THIS TYPE OF NEIGHBORHOOD ARE INTERESTED LESS IN PRIVACY AS IN A TYPICAL LEAFY SUBURBAN NEIGHBORHOOD THAN IN HAVING ACTIVE CONNECTIONS WITH THEIR NEIGHBORS. LOMA ALTA IS A PRINCIPAL CIRCULATION ROUTE FOR THE NEIGHBORHOODS UP THE HILL. LOMA ALTA IS APPROX. 1/2 MILE FROM LOS GATO HIGH SCHOOL AND DOWNTOWN. LOS GATOS BOULEVARD, A PRIMARY CIRCULATION CORRIDOR IN LOS GATOS, INTERSECTS LOMA ALTA APPROX. 1/4 MILE FROM ALTA HEIGHTS COURT. BUS SERVICE IS 1/3 MILE FROM THE HOUSE SITE.

THE URBAN FABRIC IS 1, 2 AND 3 STORY RESIDENCES W/ VARYING SETBACKS AND MASSING AND STYLES. THE STYLE RANGE FROM VICTORIAN, SPANISH, CRAFTSMAN, BUNGALO, TUDOR, MODERN, FARMHOUSE, ETC. THERE IS NO ONE DISTINCTIVE STYLE YET THE OVERALL FABRIC IS VERY PLEASING, PARTLY BECAUSE MOST OF THE FABRIC PREDATES ZONING SO THAT MANY OF THE HOUSES AND FORMS ARE CLOSER TO THE STREET AND TO NEIGHBORS TO CREATE A HOMEY, URBAN VILLAGE SETTING.

HOUSE DESCRIPTION

THE PROPOSED HOUSE IS FLANKED BY A 2-STORY SPANISH HOUSE ON THE LEFT WAS RESULTED FROM A 2 STORY ADDITION TO AN EXISTING 1 STORY HOUSE. THIS HOUSE HAS A VERY STRONG STREET WALL AS IT IS EXTRA CLOSE TO BOTH LOMA ALTA AND ALTA HEIGHTS COURT. THE 175 GARAGE IS RIGHT NEXT TO THE PROPERTY LINE OF THE 102 SITE AND SITS ONLY 5' FROM THE STREET PROPERTY LINE. THIS IS OBVIOUSLY BUILT BEFORE ZONING. THE HOUSE TO THE RIGHT IS A NEW 2-STORY, HANDSOME, MODERN HOUSE. THE REST OF THE COURT IS MIXED WITH SPANISH AND BUNGALO AND TRANSITIONAL. ALL OF THE OTHER HOUSES SIT ON GRADES 4-12' HIGHER THAN 102. EXCEPT FOR 175 LOMA ALTA. 102 IS LITERALLY THE LOWEST AND SMALLEST LOT IN THE COURT AND IS ALSO BLOCKED FROM VIEW ENTERING THE COURT BY 175 LOMA ALTA.

THE PROPOSED 102 ALTA HEIGHTS COURT DESIGN ATTEMPTS TO MODERNIZE A CLASSIC 1920'S TUDOR DESIGN WHICH CAN BE FOUND IN ALL OLDER URBAN VILLAGE NEIGHBORHOODS ACROSS CALIFORNIA AND THE USA. THE GOAL IS TO HAVE A DISCRETE YET 'QUIET' HOUSE DESIGN TO BLEND INTO THE LARGER LOMA ALTA NEIGHBORHOOD. THE PROPOSED DESIGN WILL HAVE A 2 BEDROOM ADU WHICH IS INTENDED TO MEET THE CA MANDATE FOR ADU CONSTRUCTION AND ALSO MORE SPECIFICALLY TO PROVIDE POTENTIAL HOUSING FOR ONE OF THE OWNERS' 6 ADULT CHILDREN AND THEIR BUDDING FAMILY OR TO THE GENERAL PUBLIC PER THE CA MANDATE.



FIRST FLOOR-SITE PLAN

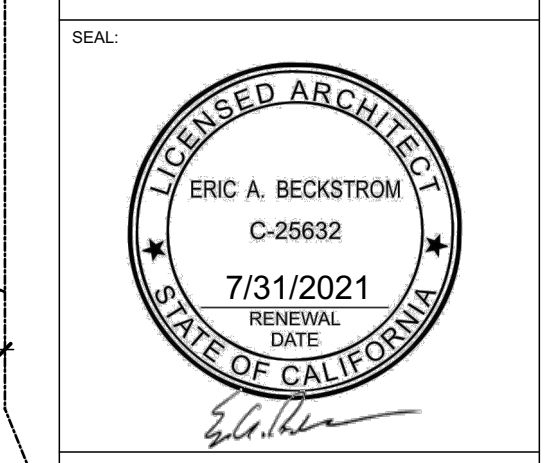
SCALE: 1" = 20'

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DRAWING TITLE: SITE ELEVATIONS/PLAN-NEIGHBORHOOD

DRAWN	EB
DATE	5/9/2021
SCALE	1" = 20'
JOB NO.	6
FILENAME	102 ah cd5.3.pln
SHEET	A3.0

102 ALTAHEIGHTS COURT -EXISTING CONDITIONS PICTURES



SOUTH-ENTRY

WEST

NORTH

EAST

WEST TOWARDS 161 LOMA ALTA

NORTH-BACKYARD

EAST TOWARD 104 ALTAHTS CT.



VIEW NORTH FROM ROOF



VIEW NORTHEAST FROM ROOF



VIEW SOUTHEAST FROM ROOF



VIEW SOUTH FROM ROOF



VIEW SOUTHWEST FROM ROOF



VIEW WEST FROM ROOF



1 SOUTH-ALTAHTS CT. ELEVATION
A3.1 SCALE: 1" = 10'



175 LOMA ALTA



102 ALTAHEIGHTS COURT



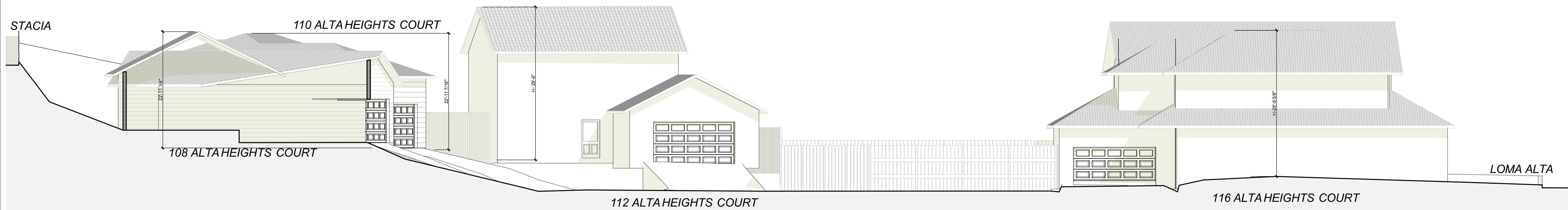
104 ALTAHEIGHTS COURT



106 ALTAHEIGHTS COURT



108 ALTAHEIGHTS COURT



2 NORTH-ALTAHTS CT. ELEVATION
A3.1 SCALE: 1" = 10'



108 ALTAHEIGHTS COURT



110 ALTAHEIGHTS COURT



112 ALTAHEIGHTS COURT



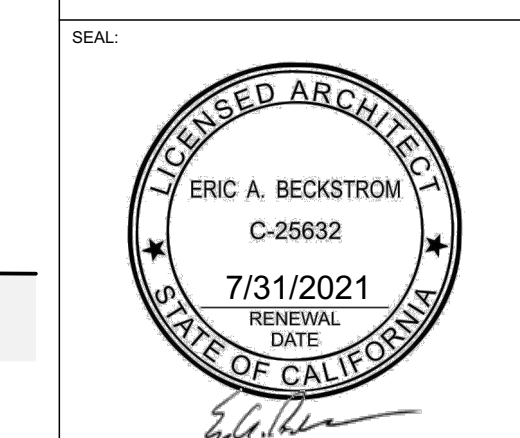
116 ALTAHEIGHTS COURT

REVISIONS	BY	
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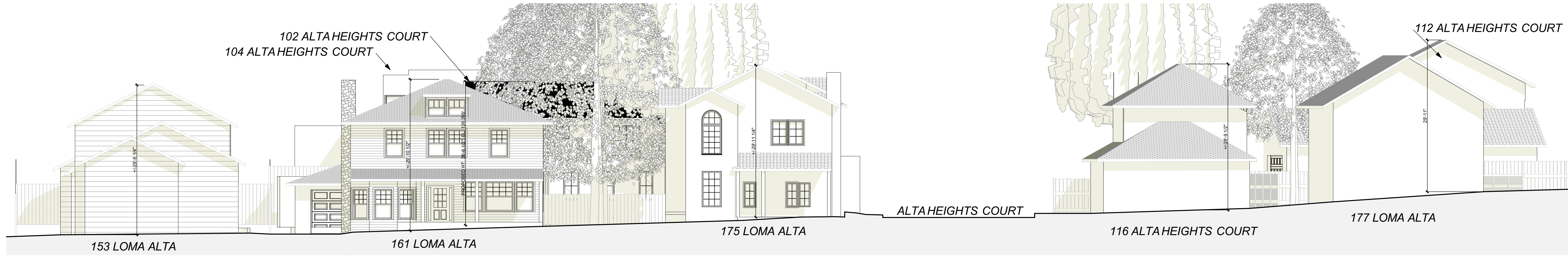
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DRAWN:	EB
DATE:	5/9/2021
SCALE:	1" = 10'
JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	

A3.1

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1 WEST-LOMA ALTA ST. ELEVATION
 A3.2 SCALE: 1" = 10'



153 LOMA ALTA



161 LOMA ALTA



175 LOMA ALTA



ALTAHEIGHTS COURT



116 ALTAHEIGHTS COURT



177 LOMA ALTA



2 NORTH ELEVATION
 A3.2 SCALE: 1" = 10'



3 NORTH SECTION/ELEVATION
 A3.2 SCALE: 1" = 10'

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DRAWING TITLE:
 NEIGHBORHOOD ELEVATIONS/VIEWS

DRAWN	EB
DATE	5/9/2021
SCALE	1" = 10'
JOB NO.	6
FILENAME	102 ah cd5.3.pln
SHEET	A3.2

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175 LOMA ALTA

102 ALTA HEIGHTS COURT

104 ALTA HEIGHTS COURT

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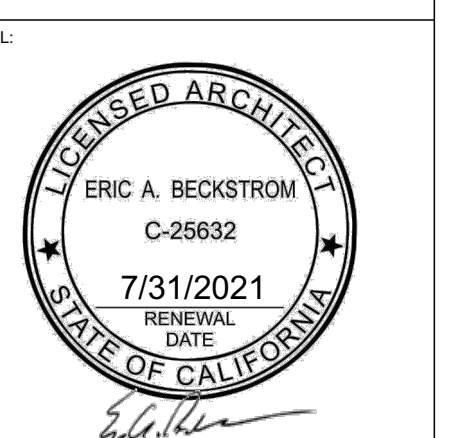
1 SOUTH/ STREET ELEVATION
 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"

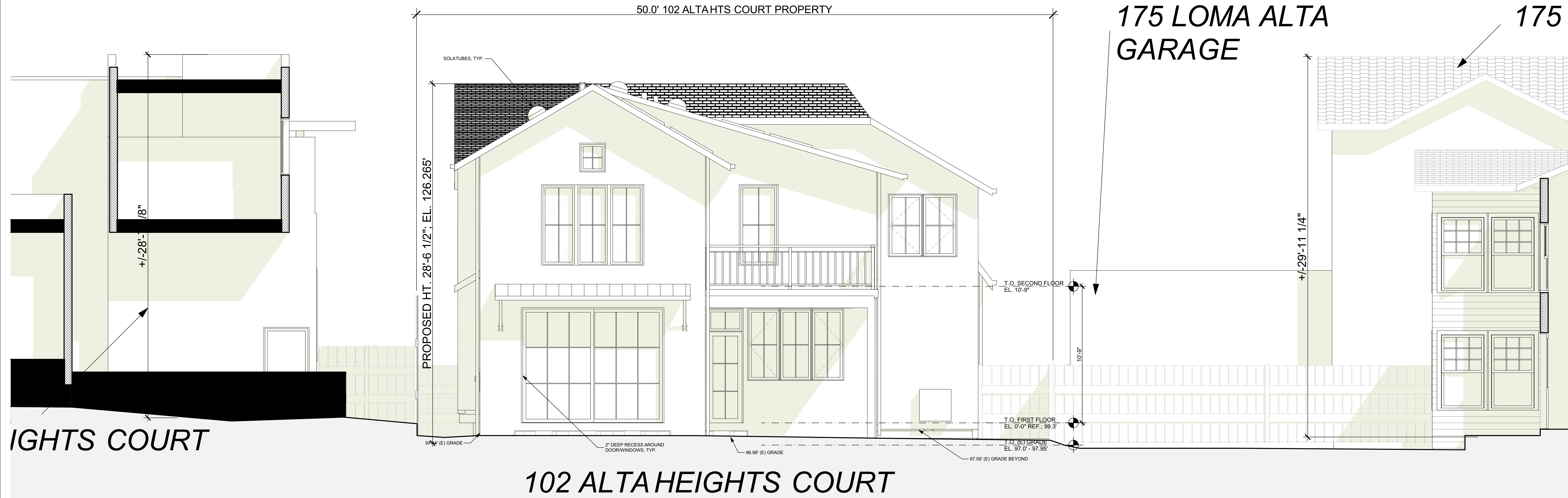
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DRAWING TITLE: ELEVATIONS

DRAWN	EB
DATE	5/9/2021
SCALE	1/4" = 1'-0"
JOB NO.	6
FILENAME	102 ah cd5.3.pln
SHEET	A3.3



1 NORTH ELEVATION
 A3.4 SCALE: 1/4" = 1'-0"



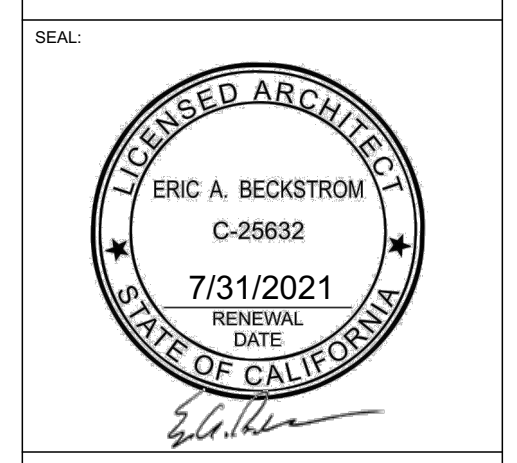
2 WEST ELEVATION
 A3.4 SCALE: 1/4" = 1'-0"

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DRAWING TITLE:	ELEVATIONS
DRAWN:	EB
DATE:	5/9/2021
SCALE:	1/4" = 1'-0"
JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	A3.4

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REVISIONS	BY	
1	11/22/2020	EB
2	1/5/2021	EB
3	2/11/2021	EB
4	4/1/2021	EB
5	5/9/2021	EB

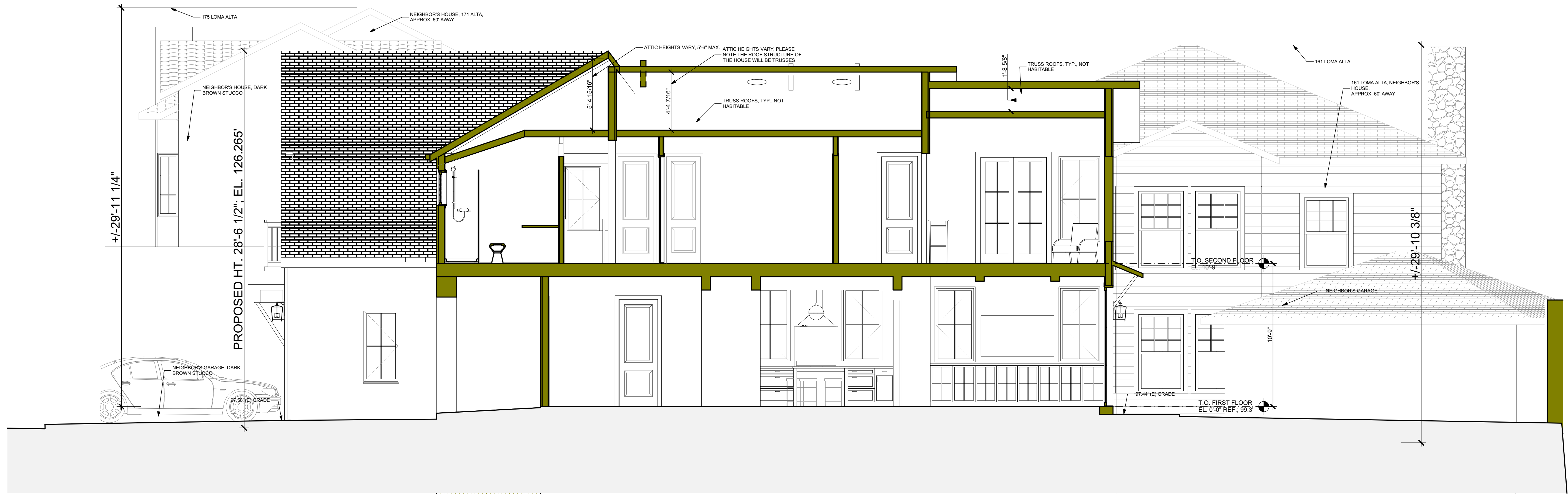
BECKSTROM
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 eric@beckstromarchitecture.com
 www.beckstromarchitecture.com

New Residence
 102 Alta Heights Court
 Los Gatos, CA 95030
 APN: 532-29-045

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DRAWING TITLE:	BUILDING SECTIONS
DRAWN:	EB
DATE:	5/9/2021
SCALE:	1/4" = 1'-0", 1/4" = 1'-0"
JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	A4.0



4 ENTRY/ENTRY HALL/KITCHEN/FAMILY
 A4.0 SCALE: 1/4" = 1'-0"

DIAGRAM ONLY

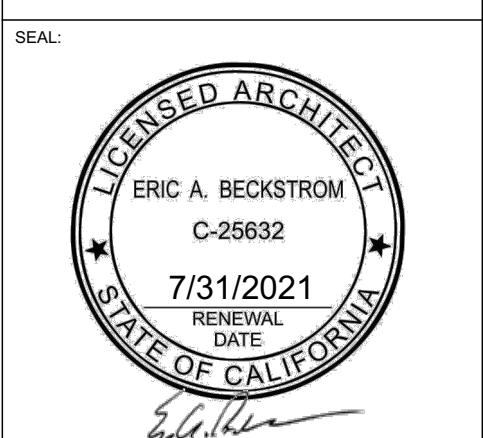
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REVISIONS	BY	
1	11/22/2020	EB
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3	2/11/2021	EB
4	4/1/2021	EB
5	5/9/2021	EB

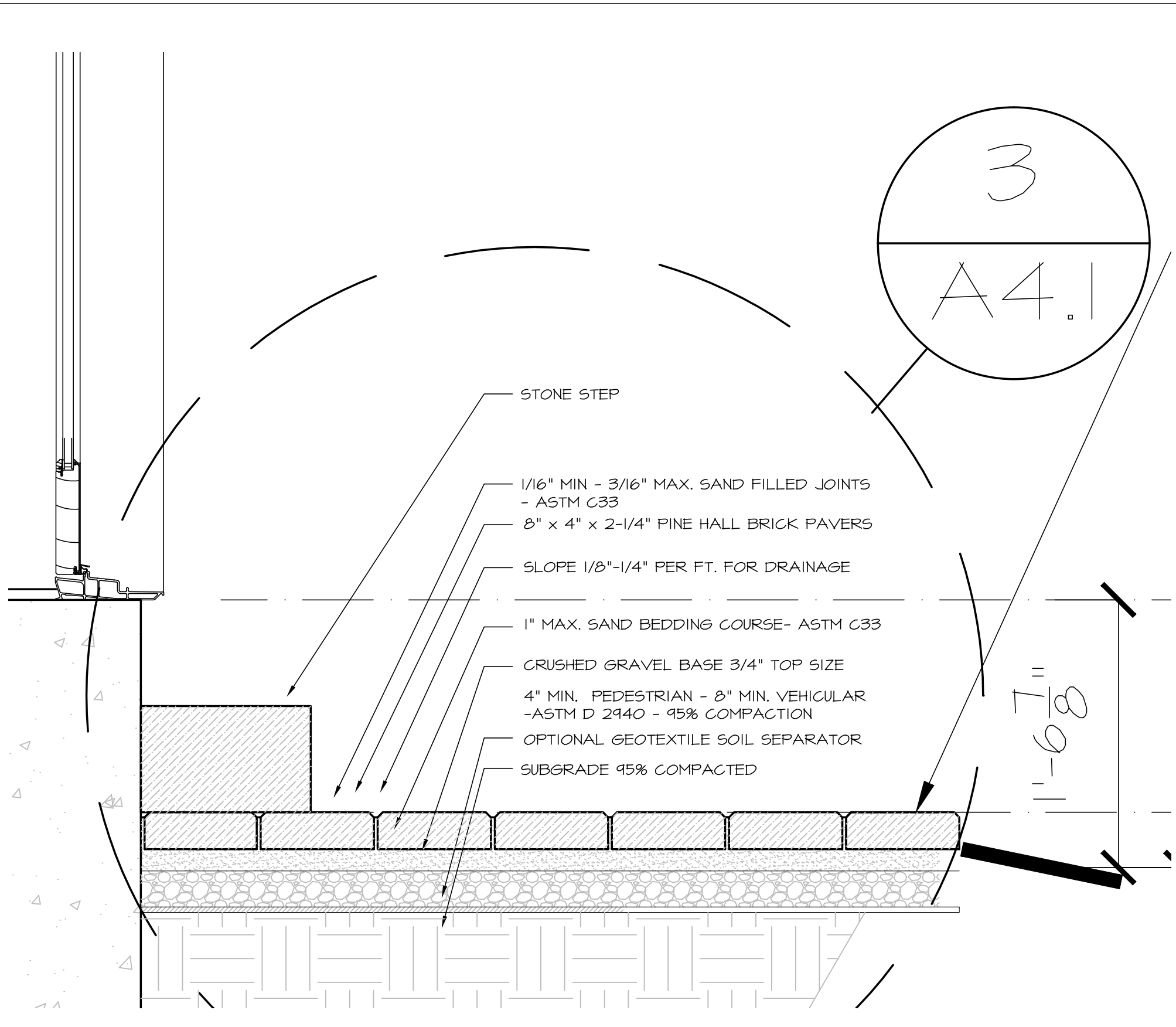
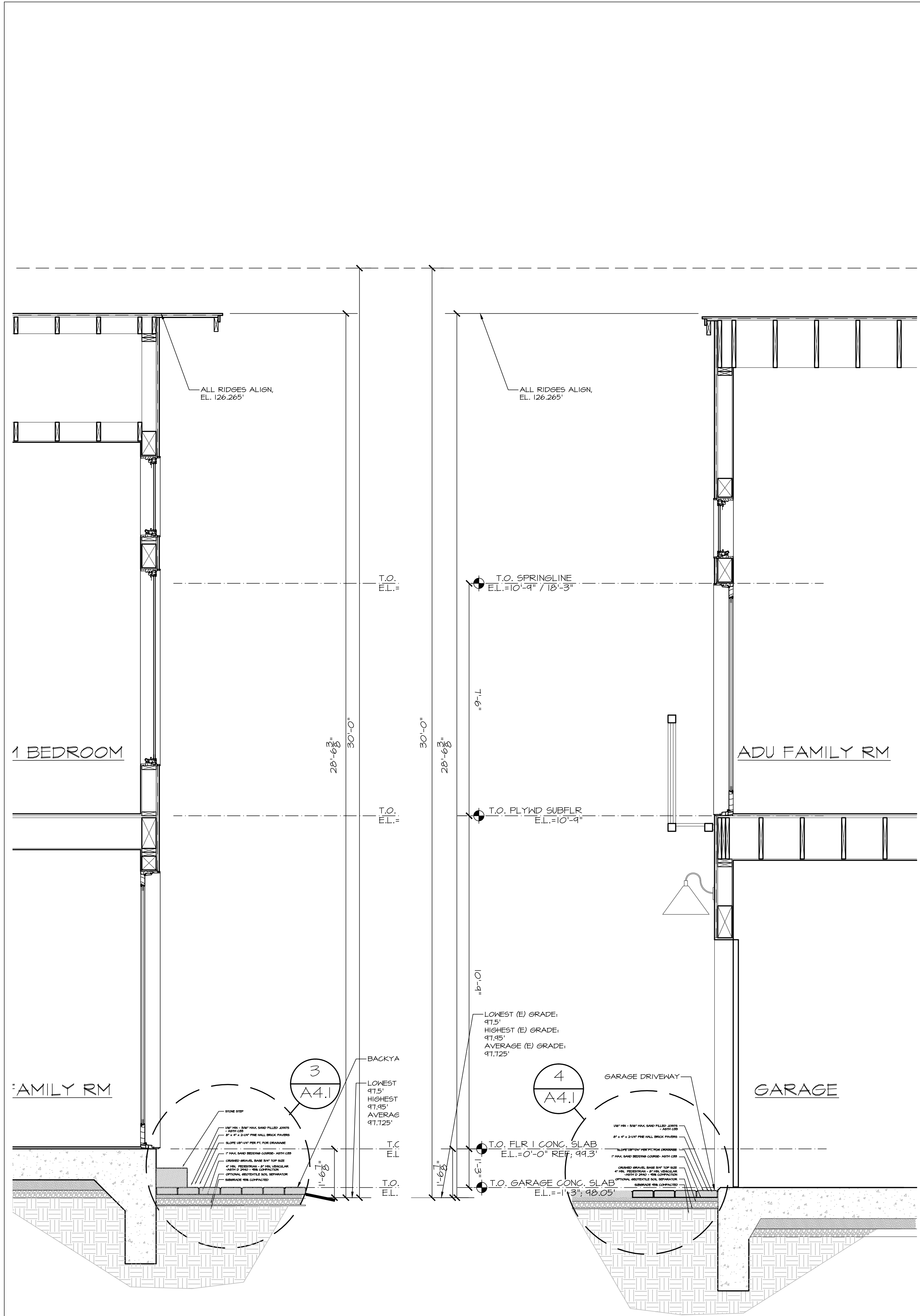
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DRAWING TITLE:	BUILDING SECTIONS
DRAWN:	EB
DATE:	5/9/2021
SCALE:	1/8" = 1'-0", 1" = 1'-0"
JOB NO.:	6
FILENAME:	102 ah cd5.3.pln
SHEET:	A4.1



5 BED 1/ ADU BED 1/STAIR, DINING/FAMILY
 A4.1 SCALE: 1/8" = 1'-0"

DIAGRAM ONLY

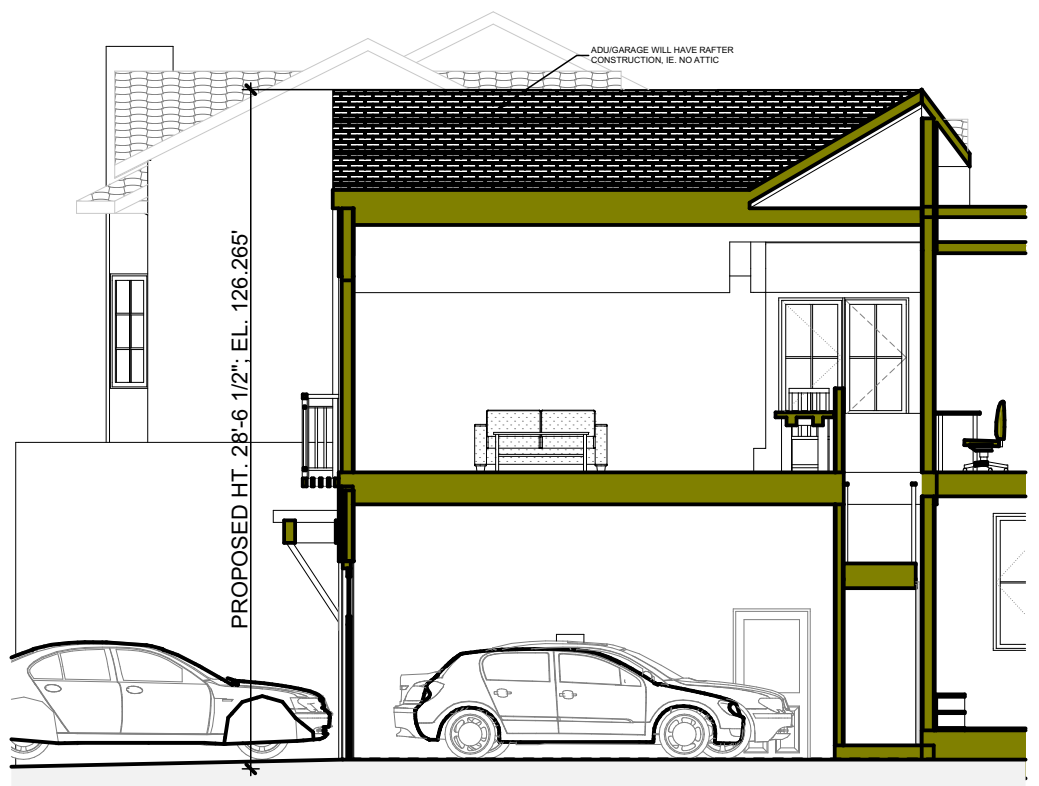
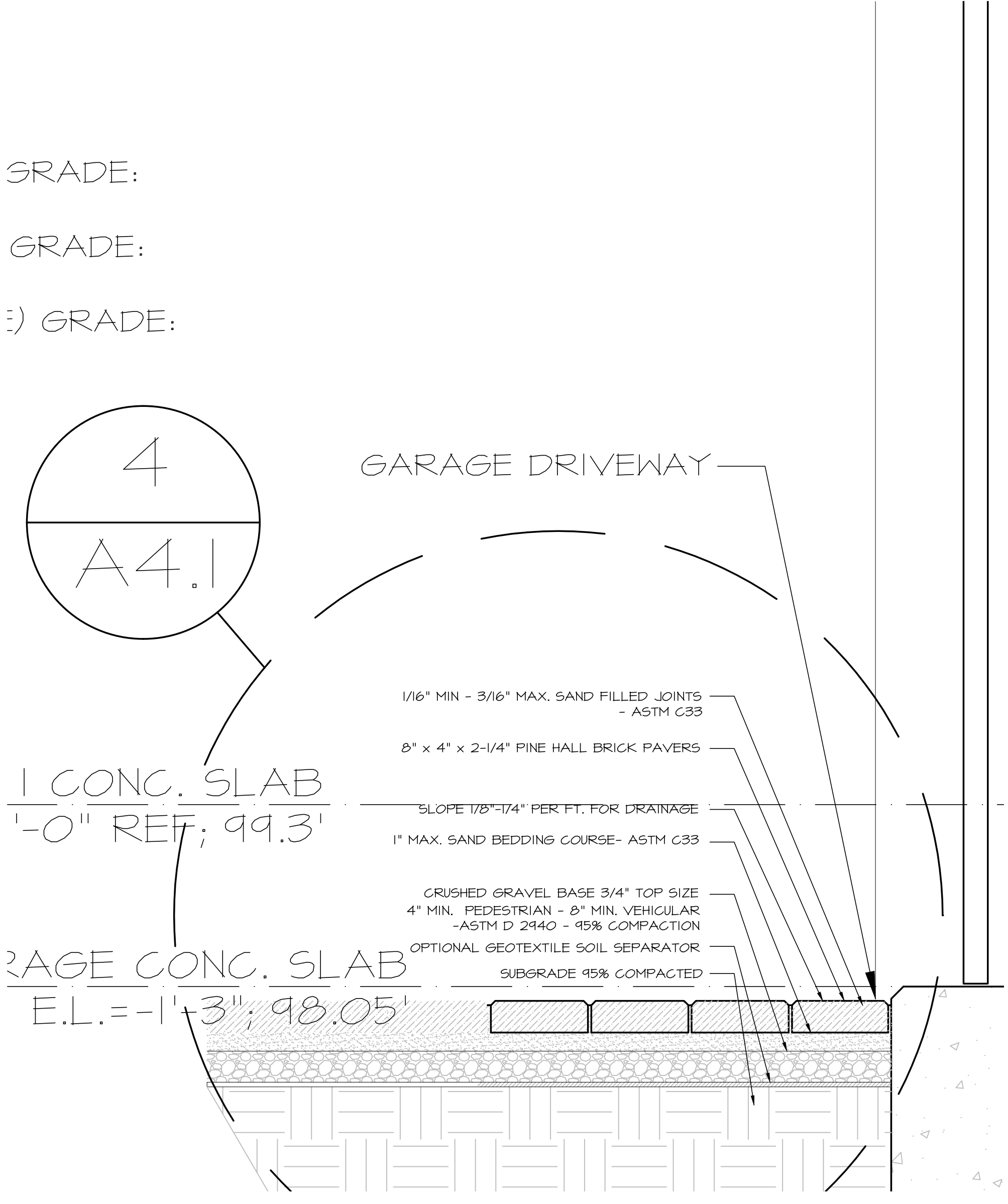


DIAGRAM ONLY

1 SECTION-FAM. RM
 SCALE 1/2" = 1'-0"

2 SECTION-GARAGE
 SCALE 1/2" = 1'-0"

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