ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.
BTWN.	BETWEEN	MAX.
BLDG.	BUILDING	MIN.
BLK.	BLOCK	MECH.
BM.	BEAM	MFGR.
CSMT.	CASEMENT	MICRO.
CLR.	CLEAR	MTL.
CL'G.	CEILING	NAT.
C.J.	CEILING JOIST	(N)
COL.	COLUMN	NO.
CONC.	CONCRETE	O.C.
CONT.	CONTINUOUS	PLYWD.
DRY.	DRYER	RIS.
DIA.	DIAMETER	R.O.
DIM.	DIMENSION(S)	R.R.
D.W.	DISHWASHER	REV.
DWGS.	DRAWINGS	REFR.
ELEV.	ELEVATION	REQD.
EQ.	EQUAL	SHT.
(E)	EXISTING	SL.
EXT.	EXTERIOR	SIM.
F.A.U.	FORCED AIR UNIT	STL.
FIN.	FINISH, FINISHED	STRUCT
FLR.	FLOOR	TEMP.
F.J.	FLOOR JOIST	TR.
FTG.	FOOTING	T&G.
FRZ.	FREEZER	T.O.
GA.	GAUGE	TYP.
GALV.	GALVANIZED	U.N.O
G.D.	GARBAGE DISPOSAL	V.I.F.
GRD.	GRADE	WASH.
GYP. BD.	GYPSUM BOARD	W.H.
HDR.	HEADER	WD.
HGT.	HEIGHT	

INTERIOR MAXIMUM MINIMUM MECHANICAL MANUFACTURER MICROWAVE METAL NATURAL NEW NUMBER ON CENTER PLYWOOD RISERS **ROUGH OPENING** ROOF RAFTERS REVISION REFRIDGERATOR REQUIRED SHEET SLIDER SIMILAR STEEL STRUCTURAL TEMPE RED TREADS TOUNGE & GROOVE TOP OF TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD WASHER WATER HEATER WOOD

APPLICABLE CODES

2019 California Building Code - CCR Title 24 Part 2 2019 California Residential Code - CCR Title 24 Part 2.5 2019 California Electrical Code - CCR Title 24 Part 3 2019 California Mechanical Code - CCR Title 24 Part 4 2019 California Plumbing Code - CCR Title 24 Part 5 2019 California Building Energy Efficiency Standards - CCR Title 24 Part 6 2019 California Historical Building Code - CCR Title 24 Part 8 2019 California Existing Building Code - CCR Title 24 Part 10 2019 California Green Building Standards Code - CCR Title 24 Part 11 2019 International Existing Building Code, Appendix Chapters A2 and A5



175 LOMA ALTA

102 ALTA HEIGHTS COURT

VIEW 'B' LOOKING NORTHWEST



RENDERING



Los Gatos Residence

104 ALTA HEIGHTS COURT -

NOTES

FIRE SPRINKLERS ARE REQUIRED

R313.2 One- and two-family dwellings automatic fire sprinkler systems. An automatic residential fire sprinkler system shall be installed in one dwellings as follows: 1.In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building a three thousand six hundred (3,600) square feet.

Fire Sprinkler Systems: Where automatic fire sprinkler systems are required to be installed in new buildings, the system shall be placed in service as soon possible. Immediately upon the completion of sprinkler pipe installation on each floor level, the piping shall be hydrostatically tested and inspected. After inspection approval from the Fire department, each floor level of sprinkler piping shall be connected to the system supply riser and placed into service with all sprinkler heads uncovered. Protective caps may be installed on the active sprinklers during the installation of drywall, tex

and painting, but shall be removed immediately after this work is completed. For system activation notification, an exterior alarm bell can be installed and connected to the sprinkler waterflow device prior to

installation of the monitoring system Water Supply Requirements

Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. shall be incorporated into the design of any water-based fire protection systems, and / or fire suppression water supply systems or storage of be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of rece the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record ar that purveyor as having been met by the applicant(s). 2016 CFC Sec. 903.3.5 and Health and Safety Code 13114.7 CONSTRUCTION FIRE SAFETY

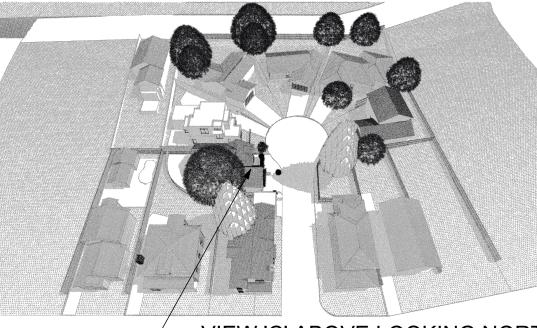
Section A33-47 of the Santa Clara County Code and Section 101 of the California Fire Code give the County Fire Marshal the authority to m such rules and regulations for the prevention and control of fire and fire hazards as may be necessary to carry out the intent of the Code. Co County Fire Marshal Standards and the County Fire Code Amendments can be found on this website. [REF: SCC §A33-47 & CFC §101.4] Co with Chapter 33 Std Detail and Specification S1-7. The Fire Marshal's Office also has the responsibility for enforcing Title 19 of the California Code of Regulations, and portions of the Californ

adopted by the County of Santa Clara. A copy of the County Fire Code is kept at the County Clerk of the Board's Office. PREMISES/ADDRESS IDENTIFICATION The address numbers of the property or project location shall be plainly visible and legible from the street or road fronting

the property at the fire apparatus access point or as otherwise approved per code: These numbers shall contrast with their background. Wh fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers sh numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm by means of a private road and the building cannot be viewedfrom the public way, a monument, pole or other sign or means shall be used to structure. Address numbers shall be maintained. CFC Sec. 505.1

ADDITIONAL NOTE: Fire Sprinklers Required: An automatic residential fire sprinkler system shall be installed in one- and tw as follows: 1) In all new one- and twofamily dwellings and in existing one- and two-family dwellings when additions are made that in

area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to a and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after Jan does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Ap the 2019 California Fire Code.



102 ALTA HEIGHTS COURT

VIEW 'C' ABOVE LOOKING NORTH

PROJECT DATA & DESCRIPTION

Assessor's Parcel Number(APN)): 532-29-045
ZONING:	R:1-8
LOT SIZE:	5,250 SF
CONSTRUCTION TYPE:	TYPE V
OCCUPANCY GROUP:	R3 - 2-STORY SINGLE FAMILY DWELLING + ATTACHED ADU / , GROUP U PRIVATE GARAGE

PROJECT DESCRIPTION

EXISTING 1958, 1-STORY RESIDENCE TO BE REMOVED

CONSTRUCT NEW 2 STORY HOUSE WITH ATTACHED ADU AND GARAGE

EXISTING LOT IS FLAT, LANDSCAPING & GRADE TO REMAINS AS IS

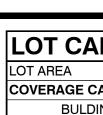
DEFERRED SUBMITTALS

- 1. SPRINKLER SYSTEM Type 13D system required per SCCFD
- 2. SOLAR PV PANEL PLAN/SYSTEM separate permit
- 3. WATER EFFICIENCY LANDSCAPE ORDINANCE/PLAN: The final landscape plan shall meet the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review.

~1>

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ALLOWED COV **EXISTING COV** HOUSE GARAGE DRIVEWAY/WAI

SIDE PATIO EXIS

PROPOSED CO HOUSE GARAGE ADU STAIR (UN TOTAL COVERAGE AM COVERAGE AM

102 ALTA FAR CALCULA

GARAGE FAR

FLOOR AREAS

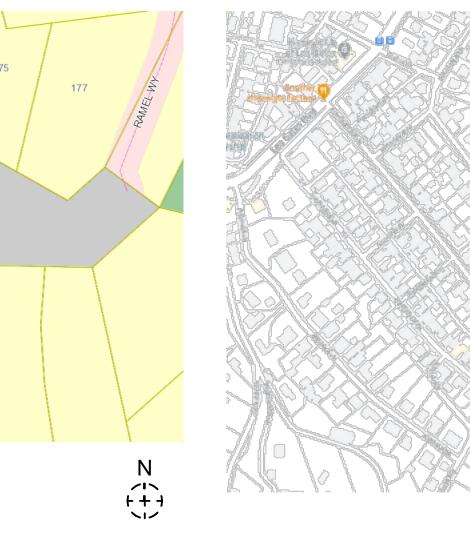
ADU ALLO

EXISTING SITE DRAINS ONTO THE EXISTING FLAT VEGETATED LAWN WHICH SURROUNDS THE EXISTING HOUSE. ENTIRE LOT HAS MAX. VERTICAL CHANGE OF LESS THAN 1'. SLOPE IS APPROXIMATELY 1.5%

PER LID SITE DESIGN MEASURES:

AREAS

VICINITY MAP





	CO	NTACT	S				REVISIONS	S	ΒY
							11/22/2020		EB
one- and two-family	CLIENT/C	OWNER:	Bo Development 127 Wilder Avenu Los Gatos, CA 9	e		2	1/5/2021		EB
ng area to more than	ARCHITE	CT:	Beckstom Archite PO Box 1317				2/11/2021		EB
			Los Gatos, CA 99 650 847-8351 eric@beckstroma			À	4/1/2021		EB
			-			5	5/9/2021		EB
texturing	STRUCTU	JRAL ENGINEER:	San Jose, CA 951 408 642-5464	nc. eek Blvd. Suite # 240 129				95030	
ant and any contractors r. Such requirements le containers that may record. Final approval of	CONTRA	CTOR:	contact@4xengin Owner-Bo Develc	-				OS, CA re.com	www.beckstromarchitecture.com
l are documented by	TITLE 24/ GREENPO	OINT RATER:		o EA R13-14-10017 Iil, POB 2199, Frazier Park, CA 93225-2	100		S	S GATOS nitecture.	nitectu
o make and enforce Copies of Santa Clara Construction to comply				e24@frazmtn.com	199	_	с С	7, LOS omarchi	omarch
fornia Building Code, as	CON	ITENTS				2		X 131 [.] ckstro	ckstre
Where required by the					-	O	⊢ Z). BOX @becl	, v be
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two-family dwellings	A1 0	SITE PLAN					ш Ш П		
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to an existing one- January 1, 2011 that	A1.2	SITE PLAN-LAR					835°		
d Appendix B and C of	A1.3		E DIAGRAM/INFO			()	Ч Ч Т.		
	A1.4	ARBORIST REP					650.847		
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	A2.2	FLOOR PLANS							
	A2.3	ROOF PLAN							
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	A3.1		, NEIGHBORHOOD EL						
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						1			

A4.0 BUILDING SECTIONS BUILDING SECTIONS A4.1

PROJECT AREA CALCULATIONS

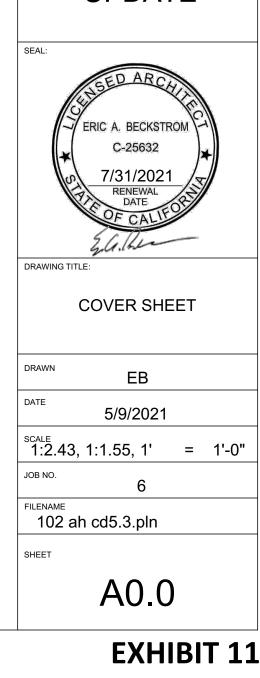
LCULATIONS												1
	5,250.00	SF										
ALCULATIONS	0,200100	•										
ING COVERAGE ALLOWED	40%											
VERAGE	2,100.00	SF	IMPER\		3							
VERAGE												
	1,037.00	SF	EXISTIN	NG HI	EIGHT	APP	ROX. 20-	3"				
	308.00	SF	EXISTI	NG HI	EIGHT	APP	ROX. 16'-	7"				
ALK	468.00	SF										
	75.00	SF										
STING COVERAGE TOTAL	1,888.00	SF	IMPER\	lon	5							
OVERAGE			Note: d	rivew	ay, pa	io & v	walks to b	e pav	ers on sa	and		
	1,082.77	SF										
	454.06											
NDER SEPARATE PERMIT)	57.63											
L PROPOSED COVERAGE	1,594.46											
MOUNT UNDER ALLOWED			FIMPERVIOUS									
MOUNT UNDER EXISTING	293.54	SF	IMPER\	/IOUS	5							ļ
HEIGHTS	LOT SIZE		5,250	SF								
ATIONS	AREA								FAR		HOUSE	
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	AREA								FAR		GARAGE	
	5.25	5	0.25	25	0.01	0.1	0.0007	0.1	0.099	5,250	521.3	SF
S												
FIRST FLOOR	1,082.77											
SECOND FLOOR	742.40											
HOUSE TOTAL	1,825.17											
	1,827.00											
AMOUNT UNDER	1.83	SF										
GARAGE	1E1 00	<u>с</u> г										
GARAGE GARAGE ALLOWED	454.06 521.33											
AMOUNT UNDER	67.27	SF										
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OWED (SEPARATE PERMIT)	801.63											
AMOUNT UNDER	3.05											
HOUSE TOTAL	3,077.81											<u> </u>
HOUSE IOTAE	0,077.01											

DRAINAGE NOTES

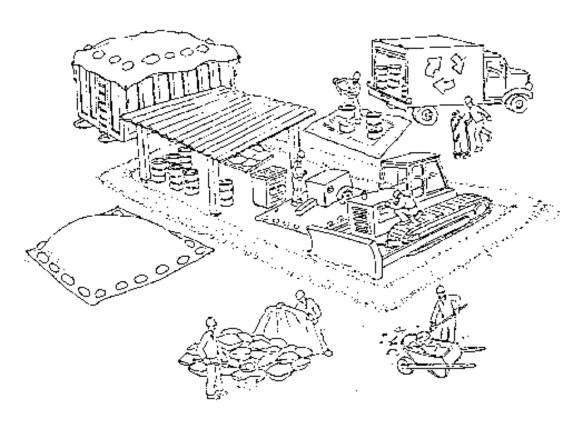
EXISTING ROOF DRAINAGE TO DISCHARGE ACROSS SPLASH BLOCKS AND INTO EXISTING LANDSCAPED AND VEGETATED

NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL

Court 95030 045 esidence 0 2 Alta Heights (s Gatos, CA 9 APN: 532-29-0 σ R New 102 Los PLANNING PERMIT **SUBMISSION** UPDATE



Pollution Prevention — It's Part of the Plan



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

A S M A A Bay Area Stormwater Management Agencies Association (BASMAA) 1-888-BAYWISE

THESE DRAWINGS HAVE BEEN DEVELOPED BY BECKSTROM ARCHITECTURE + INTERIORS FOR THE TITLED SET ONLY, THE DRAWINGS ARE THE SOLE PROPERTY OF BECKSTROM ARCHITECTURE + INTERIORS AND THEY SHALL NOT BE USED, LENT, COPIED OR ALTERED WITHOUT THE WRITTEN CONSENT OF BECKSTROM ARCHITECTURE + INTERIORS

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.

- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fastgrowing grasses as soon as possible. Place hay bales down-slope until soil is secure.

✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.

✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.

✓ Be sure to call your city's storm drain

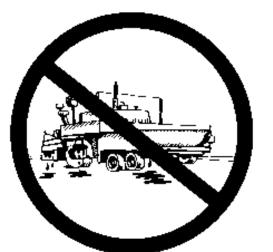


- inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hav bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.

✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

✓ Do not use water to wash down fresh asphalt concrete pavement.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- appropriate disposal off site.
- If a suitable dirt area is not available, collect the wash water and remove it for

Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes. rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

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	3	2/11/			EB
		4/1/20 5/9/20			EB EB
		ARCHITECTURE + INTERIORS	650.847.8351	P.O. BOX 1317, LOS GATOS, CA 95030 eric@beckstromarchitecture.com	www.beckstromarchitecture.com
		New Kesidence	102 Alta Heights Court	Gato:	
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	NOTES		DEMOLITIC	N NC	IOTES)					GATC		
	ALL DIMENSIONS FROM FACE OF STRUCTURE UNLESS OTHERWISE NOTED. CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO	1.	ALL DEMOLITION WORK SHALL AT IMMEDIATE SUPERVISION OF A PE EXPERIENCE, TRAINING, AND AUT	ERSON \	VITH THE P				S	SKY	OWN TYPE SHBOI	AND) SI
	CONSTRUCTION, TYP. SEE STRUCTURAL DRAWINGS FOR EXTENT OF BRACED AND SHEAR WALLS. EXTERIOR WALLS TO BE 2X4 STUD, U.O.N. INTERIOR WALLS TO BE 2X4 STUD, U.O.N.	2.	ALL REMOVED BUILDING MATERIA MAY BE SALVAGED AT THE OWNER OWNER PRIOR TO DEMOLITION W CARE, SALVAGED, AND STORED A OWNER.	R'S DISC VHAT IS	CRETION. VE	ERIF DVE	TY WITH D WITH		I			х 5 г	
	PROVIDE MIN. 1-HR FIRE SEPARATION CONSTRUCTION BETWEEN R-3 AND U OCCUPANCIES AND MECH. RMS, TYP. 5/8" TYPE X GYP. BD. TO BE APPLIED TO THE GARAGE SIDE WALLS.	3.	DEMOLITION CONTRACTOR TO RE EXISTING UTILITY, DRAINAGE, ANI DISTURBED BY DEMOLITION. CAP	ID SPRIN	IKLER LINE	S WI	HICH AF						
	SHOWER WALLS TO HAVE A SMOOTH, HARD, NON- ABSORBANT SURFACE OVER MOISTURE RESISTANT UNDERLAYMENT OT A HEIGHT OF 72" ABOVE THE DRAIN INLET, PER CRC R307.2. 3/8" (MIN.) THICK TEMPERED GLASS DOOR AT ALL BATH/	4.	CONTRACTOR IS TO BE FAMILIAR VERIFY ALL DEMOLITION PRIOR TO DISCREPANCIES TO ARCHITECT.										
	SHOWER ENCLOSURES, TYP. PROVIDE 36" MIN. DEEP LANDING (7.75" MAX. BELOW THRESHOLD FOR IN-SWING/ SLIDER DOORS, 11/2" MAX. AT OUT-SWING DOORS) AT ALL EXTERIOR DOORS.	5.	CONTRACTOR SHALL BE RESPON DEMOLITION AS REQUIRED FOR IN RENOVATIONS, AND ALTERATIONS RESIDENCE.	IMPROVI	EMENTS PR	OPC	DSED,						
).	THERMAL INSULATION: R-15 FACTOR THERMAL INSULATION TYPICAL IN EXTERIOR 2X4 WALLS R-19 or R-30 FACTOR THERMAL (FOAM) INSULATION	6.	OWNER AND ARCHITECT TO WALK TO COMMENCEMENT OF DEMOLIT		ITH CONTR	АСТ	OR PRI	OR					
۱.	TYPICAL AT ROOFS. R-13 FACTOR THERMAL INSULATION AT INTERIOR FOR NOISE REDUCTION. EGRESS WINDOW MIN. NET CLEAR OPENING 5.7 SQ. FT.	7.*	RECYCLE AND/OR SALVAGE FOR F WEIGHT) OF THE NONHAZARDOUS DEMOLITION WASTE IN ACCORDA	JS CONS	TRUCTION	AND)						
2.	MIN. NET CLEAR WIDTH 20" MIN. NET CLEAR HT. 24". FINISHED SILL NOT MORE THAN 44" ABOVE FINISHED FLOOR. 1/2" THK. GYP. BD, LEVEL 4 FOR ALL INTERIOR WALLS,	8.*	SUBMIT A CONSTRUCTION WASTE A) IDENTIFYING THE CONSTRUCT MATERIALS TO BE DIVERTED F REUSE ON THE PROJECT OR S	TION AN	ID DEMOLIT	ION / RE	CYCLIN	IG,					
3.	U.O.N. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 25% MAX. OF ITS WIDTH. ANY NONBEARING PARTITION MAY BE NOTCHED TO A DEPTH OF 40%, PER CRC 602.6.1.		SALE B) SPECIFYING IF CONSTRUCTIO MATERIALS WILL BE SORTED (C) IDENTIFYING DIVERSION FACI	ON AND ON-SITE	DEMOLITION OR BULK N	N W. /IXE	ASTE						
1.	ANY STUD MAY BE BORED OR DRILLED PROVIDED THAT THE DIA. OF THE RESULTING HOLE IS NO MORE THAN 60% OF THE STUD WIDTH AND THE EDGE OF THE HOLE IS NO MORE THAN 5/8" FROM THE EDGE OF THE STUD, AND THE		CONSTRUCTION AND DEMOLI TAKEN D) IDENTIFYING CONSTRUCTION THE AMOUNT OF CONSTRUCT		DS EMPLO	YED	TO RE						
	HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH OR USE OF AN APPROVED STUD SHOE IS PERMITTED WHEN THEY ARE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, PER	9 *	GENERATED E) SPECIFYING THAT THE AMOUN DEMOLITION WASTE MATERIA CALCULATED BY WEIGHT OR N DOCUMENTATION WILL BE PROVID	ALS DIVE VOLUME	RETED SHA	ALL I 3Y B	BE IOTH	ICY					
ō.*	CRC 602.6.2. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE CLOSED WITH	10	WHICH DEMONSTRATES COMPLIA *A PLAN MUST BE DEVELOPED AND STORM WATER DRAINAGE DURING ALGREEN RESIDENTIAL MANDATOR	ANCE W D IMPLE IG CONS	TH CALGRE MENTED TC TRUCTION.	EEN MA	4.408.2.						
	CEMENT MORTAR, CONCRETE MASONRY OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY TO PREVENT PASSAGE OF RODENTS.		LOT CALCULATIO	NS									
5.*	AT THE TIME OF FINAL INSPECTION, A MANUAL, CD, WEB- BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO		LOT AREA		5,250.00	SF							
	THE ENFORCING AGENCY WHICH COMPLIES WITH THE SPECIFICATIONS IN CALGREEN 4.410.1.		COVERAGE CALCULATIONS BULDING COVERAGE ALL	OWED	40%								
7.*	ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF SCAQMD RULE 1168 VOC LIMITS UNLESS MORE STRINGENT LOCAL		ALLOWED COVERAGE		2,100.00		IMPER	/IOUS	6				
२ *	OR REGIONAL AIR POLLUTION OR AIR QUALITY MANAGEMENT DISTRICT RULES APPLY. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY		EXISTING COVERAGE HOUSE		1,037.00								
	WITHY VOC LIMITS IN TABLE 1 OF THE AIR RESOURCES BOARD ARCHITECTURAL SUGGESTED CONTROL		GARAGE DRIVEWAY/WALK		308.00 468.00			NG HE	EIGHT	APP	ROX. 16 [.]	.7"	
	MEASURE, AS SHOWN IN CALGREEN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY.		SIDE PATIO EXISTING COVERAGE	τοται	75.00 1,888.00			/10115	3				
).*	AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(a)(3) AND OTHER REQUIREMENTS, INCLUDING		PROPOSED COVERAGE		.,					io & v	valks to b	be pav	ers c
	PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTION 94522		HOUSE		1,082.77	SF			aj, pa			o pui	
	(c)(2) AND (d)(2) OF THE CA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS		GARAGE ADU STAIR (UNDER SEPARATE PE	ERMIT)	454.06 57.63								
	UNDER THE JURISDICTION OF THE BAAQMD SHALL ADDITIONALLY COMPLY WITH THE PERCENT VOC BY		TOTAL PROPOSED COVE	ERAGE	1,594.46	SF	IMPER\						
).*	WEIGHT OF PODUCT LIMITS OF REGULATION 8, RULE 49. HARDWOOD PLYWOOD, PARTICLEBOARD AND MDF		COVERAGE AMOUNT UNDER ALLO COVERAGE AMOUNT UNDER EXIS		505.54 293.54								
	COMPOSITE WOOD PRODUCTS USED ON THE INTERIOR OR EXTERIOR OF THE BUILDING SHALL MEET THE		102 ALTA HEIGHTS		LOT SIZE		5,250	SF					
	REQUIREMENTS OFOR FORMALDEHYDE AS SPECIFIED IN ARB'S AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD CA CODE OF REGULATIONS, TITLE 17, SECTION 93120.1(a).		FAR CALCULATIONS		AREA 5.25	5			0.01	0.2	0.002	0.35	FAR 0.:
1.*	WHERE CONCRETE SLAB FOUNDATIONS OR CONCRETE SLAB-ON-GROUND FLOORS ARE REQUIRED TO HAVE A VAPOR RETARDER, A CAPILLARY BREAK SHALL BE		GARAGE FAR CALCULATIONS		AREA 5.25	5	0.25	25	0.01	0.1	0.0007	0.1	FAR 0.0
	INSTALLED IN COMPLIANCE WITH ONE OF THE FOLLOWING:		FLOOR AREAS	FLOOR	1,082.77			20	0.01	0.1	0.0007	0.1	0.
	A) A 4-INCH THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR		SECOND F		742.40								
	RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS		HOUSE		1,825.17								
	BLEEDING, SHRINKAGE AND CURLING SHALL BE USED B) OTHER EQUIVALENT METHODS APPROVED BY THE		HOUSE ALL AMOUNT		1,827.00 1.83								
	ENFORCING AGENCY C) A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN		GA	ARAGE	454.06	SF							
2.*	PROFESSIONAL BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR		GARAGE ALL	OWED	521.33 67.27	SF							
	FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.												
3.*	INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR		ADU (SEPARATE PE ADU ALLOWED (SEPARATE PE	,	798.58 801.63								
	ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUF. DRYING RECOMMENDATIONS		AMOUNT	UNDER	3.05	SF							
	SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.		HOUSE		3,077.81								
1.*	WHEN REQUIRED BY THE ENFORCING AGENCY, SPECIAL INSPECTORS SHALL PROVIDE INSPECTIONS OR OTHER		FLOOR AR		SEE D		AGR.	AN	1S (JN	A1.6	5	
	DUTIES NECESSARY TO SUBSTANTIATE COMPLIANCE WITH APPLICABLE CODES. SPECIAL INSPECTORS MUST		FLOOR AREA HOUS SECTION	SE	V	/IDT	H HEIG	HT	AR	EA (SF)		OT
	BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE TO THE ENFORCING AGENCY IN THE DISCIPLINE IN WHICH		A			11.8 6.3		25 45		157.2 34.7	3		NC
5.*	THEY ARE INSPECTING. DOCUMENTATION OF COMLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO CONSTRUCTION DOCUMENTS PLANS					11.0 19.9	8 3.	33		36.9 467.8	D		EP FR

DOCUMENTATION OF COMLIANCE SHALL INCLUDE, BUT IS NOT LIMITED TO, CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE LOCAL ENFORCING AGENCY.

THESE DRAWINGS HAVE BEEN DEVELOPED BY BECKSTROM ARCHITECTURE + INTERIORS FOR THE TITLED SET ONLY, THE DRAWINGS ARE THE SOLE PROPERTY OF BECKSTROM ARCHITECTURE + INTERIORS AND THEY SHALL NOT BE USED, LENT, COPIED OR ALTERED WITHOUT THE WRITTEN CONSENT OF BECKSTROM ARCHITECTURE + INTERIORS

DTE: THE ADU IS NDER A PARATE PERMIT, TYPICAL

19.91 11.08

17.50

10.87

17.50

12.00

19.00

6.12

20.00

7 16

16.

FIRST FLR SUBTOTAL

SECOND FLR SUBTOTAL

ADU (SEPARATE PERMIT)

ADU TOTAL (SEPARATE PERMIT)

HOUSE TOTAL

GARAGE TOTAL

23.50

13.1

13.

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467.89

145.37

240.63

1,082.77

116.64

198.9

45.3

80.1 240.63

742.40 1,825.17 SF

14.22

161.28

315.02

35.19

150.00

122.87

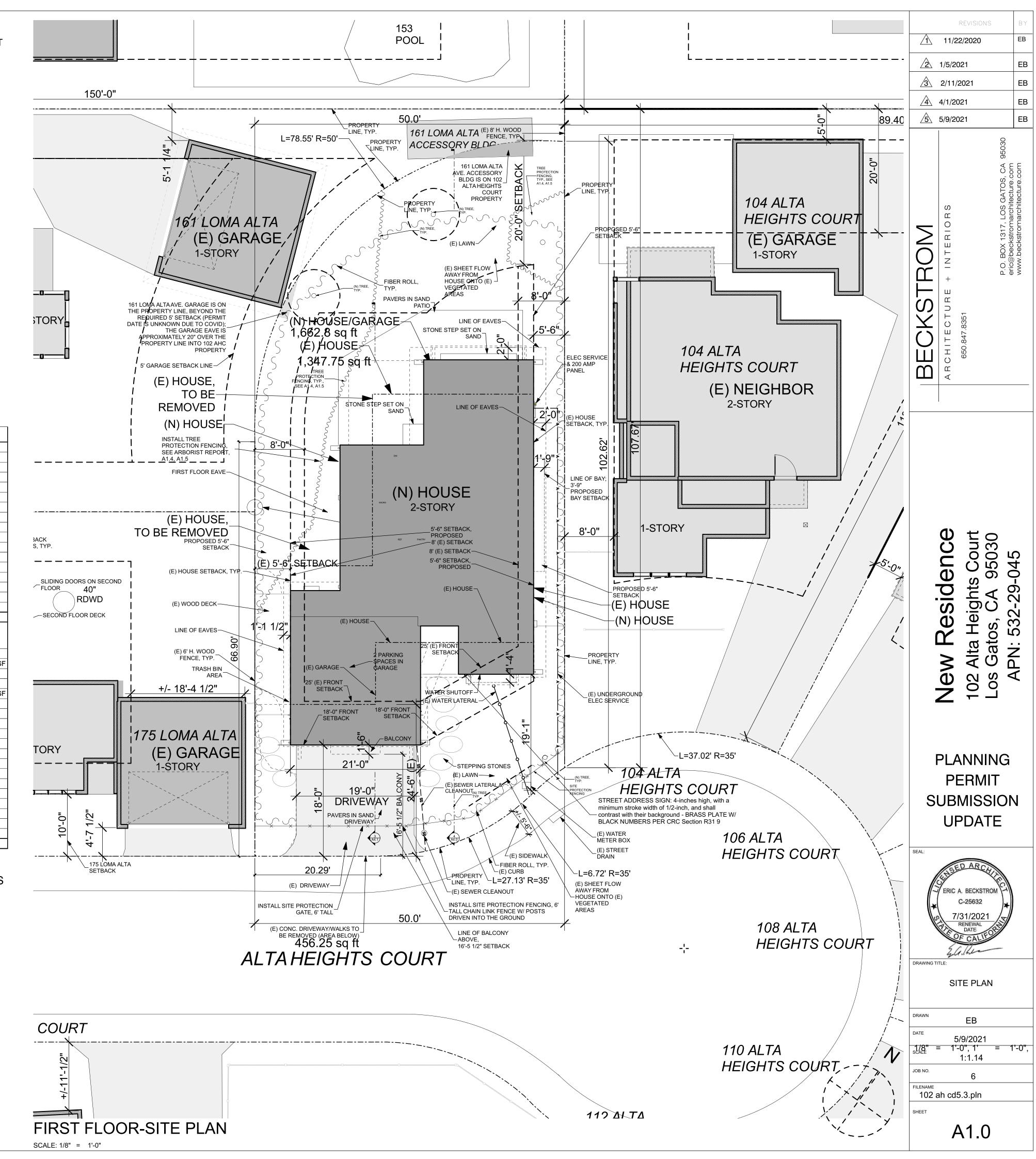
798.58 SF

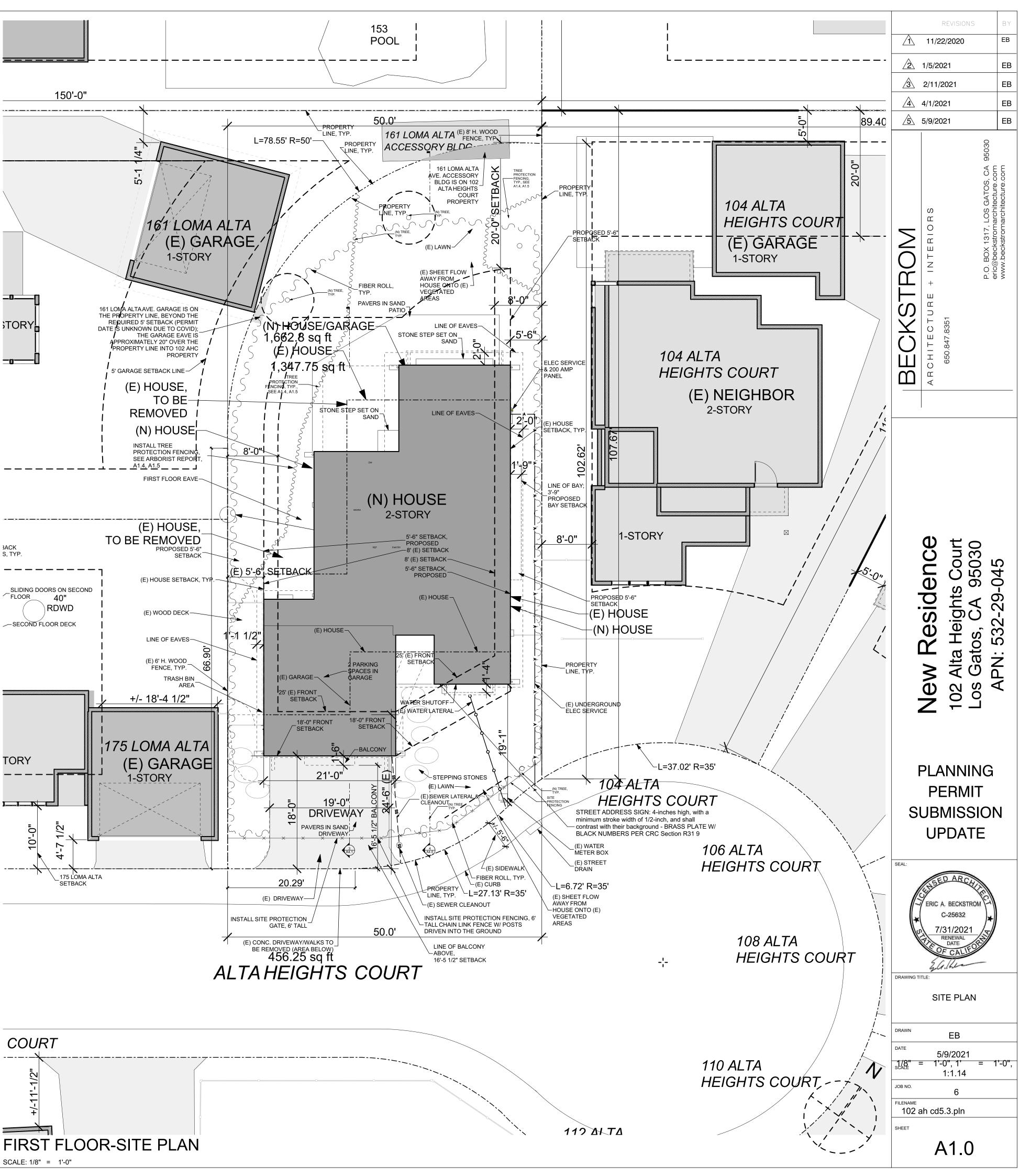
433.05

 21.0°

454.06 SF

ANNING NOTES: R LIGHTING WILL DIRECTED/NIGHT SHIELDED FROM ER TOWN CODE





s on sand ٩R HOUSE 0.348 5,250 1,827.0 SF AR GARAGE 0.099 5,250 **521.3** S

DRAINAGE NOTES

1. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MINIMUM DISTANCE OF 10'. (CBC 1804.3) EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 2%. THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF BACKFILL.

2. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2%. ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT THE REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS OF THE SITE. (CBC 1808.7.4)

3. ALL RUN OFF FROM ROOFS SHALL BE COLLECTED BY ROOF GUTTERS. ALL ROOF GUTTER DOWNSPOUTS SHALL BE EQUIPPED WITH SCREENS TO PREVENT THE INTRUSION OF LEAVES, TWIGS & DEBRIS .

4. ROOF GUTTER DOWN SPOUTS SHALL BE EQUIPPED WITH SPLASH BLOCKS LOCATED IMMEDIATELY BELOW POINT OF DOWNSPOUT DISCHARGE. SPLASH BLOCKS SHALLL DIRECT ROOF GUTTER FLOW AWAY FROM BUILDING FOUNDATION AS REQUIRED TO PREVENT PONDING OF WATER ADJACENT TO BUILDING FOUNDATION.

5. ALL STORM DRAINAGE PIPING, FITTINGS, AREA DRAINS, DROP INLETS ETC SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECS.

6. ALL PIPES FROM THE ROOF GUTTER DOWN SPOUTS AND/OR YARD PIPING SHALL BE IN 4" SDR-35, UNO. SLOPE MIN. 1% MIN TO APPROVED RELEASE LOCATION.

7. SIDE YARD DRAINAGE SWALES SHALL BE CONSTRUCTED TO FACILITATE RUNOFF AWAY FROM BUILDING FOUNDATIONS AT THE MAX RATE PRACTICABLE. RUNOFF TO ADJACENT PARCELS IS PROHIBITED.

8. UNO, ALL DRAINAGE SWALES AND OTHER LANDSCAPED FINISH SURFACES SHALL BE CONSTRUCTED TO PROMOTE RUNOFF CONTACT WITH LANDSCAPE VEGETATION AND SOIL MEDIA EN ROUTE TO APPROVED DISCHARGE LOCATION. RUN OFF SHALL BE DIRECTED TOWARD FRONT YARD AND BACKYARD AS SHOWN. PROVIDE 1% MINIMUM SLOPE TOWARD DISCHARGE LOCATION IN LANDSCAPED AREAS, EXCEPT TOWARD BUILDING FOUNDATION.

9. BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURE THAT HAVE FLOOD LEVEL RIMS LESS THAN 12-INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. CPC 710.0.

10. ONE OR MORE OF THE FOLLOWING MEASURES TO PREVENT FLOODING OF ADJACENT PROPERTY IN ACCORDANCE WITH CGBSC SECTION 4.106.2:

A. PROVIDE RETENTION BASINS OF SUFFICIENT SIZE TO RETAIN STORM WATER ON SITE.

B. WHERE STORM WATER IS CONVEYED TO THE PUBLIC DRAINAGE SYSTEM, SHOW METHOD OF FILTRATION

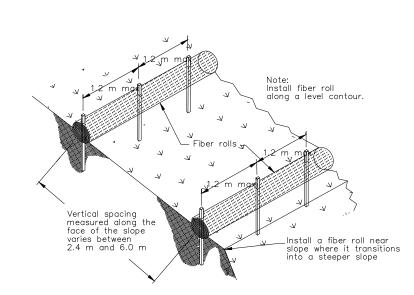
CONSISTING OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. C. SHOW COMPLIANCE TO LOCAL STORM WATER ORDINANCE.

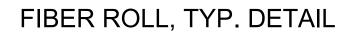
11. MATERIAL COLLECTION: THE TOWN EXCLUSIVE PROVIDER OF THIS SERVICE IS WEST VALLEY COLLECTION & RECYCLING (408) 283-9250.

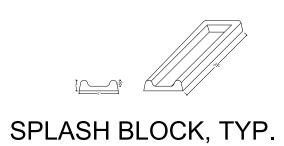
EXISTING SITE DRAINS ONTO THE EXISTING FLAT VEGETATED LAWN WHICH SURROUNDS THE EXISTING HOUSE. ENTIRE LOT HAS MAX. VERTICAL CHANGE OF LESS THAN 1'. SLOPE IS APPROXIMATELY 1.5%

PER LID SITE DESIGN MEASURES:

EXISTING ROOF DRAINAGE TO DISCHARGE ACROSS SPLASH BLOCKS AND INTO EXISTING LANDSCAPED AND VEGETATED AREAS







-____0'-0" ------EXISTING HOUSE, SHOWN DASHED -00' PROPOSED HOUSE-STRUCTURAL —SLAB ON GRADE THROUGOUT HOUSE SLAB EXISTING HOUSE, SHOWN DASHED ▖▖▃▖▖▃▖▖▃▔▖▛▗ੁ=▖▖▃▔▖ _**_-**-0'-7 1/2" _**___**=1'-3" GARAGE SLAB STRUCTURAL -SLAB ON GRADE THROUGOUT _---_-- PROPOSED HOUSE

FIRST FLOOR-SLAB PLAN

SCALE: 1/8" = 1'-0"

GRADING NOTES

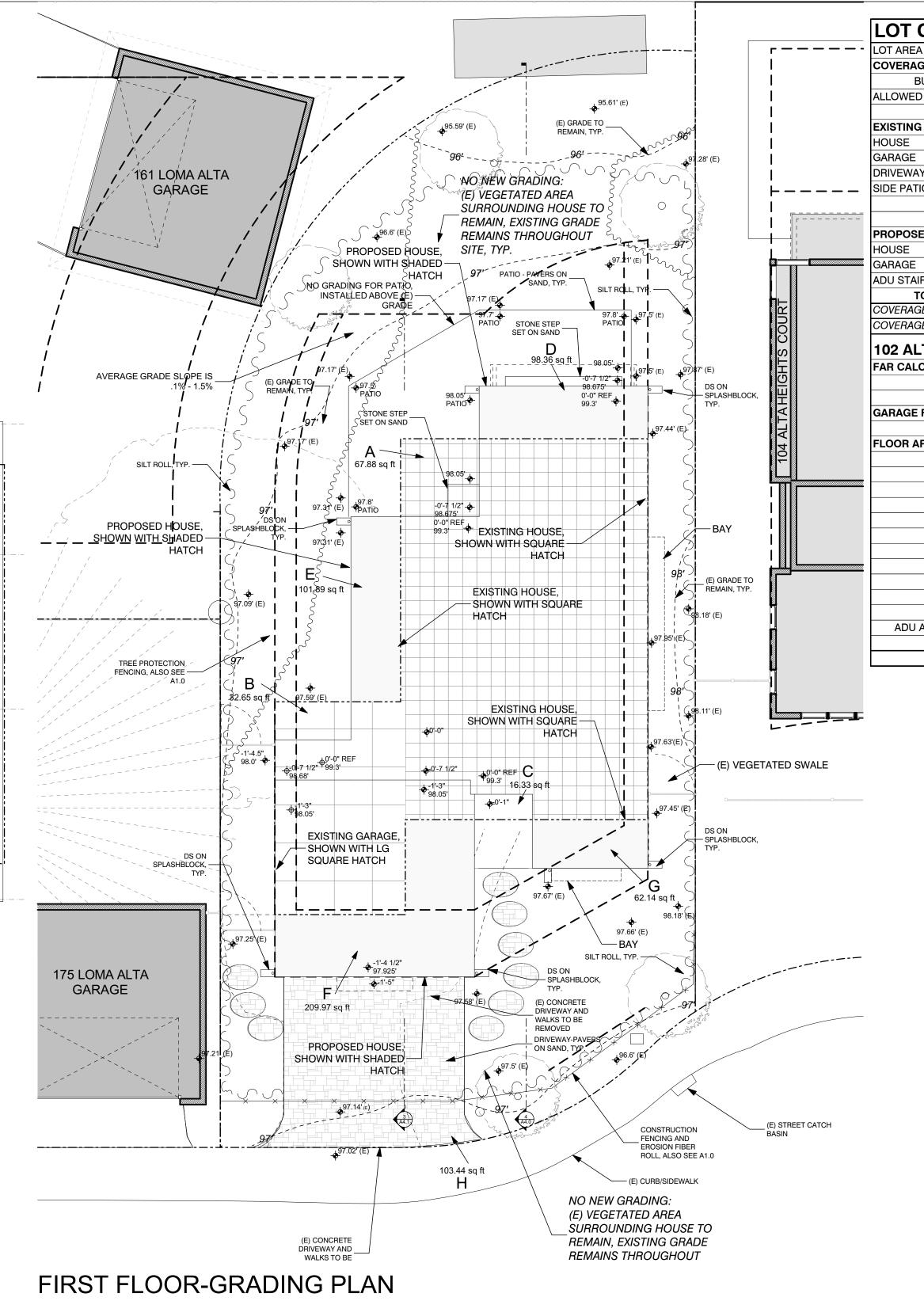
HOUSE FOOTPRINT TO REDUCE SITE IMPACT EFFECTS

A. HOUSE/GARAGE GRADING QUANTITY: 26.19 CUBIC YARD TOTAL CUT/FILL 2. DRIVEWAY - EXISTING CONCRETE DRIVEWAY WILL BE USED DURING CONSTRUCTION AND REMOVED AT THE END OF CONSTRUCTION FOR A NEW PAVER OVER SAND DRIVEWAY TO REDUCE IMPERVIOUS SURFACES, THE DRIVEWAY WILL INCREASE SLIGHTLY IN WIDTH WHICH WILL REQUIRE MINIMAL GRADING

A. DRIVEWAY QUANTITY: 1.72 CUBIC YARD TOTAL CUT/FILL 3. BACK PATIO - NO GRADING REQUIRED, PAVER PATIO WILL BE BUILT OVER THE EXISTING GRADE

A. NO GRADING REQUIRED

2.4 m and 6.0 m						TIES (approx.		1.55	1 -1 - 1							
y	ARE	A CUT sq				MAX. DEPTH yd	TOTAL (cu. yds)	AREA		9 sq. f/sq. yd			MAX. DEPTH yd	TOTAL (cu. yds)	GRAND TOTAL (cu. yds)	
	A	67.88		7.54		0.40	3.02	D	98.36	9.00	10.93	Х	0.40	4.37		
	В	32.65		3.63	х	0.40	1.45	E	101.89	9.00	11.32	х	0.40	4.53		
	С	16.33	9.00	1.81	х	0.40	0.73	F	209.97	9.00	23.33	х	0.40	9.33		
								G	62.14	9.00	6.90	х	0.40	2.76		
ER ROLL, TYP. DETAIL			SubTota	12.98	3 sq. yd	SUBTOTAL	5.19			SubTotal	52.48	sq. yd	SUBTOTAL	20.99	26.19	Э си. у
														MAX. ALLOWED	50.00	00 cu. yo
														AMOUNT UNDER	-23.81	1 cu. y
						NTITIES (ap	,									
	ARE		. ft 9 sq. f/sq. yd				TOTAL (cu. yds)	AREA	FILL sq. ft	9 sq. f/sq. yd	sq. yd		MAX. DEPTH yd	TOTAL (cu. yds)	GRAND TOTAL (cu. yds)	
	Н	103.4	9.00	11.49) x	0.15	1.72									
			SubTota	11.49	9 sq. yd	SUBTOTAL	1.72									
															1.72	2 cu. y
															50.00	-
PLASH BLOCK, TYP.														MAX. ALLOWED	50.00	00 cu. yo



SCALE: 1/8" = 1'-0"

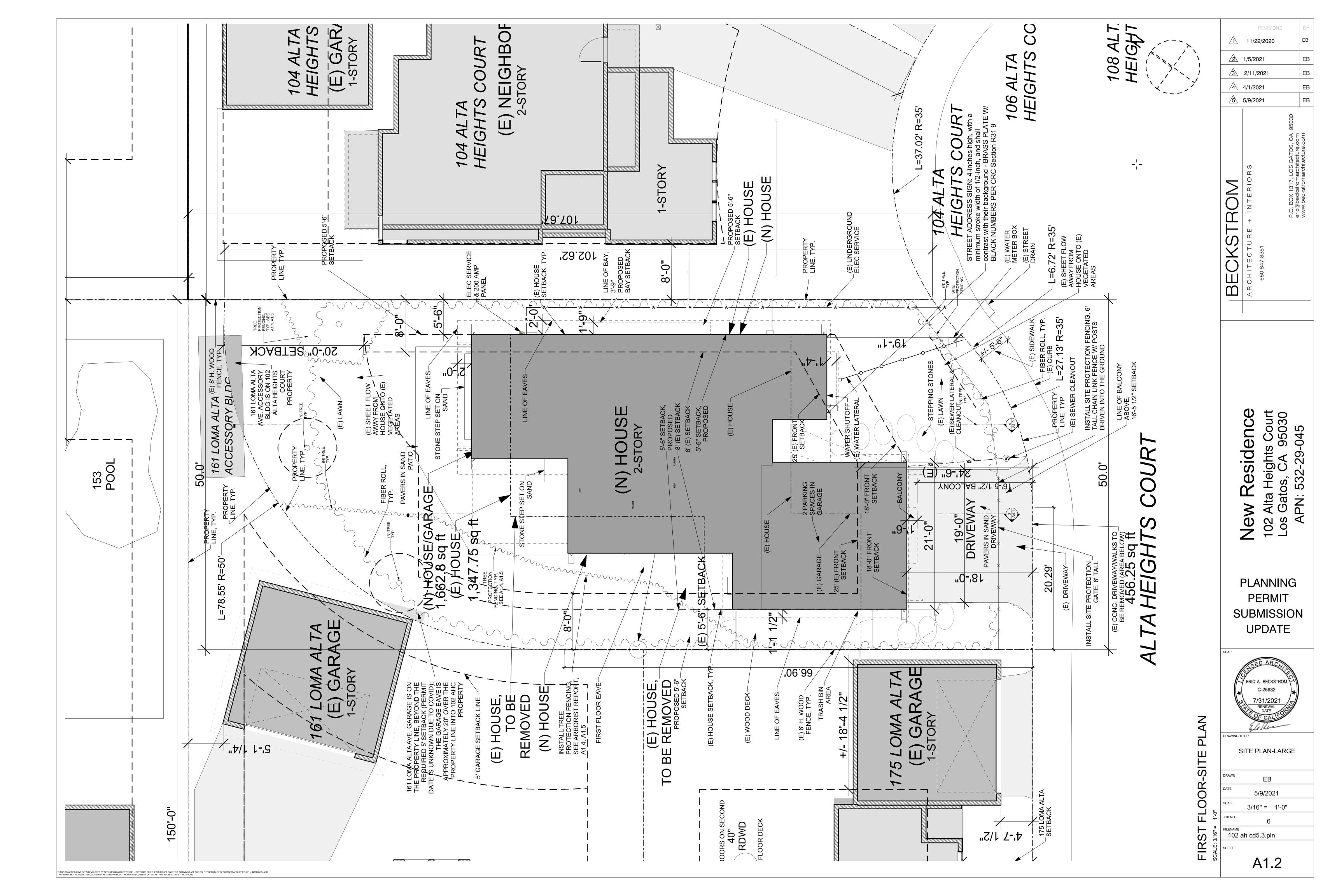
1. HOUSE/GARAGE - NO NEW GRADING ON THE SITE BEYOND THE HOUSE FOOTPRINT, IE. ALL EXISTING GRADES TO BE MAINTAINED. HOUSE IS UTILIZING A STRUCTURAL SLAB OVER THE EXISTING

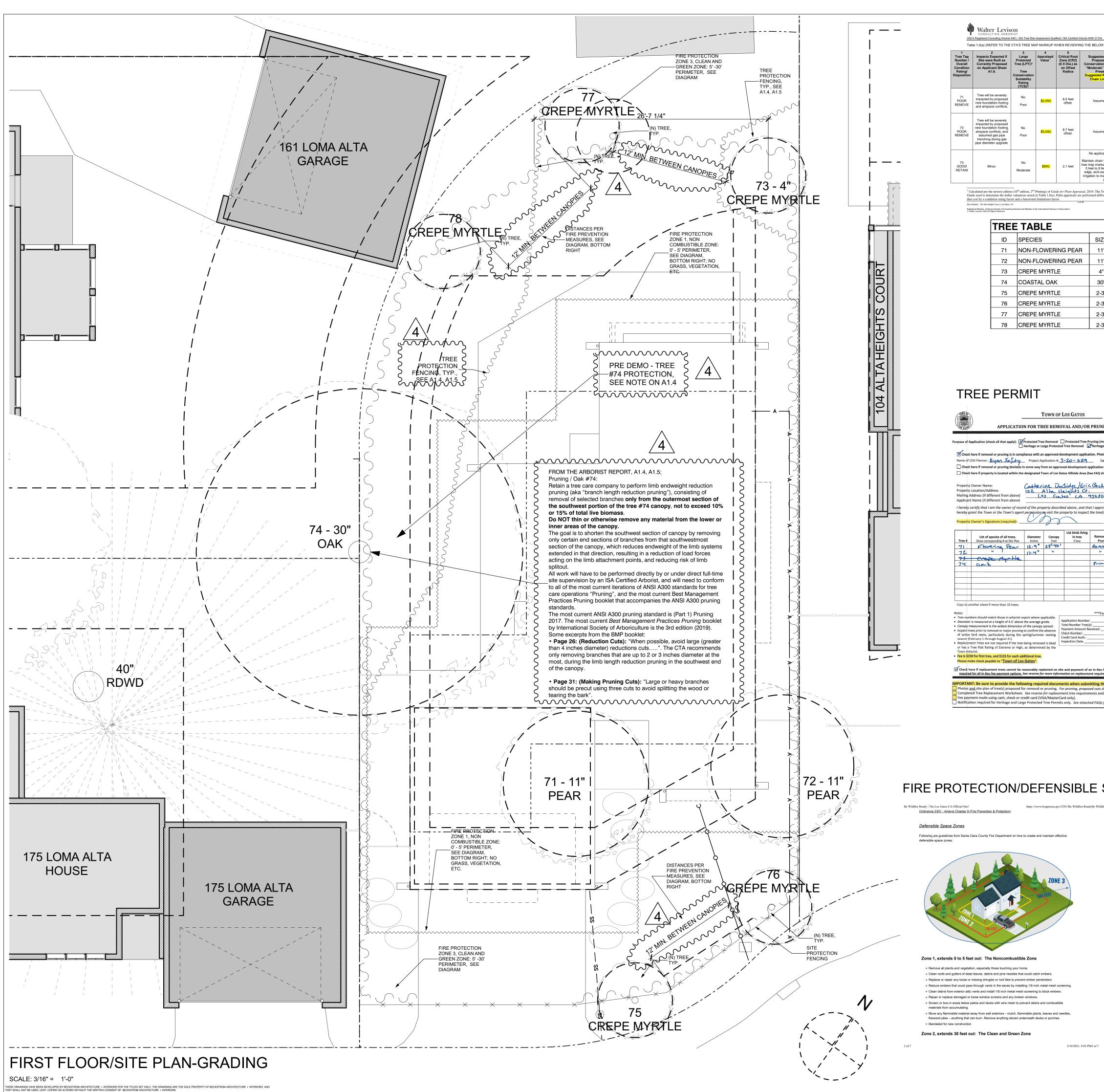
CALCULATIONS												
A	5,250.00	SF										
GE CALCULATIONS												
BULDING COVERAGE ALLOWED	40%											
D COVERAGE	2,100.00	SF	IMPER\	/1008	S							
G COVERAGE												
	1,037.00	SF	EXISTIN	IG HI	EIGHT	APP	ROX. 20-	3"				
	308.00	SF	EXISTIN	IG HI	EIGHT	APP	ROX. 16'-	7"				
AY/WALK	468.00	SF										
ПО	75.00	SF										
EXISTING COVERAGE TOTAL	1,888.00	SF	IMPER\	/IOU	5							
ED COVERAGE			Note: d	rivew	ay, pat	io & v	walks to b	oe pav	ers on sa	Ind		
	1,082.77	SF										
	454.06											
IR (UNDER SEPARATE PERMIT)	57.63											
TOTAL PROPOSED COVERAGE	1,594.46											
GE AMOUNT UNDER ALLOWED	505.54		FIMPERVIOUS									
GE AMOUNT UNDER EXISTING	293.54	SF	IMPER\	/IOU	3						-	
LTA HEIGHTS	LOT SIZE		5,250	SF								
CULATIONS	AREA								FAR		HOUSE	
	5.25	5	0.25	25	0.01	0.2	0.002	0.35	0.348	5,250	1,827.0	SF
FAR CALCULATIONS	AREA								FAR		GARAGE	
	5.25	5	0.25	25	0.01	0.1	0.0007	0.1	0.099	5,250	521.3	SF
AREAS												
FIRST FLOOR	1,082.77											
SECOND FLOOR	742.40											
HOUSE TOTAL	1,825.17											
HOUSE ALLOWED	1,827.00											
AMOUNT UNDER	1.83	SF										
GARAGE	454.06											
GARAGE ALLOWED	521.33											
AMOUNT UNDER	67.27	SF										
ADU (SEPARATE PERMIT)	798.58											
ALLOWED (SEPARATE PERMIT)	801.63											
AMOUNT UNDER	3.05											
HOUSE TOTAL	3,077.81	SF										

1			REVISION	S	ΒY
		11/2 1/5/20 2/11/ 4/1/20 5/9/20	2021)21		EB EB EB EB EB
SF SF	BECKSTROM	ARCHITECTURE + INTERIORS	650.847.8351	P.O. BOX 1317, LOS GATOS, CA 95030 eric@beckstromarchitecture.com	www.beckstromarchitecture.com
		New Residence	02 Alta Heights Court	Los Gatos, CA 95030	N. 332-23-043
	-		Ţ.		
	F	PL# PI UB	ANNI ERM MISS PDA	ng It Siop	
	F SI SEAL:		ANNI ERM MISS		N

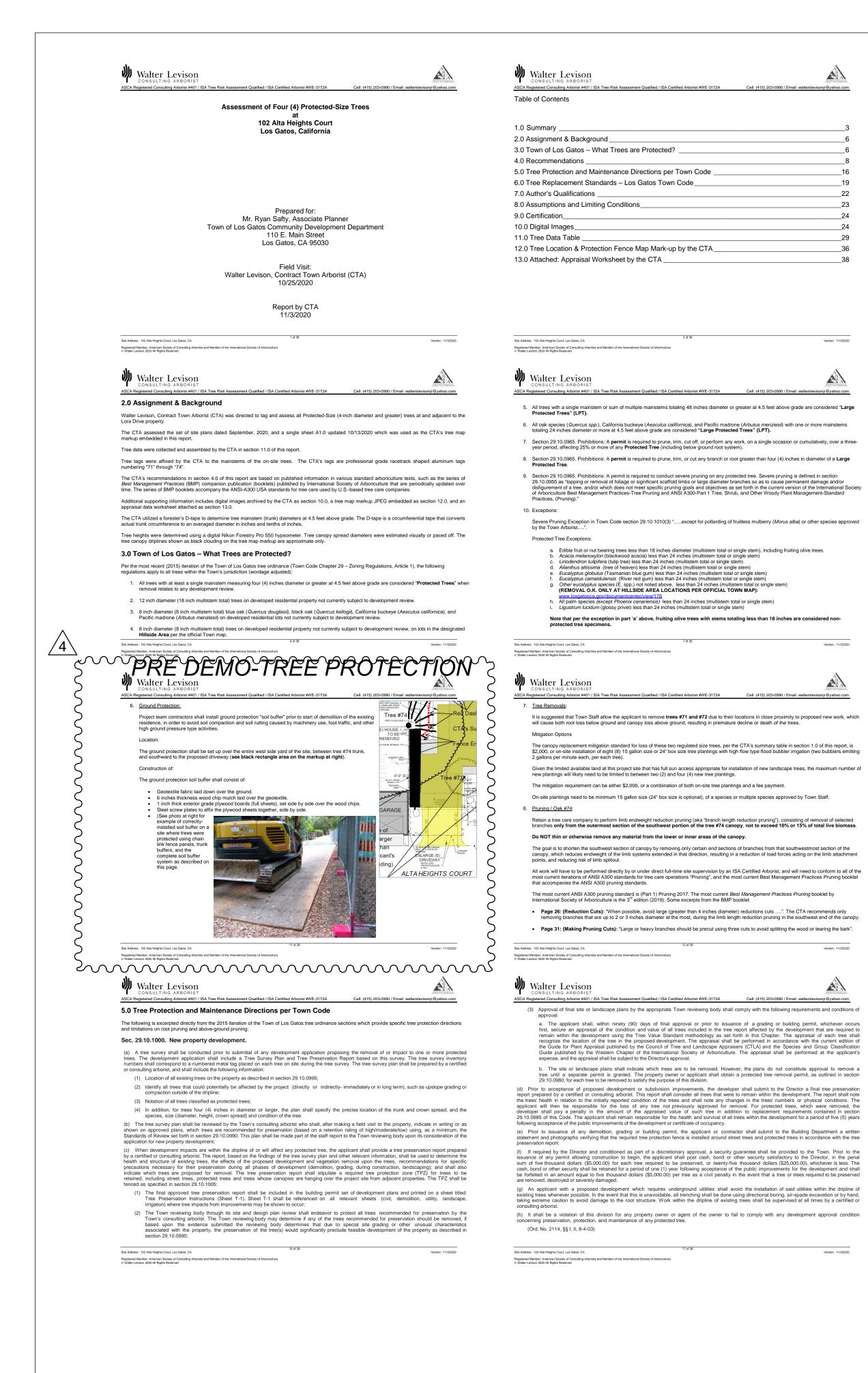
A1.1

NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL





LOW MAT	Cell: (415) 203-0990 / Em	ail: walterslevisonjr@yahoo.cc	in .	CONSU	er Levison	ISA Tree Risk Assess	ment Qualified / ISA Certit	ied Arborist #WE-3172A	Cell: (415) 203-0990 / E	mail: walterslevisonjr@yał	DO.COM		11/22/2020		B \ EB
posed Pla ation Suit	6 anges to Applicant's ans to Boost Tree tability Rating (TCS) to		1 Tree 8 Numi eplacement Ove Size Tree Cond Rati Diane	Tag Impacts ber / Site we rall Currentl ition on Appl ng/ A	ere Built as Pr ly Proposed Tre licant Sheet A1.0.	Large Approtected Va ee (LPT)?	4 5 raised Critical Ro Iue ¹ Zone (CR (6 X Dia.) an Offse Radius	Z) Proposed as Conservation S t "Moderate" or Preserv	6 hanges to Applicant's Plans to Boost Tree uitability Rating (TCS) to "Good", if Tree is to be d and Protected.	7 Replacement Rate Per Canopy Lost	8 Replacement Size Tree		11/22/2020	J	EE
Preserved ted Root I	Good", if Tree is to be and Protected. Protection Zone (RPZ) ince Offset Radius.		Dispos		Su	iservation uitability Rating (TCS)?		Suggested Ro Chain Link	t Protection Zone (RPZ) Fence Offset Radius.				2/11/2021		EE
sume tree	is to be removed.	4 X \$250 = 1 \$1,000.	5 gallon or 24" box	during footing wo trunk, v founda	ss will occur foundation ork west of the where new ttion will be				l new plan shows new			4	4/1/2021		E
				trunk ed origina residence	closer to the dge than the al existing the foundation edge.		CRZ 18 fe offset radiu which is n going to b able to be	residence foundat s, bumpout of 5.5 lat foundation in the Given the proposi- on the October 3	along much of the existing on footing edge, with a nev eral feet west of the existin- area directly east of trunk. ed configuration as shown 020 site plan iteration, the	g		<u></u>	5/9/2021		E
sume tree	is to be removed.		5 gallon or 24" box 74 GO(RET,	* roughly DD elevation AIN at centerli which	n is +/- 20	Yes \$2: loderate	3,900. achieved except alou the west si of the rea yard, when fencing ca	expected impacts will be moderate chain link fencing the CTA's tree	020 site plan iteration, the to the oak #74 root system assuming that protective will be erected as shown or protection map markup n this arborist report.	10 X \$250 =	15 gallon or 24" box			95030	
hain link R narkup em o 8 feet RA	an changes required. RPZ fencing per the CTA's bedded in this report, and ADIUS offset from trunk	2 X \$250 = 1 \$500.	5 gallon or 24" box	horizonta the Canopy ex diamet	al feet east of e trunk. xtends 75 feet ter (mainly tward over the		be erecte out to roug 50 feet fro trunk.	In a perfect world work would matc foundation exactly new work west of	the "ideal" new foundation the existing older edge of to minimize or eliminate a he existing older residence ation footprint.	11				CA	.com
d use han o maintair	d-watering or timer type n soil moisture during the ct buildout.	4000		adjoinin property), to be ma propo	ng neighbor , and appears ainly clear of osed new ce roof peak			loun	ation rootprint.					· · · ·	cture.c
	Formula Technique (TFT) was using a calculation of replace		olying	2020-21 Town	of Los Gatos In-lieu			uired 24" box mitigatio	n tree planting not instal		11/3/2020		ы С	LOS G/	eric@peckstromarchitecture. www.beckstromarchitecture.
				Registered Member, Ame © Walter Levison 2020 All	erican Society of Consulting Arboris II Rights Reserved	its and Member of the Interna	itional Society of Arbonculture					5	0 8	1317, L	beckstromarchite
SIZE	CONDITION			ATUS	NOTES					_		\leq	Ш Н	BOX 1	becks
11" 11"	OVERMATURE,			MOVE				, DEAD BRANC , DEAD BRANC		_		M	Z -	Р.О. 	eric@ www.
4" 30"	AVERAGE HEAL				ON 3 PROF	ERTIES, NE		ANT IT TRIMME	D FOR HEALTH	_		Ē	+ ш		
2-3"	NEW		NE	W	15 GALLON	, STAKED F	PER CODE			-		S			
2-3" 2-3"	NEW NEW		NE NE		15 GALLON	•				_			Е С Т 7.8351		
2-3"	NEW		NE	W	15 GALLON	I, STAKED F	PER CODE					O	650.847		
	4	& Public Works Service center 1 Miles Avenue taos, CA 95030							Revised Octo	per 27, 2020					
		408) 399-5771	_		TOWN	REPLAC	PARKS AND PUB EMENT CANOPY N Replacement Requ		MENT						
tage or La Photos an	arge Protected Tree Pruning d site plan required. Approval:	I		Canopy Siz	ze of Removed Tree		Replaceme Requiremen	ent	Single Family Residenti Replacement Option ^{3,}						
tion (desc	or additional provisions)	eeded)	N	0 feet or less Iore than 10 feet Iore than 25 feet		Three	24 inch box trees e 24 inch box trees 24 inch box trees; c	Thre	15 gallon trees e 15 gallon trees 15 gallon trees						
cksha 30	Phone: 408.307 Email:	bridge		lore than 40 feet		box t Six 24			Available						
prove of	Phone: f the action(s) requested I at are covered by this app		G	reater than 55 fe	et	Ten 2	24 inch box trees; o 36 inch box trees	r Not	Available				Φt	0	
	Date: <u> - 9-</u>]	2020			rement shall be use Town Arborist, in-l				64.00	0.00			Dou Cou	03(Q
move or Prune MovL	DESCRIBE REASON FO AND/OR PRU Foundation of	NING	30		de tiel De de serve	36"	Box Tree Box Tree	(4) 15-gallon C \$500						95	04
une	New home car it has not be	struction -	ti	hat are not subje pproved in-lieu fe	ct to the Town's Hil ee for single family	llside Developme residential shall	ent Standards and G be based on the 24	Guidelines. All 15 gallo "Box Tree fee above.	dential lots under 10,000 n trees must be planted available planting location	on-site. Any		-	SIDE ights	\triangleleft	2
	dead branche	2.	t. n	o structures, over ative species sha	rhead clearances, s all be strongly enco	oil type, compat uraged. See atta	ibility with surroun ached FAQs for rep	ding canopy and othe	relevant factors. Repla s in designated Hillside	cement with		-	BSI eid		- Z
			_		nopy Feet - קטי ק	Required Rep 15 9211		Proposed S Species of Rep 4 15 galle		eu Fee			$\overset{\mathbb{W}}{\sim}$ $\overset{\mathbb{H}}{\prec}$	OS,	53
*For Offi	ice Use Only***		-	72 "		**			i itz	,000 -			/ F Ita	Gatos	Z
d: Ap	[TREEREM] proved Denied Init	ials	-										∑ ∧		ך ך
			-						Total Fee 💐 ۱, ۵	Gad		-	Ž ÖF	Los	
ieu fee is		approval is	L		*** <mark>Town arbor</mark>	ist approval is	s required for al	l in lieu fee payme							
	be indicated on photo.														
<mark>g the ap</mark> ts should and worl															
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Walter Levison

Site Address: 102 Alta Heights Court, Los Gatos, CA

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1.0Summary

ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172/

Mitigation replacement rate and size is noted for each tree in the case that removal or damage to trees occurs

(if applicable) that will optimize tree survival over the long term.

a. Below is a matrix style overview of protected-size trees (non-exempt species, 4-inches diameter at 4.5 feet above grade on site, and adjacent to the site).

The CTA calculated the appraised value of each tree, which can be used as a tool for determining the proper security bond amount to have the applicant

post with the Town as a hedge against site plan-telated tree damages (if applicable). Appraised values can also be used to determine damage fees if trees are determined during or after construction to have been damaged such that mitigation is required.

In the table, the CTA (Contract Town Arborist) has outlined expected impacts to each tree, along with suggestions for adjustments to the plan set

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ASC	A Registered Consulting Arborist	#401 / ISA Tree Risk	Assessment Qual	ified / ISA Certified A	rborist #WE-3172A Cell: (415) 203-0990 / Ema
Tab	e 1.0(a) (REFER TO THE	CTA'S TREE MA	P MARKUP W	HEN REVIEWI	NG THE BELOW MATRIX)
1 Tree Tag Number / Overall Condition Rating/ Disposition	2 Impacts Expected if Site were Built as Currently Proposed on Applicant Sheet A1.0.	3 Large Protected Tree (LPT)? Tree Conservation Suitability Rating (TCS)?	4 Appraised Value ¹	5 Critical Root Zone (CRZ) (6 X Dia.) as an Offset Radius	6 Suggested Changes to Applicant's Proposed Plans to Boost Tree Conservation Suitability Rating (TCS) to "Moderate" or "Good", if Tree is to be Preserved and Protected. Suggested Root Protection Zone (RPZ) Chain Link Fence Offset Radius.
71 POOR REMOVE	Tree will be severely impacted by proposed new foundation footing and airspace conflicts.	No. Poor	<mark>\$2,050.</mark>	6.5 feet offset.	Assume tree is to be removed.
72 POOR REMOVE	Tree will be severely impacted by proposed new foundation footing, airspace conflicts, and assumed gas pipe trenching during gas pipe diameter upgrade.	No. Poor	\$5,000.	8.7 feet offset.	Assume tree is to be removed.
73 GOOD RETAIN	Minor.	No Moderate	<mark>\$800.</mark>	2.1 feet	No applicant plan changes required. Maintain chain link RPZ fencing per the CTA's tree map markup embedded in this report, and 5 feet to 8 feet RADIUS offset from trunk edge, and use hand-watering or timer type irrigation to maintain soil moisture during the project buildout.

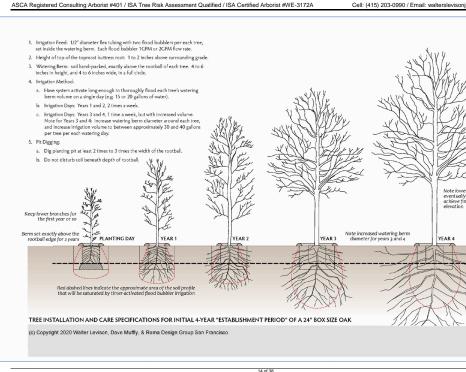
Calculated per the newest edition (10th edition, 2nd Printing) of Guide for Plant Appraisal, 2019. The Trunk Formula Technique (TFT) was the specific tech uide used to determine the dollar valuations noted in Table 1.0(a). Palm appraisals are performed differently, using a calculation of replacement cost, and that cost by a condition rating factor and a functional limitations factor. Site Address: 102 Alta Heights Court, Los Gatos, CA Registered Member, American Society of Consulting Arborists and Member of the International Society of Arboriculture © Walter Levison 2020 All Rights Reserved

Walter Levison TREE PROTECTION ASCA Registered Consulting Arborist #401 / ISA Tree Ris 3. Trunk Buffer Wrap Type III Protection: Prior to demolition commencement, install trunk buffer around tree #74 being retained on-site. Wrap one (1) entire roll of orange plastic snow fencing around the trunk of tree #74, between grade and up to 6 or 8 feet above grade to create a padding of at least 1 to 2 inches thickness around each tree trunk. Stand 2x4 wood boards upright, side by side, around the entire circumference of the orange plastic wraps. Affix using duct tape (do not use wires or rope). See spec image at right showing the wooden boards correctly mounted against one entire roll of orange snow fencing, such that the wood does not actually touch the trunk at all 4. (Required) Chain Link Fencing Type I and/or Type II Root Protection Zone (RPZ): Prior to demolition commencement, erect chain link fencing panels set on moveable concrete block footings (see sample image below right). Wire the fence panels to iron layout stakes pounded 24 inches into the ground at the ends of each fence panel to keep the fence route stabilized and in its correct position. Do <u>not</u> wire the fence panels to the trunks of the trees. These panels are available commonly for rent or purchase. Fence routes: Per the red dashed lines indicated on the CTA's tree map markup, drawn to scale, below in this arborist report. This fencing must be erected prior to any heavy machinery traffic or construction material arrival on site. The protective fencing must not be temporarily moved during construct No materials, tools, excavated soil, liquids, substances, etc. are to be placed or dumped, even temporarily, inside the root protection zone or "PD7" No storage, staging, work, or other activities will be allowed inside the RPZ except with PA monitoring.

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Sec. 29.10.1010. Pruning and maintenance.

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(Ord. No. 2114, §§ I, II, 8-4-03)

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All pruning shall be in accordance with the current version of the International Society of Arboriculture Best Management Practices-and ANSI A300-Part 1 Tree, Shrub and Other Woody Plant Management—Standard Practices, (Pruning) and any special conditions as deter Director. For developments, which require a tree preservation report, a certified or consulting arborist shall be in reasonable charge of all activ protected trees, including pruning, cabling and any other work if specified.

- (1) Any public utility installing or maintaining any overhead wires or underground pipes or conduits in the vicinity of a protected tre permission from the Director before performing any work, including pruning, which may cause injury to a protected tree. (e.g. cable trenching, gas, water, sewer trench, etc.).
- (2) Pruning for clearance of utility lines and energized conductors shall be performed in compliance with the current version of National Standards Institute (ANSI) A300 (Part 1)- Pruning, Section 5.9 Utility Pruning. Using spikes or gaffs when pruning, ex and the section of the section other alternative is available, is prohibited.
- (3) No person shall prune, trim, cut off, or perform any work, on a single occasion or cumulatively, over a three-year period, affect percent or more of the crown of any protected tree without first obtaining a permit pursuant to this division except for polla mulberry trees (*Morus alba*) or other species approved by the Town Arborist. Applications for a pruning permit shall include photo
- (4) No person shall remove any Heritage tree or large protected tree branch or root through pruning or other method greater than for diameter (12.5" in circumference) without first obtaining a permit pursuant to this division

6.0 Tree Replacement Standards – Los Gatos Town Code

(Excerpted from Town Code 29.10.0985 and 29.10.0987)

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- (1) Two (2) or more replacement trees, of a species and size designated by the Director, shall be planted on the subject private proe Tree Canopy-Replacement Standard shall be used as a basis for this requirement. The person requesting the permit sh of purchasing and planting the replacement trees. (2) If a tree or trees cannot be reasonably planted on the subject property, an in-lieu payment in an amount set forth by the To resolution shall be paid to the Town Tree Replacement Fund to
- a. Add or replace trees on public property in the vicinity of the subject property; or
- Add or replace trees or landscaping on other Town property; or c. Support the Town's urban forestry management program. (Ord. No. 2114, §§ I, II, 8-4-03)
- Table 3-1 Tree Canopy Replacement Standard

ASCA Registered Consulting Arborist # 4.0 Recommendations 1. Project Arborist ("PA"): Initial Signoff It is recommended that a third party ASCA registered consulting arborist or ISA Certified Arborist with good experience with tree protection during

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It is recommended that a third party ASCA registered consulting arborist or ISA Certified Arborist with good experience with tree protection during construction be retained by the applicant, to provide pre-project verification that tree protection and maintenance measures outlined in this section of the arborist report are adhered to. Periodic (e.g. monthly) inspections and summary reporting, if required as a project condition of approval, are suggested in order to verify contractor compliance with tree protection throughout the site plan project. This person will be referred to as the project arborist ("PA"). The PA should monitor soil moisture within the root protection zones of trees being retained, using a Lincoln soil moisture probe/meter or equivalent. If required, inspection reports shall be sent to Mr. Ryan Safty, Associate Planner (<u>rsafty@losgatosca.gov</u>). Sample wordage for a condition of approval regarding monitoring of tree protection and tree condition: "The required protective fencing shall remain in place until final landscaping and inspection of the project. Project arborist approval must be obtained and documented in a monthly site activity report sent to the Town. A mandatory Monthly Tree Activity Report shall be sent at least once monthly to the

TREE PROTECTION

- Town planner associated with this project (rsafty@losgatosca.gov) beginning with the initial tree protection verification approval letter". 2. Project Team Pre-Project Adjustments, Clarifications, and Limits Suggested or Required: 2a. Tree Protection Fencing and Trunk Buffer Wraps:
- Fence off trees #73 and #74 using chain link fencing per the distances indicated as red dashed lines shown to scale on the CTA's tree map markup below in this arborist report. The fencing for tree #74 will range from 8 feet radius offset from trunk in the area directly east of trunk, to 50 feet offset radius in the area north of trunk (along the west side of the rear yard). Install trunk buffer wrap around tree #74 per the specifications listed below in this recommendations section of the arborist report.
- 2b. Ground Protection: Install ground protection along the west side yard area west of the proposed garage footprint, to prevent soil rutting and soil compaction during proposed demolition of existing residence, and proposed new residential build work. Specifications are indicated below in this section of the arborist
- 2c. Pruning Perform minor (10% to 15% of total biomass) limb length reduction pruning (aka "limb endweight reduction pruning") at the outermost ends of the southwest section of the canopy of tree #74. All pruning will need to conform to the most current iterations of ANSI A300 pruning standards and the Best Management Practices Pruning booklet that accompanies the ANSI A300 standards. Details are indicated below in this section of the arborist
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9. New Plantings / Tree Installation Specs (if applicable): Ideally, two (2) high flow type adjustable bubblers each emitting 1/2 to 2 gallons per minute (2GPM), depending on percolation rate of planting pit, are set over the rootball of each single tree planting, and each tree is installed with two (2) or three (3) 2-inch diameter wooden planting stakes (not the shipping stake), with a set of figure-8 Cinch Ties [™] affixed per the standard spec Note how the tree stakes are cut to just above the elevation of the Cinch-Ties to avoid abrasion between the stakes and the limbs and trunk during wind movement

- A watering berm consisting of site soil is formed around the edge of the rootball to force irrigation water to pool up directly over the rootball, as seen in the image below in this arborist report. Above Right: Spec planting at a site on which the CTA consults June 2020. Note that the shippi
- Below Right: Proper installation of a new 24" box size tree with two (2) high flow type 1/2 GPM to 2.0 GPM (gallon-per-minute) flood bubblers seen inside a steeply sloped watering berm built using site soil. The watering berm is built up directly over the rootball edge, which forces irrigation water directly downward into the rootball via gravity. Total volume of water flow typically needs to be at
- Next Page: Walter Levison and Dave Muffly Planting Spec Sheet, indicating correct irrigation and watering berm building procedures for first 4 years (sandy soils may require significantly greater irrigation volume than indicated).



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Walter Levison ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A Cell: (415) 203-0990 / Email: walterslevisonjr@yahoo.com

- Sec. 29.10.1005. Protection of trees during construction. (a) Protective tree fencing shall specify the following:
- (1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the around to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulate
- (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches. (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in
- place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection (4) Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning—Tree Protection Zone-this fence shall not be removed and is subject to penalty according to Town Code 29.10.1025". (b) All persons, shall comply with the following precautions:
- (1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction
- (2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of e tree unless approved by the Dire (3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
- (4) Prohibit the attachment of wires, signs or ropes to any protected tree. (5) Design utility services and irrigation lines to be located outside of the dripline when feasible. (6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the
- health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits. (7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may

(Ord. No. 2114, §§ I, II, 8-4-03)

Site Address: 102 Alta Heights Court, Los Gatos, CA

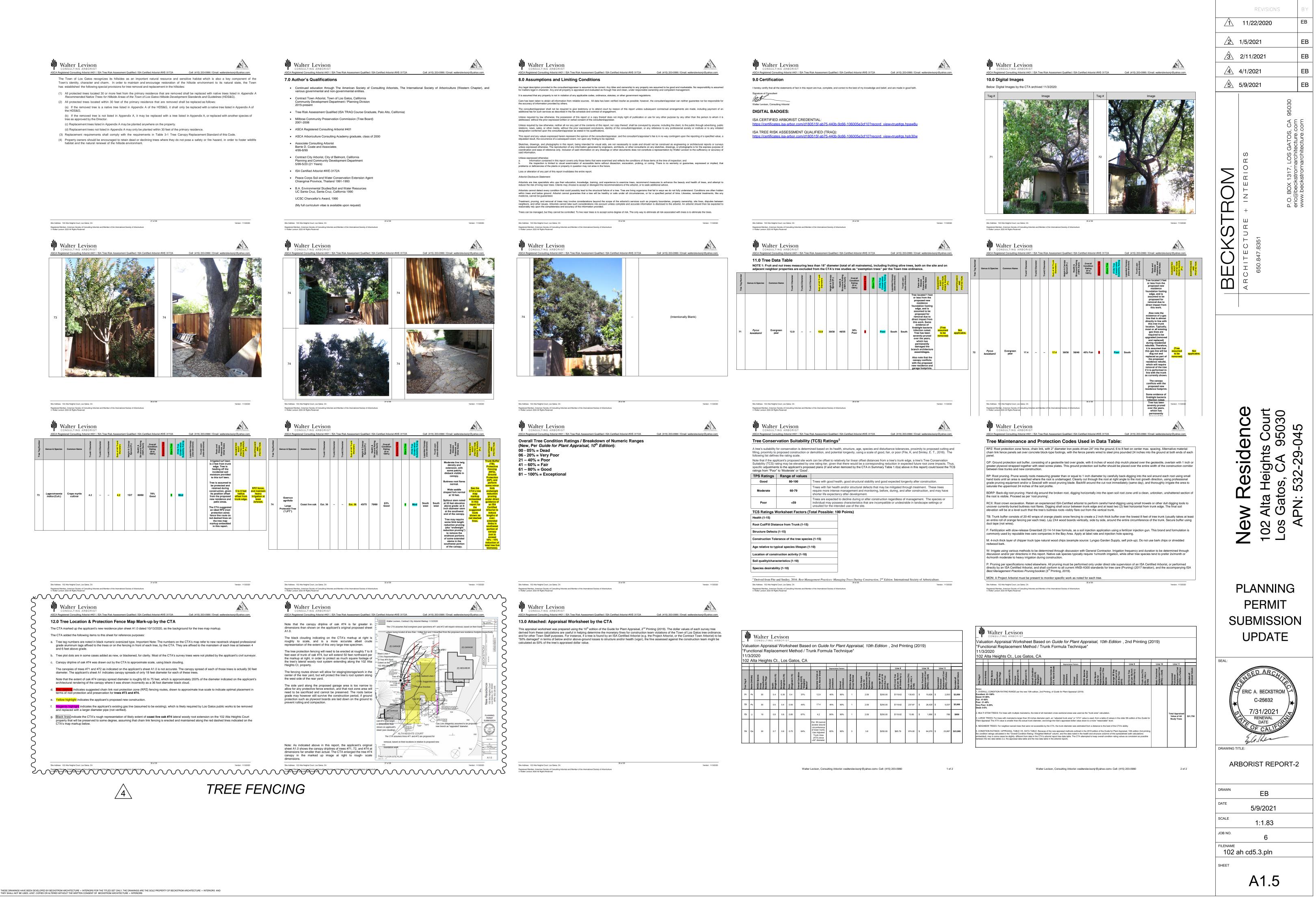
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SCA Registered Consulting Arborist #401 / ISA Tree Risk Ass

least +/-1 gallon per minute, in order to physically flood the watering berm and force water into the rootball via gravity flow.

Above Right: spec planting at a site on which the CIA consults, June, 2020. Note that the shipping stake was removed from the mainstem, and a narrow diameter bamboo pole was tied to the mainstem using biodegradable masking tape. This is considered a Best Management Practice at this particular site, because the mainstem was leaning off-vertical. Do <u>not</u> allow the large diameter wooden shipping stake to remain tied to the mainstem, as this will cause permanent irreversible problems with tree stability over time.

Â	Walter Levison	REVISIONS BY
Email: walterslevisonjr@yahoo.com	CONSULTING ARBORIST Schwart House State St	2 1/5/2021 EB
7 8 Replacement Rate Per Size Tree	Number / Overall Site were Built as Currently Proposed Protected Tree (LPT)? Value ¹ Zone (CRZ) Proposed Plans to Boost Tree Rate Per Size Tree Condition on Applicant Sheet Rating/ Tree (6 X Dia.) as an Offset Conservation Suitability Rating (TCS) to an Offset Tree (Moderate" or "Good", if Tree is to be Preserved and Protected. Suggested Root Protection Zone (RPZ) Value ¹ Conservation Value ¹ Conservation Value ¹ Conservation Value ¹ Value ¹ Value ¹ Conservation Value ¹ Conservation Value ¹ Value ¹ Value ¹ Value ¹ Value ¹ Conservation Value ¹ Conservation Value ¹	<u>3</u> 2/11/2021 EB
	Suitability Rating (TCS)? Chain Link Fence Offset Radius. Moderate to Severe.	4 4/1/2021 EB
4 X \$250 = 15 gallon or \$1,000. 24" box	Root loss will occur during foundation footing work west of the trunk, where new foundation will be The proposed new plan shows new	<u>5</u> 5/9/2021 EB
	poured closer to the trunk edge than the original existing residence foundation edge. CRZ 18 feet offset radius, which is ne going to be able to be foundation work along much of the existing residence foundation footing edge, with a new brownout of 5.5 lateral feet west of the existing foundation in the area directly east of trunk. Given the proposed configuration as shown area to Certain the proposed configuration as shown	82030
4 X \$250 = 15 gallon or \$1,000. 24" box	74 New roof peak is roughly 28.5 feet elevation above grade at centerline of garage, Yes State Of the October 200 site plan iteration, the except along will be moderate, assuming that protective the west side of the reac In the October 200 site plan iteration, the except along will be moderate, assuming that protective the west side of the reac In the October 200 site plan iteration, the except along will be moderate, assuming that protective the Case 200 site plan iteration, the except along will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the will be moderate, assuming that protective the Case 200 site plan iteration, the site protective 10 X \$250 = 24" box 15 gallon or 24" box	
N's 2 X \$250 = 15 gallon or	winch is 47-20 fencing can embedded in this arborist report. horizontal feet east of the trunk. be erefect world, the "ideal" new foundation out to roughly In a perfect world, the "ideal" new foundation work would match the existing older edge of foundation exactly, to minimize or eliminate all	ATOS, scture.o
\$500. 24" box	diameter (mainly southwestward over the adjoining neighbor property), and appears to be mainly clear of proceed new	R S LOS G archite
was the specific technique noted in the lacement cost, and then multiplying	proposed new residence roof peak residence roof peak elevations. 2020-21 Town of Los Gatos In-lieu fee equivalent = \$250 per each required 24" box mitigation tree planting not installed on the site.	Astrom. Astrom.
Version: 11/3/2020	Site Address: 102 Alta Heights Court, Los Gatos, CA Version: 11/3/2020 Registered Member, American Society of Consulting Arborists and Member of the International Society of Arboriculture © Walter Levison 2020 All Rights Reserved	INTERIORS INTERIORS P.O. BOX 1317, LOS GATOS, CA eric@beckstromarchitecture.com www.beckstromarchitecture.com
Email: walterslevisorjr@yahoo.com	Walter Levison CONSULTING ARBORIST ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A Cell: (415) 203-0990 / Email: walterslevison;r@yahoo.com	
	5. <u>Signage:</u> The RPZ fencing shall have one sign affixed with UV-stabilized zip ties to the chain link at eye level for every 15 linear feet of fencing, minimum 8"X11" size each, plastic laminated or printed with waterproof ink on waterproof paper, with wordage that includes the Town Code section that refers to tree fence protection requirements (wordage can be adjusted):	
	TREE PROTECTION ZONE FENCE ZONA DE PROTECCION PARA ARBOLES	
	-NO ENTRE SIN PERMISO- -LLAME EL ARBOLISTA-	D.847
	REMOVAL OF THIS FENCE IS SUBJECT TO PENALTY ACCORDING TO LOS GATOS TOWN CODE 29.10.1025	
State Strees	PROJECT ARBORIST: TELEFONO CELL: EMAIL:	
	Note: Walter Levison, Contract Town Arborist is an independent consultant retained under contract with Town of Los Gatos Planning Division Staff, and is not the "PROJECT ARBORIST".	
Version: 11/3/2020	Site Address: 102 Alta Heights Court, Los Gatos, CA 10 of 38 Version: 11/3/2020 Registered Member, American Society of Consulting Abfords and Member of the International Society of Atboriculture © Watter Levien 2020 Alt Rights Reserved	
A	Walter Levison	
Email: walterslevisonjr@yahoo.com	CONSULTING ARBORIST CONSULTING CONSULTANTING CONS	
STIVE.	It is suggested that the applicant's project arborist monitor soil moisture using a soil moisture probe and/or a soil recovery device, to ensure that root zones are being kept irrigated to field capacity soil moisture per the following irrigation regime: a. Crape myrtle #73 at right side of rear yard: 50 to 100 gallons per week, applied 1x/week.	and CC
	 b. Coast live oak #74 at left side yard west of garage: (To be determined by project arborist. Tree may or may not require irrigation to boost soil moisture. Coast live oaks can in some cases decline in condition if irrigation water is applied within 25 feet of the trunk. Therefore, any irrigation of the tree would need to occur in the area north of trunk in the west portion of the rear yard only). Apply indicated water volume all on a single day during a single application, such as by garden hose running at high volume, or a soaker hose 	
	 running on a timer system attached to an active hose bib at standard residential water pressure (e.g. 60psi to 70psi). If runoff of water will be a problem, then build a 6 inch tall watering berm along the chain link fence perimeters to contain the irrigation water and force it downward via gravity. 	ts C 9504 9-04
Note lower limbs are eventually removed to achieve final clearance	 Alternatively, a straw wattle can be pinned down over the ground using wooden dowels, as a quick watering berm that may be far more easily maintained than a soil watering berm that is subject to damage by construction personnel foot traffic, 	CA CA CA CA
elevation YEAR 4	etc. See sample image below as an example of how this is done.	8 532 532
		ן ד ב מקב
		2 Alta s Ga APN
	15 of 38	A Los
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mail: walterslevisonjr@yahoo.com	Walter Levison CONSULTING ARBORIST ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA Certified Arborist #WE-3172A Cell: (415) 203-0990 / Email: walterslevisori/@yahoo.com	
gement Practices—Tree Pruning conditions as determined by the	Canopy Size of Removed Tree ¹ (Staff is using 24" box size as the Replacement Standard for SFR Projects as of 2016) ^{2,4} Replacement ^{3,4}	PLANNING
o charge of all activities involving of a protected tree shall obtain d tree. (e.g. cable TV/fiber optic	10 feet or less Two 24 inch box trees Two 15 gallon trees More than 10 feet to 25 feet Three 24 inch box trees Three 15 gallon trees	PERMIT
urrent version of the American when pruning, except where no rear period, affecting twenty-five	More than 25 feet to 40 feet Four 24 inch box trees; or Two 36 inch box trees Four 15 gallon trees More than 40 feet to 55 feet Six 24 inch box trees; or Three Not Available	SUBMISSION
ear period, anecung twenty-inte except for pollarding of fruitless all include photographs indicating d greater than four (4) inches in	Greater than 55 feet Greater t	UPDATE
	Notes ¹ To measure an asymmetrical canopy of a tree, the widest measurement shall be used to determine canopy size.	SEAL:
bject private property. Table 3-1 ng the permit shall pay the cost	² Often, it is not possible to replace a single large, older tree with an equivalent tree(s). In this case, the tree may be replaced with a combination of both the Tree Canopy Replacement Standard and in-lieu payment in an amount set forth by Town Council resolution paid to the Town Tree ReplacementFund. ³ Single Family Residential Replacement Option is available for developed single family residential lots under 10,000 square feet that are not	NSED ARCH
et forth by the Town Council by	subject to the Town's Hillside Development Standards and Guidelines. All 15-gallon trees must be planted on-site. Any in-lieu fees for single family residential shall be based on 24" box tree rates as adopted by Town Council. ⁴ Replacement Trees shall be approved by the Town Arborist and shall be of a species suited to the available planting location, proximity to structures, overhead clearances, soil type, compatibility with surrounding canopy and other relevant factors. Replacement with native species shall be strongly	ERIC A. BECKSTROM
	encouraged. Replacement requirements in the Hillsides shall comply with the Hillside Development Standards and Guidelines Appendix A and Section 29.10.0987 Special ProvisionsHillsides. Sec. 29.10.0987. Special Provisions—Hillsides	
Version: 11/3/2020	Site Address: 102 Alta Heights Court, Los Gatos, CA 20 of 38 Version: 11/3/2020 Registered Member, American Society of Consulting Abbrists and Member of the International Society of Atboinculture © Watter Levino: 002 Alt Rights Reserved	DATE OF CALLEO
		DRAWING TITLE:
		ARBORIST REPORT-1
		B
		DATE 5/9/2021
		SCALE 1:1.83, 1/4" = 1'-0"
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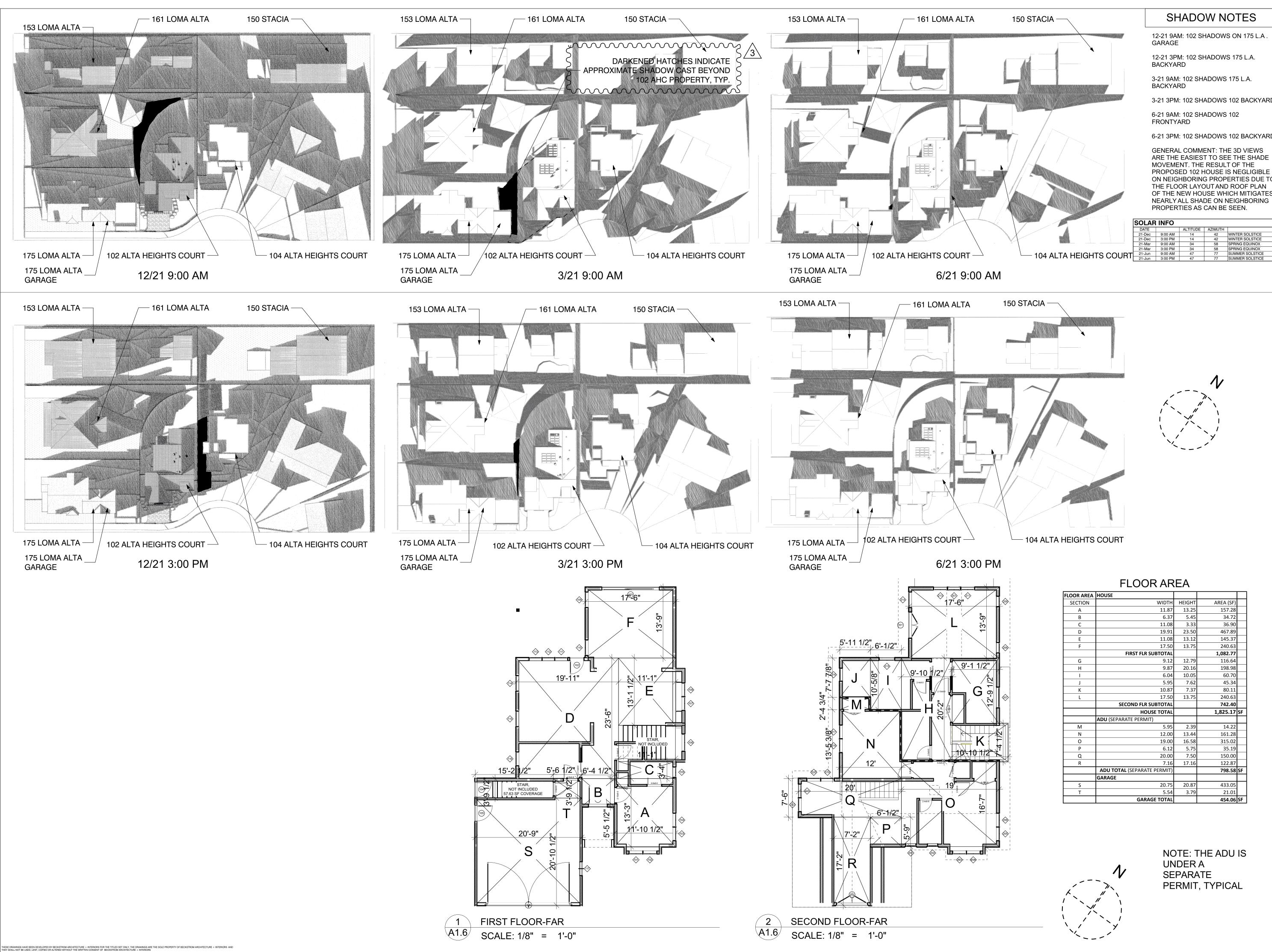


ite Address: 102 Alta Heights Court, Los Gatos, CA	33 of 38		Version: 11/3/202
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4			
Walter Levison			AS
CONSULTING ARBORIST			AMERICAN BOCHTY OF CONSIGNING AMERICAN
ASCA Registered Consulting Arborist #401 / ISA Tree Risk Assessment Qualified / ISA C		Cell: (415) 203-0990 / Email: waltersl	evisonjr@yahoo.com
13.0 Attached: Appraisal Worksheet by the CTA			
This appraisal worksheet was prepared using the 10 th edition of the Gui	de for Plant Appraisal, 2 nd Printi	ng (2019). The dollar values of ea	ach survey tree
derived from these calculations are useful in helping determine the mon and for other Town Staff purposes. For instance, if a tree is found by an	etary fines for construction team	violations of the Town of Los Ga	atos tree ordinar
'50% damaged" in terms of below and/or above-ground losses to struct			
calculated as 50% of the tree's appraised dollar value.			
	38 of 38		

9.0 Certification
I hereby certify that all the statements of fact in this report are true, complete, and correct to the best of my knowledge and belief, and are made in good faith.
Signature of Consultant
Wet
Walter Levison, Consulting Arborist
DIGITAL BADGES:
ISA CERTIFIED ARBORIST CREDENTIAL:
https://certificates.isa-arbor.com/d180515f-ab75-440b-9c66-106005e3cf10?record_view=true#gs.hpaw8u
ISA TREE RISK ASSESSMENT OUALIFIED (TRAO)

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	ING ARBORIST sulting Arborist #401 / ISA Tree R	tisk Assessment Qualified	/ ISA Certified Arborist #WE-3172A	Cell: (415) 203-0990 / E
Tree Conser	vation Suitability	(TCS) Ratings	2 ²	
filling, proximity to			alth, structure, age, species and dis ntial longevity, using a scale of goo	
Suitability (TCS) ra specific adjustmen	ating may be elevated by o	ne rating tier, given	atively far linear offset distances fro that there would be a corresponding on itemized by the CTA in Summar	g reduction in expected fu
TPS Ratings	Range of values			
Good	80-100	Trees with good he	alth, good structural stability and g	ood expected longevity a
Moderate	60-79	require more intens	th and/or structural defects that ma e management and monitoring, be ncy after development.	
Poor	<59	individual may pos	to decline during or after construc sess characteristics that are incomp ended use of the site.	
TCS Ratings V	Vorksheet Factors (T	otal Possible: 1	00 Points)	
Health (1-15)				
Root Cut/Fill Dist	tance from Trunk (1-15)			
Structure Defects	s (1-15)			
Construction Tol	erance of the tree specie	s (1-15)		
Age relative to ty	pical species lifespan (1-	10)		
Location of construction activity (1-10)				
Soil quality/chara	acteristics (1-10)			
Species desirabil	lity (1-10)			
² Derived from Fite Site Address: 102 Alta Height			naging Trees During Construction, 2 nd 34 of 38	^d Edition. International Soci

"Fu 11/:	Valuation Appraisal Worksheet Based on <i>Guide for Plant Appraisal, 10th Edition</i> , 2nd Printing (2 "Functional Replacement Method / Trunk Formula Technique" 11/3/2020 102 Alta Heights Ct., Los Gatos, CA													
<u> </u>													Line 9	
Tree Tag #	Name (Initials)	WCISA Speces Group Classification Booklet Page	Health (Weighted 0.15)	Structure (Weighted 0.70)	Form (Weighted 0.15)	Overall Condition Rating (OCR) "Weighted Method"	Diameter Inches at 4.5 ft. Above Grade	Functional Limitations	External Limitations	WCISA Species Group Number	Trunk Square Inches for Replacement-Size Specimen of This Species	Average SF Bay Area Cost of 24 Inch Box Tree (2019)	(UTC) Unit Tree Cost per Sq Inch (M Divided by L)	Trunk Area (TA) ((dia. x dia.) x 0.785)
71	Pk	30	0.4	0.35	0.4	37%	12.9	40%	90%	1	2.09	\$250.00	\$119.62	130.63
72	Pk	30	0.5	0.4	0.55	44%	17.4	45%	90%	1	2.09	\$250.00	\$119.62	237.67
73	Li	19	0.8	0.6	0.85	67%	4.2	80%	90%	1	2.09	\$250.00	\$119.62	13.85
74	Qa	30	0.7	0.6	0.75	64%	Est. 36 (cannot access around circumference of lower trunk). Use Adjusted Trunk Area (ATA) since >30* diameter.	65%	90%	3	3.8	\$250.00	\$65.79	974.00



SHADOW NOTES

12-21 9AM: 102 SHADOWS ON 175 L.A. GARAGE

12-21 3PM: 102 SHADOWS 175 L.A.

3-21 9AM: 102 SHADOWS 175 L.A.

BACKYARD

BACKYARD

3-21 3PM: 102 SHADOWS 102 BACKYARE

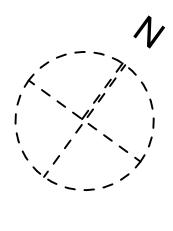
6-21 9AM: 102 SHADOWS 102 FRONTYARD

6-21 3PM: 102 SHADOWS 102 BACKYARD

GENERAL COMMENT: THE 3D VIEWS ARE THE EASIEST TO SEE THE SHADE MOVEMENT. THE RESULT OF THE PROPOSED 102 HOUSE IS NEGLIGIBLE ON NEIGHBORING PROPERTIES DUE T THE FLOOR LAYOUT AND ROOF PLAN OF THE NEW HOUSE WHICH MITIGATES NEARLY ALL SHADE ON NEIGHBORING PROPERTIES AS CAN BE SEEN.

SOLAR	INFO
DATE	

DATE		ALTITUDE	AZIMUTH	
21-Dec	9:00 AM	14	42	WINTER SOLSTICE
21-Dec	3:00 PM	14	42	WINTER SOLSTICE
 21-Mar	9:00 AM	34	58	SPRING EQUINOX
21-Mar	3:00 PM	34	58	SPRING EQUINOX
21-Jun	9:00 AM	47	77	SUMMER SOLSTICE
01 1.00	2:00 DM	47	77	SUMMED SOL STICE



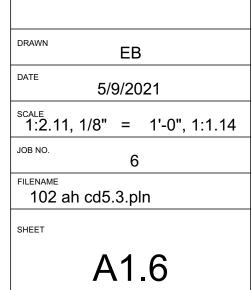
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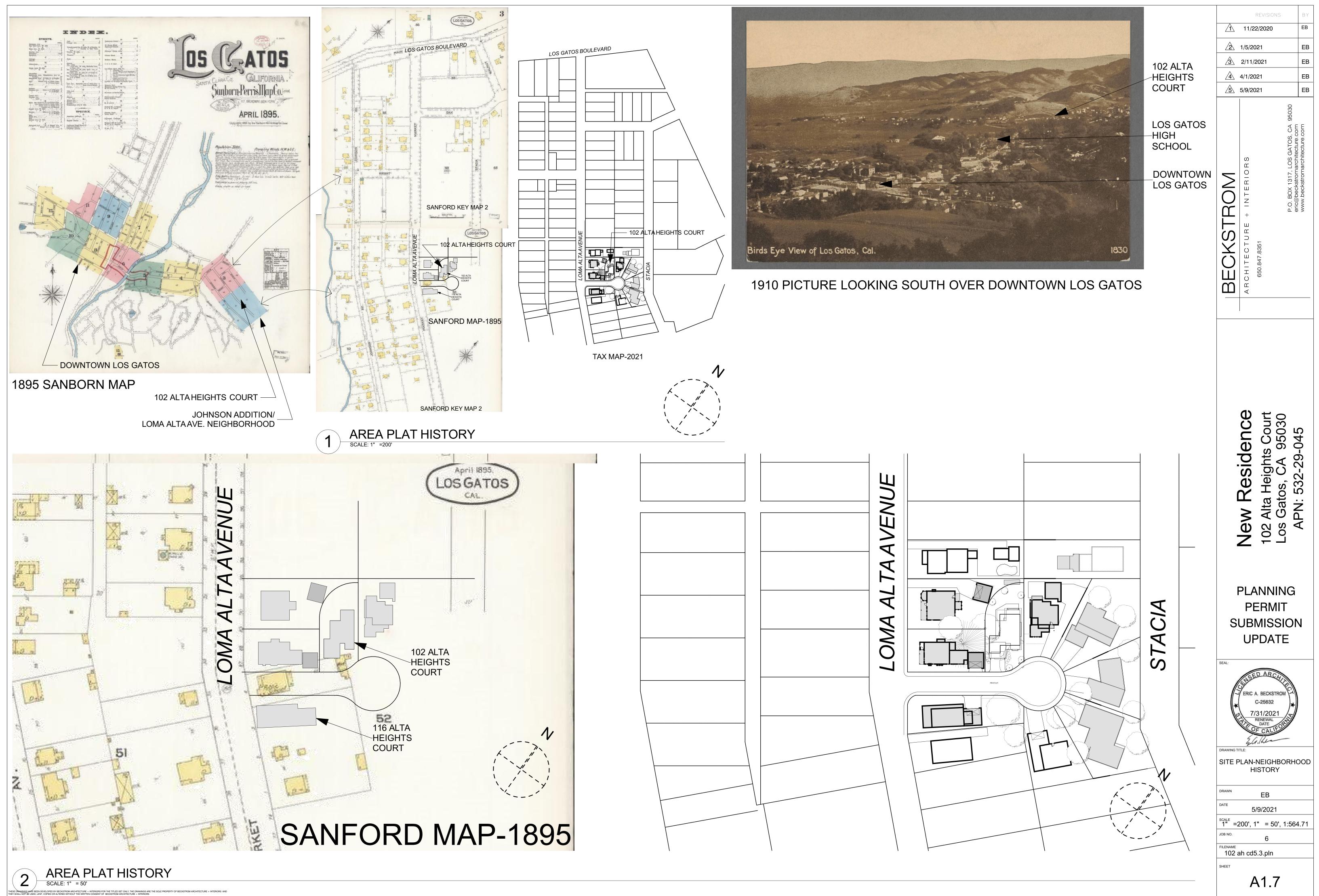
FLOOR AREA	HOUSE			
SECTION	WIDTH	HEIGHT	AREA (SF)	
А	11.87	13.25	157.28	
В	6.37	5.45	34.72	
С	11.08	3.33	36.90	
D	19.91	23.50	467.89	
E	11.08	13.12	145.37	
F	17.50	13.75	240.63	
	FIRST FLR SUBTOTAL		1,082.77	
G	9.12	12.79	116.64	
Н	9.87	20.16	198.98	
Ι	6.04	10.05	60.70	
J	5.95	7.62	45.34	
К	10.87	7.37	80.11	
L	17.50	13.75	240.63	
	SECOND FLR SUBTOTAL		742.40	
	HOUSE TOTAL		1,825.17	SF
	ADU (SEPARATE PERMIT)			
Μ	5.95	2.39	14.22	
N	12.00	13.44	161.28	
0	19.00	16.58	315.02	
Р	6.12	5.75	35.19	
Q	20.00	7.50	150.00	
R	7.16	17.16	122.87	
	ADU TOTAL (SEPARATE PERMIT)		798.58	SF
	GARAGE			
S	20.75	20.87	433.05	
Т	5.54	3.79	21.01	
	GARAGE TOTAL		454.06	SF

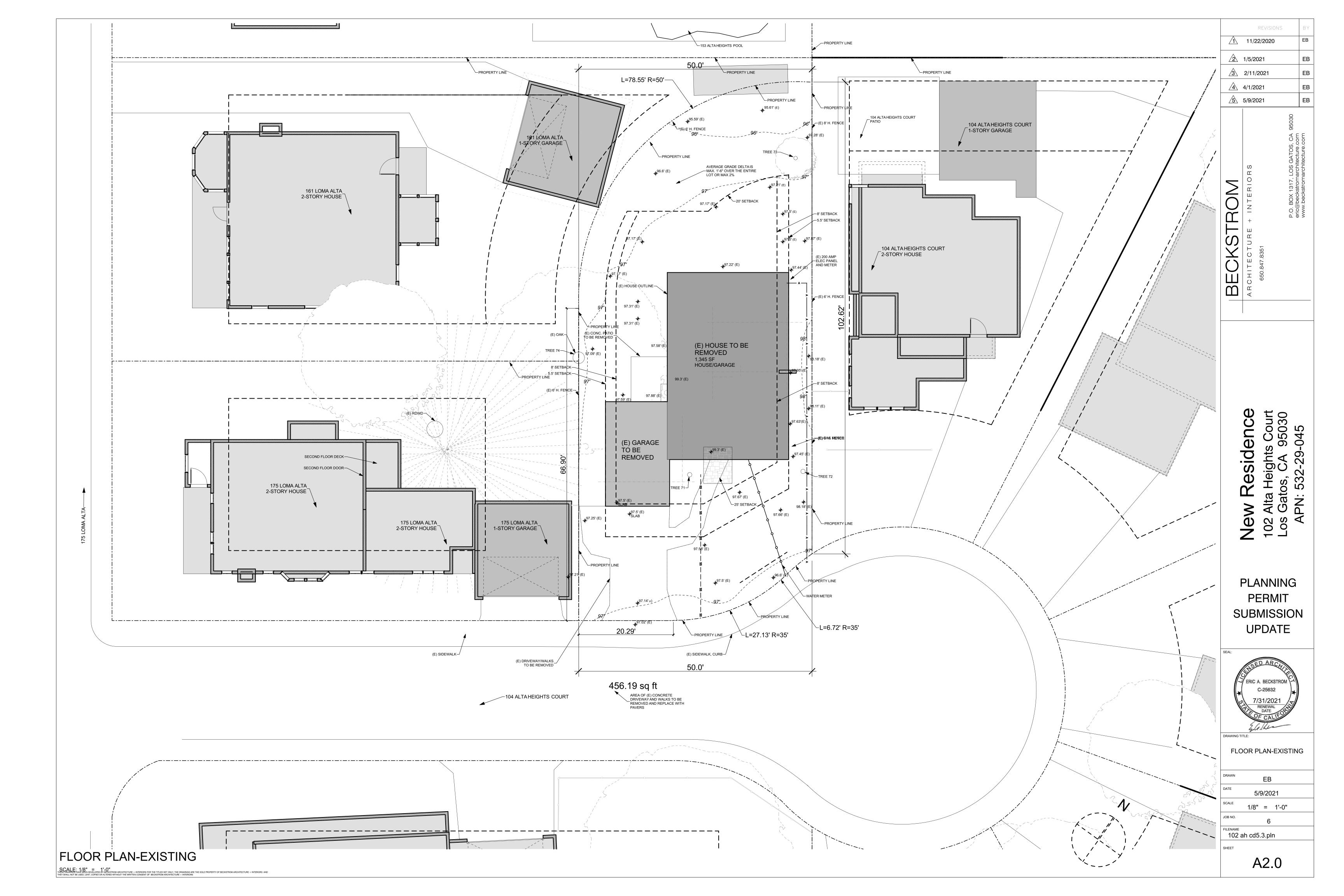
NOTE: THE ADU IS UNDER A SEPARATE PERMIT, TYPICAL

New Residence 102 Alta Heights Court Los Gatos, CA 95030 APN: 532-29-045	BECKSTROM	11/2 1/5/20 2/11/2 4/1/20 5/9/20	2021)21	P.O. BOX 1317, LOS GATOS, CA 95030 eric@heckstromarchitecture.com	www.beckstromarchitecture.com
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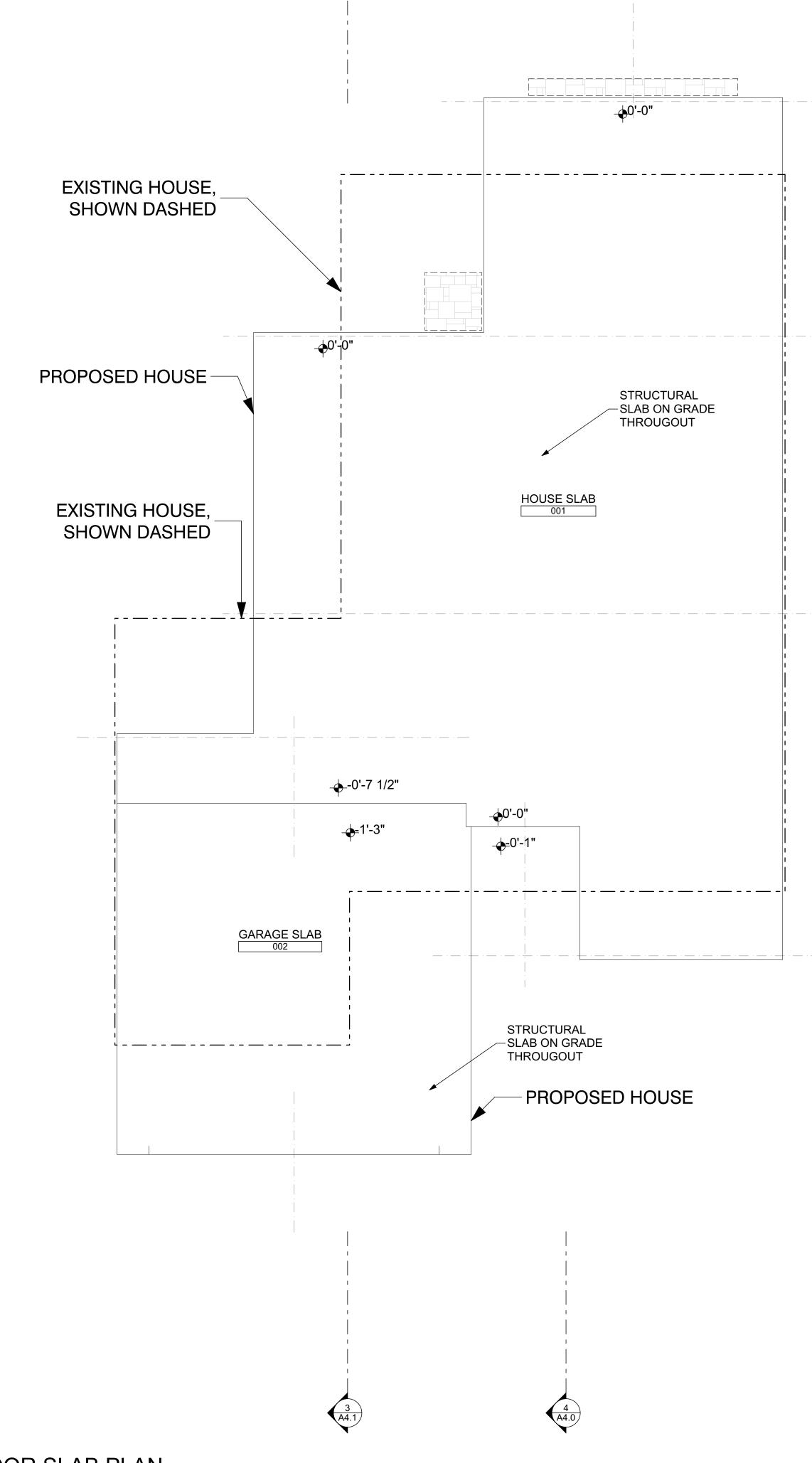
SHADOW STUDIES & FLOOR AREA DIAGRAMS



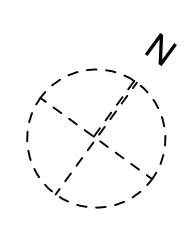




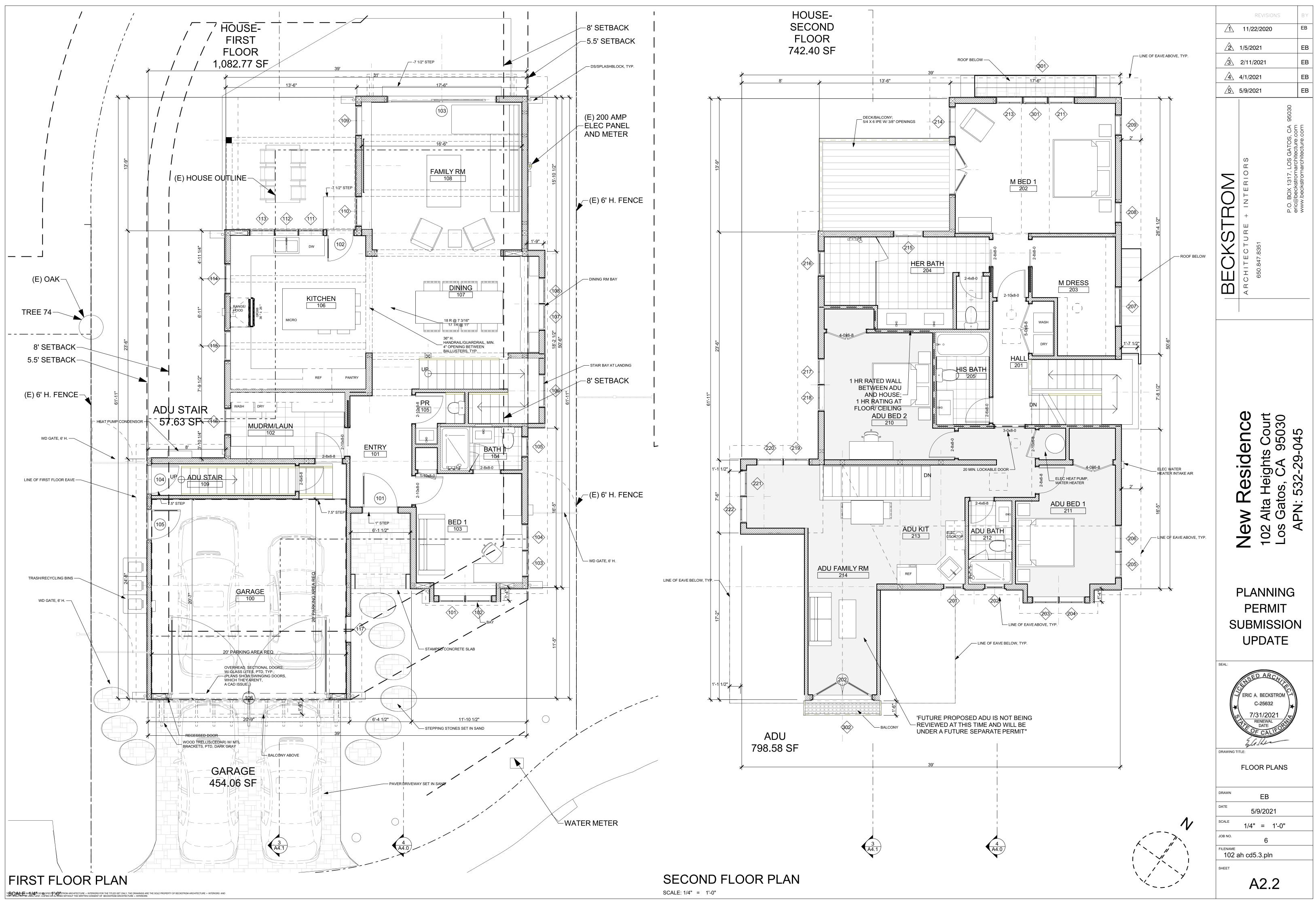


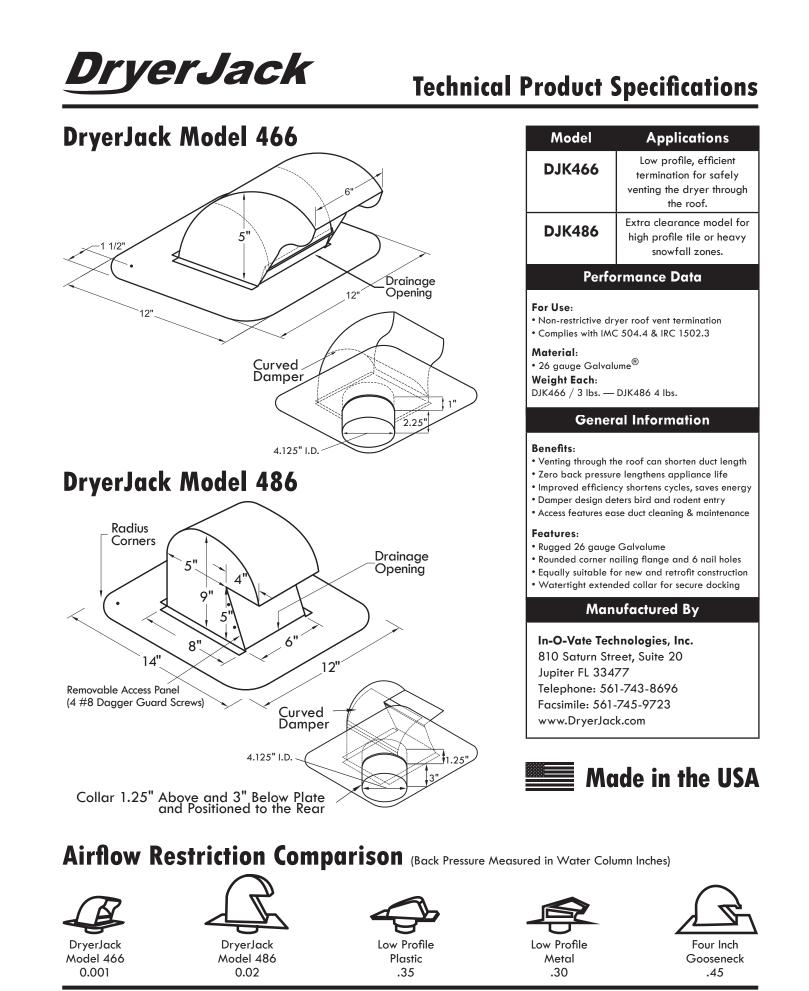


FIRST FLOOR SLAB PLAN SCALE: 1/4" = 1'-0"

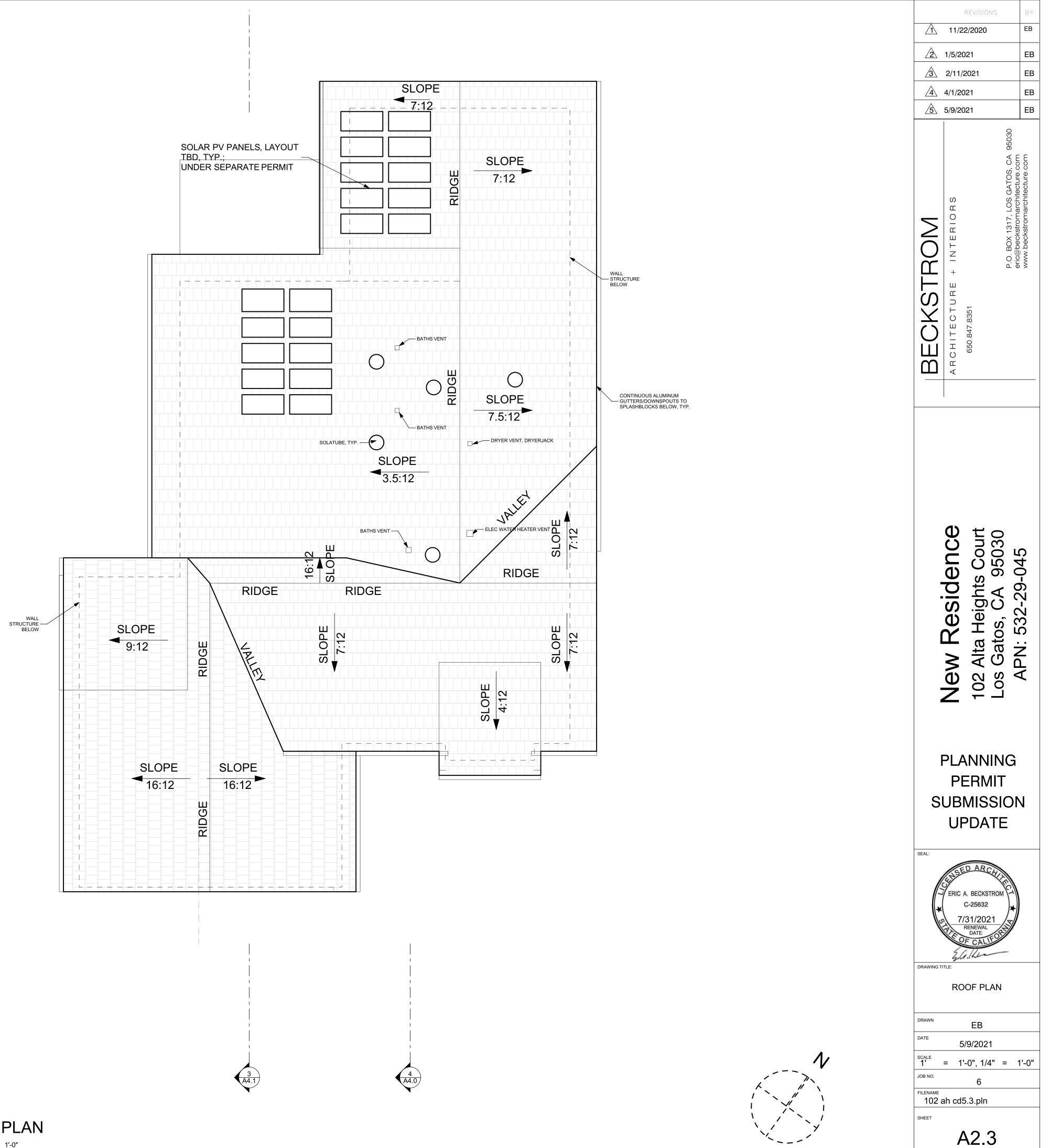


	<u>/1</u> 11/22/2020 <u>/2</u> 1/5/2021					
	1/5/20 2/11/2			EB EB		
	4/1/20			EB		
<u></u>	5/9/20	21		EB		
BECKSTROM	ARCHITECTURE + INTERIORS	650.847.8351	P.O. BOX 1317, LOS GATOS, CA 95030 eric@beckstromarchitecture.com	www.beckstromarchitecture.com		
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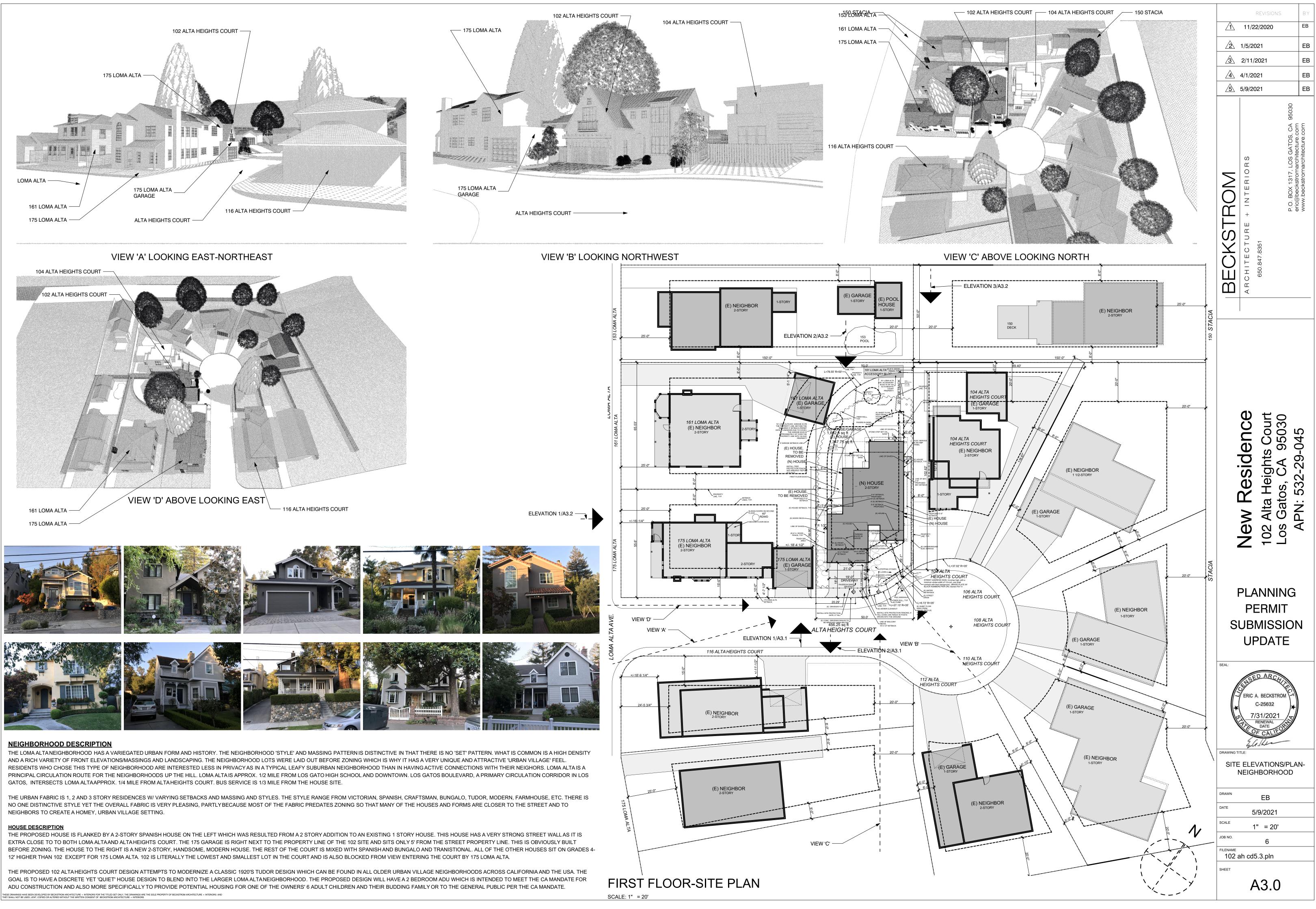




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ROOF PLAN SCALE: 1/4" = 1'-0"





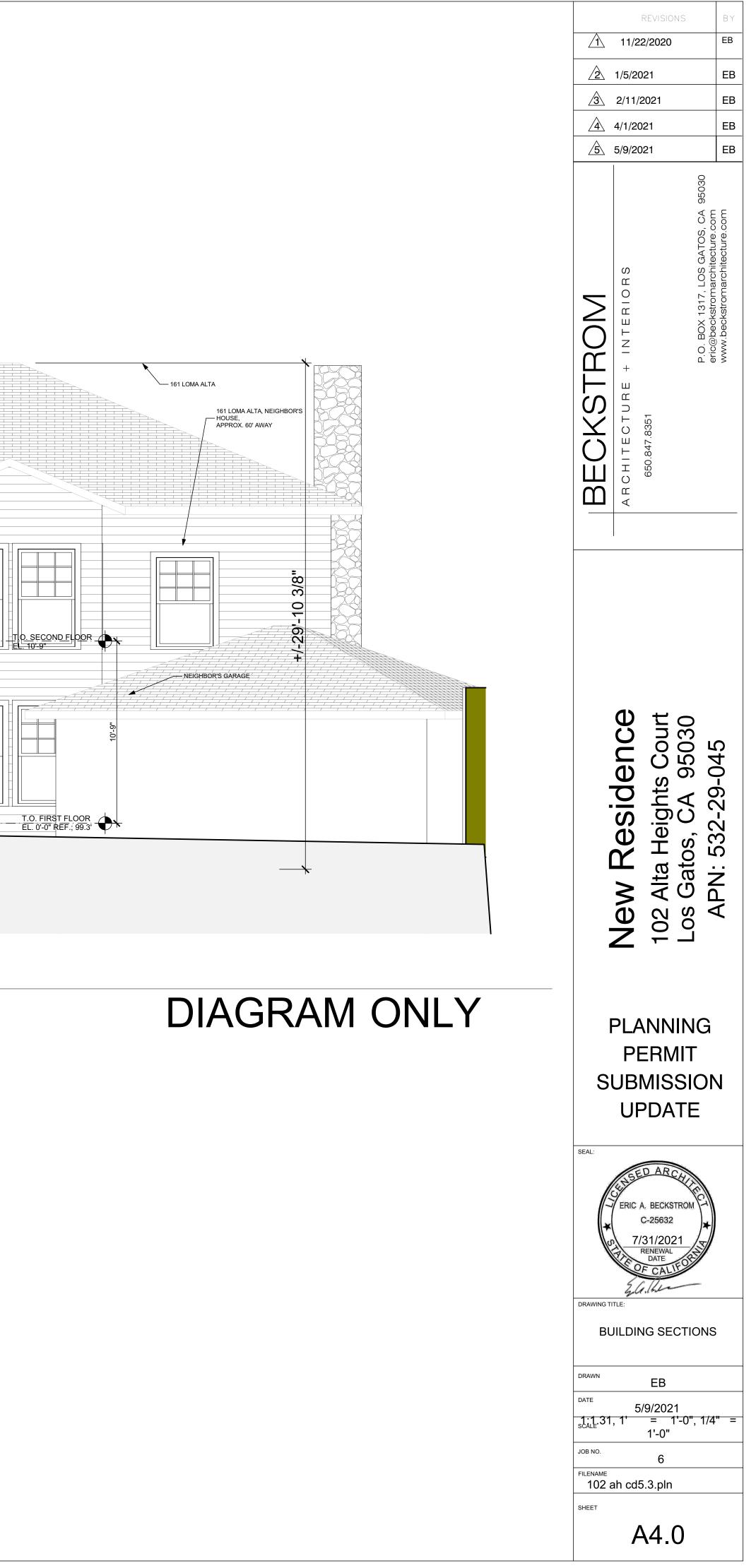


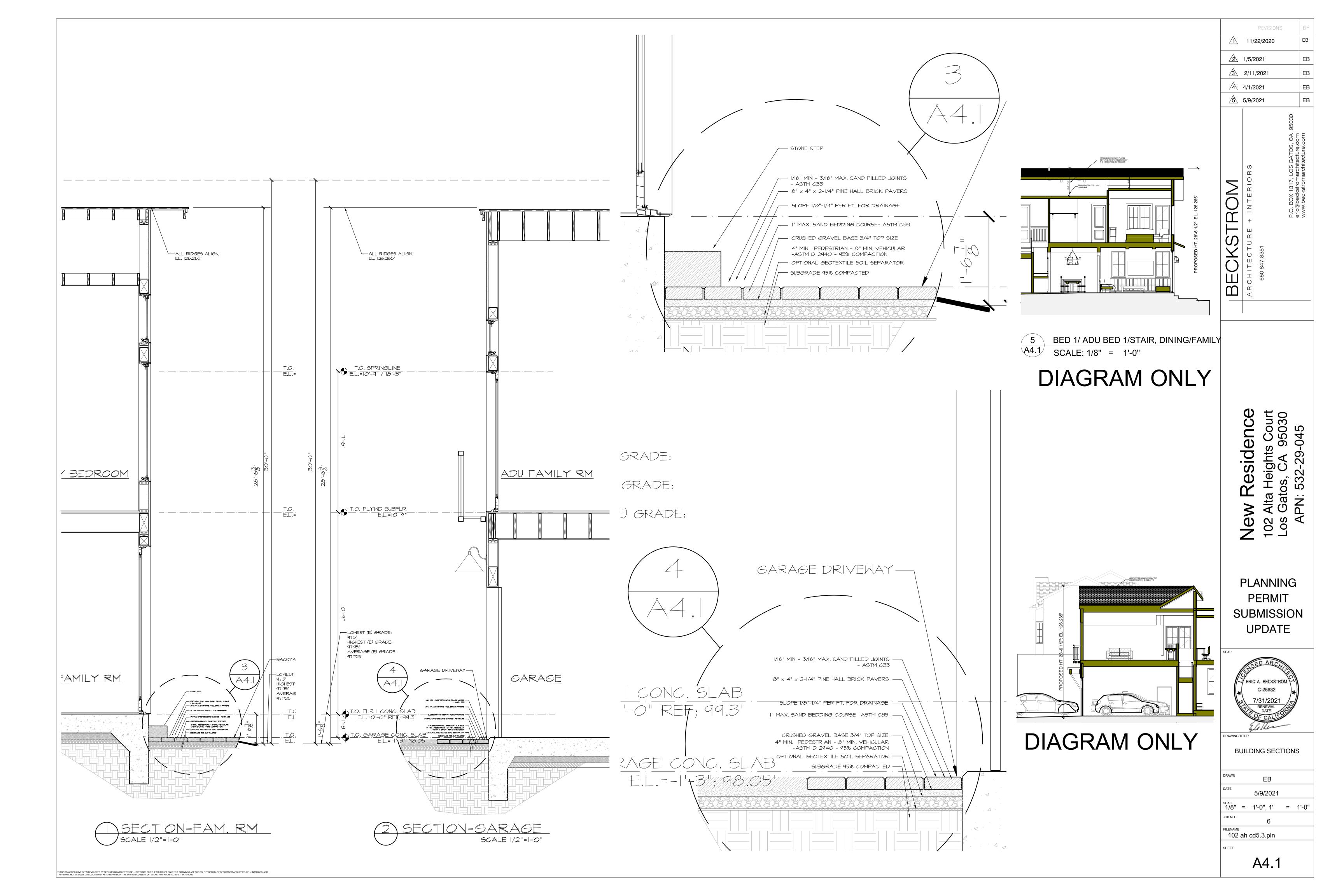






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