



The Dehkordi Residence

REVISIONS	
A.	01/08/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE., L.P. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE DEHKORDI RESIDENCE
 146 ROBIN WAY
 LOS GATOS, CA

COVER SHEET

DATE: 11/12/19
 SCALE: AS SHOWN
 SHEET
A-1
 1 OF -

VICINITY MAP	PROJECT DIRECTORY	PROJECT DATA	SHEET INDEX																												
	<p>ARCHITECT: KOHLSAAT & ASSOCIATES 51 UNIVERSITY AVENUE, SUITE L LOS GATOS, CA 95030 TEL: (408) 395-2555</p> <p>LANDSCAPE ARCHITECT: AMBIANCE GARDEN DESIGN 550 LAURENCE EXPWAY, MAILBOX #377 SUNNYVALE, CA 94085 TEL: (408) 990-6999</p>	<p>CIVIL ENGINEER: NNR ENGINEERING 955 KEYEBRIDGE LANE SAN JOSE, CA 95128 TEL: (408) 348-7813</p> <p>SOILS ENGINEER: WAYNE TING & ASSOC. 42824 OSGOOD ROAD, UNIT A FREMONT, CA 94539 TEL: (510) 623-7768</p>	<p>SURVEYOR: CARNES & ASSOCIATES 9505 SUGAR BABE DRIVE GILROY, CA 95020 TEL: (408) 847-2013</p>																												
	<p>NOTES</p> <p>* AUTOMATIC RESIDENTIAL FIRE SPRINKLERS SHALL BE INSTALLED. A STATE OF CALIFORNIA LICENSED (C-16) FIRE PROTECTION CONTRACTOR SHALL SUBMIT PLANS, CALCULATIONS, AND COMPLETES PERMIT APPLICATION AND APPROPRIATE FEES TO THE SANTA CLARA COUNTY FIRE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO BEGINNING THEIR WORK. NOTE: THE OWNER(S), OCCUPANTS AND ANY CONTRACTOR(S) OR SUBCONTRACTOR(S) ARE RESPONSIBLE FOR CONSULTING WITH THE WATER PURVEYOR OF RECORD IN ORDER TO DETERMINE IF ANY MODIFICATION OR UPGRADE OF THE EXISTING WATER SERVICE IS REQUIRED. NOTE: COVERED PORCHES, PATIOS, BALCONIES, AND ATTIC SPACES MAY REQUIRE FIRE SPRINKLER COVERAGE.</p> <p>* POTABLE WATER SUPPLIES SHALL BE PROTECTED FROM CONTAMINATION CAUSED BY FIRE PROTECTION WATER SUPPLIES. IT IS THE RESPONSIBILITY OF THE APPLICANT AND ANY CONTRACTORS AND SUBCONTRACTORS TO CONTACT THE WATER PURVEYOR SUPPLYING THE SITE OF SUCH PROJECT, AND TO COMPLY WITH THE REQUIREMENTS OF THE PURVEYOR. SUCH REQUIREMENTS SHALL BE INCORPORATED INTO THE DESIGN OF ANY WATER-BASED FIRE PROTECTION SYSTEMS, AND/OR FIRE SUPPRESSION WATER SUPPLY SYSTEMS OR STORAGE CONTAINERS THAT MAY BE PHYSICALLY CONNECTED IN ANY MANNER TO AN APPLIANCE CAPABLE OF CAUSING CONTAMINATION OF THE POTABLE WATER SUPPLY OF THE PURVEYOR OF RECORD. FINAL APPROVAL OF THE SYSTEM(S) UNDER CONSTRUCTION WILL NOT BE GRANTED BY THE SANTA CLARA COUNTY FIRE DEPARTMENT UNTIL COMPLIANCE WITH THE REQUIREMENTS OF THE WATER PURVEYOR OF RECORD ARE DOCUMENTED BY THE PURVEYOR AS HAVING BEEN MET BY THE APPLICANT(S).</p> <p>* ADDRESS IDENTIFICATION: NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND (WHERE REQUIRED BY THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE. ADDRESS NUMBERS SHALL BE IN ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MIN. STROKE VIEWED FROM THE UBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OF MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS NUMBERS SHALL BE MAINTAINED.</p> <p>* CONSTRUCTION SITE FIRE SAFETY: ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFG CHAPTER 83 AND OUR STANDARD DETAILS AND SPECIFICATION 81-T. PROVIDE APPROPRIATE NOTATIONS ON SUBSEQUENT PLAN SUBMITTALS, AS APPROPRIATE TO THE PROJECT.</p>																														
		<p>PROJECT ADDRESS: 146 ROBIN WAY LOS GATOS, CA 95032</p> <p>OWNER: MEHRDAD & LEILA DEHKORDI 146 ROBIN WAY LOS GATOS, CA 95032</p> <p>APN#: 592-12-015 ZONING: R-1:10 OCCUPANCY GROUP: R-3; U CONSTRUCTION TYPE: V-B</p> <p>GROSS & NET SITE AREA: 13,112 SF AVERAGE SLOPE: < 5%</p> <p>RESIDENCE F.A.R. = .35 - ((13,112-5) X .20) = .2351 = 3,133 SF</p> <p>GARAGE F.A.R. = .10 - ((13,112-5) X .07) = .0773 = 1,013 SF</p> <hr/> <p>PROPOSED FLOOR AREAS: MAIN FLOOR 3,737 SF TOTAL LIVING AREA 3,737 SF GARAGE 503 SF</p> <p>EXISTING STRUCTURES TO BE REMOVED: EXISTING RESIDENCE: 2,466 SF GARAGE 542 SF</p> <hr/> <p>SITE AREAS:</p> <table border="0"> <tr> <td>RESIDENCE</td> <td>4,245 SF</td> <td>EXISTING</td> <td>3,008 SF</td> </tr> <tr> <td>COVERED PORCH</td> <td>51 SF</td> <td></td> <td>150 SF</td> </tr> <tr> <td>COVERED LOGGIA</td> <td>526 SF</td> <td></td> <td>0 SF</td> </tr> <tr> <td>TOTAL BUILDING COVERAGE</td> <td>4,822 SF = 36.8%</td> <td></td> <td>3,158 SF = 24.1%</td> </tr> <tr> <td>PATIOS & CONC. PATHS</td> <td>463 SF</td> <td></td> <td>1,796 SF</td> </tr> <tr> <td>DRIVEWAY</td> <td>762 SF</td> <td></td> <td>963 SF</td> </tr> <tr> <td>TOTAL IMPERVIOUS COVERAGE</td> <td>6,047 SF = 46.1%</td> <td></td> <td>5,317 SF = 40.1%</td> </tr> </table>	RESIDENCE	4,245 SF	EXISTING	3,008 SF	COVERED PORCH	51 SF		150 SF	COVERED LOGGIA	526 SF		0 SF	TOTAL BUILDING COVERAGE	4,822 SF = 36.8%		3,158 SF = 24.1%	PATIOS & CONC. PATHS	463 SF		1,796 SF	DRIVEWAY	762 SF		963 SF	TOTAL IMPERVIOUS COVERAGE	6,047 SF = 46.1%		5,317 SF = 40.1%	<p>A-1 COVER SHEET</p> <p>A-2 NEIGHBORHOOD PLAN & STREETScape</p> <p>A-3 STREETScapeS</p> <p>A-4 SITE PLAN</p> <p>C-1 CIVIL COVER SHEET</p> <p>C-2 GRADING & DRAINAGE PLAN</p> <p>C-3 CROSS SECTIONS & MISC. DETAILS</p> <p>C-4 EROSION CONTROL/CONSTRUCTION MANAGEMENT</p> <p>L-1 PRELIMINARY LANDSCAPE PLAN</p> <p>A-5 PROPOSED FLOOR PLAN</p> <p>A-6 ROOF PLAN</p> <p>A-7 FRONT & LEFT ELEVATIONS</p> <p>A-8 REAR & RIGHT ELEVATIONS</p> <p>A-9 CROSS SECTIONS</p> <p>A-10 SHADOW STUDIES</p> <p>A-11 3D VIEWS</p> <hr/> <p style="text-align: center;">SCOPE OF WORK</p> <p>A NEW 3,737 SF SINGLE FAMILY RESIDENCE WHICH INCLUDES 3 BEDROOMS, 5½ BATHS, AND OFFICE AND A COVERED LOGGIA</p>
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REVISIONS	
A.	01/09/20
B.	01/21/20
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D.	03/28/20

KOHLSAAT & ASSOCIATES
 51 UNIVERSITY AVE. • LOS GATOS, CA • 95030 • (408) 395-2555

A NEW RESIDENCE:
THE DEHKORDI RESIDENCE
 146 ROBIN WAY
 LOS GATOS, CA

NEIGHBORHOOD PLAN & STREETSCAPE

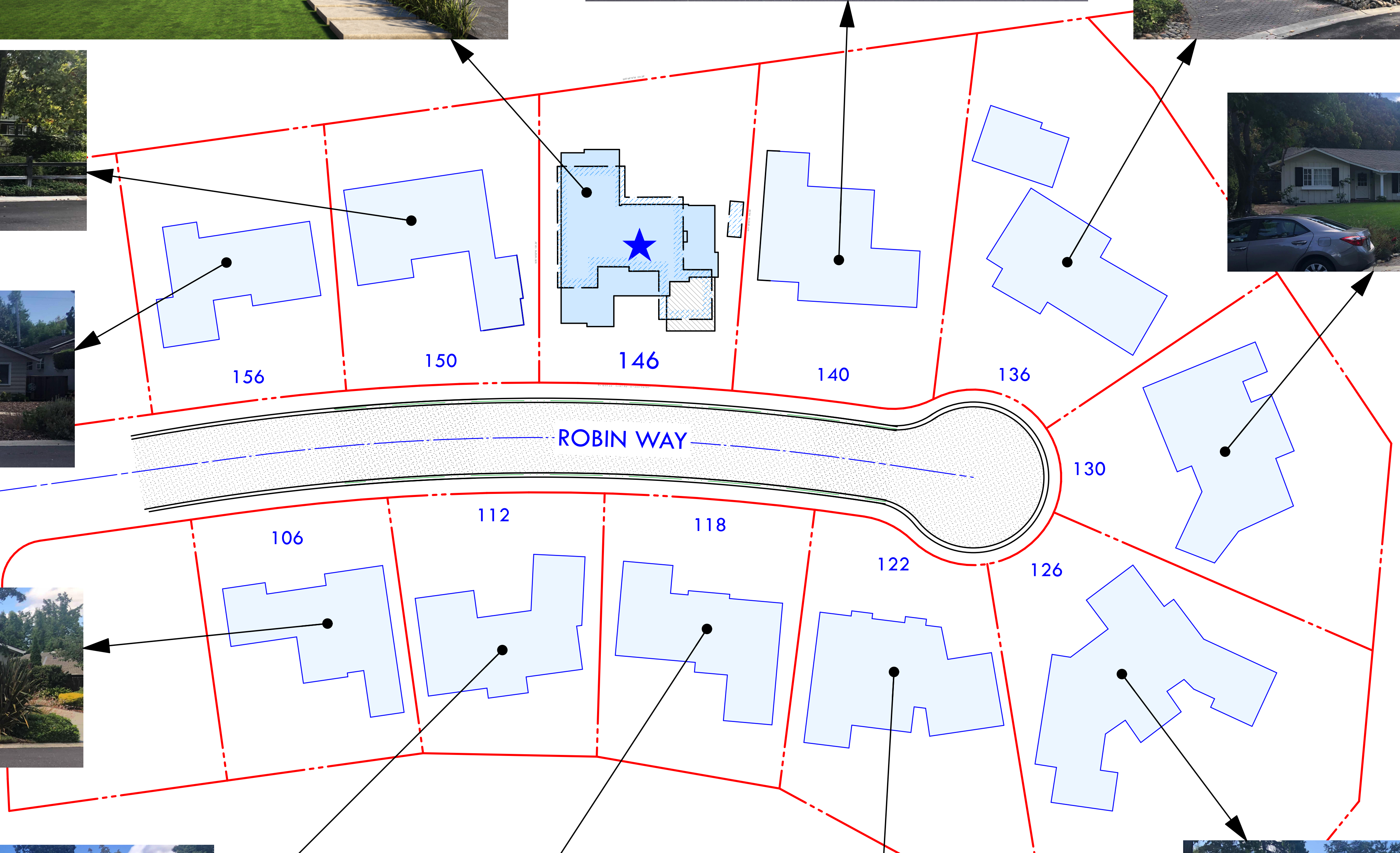
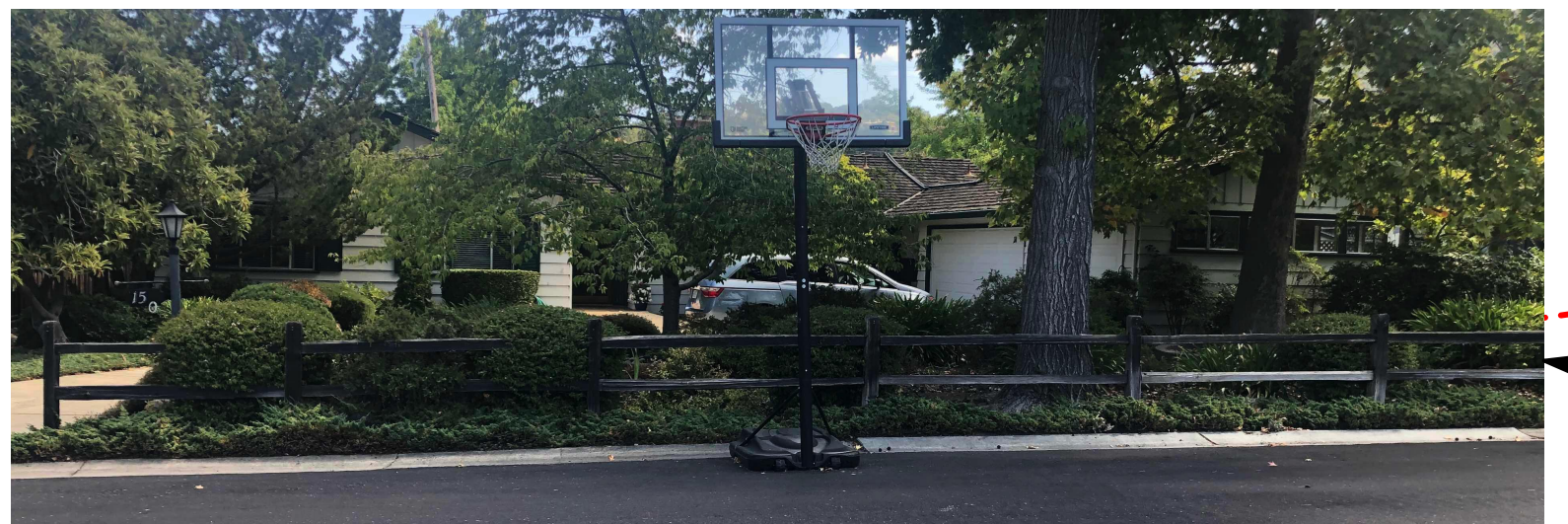
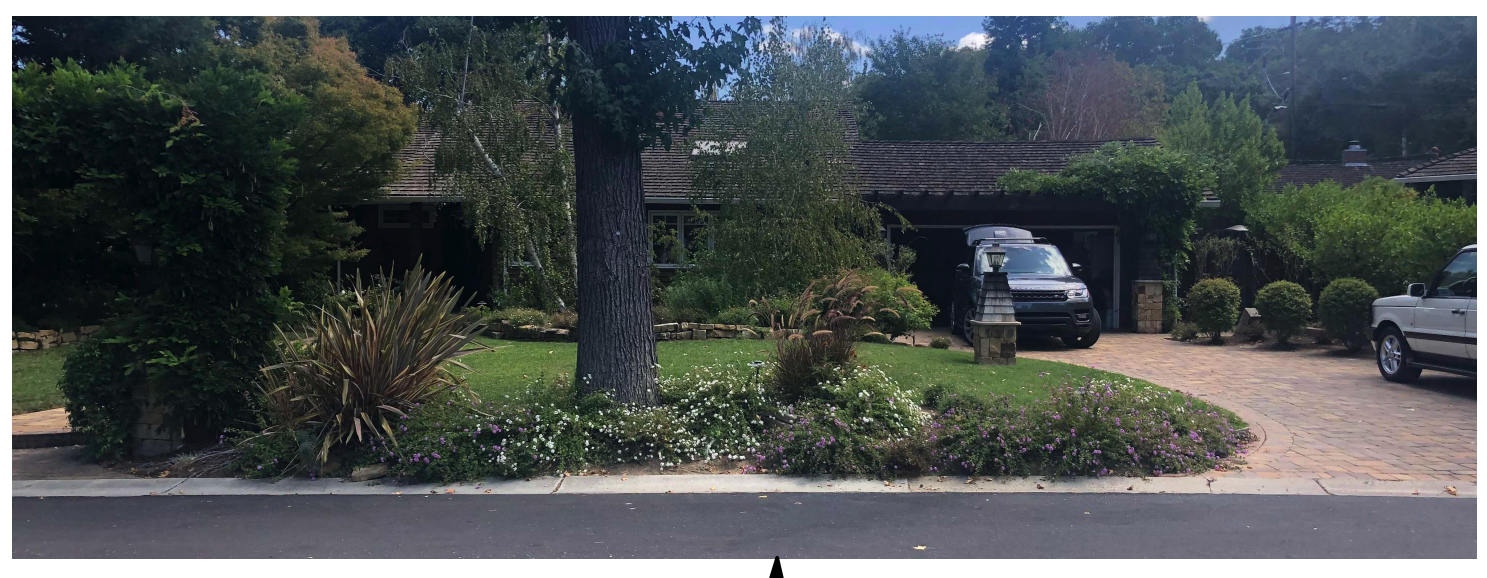
DATE: 11/12/19

SCALE: AS SHOWN

SHEET

A-2

2 OF -



NEIGHBORHOOD PLAN

SCALE: 1" = 30'

REVISIONS	
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A NEW RESIDENCE:
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 LOS GATOS, CA

STREETScape
 S
 DATE: 11/12/19
 SCALE: AS SHOWN
 SHEET
A-3
 3 OF -



STREETScape VIEW



STREETScape VIEW - no landscaping

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A NEW RESIDENCE:
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 146 ROBIN WAY
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IMPERVIOUS AREAS LEGEND & TABLE

	PROPOSED	DEMO
PROPOSED RESIDENCE	3,737 SF	
PROPOSED GARAGE	508 SF	
EXISTING HOME TO BE DEMOLISHED		3,008 SF
PAVERS ON CONCRETE SLAB	825 SF	
PAVERS ON SAND BED (DRIVEWAY)	762 SF	
CONCRETE PAVING STONE PATH	215 SF	
EXISTING PAVED PATHS AND PATIOS TO BE REMOVED		2,909 SF
TOTAL IMPERVIOUS (DISTURBED) AREA	6,052 SF	5,917 SF

SITE PLAN
 SCALE: 1" = 10'

STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE TOWN OF LOS GATOS GRADING ORDINANCE, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE DEPARTMENT OF PARKS AND PUBLIC WORKS PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT 408.399.5771 AT LEAST 48 HOURS PRIOR TO ANY GRADING OR ONSITE WORK. THIS MEETING SHOULD INCLUDE:
 - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
 - ACKNOWLEDGMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITTEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITTEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF 48 HOURS BUT NOT MORE THAN 14 DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
 - RETAINING WALL--TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DEPARTMENT).
 - TOE AND TOP OF CUT AND FILL SLOPES

- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANTS' SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVE-ABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND/PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: _____ PHONE: _____
- GENERAL CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- GRADING CONTRACTOR (IF AVAILABLE): _____ PHONE: _____
- A. CUT:

35	CY EXPORT:	35
5	CY IMPORT:	0

 B. FILL:

35	CY EXPORT:	35
5	CY IMPORT:	0
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.
- A TOWN ENCRoACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCRoACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITTEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORM WATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIAL PERMIT IS ISSUED BY THE ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.
- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN, THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ONSITE AT ALL TIMES. NO DIRECT STORM WATER DISCHARGES FROM DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR ONTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORM WATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

UTILITY NOTES:

- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
- CONNECT SANITARY SEWER AND WATER LINE TO EXISTING STREET SERVICES.
- CONNECT GAS AND ELECTRIC LINES TO EXISTING GAS AND POWER SERVICES, PER PG&E STANDARDS.
- CONTRACTOR SHALL COORDINATE ANY DISRUPTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
- ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY SPECIFICATIONS. ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
- USE A COMBINATION OF BATTERY OPERATED/GENERATOR AND POWER OPERATED SUMP PUMPS TO ASSURE THEIR OPERATION IN CASE OF POWER FAILURE.

GENERAL NOTES:

- EXCAVATION CUTS EXCEEDING 5 FEET TYPICALLY REQUIRE A DOSH PERMIT. ALL EXCAVATIONS MUST CONFORM TO APPLICABLE OSHA AND CAL-OSHA REQUIREMENTS. CONTACT CALIFORNIA DEPARTMENT OF OCCUPATIONAL SAFETY AND HEALTH (DOSH) FOR INFORMATION ABOUT REQUIRED PERMITS. DOSH'S LOCAL OFFICE: (510) 794-2521.
- PRIOR TO REQUESTING A FOUNDATION INSPECTIONS BY THE CITY, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL PROVIDE A FIELD REPORT (IN WRITING) WHICH SHALL STATE THE FOLLOWING:
 - THE BUILDING PAD WAS PREPARED AND COMPACTED IN ACCORDANCE WITH THE SOIL REPORT AND SPECIFICATIONS.
 - THE FOUNDATION AND/OR PIER EXCAVATION, DEPTH AND BACKFILL MATERIALS, AND DRAINAGE (IF APPLICABLE) SUBSTANTIALLY CONFORM TO THE SOIL REPORT AND APPROVED PLANS.
- PRIOR TO FINAL INSPECTION FOR ANY BUILDING OR STRUCTURE, THE GEOTECHNICAL ENGINEER OR CIVIL ENGINEER WHO PREPARED THE SOIL INVESTIGATION SHALL ISSUE A FINAL REPORT STATING THE COMPLETED PAD, FOUNDATION, FINISH GRADING, AND ASSOCIATED SITE WORK SUBSTANTIALLY CONFORM TO THE APPROVED PLANS, SPECIFICATIONS, AND INVESTIGATION.

STANDARD GRADING NOTES

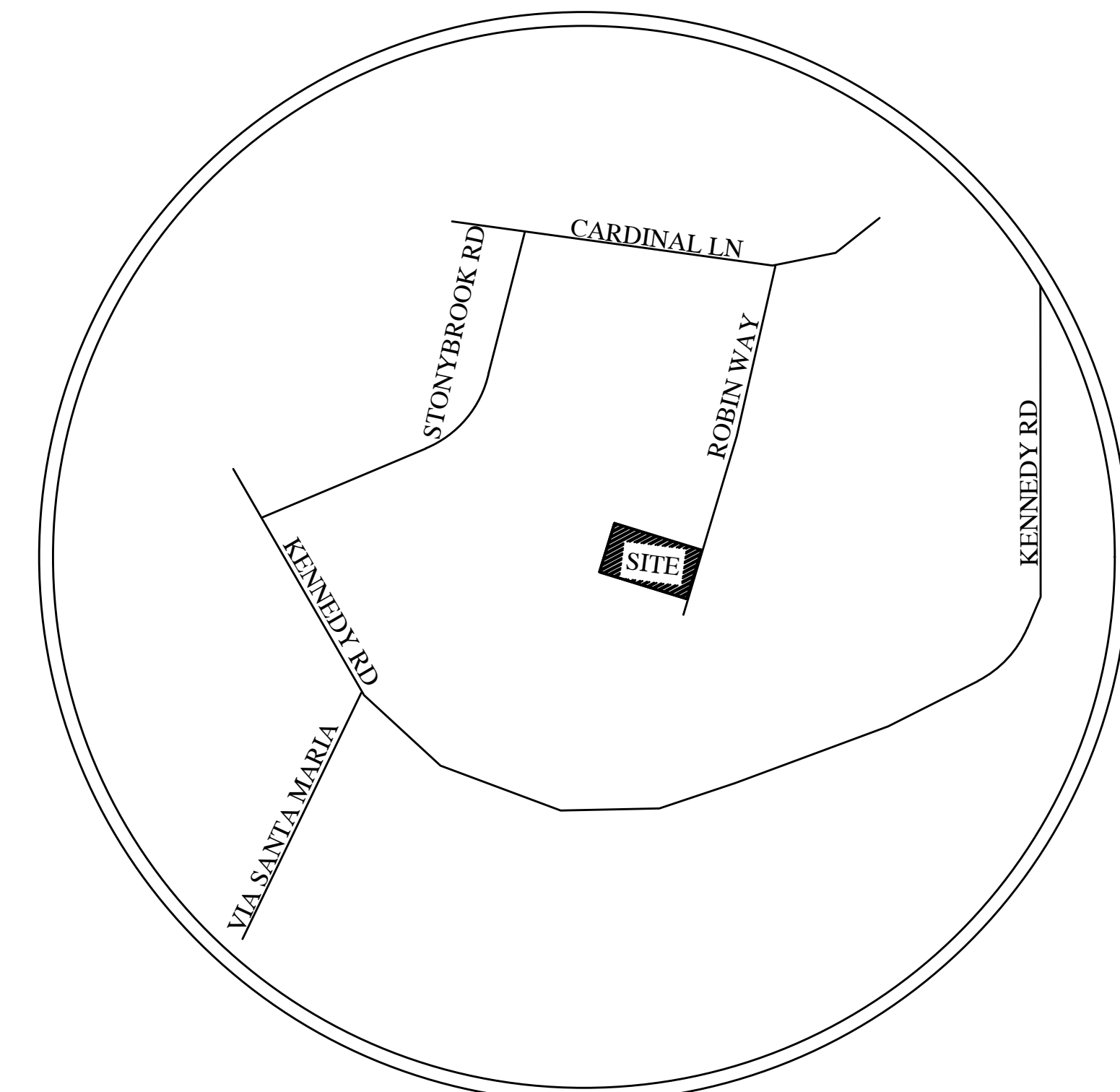
- GRADING SHALL CONFORM TO THE TOWN OF LOS GATOS GRADING REQUIREMENTS, TO THE ATTACHED SPECIFICATIONS AND TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT BY THE SOIL ENGINEER.
- DRIVEWAY SURFACING SHALL CONFORM TO THE PLAN AND DETAILS SHOWN HEREON AND AS REQUIRED BY THE TOWN OF LOS GATOS.
- DRAINAGE, INCLUDING ALL ROOF AND PATIO DRAINS, SHALL BE DIRECTED AWAY FROM THE STRUCTURE TO THE DRIVEWAY OR TO A CLOSE PIPE DRAINAGE SYSTEM. IT SHALL BE THE OWNERS RESPONSIBILITY TO INSURE THAT THE DRAINAGE FACILITIES SHOWN HEREON ARE KEPT CLEAR OF OBSTRUCTIONS. THE CONTRACTOR SHALL PROVIDE UNDERGROUND PIPES OR RE-BUILD AREAS THAT WILL NOT DRAIN AFTER FINAL GRADING. THE GROUND ADJACENT TO THE GRADING SHALL SLOPE AWAY WITH A MINIMUM SLOPE OF 2% FOR AT LEAST 3 FEET. MINIMUM SLOPE IN ALL OTHERS CASES SHALL BE 1%.
- EROSION CONTROL PLANTING AND OTHER SILT RETENTION OR EROSION CONTROL MEASURES ARE REQUIRED IN GRADED AREAS. SEE PLAN FOR DETAILS. EROSION CONTROL AND SILT RETENTION FACILITIES SHALL BE IN PLACE BY NOVEMBER 1st.
- GRADING SHALL BE PERMITTED ONLY FROM APRIL 1st TO NOVEMBER 1st.
- THIS PLAN IS A PART OF PROJECT PLANS. SEE ARCHITECT AND LANDSCPE PLANS FOR ADDITIONAL DETAILS AND DIMMENSIONS.

SHEET INDEX

COVER SHEET	C-1
GRADING AND DRAINAGE PLAN	C-2
CROSS SECTIONS AND MISC. DETAILS	C-3
EROSION CONTROL/CONSTRUCTION MANAGEMENT PLAN	C-4
'BLUEPRINT FOR A CLEAN BAY' SHEET	

NOTICE TO CONTRACTORS

CONTRACTOR TO NOTIFY U.S.A. (UNDERGROUND SERVICE ALERT) AT 800-227-2600 A MINIMUM OF 2 WORKING DAYS BEFORE BEGINNING UNDERGROUND WORK FOR VERIFICATION OF THE LOCATION AND DEPTH OF UNDERGROUND UTILITIES.

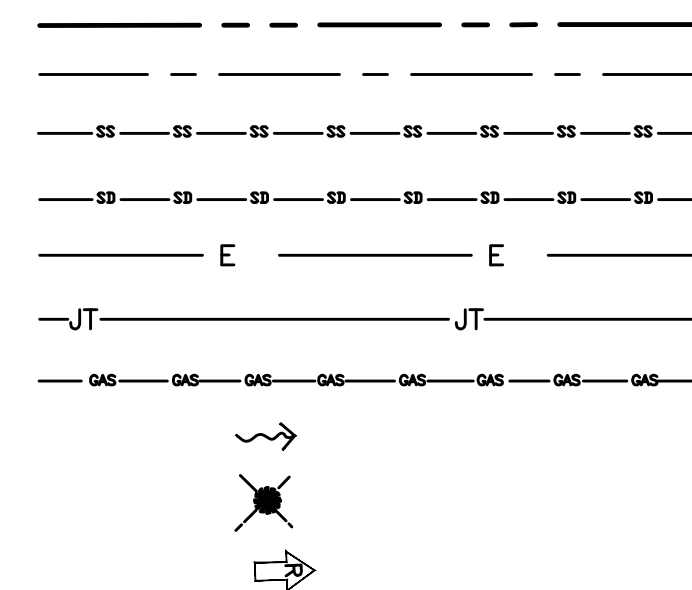


VICINITY MAP

DESCRIPTION

- PROPERTY LINE
- CENTERLINE
- SANITARY SEWER
- STORM DRAIN LINE
- ELECTRICAL LINE
- JOINT TRENCH
- GAS LINE
- DRAINAGE FLOW
- REMOVE TREE
- OVERLAND RELEASE

LEGEND



ABBREVIATION

AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
INV	INVERT
(N)	NEW
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SD	STORM DRAIN

EARTH WORK NOTE:

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

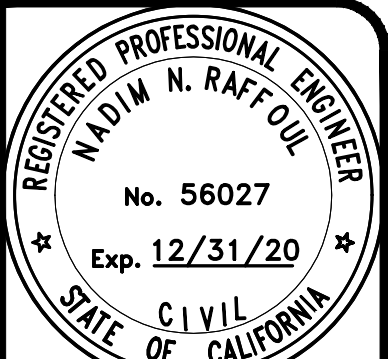
NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE TOWN OF LOS GATOS PUBLIC WORKS AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR. CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

NOTE: NO GRADING REQUIRED EXCEPT FOR CRAWLSPACE & FOUNDATION EXCAVATION & FOR SHAPING FINAL GRADES FOR PROPER DRAINAGE

APPROXIMATE GRADING QUANTITIES (cu. yds.)

LOCATION	CUT	DEPTH	FILL	DEPTH	TOTAL
HOUSE/	35	0.8'	0	0	
SITE	5	0.5'	5	0.5'	
TOTAL	40		5		35



NNR ENGINEERING
CIVIL ENGINEERS
585 WETBERGE DRIVE
SAN JOSE, CALIFORNIA 95128
(408) 948-7983

146 ROBIN WAY
LOS GATOS, CA.

APN 582-12-015

SAN CLARA COUNTY

COVER SHEET

ADDRESS TOWN COMMENTS	1/21/20
-	-
-	-
-	-

REVISIONS	DATE
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JOB NO:

DATE: 9-16-2019

SCALE: N.T.S.

DRAWN BY: NR

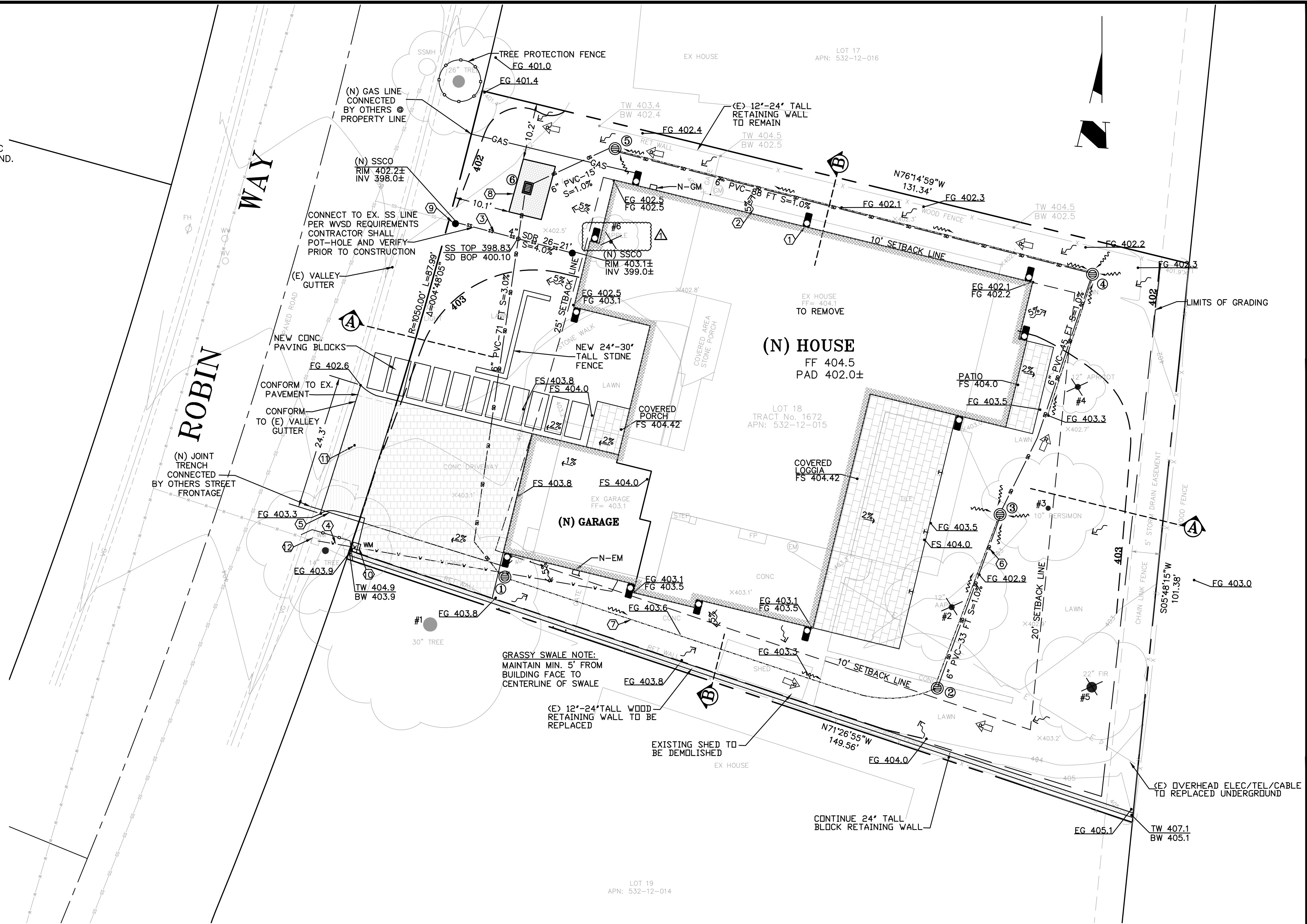
SHEET NO:

C-1

OF 5 SHEETS

GRADING AND DRAINAGE CONSTRUCTION NOTES:

- 1 DIRECT ROOF DOWNSPOUT LEADERS TO APPROVED SPLASH BLOCKS (2' LENGTH MIN.), DIRECT AWAY FROM BUILDING FOR POSITIVE FLOW, & TOWARDS PERVIOUS AREA OF THE SITE - TYP. (SEE DETAIL)
- 2 DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 10 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3 4" SDR-26 SS. LAT. @ 2% MIN.
- 4 (N) WATER LINE DESIGN BY OTHERS.
- 5 APPROXIMATE LOCATION OF JOINT TRENCH INCLUDES: ALL ELECTRIC LINES, COMMUNICATIONS LINES AND APPURTENANCES, INCLUDING ALL PUBLIC UTILITY, CATV AND TELEGRAPH SYSTEMS, SHALL BE LOCATED AND INSTALLED UNDERGROUND.
- 6 GRASSY SWALE @ S=0.7%.
- 7 6" PVC (SDR-35) @ S=1% MIN.
- 8 10'X6'X4.5' GRAVEL BASIN, SEE DETAIL.
- 9 INSTALL (N) SANITARY SEWER CLEANOUT PER TOWN STANDARD.
- 10 INSTALL (N) WATER METER W/ TRAFFIC RATED COVER.
- 11 REMOVE EXISTING DRIVEWAY AND CONSTRUCT (N) CONC. PAVERS DRIVEWAY PER TOWN STANDARD DETAIL.
- 12 REMOVE EXISTING WATER METER

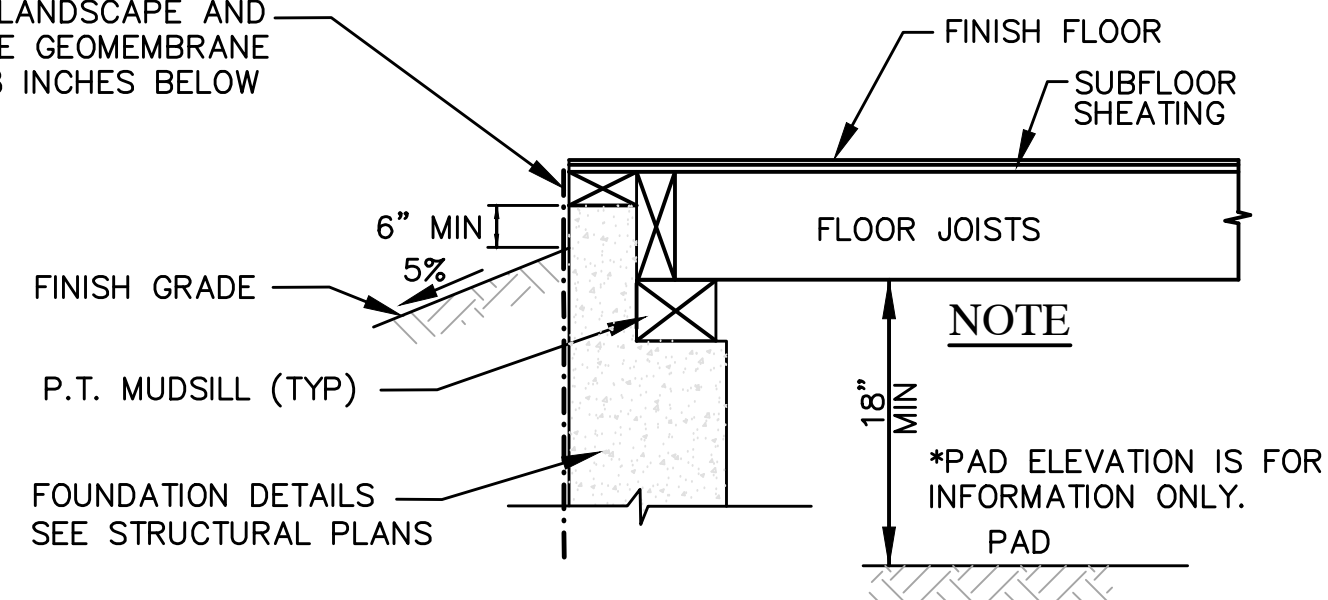


- LEGEND:**
- ⊕ AREA DRAIN (CHRISTY BOX V-1) OR EQUAL
 - ▣ CATCH BASIN (CHRISTY BOX V-24) OR EQUAL

DRAINAGE NOTE

- 1 AD RIM 403.8± INV 402.3±
- 2 AD RIM 403.1± INV 401.6±
- 3 AD RIM 402.9± INV 401.3±
- 4 AD RIM 401.9± INV 400.8±
- 5 AD RIM 401.8± INV 400.0±
- 6 CB RIM 401.6± INV 399.6±

INSTALL IMPERMEABLE GEOMEMBRANE BETWEEN FOOTING AND LANDSCAPE (DESIGNATED AS LAWN) AND LANDSCAPE AND IMPERMEABLE PAVEMENT. THE GEOMEMBRANE SHOULD EXTEND AT LEAST 8 INCHES BELOW BOTTOM OF FOOTING.



EXTERIOR GRADING DETAIL (TYP.)
N.T.S.

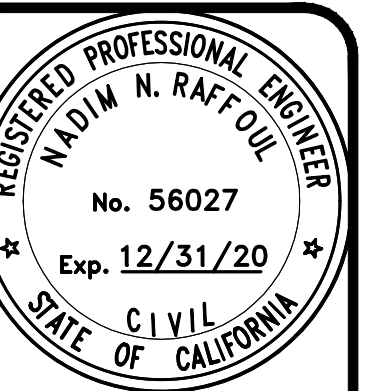
DRAINAGE NOTE

A. "UNDER NO CIRCUMSTANCE SHALL THE GRADING AND DRAINAGE ACTIVITIES ASSOCIATED WITH THIS PROJECT DIRECTLY SHEET FLOW ONTO THE NEIGHBORING PROPERTY."

TREE FENCING NOTE

SEE ARCHITECTURAL PLANS FOR TREE FENCING LOCATIONS AND T1, INCLUDING ARBORIST REPORT RECOMMENDATIONS.

NOTE
TOPOGRAPHIC SURVEY AND BOUNDARY INFORMATION SHOWN HEREON WAS SUPPLIED BY THE OWNER. NNR ENGINEERING NOT RESPONSIBLE FOR ITS ACCURACY.

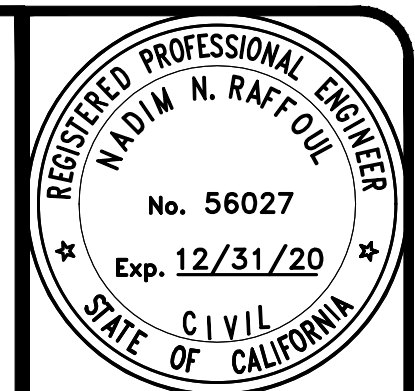


NNR ENGINEERING
CIVIL ENGINEERS
655 WEBER DRIVE
SAN JOSE, CALIFORNIA 95128
(408) 948-7883

146 ROBIN WAY
LOS GATOS, CA.

GRADING AND DRAINAGE PLAN

ADDRESS TOWN COMMENTS	1/21/20
REVISIONS	DATE
JOB NO:	
DATE:	9-16-2019
SCALE:	1"=10'
DRAWN BY:	NR
SHEET NO:	

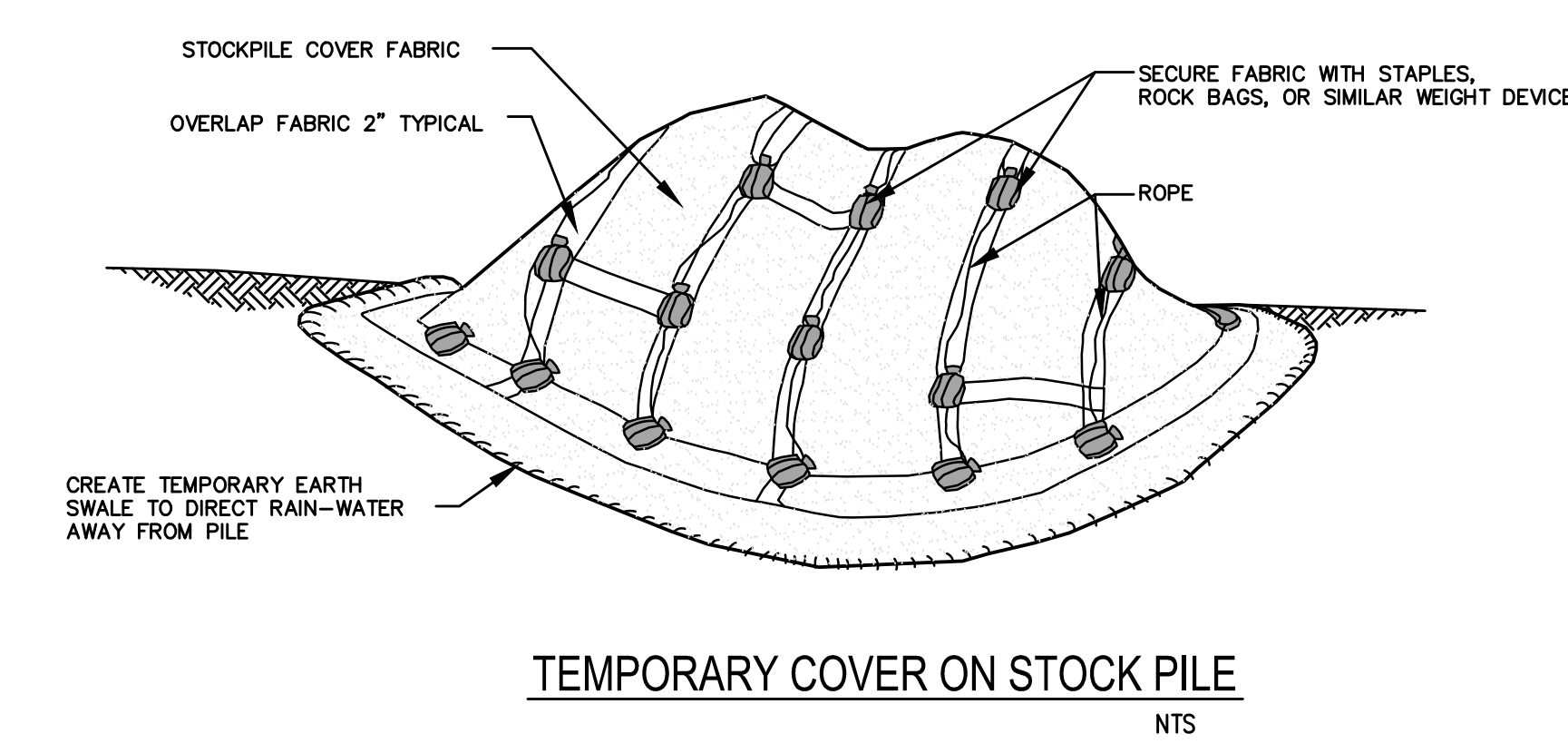


NNR ENGINEERING
 CIVIL ENGINEERS
 535 WEBBIDGE DRIVE
 SAN JOSE, CALIFORNIA 95128
 (408) 348-7883

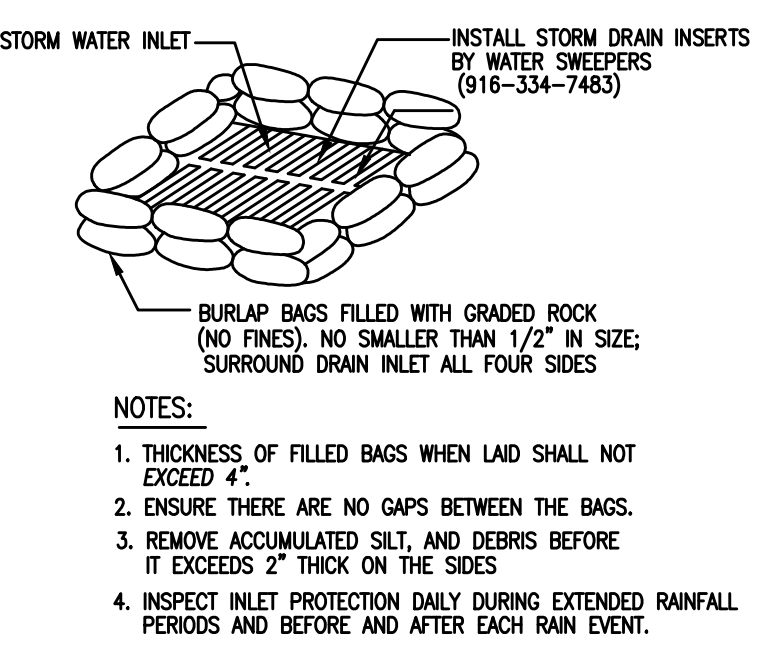
146 ROBIN WAY
 LOS GATOS, CA.

**EROSION CONTROL/
 CONSTRUCTION MANAGEMENT
 PLAN**

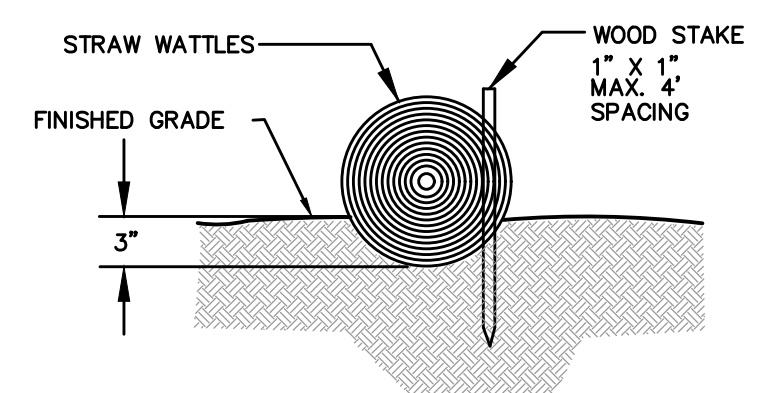
ADDRESS	TOWN	1/21/20
COMMENTS		
REVISIONS	DATE	
JOB NO:		
DATE:	9-16-2019	
SCALE:	1" = 10'	
DRAWN BY:	NR	
SHEET NO:	C-4	
OF 5 SHEETS		



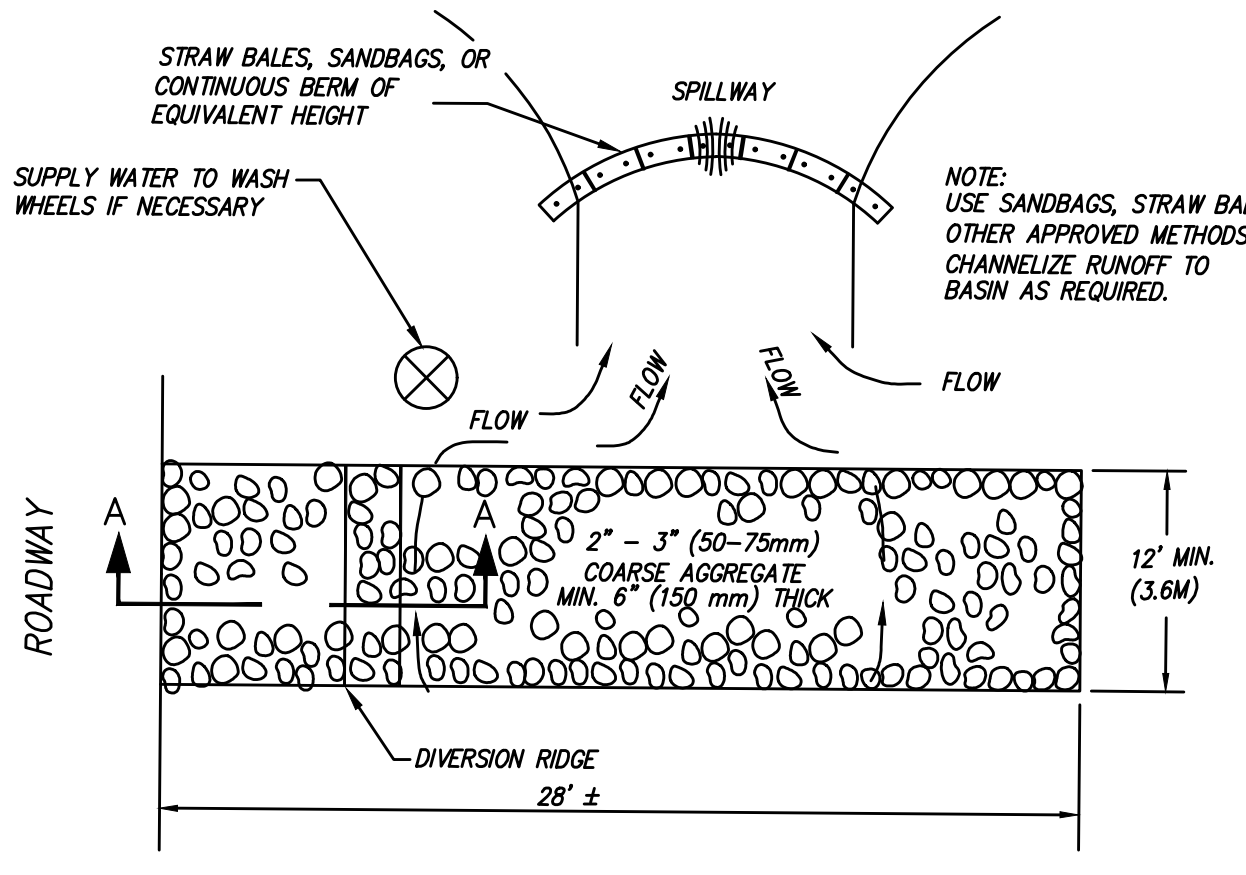
TEMPORARY COVER ON STOCK PILE
 NTS



**BURLAP SACK DRAIN INLET (D.I.)
 SEDIMENT FILTER DETAIL**
 NTS



**ENTRENCHMENT
 DETAIL IN FLAT AREA
 STRAW WATTLES**
 NTS



STABILIZED CONSTRUCTION ENTRANCE
 NTS

STABILIZED CONSTRUCTION ENTRANCE NOTES:

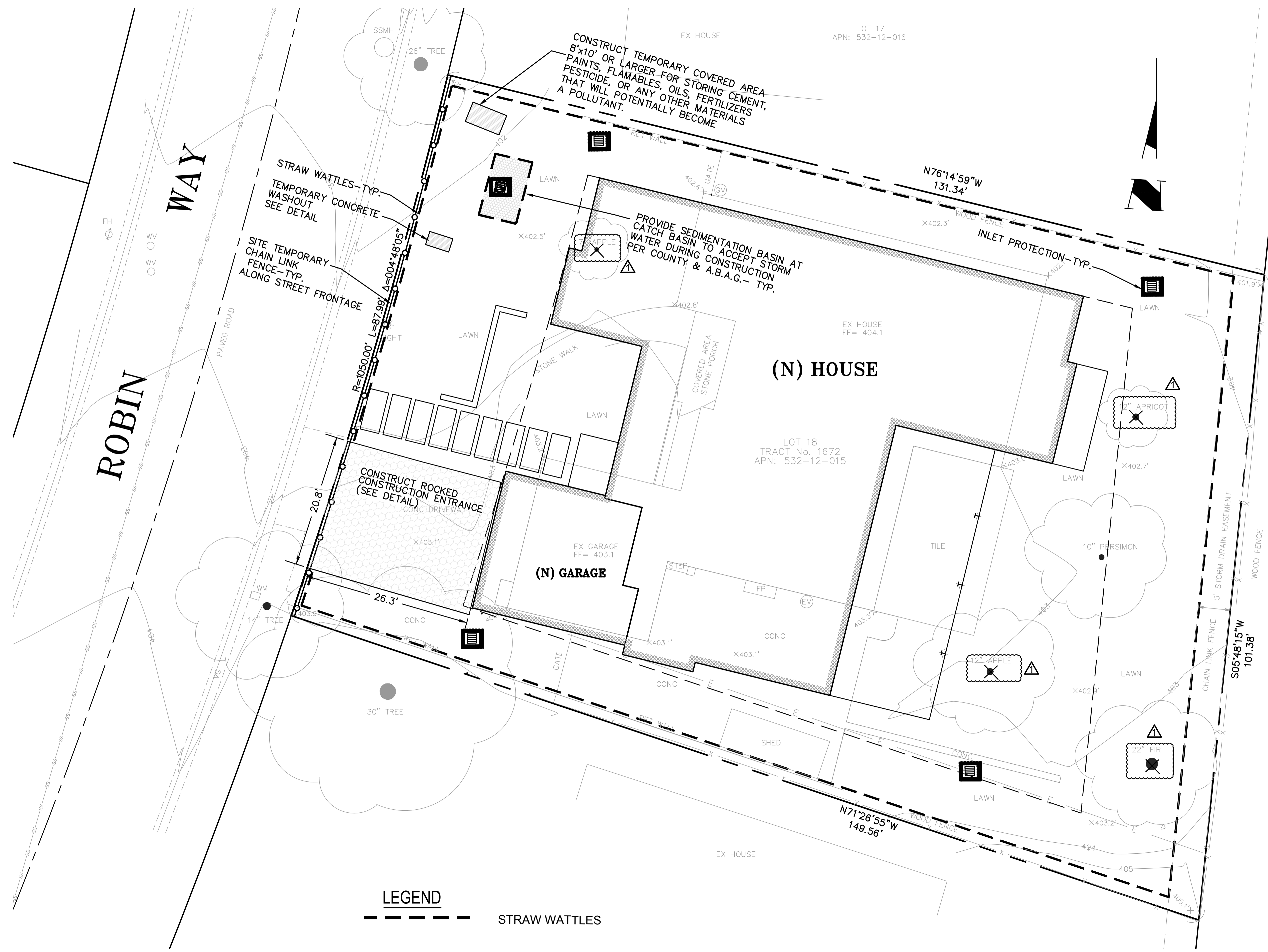
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

SEQUENCE OF CONSTRUCTION

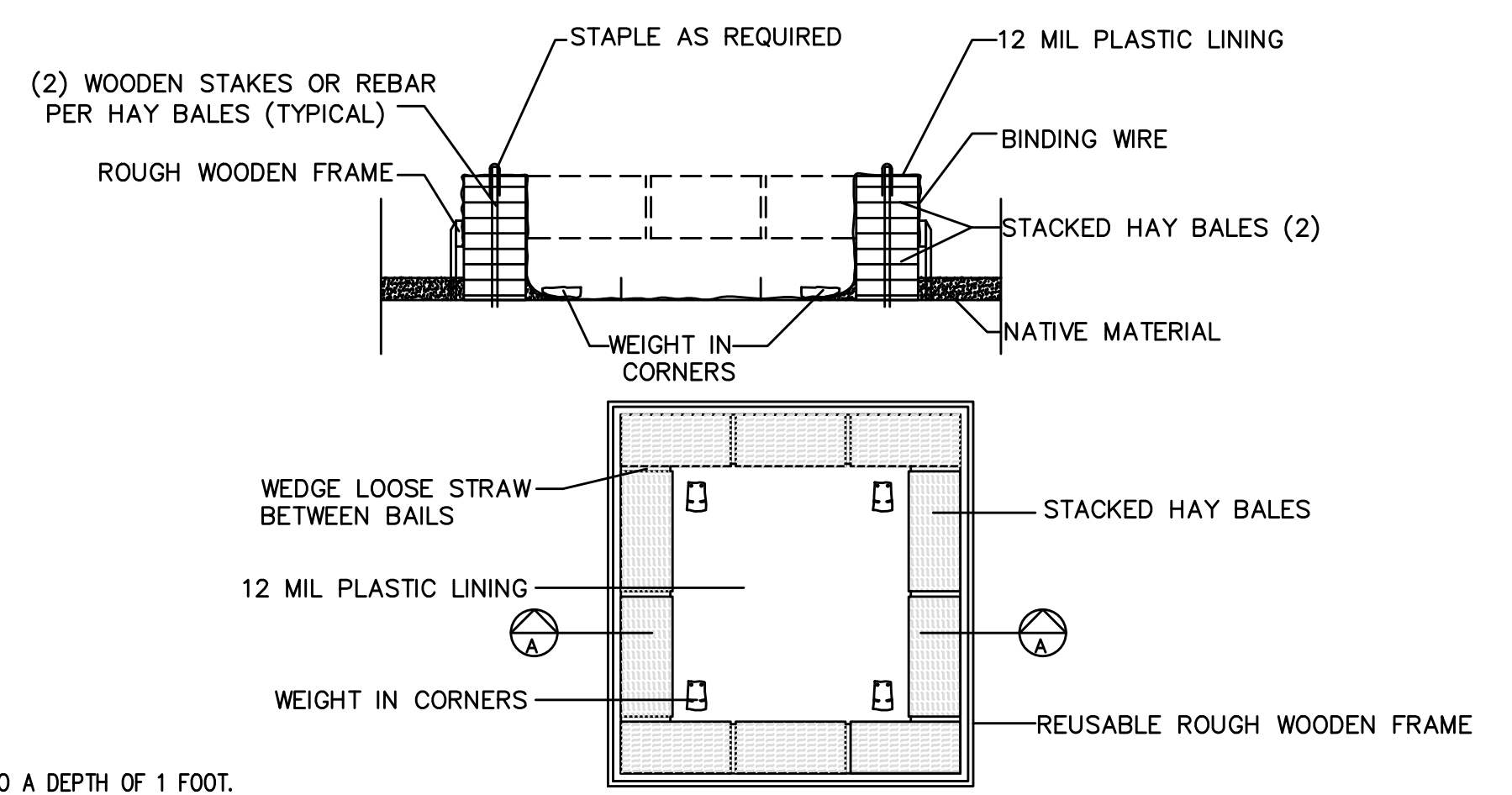
1. INSTALL STABILIZED CONSTRUCTION ENTRANCE.
2. CONSTRUCT AND MAINTAIN TEMPORARY CHAIN LINK FENCE AT THE SITE PERIMETER.
3. CONSTRUCT FIBER ROLLS ON THE SITE PERIMETER.
4. PROVIDE WATER ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.
5. CLEAR AND GRUB THE SITE.
6. BEGIN GRADING THE SITE.
7. INSTALL CHECK DAMS, SEDIMENT TRAPS AND BASINS, TEMPORARY SWALES.
8. COMPLETE GRADING AND INSTALL PERMANENT SEEDING AND PLANTING.
9. REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES (ONLY IF SITE IS STABILIZED).

MAINTENANCE NOTES

1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.
2. SAND BAG INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.



LEGEND
 STRAW WATTLES

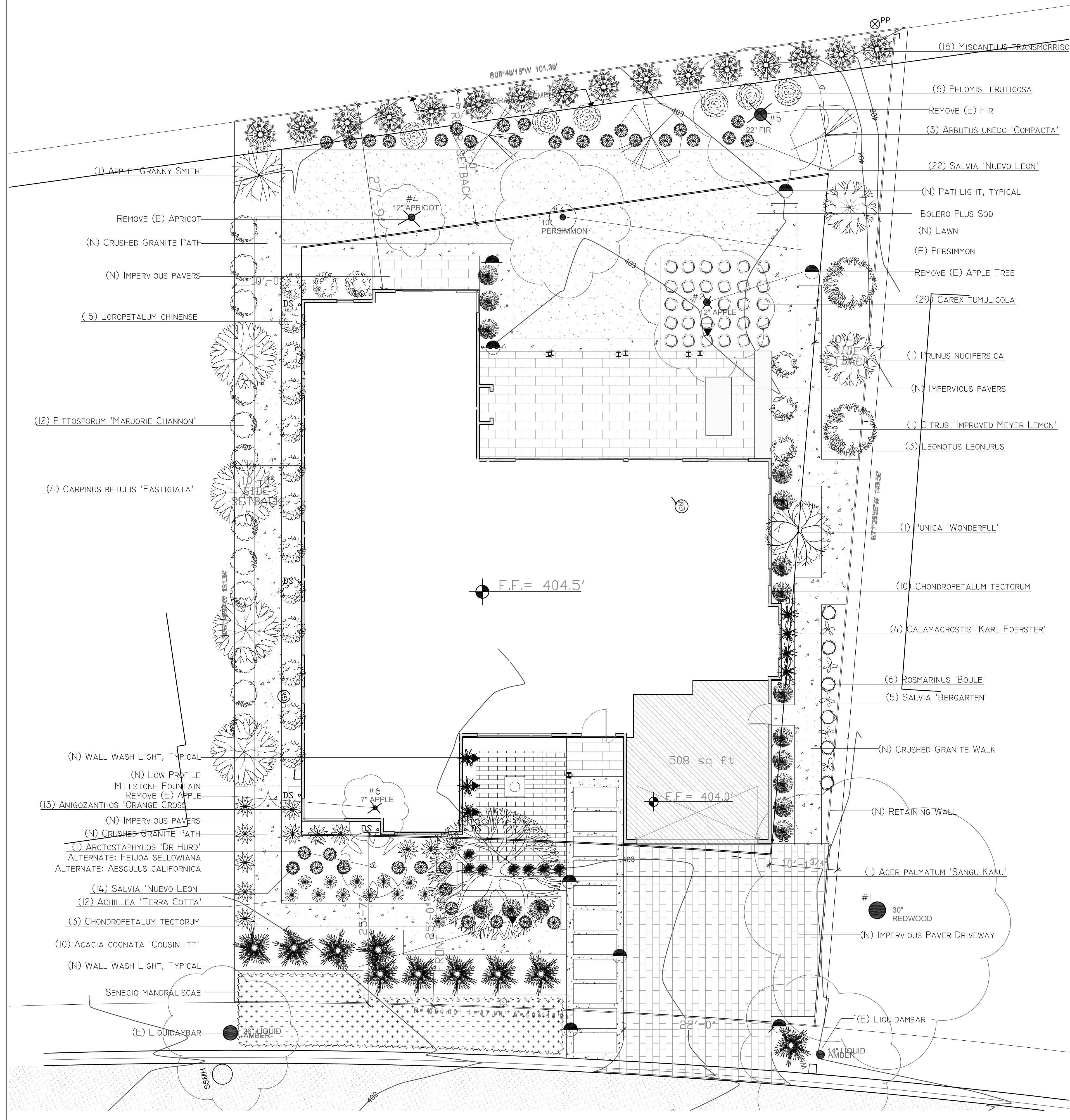


TEMPORARY CONCRETE WASHOUT FACILITY (ABOVE GRADE)
 NTS

NPDES NOTES

1. Sediment from areas disturbed by construction shall be retained on site using structural controls as required by the statewide General Construction Stormwater Permit.
2. Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities or adjacent properties via runoff, vehicle tracking, or wind as required by the statewide General Construction Stormwater Permit.
3. Appropriate BMPs for construction-related materials, wastes, spill or residues shall be implemented to minimize transport from the site to streets, drainage facilities, or adjoining property by wind or runoff as required by the statewide General Construction Stormwater Permit.
4. Runoff from equipment and vehicle washing shall be contained at construction sites and must not be discharged to receiving waters or to the local storm drain system.
5. All construction contractor and subcontractor personnel are to be made aware of the required best management practices and good housekeeping measures for the project site and any associated construction staging areas.
6. At the end of each day of construction activity all construction debris and waste materials shall be collected and properly disposed in trash or recycle bins.
7. Construction sites shall be maintained in such a condition that a storm does not carry wastes or pollutants off the site. Discharges of material other than stormwater (nonstormwater discharges) are prohibited except as authorized by an individual NPDES permit or the statewide General Construction Stormwater Permit. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, solvents, detergents, glues, lime, pesticides, herbicides, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete and related cutting or curing residues; floatable wastes; wastes from engine/equipment steam cleaning or chemical degreasing; wastes from street cleaning; and superheated potable water from line flushing and testing. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
8. Discharging contaminated groundwater produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities requires a National Pollutant Discharge Elimination System (NPDES) permit from the respective State Regional Water Quality Control Board.

Last updated: 8/18/2011



PLANTING NOTES

SOIL PREP
 USE 3 CU. YDS. ORGANIC AMENDMENT/ 1000 SQ. FT. IN ALL GROUNDCOVER AND TURF AREAS. INCORPORATE INTO SOIL BY TILLING TO A DEPTH OF 6 INCHES.

PLANT MATERIAL
 A. QUALITY AND SIZE OF PLANT MATERIALS SHOULD CONFORM TO THE CALIFORNIA GRADING CODE OF NURSERY STOCK, NO. 1 GRADE. THIS REQUIRES THAT STOCK, WHEN SOLD, SHOULD NOT BE DEAD OR IN A DYING CONDITION, FROZEN, OR DAMAGED, AND SHOULD NOT SHOW EVIDENCE OF HAVING HAD ROOT RESTRICTION IN PREVIOUS CONTAINERS OR BE ABNORMALLY POT-BOUND. ALL PLANTS SHOULD BE OF A REASONABLY UNIFORM AND STANDARDIZED SIZE FOR EACH SPECIES, WELL FORMED, AND IN A HEALTHY, FULLY ROOTED, THRIVING CONDITION.
 B. ALL PLANTS SHOULD BE TRUE TO TYPE OR NAME, BY SPECIES AND VARIETY, AS REQUIRED BY THE CALIFORNIA FOOD AND AGRICULTURE CODE.
 C. ALL PLANTS SHOULD BE TYPICAL OF THEIR SPECIES AND VARIETY AND SHOULD HAVE NORMAL HABIT OF GROWTH. THE TOP GROWTH SHOULD BE STRUCTURED PROPORTIONATELY SO THAT IT IS REPRESENTATIVE OF THE SPECIES.
 D. ALL PLANTS SHOULD COMPLY WITH FEDERAL AND STATE LAWS REQUIRING INSPECTION FOR PLANT DISEASES AND INFESTATIONS. INSPECTION CERTIFICATE REQUIRED BY LAW SHOULD ACCOMPANY EACH SHIPMENT OF PLANTS, UNLESS PLANTS ARE AUTHORIZED TO BE COLLECTED.
 E. CONTAINER-GROWN PLANTS SHOULD BE SUFFICIENTLY ESTABLISHED SO THAT A MINIMUM OF 75% OF EACH ROOT BALL STAYS INTACT DURING PLANTING. WHEN LIFTED BY THE TRUNK, THE TRUNK SHOULD RISE NO MORE THAN ONE INCH BEFORE THE SOIL SURFACE OF THE ROOT BALL BEGINS TO RISE. WHEN UNSUPPORTED, THE TRUNK OF TREES SHOULD LEAN NO MORE THAN 30 DEGREES FROM THE VERTICAL WHEN MEASURED WITHIN FOUR INCHES OF THE ROOT BALL.

PLANTING
 DIG PLANTING HOLE TO A DEPTH 1-1/2 TIMES THE DEPTH OF THE ROOT BALL, AND TWICE AS WIDE. BACKFILL WITH 1/3 ORGANIC AMENDMENT AND 2/3 NATIVE SOIL. FERTILIZE WITH AGRIFORM FERTILIZER TABLETS ACCORDING TO PLANT SIZE.
 1 GAL PLANT = 1 TABLET
 5 GAL PLANT = 3 TABLETS
 15 GAL PLANT = 5 TABLETS
 BOX TREES = 1 TABLET/ (3) INCHES OF BOX WIDTH

BARK MULCH
 INSTALL A 3 INCH LAYER OF SHREDDED GORILLA HAIR MULCH IN ALL SHRUB AND GROUNDCOVER AREAS.

IRRIGATION
 ALL LANDSCAPED AREAS SHALL BE IRRIGATED BY APPROPRIATE IRRIGATION MEASURES MEETING THE MWEL0 REQUIREMENTS.

PLANT LEGEND

QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	WUCOLS
10		ACACIA COGNATA 'COUSIN ITT'	COUSIN ITT LITTLE RIVER WATTLE	5-GAL	LOW
1		ACER PALMATUM 'SANGU KAKU'	CORAL BARK MAPLE	24"-BOX	MODERATE
12		ACHILLEA 'TERRA COTTA'	YARROW	1 GAL	LOW
13		ANIGOZANTHOS 'ORANGE CROSS'	KANGAROO'S PAW	5-GAL	MODERATE
1		APPLE 'GRANNY SMITH'	GRANNY SMITH APPLE	TRANSPLANT	MODERATE
3		ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY MADRONE	24"-BOX	LOW
1		ARCTOSTAPHYLOS 'DR. HURD'	DR. HURD MANZANITA	15 GAL NLB	LOW
7		CALAMAGROSTIS 'KARL FOERSTER'	FEATHER GRASS	1 GAL	MODERATE
7		CALAMAGROSTIS FOLIOSA	LEAFY REED GRASS	1 GAL	MODERATE
29		CAREX TUMULICOLA	BERKELEY SEDGE	1-GAL	LOW
4		CARPINUS BETULIS 'FASTIGIATA'	HORNBEAM	15 GAL STD	LOW
16		CHONDROPETALUM TECTORUM	CAPE REED	5-GAL	LOW
2		CITRUS 'IMPROVED MEYER LEMON'	MEYER LEMON	15-GAL	MODERATE
3		LEONOTUS LEONURUS	LION'S TAIL	1-GAL	LOW
15		LOROPETALUM CHINENSE	CHINESE FRINGE FLOWER	5-GAL	LOW
16		MISCANTHUS TRANSMORRISONENSIS	EVERGREEN EULALIA	1 GAL	MODERATE
6		PHLOMIS FRUTICOSA	JERUSALEM SAGE	5-GAL	LOW
12		PITTOSPORUM 'MARJORIE CHANNON'	VARIEGATED KOHUUHU	5-GAL	MODERATE
2		PRUNUS NUCIPERSICA 'DOUBLE DELIGHT'	YELLOW NECTARINE	15-GAL	MODERATE
1		PUNICA 'WONDERFUL'	POMEGRANATE	15-GAL	LOW
6		ROSMARINUS 'BOULE'	DWARF ROSEMARY	1 GAL	LOW
36		SALVIA 'NUEVO LEON'	NUEVO LEON SALVIA	1 GAL	LOW
5		SALVIA 'BERGARTEN'	BERGARTEN SAGE	1 GAL	LOW

PLANT MIXES

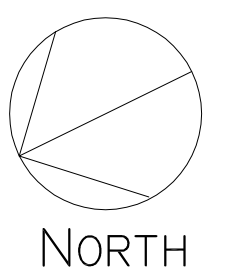
QTY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	PLANTING SIZE	WUCOLS
1570		FESTUCA CALIFORNICA 'BOLERO PLUS'	CALIFORNIA FESCUE	SOD	MODERATE
61		SENECIO MANDRALISCAE	BLUE CHALK STICKS	4" POT	LOW

Revisions	Date	By
Rev#1	12/9/19	TAJ
Rev#2	2/6/20	TAJ

Plans By:
 Ambience Garden Design
 530 Lawrence Expwy
 Mailbox #377
 Sunnyvale, CA 94085
 C-27 Lic #1003318
 LA Lic #6251

Phone: (408) 990-6999
 (By Appointment Only)
 www.gardendezine.com

Landscape Plan



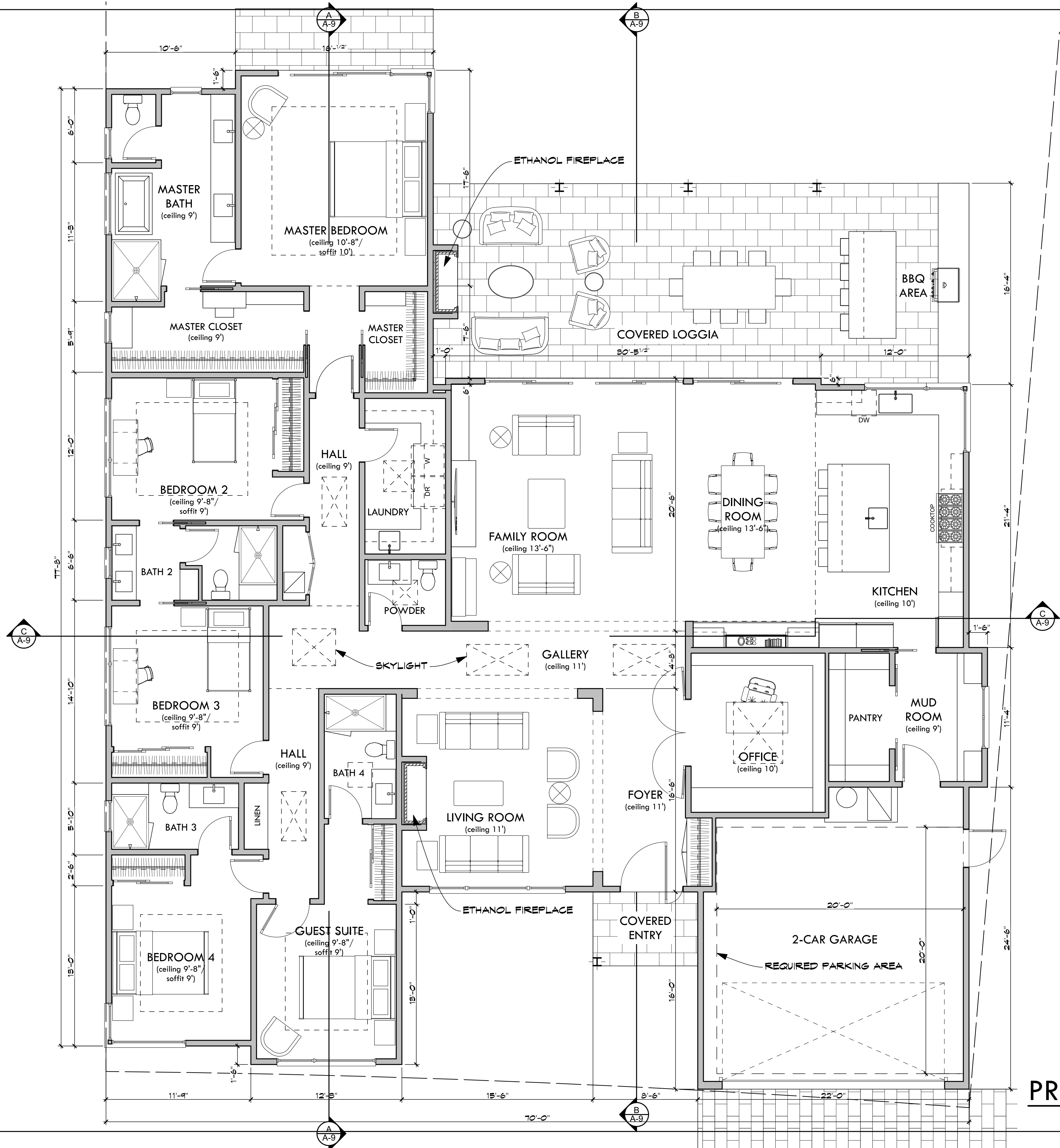
Dehkordi Residence
 146 Robin Way
 Los Gatos, CA

Scale: 1/8" = 1'-0"

Date: 11/8/2019

Drawn By: TAJ

Job No.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS	
A.	01/08/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

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A NEW RESIDENCE:
THE DEHKORDI RESIDENCE
 146 ROBIN WAY
 LOS GATOS, CA

PROPOSED FLOOR PLAN

DATE: 11/12/19

SCALE: AS SHOWN

SHEET

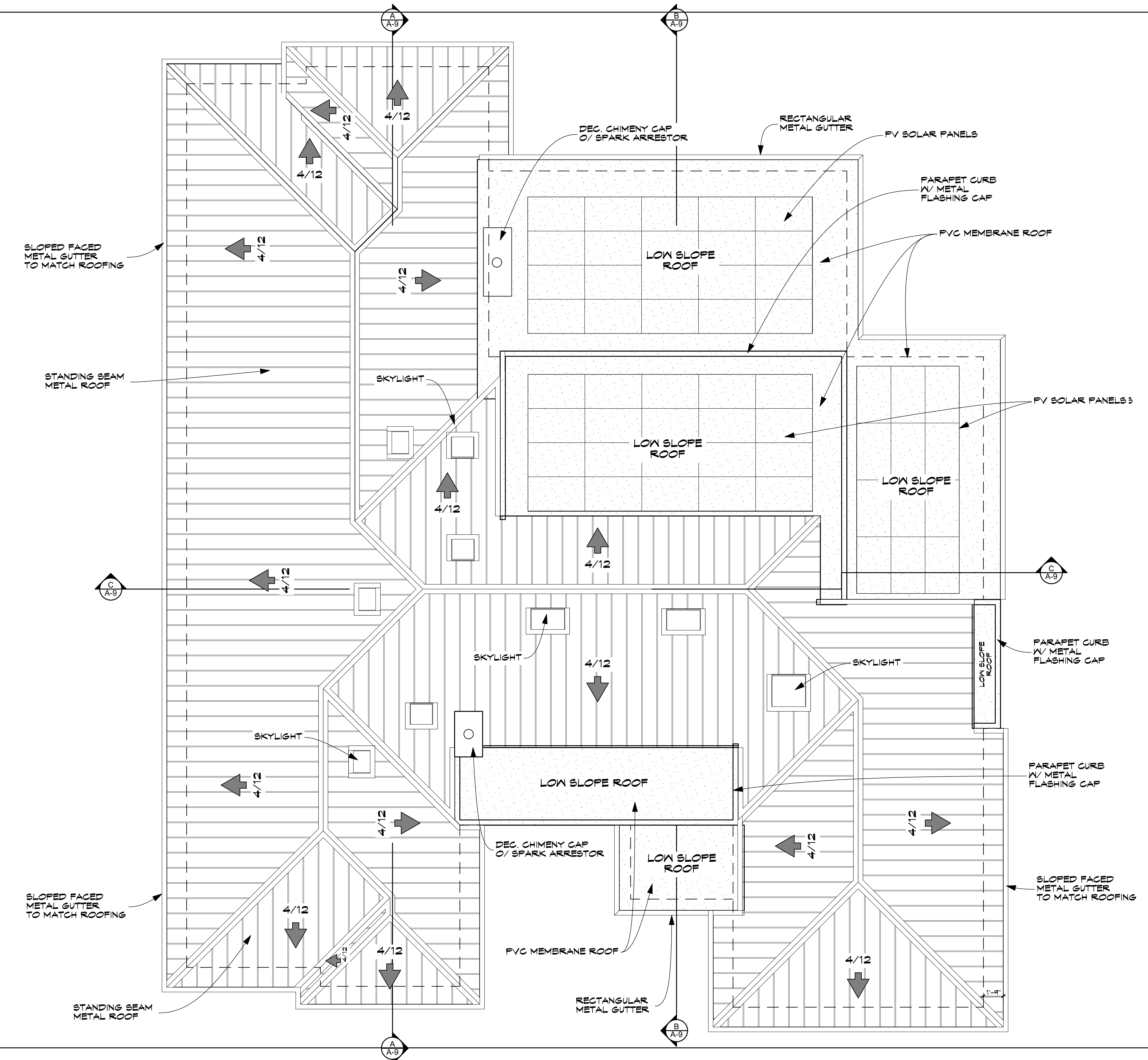
A-5

10 OF -

REVISIONS	
A.	01/08/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

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 LOS GATOS, CA



ROOF PLAN
 SCALE: 1/4" = 1'-0"

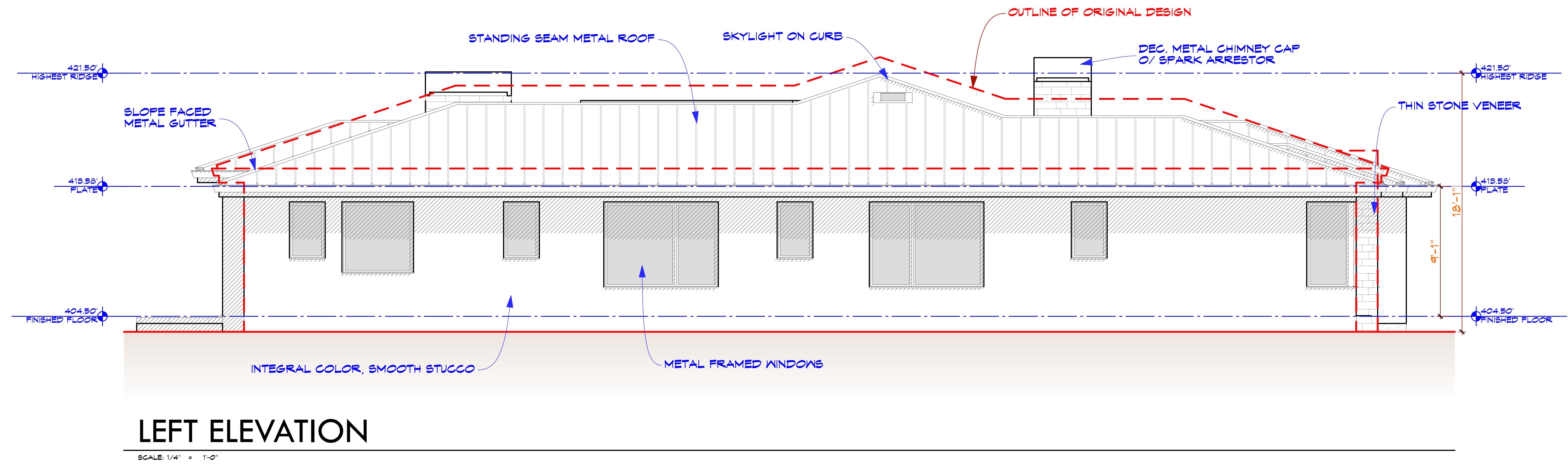
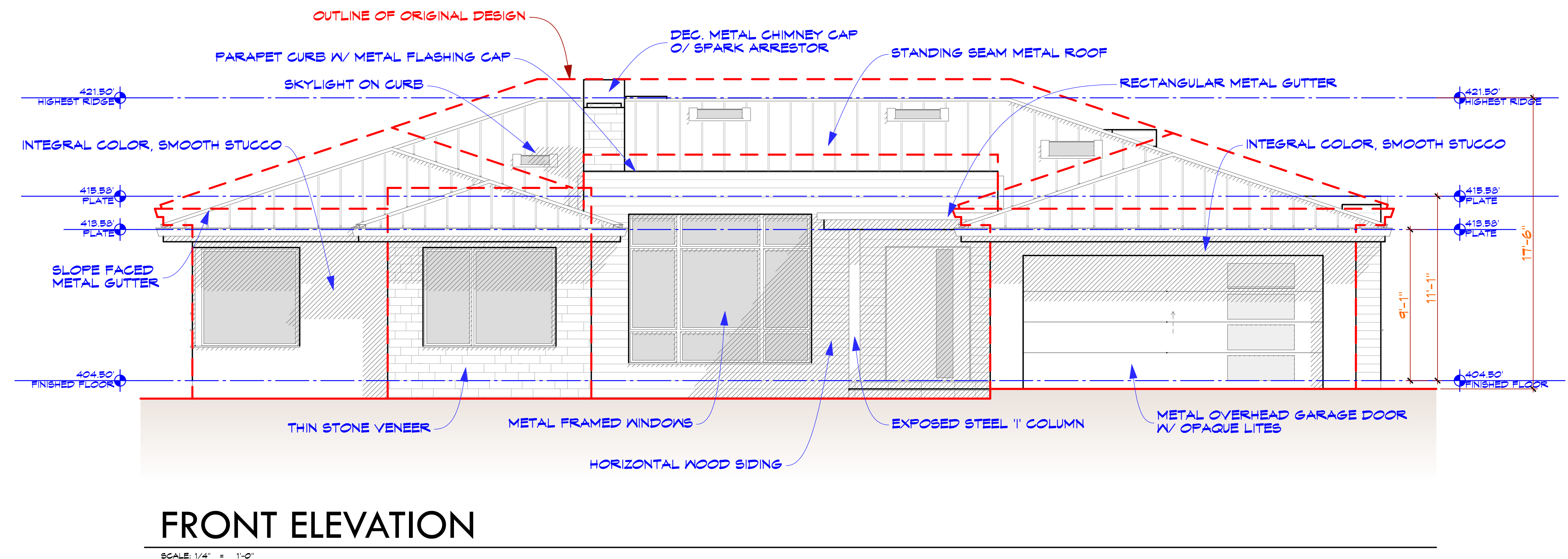
ROOF PLAN
 DATE: 11/12/19
 SCALE: AS SHOWN
 SHEET
A-6
 11 OF -

REVISIONS	
A.	01/08/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

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A NEW RESIDENCE:
THE DEKORDI RESIDENCE
 146 ROBIN WAY
 LOS GATOS, CA

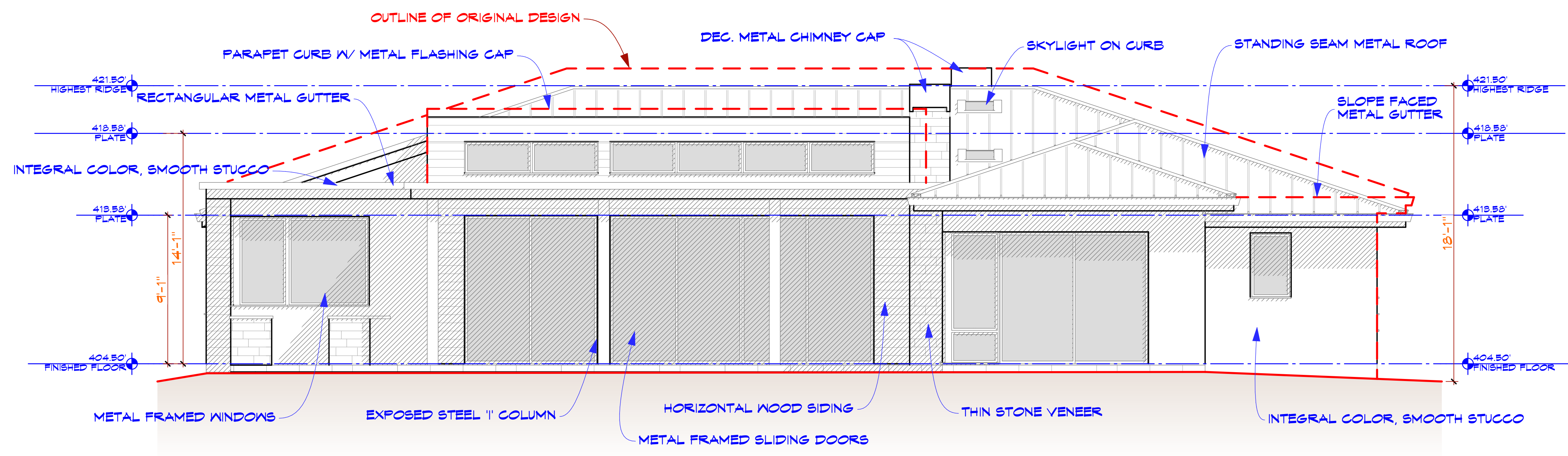
FRONT & LEFT ELEVATIONS
 DATE: 11/12/19
 SCALE: AS SHOWN
 SHEET
A-7
 12 OF -



REVISIONS	
A.	01/08/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

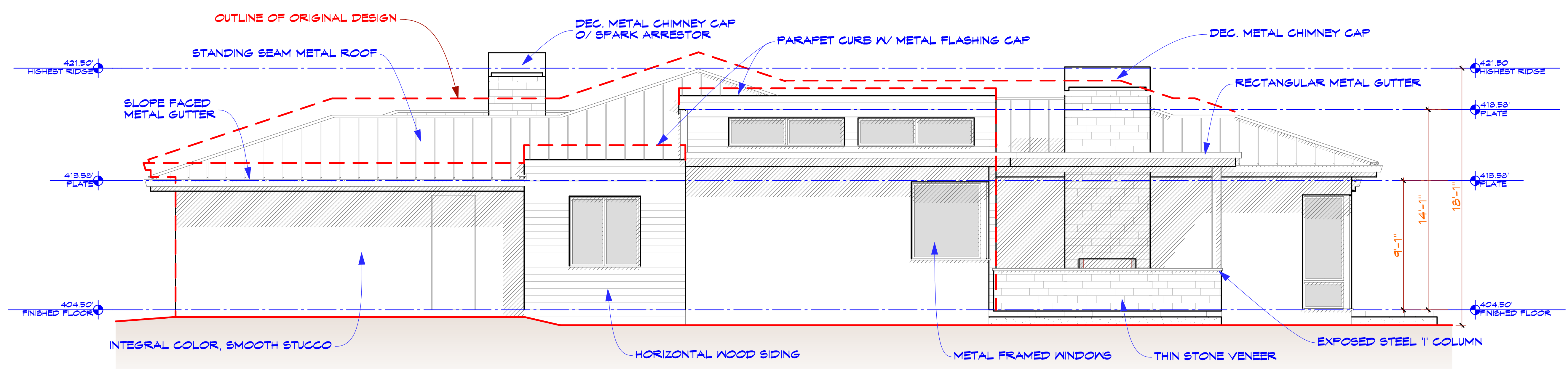
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 146 ROBIN WAY
 LOS GATOS, CA



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

REAR &
 RIGHT
 ELEVATIONS

DATE: 11/12/19

SCALE: AS SHOWN

SHEET

A-8

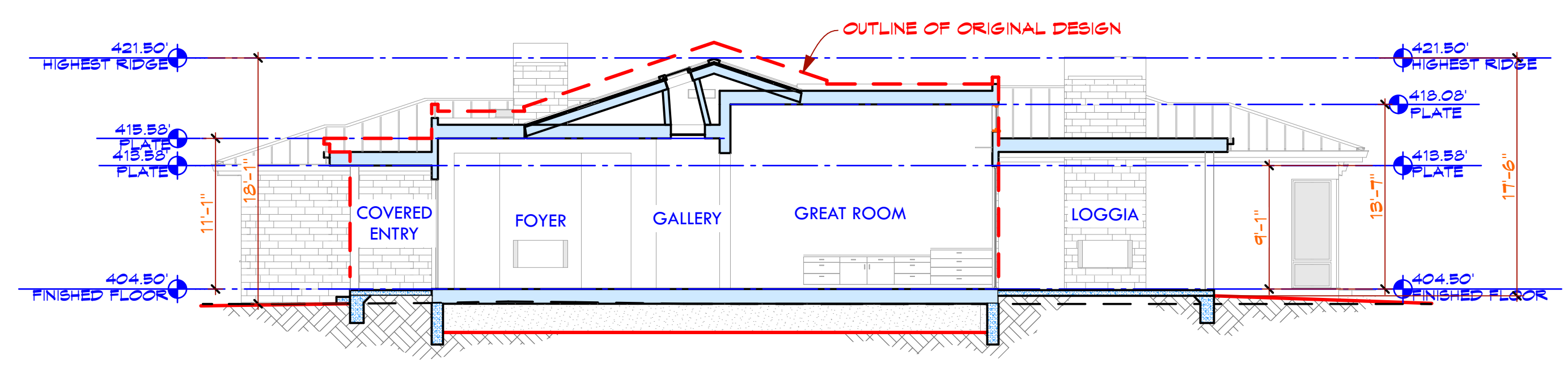
13 OF -

REVISIONS	
A.	01/09/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

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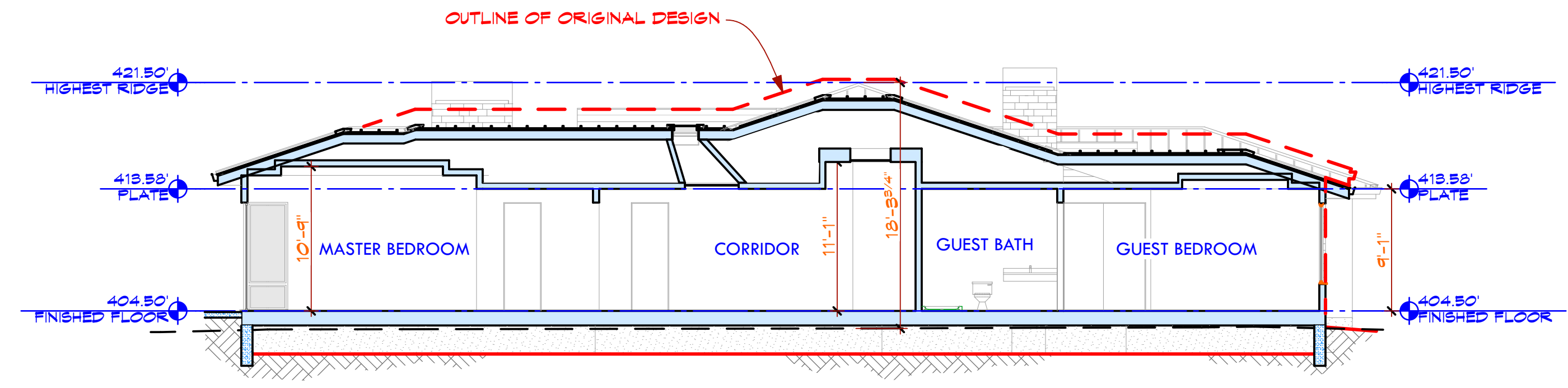
A NEW RESIDENCE:
THE DEHKORDI RESIDENCE
 146 ROBIN WAY
 LOS GATOS, CA

CROSS SECTIONS
 DATE: 11/12/19
 SCALE: AS SHOWN
 SHEET
A-9
 14 OF -



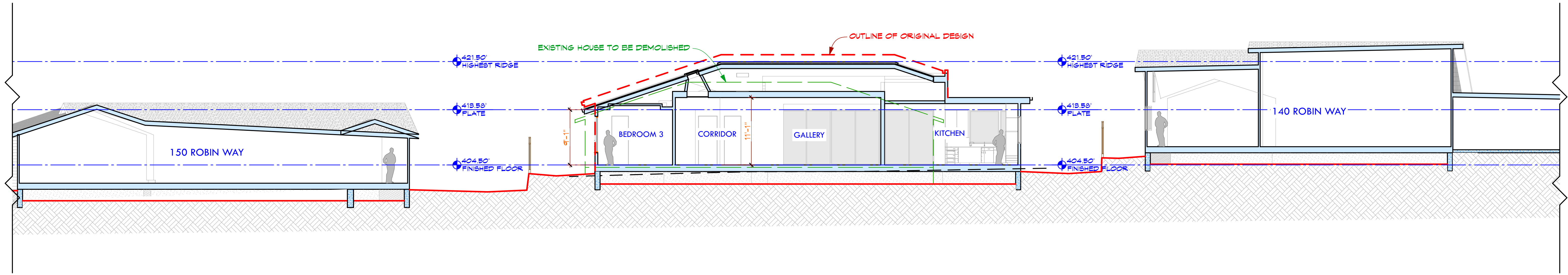
SECTION B-B

SCALE: 1/8" = 1'-0"



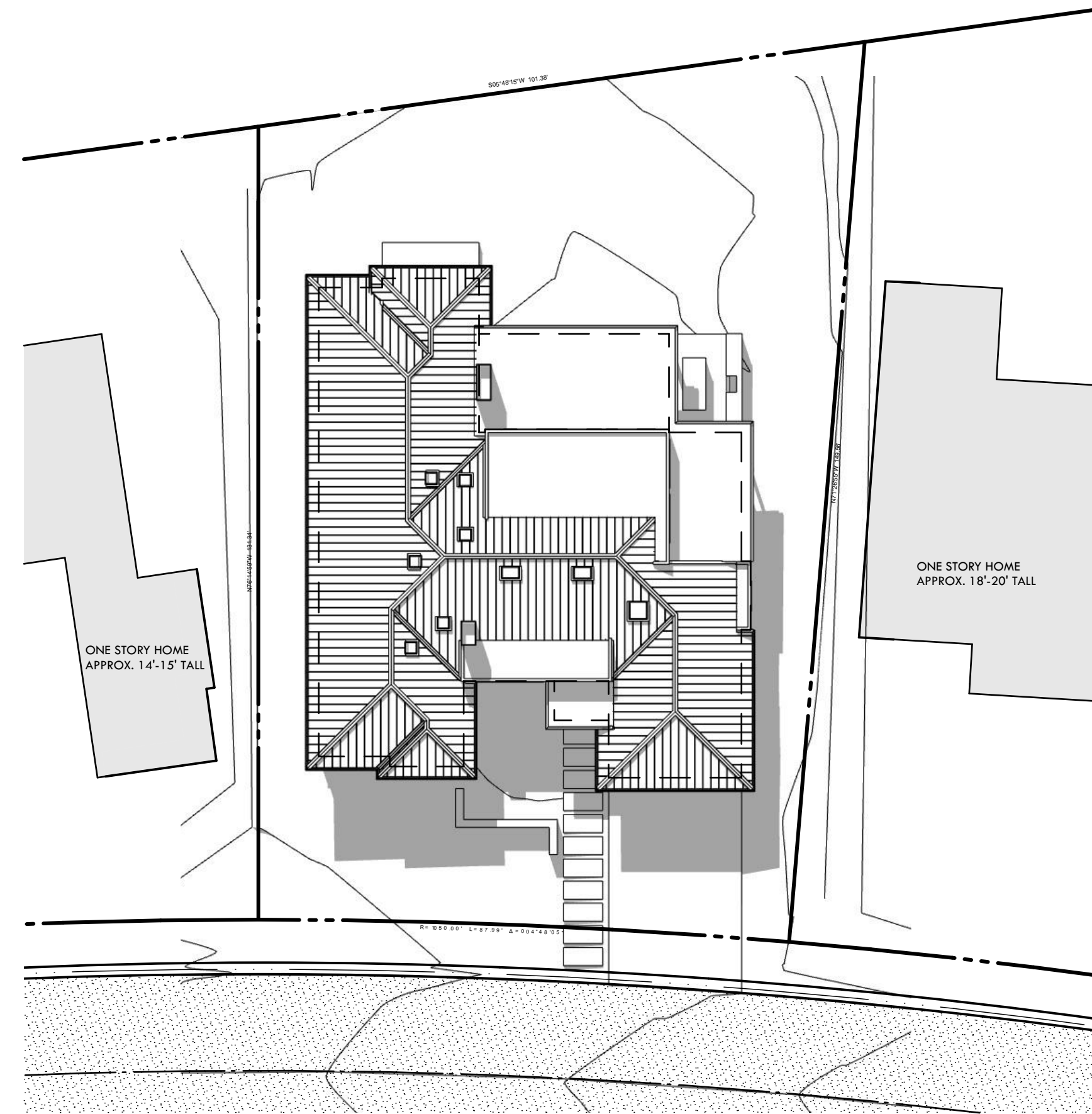
SECTION A-A

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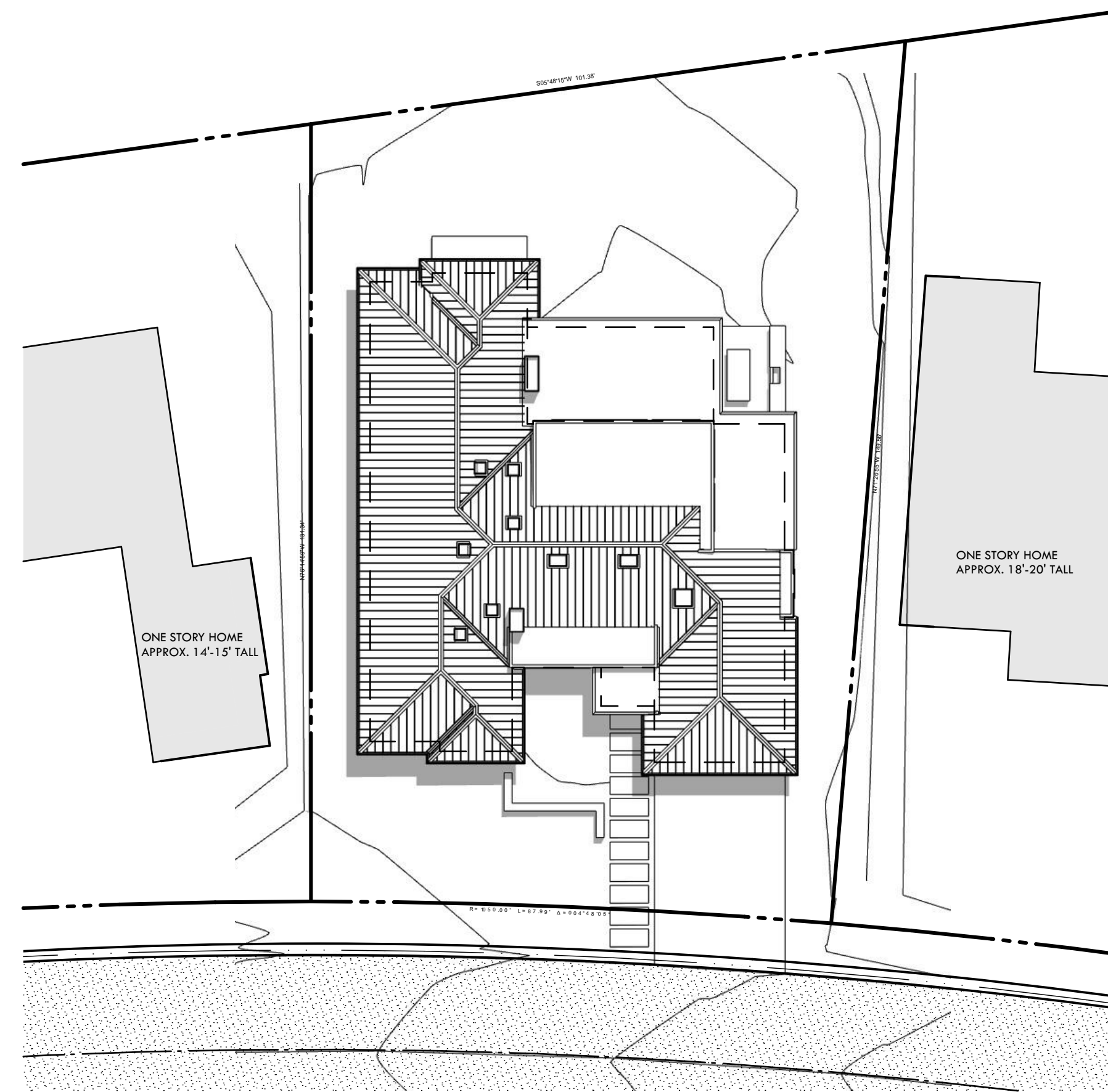


SECTION C-C

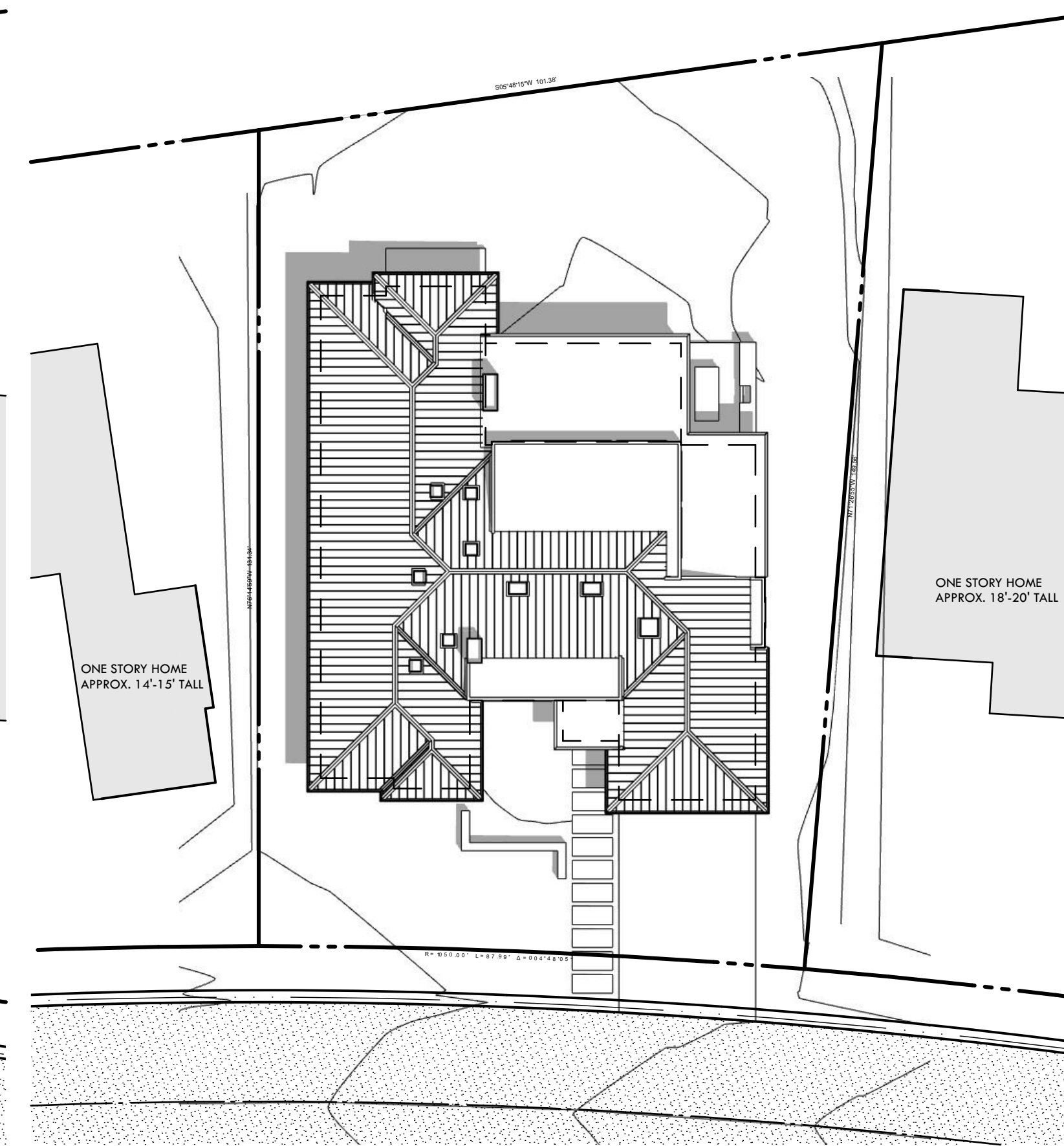
SCALE: 1/8" = 1'-0"



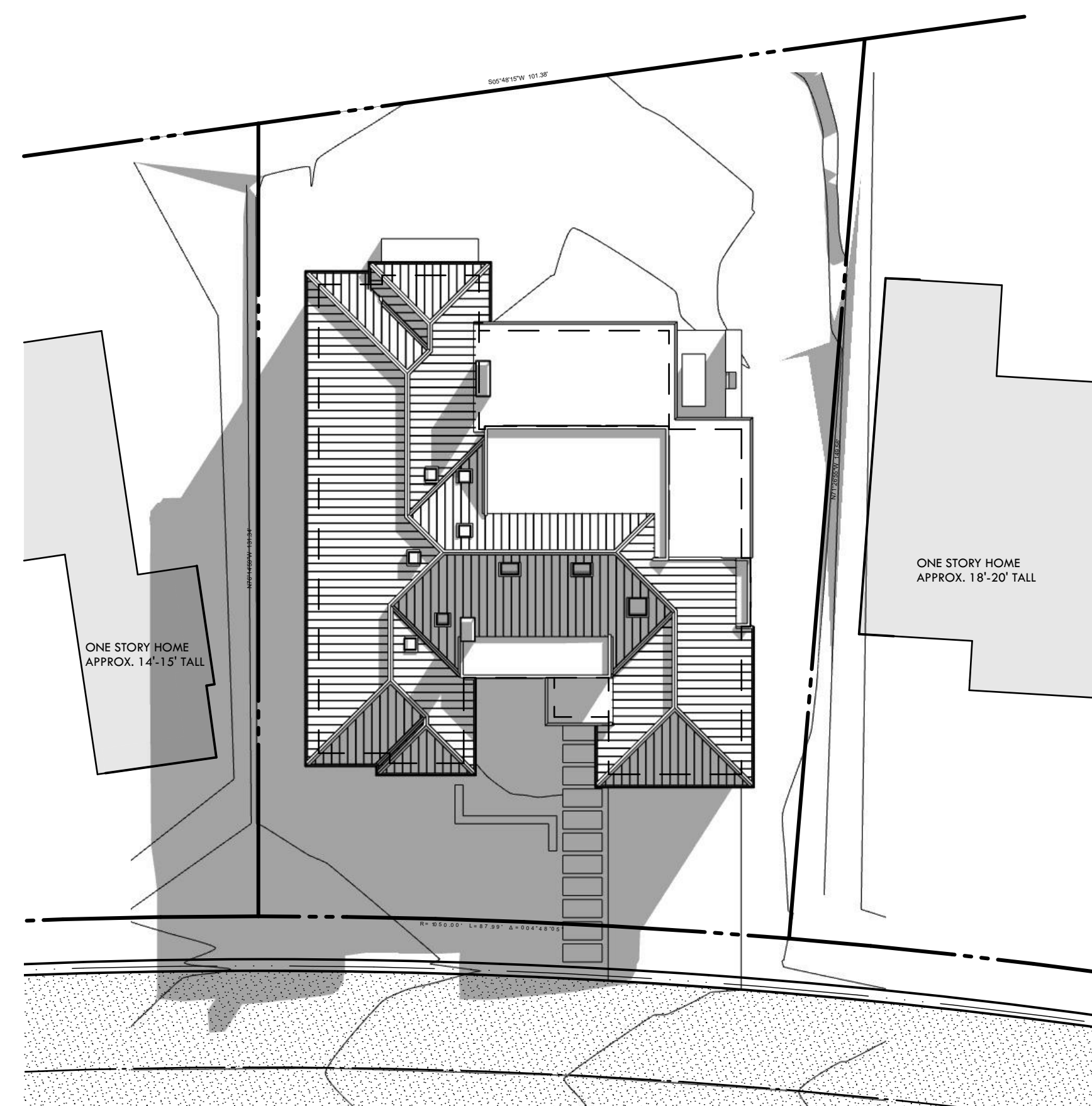
June 21, 9am



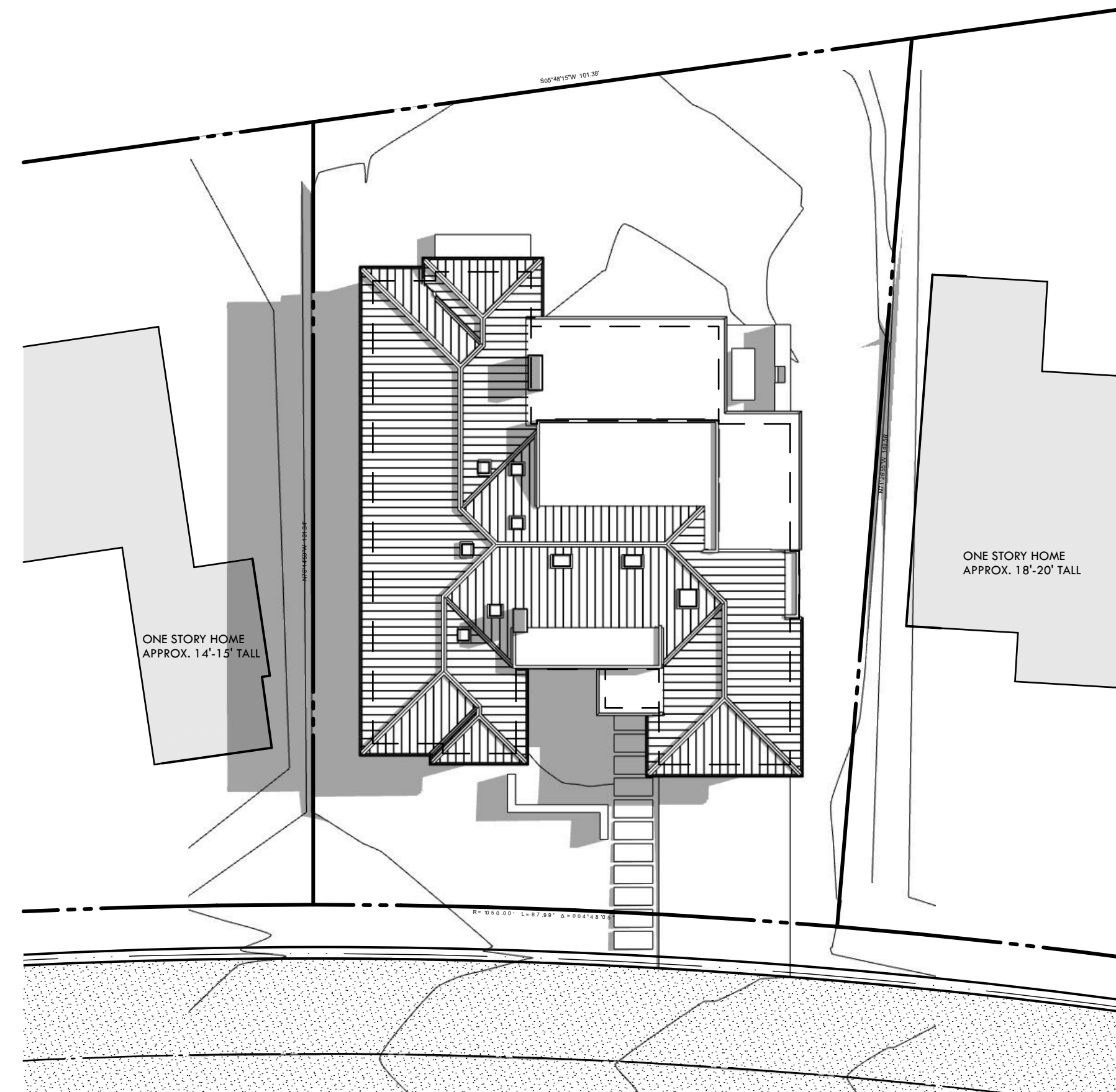
June 21, 12pm



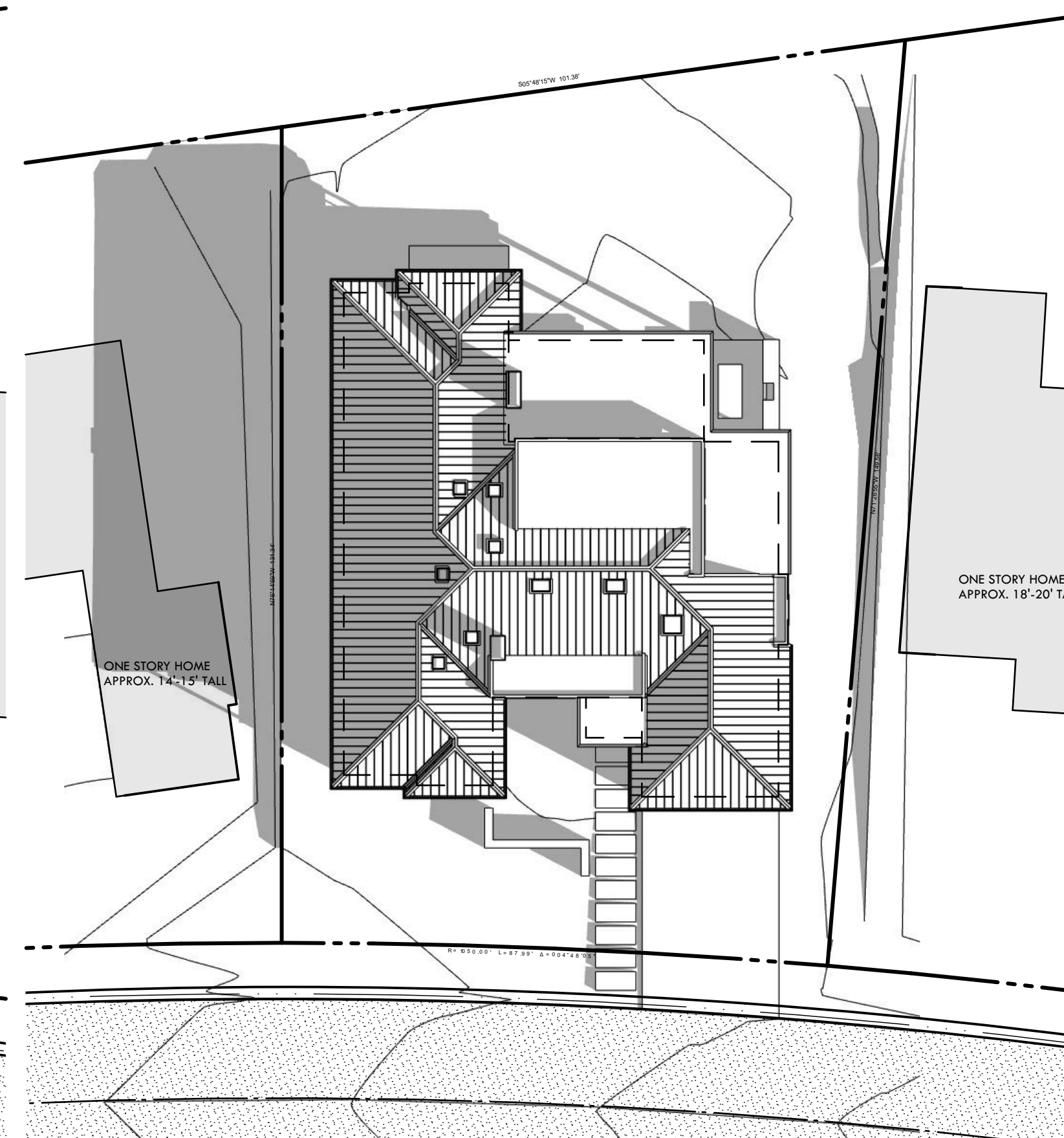
June 21, 3pm



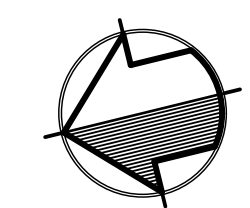
December 21, 9am



December 21, 12pm



December 21, 3pm



SHADOW STUDIES
SCALE: 1" = 20'

REVISIONS	
A.	01/08/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

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A NEW RESIDENCE:
THE DEHKORDI RESIDENCE
146 ROBIN WAY
LOS GATOS, CA

SHADOW STUDIES
DATE: 11/12/19
SCALE: AS SHOWN
SHEET
A-10
15 OF -

REVISIONS	
A.	01/09/20
B.	01/21/20
C.	02/10/20
D.	03/28/20

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 146 ROBIN WAY
 LOS GATOS, CA



STREET VIEW 1



STREET VIEW 2



REAR VIEW 1



REAR VIEW 2

3D VIEWS

DATE: 11/12/19
 SCALE: AS SHOWN
 SHEET

A-11
 16 OF -