



**TOWN OF LOS GATOS
FIFTH STAFF TECHNICAL
REVIEW COMMENTS**

**STAFF TECHNICAL REVIEW
PLANNING DIVISION
September 17, 2025**

**ITEM 4: 14288 Capri Drive
Architecture and Site Application S-24-044**

Requesting Approval for Demolition of an Existing Commercial Building, Construction of a Multi-Family Residential Development (119 Apartment Units), Site Work Requiring a Grading Permit, and Removal of Large Protected Trees Under Senate Bill 330 (SB 330) on Property Zoned C-1. APN 406-30-016. CEQA Review is Pending.

PROPERTY OWNER: Los Gatos LLC.

APPLICANT: Kurt B. Anderson.

PROJECT PLANNER: Ryan Safty
LAST REVIEWED BY STAFF: 9/18/24, 1/8/25, 4/23/25, 8/14/25
SUBMITTAL DATE: 8/23/24

DETERMINATION: This planning application resubmitted to the Town on August 22, 2025, is deemed COMPLETE effective September 17, 2025. In conformance with Section 65589.5(j)(2), this letter provides written documentation identifying the applicable plans, programs, policies, ordinances, standards, requirements, and similar provisions that the project is inconsistent with, and the reasons the project is inconsistent.

The Town is currently seeking a judicial determination regarding the correct interpretation of Government Code Section 65941.1(e). Under the Town's interpretation, the vesting provided by your preliminary application has expired prior to this completeness determination. However, if requested by you, the Town will continue to process this planning application, at your own risk, under the vesting provided by your preliminary application, pending a judicial determination regarding the effect of Government Code Section 65941.1(e) upon any vesting provided by your preliminary application.

The following comments apply to the most recent submittal. Resubmittal of plans and application materials to address inconsistencies noted herein is required. Comments that have been resolved are shown in ~~strikeout~~, additional notes are provided in **green** for those that remain outstanding.

When resubmitting, please continue to provide the Town with two printed, full-sized plan sets (24" by 36").





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ENVIRONMENTAL: CEQA review is pending.

SUBMITTAL NOTE: The July 2025 resubmittal documents erroneously refer to the “New Residential Submittal Requirements” as the appropriate application package and submittal requirements to follow. This is not the application package for a discretionary planning application. Instead, this is a Building Permit Application submittal guide. If you click on the link to the (incorrect) application package which your letters refer to, “New Residential Submittal Requirements”, you will see the following:

<https://www.losgatosca.gov/DocumentCenter/View/23918/New-Residential-Submittal-Requirements-and-Application-PDF?bidId=>

			TOWN OF LOS GATOS BUILDING PERMIT APPLICATION
Upload Completed Application via your Citizen's Portal Account: https://permits.losgatosca.gov/Login-and-Manage-My-Records			
INCOMPLETE APPLICATIONS WILL RESULT IN EXTENDED PROCESSING TIME			
*PROJECT ADDRESS		*APN#	
*PROPERTY OWNER NAME	*PHONE - REQUIRED	E-MAIL	
*STREET ADDRESS	*CITY, STATE, ZIP	FAX	
APPLICANT NAME	PHONE	E-MAIL	

	TOWN OF LOS GATOS NEW RESIDENTIAL SUBMITTAL REQUIREMENTS
<p>In order to process your request for a building permit, please submit the items listed below and include this completed checklist in your submittal. We do not accept submittals by mail or courier. A plan check fee will be required after the preapplication process is completed. If one or more required items are not submitted, the application will be considered incomplete and will not be accepted.</p>	

The **correct application package**, which is what your team signed and submitted when applying for this application, can be found via the link below.

<https://www.losgatosca.gov/DocumentCenter/View/361/Development-Review-Application-Package-PDF?bidId=>

PROJECT DEFICIENCIES RELATED TO APPLICATION COMPLETENESS: NONE



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CONSISTENCY ISSUES: While conducting the completeness review of your planning application, staff had previously identified consistency issues that were observed and had provided them as “courtesy consistency comments” while the application was incomplete. The following list constitutes the Consistency Review for Planning, in conformance with Section 65589.5(j)(2). Items underlined are new (consistency) comments based on new information provided as part of the July and August 2025 resubmittal to the Town. Although a resubmittal occurred in August 2025, only the outstanding completeness items were addressed and no response letters were received, so these consistency comments from August 14, 2025, remain outstanding.

PROJECT CONSISTENCY RELATED ITEMS: LETTERS

- 1) Multi-Family Residential is not a principally permitted use (or an allowed conditional use) in the C-1 zone. The C-1 zone allows “multiple-family dwelling (in a mixed-use project)” with a conditional use permit. You must apply for a Conditional Use Permit, and request that the “mixed-use” component of the be removed as a part of the application.
 - Contact project planner when you are ready to pay the CUP fee, and staff will invoice. Please also confirm if you will be paying by check or credit card.
 - **Previous deficiency comment moved to consistency.**
 - This remains outstanding. The fee is now \$3,524.26 based on the Town’s new fee schedule. See the Town’s letters from March 3, 2025, and May 27, 2025, addressing this comment and applicant responses in detail. The application materials continue to make the same argument, without responding to the Town’s responses.
 - The response letter submitted on July 18, 2025, as well as the letter from the Law Office of Richard Jacobs dated May 16, 2025, state that this requirement is not in the “New Residential Submittal Requirements.” As noted in the staff’s response to the May 16, 2025, letter, the “New Residential Submittal Requirements” is not the Town’s submittal checklist for a discretionary planning application. The “New Residential Submittal Requirements” is a checklist for Building Permit submittals.
- 2) ~~Provide photographs of the existing development on-site. The photographs on the plans just show street views (Google) and do not include the interior of the lot and existing structures and sheds.~~
- 3) CEQA: Clarify whether the applicant team anticipates providing any technical studies related to environmental analysis (traffic, habitat, cultural, air quality, noise, soils etc.) for peer review by the Town Environmental Consultants. If not provided, the studies determined to be required by the Environmental Consultant will be prepared by the Town Environmental Consultants at the cost of the applicant.
 - *You previously indicated via email that your team will prepare an Arborist Report and Traffic Study. Please confirm. Additionally, an email was forwarded to your team on*



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- 9/13/24, requesting some additional information in the Phase I ESA and the Noise Report. Please provide a response.*
- The response letter uploaded in July 2025 states that, “under the new laws passed, CEQA no longer applies to this project.” Please specify which CEQA exemption you believe applies to this project, and provide substantial evidence that the project meets each requirement of the exemption. Staff will then review to determine eligibility.
- 4) CEQA: Staff is coordinating with Town Environmental Consultants to determine what environmental analysis will be required for the project. Environmental analysis is required at cost to the applicant. Staff will require payment of a deposit at a future date.
- The response letter uploaded in July 2025 states that, “under the new laws passed, CEQA no longer applies to this project.” Please see response to #9 above.
- 5) Review by the Town’s Consulting Arborist is required to provide a peer review of the arborist report submitted by the applicant. A deposit payment of \$2,750 is required.
- This continues to remain outstanding.
- 6) Review by the Town’s Consulting Architect requires payment of a \$8,250 deposit.
- This continues to remain outstanding.
- 7) Please reach out to all necessary outside agencies and neighboring properties regarding this project (Caltrans, VTA, FAA for the helipad, etc.).
- plan.review@vta.org
 - This remains outstanding. The July 2025 response letter says that VTA communication has already been provided. Staff has not been provided with this information. Staff reached out to VTA, who provided comments on 5/29/25, which were forwarded to your team. Provide a response letter to VTA’s comments, explaining what has been addressed.
- 8) Below Market Price Units: The floor plans and the “Project Description/Letter of Justification” need to specify which units are Below Market Price (BMP) and specify how compliance with the Town’s BMP requirements are met. Detailed floor plans for each unit must be provided. The letter should respond to each of the four characteristics listed in Section III below, and the plans should contain enough information so that staff can determine that the size of units are compatible with the market rate, that the location of BMP units are dispersed throughout the proposal, that the exterior appearance be indiscernible from the market rate units, and that all project facilities and amenities be available to the BMP units. Pursuant to the Town’s Below Market Price Housing Program, Section III (Characteristics of BMP Units):
- A. Size of units: BMP dwelling units should to the extent possible, be consistent with the market rate units in the project. The Town and developer may negotiate regarding the size of units if more units than required are to be provided. BMP units should be provided proportionately in the same unit type mix (number of bedrooms) as the market rate units. In consideration of the household size of the households on the current program interest list, the Town and developer may negotiate to provide a greater proportion of a particular unit type. There should to the extent possible, not be a significant identifiable difference between the BMP



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and market-rate units visible from the exterior. The size and design of the BMP units should to the extent possible, be consistent with the market-rate units in the development. The goal of the BMP Program is for a seamless integration of the BMP units with the market-rate units in a development.

B. Location of units: BMP units shall be dispersed throughout the development, to the extent feasible, in all buildings, on each floor, and in each project phase. A concentration of BMP units in one location is not desirable and will generally not be allowed.

C. Finish of units: The external appearance of BMP units should be indiscernible to that of the market rate units in the project. The internal finish of BMP units should be identical to that of the market rate units in the project, except that the developer may request Town approval of substitutions for luxury interior finishes, appliances, or fixtures, if such substitutions do not violate any Town code requirement.

D. Project Facilities: All project facilities and amenities, including parking, must be available on the same basis to the BMP units as to the market rate units in the project, to the extent feasible, unless the deciding body approves a reduction in parking for the BMP units.

- This remains outstanding. The Project Description/Letter of Justification does not mention the Town's BMP program. If the Town's BMP program would not be complied with regarding BMP unit size or other standards, please provide the justification for this deviation.

9) ~~Contact the garbage and recycling service provider to ensure the trash rooms and trash pickup (once shown on the plans) are adequately sized for the proposed uses and that they have adequate access for pick up. Provide correspondence from provider.~~

10) Project Description/Letter of Justification: (Updated 7/17/25) - Staff is requesting that this information be included in the revised "Project Description/Letter of Justification".

- See comment above regarding BMP information included in the letter. ~~The letter needs to also specify the exact number of proposed BMP units (not a percentage).~~
 - This continues to remain outstanding (BMP information). The July 2025 response letter says that this was included in the plans. However, staff is asking for a written statement in the Project Description/Letter of Justification. If the Town's BMP program would not be complied with regarding BMP unit size or other standards, please provide the justification for this deviation.
- ~~The Existing Property Description states that the property is located at the southwest corner of Winchester and Highway 85. This is not accurate. The property is north of the intersection.~~
- ~~The Existing Property Description states that the project is surrounded on three sides by streets and parking. This is not accurate. It is surrounded on two sides by streets, and the third side is an existing residence.~~
- ~~The letter states that, "the exterior façade incorporates stone and [...]," yet stone is not shown in the plans.~~
- ~~Clarify if the rooftop uses are exclusively for the residents, or if they are also available to~~



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- the public and provide a summary of the roof top uses.
- ~~Provide details on how the mechanical parking spaces will work.~~
 - i. ~~Are the spaces going to be used exclusively for residents? Will someone need to be on-site to maintain them? How do you ensure someone's car is not blocking you in? Are some of the spaces reserved for the leasing office?~~
 - ~~Provide justification for the helipad, which is a prohibited use per Town Code Section 29.10.045.~~
 - ~~If no commercial or public uses are proposed, this multi-family residential use is not allowed in the C-1 zone (whether principally permitted or a conditional use). Provide justification.~~
 - ~~Update the "Compliance with the Objective Design Standards" based on staff's markups. It is not accurate.~~
 - The letter states that each residential level has the same number of units and unit types. That is not accurate. Level 12 is different from the others.
 - This continues to remain outstanding. The July 2025 response letter says that this was updated to state that levels 5 through 11 have 15 units and that level 12 has 14 units. The letter continues to say the following: "There are eight stacked residential levels which are comprised of five studios, 7 one-bedroom units, 2 two-bedroom units and 1 three-bedroom unit per level," but doesn't explain the configuration of level 12.
 - ~~The letter says that all units have exterior balconies that exceed the Town's requirements. That is not accurate. The juliet balconies are much smaller than the required 60 square feet per unit.~~
 - The plans and response letter refer to guest parking, reserved unit parking, and office parking. Please provide a statement within the letter to how this will work. Do the larger units get additional spaces, or are not all of the resident spaces "reserved"?
 - This remains outstanding. The question will come up at public hearings (as with other projects). 181 stalls are proposed for the 119 residential units. Does your team know how these will be distributed? If so, please specify in your letter.
 - Specify which Town Requirements are not being complied with for this project.
 - The July 2025 letter now includes a list of (some) of the items that are not being complied with, but only the ones from the Objective Design Standards checklist. Note: Town Code and the General Plan also include objective standards. Please include all of the exceptions; such as: max lot coverage (General Plan and Town Code), max building height (General Plan and Town Code), max density (General Plan), max FAR (Town Code), max height (Town Code), setbacks (Town Code), cul-de-sac radius (Town Code), parking garage minimum turn radius (Town Code), allowed uses (Town Code), etc. Ensure that all items listed as not compliant (marked "no") in the Objective Design Standards checklist are included here.
 - ~~Provide basic project information (lot size, building size, existing building size to be demolished, proposed use, height, etc.).~~



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- The letter should speak to how the project complies with the 2020 General Plan Land Use and Community Design elements.
 - This comment remains outstanding. We understand your team's position that General Plan conformance is not required. However, staff is asking that this information be included in the Letter of Justification.
 - ~~The letter should speak to the required conditional use permit findings per the Town's application package.~~
 - ~~The letter should speak to the structural condition of the (previously) residential structure per the Town's application package.~~
 - The letter now erroneously refers to the "New Residential Submittal Requirements" as the appropriate application package and submittal requirements to follow. This is not the application package for a discretionary planning application. Instead, this is a Building Permit Application submittal guide. If you click on the link included in your letter, you will see that this is referring to Building Permit submittals.
 - Some of the plans now show a turning radius along the cul-de-sac that is below the Town requirement 32 feet. If this is proposed, justification is needed here to ensure that adequate space is provided for cars and emergency vehicles. See comment from Santa Clara County Fire on this item.
 - The revised letter now states that CEQA is not required. Please see earlier responses to #9 and #10 above.
 - The revised Proposed Development Description section refers to a new landing pad, which has been removed from the proposal based on the latest plans. Remove mention to the landing pad from the Proposed Development Description.
 - The Compliance with the Objective Design Standards Section states that the application is meeting VTA's short-term parking recommendation. Specify what VTA's recommendation is. Per the cover sheet of the plans, VTA's recommendation is 1 space for every 20 stalls for GUEST bike parking. What do they recommend for the tenants?
 - The Compliance with the Objective Design Standards Section states that the "items that do not comply are addressed below." The second item listed (long-term bike parking) states: "we are in compliance." As noted in the Objective Design Standards Checklist, the required number of bike spaces is complied with, but the location is not. Update accordingly.
 - Justification for Item A.3.4 is not applicable. The justification is related to the number of spaces required (which should be A.3.2). A.3.4 refers to dimensions of bike rooms, which also needs separate justification as the height is not complied with in Diagram 8.
- 11) Objective Design Standard Checklist: The Objective Design Standard Checklist ~~is incomplete and~~ was filled out incorrectly. Please see attached for staff's comments. When resubmitting, please follow the format provided in staff's comments. The Excel document can be provided to you upon request, and there is a column for the applicant's response. Additionally, when



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noting the sheet that the objective standard is located on, ensure that the level of specificity is also detailed on the sheet for staff to verify the project's compliance. Describe how each Objective Design Standard is being achieved. Provide exhibits, details, and dimensions in planning set as necessary to illustrate and quantify how each applicable standard is achieved.

- This remains outstanding. A large portion of the previous comments were successfully addressed, but staff still needs additional details (see attached updated ODS Checklist). When responding "no" to any of the items, please provide brief justification within the "applicant response" section. Alternatively, a separate letter of exceptions can be submitted which provides this justification.

12) Provide response letters to the Town's review letters. No responses provided this last round.

PROJECT CONSISTENCY RELATED ITEMS: PROJECT PLANS

Cover Sheet:

- 13) Project Details:
- ~~Dedication appears to be required. Specify existing and proposed lot size (before and after dedication).~~
 - ~~Specify the existing building size and use.~~
 - ~~Specify the size of the office/leasing area.~~
 - ~~Specify existing and proposed lot coverage.~~
 - ~~Specify existing and Correct the proposed floor area ratio.~~
 - ~~Specify number of BMP units and what affordability level they are.~~
- 14) Project Summary:
- ~~Specify the size and height of the existing structures to be removed.~~
- 15) Gross Building Floor Area per Floor:
- ~~Provide a separate column which shows the countable floor area of each floor (removing the balconies and decks).~~
- 16) Parking Table:
- ~~Specify if any of the spaces are reserved. Does each unit get reserved spaces? Are there any spaces for the leasing office and employees?~~
- 17) Bicycle Parking:
- ~~Use the same terminology that the Town uses ("Short-Term vs "Long-Term"), differentiating the types and number of spaces provided.~~
- 18) Open Space:
- ~~Use the same terminology as the Town ("Landscape area", "Private Recreation Space", "Community Recreation Space").~~
 - ~~Specify the proposed amount of each area, and highlight each area on the plans. The "provided private open space" section is blank.~~
- 19) Project Summary:



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- ~~The total height of the building is 163'-4" per Sheet A7.0, not 154'. The plans need to consistently show this maximum height.~~
- 20) ~~Add the dedicated office parking spaces to the Vehicle Parking Requirement & Provided section so that the numbers match (158 vs 160 spaces).~~
- 21) ~~The Unit Data table contains a "total" column that is unclear. Specify what "total" this is showing. If it is floor area, the math is wrong. This table is on several sheets.~~
- 22) The required parking shown is wrong (Town Code requires 300 spaces).
 - This continues to remain outstanding. The plans say "required parking", implying that the Town's standard parking requirement is not 300 spaces. Please also add a line for "Town's required parking". If the intent here is to use a different parking requirement (i.e. per State Density Bonus Law), please clarify. As of now, the statement appears to be saying that the Town Code requirement is 145 spaces, which is not accurate.
 - The response letter claims that Town Code does not require 300 spaces. See Town Code parking breakdown below:
 - i. 1.5 parking spaces per unit = 179 spaces
 - ii. 1 visitor parking space per unit = 119 spaces
 - iii. Office parking is 1 space/235 sf = 2 spaces
 - iv. Total = 300 spaces
- 23) ~~Enclosed bike parking within the parking garage is "long term", not "short-term". Update the provided bike parking totals accordingly.~~
- 24) ~~The Gross Building Floor Area Per Floor table shows levels 6-12 being 19,674 sf. The floor plans show 19,643 sf. Update accordingly.~~
- 25) ~~Please update all renderings to show trees at time of planting, or add a note stating how long it will take the trees to get to this size. It seems unlikely that the palm trees on Capri Drive will be 30+ feet tall at time of planting.~~
- 26) ~~The existing building height that was added this last round does not match the existing height shown on the survey sheet.~~
- 27) ~~The proposed floor area ratio that was added this last round is incorrect. It should be roughly 10.5 (244,951/23,225).~~
- 28) The proposed parking counts table do not match the numbers shown throughout the floorplans. Please ensure consistency throughout plan sheets.
 - This remains outstanding. The table shows 187 spaces, yet the Project Details to the left show 188 stalls. It appears the error stems from the Parking Stalls Provided table, as level 1 is shown with a total of 102 spaces, yet DG0.1 shows 102 spaces here.
- 29) ~~The proposed setbacks that were added are incorrect. The proposed side yards per Sheet A2.0 are roughly 16' and 1'. The cover sheet shows 0'.~~
- 30) The required setbacks that were added are incorrect. The required front setback along Capri is 175' (see Town Code for additional height requirements when a building is across the street from a residential zone and over 20 feet in height). The rear setback along Winchester is 15' (see Town Code definition of "through lot"). The required side setbacks are 0'.



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- This remains outstanding. The response letter says that this is a Builder's Remedy project and that setbacks don't have to be met. That said, your plans list "required setbacks" which are not consistent with the Town's requirements. Revise accordingly.
- 31) The Total Grand Floor Area (275,197) does not match the Gross SF Grand Total (274,980 sf) in the table below.
- This remains outstanding as these totals are still not consistent in the plans. The updates now show total countable floor area as both 244,951 sf and 242,612 sf, and show the total gross sf as both 274,536 sf and 272,808 sf. The plans need to be consistent.
 - Note that in the Floor Area Table, the basement should not be included in the "countable sf".
- 32) Please add the Town's required bike parking to the Bicycle Parking Table that was added.
- This remains outstanding. The table currently doesn't make sense. The table shows the Town's requirement (1 per unit) and then shows the VTA's recommended guest bike parking (1 per 20 units) for a "total required" of 125, when the Town requires 119. It would be helpful if you could use the Town's standard language "short-term" vs "long-term". Is VTA's guest parking requirement supposed to supplement the Town standard for short-term bike parking?
 - Additionally, the "long-term (residence)" bike parking shows 126 at levels 1 through 4, while the counts on DG0.1 and DG0.2 add up to 138.
- 33) ~~Project Summary: ensure the existing (14' vs 16') and proposed (167' vs 171') building heights listed in this table are consistent with the heights shown in the plans.~~
- 34) ~~The landscape area table does not match what is shown in the landscape plans.~~
- 35) Update the submittal dates on the title sheet to reflect this August 22, 2025, submittal.

Old Sheet C1.0 (New Sheet C2.0):

- 36) ~~Label existing setbacks.~~
- 37) ~~The survey shows an existing 4,292-sf building to be removed. Based on Google Maps, County Assessor's office, and site pictures, the existing building is closer to 2,100-sf and there are several sheds at the rear of the site. Update the survey accordingly.~~
- 38) The existing tree table is missing information (see submittal item comments above).
- This continues to remain outstanding. See comments above regarding height.
- 39) ~~Provide a legend for the symbols and abbreviations used.~~
- 40) ~~All trees with canopies within 30' of construction shall be included in the tree inventory and on this sheet. The neighbor trees at 14274 Capri Drive are missing. Also label the (what appears to be) shrubs along Winchester Boulevard.~~
- 41) ~~The arborist report, once updated per comment above, needs to provide protection recommendation for the missing trees.~~
- 42) ~~Ensure driplines are included for all trees identified. For example, trees 9 and 10 don't have driplines/canopies shown, and there are some canopies shown that aren't numbered.~~
- 43) ~~Who owns Tree 31? (town or neighbor?)~~
- 44) Specify which of the trees are considered fruit-bearing. Now that canopy spread and tree height was provided, staff calculated the tree replacement requirement as being (108) 24"



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box trees or (54) 36" box trees. As proposed, only (23) 36" box trees are proposed, which would be short of the requirement by (31) 36" box trees or (62) 24" box trees. This would require an in-lieu payment of \$15,500 per Town Code. However, several of these trees may be exempt from the replacement requirement if they are determined to be "fruit-bearing" (Trees 10, 17, 20, 21, 26, 27, 30-36, and 39). This could drastically reduce the in-lieu fee.

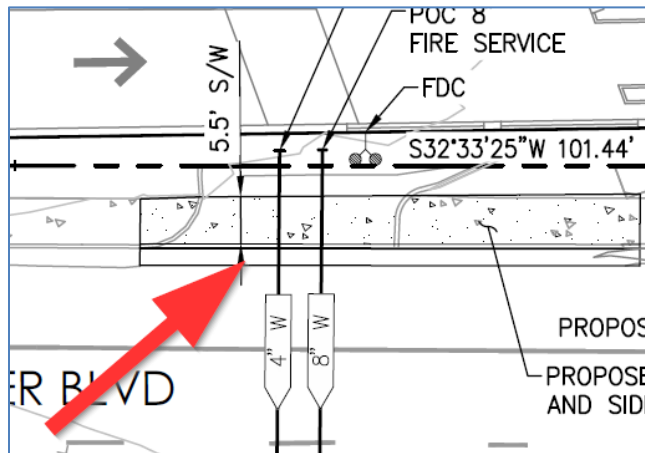
Old Sheet C2.0 (New Sheet C3.0):

- 45) ~~Utilities are shown overhead. Confirm with PPW if they will require undergrounding.~~
- 46) ~~The Earthwork Notes show Maximum site fill = 0'. The plans show 275 cubic yards of fill, which means that more than 0' of fill are proposed. Be more specific with your information.~~
- 47) ~~Show the dedication area and include dimensions and total area.~~
- 48) ~~Provide an additional section running through the length of the site.~~
- 49) ~~Dimensions the property boundaries.~~
- 50) ~~Dimension the sidewalks, curbs, roadways, etc (plans must be fully dimensioned).~~
- 51) ~~Show traffic direction on the streets.~~
- 52) ~~Specify location of the fill area (this should also be labeled in the civil sections).~~
- 53) ~~Provide details on the "temporary loading/staging zone". The arrow is pointing to the sidewalk.~~
- 54) ~~Would any physical barrier be proposed between the southern edge of the cul-de-sac and Winchester Blvd?~~
- 55) ~~There is a "proposed driveway" note on 14333 Capri Drive.~~
- 56) ~~Put an "X" on the (visible) trees that are proposed for removal.~~
- 57) ~~The sidewalk around Tree 1 shows the bulb-out encroaching into the bike lane to remain. Sheet C1.0 shows this being removed. Ensure the plans are consistent.~~
- 58) ~~Provide a legend for the symbols and abbreviations used.~~
- 59) ~~The area to the north of the building would create a dead-end area (see area highlighted below). Consider fencing this area off so as not to create a safety issue.~~
- 60) ~~Please provide the following setbacks (see below).~~
- 61) The plans now show a dog park and fenced area at the southern end of the cul-de-sac. On this sheet, the site plan, or the landscape plan, provide additional details (fence height, design, lighting, landscaping, etc.). Please also ensure that coordination with Parks and Public Works continues to occur as this is proposed within the Town's right-of-way.
 - The response letter says that the dog park has been removed from the proposal, yet the landscape plans still show it.
- 62) ~~Now that the arborist report shows recommended tree protection, show it on this sheet or note it somewhere in the plan set.~~
- 63) ~~Dimension the depth of the roof overhang, noted as "Outline of Floor Above."~~
- 64) The bulb out along Winchester has been removed, but (what appears to be) a driveway approach is now shown, which would lead to a 13-story wall. Please confirm what is proposed here.



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- This remains outstanding. See screenshot below.



- 65) Please specify estimated location of construction staging here or somewhere in the plan set.
- 66) Specify the surfacing materials of the parking garage.
- **Previous deficiency comment moved to consistency. Please specify these materials.**

New Sheet C3.1:

- 67) Remove the scale at the bottom of the sheet as it is not accurate.
- 68) Show existing and proposed grade lines, noting areas of cut and fill (and labeling the cut and fill depths).

Old Sheet C3.0 (new Sheet C4.0):

- 69) The total site area is shown here as 29,305 sf, while the rest of the plans show 23,225 sf.
- 70) Specify the percent of increase/replacement.

New Sheet DG0.1:

- 71) This sheet shows a 19' ceiling height in Level 1, the section shows 16', and the floor plan on A3.0 shows 15'.
- 72) The plans say 58 "guest bicycle parking" proposed. Use the correct terminology ("short-term") and correct the number (12 are proposed; the indoor spaces are long-term).
- 73) The short-term/guest parking spaces would block the sidewalk. Revise accordingly.
- 74) Provide details of vehicular gate (50% open rule).
- 75) Specify ceiling height in the bike rooms.
- 76) Label widths of pedestrian entrances.
- **This remains outstanding. The door to the parking garage (north of the mail room) is not dimensioned.**
- 77) Provide details of the long-term bike parking for compliance with the Objective Design Standards.
- 78) Put an "X" on the (visible) trees that are proposed for removal.

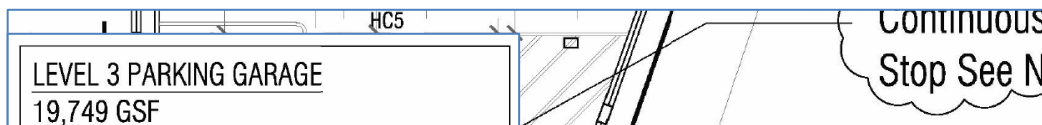


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- 79) ~~There is a miscellaneous double line adjacent to the angled parking stall in Level 1.~~
- 80) Keynote 4 says that ground mounted utility cabinets will be screened. The plans (perhaps the Landscape plan) need to show this detail.
- This remains outstanding. The plans do not specify height of utility cabinets. See related comments in ODS checklist. You can estimate the height for now.
- 81) ~~Please fix the setback annotations that are blocked by trees.~~
- 82) Specify how far the entrances are recessed per related comments on ODS Checklist.
- This remains outstanding. The door to the parking garage (north of the mail room) is not dimensioned. The other entrances were added.
- 83) ~~Specify how far the building steps in as it transitions from the lobby to the parking garage along Winchester related comments on ODS Checklist.~~
- 84) ~~A new parking area is shown on Capri Drive but the call-out is covered.~~
- 85) ~~New Floor Plan Note 2 provides a good response/justification for the short-term parking requirement exceptions. Please provide this in the ODS Checklist response or in the justification letter as requested.~~
- 86) Add the north arrows back to this sheet. They were removed in this submittal.
- 87) The long-term bike parking was modified, and now the floor plan note is not legible. It appears to show 32 spaces, while the table shows 34. Update accordingly.
- 88) A dashed green line was added and dimensioned (30') adjacent to the leasing office, but it is not labeled. Staff does not know what this is showing.
- 89) The "R" numbers throughout the parking areas no longer add up. For example, the numbers go from "R1 thru R19" and then jumps up to "R25 thru R49." The numbers were changed in this submittal and are no longer accurate.
- 90) Please note that the math provided for Floor Plan Note 2 is not accurate. It notes that "119 x 20 = 5.96".

New Sheet DG0.2:

- 91) ~~Floor plan note 1 says there are 120 long-term bike parking spaces, when there are 166.~~
- 92) ~~Floor plan note 2 says to see detail DG0.1/3 for long-term bike parking details. Detail DG0.1/3 is a short-term space.~~
- 93) Plans were updated and now the long term bike parking notes are inconsistent. Ensure that in each table below, the floor plan matches the actual floor plan. For example, Level 3 floor

	
LEVEL 3 PARKING GARAGE 19,749 GSF	
1.	AS PER OBJECTIVE DESIGN STANDARD, A.3.2, ONE LONG TERM BICYCLE SPACE IS REQUIRED PER DWELLING UNIT.
	- TOTAL NUMBER OF DWELLING UNITS = 119
	- TOTAL NUMBER OF LONG TERM BICYCLE PARKING PROVIDED AT LEVELS 2, 3 AND 4) = g
	TOTAL = 140

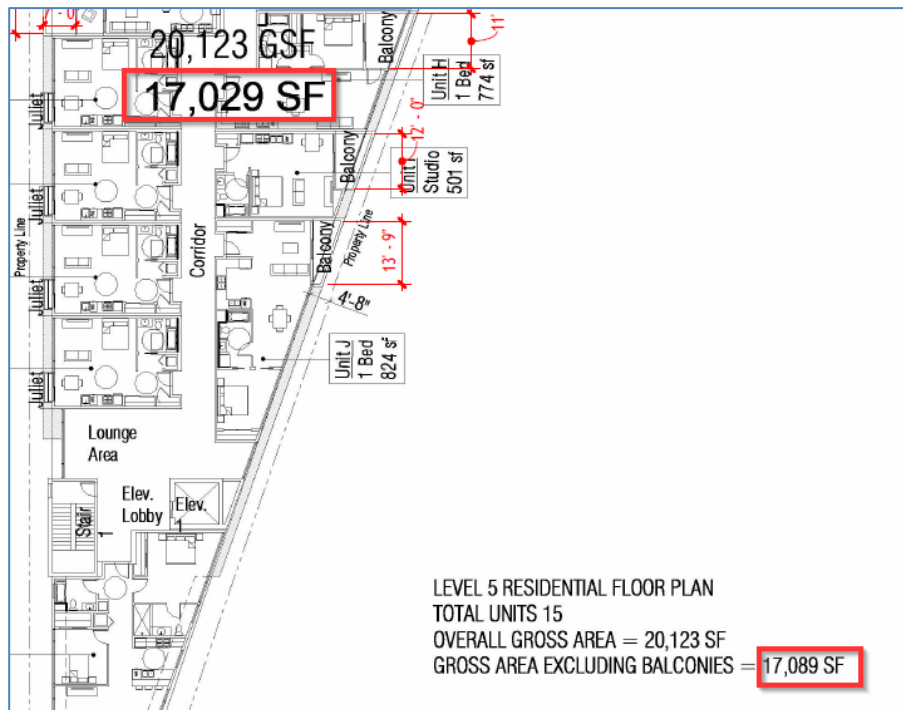


TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- plan table shows 52 long term bike spaces, while the call-out notes show 32 and 24 (56 total), and the call-out for 24 bike spaces is pointing to bike room 3, which shows 20 bikes. Similarly, Floor Plan Note 1 needs to be updated as the updated count is no longer 140, and bike parking is proposed on the first floor and not just levels 2-4. See below screenshot.
- 94) A new “continuous wheel stop see note 2” call-out was added, but note 2 does not correspond to wheel stops. Update accordingly.
- 95) A new “sunshade device outline” call-out was added, but the dimension is not noted. Specify how far it overhangs beyond the wall.
- 96) The dimensions for the southernmost architectural awning (above the lounge) are not accurate. The dimensions measure to the property line, and this awning does not extend that far.

New Sheet DG0.3:

- 97) ~~Floor plan note 2, “total private space provided” is blank. Please note that the rule states that each unit needs 60 square feet. This is not complied with.~~
- 98) ~~What do the following numbers represent? (see below).~~
- 99) ~~Provide a scale.~~
- 100) ~~As noted above, specify location of BMP units somewhere in the plans.~~
- 101) The common open space note was updated on Sheet A3.0 and the Cover Sheet, but not this sheet.
- 102) New notes are added to the floor plans for Level 5 and Levels 6-11 that show building sizes that do not match the tables directly below. Revise accordingly. See below for an example.





TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

New Sheet DG0.4:

- 103) ~~Label the proposed areas in the terrace plan.~~
- 104) ~~Add the following to Note 1, "the mechanical equipment will be shorter than the proposed roof-screen."~~
- 105) A new "metal screen tall fence" call-out is shown along the play-court. Specify the height and design somewhere in the plans.
- 106) New boxes are shown in the play-court which are not legible. What are these showing?

Sheet A1.0:

- 107) ~~Label the addresses of the properties shown.~~
- 108) ~~You must also include pictures of the existing structure proposed for demolition. The pictures provided are from Google Streetview and do not show inside the property fence. This is a submittal requirement.~~

Sheet A2.0:

- 109) ~~Label or provide a legend for the public improvements shown outside of the building along Capri Drive.~~
- 110) ~~Label the trees. Staff is assuming these are proposed.~~
- 111) ~~Provide dimensions for the sidewalks (plans must be fully dimensioned).~~
- 112) ~~Specify all setbacks, including the setback along the southern edge of the building.~~
- 113) ~~Label and dimension the property lines.~~
- 114) ~~The majority of the items in the O.S. checklist say they are complied with on this Sheet. Anytime the O.S. checklist references this sheet, there should be annotations or dimensions that clearly show compliance.~~
- 115) ~~Show the full extent of Winchester Blvd.~~
- 116) ~~In the Site Data table, specify the lot size before and after dedication.~~
- 117) ~~Show the required building setbacks. This is a submittal requirement (noted above).~~
- 118) ~~The sidewalk around Tree 1 shows the bulb-out encroaching into the bike lane to remain. Sheet C1.0 shows this being removed. Ensure the plans are consistent.~~
- 119) ~~Several of the setback labels along Winchester Blvd are not legible.~~
- 120) ~~Please provide the following setbacks (see below).~~
- 121) ~~Fix the proposed and required setbacks as noted above in the Cover Sheet comments.~~
 - **This remains outstanding. The response says that required setbacks were updated (which they weren't), and the response references North 40. This is not a North 40 project.**
- 122) ~~Fix the FAR as noted above in the Cover Sheet comments.~~
- 123) ~~Provide details of the proposed fencing here or somewhere in the plans.~~
 - **This remains outstanding. Thank you for providing details for the metal panel fence; however, staff is still looking for location details for the 6' tall concrete wall.**
- 124) A new, Proposed Landscaping Calcs, table was added. The total shown (2,504 sf) does not match the totals shown throughout the rest of the plan set. Additionally, specify what "LA" refers to, as each area is numbered "LA1, LA2,..." etc.
- 125) Per Town Code Section 29.10.06702, minimum turning radius is 32'. This sheet shows that



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- 30.5' are proposed. Ensure that the turning radius is consistent between the sheets, and if under 32 feet is proposed, include justification in the project description letter on how the proposed radius can accommodate cars and emergency vehicles. The letter currently just talks about the transformer location and the need for an easement.
- 126) The sheet says "(E) cul-de-sac." There is no existing cul-de-sac at the site.
- 127) Specify the ROW width of the new cul-de-sac. Town code requires 42'. If this is not met, provide justification.

Sheet A2.1:

- 128) The revised cul-de-sac radius note (32') does not match the rest of the plans.
- 129) The sheet says "(E) cul-de-sac." There is no existing cul-de-sac at the site.

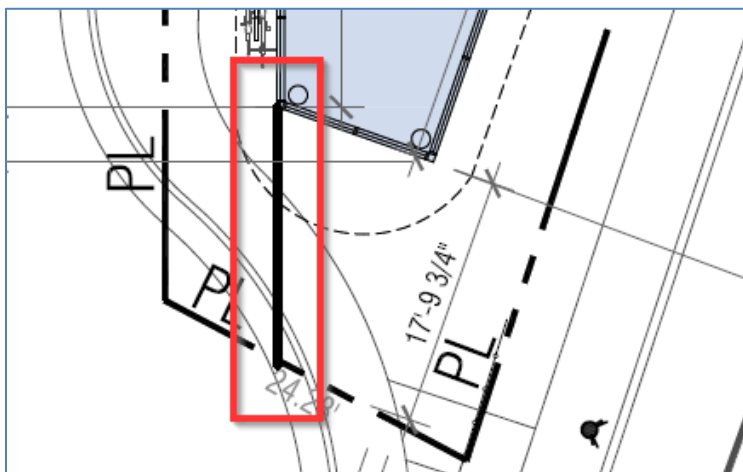
Sheet A3.0:

- 130) ~~Provide dimensions throughout the parking garages (i.e. drive aisle, parking space dimensions, radius of angled spaces, turn-around area, turn radius, etc.).~~
- 131) ~~Label and dimension the property lines.~~
- 132) ~~Provide full road details (full extent of drive aisles, center line, etc.).~~
- 133) ~~Per Town Code, dead end areas in a parking garage must have turn-around space approved by the Town Engineer. Each level of the parking garage has a dead-end area.~~
- 134) ~~Provide details of the bike parking areas (what type of bike parking, number of spaces, individual bike lockers or one larger room, etc.). See the Town's Objective Design Standards checklist for more detail.~~
- 135) ~~Provide specific details for the mechanical parking lifts proposed (not just a factory spec sheet). You need to show how much room each parking lifts takes, and how the Town's requirements for drive aisles are still complied with.~~
- 136) ~~Label the size of the lease office area.~~
- 137) ~~Specify if a vehicular gate is proposed. If so, provide details on design and location.~~
- 138) ~~Level 1 is shown with a 19' clear ceiling height, yet the elevation shows a 16' plate height. Which is accurate?~~
- 139) ~~Show maneuverability of the angled parking stall (north-eastern corner of the garage) in relation to the two-way ramp immediately adjacent.~~
- 140) ~~What is meant by "PIT PARKING"? Does this refer to the bottom of the mechanical lifts?~~
- 141) ~~Show how trash pick-up will be accessed. Does the truck drive into the parking garage?~~
- 142) ~~Per the spec sheet, the mechanical lifts have a stall depth of 18.3', yet the plans only show 18 feet. Ensure that the lift spaces fit as shown.~~
- 143) ~~Per the spec sheet, the only way to get a 3 parking space lift is to have some sort of tandem configuration. No tandem configuration is shown. Confirm that the 3 spaces per stall can work in this configuration.~~
- 144) ~~Label the width of the vehicle entrance (each drive aisle).~~
- 145) ~~Parking spaces adjacent to a wall (i.e. space 42) must be a minimum of 9.5' wide.~~
- 146) ~~Update the short term and long term bike parking notes based on the comments on Sheet DG0.1.~~



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- 147) ~~Town Code requires one continuous curb for wheel stops.~~
- 148) ~~Specify the height of the proposed concrete wall.~~
- 149) ~~Parking stalls with a 60-degree angle (space 60) must have a depth of 19'-8" per Town Code.~~
- 150) ~~There are two parking spaces numbered 61.~~
- 151) The front elevation shows a shade element/roof element over the door adjacent to the mail room. Show depth of overhang on this sheet per applicable ODS Checklist comments.
- This remains outstanding. They are not shown or dimensioned on this sheet, but they were added to DG0.2. Update this sheet as well.
- 152) Specify how far the proposed prefab concrete wall extends.
- This remains outstanding.
- 153) Show the Town's standard double-striping in plans (see attached).
- This remains outstanding. Would the mechanical lift spaces contain the double-striping?
- 154) There is a new note along the vehicular entry to the garage that says "slope". Specify what the slope would be.
- 155) The Level 1 table shows 101 parking stalls, while the floor plans shows 97. The spaces shown adjacent to Stair 2 are shown as 24 spaces on this sheet, and 29 on DG0.1. Update accordingly.
- 156) Specify the exact location of the concrete wall. It is not clear if it extends all the way to the Capri Drive frontage (which would not be allowed).
- Previous deficiency comment moved to consistency.
- 157) A new bold line was added south of the building (see below). Specify what this is for.



Sheet A4.0:

- 158) ~~Provide dimensions throughout the parking garages (i.e. drive aisle, parking space dimensions, radius of angled spaces, turn-around area, turn radius, motorcycle spaces, etc.).~~
- 159) ~~Label and dimension the property lines.~~
- 160) ~~Per Town Code, dead end areas in a parking garage must have turn-around space approved by the Town Engineer. Each level of the parking garage has a dead-end area.~~



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- 161) ~~Provide details of the bike parking areas (what type of bike parking, number of spaces, individual bike lockers or one larger room, etc.). See the Town's Objective Design Standards checklist for more detail.~~
- 162) ~~What is the purpose of a lounge within a parking garage? Perhaps you could include a brief explanation in the Letter of Justification.~~
- 163) ~~Please note that the lounge areas count toward the Community Recreation Space requirement.~~
- 164) ~~Level 4 has 31 total spaces (29 single stalls). The plans say 32 total spaces (30 single stalls).~~
- 165) ~~Show maneuverability of the angled parking stall (north-eastern corner of the garage) in relation to the two-way ramp immediately adjacent.~~
- 166) ~~Clarify if any of the spaces are reserved for employees or future tenants (leasing office).~~
- 167) The minimum inside turning radius in the parking garage is 20' per Town Code. The plans show a turning radius of only 10-11 feet.
- This continues to remain outstanding and non-conforming. The turning radius shown does not comply. Explain how the reduced turning radius can accommodate auto movements within the garage and provide justification for the reduction.
- 168) ~~Town code requires stalls to have "double striping". See Town Code 29.10.155 for details. This needs to be shown on the plans.~~
- 169) ~~Specify if key access is provided for the bike rooms.~~
- 170) ~~Provide details or notes on the continuous curb that is shown, ensuring compliance with Town standards.~~
- 171) New notes were added for the architectural metal awnings and sunshade device. Provide dimensions of each.

Sheet A4.1:

- 172) As the turn-around spaces have been reconfigured, show how parking space R1 (adjacent to the mail room) would back-out.

Sheet A4.2:

- 173) The turn-around exhibit for parking space R116 shows that the vehicle would need to drive outside of the building walls to make that turn. Revise accordingly.

New Sheet A4.3: (in the future, when adding a new plan sheet, please create a new page number since we are tracking comments per sheet number).

- 174) This sheet appears to be included to justify an exception to the minimum turning radius within a parking garage. Reference to this sheet should be included in your justification letter.
- 175) Include the centerline of the ramps. As drawn, it appears that a Ford Escape would extend beyond the drive aisle.

Sheet A4.4 (Previously Sheet A4.3):

- 176) ~~Dimensions the bike storage length in Diagrams 3, 4, and 7 per ODS Standard A.3.4.e.~~



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- 177) The bike arrangement in Diagram 1 would block the sidewalk and should be removed. The arrangement in Diagram 2 is what is shown on the plans.
- 178) Label the height of the bike racks in Diagram 8 for compliance with ODS Standard A.3.4.e.
- 179) The bike parking table says that 140 long-term spaces are located on floors 2-4, when they are actually located on floors 1-4.
- 180) Diagram 3 now shows two bike spaces adjacent to the workstand and pump station. Specify the dimensions and type of bike parking proposed here.

Sheet A5.1:

- 181) This sheet was included twice in the plan set.

Sheet A5.0:

- 182) Provide setback dimensions along the entire building.
- 183) Label and dimension the property lines.
- 184) Specify the size of each balcony and include dimensions so staff can confirm the "private recreation space" requirements are met.
- 185) Confirm that the unit sizes shown are not including the balconies.
- 186) Level 5 and Levels 6-12 look identical, yet the overall gross area is roughly 500 square feet different. Please confirm this is accurate. Again, decks don't count as gross square footage.
- 187) Specify the corridor width.
- 188) Confirm what the shaded area of Level 5 represents (roof below?).
- 189) Why are the open space areas for Level 5 labeled as decks when they are above grade?
- 190) There are setbacks on Level 5 that are incorrect (i.e. 8' setback shown several feet inside Unit A).
- 191) The Unit Data table contains a "total" column that is unclear. Specify what "total" this is showing. If it is floor area, the math is wrong. This table is on several sheets.
- 192) The Gross Building Floor Area Per Floor table on the cover sheet shows levels 6-12 being 19,674 sf. The floor plans show 19,643 sf. Update accordingly.

Sheet A6.0:

- 193) Provide setback dimensions along the entire building.
- 194) Label and dimension the property lines.
- 195) Is anything proposed underneath the helipad? It appears to be an empty building shell.
- 196) Specify if any mechanical equipment is proposed on the roof. If so, specify if it will be visible.
- 197) Confirm if the roof top activities are solely for the use of residents.
- 198) Specify the size of the covered clubhouse.
- 199) The Level 13 data shows 8,256 sf of "total community open space", while the Community Open Space table at the bottom of the sheet says a total of 18,166 sf of community open space is provided at the roof terrace. Update accordingly.
- 200) Add the three trees along the sports court, per the landscape plans.
- 201) The size of the quiet open deck is no longer legible.
- 202) A new, Proposed Landscaping Calcs, table was added. Specify what "LA" refers to, as each



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- area is numbered "LA1, LA2,..." etc.
- 203) The total in the Proposed Landscape Area table (1,242 sf) does not match the total shown in the level 13 table (1,277 sf).
- 204) The total community recreation space (12,134 sf – in the Level 13 table) does not match what is shown in the Community Open Space table (18,166 sf at roof terrace level 13).
- 205) Please specify the height of the new metal screen fence along the outdoor play-court.

Sheet A7.0 and A7.1:

- 206) ~~Label existing and proposed grade on all elevation and section drawings.~~
- 207) ~~Give cardinal directions for the elevation titles.~~
- 208) ~~Provide all four sides of the building.~~
- 209) ~~Provide information on proposed exterior materials. The color scheme legend is not correct and hardly used. One of the two items used (E – wood composite cladding) is pointing to a glass railing.~~
- 210) ~~Please provide a section running through the helipad portion of the building. Staff is unclear what is proposed within this building. Is the helipad technically a 14th story?~~
- 211) ~~Provide finished floor heights along each story of the building.~~
- 212) ~~Show neighboring structures in the "Front Elevation along Capri Drive."~~
- 213) ~~Label the vehicular and pedestrian entry points.~~
- 214) ~~There is a (roughly) 10' difference between the two elevations. All the elevation and section drawings need to show the maximum proposed height.~~
- 215) ~~This sheet shows the total height at 168', while the streetscape shows 167'.~~
- 216) ~~Label the vertical clearance below the sunshade device (front elevation).~~
- 217) ~~Items "F" through "I" are missing in the color scheme.~~
- 218) ~~The neighboring structure on the left elevation is cut off and missing its height dimension.~~
- 219) ~~Show the new trees along the Left Elevation and Rear Elevation.~~
- 220) ~~Provide the address and height for all buildings shown. The office building on the front elevation is missing this.~~
- 221) ~~Now that existing grade is shown, ensure that building height is measured to existing grade on all section and elevation drawings.~~
- 222) ~~Provide material callout for the garage gate on the front elevation ("K").~~
- This remains outstanding. The "K" call-out does not have an arrow and is currently on top of the residence at 14274.
- 223) Label the metal screen around the play court, specify the height, and include a material call-out.
- 224) On the left elevation, the cypress trees are cut-off, and notes to the old Brisbane box trees (removed from the landscape plans) are still shown.
- 225) Provide details on the new exterior molding/band proposed.

Sheet A8.0:

- 226) ~~Label existing and proposed grade on all elevation and section drawings.~~
- 227) ~~Label building heights (existing neighboring buildings and proposed building).~~



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- 228) Specify proposed materials.
- 229) Label property lines.
- 230) Provide finished floor heights along each story of the building.
- 231) Provide the address and heights of all neighbors shown.
- 232) Label the vehicular and pedestrian entry points.
- 233) The “Winchester Avenue Streetview” appears to be mislabeled. The Winchester Streetview would arguable be just as wide as the Capri Drive street view. Instead, this looks like a street view from the southern corner of the building. Rename accordingly.
- 234) Label the location of each elevation and street view within the smaller Site Plan on this sheet.
- 235) What is shown on the Capri Drive Streetview? (see below).
- 236) Add the missing Winchester Blvd Streetscape.
- 237) Label maximum total height on each streetscape. Left elevation isn’t maximum height. Left elevation shows 154’, but it isn’t pointing to the top of the screening. Additionally, the sections show this area as 155’.
- 238) See comment above regarding different max heights shown between streetscapes and elevations.
- 239) As noted in the completeness section above, there are three missing views from the streetscape, as well as missing buildings from the streetscapes that were provided.
- 240) Specify the heights of the residences in the new Rear Elevation.

Sheet A9.0:

- 241) Provide a site plan showing where each view is taken from.
- 242) Label exterior materials.
- 243) Include neighboring buildings where applicable.
- 244) “View 1 Along Capri Drive” is not “facing west.” Revise accordingly.
- 245) Either show tree sizes based off size at planting, or note how long they will take to get this tall.

Sheets A10.0 and A10.1:

- 246) Include a north arrow in the Kep Map and label the streets.
- 247) Label existing and proposed grade on all elevation and section drawings.
- 248) Specify the finished floor heights.
- 249) Show neighboring buildings (noting addresses and height).
- 250) The section shows 155’, the elevations show 154’, and one of the elevations shows 163’-4”. The maximum proposed height needs to be consistent throughout all the drawings.
- 251) Specify what “T.O. P.W.” means. This is a height measurement shown just below the rooftop.
- 252) There is a “Capri Dr” label to the left of the section view, which should not be there.
- 253) What does this “x” represent? (see below).
- 254) Section B-B shows the top of rooftop at 155’, while the elevations show 154’.
- 255) Now that existing grade is shown, ensure that building height is measured to existing grade



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

~~on all section and elevation drawings.~~

- 256) The address added on A10.1 is incorrect. There is no "579" across Capri Drive.

Sheet A11.0- A11.3:

- 257) ~~Specify the size (square feet) of each unit's balcony.~~
258) ~~Ensure that the unit size shown does not include the balcony.~~
259) ~~Provide width and depth dimensions of all the balconies (Unit B is missing the width).~~
260) ~~Ensure that the full extent of the balcony is shown (missing on A11.2 and A11.3).~~
261) ~~The Unit Data table contains a "total" column that is unclear. Specify what "total" this is showing. If it is total floor area, the math is wrong. This table is on several sheets.~~
262) ~~There are two different "Unit H" floor plans, but only one "H" column in the table.~~
263) ~~There is a "l12" column in the table that doesn't match any of the floor plan titles.~~
264) ~~Units F, G, H, I, H (there are two "H" floor plans) are missing the second depth dimension along the balcony.~~
265) ~~Sheet A11.0 was included twice in the plan set.~~
266) The Total Private Open Space shown in the table on these sheets is 21,003 sf, while the cover sheet shows 17,656.
267) The Key Map on Sheet A11.2 is not displaying correctly.
268) The summary table on Sheet A11.3 is cut-off. The "total" column should say "total private open space" to match the other tables.

Sheet A12.0

- 269) ~~The shadow study is incomplete, and the shadow is cut-off. Zoom out on the December views to show the full extent of the shadows.~~
270) ~~Include addresses and number of stories of each neighbor shown.~~
271) The March 21st (3pm) shadow study does not show the full extent of the shadow.

Sheet A13.0:

- 272) ~~The plans need to be updated to clearly show where each of these materials are used.~~
273) ~~Add information on the vehicular and pedestrian gates.~~

New Sheet A16.0:

- 274) ~~For Diagram #2, staff is unclear where the "stepbacks" are taken from. For example, when the wall plane says "2' stepback", what is it stepping back from?~~
275) ~~For the Level 13 diagram on A16.1, what is the 5'-11" dashed line represent?~~

Sheet PL-1:

- 276) ~~Include a planting plan with a proposed tree table (see application packet for details).~~
277) Is any fencing proposed? The O.S. Checklist calls for at least 5 trees along the rear property line and a masonry wall.
 - This remains outstanding. Please clearly call out fencing proposed on the northern property line.



TOWN OF LOS GATOS FIFTH STAFF TECHNICAL REVIEW COMMENTS

- 278) Specify the percentage of the site that is landscaped.
- 279) Specify the percentage of the community open space that has landscaping.
- 280) Specify the percent of the front setback area that is landscaped. Note that the landscape area highlighted extends into the public right-of-way. Only the on-site landscaping counts.
- 281) Ensure that the total landscape area (4,645-sf) does not include the landscaping in the public right-of-way. A diagram showing the overall landscape area would be helpful.
- 282) The electric transformer must be screened from view. Provide details on how this will be accomplished.
 - This remains outstanding. Specify (or estimate) the height of the transformer.
- 283) Consider adding fencing along the cypress screen wall at the north of the building. Currently it dead ends and would present a possible safety issue.
- 284) The Italian Cypress is missing from the tree list on this sheet.
- 285) The palm trees were removed, but they are still shown on this sheet.
- 286) Fix the call-out line for the electrical transformer now that it has moved.

Sheet PL-2:

- 287) Specify the size of trees at maturity (submittal requirement).
- 288) Note that in-lieu fees will be required as the number of replacement trees does not meet Town Code.

Sheet PL-3:

- 289) Staff is having difficulty telling the difference between the (new) Trumpet Vine and the Toyon plants. Revise accordingly.

New Sheet E0.10:

- 290) Lighting is needed every 30' per the Town's Objective Design Standards (A.7.1). The lighting plan needs to note distances between exterior lights.
- 291) Add information to confirm lights will comply with the 30-degree shielding rule per Objective Design Standard A.7.2.

New Sheet E0.16:

- 292) Lighting is needed every 30' per the Town's Objective Design Standards (A.7.1). The lighting plan needs to note distances between exterior lights.
- 293) The step lights along the "quick deck" would not meet the height requirements of A.7.1.
- 294) Specify the height of wall mount lights and SW3 within the sports court.
- 295) Add information to confirm lights will comply with the 30-degree shielding rule per Objective Design Standard A.7.2.

Sheet E0.50:

- 296) Ensure there is an image for each of the callouts in the luminaire schedule. S1, SW1, D1, and SW3 are missing.
- 297) Specify mounting height for each. Only a few are shown. See related comment on ODS



**TOWN OF LOS GATOS
FIFTH STAFF TECHNICAL
REVIEW COMMENTS**

Checklist:

General Comments:

- 1) Please modify plans per the above comments and resubmit to Planning via the Town's Online Permitting Service with a compliance memorandum and any other supporting documents. Please also submit 2, full-size printed sets to Town Hall.
- 2) This Architecture and Site application is required to follow the Town's Height Pole and Netting Policy. Height poles/renderings and project identification signs will be required prior to the public notice of any pending approval.
- 3) Pursuant to the adopted fee schedule, in the event additional processing services by the Town are required due to changes, modifications, additions, errors, omissions, or discrepancies caused by the applicant or his/her agents or representatives, the applicant shall pay an additional fee as determined by the Director of Community Development to cover the actual cost.
- 4) Pursuant to the adopted fee schedule, if the requested information from any of the Tech Review Staff is not submitted within 180 days of this meeting, the applicant will be required to pay a fee of 10% of the current application fee at the time the requested information is submitted. Any resubmittal after one year from September 17, 2025 will be processed as a new application, subject to new fees.
- 5) Pursuant to the adopted fee schedule, if after three meetings, any additional review is required by the Technical Review Committee and/or DRC, there will be an additional fee based on time and material cost.
- 6) The project is subject to WELO - New construction projects with an aggregate landscape area equal to or greater than five hundred 500 square feet or rehabilitated landscape projects with an aggregate landscape area of 2,500 square feet are subject to the State's Model Water Efficiency Landscape Ordinance (WELO). A complete WELO Landscape Documentation Package is required prior to issuance of building and/or grading permits. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy. Review by the Town's Consulting Landscape Architect for WELO requires a payment of a \$5,500 deposit.

The application is complete but contains inconsistencies as identified above. Please resubmit and provide a compliance memorandum showing how all the deficiencies, corrections, and general comments have been addressed. When resubmitting, please include two printed, full-sized, 24" by 36" plan sets.



**TOWN OF LOS GATOS
FIFTH STAFF TECHNICAL
REVIEW COMMENTS**

Ryan Safty

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(408) 354-6802

N:\DEV\PLANNING PROJECT FILES\Capri Drive\14288\S-24-044 - SB 330 Formal App\Staff Comment Letters\R5 - Complete\PLN - 14288 Capri Drive - Complete
Letter 9-17-25.docx

OBJECTIVE DESIGN STANDARDS CHECKLIST - 7/18/25 UPDATES

APPLICANT RESPONSIBILITY

Applicants are responsible for accurately responding to each objective design standard listed below by indicating whether each standard has been met or does not apply. Applicants shall indicate the sheet(s) within the project plans that show compliance with each objective design standard.

Highlighted fields represents missing, incomplete, or inaccurate responses as identified by staff

			A. SITE STANDARDS			SHEETS (UPDATED 7/18/25)	STAFF RESPONSE (UPDATED BASED ON 7/18/25 RESUBMITTAL)	APPLICANT RESPONSE	STAFF RECOMMENDATION TO INCREASE JUSTIFICATION AND NEW STAFF COMMENTS BASED ON PLAN UPDATES
			A.1. Pedestrian Access						
YES	NO	N/A	Objective Design Standard						
X			A.1.1	All on-site buildings, entries, facilities, amenities, and vehicular and bicycle parking areas shall be internally connected with a minimum four-foot-wide pedestrian pathway or pathway network that may include use of the public sidewalk. The pedestrian pathway network shall connect to the public sidewalk along each street.		DGO.1 / Note 1, A2.0	Project complies.		
X			A.1.2	Pedestrian pathways within internal parking areas shall be separated from vehicular circulation by a physical barrier, such as a grade separation or a raised planting strip, of at least six inches in height and at least six feet in width. A pedestrian pathway is exempt from this standard where it crosses a parking vehicular drive aisle.		A2.0, PL-1, PL-2	Project complies.		
			A.2. Short-Term Bicycle Parking (Class II)						
			Short-term bicycle parking (Class II bicycle parking facility) consists of racks that support the bicycle frame at two points and allow for the bicycle frame and one wheel to be locked to the rack with a U-lock.			A3.0, DG0.1			
X			A.2.1	Short-term bicycle parking space shall be located within 50 feet of the primary pedestrian building entrance.		DGO.1 / Keynote 1	Project complies.		
	X		A.2.2	Short-term bicycle parking shall be provided at a rate of one space per dwelling unit and one space per 2,000 square feet of non-residential floor area.		DGO.1 / Note 2	Project does not comply. 119 spaces required, 12 proposed.	Our approach is to supply the amount of guest stalls the VTA recommends which is substantially less than the Town. This is allowed by Builder's Remedy.	Thank you for providing justification. As noted in the comment letter, the application materials need to specify what VTA's recommended bike parking count is. The plans show that VTA recommends 1 GUEST bike space for every 20 units, but does not specify their recommendation for tenants. Therefore, this argument is incomplete as we don't specify what VTA's recommendation is for the project.
X			A.2.3	Each short-term bicycle parking space shall be a minimum of seven feet in length and two feet in width.		DGO.1 / Note 3	Project complies.		
		X	A.2.4	If more than 20-short term bicycle spaces are provided, at least 50 percent of the spaces shall be covered by a permanent solid-roofed weather protection structure.		no sheet provided	N/A. 12 spaces proposed.		
			A.3. Long-Term Bicycle Parking (Class I)						
			Long-term bicycle parking facilities (Class I bicycle parking facility) consists of bicycle lockers or bicycle rooms with key access for use by residents.			DGO.2 / Note 3			
	X		A.3.1	Long-term bicycles parking facilities shall be located on the ground floor and shall not be located between the building and the street.		DGO.2 / Note 4	Project does not comply. Long-term bike spaces are on garage levels 1-4, while the standard says they shall be located on the ground floor.	We have added a bike room on the ground level and have additional secured bike rooms on the upper levels.	
X			A.3.2	Multi-family residential and residential mixed-use buildings shall provide one long-term bicycle parking space per dwelling unit. Developments such as townhomes that include individual garages for each unit shall not be required to provide long-term bicycle parking.		DGO.2 / Note 1	Project complies.		
			A.3.3	Bicycle locker minimum requirements:					
		X		a. Dimensions of 42 inches wide, 75 inches deep, and 54 inches high.		no sheet provided	N/A. Bike lockers are not proposed.		
		X		b. Must withstand a load of 200 pounds per square foot.		no sheet provided	N/A. Bike lockers are not proposed.		
		X		c. Opened door must withstand 500-pound vertical load.		no sheet provided	N/A. Bike lockers are not proposed.		
			A.3.4	Bicycle rooms with key access minimum requirements:					
X				a. Bicycle rooms shall have a minimum ceiling height of seven feet.		DGO.1 / Keynote 7	Project complies.		
X				b. Bicycle rooms shall contain racks that support the bicycle frame at two points and allow for the bicycle frame and one wheel to be locked to the rack with a U-lock.		A4.3 (Update the page reference as Sheet A4.3 now shows turning-radius)	Project complies.		
X				c. Long-term bicycle parking spaces shall be served by an aisle with a minimum width of six feet.		A4.3 (Update the page reference as Sheet A4.3 now shows turning-radius)	Project complies.		
X				d. Maneuverability space of at least two feet shall be provided between the aisle and long-term bicycle parking spaces.		A4.3 (Update the page reference as Sheet A4.3 now shows turning-radius)	Project complies.		

	X				e. Each horizontal long-term bicycle parking space shall be a minimum of seven feet in length, two feet in width, four-and one-half feet in height. Each vertical long-term bicycle parking space shall be a minimum of three-and one-half feet in length, two feet in width, and seven feet in height.	A4.3 (Update the page reference as Sheet A4.3 now shows turning-radius)	Project does not comply. 2' width requirement is not met. Two-tier system does not meet height requirement.	Provide justification. Only justification provided for long-term bikes is regarding the number of spaces required (A.3.2). Also, update the page reference as A4.3 now shows turning-radius.	
				A.4. Vehicular Access					
		X		A.4.1	Off-street parking lots shall have vehicular circulation using an internal vehicular network that precludes the use of a public street for aisle-to-aisle internal circulation.	no sheet provided	N/A. Parking lot is not proposed.		
				A.5. Parking Location and Design					
		X		A.5.1	Surface parking lots and carports shall not be located between the primary building frontage and the street.	no sheet provided	N/A. Parking lot is not proposed.		
		X		A.5.2	Uncovered parking rows with at least 15 consecutive parking spaces shall include a landscape area of six feet minimum width at intervals of no more than 10 consecutive parking stalls. One tree shall be provided in each landscape area.	no sheet provided	N/A. Parking lot is not proposed.		
				A.6. Parking Structure Access					
X				A.6.1	Any vehicular entry gate to a parking structure shall be located to allow a minimum of 18 feet between the gate and the back of the sidewalk to minimize conflicts between sidewalks and vehicle queuing.	DGO.1 / Keynote 2	Project complies.		
	X			A.6.2	A parking structure shall not occupy more than 50 percent of the building width of any street-facing façade, and it shall be recessed a minimum of five feet from the street-facing façade of the building.	no sheet provided	Project does not comply. Parking structure occupies more than 50% of street facing façade.	Due to the irregular shape of the parcel and the fact it is triangular in shape and bounded by street on two sides, the parking has to be configured in a garage structure that occupies the majority of the site. Builder's Remedy allows us to not conform to the guidelines.	
X				A.6.3	For projects with five or more residential units and that have a vehicle access gate to the parking structure, a pedestrian gate shall also be provided.	DGO.1 / Keynote 3	Project complies.		
				A.7. Utilities					
	X			A.7.1	Pedestrian-oriented lighting shall be provided along all pedestrian paths in community recreation spaces. Exterior lighting fixtures shall be a minimum of three feet and a maximum of 12 feet in height. Light fixtures shall be placed along the pedestrian path at a spacing of no more than 30 linear feet.	E0.10, E0.16	Project does not comply. Mounting height details for SW3 are shown at 13' when 12' is max.	Provide justification.	
X				A.7.2	Exterior lighting shall be fully shielded and restrain light to a minimum 30 degrees below the horizontal plane of the light source. Lighting shall be arranged so that the light will not shine directly on lands of adjacent residential zoned properties. Uplighting is prohibited.	E0.10, General Note 5	Project complies.		
	X			A.7.3	Street-level views of ground level utility cabinets, mechanical equipment, trash, and service areas shall be screened from sight with landscape planting, fencing, or a wall, as allowed by the Town Code. The screening shall be at least the same height as the item being screened and screening that is not landscape material shall be constructed with one or more of the materials used on the primary building.	DGO.1 / Keynote 4, PL-3	Additional details required. Plans do not specify height of utility item being screened. Additionally, justification provided in ODS checklist is not accurate. The plants around the new transformer would have a maturity height of 2', 4', and 10' (not 1').	Plants around the utility cabinet will be 1 foot height upon maturity. The cabinets will be painted by art. See PL-3 sheet for planting heights as a mature size.	Thank you for providing justification. However, the justification provided does not line up with what the plans show. The justification states that the plants around the utility cabinet will be 1 foot tall at maturity, while PL-3 shows these plants ranging in height from 2' to 10' in height.
X				A.7.4	Rooftop mechanical equipment shall be screened from view from the street. Solar	DGO.4 / Note 1	Project complies.		
				A.8. Landscaping and Screening					
	X			A.8.1	At least 50 percent of the front setback area shall be landscaped.	A2.0	Additional details required. Plans do not specify amount of landscaping along front setback. Sheet A2.0 shows total landscape area. The plans need to specify the percent of the front setback that is landscaped.	Landscaping and Screening: Again, this is a Builder's Remedy project and we do not have to conform to this requirement and we can request waivers to this requirement.	Provide required details in plans. Staff does not have enough information to determine if this is complied with or not.
	X			A.8.2	A minimum 10-foot-wide landscape buffer shall be provided along the full length of the shared property line between multi-family or Residential Mixed-Use development and abutting residential properties. The buffer shall include the following: a. A solid masonry wall with a six-foot height, except within a street-facing setback where walls are not permitted; and b. Trees planted at a rate of at least one tree per 30 linear feet along the shared property line. Tree species shall be selected from the Town of Los Gatos Master Street Tree List and shall be a minimum 15-gallon size.	no sheet provided	Project does not comply. 10-wide buffer is not proposed.	Landscaping and Screening: Again, this is a Builder's Remedy project and we do not have to conform to this requirement and we can request waivers to this requirement.	
		X		A.8.3	Surface parking lots shall be screened from view of the street with landscaping or a wall with a minimum three-foot height to screen the parking lot when not already screened by a primary building. When located in a street-facing setback, screening may not exceed a height of three feet.	no sheet provided	N/A. Parking lot is not proposed.		
				A.9. Fencing					

	X			A.9.1	Fences, walls, and gates within required setbacks along all street frontages are prohibited unless used to screen on-site parking spaces from view from the street.	no sheet provided	Project does not comply and additional details required. Provide a sheet reference. This set of plans has less information on proposed fencing than the last round, but fencing is now shown adjacent to the cul-de-sac, which does not comply with this requirement. Provide justification, details in plans, and a sheet reference.	Provide justification.	
X				A.9.2	Chain link fencing is prohibited.	no sheet provided	Project complies.		
		X		A.9.2	Perimeter barrier gates for vehicles and pedestrian entry gates shall have a maximum height of six feet.	no sheet provided	N/A. Perimeter barrier gates are not proposed.		
X				A.9.4	Solid vehicular and pedestrian entry gates are prohibited. Entry gates shall be a minimum 50 percent open view.	DGO.1 / Keynote 3, A7.0	Project complies.		
				A.10. Retaining Walls					
		X		A.10.1	Retaining walls shall not exceed five feet in height. Where an additional retained portion is necessary, multiple-terraced walls shall be used. Terraced walls shall set back at least three feet from the lower segment.	no sheet provided	N/A. Retaining walls are not proposed.		
		X		A.10.2	Retaining walls shall not run in a straight continuous direction for more than 50 feet without including the following: a. A break, offset, or landscape pocket in the wall plane of at least three feet in length and two feet in depth; and b. Landscaping at a minimum height of three feet at the time of installation along a minimum of 60 percent of the total length of the retaining wall.	no sheet provided	N/A. Retaining walls are not proposed.		
				A.11. Landscaped, Private, and Community Recreation Spaces					
				A.11.1	The landscaped, private, and community recreation spaces listed below are required for all qualifying projects. Community recreation spaces and private recreation spaces are calculated independent of each other. Landscaped areas within community recreation spaces can contribute to required minimums for both landscaped area and community recreation space.	no sheet provided			
	X				a. Landscaped space: A minimum of 20 percent of the site area shall be landscaped.	PL-1, DGO.3 / Note 1	Project does not comply. PL-1 shows 16%.	Landscaped spaces: we do not comply with the 20% but have modified our plans to be at 16% landscape areas of the site. Again, the configuration of the site warrants the reduction in landscape area in addition to the loss of land at the proposed cul-de-sac.	
	X				b. Private recreation space: The minimum horizontal dimension is six feet in any direction and a minimum area of 60 square feet. The minimum vertical clearance required is eight feet. Private recreation space shall be directly accessible from the residential unit. Landscaped sections of private recreation space shall not count towards required landscaping requirements.	DGO.3 / Note 1, A10.0, A10.1	Project does not comply. The juliet balconies do not comply.	Juliet balconies: Our juliet balconies are 6'-5" wide but only 13 square feet. The remaining square feet required is in the community recreation space. We still comply with the total open area required.	
		X			i. Each ground floor dwelling unit shall have a minimum of 120 square feet of usable private recreation space.	no sheet provided	N/A. Ground units are not proposed.		
	X				ii. Each dwelling unit above the ground floor shall have a minimum of 60 square feet of usable private recreation space. Where multiple balconies are provided for a single unit, the 60-square-foot minimum can be an aggregate of all balconies, provide each balcony meets the requirements for minimum horizontal dimensions.	DGO.3 / Note 2	Project does not comply. The juliet balconies do not comply.	Juliet balconies: Our juliet balconies are 6'-5" wide but only 13 square feet. The remaining square feet required is in the community recreation space. We still comply with the total open area required.	
X					c. Community recreation space: The minimum dimensions are 10 feet by six feet. A minimum of 60 percent of the community recreation space shall be open to the sky and free of permanent solid-roofed weather protection structures. Community recreation space shall provide shading for a minimum 15 percent of the community recreation space by either trees or structures, such as awnings, canopies, umbrellas, or a trellis. Tree shading shall be calculated by using the diameter of the tree crown at 15 years maturity. Shading from other built structures shall be calculated by using the surface area of the overhead feature.	A6.0	Project appears to comply, but additional details required in plans. It appears that more than 60% of the area is open to the sky (8,256 sf / 12,134 sf = 68%). However, two vastly different numbers for proposed community open space are provided (12,134 sf vs 18,166 sf). It appears that at least 15% of this space is shaded, but no calculation was provided, and no details showing how many square feet is shaded.	Provide additional details in plans to show compliance (percentages).	
		X			i. Community recreation space shall be provided in Residential Mixed-Use developments at a minimum of 100 square feet per residential unit plus a minimum of two percent of the non-residential square footage.	no sheet provided	N/A. Not a mixed-use project.		
X					ii. Community recreation space shall be provided in multi-family residential development projects at a minimum of 100 square feet per residential unit.	A6.0, DGO.3 / Note 3	Project complies.		
		X			iii. A project with four or less residential units is exempt from community recreation space requirements.	no sheet provided	N/A. More than 4 residential units proposed.		
X					iv. Landscaped roof space can satisfy both required landscaping requirements and community recreation space requirements. Landscaped roof space may not be used to satisfy more than 50 percent of the required landscaping for the site.	PL-1	Project complies.		
				A.12. Building Placement					

X				A.12.1	To ensure buildings provide a continuous frontage along sidewalks, development in commercial zones shall place at least 75 percent of any ground floor street-facing façade on or within five feet of the setback line designated in the Town Code.	A2.0	Project complies.		
		X		A.12.2	A Residential Mixed-Use project with a ground-floor non-residential use shall provide site amenities on a minimum of 15 percent of the ground plane between the building and the front or street-side property line. The site amenities shall be comprised of <u>any</u> of the following elements:	no sheet provided	N/A. Not a mixed-use project.		
		X			a. Landscape materials or raised planters;	no sheet provided	N/A. Not a mixed-use project.		
		X			b. Walls designed to accommodate pedestrian seating, no higher than 36 inches;	no sheet provided	N/A. Not a mixed-use project.		
		X			c. Site furnishings, including fountains, sculptures, and other public art; or	no sheet provided	N/A. Not a mixed-use project.		
		X			d. Tables and chairs associated with the ground floor use.	no sheet provided	N/A. Not a mixed-use project.		

			B. BUILDING DESIGN			SHEETS (UPDATED 7/18/25)	STAFF RESPONSE (UPDATED BASED ON 7/18/25 RESUBMITTAL)	APPLICANT RESPONSE	STAFF RECOMMENDATION TO INCREASE JUSTIFICATION AND NEW STAFF COMMENTS BASED ON PLAN UPDATES
			B.1. Massing and Scale						
YES	NO	N/A	Objective Design Standard						
	X			B.1.1	Multiple-story building façades that face a street shall incorporate breaks in the building mass by implementing a <u>minimum of three</u> of the following solutions along the combined façade area of all primary buildings facing the street:	<i>no sheet provided</i>	Project does not comply. 3 or more solutions not used.	We are not in compliance, but we have placed multiple deck areas along the façade that are recessed into the building greater than the minimum two feet to create articulation in the massing of the building. The 5' second floor setback is not possible with the configuration and size of the parcel.	
	X				a. A minimum of 40 percent of the upper floor façade length shall step back from the plane of the ground-floor façade by at least five feet;	A16.0 Diagram #2	Project does not comply. The second floor does not step-back 5' from the ground floor.		
	X				b. Changes in the façade plane with a minimum change in depth of two feet for a minimum length along the façade of two feet at intervals of no more than 30 feet;	A16.0, A16.1	Project does not comply.	We are not in compliance, but we have placed multiple deck areas along the façade that are recessed into the building greater than the minimum two feet to create articulation in the massing of the building. The 5' second floor setback is not possible with the configuration and size of the parcel.	
X					c. Recessed façade plane to accommodate a building entry with a minimum ground plane area of 24 square feet. Where an awning or entry covering is provided, it can extend beyond the wall plane;	A16.0	Project complies.		
	X				d. An exterior arcade that provides a sheltered walkway within the building footprint with a minimum depth of eight feet. For a façade 50 feet or greater, the arcade must be a minimum length of 65 percent of the full building façade; for a facade less than 50 feet, the arcade must be a minimum of 80 percent of the full	<i>no sheet provided</i>	Project does not comply. No exterior arcade proposed.	This particular project does not lend itself to an arcade to be included in the design especially with the size and shape of the lot.	
	X				e. Ground floor open area abutting street-facing façade with a minimum area of 60 square feet; or	<i>no sheet provided</i>	Additional details required. This is marked as "yes" now, but not plan sheet reference is provided. It appears that the area near the main entrance (south-side of the building, facing Capri) would be close to meeting this, but not all of this is "open area" as bike parking is proposed.	Provide a sheet reference that shows compliance with this standard and update plans to include these details.	
	X				f. Vertical elements, such as pilasters or columns, that protrude a minimum of one foot from the façade and extend the full height of the building base or ground floor, whichever is greater.	<i>no sheet provided</i>	Project does not comply. Vertical elements are not proposed.	We do not comply because vertical columns do not blend with the architecture we have proposed. This is totally subjective and not appropriate on this project.	
	X			B.1.2	Upper floors above two stories shall be set back by a minimum of five feet from the ground-floor façade.	A16.1	Project does not comply. The upper floors do not step back 5' from the ground floor.	Provide justification. The updated ODS checklist says "see letter of justification", but no justification for this item is provided in your Letter of Justification.	
			B.2. Parking Structure Design						
X				B.2.1	The ground-floor façade of a parking structure facing a street or pedestrian walkway shall be fenestrated on a minimum of 40 percent of the façade.	A16.0, A16.1	Project complies.		
X				B.2.2	Façade openings on upper levels of a parking structure shall be screened at a minimum 10 percent and up to 30 percent of the opening to prevent full transparency into the structure.	A7.0, A7.1	Project complies.		
X				B.2.3	Parking structures facing a street and greater than 40 feet in length shall include landscaping between the building façade and the street, or façade articulation of at least 25 percent of the façade length. The façade articulation shall be implemented by <u>one</u> of the following solutions:	PL-1	Project complies.		

		X			a. An offset of the façade plane with a depth of at least 18 inches for a minimum of eight feet in horizontal length; or	A7.0, A7.1	N/A. Landscaping is used instead of façade articulation.		
		X			b. A different building material covering the entire façade articulation.	A7.0, A7.1	N/A. Landscaping is used instead of façade articulation.		
				B.3. Roof Design					
	X			B.3.1	At intervals of no more than 40 feet along the building façade, horizontal eaves shall be broken using <u>at least one</u> of the following strategies:		Project does not comply. No solutions are proposed.	The shape and size of the roof has been carefully designed to support solar panels and because of the height of the project, this design guideline for roofs is not appropriate.	
	X				a. Gables;	<i>no sheet provided</i>	Project does not comply. Gables are not proposed.		
	X				b. Building projection with a depth of a minimum of two feet;	A16.1	Project does not comply.		
	X				c. Change in façade or roof height of a minimum of two feet;	A7.0, A7.1, A10.0	Project does not comply.		
	X				d. Change in roof pitch or form; or	<i>no sheet provided</i>	Project does not comply.		
	X				e. Inclusion of dormers, parapets, and/or varying cornices.	A10.0, A10.1	Project does not comply.		
		X		B.3.2	Skylights shall have a flat profile rather than domed.	<i>no sheet provided</i>	N/A. Skylights are not proposed.		
		X		B.3.3	The total width of a single dormer or multiple dormers shall not exceed 50 percent of the total roof length at the street-facing façade. The dormer width shall be measured at dormer roof fascia, or widest part of the dormer.	<i>no sheet provided</i>	N/A. Dormers are not proposed.		
		X		B.3.4	Carport roof materials shall be the same as the primary building.	<i>no sheet provided</i>	N/A. Carports are not proposed.		
				B.4. Façade Design and Articulation					
X				B.4.1	Buildings greater than two stories shall be designed to differentiate the base, middle, and top of the building on any street-facing façade. Each of these elements shall be distinguished from one another using <u>at least two</u> of the following solutions:	A16.0, A16.1	Project complies. Solutions (d) and (e) are met.		
	X				a. Variation in building mass for a minimum of 60 percent of the length of the street-facing façade through changes in the façade plane that protrude or recess with a minimum dimension of two feet;	A16.0, A16.1	Project does not comply.		
	X				b. Balconies or habitable projections with a minimum depth of two feet for a minimum of 20 percent length of the street-facing façade;	A11.0 - A11.4	Project does not comply.		
	X				c. Variation in façade articulation, using shade and weather protection components, projecting a minimum of three feet for a minimum of 20 percent length from the street-facing façade;	<i>no sheet provided</i>	Project does not comply.		
X					d. The use of at least two different façade materials, each covering a minimum of 20 percent of the street-facing façade, or	DG0.3 / Note 5, A7.0, A7.1	Project complies.		
X					e. The upper floor shall implement a façade height that is a minimum of two feet greater than the façade height of the floor immediately below. The greater façade height shall be made evident by taller windows or arrangement of combined windows.	DG0.3 / Note 6	Project complies.		
X				B.4.2	All façade materials, such as siding, window types, and architectural details, used on the street-facing façade shall be used on all other building façades.	DG0.3 / Note 7	Project complies.		
	X			B.4.3	Variation in the street-facing façade planes shall be provided for buildings greater than one story by incorporating any combination of the following architectural solutions to achieve a <u>minimum of 16 points</u> :	A7.0, A7.1, A9.0, A10.0, A.10.1	Project does not comply. Not enough points achieved. See below.	Provide justification.	
					Architectural features, such as:				
	X				o Arcade or gallery along the ground floor;	8 points	<i>no sheet provided</i>	Project does not comply. Arcade or gallery is not proposed.	
		X			o Awnings or canopies on all ground floor windows of commercial space;	6 points	<i>no sheet provided</i>	N/A. Commercial space is not proposed.	You marked "yes"; however, there is no commercial space proposed so this cannot be met.
X					o Building cornice;	5 points	<i>no sheet provided</i>	Additional details required. This is now marked as "yes", but not plan sheet reference is provided. Staff sees a new "molding/band" on the elevations. Please confirm this is what you are referring to.	
	X				o Façade sconce lighting at a minimum of one light fixture per 15 linear feet.	3 points	E0.10	Project does not comply. Sheet E0.10 shows that light spacing does not meet this requirement.	

	X				▪ Bay or box windows projecting a minimum of 18 inches from the façade plane and comprising a minimum of 20 percent of the fenestration on the upper floors of the facade;	6 points	<i>no sheet provided</i>	Project does not comply. Bay windows are not proposed.		
	X				▪ Balconies or Juliet balconies provided on a minimum of 40 percent of the fenestration on the upper floors of the facade;	5 points	A10.0, A10.1	Additional details required. This is marked as "yes". The plans do not clearly show/state how this is complied with. Provide this diagram and/or calculation in the plans. Additionally, fix the sheet reference as Sheets A10.0 and A10.1 show building sections.		
	X				▪ Landscaped trellises or lattices extending across a minimum of 65 percent of any level of the facade;	5 points	<i>no sheet provided</i>	Project does not comply. Landscaped trellises or lattices are not proposed.		
X					▪ Materials and color changes;	3 points	A7.0, A7.1	Project complies.		
	X				▪ Eaves that overhang a minimum of two feet from the facade with supporting brackets;	3 points	<i>no sheet provided</i>	Additional details required. This is now marked as "yes". The plans do not clearly show/state how this is complied with. Provide this diagram and/or calculation in the plans. Additionally, provide a sheet reference that shows eaves with a 2' overhang on both street-facing facades.		
	X				▪ Window boxes or plant shelves under a minimum of 60 percent of the fenestration on the upper floors of the facade; or	3 points	<i>no sheet provided</i>	Project does not comply. Window boxes are not proposed.		
	X				▪ Decorative elements such as molding, brackets, or corbels	3 points	<i>no sheet provided</i>	Additional details required. This is now marked as "yes". The plans do not clearly show/state how this is complied with. Provide this diagram in the plans. Additionally, provide a sheet reference that shows the decorative elements "at all the railings", as you note in the ODS checklist.		
					TOTAL	8 points (16 needed)		Project does not comply. Not enough points achieved.	Provide justification.	
		X		B.4.4	Garage doors shall be recessed a minimum of 12 inches from the façade plane and		<i>no sheet provided</i>	N/A. Garage doors are not proposed.		
X				B.4.5	Changes in building materials shall occur at inside corners.		DGO.1 / Note 5	Project complies.		
X				B.4.6	A primary building entrance shall be provided facing a street or community recreation space. Additionally, all development shall meet the following requirements:		<i>no sheet provided</i>	Project complies.		
X					a. Pedestrian entries to ground-floor and upper-floor non-residential uses shall meet at least one of the following standards:		A3.0, A4.0	Project complies.		
X					i. The entrance shall be recessed in the façade plane at least three feet in depth; or		A5.0, A2.0, A3.0, A4.0	Project complies.		
X					ii. The entrance shall be covered by an awning, portico, or other architectural element projecting from the façade a minimum of three feet.		A5.1, A3.0, A4.0	Project complies.		
		X			b. For ground-floor commercial uses, façades facing a street shall include		<i>no sheet provided</i>	N/A. Commercial space is not proposed.		
X				B.4.7	Pedestrian entries to buildings shall meet minimum dimensions to ensure adequate access based on use and development intensity. Building entries inclusive of the doorway and the facade plane shall meet the following minimum dimensions:		A10.0, A10.1	Project complies.		
		X			a. Individual residential entries: five feet in width		<i>no sheet provided</i>	N/A. Individual entries on ground floor not proposed.		
X					b. Single entry to multiple residential unit building, including Residential Mixed-Use buildings: eight feet in width		A3.0, A2.0	Project complies.		
X					c. Storefront entry: six feet in width		A3.0, A2.0	Project complies.		
X				B.4.8	Mirrored windows are prohibited.		A7.0	Project complies.		
X				B.4.9	Awnings shall be subject to the following requirements:		A7.0, A7.1	Project complies.		
X					a. A minimum vertical clearance of eight feet measured from the pedestrian pathway;		A7.0	Project complies.		
		X			b. Shall not extend beyond individual storefront bays; and		<i>no sheet provided</i>	N/A. Individual storefront bays are not proposed.		
X					c. Shall not be patterned or striped.		A9.0	Project complies.		

	X			B.4.10	For buildings abutting a single-family zoning district or existing single-family use, no part of a rooftop or upper floor terrace or deck shall be closer than five feet from the facade plane of the lower floor, to prevent views into adjacent residential uses.	no sheet provided	Project does not comply. The proposed balconies along the northern elevation do not comply. Provide a sheet reference and justification. The response says that the balconies would face a commercially zoned parcel to the north. This is true, however, the standard says "or existing single-family use." The property to the north is zoned C-1 but is used as a single-family residence.	Provide justification.	
	X			B.4.11	Balconies are allowed on facades facing the street and those facades facing existing non-residential uses on abutting parcels. Such balconies shall be without any projections beyond the building footprint.	DG0.3 / Note 8	Project does not comply. The proposed balconies would face the existing adjacent residential use to the north.	Provide justification.	
		X		B.4.12	Residential Mixed-Use buildings shall provide <u>at least one</u> of the following features along street-facing façades where the façade exceeds 50 feet in length:	no sheet provided	N/A. Residential mixed-use is not proposed.		
		X			a. A minimum five-foot offset from the façade plane for a length of at least 10 feet;	no sheet provided	N/A. Residential mixed-use is not proposed.		
		X			b. Multiple pilasters or columns, each with a minimum width of two feet; or	no sheet provided	N/A. Residential mixed-use is not proposed.		
		X			c. Common open space, such as a plaza, outdoor dining area, or other spaces.	no sheet provided	N/A. Residential mixed-use is not proposed.		
X				B.4.13	Continuous blank façades on any floor level shall not exceed 25 percent of the entire façade length along any street.	DG0.3 / Note 9, A9.0	Project complies.		