

A. CHAUBE RESIDENCE

14300 LORA DR.
LOS GATOS, CA 95032

owner
Amrito & Sonali

A. CHAUBE RESIDENCE
14300 LORA DR.
LOS GATOS, CA 95032

PROJECT
NEW BUILD

SHEET TITLE
COVER SHEET

Kris & associates
design services
T 510.252.1212
Email : krism21@gmail.com

Krislani Mulia

REVISION
1
2Cres 10-06-20
3Cres 11-25-20

DATE 08.18.20
DRAWN BY KM
SCALE AS SHOWN
SHEET

A-1

GENERAL NOTES

- ALL CONSTRUCTION WORK AND ITS FINISHED PRODUCT SHALL COMPLY WITH STATE CODES, CITY ORDINANCES.
- THE ISSUANCE OF A BUILDING PERMIT SHALL NOT BE CONSTRUED AS A GUARANTEE THAT ALL CODE REQUIREMENTS ARE REFLECTED IN THE DOCUMENTS. NO GUARANTEE OF CONSTRUCTION QUALITY IS IMPLIED OR INTENDED BY THIS ARCHITECTURAL DOCUMENTS. THE GENERAL CONTRACTOR SHALL BE ULTIMATELY RESPONSIBLE FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- BUILDER SET DEFINITION : THESE PLANS ARE A "BUILDER SET". IT CONTAINS INFORMATION FOR BUILDING PERMIT AND GENERAL CONSTRUCTION PURPOSES ONLY. THEY ARE NOT EXHAUSTIVELY DETAILED NOR ARE FULLY SPECIFIED. THIS HAS BEEN PRODUCED FOR THE USE OF A KNOWLEDGEABLE AND EXPERIENCED CONTRACTOR. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY, SELECT, SOLVE, AND INSTALL ALL MATERIALS & EQUIPMENT CORRECTLY.
- BY EXECUTING CONTRACTS, PRIOR TO COMMENCING ANY WORK OR ORDERING ANY MATERIAL, CONTRACTOR REPRESENT THAT THEY HAVE:
 - 4.1. VERIFIED EXISTING JOB SITE CONDITIONS AND SURROUNDINGS, LOCATIONS OF ALL UTILITY LINES, CONDUITS, SURFACE OR SUBSURFACE STRUCTURES, ETC. AND OF ANY NATURE THAT MAY BE AFFECTED BY THE WORK AND MADE DUE ALLOWANCES FOR DIFFICULTIES.
 - 4.2. CONTRACTOR TO VERIFY ALL MEASUREMENTS SHOWN ON THESE DRAWINGS WHICH SUPERCEDES SCALE OF DRAWINGS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OR OWNER OF ANY CONFLICTS, INCONSISTENCIES THEY DISCOVER WITHIN THE DRAWINGS OR EXISTING FIELD CONDITION PRIOR TO CONTINUE THE WORK IN THE AFFECTED AREA. IF THE AFFECTED AREA WORK IS CONTINUED WITHOUT ARCHITECT/ENGINEER CLARIFICATION, INSTRUCTION, THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY CHANGES, DEFECT.
- THE CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT AND HIS/HER CONSULTANTS FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUB-SEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT AND ITS ASSOCIATES CONSULTANT.
- CONTRACTOR SHALL ACCEPT AND MAINTAIN THE EXISTING SITE, SURROUNDING CONDITION, AND PROTECT NEW AND EXISTING WORK, EQUIPMENT, MATERIALS, DAMAGES CAUSED BY CONTRACTOR NEGLIGENCE, SHALL BE REPAIRED, REPLACE AS GOOD CONDITION AS BEFORE, AT THE EXPENSE OF THE CONTRACTOR.
- DEMOLITION SHALL BE DONE IN A SAFE, ORDERLY MANNER WITHOUT DAMAGING TO OTHER PARTS OF THE PREMISES OR ADJACENT PROPERTIES. ALL DEMOLISHED/REMOVED ITEMS SHALL BE DISPOSED OFF BY THE CONTRACTOR PER CITY OF FREMONT CONSTRUCTION & DEMOLITION WASTE MANAGEMENT ORDINANCE, AND VERIFY WITH THE OWNER ON ITEMS TO BE SAVED AND STORED. ALL REMOVED ITEMS TO BE SAVED FOR REUSE SHALL BE HANDLED WITH CARE.

PROJECT DATA

A.P.N. NO. :
ZONING : R-1-8
OCCUPANCY GROUP : R3 - U
TYPE OF CONSTRUCTION : V-B sprinklered
LOT AREA : 19,853 S.F.

MAX. ALLOWABLE LOT COVERAGE=40% x 19,853 = 7,941 S.F.

LOT COVERAGE :
(N) HOUSE = 2,584 S.F.
(N) GARAGE = 986 S.F.
(E) HOUSE = 1,187 S.F. +
TOTAL = 4,757 S.F. < 7,941 S.F. -> OK

MAXIMUM ALLOWABLE HABITABLE AREA :
MAX AREA = 4,590 S.F.

HABITABLE AREA :
(N) HOUSE 1st FLOOR = 2,584 S.F.
2nd FLOOR = 1,758 S.F. +
TOTAL = 4,342 S.F. < 4,590 S.F. -> OK

MAXIMUM DETACHED ACCESSORY BUILDING AREA:
15% x 19,853 = 2,978 S.F.

DETACHED ACCESSORY BUILDING AREA:
986 S.F. (N) GARAGE < 2,978 S.F. -> OK

SET BACK	ALLOWED	PROPOSED
FRONT	25'	154'-7" (E) 29'-7"
RIGHT SIDE	8'	8'
LEFT SIDE	8'	12'
REAR	25'	55'-2"

AFES SPRINKLER PROVIDED : NFPA 13D SYSTEM

SCOPE OF WORK :
THIS PROJECT IS TO BUILD NEW 2 STORY SINGLE FAMILY RESIDENCE, DEMOLISH THE EXISTING GARAGE, AND BUILD NEW 4 CARS GARAGE.

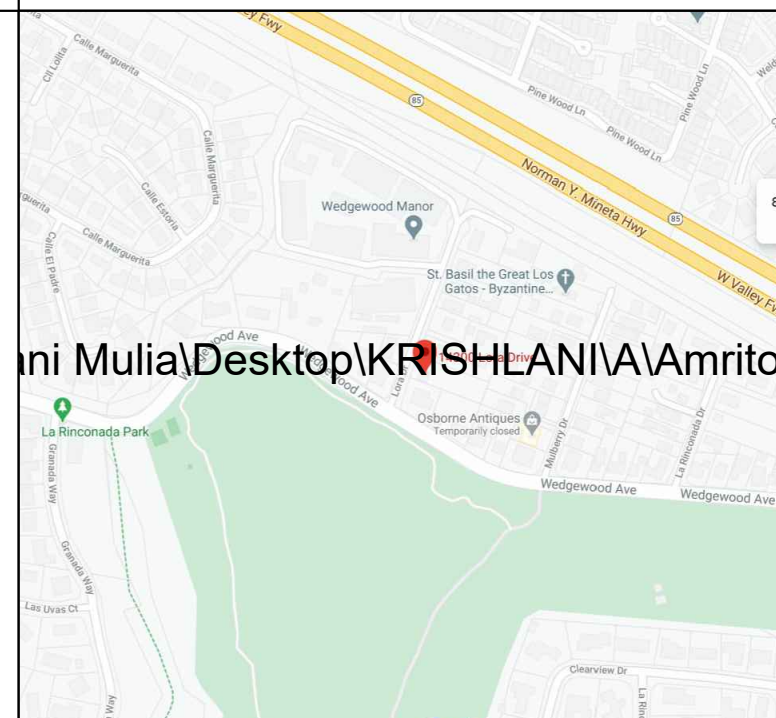
PROJECT CONSULTANT

CIVIL ENGINEER :
SURVEYOR
L.C. ENGINEERING
T 408.806.7187

GRADING & DRAINAGE
PAUL LEUNG P.E.
408.370.8615
MILPITAS, CA

PROJECT DESIGNER-CONTACT PERSON
KRISLANI MULIA
T/F 510.252.1212
3484 MISSION VIEW DR.
FREMONT, CA 94538

VICINITY MAP



SHEET INDEX

- | | |
|------|------------------------------------|
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APPLIED CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA FIRE CODE
RESIDENTIAL BUILDINGS 6-STORIES OR LESS IN HEIGHT-MANDATORY TIER I MEASURES

TOWN OF LOS GATOS BUILDING ORDINANCE

All construction activities shall be limited to the following hours:
Monday through Friday : 7 AM to 7 PM
Saturday : 9 AM to 6 PM
Sundays & Holidays : No construction activities allowed

THE PROPOSED FIRE SPRINKLERS WILL BE A DEFERRED SUBMITTAL

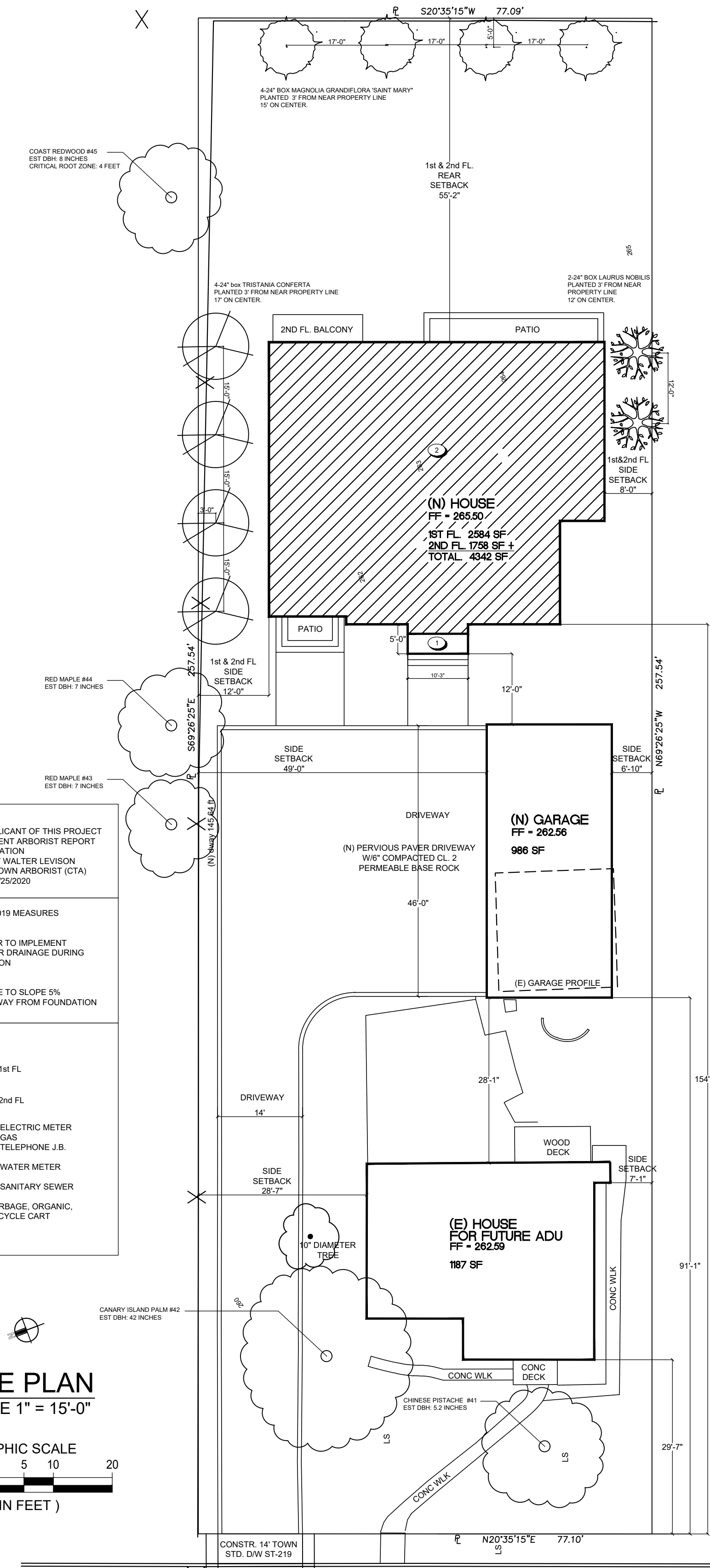
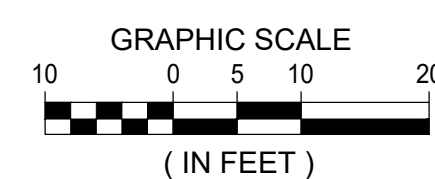
NOTES:
OWNER APPLICANT OF THIS PROJECT WILL IMPLEMENT ARBORIST REPORT RECOMMENDATION PROVIDED BY WALTER LEVISON CONTRACT TOWN ARBORIST (CTA) DATED ON 09/25/2020

CALGREEN 2019 MEASURES
CG 4.106.2 CONTRACTOR TO IMPLEMENT STORMWATER DRAINAGE DURING CONSTRUCTION
CG 4.106.3 FINISH GRADE TO SLOPE 5% WITHIN 10' AWAY FROM FOUNDATION

LEGEND:
(N) 1st FL
(N) 2nd FL
(E) ELECTRIC METER (E) GAS (E) TELEPHONE J.B.
(E) WATER METER
(E) S.S. (E) SANITARY SEWER
GARBAGE, ORGANIC, RECYCLE CART

SITE PLAN

SCALE 1" = 15'-0"

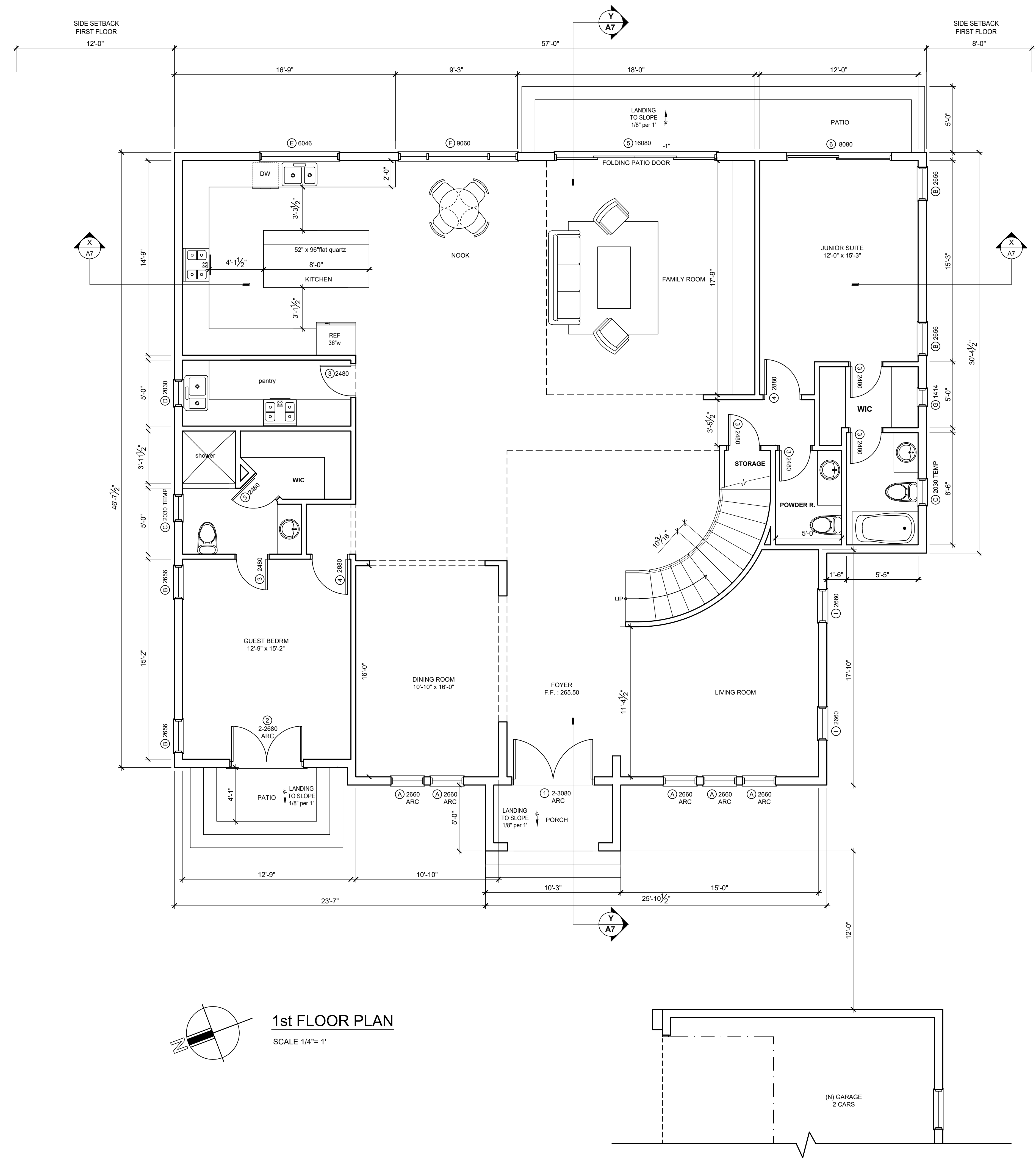


LORA DRIVE (50' R/W)

± S20°35'15"W (BASIS OF BEARINGS)

REVISION

1	
2	2Cres 10-06-20
3	3Cres 11-25-20
4	



1st FLOOR PLAN
SCALE 1/4" = 1'

SANTA CLARA COUNTY FIRE DEPARTMENT NOTES:

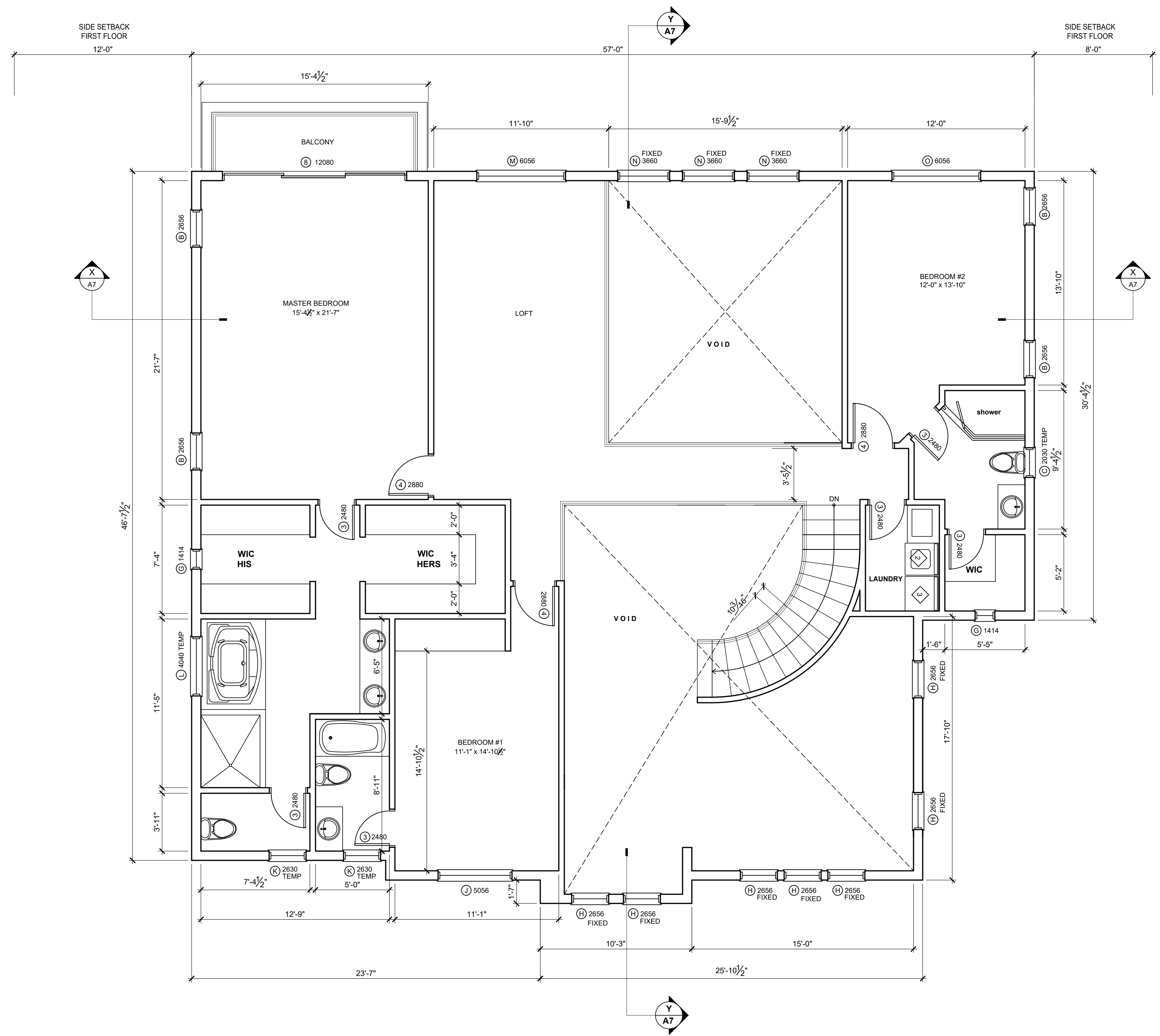
1. NEW AND EXISTING BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY
2. THE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND
3. WHERE REQUIRED BY THE THE FIRE CODE OFFICIAL, ADDRESS NUMBERS SHALL BE PROVIDED IN APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSES.
4. ADDRESS NUMBERS SHALL BE IN ARABIC NUMBERS OR ALPHABETICAL LETTERS . NUMBERS SHALL BE A MINIMUM OF 4" (101.6) HIGH WITH A MINIMUM STROKE WIDTH OH 0.5 INCH (12.7 MM)
5. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING CAN NOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE, OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE.
6. ADDRESS NUMBER SHALL BE MAINTAINED

CONSTRUCTION SITE FIRE SAFETY

ALL CONSTRUCTION SITES MUST COMPLY WITH APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 AND OUR STANDARD DETAIL AND SPECIFICATION S1-7

DOOR & WINDOW SCHEDULE					
DOOR CALL-OUT, 2 RAISED PANEL, HOLLOW CORE DR U.N.O			WINDOW CALL-OUT, U FACTOR MAX 0.31, SHGC 0.37		
DOOR HEADER AT 8'-0" A.F.F., U.N.O.			WINDOW HEADER AT 8'-0" ABOVE F.F, U.N.O.		
①	2-3080 HINGED ARC TOP *	1 EA MAIN ENTRANCE	Ⓐ	2660 SH ARC TOP	5 EA LIVING RM, DINING RM
②	2-2680 HINGED ARC TOP *	1 EA GUEST BEDROOM	Ⓑ	2656 SH	8 EA GUEST RM, JUNIOR SUITE, BEDRM #2, MASTER BEDRM
③	2480 HINGED	12 JUNIOR SUITE, BATHRM #1, MASTER BATHRM, POWDER, STORAGE, PANTRY, W/C, LAUNDRY	Ⓒ	2030 TEMPERED	3 EA BATHROOMS
④	2880 HINGED	5 BEDROOMS #1,2, JUNIOR SUITE	Ⓓ	2030 SH	1 EA PANTRY
⑤	16080 SLIDING DOOR	1 FAMILY ROOM	Ⓔ	6046 SLD XO	1 EA KITCHEN
⑥	8080 SLIDING DOOR	1 JUNIOR SUITE	Ⓕ	9060 FIXED SH	1 EA BREAKFAST NOOK
⑦	20080 OVERHEAD DOOR	2 EA GARAGE	Ⓖ	1414 FIX	3 EA WALKING CLOSET
⑧	12080 SLIDING DOOR	1 EA MASTER BEDROOM	Ⓗ	2656 FIXED	8 EA VOID LIVING RM
*	THRESHOLD AT ALL DOORWAYS SHALL BE 3/4", 7- 3/4" MAX.				
			Ⓙ	5056 SLD XO	1 EA BEDROOM #1
			Ⓚ	2630 TEMPERED	2 EA MASTER BATHRM, BATHRM #1
			Ⓛ	4040 TEMPERED	1 EA MASTER BATHRM
			Ⓜ	6056 SLD XO	2 EA LOFT & BEDROOM #2
			Ⓝ	3660 FIXED	3 PCS 2ND FLOOR VOID
			Ⓞ	3030 SH	3 EA GARAGE

LEGEND & NOTES :	
	NEW WALL
	1 HR FIRE RESISTIVE WALL, 5/8" TYPE "X" GYP. BD. GARAGE A SIDE
	DOOR-WINDOW CALL OUT
	2nd FLOOR LINE
	TANKLESS WATER HEATER
	ONE HOUR ASSEMBLY, 5/8" TYPE "X" GYP. BD. SHALL BE APPLIED TO ALL WALLS AND SOFFITS UNDER USABLE SPACE OF STAIRWAY



2nd FLOOR PLAN
SCALE 1/4" = 1'



FRONT ELEVATION

SCALE 1/4" = 1'



REAR ELEVATION

SCALE 1/4" = 1'

PROJECT

NEW BUILD

SHEET TITLE

ELEVATIONS

Kris & associates
design services
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Email : krism21@gmail.com

Kristine Malin

REVISION

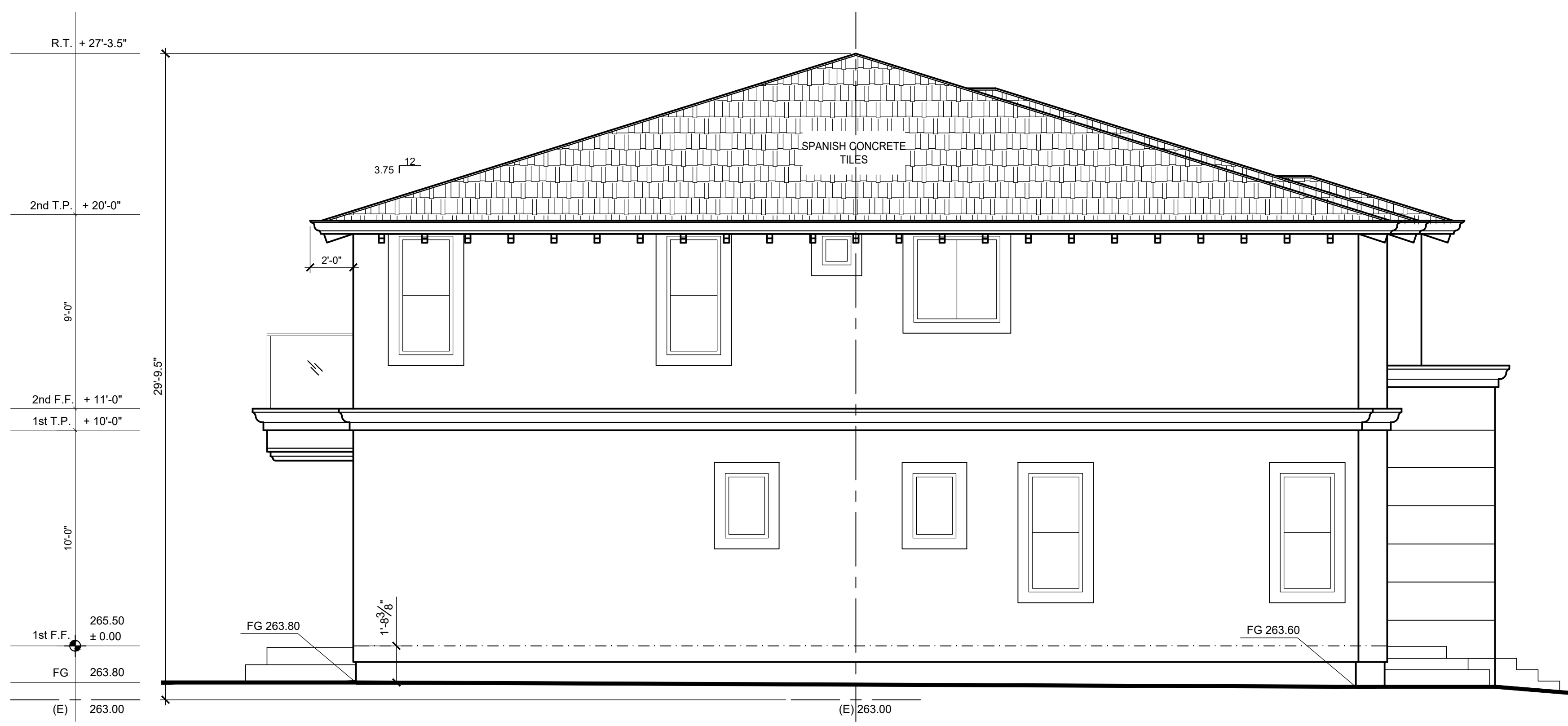
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DATE 08.05.20

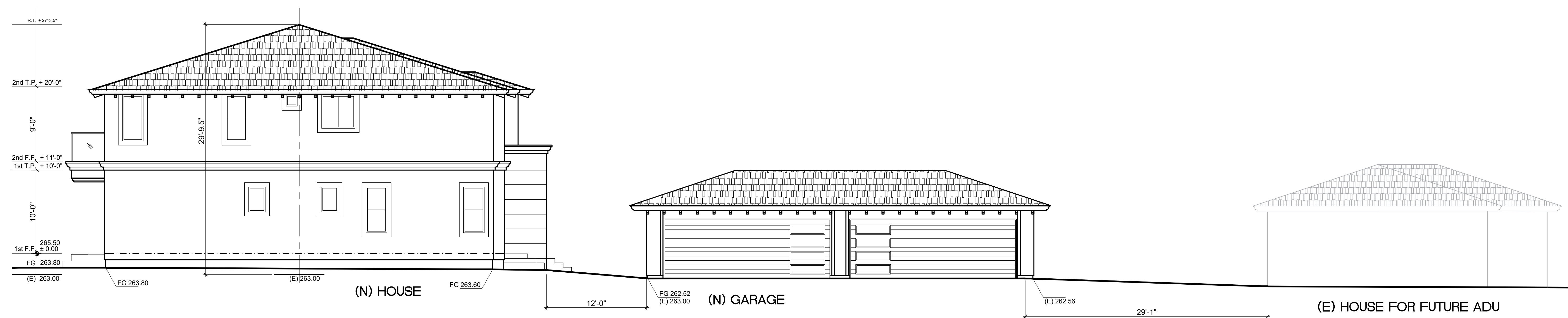
DRAWN BY KM

SCALE AS SHOWN

SHEET



LEFT ELEVATION
SCALE 1/4" = 1'



LEFT ELEVATION WITH EXISTING STRUCTURE
SCALE 1" = 6'

PROJECT
NEW BUILD

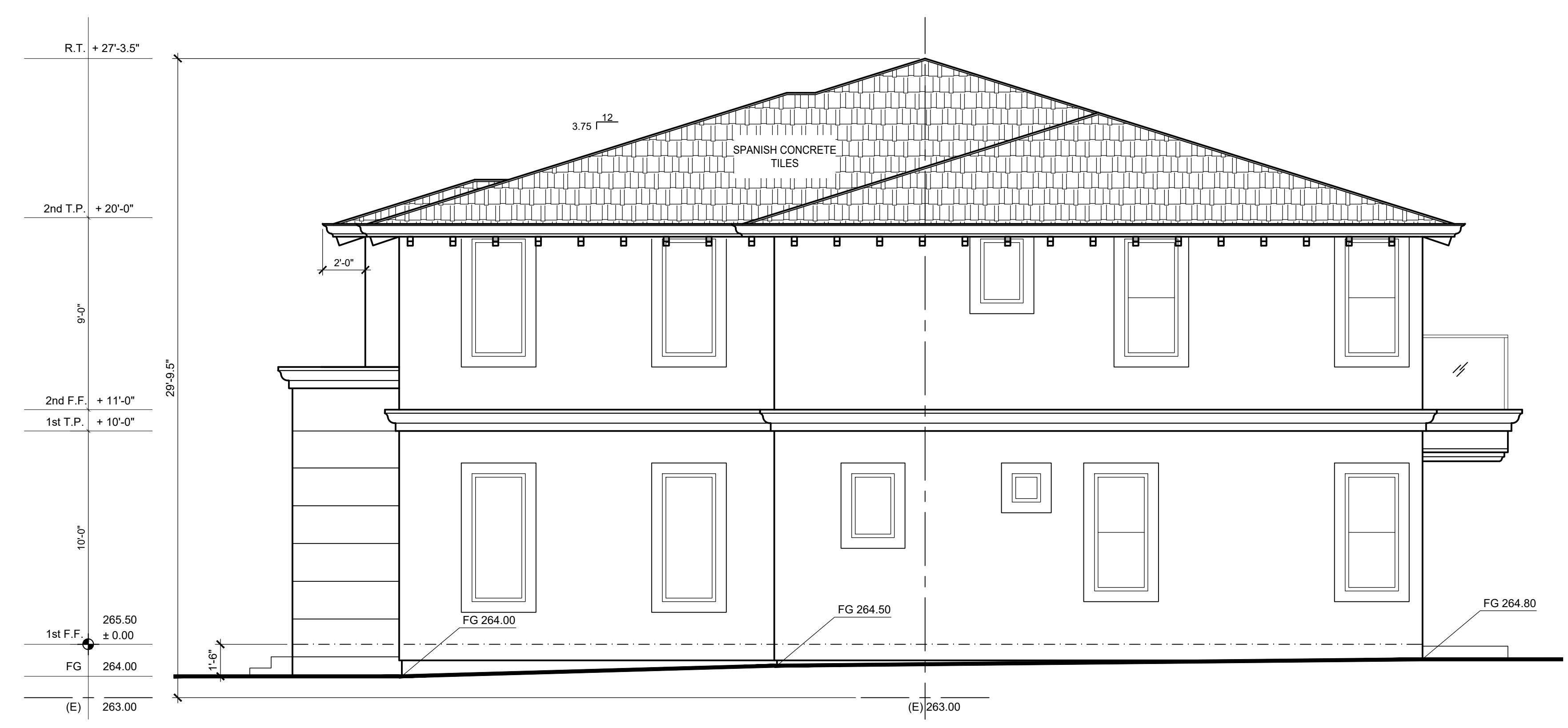
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Kristiana Malhotra

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RIGHT ELEVATION
SCALE 1/4" = 1'

PROJECT
NEW BUILD

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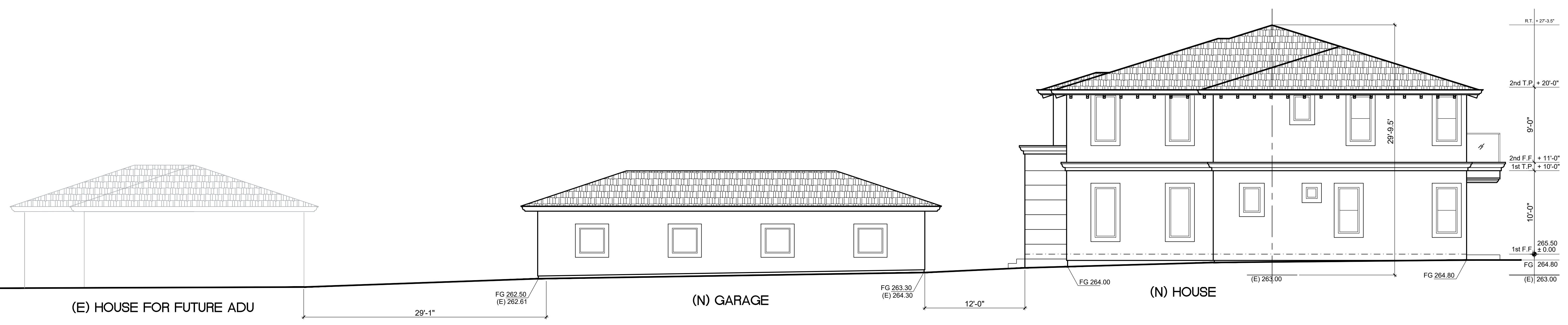
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Kristine Malin

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RIGHT ELEVATION WITH EXISTING STRUCTURE
SCALE 1" = 6'

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SECTIONS &
ROOF PLAN

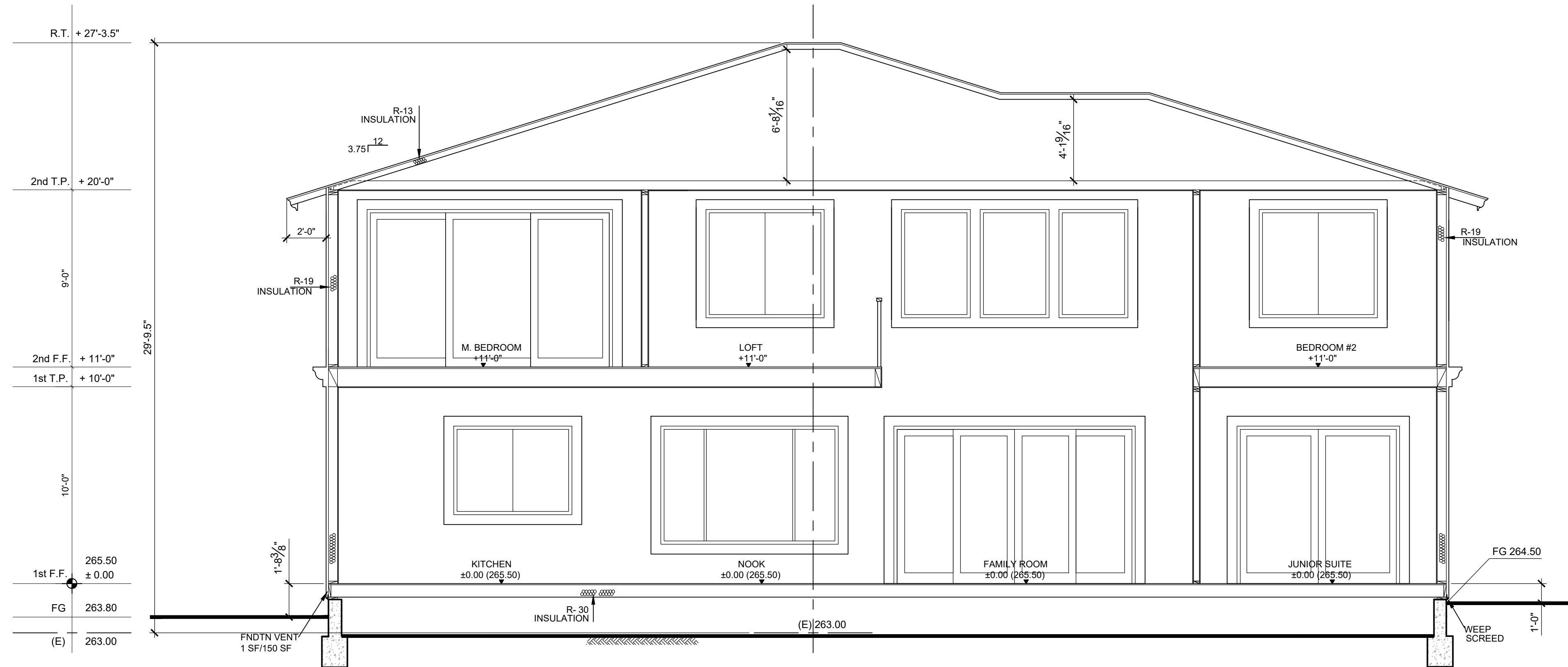
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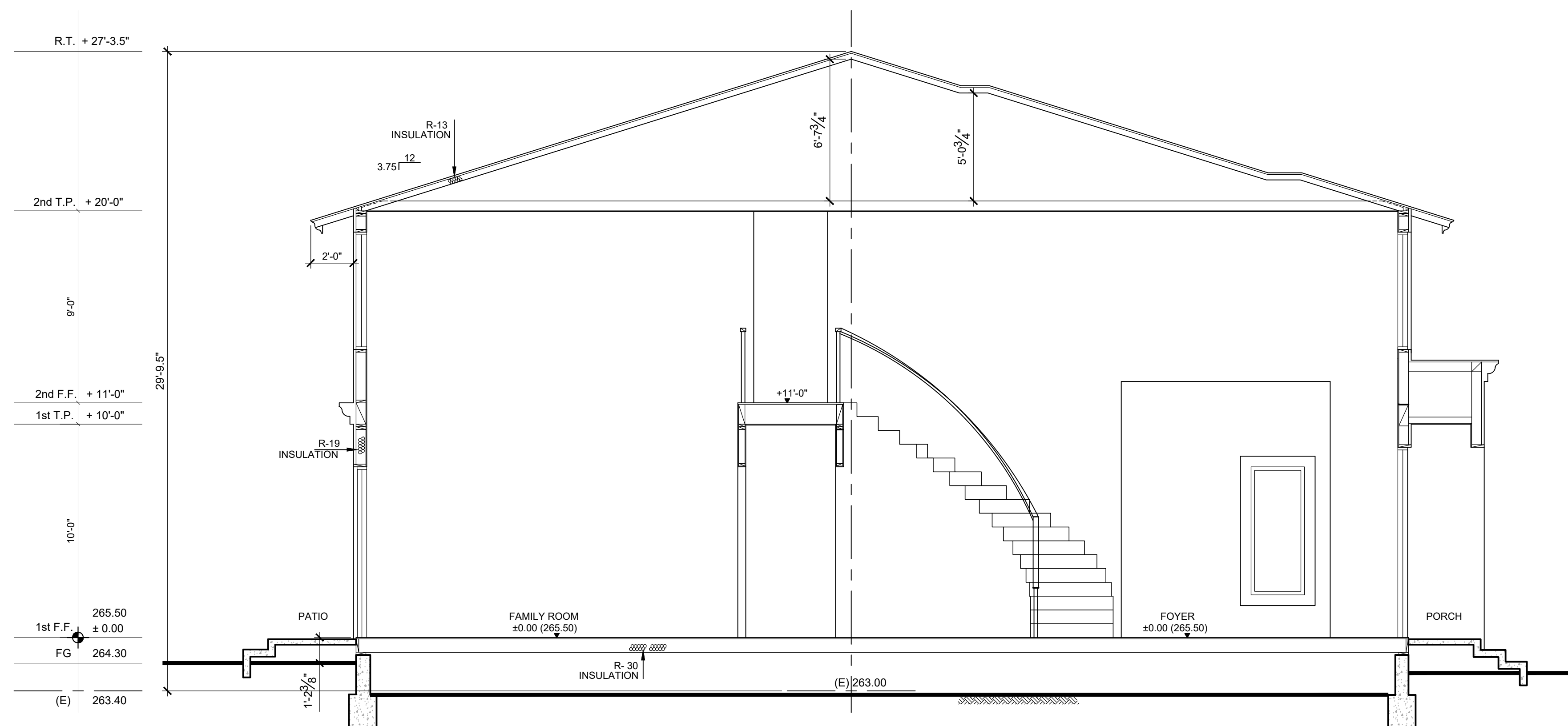
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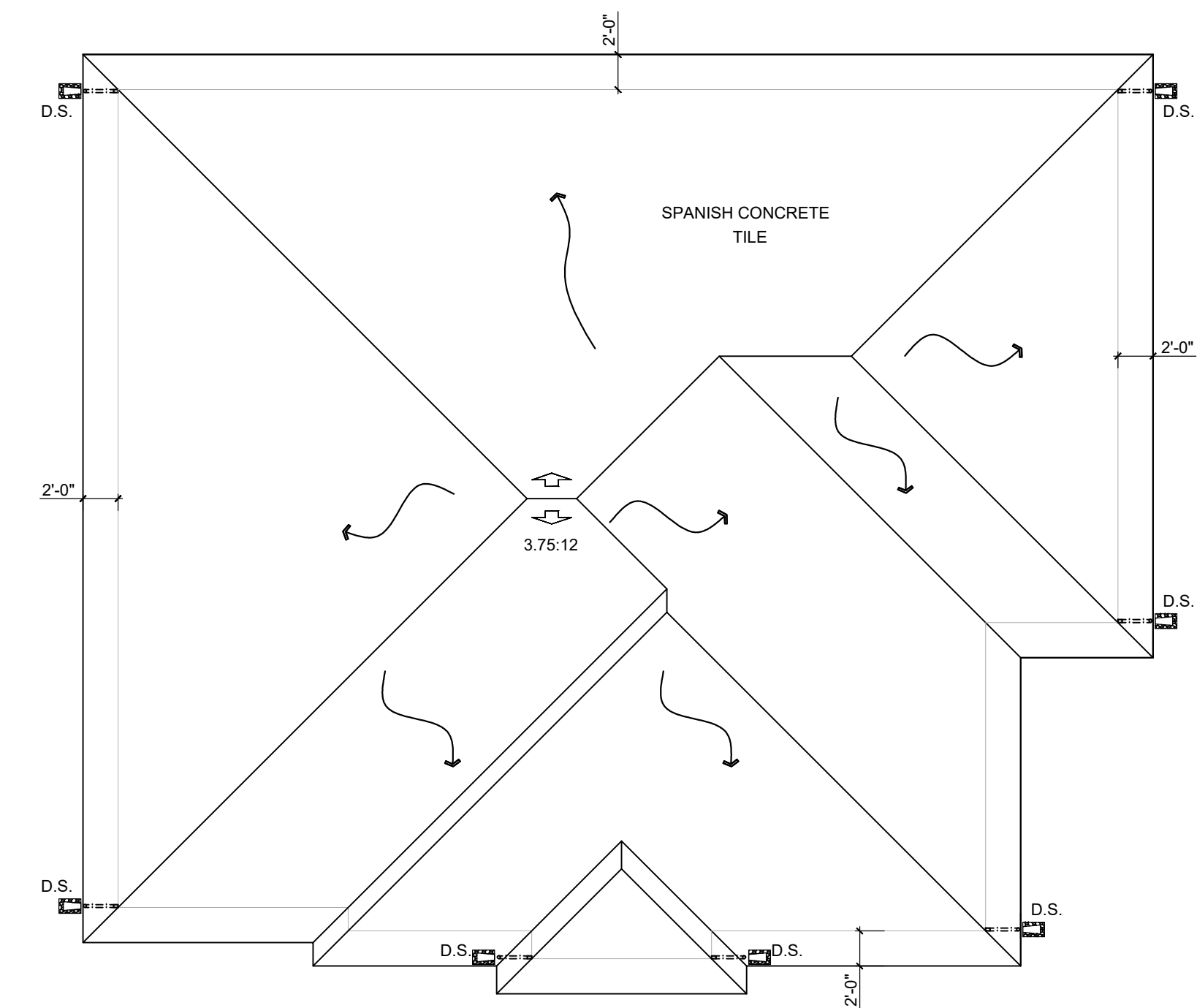
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SECTION X-X
SCALE 1/4" = 1'

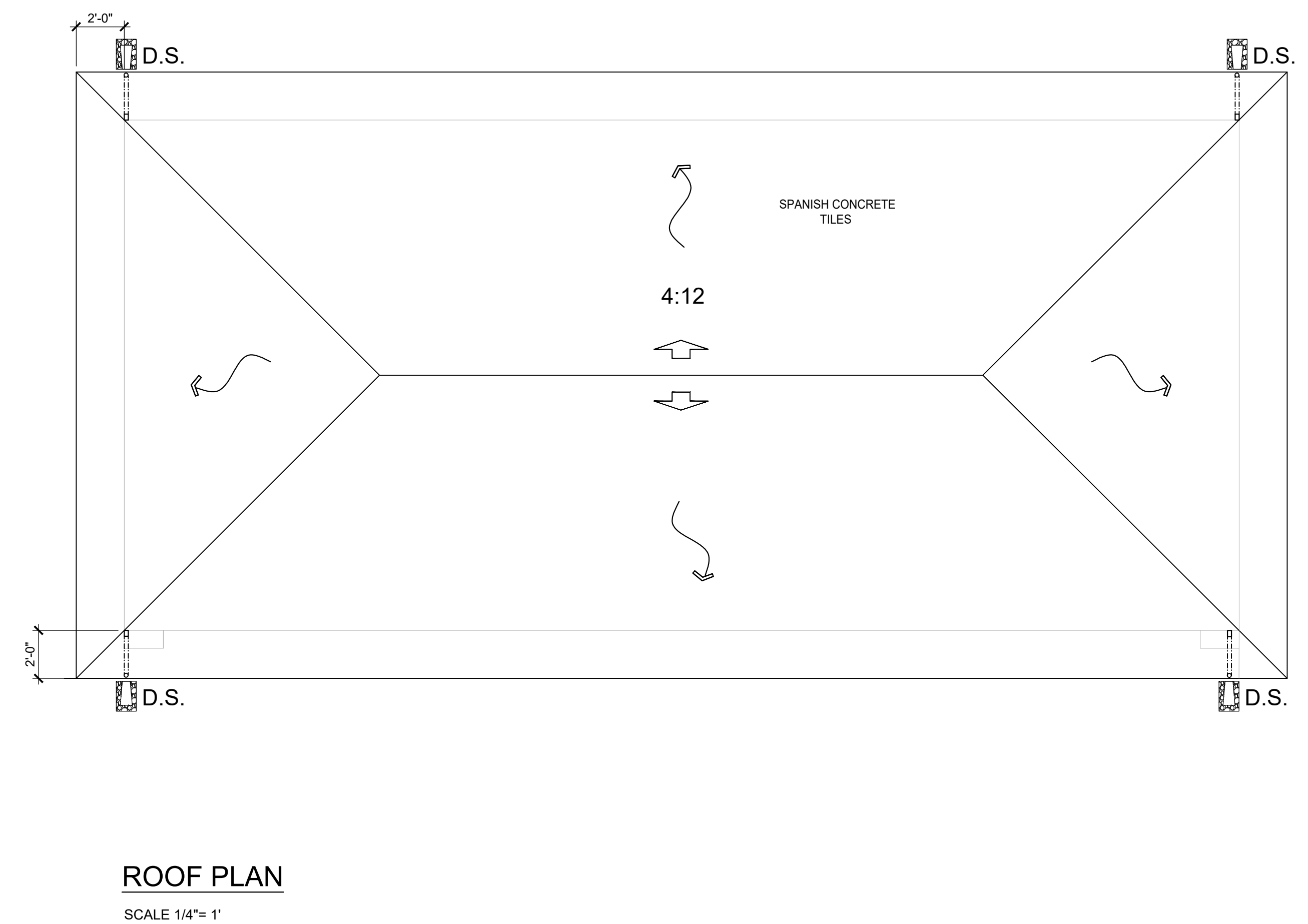
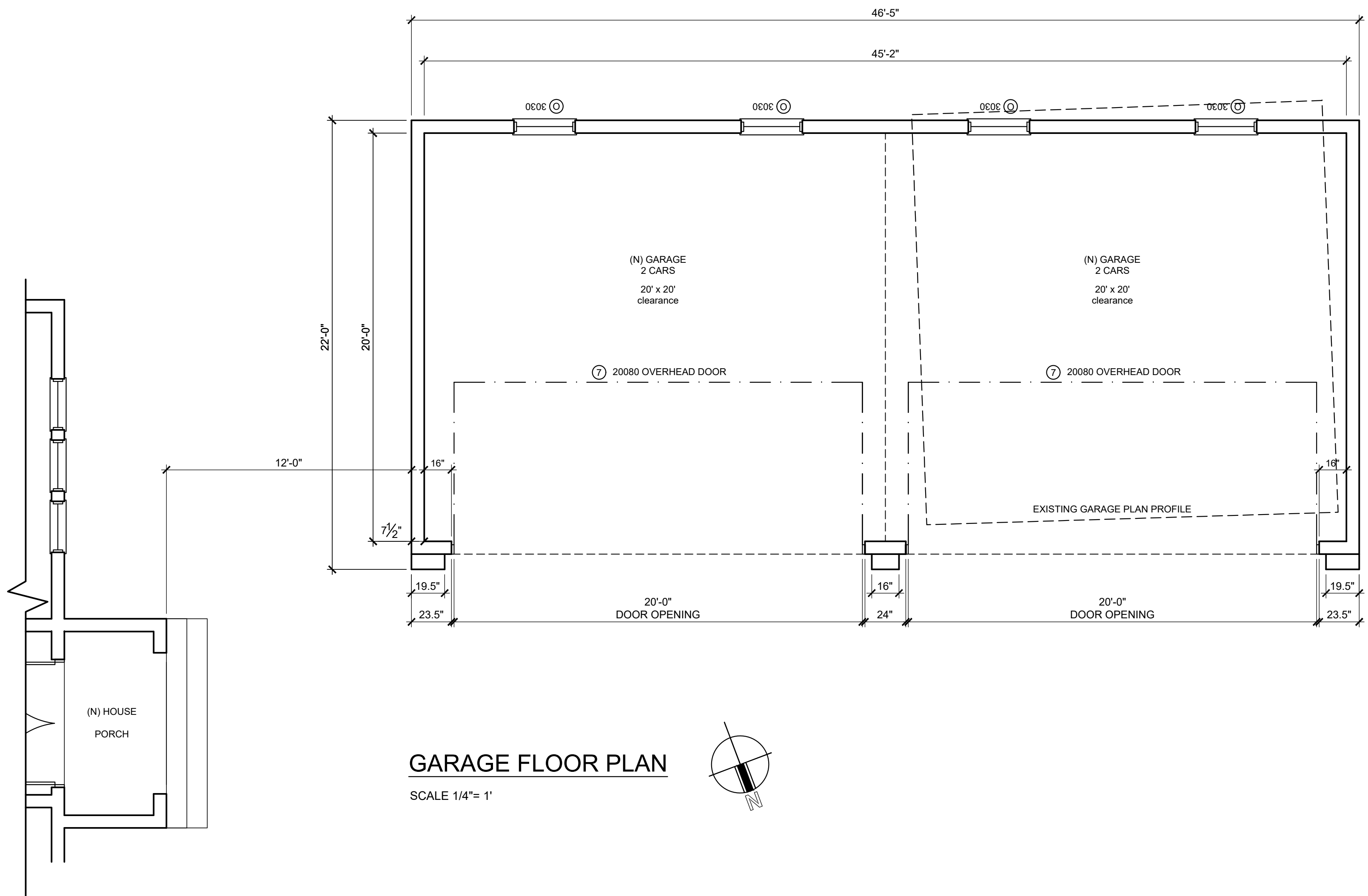
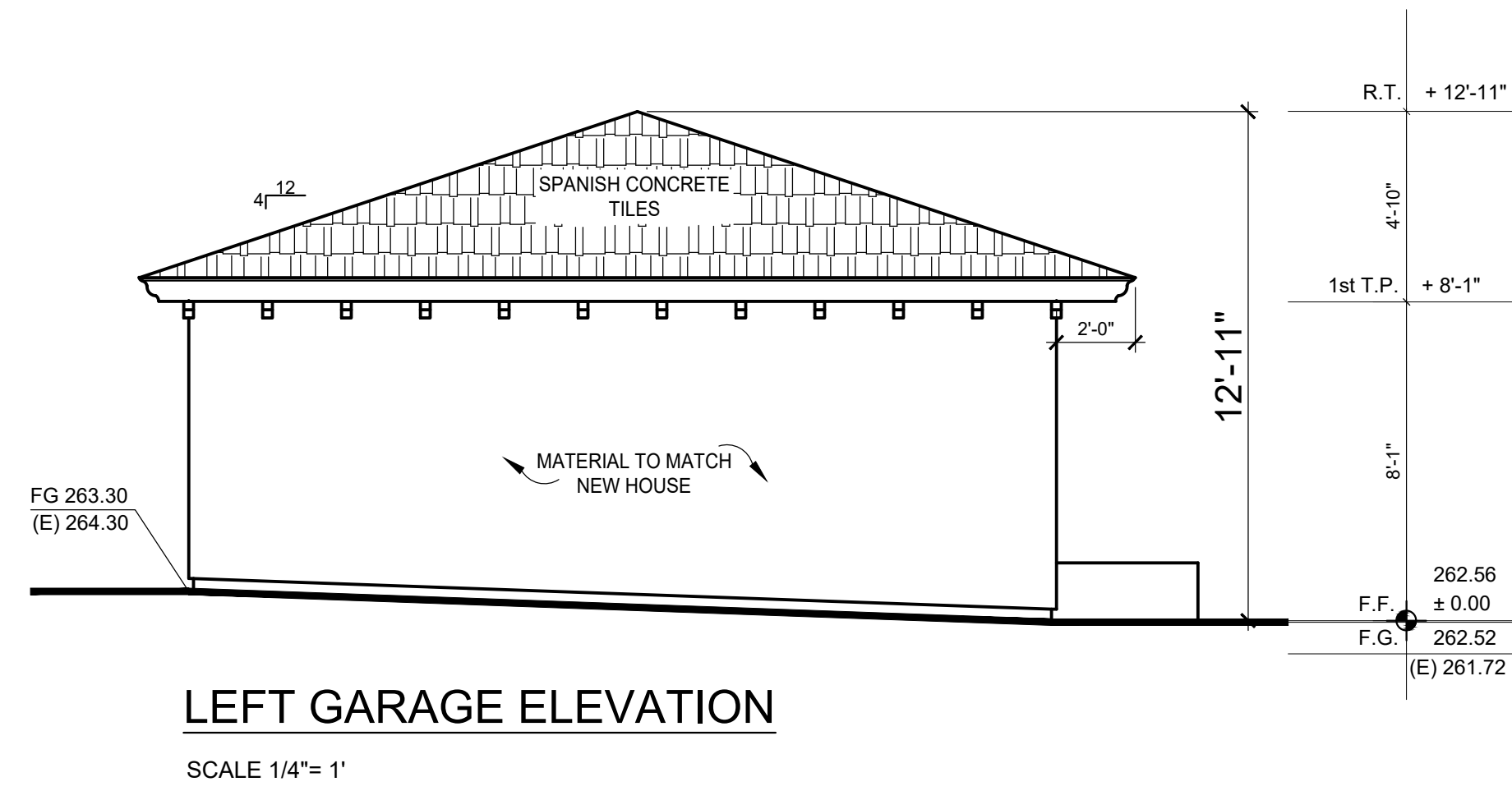
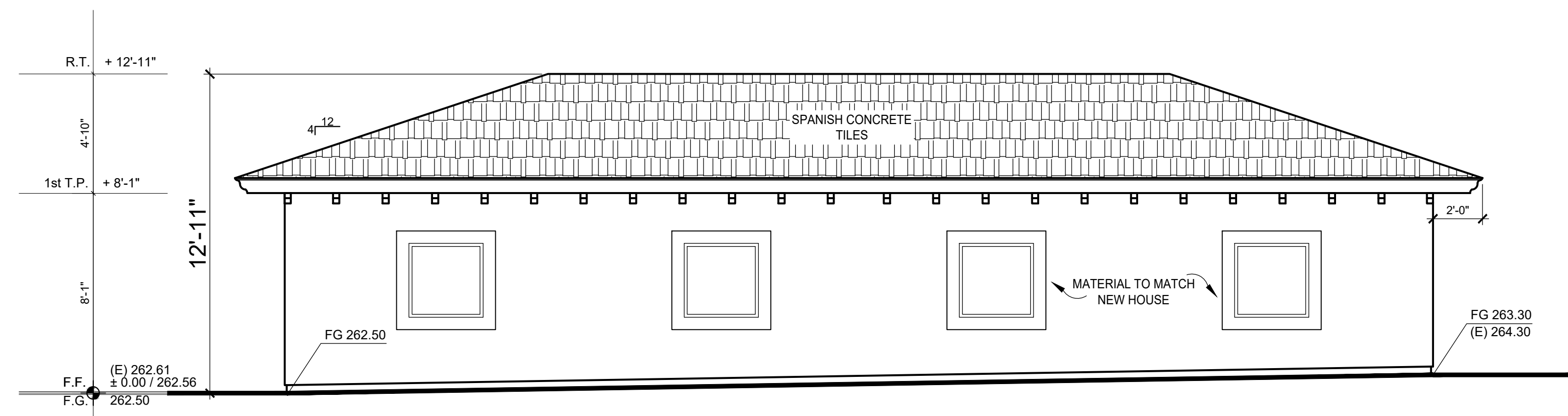
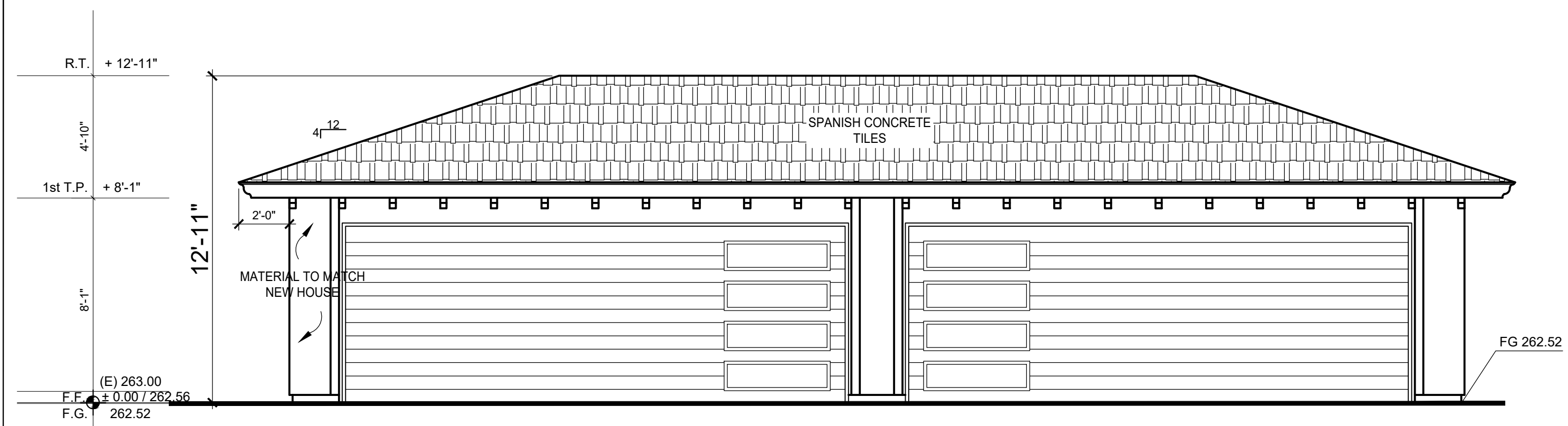


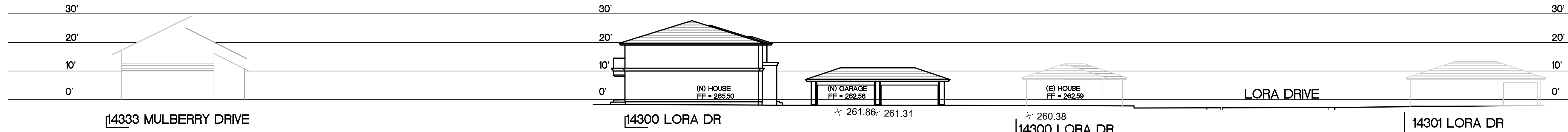
SECTION Y-Y
SCALE 1/4" = 1'



ROOF PLAN
SCALE 1/8" = 1'-0"

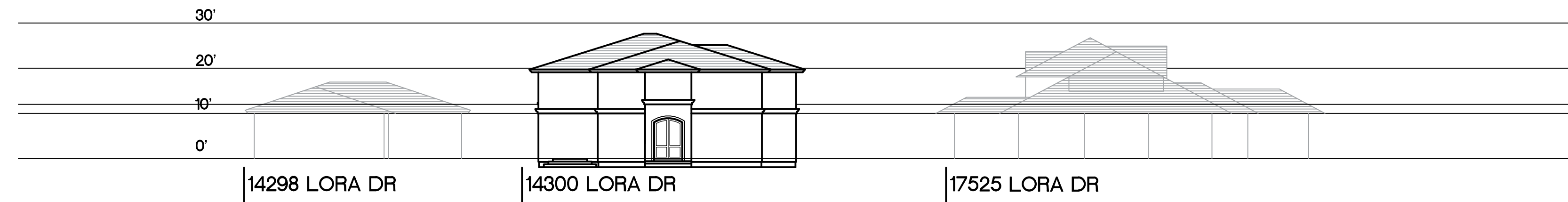
- D.S. DOWN SPOUT
- SPLASH BLOCK & COBBLESTONES TYP. FOR ALL DOWN SPOUTS TO REDUCE VELOCITY OF ROOF WATERS TO PREVENT EROSION LANDSCAPE AREAS.
- RAINWATER LEADERS FROM ROOF GUTTERS SHALL NOT BE PIPED DIRECTLY TO THE STORM DRAIN. THEY SHALL BE CONNECTED TO AN EARTHEN SWALE AND AREA DRAIN(S) CONNECTED TO THE STORM DRAIN SYSTEM, OR A COMPARABLE METHOD TO EFFECTIVELY REDUCE THE ENTRY OF POLLUTANTS INTO STORM WATER RUNOFF





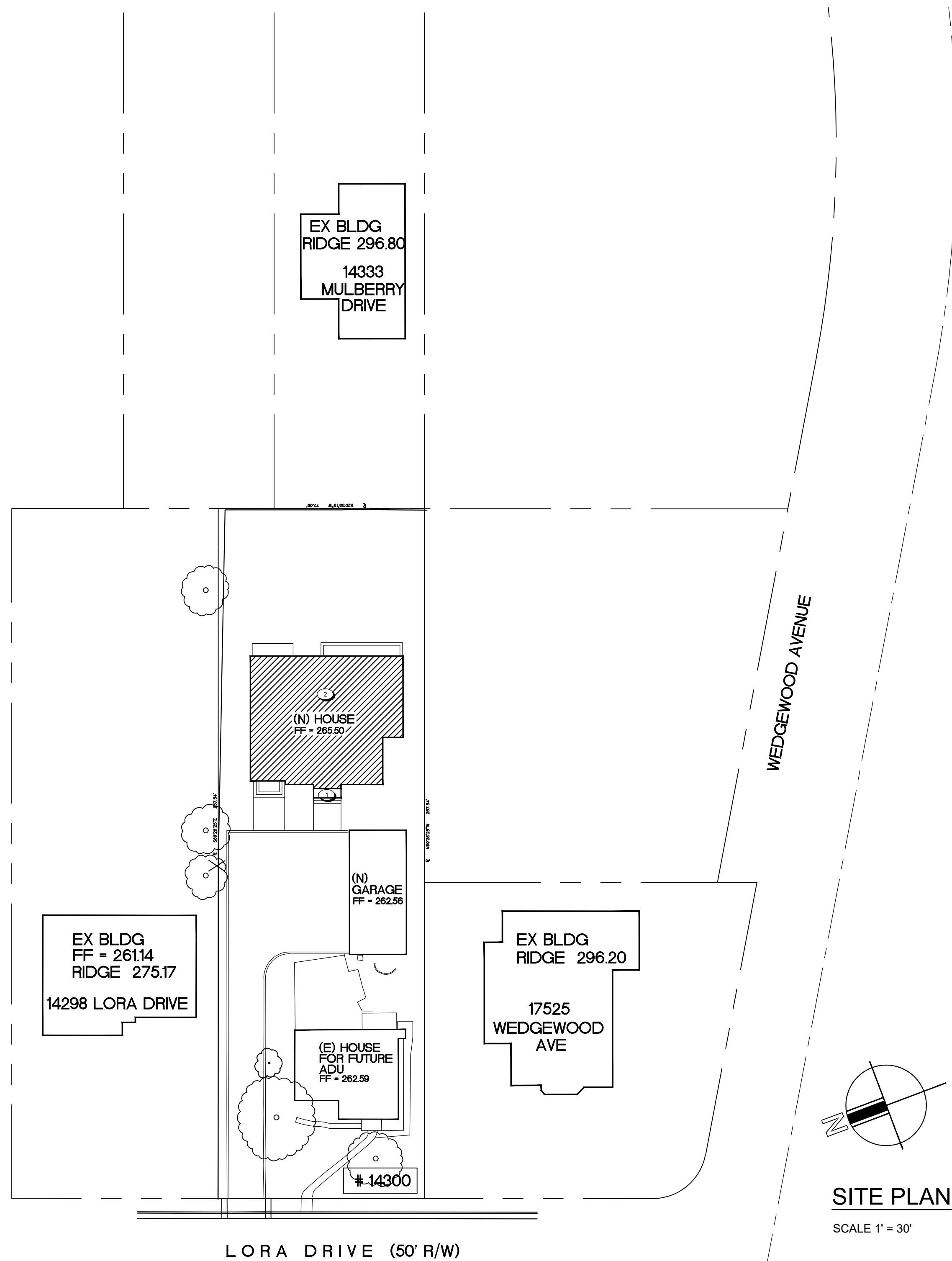
STREET SCAPE

SCALE 1" = 20'



STREET SCAPE

SCALE 1" = 20'



SITE PLAN

SCALE 1" = 30'

A. CHAUBE RESIDENCE
14300 LORA DR.
LOS GATOS, CA 95032

PROJECT

NEW BUILD

SHEET TITLE

STREETSCAPE
& N'BORHOOD
SITE PLAN

Kris & associates

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Kristina Malin

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PERSPECTIVE

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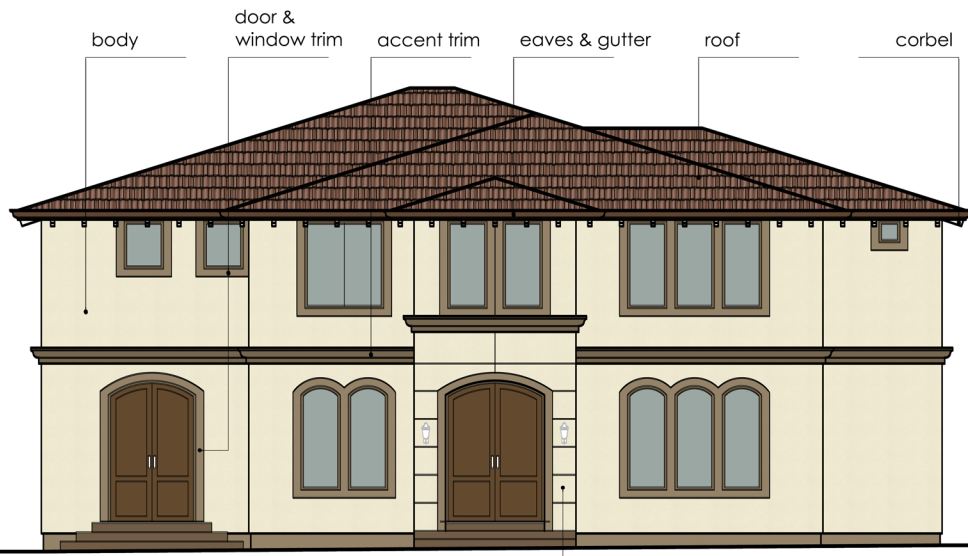
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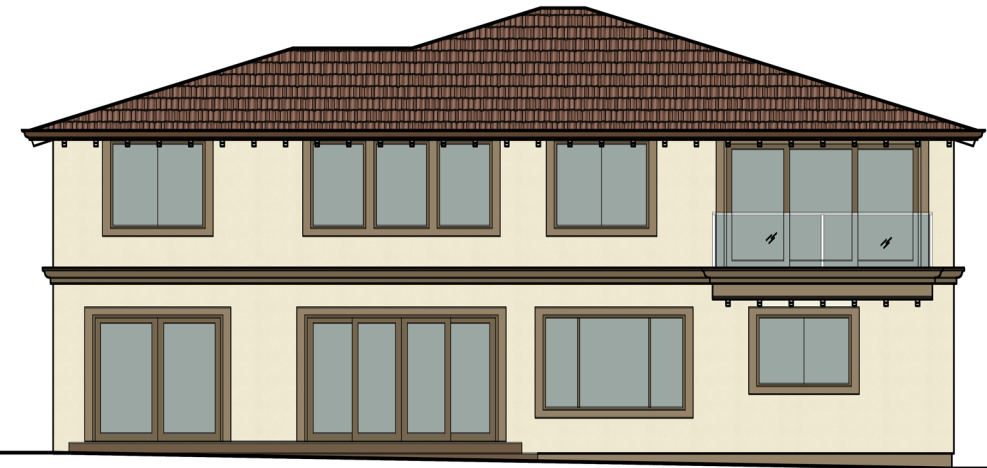




FRONT ELEVATION

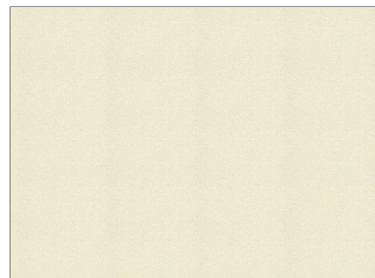
SCALE 1/4" = 1'

entry porch



REAR ELEVATION

SCALE 1/4" = 1'



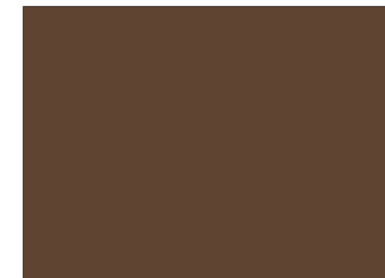
EXTERIOR FINISH
 Dryvit Acrylic
 Body : Sunset Yellow #107



GARAGE FRONT ELEVATION

SCALE 1/4" = 1'

garage door



EAVES & GUTTER
 Kelly Moore Alkyds
 Color : Oxford Brown

A. Chaube Residence

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 Los Gatos, CA 95032

MATERIAL PROPOSAL
 color scheme

Kris & associates

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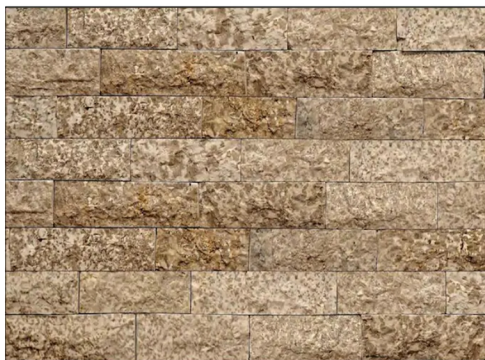
WINDOWS
 Manufacture: Jeld Wen Door & Window
 Auralast Pine Wood



TRIM & WINDOW SILL
 Manufacture : FlexStone
 Faux natural stone : Mocha Travertine



CORBEL
 Manufacture : Ekena Millwork
 Olympic Brace
 Western Red Cedar



ENTRY PORCH
 Natural Stone Veneer
 Ledgerstone Cape Cod Gray



ROOF
 Manufacture : Boral Roof
 Mission Barrel Tiles - Bermuda Blend
 Color : Tuscany



GARAGE DOOR
 Manufacture : C.H.I Overhead Doors
 Planks Collection : Mahogany Woodtone
 With frosted glass windows insert

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MATERIAL PROPOSAL
 color scheme

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June 21st 9:00 am



June 21st 12:00 pm



June 21st 3:00 pm



December 21st 9:00 am



December 21st 12:00 pm



December 21st 3:00 pm

owner
Amrito & Sonali

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SHADOW STUDY

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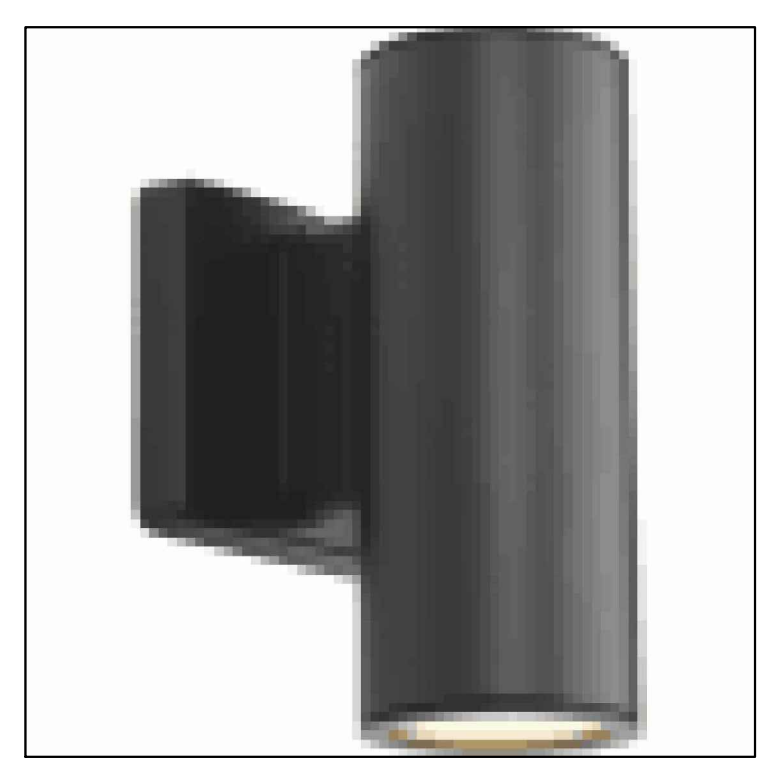
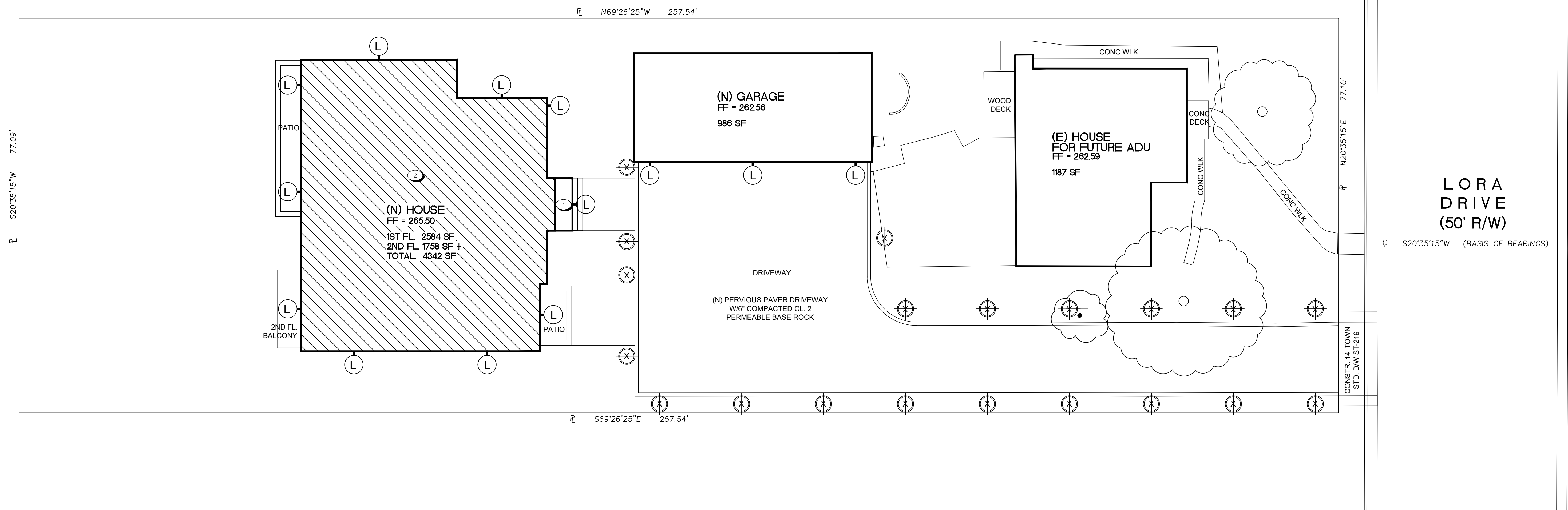
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1
2
3
4



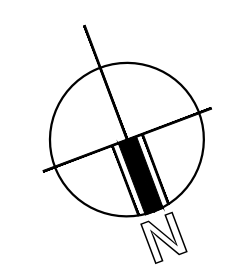
HOUSE LIGHT
FIXTURE-LED



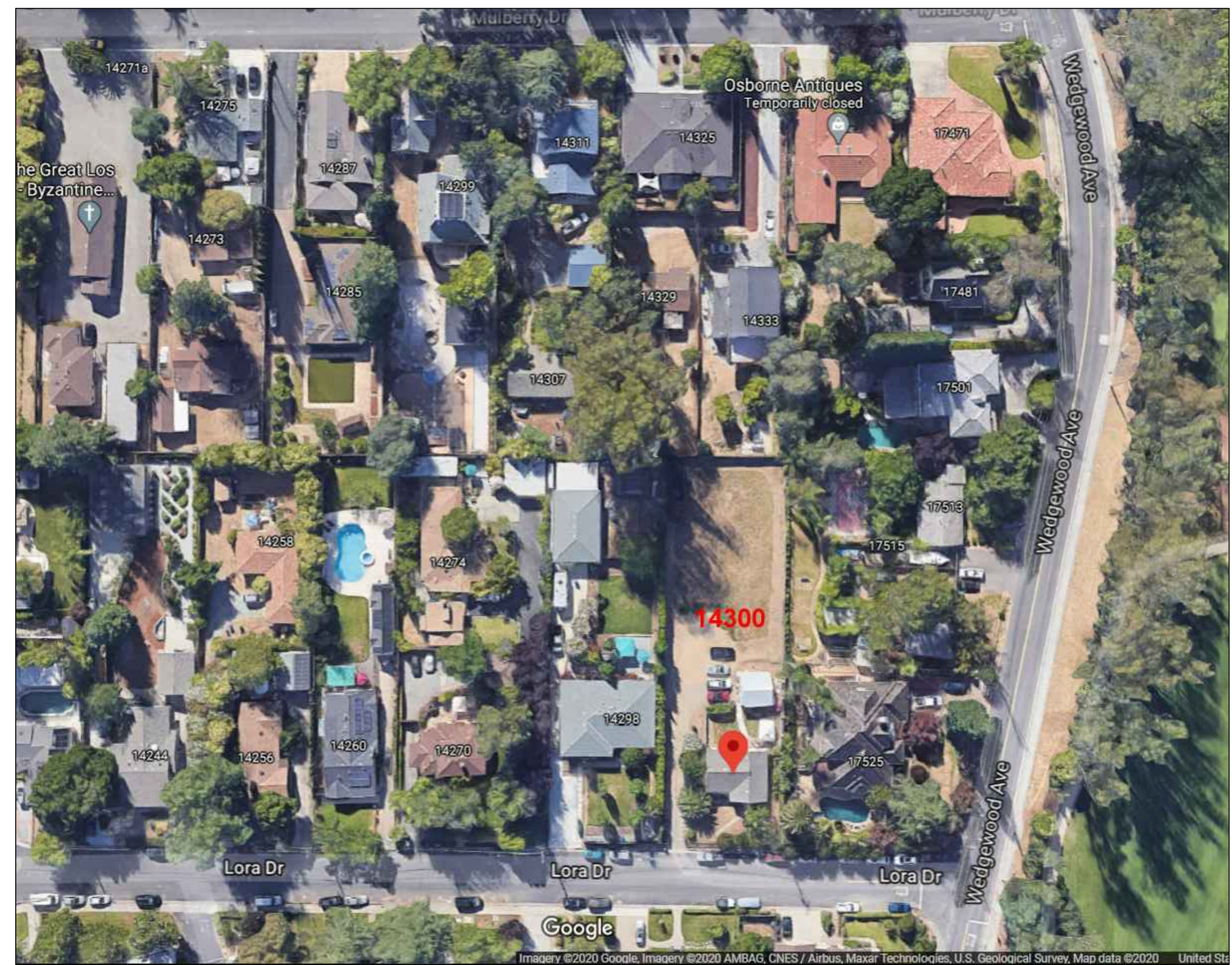
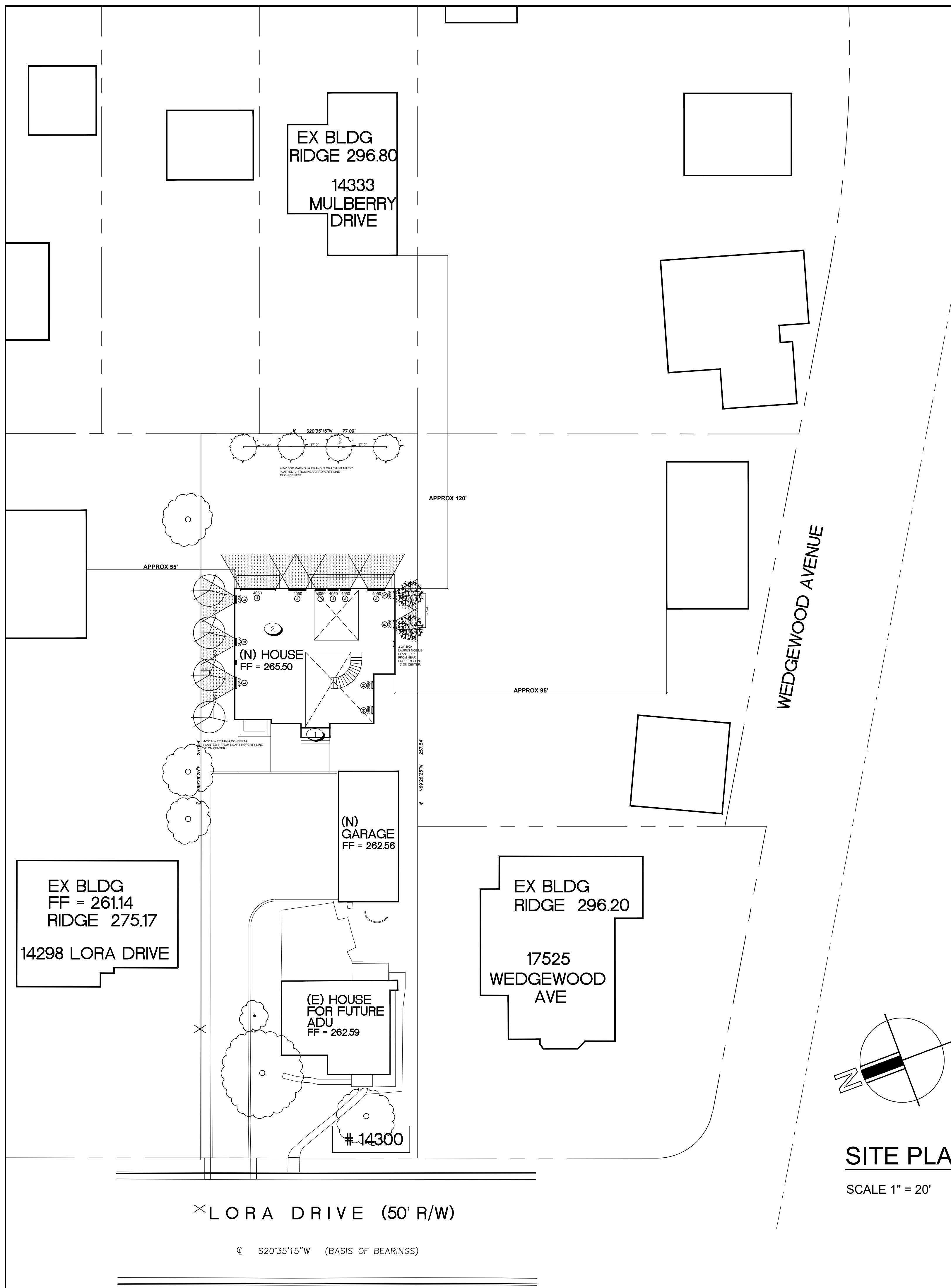
PATH LIGHT
FIXTURE-LED

NOTES & LEGEND
OUTDOOR LIGHT FIXTURES SHALL HAVE DOWNWARD DIRECTED AND SHIELDED TO COMPLY WITH TOWN REQUIREMENTS LOW VOLTAGE

- OUTDOOR PATH LIGHT LED W/ DAY LT SENSOR
- HOUSE LIGHT W/ LIGHT SENSOR



SITE PLAN
SCALE 1" = 10'-0"



owner
Amrito & Sonali

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PROJECT
NEW BUILD

SHEET TITLE
NEIGHBORHOOD PRIVACY

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1	2Cres 10-06-20
2	3Cres 11-25-20

DATE 08.05.20
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SCALE AS SHOWN

SHEET
A-14



A. CHAUBE Residence
 14300 LORA DRIVE
 Los Gatos, CA 95032

owner
Amrito Sonali

PROJECT
NEW BUILD

SHEET TITLE
GRADING & UTILITY PLAN

Keis & associates
 design services
 T 510.252.1212
 Email : kris21@gmail.com

REVISION

DATE 12.04.20
 DRAWN BY PL
 SCALE 1"=10'
 SHEET

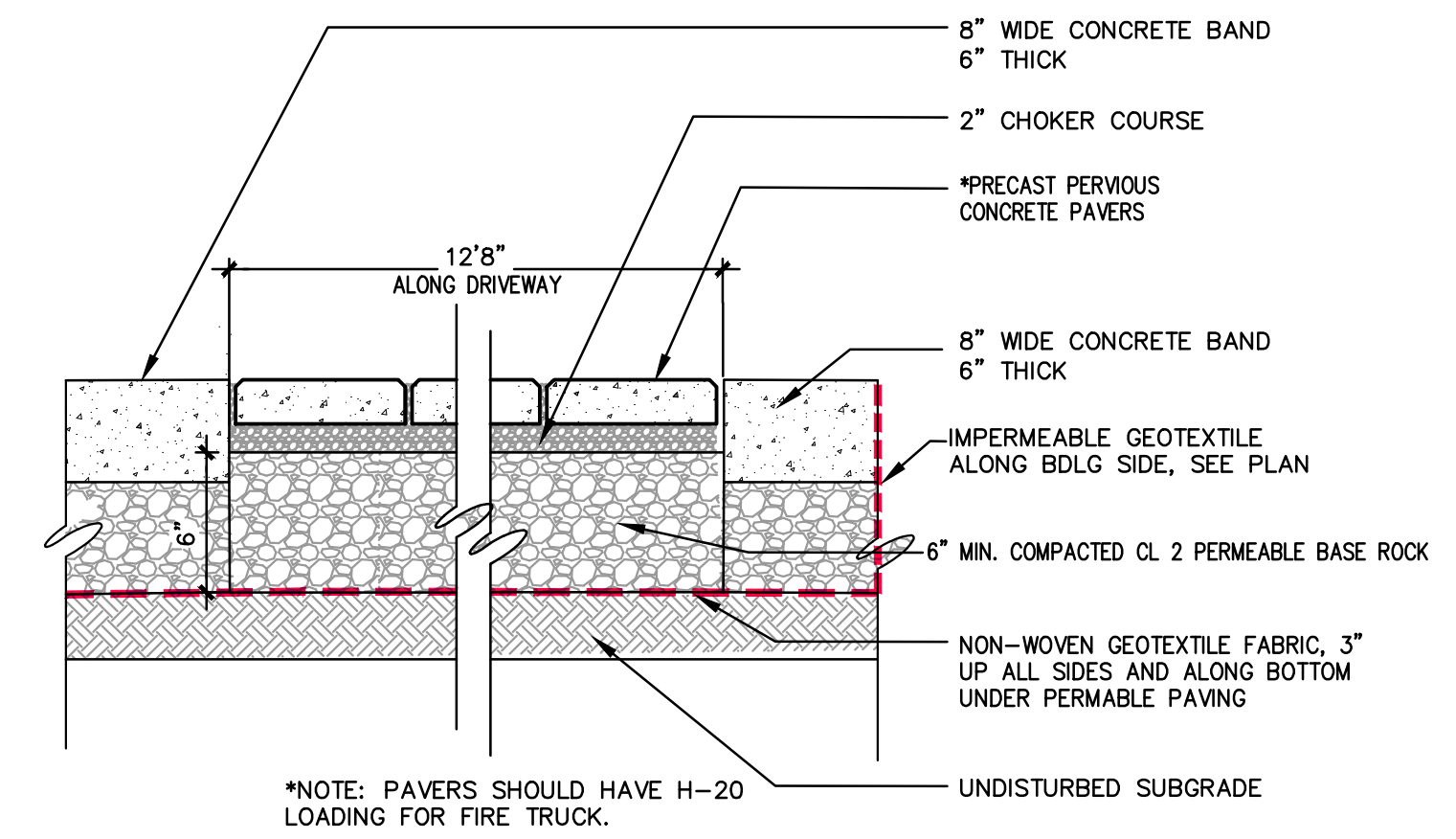
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GENERAL NOTES

- ALL PUBLIC IMPROVEMENTS SHALL BE MADE ACCORDING TO THE LATEST ADOPTED TOWN STANDARD PLANS, STANDARD SPECIFICATIONS AND ENGINEERING DESIGN STANDARDS. ALL WORK SHALL CONFORM TO THE APPLICABLE TOWN ORDINANCES. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB-RELATED MUD, SILT, CONCRETE, DIRT, AND OTHER CONSTRUCTION DEBRIS AT THE END OF THE DAY. DIRT AND DEBRIS SHALL NOT BE WASHED INTO STORM DRAINAGE FACILITIES. THE STORING OF GOODS AND MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS AN ENCROACHMENT PERMIT IS ISSUED BY THE ENGINEERING DIVISION OF THE PARKS AND PUBLIC WORKS DEPARTMENT. THE OWNER, APPLICANT AND/OR DEVELOPER'S REPRESENTATIVE IN CHARGE SHALL BE AT THE JOB SITE DURING ALL WORKING HOURS. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, OR STOP WORK ORDERS AND THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE OWNER, APPLICANT AND/OR DEVELOPER'S EXPENSE.

LEGEND

- PEROUS PAVERS
- DOWNSPOUT W/SPLASH BLOCK
- GRASSY SWALE
- JOINT TRENCH
- CUT



PERVIOUS PAVERS SECTION DETAIL
 NO SCALE

GROSS SITE AREA	19,854 S.F. (0.456 AC.)		
TOTAL DISTURBED AREA	12,346 S.F. (0.283 AC.)		
AVERAGE LOT SLOPE	2.8%		
IMPERVIOUS AREAS	EXISTING (S.F.)	REMOVED (S.F.)	NEW (S.F.)
HOUSE & GARAGE	1603	0	3155
DRIVEWAY BORDER	1490	1490	241
PATIOS, WALKS & PADS	308	0	273
TOTAL IMPERVIOUS AREA	3401	1490	3669
NET CHANGE IN IMPERVIOUS AREA	2179 S.F.		

EARTHWORK QUANTITIES	CUT (C.Y.)	FILL (C.Y.)
SITE & BUILDING	59	0
DRIVEWAY	120	0
TOTAL	179	0
EXPORT	179	0

NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.

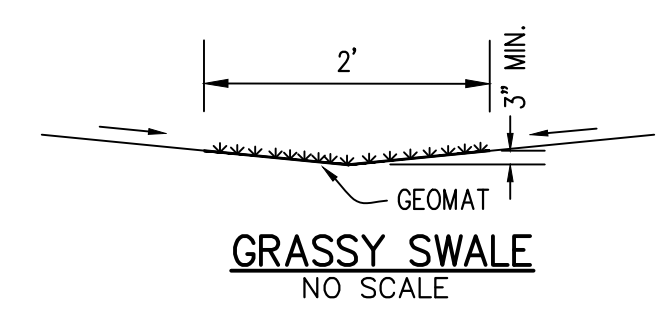
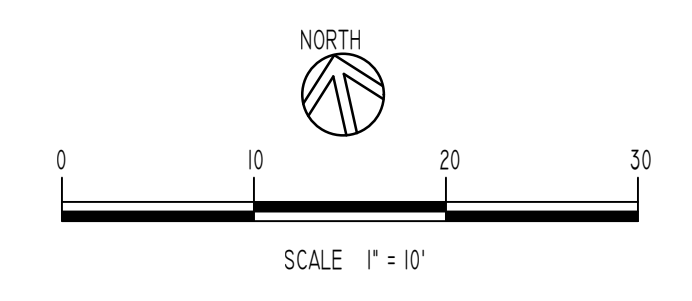
NOTE: MOST OF THE SITE DRAINAGE WILL BE DIRECTED TO THE PERVIOUS DRIVEWAY AND LANDSCAPE AREAS AND WILL INFILTRATED INTO THE GROUND.

ABBREVIATIONS

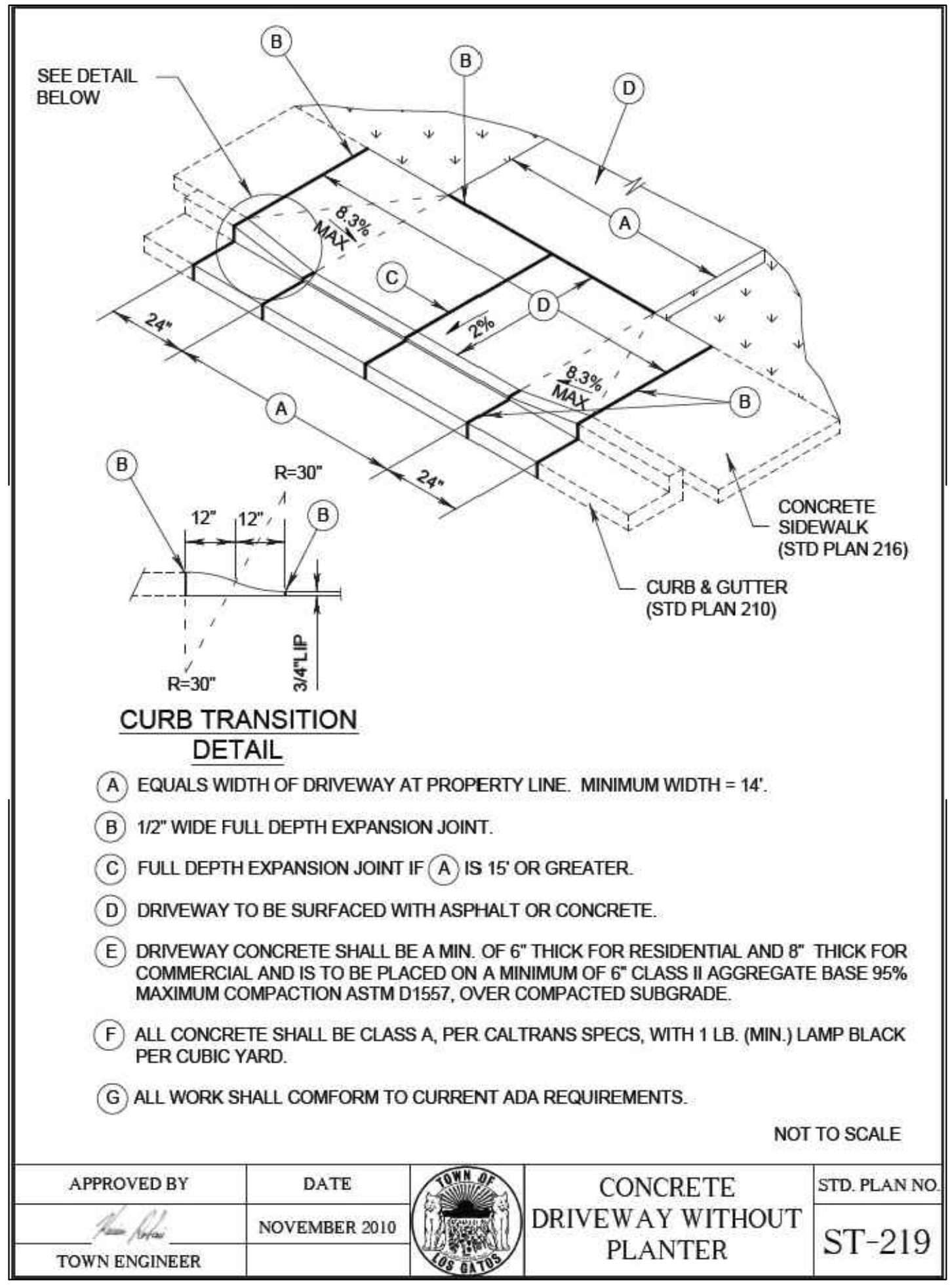
- FF FINISH FLOOR
- FG FINISH GRADE
- EG EXIST GRADE
- FL FLOW LINE
- COTO CLEANOUT TO GRADE
- INV INVERT
- (N) NEW

GRADING NOTES

- ALL GRADING SHALL ADHERE TO THE RECOMMENDATIONS IN THE PROJECT GEOTECHNICAL REPORT PREPARED FOR THIS PROJECT.
- ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
- ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
- DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEPED PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
- WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
- FLUSHING OF STREET TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEPED.
- WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
- EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE CITY INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.



GRASSY SWALE
 NO SCALE



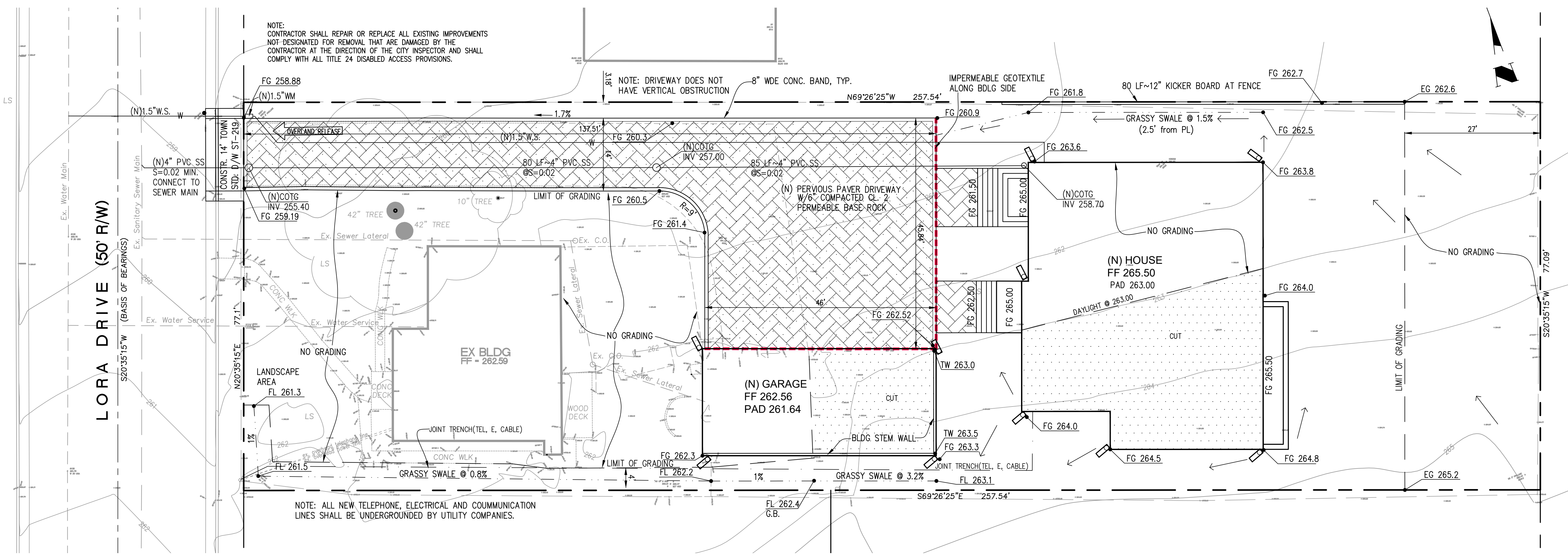
CURB TRANSITION DETAIL

- (A) EQUALS WIDTH OF DRIVEWAY AT PROPERTY LINE. MINIMUM WIDTH = 14'.
- (B) 1/2" WIDE FULL DEPTH EXPANSION JOINT.
- (C) FULL DEPTH EXPANSION JOINT IF (A) IS 15' OR GREATER.
- (D) DRIVEWAY TO BE SURFACED WITH ASPHALT OR CONCRETE.
- (E) DRIVEWAY CONCRETE SHALL BE A MIN. OF 6" THICK FOR RESIDENTIAL AND 8" THICK FOR COMMERCIAL AND IS TO BE PLACED ON A MINIMUM OF 6" CLASS II AGGREGATE BASE 95% MAXIMUM COMPACTION ASTM D1557, OVER COMPACTED SUBGRADE.
- (F) ALL CONCRETE SHALL BE CLASS A, PER CALTRANS SPECS, WITH 1 LB. (MIN.) LAMP BLACK PER CUBIC YARD.
- (G) ALL WORK SHALL COMFORM TO CURRENT ADA REQUIREMENTS.

NOT TO SCALE

APPROVED BY	DATE	CONCRETE DRIVEWAY WITHOUT PLANTER	STD. PLAN NO.
	NOVEMBER 2010		ST-219
TOWN ENGINEER			

STANDARD DRIVEWAY
 NO SCALE

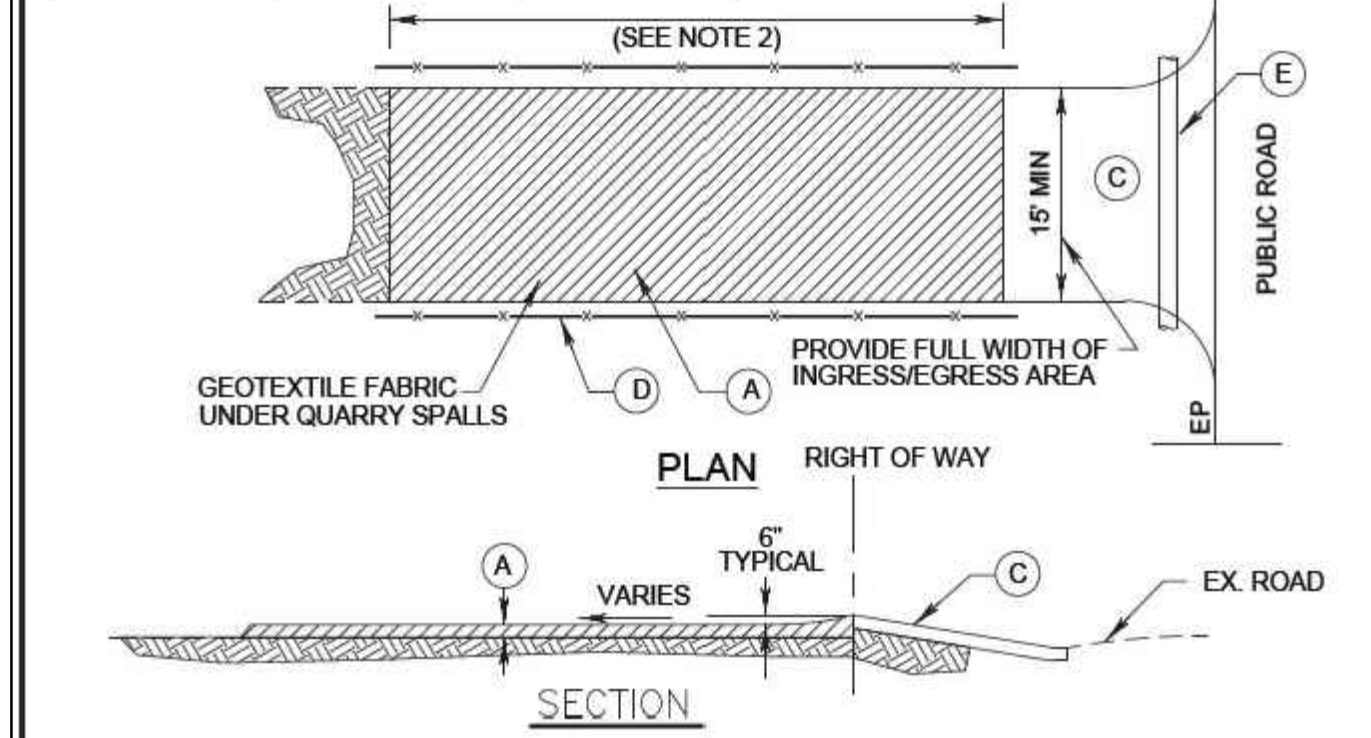


NOTE: CONTRACTOR SHALL REPAIR OR REPLACE ALL EXISTING IMPROVEMENTS NOT DESIGNATED FOR REMOVAL THAT ARE DAMAGED BY THE CONTRACTOR AT THE DIRECTION OF THE CITY INSPECTOR AND SHALL COMPLY WITH ALL TITLE 24 DISABLED ACCESS PROVISIONS.

NOTE: DRIVEWAY DOES NOT HAVE VERTICAL OBSTRUCTION

NOTE: ALL NEW TELEPHONE, ELECTRICAL AND COMMUNICATION LINES SHALL BE UNDERGROUNDED BY UTILITY COMPANIES.

PROJECT SIZE	LENGTH OF	
	CRUSHED ROCK	ATB
≤ 1/4 ACRE	30	0
≤ 1 ACRE	50	0
< 3 ACRE	100	0
> 3 ACRE	100	50



- (A) 4" CRUSHED ROCK WITH GEOTEXTILE MATERIAL UNDERNEATH.
- (B) THE MINIMUM LENGTH SHALL BE LENGTHENED AS NECESSARY TO ENSURE MATERIAL IS NOT TRACKED INTO THE PUBLIC RIGHT-OF-WAY. ALTERNATE CONSTRUCTION ENTRANCES WILL BE ALLOWED WITH APPROVAL OF THE CITY ENGINEER ON A CASE BY CASE BASIS, WHERE PHYSICAL SITE CONDITIONS AND SIZE DICTATE.
- (C) ATB DRIVEWAY RAMP, OR SITE ACCESS ROAD 20' WIDE MIN. SEE TABLE ABOVE FOR REQUIRED LENGTH.
- (D) INSTALL ORANGE BARRIER FENCE TO DIRECT TRAFFIC ONTO CONSTRUCTION ENTRANCE
- (E) INSTALL 12" MIN. DIA. CULVERT IF A ROADSIDE DITCH IS PRESENT.

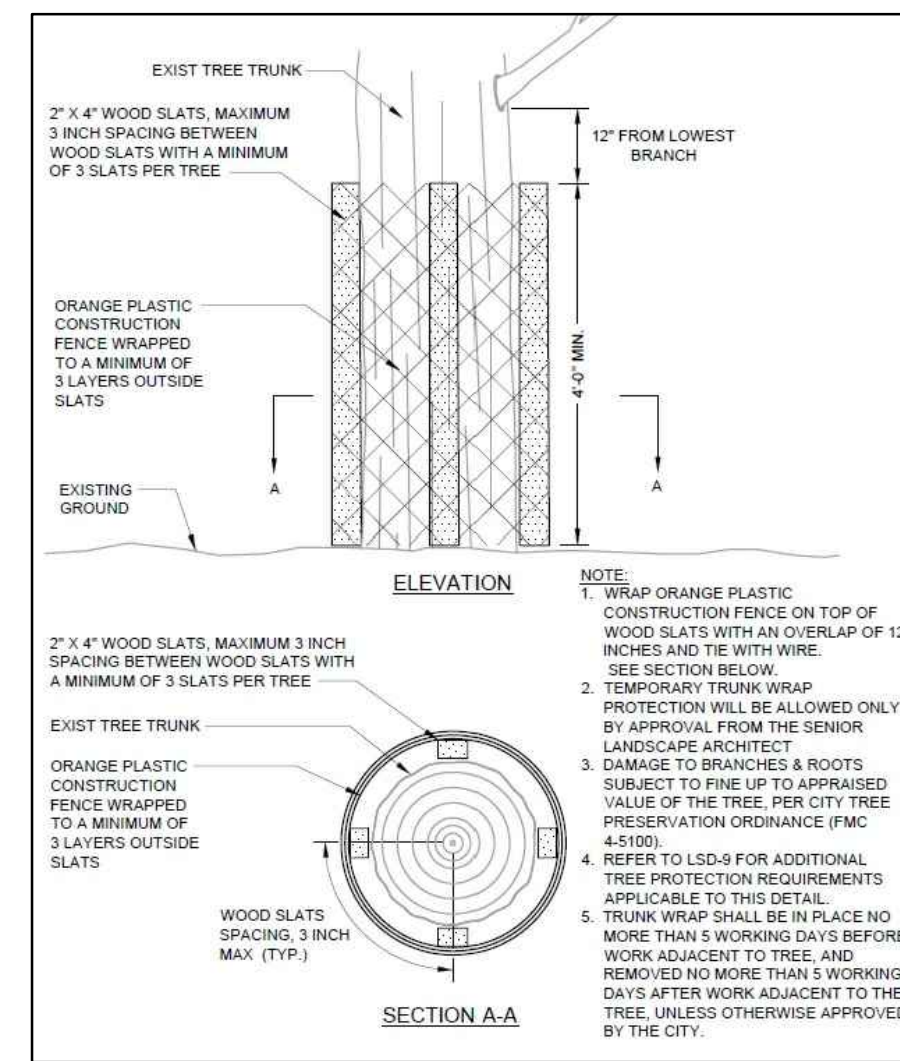
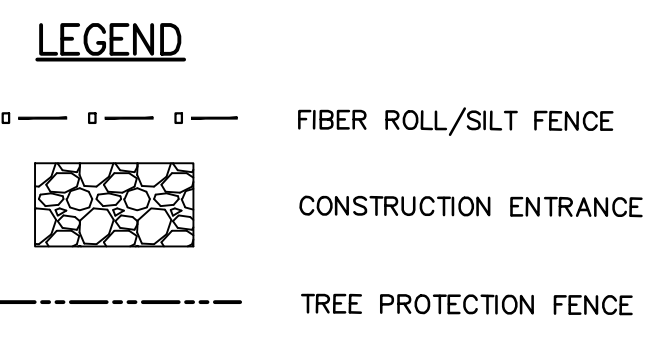
NOTES:

- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING AND REPAIRS AND/OR CLEANUP. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS USED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

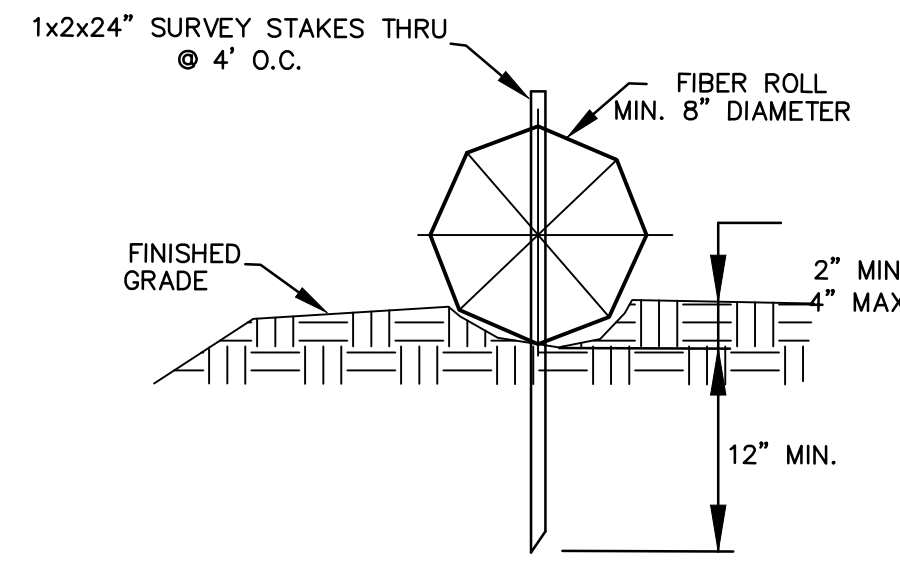
APPROVED BY	DATE		STABILIZED CONSTRUCTION ENTRANCE	STD. PLAN NO
TOWN ENGINEER	NOVEMBER 2010			ST-250

CONSTRUCTION ENTRANCE
NO SCALE

NOTE:
THE CONSTRUCTION BMPs SHOWN ON THE PLAN ARE MINIMUM REQUIREMENTS. THE CITY ENGINEER OR STORMWATER INSPECTOR IS AUTHORIZED TO REQUIRE ADDITIONAL BMPs TO PREVENT NON-STORMWATER DISCHARGES.



TREE TRUNK WRAP PROTECTION
NO SCALE

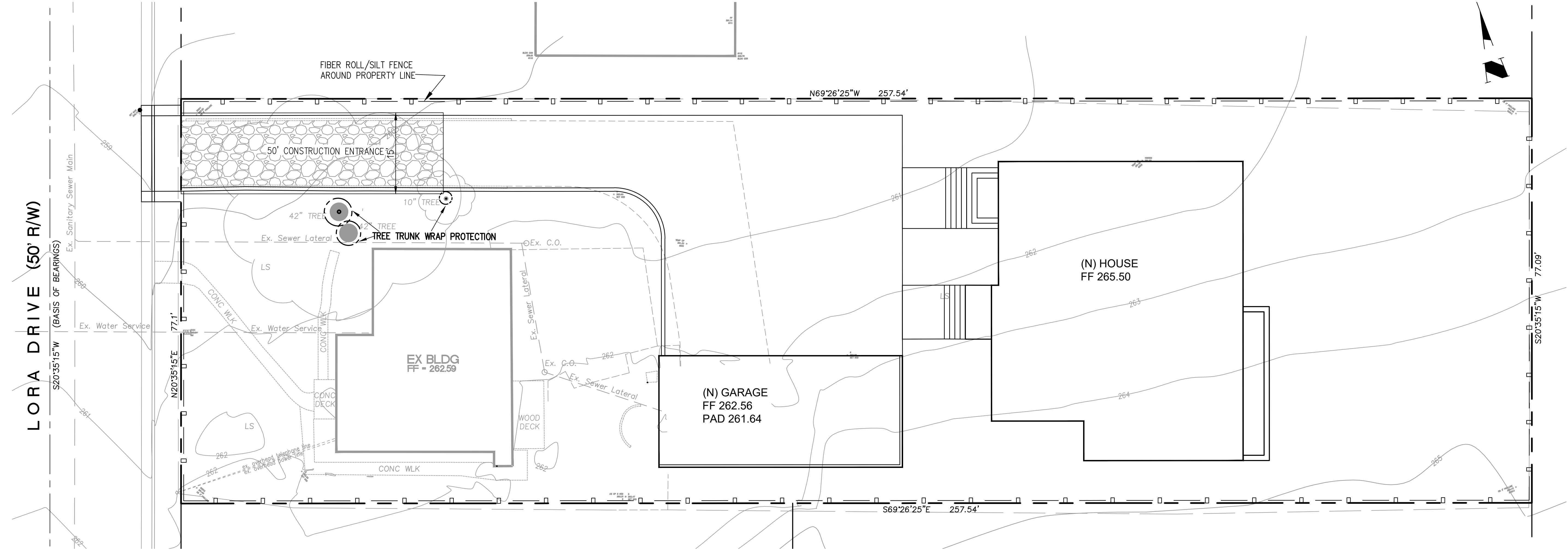


STRAW WATTLES/FIBER ROLL
NO SCALE

- STANDARD EROSION CONTROL MEASURES NOTES:**
- IT IS THE SOLE RESPONSIBILITY OF THE DEVELOPER FOR THE IMPLEMENTATION OF THE EROSION CONTROL MEASURES SUBJECT TO INSPECTION AND APPROVAL OF THE TOWN OF LOS GATOS.
 - DUST SHALL BE CONTROLLED AT ALL TIMES. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAW CUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS THAT COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS THAT ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
 - CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE AS SHOWN ON PLAN.
 - CONTRACTOR SHALL PROVIDE A CONCRETE WASHOUT STATION OR OTHER ACCEPTED DEVICE (PER CASQA BMP MANUAL). AT NO TIME SHALL CONCRETE WASTE BE WASHED OUT INTO CITY STORM DRAIN VIA CURB AND GUTTER, OR ONTO EXPOSED AND/OR VEGETATED SOIL.
 - CONTRACTOR SHALL PERFORM REGULAR AND FINAL CLEANUP OF THE JOB SITE TO THE SATISFACTION OF THE CITY INSPECTOR. ALL DEFECTIVE AND "NO LONGER NEEDED" EROSION DEVICES TO BE REMOVED AND DISPOSED OF OFF-SITE BY THE CONTRACTOR.

EROSION CONTROL NOTES

- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL LANDSCAPING.
- STRAW ROLL(S) SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
- DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON TO PUBLIC STREET. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISOQUEEN OR A TARPAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
- A WATER HOSE SHALL BE PROVIDED ON SITE FOR DUST CONTROL.
- IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS RE-OCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE CITY'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
- ALL DISTURBED SOIL SHALL BE "MATTED" AND SEEDED WITHIN TWO (2) WEEKS OF "FINAL DISTURBANCE".
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE IMPLEMENTATION OF THE EROSION CONTROL PLAN. CONTRACTOR CONTACT INFORMATION WILL BE PROVIDED ONCE CONTRACTOR IS SELECTED.



A. CHAUBE Residence
14300 LORA DRIVE
Los Gatos, CA 95032

owner
Amrito Sonali

PROJECT
NEW BUILD

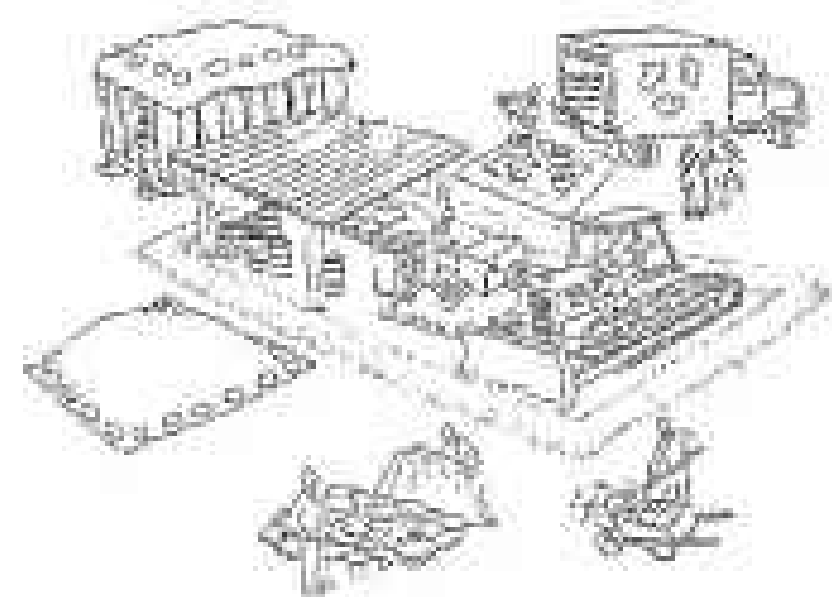
SHEET TITLE
EROSION CONTROL PLAN

design services
T 510.252.1212
Email : krism21@gmail.com

REVISION	DATE

DATE 12.04.20
DRAWN BY PL
SCALE 1"=10'
SHEET

Clean Bay Blue Print



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution and damage to creeks and the San Francisco Bay. Construction activities can directly affect the health of creeks and the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines and the project specifications will ensure your compliance with City of Fremont requirements.

Materials storage & spill cleanup

Non-hazardous materials management

- Sand, dirt, and similar materials must be stored at least 10 feet (3 meters) from catch basins. All construction material must be covered with a tarp and contained with a perimeter control during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control as needed.
- Sweep or vacuum streets and other paved areas daily. Do not wash down streets or work areas with water!
- Recycle all asphalt, concrete, and aggregate base material from demolition activities. Comply with City of Fremont Ordinances for recycling construction materials, wood, gypsum board, pps, etc.
- Check dumpsters regularly for leaks and to make sure they are not overfilled. Repair or replace leaking dumpsters promptly.
- Cover all dumpsters with a tarp at the end of every work day or during wet weather.

Hazardous materials management

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state, and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecasted.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecasted within 24 hours.
- Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, storm drain, or creek! Never wash spilled material into a gutter, street, storm drain, or creek!
- Dispose of all containment and cleanup materials properly.
- Report any hazardous materials spills immediately! Dial 911!

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking.

Vehicle and equipment maintenance & cleaning

- Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or creeks.
- Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.

Earthwork & contaminated soils

- Keep excavated soil on the site where it will not collect in the street.
- Transfer to dump trucks should take place on the site, not in the street.
- Use filter rolls, silt fences, or other control measures to minimize the flow of silt off the site.

- Earth moving activities are only allowed during dry weather by permit and as approved by the City Inspector in the Field.
- Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place fiber rolls down-slope until soil is secure.

- If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call the Engineer for help in determining what should be done, and manage disposal of contaminated soil according to their instructions.

Dewatering operations

- Effectively manage all run-on, all runoff within the site, and all runoff that discharges from the site. Run-on from off site shall be directed away from all disturbed areas or shall collectively be in compliance.
- Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- Be sure to notify and obtain approval from the Engineer before discharging water to a street, gutter, or storm drain. Filtration or diversion through a berm, tank, or sediment trap may be required.
- In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the Engineer to determine what testing is required and how to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or sand/gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Protect gutters, ditches, and drainage courses with sand/gravel bags, or earthen berms.
- Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- Store concrete, grout, and mortar under cover, on pallets, and away from drainage areas. These materials must never reach a storm drain.
- Wash out concrete equipment/trucks off-site or into contained washout areas that will not allow discharge of wash water onto the underlying soil or onto the surrounding areas.

- Collect the wash water from washing exposed aggregate concrete and remove it for appropriate disposal off site.



Painting

- Never rinse paint brushes or materials in a gutter or street!
- Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink.
- Paint out excess oil-based paint before cleaning brushes in thinner.
- Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

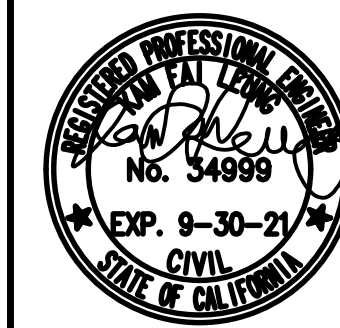
Landscape Materials

- Contain, cover, and store on pallets all stockpiled landscape materials (mulch, compost, fertilizers, etc.) during wet weather or when rain is forecasted or when not actively being used within 14 days.
- Discontinue the application of any erodible landscape material within 2 days of forecasted rain and during wet weather.



Storm drain polluters may be liable for fines of \$10,000 or more per day!

For references and more detailed information:
www.cleanwaterprogram.org
www.cabmpandbasin.com

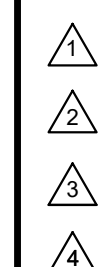


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PROJECT
NEW BUILD
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CLEAN BAY BLUE PRINT

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REVISION



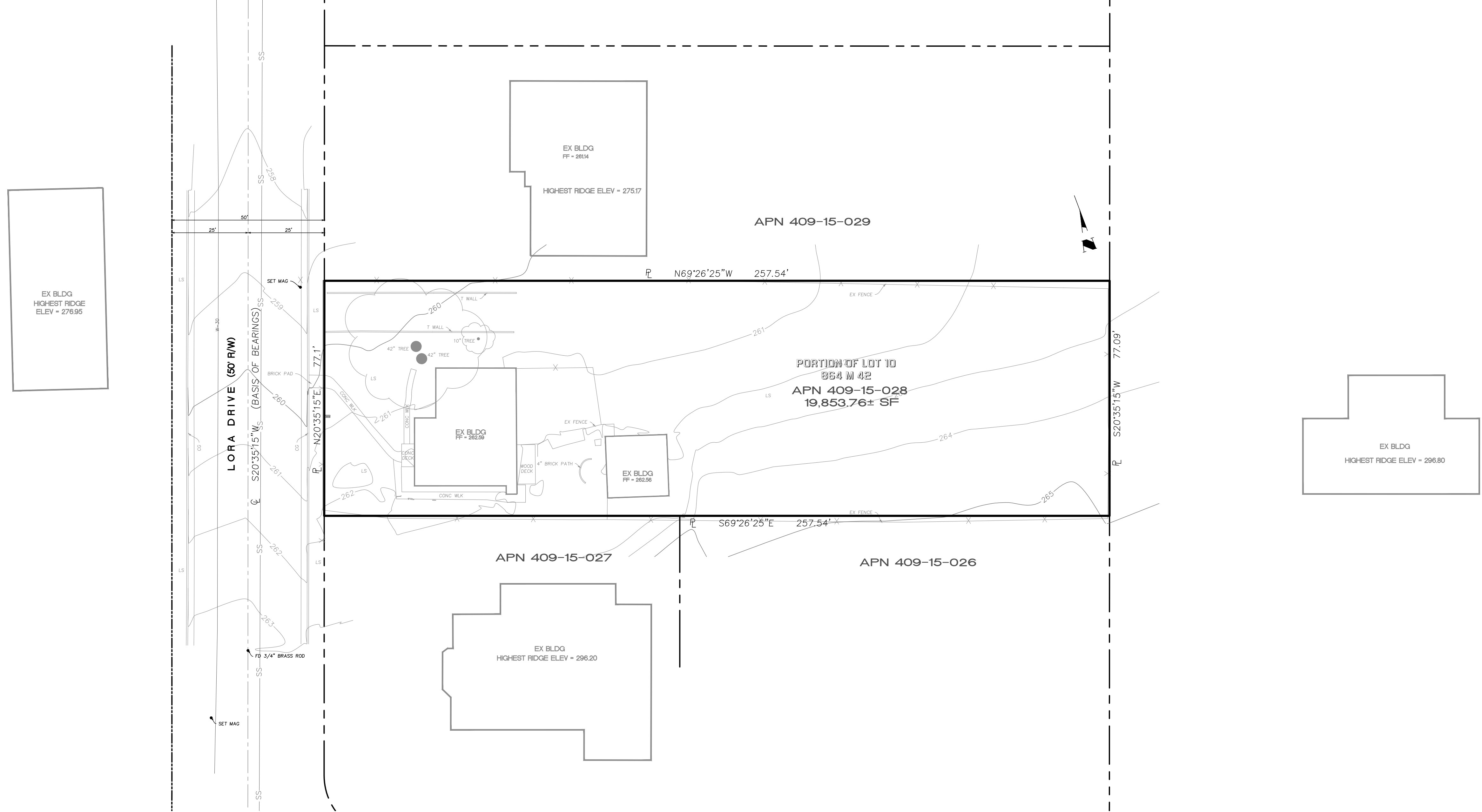
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C-3

LEGEND & ABBREVIATIONS

AB AGGREGATE BASE	DI DRAINAGE INLET	GSB GRADING SETBACK	PL PROPERTY LINE	STA STATION	⊙ AREA DRAIN	⊠ GAS METER	⊠⊠⊠⊠ ROCK RETAINING WALL
AC ASPHALT CONCRETE	DS DOWNSPOUT	GM GAS METER	PP POWER POLE	STD STANDARD CITY DETAIL	⊙ BENCHMARK	⊠ GAS VALVE	⊠ RIGHT OF WAY
AD AREA DRAIN	DWY DRIVEWAY	HP HI POINT	PROP PROPOSED	SW SIDEWALK	⊠ BOUNDARY	⊠ GUY POLE	⊙ SANITARY SEWER CLEAN OUT MANHOLE
AE ANCHOR EASEMENT	EA EASEMENT	INV INVERT	PSE PUBLIC SERVICE EASEMENT	TC TOP OF CURB	⊠ CONCRETE	⊠ GUY WIRE ANCHOR	⊙ SANITARY SEWER MANHOLE
BB BUBBLER BOX	ELEV ELEVATION	LIP LIP OF GUTTER	PSUE PUBLIC SERVICE UTILITY EASEMENT	TEMP TEMPORARY	⊠ CATCH BASIN	⊠ HYDRANT: EXISTING	⊙ STORM DRAIN MANHOLE
BD BRASS DISC	EM ELECTRIC METER	LS LANDSCAPED AREA	PUE PUBLIC UTILITY EASEMENT	TOC TOP OF COVER	⊠ CONCRETE	⊠ INLET	⊙ ELECTRICAL BOX
BLDG BUILDING	E(OH) ELECTRIC OVERHEAD	MAX MAXIMUM	PVMT PAVEMENT	TOE TOP OF BANK	⊠ CONCRETE	⊠ JOINT POLE	⊙ ELECTRIC METER
BLK BLOCK	E(UG) ELECTRIC UNDERGROUND	MIN MINIMUM	PVC POLYVINYL CHLORIDE	TOE TOP OF BANK	⊠ CONCRETE	⊠ LIGHTING	⊙ TELEPHONE BOX
BSL BUILDING SETBACK LINE	EP EDGE OF PAVEMENT	MON MONUMENT	R RADIUS	TOE TOP OF BANK	⊠ CONCRETE	⊠ LIGHTING POLE	⊙ TELEVISION BOX
BW BOTTOM OF WALL/BACK OF WALK	EX EXISTING	MW MONUMENT WELL	RETAINING WALL	TPF TREE PROTECTION FENCE	⊠ CONCRETE	⊠ MAIL BOX	⊠ UTILITY: EXISTING
CG CURB & GUTTER	EVA VEHICLE ACCESS EASEMENT	N&S NAIL AND SHINER	REMOVE	TW TOP OF WALL	⊠ CONCRETE	⊠ MONUMENT WELL	⊠ WATER METER
CL CENTERLINE	FC FACE OF CURB	NTS NOT TO SCALE	R/W RIGHT OF WAY	TYP TYPICAL	⊠ CONCRETE	⊠ PGE BOX	⊠ WATER VALVE
CLF CHAIN LINK FENCE	FD FOUND	OH OVERHEAD	SD STORM DRAIN	UV UTILITY VAULT	⊠ CONCRETE	⊠ PROJECT SITE	⊠ WELL
CO SANITARY SEWER CLEANOUT	FF FINISH ELEVATION OF SUBFLOOR	OG ORIGINAL GROUND	SDE STORM DRAIN EASEMENT	VG VALLEY GUTTER	⊠ CONCRETE		
COP CURB OPENING	FG GROUND FINISH GRADE	P PAVEMENT FINISH GRADE	SE SLOPE EASEMENT	W WATER	⊠ CONCRETE		
CONC CONCRETE	FH FIRE HYDRANT	PAD PAD ELEVATION	SME SLOPE MAINTENANCE EASEMENT	WCE WIRE CLEARANCE EASEMENT	⊠ CONCRETE		
CSD COUNTY STANDARD DETAIL	FL FLOW LINE	PE PATHWAY EASEMENT	SS SANITARY SEWER/LATERAL EASEMENT	WLK WALKWAY	⊠ CONCRETE		
CVE CONSERVATION EASEMENT	G GARAGE SLAB	PEE PEDESTRIAN EQUESTRIAN EASEMENT	SSE SANITARY SEWER EASEMENT	WM WATER METER	⊠ CONCRETE		
DE DRAINAGE EMITTER	GPE ELEVATION/GAS LINE GENERAL PUBLIC EASEMENT	PERF PERFORATED		WOE WIRE OVERHANG EASEMENT	⊠ CONCRETE		



NOTES

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
 - DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
 - NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 409-15-028
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
 - DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.

BASIS OF BEARINGS

THE BEARINGS SHOWN ON THIS MAP ARE BASED ON THE CENTERLINE OF LORA DRIVE, AS FOUND MONUMENTED AS N20°35'15"W SHOWN ON PARCEL MAP, RECORDED IN BOOK 864 OF MAPS, AT PAGE 42, SANTA CLARA COUNTY RECORDS.

SURVEYOR'S STATEMENT

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

Tom H. Milo
 TOM H. MILO
 L.S. 6438
 07/27/18
 DATE



DESIGNED	07/27/18	DATE
DRAWN	07/27/18	DATE
CHECKED	07/27/18	DATE
SCALE	1" = 20'	

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BOUNDARY SURVEY AND TOPOGRAPHIC MAP
LANDS OF CHAUBE
14300 LORA DRIVE
APN 409-15-028

Los Gatos **California**

DRAWING NO. 1 OF 1
 SHT NO. 1 OF 1
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