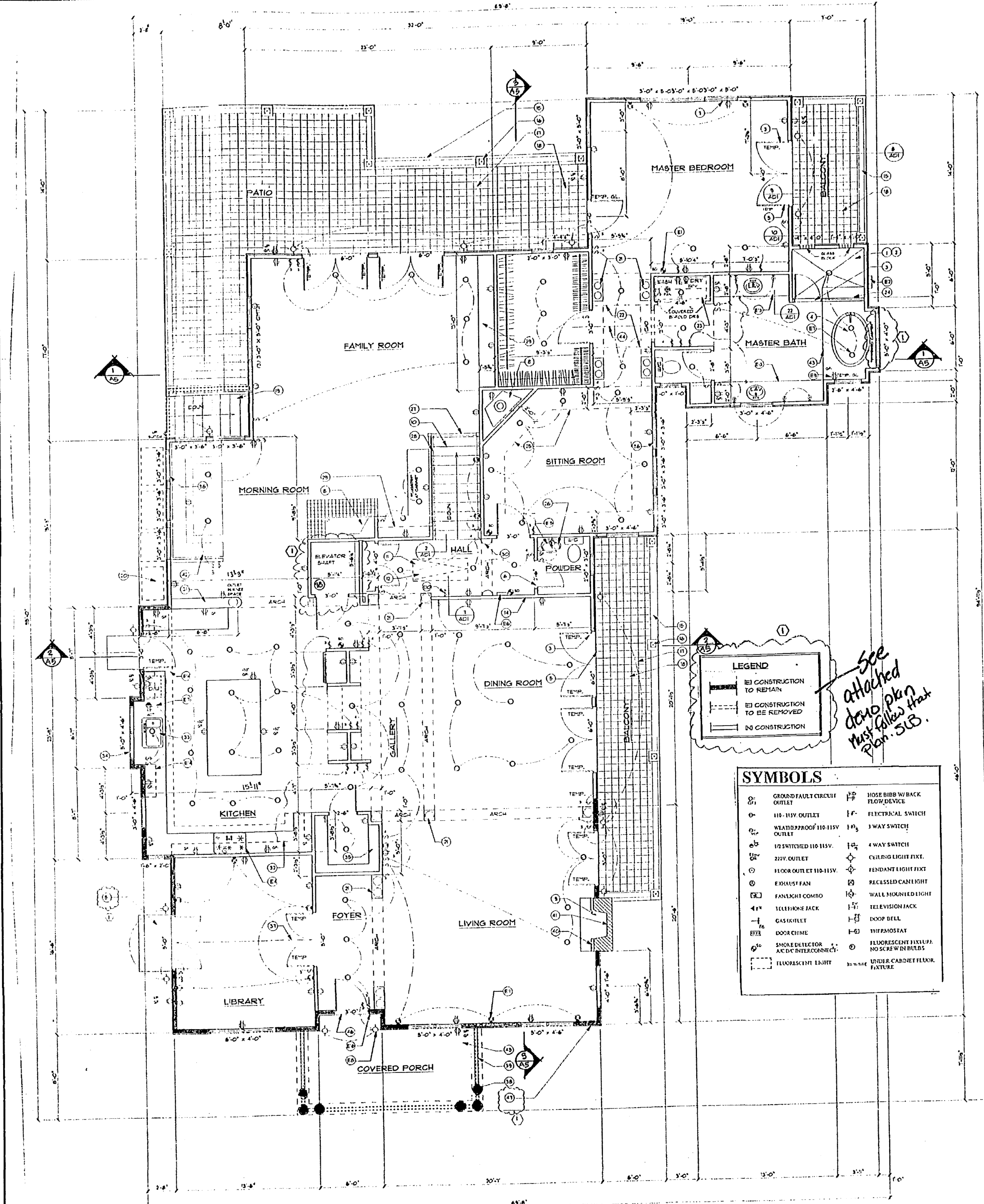


- ELECTRICAL REQUIREMENTS:**
- INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION.
 - NEC/ALC/PLUMBING/ELECTRICAL ITEMS ARE SCHEDULED. THE INSTALLATION SHALL BE REVIEWED BY THE BUILDING INSPECTOR IN THE FIELD.
 - APPLIANCE BRANCH CIRCUITS FOR THE KITCHEN ARE LIMITED TO 20 AMP. ALL OTHER BRANCH CIRCUITS ARE LIMITED TO 15 AMP. ALL OTHER BRANCH CIRCUITS ARE LIMITED TO 15 AMP. ALL OTHER BRANCH CIRCUITS ARE LIMITED TO 15 AMP.
 - PROVIDE A SEPARATE BRANCH CIRCUIT TO SERVE THE REQUIRED BATHROOM OUTLET ONLY AND OTHER OUTLETS, P.A.S., LIGHTING, ETC. ON THIS CIRCUIT.
 - CONDUIT SHALL BE IN AN INSULATED NEUTRAL 1/4" FOUR-PRONG OUTLET ARE REQUIRED FOR EACH 1/4" CONDUIT. OPERATED BY THE FIRST BATH AT ALL ENTRANCES TO THE BATHS. GENERAL LIGHTING FIXTURES ARE TO BE LOCATED SO AS TO ILLUMINATE FLOORS AND CORNERS.
 - SMOKE DETECTORS:
 - HARD WIRED POWER SOURCE AND BATTERY BACK UP FOR NEW CONSTRUCTION.
 - DETECTORS SHALL BE INSTALLED IN EACH SLEEPING ROOM AND IN THE COMMON ACCESS TO SLEEPING AREA.
 - DRYER VENTS:
 - SMOOTH-WALLED 1/4" LONG EXITS W/ 3/4" CO. CRUSHE ELBOWS MAXIMUM.
 - DETECT 7" FOR EACH ADDITIONAL ELBOW.
 - TERMINATION OF VENT TO BE 3" MIN. AWAY FROM PROPERTY LINES AND ANY OPENINGS INTO THE BUILDING.
 - DRYER TO HAVE BACK-UP DRYER.
 - BATHROOM VENTILATION:
 - PROVIDE A VENTILATION SYSTEM CAPABLE OF PROVIDING FIVE (5) AIR CHANGES PER HOUR IN ENCLOSED SPACES REQUIRING VENTILATION.
 - TERMINATION OF VENT TO BE 3" MIN. AWAY FROM PROPERTY LINES AND ANY OPENINGS INTO THE BUILDING.
 - RANGE VENTING:
 - PROVIDE RIGID DUCTING FROM RANGE AND/OR HOOD TO EXTERIOR AS PER MANUFACTURER'S SPECIFICATIONS ALL LOCAL CODES.
 - TERMINATION OF VENT TO BE 3" MIN. AWAY FROM PROPERTY LINES AND ANY OPENINGS INTO THE BUILDING.
 - LOCATION OF 300A MAIN ELECTRICAL SERVICE PANEL.
 - PROVIDE LIGHTING FIXTURES BY MEANS APPROVED FOR USE AT ALL INTERIOR DARK LOCATIONS SUCH AS TUBS AND SHOWERS (INSTALLED ON GFI CIRCUIT).
 - PROVIDE LIGHTING FIXTURES APPROVED FOR USE AT EXTERIOR/DARK LOCATIONS.
 - GFI ON SEPARATE CIRCUIT FOR SPA/POOL/JACUZZI.
 - NOTIFY TO ATTIC LIGHT FIXTURE (SEE ATTIC HANDBOOK REQUIREMENT NOTE).
 - INDICATES LOCATION OF WALL BONES.
 - INDICATES LOCATION OF DIRECTIONAL RECESSED CAN LIGHTS (EXACT DESIGN BY OTHERS).
 - FLUORESCENT LIGHT HOIST.
 - INTER-CONNECTED FLUORESCENT FIXTURES MOUNTED IN ROOF AT CEILING.
 - FLUORESCENT FIXTURES ONLY. ECR/ENCL. BULBS NOT ALLOWED.
 - WALK-UP/DOOR BELLOZZER AT MAIN ENTRY DOOR AS REQUIRED BY TOWN CONDITIONS OF APPROVAL.
 - 1/4" HOT TAP LINE CANNOT FOR GARBAGE DISPOSAL AND DISAGREE.



LEGEND

TO BE CONSTRUCTION TO REMAIN
TO BE CONSTRUCTION TO BE REMOVED
IN CONSTRUCTION

SYMBOLS

GROUND FAULT CIRCUIT INTERRUPTER	HOSE BIBB W/ BACK FLOW DEVICE
1/2" INCH OUTLET	ELECTRICAL SWITCH
WEATHERPROOF 1/2" INCH OUTLET	3 WAY SWITCH
1/2" INCH OUTLET	4 WAY SWITCH
200V OUTLET	CULLED LIGHT FIXT.
FLOOR OUTLET 1/2" INCH	RECESSED LIGHT FIXT.
EXHAUST FAN	WALL MOUNTED LIGHT
EXHAUST FAN	TELEVISION JACK
4" GAS OUTLET	DOOR BELL
DOOR CHIME	TELEPHONE
SMOKE DETECTOR	FLUORESCENT LIGHT
AC/DC INTERCONNECT	WIRELESS CABLE TV

- PROVIDE A MAXIMUM OF 20 FOOT TRAVEL PATH AND 14 INCHES CLEAR FLOOR SPACE.
- PROVIDE A MINIMUM 30-INCH WORKING PLATFORM AT FRONT OF THE ENTIRE FLOOR.
- PROVIDE A MINIMUM ELECTRICAL OUTLET AND LIGHTING 1' AWAY WITH SWITCH AT ACCESS.
- PROVIDE CORRELATION TO OUTSIDE ATTIC FLOORING LATER HEATING TO HAVE A SECONDARY CRAN PAN UNDER THE UNIT WITH A PRESSURE RELIEF VALVE WHICH TERMINATES OUTSIDE OF THE BUILDING. SEE DETAIL FOR ADDITIONAL INFORMATION.
- WATER HEATER ROOM'S ANCHORS: STRAPS SHALL BE AT THE UPPER AND LOWER ONE-THIRD OF ITS VERTICAL EXTENSION.
- AT LOWER POINT, MAINTAIN A MINIMUM OF 4 INCHES ABOVE THE CONTROLS WITH THE STRAPPING.
- WATER HEATER SHALL HAVE A PRESSURE RELIEF VALVE 1/4" CRAN WHICH TERMINATES TO EXTERIOR.
- 2" X 4 STUDS AT 16" O.C. TYPICAL UNO.
- 3/4" HIGH LATH TYPE GUARD RAIL W/ WOODEN CAP.
- INDICATES LOCATION OF BUILT-UP POSTS FOR PRIVACY TRELLIS.
- PROVIDE PRIVACY TRELLIS AT BALCONY AS ARCHITECT DESIGN TO BE DETERMINED IN FIELD.
- CEILING THE BALCONY FINISH W/ W.T. ROOF SET IN POSITION BED OF HOT TOP AND 1/2" TEST (SEE DETAIL).
- CONCRETE STEPS W/ NON-SLIP 1" LATHING TO CELLAR AREA BELOW.
- LOCATION OF EXHAUSTS TO CELLAR AREA.
- 1/2" DIA. DECORATIVE COLUMNS OF 1/2" HIGH WOOD FLATIRIS.
- WATER HEATER CLOSET W/ CABINETS ABOVE, VENTY CLOSET OVERHEADS AND CONDITIONS W/ MANUFACTURER PRIOR TO CONSTRUCTION. PROVIDE G.I. PAN BELOW WASHER.
- SHOWER SEAT TO BE EXTENSION OF TUB PLATFORM W/ RECESSED GLASS PANEL POINTED TO PLUMBING.
- LINE OF 1/2" HIGH RAISED CEILING.
- FEDERAL BUNK.
- 1/2" HIGH OPEN PICKET WOOD GUARDRAIL:
 - SEE PLAN NOTES FOR ADDITIONAL INFORMATION.
 - THIS IS A DEFERRED SUBMITTAL ITEM. (SEE GENERAL NOTES)
- WOOD MATERIAL AT 3" ABOVE TREAD NOSING (SEE DETAIL).
- BOOKCASE 15" X 24" DESIGN BY OTHERS.
- ARCH W/ HALF-COLUMNS EACH SIDE.
- 1/2" HIGH RAISED EATING BAR.
- INDICATES LOCATION AND EXTENT OF UPPER CABINETS.
- DOUBLE SINK W/ GARBAGE DISPOSAL.
- PROVIDE 5.5. CLEANOUT AT THIS LOCATION.
- PANTRY SHELVES EXACT DESIGN BY OWNER.
- 1/2" DIA. WOODS TO BE RE-INSTALLED AT NO LOCATIONS.
- CENTER EXTERIOR DOORS W/ 1/2" EXTERIOR GLASS DOORS.
- NO WOOD COLUMNS TO MATCH EXISTING BEING REMOVED.
- REPLACE/REPLICATE EXISTING WINDOWS AT NO LOCATIONS.
- REMOVES/REPLACE BY HANDLE AND PREPARE HANDING.
- 1/2" WOOD FRAMED CHIMNEY CONSTRUCTED TO MATCH EXISTING/BRICK CHIMNEY BEING REMOVED.
- BUILT-IN SEATING W/ LIFT-TOP STORAGE.
- LIFT OFF PANEL FOR ACCESS TO SPA MECHANICAL.
- ALSO DOORS AS SHOWN.
- STUCCO ROOF 1/2" EXTERIOR METAL LATH.
- 8" X 8" MINIMUM LEVEL EXTERIOR LANDING NOT MORE THAN 1' OUT OF PLANE W/ EXISTING INTERIOR FLOOR LEVEL AND 1/2" MINIMUM CLEARANCE AT THE INTERIOR DOOR EDGE OF ENTRY DOOR.
- APPROVED HANDS ON ADDRESSER SHALL BE PROVIDED FOR ALL NEW BUILDING IN EACH POSITION AS TO BE PLANNED VISIBLE 1/2" FROM THE STREET FRONTING THE PROPERTY.
- ELEVATION MUST SEE DRAINAGE BY OTHERS FOR ADDITIONAL INFORMATION PRIOR TO START OF WORK. DEFERRED SUBMITTAL ITEM. (SEE NOTE ON SHEET 11)
- BALCONY/DECK GUARDRAIL DESIGN:
 - GUARDRAILS SHALL BE DESIGNED SUCH THAT THE MAX. CONCENTRATED LOAD SHALL NOT EXCEED 200 POUNDS AND THE MAX. UNIFORM LOAD SHALL NOT EXCEED 150 POUNDS PER LINEAL FOOT.
 - GUARDRAILS SHALL BE A MINIMUM OF 36" WITH INTERMEDIATE RAILS PLACED SO THAT A 4" DIA. SPHERICAL BALL CANNOT PASS THROUGH.
 - GUARDRAILS WILL BE ATTACHED TO 2" X 4" TRUSS POSTS.
 - A BOTTOM OF TRUSS POSTS WILL BE ATTACHED TO EACH SURFACE W/ 8"X8" BOLT HALF BOLTS.
 - TOP OF TRUSS POSTS WILL BE ATTACHED TO CROSS BEAMS OF BRIMSON METAL GAPS.
 - TRUSS CRACKS SHALL BE ATTACHED TO WALLS W/ 1"X1" METAL HANGERS.
- ATRIC ACCESS AND VENTILATION:
 - ATRIC WITH A MAXIMUM VERTICAL HEIGHT OF 30 INCHES ON HYPER REPTURE ACCESS. MINIMUM ACCESS OPENING IS 20 INCHES BY 30 INCHES.
 - MINIMUM ROOM FOR THE ACCESS IS 30 INCHES.
 - ENCLOSED ATIC AND OR BAITER SPACES SHALL HAVE CROSS VENTILATION AREA OF NOT LESS THAN 150 OF THE SPACE VENTILATED.
 - PROVIDE PRE-STOPPING BATTEN STAIR BANISERS + TOP + BOTTOM AND ALSO BETWEEN STAIRS ALONG AND IN LINE WITH RUN OF STAIRS ADJOINING STAIR DALL + PLANTING.
 - THIS IS A LISTED AND/OR DEFERRED SUBMITTAL ITEM (SEE GENERAL NOTES).
- ATRIC FINISHES:
 - PROVIDE A MINIMUM OF 8 FEET IN HEIGHT OF CLEAR ATIC SPACE.
 - PROVIDE A CONTINUOUS ACCESSIBLE OPENING AND PASSAGEWAY WITH A MINIMUM OF 36" X 30" INCHES IN SIZE OR AS LARGE AS THE LARGEST PEECE OF EQUIPMENT.

REVISIONS

NO.	DATE	BY
1	10-10-01	EN

T.H.I.S. DESIGN & DEVELOPMENT

P.O. BOX 1016 LOS ANGELES, CA 90001 (818) 344-1822

MAIN FLOOR PLAN

28.9 1/10/02

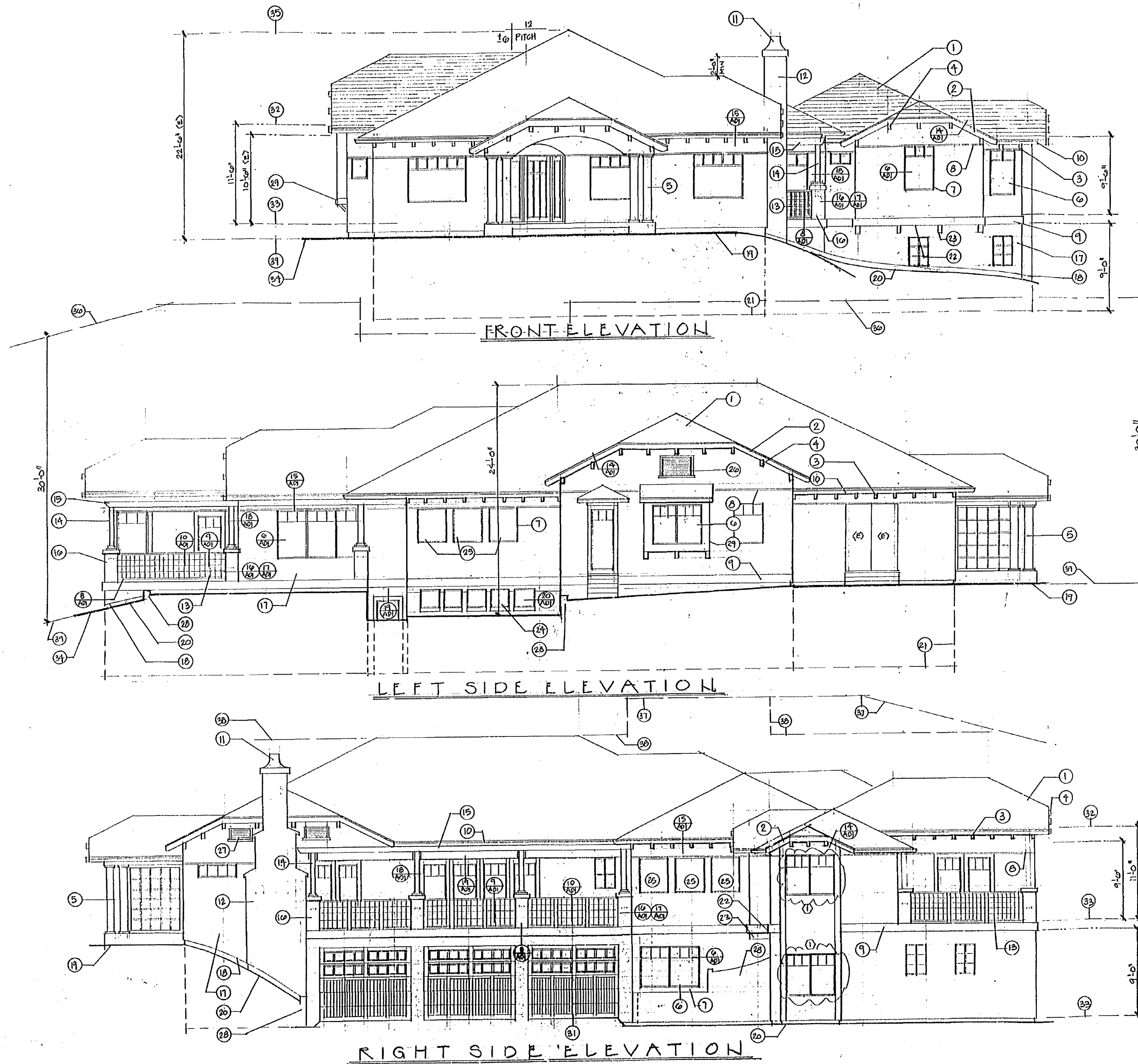
A Remodel/Alter to this RESIDENCE 66 Elmwood Avenue Los Gatos, California

APPROVAL

DATE: 8-23-01

SCALE: 1/8" = 1'-0"

SHIRT A2



1. COMPOSITION ROOFING INSTALLED PER MANUFACTURER'S SPECIFICATIONS W/ 150 FELT EACH COURSE
2. PAINTED 2" X 4" RANGERS TO MATCH E1
3. EXPOSED RAFTER TAILS TO MATCH E1
4. HAND-SAWN CORBELS TO MATCH E1
5. PROVIDE 3" FRONT PORCH ROOF, COLUPS AND SEE WINDOWS TO MATCH E1
6. REPAIR/REPLACE TO PORCH AREA (REMOVE/REPLACE E1 CONSTRUCTION WHEREVER POSSIBLE)
7. 2" X 4" W/ 1/2" BELLIES TO MATCH E1
8. 2" X 4" W/ 1/2" BELLIES TO MATCH E1
9. 2" X 4" W/ 1/2" BELLIES TO MATCH E1
10. HALF-ROUND GUTTERS W/ ROUNDED DOWN-SPUTS
11. MANUFACTURER APPROVED SPARK ARRESTOR AND DECORATIVE CAP
12. STUCCO W/ WOOD TRIMMED CHIMNEY (CONSTRUCT TO MATCH E1 STUCCO COVERED MASONRY CHIMNEY BEING REMOVED)
13. 3/4" HIGH WOOD LATTICE TIE GUARDRAIL W/ WOOD CAP
14. BUILTUP POST FOR PRIVACY TRELLIS
15. PAINTED WOOD TRELLIS ASSEMBLY (EXACT DESIGN IN FIELD)
16. STUCCO W/ BUILTUP COLUPS W/ WOOD CAPS
17. 1/4" 3 COAT STUCCO W/ SMOOTH TROREL FINISH TO MATCH E1 OF PAPERBACKED METAL LATH PROVIDE SLATERS TYPE 10, PAPER AT PLYWOOD BRACING
18. STUCCO KEEP, SCREENED, 4" FROM GOLF
19. LINE OF E1 GRADE
20. LINE OF PROPOSED GRADE
21. LINE OF CELLAR BEYOND
22. CANTILEVERED FLOOR LINE
23. FALSE BEAM CORBELS
24. FLAT GLASS BAYLIGHTS W/ ANODIZED FRAMES
25. RE-INSTALL E1 SINGLE HUNG WINDOWS AT 20 LOCATIONS
26. 36" X 14" WOOD LOUVERED GABLE VENTS W/ G.L. SCREEN BACKING
27. 14" X 12" WOOD LOUVERED GABLE VENTS W/ G.L. SCREEN BACKING
28. STUCCO W/ SITE RETAINING WALLS
29. DOVED OUT WINDOW W/ FALSE BEAM ENDS
30. INDICATES G.L. FLASHING UNDER STUCCO FINISH TYPICAL
31. CUSTOM OVERHEAD SECTIONAL GARAGE DOORS W/ THERMOLED GLASS INSERTS
32. INDICATES LINE OF PLATE OR CEILING
33. INDICATES FLOOR LINE
34. SEE SITE PLAN FOR BENCH MARK
35. HIGHEST POINT OF ROOF AND CHANGE IN HEIGHT FROM EXISTING
36. LINE OF 30' HEIGHT LEFT
37. LINE OF 30' HEIGHT LEFT AT E1 GRADE
38. LINE OF 30' HEIGHT LEFT AT E2 GRADE
39. TOP OF GRADE

REVISIONS	BY
1. 10/10/01	CEL

T.H.I.S.
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P.O. BOX 1018, LOS ANGELES, CA 90001 (405) 354-1833

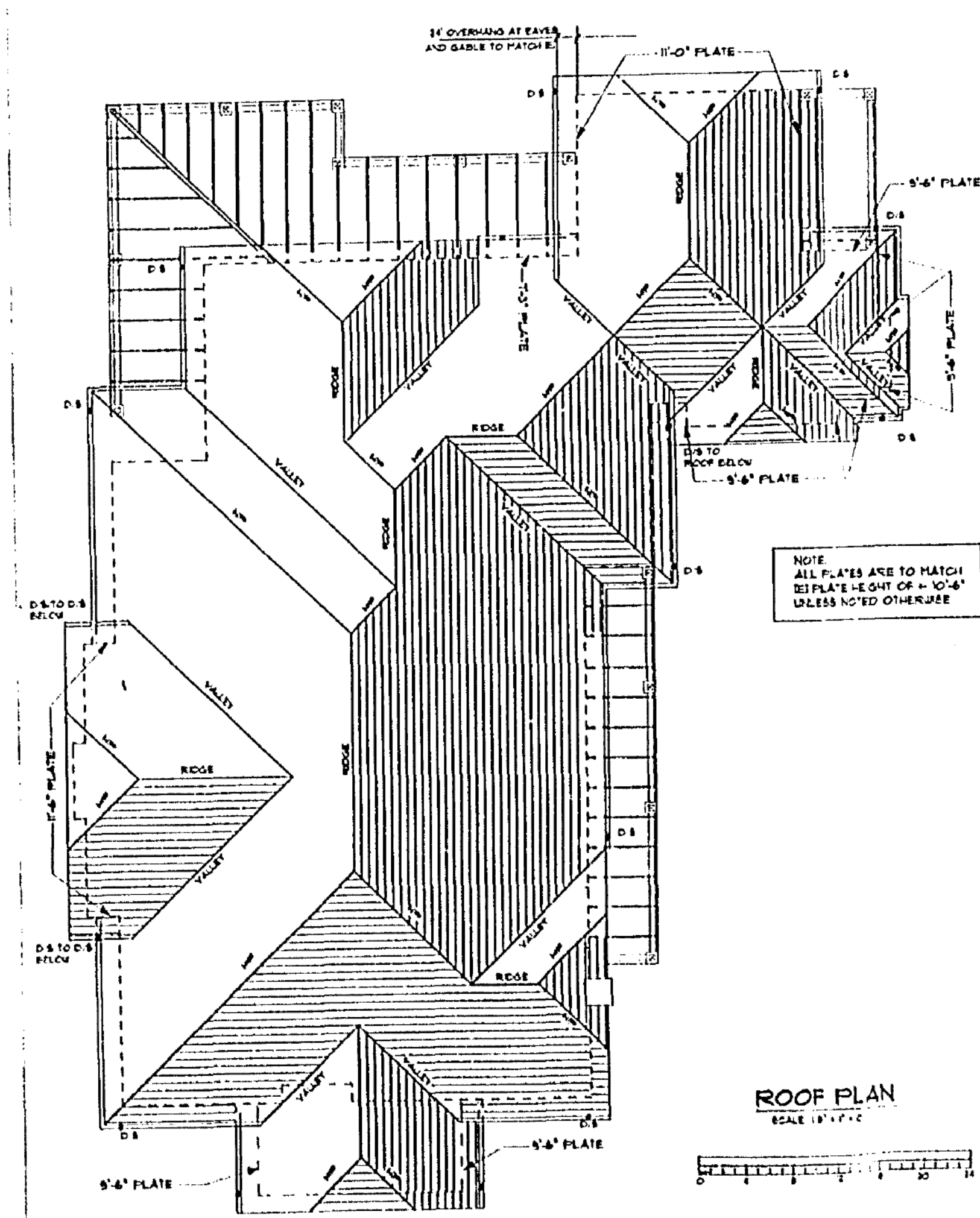
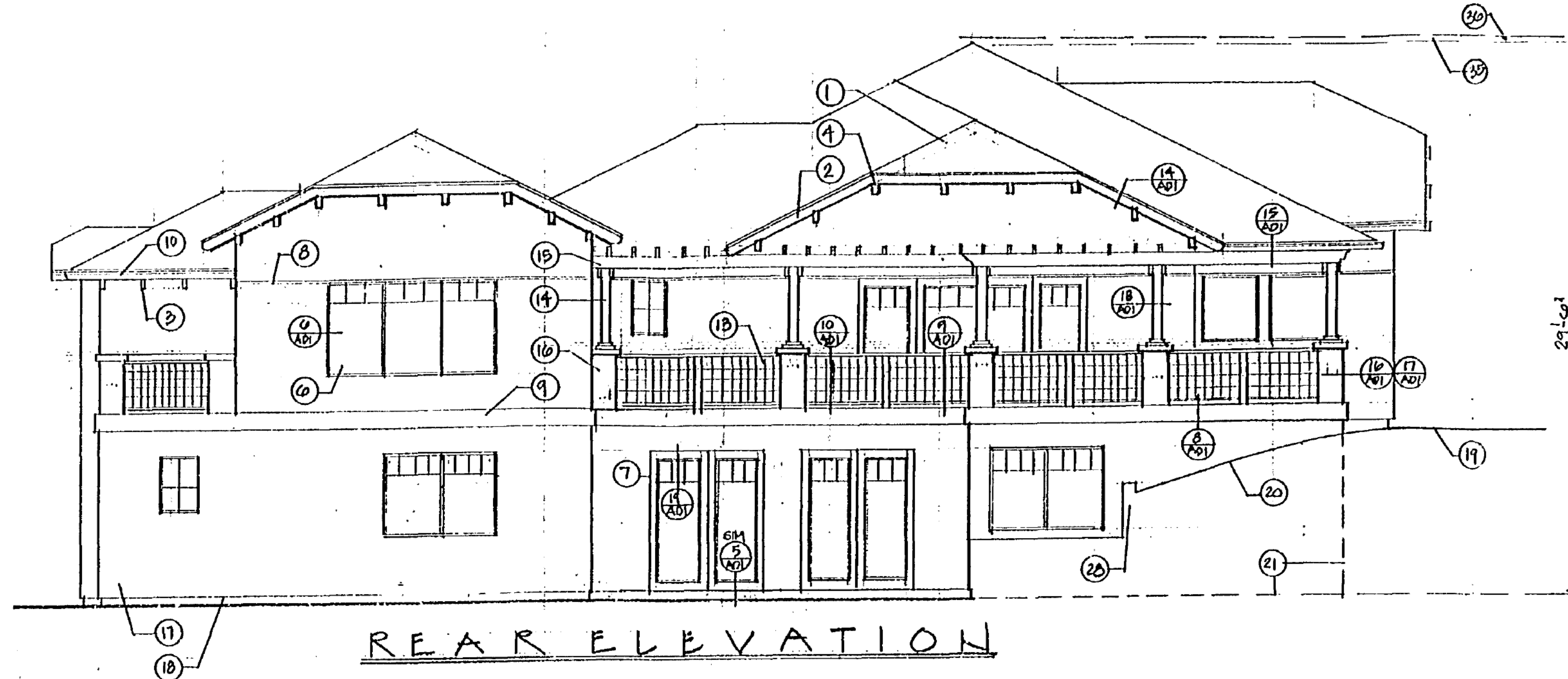
EXTERIOR ELEVATIONS

A Remodel/Addition to the
RESIDENCE
85 Ellwood Avenue
Los Gatos, California

3/20/02

PLAN REVIEW APPROVAL
DATE 11/11/01
LAWRENCE H. HARRIS

DRAWN	CHECKED
DATE	DATE
BY	BY
JOB NO.	
SHEET A3 OF 3 SHEETS	



1. COMPOSITION ROOFING INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT 100 FELL EACH COARSE
2. PAINTED 2" X 4" BARGE RAFTERS TO MATCH #1
3. PAINTED RAFTER TAILS TO MATCH #1
4. HAND-PLAN CORBELS TO MATCH #1
5. PROVIDE IN FRONT PORCH ROOF, COLUMNS AND ECE UNDOUS TO MATCH #1 CONSTRUCTION AS NOTED FOR REPAIR/UPGRADE TO PORCH AREA REMOVE/REPLACE ST CONSTRUCTION UNLESS NOTED OTHERWISE
6. IN WOOD KNOCKS AND GARD SYSTEM TO MATCH #1
7. WOOD 1/2" BARRING AT UNDOUS AND DOORS TO MATCH #1
8. TRIM LINE AT HEADER LEVEL TO MATCH #1
9. 2" X WATER-TABLE BELLY BAND TO MATCH #1
10. HALF-ROUND GUTTERS W/ ROUND DOWN SPOTS
11. HALF-ROUND APPROVED BRINK ANCHOR AND DECORATIVE CAP
12. STUCCO OF WOOD FRAMED CHIMNEY CONSTRUCT TO MATCH #1 STUCCO COLORED MASONRY CHIMNEY BEING REMOVED
13. 36" HIGH WOOD LATTICE TYPE GUARDRAIL W/ WOOD CAP
14. BUILT-UP ROOF FOR PRIVACY TRELLIS
15. PAINTED WOOD TRELLIS ASSEMBLY EXACT DESIGN IN FIELD
16. STUCCO OF BUILT-UP COLUMNS W/ WOOD CAPS
17. 1/2" 3-200T STUCCO W/ SMOOTH FINISH TO MATCH #1 OF PAPER-BACKED PEARL LATH PROVIDE PLATENS TYPE "D" PAPER AT 16" TO 2000 (EIGHT-16)
18. STUCCO W/EEP SCREENED, 1" FROM CONCRETE, 1/2" FROM SO-
19. LINE OF 2" GROUND
20. LINE OF PROPOSED GRADE
21. LINE OF CELLAR BEYOND
22. CHIMNEY FLOOR LINE
23. FALSE BEAM CORBELS
24. FLAT GLASS SKYLIGHTS W/ ANODIZED FRAMES
25. RE-INSTALL 2" ECE HANG UNDOUS AT 2" LOCATIONS
26. 36" X 36" WOOD LOUVERED GABLE VENTS W/ 1/2" SCREEN BACKING
27. 24" X 12" WOOD LOUVERED GABLE VENTS W/ 1/2" SCREEN BACKING
28. STUCCO OF SITE RETAINING WALLS
29. BOXED-OUT UNDOUS W/ FALSE BEAM ENDS
30. INDICATES G.L. FLASHING UNDER STUCCO FLASH TYPICAL
31. CUSTOM OVERHEAD REGIONAL GARAGE DOORS W/ TINTED GLASS INSERTS
32. INDICATES LINE OF PLATE ON CELLS
33. INDICATES FLOOR LINE
34. SEE SITE PLAN FOR BENCH MARK
35. HIGHEST POINT OF ROOF AND CHANGE IN HEIGHT IN 7'0" EMBANK
36. LINE OF 30' HEIGHT LIMIT
37. LINE OF 30' HEIGHT LIMIT AT EIGNAGE
38. LINE OF 30' HEIGHT LIMIT AT EIGNAGE
39. TOP OF GRADE

REVISIONS	BY

T.H.I.S.
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P.O. BOX 918, LOS GATOS, CA 95031-0918

EXTERIOR ELEVATION & ROOF PLAN

A Remodel/Upgrade to the
RESIDENCE
66 Elmwood Avenue
Los Gatos, California

DRAWN
CHECKED
DATE 11/1/01
SCALE 1/8" = 1'-0"
JOB NO.
SHEET
A4
OF 10 SHEETS

PLAN REVIEW APPROVAL
DATE 11/1/01
PANGLOSS/ELITE ASSOCIATES

PRINTED ON CLEARPRINT 100001