

100632
FILE



TOWN of LOS GATOS

**PLANNING DEPARTMENT
(408) 354-6872
August 18, 1989**

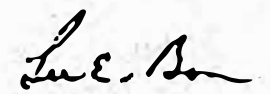
**NOTICE OF INTENTION TO APPROVE
NEW RESIDENTIAL CONSTRUCTION**

The Los Gatos Planning Department has received an application from Steve and Hollie Baunach to construct a second story room addition at 16488 Bonnie Lane (X-89-23).

The proposal will be approved on August 31, 1989, unless there is evidence that the project is too large or bulky, incompatible with the neighborhood, interferes with views or privacy, creates an adverse effect on the environment, or is not in compliance with the approved development standards for residential zones.

The plans are available for review in the Planning Department from 8:00 A.M. to 5:00 P.M. Any comments in opposition to this proposal must be received by this office in writing prior to the anticipated approval date.

Very truly yours,


Lee E. Bowman
Planning Director

LEB:DRR:cher

IN711\OFFICE\APPROVALS.CAT

APPLICATION

TOWN OF LOS GATOS
PLANNING DEPARTMENT
CIVIC CENTER
110 E. MAIN STREET
LOS GATOS, CA 95032

MAILING ADDRESS:
P.O. BOX 949
LOS GATOS, CA 95031

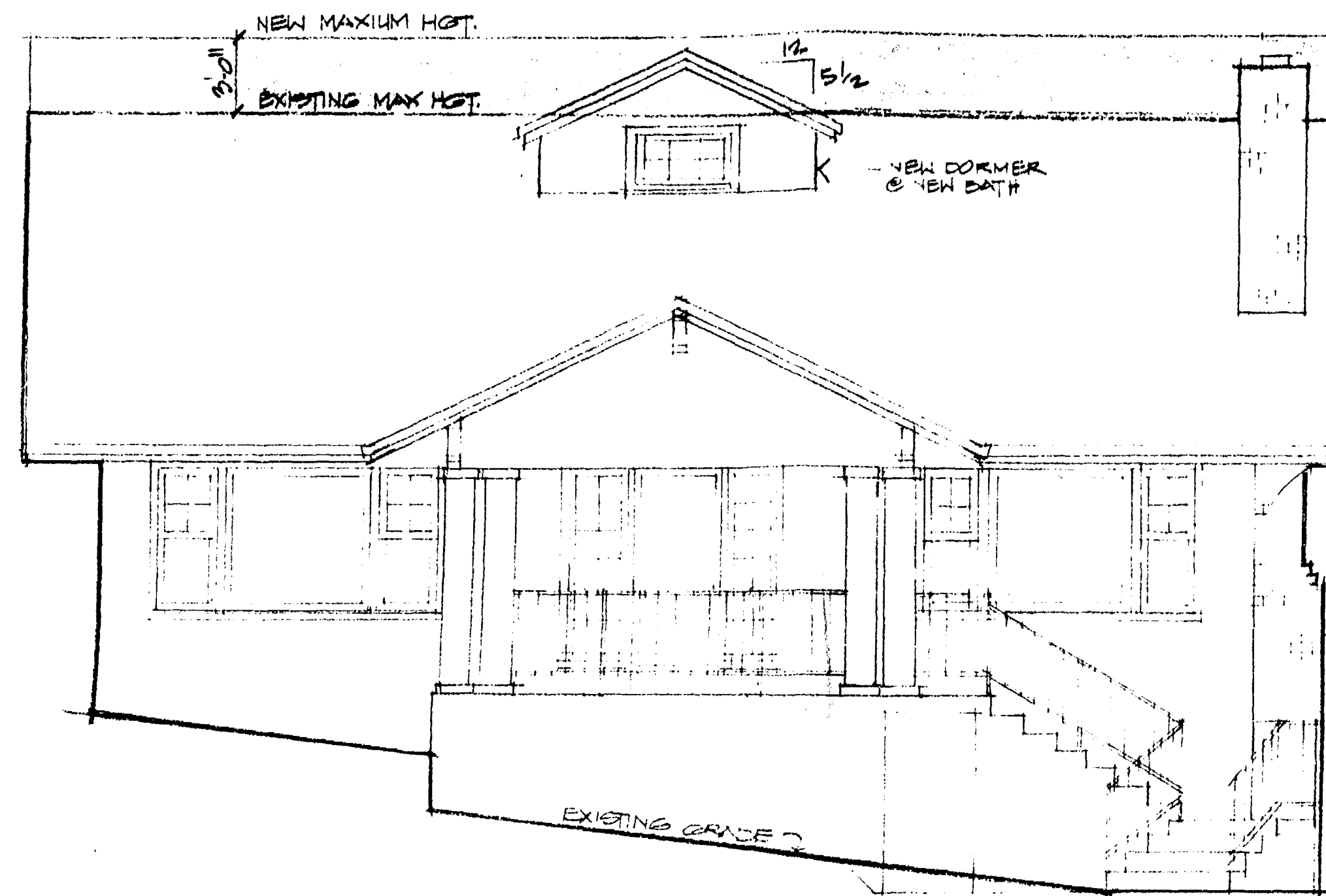
DATE RECEIVED: 8/10/89

RECEIVED BY: CHRISTINE A.

X-89-23

PLEASE TYPE OR PRINT CLEARLY (PRESS FIRMLY)

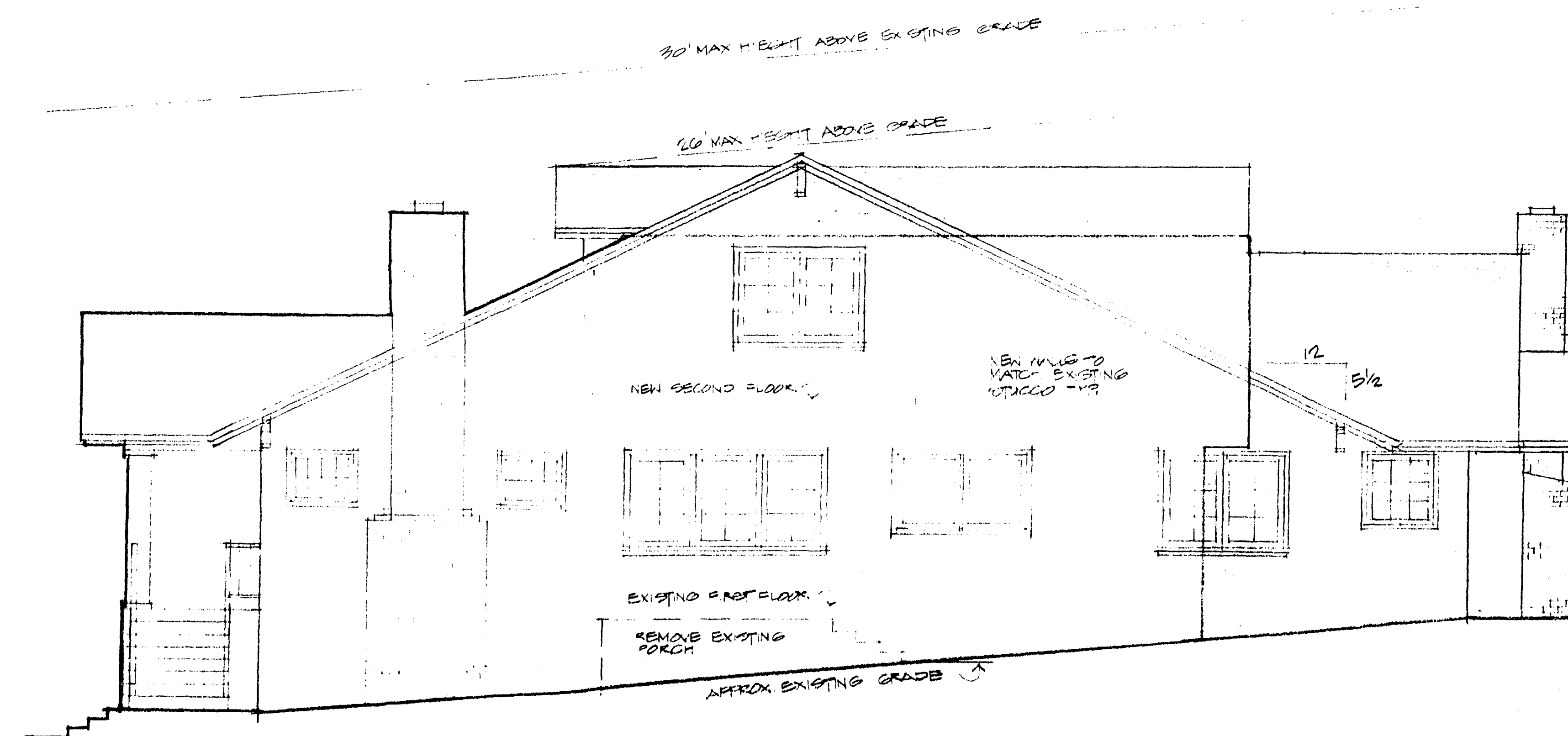
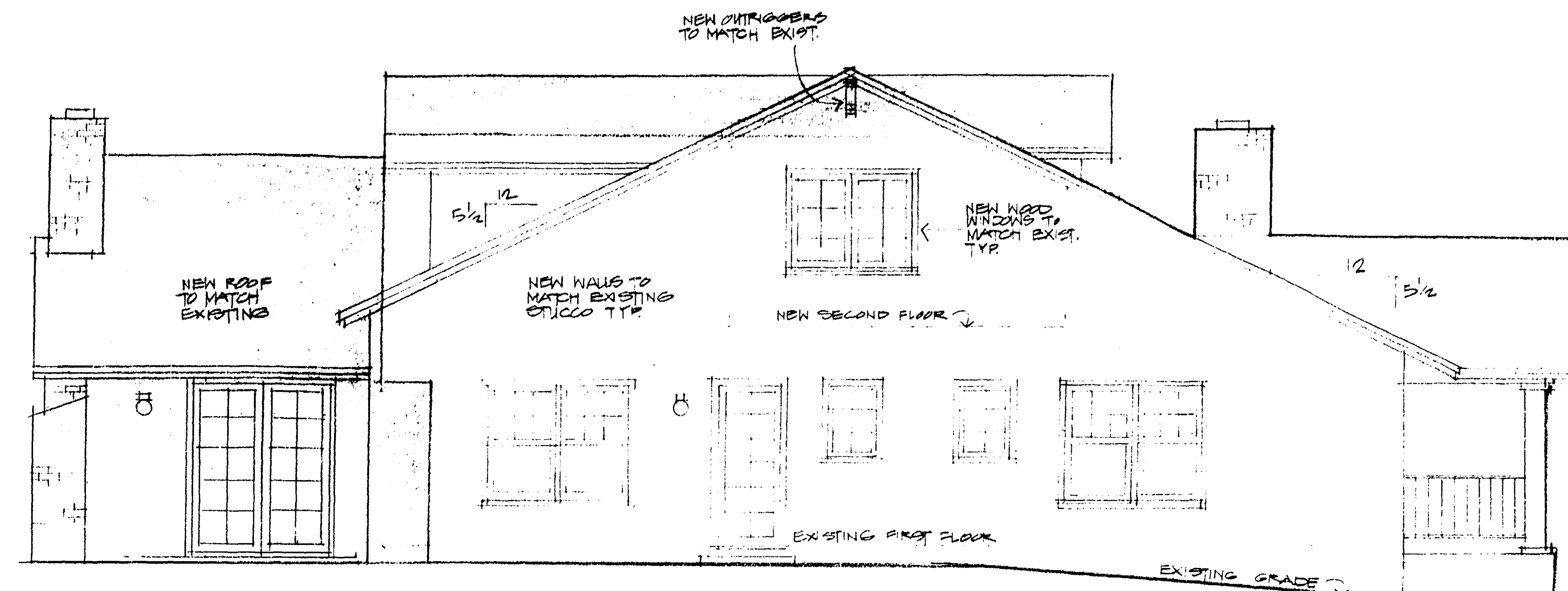
1. APPLICANT REQUEST: (Check appropriate boxes) ☒ New Second Story Addition ☐ Addition greater than 100 square feet to existing second story		2. PROPERTY DETAIL: Site area <u>12085</u> Zoning <u>R-1.20</u> APN <u>532.02.014</u>													
3. PROPERTY LOCATION: ADDRESS OF SUBJECT PROPERTY: <u>16488 Bonnie Lane Los Gatos</u>															
4. APPLICANT: Name <u>[REDACTED]</u> Phone <u>340 0660</u> Address <u>[REDACTED]</u> City <u>Los Gatos</u> State <u>CA</u> Zip <u>95032</u> SIGNATURE OF APPLICANT <u>Mila Chirba</u> Date <u>8-10-89</u>															
5. PROPERTY OWNER: (If same as above, check here) NAME <u>[REDACTED]</u> Phone _____ Address <u>16488 Bonnie Lane</u> City <u>Los Gatos</u> State <u>CA</u> Zip <u>95032</u> I hereby certify that I am the owner of record of the property described in box #3 above and that I approve of the action requested herein. SIGNATURE OF OWNER _____ Date _____															
6. ENVIRONMENTAL INFORMATION Existing land use <u>Residence 1</u> Surrounding land uses: North <u>RES.</u> South <u>RES.</u> East <u>RES.</u> West <u>RES.</u> Natural features & vegetation _____ Slope at building site: <u>Flat</u> Average site slope <u>approx 5%</u> Grading required: Cut: <u>approx 5</u> Cu. Yds. Cut Depth: _____ Fill: _____ Cu. Yds. Fill Depth: _____															
7. ARCHITECTURAL DETAILS Proposed Setbacks: Front: <u>25'</u> Rear: <u>39'</u> L. Side: <u>36'</u> R. Side: <u>18'</u> Height: <u>26'</u> Impervious coverage: _____ Size of structure: <table border="1"><thead><tr><th></th><th>Existing</th><th>Proposed</th></tr></thead><tbody><tr><td>First floor (incl. Garage):</td><td><u>1576</u> sq. ft.</td><td><u>356</u> sq. ft. (1982)</td></tr><tr><td>Second Floor:</td><td></td><td><u>644</u> sq. ft. 644</td></tr><tr><td>TOTAL:</td><td><u>1576</u> sq. ft.</td><td><u>1000</u> sq. ft. 2576</td></tr></tbody></table> Material & colors Proposed: <u>exist, grey blue w/ white trim</u> Window treatment (location and size of all windows that may affect the privacy of a neighbor <u>5040 rear bedroom</u> Proposed new landscaping <u>new patio on side & rear</u>					Existing	Proposed	First floor (incl. Garage):	<u>1576</u> sq. ft.	<u>356</u> sq. ft. (1982)	Second Floor:		<u>644</u> sq. ft. 644	TOTAL:	<u>1576</u> sq. ft.	<u>1000</u> sq. ft. 2576
	Existing	Proposed													
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TOTAL:	<u>1576</u> sq. ft.	<u>1000</u> sq. ft. 2576													



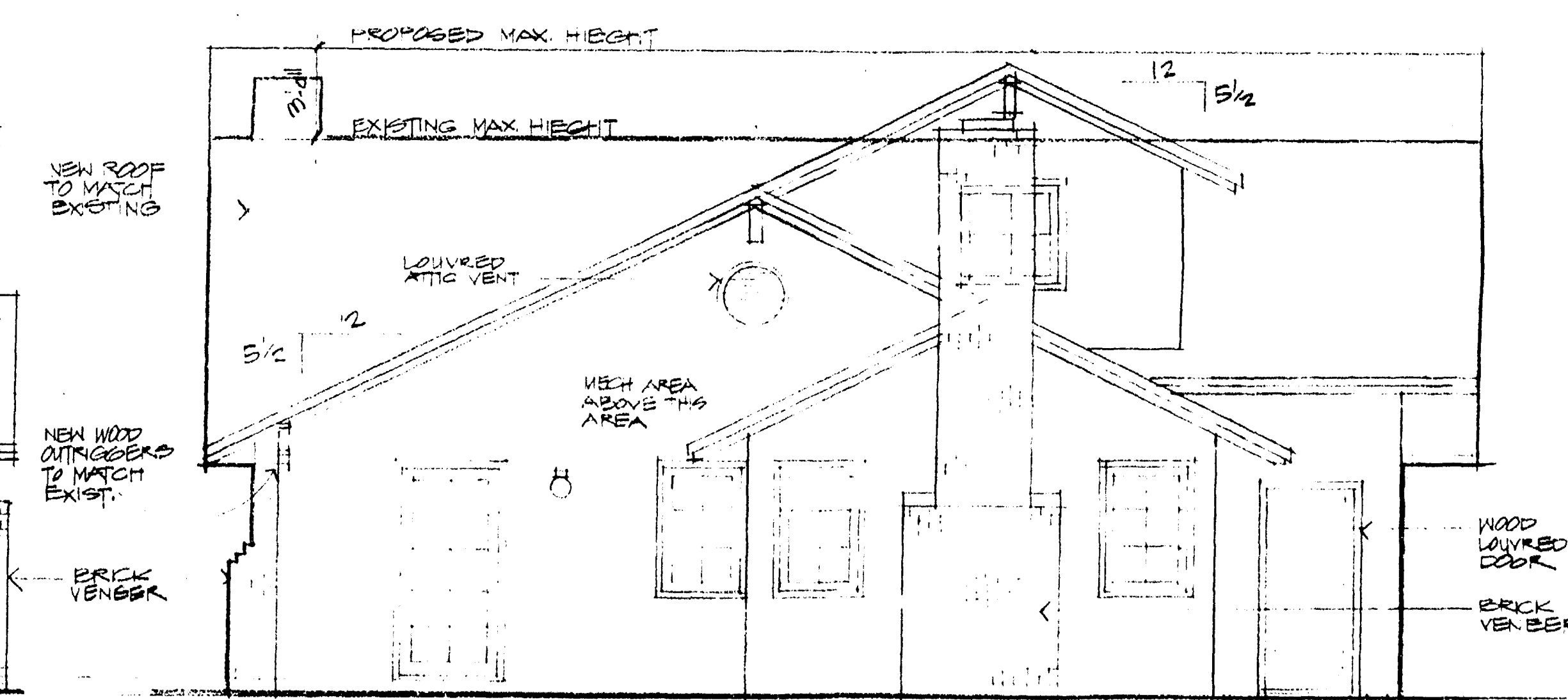
NORTH

FRONT

EAST



WEST



SOUTH

REAR

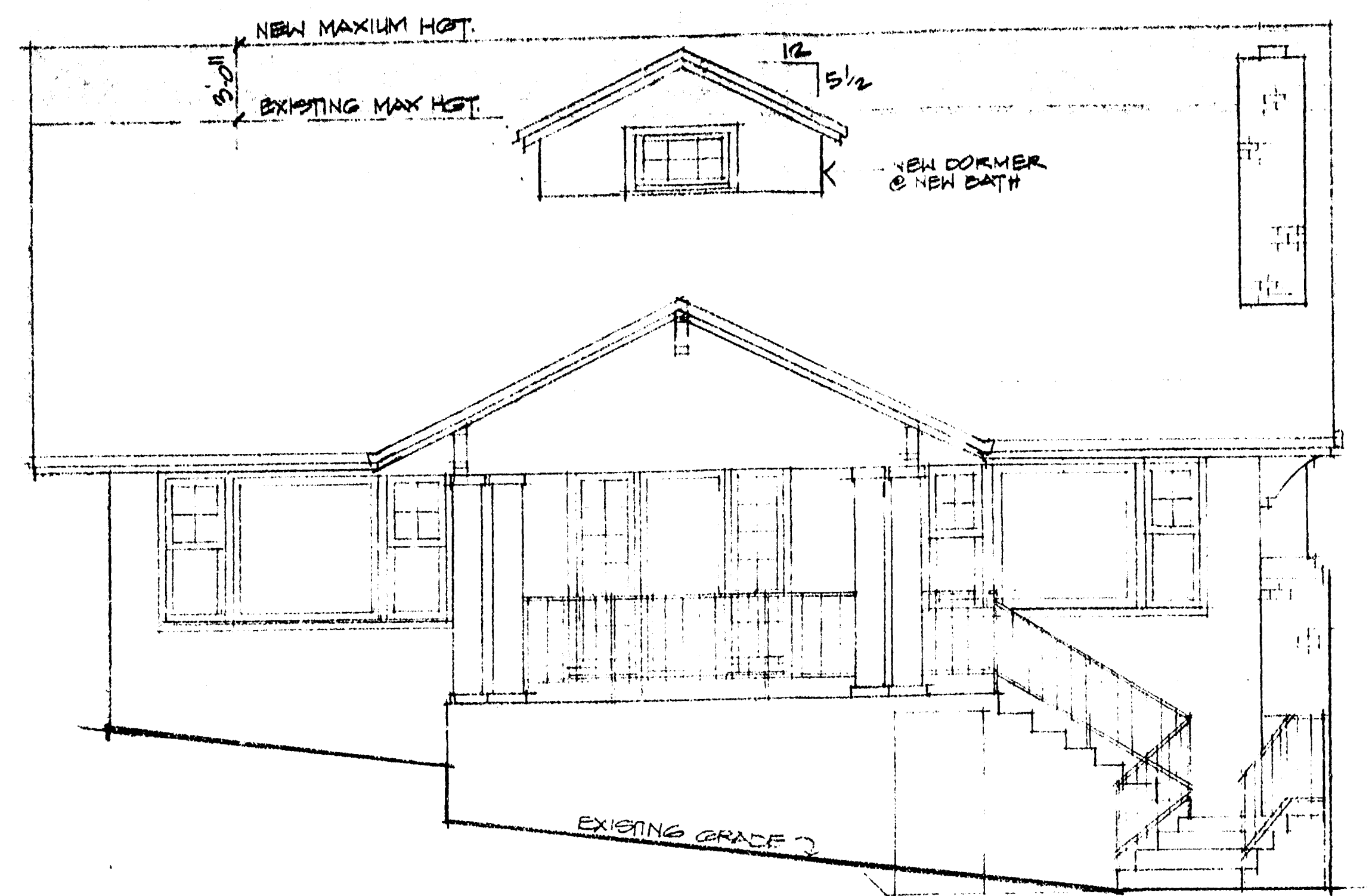
REVISIONS BY

MICHAEL D. VIERHUS
ARCHITECT
20 E. North Santa Ana Ave. Ste. 200, CA 92620
408.395.0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS, CA.

Date
Scale
Drawn
Job
Sheet 2
Of 2 Sheets

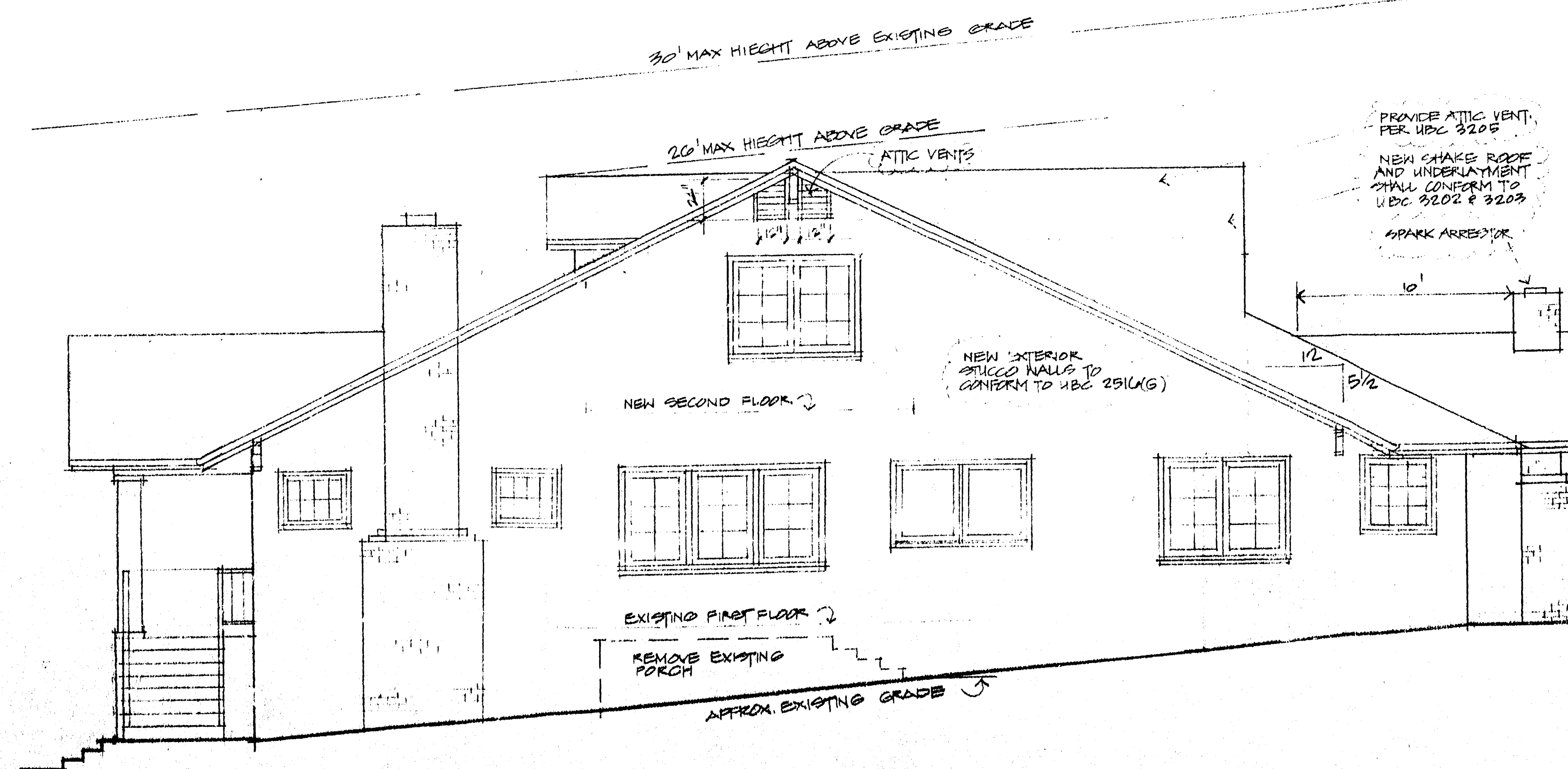
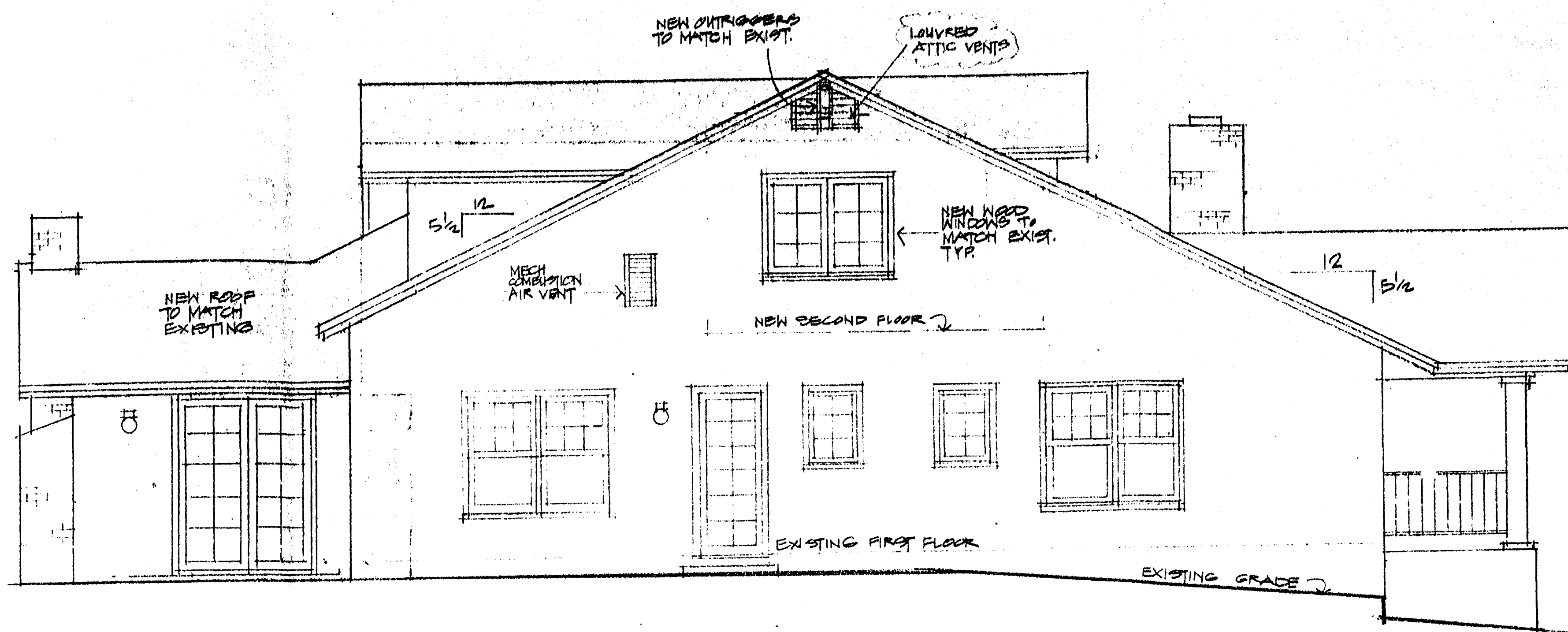
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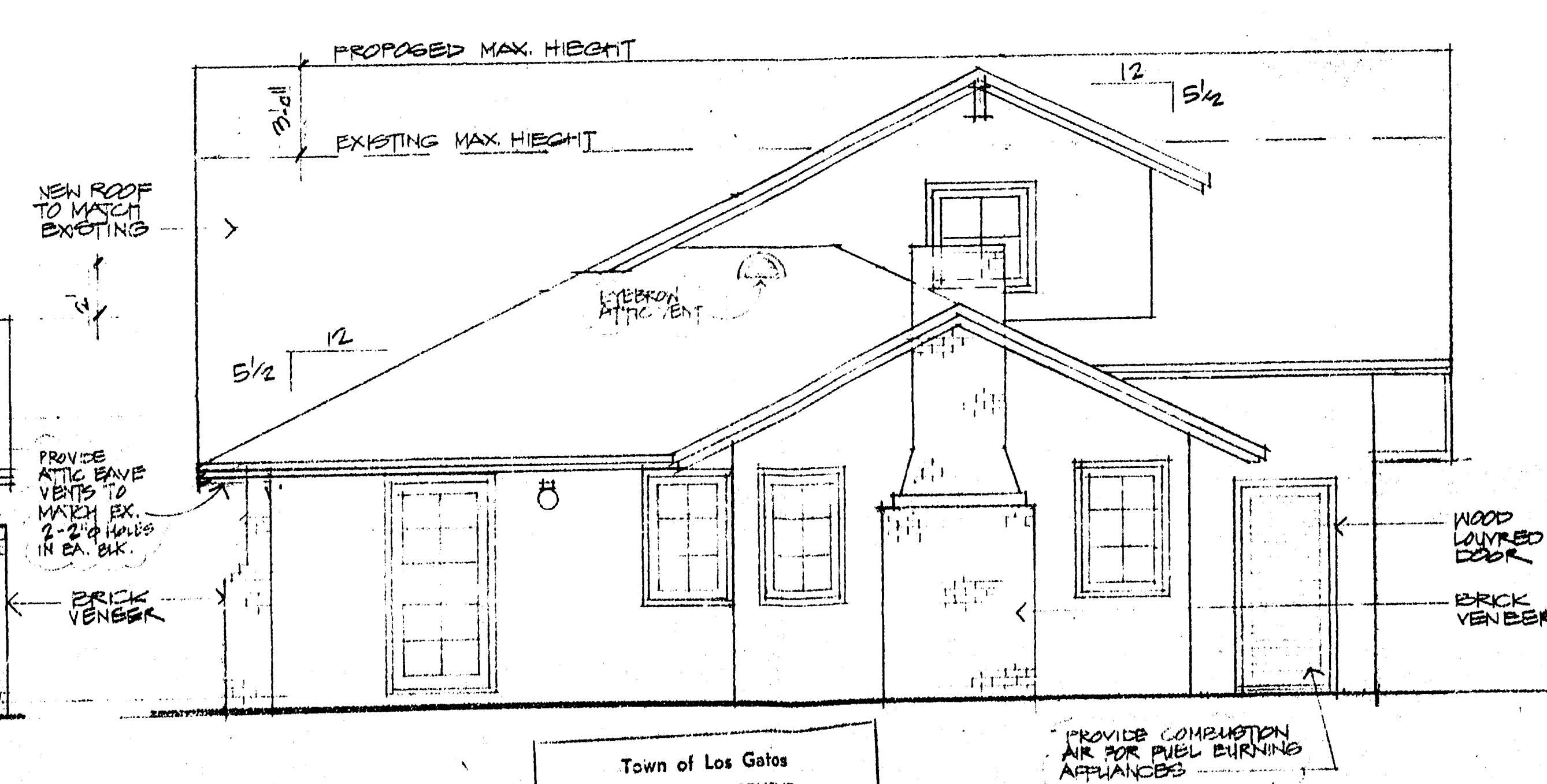
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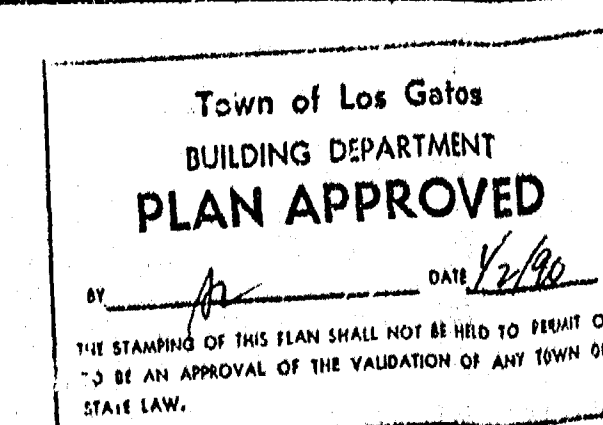


WEST



SOUTH

REAR

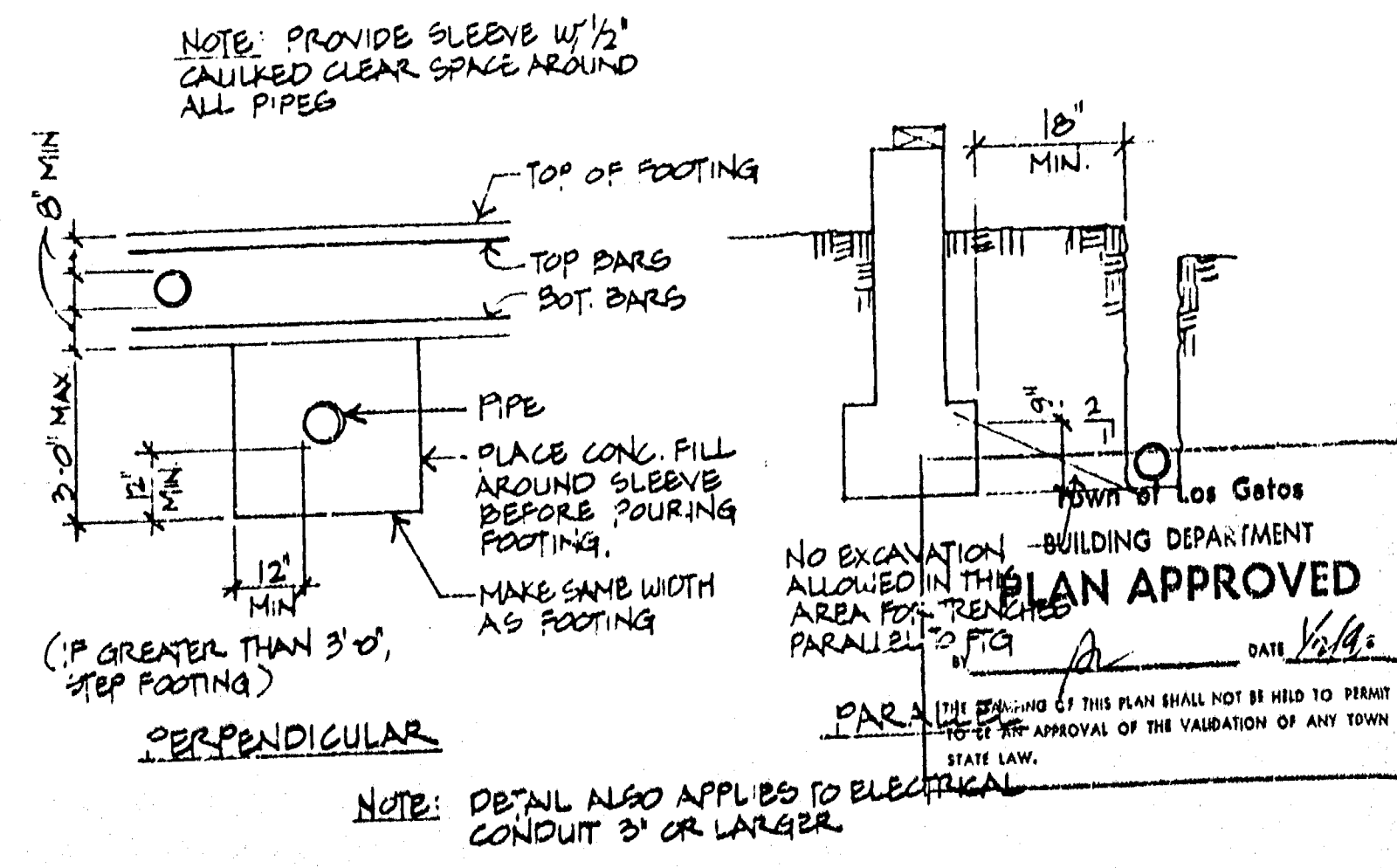
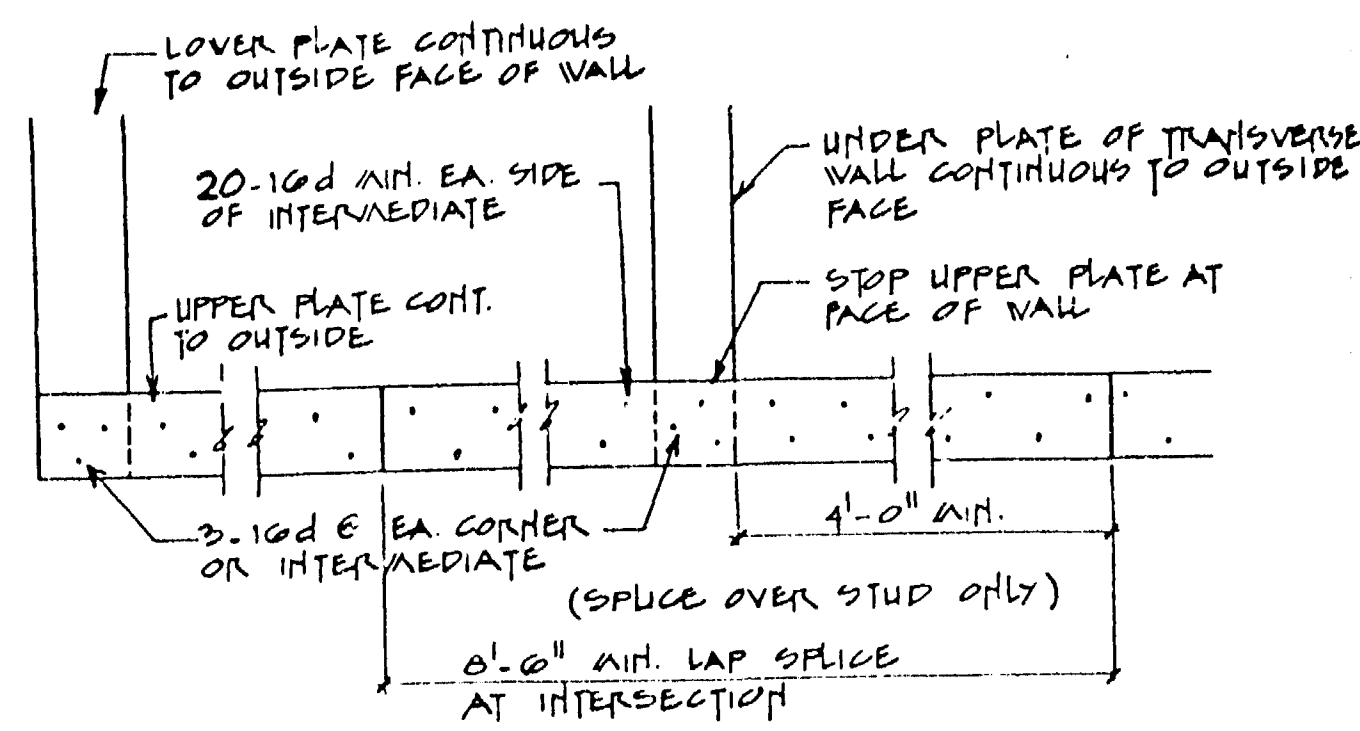


REVISIONS	BY
12/29	

MICHAEL D. VIERHUS
ARCHITECT
20 C North Santa Cruz Ave Los Gatos, CA 95030
408-395-0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date	10-4-20
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Of 2 Sheets	



ROUGH OPENING WIDTH	SIZE
4'-0" AND LESS	4X6
4'-1" TO 6'-0"	4X8
6'-1" TO 8'-0"	4X10
8'-1" TO 10'-0"	4X12
10'-1" TO 12'-0"	4X14
12'-1" FUR. OF 2 STORY BLDGS (U.N.O.)	4X12 OR BETTER

1. **REBAR GRADES:** FY OF REBAR= 40,000 PSI FOR #4 AND SMALLER, 60,000 PSI FOR #5 AND LARGER.
2. **CONCRETE STRENGTH:** F'C OF CONCRETE= 2,000 PSI FOR FOOTINGS AND 2,000 PSI FOR OTHER USES.

1. **EPOXY GROUTING** WILL BE USED IN ALL LOCATIONS WHERE EITHER ALL THREED ROD OR REBAR ARE BEING EMBEDDED INTO EXISTING CONCRETE OR BRICK MASONRY UNLESS NOTED OTHERWISE.
2. **DRIILLED HOLES** SHALL BE DRIILLED WITH ROTARY HAMMER. SIZE SHALL BE 1/2 INCHES IN DIAMETER LARGER THAN ROD OR BAR SIZE. IMMEDIATELY BEFORE APPLYING EPOXY GROUT, HOLES SHALL BE BLOW OUT WITH OIL-FREE COMPRESSED AIR.
3. **EPOXY GROUT** FOR DOWNWARD HOLES MAY BE EITHER NON-SAG TYPE, OR LIQUID TYPE. NON-SAG SET, HORIZONTAL OR OVERHEAD HOLES SHALL BE NON-SAG TYPE, NORMAL SET. LIQUID EPOXY SHALL BE POURED SLOWLY INTO THE HOLE TO FILL THE HOLE TO THE TOP. FOR SAG EPOXY SHALL BE MIXED WITH A CALK GUN WITH AN EXTENSION NOZZLE FITTED TO SAG EPOXY SHALL BE PUMPED TO THE HOLE. IN BOTH TYPES, THE HOLE SHOULD BE FILLED APPROXIMATELY HALF FULL.
4. **PLACEMENT:** BAR OR ROD SHALL BE SLOWLY INSERTED AND TURNED A MINIMUM OF ONE ROTATION. DO NOT PULL UP AND DOWN ON DOWEL WHEN INSTALLING. REMOVE ANY EPOXY GROUT AROUND HOLE BEFORE SETTING.
5. **CONTRACTOR SHALL** MIX RESIN AND HARDENER PER MANUFACTURER'S SPECIFICATION. EPOXY SHALL BE ADHESIVE ENGINEERING, CONCRETE 1411 OR 1440 SERIES.
6. **CONTRACTOR SHALL** FOLLOW ALL REPAIR AND PATCHING SPECIFICATIONS.

NAILING SCHEDULE	
CONNECTION	NAILING
GIRDER TO SILL - TOE NAIL	3 - 16d - COMMON
JOIST TO SILL OR GIRDER - TOE NAIL	3 - 8d - COMMON
BIRDSING TO JOIST - TOE NAIL	2 - 8d
PLATE TO JOIST OR BLOCKING	16d@8" O.C. - COMMON
TOP PLATE TO STUD - END NAIL	2-16d
TOP PLATE TO SOLE PLATE - TOE NAIL	4 - 8d
DOUBLE STUDS - FACE NAIL	16d@24" O.C
DOUBLE TOP PLATES - FACE NAIL	16d @16" O.
TOP PLATE LAPS	24-16d - COMMON
BUILT UP CORNER STUDS & ANGLES	16d@24" O.C
CEILING JOISTS TO PLATE - TOE NAIL	3-8d
CONTINUOUS HEADER TO STUD	4-8d
CEILING JOISTS - LAPS OVER WALLS	3-16d - COMMON
CEILING JOISTS TO PARALLEL RAFTERS	3-16d - COMMON
WATER TO PLATE TOE NAIL	3-8d
TOP PLATE INTERSECTIONS	3-16d
JOIST OR BLOCKING TO PLATE-TOE NAIL	16d@8" O.C.-COMMON
PLATE TO EACH STUD & PLATE	2-8d
1X5 SHEATHING TO BEARING	2-8d
1/2" PLYWOOD ROOF SHEATHING - EDGES	8d@8" O.C. - COMMON
1/2" PLYWOOD ROOF SHEATHING - FIELD	8d@12" O.C. - COMMON
1/2" PLYWOOD WALL SHEATHING - EDGES	8d@24" O.C. - COMMON
1/2" PLYWOOD WALL SHEATHING - FIELD	8d @12" O.C. - COMMON
1/2" GYP BOARD - ALL STUDS & PLATES	6d COOLERS @ 7.0 C.
5/8" GYP BOARD - ALL STUDS & PLATES	6d COOLERS @ 7.0 C.
5/8" OR 3/4" 1X6 PLYWOOD SUB FLOOR - EDGES	10d@6" O.C. - COMMON
5/8" OR 3/4" 1X6 PLYWOOD SUB FLOOR - FIELD	10d @ 10" O.C. - COMMON

* SEE PLAN FOR SPECIAL HEADER & NAILING REQUIREMENTS
AND ANCHOR SINKERS UNO

REVISIONS		BY

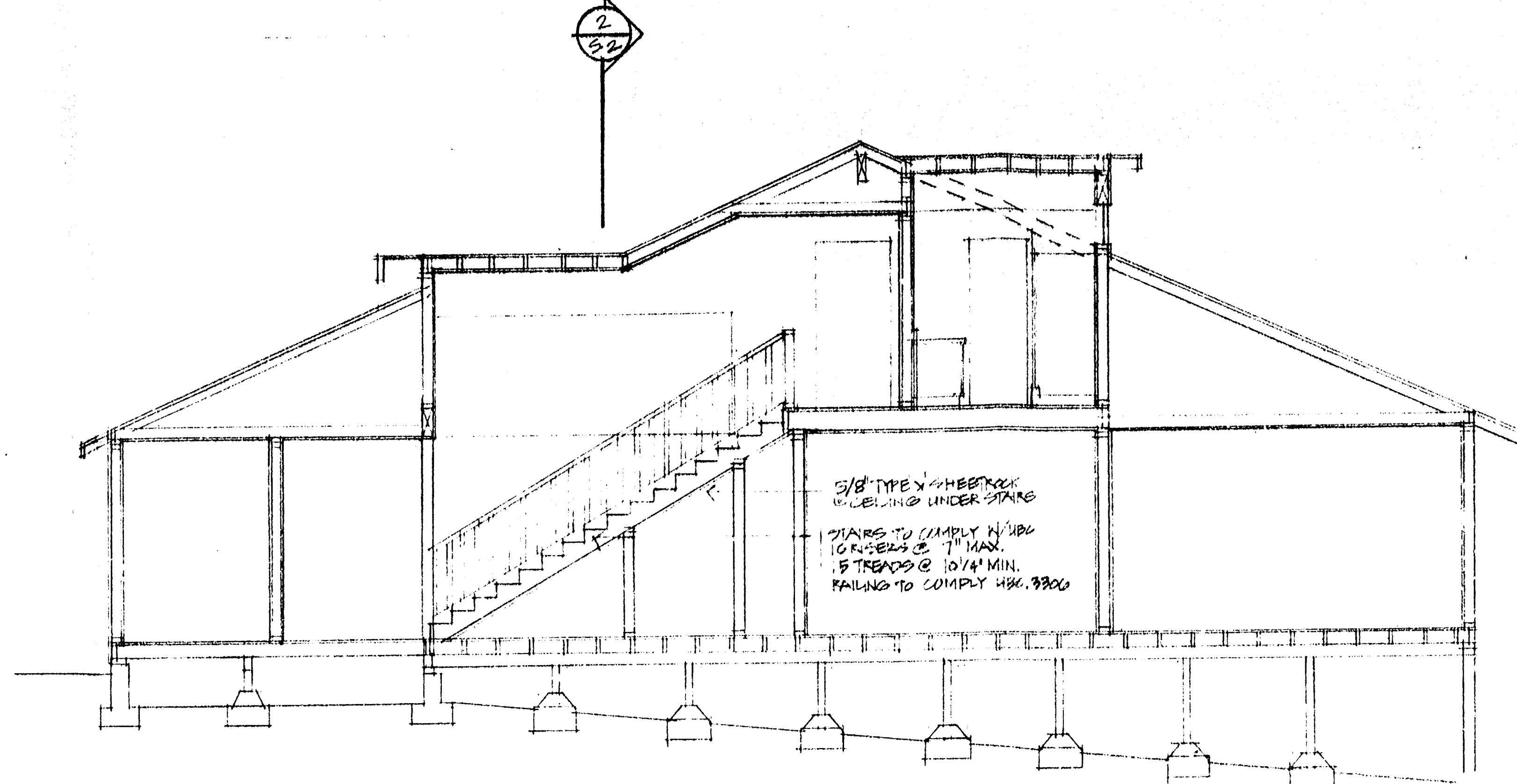
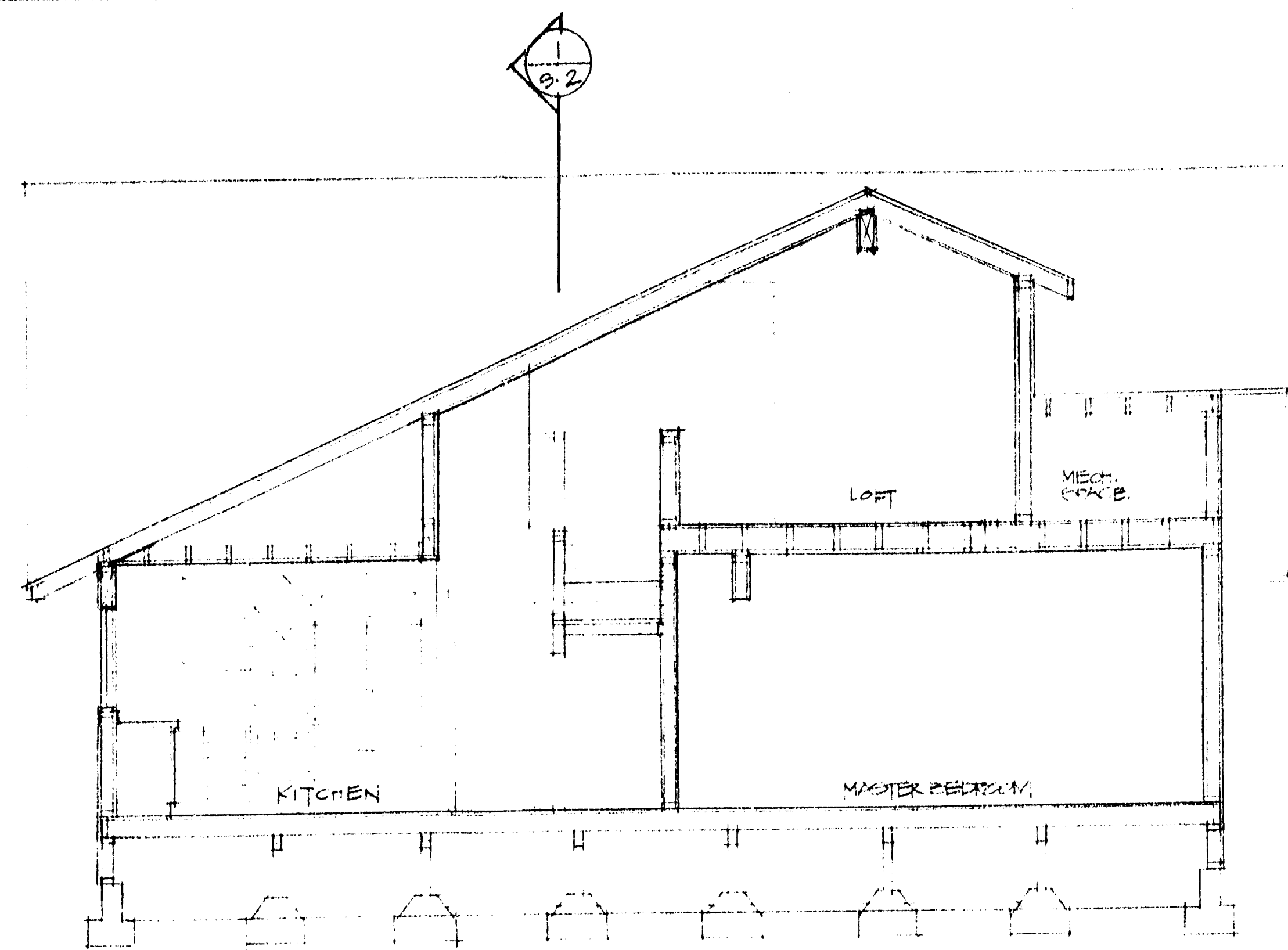


STRUCTURES & ENGINEERING
Joseph L. Baer, C.E.

415 Middlefield Road Palo Alto, California 94301 415-326-8615

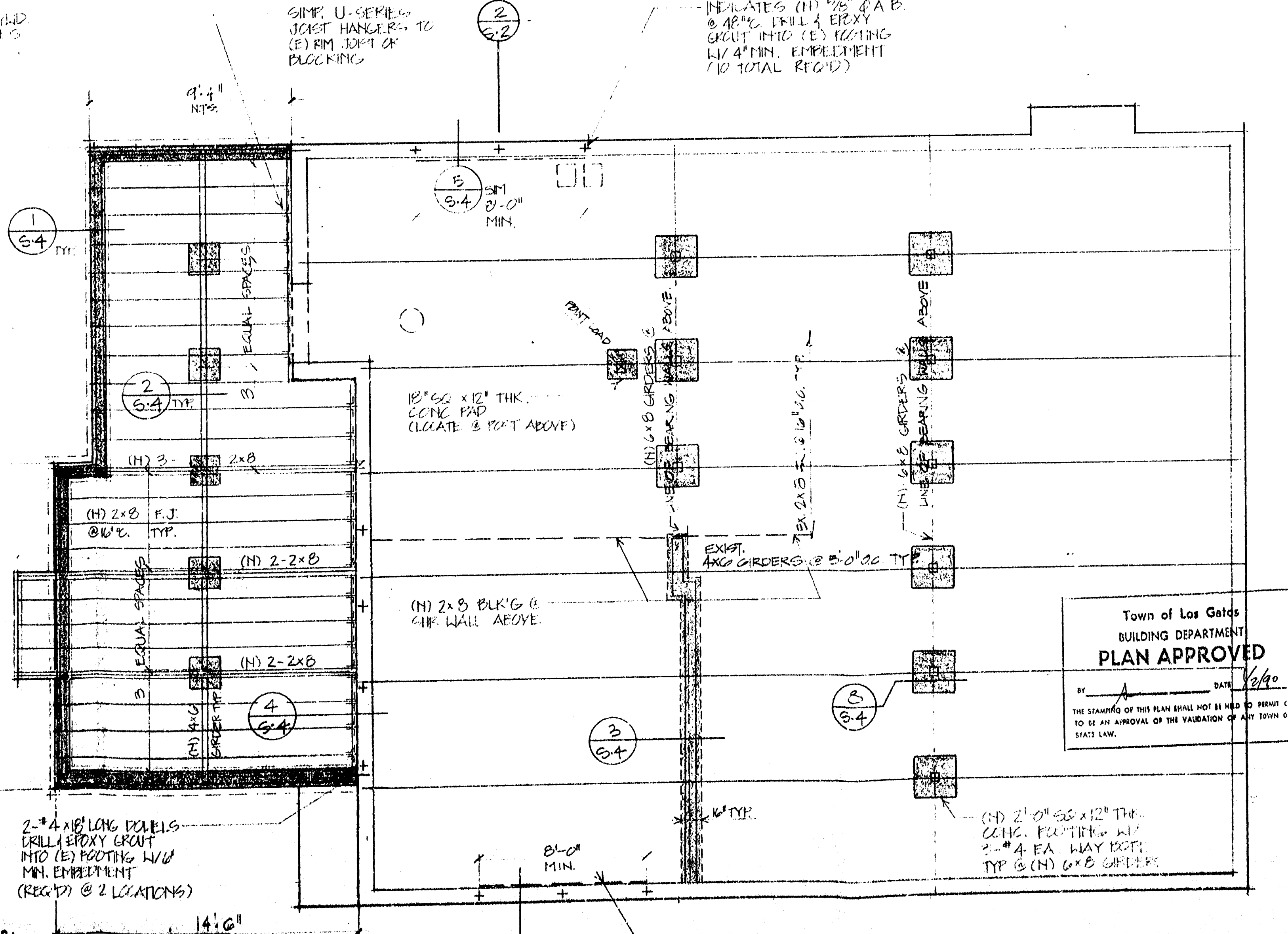
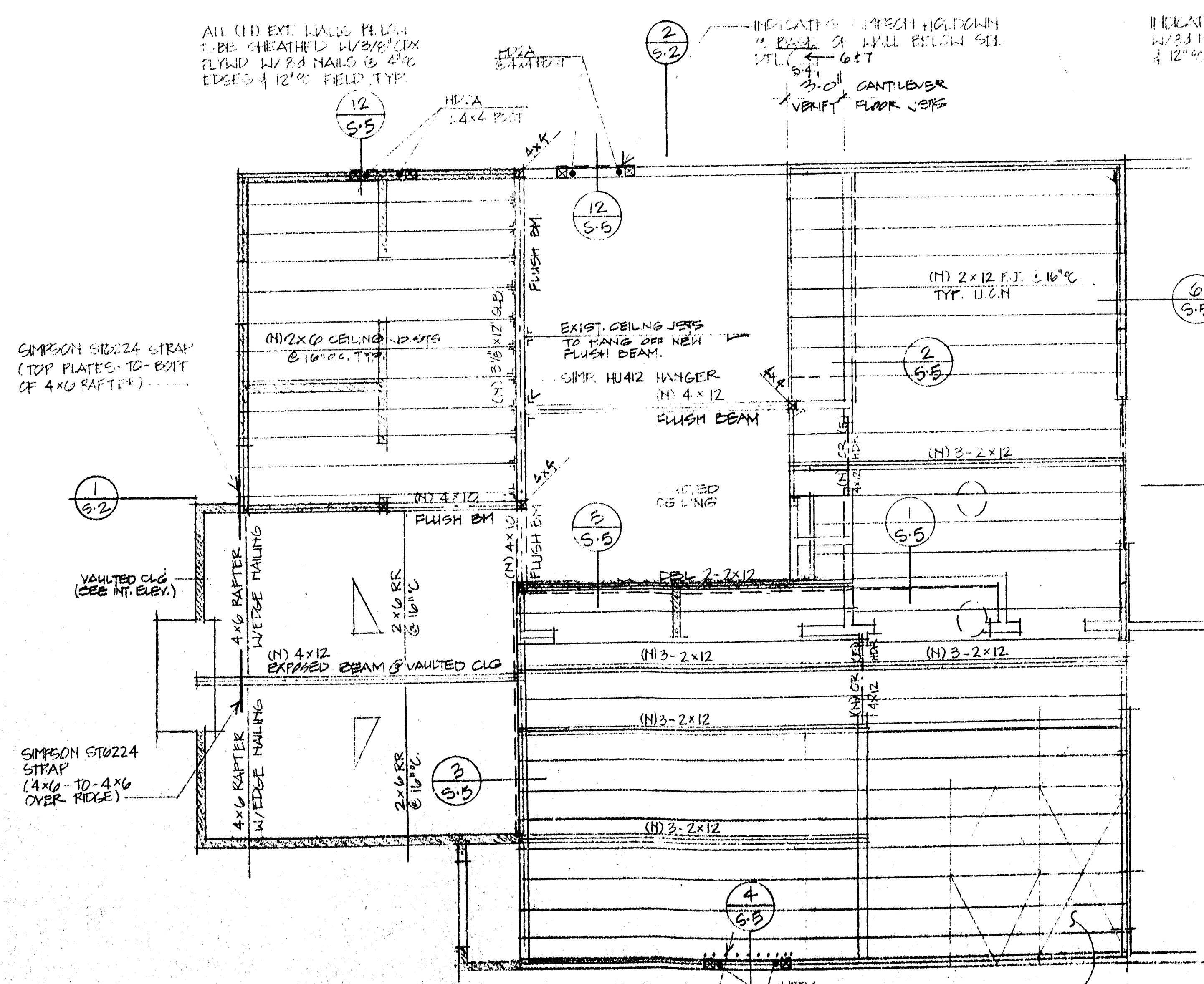
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16488 BONNIE LANE	
LOS GATOS CA.	

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Job:	89137
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Of 5 Sheets	



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S-2



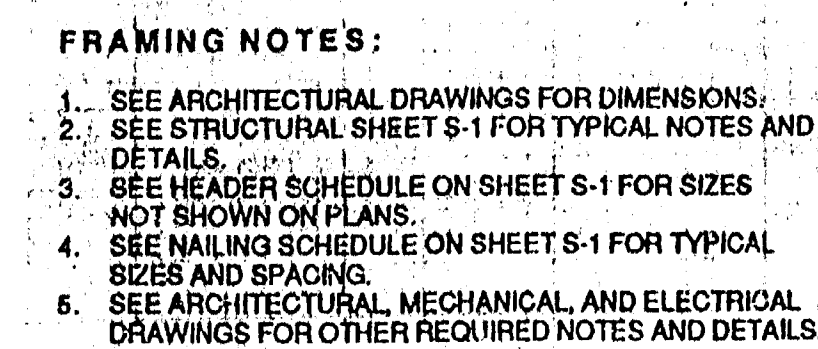
- FRAMING NOTES:**
1. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
 2. SEE STRUCTURAL SHEET S-1 FOR TYPICAL NOTES AND DETAILS.
 3. SEE HEADER SCHEDULE ON SHEET S-1 FOR SIZES NOT SHOWN ON PLANS.
 4. SEE NAILING SCHEDULE ON SHEET S-1 FOR TYPICAL SIZES AND SPACING.
 5. SEE ARCHITECTURAL MECHANICAL AND ELECTRICAL DRAWINGS FOR OTHER REQUIRED NOTES AND DETAILS.
 6. SEE SECOND FLOOR FRAMING PLAN FOR THE LOCATIONS AND SIZES FOR STRAPS AND HOLD-DOWNS AT THE FOUNDATION.

REVISIONS	BY

STRUCTURES & ENGINEERING
Joseph M. Burt, CE
435 Middlefield Road Palo Alto, California 94301 415-328-8615

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

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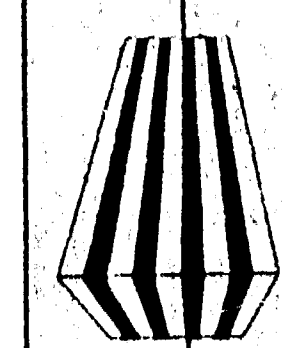


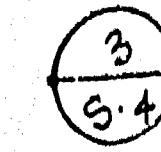
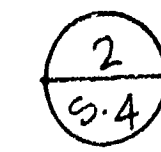
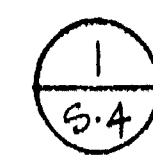
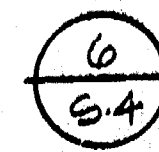
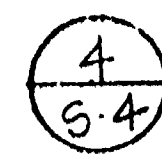
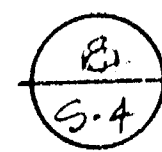
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16488 BONNIE LANE
LOS GATOS CA.

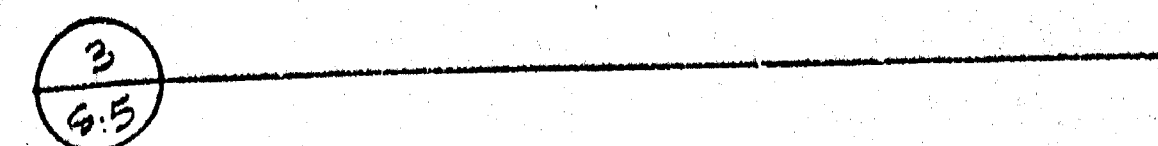
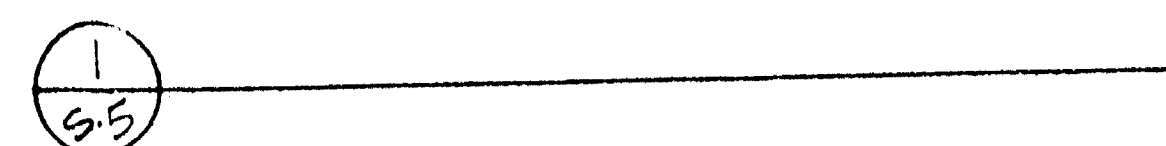
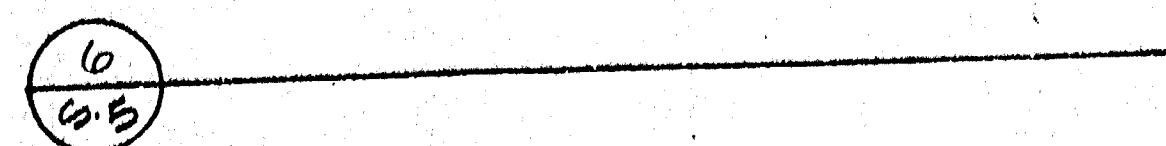
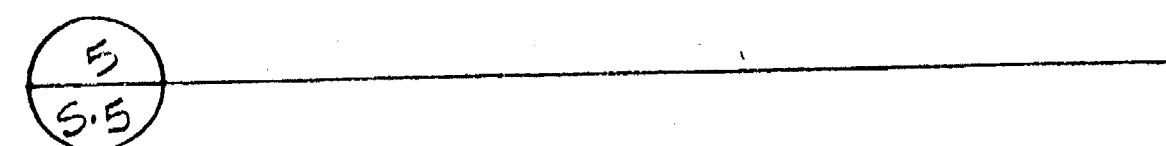
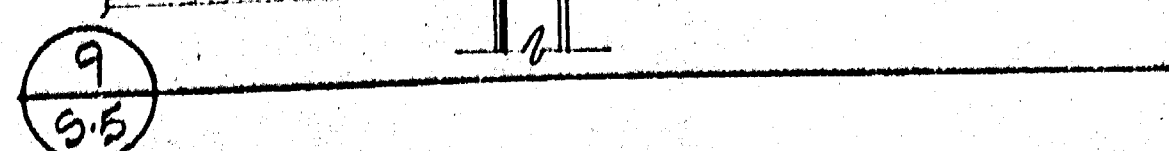
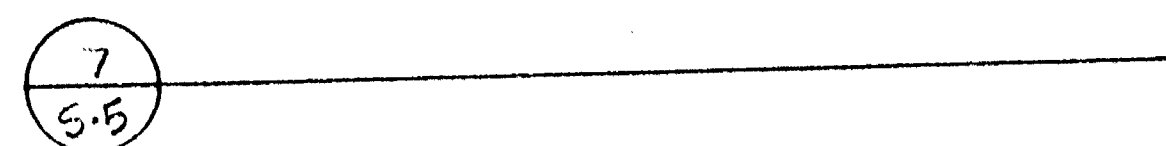
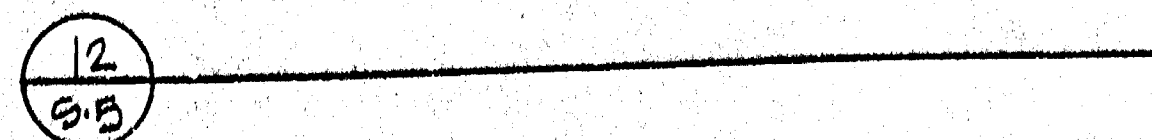
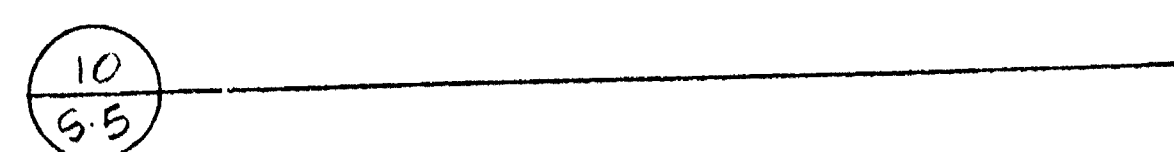
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Approved:
Job: 89137
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OF 5 Sheets

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STRUCTURES • ENGINEERING
Joseph M. Bauer, C.E.
Palo Alto, California 94301 415-338-8615



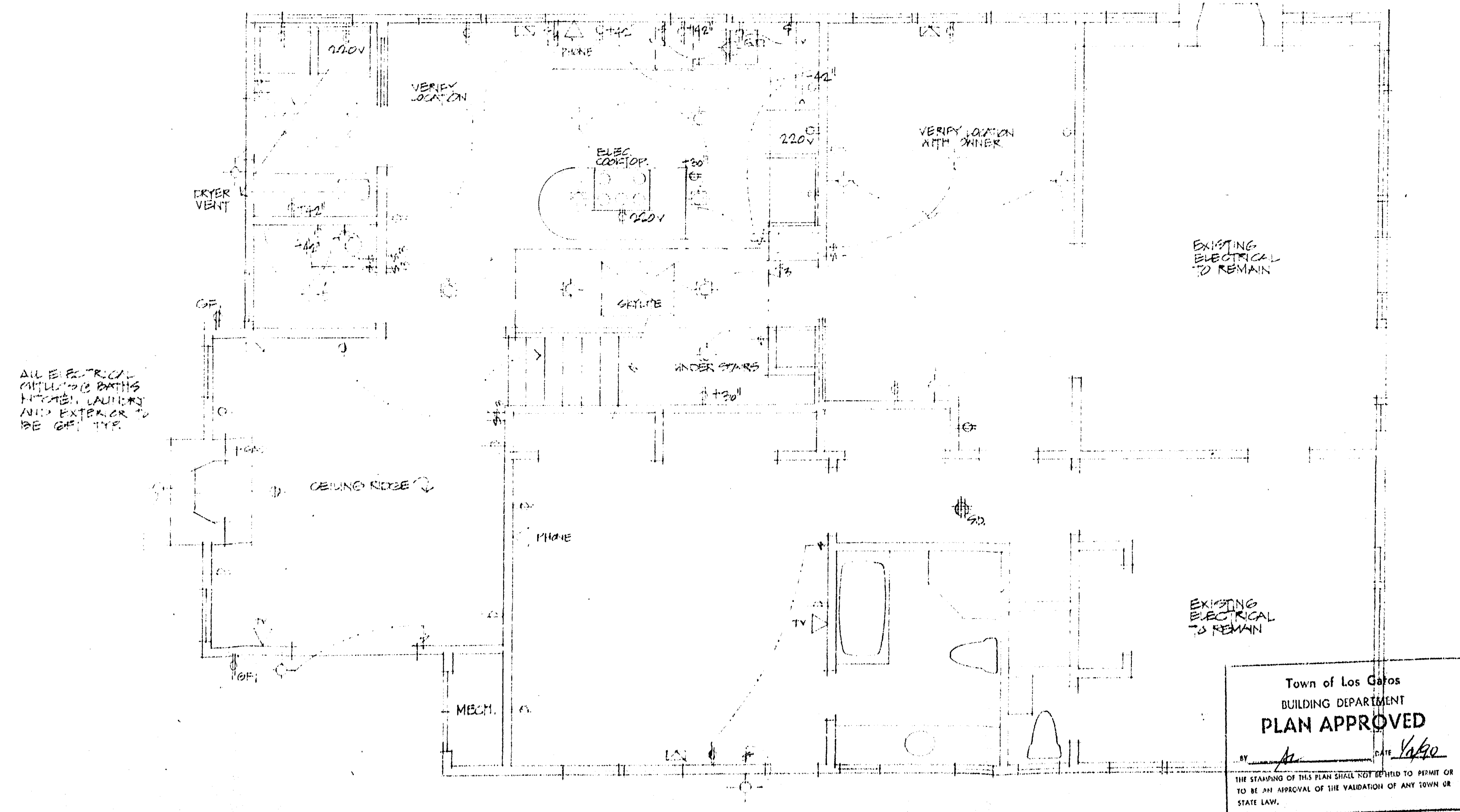




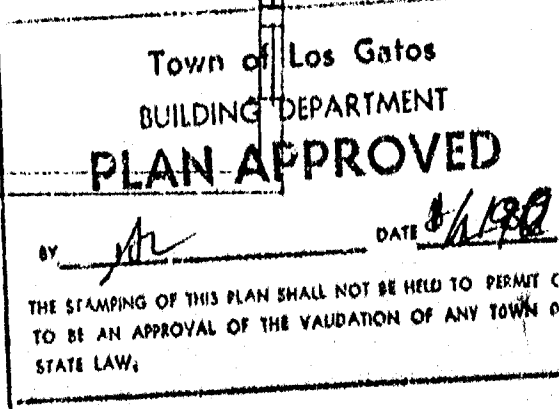
STRUCTURES & ENGINEERING
Joseph M. Bauer, C.E.
Palo Alto, California 94301 415-328-8615

335 Middlefield Road Palo Alto, California 94301 415-328-8615

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of 5	Sheet's

MICHAEL D. VIERHUS
ARCHITECT
408-395-0660

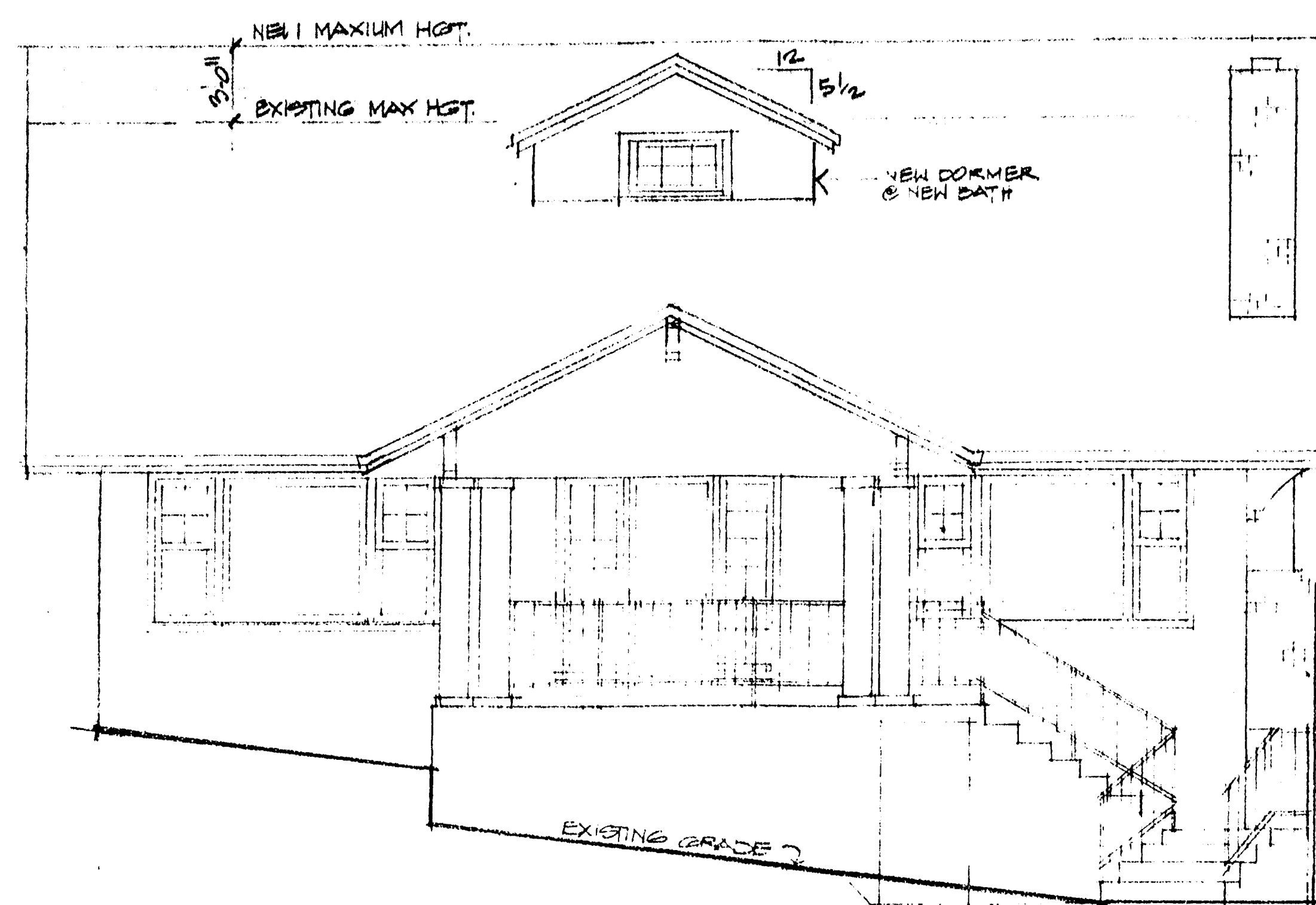
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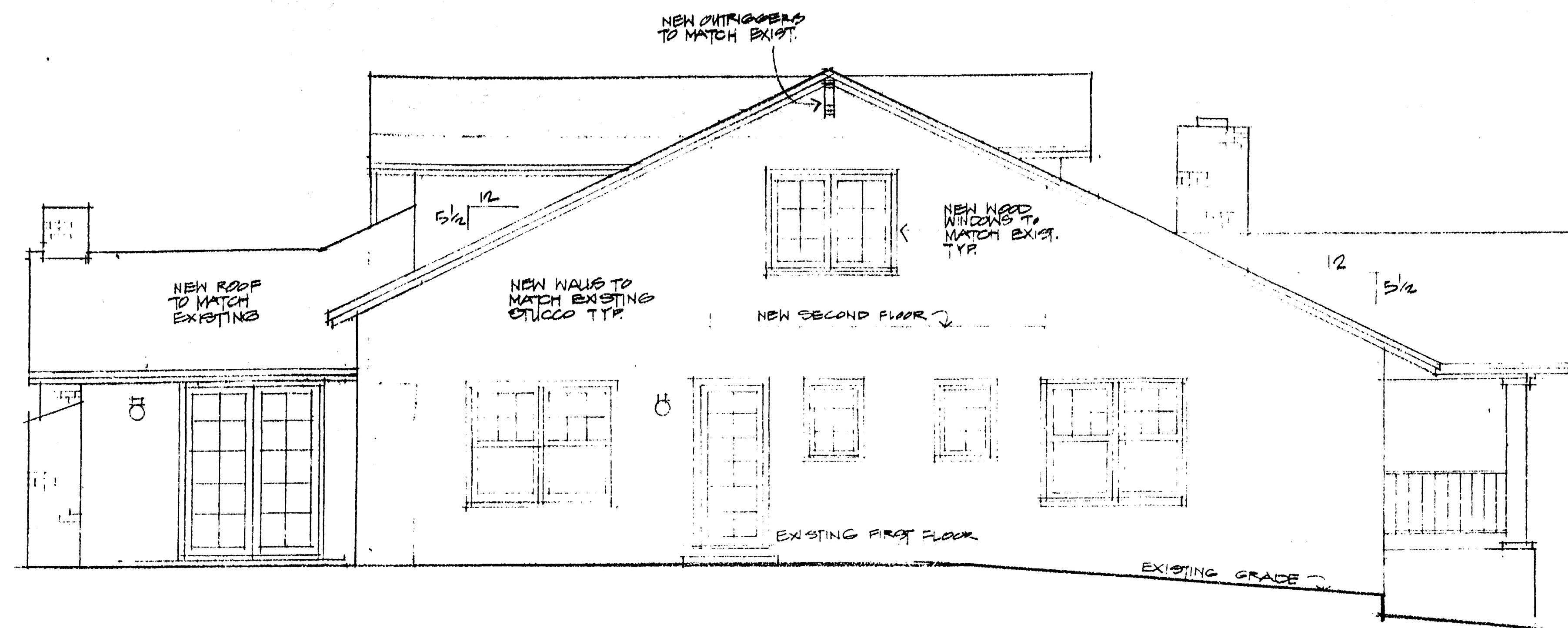
BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

FIRST FLOOR PLAN

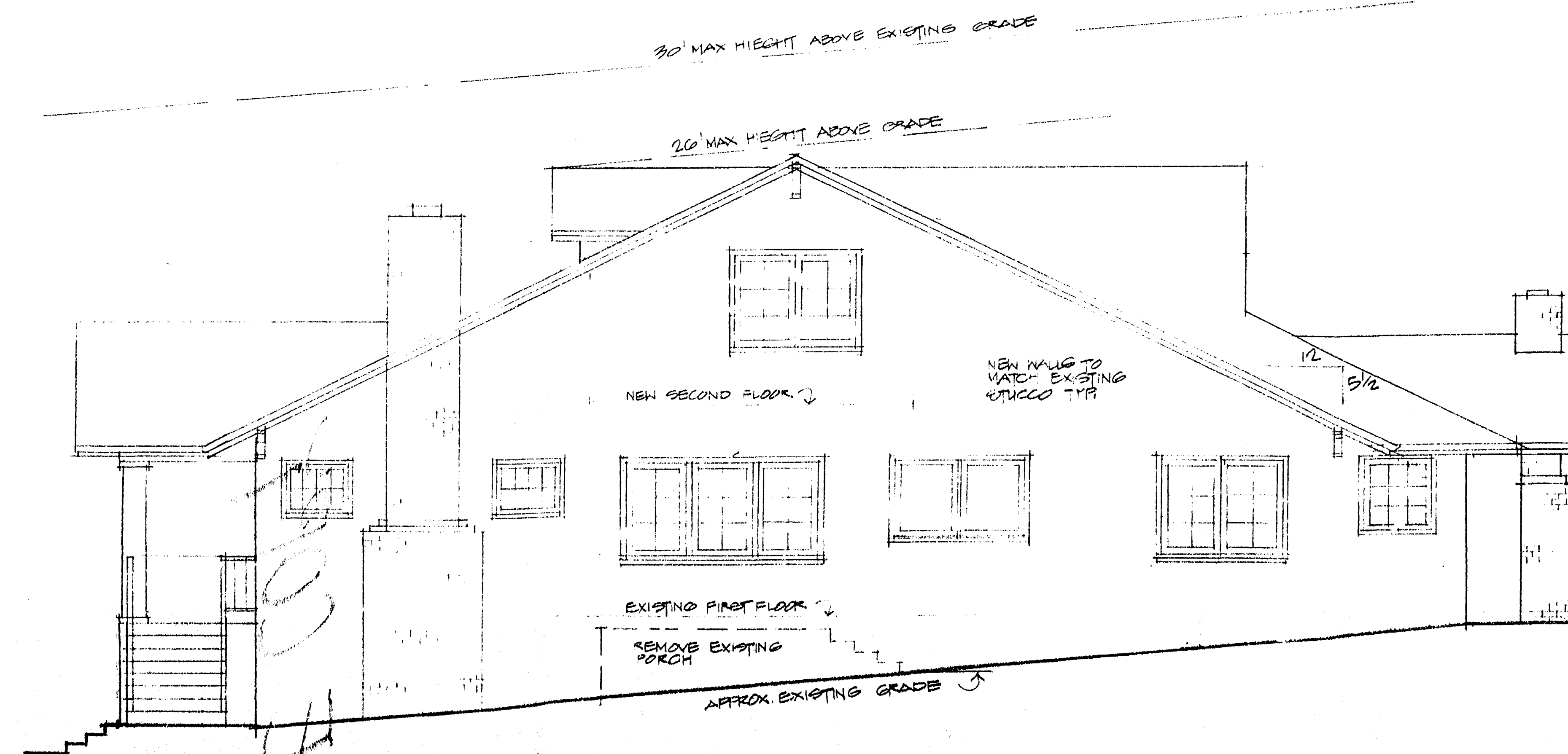
1575	EXISTING SQUARE FEET
350	ADDITIONAL SQUARE FEET



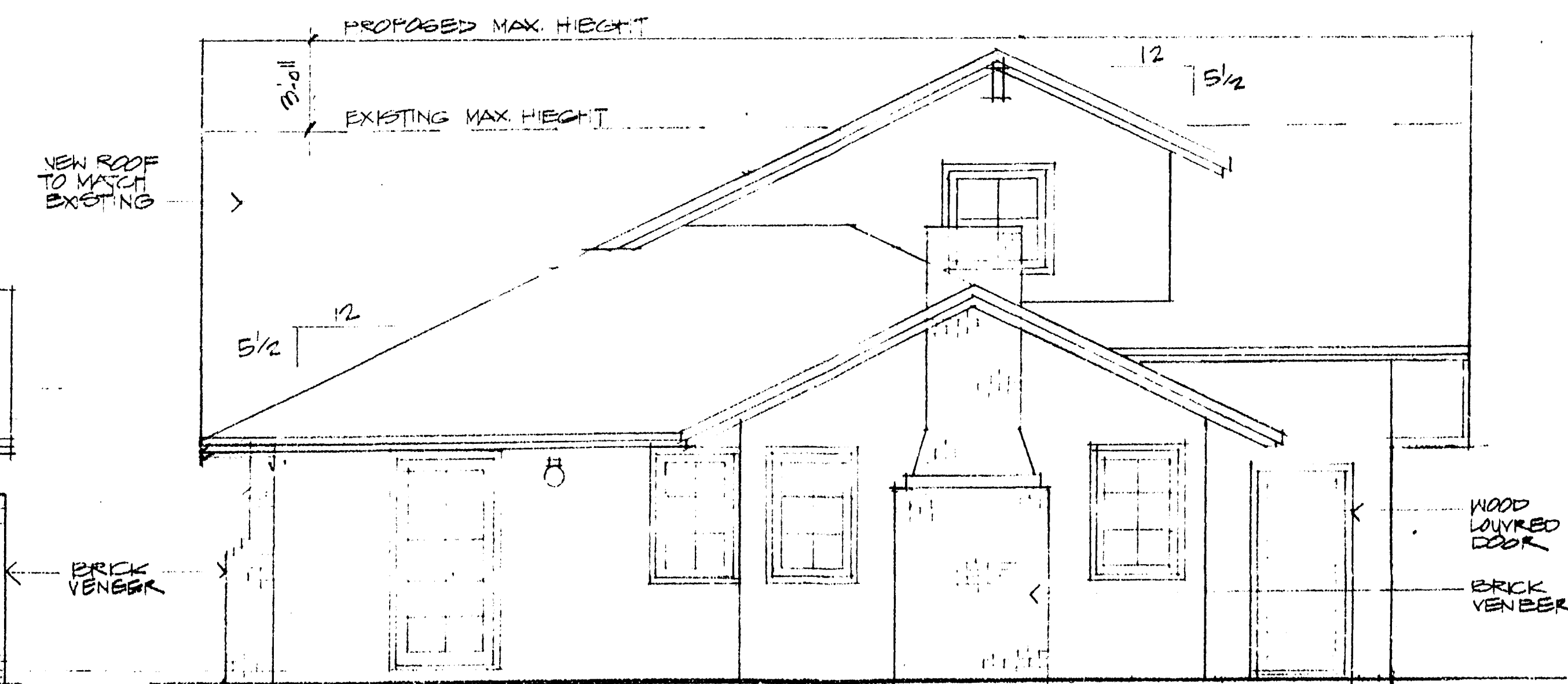
NORTH



EAST



WEST



SOUTH

PLANNING DEPARTMENT
APPROVED
THESE PLANS HAVE BEEN APPROVED AS SHOWN. ANY MODIFICATION TO WHAT HAS BEEN PROPOSED OR TO WHAT IS SHOWN AS EXISTING, MAY REQUIRE A SEPARATE APPROVAL.

Town of Los Gatos
BUILDING DEPARTMENT
PLAN APPROVED
DATE 10/4/20
FOR PLANNING APPROVAL ONLY

REVISIONS	BY

MICHAEL D. VIERHUS
ARCHITECT
20 C North Santa Cruz Ave Los Gatos, CA 95030
408.395.0660

BAUNACH REMODEL
16488 BONNIE LANE
LOS GATOS CA.

Date	10.4.20
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Sheet	2
Of	2 Sheets

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT - PHONE 384-6876

APPLICATION FOR BUILDING PERMIT

B 17371

BUILDING ADDRESS 16488 BONNIE LANE **DATE** 10/6/89

LOT NO. TRACT **SECTION** 28

EXISTING BUILDING RESIDENCIAL **USE** RESIDENCIAL

OWNER [REDACTED] **PH** [REDACTED]

ADDRESS SAME **CITY** LOS GATOS

ARCHITECT OR ENGINEER MIKE VIERHNS **ADDRESS** 200 N. SANTA ANA AVE. LOS GATOS

CONTRACTOR [REDACTED] **ADDRESS** 16488 Bonnie Ln. Los Gatos

STATE LICENSE [REDACTED] **TOWN LICENSE** [REDACTED]

DESCRIPTION OF WORK

NEW ☒ ADD 1000 ALTER ☐ REPAIR ☐ DEMOLISH ☐

1st FL ☒ 2nd FL ☒ GAR ☐ AREA ☐ BASE ☐ OTHER ☐

TOWN BLOCK AREA 2575 **DESCRIPTON OF WORK**

ADD 356 SQ FT TO FIRST FLOOR
ADD 644 SQ FT TO SECOND FLOOR

VALUATION \$90,000

BUILDING PERMIT APPROVAL **DATE**

PLAN DEPT KUH **DATE** 10/14/89

TEST [REDACTED] **DATE** 11/1/89

FIRE DEPT [REDACTED] **DATE** 10/11/89

BUILDING DEPT [REDACTED] **DATE** 10/11/89

SEWER DEPT [REDACTED] **DATE** 10/11/89

TYPE CONST V-N

OCC GROUP R-3

USE ZONE [REDACTED]

FIRE SPR. [REDACTED]

VALUATION \$ 90,000

FEES & TAXES

BUILDING PERMIT \$ 594.15

SEISMIC TAX 6.30

CONSTRUCTION TAX 120.00

UTILITY TAX 120.00

PARK TAX 4.00

PLAT CHECK FEE 120.38

TOTAL \$ 1000.83

NAME [REDACTED]

ADDRESS [REDACTED]

() NOT APPLICABLE

CONTRACTOR'S DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW.

SIGNATURE [REDACTED]

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND I AGREE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE POLICY IN EFFECT THROUGHOUT THE JOB.

SIGNATURE [REDACTED]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION LAWS

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE [REDACTED]

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE [REDACTED]

INSPECTION RECORD

NO. 384.43

CHANGED FROM O/B TO CONTRACTOR

6/12/90

SHRIMP POWDER

POWDER CONSTRUCTION

211 POWDER ST.

LOS GATOS, CALIF 95030

356-1893

6-18-90 O/B INSULATION BUB

1-10-90 B 391.911

6-11-90 O/B PLUMB, ROME, GAS - BUB

1-7-90 Any shaft, 3/4" shaft BUB

1-9-90 070111 04/25/90 TOTAL BUB

VALIDATION

OVER

APPROVALS

6-18-90 Bill B.

7-19-90 Bill B.

9-2-90 Bill B.

10-1-90 Bill B.

2-11-91 Bill B.

SEWING MACHINE INSPECTION DEPARTMENT • PHONE 884-8878
INSPECTION REQUESTS PLEASE 884-8877

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APPROVALS		
	DATE	INSPECTOR'S SIG.
UNDERFLOOR WORK		
ROUGH PLUMBING	7-7-90	B. J. B.
GAS PIPING	7-13-90	H. J. B.
GAS VENTS		
HOT WATER HEATER		
HOUSE SERVICE		
PLUMBING RETURN		
GAS TEST		
UTILITY CO. NOTIFIED		
FINAL	2-11-91	B. J. B.

BUILDING INSPECTION DEPARTMENT • PHONE 354-8876
INSPECTION REQUESTS PHONE 354-8877

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CONCLUSIONS & RECOMMENDATIONS

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 384-0876
INSPECTION REQUESTS PHONE 384-0877

M 11003

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ITEM	NO. OF ITEMS	AMOUNT	\$	PER
FURNACE		15.00 EA.		
DUCT OUTLET OR REGISTER	7	1.00 EA.	7.00	
AIR CONDITIONER		15.00 EA.		
FIREPLACE	1	12.00 EA.	12.00	
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A/C, BOILER, COMPRESSOR, OR AIR HANDLER		15.00 EA.		
VENTILATING FAN	2	6.00 EA.	12.00	
HOOD, RESIDENTIAL		12.00 EA.		
HOOD, COMMERCIAL		22.00 EA.		
FLUE, VENT	1	6.00 EA.	6.00	
EVAPORATIVE COOLER		12.00 EA.		
SOLAR COLLECTOR		22.00 SYSTEM		
OTHER MECHANICAL APPLIANCE		12.00 EA.		
GAS		10.00 SYSTEM		

NEW RES CONST _____ SQ FT X \$ 0.25 =

PLAN REVIEW @ 25%

ISSUANCE OF PERMIT

15.00

TOTAL FEES \$

52.00

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW

SIGNATURE X

COMPLETE A OR B

WORKER'S COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE X

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE X

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE X

BUILDING ADDRESS	STREET, AVE., BLVD	APT NO
16488 Bonnie Ln.		
USE OF BUILDING	Residential	
OWNER	[REDACTED]	
MAIL ADDRESS	16488 Bonnie Ln.	
CITY	Los Gatos CA	ZIP 95032
CONTRACTOR	Steve Rehler	PHONE [REDACTED]
MAIL ADDRESS	211 Dover St.	
CITY	Los Gatos	ZIP 95032
STATE LICENSE	B391911	TOWN LICENSE
DESCRIPTION OF WORK		

GROUP	USE ZONE	PROCESSED BY	DATE
		BB	10/1/90

INSPECTION RECORD

VALIDATION 5817A111 10/01/90 TOTAL 52.00
15:15

APPROVALS

	DATE	INSPECTOR'S SIG
UNDERFLOOR WORK		
DUCT WORK		
FLUES, VENTS		
COMBUSTION AIR		
GAS TEST	9-13-90	B-2113
FINAL	2-11-91	B-24B