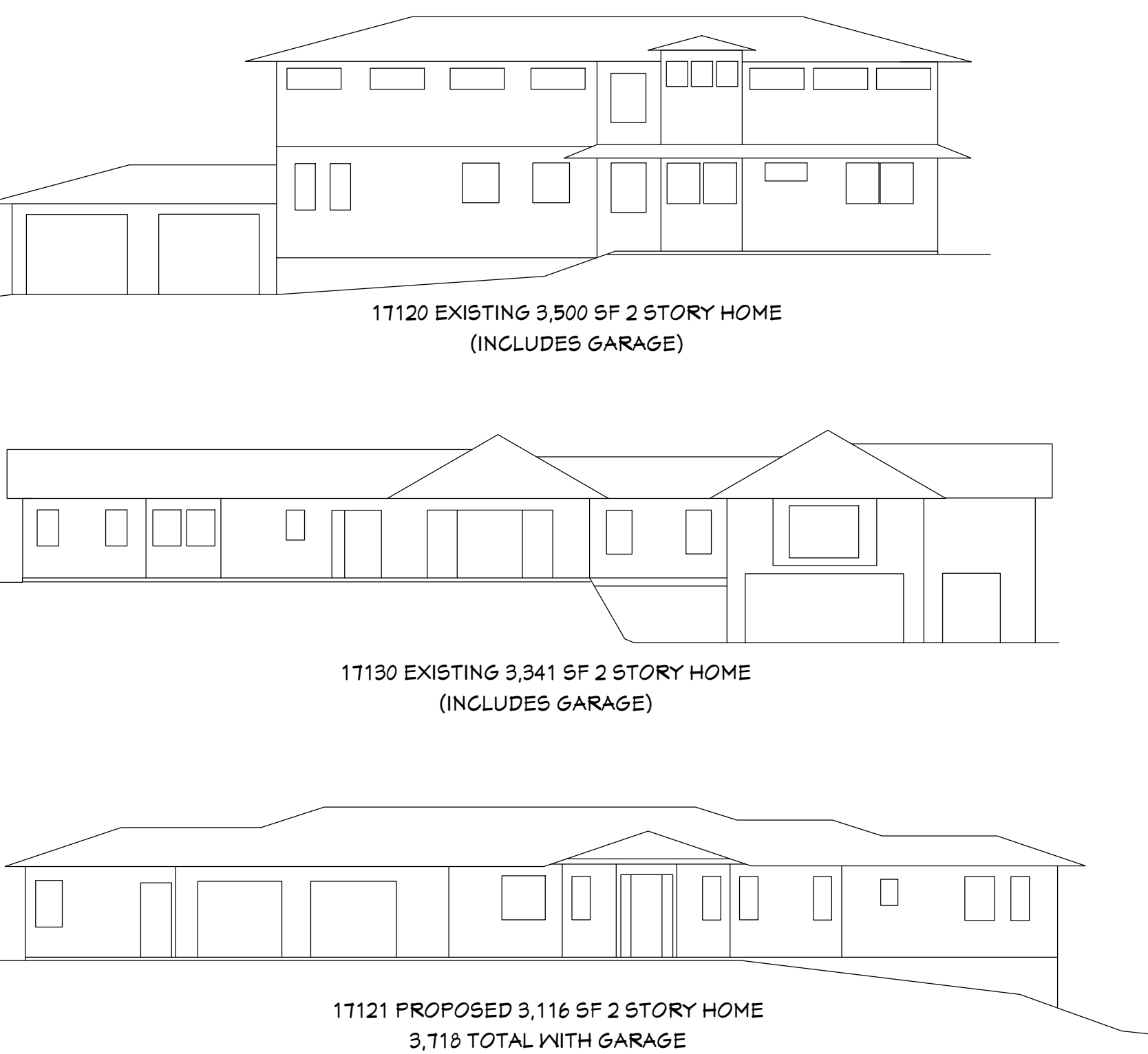
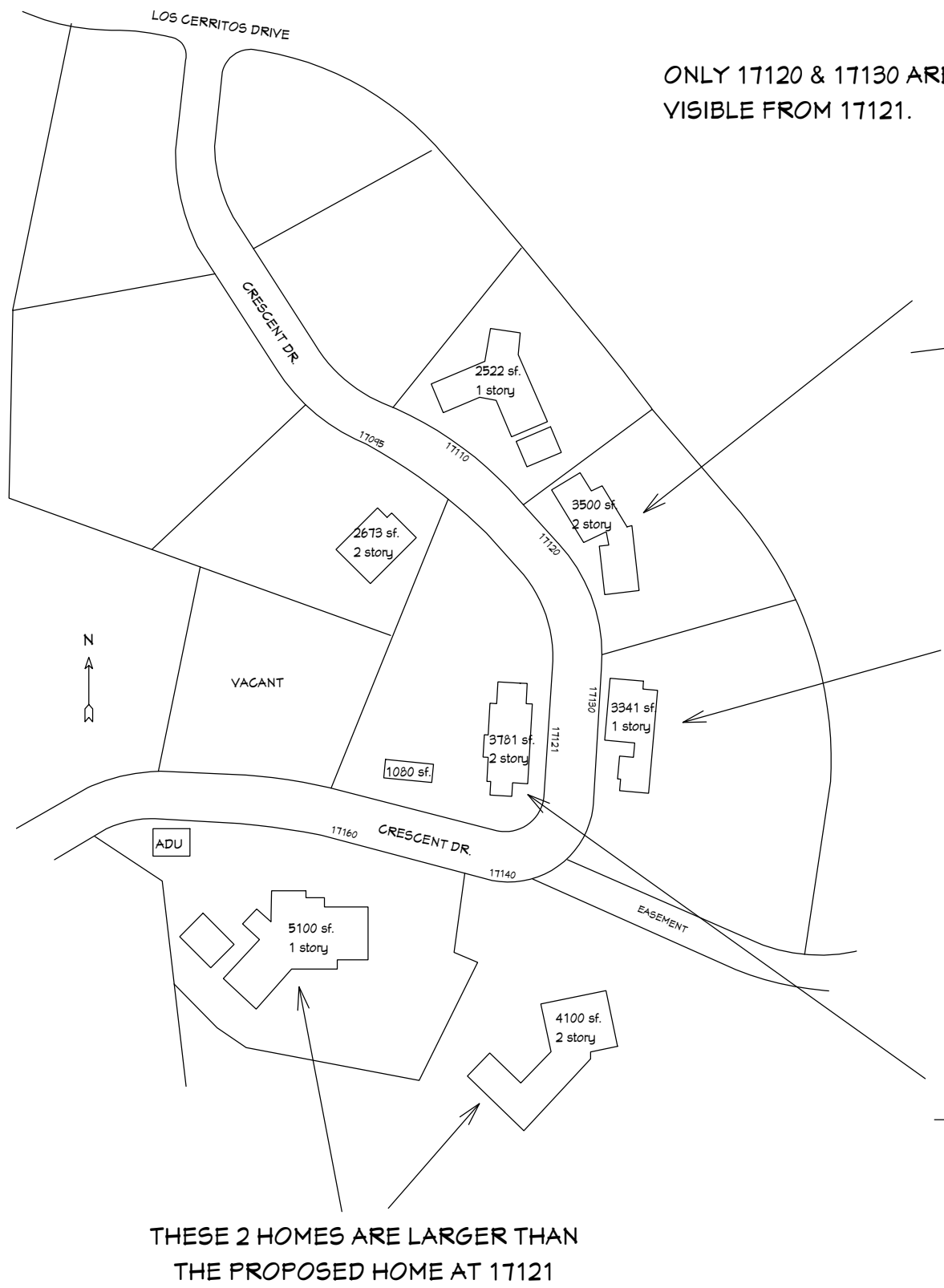




STREET SCAPE

NOTES:

THIS HOME SHALL BE CONSTRUCTED UNDER THE 2019 CALIFORNIA BUILDING STANDARDS CODE, CALIFORNIA CODE OF REGULATIONS, TITLE 24, PARTS 1-12, INCLUDING LOCALLY ADOPTED ENERGY REACH CODES.

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY.

THIS RESIDENCE WILL COMPLY WITH THE TOWN'S ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.

EXTERIOR COLORS AND LRV VALUES:

1ST FLOOR SIDING IS TO BE SMOOTH SAND FINISH STUCCO COLOR TO BE BENJAMIN MOORE GREYSTONE	LRV 29.88
2ND FLOOR SIDING IS "BOARD & BATT" FIBROUS CONCRETE "HARDIE" PANEL WITH FIBROUS CONCRETE BATTS. COLOR TO BE BENJAMIN MOORE EAGLE ROCK	LRV 23.45
ENTRY & STAIRWELL HORIZONTAL SIDING ACCENTS ARE TO BE FIBROUS CONCRETE "HARDIE" 8" T&G LAP SIDING. COLOR TO BE BENJAMIN MOORE INTRIGUE	LRV 23.38
WINDOWS & DOORS ARE TO BE ALUMINUM METAL CLAD WOOD COLOR TO BE BENJAMIN MOORE DEEP RIVER	LRV 5.77
WINDOW & DOOR TRIM IS TO BE FIBROUS CONCRETE "HARDIE" DIMENSIONAL TRIM BOARDS. COLOR TO BE BENJAMIN MOORE SWISS COFFEE	LRV 83.93
AVERAGE TOTAL	LRV 26.5

ROOF COLOR AND LRV VALUE:

ALL ROOFS SECTIONS ARE TO BE 16" STANDING SEAM METAL ROOF COLOR TO BE IRON GATE PER MANUFACTURE	LRV 22.1
--	----------

PROJECT DESCRIPTION

REMOVE EXISTING DRIVE THROUGH DRIVE WAY, CHAINLIKE FENCING, EXISTING IRRIGATION, EXISTING DECKING AND LANDSCAPING.

REMODEL EXISTING 1660 SF SINGLE FAMILY RESIDENCE. DEMOLISH 48% OF THIS STRUCTURE AND RE-DESIGNATE IT AS A POOL HOUSE. NEW FINISH POOL HOUSE WILL BE 1080 SF.

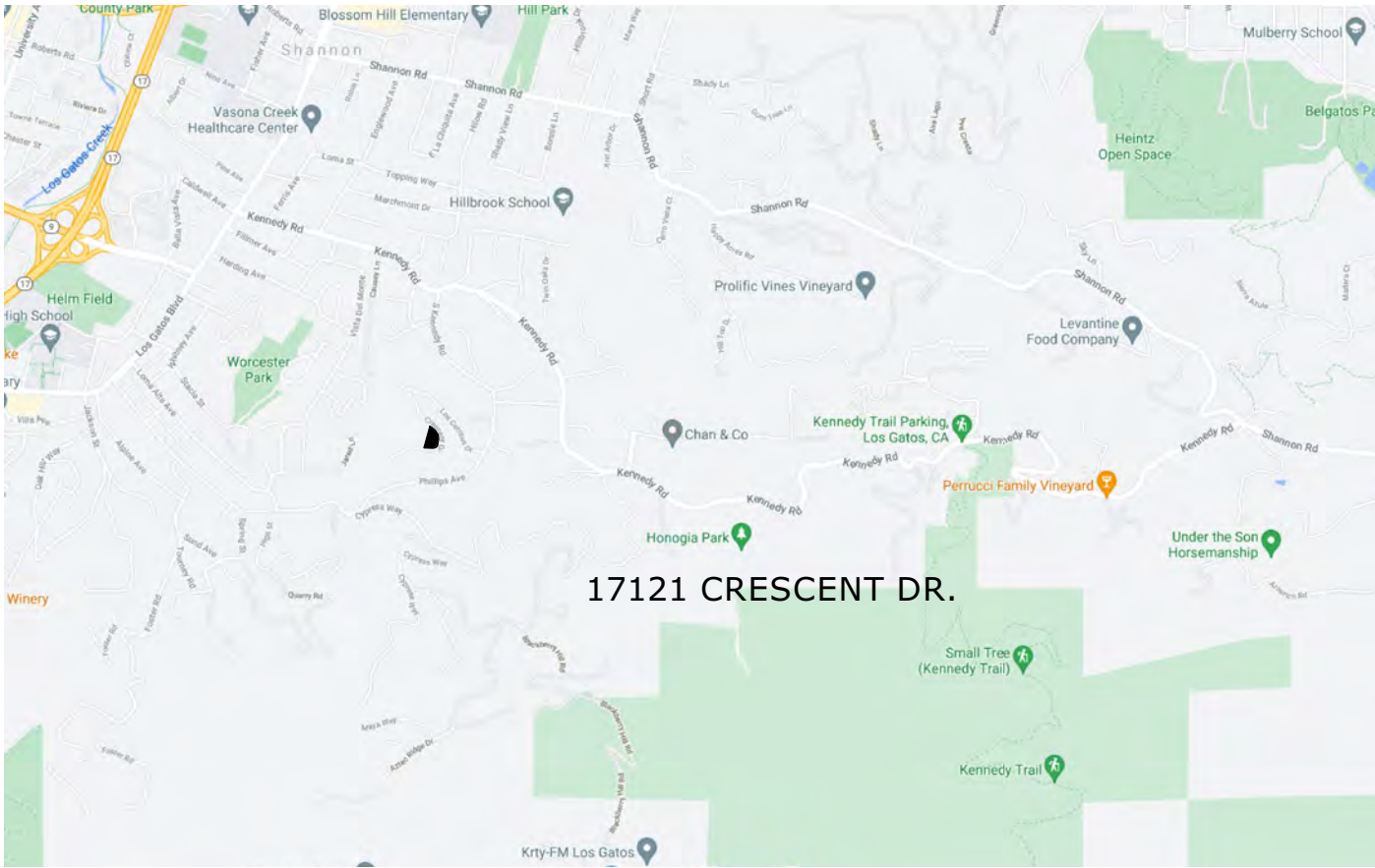
BUILD NEW 3,116 SF. 2 STORY, 4 BEDROOM, 3 FULL BATHS, 2 HALF BATHS SINGE FAMILY RESIDENCE, ATTACHED 498 SF. 2 CAR GARAGE & 408 SF. DECKS, .

BUILD NEW 388 SF. POOL AND POOL PATIO

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7. POOL HOUSE SECTIONS & ROOF PLAN
8. MAIN HOUSE 2ND FLOOR PLAN
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WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030
APN. 522-21-007



MAP

17121 Crescent dr.
APN 532-21-007
ZONING HR-1

LOT SIZE 41,207 SF.
AVERAGE SLOPE 29.1%
NET LOT 16,854 SF.

GROSS FLOOR AREA TOTALS
(PERCENTAGES ARE IN RELATIONSHIP TO NET LOT SIZE 16,854 SF.)

MAX. FLOOR AREA ALLOWED 4400 SF. (26.1%)

EXISTING HOME FLOOR AREA
(TO BE REDESIGNATED AS POOL HOUSE)
EXISTING HOUSE 1,660 SF.
EXISTING GARAGE 400 SF.

TOTAL EXISTING FLOOR AREA COVERAGE 2,060 (12.2%)

EXISTING IMPERVIOUS
HOUSE & GARAGE 2,060 SF.
DRIVENWAY & PATIO 4,370 SF.
TOTAL 6,430 SF.

EXISTING PERMEABLE
DECKS 408 SF.
PATIOS 330 SF.
TOTAL 738 SF.

TOTAL NEW PROPOSED COUNTABLE FLOOR AREA

HOUSE 1ST FLOOR 455 SF.
HOUSE 2ND FLOOR 2,652 SF.
NEW HOUSE TOTAL 3,107 SF.

GARAGE 498 SF.
GARAGE CREDIT 400 SF.
NET GARAGE 98 SF.

POOL HOUSE 1,080 SF.
TOTAL FLOOR AREA 4,285 SF. (25.3%) (4,400 SF. OR 26.1% ALLOWED)

BELOW GRADE SF* 385 SF.
*EXEMPT FROM FLOOR AREA

PROPOSED NEW STRUCTURAL COVERAGE
(PERCENTAGES ARE IN RELATIONSHIP TO LOT SIZE 41,207 SF.)

STRUCTURAL COVERAGE (IMPERVIOUS)
HOUSE (FOOTPRINT) 3,219 SF.
POOL HOUSE 1,080 SF.
POOL 360 SF.
TOTAL 5,024 SF. (12.2%)

PATIO OR OTHER (IMPERVIOUS)
EXISTING PATIO 590 SF.
POOL PATIO 2,200 SF.
ENTRY STOOP 174 SF.
OTHER 990 SF.
TOTAL 4,464 SF. (10.8%)

PERMEABLE SURFACES
DRIVENWAY & PATIO 2,210 SF. (3.1%)

TOTAL HARD SCAPe COVERAGE 6,674 SF. (13.9 %)
33.1% OF THE HARD SCAPe IS PERMEABLE

CONTRIBUTING SPECIALIST

WESTFALL ENGINEERS
14583 Big Basin wy.
Saratoga CA. 95070
408-867-0244

Jennifer Clark Colfer
Landscape Architect
CA License #5784
Michael Arnone + Associates
Landscape Architecture
www.arnonelandscape.com
831.235.1886

WADE DESIGN
17121 Crescent dr.
Los Gatos CA. 95030
408-314-2755

Milestone Geotechnical
17020 melody ln.
Los Gatos CA. 95033
408-353-5528

ABBREVIATIONS

SF. - SQUARE FEET
FL. - FLOOR
ELV. - ELEVATION
(N) - NEW
(E) - EXISTING
F.F. - FINISH FLOOR
T.P. - TOP PLATE
PT. - PRESSURE TREATED WOOD
CL. - CLOSET
FP. - FIRE PLACE
C.O. - CLEAN OUT
LIN. - LINEAR FEET
TYP. - TYPICAL
LRV - LIGHT REFLECTIVE VALUE
RDW - RED WOOD
DS - DOWN SPOUT



REVISION NO.	DATE
PLANNING REVISION	2/17/2022

COVER PAGE
STREET SCAPe

SHEET TITLE:

WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:

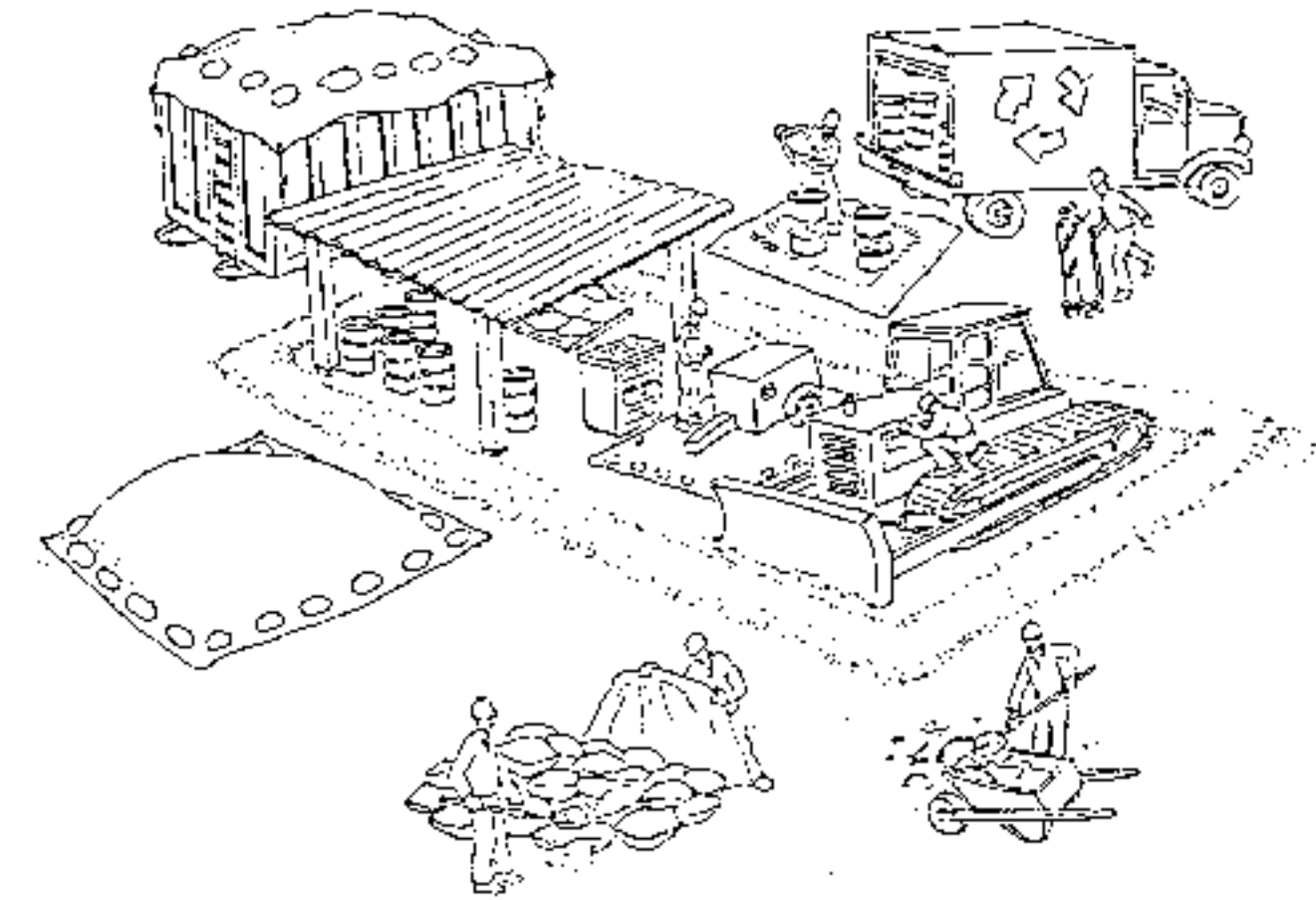
4-22-2022

SCALE:

SHEET:

1

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



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Summary						
Total Available Points in Specific Categories	2021	20	25	30	40	45
Minimum Points Required in Specific Categories	30	1	25	4	4	4
Total Points Achieved	102.5	1.0	26.0	9.0	31.0	12.0

 WADE CONSTRUCTION, Inc. Design • Build • Remodel CA Lic No. 898872	
REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE: GREEN POINT RATING CHECKLIST

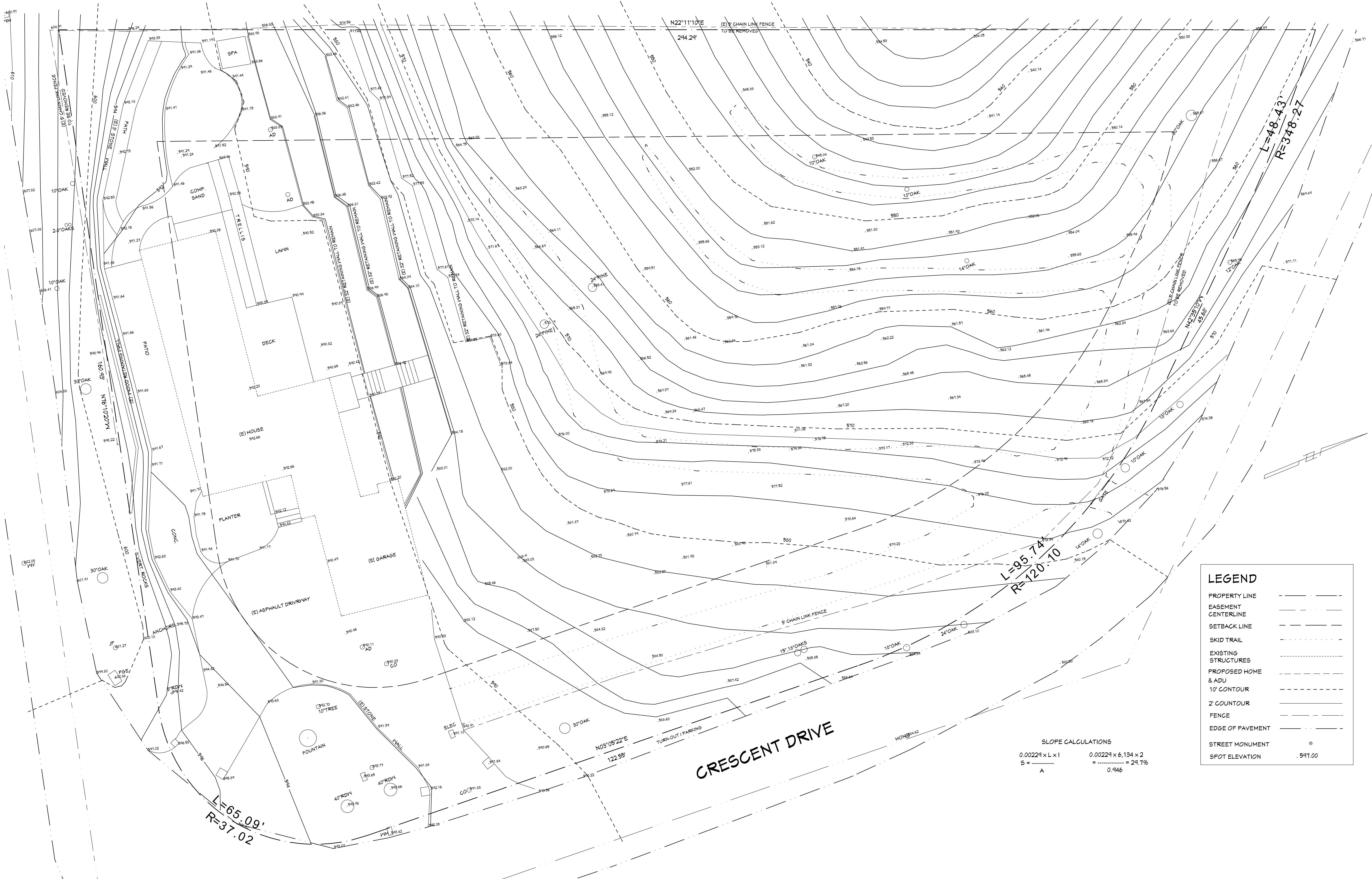
WADE RESIDENCE 17121 CRESCENT DR. LOS GATOS CA. 95030

DRAWINGS PROVIDED BY: WADE CONSTRUCTION 17710 BRUCE AV. MONTE SERENO CA. 95030 408-314-2755
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DATE: 4-22-2022

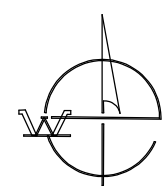
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REVISION	BY	DATE	DATE: APRIL 2021
			SCALE: HOR. 1"= 10'
			VERT.
			DESIGNED:
			DRAWN: HB
			PROJENGR:

BY: HARRY BABICKA, LS 41953
DATE:



WESTFALL ENGINEERS, INC.

14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 667-0244

TOPOGRAPHIC MAP

17121 CRESCENT DRIVE, LOS GATOS, CA

JOB NO.
2021-013
SHEET 1
OF 1

LEGEND

PROPERTY LINE	---
EASEMENT	---
CENTERLINE	---
SETBACK LINE	---
SKID TRAIL	---
EXISTING STRUCTURES	---
PROPOSED HOME & ADU	---
10' CONTOUR	---
2' CONTOUR	---
FENCE	---
EDGE OF PAVEMENT	---
STREET MONUMENT	⊙
SPOT ELEVATION	.5471.00

SLOPE CALCULATIONS

$$\begin{aligned} 0.00224 \times L \times I &= 0.00224 \times 6,134 \times 2 \\ S &= \frac{0.00224 \times 6,134 \times 2}{A} = \frac{27.7}{29.7} = 29.7\% \end{aligned}$$

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:

TOPO

WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:

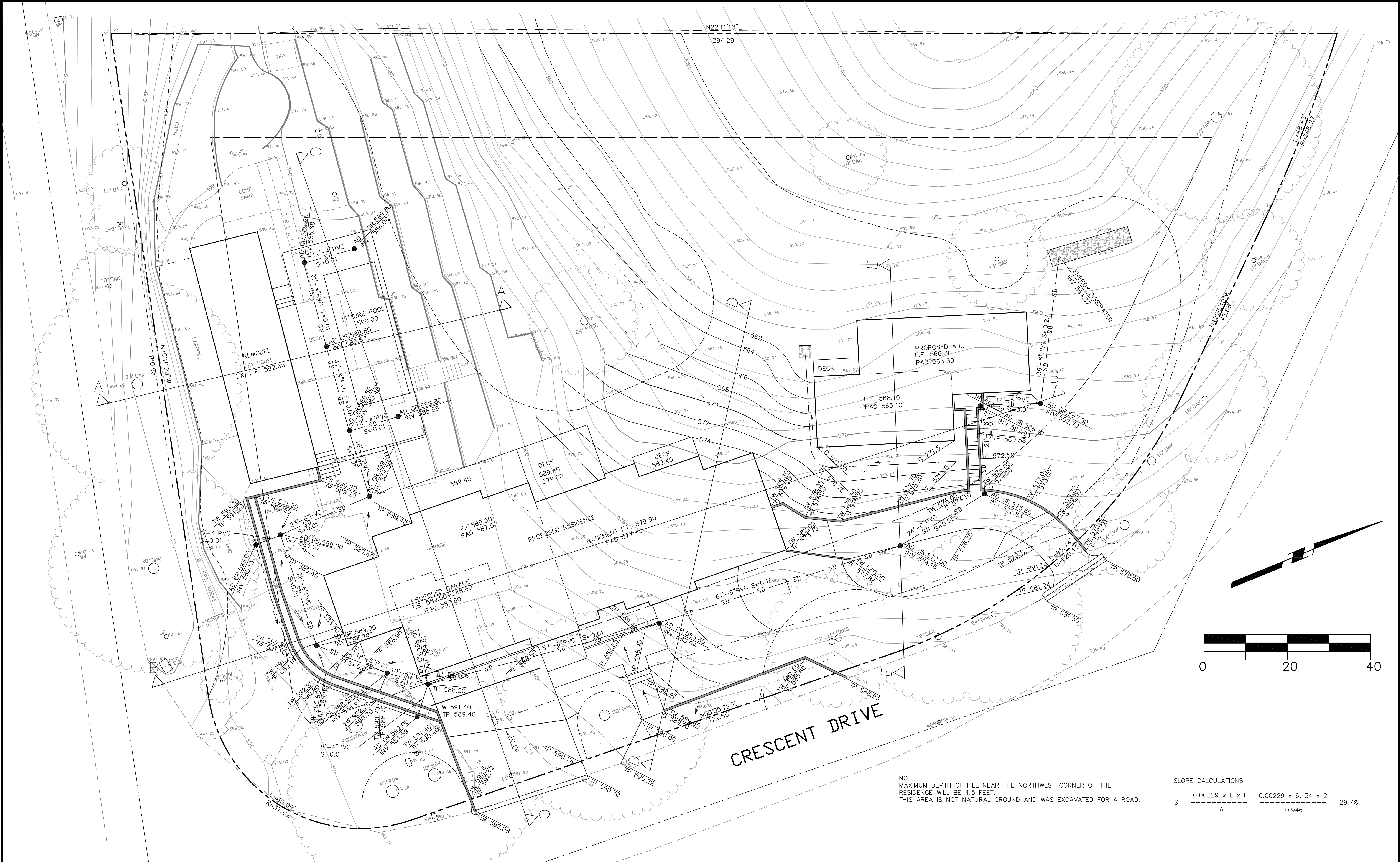
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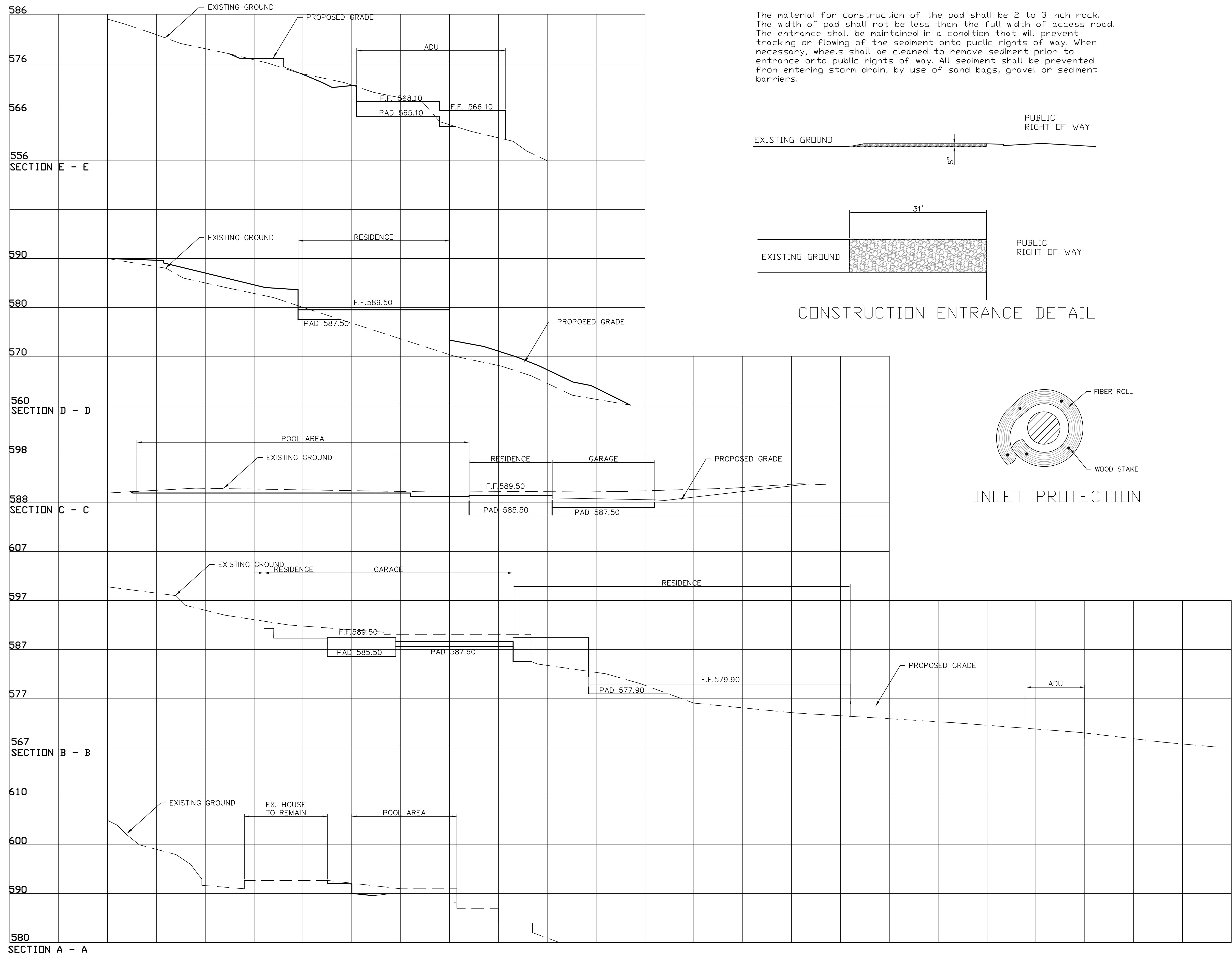
1" = 10'

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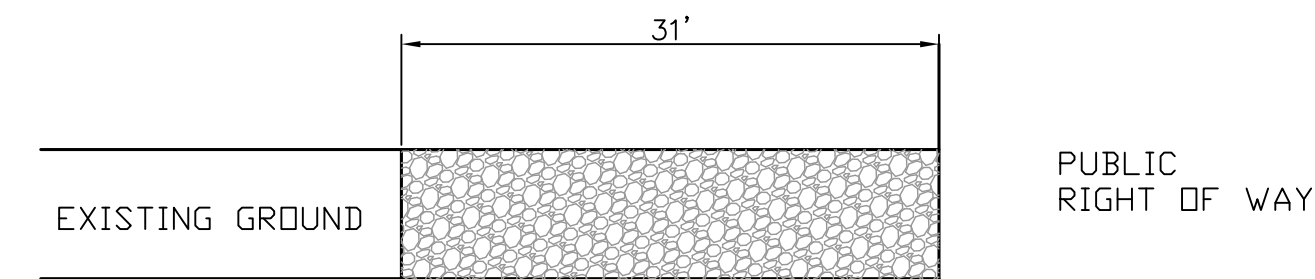
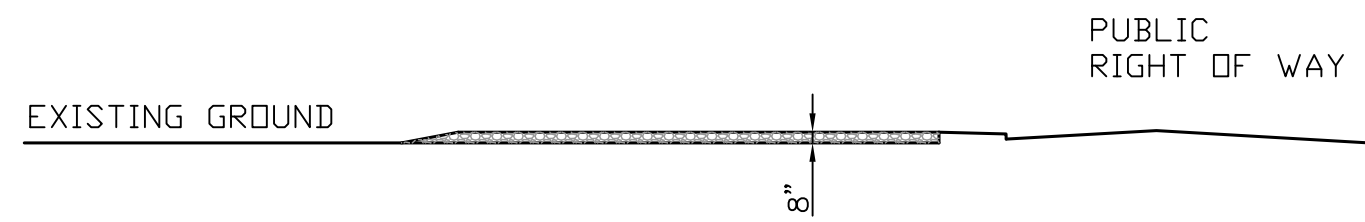
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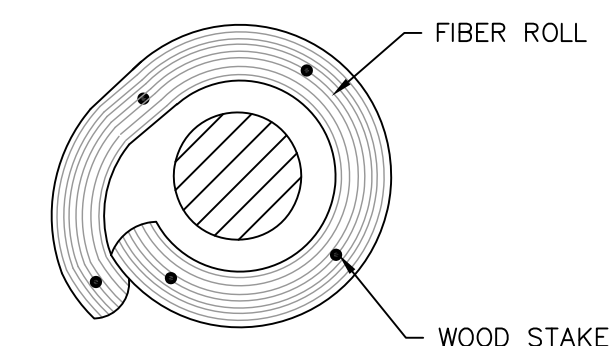
NO.	BY	DATE	REVISION	BY	DATE	DATE: APRIL 2022		WESTFALL ENGINEERS, INC. 14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244	GRADING AND DRAINAGE PLAN 17121 CRESCENT DRIVE, LOS GATOS, CA	JOB NO.
						SCALE: HDR, 1"= 10' VERT.				2021-013
						DESIGNED:				SHEET 2
						DRAWN: HB				OF 5
						PROJ. ENGR:				
BY: KAREL CYMBAL, RCE 3453										
DATE:										



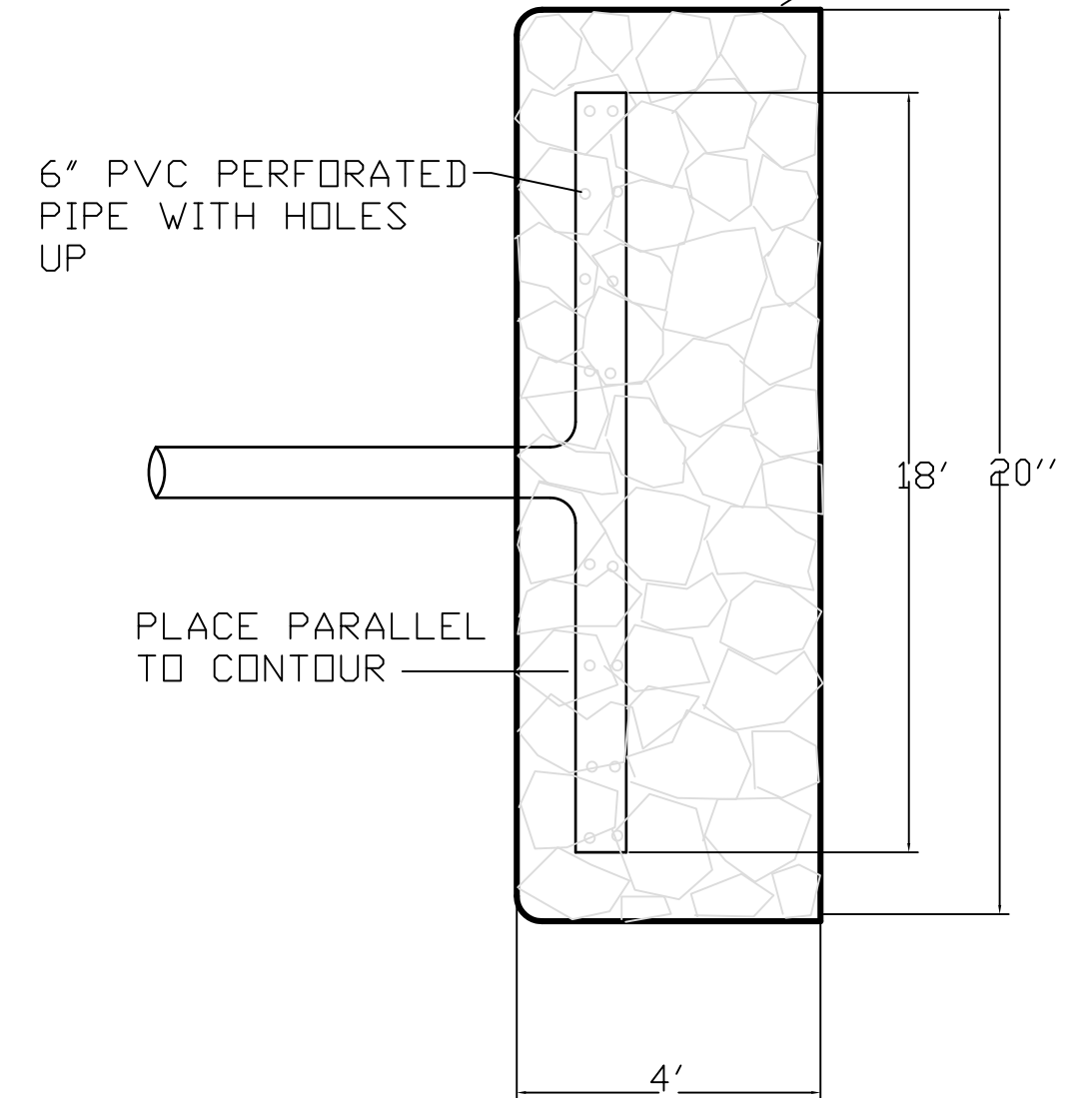
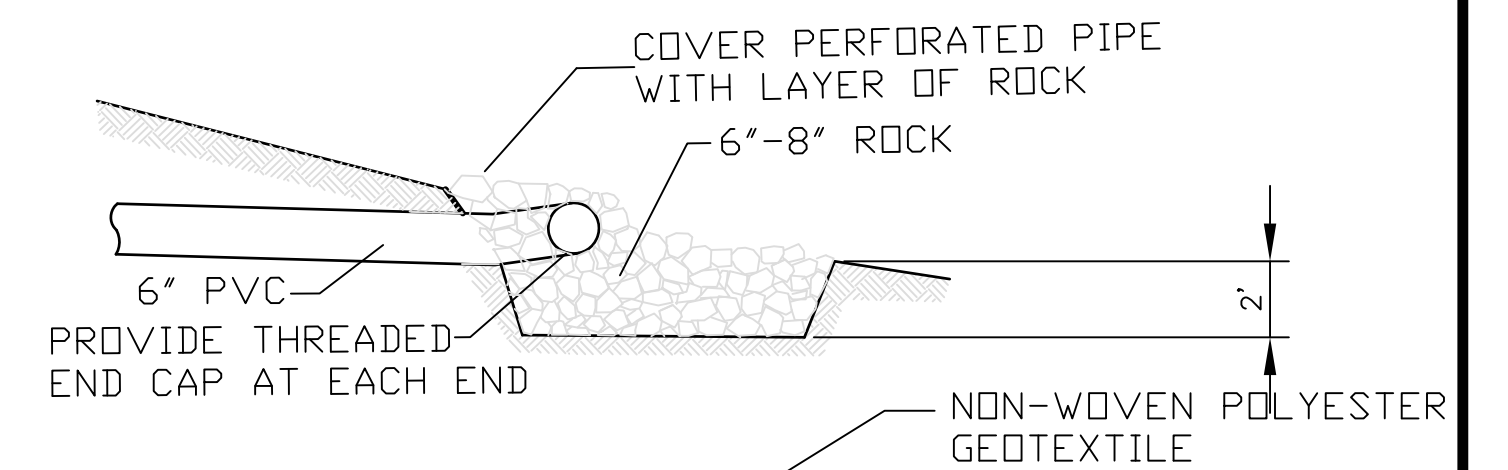
The material for construction of the pad shall be 2 to 3 inch rock. The width of pad shall not be less than the full width of access road. The entrance shall be maintained in a condition that will prevent tracking or flowing of the sediment onto public rights of way. When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights of way. All sediment shall be prevented from entering storm drain, by use of sand bags, gravel or sediment barriers.



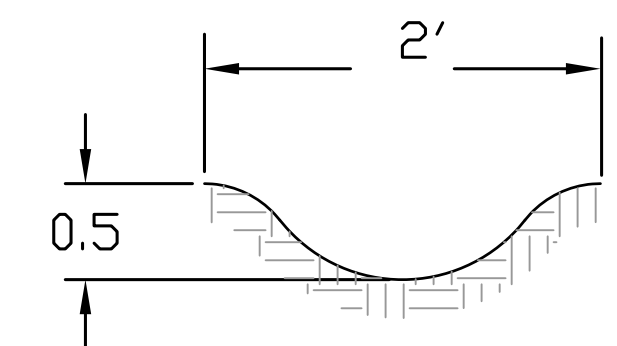
CONSTRUCTION ENTRANCE DETAIL



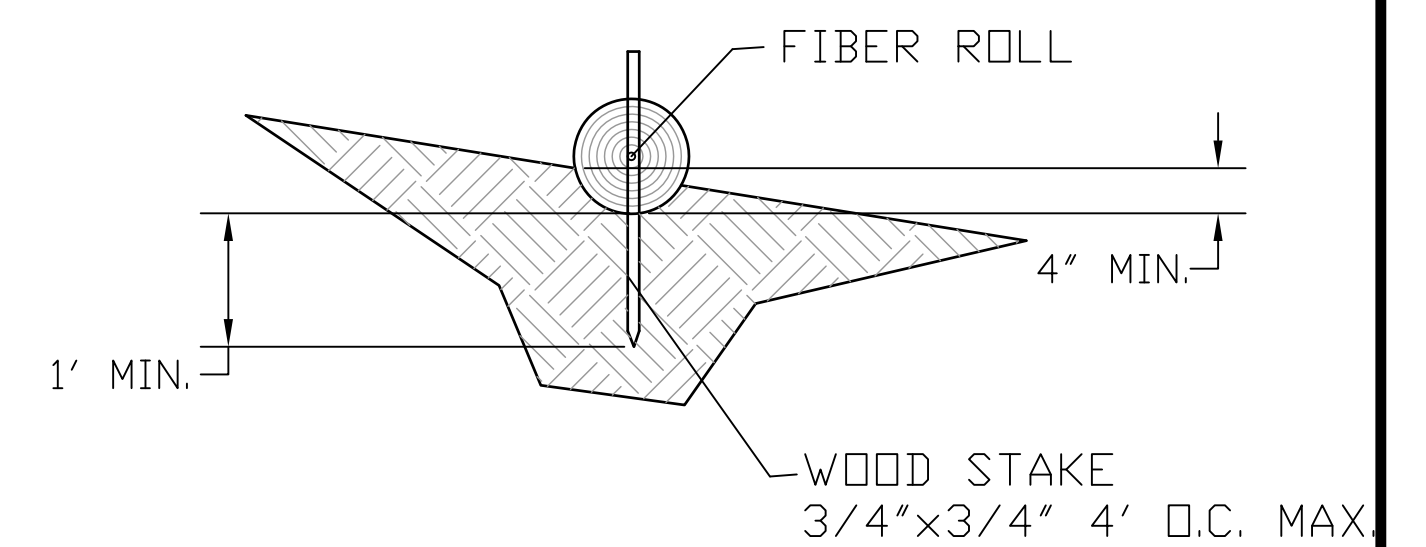
INLET PROTECTION



ENERGY DISSIPATOR



SWALE



ENTRENCHMENT DETAIL FOR FIBER ROLLS

NO.	BY	DATE	REVISION	BY	DATE	DATE: APRIL 2022
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						VERT. 1"=10'
						DESIGNED:
						DRAWN: HB
						PRD. ENGR:

BY: KAREL CYMBAL, RCE 34534
DATE:



WESTFALL ENGINEERS, INC.

14583 BIG BASIN WAY, SARATOGA, CA 95070 (408)867-0244

SECTIONS AND DETAILS

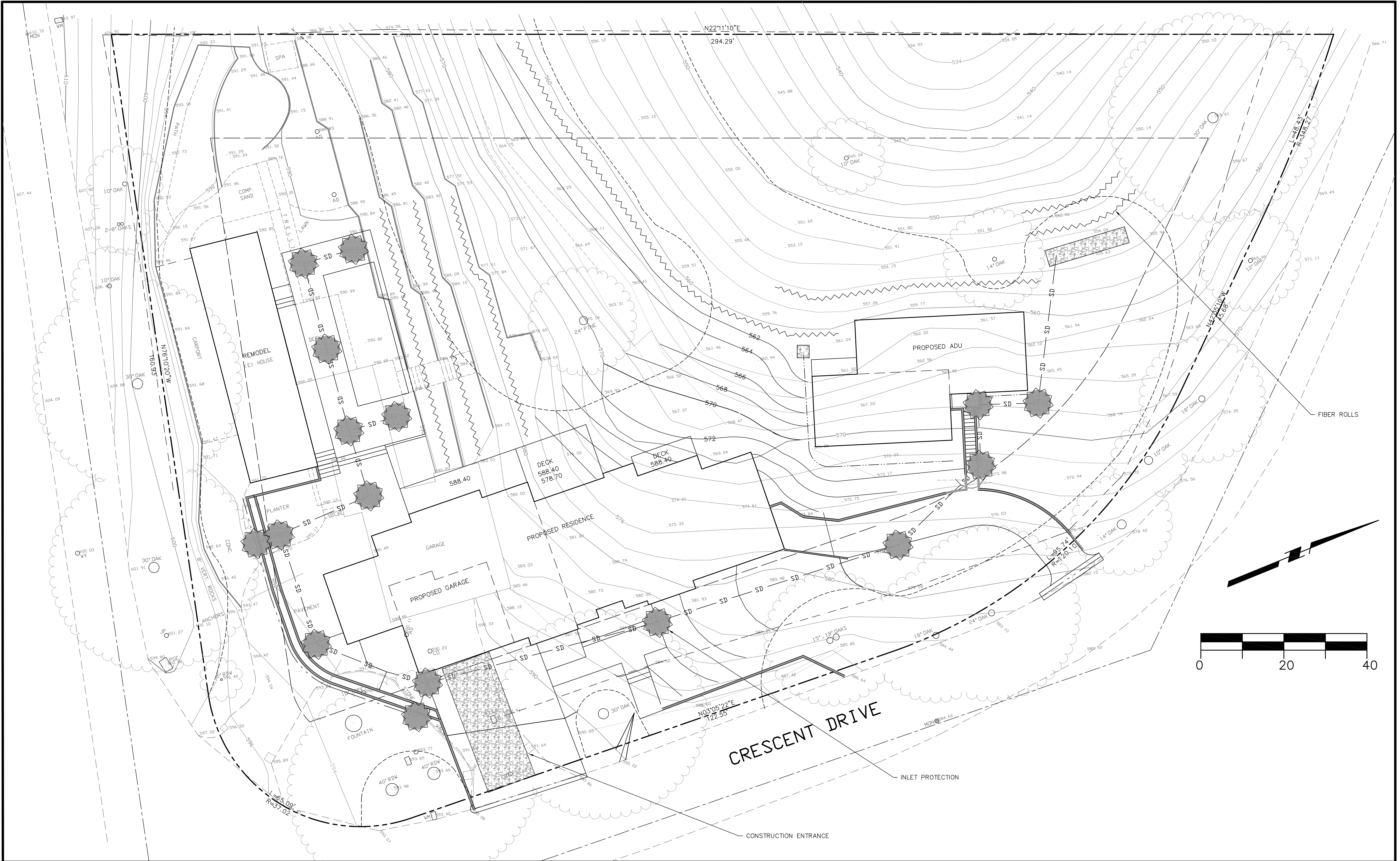
17121 CRESCENT DRIVE, LOS GATOS, CA

JOB NO.

2021-013

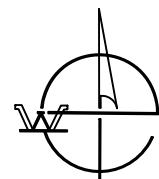
SHEET 3

OF 5



NO.	BY	DATE	REVISION	BY	DATE	DATE: APRIL 2022
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						VERT.
						DESIGNED:
						DRAWN: HB
						PROJ. ENGR:

BY: KAREL CYMBAL, RCE 3453
DATE:



WESTFALL ENGINEERS, INC.
14583 BIG BASIN WAY, SARATOGA, CA 95070 (408) 867-0244

EROSION CONTROL PLAN
17121 CRESCENT DRIVE, LOS GATOS, CA

JOB NO.	2021-013
SHEET	4
OF	5

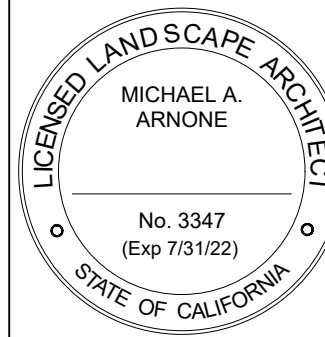
WADE RESIDENCE
17141 CRESCENT DR
LOS GATOS, CA 95030

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OWNER SHALL ASSUME RESPONSIBILITY FOR COMPLIANCE WITH ALL EASEMENTS, SETBACK REQUIREMENTS AND PROPERTY LINES. OWNER SHALL ACQUIRE ALL NECESSARY PERMITS REQUIRED TO PERFORM WORK SHOWN ON PLANS. BASE INFORMATION HAS BEEN PROVIDED BY THE OWNER. MICHAEL ARNONE LANDSCAPE ARCHITECTURE ASSUMES NO LIABILITY FOR THE ACCURACY OF SAID PROPERTY LINE BOUNDARIES, FENCE LINES OR PROPERTY CORNERS.

REVISIONS



TREE PROTECTION PLAN

JOB NO. 202202

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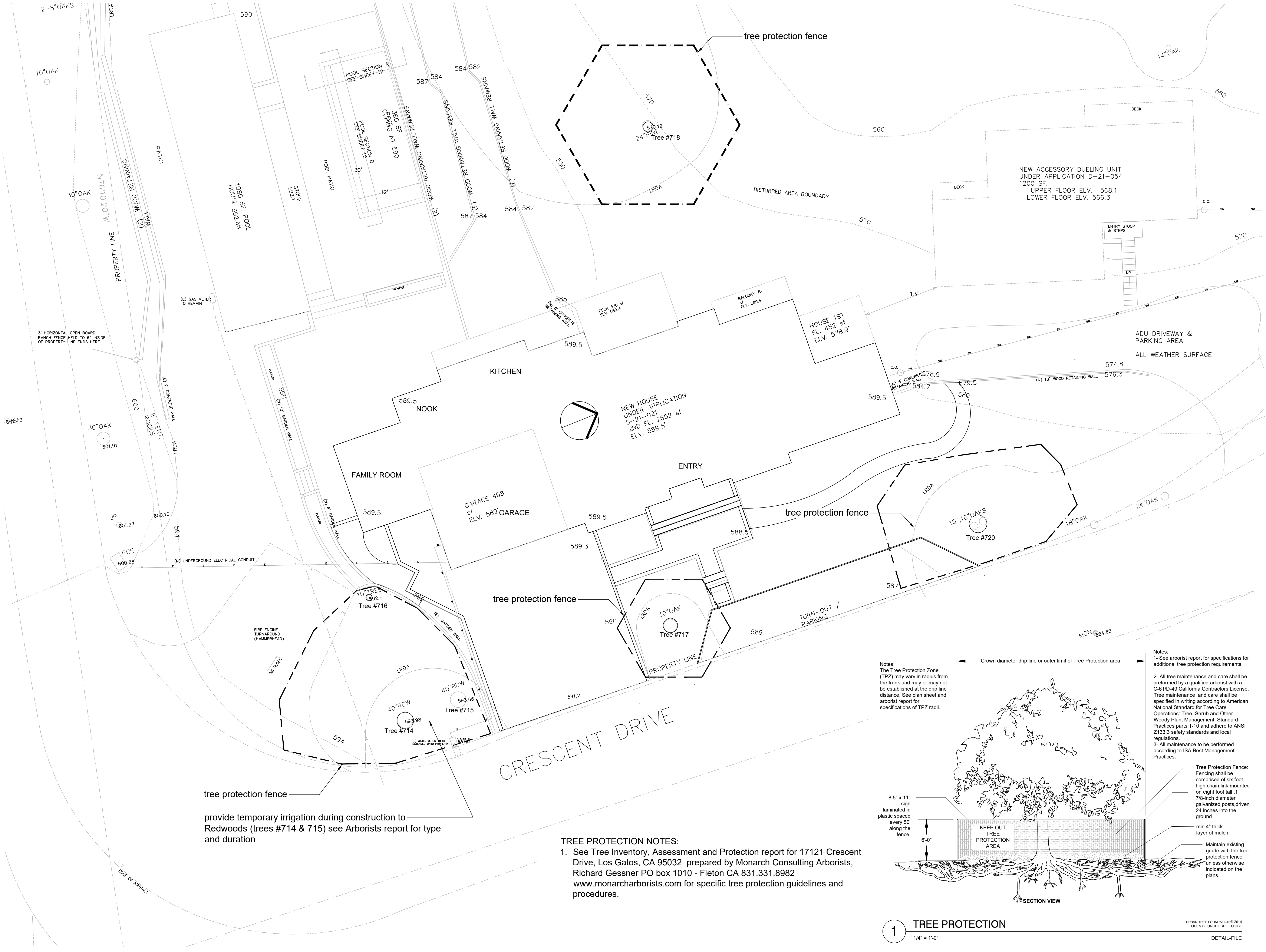
DRAWN MA

CHECK JC/MA

SHEET

T-1.0

SHEET 1 OF 6



TREE PROTECTION NOTES:

1. See Tree Inventory, Assessment and Protection report for 17121 Crescent Drive, Los Gatos, CA 95032 prepared by Monarch Consulting Arborists, Richard Gessner PO box 1010 - Fleton CA 831.331.8982 www.monarcharborists.com for specific tree protection guidelines and procedures.

Notes:
The Tree Protection Zone (TPZ) may vary in radius from the trunk and may or may not be established at the drip line distance. See plan sheet and arborist report for specifications of TPZ radii.

Notes:

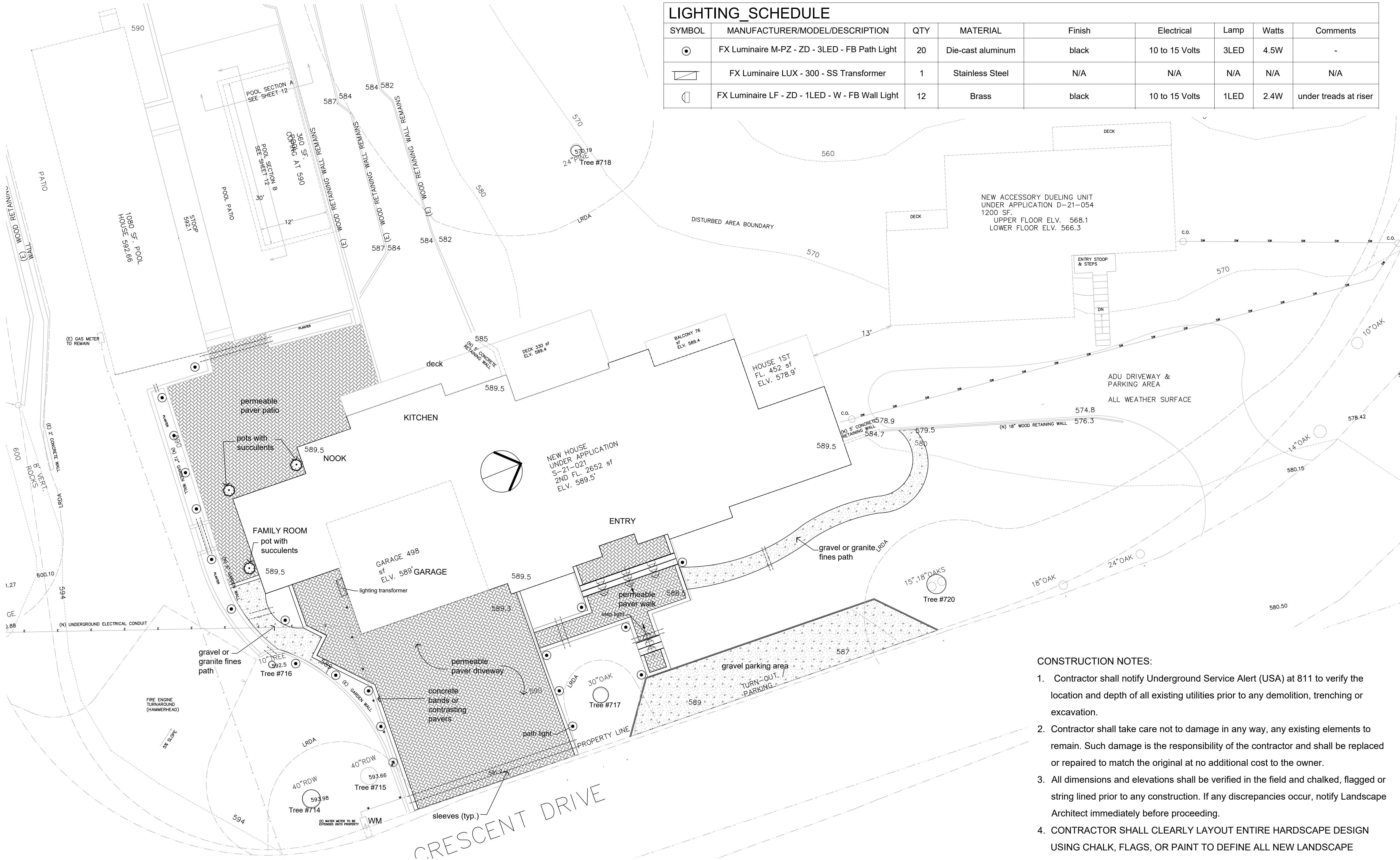
- 1- See arborist report for specifications for additional tree protection requirements.
- 2- All tree maintenance and care shall be performed by a qualified arborist with a C-61/D-49 California Contractors License. Tree maintenance and care shall be specified in writing according to American National Standard for Tree Care Operations: Tree, Shrub and Other Woody Plant Management: Standard Practices parts 1-10 and adhere to ANSI Z133.3 safety standards and local regulations.
- 3- All maintenance to be performed according to ISA Best Management Practices.

- Tree Protection Fence
Fencing shall be comprised of six foot high chain link mounted on eight foot tall, 1 7/8-inch diameter galvanized posts, driven 24 inches into the ground
- min 4" thick layer of mulch.

Maintain existing grade with the tree protection fence unless otherwise indicated on the plans.

URBAN TREE FOUNDATION © 2011
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DETAIL-FILE



LIGHTING_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	MATERIAL	Finish	Electrical	Lamp	Watts	Comments
	FX Luminaire M-PZ - ZD - 3LED - FB Path Light	20	Die-cast aluminum	black	10 to 15 Volts	3LED	4.5W	-
	FX Luminaire LUX - 300 - SS Transformer	1	Stainless Steel	N/A	N/A	N/A	N/A	N/A
	FX Luminaire LF - ZD - 1LED - W - FB Wall Light	12	Brass	black	10 to 15 Volts	1LED	2.4W	under treads at riser

CONSTRUCTION NOTES:

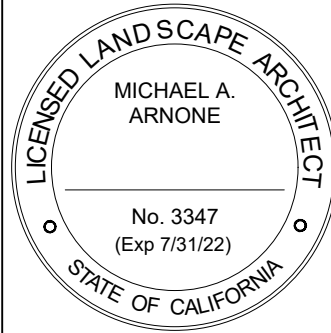
- Contractor shall notify Underground Service Alert (USA) at 811 to verify the location and depth of all existing utilities prior to any demolition, trenching or excavation.
- Contractor shall take care not to damage in any way, any existing elements to remain. Such damage is the responsibility of the contractor and shall be replaced or repaired to match the original at no additional cost to the owner.
- All dimensions and elevations shall be verified in the field and chalked, flagged or string lined prior to any construction. If any discrepancies occur, notify Landscape Architect immediately before proceeding.
- CONTRACTOR SHALL CLEARLY LAYOUT ENTIRE HARDSCAPE DESIGN USING CHALK, FLAGS, OR PAINT TO DEFINE ALL NEW LANDSCAPE ELEMENTS. CONTRACTOR SHALL RECEIVE APPROVAL FROM OWNER PRIOR TO START OF INSTALLATION OF LANDSCAPE ELEMENTS SHOWN ON PLANS.
- Contractor shall place 3" diameter sleeves (chases) under all paving crossings as shown on plan to be used for drip irrigation lines, irrigation laterals or low voltage lighting cable.
- The pavers shall be permeable, Belgard "Aqualine" in Victorian color or similar permeable paver.
- Gravel paths and parking area to be edged with metal or trex landscape edging. Gravel to be 3/8" California gold or tan path fines.

WADE RESIDENCE
17141 CRESCENT DR
LOS GATOS, CA 95030

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REVISIONS



HARDSCAPE PLAN

JOB NO. 202202
SCALE 1/8" = 1' - 0"
DRAWN MA
CHECK JC/MA
DATE 4.21.2022

SHEET

L-1.O

SHEET 2 OF 6

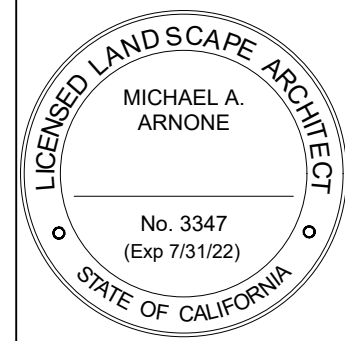
WADE RESIDENCE
17141 CRESCENT DR
LOS GATOS, CA 95030

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PLANTING PLAN

JOB NO. 202202

SCALE 1/8" = 1' - 0"

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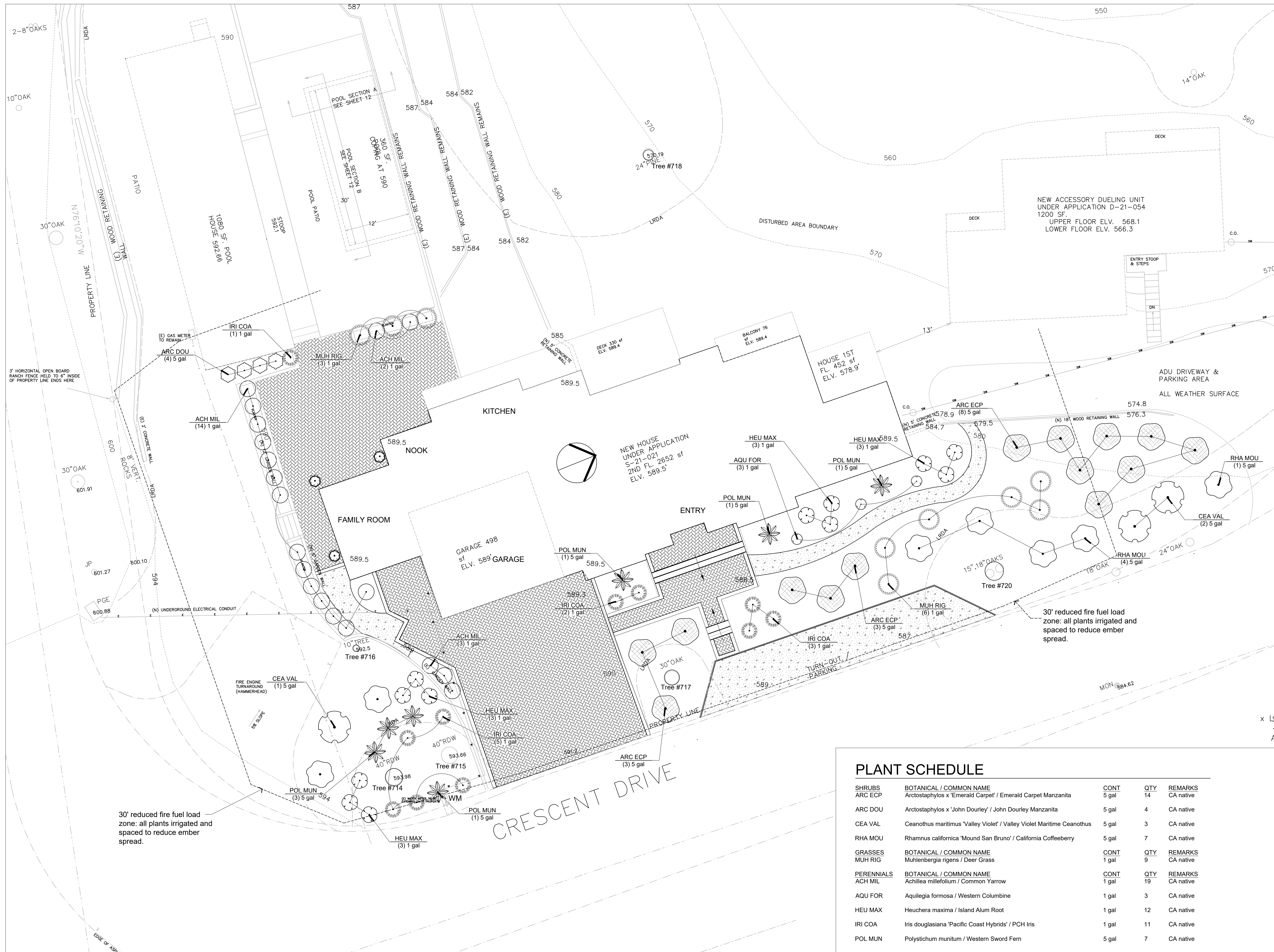
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SHEET

L- 2.0

SHEET 3 OF 6



PLANT SCHEDULE

SHRUBS	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
ARC ECP	Arctostaphylos x 'Emerald Carpet' / Emerald Carpet Manzanita	5 gal	14	CA native
ARC DOU	Arctostaphylos x 'John Dourley' / John Dourley Manzanita	5 gal	4	CA native
CEA VAL	Ceanothus maritimus 'Valley Violet' / Valley Violet Maritime Ceanothus	5 gal	3	CA native
RHA MOU	Rhamnus californica 'Mound San Bruno' / California Coffeeberry	5 gal	7	CA native
GRASSES	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
MUH RIG	Muhlenbergia rigens / Deer Grass	1 gal	9	CA native
PERENNIALS	BOTANICAL / COMMON NAME	CONT	QTY	REMARKS
ACH MIL	Achillea millefolium / Common Yarrow	1 gal	19	CA native
AQU FOR	Aquilegia formosa / Western Columbine	1 gal	3	CA native
HEU MAX	Heuchera maxima / Island Alum Root	1 gal	12	CA native
IRI COA	Iris douglasiana 'Pacific Coast Hybrids' / PCH Iris	1 gal	11	CA native
POL MUN	Polystichum munitum / Western Sword Fern	5 gal	7	CA native

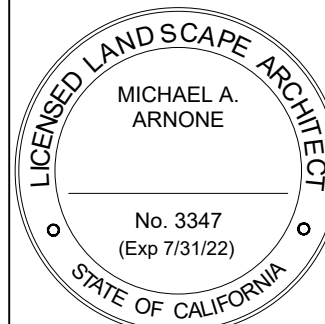
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REVISIONS



PLANTING
NOTES AND DETAILS

JOB NO. 202202

SCALE AS NOTED

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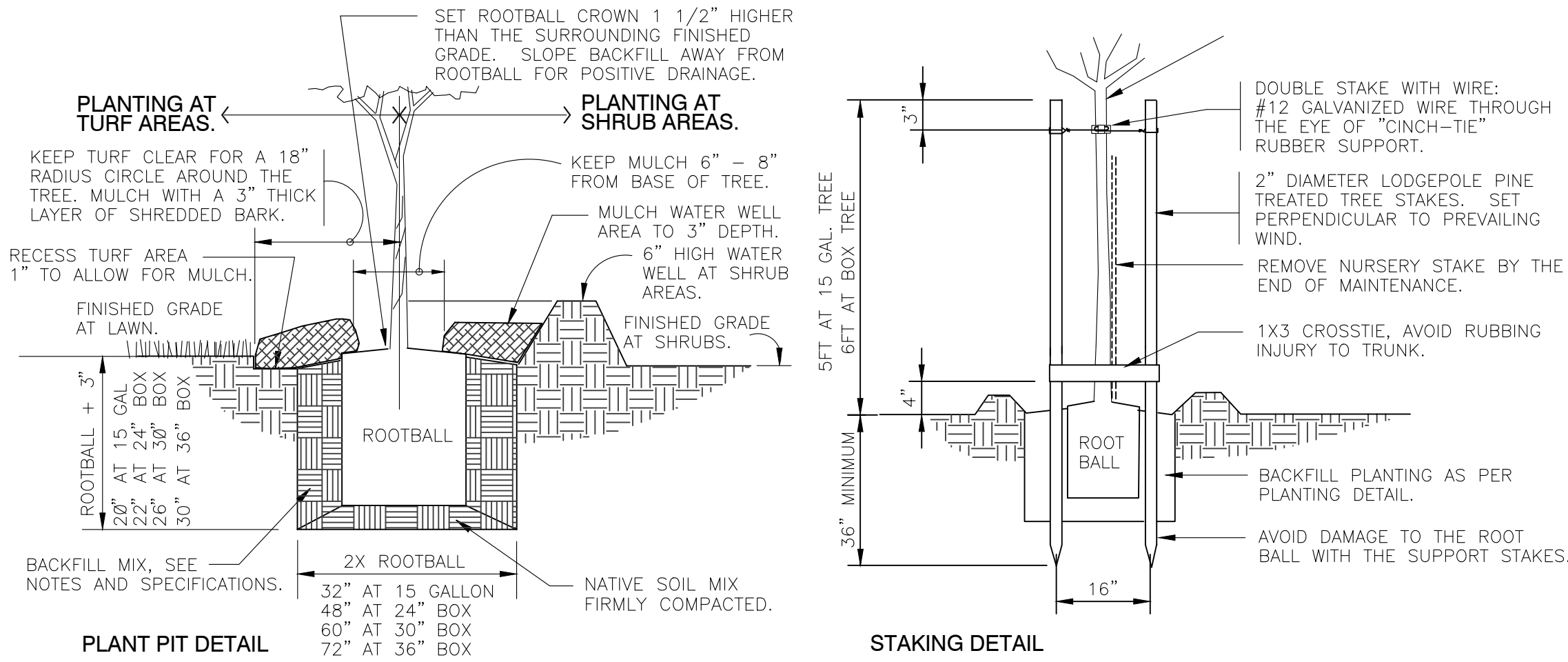
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DATE 4.21.2022

SHEET

L- 2.1

SHEET 4 OF 6



1 TREE DOUBLE STAKE PLANTING

1" 1'-0"

FX-PL-FX-TREE-11

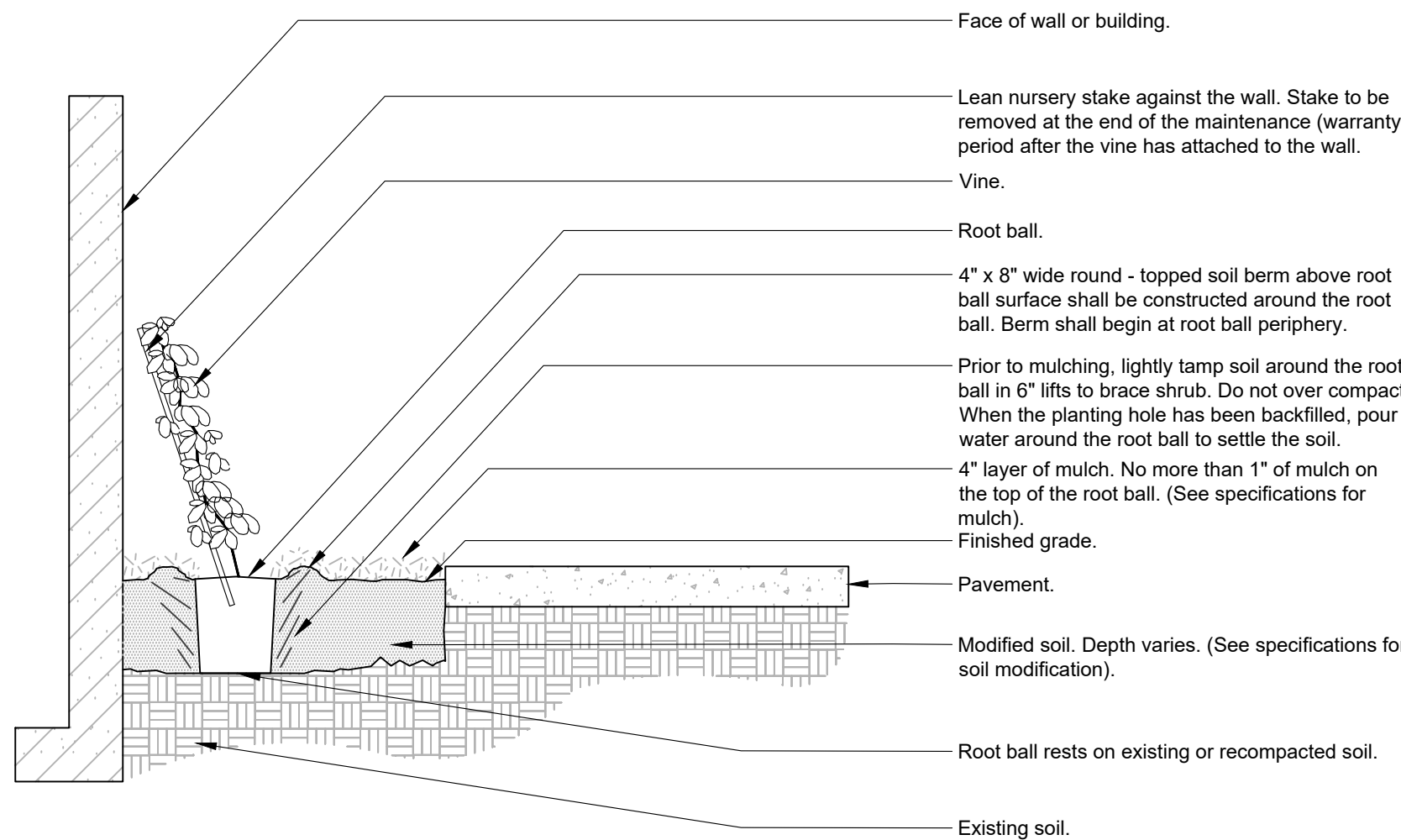
2 SHRUB - MODIFIED SOIL

3/4" 1'-0"

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FX-PL-FX-SHRB-03

- Notes:
1- Shrubs shall be of quality prescribed in the root observations detail and specifications.
2- See specifications for further requirements related to this detail.

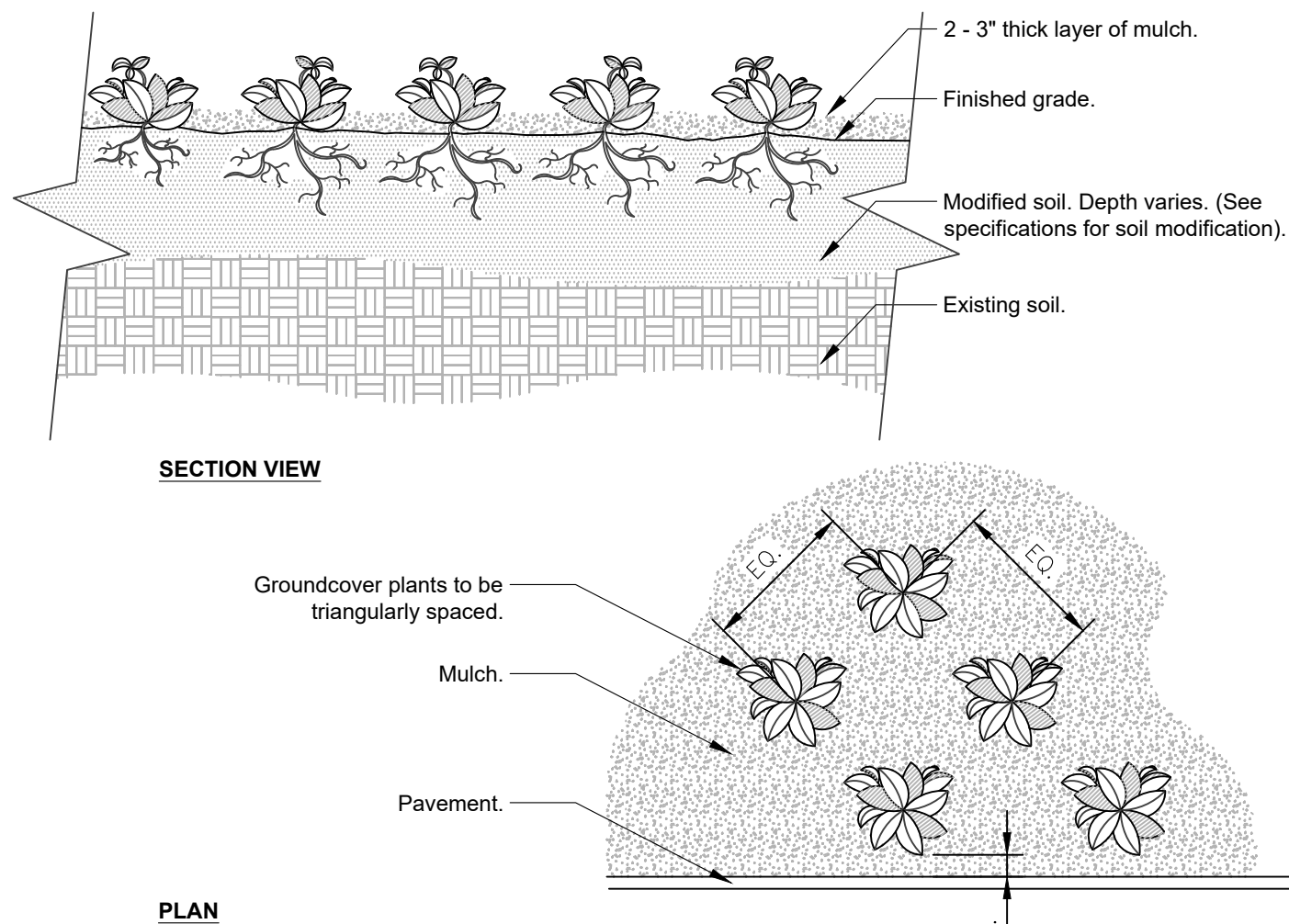


- Notes:
1- Vines shall be of quality as prescribed in the root observations detail and specifications.
2- See specifications for further requirements related to this detail.

3 VINE - MODIFIED SOIL

1/2" 1'-0"

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FX-PL-FX-SHRB-06



- Notes:
1- See planting legend for groundcover species, size, and spacing dimension.
2- Small roots (1/4" or less) that grow around, up, or down the root ball periphery are considered a normal condition in container production and are acceptable however they should be eliminated at the time of planting. Roots on the periphery can be removed at the time of planting. (See root ball shaving container detail).
3- Settle soil around root ball of each groundcover prior to mulching.

4 GROUNDCOVER

3/4" 1'-0"

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FX-PL-FX-GROU-01



PERRY LABORATORY
HORTICULTURAL ADVISING AND TESTING

Michael Arnone
3370 Samuel Place
Santa Cruz, CA 95062

424 AIRPORT BOULEVARD
WATSONVILLE, CA 95076
Telephone 831/722-7606
Fax 831/722-5053

January 20, 2022

Soil Analyses

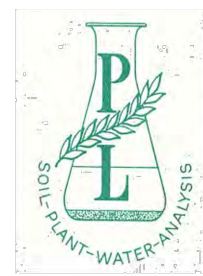
Chemical analyses on samples received:

January 17, 2022

Sample Identification	pH saturated paste	Electrical Conductivity dS/m	Nitrate Nitrogen (N)	Ammonium Nitrogen (N)	Phosphorus (P)	Potassium (K)	Calcium (Ca)	Magnesium (Mg)	Sulfur (S)	Boron (B)	Zinc (Zn)	Copper (Cu)	Manganese (Mn)	Iron (Fe)	Barium (Ba)	Calcium Chloride Solubility (mg/kg)	Sodium (Na)	SAR	ESP	Carbon Exchange Capacity
RESULTS REPORTED IN PARTS PER MILLION OF DRY SOIL																				
General Guidelines: South African, Australian & California Native Plants	4.5- 5.5	1.0- 3.0	15- 35	15- 30	5- 10	150- 300	2000- 4000	300- 500	25- 100	0.5- 1.0	2.5- 5.0	1.0- 5.0	10- 25	50- 100		>6.0	<3.0	<3.0	<8.0	<9.0
Wade, Los Gatos	5.3	0.5	16	5	10	246	2203	590	14	0.2	10.7	1.1	15.1	134	74	3.6	0.8	0.9	0.6	30

Optimum Values	Organic Matter (% by Weight)	Lime Content % Ca CO3	Mechanical Analyses, % by weight, USDA Classifications				Texture	Infiltration Rate inches / hour
	>5.0	<3.0	Sand	Silt	Clay			
	8.8	1.9	53	19	28		sandy clay loam	0.15

S E R V I N G A G R I C U L T U R E S I N C E 1 9 3 8



PERRY LABORATORY
HORTICULTURAL ADVISING AND TESTING

Michael Arnone
Wade, Los Gatos
01/20/22
Page 2

The pH value of this soil is moderately acid in reaction and is in a satisfactory range. The low electrical conductivity reading shows the levels of soluble salt are low.

The soil fertility analysis shows the nitrogen and phosphorus levels are at a minimum. The potassium, calcium, magnesium, boron, zinc, copper, manganese and iron levels are in good ranges. The sulfate concentration is slightly low.

The sodium and chloride levels are low and will not cause toxicity problems. The low SAR and ESP value shows the sodium that is present will not cause a hazard to the soil structure. The cation exchange capacity of this soil indicates it has satisfactory nutrient holding properties.

The organic matter content is satisfactory at this time. The free lime content in this soil is safely low. The mechanical analysis indicates this is a sandy clay loam textured soil. A sandy clay loam soil generally has an infiltration rate of 0.15 inches per hour, however, the high organic matter should make it satisfactory.

Preplanting will require the following per 1000 sq ft of bed area:

Gypsum	25.0 lbs
Tiger 90 Soil Sulfur (90% S)	10.0 lbs
Bone Meal (3-15-0)	10.0 lbs
Feather meal (12-0-0)	10.0 lbs

The above materials should be incorporated into the upper 6-8" of the soil profile.

If you have any questions, please give me a call.

Respectfully submitted,

Clifford B. Low, M.S.

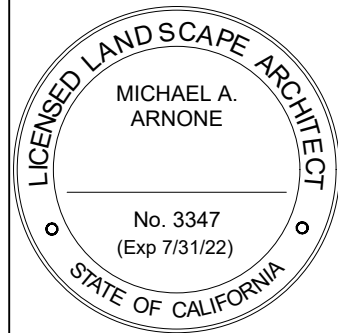
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LOS GATOS, CA 95030

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REVISIONS



IRRIGATION PLAN

JOB NO. 202202

SCALE 1/8" = 1' - 0"

DRAWN MA

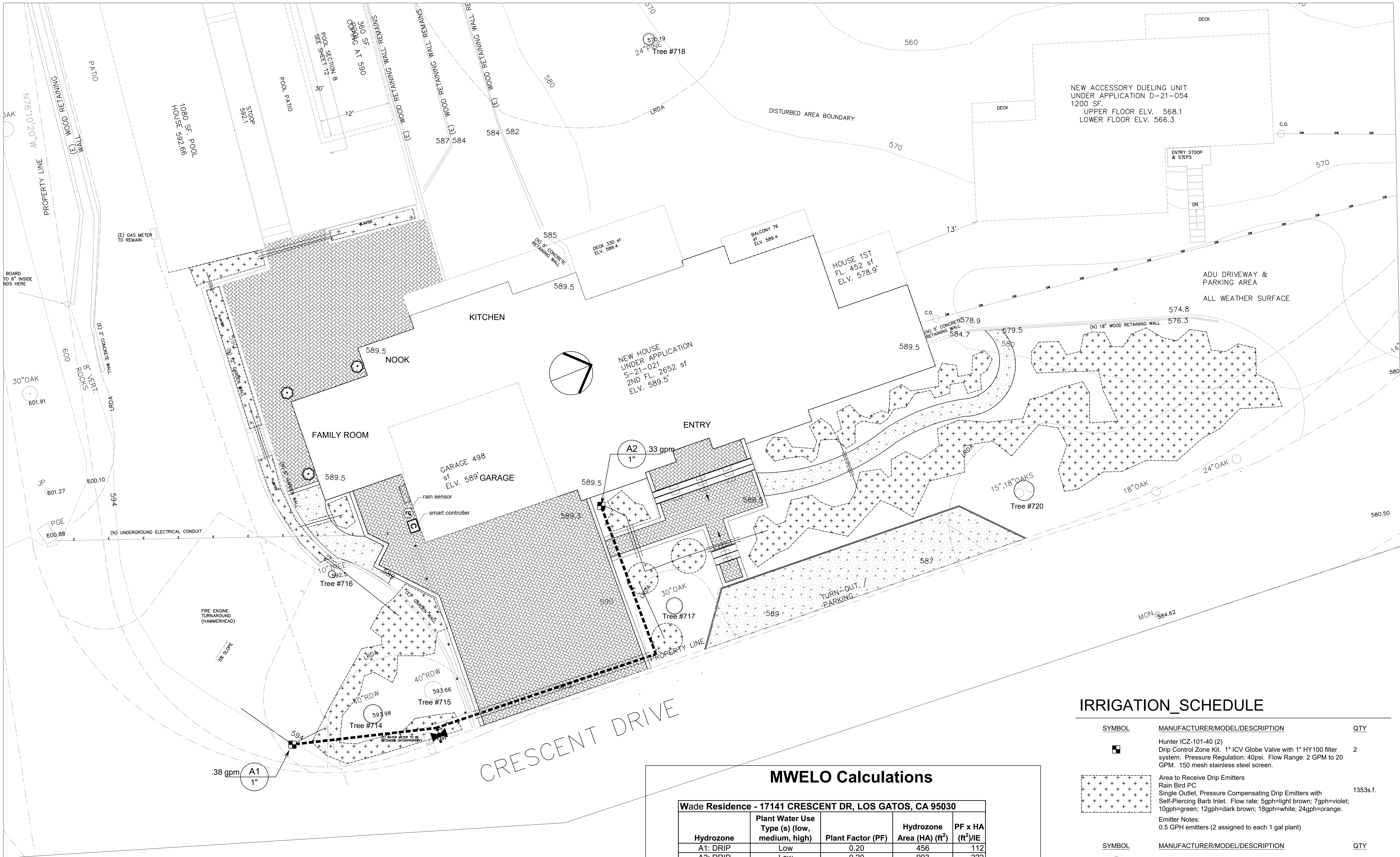
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DATE 4.21.2022

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SHEET 5 OF 6

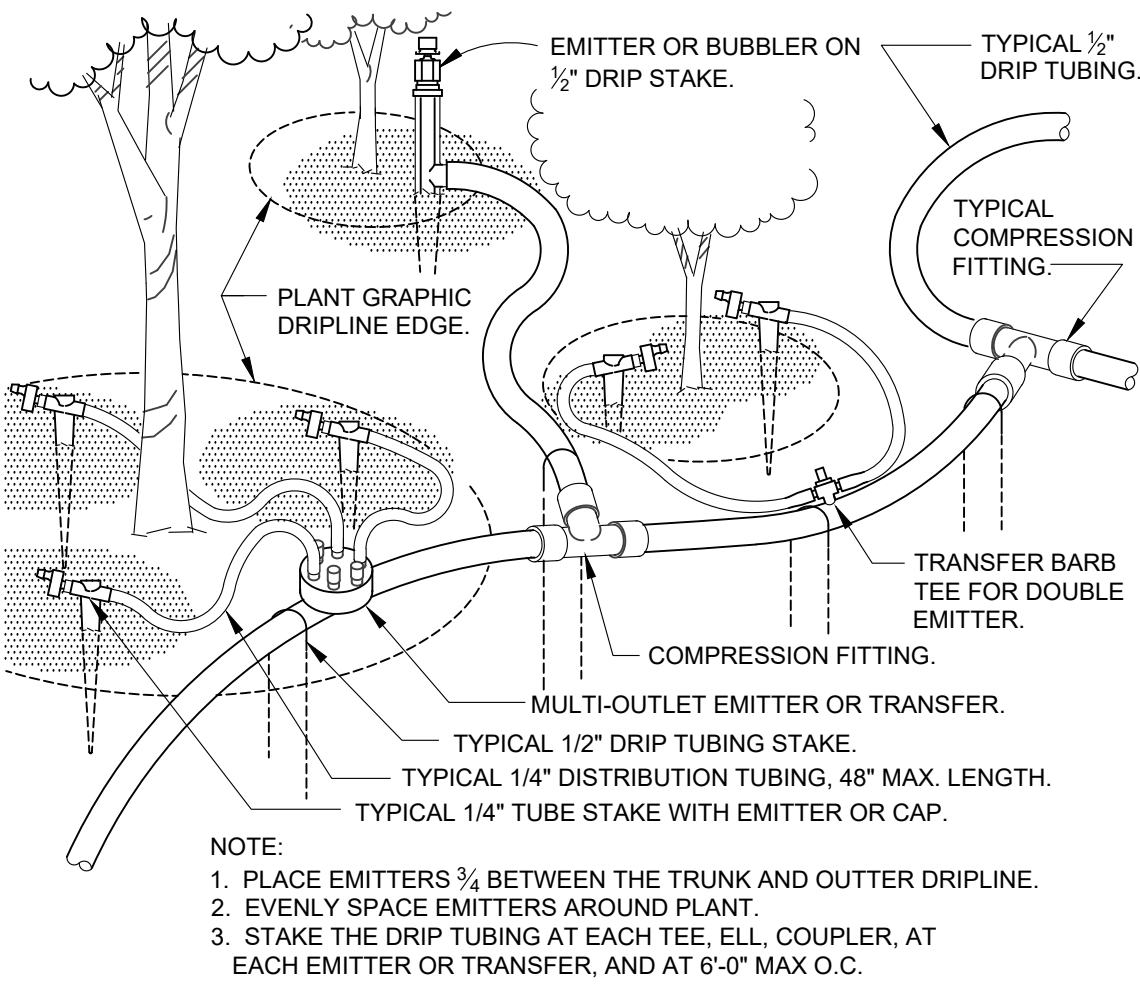


MWELO Calculations

Wade Residence - 17141 CRESCENT DR, LOS GATOS, CA 95030				
Hydrozone	Plant Water Use Type (s) (low, medium, high)	Plant Factor (PF)	Hydrozone Area (HA) (ft²)	PF x HA (ft²)/IE
A1: DRIP	Low	0.20	456	112
A2: DRIP	Low	0.20	903	222
	Sum		1,359	334
ETWU = (ET _o) x (0.62) x [(PF x HA/IE) + SLA]				
			9,526 Gallons	
MAWA = (ET _o) x (0.62) x [(0.55 x LA) + (0.3 x SLA)]				
			19,881 Gallons	
ETWU complies with MAWA				

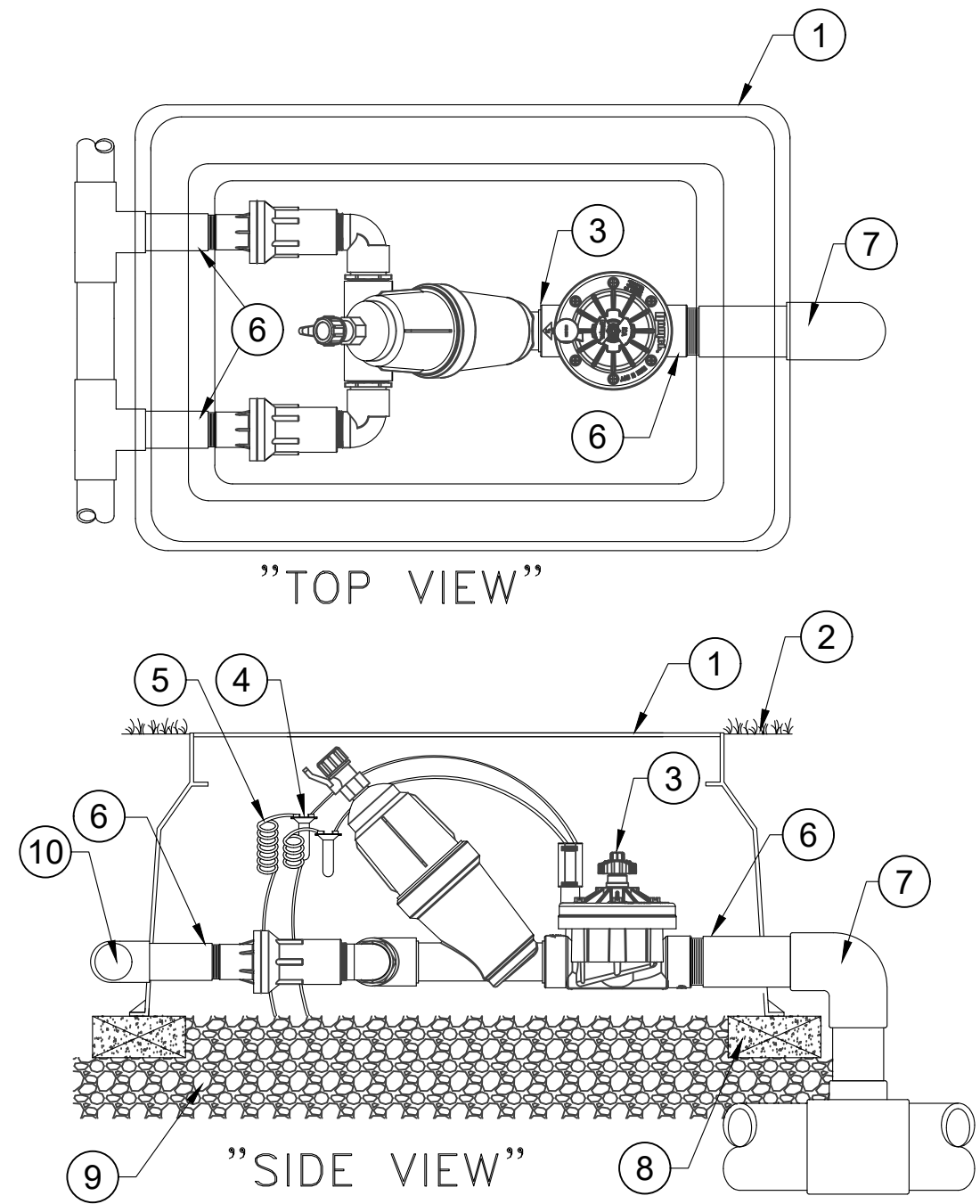
IRRIGATION_SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Hunter ICZ-101-40 (2) Drip Control Zone Kit. 1" ICV Globe Valve with 1" HY100 filter system. Pressure Regulation: 40psi. Flow Range: 2 GPM to 20 GPM. 150 mesh stainless steel screen.	2
	Area to Receive Drip Emitters Rain Bird PC Single Outlet, Pressure Compensating Drip Emitters with Self-Piercing Barb Inlet. Flow rate: 5gph=light brown; 7gph=violet; 10gph=green; 12gph=dark brown; 18gph=white; 24gph=orange.	1353s.f.
Emitter Notes: 0.5 GPH emitters (2 assigned to each 1 gal plant)		
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	Spears Compact 1" Ball Valve	1
	Hunter HC-6 6 station controller with Wi-Fi connection	1
	Hunter WR-CLIK Rain Sensor, install within 1000 ft of controller, in line of sight. 22-28 VAC/VDC 100 mA power from timer transformer.	1
	Irrigation Lateral Line: PVC Class 315 SDR	
	Irrigation Mainline: PVC Schedule 40	
	Pipe Sleeve: CPVC Schedule 80	
	Valve Callout: # Valve Number # Valve Flow # Valve Size	



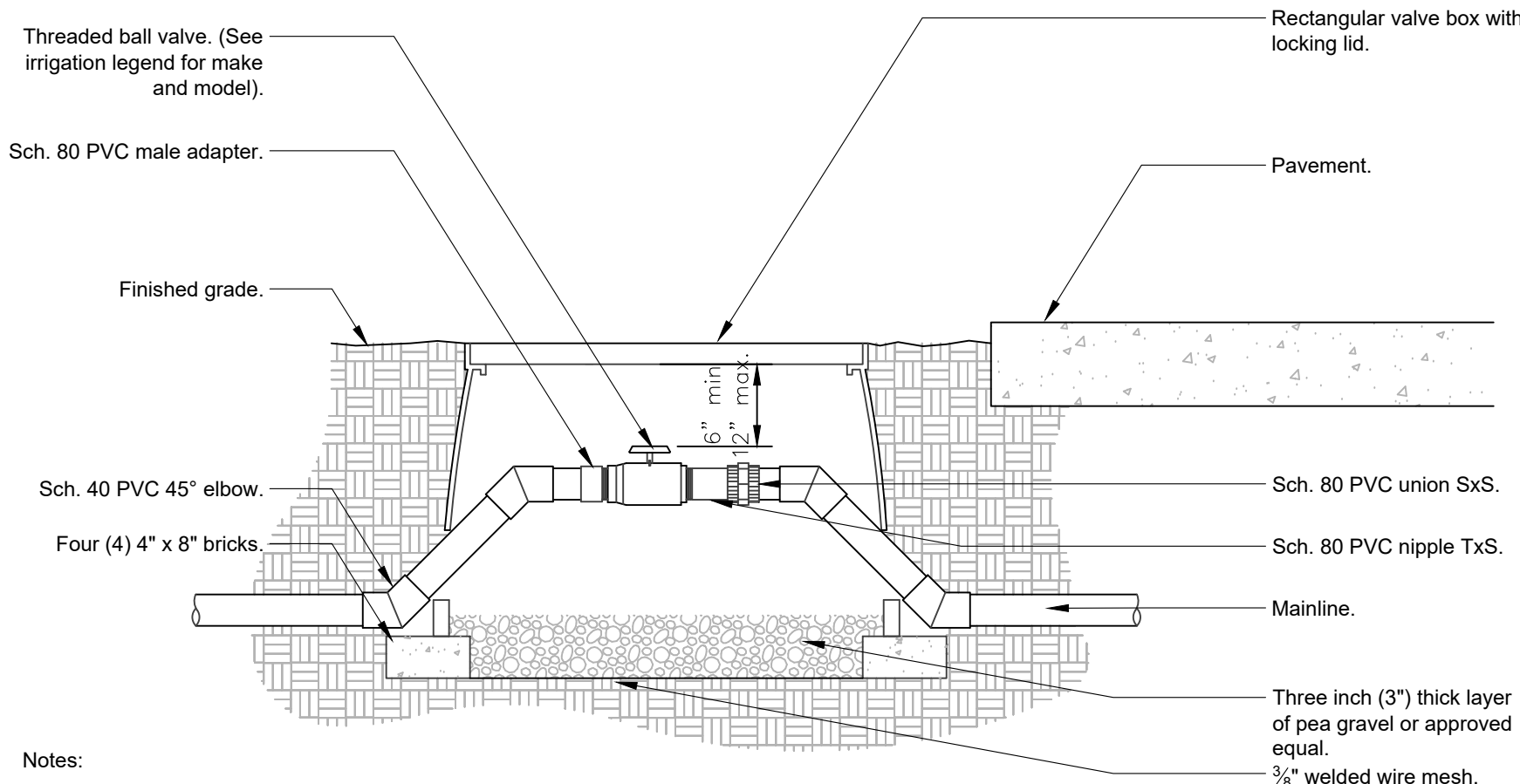
USE BUBBLERS FOR TREES AS NOTED IN LEGEND; USE TUBING FOR ALL SHRUBS

1 TYPICAL DRIP TUBING
1 1/2" 1'-0"d
FX-IR-FX-DRIP-01



- 1 SUPER JUMBO VALVE BOX
- 2 FINISH GRADE
- 3 DRIP ZONE KIT
MODEL ICZ-151-40 WITH FILTER (TIP
45 DEGREES) REGULATOR 40 PSI
- 4 WATERPROOF CONNECTORS (2)
- 5 18-24" COILED WIRE
- 6 SCH 80 T.O.E. NIPPLE
- 7 MAIN LINE PIPE & FITTINGS
- 8 BRICK SUPPORTS (7)
- 9 3/4" MINUS WASHED GRAVEL
- 10 LATERAL PIPE AND FITTINGS

2 ICZ-151-40 DRIP CONTROL KIT
1 1/2" 1'-0"d
FX-IR-HUNT-DRIP-20



Notes:

- 1- Locate valve boxes in planting areas.
- 2- Wrap valve box with a minimum of 3 mil thick plastic and secure it using duct tape or electrical tape.
- 3- All threaded connection to be made using teflon tape.
- 4- All changes in elevation shall be made using Sch. 40 PVC 45° elbows.

3 BALL VALVE - 3" AND SMALLER
1 1/2" 1'-0"d
FX-IR-FX-SHUT-01

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IRRIGATION NOTES

1. The drip system will incorporate pressure compensating drip emitters with 1/4" drip tubes to each plant that deliver water at 90% efficiency at an application rate that matches the soil type.
2. An ET based "smart" irrigation controller shall be installed to efficiently irrigate all new planting areas and plant containers. Irrigation schedule shall be reduced (frequency and duration) after plants are established (1 year).
3. Irrigation schedule shall be adjusted seasonally based on plant needs.
4. Irrigation schedule provided to appropriate personnel and posted near irrigation controller.
5. Irrigation system to be inspected regularly and maintained in good working condition.
6. Repairs to be made using identical or improved parts.
7. Landscape maintenance schedule to be followed.

IRRIGATION NOTES

1. Contractor shall notify U.S.A. (Underground Service Alert) at 800 642 2444, prior to start of any excavation or trenching.
2. Contractor shall review all plans and documents pertaining to the project prior to the start of work to coordinate work with other trades.
3. Contractor shall install irrigation system in accordance with all local codes and ordinances.
4. Drip valves have been designed to operate at a maximum of 10 gallons per minute at 40 p. s. i. static pressure. Irrigation contractor shall verify a static pressure of at least 55 p.s.i. at the point of connection prior to the installation of the irrigation system. Should the p.s.i. or the g.p.m. be insufficient to operate either system, contractor shall notify landscape architect and request review of design.
5. Irrigation design is diagrammatic. Mainline, valves, laterals and other irrigation equipment may be shown outside of planting beds for graphic clarity. All irrigation equipment shall be located in adjacent planting beds.
6. Irrigation pipe depths: Mainlines under paving shall have 24" cover over pipes. Lateral lines under paving shall have 18" cover over pipes. Sleeves shall be located as per plan. Mainlines in planting beds shall have 12" of cover over pipes. Laterals in planting beds shall have 12" cover over pipes.
7. Lateral lines (non pressure lines) sizing guidelines shall be as follows: 3/4" O.D. - 0 to 10 GPM; 1" O.D. - 11 to 15 GPM; 1 1/4" O.D. - 16 to 25 GPM; 1 1/2" O.D. 26 to 30 GPM; 2" O.D. 31 to 55 GPM. Refer to Irrigation Legend and plan sheets for further data.
8. Control wires shall be 14 gauge UF direct burial wire. Use red for control wire and white for common wire. Contractor shall run one spare common and one spare control wire to each of the end valves. All low voltage wire connections shall be made only at remote control boxes. All connections shall be made with a 2' coil of wire for service. Connections shall be made with RainBird 'Snap-Tite' connectors or equal.
9. All electrical connections for the controller shall be installed by a licensed electrical contractor. All work shall comply with the most current standards and codes at the time of installation. Contractor shall hard wire new clocks at closest, safest location.
10. Contractor shall determine the number and location of drip emitters based on the plant counts and actual plant locations in the field. Contractor shall adjust all drip distribution tubing to effectively irrigate all plant material.
11. The drip system will incorporate pressure compensating drip emitters with 1/4" drip tubes to each plant that deliver water at 90% efficiency at an application rate that matches the soil type.
12. Contractor shall provide a minimum of one drip end cap assembly per drip zone for ease of flushing system.

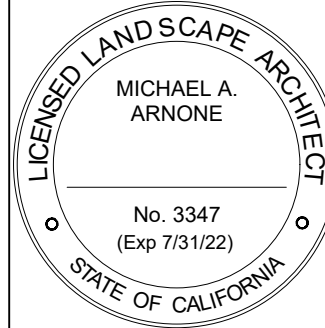
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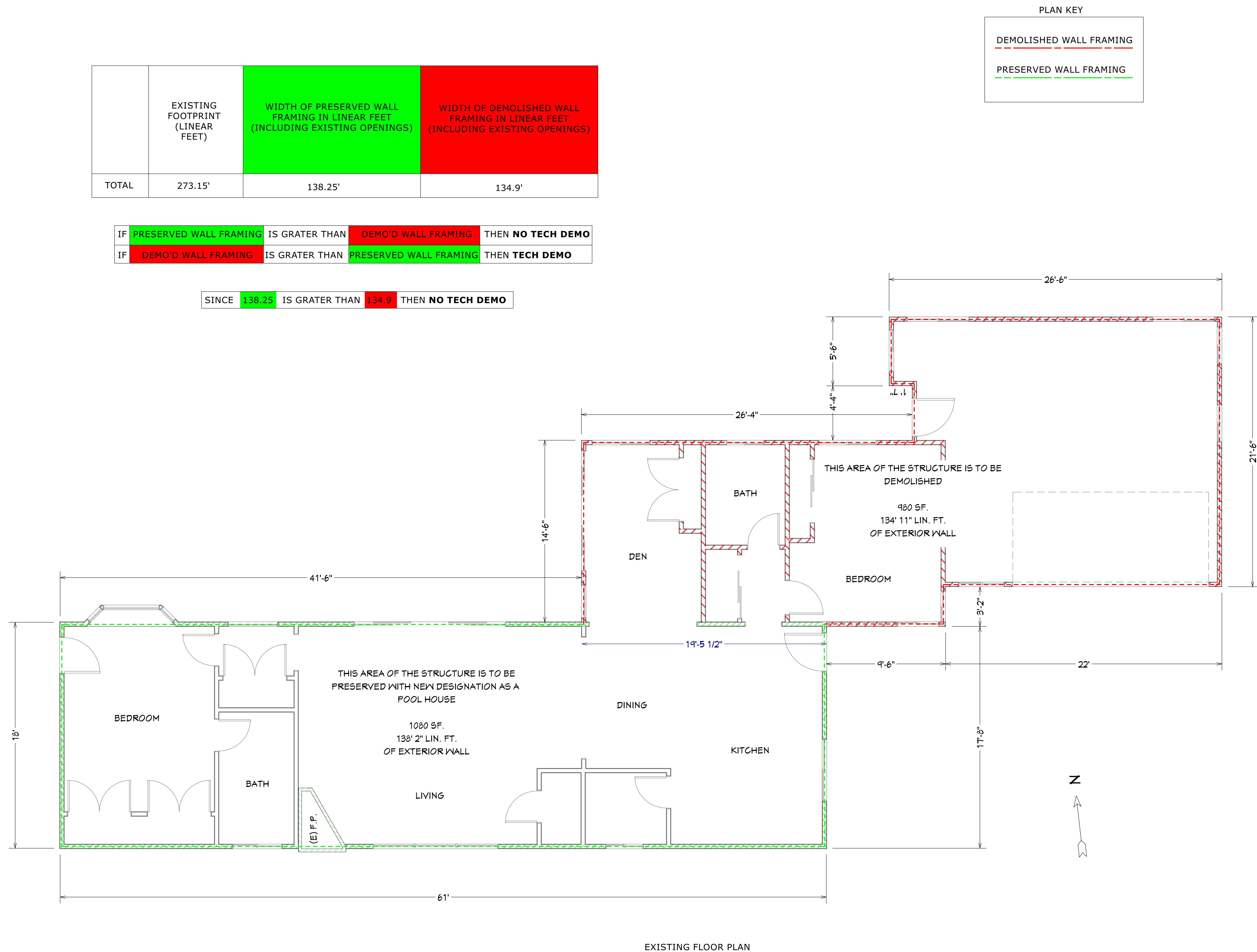
REVISIONS



IRRIGATION NOTES + DETAILS

JOB NO. 202202
SCALE AS NOTED
DRAWN MA
CHECK JC/MA
DATE 4.21.2022

SHEET
L- 3.1



WADE

CONSTRUCTION, Inc.

Design • Build • Remodel

CA Lic No. 95862

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

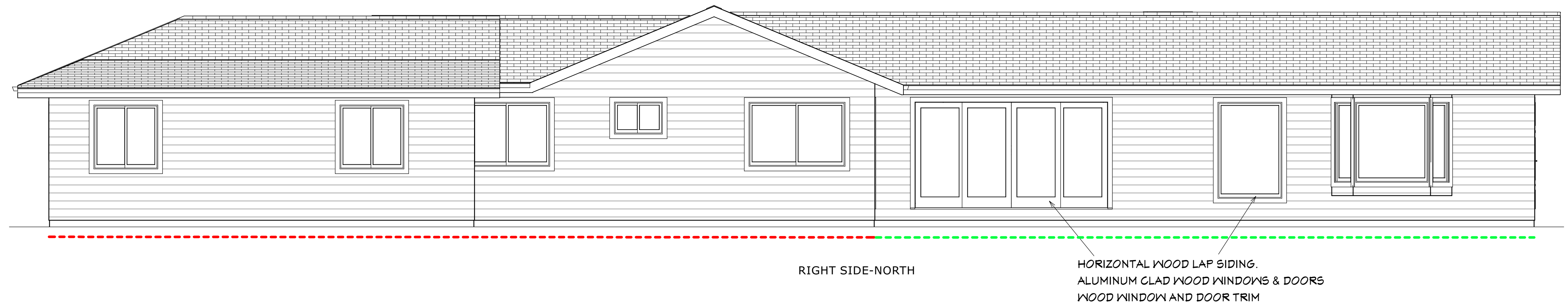
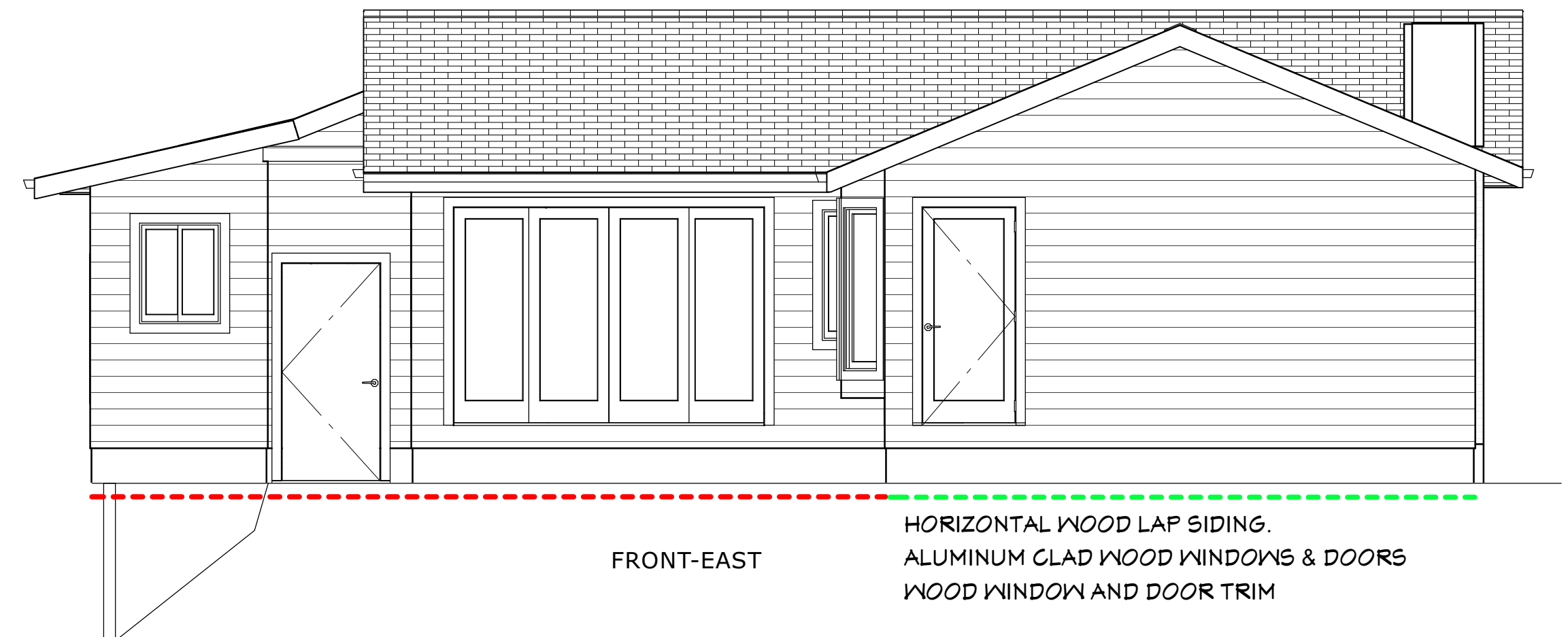
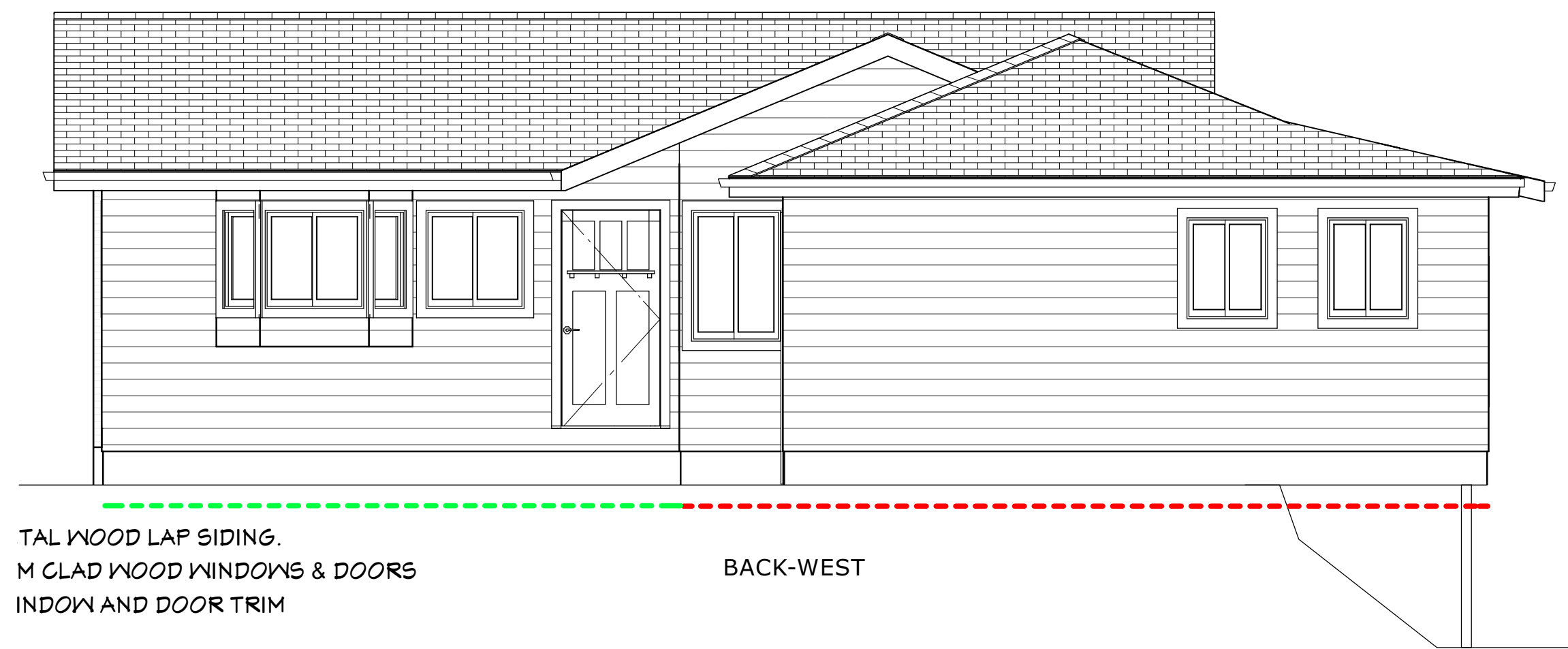
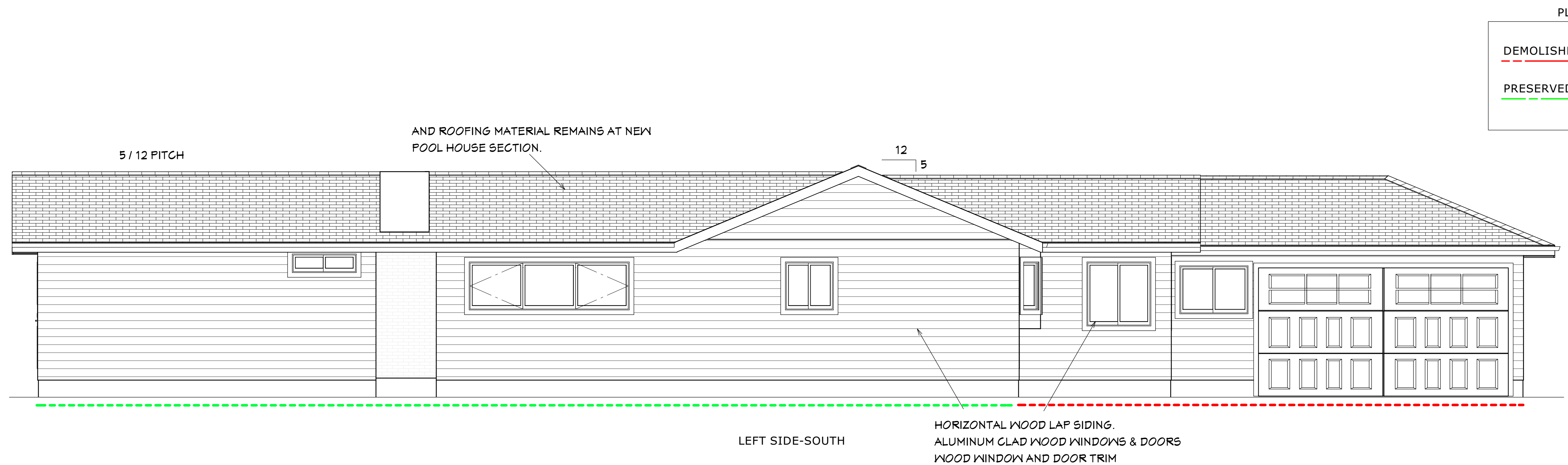
SHEET TITLE:

EXISTING HOUSE FLOOR PLAN
DEMO PLAN

DRAWINGS PROVIDED BY:

WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO, CA. 95030
408-314-2755

DATE:
4-22-2022
SCALE:
1/4" = 1'
SHEET:
4



REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
EXISTING HOME ELEVATIONS
DEMO PLAN

WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

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17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:

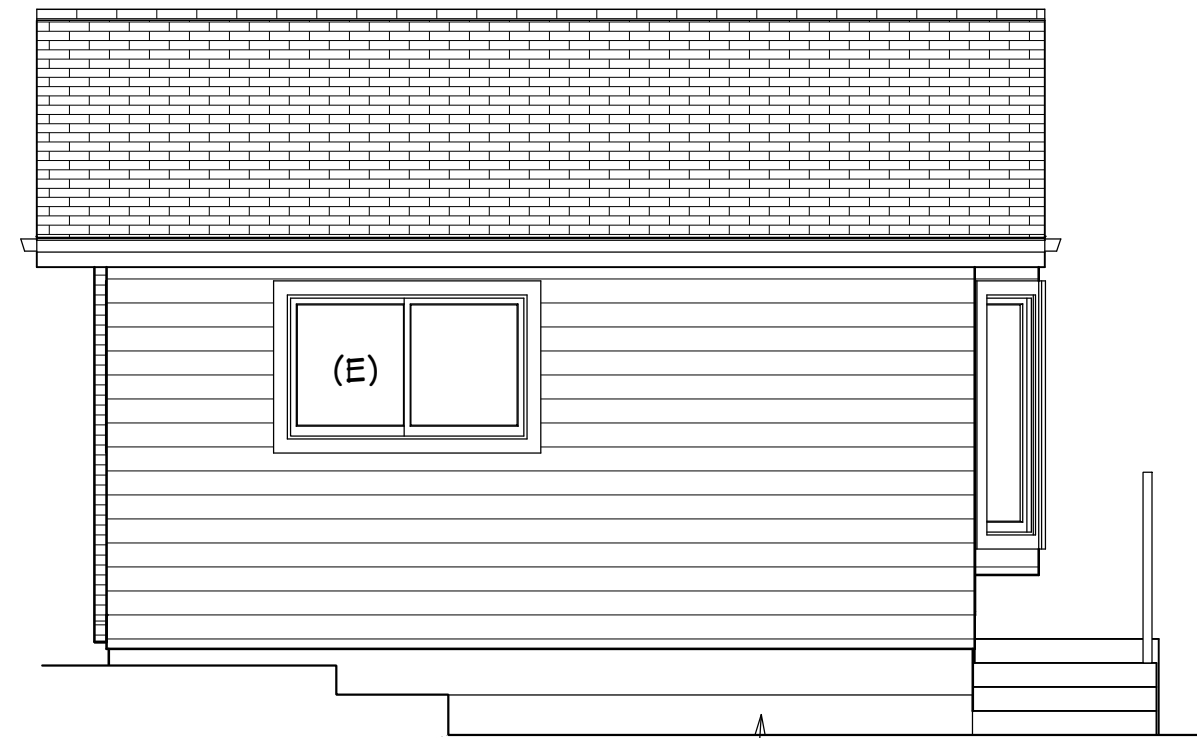
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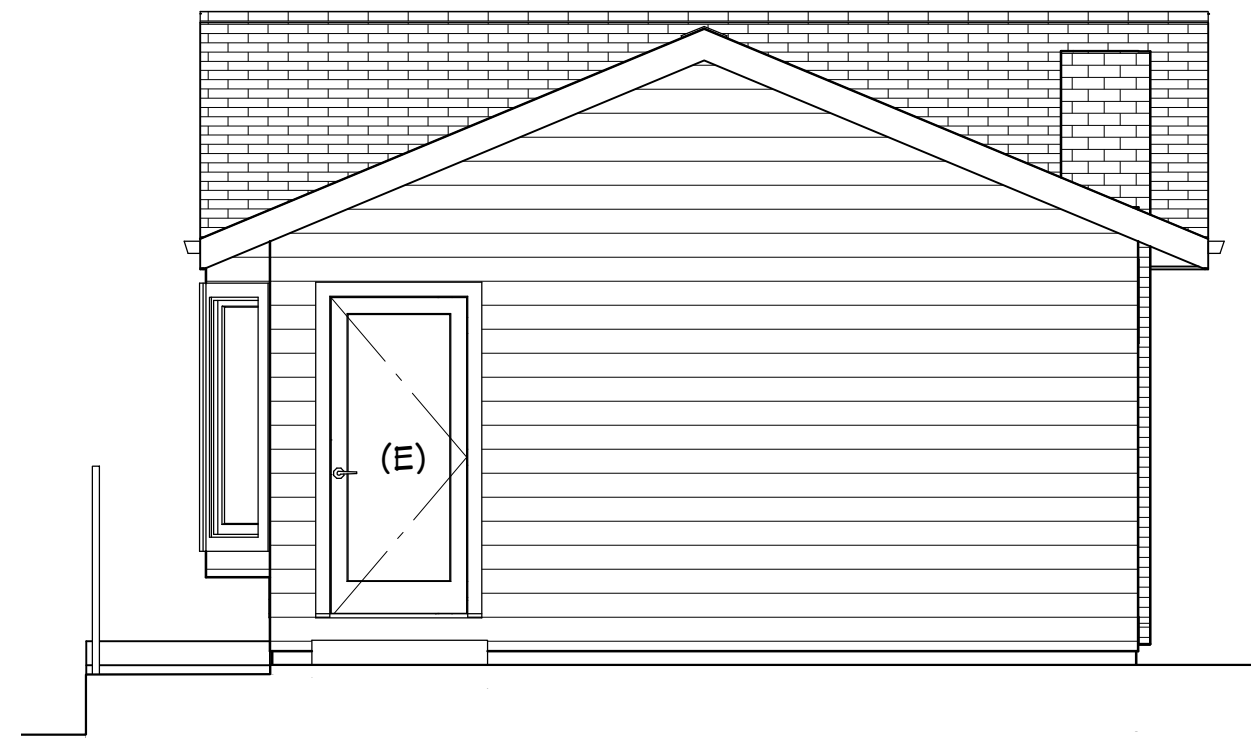
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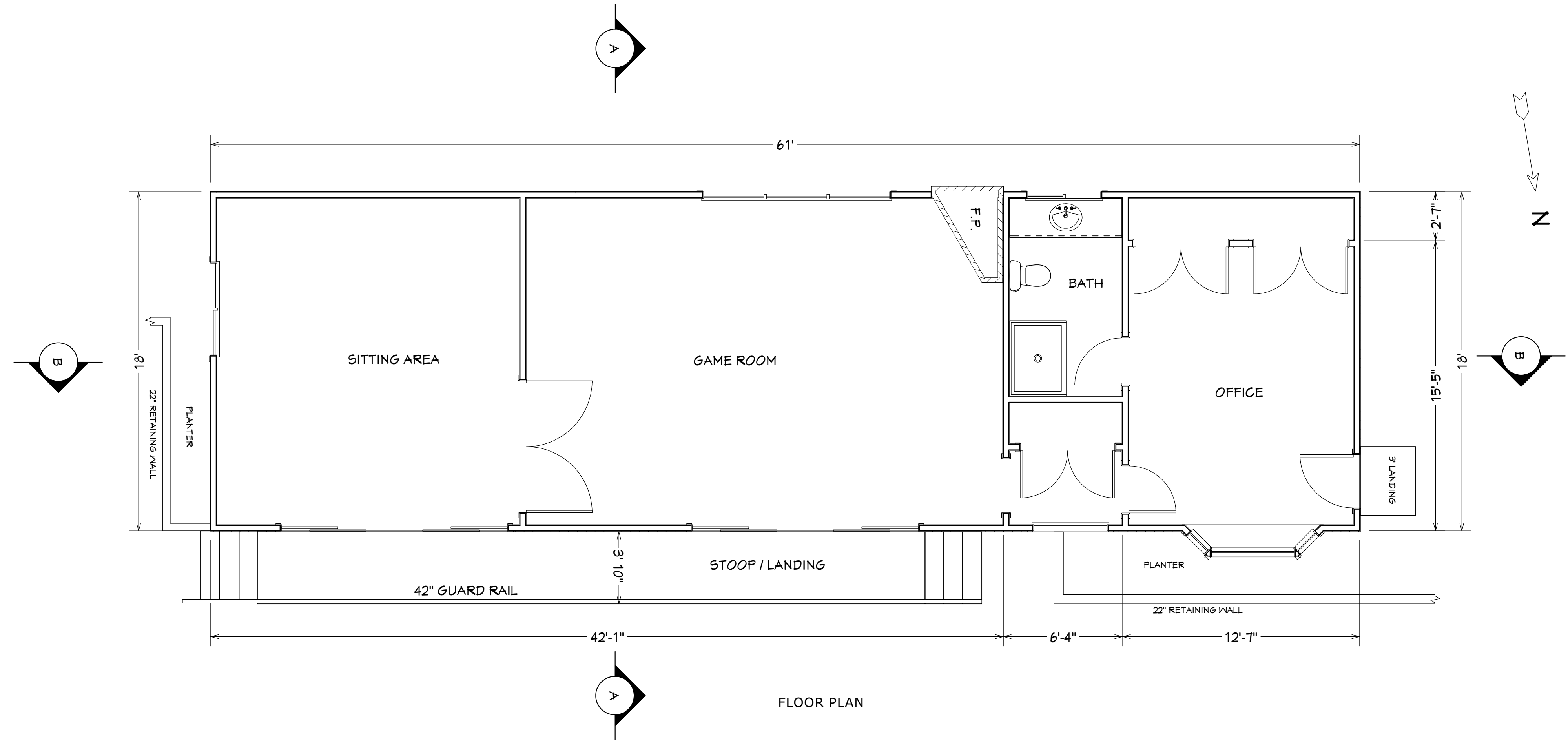
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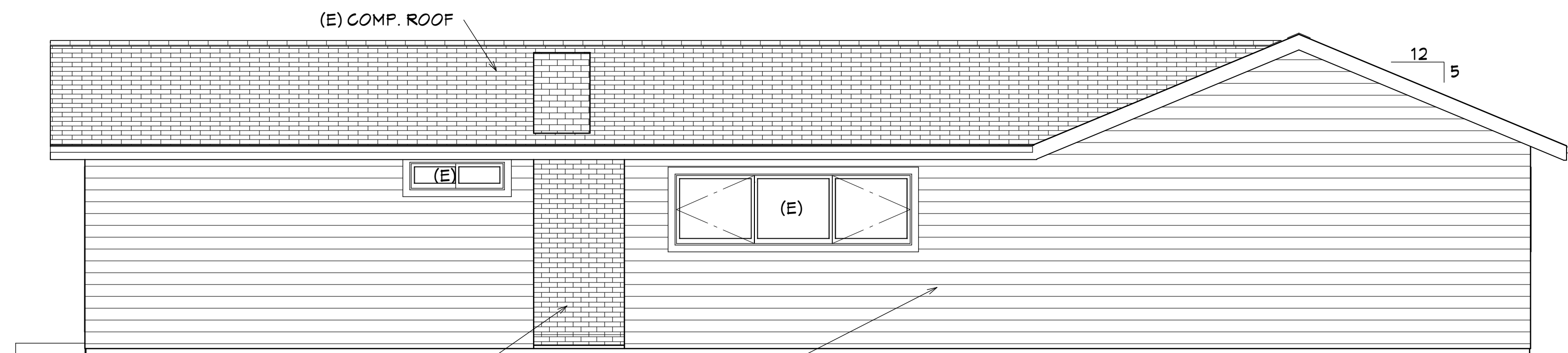
FRONT-EAST



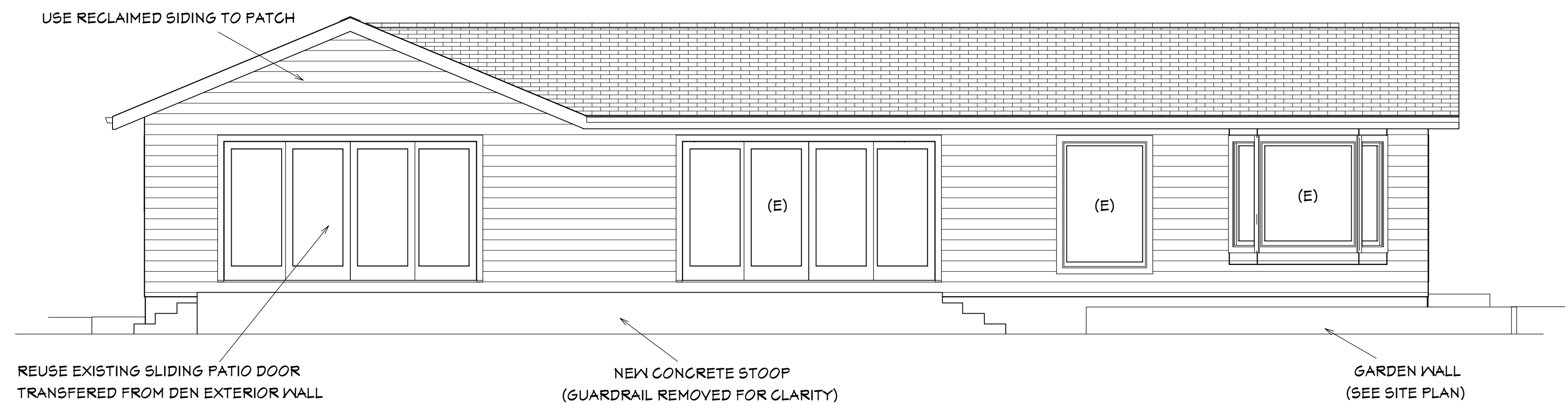
BACK-WEST



FLOOR PLAN



LEFT SIDE-SOUTH



RIGHT SIDE-NORTH

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
CONVERTED POOL HOUSE
FLOOR PLAN
ELEVATIONS

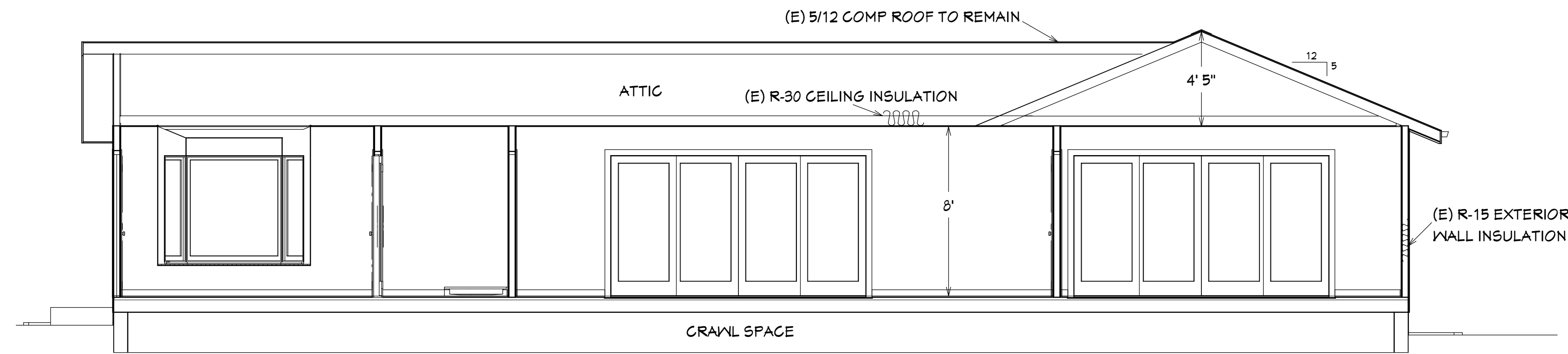
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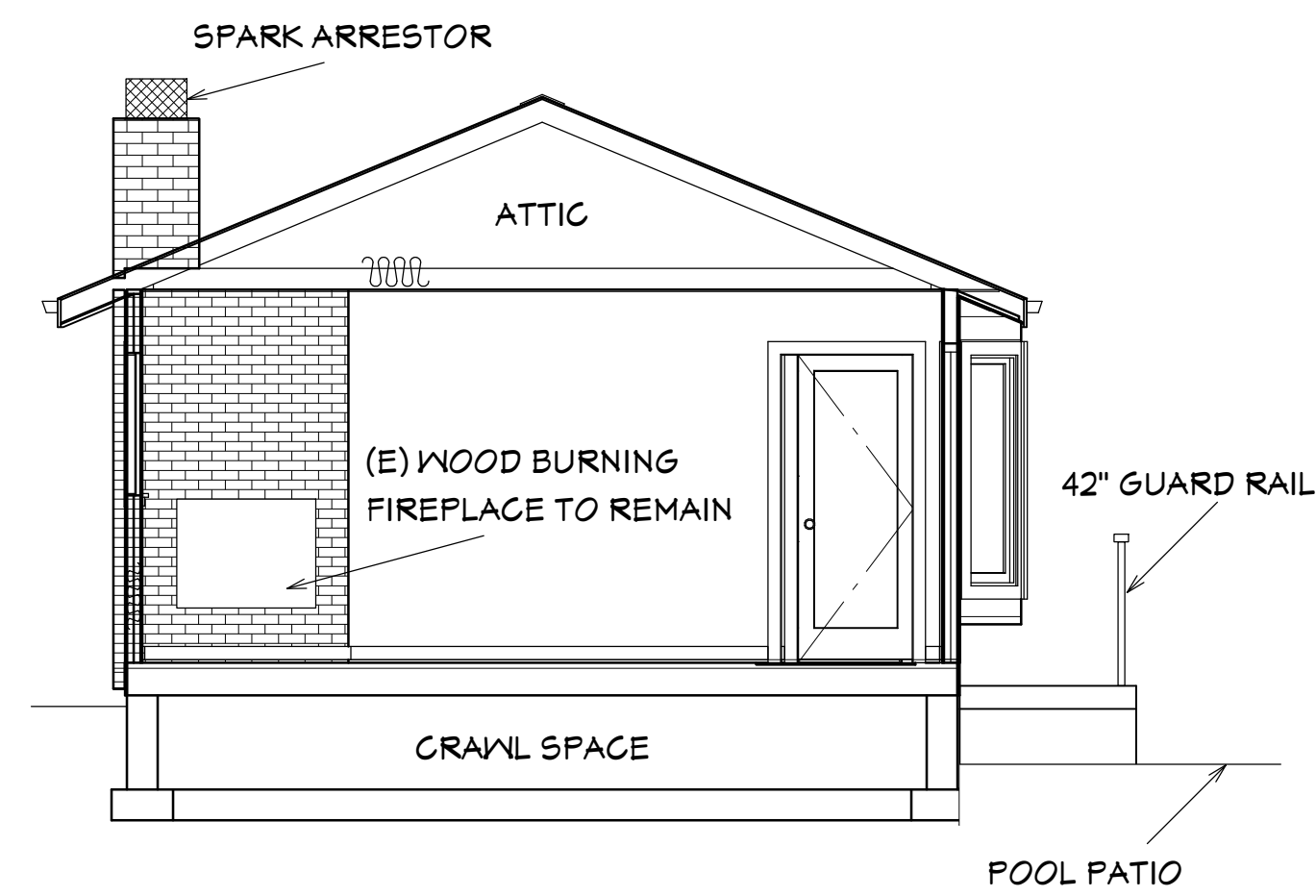
DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
6

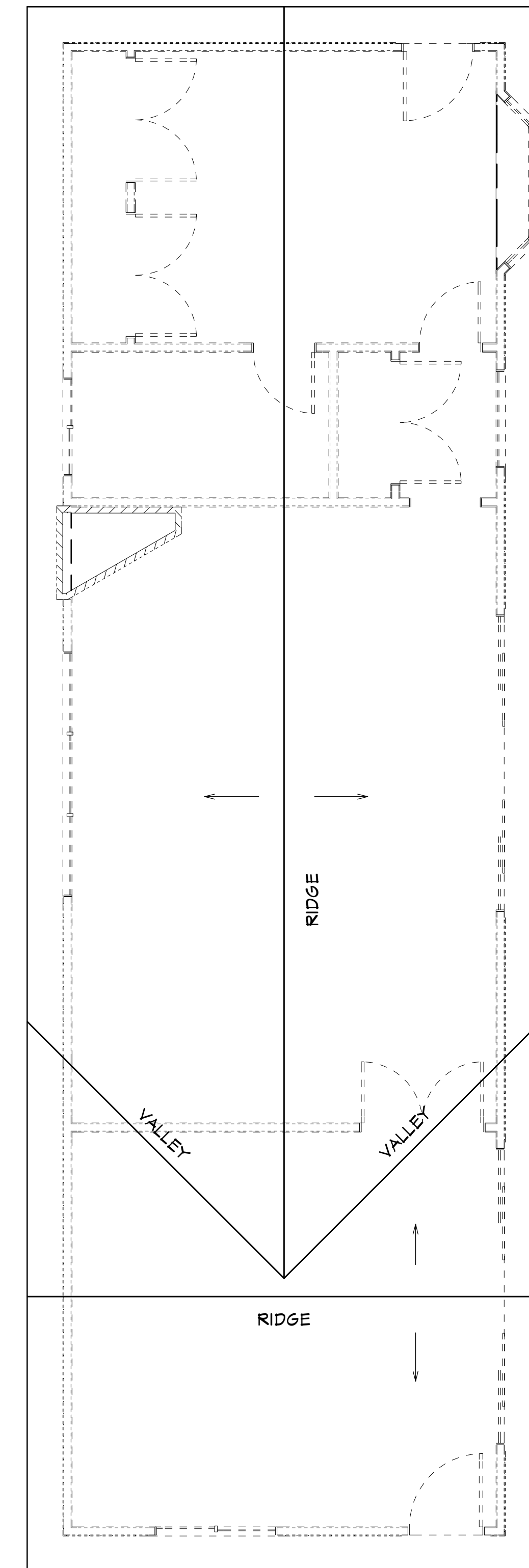


SECTION B



SECTION A

EXISTING 5/ 12 ROOF TO REMAIN.
PRESERVE COMPOSITION ROOFING MATERIAL
TO THE EXTENT POSSIBLE.



ROOF PLAN

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
CONVERTED POOL HOUSE
SECTIONS
ROOF PLAN

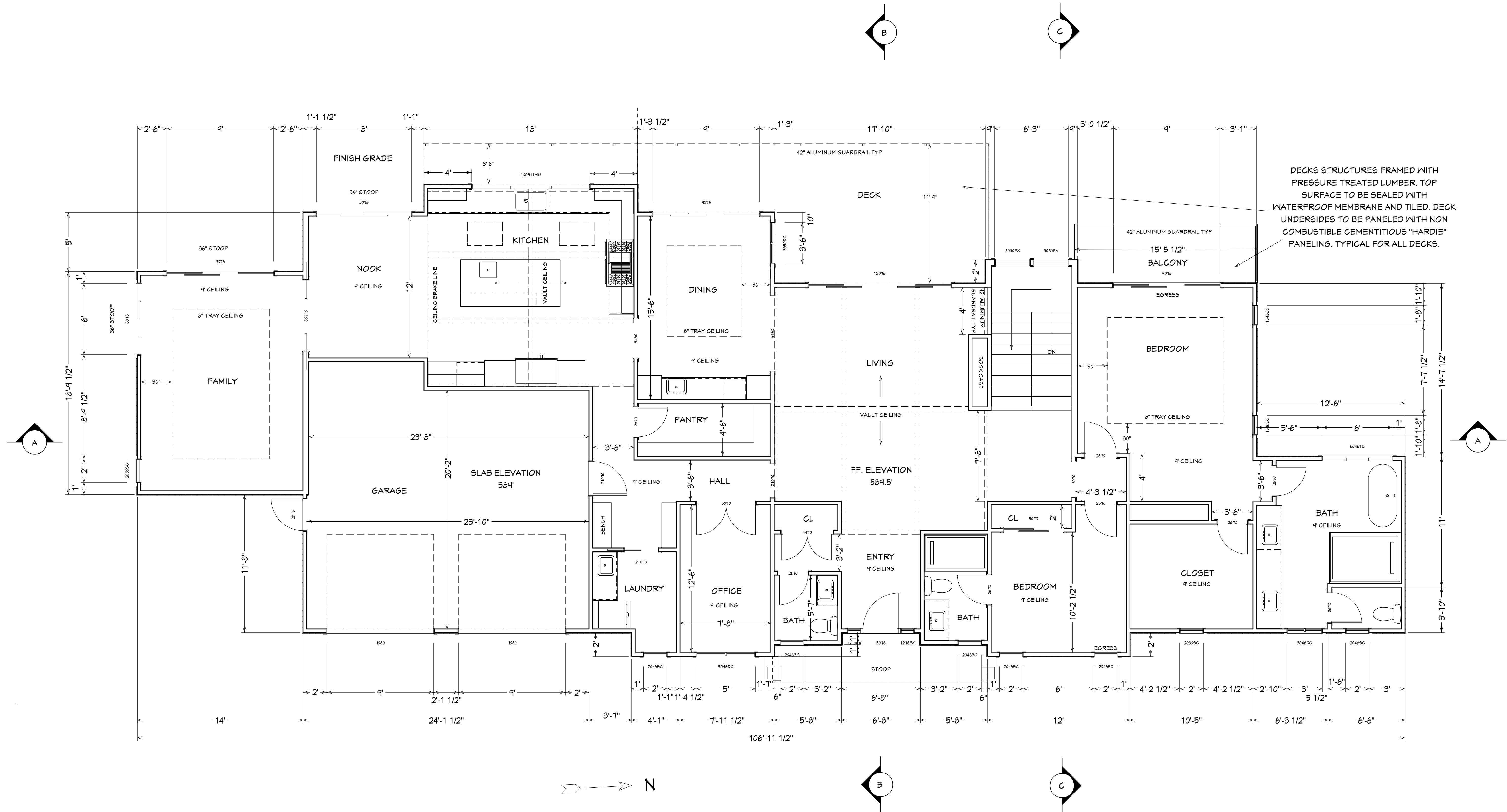
WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
7



REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
NEW MAIN HOUSE
2ND FLOOR PLAN

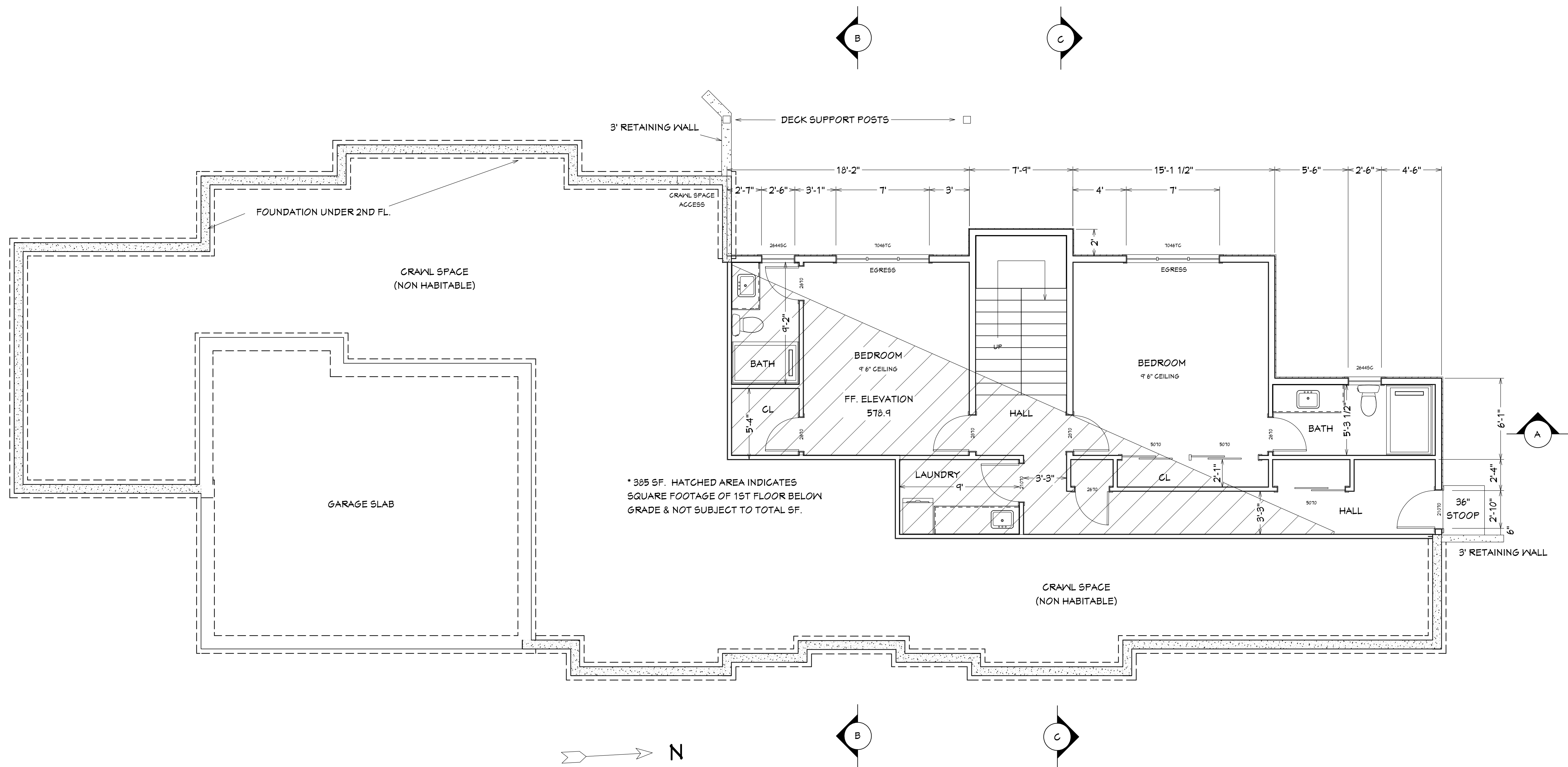
WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
8



REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
NEW MAIN HOUSE
1ST FLOOR PLAN

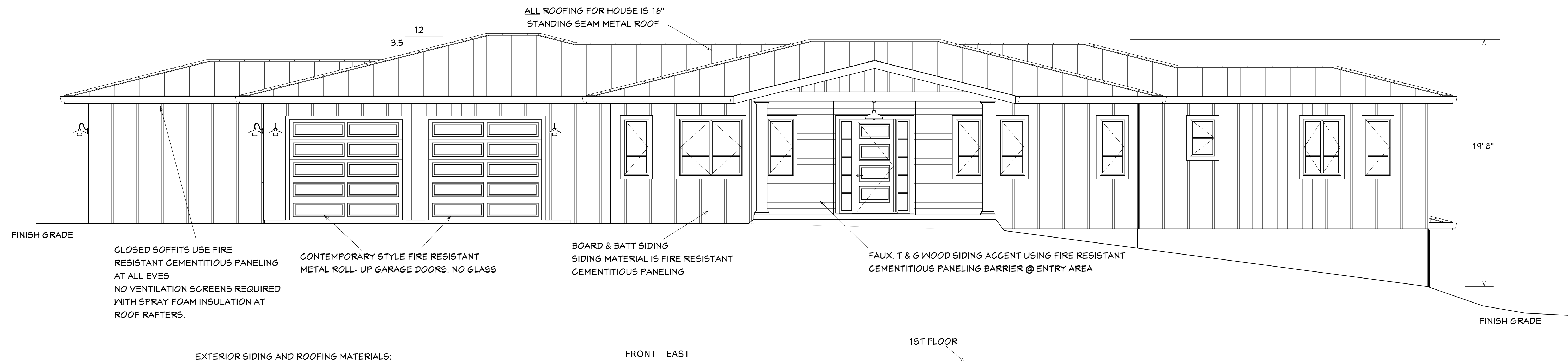
WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO, CA. 95030
408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
9



EXTERIOR SIDING AND ROOFING MATERIALS:

ALL ROOFS ARE TO BE 16" STANDING SEAM METAL ROOF

1ST FLOOR SIDING IS TO BE SMOOTH SAND FINISH STUCCO

2ND FLOOR SIDING IS "BOARD & BATT" FIBROUS CONCRETE "HARDIE" PANEL WITH FIBROUS CONCRETE BATTS.

ENTRY & STAIRWELL HORIZONTAL SIDING ACCENTS ARE TO BE FIBROUS CONCRETE "HARDIE" 8" T&G LAP SIDING.

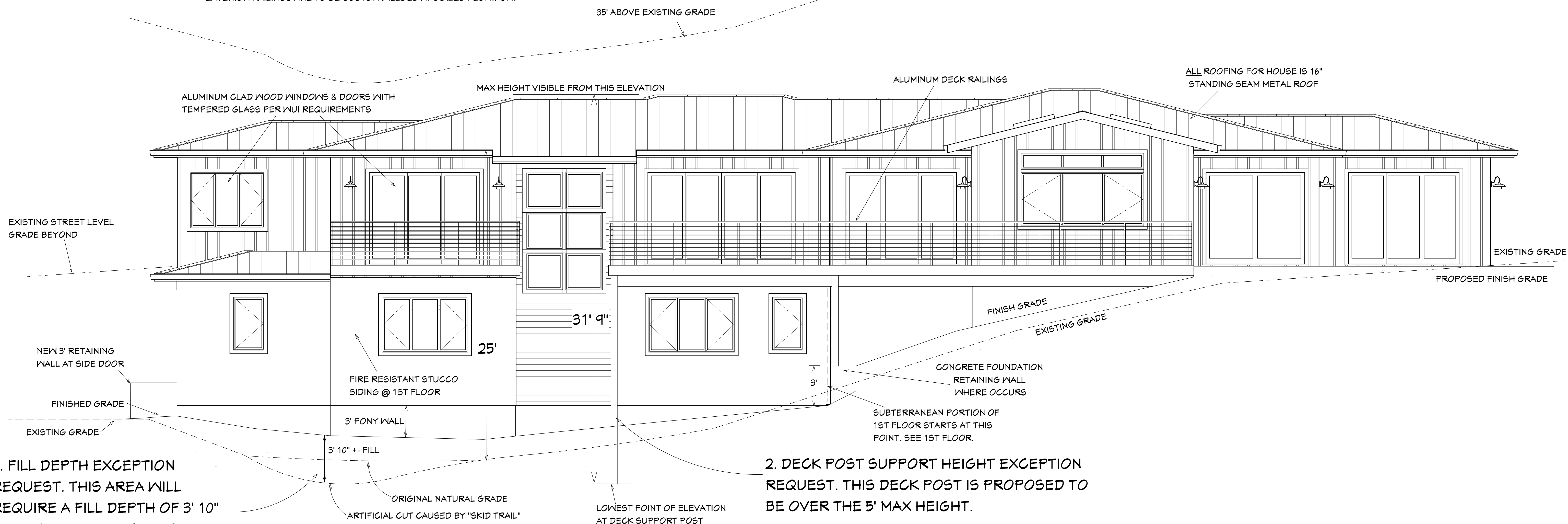
WINDOWS & DOORS ARE TO BE ALUMINUM METAL CLAD WOOD

WINDOW & DOOR TRIM IS TO BE FIBROUS CONCRETE "HARDIE" DIMENSIONAL TRIM BOARDS.

EXTERIOR RAILINGS ARE TO BE CUSTOM WELDED ANODIZED ALUMINUM.

FRONT - EAST

1ST FLOOR



1. FILL DEPTH EXCEPTION REQUEST. THIS AREA WILL REQUIRE A FILL DEPTH OF 3' 10" DUE TO THE ARTIFICIAL "SKID TRAIL" CUT.

2. DECK POST SUPPORT HEIGHT EXCEPTION REQUEST. THIS DECK POST IS PROPOSED TO BE OVER THE 5' MAX HEIGHT.

BACK - WEST

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
NEW MAIN HOUSE
ELEVATIONS

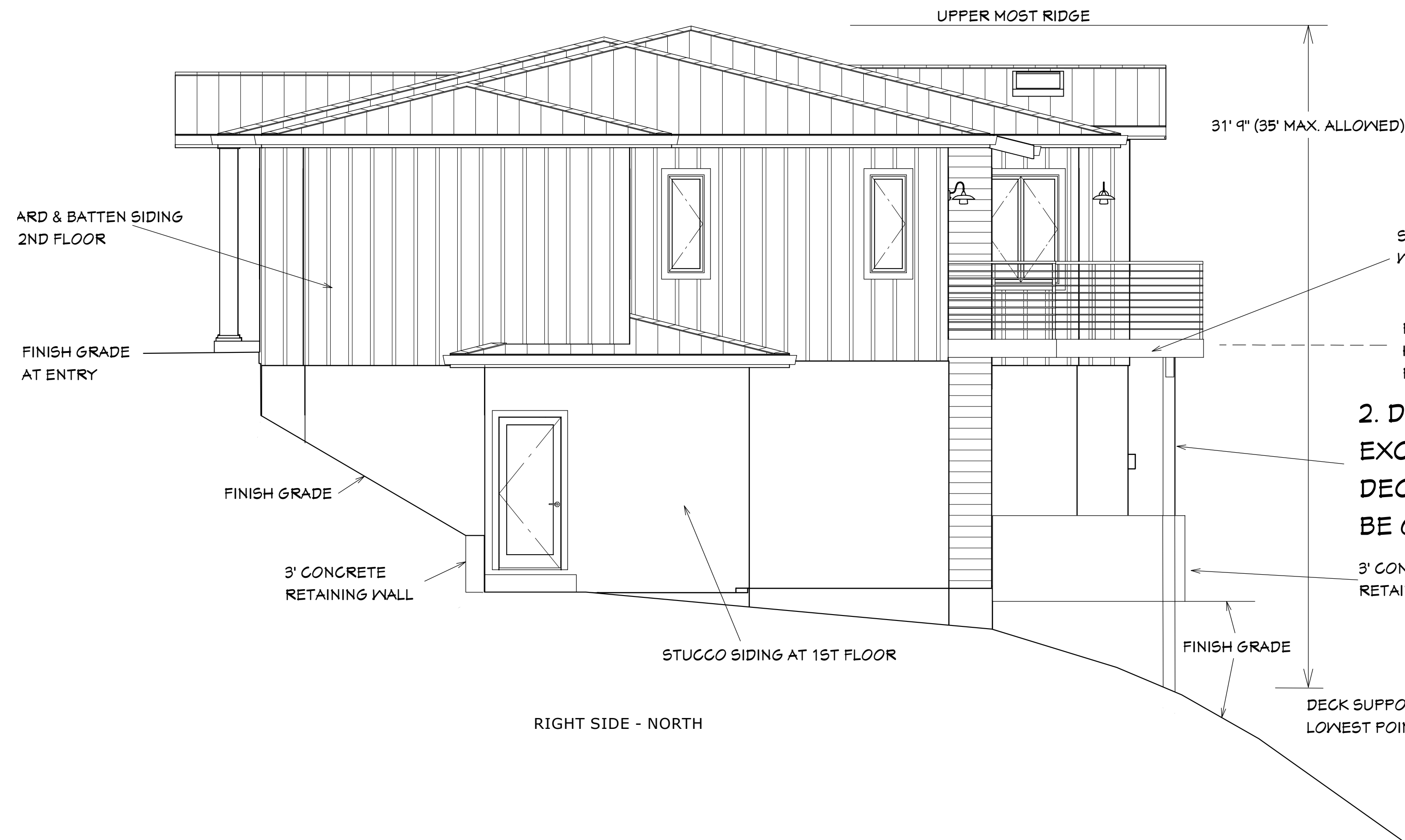
WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
10



EXTERIOR SIDING AND ROOFING MATERIALS:

ALL ROOFS ARE TO BE 16" STANDING SEAM METAL ROOF

1ST FLOOR SIDING IS TO BE SMOOTH SAND FINISH STUCCO

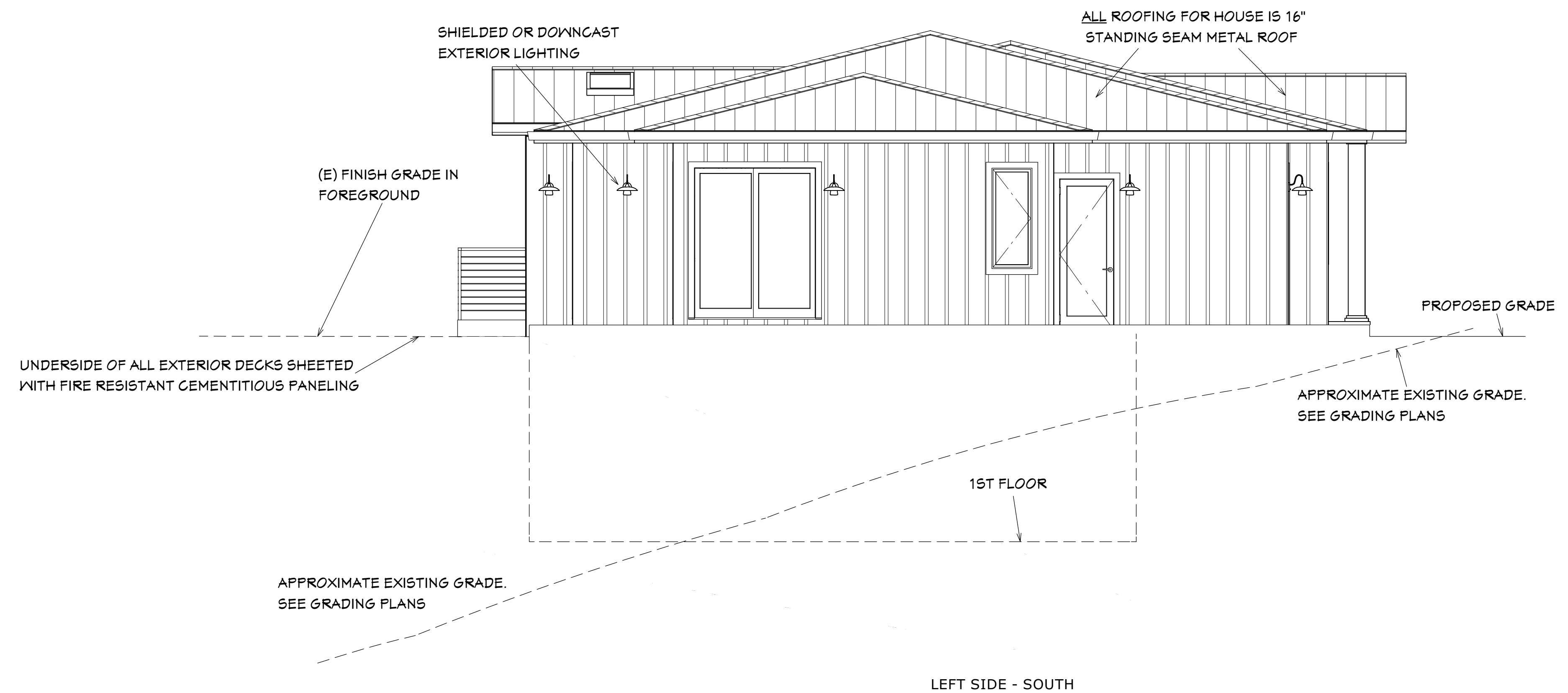
2ND FLOOR SIDING IS "BOARD & BATT" FIBROUS CONCRETE "HARDIE" PANEL WITH FIBROUS CONCRETE BATTS.

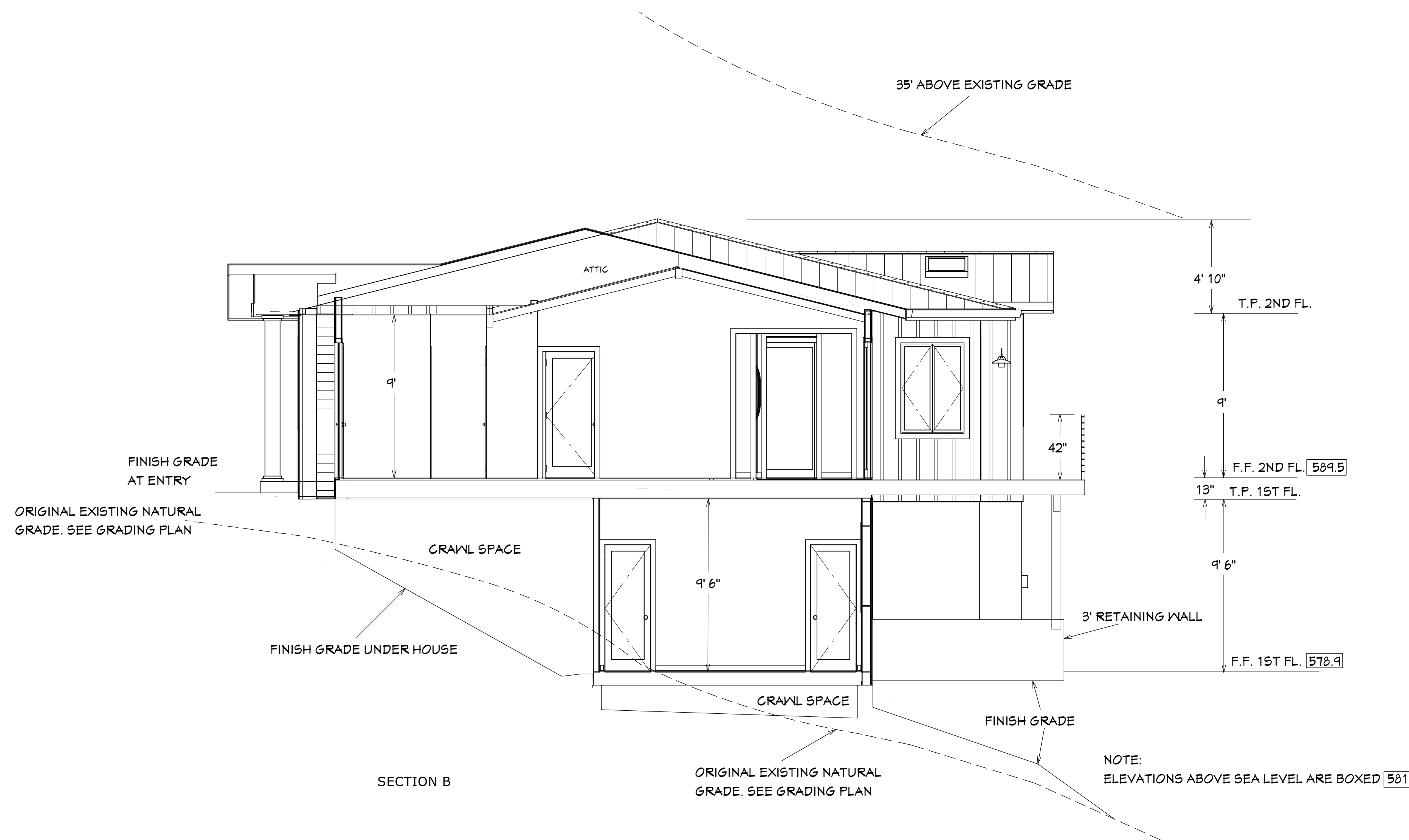
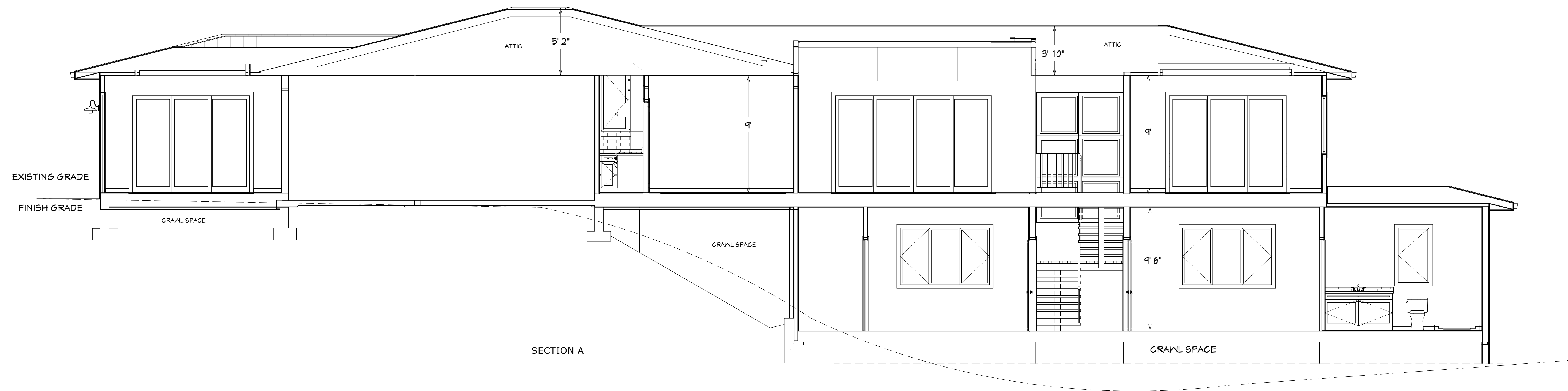
WINDOWS & DOORS ARE TO BE ALUMINUM METAL CLAD WOOD

WINDOW & DOOR TRIM IS TO BE FIBROUS CONCRETE "HARDIE" DIMENSIONAL TRIM BOARDS.

EXTERIOR RAILINGS ARE TO BE CUSTOM WELDED ANODIZED ALUMINUM.

2. DECK POST SUPPORT HEIGHT
EXCEPTION REQUEST. THIS
DECK POST IS PROPOSED TO
BE OVER THE 5' MAX HEIGHT.





REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
SECTIONS

WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
17710 BRUCE AV.
MONTE SERENO CA. 95030
408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
12

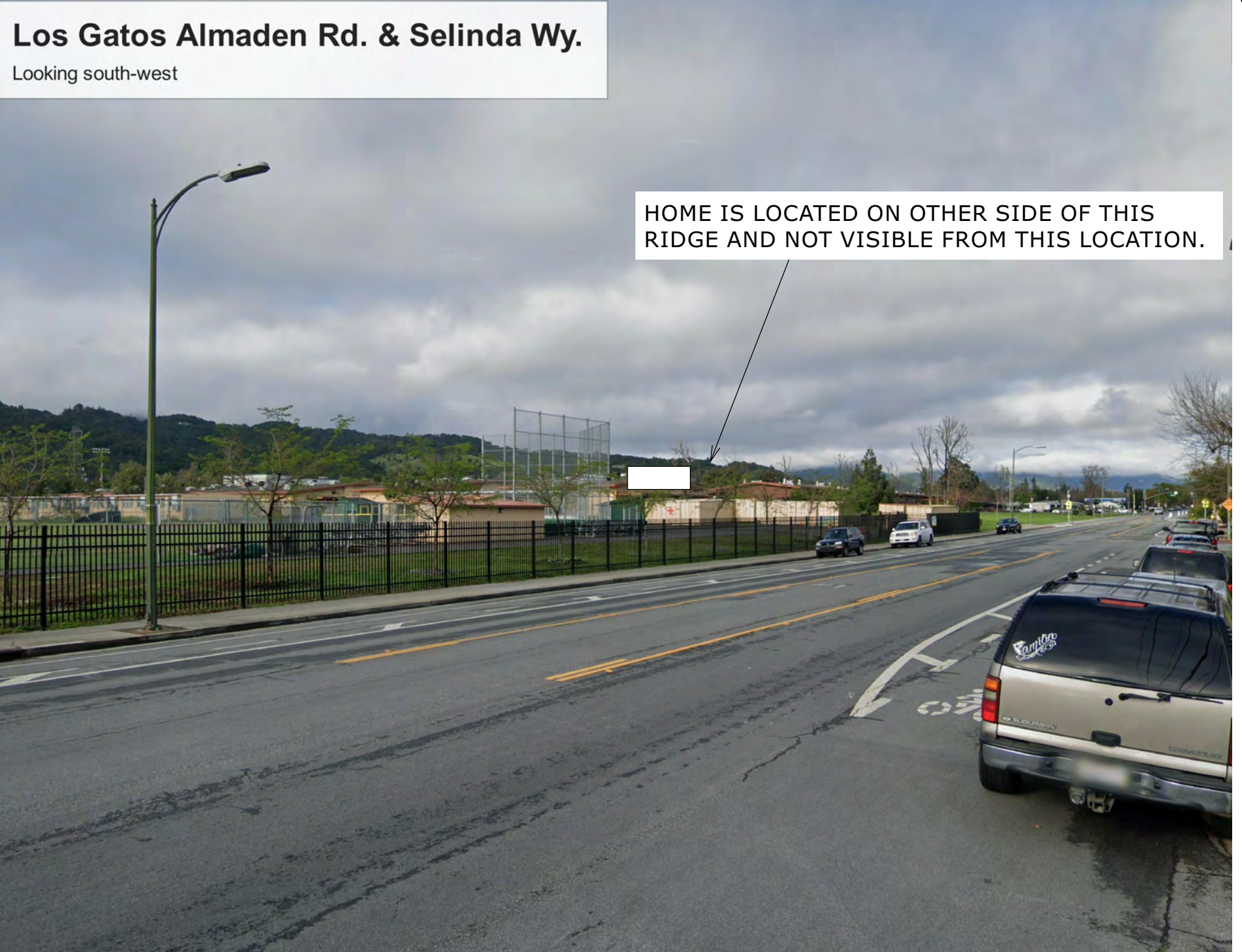
hwy. 9 & hwy. 17
looking south-east



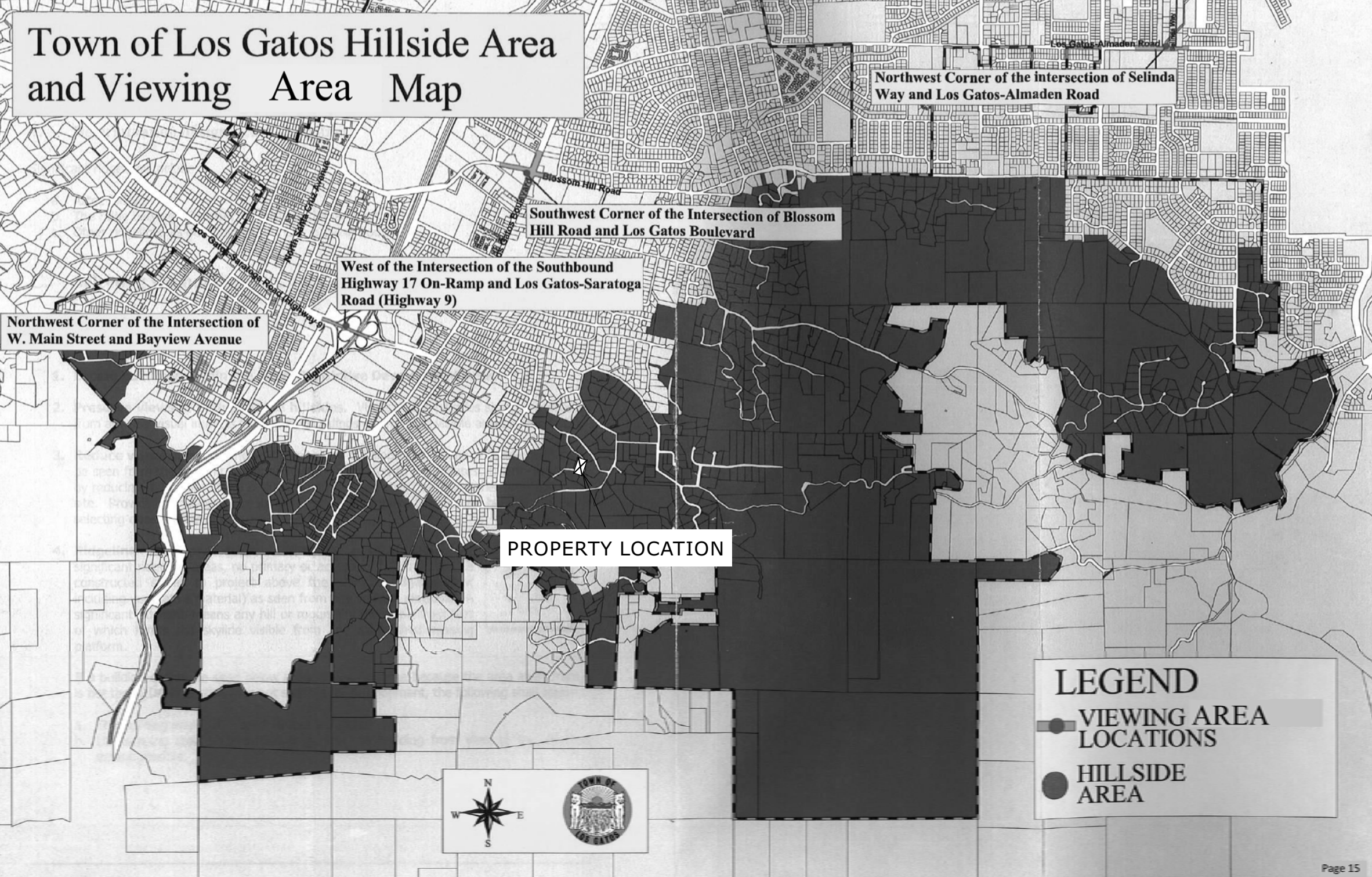
HOME IS LOCATED ON OTHER SIDE OF WORCESTER PARK RIDGE AND NOT VISIBLE FROM THIS LOCATION.

PROPOSED HOME LOCATION IS NOTED WITH WHITE BOX.
HOUSE RIDGE IS 604'
INTERSECTION OF HWY. 9 & LOS GATOS BLVD. IS 416'.
THIS PLACES THE HIGHEST ROOF RIDGE OF THE HOME LESS THAN 200' ABOVE THE CLOSEST MAJOR INTERSECTION.
THIS PRELIMINARY FINDING SHOW THAT THE PROPOSED HOME IS TO LOW IN ELEVATION TO BE VIEWABLE FROM ANY OF THE OF THE FOUR VIEWING AREAS.

Los Gatos Almaden Rd. & Selinda Wy.
Looking south-west

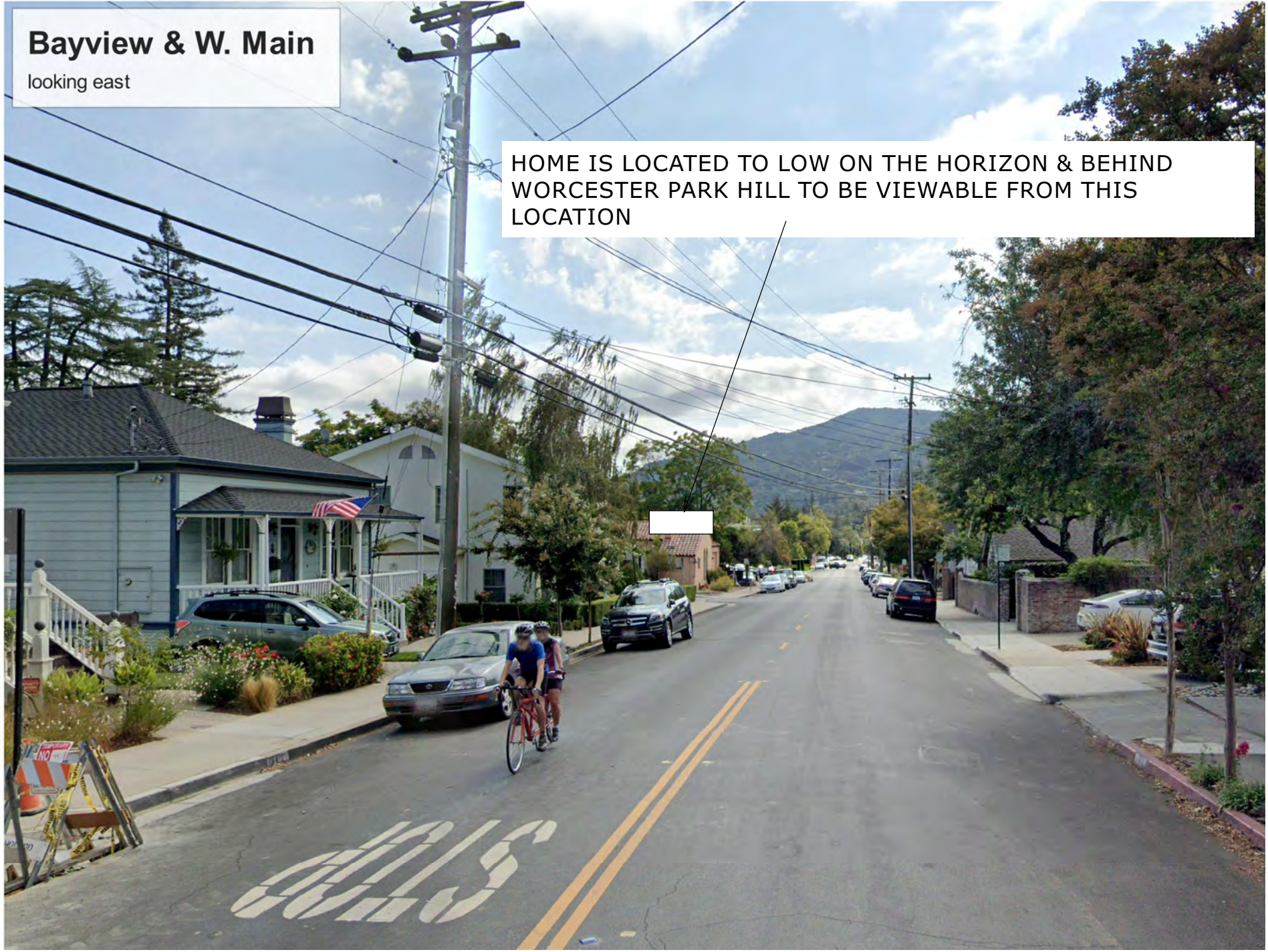


HOME IS LOCATED ON OTHER SIDE OF THIS RIDGE AND NOT VISIBLE FROM THIS LOCATION.



Town of Los Gatos Hillside Area
and Viewing Area Map

Bayview & W. Main
looking east



HOME IS LOCATED TO LOW ON THE HORIZON & BEHIND WORCESTER PARK HILL TO BE VIEWABLE FROM THIS LOCATION

Blossom Hill & L.G. Blvd.
looking south



HOME IS LOCATED TO LOW ON THE HORIZON TO BE VISIBLE FROM THIS LOCATION.

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
VIEWING AREA PLAN

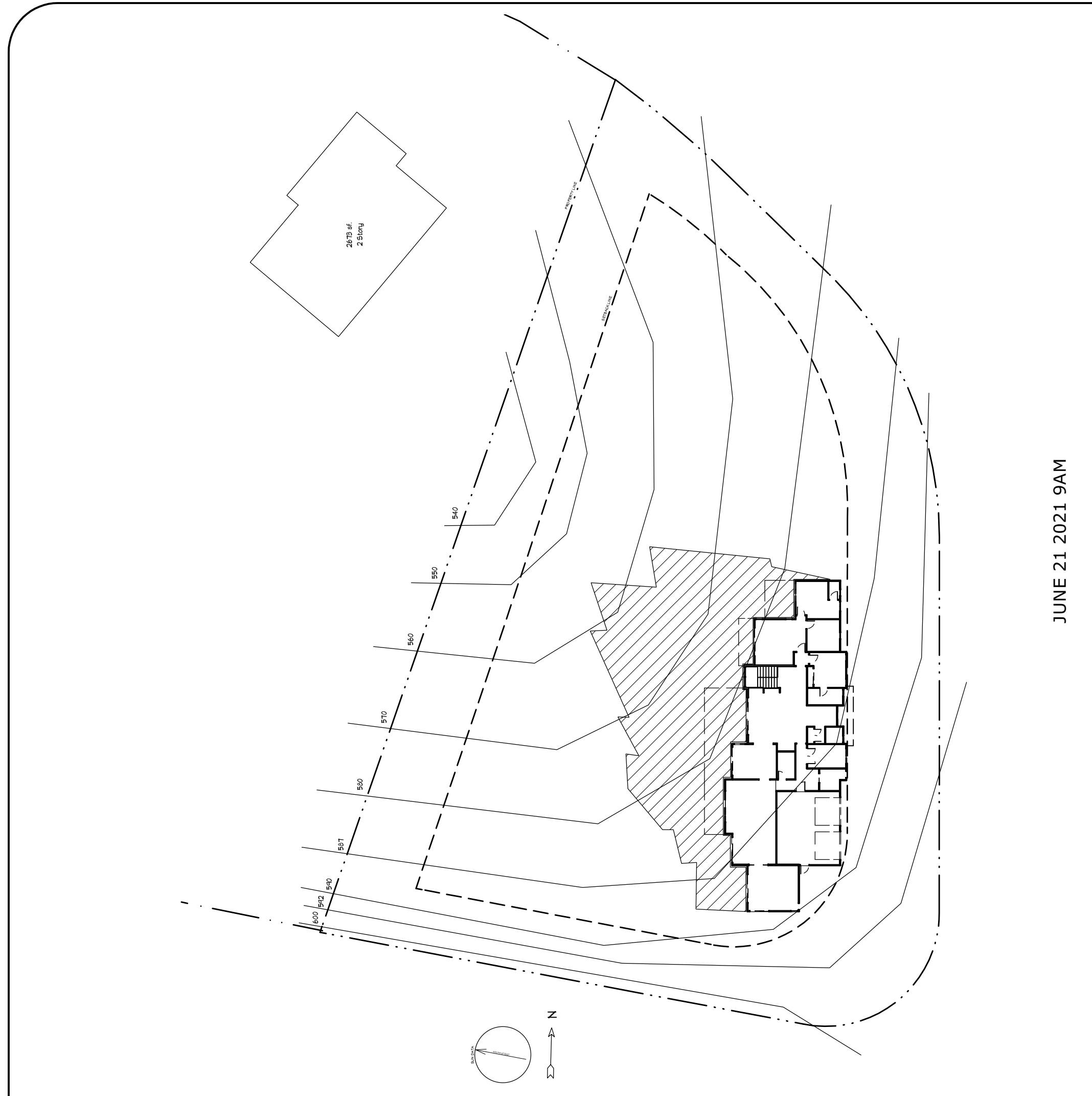
WADE RESIDENCE
17121 CRESCENT DR.
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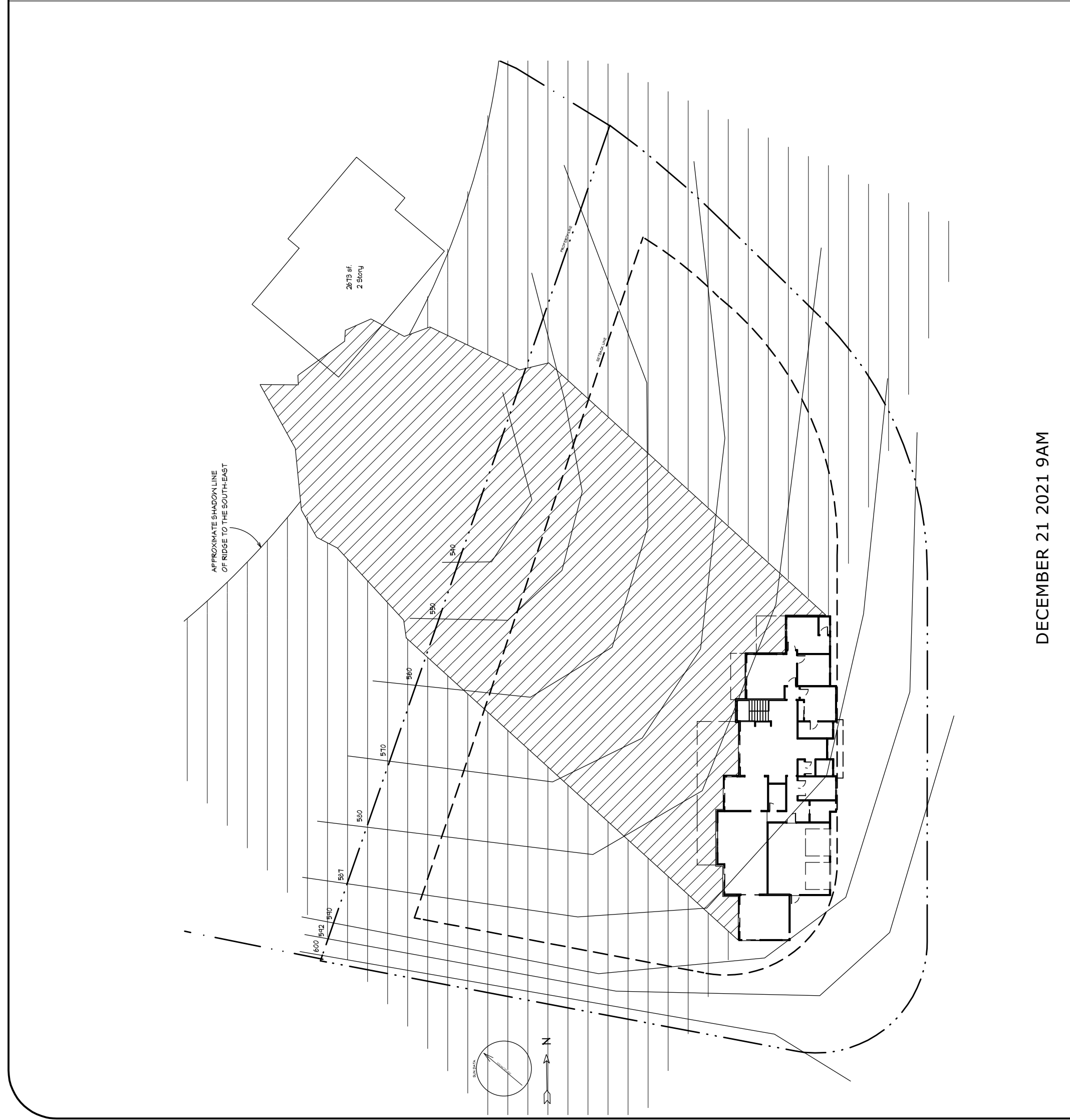
DATE:
4-22-2022

SCALE:

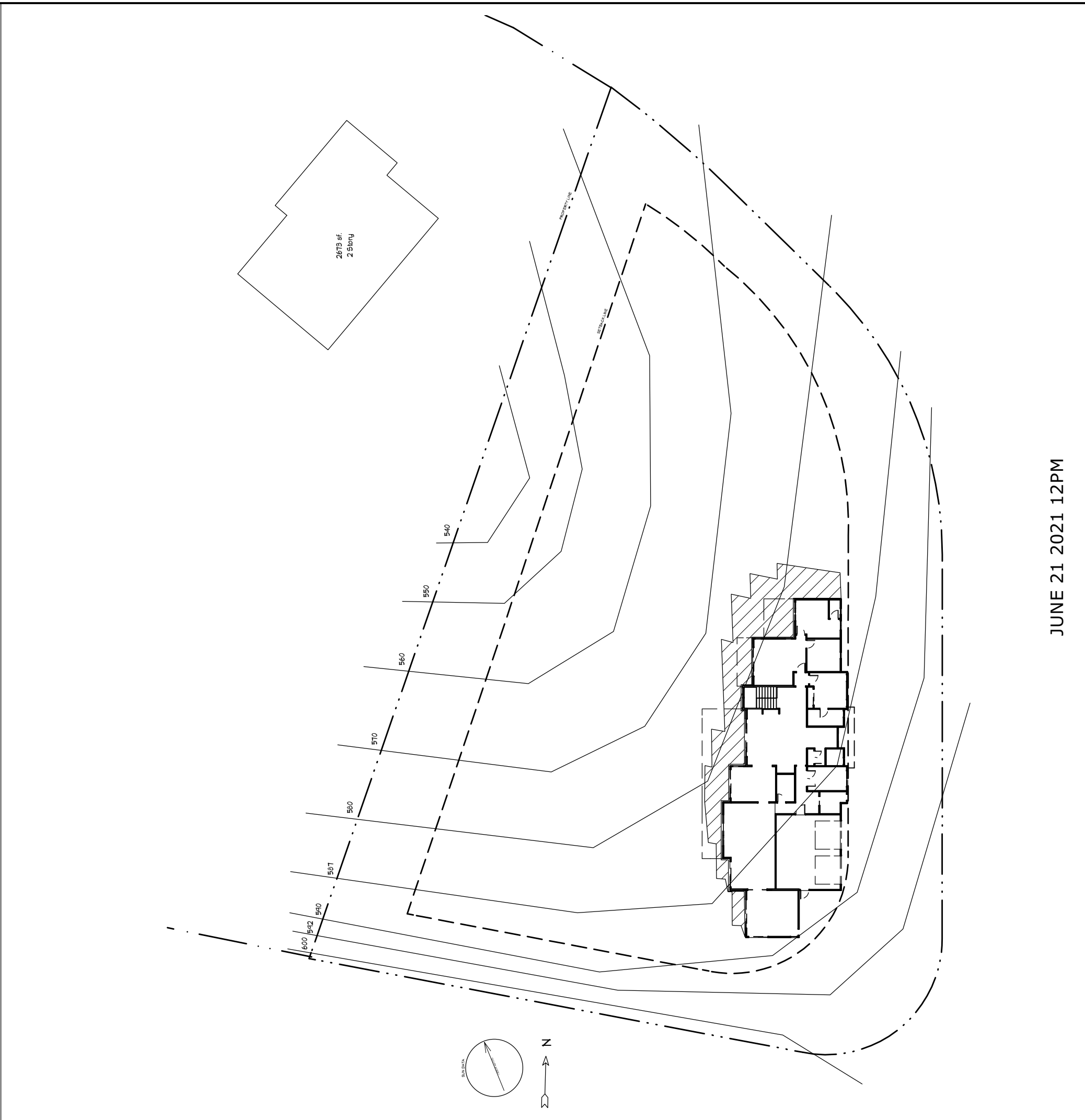
SHEET:
14



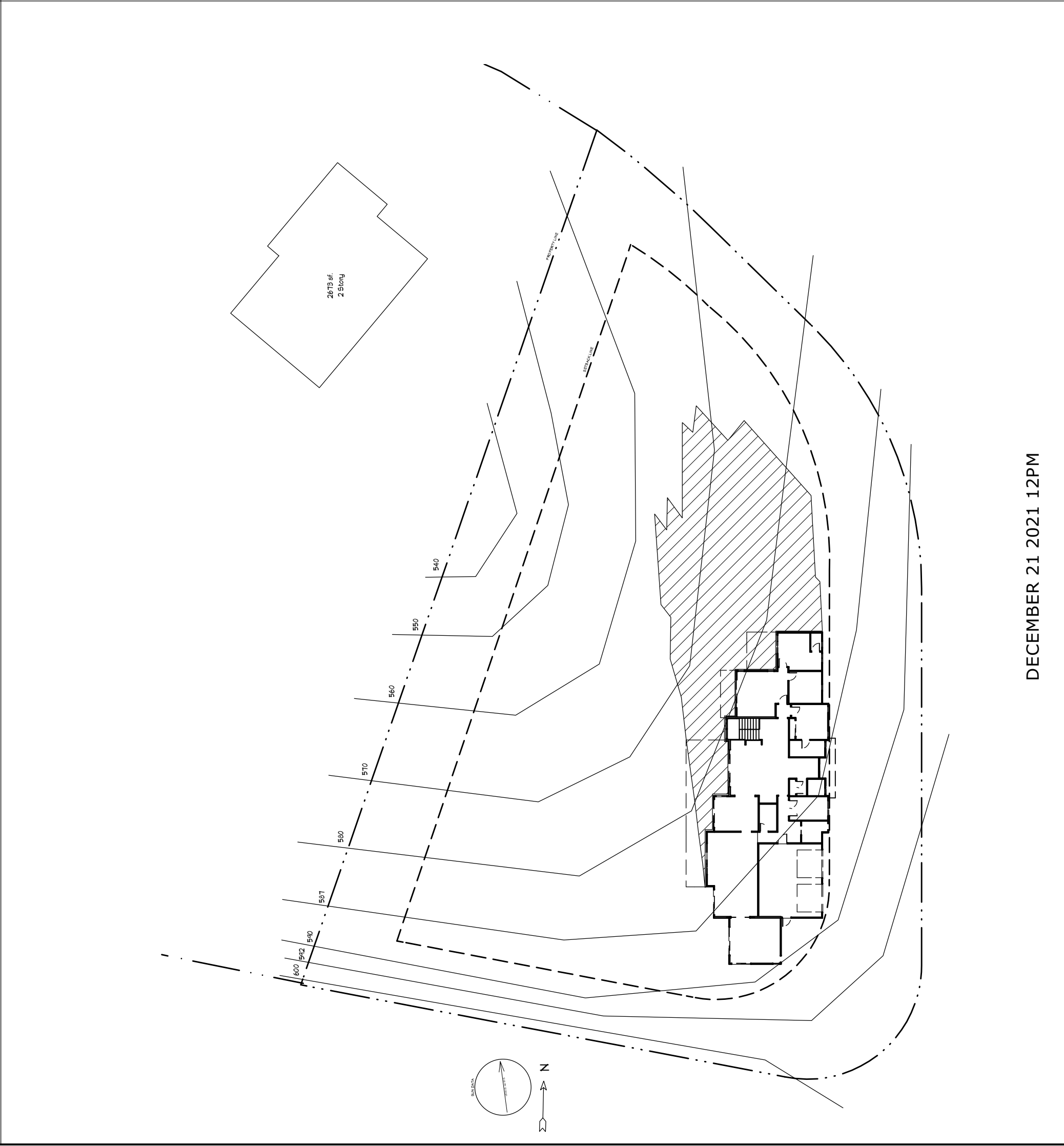
JUNE 21 2021 9AM



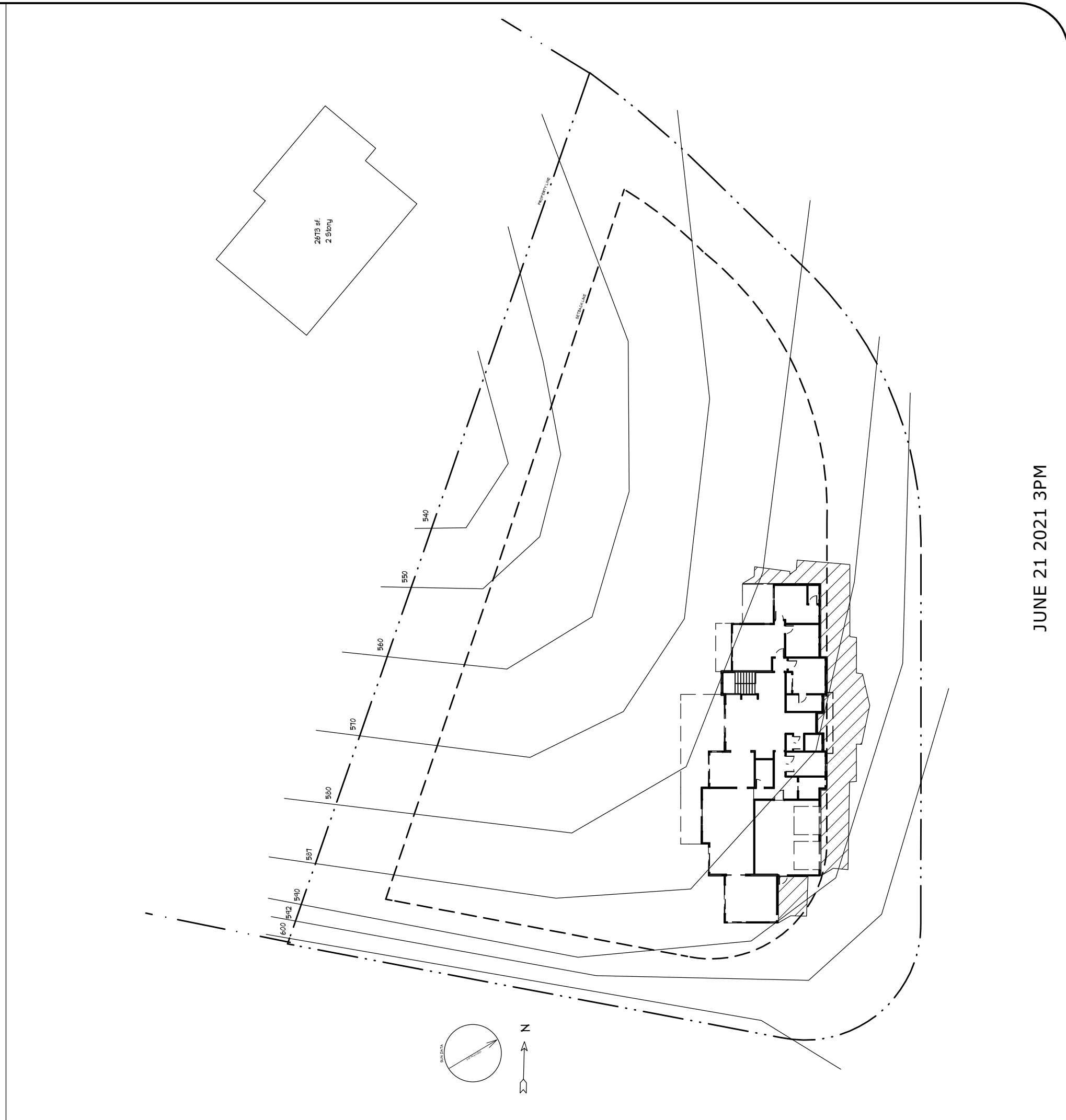
DECEMBER 21 2021 9AM



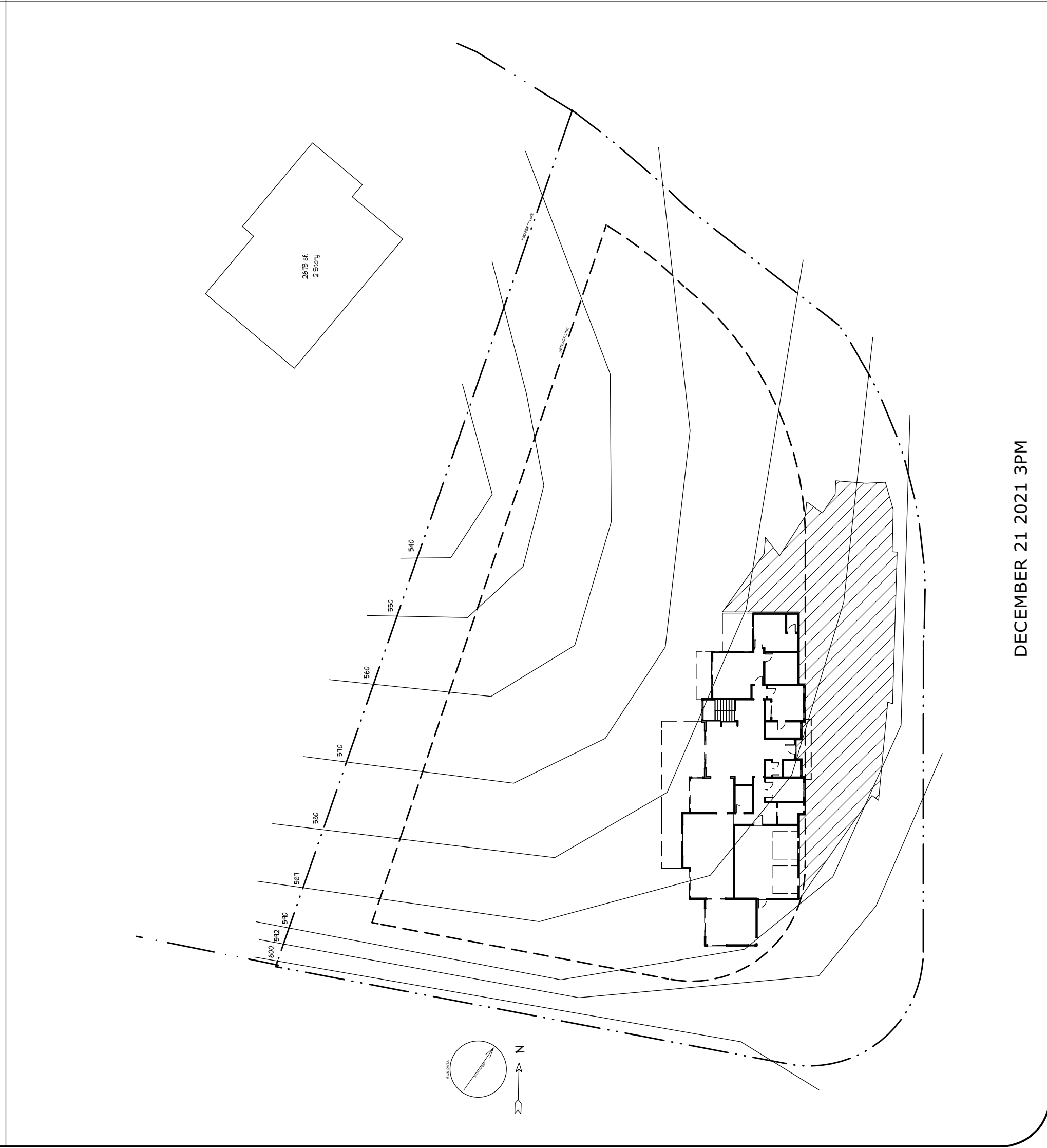
JUNE 21 2021 12PM



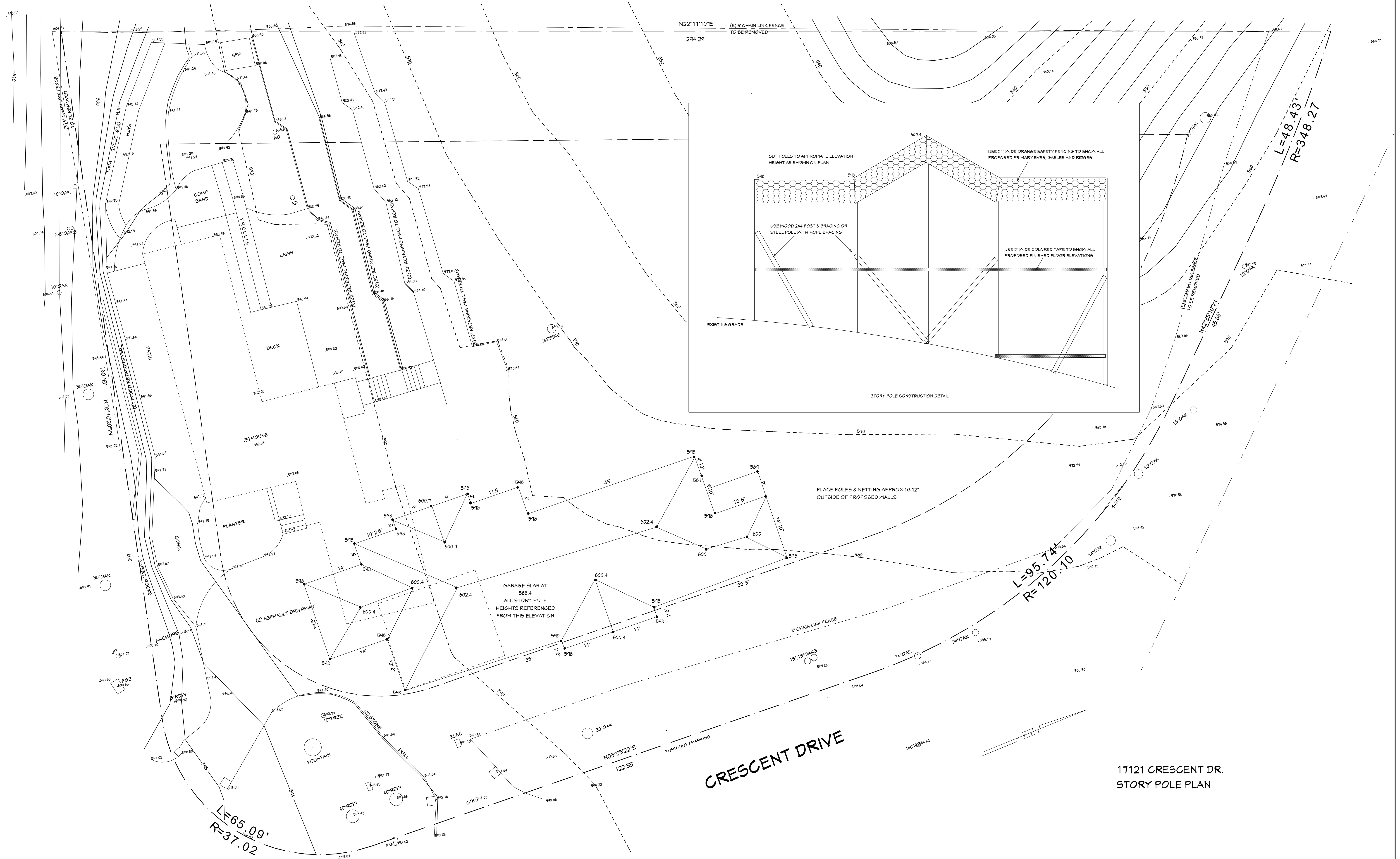
DECEMBER 21 2021 12PM



JUNE 21 2021 3PM



DECEMBER 21 2021 3PM



REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
STORY POLE PLAN

WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

DRAWINGS PROVIDED BY:
WADE CONSTRUCTION
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MONTE SERENO CA. 95030
408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:

CRESCENT DR. ROAD STUDY

N

←→

KEY

22'

3%

FIELD MEASUREMENT ROAD SURFACE WIDTH

DOWN SLOPE DIRECTION & PERCENTAGE

ROAD EASEMENT BOUNDARY

EDGE OF ASPHALT

ROAD CENTERLINE

PRIVATE PROPERTY LINE

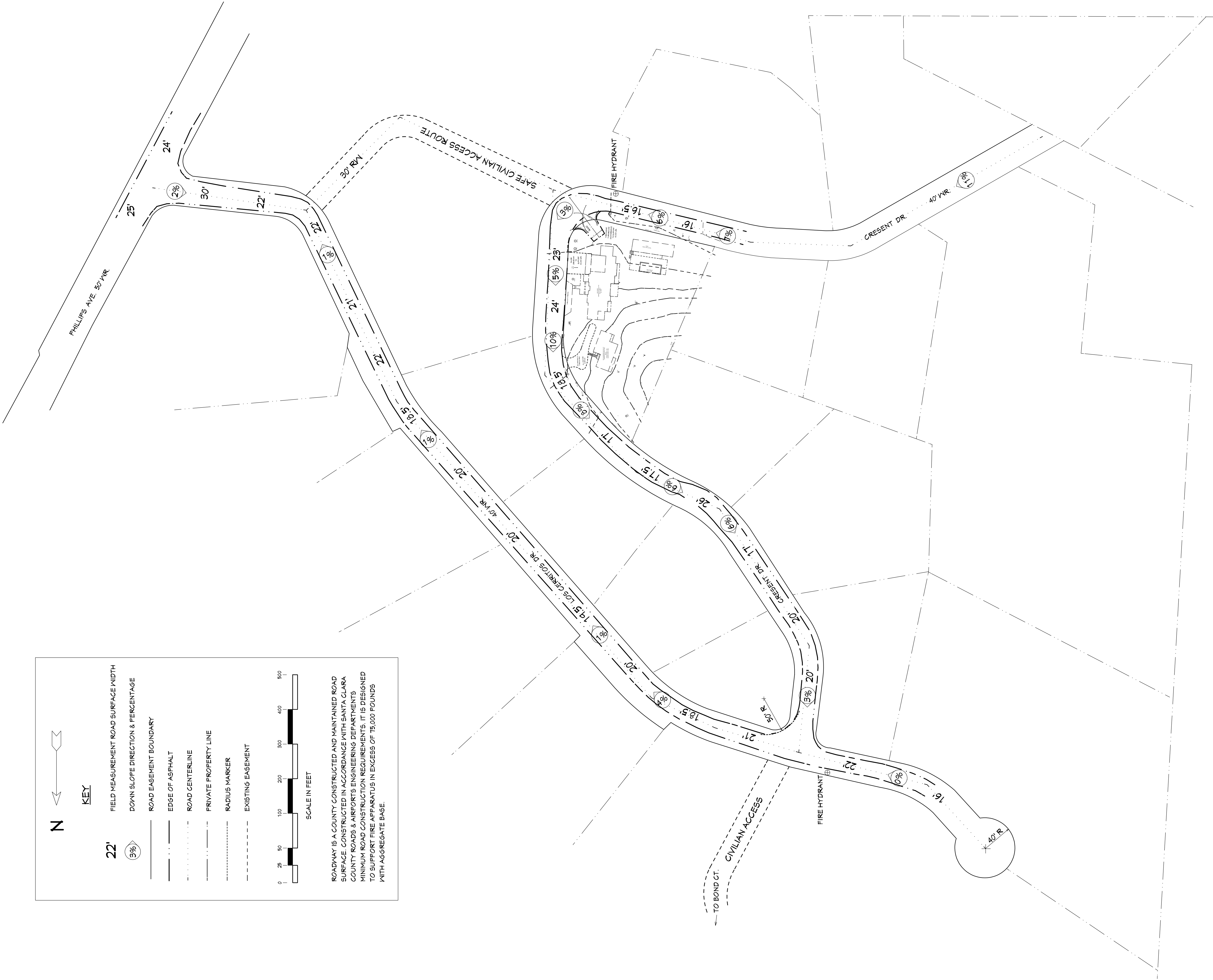
RADIUS MARKER

EXISTING EASEMENT

025100200300400500

SCALE IN FEET

ROADWAY IS A COUNTY CONSTRUCTED AND MAINTAINED ROAD SURFACE. CONSTRUCTED IN ACCORDANCE WITH SANTA CLARA COUNTY ROADS & AIRPORTS ENGINEERING DEPARTMENTS MINIMUM ROAD CONSTRUCTION REQUIREMENTS. IT IS DESIGNED TO SUPPORT FIRE APPARATUS IN EXCESS OF 75,000 POUNDS WITH AGGREGATE BASE.



WADE RESIDENCE
17121 CRESCENT DR.
LOS GATOS CA. 95030

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17710 BRUCE AV.
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408-314-2755

DATE:
4-22-2022

SCALE:
1/4" = 1'

SHEET:
17

REVISION NO.	DATE
PLANNING REVISION	2/17/2022

SHEET TITLE:
CRESCENT DR. ROAD STUDY

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