

*Anne Bloomfield*

ARCHITECTURAL/CULTURAL SURVEY  
 LOS GATOS RESEARCH

*Owner 1959-90  
 Ross Chickester  
 354-7167  
 another runs shop, has for 31 yrs  
 to Mar 9*

File address 25 W Main

PARCEL MAP INFORMATION

Parcel # 529-01-017 Lot size: 26 front ft. x 121 ft. deep  
 Lot shape: Rectangle  L  Rectangle with small rear jog  Other   
 Location: N  S  E  W side of W M St  Ave  Other   
 distance to cross st: \_\_\_\_\_ ft. N  S  E  W from \_\_\_\_\_  
 at NE  NW  SE  SW corner of Park Ave

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name W Shore Sub? Old Block # \_\_\_\_\_ Old lot # ptn 5

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating + Estimated age 1880s Style Commercial # stories 2

Alterations \_\_\_\_\_

Other Gina's

COUNTY ASSESSOR—PROPERTY CHARACTERISTICS (paste on copy)

Effective date 12-87

APN 529-01-017	ADDRESS 25 MAIN	ST LG 95030	2 ELEVATOR	WALL HEIGHT	18.0 TOT AREA	2,075
CONVL/INDUST	TRA 3-001	NO. UNITS 26	AIR COND NO. FLOORS	SPRINKLER		
USE CODE 55	WIDTH 121	2 OFFICE				
YR BUILT 1	DEPTH 121	LEASABLE .07				

OWNERSHIP SHOWN ON MAPS

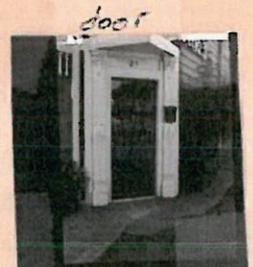
Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				illeg.
Blk Book	1908	32	SE Main + Park		Flora A Martin to Otto Evans
Survey	1941	Blk 71	lots - W 26' of lots Shore Tr. 26 x c. 40		Ora + Otto Evans
LG Mail	16-1-02	1/2	E cor Main St + Park av		"J L Martin's new... Gndy Kitchen"

MISCELLANEOUS

National Register listed date \_\_\_\_\_  
 County Inventory 1979 \_\_\_\_\_  
 Town of Los Gatos: Designation \_\_\_\_\_ Recognition \_\_\_\_\_  
 District Name \_\_\_\_\_

PHOTOS: Roll/frame # 006/35A 37 Date Nov 89

Previous Survey \_\_\_\_\_  
 Gebhard: page # \_\_\_\_\_ illustration page # \_\_\_\_\_  
 Butler/Junior League \_\_\_\_\_



*04/86  
 3145-90*

LOS GATOS HISTORIC RESOURCES INVENTORY

TALLY SHEET

Building or District Name Martin's Sunflower Kitchen

Address(es) 25 West Main

<u>E</u>	<u>VG</u>	<u>G</u>	<u>F/P</u>	<u>Criteria</u>	<u>Total</u>	<u>Adjusted Total</u>
10	5	2	0	Type		
10	5	2	0	Construction		
10	5	2	0	Style		
8	4	2	0	Architect		
25	12	6	0	Design		
<u>8</u>	<u>4</u>	<u>2</u>	<u>0</u>	Interior		<u>15</u>
	5	10		ARCHITECTURE		(Max. 50)
10	5	2	1/0	Age		
15	8	4	0	Person		
10	5	2	0	Event		
<u>15</u>	<u>8</u>	<u>4</u>	<u>0</u>	Patterns		<u>16</u>
	8	6		HISTORY		(Max. 25)
25	12	6	0	Scale/Massing		
8	4	2	0	Setting		
<u>25</u>	<u>12</u>	<u>6</u>	<u>0</u>	Landmark		<u>8</u>
		6		ENVIRONMENT		(Max. 25)
0	-6	-12	125	INTEGRITY		<u>-6</u>

Cumulative Rating:

CUMULATIVE TOTAL

33

60+ = 3 (appears eligible for National Register)

40-59 = 5 (appears eligible for local listing)

23-59 = D (contributor to district rated one of the above)

22- = 6 or 7 (ineligible) or non-contributor

*Anne F. Tomfield*  
ARCHITECTURAL SURVEY  
BUILDING RESEARCH

file address 25 W Main

**PUBLISHED ANNOUNCEMENTS**  
 Source: ASB Bulletin CA&B Call Chron DPS Ed AB EK News PCA Other  
 Nature of announcement: Contract notice Notice of completion BP issued Photo Elev/sketch/render'g Floor plan Arch't/cont'r/pub Real est.  
 Copy exactly: Owner Builder/Contractor Architect/Engineer Location Nature of work Cost

Source: Permit register, Press-com., or . . .	Application Number	Date	Address requested	Location	Use/No. of Units	Cost	Builder/contr. & address	Owner & address	Arch't/engin'r & address	Description of work	Bldg's width/depth/height	Exterior Material	Initials	Date

**OTHER SOURCE (specify thoroughly)**  
 1941 Survey - 1 story 1 story resid, 10 rooms, 27;

Date	Vol/ dif. page	Vac. or dif. bldg	Address	Color: yel, pnk, orange, blu, gry, green	Use	Patches Yes/No	No. of stories	Height (ft)	Sanborn Maps	Vol/ dif. page	Vac. or dif. bldg	Address	Color: yel, pnk, orange, blu, gry, green	Use	Patches Yes/No	No. of stories	Height (ft)	Sanborn Maps	Date of constr.	Describe or sketch plan	Initials	Date
*1904	9	z	"		Misses D	N	1	-														
*1908	10	this	14/14 1/2 W Main	yel.	of bldg.	N	1	-														
1928	22	"	25, 25 1/2 "	"	Camp. Co.	N	1 1/2	-														
1944	"	"	"	"	Notions	Y	"	-														

*Ass Roll - 1915-16  
 Re-evaluate # 7 & 9  
 D. for Martin near 2d fire*



Anne L. Tomfield  
ARCHITECTURAL SURVEY  
ASSESSMENT ROLL RESEARCH

1901  
Cont 1875-1904-1908

File Address 25 West Main

Tract/Block/Lot WC Shore Subl 3/5?

Assessments are filed by last name of property owner, but not necessarily in alphabetical order. Some years there is an index inside the volume or in a separate book. The goal of a search is to find the years when the assessed value of "improvements" (buildings) changed from 0 to over \$500, or when that figure rose by \$500 or more. Write down every year and name you try, including the years when you find nothing. Ditto marks are fine.

Date	Page	Name	-----Lot Identification/Boundaries-----					--Assessment for--		Other Info.
			Tract/ Acres	N Bdy	Block/ E Bdy	Lot/ S Bdy	W Bdy	Land	Improve- ments	
1902	57	Martin Leonard J	Shore Sub			5 W. 20'		\$ 275	\$ 80	
1903	37	"	"			" " "		275	100	
1904	35	"	"			"		275	100	Fixtures etc \$25 Furn. \$25 [also 500]
1905	9	" L J	"			5 (" ")		290	115	
1906	43	"	"			" " "		500	125	
1907	48	"	"			" " "		"	"	
1908	51	"	"			" " "		"	"	
1910	47	" L J	" Tr			" " 26'		625	"	
1912	55	" Floor A	"			" " "		"	"	
1913	58	" "	"			" " "		"	"	no bldg March
1914	59	" "	"			" " "		"	φ	
1919	76	" "	"			" " "		1365	840	
1915	61	" " B	"			" " "		625	700	

1911-19

1917-74  
1918-77

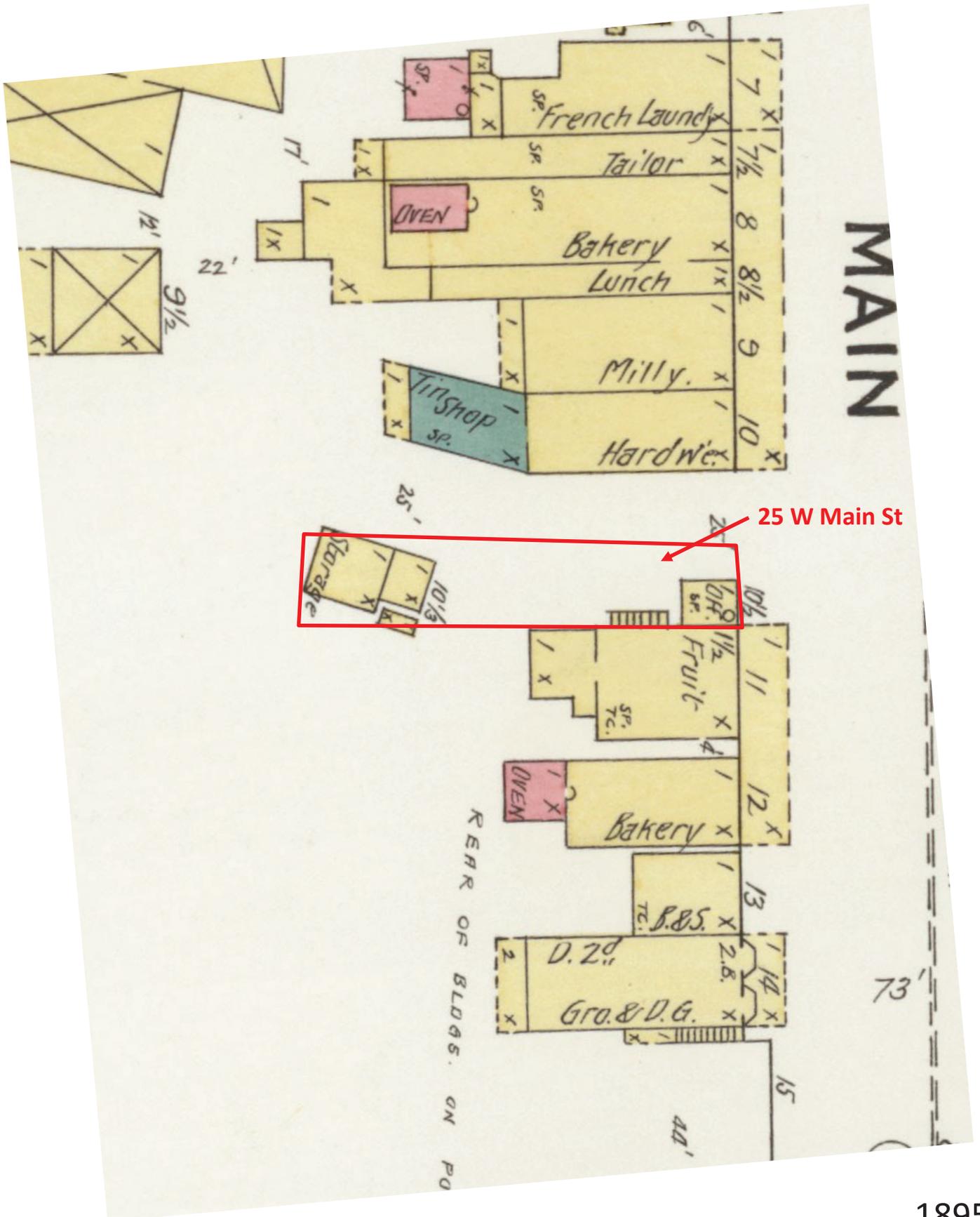
/initials date

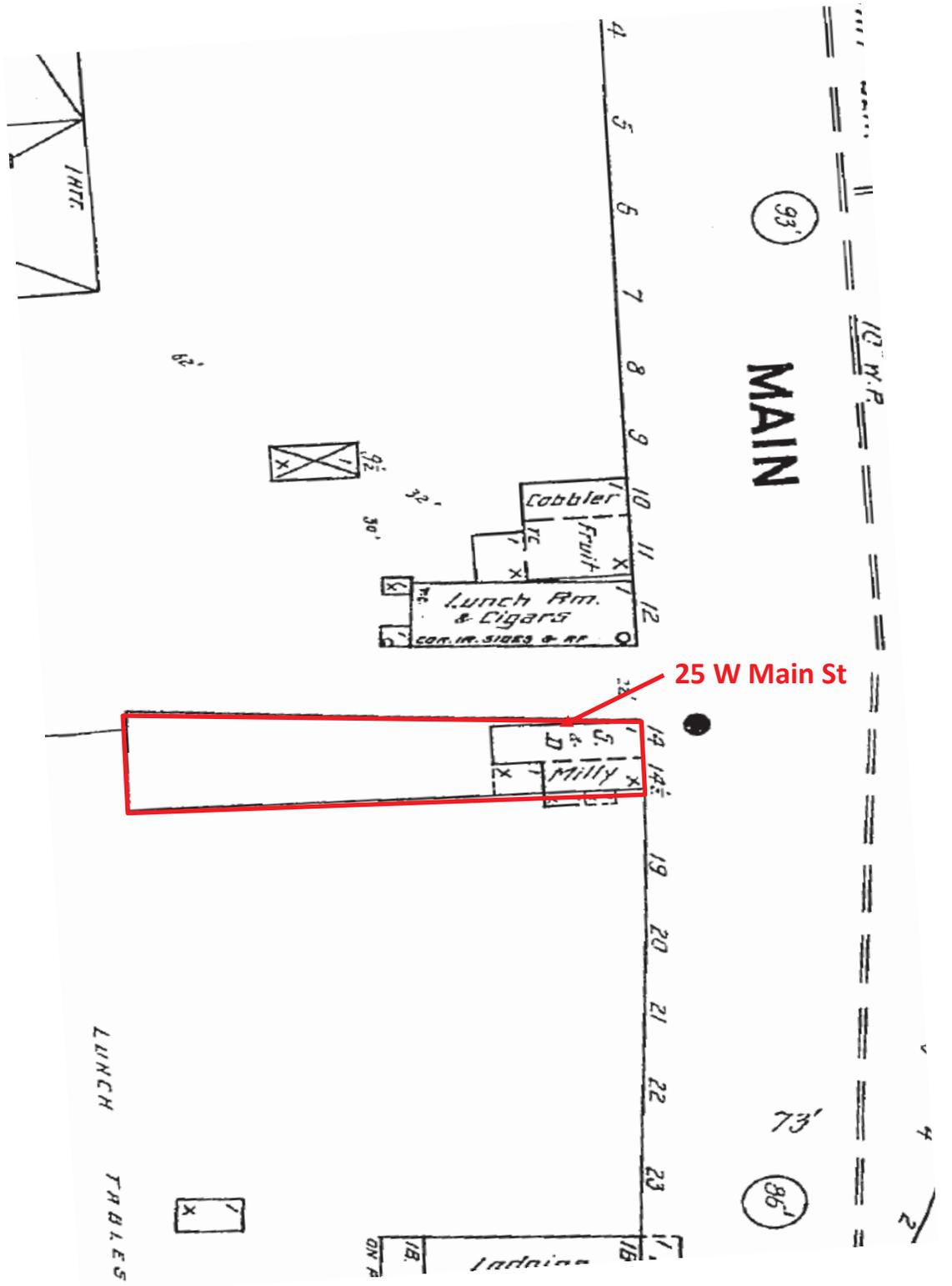
25 West Main

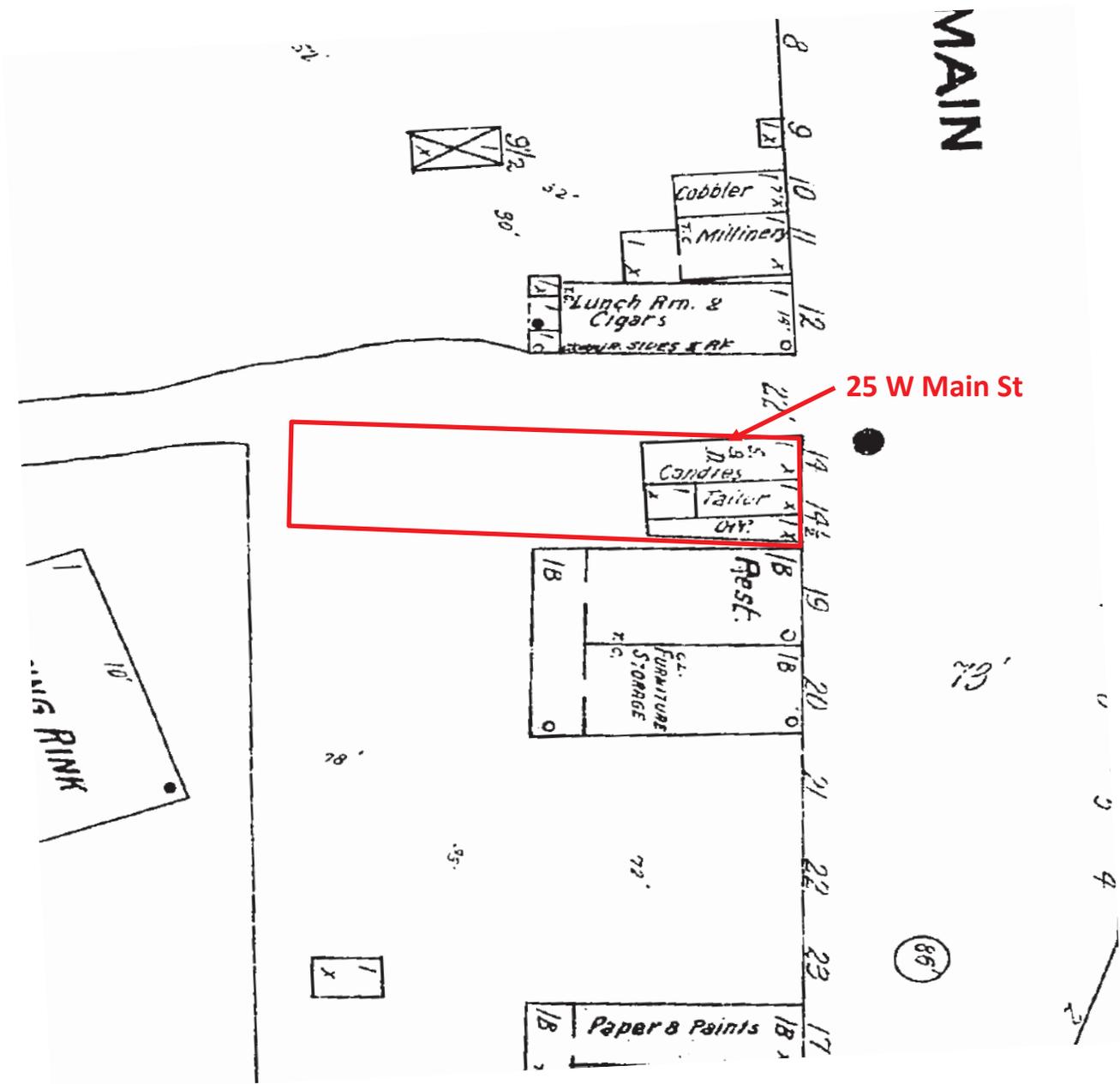
LOS GATOS MAIL, 9 Jan 1902, 8<sup>7</sup>/3 - trestle sidewalk . . . Walk on opposite side from Park to Bridge also complete since last week.

ibid, 16-1-1902, 1/2 - "J.L. Martin's new "Sunflower" candy kitchen at the east corner of Main st & park ave is now all ready for the outside paint, and inside finishing."

LOS GATOS NEWS, 21-2-1902, 3/1 - "L.J. Martin began this week to make Sunflower candy, the kind that pleased so well before the fire--taffy, cream and nut candies, etc."















**TOWN OF LOS GATOS  
HISTORIC PRESERVATION  
COMMITTEE REPORT**

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**MINUTES OF THE HISTORIC PRESERVATION COMMITTEE MEETING  
MAY 25, 2022**

The Historic Preservation Committee of the Town of Los Gatos conducted a Regular Meeting on May 25, 2022 at 4:00 p.m.

This meeting This meeting is being conducted utilizing teleconferencing and electronic means consistent with Town Council Policy 2-01 entitled Town Agenda Format and Rules and Town Resolution. In accordance with Town Policy and Resolution, the public may only view the meeting online and not in the Council Chamber.

**MEETING CALLED TO ORDER AT 4:00 PM**

**ROLL CALL**

Present: Chair Timothy Lundell, Vice Chair Barry Cheskin, Planning Commissioner Kylie Clark, Planning Commissioner Steve Raspe

**VERBAL COMMUNICATIONS**

None.

**CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)**

1. Approval of Minutes – April 27, 2022

**MOTION:**                   **Motion by Vice Chair Cheskin to approve the Consent Calendar.  
Seconded by Commissioner Raspe.**

**VOTE:**                      **Motion passed unanimously.**

## PUBLIC HEARINGS

2. 327 University Avenue

Minor Development in a Historic District Application HS-22-025

Requesting Approval for Construction of Exterior Alterations to an Existing Contributing Single-Family Residence Located in the University-Edelen Historic District on Property Zoned R-1D:LHP. APN 529-04-060.

PROPERTY OWNER: Johan Back and Vibha Rao

APPLICANT: Greenberg Design Gallery

PROJECT PLANNER: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Enrique Eckhaus, Project Designer, Applicant presented the project.

- Underneath the original fireplace is an existing central heater. The chimney is brick from the roof level up. There is nothing underneath. It is fake and not safe.

Committee members asked questions of the applicant.

Enrique Eckhaus, Project Designer

- They opened and looked underneath the fireplace. It is a hazard. The brick flue is in the air. Ginadi can verify. They don't know when and why it was done this way by whomever did this modification.

Ginadi, Project Manager, Contractor

- There are two set of sliders proposed: one in the back and one to the right side of the house. Currently there are French doors that open all the way outside.
- In the beginning of the project, the homeowners asked to keep the look of the house as much as possible. The only concern was the hazard of the fireplaces. They are very tall and may one day collapse. That is the reason to remove them.
- After a few weeks into the project, they investigated the foundation. The rear fireplace has no footing in the foundation. Framing for a door had been put in with the fake fireplace outside.
- Their in-house engineer recommended removal. It is impacting the foundation. Can already see movement in the foundation underneath the fireplace.
- The door openings will change from 6 to 8 feet tall. They thought sliders that open to the side would make it more comfortable for the owners. If preferred, the doors can go back to French doors.

Jonah Back, Owner

- They are flexible on the door choices. But the chimneys missing the foundation is concerning. In the back of the house, they are beginning to see cracks in the ceiling. It is a safety risk.

Closed Public Comment.

Committee members discussed the matter.

- Sliders don't work with the style of the house. French doors would retain the historic look of the house.
- Need written documentation about the chimneys being structurally unsound.
- Were the chimneys a late addition and not historical?
- The chimneys are aesthetically pleasing. But if the applicant feels unsafe, can the chimneys be fixed?
- Is it a major or minor job to make the chimneys sound?
- Continue for a third review with more information about the chimneys.

**MOTION:**                    **Motion by Commissioner Raspe** to continue this item to June 22, 2020 for additional information on the two chimneys and sliders. **Seconded by Commissioner Clark.**

**VOTE:**                    **Motion passed unanimously.**

3. 16405 Kennedy Road  
Historic Review Request PHST-22-006

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:10. APN 532-15-002.

PROPERTY OWNER: Fevzi and Sevil Karavelioglu

APPLICANT: Tony Jeans

PROJECT PLANNER: Jocelyn Shoopman

Jocelyn Shoopman, Associate Planner, presented the staff report.

Opened Public Comment.

Tony Jeans, Applicant presented the project.

- In 2012 this property was brought to the Historic Preservation Committee (HPC) by a potential buyer. HPC decided there was no historic value. The current owner is considering a SB 9 lot split. Items that were wrong have been addressed. Windows are now vinyl or metal. The property was not included in the Sanborn and Bloomfield maps. Determined that no one of significant stayed there.

Committee members asked questions of the applicant.

Tony Jeans, Applicant

- In 2012, this property was brought to the HPC by a potential buyer. HPC decided it had no historic value. After 2012, there was no major renovations. There were mainly Interior changes and some roof work done. Nothing was done to restore its historic integrity.

Committee members discussed the matter.

- Seems reasonable due to its condition and lack of historical significance.
- Findings were met.

**MOTION:**       **Motion by Vice Chair Cheskin to Approve a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:10. Located at 16405 Kennedy Road. **Seconded by Commissioner Clark.****

**VOTE:**           **Motion passed unanimously.**

**Appeal rights were recited.**

4. 106 Royce Street  
Minor Development in a Historic District Application HS-22-023

Requesting Approval for Construction of Exterior Alterations to an Existing Non-Contributing Commercial Building in the University-Edelen Historic District on Property Zoned C-2:LHP. APN 529-04-025.

PROPERTY OWNER: Rosa Family LLC

APPLICANT: Todd Bayless

PROJECT PLANNER: Savannah Van Akin

Savannah Van Akin, Assistant Planner, presented the staff report.

Opened Public Comment.

Todd Bayliss, William Kempf Architects, Applicant presented the project

- He is the architect and available to answer questions.

Committee members asked questions of the applicant.

Todd Bayliss, Architect

- He filled out application but did not see any neighborhood compatibility analysis matrix.

Staff

- Their application included photos of nearby structures.

Todd Bayliss, Architect

- He thinks that the existing building is not compatible with the surrounding neighborhood. But they are not proposing anything drastic except more pastel colors.

Todd Bayliss, Architect

- The mural was painted in 1998 by the prior tenant. There were no permits. It has not been maintained. The owner of the building recommended that it be replaced. The tenant has suggested a branding mural that reflects their logo and history. The mural has no significance with the Town.

Closed Public Comment.

Committee members discussed the matter.

- The replacement building falls under the Committee's purview.
- The proposal makes it tidier, nicer, and more modern.
- The original residential use was terminated at some point. The current commercial building was added. Nothing visually links it to the residential neighborhood across the street on University Avenue.
- The proposed plans freshen and clean it up. Maintains its post-modern look. Does not anchor itself to the Victorian/Craftsman look of the University Avenue community.
- It is Post-modern and not Victorian or Craftsman.
- The proposal matches to its current style.
- The building sits empty. Would like to see it in use.
- Give the applicant the option to design with the neighborhood style in mind.
- The Committee could continue the hearing to allow time for the applicant to add a nod to the neighborhood.

Opened Public Comment.

Todd Bayliss, Architect

- They would need the owner's input about adding design elements that fit with the surrounding neighborhood style. It would be a challenge to avoid a weird hybrid style.

Closed Public Comment.

Committee members discussed the matter.

- Staff could work with the applicant to give a nod to the surrounding neighborhood.
- Staff: the Committee reviews existing style and design. Project is bordered by a parking lot and is at the very edge of the University-Edelen Historic District. It is the only

structure facing Royce Street. The applicant can continue to work with the staff and then return to the Committee.

- The applicant should have conversations with staff about how to blend in with the neighborhood without returning to the Committee.
- The original style shall be maintained. The design should blend with or recognize the historic nature of the surrounding neighborhood.

**MOTION:**                   **Motion by Commissioner Raspe** to continue this item to have the applicant work with staff to consider comments made during the meeting to incorporate a nod to the neighborhood, so long as the applicant is willing to do so. **Seconded by Vice Chair Cheskin.**

**VOTE:**                   **Motion passed. 3-1, Commissioner Clark opposed.**

5. 17617 Bruce Avenue  
Historic Review Request PHST-22-008

Consider a Request to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. APN 410-11-008.

PROPERTY OWNER: Ruth and Todd Slyngstad

APPLICANT: Gary Kohlsaat

PROJECT PLANNER: Ryan Safty

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Gary Kohlsaat, Architect, Applicant presented the project

- The property owners recently purchased this property with the intent to replace what is there. The previous addition has obliterated the original house. The style is not significant or historical. No significant resident has lived there, and the home was not designed by a significant architect. Much of the building has been modified and stripped away that it should be taken off the inventory.

Closed Public Comment.

Committee members discussed the matter.

- Significant alterations were made, including a second story done in the 80's.
- No historical significance or style remains.
- The building could benefit from significant reworking.
- It doesn't look historic.
- It is an easy and clear decision.

**MOTION:**                   **Motion by Commissioner Raspe to Remove a Pre-1941 Property from the Historic Resources Inventory for Property Zoned R-1:8. Located at 17617 Bruce Avenue. Seconded by Chair Lundell.**

**VOTE:**                   **Motion passed unanimously.**

**Appeal rights were recited.**

6. 60 Rogers Street

Historic Review Request PHST-22-007

Requesting Approval for Construction of Exterior Alterations (Window Replacement) to a Presumptive Historic Residence (Pre-1941) on Property Zoned R-1:20.

APN 529-33-055.

PROPERTY OWNER/APPLICANT: Kiavash and Emily Baratzadeh

PROJECT PLANNER: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Kia Baratzadeh, Owner/Applicant presented the project

- They bought the house a year ago. They love it. They want to maintain the visual look of the Spanish revival style home. They would like to use the best possible materials to preserve the architecture and visual appeal of the home. The policy for historic properties is to replace like for like windows. The existing wood windows are single paned. They would like to use superior fiberglass windows with interior wood, gridlines, and double-paned Low-E glass for enhanced energy efficiencies. Last winter they ran the heater a lot because of the cold. They wanted to run this project by the Committee before purchasing.

Committee members asked questions of the applicant

Kia Baratzadeh, Owner/Applicant

- They will maintain the look of the windows. Most of the windows are arched at the top. The new arched windows would have wood on the interior side for casement and fiberglass exterior on the exterior.
- Some windows in the kitchen are rectangular and would not need a wood interior.
- The fiberglass windows come pre-painted in a variety of trim color. They could choose a creamy white to match or bronze to go with the Spanish revival style.

Closed Public Comment.

Committee members discussed the matter.

- Concerned about maintaining the look of the windows. Need to see drawings.
- If the arched windows must be custom-made, there would not be a catalogue to see. We could not see the final product until construction.
- Technology has changed. In 2022 window efficiencies have improved with use of new materials but with the look of wood.
- The entire window opening visually stays the same, but the material used will change.
- They should replicate the appearance of the existing windows.

**MOTION:**                    **Motion** by **Chair Lundell** to Approve the Request for Construction of Exterior Alterations (Window Replacement) to a Presumptive Historic Residence (Pre-1941) on Property Zoned R-1:20 subject to the condition that the windows that are being replaced will replicate the existing windows with exception of the materials, where appropriate, the proposed fiberglass clad substitute material. **Seconded** by **Vice Chair Cheskin**.

**VOTE:**                    **Motion passed unanimously.**

**Appeal rights were recited.**

7. 223 Tait Avenue  
Architecture and Site Application S-22-024

Forward a Recommendation of Approval to the Community Development Director on a Request for Technical Demolition of a Non-Contributing Single-Family Residence and Construction of a New Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. APN 510-17-004.

PROPERTY OWNER: Mark and Tammy De Mattei

APPLICANT: Jay Plett, Architect

PROJECT PLANNER: Sean Mullin

Sean Mullin, Senior Planner, presented the staff report.

Opened Public Comment.

Jay Plett, Applicant presented the project

- They intend to remodel and add on to the home in a manner consistent with the Almond Grove neighborhood. The existing house's plaster will remain, though not much is left. They would like to use Anderson Series 1 windows. The fiberglass is superior to wood. They are including an ADU. The project is not over the FAR. They have provided a few comparison photos of a home with a two story addition, and a plaster art and crafts style

home. The original house did not have a style. It was not mentioned in Bloomfield survey. The owner has done neighborhood outreach.

Mark De Mattei, Owner

- He shared his plans and has had some conversations with addresses across the street and to the right of the home. He has been knocking on doors for neighborhood outreach and will continue.

Close Public Comment.

Committee members discussed the matter.

**MOTION:**                   **Motion by Commissioner Raspe to Forward a Recommendation of Approval to the Community Development Director on a Request for Technical Demolition of a Non-Contributing Single-Family Residence and Construction of a New Single-Family Residence Located in the Almond Grove Historic District on Property Zoned R-1D:LHP. **Seconded by Commissioner Clark.****

**VOTE:**                   **Motion passed unanimously.**

8. 33 Walnut Avenue  
Architecture and Site Application S-22-003

Requesting Approval for Technical Demolition of a Pre-1941 Single-Family Residence and Construction of a New Single-Family Residence on Property Zoned R-1:8.  
APN 510-41-007.  
PROPERTY OWNER: Jeffrey Siegel  
APPLICANT: David V. Hernandez, Architect, Heritage Architecture  
PLANNER: Erin Walters

**Vice Chair Cheskin recused himself from Item 8, 33 Walnut Avenue, as his residence is located within 1,000 feet of the subject property.**

Erin Walters, Associate Planner, presented the staff report.

Opened Public Comment.

Jeffrey Siegel, Owner/Applicant presented the project

- This is a review of what was previously approved by the HPC. They want to extend an architectural feature to keep it proportionate to the new front porch. The roof accents are not the same proportion as to the original porch so they will be extended.

Closed Public Comment.

Committee members discussed the matter.

- It is under a 2019 HPC approval with minor modifications.
- The modifications seem minor and non-consequential.
- Seems straight forward and recommend approval

**MOTION:**                    **Motion by Commissioner Raspe** to Recommend for Approval to the Community Development Director for the Technical Demolition of a Pre-1941 Single-Family Residence and Construction of a New Single-Family Residence on Property Zoned R-1:8. **Seconded by Commissioner Clark.**

**VOTE:**                    **Motion passed. (3-0) Vice Chair Cheskin recused.**

**OTHER BUSINESS** (*Up to three minutes may be allotted to each speaker on any of the following items.*)

9. 25 W. Main Street

Minor Development in a Historic District Application PHST-22-009

Preliminary Review for Construction of Exterior Modifications and an Addition to a Contributing Commercial Building in the Downtown Historic Commercial District on Property Zoned C-2:LHP. APN 529-01-017.

PROPERTY OWNER: Reveal Corp.

APPLICANT: Gordon Wong, Gkw Architects

PROJECT PLANNER: Erin Walters

Erin Walters, Associate Planner, presented the staff report

Opened public comment.

Gordon Wong, Munenari Hirata, and Jenny Wong, of Gkw Architects, Applicant presented the project

- This project is trying to preserve the building and grade. They are focusing on accessibility and preserving the front façade. Upgrades will cover fire suppression, building code, accessible parking, and an accessible ramp.

Theresa Warren, Owner

- They are downsizing the project. They want to bring the building back to life. They are not adding footage but improving it with newer windows, and ADA compliance.

Committee members asked questions of the applicant.

Mune, Applicant

- The first floor use is for business/retail and the second floor use is for office.

Gordon Wong, Applicant

- There is no residential use. The use reflects what was previously there. They wanted to keep the second floor use flexible and prevent mechanical, electrical, and plumbing changes. The rear staircase is the only access to the second floor. It touches, as minimally as possible, the exterior walls to maintain the siding, window configurations, and roof.

Closed public comment.

Committee members provided the following comments:

- Relocation of the front door works with the building.
- Supportive of the proposal.

## **ADJOURNMENT**

The meeting adjourned at 5:41 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the May 25, 2022 meeting as approved by the Historic Preservation Committee.

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/s/ Jennifer Armer, AICP, Planning Manager

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ORDINANCE 1843

AN ORDINANCE OF THE TOWN OF LOS GATOS  
AMENDING THE ZONING ORDINANCE  
AFFECTING ZONE CHANGE NO. 84 FROM C-2  
AND C-2-LHP TO C-2-LHP  
(LOS GATOS HISTORIC COMMERCIAL DISTRICT)

THE TOWN COUNCIL OF THE TOWN OF LOS GATOS ORDAINS:

SECTION I.

The district delineated on the attached map is hereby designated historically and culturally significant as the Downtown Commercial Historic District HD-91-1.

SECTION II.

The district is designated to be historically, architecturally, or aesthetically significant for the reasons listed below:

- A. Property: Downtown Commercial Historic District Boundaries:
- North - Elm Street/Old Town Parking Lot
  - South - Main Street
  - East - Los Gatos Creek
  - West - North Santa Cruz Avenue
  - (See Map - Exhibit A)
- B. Historic designation no.: HD-91-1
- C. Description of designation: District
- D. Description of characteristics which justify the designation:

Historical:

Los Gatos' only surviving concentration of reasonably intact historic commercial buildings, the district includes the Town's earliest commercial intersection and half of the 19th century commercial center. Important businesses, institutions and civic leaders were all located here. It continues to be a lively commercial center, and an important component of the Town.

## Architecture:

Styles from Queen Anne and Richardsonian Romanesque, through most of the intervening modes, to Art Deco, all in typical commercial versions with large display windows. Bulk and scale continuity are good; nothing exceeds two-stories, and many buildings are single-story. Most buildings front directly on the sidewalk.

## SIGNIFICANT STRUCTURES:

### Sorenson Plumbing - 21-23 West Main Street

A one-story wood frame building in Mission Revival style, constructed in 1906. In 1941 the property was purchased by Mr. Sorenson when the government forced him to move his plumbing business out of the Foothill Hotel which was then located across the street. Sorenson Plumbing has been here ever since.

### Fretwell Building - 88-98 West Main Street at University Avenue

This Romanesque Revival style building is a one-story imitation stone faced reinforced concrete structure. It is a good example of early heavy reinforced concrete construction. The building was constructed in 1907. The fine detailing of the concrete facade really looks like stone and the storefronts remain basically unchanged. The First National Bank of Los Gatos occupied the building from 1912-1918.

### Rankin Block (Montebello Building) - 123-149 West Main Street

This two-story stucco faced brick commercial building is another example of Mission Revival style architecture. Although two curvilinear parapets have been removed, and the storefronts and applied relief ornamentation on the upper floor have been modified, the building is an important visual anchor for the district. It retains the historic tile hip-roofed towers, exterior stucco, fenestration, ornamental window mullions, comer entrance, brick pilasters, vertical divisions, entrance and hallways for the upstairs. The building was constructed in 1902 following the October 13, 1901 fire. The Post Office was located here from 1917-1948, and from 1932 to the October 17, 1989 earthquake the Chamber of Commerce occupied a portion of the building.

### First National Bank Building - 170 West Main Street

A fine example of Renaissance Revival style architecture, this tall one-story building was constructed in 1920 and was occupied by The First National Bank of Los Gatos until 1955. The lunettes over four windows contain bas relief sculptures of Franciscan Missions.

### Bank of America Building - 198 West Main Street

This stucco faced two-story reinforced concrete building was constructed in 1931-32. The Art Deco style building was occupied by Bank of America until 1963. It was one of the earliest new buildings constructed for the bank after the name changed from Bank of Italy to Bank of America, and includes an enframed window wall composition and a fine zigzag frieze under the ceramic tile roof.

### Hofstra Block (La Canada Building) - 1-17 North Santa Cruz Avenue

Located at the corner of North Santa Cruz Avenue and West Main Street, this building was originally constructed as three partywall structures. The northern most section and the first floor of the center portion were built in 1891. The southern portion was added in 1895, and the second story was added on to the center portion in 1905. A circular bay window with a witch-hat roof projects out from the corner of the building. The structure was remodeled in 1947, 1972, 1976, and following the 1989 Loma Prieta Earthquake, but the building's essential character has remained.

### Bogart Block (Woodmen's Hall) - 18-20 North Santa Cruz Avenue

Constructed in 1907, this two-story reinforced concrete building has Classical Revival ornamentation including rusticated plasters, a modillioned cornice, paneled parapet and arc headed second story windows. The upstairs was at one time the meeting place for the Woodmen of the World. The second story separated from the first floor in the 1989 Loma Prieta Earthquake, but was set back together and strengthened without changing the historic appearance.

### Templeman Hardware Store - 24 North Santa Cruz Avenue

A one-story reinforced concrete building in Mission Revival Style with a combed brick parapet, molded accent blocks and green marble splash panels. Arthur W. Templeman had a hardware store here from the time the building was constructed in about 1921 until 1966.

### Libante's Gem City French Laundry - 11 University Avenue

One of Los Gatos' best examples of Art Deco style, this small stucco faced building was constructed in 1934 for Jacques Libante. The structure was built in the rear yard of the Libante residence, the River Rock Bungalow at 15 University Avenue, and was used for a French hand laundry into the 1960's.

### Charles Warner River Rock Bungalow - 15 University Avenue

This is the only residential structure included in the district. Constructed in the 1920's, the exterior of the one-story bungalow is composed entirely of rounded rock obtained from Los Gatos Creek. The original owner, Charles Wagner, had a barber shop on West Main Street, and Mrs. Alice Wagner conducted her professional photography business here. In the 1930's the owner of the laundry at 11 University Avenue resided in the house.

Properties Included in this District:

<b>ADDRESS*</b>	<b>OWNER</b>	<b>APPROX. DATE CONSTRUCTED</b>	<b>STYLE</b>
1-17 N. Santa Cruz	James and Louise B. Farwell	1894	Queen Anne
6-8 N. Santa Cruz	Rose Taormina	1931	Mission Revival
10-16 N. Santa Cruz (new)*	Michael J., Thomas M. & Timothy C. Bonasera	1970's	Modern
18-20 N. Santa Cruz	Sky Properties	1910's	Classical Revival
19 N. Santa Cruz	Randall D. Reedy	1920's	Mission Revival
21 N. Santa Cruz	Crall Estate	1910's	Classical Revival
24 N. Santa Cruz	Larry J. Arzie et al	1920's	Mission Revival
11-15 University	Theresa Libante	1920's	River Rock Bungalow
14 W. Main	Frank G. & Carol Borgardt et al	1904	Classical Revival
21-23 W. Main	Eleanor L. Sorenson	1901	Mission Revival
25 W. Main	Paul W. Chamberlain & Carol Kasaban	1901	Commercial
33-35 W. Main*	Charles J. & Jo J. Conover	1988	Post Modern
50 W. Main (parking)*	Charles & Constance Beretold	----	Mission Revival
65-117 W. Main*	James & Louise B. Farwell	1902	Googie
78 W. Main	Joreta Sondrol & Britt Fernandez	1901	Colonial Revival
88 W. Main	Charles & Constance Beretold	1902	Richardsonian
100-130 W. Main (remodeled)*	Jane Summers Trustee	1901	Tudor Revival
131 W. Main	Phillip L. Scott	1908	Mission Revival
140 W. Main (ext. remodeled)*	Paul J. & Linda E. Dorsa	1901	----
150 W. Main (remodeled)*	Nino Gallo Trustee et al	1910	Victorian Revival
160 W. Main	Robert L. & Muriel J. Brouwer	1920	Renaissance Revival
180 W. Main (parking)*	Town of Los Gatos	----	----
198 W. Main	Dennis Berry	1931	Art Deco

\*Non-contributing property.

E. Standards for review of new commercial structures and all exterior remodels and additions as required by Section 4.86.180 are as follows:

1. **Contributing Buildings:** Buildings which contribute to the district should not be demolished except under exceptional circumstances. Their historic appearance should be maintained, and remodelings should either maintain the existing extent of departure from the documented historic appearance, or shall make the appearance closer to the documented one; remodelings shall not increase the extent of departure from an appearance which can be documented in historic photos (over 50 years old) or similar records.
2. **Setbacks:** Since the historic buildings have no setbacks from the sidewalks on North Santa Cruz Avenue or West Main Street, no new setbacks on these streets will be permitted, either of whole structures or of parts of buildings, except for entrances. However, new upper story additions may be set back to conceal them from view and/or to differentiate them from the historic building.
3. **Heights and Proportions:** Heights and proportions of additions and alterations should be compatible with those of existing structures. New construction should maintain the existing scale and character through compatible design and attention to detail.
4. **Building Facades:** Protected elements include cladding, transoms, parapets, splash panels, display and other windows, entrance vestibules if any, historic tilework, and other detailing.
5. **Siding:** The historic siding should be maintained on all sides of the historic buildings, and it should be matched in repair or rehabilitation. Preferred materials for siding on new construction or additions are stucco or brick, but a single material on all elevations of the buildings. When cleaning is necessary for brick or other masonry, the gentlest means possible should be used; sandblasting will not be permitted because it accelerates deterioration of the building by letting in water.
6. **Building Materials:** The original materials shall be matched as closely as possible when rehabilitating a structure. Modern materials such as plastics or aluminum are discouraged.
7. **Roofs:** Roofs should be concealed behind parapets. The ends of gable roof should not be visible.
8. **Windows and Doors:** Existing historic windows and doors should be retained where possible; if not possible, they should be replicated in kind. The preferred material for doors and windows (except the large display windows) is wood; plastic materials should not be used in place of glass, but glass block may be approved if individual circumstances warrant it. For new construction and additions, windows should be compatible with their surroundings in proportions, size, type, subdivisions, and materials. Transom windows above display windows should be maintained and/or restored; they are encouraged in new construction.

9. Detailing: Historic detailing such as patterned brickwork, cornices, ceramic tile pentroofs, decorative splash panels, molded or bas relief ornament, columns and pilasters should be retained or, if necessary, replicated in kind. New construction may use detailing to creation compatible scale.
10. Color: Brick or stone that is currently unpainted shall not be painted over. Colors should be appropriate to the style and period of the building.
11. Pavement: Historic tilework or mosaic in entrance vestibules should be maintained. Sidewalks should meet Town standards.
12. Other Features: Awnings and other features should be compatible with those on other structures in the district, especially with those on structures nearby.
13. Relation to other codes and guidelines: Nothing in this ordinance shall lessen the requirements of other zoning ordinances or guidelines. Where there is a conflict, the stricter provision shall prevail.

F. Street Furniture

1. Existing electroliers and light standards shall be maintained.
2. Any additions or changes to street furniture shall be compatible with the building style and are subject to Architecture and Site Application approval.

- G. All structures (including accessory buildings) included in the district are regulated by this ordinance and subject to all of the provisions of Chapter 4.86 of the Zoning Ordinance. However, the permit requirements of Section 4.86.120 only apply to work which is considered a material change. A material change is any exterior alteration for which a building permit is required.

SECTION III.

This Ordinance shall rescind Historic Designation HD-73-3, Section 2 of Ordinance 1145, and HD-76-2, Section 2 of Ordinance 1354.

SECTION IV.

This Ordinance was introduced at a regular meeting of the Town Council of the Town of Los Gatos on April 1, 1991 and adopted by the following vote as an ordinance of the Town of Los Gatos at a regular meeting of the Town Council on April 15, 1991.

COUNCIL MEMBERS:

AYES: Randy Attaway, Steven Blanton, and Mayor Brent N. Ventura

NAYS: None

ABSENT: None

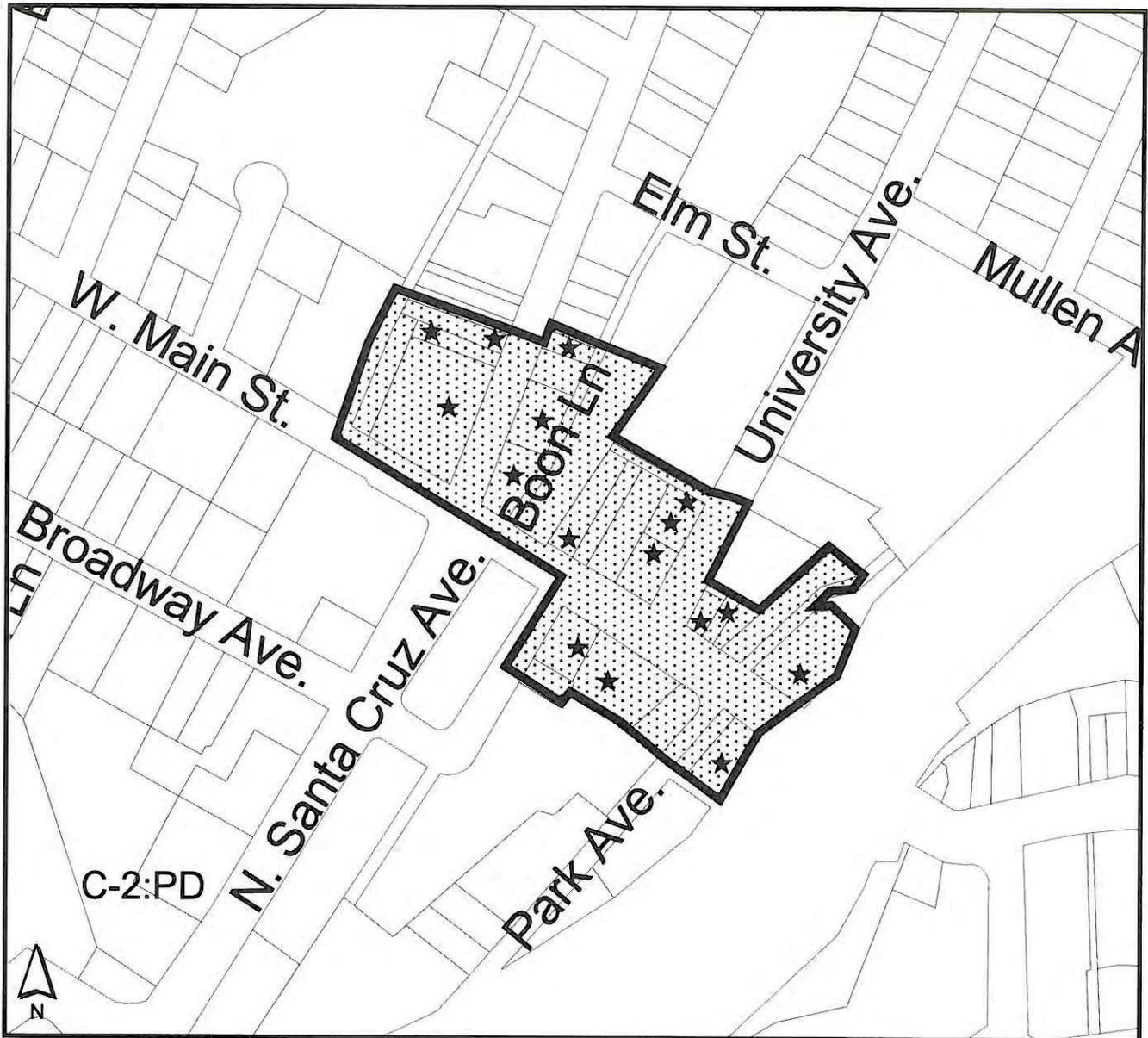
ABSTAIN: Joanne Benjamin, and Eric D. Carlson

SIGNED: /s/ Brent N. Ventura  
MAYOR OF THE TOWN OF LOS GATOS  
LOS GATOS, CALIFORNIA

ATTEST:

/s/ Marian Y. Cosgrove  
CLERK OF THE TOWN OF LOS GATOS LOS  
GATOS, CALIFORNIA

# Historic Commerical District



★ Contributor to District

## TOWN OF LOS GATOS

Exhibit A

Application No. HD-91-1

Change of zoning map amending Town Zoning Ordinance  
Zone Change from C-2 & C-2-LHP to C-2- LHP

APPROVED by Planning Commission

Date 2-13-91

APPROVED by Town Council

Date 4-15-91 Ord. 1843

Town Clerk \_\_\_\_\_ Mayor \_\_\_\_\_



Gkw Architects, Inc., AIA, Architect, LEED GA, CSLB  
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408-796-1845 | Gordonkwong@Gkwarchitects.com  
[www.gkwarchitects.com](http://www.gkwarchitects.com)

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June 19th, 2022

Town of Los Gatos  
Community Development Department  
110 E. Main Street, Los Gatos CA 95030

### **Project Description**

Project Location: 25 W Main St. Los Gatos, CA 95030  
Owner: Reveal Corp, 655 North First St. Suite 550, San Jose, CA 95112  
Application: Architecture and Site Application and Variance Application

The subject property located at 25 W Main Street, Los Gatos, CA has an existing 2-story historical building on a gross lot size 3,133 SF. The scope is a tenant improvement 2,170 SF and addition 243 SF for circulation space with a stairway. Site adjustments include two parking spaces with an accessible ramp and steps to a rear entry.

In December 2019, the site was originally approved for a multi-family mixed-use project (Architecture and Site Application S-19-005, Variance V-19-002, and conditional use permit (U-19-001). This new project application significantly reduces the scope, preserves the existing historical building, reduces the amount of required parking, and has less environmental impact.



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710 E. McGlincy Lane, Ste. 109, Campbell, CA 95008  
408-315-2125 | Gordonkwong@Gkwarchitects.com  
[www.gkwarchitects.com](http://www.gkwarchitects.com)

---

**Project Location:** 25 W Main St. Los Gatos, CA 95030  
(Paul W. Chamberlain & Carol Kasaban 1901, Commercial)

**Owner:** Reveal Corp  
655 North First St. Suite 550, San Jose, CA 95112

**Date:** May 3rd, 2022

**Scope of Work:**

A remodel/Tenant Improvement and addition to the historic two-story building. In addition, a new circulation space with a stairway, two parking spaces and a ramp to the new back entry are proposed.

**Town of Los Gatos**

**Historic Preservation Committee/Planning Commission**

A letter of Justification of How the Project Meets the Town's Residential Design Guidelines

This project is to revitalize the historical building to make it more functional and meet the owner's needs by maintaining the value of the exterior simultaneously. The major change to the building is 1) relocation of the front entry and 2) demolition of the storage room in the back and replacing it with code-compliant stairway. The exterior material of the walls and details such as trims will be carefully preserved or replaced in-kind according to the guidelines.

The following ordinances are applicable and included in this project.

**Los Gatos Commercial Design Guidelines District C-2A**

3.2.1 Facades should be setback from public street property lines no more than five feet a) The intent of this guideline is to maintain retail continuity along block fronts in support of a strong pedestrian and retail environment.

3.2.2 Open space on the parcel should be placed away from the front of the parcel

b) Open space should be located at the rear of the parcel or at the sides of the parcel away from the front facade. This open space will allow for rear dining courtyards for restaurants, outdoor display areas for businesses, enhanced entries to courtyards for small retail and personal service uses with an orientation to the fronting street.

3.3.1 Maintain a building front module that is consistent with the remaining block front streetscape

3.3.2 Design buildings along North Santa Cruz Avenue and Main Street to be compatible with traditional architectural styles

3.3.3 Emphasize display windows and storefront entries

3.3.4 Maintain transparent storefronts and public right-of-way walls

3.3.6 Utilize high quality storefront materials

**Ordinance 1843 Los Gatos Historic Commercial District**

5. Siding: The historic siding should be maintained on all sides of the historic buildings, and it should be matched in repair or rehabilitation.



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[www.gkwarchitects.com](http://www.gkwarchitects.com)

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6. Building Materials: The original materials shall be matched as closely as possible when rehabilitating a structure.

7. Roofs: Roofs should be concealed behind parapets. The ends of gable roof should not be visible.

8. Windows and Doors: Existing historic windows and doors should be retained where possible; if not possible, they should be replicated in kind. The preferred material for doors and windows (except the large display windows) is wood; plastic materials should not be used in place of glass, but glass block may be approved if individual circumstances warrant it. For new construction and additions, windows should be compatible with their surroundings in proportions, size, type, subdivisions, and materials.

Transom windows above display windows should be maintained and/or restored; they are encouraged in new construction.

Reference:

Commercial Design Guidelines Town of Los Gatos

- chapter 3 C-2 District
- Appendix A Ordinance 1843 Los Gatos Historic Commercial District

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### SCOPE OF WORK

THIS PROJECT PROPOSES A TENANT IMPROVEMENT AND ADDITION TO THE HISTORIC TWO-STORY BUILDING. SCOPE INCLUDES A NEW CIRCULATION SPACE WITH A STAIRWAY, TWO PARKING SPACES AND A RAMP TO A REAR ENTRY

NET FLOOR AREA		
<b>1ST FLOOR</b>	ENTRANCE:	76 SF
	RETAIL:	742 SF
	ADA BATHROOM:	48 SF
	2 TRASH ENCLOSURE ROOMS:	70 SF
	FIRE RISER ROOM:	16 SF
<b>2ND FLOOR</b>	ONE OFFICE:	131 SF
	ONE CONFERENCE ROOM:	131 SF
	ONE BATHROOM WITH SHOWER & 1/2 BATHROOM:	107 SF
	OPEN LOUNGE AREA/KITCHENETTE:	808 SF
<b>ADDITION</b>	STAIRWAY:	107 SF
	PARKING SPACES (1 ADA PARKING SPACE):	536 SF
	RAMP:	129 SF
	OPEN SPACE:	490 SF

### PROJECT INFORMATION

PROJECT LOCATION:	25 W MAIN STREET
APN:	529 - 01 - 017
PROJECT JURISDICTION:	LOS GATOS
ZONING:	C-2 LHP CENTRAL BUSINESS DISTRICT (LOS GATOS HISTORICAL COMMERCIAL DISTRICT) CENTRAL BUSINESS DISTRICT
GENERAL PLAN USE:	R-2, M, U
OCCUPANCY CLASS:	R-2, M, U
YEAR BUILT/OCCUPIED:	1901
MIN. LOT SIZE:	N/A
GROSS LOT SIZE:	3,132.96 SF
NET LOT SIZE:	2,870.72 SF
AVG. SLOPE OF LOT:	6%
SPRINKLER SYSTEM:	REQUIRED

(E) GROSS FLOOR AREA:	1ST FLOOR: 1,168 SF / 2ND FLOOR: 1,080 SF
(P) GROSS FLOOR AREA:	1ST FLOOR: 1,096 SF / 2ND FLOOR: 1,080 SF
(P) GROSS ADDITION AREAS:	STAIRWAY: 126 SF

DEDICATION SQ. FOOTAGE:	261 SF
-------------------------	--------

FAR:	
ALLOWED:	60 %
EXISTING:	72 %
PROPOSED:	81 %

PARKING SPACE	
REQUIRED, RETAIL/COMMERCIAL:	4
REQUIRED, BUSINESS:	5
(REQUIRED/PROPOSED):	9 / 2

CONSTRUCTION TYPE:	V-B
--------------------	-----

FIRE SPRINKLERS	YES
-----------------	-----

<b>SET BACKS HISTORICAL</b>	
(REQUIRED / EXISTING / PROPOSED)	10'-0" / 11'-1" / 1'-6"
FRONT:	0'-0" / 0'-0" / 0'-0"
SIDE:	0'-0" / 6'-8" / 5'-10"
REAR:	10'-0" / 0'-0" / 0'-0"
STREET SIDE:	4'-0"
MAX. HEIGHT:	22'-0"
EXISTING HEIGHT:	22'-0"
PROPOSED HEIGHT:	22'-0"

### SHEET INDEX

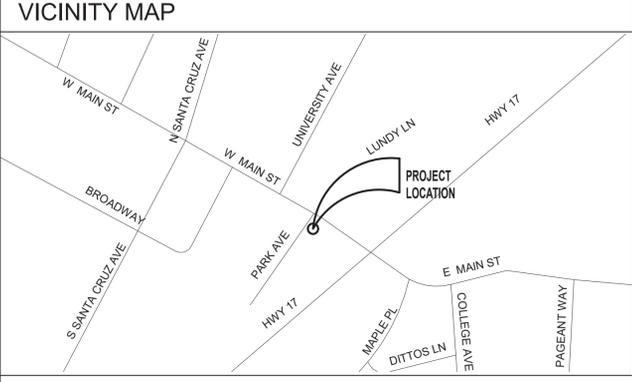
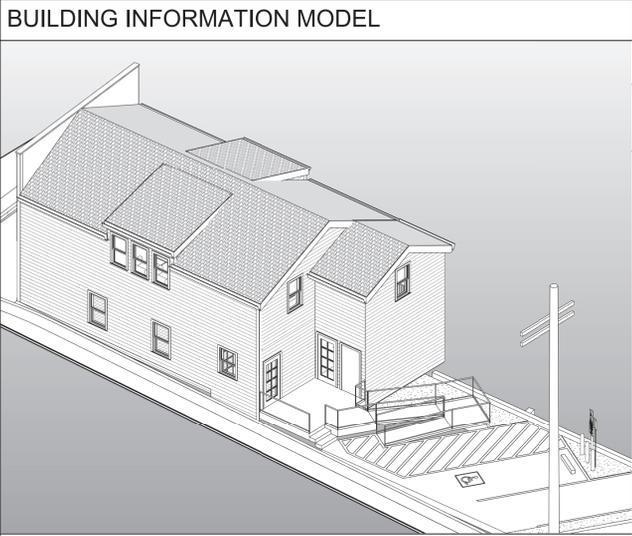
A000	Cover Sheet / Site Plan, Proposed
A001	Site Plan, Existing & Exterior Photos
A002	General Notes & Demolition Plan
A003	Abbreviations & Symbols
A100	Floor Plan, Existing
A101	Floor Plan, Proposed
A200	Elevations, Existing & Proposed

### PROJECT DIRECTORY

<b>OWNER:</b>	REVEAL CORP 675 NORTH FIRST STREET, SUITE 550 SAN JOSE CA 95112 408-314-0077 INFO@REVEALCORP.COM
<b>ARCHITECT:</b>	GKW ARCHITECTS, INC. 710 E. MCGILVER LANE SUITE 109 CAMPBELL, CA 95008 408-315-2125 GORDONKWONG@GKWARCHITECTS.COM

### APPLICABLE CODE

- 2019 CALIFORNIA BUILDING CODES PART 1, 6, 10 & 11
- 2019 CALIFORNIA BUILDING CODES PART 2, 2.5, 3 - 5, 8 - 9, 12
- 2019 CALIFORNIA RESIDENTIAL CODE PART 2.5
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA GREEN BUILDING CODES
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS
- LOS GATOS MUNICIPAL CODE
- 2019 CALIFORNIA HISTORIC BUILDING CODE



### PUBLIC WORKS & PLAN SITE NOTES

- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMPs), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF LOS GATOS.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR REBUILDING OR STRUCTURE PER UBC SECTION 3403.2.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID
- PER CGBSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGBSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 4 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

### FAR CALCULATIONS

(E) LOT SIZE	3,132.96 SF	(E) 1ST FLOOR	1,089.76 SF	(P) 1ST FLOOR	1096.61 SF
(P) LOT SIZE	2,870.72 SF	(E) 2ND FLOOR	1,078.56 SF	(P) 2ND FLOOR	1205.53 SF
<b>FAR</b>	<b>0.6</b>	(E) TOTAL SF	2168.32 SF	(P) TOTAL SF	2301.14 SF
ALLOWABLE SF	1,722.43 SF	(E) LOT SIZE	3,132.96 SF	(P) LOT SIZE	2,870.72 SF
		<b>(E) FAR</b>	<b>0.69</b>	<b>(P) FAR</b>	<b>0.80</b>

### PARKING CALCULATIONS

OCCUPANCY	SF OR UNITS	PARKING PER SF OR PER UNIT	# OF PARKING REQUIRED	# OF PARKING PROVIDED	ADDITIONAL PARKING PER PARKING ASSESSMENT DISTRICT
RETAIL, M	1,080 SF	1 VEHICLE PARKING SPACE PER 300 SF	4	NA	7
BUSINESS, B	1,220 SF	1 VEHICLE PARKING SPACE PER 250 SF	5	2	

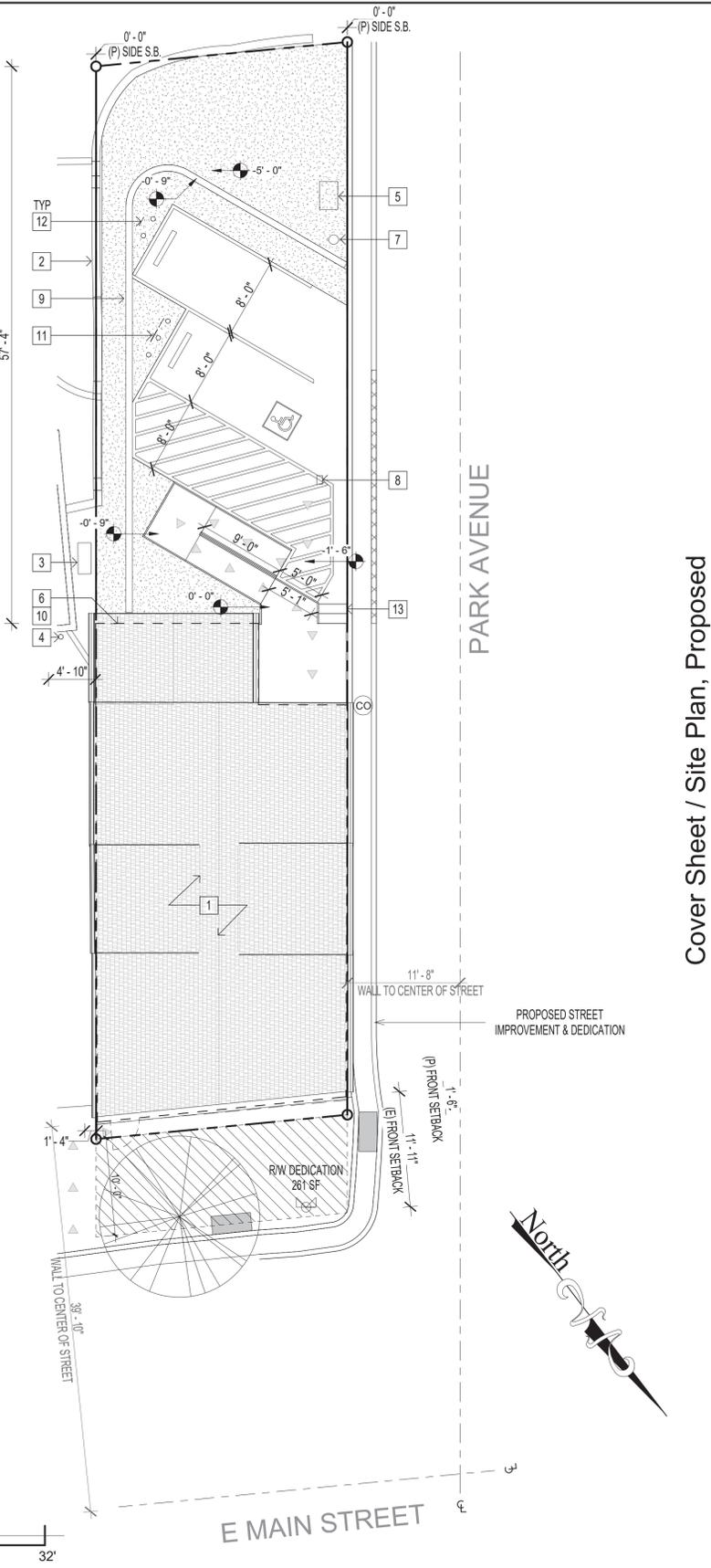
# 25 WEST MAIN ST.

## LOS GATOS — CALIFORNIA

- ### SITE PLAN KEYNOTES
- (E) TWO-STORY BUILDING
  - (E) RETAINING WALL W/ 1-HR RATED ASSEMBLY WALL PER CBC 2019 TABLE 602 (X < 5')
  - (E) SPLIT SYSTEM CONDENSER
  - (E) STORM WATER DRAINAGE
  - (E) PG&E BOX TO REMAIN
  - (P) ELECTRICAL METER, SEE ELECTRICAL PLAN
  - (E) UTILITY POLE TO REMAIN
  - WATER METER TO BE RESURFACED
  - (P) RETAINING WALL, CONCRETE
  - (P) GAS METER
  - (P) VAN ADA PARKING SIGN
  - (P) BACK-IN PARKING ONLY SIGN
  - (P) STEP

- ### LEGEND
- CLEAN OUT
  - HYDRANT
  - SETBACK LINE
  - PROPERTY LINE
  - BUILDING FOOTPRINT
  - (P) ROLLED CURB
  - RIGHT-OF-WAY DEDICATION
  - (P) TRUNCATED DOME
  - (P) ACCESSIBLE PATH OF TRAVEL

- ### NOTES:
- ADA 502.2 VEHICLE SPACESCAR PARKING SPACES SHALL BE 96 INCHES (2440 MM) WIDE MINIMUM AND VAN PARKING SPACES SHALL BE 132 INCHES (3350 MM) WIDE MINIMUM. SHALL BE MARKED TO DEFINE THE WIDTH, AND SHALL HAVE AN ADJACENT ACCESS AISLE COMPLYING WITH 502.3.
  - EXCEPTION: VAN PARKING SPACES SHALL BE PERMITTED TO BE 96 INCHES (2440 MM) WIDE MINIMUM WHERE THE ACCESS AISLE IS 96 INCHES (2440 MM) WIDE MINIMUM.
  - IF ANY EXCAVATION EXCEEDS 5-FEET IN DEPTH OR REMOVES LATERAL SUPPORT FROM AN EXISTING BUILDING, AN ADJACENT PROPERTY, OR THE PUBLIC RIGHT OF WAY, THE PROJECT WILL HALTED UNTIL SHORING PLANS AND CALCULATIONS PREPARED BY A CA LICENSED ENGINEER ARE PROVIDED TO THE TOWN OF LOS GATOS BUILDING DIVISION FOR REVIEW AND APPROVAL. PROJECT MAY RESUME CONSTRUCTION ONCE SHORING PLANS HAVE BEEN APPROVED FOR CONSTRUCTION AND INSTALLED ACCORDING TO APPROVED PLANS.



GORDON K WONG, ARCHITECT LIC# 34049  
 PROJECT REP  
 JENNY C. WONG & MUNENARI HRATA  
 710 E. MCGILVER LANE SUITE 109  
 CAMPBELL, CA 95008 (408) 315-2125  
 GORDONKWONG@GKWARCHITECTS.COM  
 CAMPBELL, CA 95008 (408) 796-1646



25 West Main St.  
 Los Gatos, CA, 95030

Project Schedule Revision		
#	Date	Description

Cover Sheet / Site Plan, Proposed

**A000**

SCALE As indicated

5/17/2022 2:51:54 PM



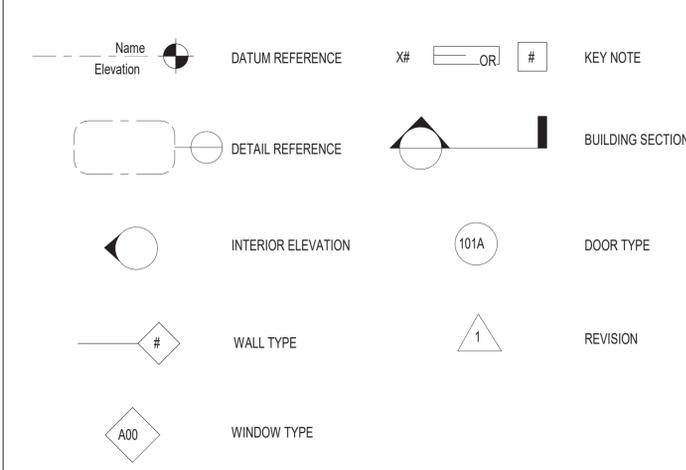
**ABBREVIATIONS**

<b>A</b>	ABV ABOVE	<b>N</b>	NEW
AC	ASPHALT CONCRETE	(N)	NORTH
AD	AREA DRAIN	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NOM	NOMINAL
AFB	ABOVE FINISH FLOOR	NP	NO PARKING
ASPH	ASPHALT	NR	NON-RATED
		NTS	NOT TO SCALE
<b>B</b>	BITUM BITUMINOUS	<b>O</b>	OVERALL
BKG	BACKING	OA	ON CENTER
BLDG	BUILDING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER/ DIMENSION
BR	BACKER ROD	OFCI	OWNER FURNISHED CONTRACTOR
BUR	BUILT-UP-ROOF		INSTALLED
BDR	BEDROOM	OFOI	OWNER FURNISHED OWNER INSTALL
BW	BOTTOM OF WALL		
<b>C</b>	CABINET	<b>P</b>	PROPOSED
CB	CATCH BASIN	PENN	PENETRATION
CEM	CEMENT	PERF	PERFORATED
CF	CUBIC FEET	PERP	PERPENDICULAR
CJ	CONTROL JOINT	PL	PLATE
CL	CLOSE	PL	PROPERTY LINE
CTL	CENTERLINE	PLAS	PLASTER
CLG	CEILING	PLBG	PLUMBING
CONC	CONCRETE	PLWD	PLYWOOD
CPT	CARPET	PNL	PANEL
		POC	POINT OF CONNECTION
<b>D</b>	DECK	PP	PERMEABLE PAVERS
D	DECK	PREFAB	PREFABRICATED
DR	DRAIN	PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
<b>E</b>	EXISTING	PTD	PAINTED
(E)	EAST	PTR	PRESSURE TREATED
E	ELECTRICAL	PTRWDQ	PRESSURE TREATED WOOD
ELEC	ELECTRICAL PANEL		
EP	ELECTRICAL PANEL	<b>Q</b>	QUANTITY
EXT	EXTERIOR	QTY	QUANTITY
<b>F</b>	FOUNDATION	<b>R</b>	REVEAL OR RISER
FDN	FOUNDATION	R	RADIUS
FH	FIRE HYDRANT	RAD	RADIUS
FIN	FINISH	RCP	REINFORCED CONCRETE PIPE
FF	FINISH FLOOR	RD	ROOF DRAIN
FL	FLOW LINE	REF	REFERENCE
FLUOR	FLUORESCENT	REFL	REFLECTED
FOC	FACE OF CONCRETE	REFR	REFRIGERATOR
FOF	FACE OF FINISH	RET	RETAINING OR RETARDANT
FOS	FACE OF STUD	REG	REGISTER
FR	FIRE RATED	REG	REGISTER
FS	FLOOR SINK	SO	ROUGH OPENING
FSL	FIRE SPRINKLER	SCD	SEE CIVIL DRAWINGS
FTG	FOOTING	SCHD	SCHEDULE
FURR	FURRING	SD	STORM DRAIN
<b>G</b>	GALVANIZED	SECT	SECTION
GC	GENERAL CONTRACTOR	SED	SEE ELECTRICAL DRAWINGS
GL	GLASS	SF	SQUARE FOOT OR FEET
GND	GROUND	SHR	SHOWER
GWB	GYPSON WALL BOARD	SHT	SHEET
GYP	GYSUM	SHTG	SHEATHING
<b>H</b>	HARDBOARD	SIM	SIMILAR
HDBD	HARDBOARD	SJ	SEISMIC JOINT
HDR	HEADER	SL	SEALANT
HDWR	HARDWARE	SLD	SEE LANDSCAPE DRAWINGS
HDWD	HARDWOOD	SM	SHEET METAL
HTR	HEATER	SMD	SEE MECHANICAL DRAWINGS
HVAC	HEATING, VENT. & A.C.	SOF	SOFFIT
		SOG	SLAB ON GRADE
<b>I</b>	INCH	SPD	SEE PLUMBING DRAWINGS
IN	INCH	SPEC/C	SPECIFICATION
INCAND	INCANDESCENT	SQ	SQUARE
INSUL	INSULATION	SS	SANITARY SEWER
INT	INTERIOR	SSD	SEE STRUCTURAL DRAWINGS
INV	INVERT	STC	SOUND TRANSMISSION COEFFICIENT
<b>J</b>	JOIST	STD	STANDARD
JST	JOIST	STL	STEEL
JT	JOINT	STOR	STORAGE
<b>K</b>	KIPS	STR	STRUCTURAL
KIT	KITCHEN	SY	SQUARE YARD
KP	KICK PLATE	<b>T</b>	TOP AND BOTTOM
<b>L</b>	LOCATION	T&B	TONGUE AND GROOVE
LT	LIGHT	TC	TOP OF CURB
<b>M</b>	MACHINE BOLT	TOC	TOP OF CONCRETE
MB	MEDIUM DENSITY FIBERBOARD	TOP	TOP OF PAVING
MDF	MECHANICAL	TOS	TOP OF STEEL
MECH	MECHANICAL	TRD	TREAD
MEMB	MEMBRANE	TW	TOP OF WALL
MET	METAL	<b>U</b>	UNDERWRITERS LABORATORIES
MH	MANHOLE	UL	UTILITIES
MSC	MISCELLANEOUS	UTIL	UTILITIES
MTD	MOUNTED	<b>V</b>	VITREOUS CLAY PIPE
MTL	METAL	VCP	VERTICAL
		VERT	VENT THROUGH ROOF
		VTR	VENT THROUGH ROOF
		<b>W</b>	WEST OR WIDTH
		WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		W/O	WITHOUT
		WP	WATER PROOF
		WPT	WORKING POINT
		WR	WATER RESISTANT

**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSE DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GKW ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- BEFORE ISSUANCE OF THE BUILDING PERMIT A SANITARY SEWER HOOKUP PERMIT (OR CLEARANCE LETTER) MUST BE OBTAINED AND A COPY OF THE PERMIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT.

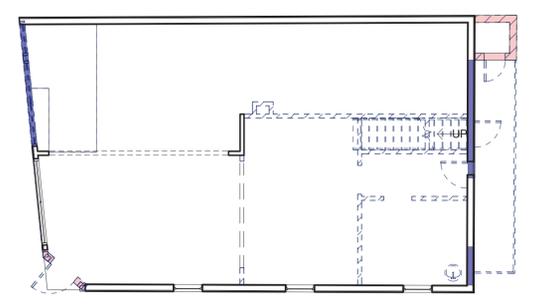
**GRAPHIC SYMBOLS**



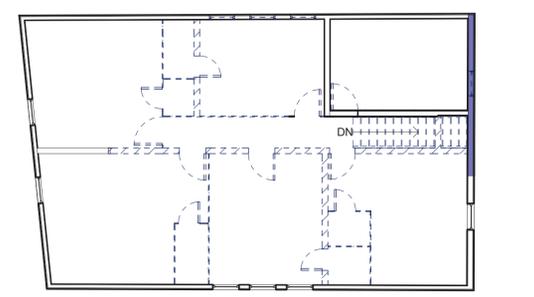
**LOT AREA & IMPERVIOUS AREA**

---	PROPERTY LINE
▨	IMPERVIOUS AREA
▩	STREET DEDICATION
(E)	
(P)	

GROSS LOT AREA	3,132.96 SF
NET LOT AREA	2,870.72 SF
(E) IMPERVIOUS AREA	1,173 SF
(P) IMPERVIOUS AREA	2,340 SF
TOTAL IMPERVIOUS AREA CREATED	1,167 SF



2 Floor Plan, Level 1, Demo  
1/8" = 1'-0"



3 Floor Plan, Level 2, Demo  
1/8" = 1'-0"



**DEMOLITION OF AN HISTORIC STRUCTURE MEANS:**

- REMOVAL OF MORE THAN TWENTY-FIVE (25) PERCENT OF THE WALL AREA FACING A PUBLIC STREET(S) AND/OR FIFTY (50) PERCENT OF ALL EXTERIOR WALL AREA. OR
- ENCLOSURE OR ALTERATION OF MORE THAN TWENTY-FIVE (25) PERCENT OF THE WALL AREA FACING A PUBLIC STREET AND/OR FIFTY (50) PERCENT OF THE EXTERIOR WALL AREA SO THAT THEY NO LONGER FUNCTION AS EXTERIOR WALLS.
- ALL REMAINING EXTERIOR WALL MUST BE CONTIGUOUS. NO NEW EXTERIOR WALL COVERING SHALL BE PERMITTED OVER THE EXISTING EXTERIOR WALL COVERING. THERE ARE EXCEPTIONS FOR REPLACEMENT, REPAIR, OR REMOVAL. PLEASE SEE SECTION 29.10.020 FOR EXCEPTIONS.

**DEMOLITION / ALTERATION BREAKDOWN**

	TOTAL WALL SURFACE (SF)	WALL REMOVAL (SF)	%		TOTAL WALL SURFACE (SF)	WALL ALTERATION (SF)	%
FRONT	374.56	15.57		FRONT	374.56	25.75	
REAR	368	31.46		REAR	368	257.22	
RIGHT	526.84	31.46		RIGHT	526.84	0	
LEFT	536.18	34.77		LEFT	536.18	0	
<b>TOTAL</b>	<b>1805.58</b>	<b>113.26</b>	<b>6.3</b>	<b>TOTAL</b>	<b>1805.58</b>	<b>282.97</b>	<b>15.7</b>

**WALLS TO BE DEMOLISHED FACING PUBLIC STREET**

	TOTAL WALL SURFACE (SF)	WALL REMOVAL (SF)	%		TOTAL WALL SURFACE (SF)	WALL ALTERATION (SF)	%
FRONT	374.56	15.57		FRONT	374.56	25.75	
RIGHT	526.84	31.46		RIGHT	526.84	0	
<b>TOTAL</b>	<b>901.4</b>	<b>47.03</b>	<b>5.2</b>	<b>TOTAL</b>	<b>901.4</b>	<b>25.75</b>	<b>2.9</b>

- REMOVAL ALL WALL AREA      6.3% < 50% = NOT DEMOLITION
- REMOVAL WALL AREA FACING PUBLIC STREET      5.2% < 25% = NOT DEMOLITION
- ALTERATION ALL WALL AREA      15.7% < 50% = NOT DEMOLITION
- ALTERATION WALL AREA FACING PUBLIC STREET      2.9% < 25% = NOT DEMOLITION



4 Elevation, Front, Demo  
1/8" = 1'-0"

**DEMOLITION CALC.**  
(E) TOTAL WALL AREA= 374 SF  
WALL AREA REMOVED = 15.57 SF  
WALL AREA ALTERED = 25.75 SF



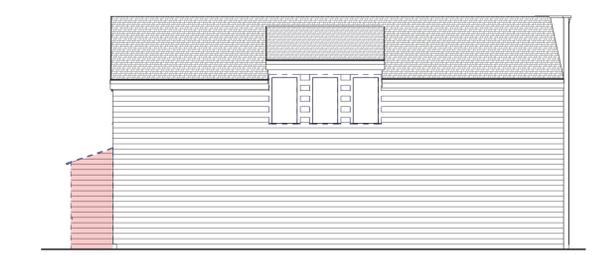
5 Elevation, Right, Demo  
1/8" = 1'-0"

**DEMOLITION CALC.**  
(E) TOTAL WALL AREA= 526.84 SF  
WALL AREA REMOVED = 31.46 SF  
WALL AREA ALTERATION = 0 SF



7 Elevation, Rear, Demo  
1/8" = 1'-0"

**DEMOLITION CALC.**  
(E) TOTAL WALL AREA= 368 SF  
WALL AREA REMOVED = 257.22 SF  
WALL AREA ALTERED = 34.18 SF



6 Elevation, Left, Demo  
1/8" = 1'-0"

**DEMOLITION CALC.**  
(E) TOTAL WALL AREA= 536.18 SF  
WALL AREA REMOVED = 34.77 SF  
WALL AREA ALTERED = 0 SF

**General Notes & Demolition Plan**



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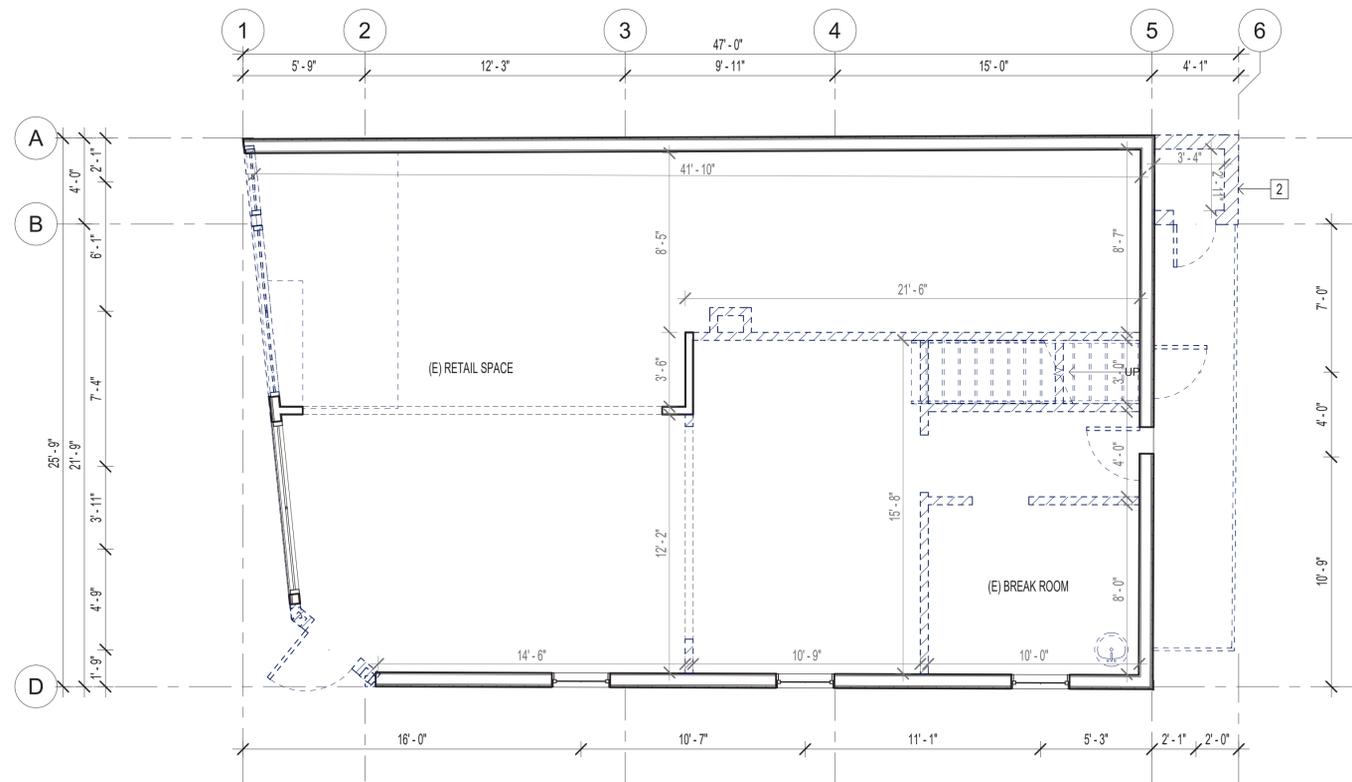


**25 West Main St.**  
**Los Gatos, CA, 95030**

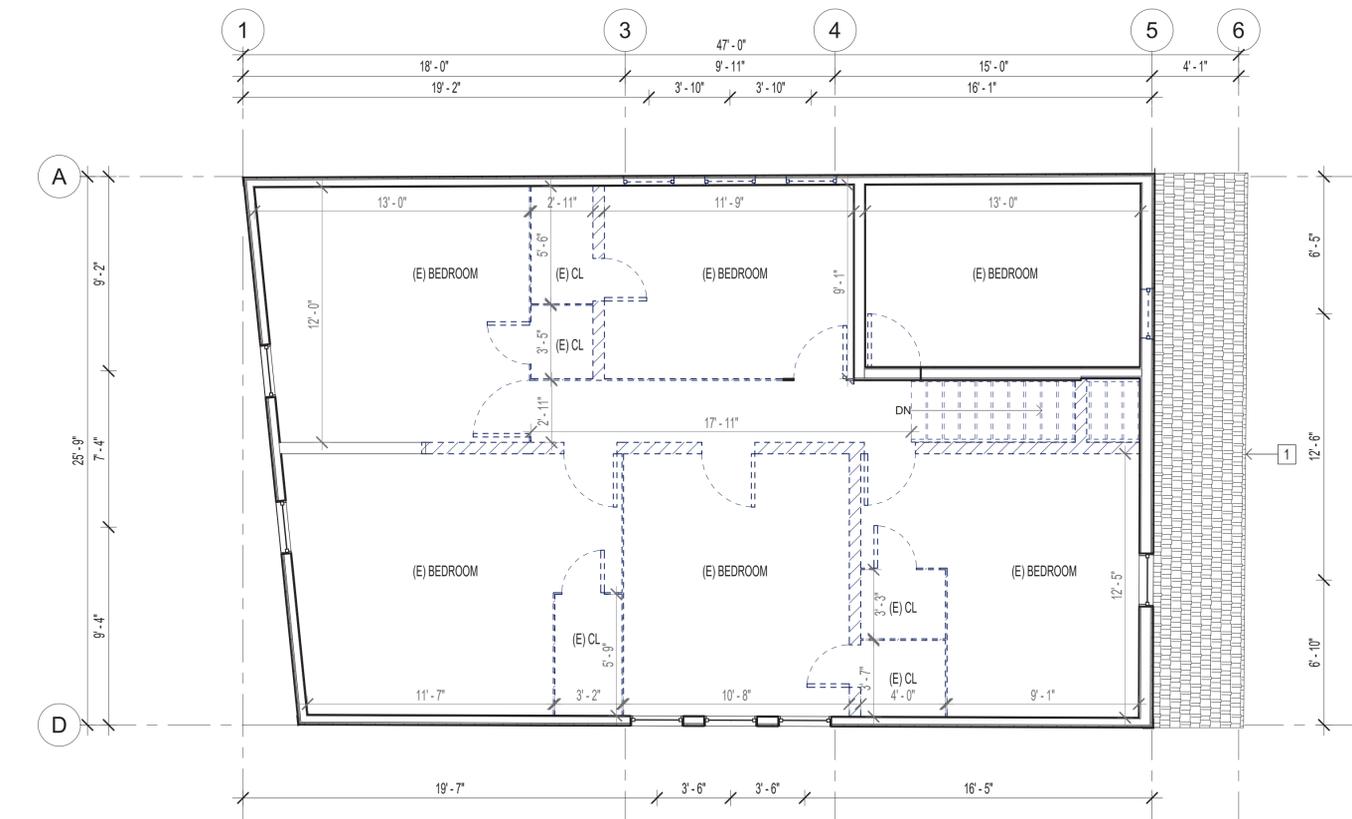
Project Schedule Revision		
#	Date	Description

General Notes & Demolition Plan

**A002**  
SCALE As indicated



1 Floor Plan, Level 1, Existing  
1/4" = 1'-0"



2 Floor Plan, Level 2, Existing  
1/4" = 1'-0"

FLOOR PLAN, LEVEL 1 & 2 EXISTING, LEGEND

- (E) DOOR TO BE DEMOLISHED
- (E) WINDOW TO BE DEMOLISHED
- (E) WALL TO BE DEMOLISHED

FLOOR PLAN, LEVEL 1 & 2 EXISTING, KEYNOTES

- 1 COVERED PATIO TO BE DEMOLISHED
- 2 STORAGE AREA TO BE DEMOLISHED

NOTES:  
EXISTING WALLS ARE NOT IN STRAIGHT ALIGNMENT TO GRIDLINE.  
EXISTING WALLS MUST BE VERIFIED ON SITE.



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Floor Plan, Existing

25 West Main St.  
Los Gatos, CA, 95030

Project Schedule Revision		
#	Date	Description

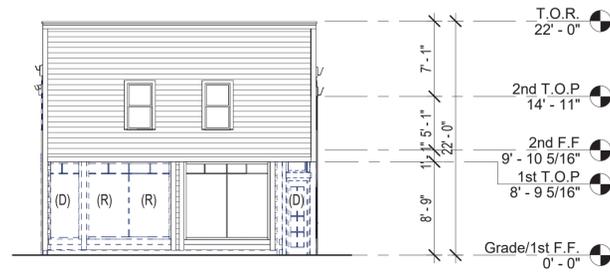
Floor Plan,  
Existing

A100

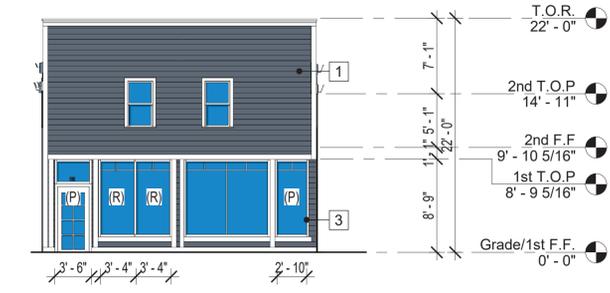
SCALE 1/4" = 1'-0"

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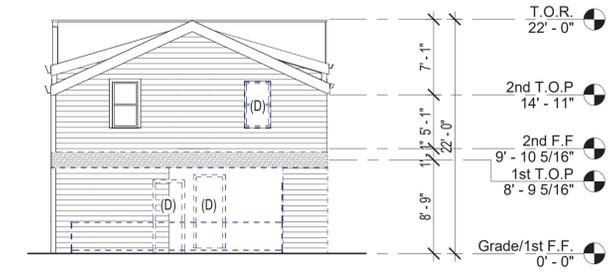




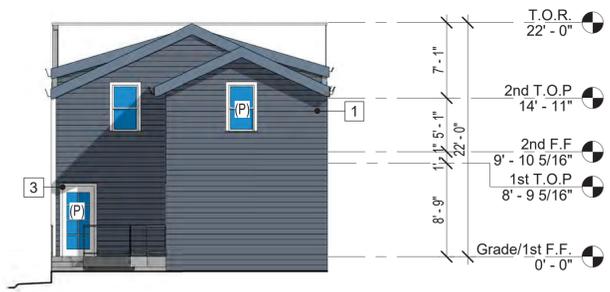
① Elevation, Front, Existing  
1/8" = 1'-0"



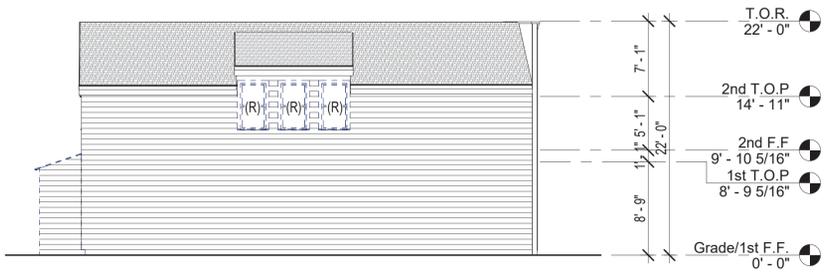
③ Elevation, Front, Proposed  
1/8" = 1'-0"



② Elevation, Rear, Existing  
1/8" = 1'-0"



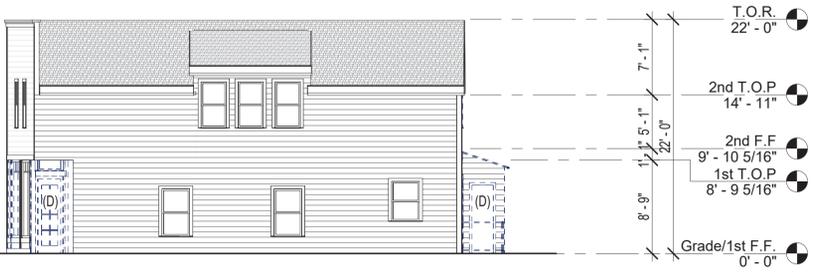
④ Elevation, Rear, Proposed  
1/8" = 1'-0"



⑤ Elevation, Left, Existing  
1/8" = 1'-0"



⑥ Elevation, Left, Proposed  
1/8" = 1'-0"



⑦ Elevation, Right, Existing  
1/8" = 1'-0"



⑧ Elevation, Right, Proposed  
1/8" = 1'-0"

**ELEVATION KEYNOTES**

- ① (P) TONGUE AND GROOVE SIDING TO MATCH EXISTING
- ② (P) CLASS A COMPOSITION SHINGLES TO MATCH EXISTING
- ③ (P) WOOD TRIM TO BE PAINTED TO MATCH EXISTING

**ELEVATION LEGEND**

- (D) TO BE DEMOLISHED
- (P) PROPOSED
- (R) TO BE REPLACED

**MATERIALS**



EXTERIOR SIDING  
COLOR MATCH MINERAL GRAY COLOR SW 2740



ROOFING MATERIAL  
COMPOSITION SHINGLES TO MATCH EXISTING



TRIM  
WOOD TRIM TO MATCH EXISTING

**Elevations, Existing & Proposed**



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25 West Main St.  
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Project Schedule Revision		
#	Date	Description

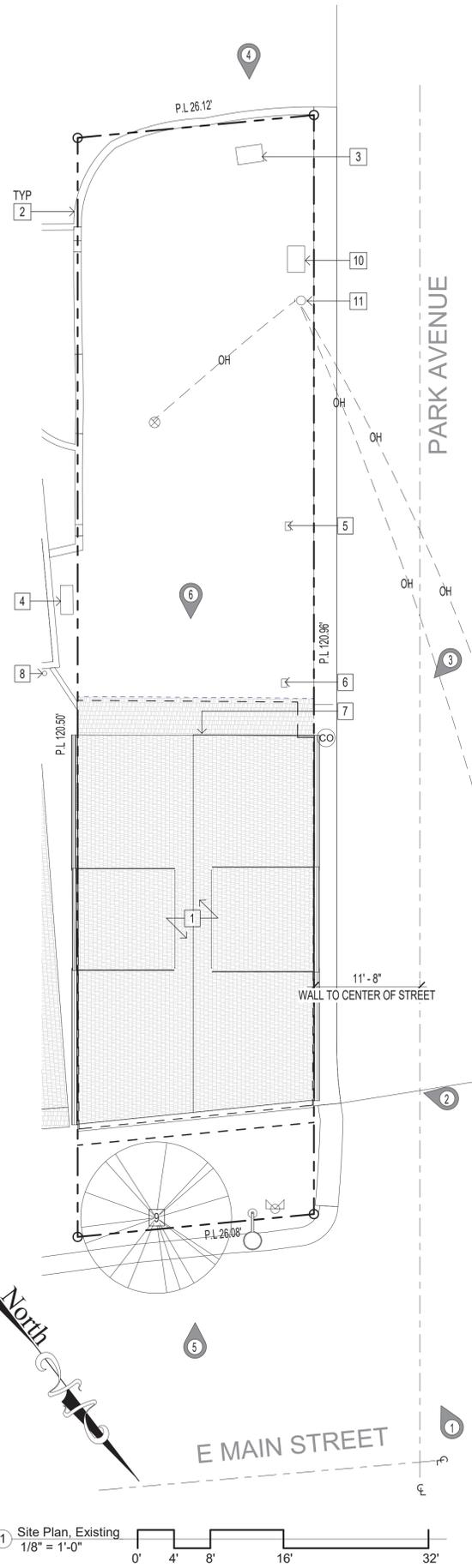
Elevations,  
 Existing &  
 Proposed

A200

SCALE 1/8" = 1'-0"

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**KEYNOTES, SITE PLAN, EXISTING**

- 1 BUILDING TO BE RENOVATED PER HISTORICAL GUIDELINES
- 2 RETAINING WALL
- 3 METAL BOX TO BE RELOCATED
- 4 MINI SPLIT CONDENSER
- 5 WATER METER TO BE RESURFACED
- 6 GAS METER TO BE REPLACED / RELOCATED
- 7 ELECTRICAL METER TO BE REPLACED / RELOCATED
- 8 STORM WATER DRAINAGE TO REMAIN
- 9 TREE TO BE PROTECTED PER CITY CODE
- 10 PG&E BOX TO REMAIN
- 11 UTILITY POLE TO REMAIN

- GENERAL CONTRACTOR TO VERIFY (E) SITE CONDITIONS
- ALL ITEMS IN BLUE TO BE DEMOLISHED

**LEGEND**

- ⊗ TETHER TO BE REMAIN
- ⊙ CLEAN OUT
- ⊕ HYDRANT
- ⊖ WATER VALVE

**LINE LEGEND**

- SETBACK LINE
- PROPERTY LINE
- - - BUILDING OUTLINE
- - - OH OVERHEAD LINE

**TREE PROTECTION NOTES:**

SEC. 29.10.1005 - PROTECTION OF TREES DURING CONSTRUCTION.  
 (A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:  
 1. SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED IRON POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.  
 2. AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP. CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN); ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.  
 3. DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.  
 4. WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN STATING: "WARNING—TREE PROTECTION ZONE—THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."

(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:  
 1. PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT. AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCRoACHMENT OF THE CONSTRUCTION.  
 2. PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.  
 3. PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR IN DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.  
 4. PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.  
 5. DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.  
 6. RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.  
 7. THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

(ORD. NO. 2240, § 11(EXH. B), 6-2-15)



1



3



5



2



4



6

Site Plan, Existing & Exterior Photos



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25 West Main St.  
 Los Gatos, CA, 95030

Project Schedule Revision		
#	Date	Description

Site Plan, Existing & Exterior Photos

A001  
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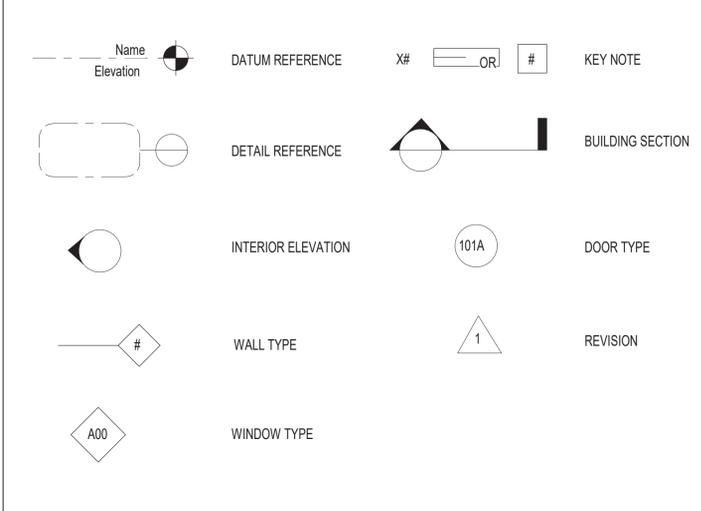
**ABBREVIATIONS**

<b>A</b>	ABV ABOVE	<b>N</b>	NEW
AC	ASPHALT CONCRETE	N	NORTH
AD	AREA DRAIN	NIC	NOT IN CONTRACT
ADDL	ADDITIONAL	NOM	NOMINAL
AF	ABOVE FINISH FLOOR	NP	NO PARKING
ASPH	ASPHALT	NR	NON-RATED
		NTS	NOT TO SCALE
<b>B</b>	BITUM BITUMINOUS	<b>O</b>	OVERALL
BRG	BACKING	OA	ON CENTER
BLDG	BUILDING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER/ DIMENSION
BR	BACKER ROD	OFCI	OWNER FURNISHED CONTRACTOR
BUR	BUILT-UP-ROOF	INSTALLED	OWNER FURNISHED OWNER INSTALL
BDR	BEDROOM	OFOI	OWNER FURNISHED OWNER INSTALL
BW	BOTTOM OF WALL		
<b>C</b>	CABINET	<b>P</b>	PROPOSED
CB	CATCH BASIN	PENN	PENETRATION
CEM	CEMENT	PERF	PERFORATED
CF	CUBIC FEET	PERP	PERPENDICULAR
CJ	CONTROL JOINT	PL	PLATE
CL	CLOSE	PL	PROPERTY LINE
CTL	CENTERLINE	PLAS	PLASTER
CLG	CEILING	PLBG	PLUMBING
CONC	CONCRETE	PLYWD	PLYWOOD
CPT	CARPET	PNL	PANEL
		POC	POINT OF CONNECTION
<b>D</b>	DECK	PP	PERMEABLE PAVERS
D	DECK	PREFAB	PREFABRICATED
DR	DRAIN	PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
<b>E</b>	EXISTING	PTD	PAINTED
(E)	EAST	PTR	PRESSURE TREATED
ELEC	ELECTRICAL	PTRWDQ	PRESSURE TREATED WOOD
EP	ELECTRICAL PANEL		
EXT	EXTERIOR	<b>Q</b>	QUANTITY
		QTY	QUANTITY
<b>F</b>	FOUNDATION	<b>R</b>	REVEAL OR RISER
FDN	FOUNDATION	R	RADIUS
FH	FIRE HYDRANT	RAD	RADIUS
FIN	FINISH	RCP	REINFORCED CONCRETE PIPE
FF	FINISH FLOOR	RD	ROOF DRAIN
FL	FLOW LINE	REF	REFERENCE
FLUOR	FLUORESCENT	REFL	REFLECTED
FOC	FACE OF CONCRETE	REFR	REFRIGERATOR
FOF	FACE OF FINISH	RET	RETAINING OR RETARDANT
FOS	FACE OF STUD	REG	REGISTER
FR	FIRE RATED	REG	REGISTER
FS	FLOOR SINK	RO	ROUGH OPENING
FSL	FIRE SPRINKLER	SCD	SEE CIVIL DRAWINGS
FTG	FOOTING	SCHD	SCHEDULE
FJRR	FURRING	SD	STORM DRAIN
<b>G</b>	GALVANIZED	SECT	SECTION
GALV	GALVANIZED	SED	SEE ELECTRICAL DRAWINGS
GC	GENERAL CONTRACTOR	SF	SQUARE FOOT OR FEET
GL	GLASS	SHR	SHOWER
GND	GROUND	SHT	SHEET
GWB	GYPSON WALL BOARD	SHTG	SHEATHING
GYP	GYSUM	SIM	SIMILAR
		SJ	SEISMIC JOINT
<b>H</b>	HARDBOARD	SL	SEALANT
HDBD	HARDBOARD	SLD	SEE LANDSCAPE DRAWINGS
HDR	HEADER	SM	SHEET METAL
HDWR	HARDWARE	SMD	SEE MECHANICAL DRAWINGS
HDWD	HARDWOOD	SOF	SOFFIT
HTR	HEATER	SOG	SLAB ON GRADE
HVAC	HEATING, VENT. & A.C.	SPD	SEE PLUMBING DRAWINGS
		SPEC/S	SPECIFICATION
<b>I</b>	INCH	SQ	SQUARE
IN	INCH	SS	SANITARY SEWER
INCAND	INCANDESCENT	SSD	SEE STRUCTURAL DRAWINGS
INSUL	INSULATION	STC	SOUND TRANSMISSION COEFFICIENT
INT	INTERIOR	STD	STANDARD
INV	INVERT	STL	STEEL
		STOR	STORAGE
<b>J</b>	JOIST	STR	STRUCTURAL
JST	JOIST	SY	SQUARE YARD
JT	JOINT		
<b>K</b>	KIPS	<b>T</b>	TOP AND BOTTOM
KIT	KITCHEN	T&B	TONGUE AND GROOVE
KP	KICK PLATE	TC	TOP OF CURB
		TOC	TOP OF CONCRETE
<b>L</b>	LOCATION	TOP	TOP OF PAVING
LOC	LOCATION	TOS	TOP OF STEEL
LT	LIGHT	TRD	TREAD
		TW	TOP OF WALL
<b>M</b>	MACHINE BOLT	<b>U</b>	UNDERWRITERS LABORATORIES
MB	MEDIUM DENSITY FIBERBOARD	UL	UTILITIES
MDF	MECHANICAL MEMBRANE	UTIL	UTILITIES
MECH	MECHANICAL	<b>V</b>	VITREOUS CLAY PIPE
MEMB	MEMBRANE	VCP	VERTICAL
MET	METAL	VERT	VENT THROUGH ROOF
MH	MANHOLE	VTR	VENT THROUGH ROOF
MSC	MISCELLANEOUS		
MTD	MOUNTED	<b>W</b>	WEST OR WIDTH
MTL	METAL	WC	WATER CLOSET
		WD	WOOD
		WDW	WINDOW
		WO	WITHOUT
		WP	WATER PROOF
		WPT	WORKING POINT
		WR	WATER RESISTANT

**GENERAL NOTES**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND MAKE KNOWN ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS INCLUDING BUT NOT LIMITED TO NATIONAL, CITY, STATE, LOCAL CODES AND ORDINANCES WHICH MAY BE IN EFFECT. ALL MATERIALS, INSTALLATION PROCEDURES AND PLANS SHALL BE APPROVED BY ALL APPLICABLE CODE ENFORCEMENT AUTHORITIES HAVING JURISDICTION, AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND APPROVALS FOR THE WORK.
- THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIAL AND / OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MAKING MATERIAL SELECTIONS. FOR THE PURPOSE OF ESTIMATING, THE CONTRACTORS SHALL USE THE MATERIALS SELECTED BY THE OWNER, OR IN ABSENCE OF SAME, SHALL PROVIDE AN ALLOWANCE AMOUNT AND SO CONDITION ANY COST ESTIMATE. ALL MATERIALS SPECIFIED IN THESE DRAWINGS SHALL BE INCLUDED IN SUCH ESTIMATE.
- NO GUARANTEE OF QUALITY OF CONSTRUCTION IS IMPLIED OR INTENDED BY THE ARCHITECTURAL DOCUMENTS, AND THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.
- THE GENERAL CONTRACTOR SHALL HOLD HARMLESS, INDEMNIFY AND DEFEND THE ARCHITECT FROM ANY ACTION INITIATED BY THE OWNER OR ANY SUBSEQUENT OWNERS FOR CONSTRUCTION DEFICIENCIES, MODIFICATIONS OR SUCH CONDITIONS WHICH MAY BE BEYOND THE CONTROL OF THE ARCHITECT.
- ALL WORK SHALL COMPLY WITH AND RECORD THE CONDITIONS OF ALL EXISTING SITE IMPROVEMENTS INCLUDING PAVED AREAS. THE GENERAL CONTRACTOR SHALL MAKE KNOWN ALL EXISTING DAMAGED OR DISREPAIR ITEMS AND CONDITIONS THAT MAY WORSEN DUE TO THE CONSTRUCTION. ALL ITEMS IN GOOD CONDITION SHALL BE MAINTAIN IN THEIR PRESENT CONDITION AND ANY REPAIR OR DAMAGE WHICH OCCURS DURING CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL THOROUGHLY EXAMINE THE SITE AND SATISFY HIM OR HERSELF AS OF THE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED. THE CONTRACTOR SHALL VERIFY AT THE SITE ALL MEASUREMENTS AFFECTING HIS OR HER WORK AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF SAME. NO EXTRA COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR THE EXPENSES DUE TO HIS OR HER NEGLIGENCE TO EXAMINE OR FAILURE TO DISCOVER CONDITIONS WHICH MAY AFFECT HIS OR HER WORK.
- ALL WORK SHALL BE COORDINATED WITH THE STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, ARCHITECTURAL, FIRE PROTECTION AND LIGHTING DRAWINGS APPLYING TO THIS PROJECT PRIOR TO SUBMITTING SHOP DRAWINGS FOR FABRICATION APPROVAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH ALL INVOLVED PARTIES AND PREPARE SHOP DRAWINGS.
- ALL NEW INTERIOR PAINT COLOR, FLOOR, WALLS AND CEILING FINISHES SHALL BE SELECTED BY OWNER AT THE TIME WHEN IT IS NECESSARY FOR THE COMPLETION OF THE PROJECT.
- THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE THE WORK OR TO MAKE ITS PARTS FIT TOGETHER PROPERLY WITHOUT COMPROMISING THE QUALITY OF THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE BRACING, SHORING, AND PROTECTING ALL WORK DURING CONSTRUCTION, AGAINST DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS, AND OFF ALIGNMENTS ACCORDING TO CODES AND STANDARDS OF GOOD PRACTICE.
- ALL PUBLIC IMPROVEMENTS SHALL BE MADE IN ACCORDANCE WITH THE LATEST ADOPTED CITY STANDARDS. THE STORING OF GOOD AND MATERIALS ON SIDEWALK AND/ OR STREET SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR HAS APPLIED AND SECURED A SPECIAL PERMIT WHICH ALLOW SUCH STORAGE TO BE PLACED.
- OWNERSHIP OF DRAWINGS: THESE DRAWINGS ARE THE PROPERTY OF GKW ARCHITECTS - GORDON WONG, ARCHITECT. THE DRAWINGS SHALL NOT BE USED FOR ANY OTHER PURPOSE EXCEPT AS APPROVED BY THE ARCHITECT.
- LIMITATION OF THE WORK: THE LIMITS OF THE WORK ARE ESTABLISHED BY THE DRAWINGS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING TRADESMEN WITH THESE LIMITS.
- BEFORE ISSUANCE OF THE BUILDING PERMIT A SANITARY SEWER HOOKUP PERMIT (OR CLEARANCE LETTER) MUST BE OBTAINED AND A COPY OF THE PERMIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT.

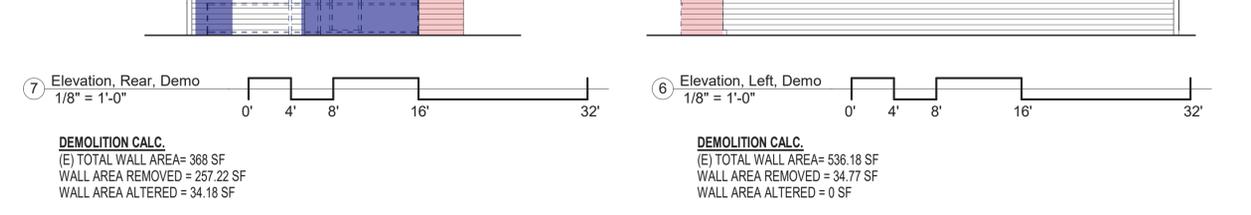
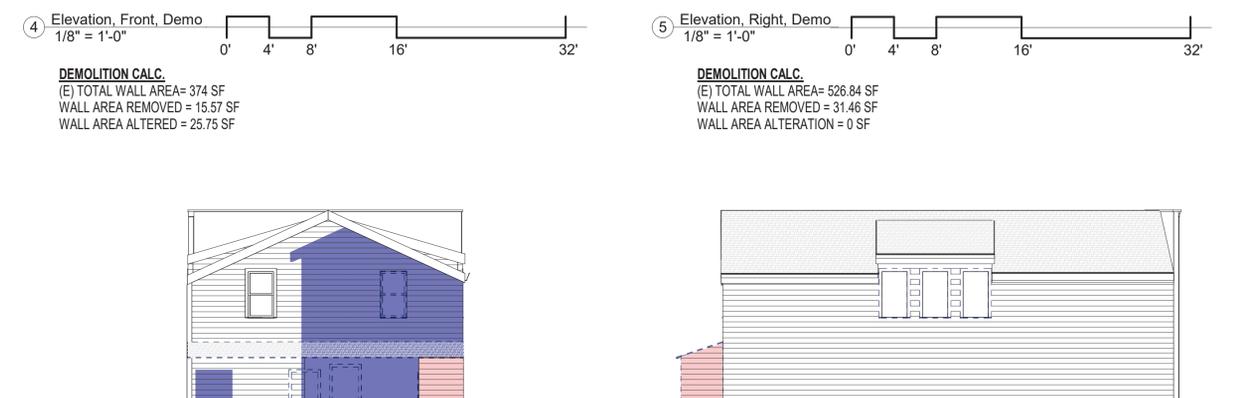
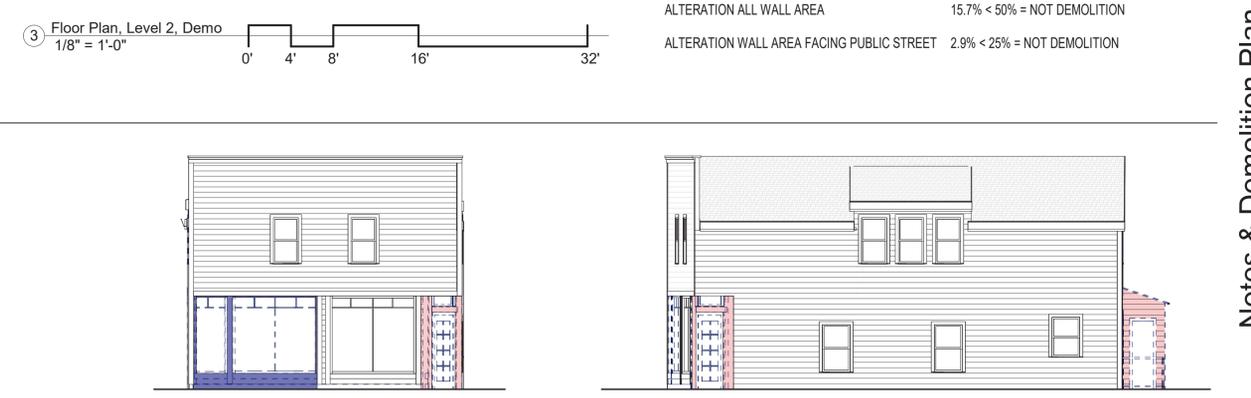
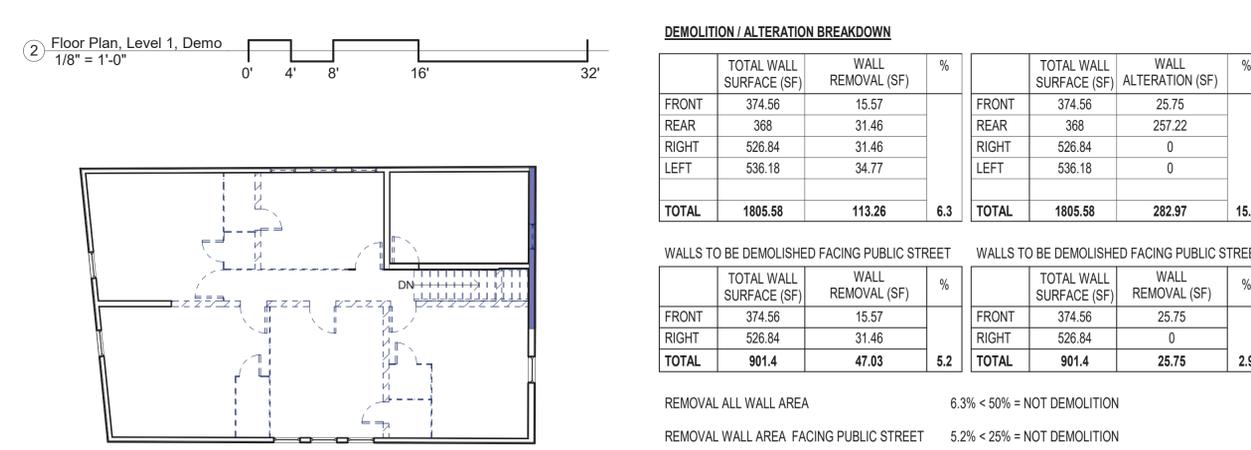
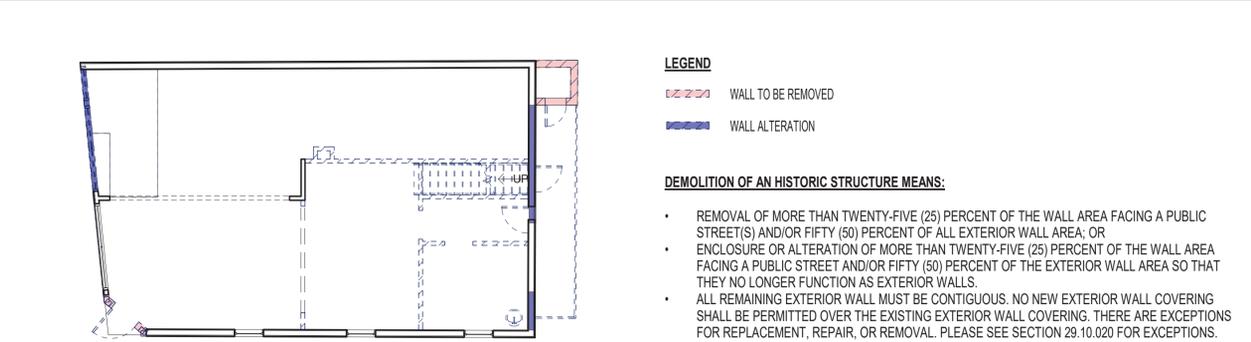
**GRAPHIC SYMBOLS**



**LOT AREA & IMPERVIOUS AREA**

	PROPERTY LINE
	IMPERVIOUS AREA
	STREET DEDICATION
	(E)
	(P)

GROSS LOT AREA	3,132.96 SF
NET LOT AREA	2,870.72 SF
(E) IMPERVIOUS AREA	1,173 SF
(P) IMPERVIOUS AREA	2,340 SF
TOTAL IMPERVIOUS AREA CREATED	1,167 SF



**LEGEND**  
 WALL TO BE REMOVED  
 WALL ALTERATION

**DEMOLITION OF AN HISTORIC STRUCTURE MEANS:**

- REMOVAL OF MORE THAN TWENTY-FIVE (25) PERCENT OF THE WALL AREA FACING A PUBLIC STREET(S) AND/OR FIFTY (50) PERCENT OF ALL EXTERIOR WALL AREA. OR
- ENCLOSURE OR ALTERATION OF MORE THAN TWENTY-FIVE (25) PERCENT OF THE WALL AREA FACING A PUBLIC STREET AND/OR FIFTY (50) PERCENT OF THE EXTERIOR WALL AREA SO THAT THEY NO LONGER FUNCTION AS EXTERIOR WALLS.
- ALL REMAINING EXTERIOR WALL MUST BE CONTIGUOUS. NO NEW EXTERIOR WALL COVERING SHALL BE PERMITTED OVER THE EXISTING EXTERIOR WALL COVERING. THERE ARE EXCEPTIONS FOR REPLACEMENT, REPAIR, OR REMOVAL. PLEASE SEE SECTION 29.10.020 FOR EXCEPTIONS.

**DEMOLITION / ALTERATION BREAKDOWN**

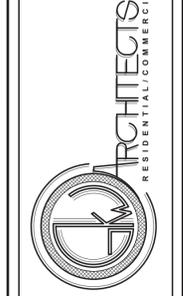
	TOTAL WALL SURFACE (SF)	WALL REMOVAL (SF)	%		TOTAL WALL SURFACE (SF)	WALL ALTERATION (SF)	%
FRONT	374.56	15.57		FRONT	374.56	25.75	
REAR	368	31.46		REAR	368	257.22	
RIGHT	526.84	31.46		RIGHT	526.84	0	
LEFT	536.18	34.77		LEFT	536.18	0	
<b>TOTAL</b>	<b>1805.58</b>	<b>113.26</b>	<b>6.3</b>	<b>TOTAL</b>	<b>1805.58</b>	<b>282.97</b>	<b>15.7</b>

WALLS TO BE DEMOLISHED FACING PUBLIC STREET			WALLS TO BE DEMOLISHED FACING PUBLIC STREET				
	TOTAL WALL SURFACE (SF)	WALL REMOVAL (SF)	%		TOTAL WALL SURFACE (SF)	WALL ALTERATION (SF)	%
FRONT	374.56	15.57		FRONT	374.56	25.75	
RIGHT	526.84	31.46		RIGHT	526.84	0	
<b>TOTAL</b>	<b>901.4</b>	<b>47.03</b>	<b>5.2</b>	<b>TOTAL</b>	<b>901.4</b>	<b>25.75</b>	<b>2.9</b>

REMOVAL ALL WALL AREA 6.3% < 50% = NOT DEMOLITION  
 REMOVAL WALL AREA FACING PUBLIC STREET 5.2% < 25% = NOT DEMOLITION  
 ALTERATION ALL WALL AREA 15.7% < 50% = NOT DEMOLITION  
 ALTERATION WALL AREA FACING PUBLIC STREET 2.9% < 25% = NOT DEMOLITION



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**Notes & Demolition Plan**

25 West Main St.  
 Los Gatos, CA, 95030

Project Schedule Revision

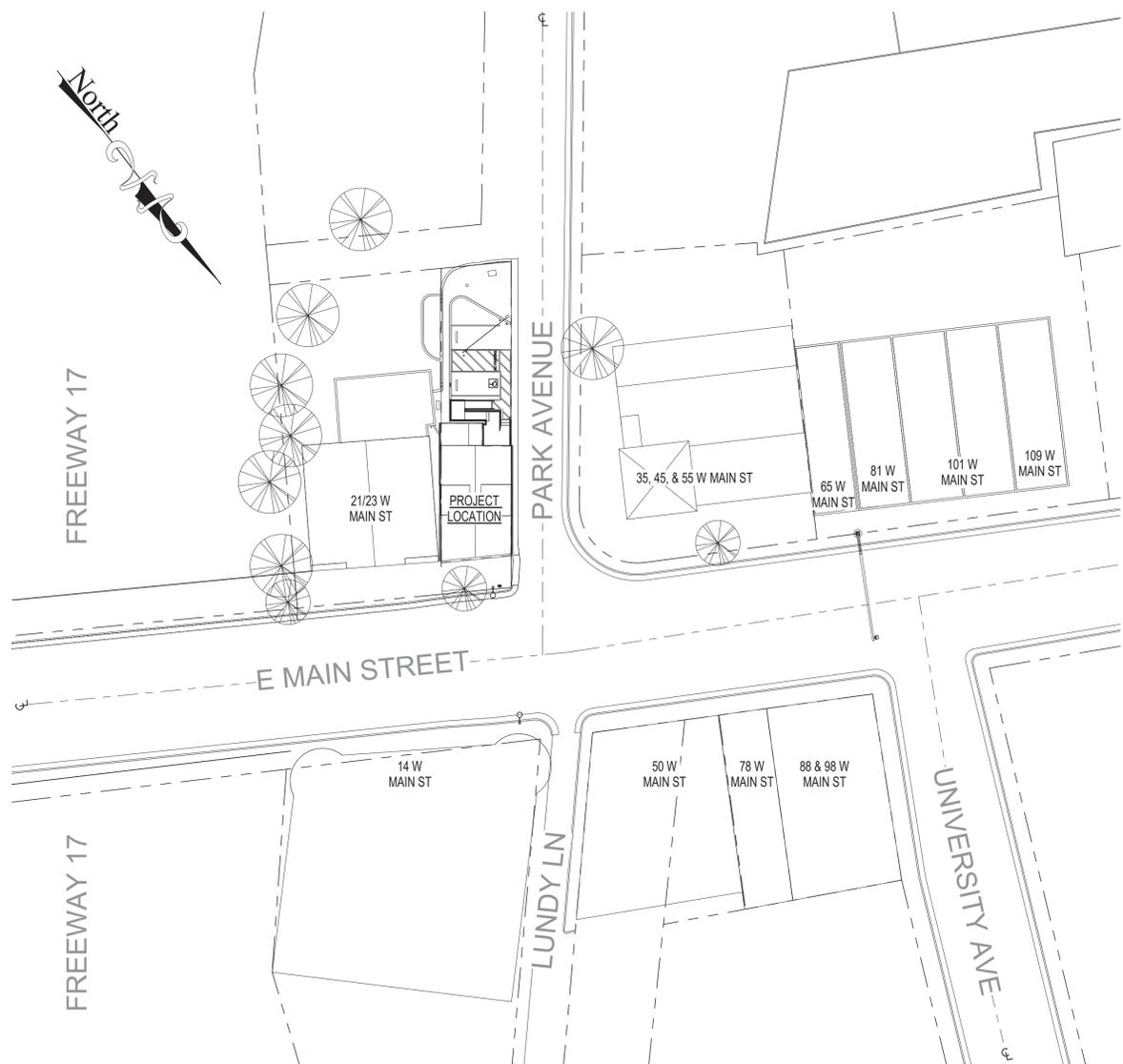
#	Date	Description

Notes & Demolition Plan

**A002**

SCALE As indicated

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7 Adjacent Building Plan, Proposed  
1" = 30'-0"

**PROPOSED PROJECT PROPERTY:**

- 25 W MAIN ST. MIXED-USE (RETAIL & OFFICE)

**ADJACENT PROPERTIES:**

ADDRESS	USE	NAME
• 21 W MAIN ST.	M- MERCANTILE	CRAFTBOX (RETAIL)
• 23 W MAIN ST.	B- BUSINESS	TANGLES (HAIR SALON)
• 35 W MAIN ST.	B- BUSINESS	SPICED ARTISAN NUTS (FOOD SUPPLIER)
• 45 W MAIN ST.	M- MERCANTILE	MANAZ, JOHNSON VALLEY CA (RETAIL)
• 55 W MAIN ST.	M- MERCANTILE	ATHLETIC PERFORMANCE (RETAIL)

ADDRESS	USE	NAME
• 65 W MAIN ST.	B- BUSINESS	NIMBUS SALON (HAIR SALON)
• 81 W MAIN ST.	A-2- ASSEMBLY	ZONA ROSA (RESTAURANT)
• 14 W MAIN ST.	R-2- RESIDENTIAL	14 WEST MAIN APARTMENTS (MULTI-FAMILY RESIDENTIAL)
• 50 W MAIN ST.	B- BUSINESS	ICING ON THE CAKE (BAKERY)
• 78 W MAIN ST.	M- MERCANTILE	BOUTIQUE LA LUNE (RETAIL)
• 88 W MAIN ST.	M- MERCANTILE	PALAPA LOUNGE BEACHWEAR (RETAIL)
• 98 W MAIN ST.	M- MERCANTILE	OPTIQUE AMERICA (RETAIL)



4 Shadow Study Summer Solstice 9AM



1 Shadow Study Winter Solstice 9AM



5 Shadow Study Summer Solstice 12PM



2 Shadow Study Winter Solstice 12PM



6 Shadow Study Summer Solstice 3PM

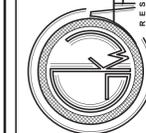


3 Shadow Study Winter Solstice 3PM



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ARCHITECTS  
RESIDENTIAL / COMMERCIAL



Adjacent Building Plan & Shadow Study

25 West Main St.  
Los Gatos, CA, 95030

Project Schedule Revision		
#	Date	Description

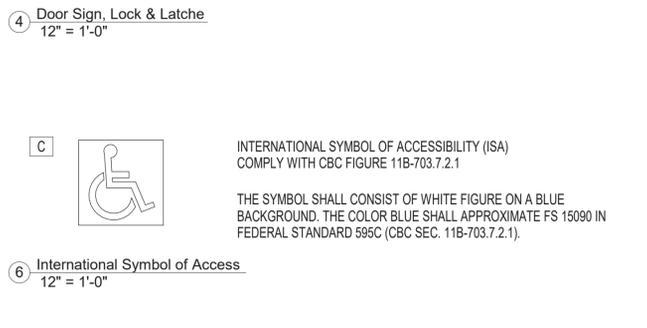
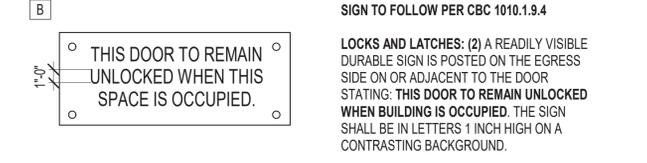
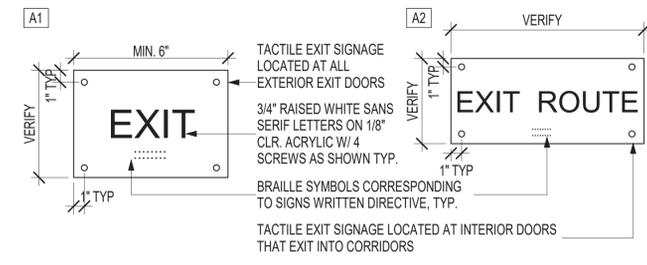
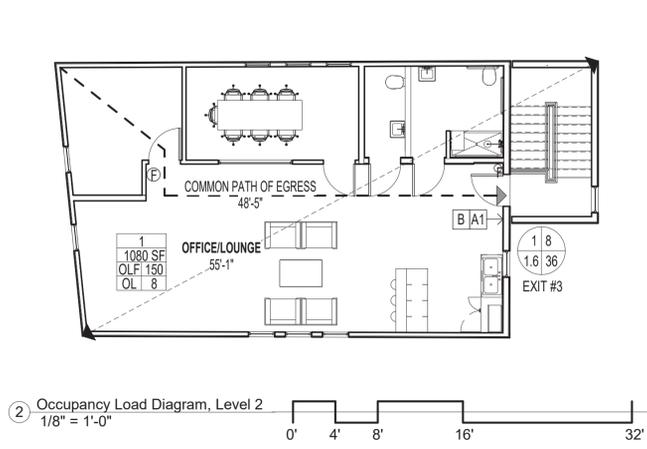
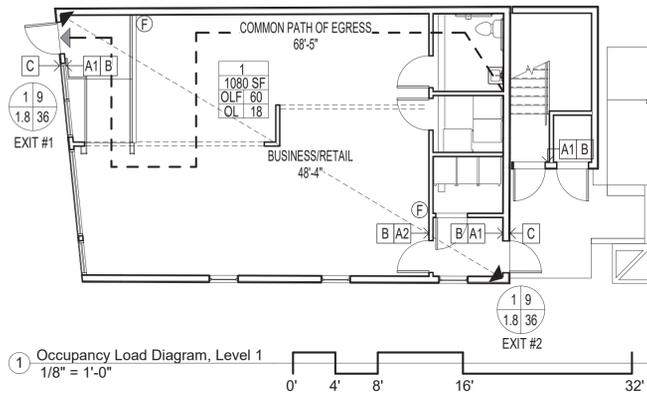
Adjacent Building Plan & Shadow Study

A003

SCALE 1" = 30'-0"

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# OCCUPANT LOAD, EGRESS, & LIFE SAFETY



**LEGEND**

**OCCUPANT LOAD**

#	ROOM REF. NUMBER
### SF	APPROXIMATE AREA
OLF ##	OCCUPANCY LOAD FACTOR
OL ##	OCCUPANCY LOAD

**EXIT WIDTH REQUIRED**

#	EXIT #
##	# OF OCCUPANTS
##	PROVIDED EXIT WIDTH
##	REQUIRED EXIT WIDTH

---###--- EGRESS LENGTH

(F) FIRE EXTINGUISHER

**PER CBC TABLE 1004.5**  
**MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT**

FUNCTION OF SPACE	OLF(SF/PERSON)
MERCANTILE	60 GROSS
BUSINESS	150 GROSS

**FLOOR AREA/ OCCUPANT LOAD FACTOR = # OF TOTAL OCCUPANTS**

LEVEL 1, MERCANTILE= 1080 SF/ 60= 18  
 LEVEL 2, BUSINESS= 1080 SF/ 150= 8  
**TOTAL= 26 OCCUPANTS**

**PER CBC SECTION 1005.3.2 MEAN OF EGRESS OTHER THAN STAIRWAYS:**

EXIT # 1  
 EXIT WIDTH REQUIRED = OCCUPANTS X 0.2'  
 9 x 0.2' = 1.8'  
 EXIT PROVIDED 36' > 1.8' = OKAY

EXIT # 3  
 EXIT WIDTH REQUIRED = OCCUPANTS X 0.2'  
 8 x 0.2' = 1.6'  
 EXIT PROVIDED 36' > 1.6' = OKAY

**PER CBC SECTION 1006.2.1 EGRESS BASED ON OCCUPANT LOAD AND COMMON PATH OF EGRESS TRAVEL DISTANCE:**

TWO EXITS OR EXIT ACCESS DOORWAYS FROM ANY SPACE SHALL BE PROVIDED WHERE THE DESIGN OCCUPANT LOAD OR THE COMMON PATH OF EGRESS TRAVEL WHEN DISTANCE EXCEEDS THE VALUES LISTED IN TABLE 1006.2.1

RETAIL UNIT (GROUP M): MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE 70' < 75' = 1 EXIT DOORWAY REQUIRED  
 OFFICE/LOUNGE (B): MAXIMUM COMMON PATH OF EGRESS TRAVEL DISTANCE 59' < 100' WITH SPRINKLER SYSTEM = 1 EXIT DOORWAY REQUIRED

**PER CBC SECTION 1006.3.3 SINGLE EXIT:**

A SINGLE EXIT OR ACCESS TO A SINGLE EXIT SHALL BE PERMITTED FROM ANY STORY OR OCCUPIED ROOF WHERE THE FOLLOWING CONDITIONS EXIST:

1. THE OCCUPANT LOAD, NUMBER OF DWELLING UNITS AND COMMON PATH OF EGRESS TRAVEL DISTANCE DO NOT EXCEED THE VALUES IN TABLE 1006.3.3(2).  
 BUSINESS: MAX. COMMON PATH OF EGRESS, SECOND STORY = 75'  
 (P) COMMON PATH OF EGRESS, SECOND STORY = 48'-5", OKAY

**PER CBC SECTION 1010.1.2.1 DIRECTION OF SWING:**

PIVOT OR SIDE-HINGED SWINGING DOORS SHALL SWING IN THE DIRECTION OF EGRESS TRAVEL WHERE SERVING A ROOM OR AREA CONTAINING AN OCCUPANT LOAD OF 50 OR MORE PERSONS OR A GROUP H OCCUPANCY.  
 RETAIL UNIT OCCUPANT LOAD: 19 < 50 = OKAY  
 OFFICE/LOUNGE OCCUPANT LOAD: 8 < 50 = OKAY

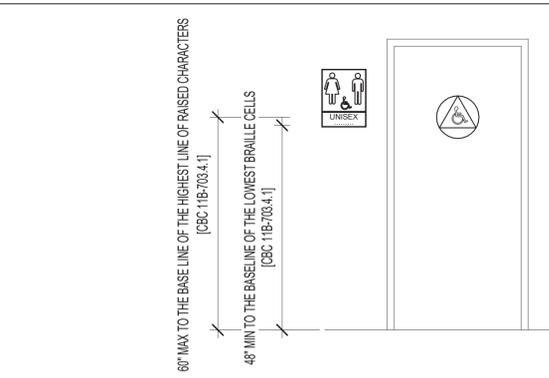
**PER CBC SECTION 1013 EXIT SIGNS:**

WHERE REQUIRED, EXITS AND EXIT ACCESS DOORS SHALL BE MARKED BY AN APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASES WHERE THE EXIT OR THE PATH OF EGRESS IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS. INTERVENING MEANS OF EGRESS DOORS WITHIN EXITS SHALL BE SUCH THAT NO POINT IN AN EXIT ACCESS CORRIDOR OR EXIT PASSAGEWAY IS MORE THAN 100 FEET OR THE LISTED VIEWING DISTANCE FOR THE SIGN, WHICHEVER IS LESS, FROM THE NEAREST VISIBLE EXIT SIGN.

**EXIT ACCESS TRAVEL DISTANCE**  
 MAXIMUM EXIT ACCESS TRAVEL DISTANCE, PER CBC TABLE 1017.2

OCCUPANCY	MAX. EXIT ACCESS TRAVEL DISTANCE WITHOUT SPRINKLER SYSTEM	MAX. EXIT ACCESS TRAVEL DISTANCE WITH SPRINKLER SYSTEM
B	200 FT	300 FT
M	200 FT	250 FT

THE MOST REMOTE POINT TO THE NEAREST EXIT, LEVEL 1 = 48'-4" < 250', OKAY  
 THE MOST REMOTE POINT TO THE NEAREST EXIT, LEVEL 2 = 55'-1" < 300', OKAY



**Bathroom Door Symbol**  
 1/2" = 1'-0"

**LEGEND**

HYDRANT

PROPERTY LINE

BUILDING OUTLINE

FIRE APPARATUS

**FIRE ANALYSIS KEYNOTES**

- 20 FT WIDE FIRE APPARATUS DRIVE
- MINIMUM FIRE APPARATUS OUTSIDE TURNING RADIUS IS 42 FT
- FIRE APPARATUS CROSSES OVER CENTERLINE OF MAIN ST BY 6'-7" TO MEET MINIMUM OUTSIDE TURNING RADIUS OF 42 FT

**MINIMUM DISTANCE OF PROJECTION [CBC TABLE 705.2]**

FIRE SEPARATION DISTANCE-FSD	MINIMUM DISTANCE FROM FSD LINE	PROPOSED PROJECTION	PROPOSED DISTANCE FROM FSD LINE
0' - 0"	PROJECTIONS NOT PERMITTED	0"	0' - 0"
3' - 1"	24 INCHES	0' - 2"	2' - 11"

**CBC TABLE 716.1(2) OPENING FIRE PROTECTION ASSEMBLIES, RATINGS AND MARKINGS**

TYPE OF ASSEMBLY	REQ'D WALL RATING	MIN FIRE DOOR & FIRE SHUTTER ASSEMBLY RATING	DOOR VISION PANEL SIZE
EXTERIOR WALLS	1 HOUR	3/4 HOUR	MAX SIZE TESTED
FIRE BARRIERS / SHAFT ENCLOSURES	1 HOUR	1 HOUR	100 SQ. IN.

**FIRE FLOW CALCULATION**  
**CFC 507.3 FIRE FLOW**  
 FIRE FLOW REQUIREMENTS FOR BUILDING OR PORTIONS OF BUILDINGS AND FACILITIES SHALL BE DETERMINED BY AN APPROVED METHOD OR APPENDIX B.

**TABLE B105.1(2) FIRE FLOW CALCULATION AREA (SQUARE FEET)**

TYPE	FIRE FLOW (GPM)	FIRE DURATION (HOURS)
V-B		
0-3,600	1,500	
3,601-4,800	1,750	2

**TABLE B105.2 REQUIRED FIRE FLOW FOR BUILDINGS OTHER THAN 1 & 2 FAMILY DWELLINGS, GROUP R-3 & R-4 BUILDINGS AND TOWNHOUSES**

AUTOMATIC SPRINKLER SYSTEM	MINIMUM FIRE FLOW (GPM)	MINIMUM FIRE FLOW (GPM)
NO SPRINKLER	VALUE	DURATION
NFPA 13	25% OF THE VALUE <sup>A</sup>	DURATION @ REDUCED FLOW RATE
NFPA 13R	25% OF THE VALUE <sup>B</sup>	DURATION @ REDUCED FLOW RATE

NOTE:  
 REFER FIRE FLOW VALUES AND DURATION IN TABLE B105.1(2)  
 A. THE REDUCED FIRE FLOW SHALL NOT BE LESS THAN 1,000 GPM  
 B. THE REDUCED FIRE FLOW SHALL NOT BE LESS THAN 1,500 GPM

**REQUIRED FIRE FLOW**

(P) FLOOR AREA: 2,286 SF  
 AUTOMATIC SPRINKLER SYSTEM: NFPA 13  
 REQUIRED FIRE FLOW: 0.25 X 1,500 = 375 GPM, SHALL NOT BE LESS 1,000 GPM (REQUIRED)  
**1,000 GPM PER SJW**

FIRE FLOW PROVIDED:

**HEIGHT & AREA CALCS.**  
**CBC 504.2 MIXED OCCUPANCY**  
 IN A BUILDING CONTAINING MIXED OCCUPANCIES IN ACCORDANCE WITH SECTION 508, NO INDIVIDUAL OCCUPANCY SHALL EXCEED THE HEIGHT AND NUMBER OF STORY LIMITS SPECIFIED IN THIS SECTION (SEE TABLE BELOW) FOR THE APPLICABLE OCCUPANCIES

**ALLOWABLE BUILDING HEIGHT & STORIES IN FEET ABOVE GRADE PLANE [CBC TABLE 504.4]**

OCC. CLASS	SPRINKLER / AREA INCREASE	CONSTRUCTION TYPE	ALLOWABLE HEIGHT	ALLOWABLE STORIES
B	S	TYPE VB	60 FT	3
M	S	TYPE VB	60 FT	2
U	S	TYPE VB	60 FT	2

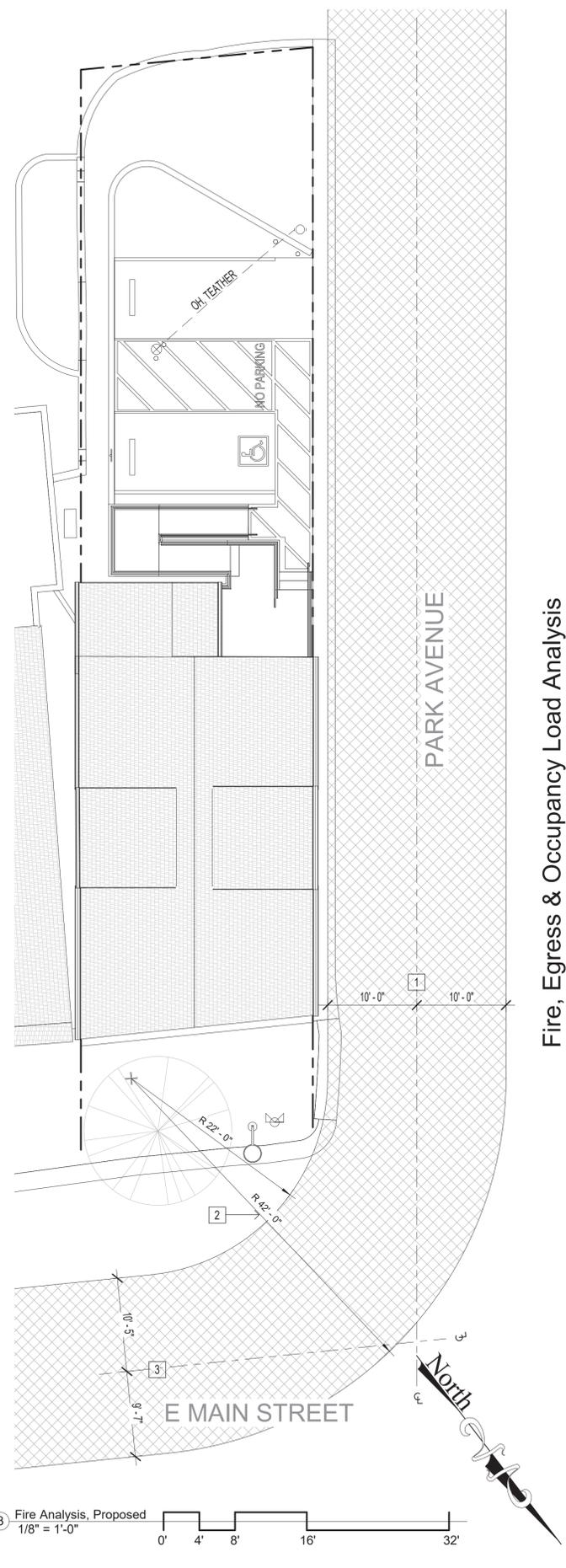
**ALLOWABLE AREA DETERMINATION (FACTOR IN SQ. FT) [CBC TABLE 506.2]**

OCC. CLASS	SPRINKLER / HEIGHT INCREASE	CONSTRUCTION TYPE	ALLOWABLE AREA (SF)
B	S	TYPE VB	27,000 SF
M	S	TYPE VB	27,000 SF
U	S	TYPE VB	16,500 SF

**FIRE RESISTANCE RATINGS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION [CBC TABLE 602]**

FIRE SEPARATION DISTANCE	TYPE OF CONSTRUCTION	OCCUPANCY GROUP A, B, E, F-2, I, R, S-2, U	OCCUPANCY GROUP M
X < 5	ALL	1	2
5 ≤ X < 10	IA, OTHERS	1, 1	2, 1
10 ≤ X < 30	IA, IB, IIB, VB, OTHERS	1, 0, 1	1, 0, 1
X ≥ 30	ALL	0	0

THE DISTANCE MEASURED FROM THE BUILDING FACE TO ONE OF THE FOLLOWING:  
 1. THE CLOSEST INTERIOR LOT LINE  
 2. TO THE CENTERLINE OF A STREET  
 3. TO AN IMAGINARY LINE BETWEEN TWO BUILDINGS ON THE LOT



**Fire Analysis, Proposed**  
 1/8" = 1'-0"



GORDON K WONG, ARCHITECT Lic# 34049  
 PROJECT REP  
 JENNY C. WONG & DANIA BAHIA  
 710E MCCLINCY LANE SUITE 109  
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 GORDONK.WONG@GKWAARCHITECTS.COM CAMPBELL, CA 95008 (408) 796-1646



**25 West Main St.**  
 Los Gatos, CA, 95030

Project Schedule Revision

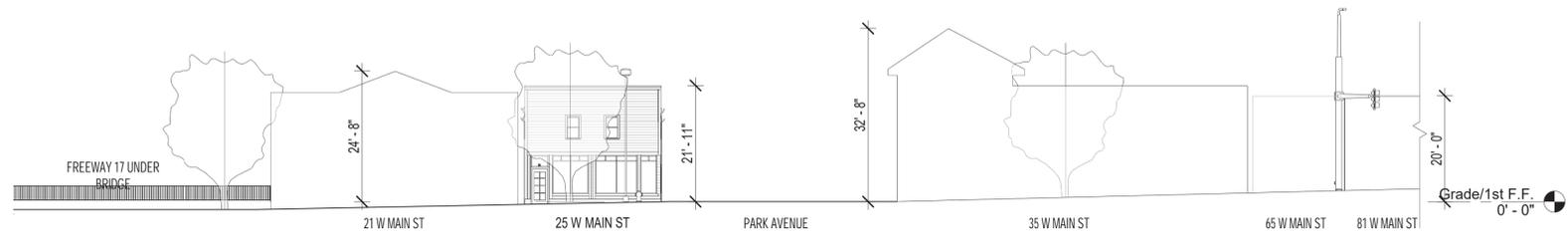
#	Date	Description

Fire, Egress & Occupancy Load Analysis

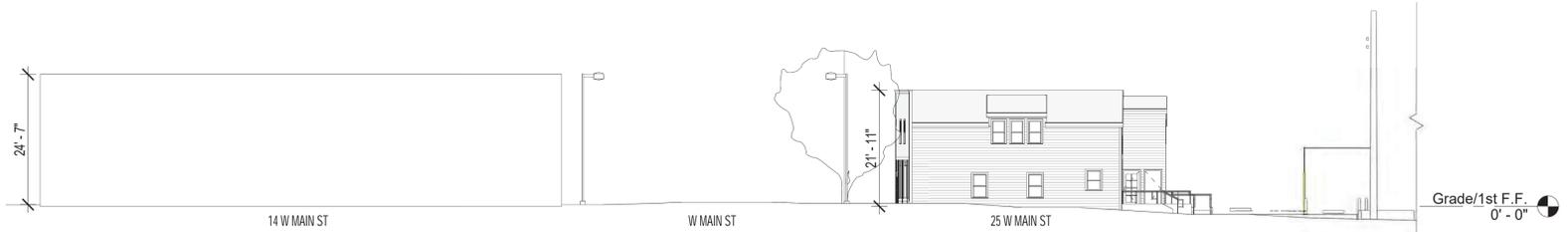
**A004**

SCALE As indicated

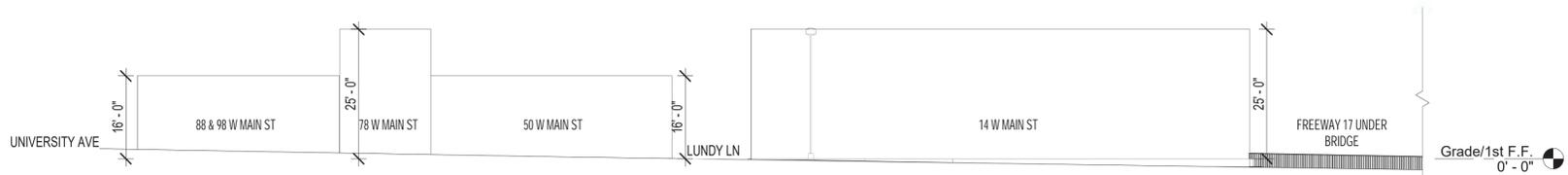
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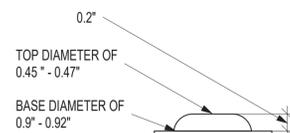
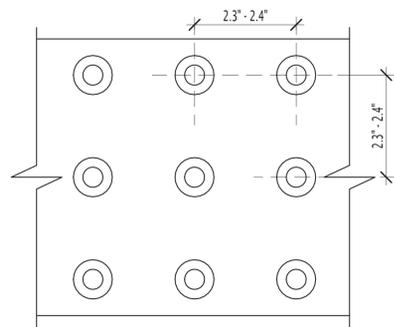
② Streetscape, W Main St. Looking South  
1/16" = 1'-0"



① Streetscape, Park Ave.  
1/16" = 1'-0"



③ Streetscape, W Main St. Looking North  
1/16" = 1'-0"



④ Truncated Domes.  
12" = 1'-0"

SECTION OF DOME FOR A DETECTABLE WARNING. DRAWING SHOWS HEIGHT, TOP, AND BOTTOM DIMENSIONS.

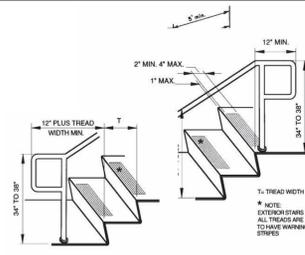
DOMES SIZE AND SPACING. TRUNCATED DOMES SHALL HAVE A DIAMETER OF 0.9 INCH (23 MM) AT THE BOTTOM, A DIAMETER OF 0.4 INCH (10MM) AT TOP, A HEIGHT OF 0.2 INCH (5 MM) AND A CENTER-TO-CENTER SPACING OF 2.35 INCHES (60 MM) MEASURED ALONG ONE SIDE OF A SQUARE ARRANGEMENT. APPLY AT CURB CUTS WITH SLOPES BETWEEN 5.0% AND 6.67% AND WHERE NOTED.

TRUNCATED DOMES SHALL BE IN A YELLOW COLOR INTEGRAL TO SURFACE - CONFORMING TO FS33538 OF FEDERAL STANDARD 595C.



NOTE: GROOVED BORDER MUST BE ON THE LEVEL SURFACE AT THE TOP OF THE RAMP

⑤ Grooved Border  
1/8" = 1'-0"

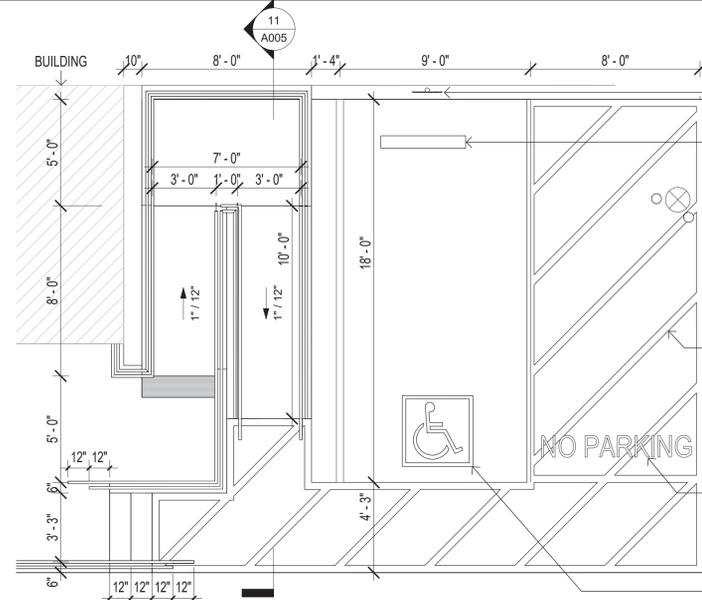


NOTE: RISERS SHALL BE SOLID AND SLOPED OR UNDERSIDE OF THE NOSING SHALL HAVE AN ANGLE NOT LESS THAN 60 DEGREES FROM THE HORIZONTAL.

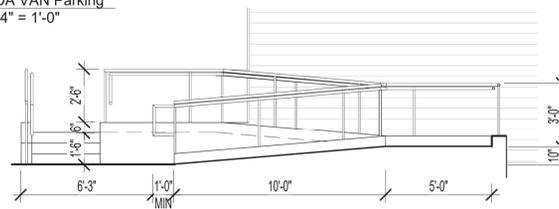
THE STRIP SHALL BE OF A MATERIAL THAT IS AT LEAST AS SLIP RESISTANT AS THE OTHER TREADS OF THE STAIR.

A PAINTED STRIP SHALL BE ACCEPTABLE AND SHALL EXTEND THE FULL WIDTH OF THE STEP.

⑧ Stairs  
6" = 1'-0"

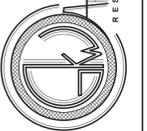


⑩ ADA Van Parking  
1/4" = 1'-0"



⑪ Section, Ramp  
1/4" = 1'-0"

Adjacent Building, Streetscape Elevations, Accessibility



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25 West Main St.  
Los Gatos, CA, 95030

Project Schedule Revision		
#	Date	Description

Adjacent Building,  
Streetscape  
Elevations,  
Accessibility

A005

SCALE As indicated

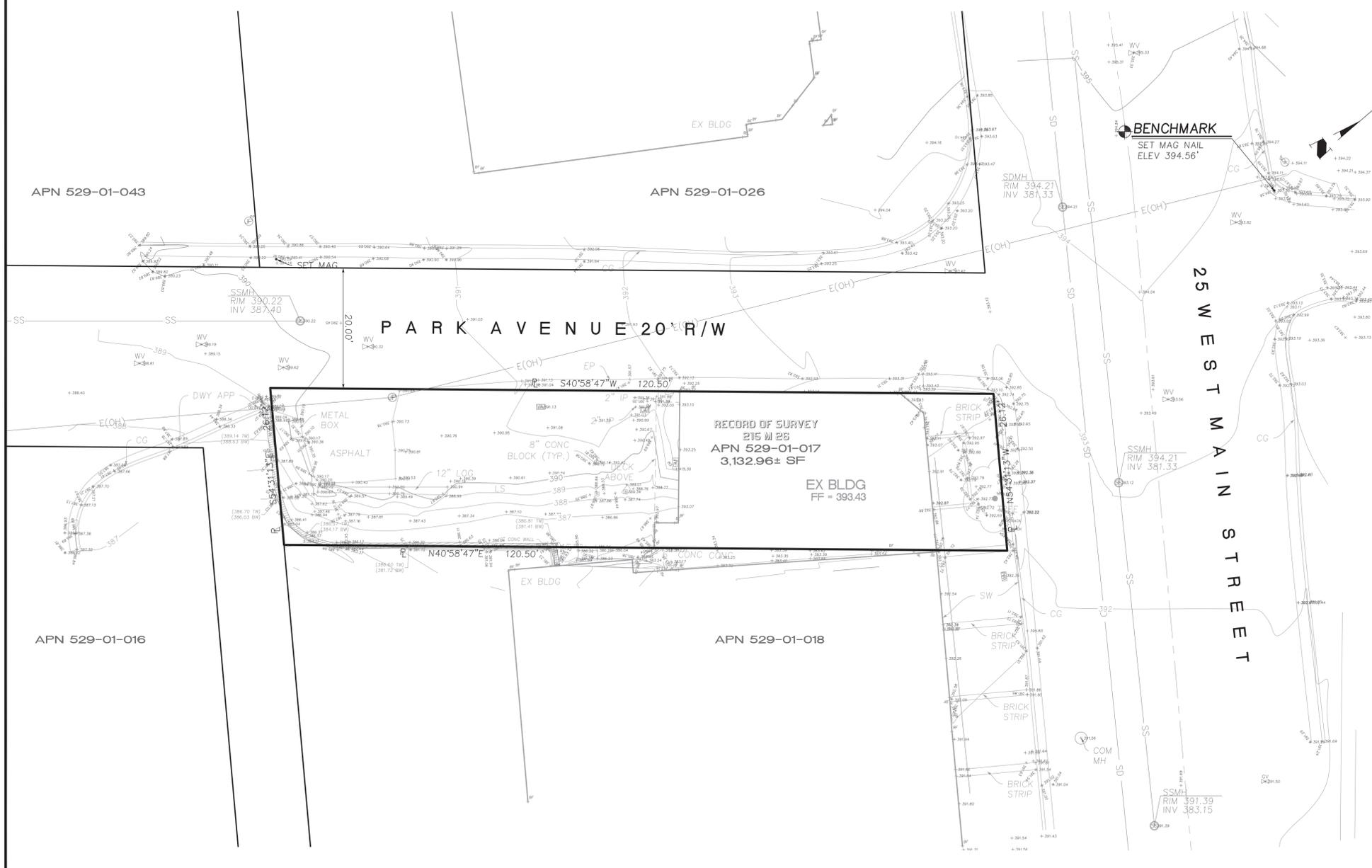
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**LEGEND & ABBREVIATIONS**

AB AGGREGATE BASE	DE DRAINAGE EMITTER	GPE GENERAL PUBLIC EASEMENT	PL PROPERTY LINE	STA STATION	⊙ AREA DRAIN	⊠ GAS METER	⊠⊠⊠⊠ ROCK RETAINING WALL
AC ASPHALT CONCRETE	DI DRAINAGE INLET	GSB GRADING SETBACK	PP PROPOSED	STD STANDARD CITY DETAIL	⊕ BENCHMARK	⊠ GAS VALVE	⊠⊠⊠⊠ RIGHT OF WAY
AD AREA DRAIN	DS DOWNSPOUT	GM GAS METER	PSE PUBLIC SERVICE EASEMENT	SW SIDEWALK	⊠ BOUNDARY	⊠ GUY POLE	⊠ SANITARY SEWER CLEAN OUT MANHOLE
AE ANCHOR EASEMENT	DWY DRIVEWAY	HP HI POINT	PSUE PUBLIC SERVICE UTILITY EASEMENT	TC TOP OF CURB	⊠ CONCRETE	⊠ HYDRANT: EXISTING	⊠ SANITARY SEWER MANHOLE
BB BUBBLER BOX	EA EASEMENT	INV INVERT	PUE PUBLIC UTILITY EASEMENT	TEMP TEMPORARY	⊠ CATCH BASIN	⊠ INLET	⊠ STORM DRAIN MANHOLE
BD BRASS DISC	ELEV ELEVATION	LIP LIP OF GUTTER	PVMT PAVEMENT	TOC TOP OF COVER	⊠ CONCRETE	⊠ JOINT POLE	⊠ ELECTRICAL BOX
BLDG BUILDING	EM ELECTRIC METER	LS LANDSCAPED AREA	PVC POLYVINYL CHLORIDE	TOE TOP OF EASEMENT	⊠ EXISTING CONTOUR	⊠ LIGHTING	⊠ ELECTRIC METER
BLK BLOCK	E(OH) ELECTRIC OVERHEAD	MAX MAXIMUM	R RADIUS	TOE TOP OF BANK	⊠ EXISTING ELEVATION	⊠ LIGHTING POLE	⊠ TELEPHONE BOX
BSL BUILDING SETBACK LINE	E(UG) ELECTRIC UNDERGROUND	MH MANHOLE	RW RETAINING WALL	TOE TOP OF GRATE	⊠ EXISTING FENCE	⊠ MAIL BOX	⊠ TELEVISION BOX
BW BOTTOM OF WALL/BACK OF WALK	EP EDGE OF PAVEMENT	MIN MINIMUM	REM REMOVE	TPF TREE PROTECTION FENCE	⊠ EXISTING TREE	⊠ MONUMENT WELL	⊠ UTILITY: EXISTING
CG CURB & GUTTER	EX EXISTING	MON MONUMENT	R/W RIGHT OF WAY	TW TOP OF WALL	⊠ FOUND IRON PIPE	⊠ PAGE BOX	⊠ WATER METER
CL CENTERLINE	EVA VEHICLE ACCESS EASEMENT	MW MONUMENT WELL	SD STORM DRAIN	TYP TYPICAL		⊠ PROJECT SITE	⊠ WELL
CLF CHAIN LINK FENCE	FC FACE OF CURB	N&S NAIL AND SHINER	SDE STORM DRAIN EASEMENT	UV UTILITY VAULT			
CO SANITARY SEWER CLEANOUT	FD FOUND	NTS NOT TO SCALE	SE SLOPE EASEMENT	VG VALLEY GUTTER			
COP CURB OPENING	FF FINISH ELEVATION OF SUBFLOOR	OH OVERHEAD	SME SLOPE MAINTENANCE EASEMENT	W WATER			
COM COMMUNICATION CONCRETE	FG GROUND FINISH GRADE	OG ORIGINAL GROUND	SS SANITARY SEWER/LATERAL EASEMENT	WCE WIRE CLEARANCE EASEMENT			
CSD COUNTY STANDARD DETAIL	FH FIRE HYDRANT	PAD PAD ELEVATION	SSE SANITARY SEWER EASEMENT	WLK WALKWAY			
CVE CONSERVATION EASEMENT	FL FLOW LINE	PE PEDESTRIAN EASEMENT		WM WATER METER			
	G GARAGE SLAB	PEE PEDESTRIAN EQUESTRIAN EASEMENT		WOE WIRE OVERHANG EASEMENT			
	ELEVATION/GAS LINE	PERF PERFORATED		WV WATER VALVE			

**NOTES**

- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND, UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.
- DIMENSIONS SHOWN HEREON ARE GROUND DISTANCES IN FEET AND DECIMALS THEREOF.
- NO PROPERTY CORNERS ARE PROPOSED TO BE SET BY THIS SURVEY.
- ASSESSOR'S PARCEL NUMBER: 529-01-017
- TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
- DIMENSIONS FROM HOUSE TO PROPERTY LINE ARE MEASURED FROM THE BUILDING FACE OF THE STRUCTURE, PERPENDICULAR TO THE PROPERTY LINES.



**SURVEYOR'S STATEMENT**

THIS BOUNDARY SURVEY AND TOPOGRAPHIC MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

*Tom H. Milo*  
 TOM H. MILO  
 L.S. 6438  
 01/31/19  
 DATE



DESIGNED	01/31/19	DATE
DRAWN	01/31/19	DATE
SCALE	1" = 10'	SCALE
CHECKED	01/31/19	DATE
BY		DATE
APPROVED		DATE
REVISIONS		NO.

**ENGINEERING**  
 598 E Santa Clara St, #270  
 San Jose, CA 95128  
 Phone: (408) 806-7187  
 Fax: (408) 583-4006

**BOUNDARY SURVEY AND TOPOGRAPHIC MAP**  
 25 WEST MAIN STREET  
 APN 529-01-017

**California**  
 Los Gatos  
 PROJECT NO.  
 CONTRACT NO.  
 DRAWING NO.  
 1 OF 1  
 FILE NO.

APPLICANT :

ROAD NAME : WEST MAIN STREET

FILE NO : .

TOWN OF LOS GATOS STANDARD GRADING NOTES

- ALL WORK SHALL CONFORM TO CHAPTER 12 OF THE CODE OF THE TOWN OF LOS GATOS, THE ADOPTED CALIFORNIA BUILDING CODE AND THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION EXCEPT AS SPECIFIED OTHERWISE ON THESE PLANS AND DETAILS.
- NO WORK MAY BE STARTED ON-SITE WITHOUT AN APPROVED GRADING PLAN AND A GRADING PERMIT ISSUED BY THE TOWN OF LOS GATOS, PARKS AND PUBLIC WORKS DEPARTMENT LOCATED AT 41 MILES AVENUE, LOS GATOS, CA 95030.
- A PRE-JOB MEETING SHALL BE HELD WITH THE TOWN ENGINEERING INSPECTOR FROM THE PARKS AND PUBLIC WORKS DEPARTMENT PRIOR TO ANY WORK BEING DONE. THE CONTRACTOR SHALL CALL THE INSPECTIONS LINE AT (408) 399-5771 AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO ANY GRADING OR ON-SITE WORK. THIS MEETING SHOULD INCLUDE:
  - A DISCUSSION OF THE PROJECT CONDITIONS OF APPROVAL, WORKING HOURS, SITE MAINTENANCE AND OTHER CONSTRUCTION MATTERS;
  - ACKNOWLEDGEMENT IN WRITING THAT CONTRACTOR AND APPLICANT HAVE READ AND UNDERSTAND THE PROJECT CONDITIONS OF APPROVAL, AND WILL MAKE CERTAIN THAT ALL PROJECT SUB-CONTRACTORS HAVE READ AND UNDERSTAND THEM PRIOR TO COMMENCING WORK AND THAT A COPY OF THE PROJECT CONDITIONS OF APPROVAL WILL BE POSTED ON SITE AT ALL TIMES DURING CONSTRUCTION.
- APPROVAL OF PLANS DOES NOT RELEASE THE DEVELOPER OF THE RESPONSIBILITY FOR THE CORRECTION OF MISTAKES, ERRORS, OR OMISSIONS CONTAINED THEREIN. IF, DURING THE COURSE OF CONSTRUCTION OF THE IMPROVEMENTS, PUBLIC INTEREST AND SAFETY REQUIRES A MODIFICATION OR DEPARTURE FROM THE TOWN SPECIFICATIONS OR THESE IMPROVEMENT PLANS, THE TOWN ENGINEER SHALL HAVE FULL AUTHORITY TO REQUIRE SUCH MODIFICATION OR DEPARTURE AND TO SPECIFY THE MANNER IN WHICH THE SAME IS TO BE MADE.
- APPROVAL OF THIS PLAN APPLIES ONLY TO THE GRADING, EXCAVATION, PLACEMENT, AND COMPACTION OF NATURAL EARTH MATERIALS. THIS APPROVAL DOES NOT CONFER ANY RIGHTS OF ENTRY TO EITHER PUBLIC PROPERTY OR THE PRIVATE PROPERTY OF OTHERS AND DOES NOT CONSTITUTE APPROVAL OF ANY OTHER IMPROVEMENTS.
- EXCAVATED MATERIAL SHALL BE PLACED IN THE FILL AREAS DESIGNATED OR SHALL BE HAULED AWAY FROM THE SITE TO BE DISPOSED OF AT APPROVED LOCATION(S).
- IT SHALL BE THE RESPONSIBILITY OF THE PERMITEE OR CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. PERMITEE OR CONTRACTOR SHALL NOTIFY USA (UNDERGROUND SERVICE ALERT) AT 1-800-227-2600 A MINIMUM OF FORTY-EIGHT (48) HOURS BUT NOT MORE THAN FOURTEEN (14) DAYS PRIOR TO COMMENCING ALL WORK.
- ALL GRADING SHALL BE PERFORMED IN SUCH A MANNER AS TO COMPLY WITH THE STANDARDS ESTABLISHED BY THE AIR QUALITY MANAGEMENT DISTRICT FOR AIRBORNE PARTICULATES.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL, STATE AND FEDERAL LAWS, CODES, RULES AND REGULATIONS GOVERNING THE WORK IDENTIFIED ON THESE PLANS. THESE SHALL INCLUDE, WITHOUT LIMITATION, SAFETY AND HEALTH RULES AND REGULATIONS ESTABLISHED BY OR PURSUANT TO THE OCCUPATIONAL SAFETY AND HEALTH ACT OR ANY OTHER APPLICABLE PUBLIC AUTHORITY.
- THE GENERAL CONTRACTOR SHALL PROVIDE QUALIFIED SUPERVISION ON THE JOB SITE AT ALL TIMES DURING CONSTRUCTION.
- HORIZONTAL AND VERTICAL CONTROLS SHALL BE SET AND CERTIFIED BY A LICENSED SURVEYOR OR REGISTERED CIVIL ENGINEER QUALIFIED TO PRACTICE LAND SURVEYING, FOR THE FOLLOWING ITEMS:
  - RETAINING WALL: TOP OF WALL ELEVATIONS AND LOCATIONS (ALL WALLS TO BE PERMITTED SEPARATELY AND APPLIED FOR AT THE TOWN OF LOS GATOS BUILDING DIVISION).
  - TOE AND TOP OF CUT AND FILL SLOPES.
- PRIOR TO ISSUANCE OF ANY PERMIT, THE APPLICANT'S SOILS ENGINEER SHALL REVIEW THE FINAL GRADING AND DRAINAGE PLANS TO ENSURE THAT DESIGNS FOR FOUNDATIONS, RETAINING WALLS, SITE GRADING, AND SITE DRAINAGE ARE IN ACCORDANCE WITH THEIR RECOMMENDATIONS AND THE PEER REVIEW COMMENTS. THE APPLICANT'S SOILS ENGINEER'S APPROVAL SHALL THEN BE CONVEYED TO THE TOWN EITHER BY LETTER OR BY SIGNING THE PLANS.  
SOILS ENGINEER \_\_\_\_\_  
REFERENCE REPORT NO. \_\_\_\_\_, DATED \_\_\_\_\_, DATED \_\_\_\_\_  
LETTER NO. \_\_\_\_\_, DATED \_\_\_\_\_, 20\_\_\_\_, SHALL BE THOROUGHLY COMPLIED WITH, BOTH THE MENTIONED REPORT AND ALL UPDATES/ADDENDUMS/LETTERS ARE HEREBY APPENDED AND MADE A PART OF THIS GRADING PLAN.
- DURING CONSTRUCTION, ALL EXCAVATIONS AND GRADING SHALL BE INSPECTED BY THE APPLICANT'S SOILS ENGINEER. THE ENGINEER SHALL BE NOTIFIED AT LEAST FORTY-EIGHT (48) HOURS BEFORE BEGINNING ANY GRADING. THE ENGINEER SHALL BE ON-SITE TO VERIFY THAT THE ACTUAL CONDITIONS ARE AS ANTICIPATED IN THE DESIGN-LEVEL GEOTECHNICAL REPORT AND/OR PROVIDE APPROPRIATE CHANGES TO THE REPORT RECOMMENDATIONS, AS NECESSARY. ALL UNOBSERVED AND/OR UNAPPROVED GRADING SHALL BE REMOVED AND REPLACED UNDER SOILS ENGINEER OBSERVANCE (THE TOWN INSPECTOR SHALL BE MADE AWARE OF ANY REQUIRED CHANGES PRIOR TO WORK BEING PERFORMED).
- THE RESULTS OF THE CONSTRUCTION OBSERVATION AND TESTING SHOULD BE DOCUMENTED IN AN "AS-BUILT" LETTER/REPORT PREPARED BY THE APPLICANT'S SOILS ENGINEER AND SUBMITTED FOR THE TOWN'S REVIEW AND ACCEPTANCE BEFORE FINAL RELEASE OF ANY OCCUPANCY PERMIT IS GRANTED.
- ALL PRIVATE AND PUBLIC STREETS ACCESSING PROJECT SITE SHALL BE KEPT OPEN AND IN A SAFE, DRIVABLE CONDITION THROUGHOUT CONSTRUCTION. IF TEMPORARY CLOSURE IS NEEDED, THEN FORMAL WRITTEN NOTICE TO THE ADJACENT NEIGHBORS AND THE TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT SHALL BE PROVIDED AT LEAST ONE (1) WEEK IN ADVANCE OF CLOSURE AND NO CLOSURE SHALL BE GRANTED WITHOUT THE EXPRESS WRITTEN APPROVAL OF THE TOWN. NO MATERIAL OR EQUIPMENT SHALL BE STORED IN THE PUBLIC OR PRIVATE RIGHT-OF-WAY.
- THE CONTRACTOR SHALL INSTALL AND MAINTAIN FENCES, BARRIERS, LIGHTS AND SIGNS THAT ARE NECESSARY TO GIVE ADEQUATE WARNING AND PROTECTION TO THE PUBLIC AT ALL TIMES.
- OWNER/APPLICANT: GORDON WONG PHONE: 408-796-1845
- GENERAL CONTRACTOR: \_\_\_\_\_ PHONE: \_\_\_\_\_
- GRADING CONTRACTOR: \_\_\_\_\_ PHONE: \_\_\_\_\_

- CUT: \_\_\_\_\_ 0 CY EXPORT: \_\_\_\_\_ 0 CY  
FILL: \_\_\_\_\_ 28 CY IMPORT: \_\_\_\_\_ 28 CY
- WATER SHALL BE AVAILABLE ON THE SITE AT ALL TIMES DURING GRADING OPERATIONS TO PROPERLY MAINTAIN DUST CONTROL.
- THIS PLAN DOES NOT APPROVE THE REMOVAL OF TREES. APPROPRIATE TREE REMOVAL PERMITS AND METHODS OF TREE PRESERVATION SHALL BE REQUIRED. TREE REMOVAL PERMITS ARE REQUIRED PRIOR TO THE APPROVAL OF ALL PLANS.

- A TOWN ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY. A STATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN STATE RIGHT-OF-WAY (IF APPLICABLE). THE PERMITEE AND/OR CONTRACTOR SHALL BE RESPONSIBLE COORDINATING INSPECTION PERFORMED BY OTHER GOVERNMENTAL AGENCIES.
- NO CROSS-LOT DRAINAGE WILL BE PERMITTED WITHOUT SATISFACTORY STORMWATER ACCEPTANCE DEED/FACILITIES. ALL DRAINAGE SHALL BE DIRECTED TO THE STREET OR OTHER ACCEPTABLE DRAINAGE FACILITY VIA A NON-EROSIVE METHOD AS APPROVED BY THE TOWN ENGINEER.
- IT IS THE RESPONSIBILITY OF CONTRACTOR AND/OR OWNER TO MAKE SURE THAT ALL DIRT TRACKED INTO THE PUBLIC RIGHT-OF-WAY IS CLEANED UP ON A DAILY BASIS. MUD, SILT, CONCRETE AND OTHER CONSTRUCTION DEBRIS SHALL NOT BE WASHED INTO THE TOWN'S STORM DRAINS.
- GOOD HOUSEKEEPING PRACTICES SHALL BE OBSERVED AT ALL TIMES DURING THE COURSE OF CONSTRUCTION. SUPERINTENDENCE OF CONSTRUCTION SHALL BE DILIGENTLY PERFORMED BY A PERSON OR PERSONS AUTHORIZED TO DO SO AT ALL TIMES DURING WORKING HOURS. THE STORING OF GOODS AND/OR MATERIALS ON THE SIDEWALK AND/OR THE STREET WILL NOT BE ALLOWED UNLESS A SPECIFIC PERMIT IS ISSUED BY AN ENGINEERING DIVISION. THE ADJACENT PUBLIC RIGHT-OF-WAY SHALL BE KEPT CLEAR OF ALL JOB RELATED DIRT AND DEBRIS AT THE END OF THE DAY. FAILURE TO MAINTAIN THE PUBLIC RIGHT-OF-WAY ACCORDING TO THIS CONDITION MAY RESULT IN PENALTIES AND/OR THE TOWN PERFORMING THE REQUIRED MAINTENANCE AT THE DEVELOPER'S EXPENSE.

- GRADING SHALL BE UNDERTAKEN IN ACCORDANCE WITH CONDITIONS AND REQUIREMENTS OF THE PROJECT STORM WATER POLLUTION CONTROL PLAN AND/OR STORM WATER POLLUTION PREVENTION PLAN (SWPPP). THE TOWN OF LOS GATOS STORM WATER QUALITY MANAGEMENT PROGRAM, NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) AND ANY OTHER PERMITS/REQUIREMENTS ISSUED BY THE STATE OF CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD. PLANS (INCLUDING ALL UPDATES) SHALL BE ON-SITE AT ALL TIMES. NO DIRECT STORMWATER DISCHARGES FROM THE DEVELOPMENT WILL BE ALLOWED ONTO TOWN STREETS OR INTO THE PUBLIC STORM DRAIN SYSTEM WITHOUT TREATMENT BY AN APPROVED STORM WATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHODS. MAINTENANCE OF PRIVATE STORMWATER POLLUTION PREVENTION DEVICES SHALL BE THE SOLE RESPONSIBILITY OF THE OWNER. DISCHARGES OR CONNECTION WITHOUT TREATMENT BY AN APPROVED AND ADEQUATELY OPERATING STORMWATER POLLUTION PREVENTION DEVICE OR OTHER APPROVED METHOD SHALL BE CONSIDERED A VIOLATION OF THE ABOVE REFERENCED PERMIT AND THE TOWN OF LOS GATOS STORMWATER ORDINANCE.

TOWN OF LOS GATOS NPDES NOTES

- SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILL OR RESIDES SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF AS REQUIRED BY THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITES AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR TO THE LOCAL STORM DRAIN SYSTEM.
- ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BEST MANAGEMENT PRACTICES (BMPs) AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT A STORM DOES NOT CARRY WASTE OR POLLUTANTS OFF OF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORMWATER (NON-STORMWATER DISCHARGES) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT OR THE STATEWIDE GENERAL CONSTRUCTION STORMWATER PERMIT. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPERCHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORMWATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS ALSO PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.

# GRADING AND DRAINAGE PLANS

## 25 WEST MAIN STREET, LOS GATOS, CA 95030

### GRADING PERMIT APPLICATION NO. \_\_\_\_\_

### ASSESSOR'S PARCEL NO. 529-01-017

GENERAL NOTES

- PROPERTY ADDRESS: 25 WEST MAIN STREET, LOS GATOS, CA 95030
- ASSESSOR'S PARCEL NUMBER: 529-01-017
- SITE AREA: 0.07 ACRES MORE OR LESS
- APPLICANT/DEVELOPER: GORDON WONG
- CONSULTANTS:

- ARCHITECT: GORDON WONG  
GKW ARCHITECTS, INC  
710 E. MCGILINCY LN, #109  
CAMPBELL, CA 95008
- SURVEYOR: TOM H. MILO, LS 6438  
2250 BOHANNON DRIVE  
SANTA CLARA, CA 95050  
TEL: (408) 615-8855
- CIVIL ENGINEER: LC ENGINEERING,  
598 E SANTA CLARA ST, # 270  
SAN JOSE, CA 95112  
TEL: (408) 806-7187

ABBREVIATIONS

AB	AGGREGATE BASE	M	BOOK OF MAPS AT PAGE
AC	ASPHALT CONCRETE	MH	MANHOLE
AD	AREA DRAIN	MIN	MINIMUM
AE	ANCHOR EASEMENT	N&S	NAIL AND SILVER
BB	BUBBLER BOX	NTS	NOT TO SCALE
BLDG	BUILDING	OH	OVERHEAD
BSL	BUILDING SETBACK LINE	OG	ORIGINAL GROUND
BW	BACK OF WALK	OS	OFFSET
BWL	BOTTOM OF WALL	P	PAVEMENT FINISH GRADE
CATV	CABLE TELEVISION	PA	PATIO
CED	COBBLE ROCK ENERGY DISSIPATOR	PAD	PAD ELEVATION
CG	CURB & GUTTER	FDC	FIRE DEPARTMENT CONNECTION
C	CENTERLINE	R	PROPERTY LINE
CLF	CHAIN LINK FENCE	PEE	PEDESTRIAN EQUESTRIAN EA
CO	SANITARY SEWER CLEANOUT	PERF	PERFORATED
COP	CURB OPENING	PM	PARCEL MAP
CONC	CONCRETE	PP	POWER POLE PROP PROPOSED
CSD	COUNTY STANDARD DETAIL	PSDE	PRIVATE STORM DRAINAGE EASEMENT
DE	DRAINAGE EMITTER	PSE	PUBLIC SERVICE EASEMENT
DI	DRAINAGE INLET	PUE	PUBLIC UTILITY EASEMENT
DOC	DOCUMENT	PVMT	PAVEMENT
DS	DOWNSPOUT	PVC	POLYVINYL CHLORIDE
DWY	DRIVEWAY	R	RADIUS
EA	EASEMENT	RW	RETAINING WALL
ELEV	ELEVATION	RE	ROAD EASEMENT
EM	ELECTRIC METER	REM	REMOVE
E(OH)	ELECTRIC OVERHEAD	R/W	RIGHT OF WAY
E(UG)	ELECTRIC UNDERGROUND	SB	SETBACK
EP	EDGE OF PAVEMENT	SD	STORM DRAIN
EV	ELECTRIC VAULT	SDE	STORM DRAIN EASEMENT
EX	EXISTING	SE	SLOPE EASEMENT
FC	FACE OF CURB	SS	SANITARY SEWER/LATERAL
FD	FOUND	SSE	SANITARY SEWER EASEMENT
FF	FINISH ELEVATION OF SUBFLOOR	STA	STATION
FG	GROUND FINISH GRADE	STD	STANDARD DETAIL
FH	FIRE HYDRANT	SW	SIDEWALK
FL	FLOW LINE	TOB	TOP OF BANK
FM	FORCED MAIN	TC	TOP OF CURB
FS	FIRE SERVICE	TEMP	TEMPORARY
FT	FEET	TOC	TOP OF COVER
G	GARAGE SLAB ELEVATION/GAS LINE	TOE	TOE OF BANK
GPE	GENERAL PUBLIC EASEMENT	TG	TOP OF GRATE
GSB	GRADING SETBACK	TPF	TREE PROTECTION FENCE
GM	GAS METER	TW	TOP OF WALL
HP	HI POINT	TYP	TYPICAL
IEE	INGRESS/EGRESS EASEMENT	UE	UTILITY EASEMENT
INV	INVERT	VG	VALLEY GUTTER
IP	IRON PIPE	W	WATER
JP	JOINT POLE	WCE	WIRE CLEARANCE EASEMENT
LIP	LIP OF GUTTER	WE	WATER EASEMENT
LROA	LEAST RESTRICTIVE DEVELOPMENT AREA	WLK	WALKWAY
LS	LANDSCAPED AREA	WM	WATER METER
MAX	MAXIMUM	WOE	WIRE OVERHANG EASEMENT
		WV	WATER VALVE

SHEET INDEX

- TOWN NOTES, GENERAL NOTES, LEGEND & ABBREVIATIONS
- DEMOLITION PLAN
- SITE PLAN
- GRADING AND DRAINAGE PLAN
- CROSS SECTIONS & DETAILS
- BLUEPRINT FOR A CLEAN BAY SHEET
- EROSION CONTROL PLAN
- EROSION CONTROL DETAILS



VICINITY MAP  
NTS

SCOPE OF WORK

- GRADE REAR YARD & PARTIAL HOUSE SITE
- PAVE PARKING STALLS
- STREET FRONTAGE IMPROVEMENTS

LEGEND

EXISTING	PROPOSED	TO BE REMOVED

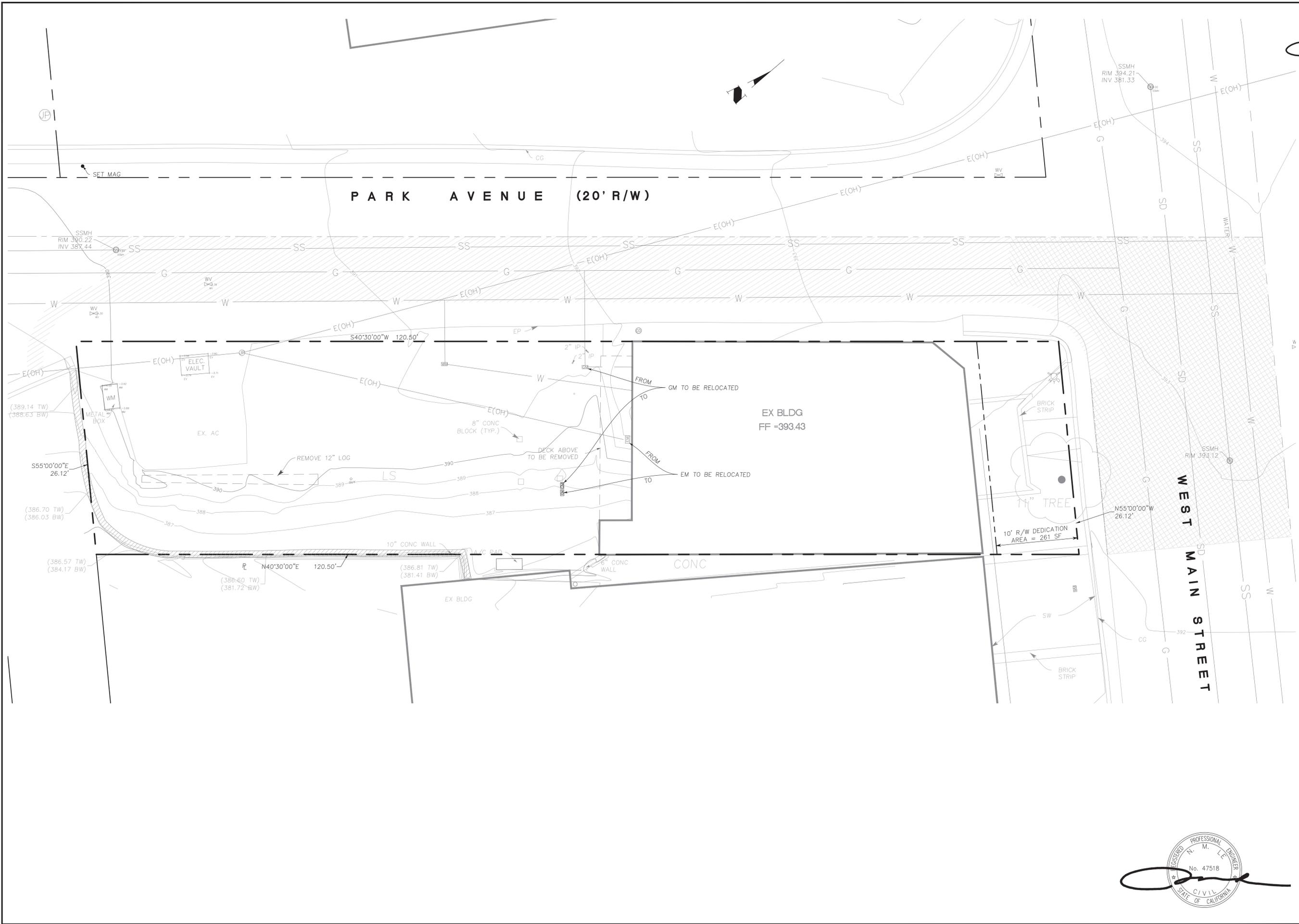


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GRADING AND DRAINAGE PLANS  
**25 WEST MAIN STREET**  
 TOWN NOTES, GENERAL NOTES, LEGEND & ABBREVIATIONS  
 GRADING PERMIT APPLICATION NO. \_\_\_\_\_  
 PARKS AND PUBLIC WORKS DEPARTMENT  
 TOWN OF LOS GATOS

**LC ENGINEERING**  
 598 E Santa Clara St. #270  
 San Jose, CA 95110  
 Phone: (408) 806-7187  
 Fax: (408) 889-4006

REVISIONS	DATE



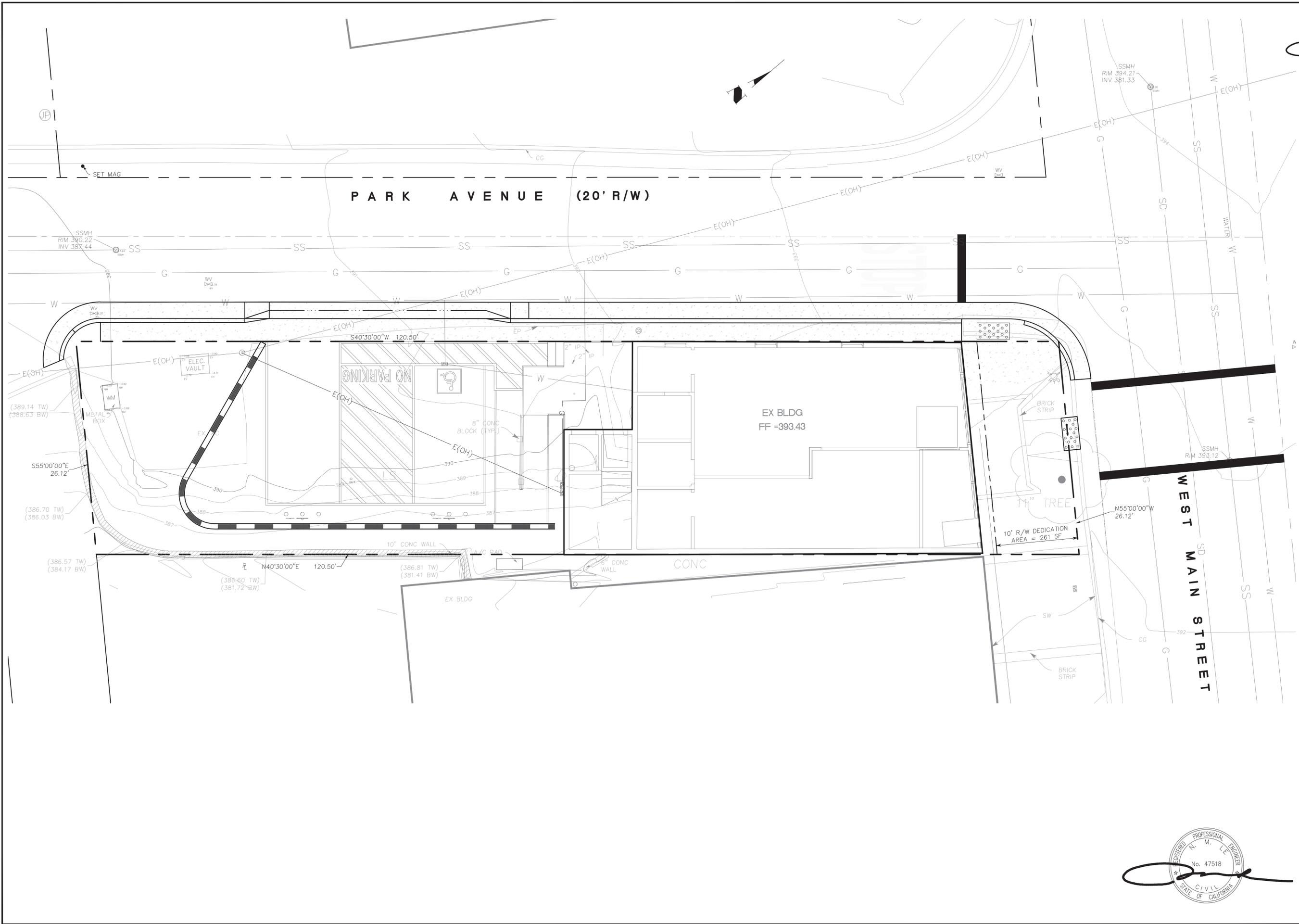
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GRADING AND DRAINAGE PLANS  
**25 WEST MAIN STREET**  
 DEMOLITION  
 GRADING PERMIT APPLICATION NO. \_\_\_\_\_  
 TOWN OF LOS GATOS PARKS AND PUBLIC WORKS DEPARTMENT

**ENGINEERING**  
 598 E Santa Clara St. #270  
 San Jose, CA 95108  
 Phone: (408) 806-7187  
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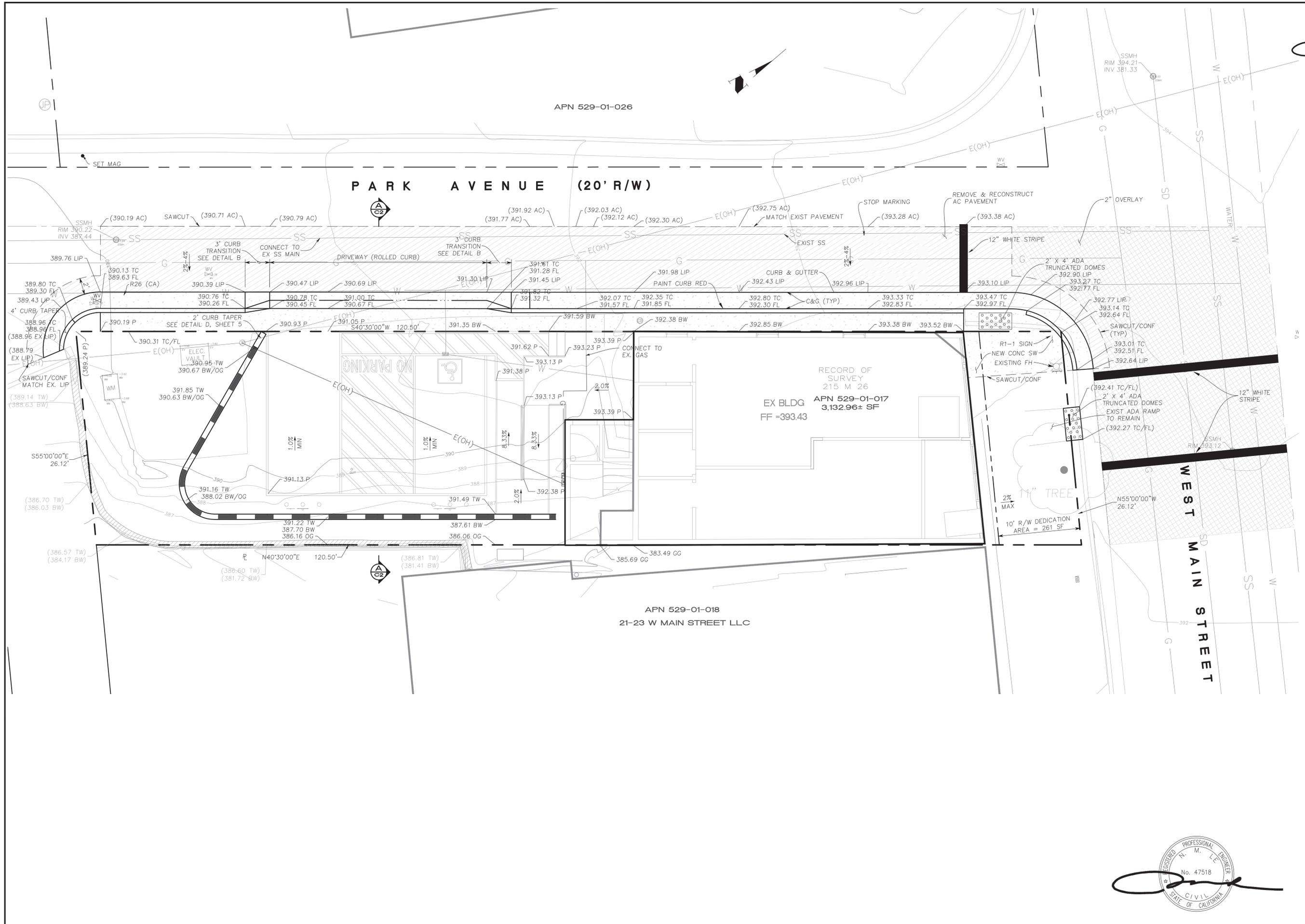
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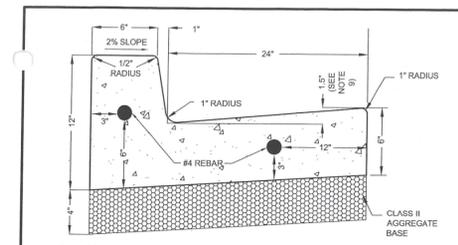
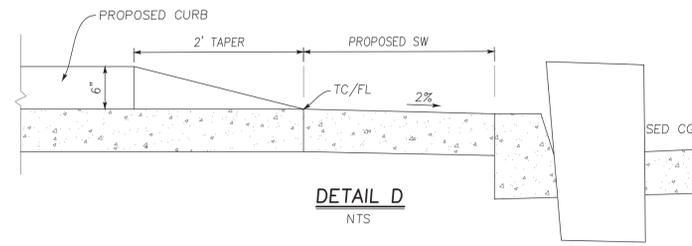


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 SECTION AND DETAILS  
 GRADING PERMIT APPLICATION NO. \_\_\_\_\_  
 TOWN OF LOS GATOS  
 PARKS AND PUBLIC WORKS DEPARTMENT  
 PROJECT NO.:

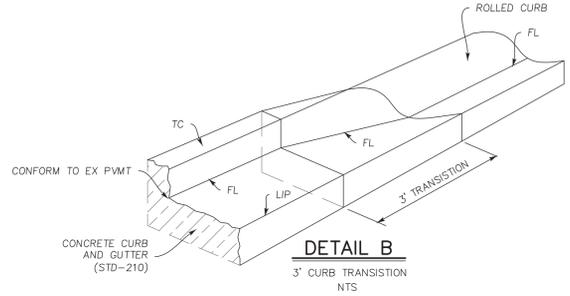
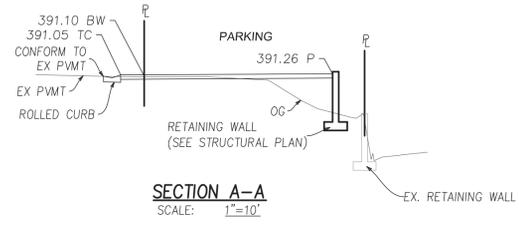
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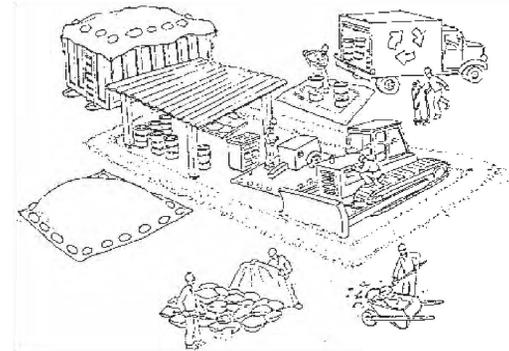


- NOTES:**
1. ALL RADI LESS THAN 100' SHALL USE FLEXIBLE WOOD OR METAL FORMS TO ELIMINATE ANGULAR POINTS AT 10' SECTION POINTS.
  2. SAWCUT AND REMOVE 20 IN. (MIN.) STREET SECTION FOR CURB AND GUTTER INSTALLATION ON EXISTING STREETS.
  3. 3/4" EXPANSION JOINTS TO BE PLACED AT DRIVEWAY SECTIONS, CURB RETURNS, CURB RAMPS & COLD JOINTS OR A MAX. OF 30' C/C. EXPANSION JOINTS SHALL PROTRUDE 1" BELOW THE BOTTOM OF GUTTER.
  4. THRU JOINTS SHALL BE PLACED ADJACENT TO CATCH BASINS, INLETS AT POINTS OF TANGENCY ON STREETS, AND AT ALLEY AND DRIVEWAY RETURNS. MAXIMUM SPACING SHALL BE 30' PRE-MOLDED JOINT FILLER SHALL BE 1/2" WIDE AND CONFORM TO AASHTO DESIGN M213. DUMMY JOINTS SHALL BE PLACED EVERY 10'.
  5. FINISHED WORK SHALL NOT VARY MORE THAN 1/8" IN GRADE AND 1/4" IN ALIGNMENT.
  6. THE FINISHED CURB SHALL IMMEDIATELY BE SPRAYED WITH A TRANSPARENT CURING MEMBRANE IN THE EVENT OF RAIN OR OTHER UNSUITABLE WEATHER. CURING TIME SHALL BE A MINIMUM OF 72 HOURS.
  7. ALL CURB AND GUTTER SHALL BE PLACED ON A MIN. OF 4" AGGREGATE BASE CLASS II 95% MAX. COMPACTION ASTM D1557.
  8. #4 REBAR SHALL BE EXTENDED ALONG LENGTH OF THE CURB AND GUTTER.
  9. GUTTER PAN SLOPE SHALL NOT EXCEED 2% SLOPE AT PEDESTRIAN CURB RAMP ENTRY LOCATIONS. CONTRACTOR SHALL USE 1 1/2" (MAX) BETWEEN LP OF GUTTER AND FLOWLINE AT THESE LOCATIONS.
  10. ALL CONCRETE SHALL INCLUDE ONE (1) POUND OF LAMP BLACK PER CUBIC YARD OF CONCRETE.
  11. ALL CURB AND GUTTER SHALL HAVE 2 #4 REBARS THE ENTIRE LENGTH AND EMBEDDED ON BOTH ENDS USING DOWELS (ONE DOWEL IN THE CENTER OF THE GUTTER, ONE DOWEL IN THE CENTER OF THE CURB).

APPROVED BY	DATE	NOT TO SCALE	STD. PLAN NO.
<i>[Signature]</i>	JUNE 2004	CONCRETE CURB AND GUTTER	210
TOWN ENGINEER			



# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.
- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



### Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



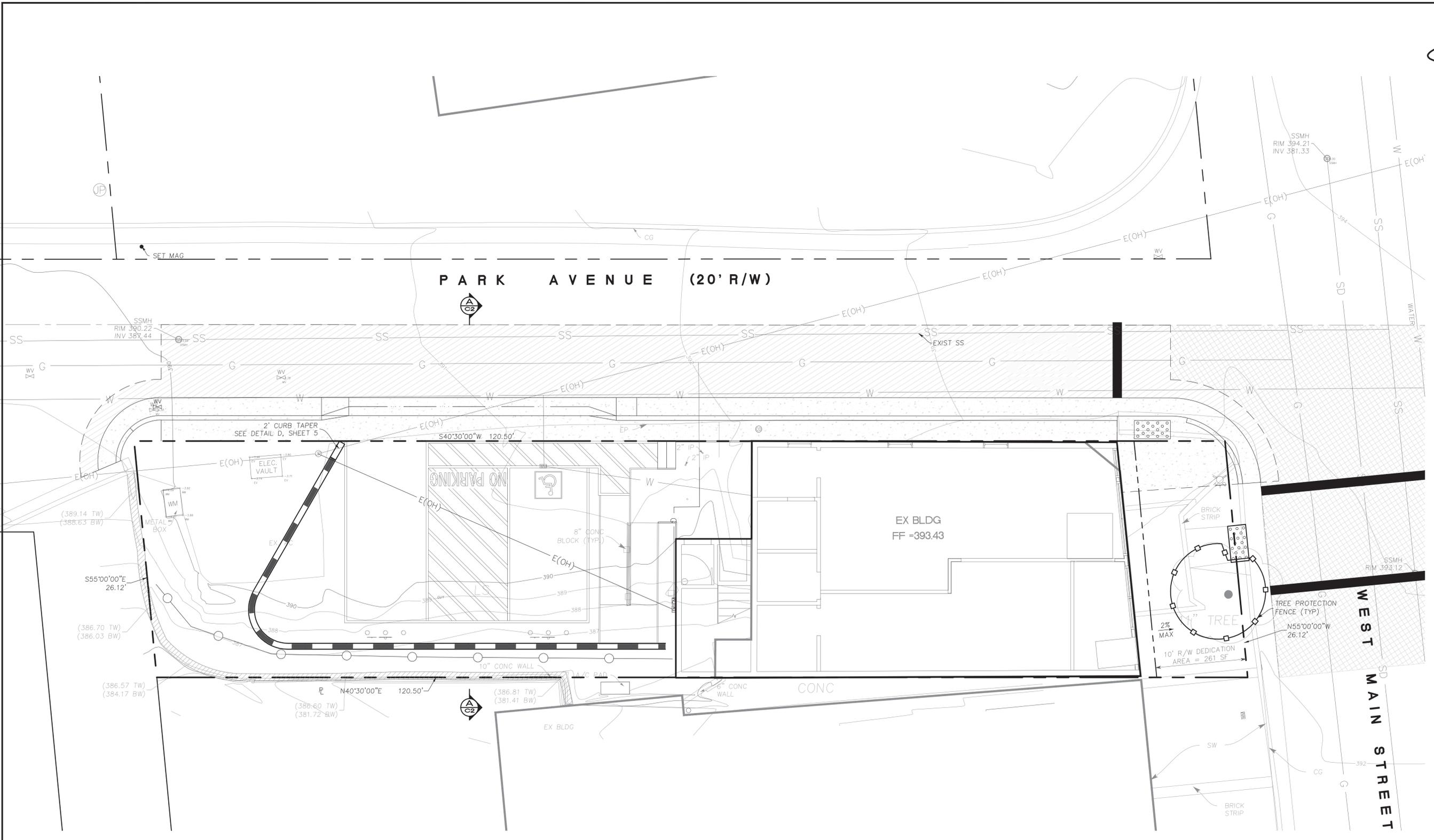


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GRADING AND DRAINAGE PLANS  
**25 WEST MAIN STREET**  
 EROSION CONTROL PLAN  
 GRADING PERMIT APPLICATION NO. \_\_\_\_\_  
 TOWN OF LOS GATOS  
 PARKS AND PUBLIC WORKS DEPARTMENT

**ENGINEERING**  
 598 E Santa Clara St. #270  
 San Jose, CA 95126  
 Phone: (408) 806-7187  
 Fax: (408) 882-4006

REVISIONS	BY	DATE



**LEGEND**

- FIBER ROLL
- TREE PROTECTION FENCE



**GENERAL EROSION AND SEDIMENT CONTROL NOTES:**

- CONTRACTOR/OWNER: ----  
ADDRESS: ----  
PHONE NUMBER: ----  
IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- CIVIL ENGINEER: LC ENGINEERING 598 E SANTA CLARA ST, SUITE #270,  
SAN JOSE, CA 95112.  
(408) 806-7187
- CONTRACTOR: ----  
ADDRESS: ----  
24-HOUR PHONE NUMBER: ----  
CONSTRUCTION SUPERINTENDENT: ----  
ADDRESS: ----  
24-HOUR PHONE NUMBER: ----
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- DEVELOPER WILL SUBMIT TO THE COUNTY/CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCT 15TH AND APRIL 15TH) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE COUNTY/CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
- OWNER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY, OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH.
- CONTRACTOR SHALL PROVIDE DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

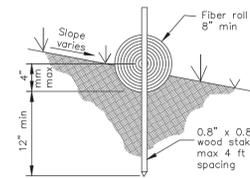
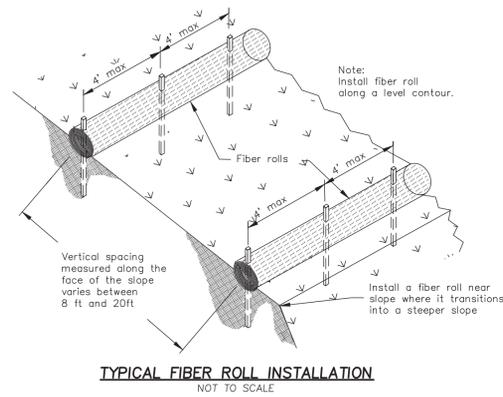
**EROSION AND SEDIMENT CONTROL MEASURES**

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15 TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. GRADING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE DENUDED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENT SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN ARE NECESSARY WITH THE APPROVAL OF THE COUNTY/CITY ENGINEER. PLANS RESUBMITTED FOR THE COUNTY/CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL ARE TO BESITE IMPROVEMENTS ARE ACCEPTED BY THE COUNTY/CITY.
- CONSTRUCTION ENTRANCES SHALL BE INSTALL PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS. ANY MUD OR DEBRIS TRACKED ON TO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE COUNTY/CITY.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY 10/10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS OR THREE-STEP APPLICATIONS OF 1) SEED, MULCH, FERTILIZER 2) BLOWN STRAW 3) TRICKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF
- LOTS WITH HOUSES UNDER CONSTRUCTION WILL NOT BE HYDROSEED. EROSION PROTECTION FOR EACH LOT WITH A HOUSE UNDER CONSTRUCTION SHALL CONFORM TO THE TYPICAL LOT EROSION CONTROL DETAIL SHOWN ON THIS SHEET.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITION. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE REPRESENTATIVE OF ANY FIELD CHANGES.
- GRADING WORK BETWEEN OCTOBER 15 AND APRIL 15 IS AT THE DISCRETION OF COUNTY/CITY.

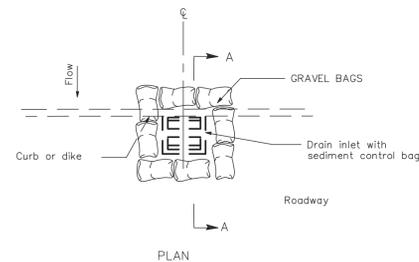
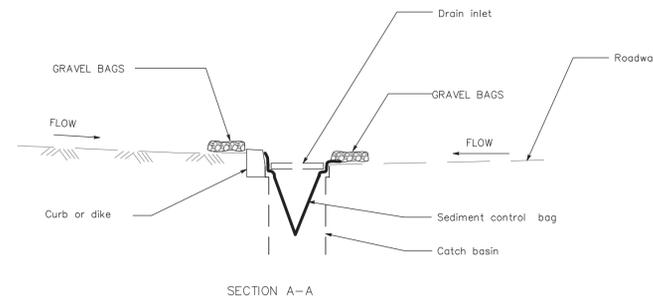
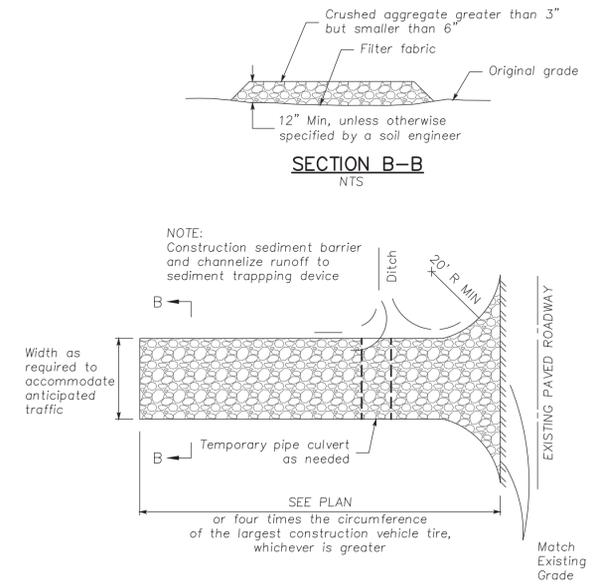
**MAINTENANCE NOTES**

- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
  - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY
  - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
  - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
  - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
  - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
  - RILLS AND FULLIES MUST BE REPAIRED.
- SAND BAD INLET PROTECTION SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.
- EXPOSED SLOPE SHALL BE PROTECTED WITH JUTE NET AND/OR HYDROSEED. HYDROSEED SHALL BE A HOMOGENEOUSLY MIX OF SLURRY CONTAINING NOT LESS THAN 44 LBS OF ORGANIC MULCHING AMENDMENT PLUS FERTILIZER, CHEMICAL ADDITIVES AND SOLIDS FOR EACH 100 GALLONS OF WATER.

**1 Fiber Rolls**  
CASQA Detail SE-5



**3 Stabilized Construction Entrance/Exit**  
CASQA Detail TC-1



**TEMPORARY DRAINAGE INLET PROTECTION**  
For paved areas exposed to traffic



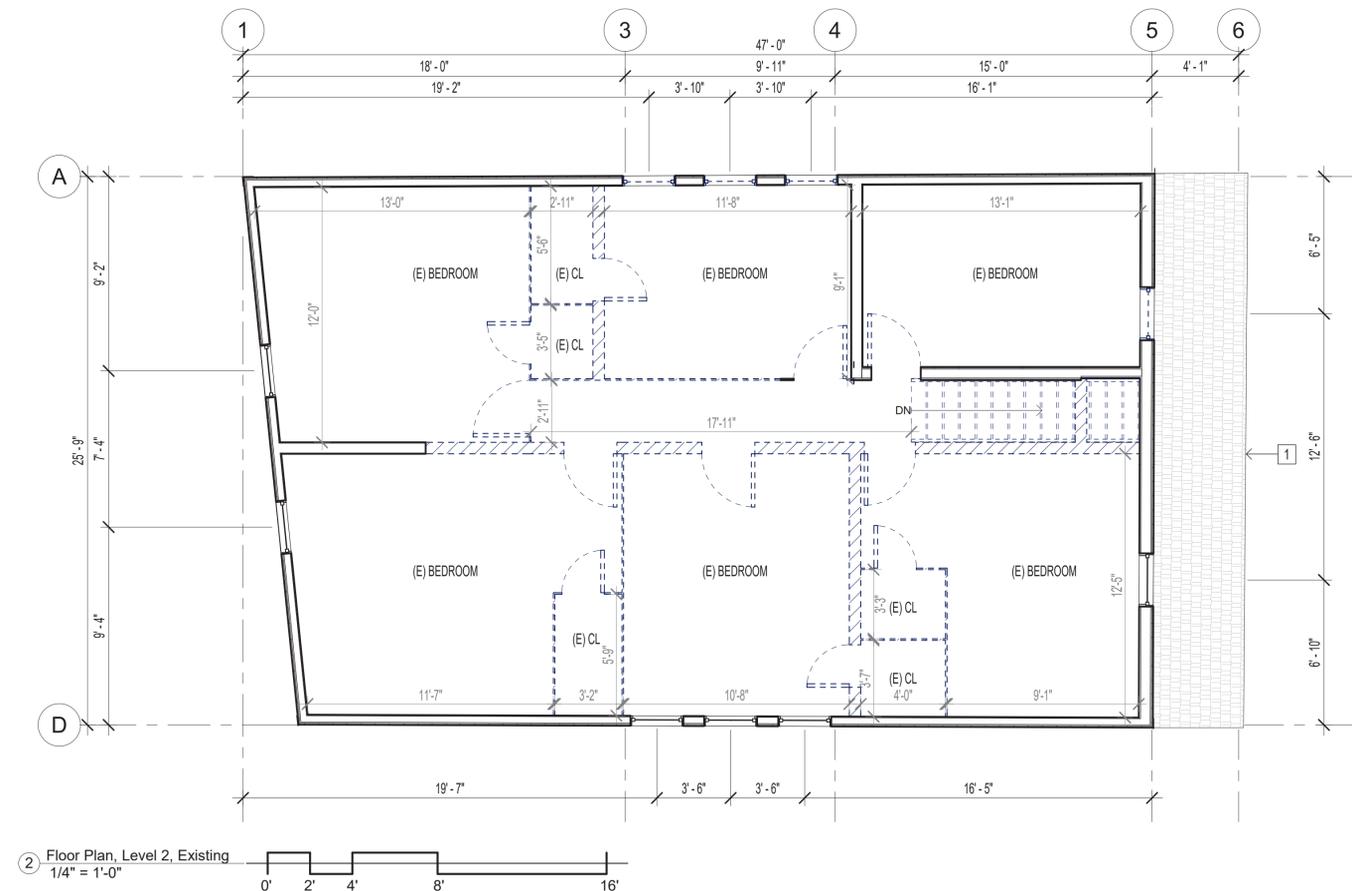
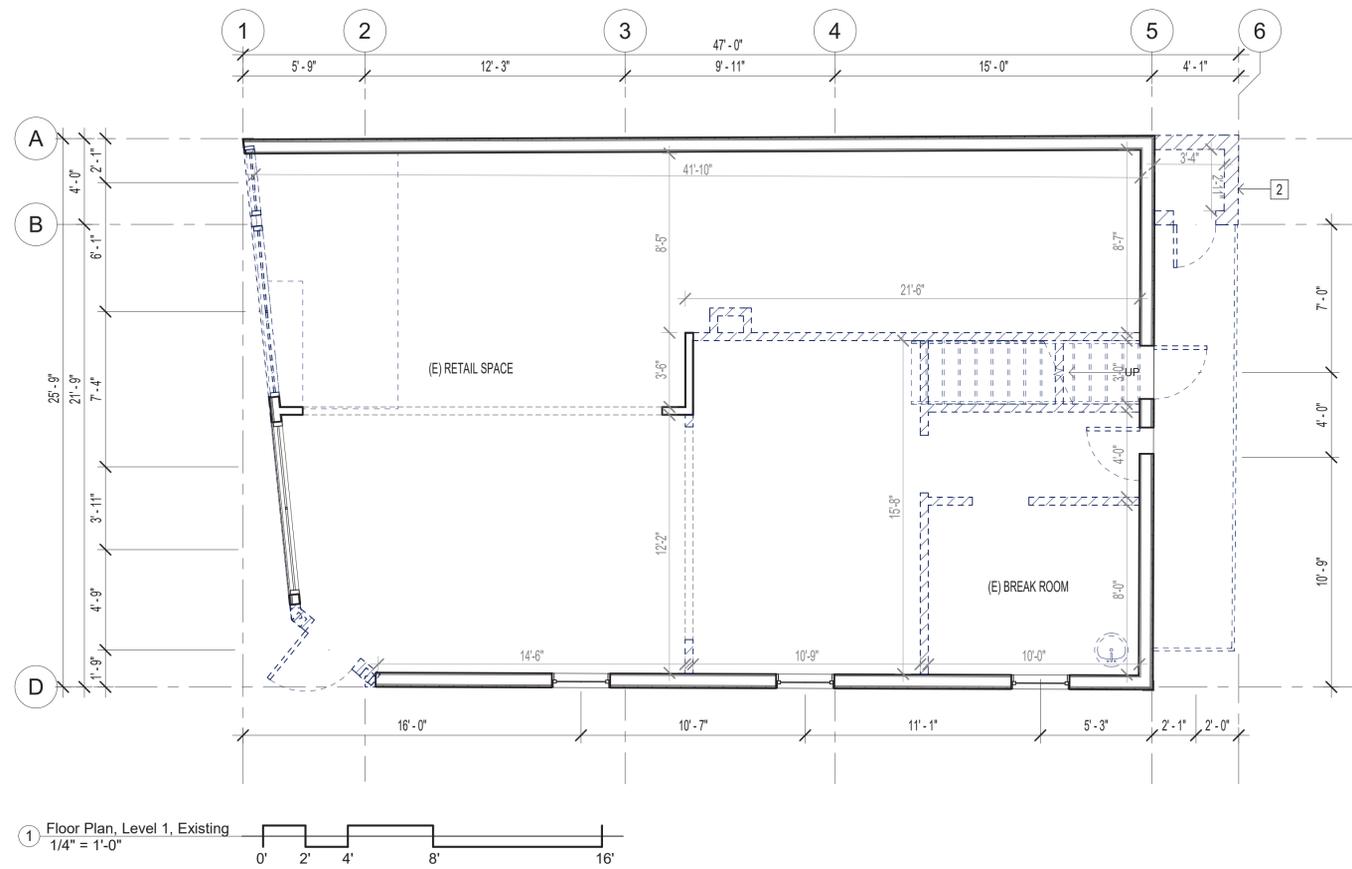
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TOWN OF LOS GATOS  
PARKS AND PUBLIC WORKS DEPARTMENT

**LC ENGINEERING**  
598 E Santa Clara St. #270  
San Jose, CA 95131  
Phone: (408) 806-7187  
Fax: (408) 882-4006

DATE	
BY	
REVISIONS	





FLOOR PLAN, LEVEL 1 & 2 EXISTING, LEGEND

- (E) DOOR TO BE DEMOLISHED
- (E) WINDOW TO BE DEMOLISHED
- (E) WALL TO BE DEMOLISHED

FLOOR PLAN, LEVEL 1 & 2 EXISTING, KEYNOTES

- COVERED PATIO TO BE DEMOLISHED
- STORAGE AREA TO BE DEMOLISHED

**NOTES:**  
EXISTING WALLS ARE NOT IN STRAIGHT ALIGNMENT TO GRIDLINE.  
EXISTING WALLS MUST BE VERIFIED ON SITE.



GORDON K WONG, ARCHITECT LIC# 34045 PROJECT REP  
JENNY C. WONG & DANIA BAHIA  
710E MCCLINCY LANE SUITE 109  
CAMPBELL, CA 95008 (408) 315-2125  
GORDONWONG@GKWARCHITECTS.COM CAMPBELL, CA 95008 (408) 796-1645



Floor Plan, Existing

25 West Main St.  
Los Gatos, CA, 95030

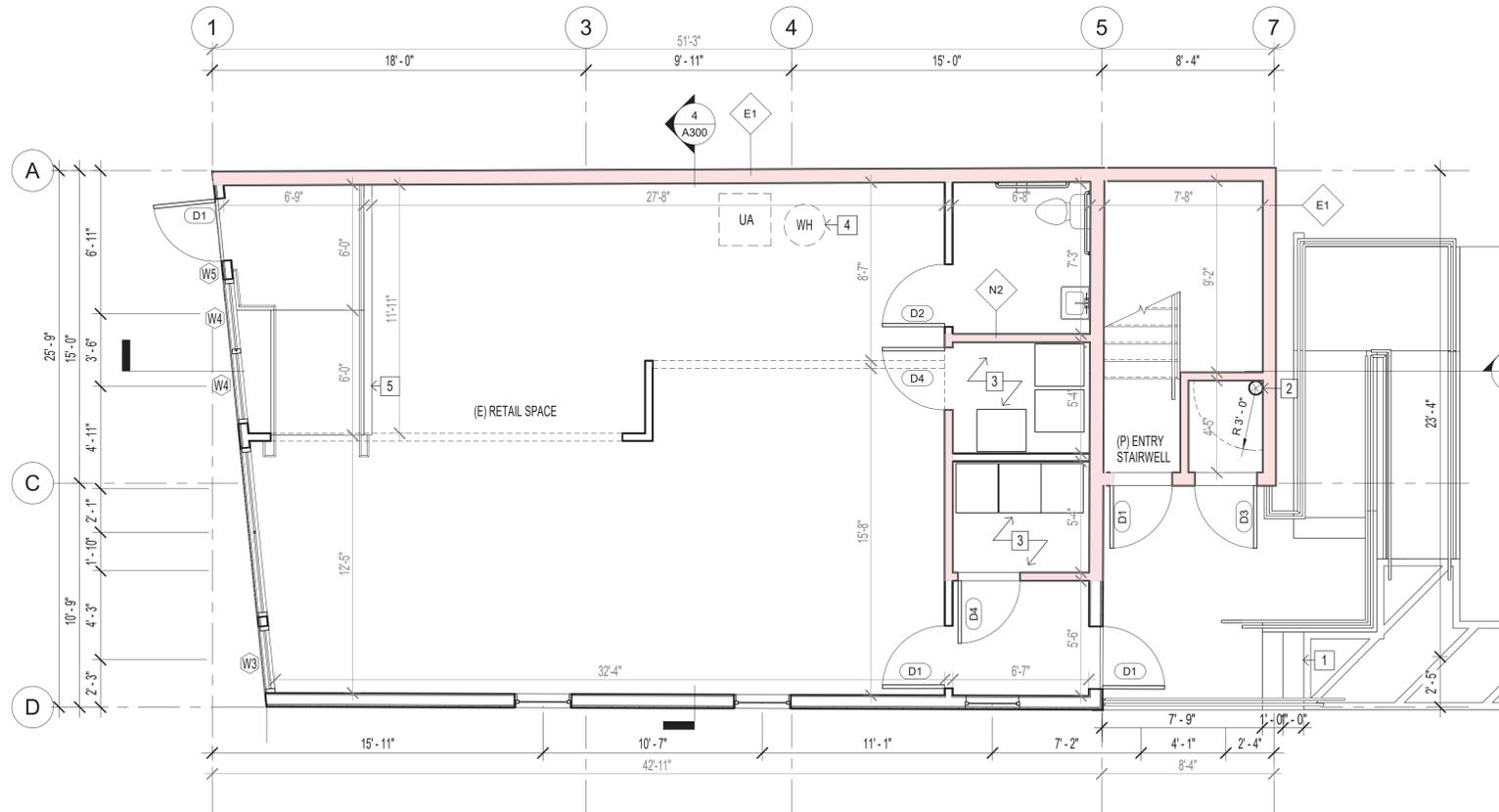
Project Schedule Revision		
#	Date	Description

Floor Plan,  
Existing

A100

SCALE 1/4" = 1'-0"

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1 Floor Plan, Level 1, Proposed  
1/4" = 1'-0"

**FLOOR PLAN, LEVEL 1 PROPOSED, LEGEND**

- (P) NEW CONSTRUCTION DOOR
- (P) NEW CONSTRUCTION WINDOW
- (P) UNDER FLOOR ACCESS 30"x30"
- (P) 1-HR FIRE RATED WALL

**FLOOR PLAN, KEYNOTES**

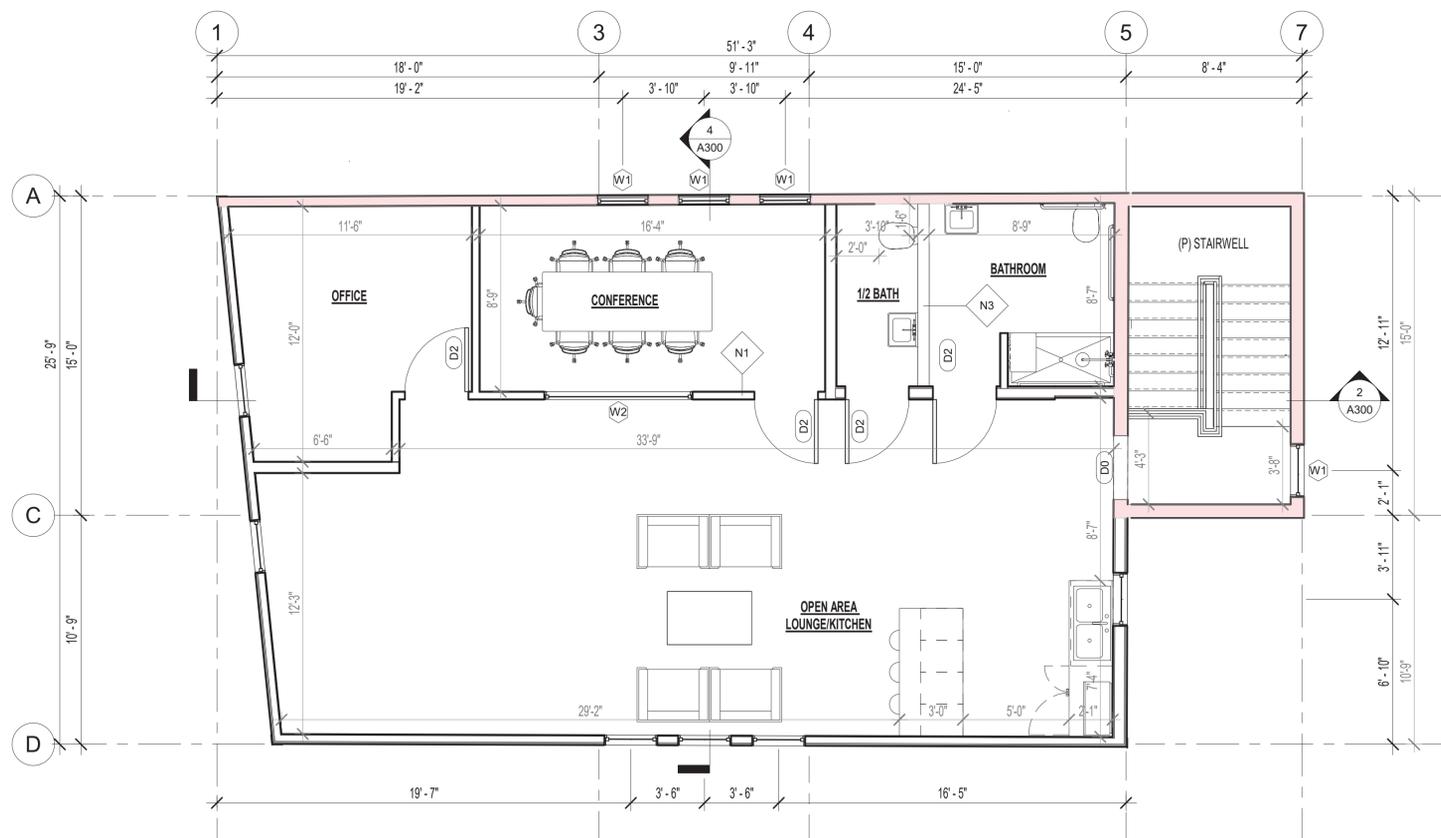
- 1 CONCRETE STEPS
- 2 FIRE RISER
- 3 1 GARBAGE, 1 RECYCLING & COMPOST (95 GALLON)
- 4 GAS WATER TANK (CRAWL SPACE)
- 5 PONY WALL

(P) Window Schedule

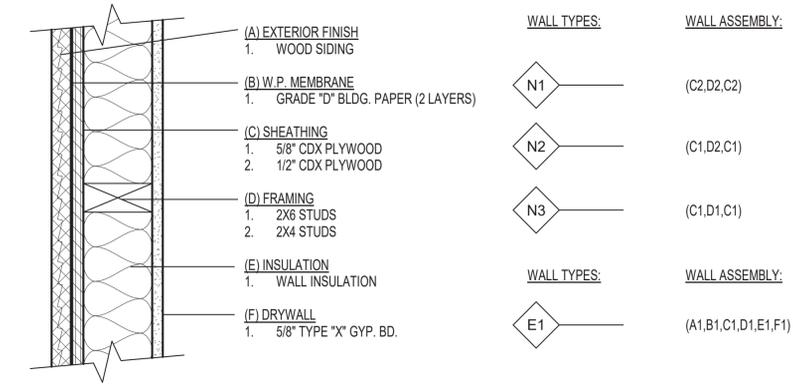
Window Number	Count	Window Type	Width	Height	Sill Height	Tempered.
W1	4	Single Hung	2' - 6"	4' - 5"	1' - 11"	
W2	1	Fixed	7' - 0"	3' - 6"	3' - 2"	YES
W3	1	Store Front Glass	2' - 9 1/2"	7' - 0"	1' - 5 1/2"	
W4	2	Store Front Glass	3' - 2"	7' - 0"	1' - 5 1/2"	
W5	1	Store Front Glass	3' - 0"	1' - 11 1/2"	6' - 7 1/2"	

(P) Door Schedule

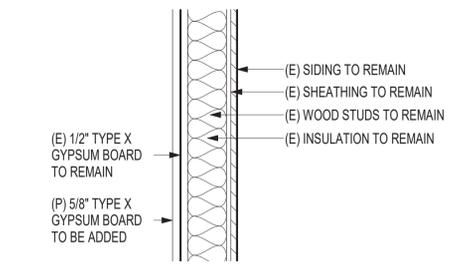
Door Number	Count	Door Type	Width	Height
D0	1	Interior Door Opening	3' - 0"	6' - 8"
D1	4	Exterior Storefront, Single	3' - 0"	6' - 8"
D2	5	Interior Single Flush	3' - 0"	6' - 8"
D3	1	Exterior Single Flush	3' - 0"	6' - 8"
D4	2	Interior Single Flush	3' - 0"	6' - 8"



2 Floor Plan, Level 2, Proposed  
1/4" = 1'-0"



4 Wall Assembly NTS

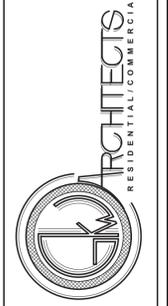


3 Exterior Fire Rated Wall, Adjacent to Neighbor  
1" = 1'-0"

Architectural, Floor Plan, Proposed



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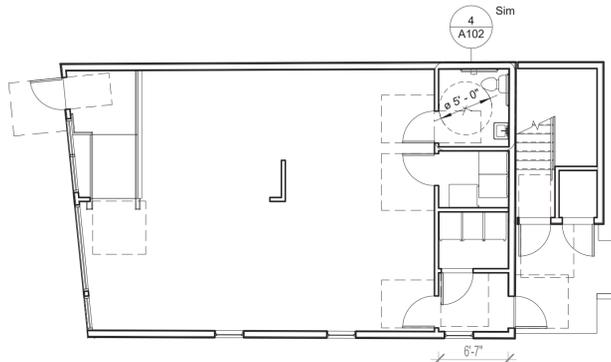
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Architectural,  
Floor Plan,  
Proposed

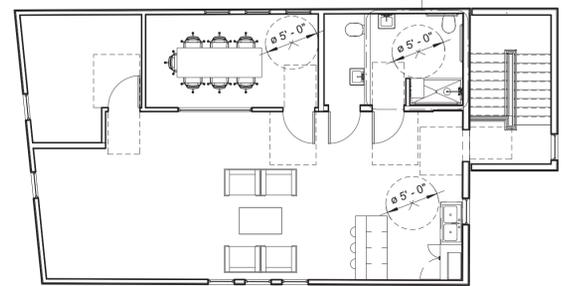
**A101**

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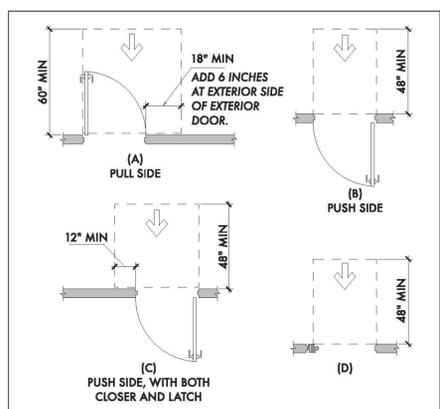
1 ADA Plan, Level 1  
1/8" = 1'-0"



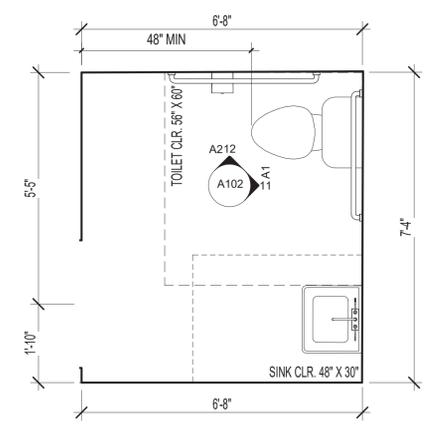
2 ADA Plan, Level 2  
1/8" = 1'-0"

ADA PLAN LEGEND

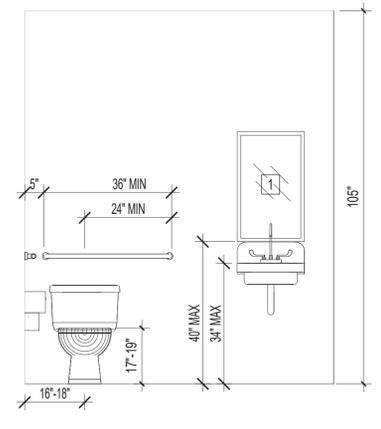
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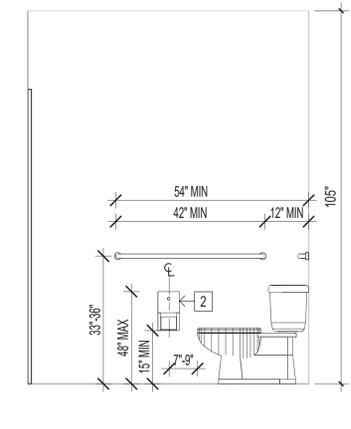
**CLEARANCE NOTES:**  
 A. 28" CLR. BETWEEN LAVATORY AND EDGE OF WATER CLOSET TANK LID WHEN TANK WATER CLOSET OCCURS.  
 B. 28" MIN. CLR. TO EDGE OF BOWL WHEN FLUSH VALVE WATER CLOSET OCCURS. (28" MIN. CLR. BETWEEN LAVATORY TO FURTHEST PROTRUDING EDGE OF WATER CLOSET, TYPICAL.)  
 C. 48" MIN. WHEN FRONT ENTRY DOOR OR 60" MINIMUM WHEN SIDE ENTRY DOOR



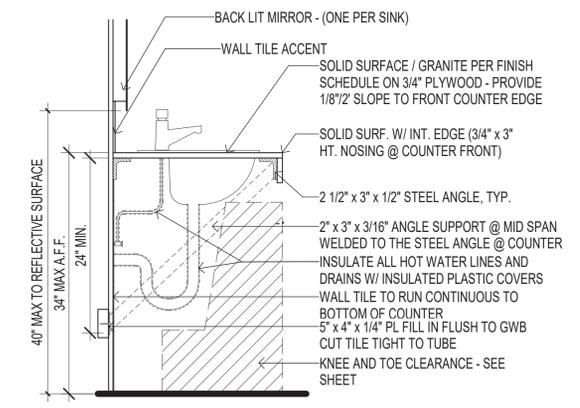
4 ADA Bathroom Plan, Level 1  
1/2" = 1'-0"



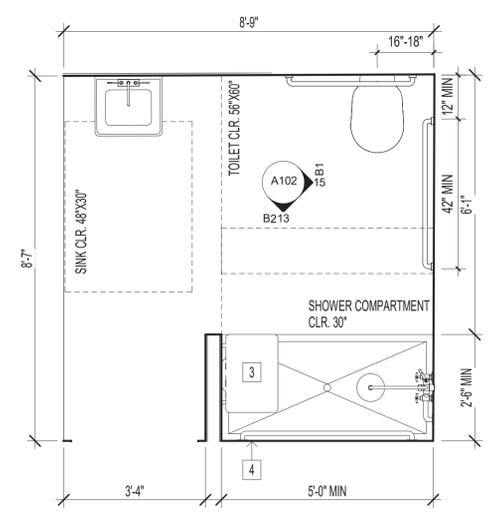
11 A1  
1/2" = 1'-0"



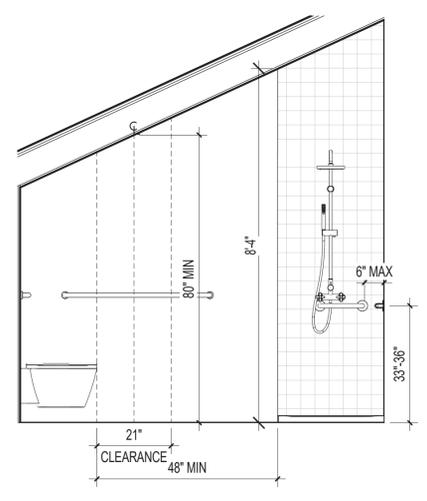
12 A2  
1/2" = 1'-0"



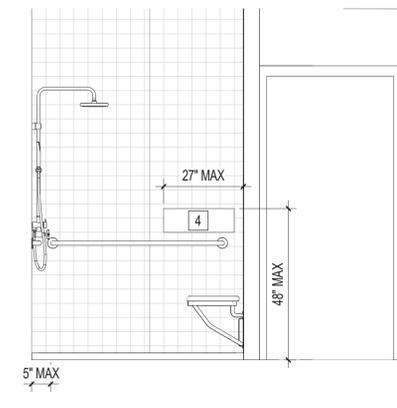
6 Lavatory Counter  
1" = 1'-0"



5 ADA Bathroom, Level 2  
1/2" = 1'-0"



15 B1  
1/2" = 1'-0"



13 B2  
1/2" = 1'-0"

ADA BATHROOM KEYNOTES

- 1 MIRROR
- 2 TOILET PAPER DISPENSER
- 3 NON-PERMANENT SEAT PER ADA 610 SEATS
- 4 CONTROL PANEL



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Architectural, Accessible Details

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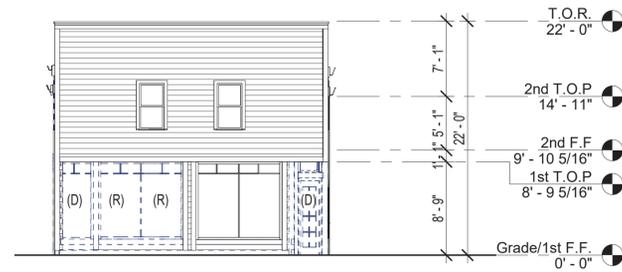
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Architectural,  
 Accessible Details

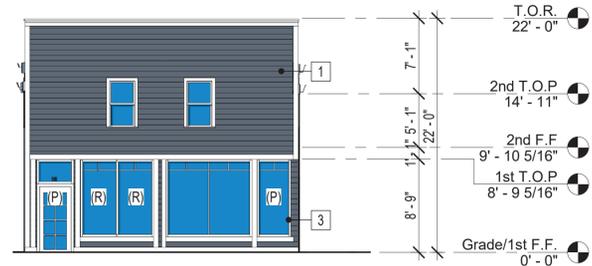
A102

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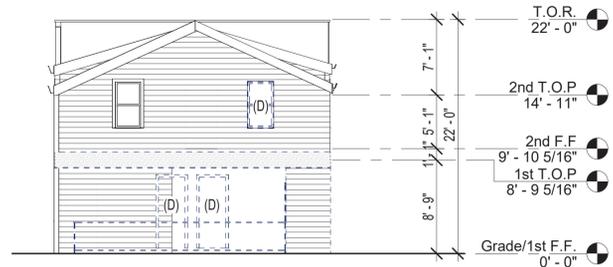
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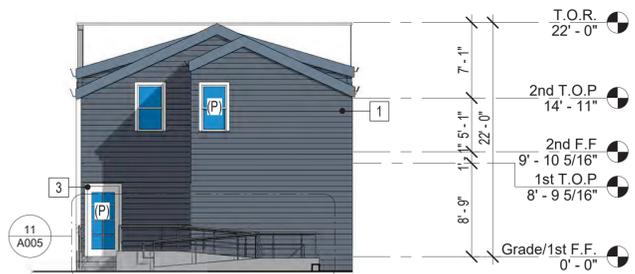
① Elevation, Front, Existing  
1/8" = 1'-0"



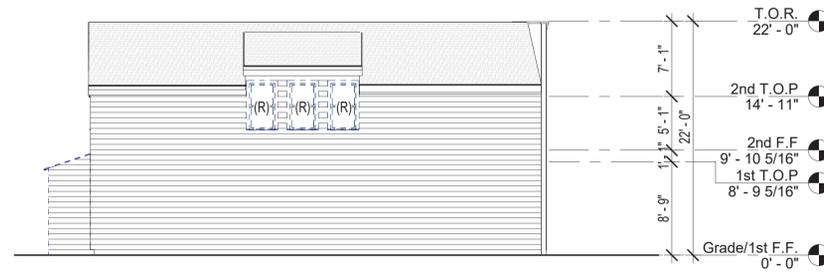
③ Elevation, Front, Proposed  
1/8" = 1'-0"



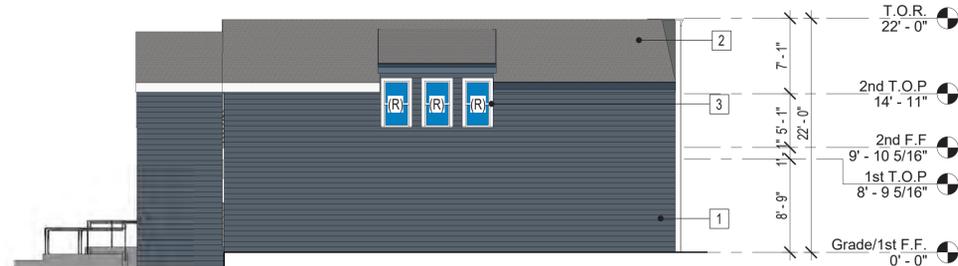
② Elevation, Rear, Existing  
1/8" = 1'-0"



④ Elevation, Rear, Proposed  
1/8" = 1'-0"



⑤ Elevation, Left, Existing  
1/8" = 1'-0"



⑥ Elevation, Left, Proposed  
1/8" = 1'-0"



⑦ Elevation, Right, Existing  
1/8" = 1'-0"



⑧ Elevation, Right, Proposed  
1/8" = 1'-0"

**ELEVATION KEYNOTES**

- ① (P) TONGUE AND GROOVE SIDING TO MATCH EXISTING
- ② (P) CLASS A COMPOSITION SHINGLES TO MATCH EXISTING
- ③ (P) WOOD TRIM TO BE PAINTED TO MATCH EXISTING

**ELEVATION LEGEND**

- (D) TO BE DEMOLISHED
- (P) PROPOSED
- (R) TO BE REPLACED

**MATERIAL BOARD**



EXTERIOR SIDING  
COLOR MATCH MINERAL GRAY COLOR SW 2740



ROOFING MATERIAL  
COMPOSITION SHINGLES TO MATCH EXISTING



TRIM  
WOOD TRIM TO MATCH EXISTING

**Elevations, Existing & Proposed**

**25 West Main St.**  
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Elevations,  
Existing &  
Proposed

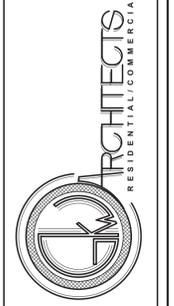
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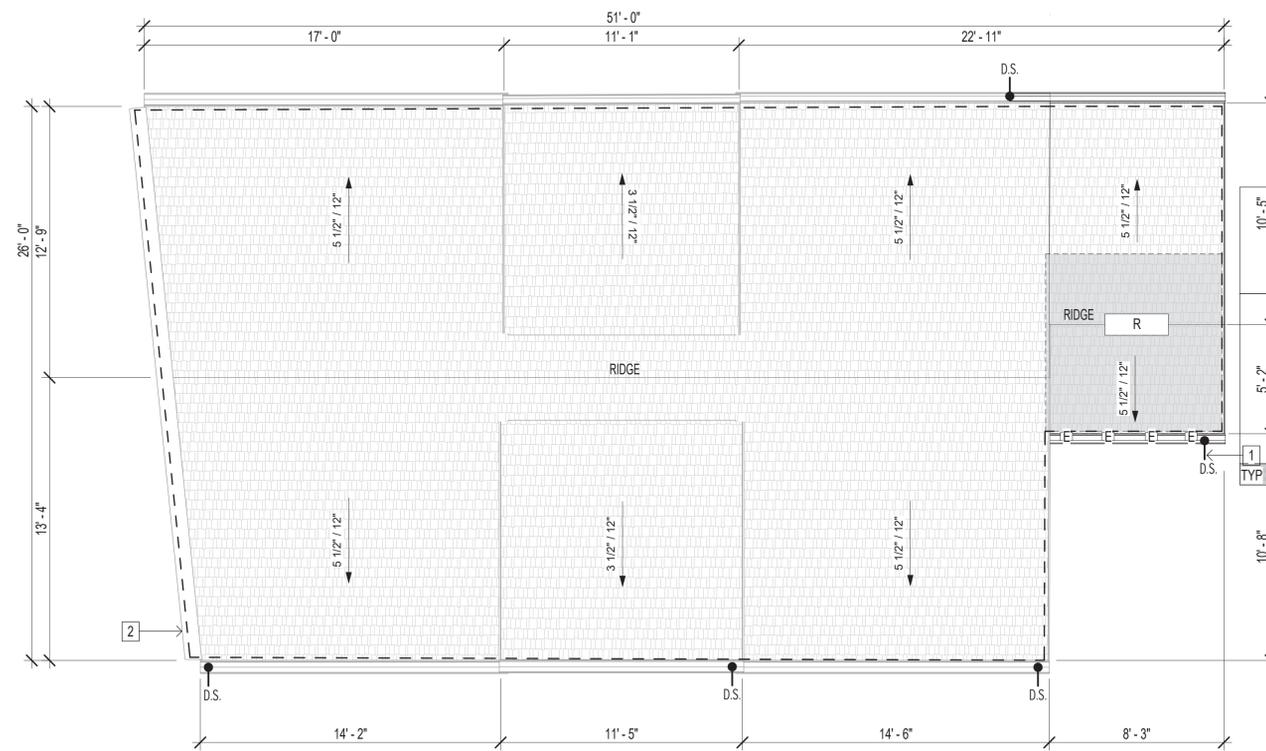
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**KEYNOTES**

- 1 D.S. TO CONNECT TO STORM WATER PIPE
- 2 (E) PARAPET TO REMAIN

**LEGEND**

- BUILDING FOOTPRINT
- D.S. DOWNSPOUT
- R RIDGE VENT
- E EAVE VENT
- (P) ATTIC AREA

**STAIRCASE ATTIC VENT CALCS:**

• REQUIRED VENTILATION  
 64 SF / 150 = 0.43 SF (61.44 SI)  
 IDEAL RATIO (UPPER VENT : LOWER VENT) = 50% : 50%  
 = 30.72 SI : 30.72 SI

RIDGE VENT: (N.F.A. = 18 SI PER LINEAR FT)  
 PROVIDED LENGTH = 3 FT  
 3 x 18 = 48 SI

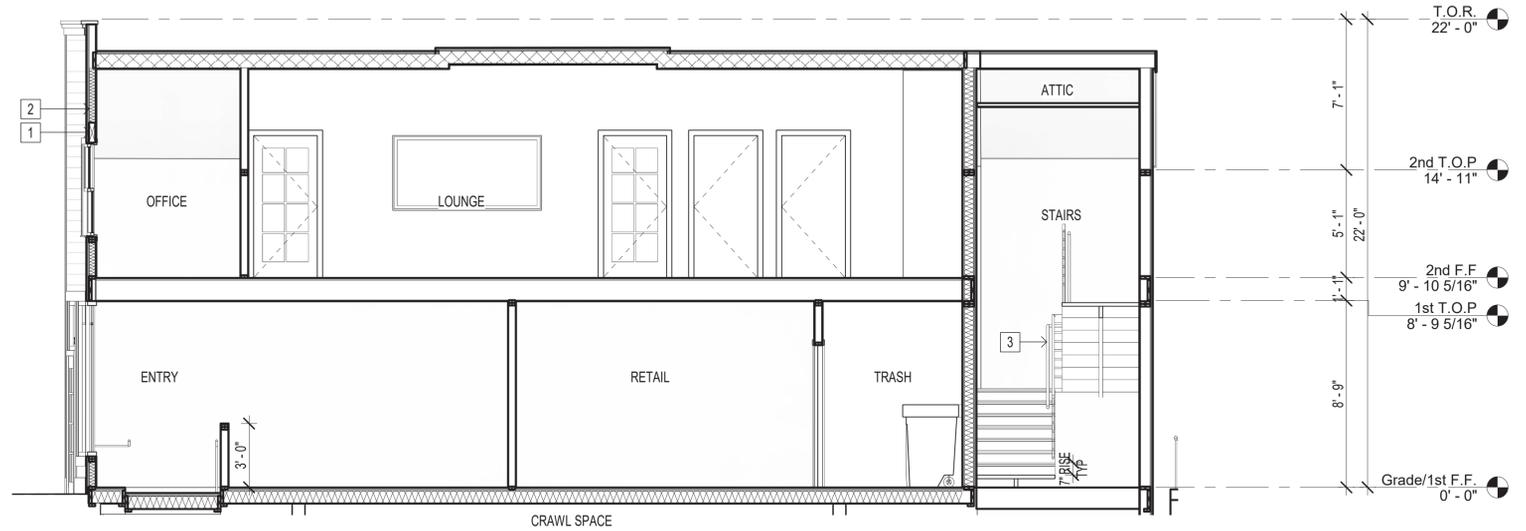
EAVE VENT: (N.F.A. 7.06 SI PER VENT)  
 PROVIDED HOLES = 4  
 7.06 x 4 = 28.24 SI

TOTAL = 48 + 28.24 = 76.24 SI > 61.44 SI, OKAY

**NOTE:**

\*\*ALL ROOF SHEATHING TO USE FIRE RETARDANT TREATED ROOF SHEATHING OR APPROVED EQUIVALENT  
 \*\*ALL ROOFING FINISH MATERIAL TO BE CLASS A AND SHALL MATCH EXISTING ROOF

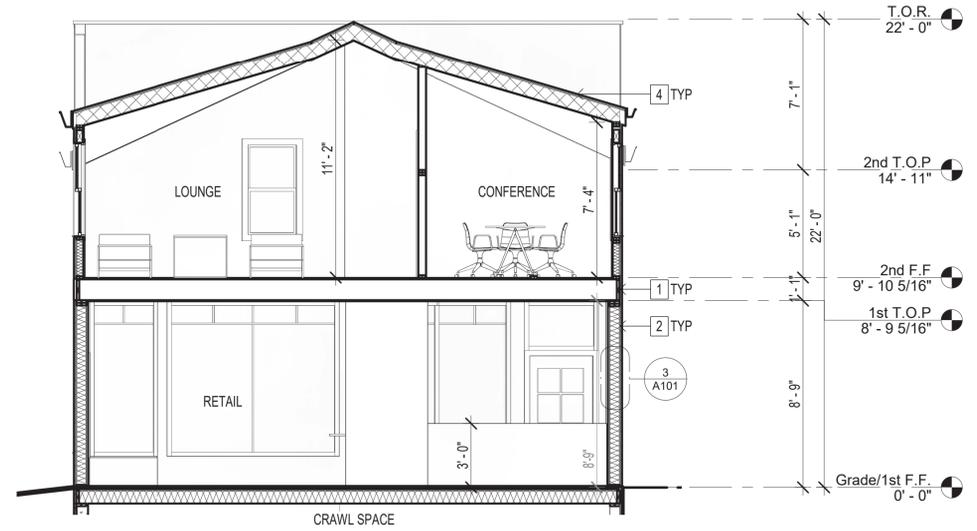
1 Roof Plan, Proposed  
 1/4" = 1'-0"  
 0' 2' 4' 8' 16'



**SECTION KEY NOTES**

- 1 FRAMING
- 2 INSULATION
- 3 HNA DRAIL
- 4 DORMER

2 Section, AA, Proposed  
 1/4" = 1'-0"  
 0' 2' 4' 8' 16'



4 Section, BB, Proposed  
 1/4" = 1'-0"  
 0' 2' 4' 8' 16'

Section & Roof Plan



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Section & Roof Plan

A300

SCALE 1/4" = 1'-0"

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