

SCOPE OF WORK

THIS PROJECT PROPOSES A TENANT IMPROVEMENT FOR A RESTAURANT (2,153 SF) AND ADDITION (128 SF) TO THE HISTORIC TWO-STORY BUILDING. SCOPE INCLUDES A NEW CIRCULATION SPACE WITH A STAIRWAY AND ACCESSIBLE SITE UPGRADES. THE OCCUPANCY/USE TO CHANGE FROM (M) MERCANTILE, TO (A-2) ASSEMBLY.

TENANT IMPROVEMENT	2,153 SF
1ST FLOOR	1,073 SF
2ND FLOOR	1,080 SF
ADDITION	128 SF

- SITE ADJUSTMENTS**
- OUTDOOR DECK 361SF, TRELLIS AND STRING LIGHTS
 - LANDSCAPING PER COMMERCIAL DESIGN GUIDELINES
 - TRASH ENCLOSURE

- HPC/ SCOPE**
- ADDITION EXTERIOR MATERIAL TO BE VERTICAL SIDING, COLOR TO MATCH EXISTING HISTORICAL BUILDING
 - EXISTING CORNER ENTRY TO REMAIN
 - LEFT ENTRY AND STORE FRONT WINDOWS TO BE REHABILITATED TO MATCH 1919-1952 FACADE. SEE A200
 - ALL OTHER EXTERIOR WINDOWS AND DOORS TO REMAIN, TRIM AND SIDING TO REMAIN. SEE DEMOLITION CALC ON A002
 - ROOF STRUCTURE TO REMAIN
 - ROOFTOP HOOD/VENT TO BE SCREENED WITH VERTICAL SIDING FINISH

PROJECT DIRECTORY

OWNER:	REVEAL 004 LLC 675 NORTH FIRST STREET, SUITE 550 SAN JOSE CA 95112
ARCHITECT:	GKW ARCHITECTS, INC. 710 E. MCCLINCY LANE SUITE 109 CAMPBELL, CA 95008 408-315-2125 GORDONKWONG@GKWARCHITECTS.COM
CIVIL ENGINEER & LAND SURVEYOR:	LC ENGINEERING 598 E SANTA CLARA ST. STE 270 SAN JOSE CA 95112 408-808-7187 NLE@LCENGINEERING.NET

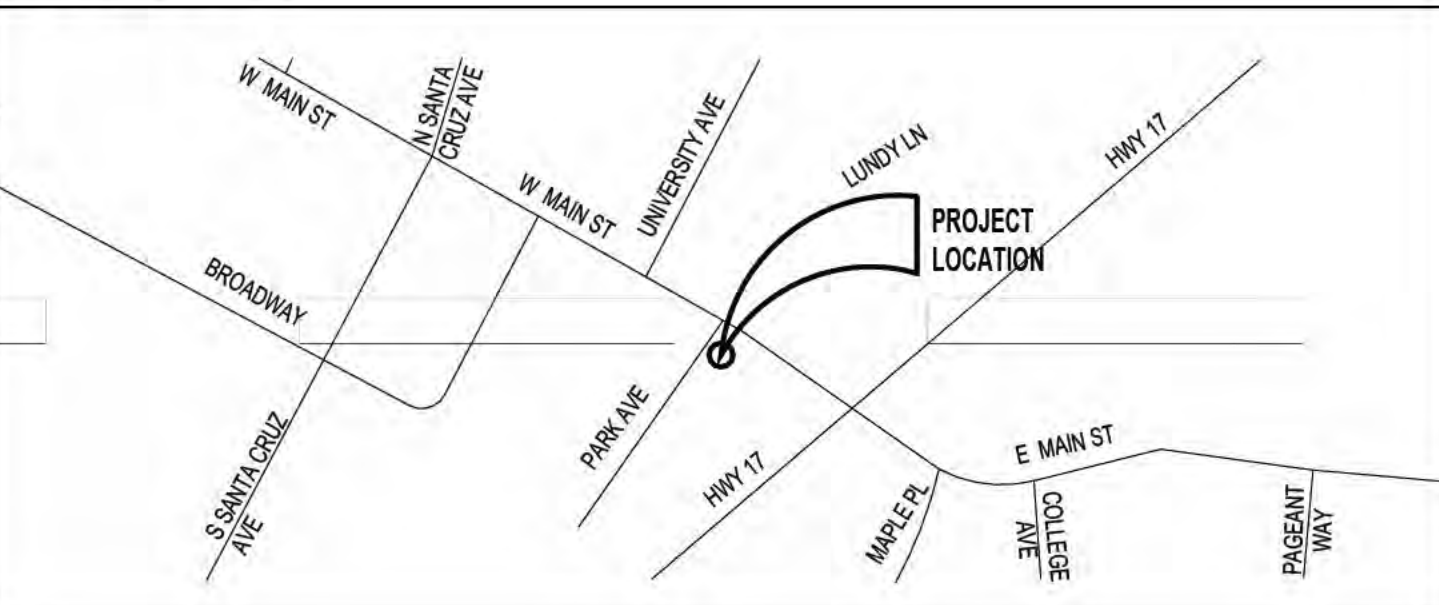
PROJECT INFORMATION

PROJECT LOCATION:	25 W MAIN STREET, LOS GATOS, CA 95030
APN:	529 - 01 - 017
PROJECT JURISDICTION:	LOS GATOS
ZONING:	C-2: LHP CENTRAL BUSINESS DISTRICT (LOS GATOS HISTORICAL COMM. DISTRICT)
GENERAL PLAN USE:	CENTRAL BUSINESS DISTRICT
(E) / (P) OCCUPANCY:	M / A-2
(E) USE / (P) USE:	RETAIL / RESTAURANT
YEAR BUILT/OCCUPIED:	1901
GROSS LOT SIZE:	3,133 SF
NET LOT SIZE:	2,871 SF
AVG. SLOPE OF LOT:	6%
RIGHT-OF-WAY DEDICATION:	262 SF
(E) GROSS FLOOR AREA:	2,170 SF
1ST LVL:	1,080 SF
2ND LVL:	1,080 SF
(P) GROSS FLOOR AREA:	2,281 SF
1ST LVL:	1,073 SF
1ST LVL ADDITION:	128 SF
2ND LVL:	1,080 SF
FAR:	FLOOR AREA / LOT SIZE
ALLOWED:	60 % = 1,880 SF / 3,133 SF
EXISTING:	69 % = 2,170 SF / 3,133 SF
PROPOSED:	79 % = 2,281 SF / 2,871 SF
REQUIRED PARKING:	RESTAURANT 2,281 SF (1,300 SF)
	8
PROPOSED PARKING:	7 (1 SPACE REQUEST FOR PARKING VARIANCE)
PARKING DISTRICT SPACES	
CONSTRUCTION TYPE	V-B
FIRE SPRINKLERS:	YES
SET BACKS	(REQUIRED / EXISTING / PROPOSED)
FRONT:	10'-0" / 11'-6" / 1'-8"
SIDE:	0'-0" / 0'-0" / 0'-0"
REAR:	0'-0" / 6'-8" / 57'-4"
STREET SIDE:	10'-0" / 0'-0" / 0'-0"
MAX. HEIGHT:	45'-0"
(E) & (P) HEIGHT:	21'-11"

BUILDING INFORMATION MODEL



VICINITY MAP



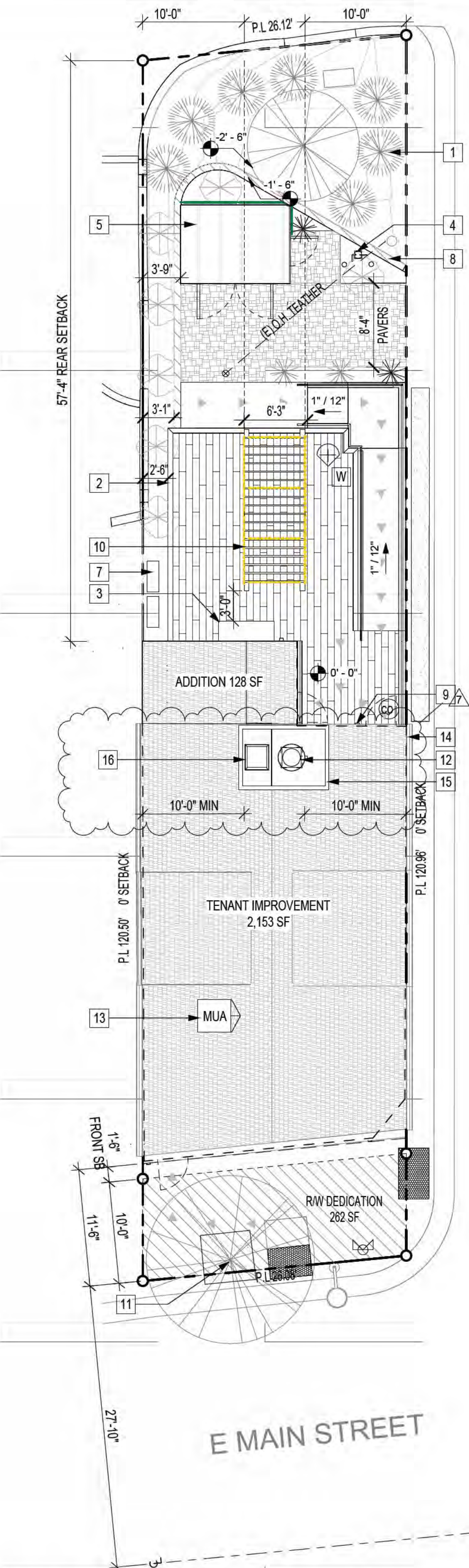
SHEET INDEX

General	
A000.	Site Plan, Proposed
A001	Site Plan, Existing & Exterior Photos
Architectural	
A200	Elevations, Existing & Proposed
A300	Section & Roof Plan & Trash Enclosure
A301	Perspective Views & Diagram
A302	Perspective & Section Views

25 WEST MAIN ST.

LOS GATOS

CALIFORNIA



LEGEND

- ⊗ POWER POLE TETHER
- ⊙ CLEAN OUT
- ⚡ HYDRANT
- - - SETBACK LINE
- - - PROPERTY LINE
- - - BUILDING FOOTPRINT
- ▨ RIGHT-OF-WAY DEDICATION (SEE CIVIL)
- (P) TRUNCATED DOME
- ▶▶▶ (P) ACCESSIBLE PATH OF TRAVEL

SITE PLAN, PROPOSED, KEYNOTES

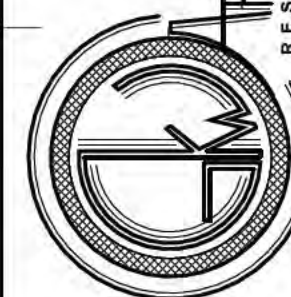
- 1 PROPOSED LANDSCAPING
- 2 RETAINING WALL, CONCRETE
- 3 ELECTRICAL METER/PANEL
- 4 GAS METER
- 5 TRASH ENCLOSURE, CMU, 2Y GARBAGE, 1.5Y RECYCLE & COMPOST, SEPARATE PERMIT WITH FIRE SPRINKLER
- 7 EXTERIOR MECHANICAL UNITS
- 8 DRY STACK RETAINING WALL
- 9 KNOX BOX
- 10 OUTDOOR DECK/DINING WITH TRELLIS AND STRING LIGHTS
- 11 (E) STREET TREE, CALIFORNIA BAY, DIAMETER 18" WITH PROTECTIVE FENCING, SEE TREE PROTECTION AND FENCING NOTES, 4 / A001.1
- 12 ROOFTOP VENT HOOD
- 13 MAKE-UP AIR UNIT, SEE MEP PLANS
- 14 FIRE DEPARTMENT CONNECTION
- 15 SCREEN, VERTICAL SIDING AND COLOR TO MATCH ADDITION
- 16 WATER METER
- 18 ROOFTOP ACCESS, MIN 22"x24" PER CMC 304.3.1

NOTES

1. DOCUMENTATION SHALL BE PROVIDED, PRIOR TO FIRST INSPECTION, CONFIRMING COMPLIANCE TO THE WASTE MANAGEMENT PLAN PROVIDED TO THE JURISDICTION. CGBSC SECTION 5.408.1.4
2. ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AND AEROSOL PAINT CONTAINERS MUST REMAIN ON THE SITE FOR FIELD VERIFICATION BY THE BUILDING INSPECTOR. CGBSC SECTION 5.504.4.3.2
3. PRIOR TO FINAL INSPECTION, A LETTER SIGNED BY THE GENERAL CONTRACTOR OR THE OWNER/BUILDER (FOR ANY OWNER/BUILDER PROJECTS) MUST BE PROVIDED TO THE TOWN OF LOS GATOS BUILDING OFFICIAL CERTIFYING THAT ALL ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, AEROSOL COATINGS, CARPET SYSTEMS (INCLUDING CARPETING, CUSHION AND ADHESIVE), RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS INSTALLED ON THIS PROJECT ARE WITHIN THE EMISSION LIMITS SPECIFIED IN CGBSC SECTION 5.504.
4. HVAC, REFRIGERATION AND FIRE SUPPRESSION EQUIPMENT SHALL NOT CONTAIN CFCs OR HALONS. CGBSC SECTION 5.508.1



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25 West Main St.

Los Gatos, CA, 95030

Revision Schedule

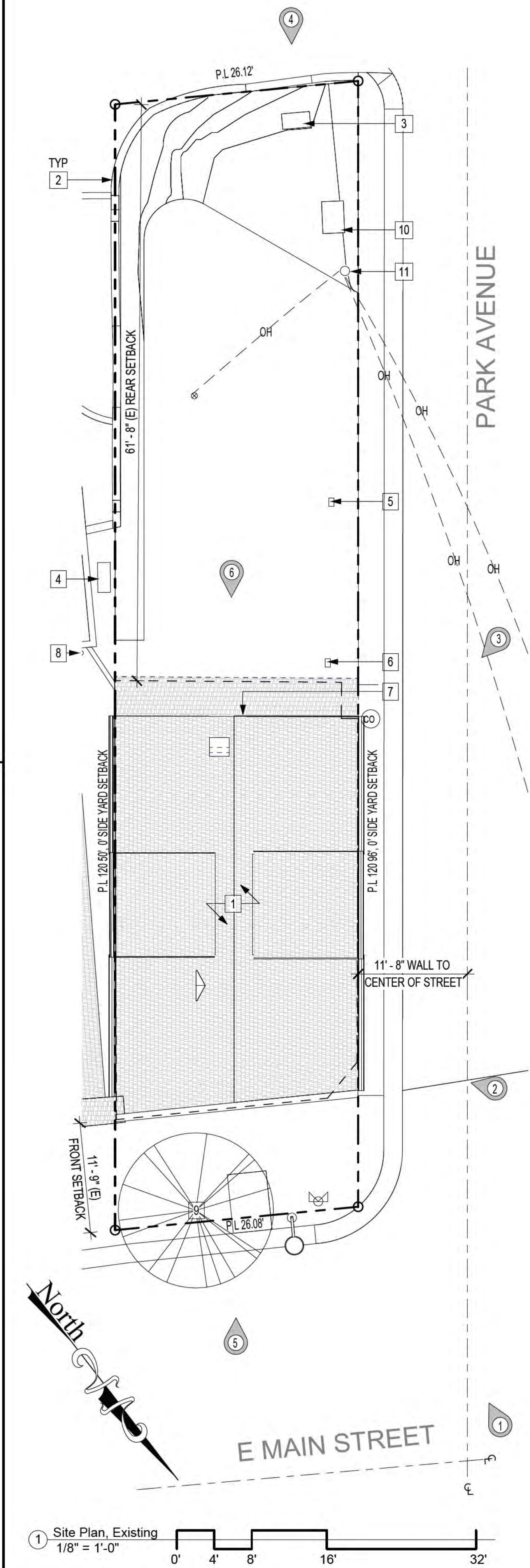
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
3	Planning	2023.05.02
4	Building	Date 6
5	Final Historical	2024.06.07

Site Plan,
Proposed

A000.

SCALE As indicated

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KEYNOTES, SITE PLAN, EXISTING

- BUILDING TO BE RENOVATED PER COMMERCIAL DESIGN GUIDELINES
- RETAINING WALL
- METAL BOX TO BE RELOCATED
- MINI SPLIT CONDENSER, ADJACENT NEIGHBORS
- WATER METER TO BE RESURFACED
- GAS METER TO BE REPLACED / RELOCATED
- ELECTRICAL METER TO BE REPLACED / RELOCATED
- STORM WATER DRAINAGE TO REMAIN
- TREE TO BE PROTECTED PER CITY CODE
- PO&E BOX/ ELECTRICAL VAULT TO REMAIN
- UTILITY POLE TO REMAIN

NOTES

- GENERAL CONTRACTOR TO VERIFY EXISTING SITE CONDITIONS, STRUCTURES, DIMENSIONS
- ALL ELEMENTS IN BLUE ARE TO BE DEMOLISHED

LEGEND

- ⊗ TEACHER TO REMAIN
- ⊙ CLEAN OUT RELOCATED, SEE A000 AND CIVIL
- ⊗ HYDRANT
- ⊗ WATER VALVE

LINE LEGEND

- SETBACK LINE - - - - -
- PROPERTY LINE - - - - -
- BUILDING OUTLINE - - - - -
- OVERHEAD LINE - - - - - OH - - - - -

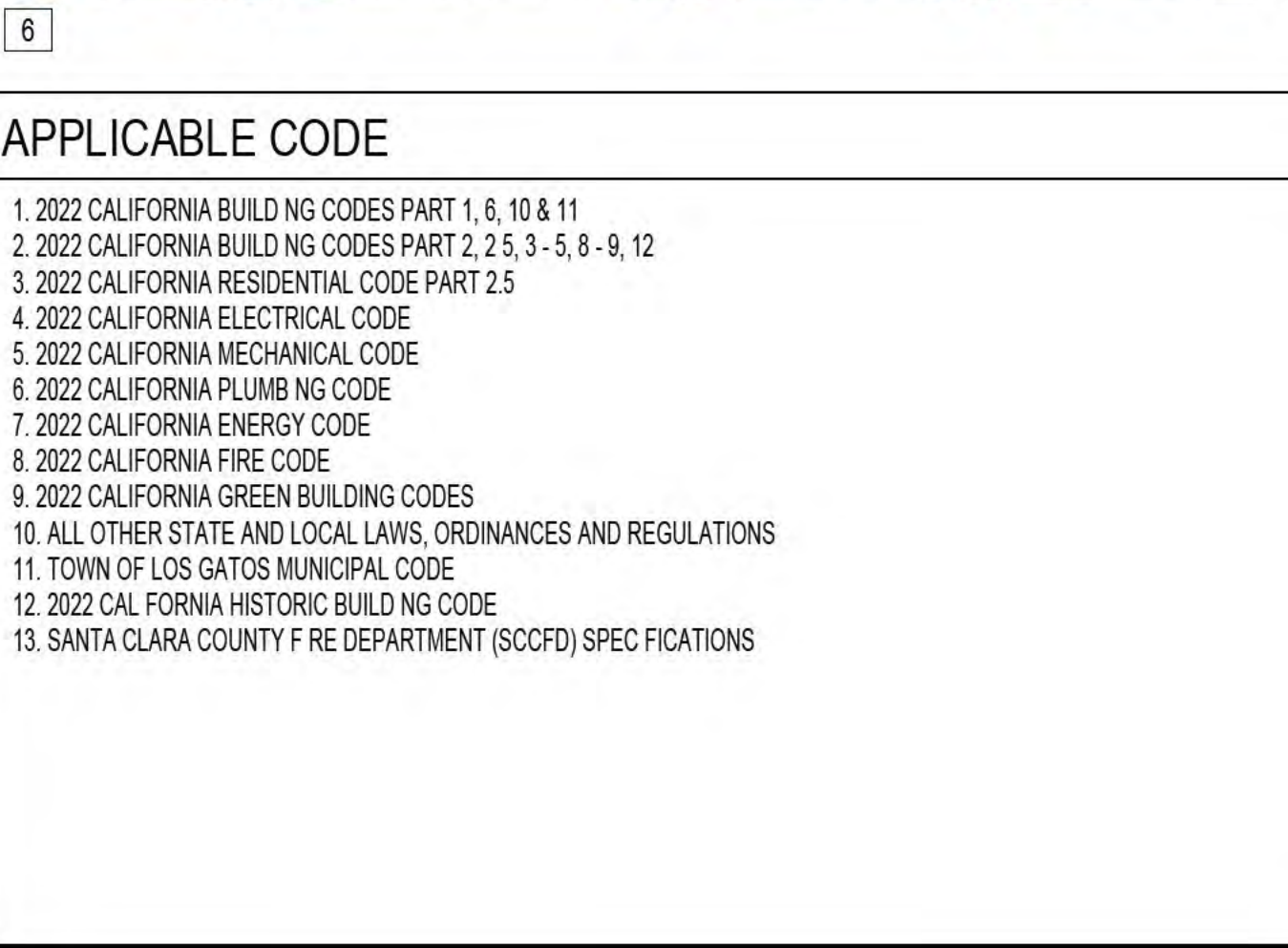
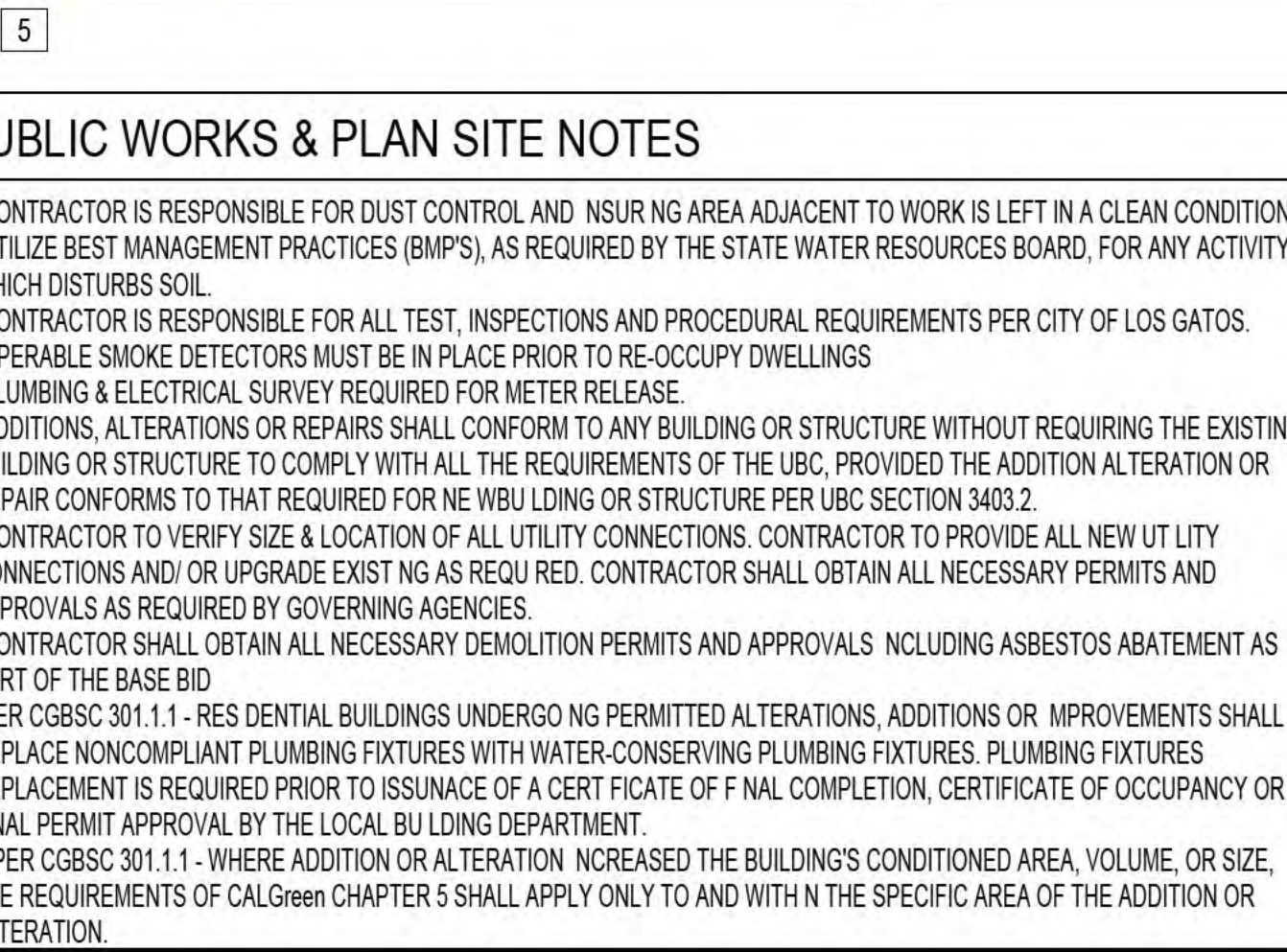
TREE PROTECTION NOTES:

- SEC. 29.10.1005. - PROTECTION OF TREES DURING CONSTRUCTION.
- (A) PROTECTIVE TREE FENCING SHALL SPECIFY THE FOLLOWING:
- SIZE AND MATERIALS. SIX (6) FOOT HIGH CHAIN LINK FENCING, MOUNTED ON TWO-INCH DIAMETER GALVANIZED ROP POSTS, SHALL BE DRIVEN INTO THE GROUND TO A DEPTH OF AT LEAST TWO (2) FEET AT NO MORE THAN TEN-FOOT SPACING. FOR PAVING AREA THAT WILL NOT BE DEMOLISHED AND WHEN STIPULATED IN A TREE PRESERVATION PLAN, POSTS MAY BE SUPPORTED BY A CONCRETE BASE.
 - AREA TYPE TO BE FENCED. TYPE I: ENCLOSURE WITH CHAIN LINK FENCING OF EITHER THE ENTIRE DRIPLINE AREA OR AT THE TREE PROTECTION ZONE (TPZ), WHEN SPECIFIED BY A CERTIFIED OR CONSULTING ARBORIST. TYPE II: ENCLOSURE FOR STREET TREES LOCATED IN A PLANTER STRIP. CHAIN LINK FENCE AROUND THE ENTIRE PLANTER STRIP TO THE OUTER BRANCHES. TYPE III: PROTECTION FOR A TREE LOCATED IN A SMALL PLANTER CUTOUT ONLY (SUCH AS DOWNTOWN). ORANGE PLASTIC FENCING SHALL BE WRAPPED AROUND THE TRUNK FROM THE GROUND TO THE FIRST BRANCH WITH TWO-INCH WOODEN BOARDS BOUND SECURELY ON THE OUTSIDE. CAUTION SHALL BE USED TO AVOID DAMAGING ANY BARK OR BRANCHES.
 - DURATION OF TYPE I, II, III FENCING. FENCING SHALL BE ERRECTED BEFORE DEMOLITION, GRADING OR CONSTRUCTION PERMITS ARE ISSUED AND REMAIN IN PLACE UNTIL THE WORK IS COMPLETED. CONTRACTOR SHALL FIRST OBTAIN THE APPROVAL OF THE PROJECT ARBORIST ON RECORD PRIOR TO REMOVING A TREE PROTECTION FENCE.
 - WARNING SIGN. EACH TREE FENCE SHALL HAVE PROMINENTLY DISPLAYED AN EIGHT AND ONE-HALF-INCH BY ELEVEN-INCH SIGN STATING: "WARNING—TREE PROTECTION ZONE—THIS FENCE SHALL NOT BE REMOVED AND IS SUBJECT TO PENALTY ACCORDING TO TOWN CODE 29.10.1025."

(B) ALL PERSONS, SHALL COMPLY WITH THE FOLLOWING PRECAUTIONS:

- PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INSTALL THE FENCE AT THE DRIPLINE, OR TREE PROTECTION ZONE (TPZ) WHEN SPECIFIED IN AN APPROVED ARBORIST REPORT, AROUND ANY TREE AND/OR VEGETATION TO BE RETAINED WHICH COULD BE AFFECTED BY THE CONSTRUCTION AND PROHIBIT ANY STORAGE OF CONSTRUCTION MATERIALS OR OTHER MATERIALS, EQUIPMENT CLEANING, OR PARKING OF VEHICLES WITHIN THE TPZ. THE DRIPLINE SHALL NOT BE ALTERED IN ANY WAY SO AS TO INCREASE THE ENCR OACHMENT OF THE CONSTRUCTION.
- PROHIBIT ALL CONSTRUCTION ACTIVITIES WITHIN THE TPZ, INCLUDING BUT NOT LIMITED TO: EXCAVATION, GRADING, DRAINAGE AND LEVELING WITHIN THE DRIPLINE OF THE TREE UNLESS APPROVED BY THE DIRECTOR.
- PROHIBIT DISPOSAL OR DEPOSITING OF OIL, GASOLINE, CHEMICALS OR OTHER HARMFUL MATERIALS WITHIN THE DRIPLINE OF OR DRAINAGE CHANNELS, SWALES OR AREAS THAT MAY LEAD TO THE DRIPLINE OF A PROTECTED TREE.
- PROHIBIT THE ATTACHMENT OF WIRES, SIGNS OR ROPES TO ANY PROTECTED TREE.
- DESIGN UTILITY SERVICES AND IRRIGATION LINES TO BE LOCATED OUTSIDE OF THE DRIPLINE WHEN FEASIBLE.
- RETAIN THE SERVICES OF A CERTIFIED OR CONSULTING ARBORIST WHO SHALL SERVE AS THE PROJECT ARBORIST FOR PERIODIC MONITORING OF THE PROJECT SITE AND THE HEALTH OF THOSE TREES TO BE PRESERVED. THE PROJECT ARBORIST SHALL BE PRESENT WHENEVER ACTIVITIES OCCUR WHICH MAY POSE A POTENTIAL THREAT TO THE HEALTH OF THE TREES TO BE PRESERVED AND SHALL DOCUMENT ALL SITE VISITS.
- THE DIRECTOR AND PROJECT ARBORIST SHALL BE NOTIFIED OF ANY DAMAGE THAT OCCURS TO A PROTECTED TREE DURING CONSTRUCTION SO THAT PROPER TREATMENT MAY BE ADMINISTERED.

(ORD. NO. 2240, § 11(E)(H, B), 6-2-15.)



PUBLIC WORKS & PLAN SITE NOTES

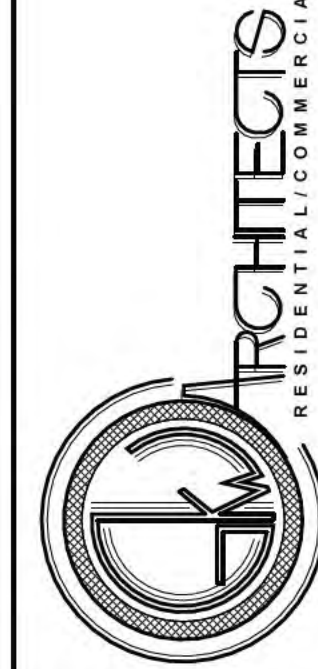
- CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL AND INSURING AREA ADJACENT TO WORK IS LEFT IN A CLEAN CONDITION.
- UTILIZE BEST MANAGEMENT PRACTICES (BMP'S), AS REQUIRED BY THE STATE WATER RESOURCES BOARD, FOR ANY ACTIVITY, WHICH DISTURBS SOIL.
- CONTRACTOR IS RESPONSIBLE FOR ALL TEST, INSPECTIONS AND PROCEDURAL REQUIREMENTS PER CITY OF LOS GATOS.
- OPERABLE SMOKE DETECTORS MUST BE IN PLACE PRIOR TO RE-OCCUPY DWELLINGS
- PLUMBING & ELECTRICAL SURVEY REQUIRED FOR METER RELEASE.
- ADDITIONS, ALTERATIONS OR REPAIRS SHALL CONFORM TO ANY BUILDING OR STRUCTURE WITHOUT REQUIRING THE EXISTING BUILDING OR STRUCTURE TO COMPLY WITH ALL THE REQUIREMENTS OF THE UBC, PROVIDED THE ADDITION ALTERATION OR REPAIR CONFORMS TO THAT REQUIRED FOR NEW BUILDING OR STRUCTURE PER UBC SECTION 3403.2.
- CONTRACTOR TO VERIFY SIZE & LOCATION OF ALL UTILITY CONNECTIONS. CONTRACTOR TO PROVIDE ALL NEW UTILITY CONNECTIONS AND/OR UPGRADE EXISTING AS REQUIRED. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND APPROVALS AS REQUIRED BY GOVERNING AGENCIES.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY DEMOLITION PERMITS AND APPROVALS INCLUDING ASBESTOS ABATEMENT AS PART OF THE BASE BID.
- PER CGBSC 301.1.1 - RESIDENTIAL BUILDINGS UNDERGOING PERMITTED ALTERATIONS, ADDITIONS OR IMPROVEMENTS SHALL REPLACE NONCOMPLIANT PLUMBING FIXTURES WITH WATER-CONSERVING PLUMBING FIXTURES. PLUMBING FIXTURES REPLACEMENT IS REQUIRED PRIOR TO ISSUANCE OF A CERTIFICATE OF FINAL COMPLETION, CERTIFICATE OF OCCUPANCY OR FINAL PERMIT APPROVAL BY THE LOCAL BUILDING DEPARTMENT.
- PER CGBSC 301.1.1 - WHERE ADDITION OR ALTERATION INCREASED THE BUILDING'S CONDITIONED AREA, VOLUME, OR SIZE, THE REQUIREMENTS OF CALGreen CHAPTER 5 SHALL APPLY ONLY TO AND WITHIN THE SPECIFIC AREA OF THE ADDITION OR ALTERATION.

APPLICABLE CODE

- 2022 CALIFORNIA BUILDING CODES PART 1, 6, 10 & 11
- 2022 CALIFORNIA BUILDING CODES PART 2, 2.5, 3-5, 8-9, 12
- 2022 CALIFORNIA RESIDENTIAL CODE PART 2.5
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODES
- ALL OTHER STATE AND LOCAL LAWS, ORDINANCES AND REGULATIONS
- TOWN OF LOS GATOS MUNICIPAL CODE
- 2022 CALIFORNIA HISTORIC BUILDING CODE
- SANTA CLARA COUNTY FIRE DEPARTMENT (SCCFD) SPECIFICATIONS



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25 West Main St.
Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
1	Planning	2023.03.17
2	Building	Date 5

Site Plan, Existing
& Exterior Photos

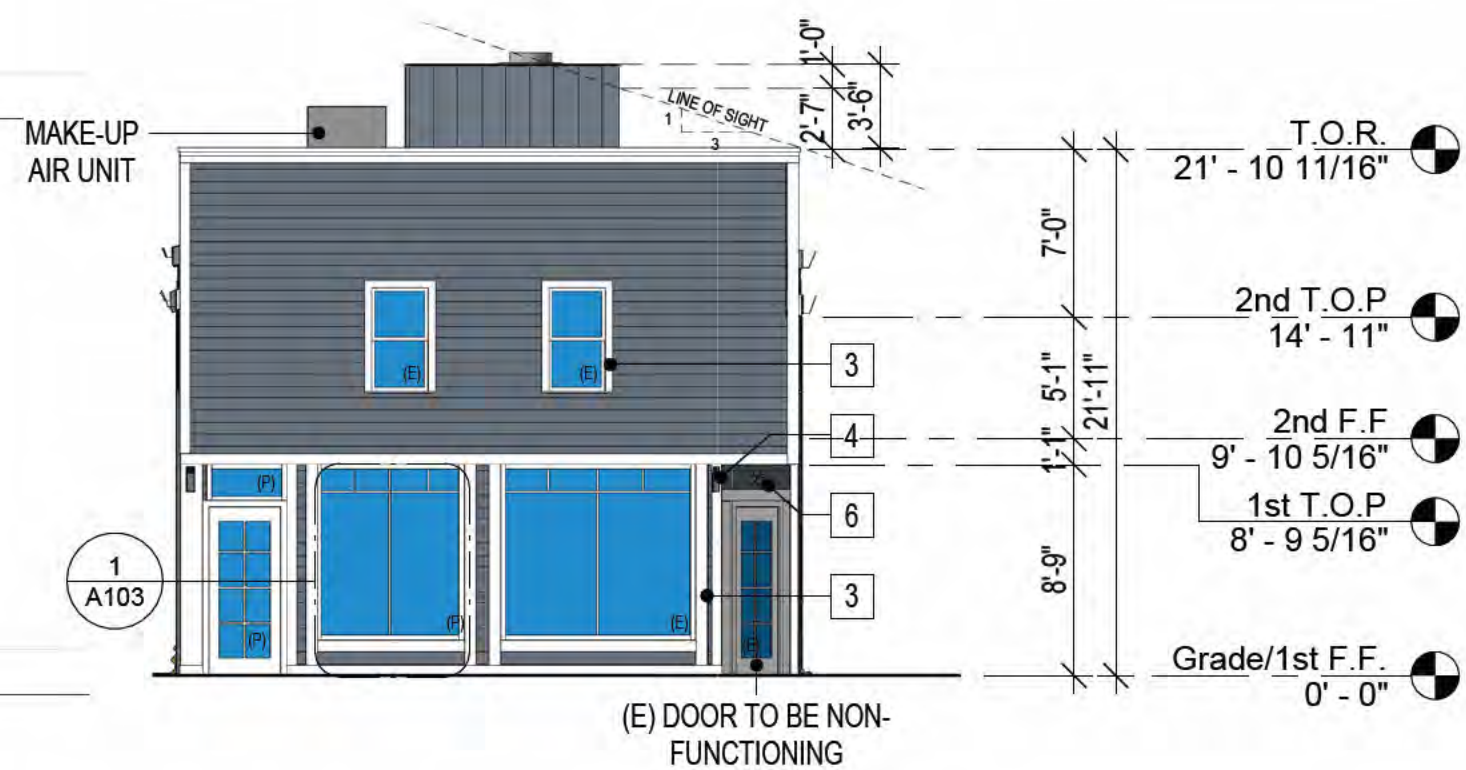
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SCALE 1/8" = 1'-0"

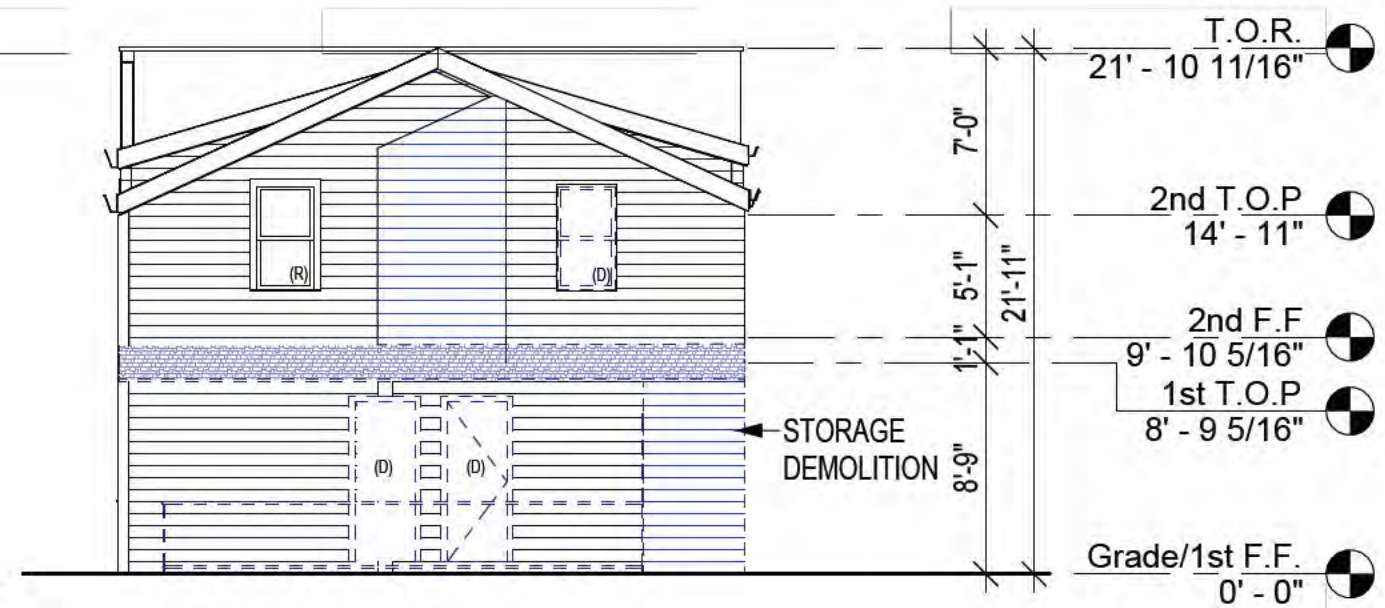
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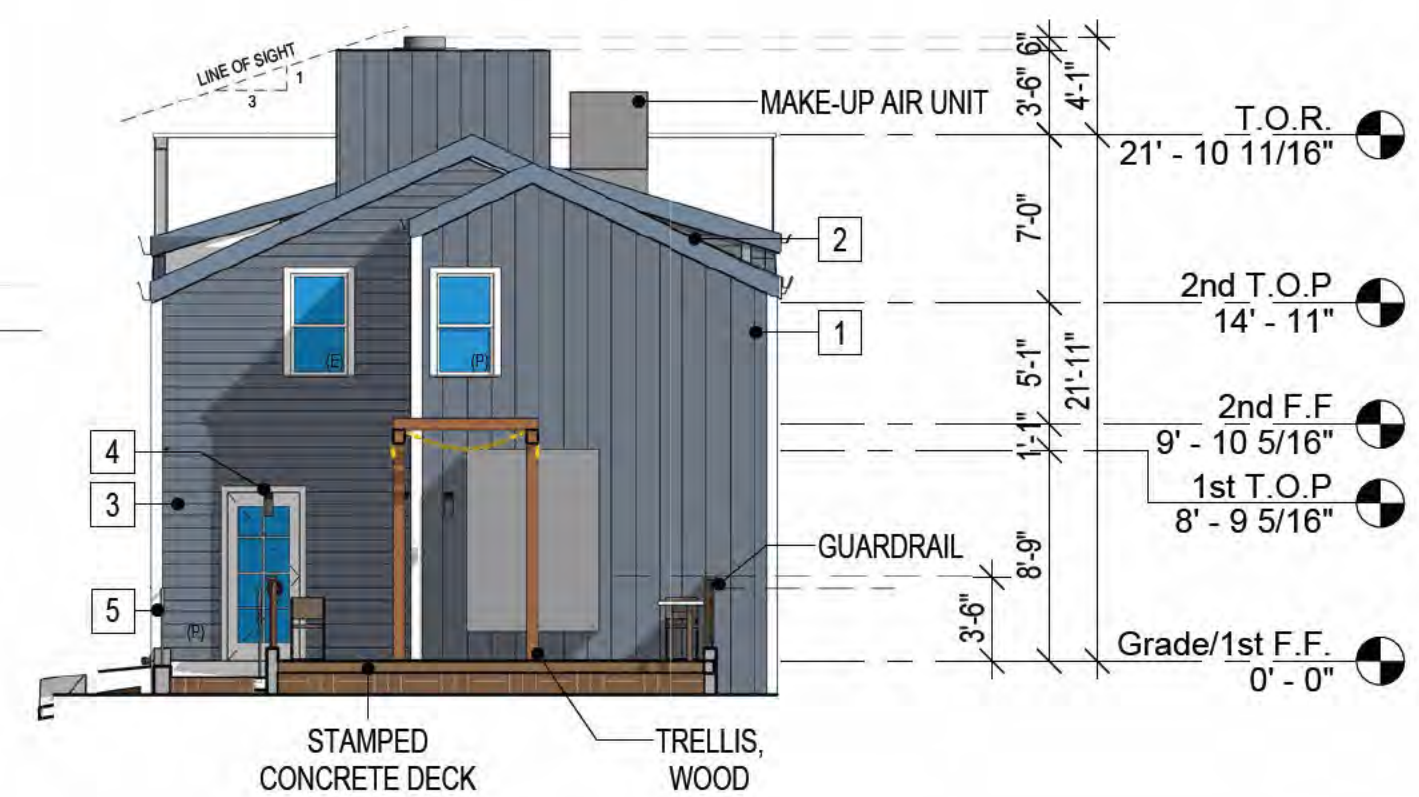
① Elevation, Front, Existing
1/8" = 1'-0"



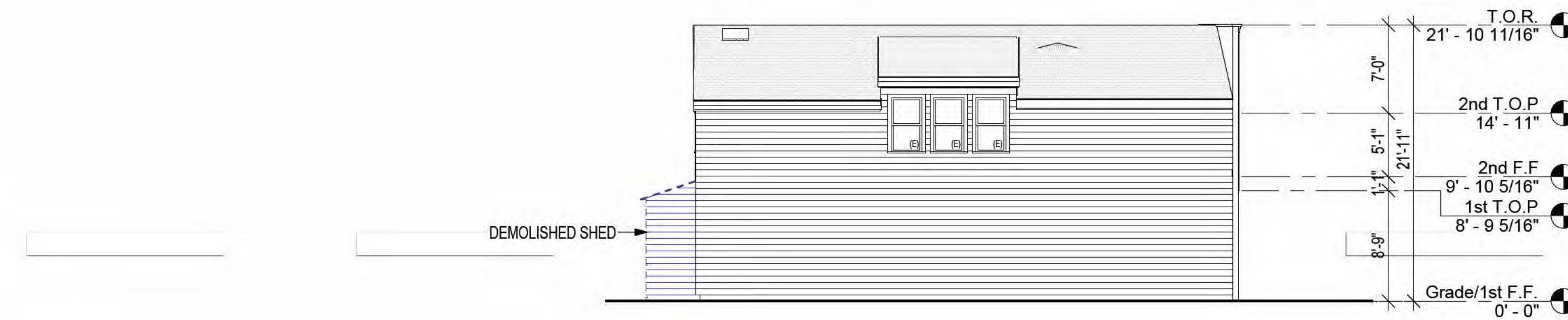
③ Elevation, Front, Proposed
1/8" = 1'-0"



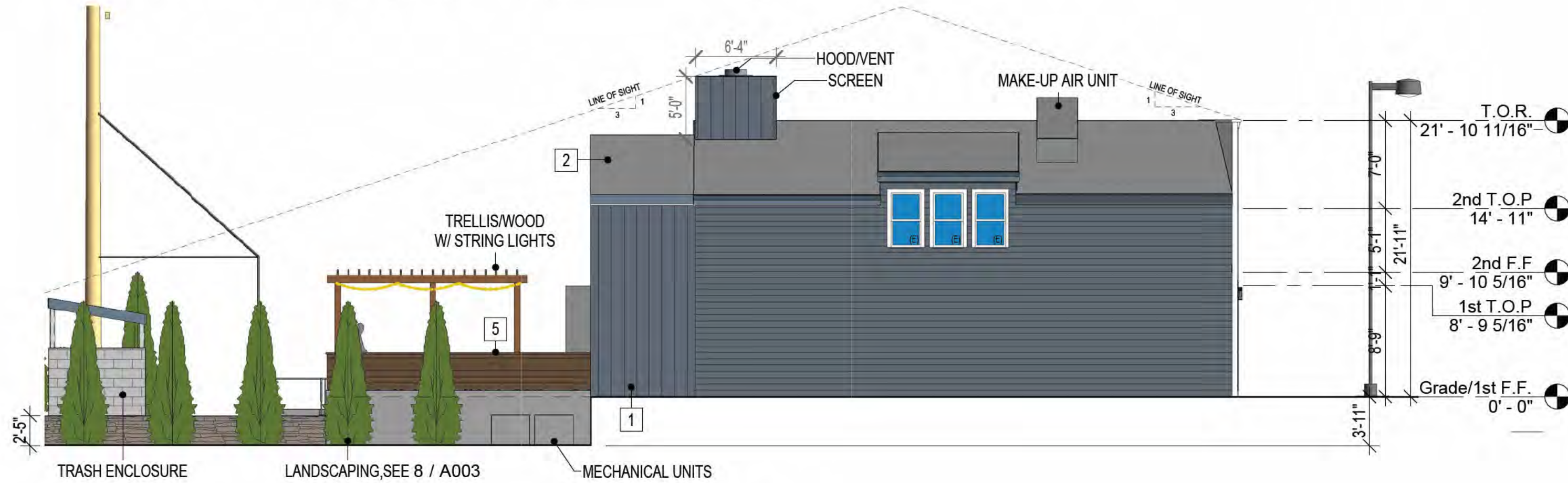
⑤ Elevation, Rear, Existing
1/8" = 1'-0"



⑦ Elevation, Rear, Proposed
1/8" = 1'-0"



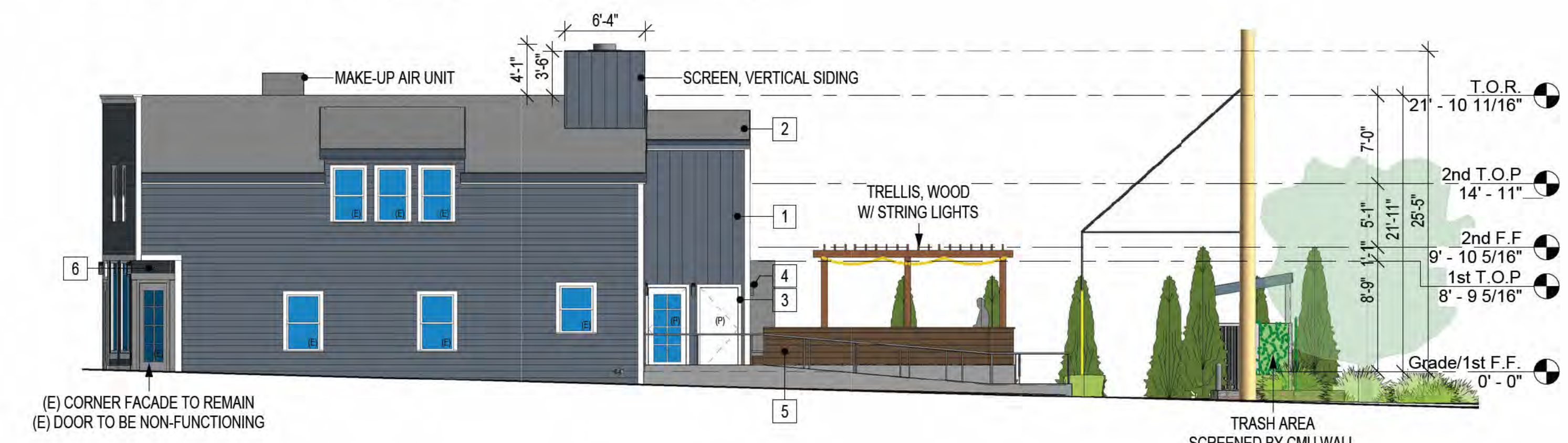
② Elevation, Left, Existing
1/8" = 1'-0"



④ Elevation, Left, Proposed
1/8" = 1'-0"



⑥ Elevation, Right, Existing
1/8" = 1'-0"



⑧ Elevation, Right, Proposed
1/8" = 1'-0"

ELEVATION KEYNOTES/ MATERIAL

- 1 EXTERIOR VERTICAL SIDING/
JAMES HARDIE
COLOR TO MATCH EXISTING
- 2 ROOFING MATERIAL
CLASS A COMPOSITION
SHINGLES TO MATCH EXISTING
- 3 WINDOW GLASS PANE TO BE
REPLACED, TR M AND FRAME
TO REMAIN
- 4 FIXTURES TO MINIMIZE GLARE AND
LIGHT SPILL ONTO AREAS OFF OF
THE BUILDING SITE. EXTERIOR
LIGHTING TO BE DOWNLIT
- 5 WOOD FENCE

6 ADDRESS IDENTIFICATION, CONTRAST WITH
BACKGROUND, MIN 4 INCH HIGH, MIN STROKE 0.5 INCH,
PER CBC SEC 505.1

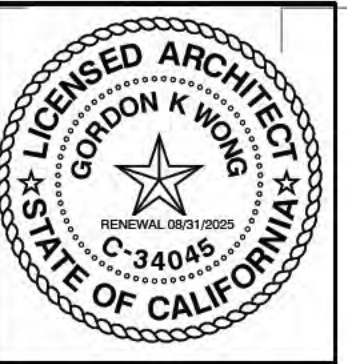
ELEVATION LEGEND

- (E) EXISTING (P) PROPOSED
(D) TO BE DEMOLISHED (R) TO BE REPLACED

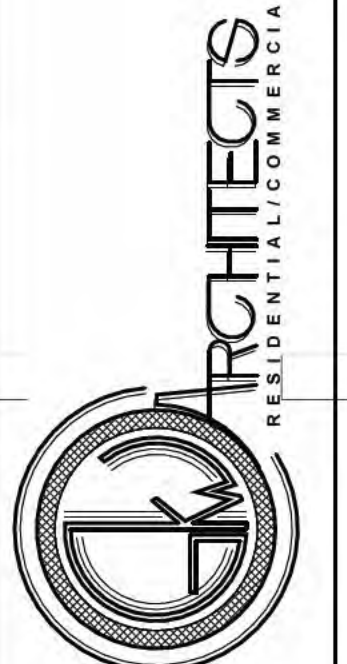
NOTE

1. CONTRACTOR TO VERIFY DIMENSIONS, EXISTING CONDITIONS,
STRUCTURES, UTILITIES ON SITE.
2. OWNER ALLOWED TO CHOOSE ALTERNATIVE COMPLIANT
PRODUCT.

PHOTO REFERENCE



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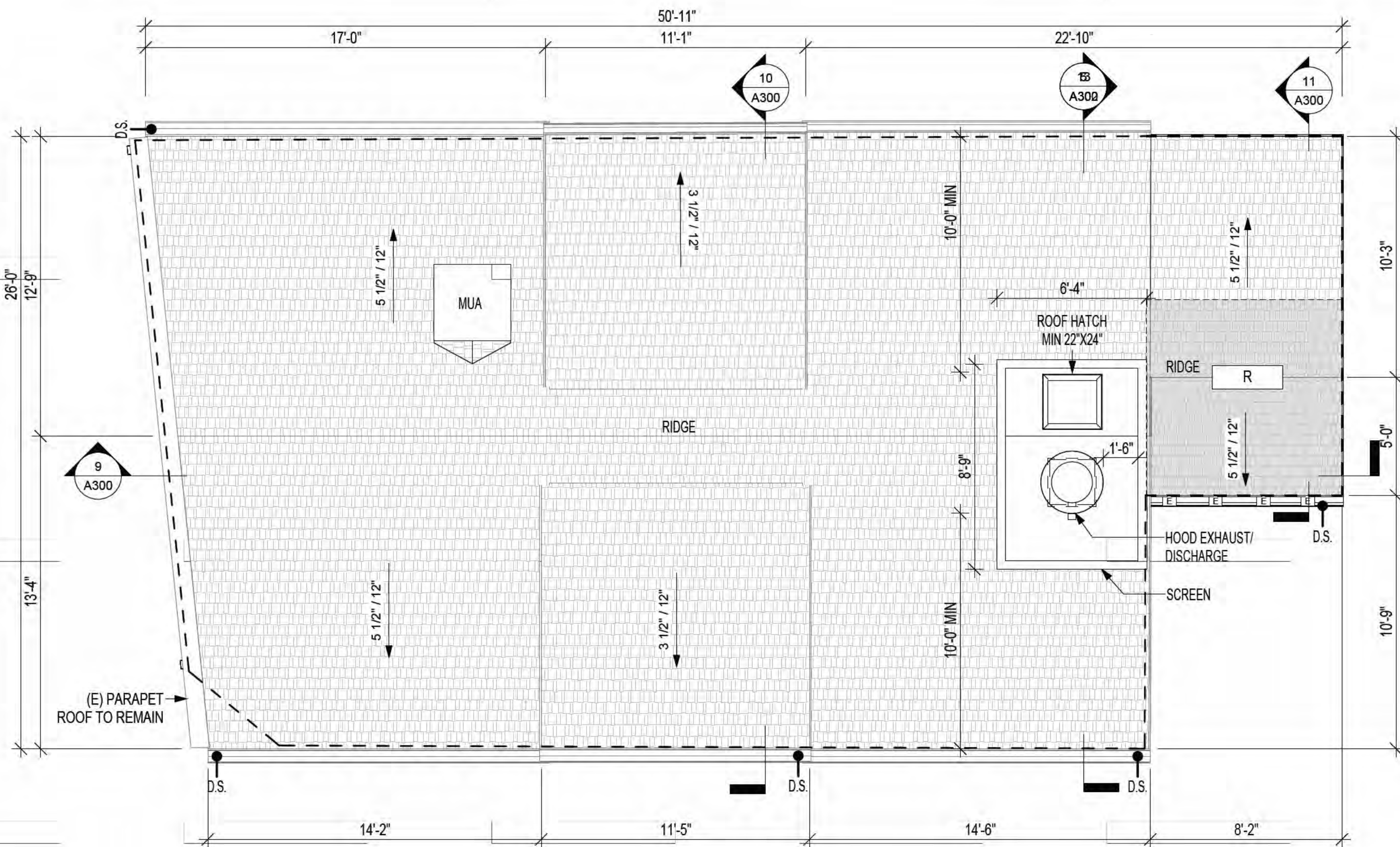
Number	Description	Date
1	Planning	2022.10.19
2	Planning	2023.03.17
3	Building	Date 6

Elevations,
Existing &
Proposed

A200

SCALE As indicated

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1 Roof Plan, Proposed
1/4" = 1'-0"

LEGEND

- BUILDING FOOTPRINT
- D.S. DOWNSPOUT, TO CONNECT TO STORM WATER PIPE
- R RIDGE VENT
- EAVE VENT
- ATTIC AREA
- ROOFTOP VENT HOOD
- MUA MAKEUP AIR UNIT

STAIRCASE ATTIC VENT CALCS:

• REQUIRED VENTILATION
64 SF / 150 = 0.43 SF (61.44 SI)
IDEAL RATIO (UPPER VENT : LOWER VENT) = 50% : 50%
= 30.72 SI : 30.72 SI

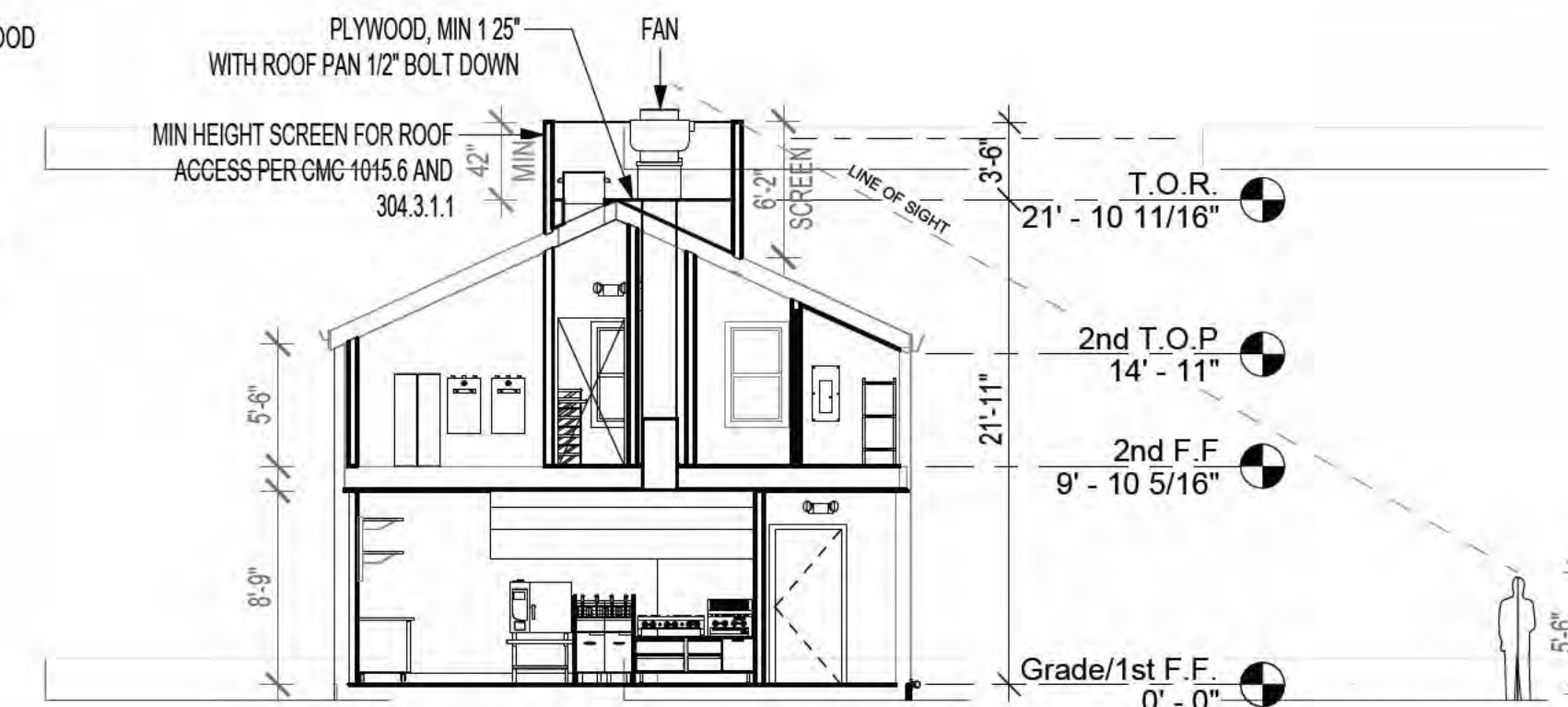
RIDGE VENT: (N.F.A. = 18 SI PER LINEAR FT)
PROVIDED LENGTH = 3 FT
3 x 18 = 48 SI

EAVE VENT (N.F.A. 7.06 SI PER VENT)
PROVIDED HOLES = 4
7.06 x 4 = 28.24 SI

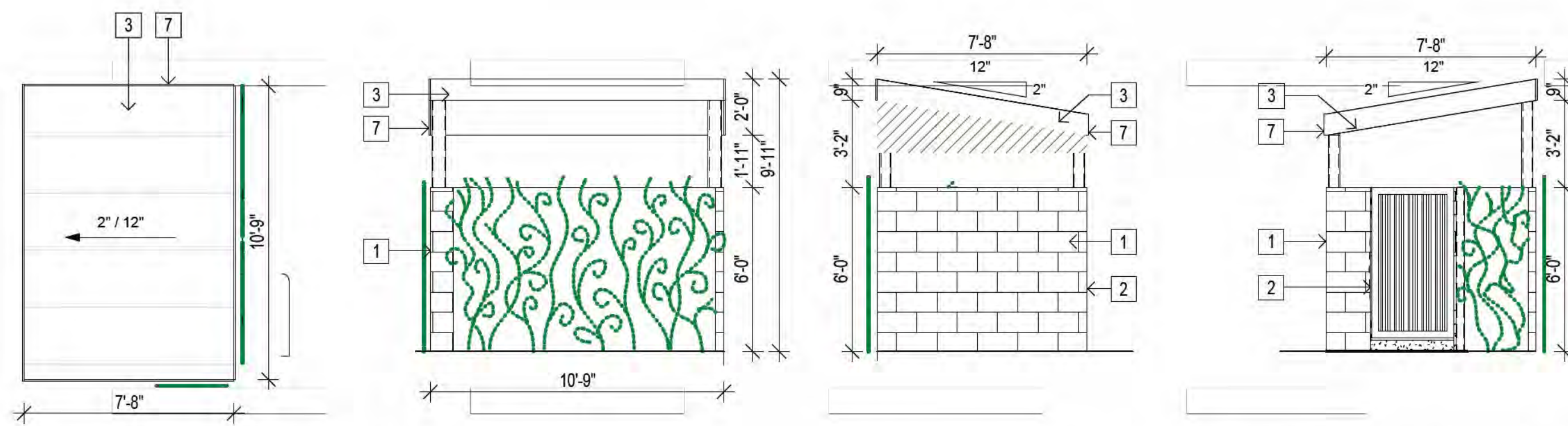
TOTAL = 48 + 28.24 = 76.24 SI > 61.44 SI, OKAY

NOTES:

- *ALL ROOF SHEATHING TO USE FIRE RETARDANT TREATED ROOF SHEATHING OR APPROVED EQUIVALENT
- *ALL ROOFING FINISH MATERIAL TO BE CLASS A AND SHALL MATCH EXISTING ROOF



13 Section, Hood
1/8" = 1'-0"

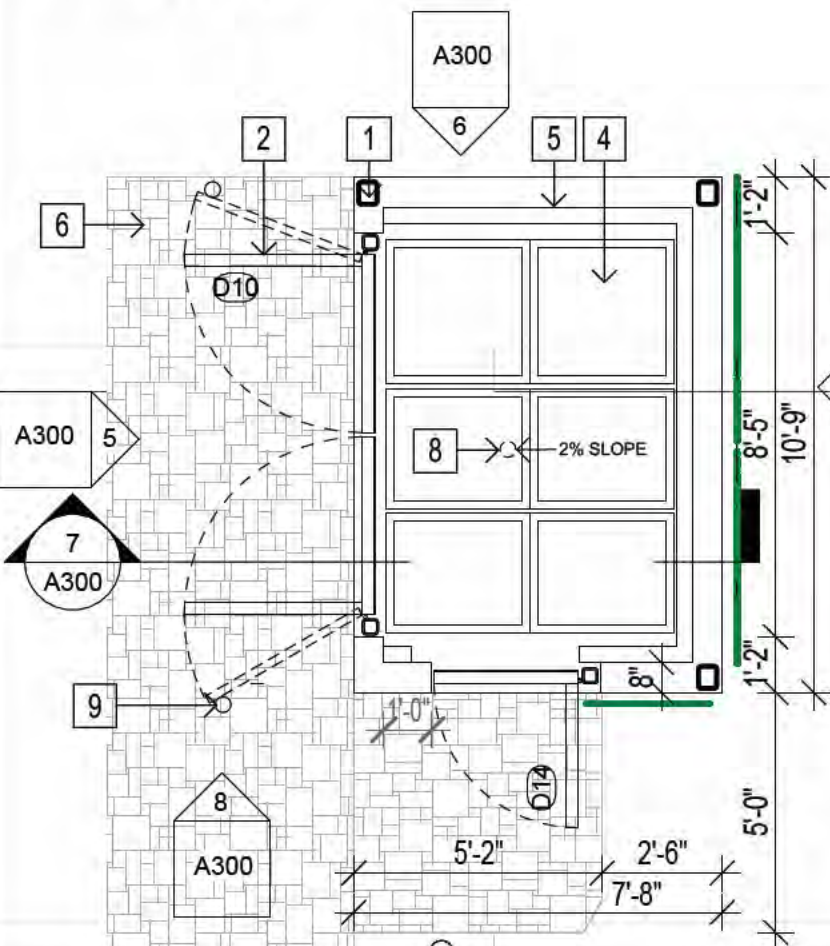


2 Trash Enclosure Roof Plan
1/4" = 1'-0"

4 Trash Enclosure, Rear Elevation
1/4" = 1'-0"

6 Trash Enclosure, Left Side Elevation
1/4" = 1'-0"

8 Trash Enclosure, Right Side Elevation
1/4" = 1'-0"



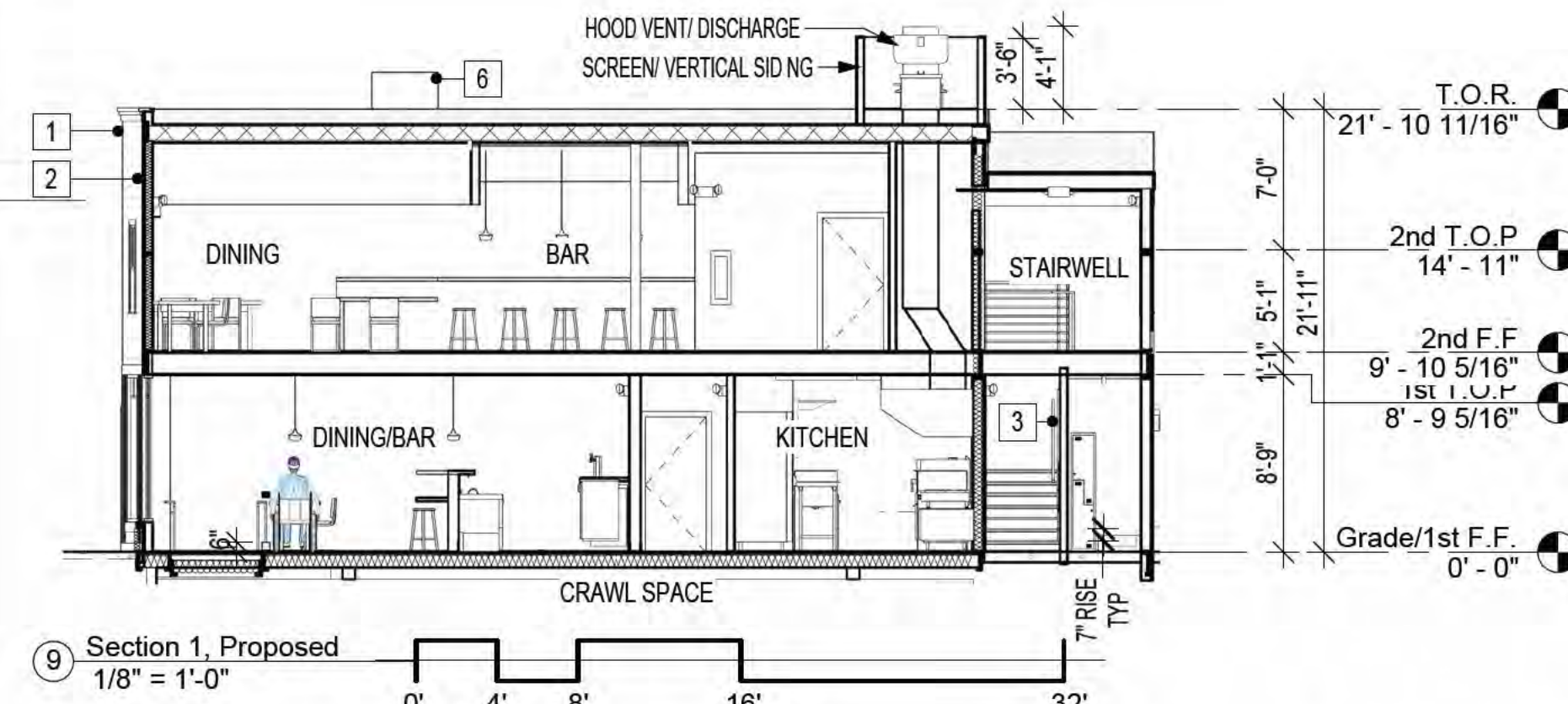
3 Trash Enclosure Floor Plan
1/4" = 1'-0"

5 Trash Enclosure, Front Elevation
1/4" = 1'-0"

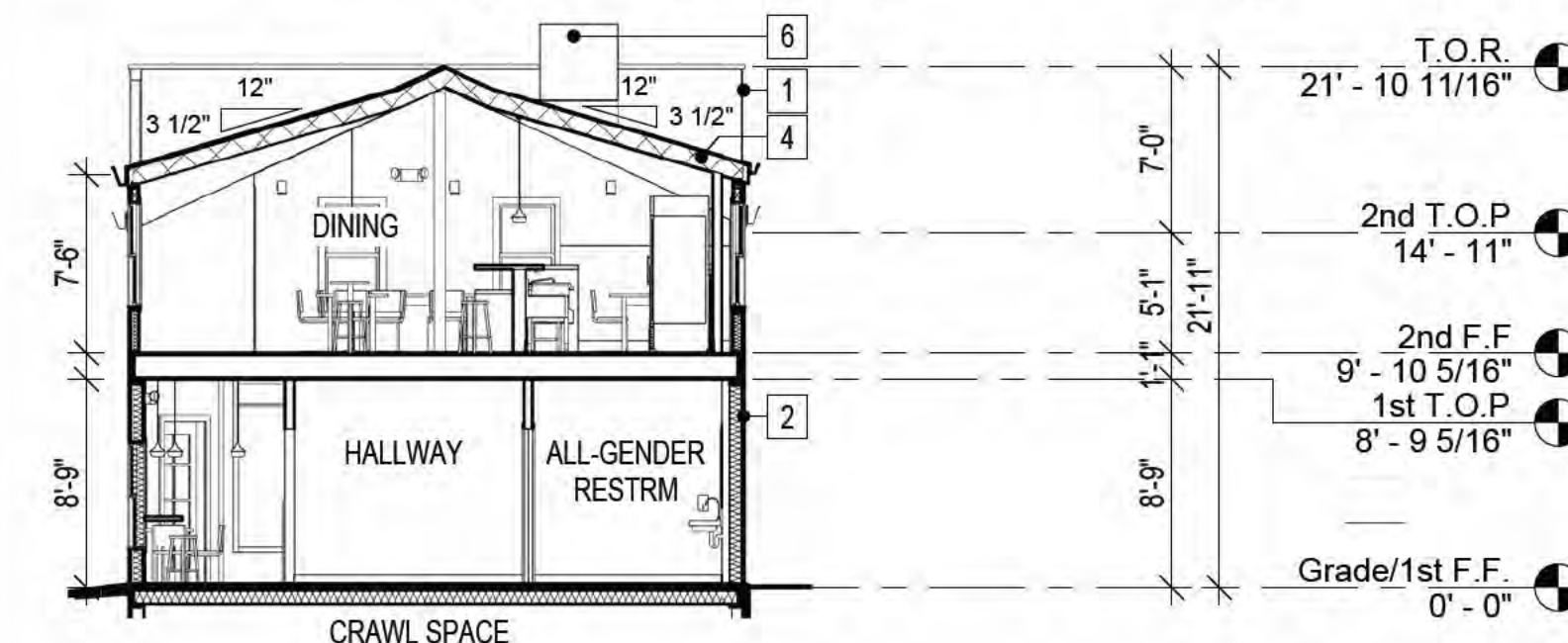
7 Trash Enclosure, Section
1/4" = 1'-0"

TRASH ENCLOSURE KEY NOTES

- 1 CMU WALL
- 2 MTL FABRICATED DOOR POWDER COATED
- 3 GALV. STANDING SEAM MTL SHED ROOF, GALV.
- 4 TRASH BIN
- 5 TRASH BIN BUMPER, CONCRETE
- 6 PERMEABLE PAVERS
- 7 FASCIA BOARD
- 8 FLOOR DRAIN, SEE CIVIL AND PLUMBING SHEETS
- 9 J-HOOKS FOR SECURING THE DOOR FOR SERVICING



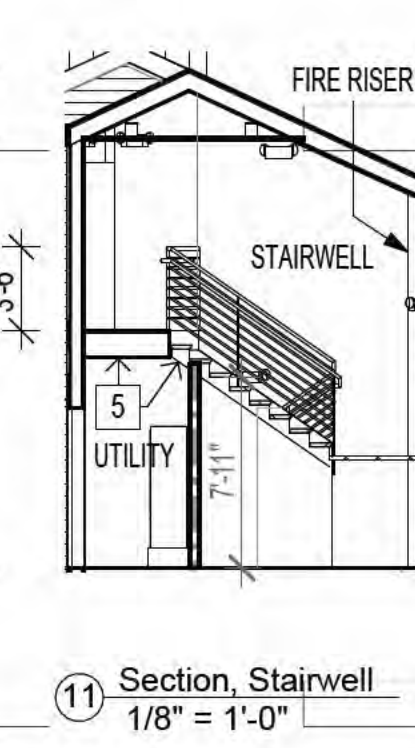
9 Section 1, Proposed
1/8" = 1'-0"



10 Section 2, Proposed
1/8" = 1'-0"

SECTION KEY NOTES

- 1 (E) ROOF PARAPET TO REMAIN
- 2 (E) WALL, (P) INSULATION
- 3 (P) HANDRAIL
- 4 (E) DORMER/ ROOF, NEW INSULATION
- 5 1-HOUR RATED FLOOR/CEILING ASSEMBLY, SEE 12 / A300
- 6 MAKEUP AIR UNIT, SEE MEP PLANS



11 Section, Stairwell
1/8" = 1'-0"

HOURLY RATING: 1-HOUR
FIRE TEST REFERENCE: UL L501, dUL L501, GA FC 5420

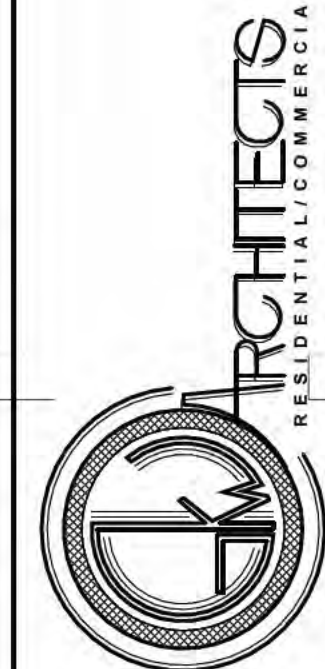
5/8" (15.9 MM) TOUGHROCK® F REGUARD® PRODUCTS APPLIED PERPENDICULAR TO 2" X 10" WOOD JOISTS 16" (406 MM) O.C. WITH 1-7/8" (48 MM) 8D NAILS 6" (152 MM) O.C. WOOD JOISTS SUPPORTING 1" (25.4 MM) NOMINAL WOOD SUB AND 1" (25.4 MM) NOMINAL FINISH FLOOR, OR 19/32" (15.1 MM) PLYWOOD FINISHED FLOOR WITH LONG EDGES T&G AND 15/32" (11.9 MM) INTERIOR PLYWOOD WITH XTERRIOR GLUE SUBFLOOR PERPENDICULAR TO JOISTS WITH JOINTS STAGGERED.

APPROVED FOR ASSEMBLY:
DENSARMOR PLUS® F REGUARD® PRODUCTS
DENSELEMENT® BARRIER SHEATHING
DENSELEMENT® F REGUARD® SHEATHING
DENSELEMENT® FIREGUARD® TILE BACKER
TOUGHROCK® FIREGUARD® PRODUCTS
TOUGHROCK® FIREGUARD® MOLD-GUARD® PRODUCTS
TOUGHROCK® FIREGUARD® PRODUCTS
TOUGHROCK® LITE-WEIGHT FIRE-RATED PRODUCTS

12 1-Hour Fire Rated Ceiling/ Floor
1" = 1'-0"



GORDON K WONG ARCHITECT LIC# 34045 PROJECT REP
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CAMPBELL, CA 95008 (408) 315-2125
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Section & Roof Plan & Trash Enclosure

25 West Main St.

Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
1	Planning	2023.03.17
2	Building	Date 5

Section & Roof
Plan & Trash
Enclosure

A300

SCALE As indicated

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④ Section View, Rear



③ Section View, Front



ROOFTOP VENT WITH
SCREEN, VERTICAL SIDING

ADDITION/
STAIRCASE

VERTICAL SIDING, COLOR
TO MATCH EXISTING

OUTDOOR DECK/ DINING AREA
TRELLIS, STRING LIGHTING
WITH WOOD FENCE/ SCREENING, 3'-6"

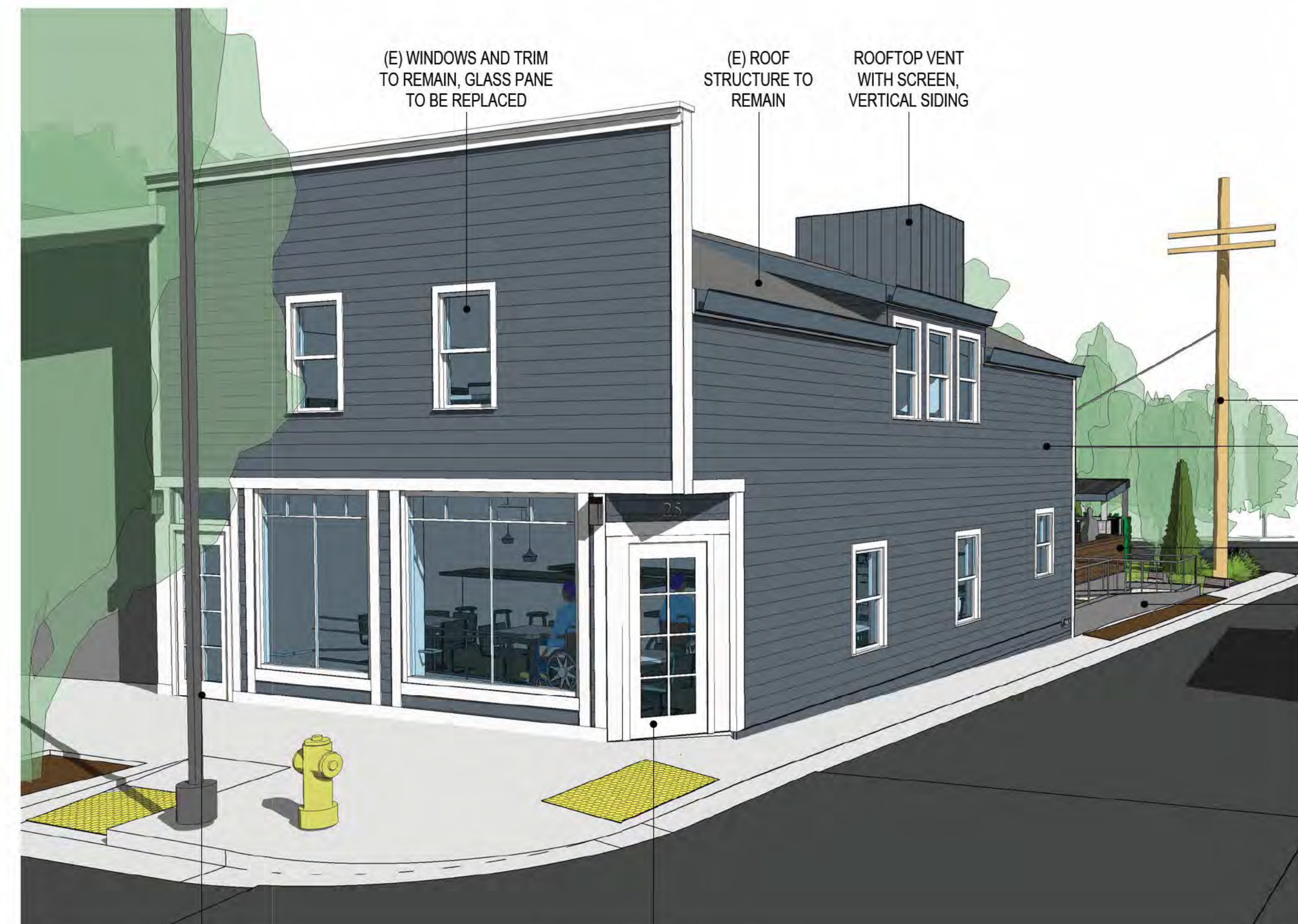
LANDSCAPING, SEE A003

TRASH AREA
SCREENED BY 6'-0" WOOD FENCE
AND LANDSCAPING

ACCESSIBLE RAMP
WITH HANDRAILS

PERMEABLE
PAVERS

DRY STACKED
RETAINING WALL



(E) WINDOWS AND TRIM
TO REMAIN, GLASS PANE
TO BE REPLACED

(E) ROOF
STRUCTURE TO REMAIN

ROOFTOP VENT
WITH SCREEN,
VERTICAL SIDING

(E) POWER POLE TO REMAIN

(E) HORIZONTAL SIDING TO REMAIN

WOOD FENCE 3'-6", ENCLOSING
OUTDOOR DINING AREA

CONCRETE RETAINING WALL

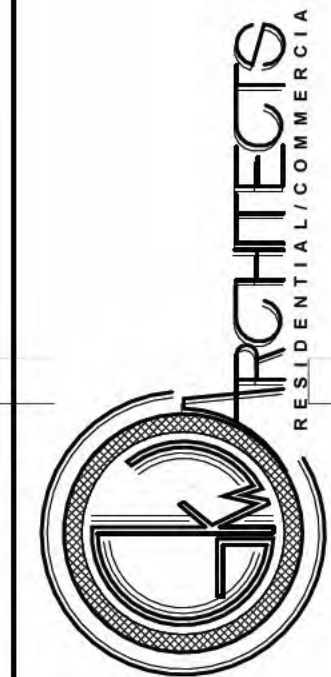
(P) ENTRY DOOR TO BE
REHABILITATED TO MATCH
1919-1952 PHOTO, SEE A200

(E) CORNER FACADE TO REMAIN
(E) DOOR TO BE NON-FUNCTIONING

Perspective Views & Diagram



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25 West Main St.

Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
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Perspective Views
& Diagram

A301

SCALE

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② Street View, Corner



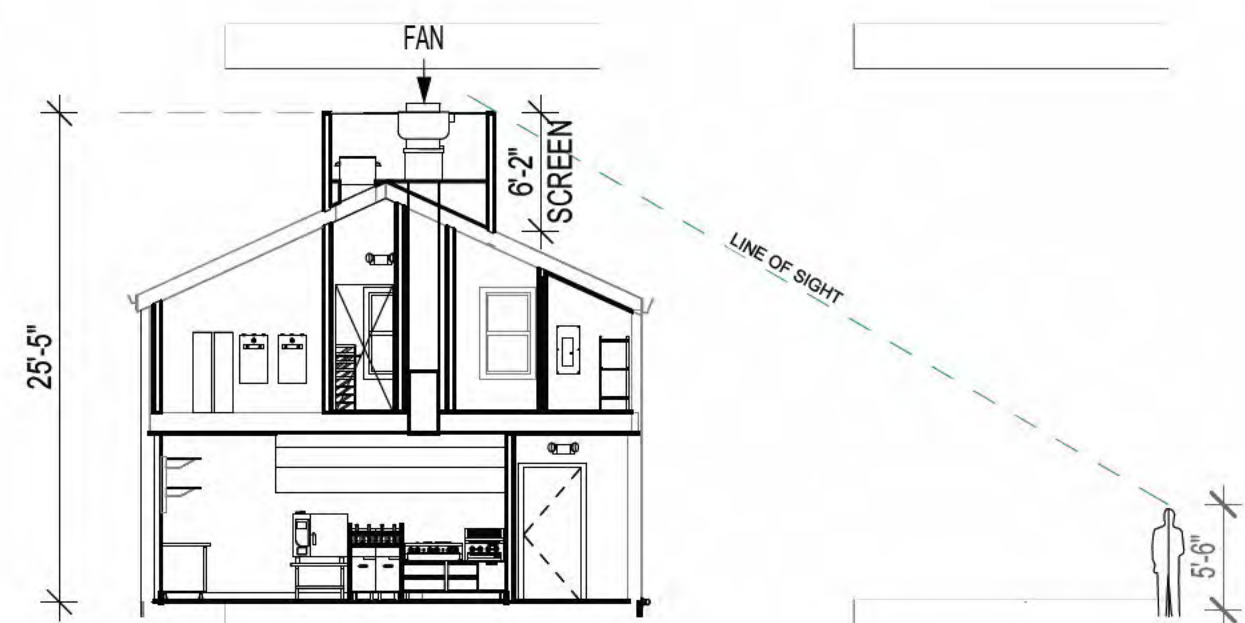
③ Street View, Front



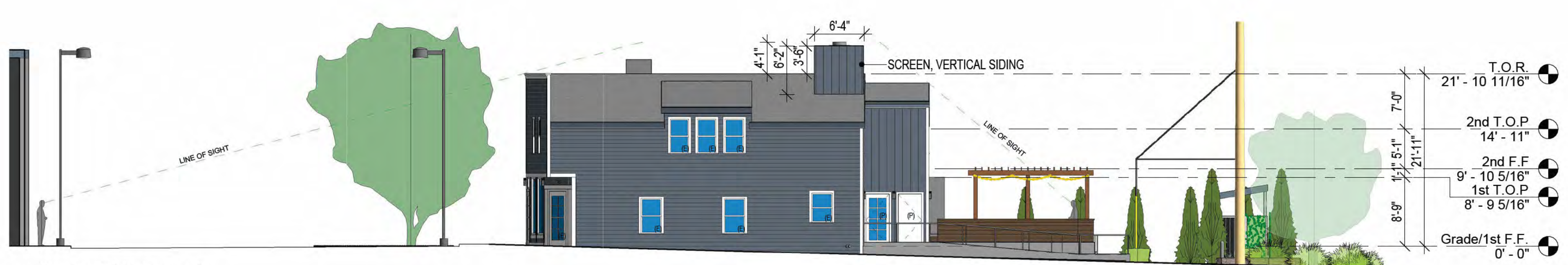
① Street View, Rear Corner



④ Street View, Rear Patio



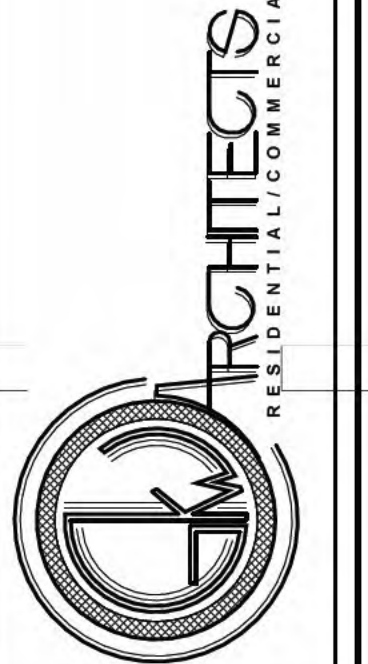
⑤ Section, Hood..
1" = 10'-0"



⑥ Elevation, Right, Proposed.
1" = 10'-0"



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25 West Main St.

Los Gatos, CA, 95030

Revision Schedule

Number	Description	Date
1	Planning	2022 10 19
2	Planning	2023 03 17

Perspective &
Section Views

A302

SCALE 1" = 10'-0"

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Perspective & Section Views