

# DESPOTOVIC RESIDENCE ADDITION

280 CARLTON AVENUE , LOS GATOS, CALIFORNIA, 95032

Shlomi Caspi  
Architectural Design

2360 CARLTON AVENUE  
SAN JOSE, CA 95124  
(408) 358-0469

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PREPARED BY:  
SHLOMI CASPI

RADA and MIHAILO DESPOTOVIC  
280 CARLTON AVENUE, LOS GATOS, CALIFORNIA, 95032

CITY APPROVAL:

JOB NUMBER: 168

PHASE: SD CD CA

DATE: 03/01/22

REVISIONS

SHEET NAME :

COVER SHEET

SHEET NUMBER :

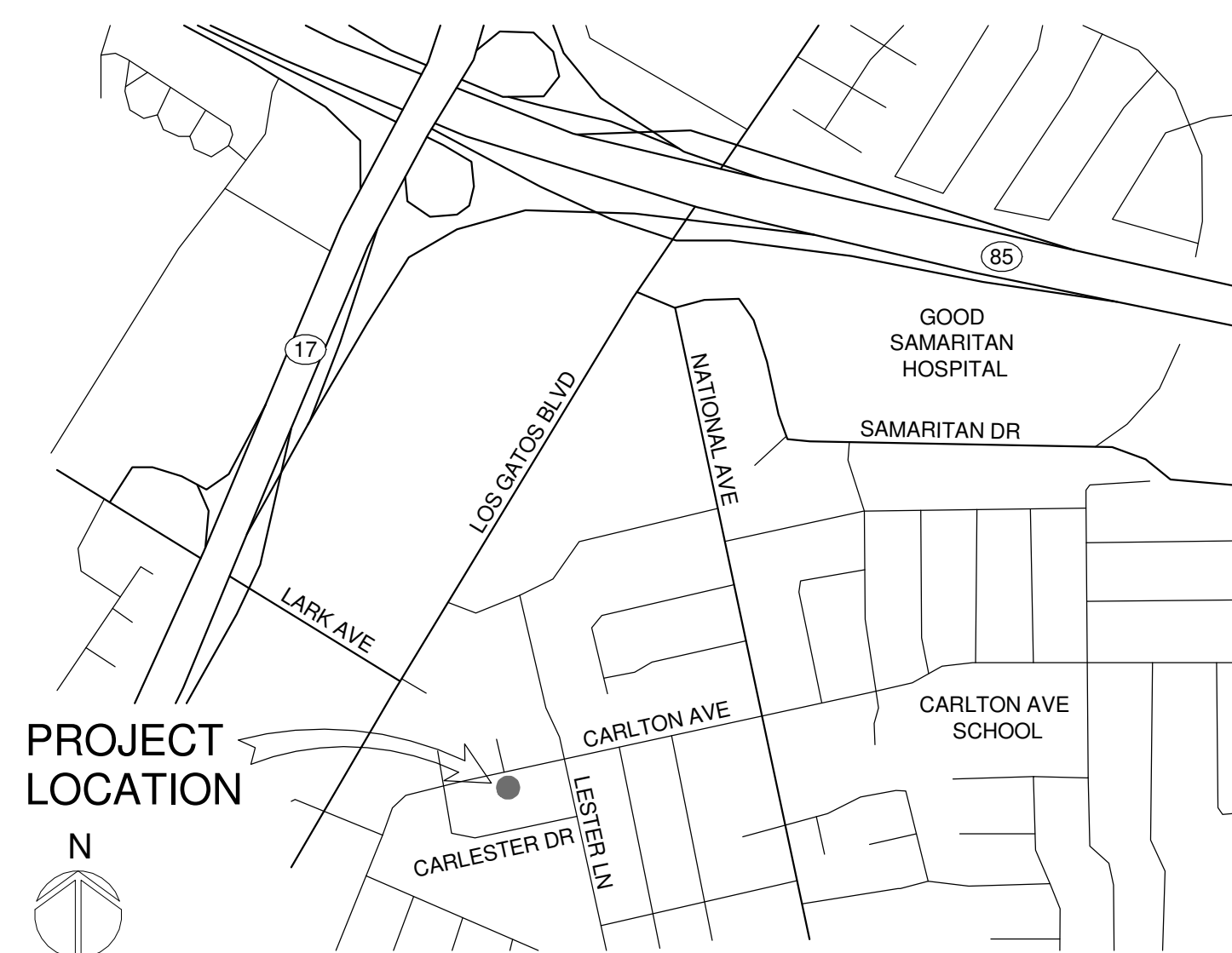
A0.1

EXHIBIT 10

## CITY NOTES

1. THERE IS NO EXISTING FIRE SPRINKLER SYSTEM IN THE HOUSE.
- 2.

## VICINITY MAP



## GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2019 EDITIONS OF THE CALIFORNIA BUILDING, MECHANICAL, ELECTRICAL AND PLUMBING CODES, STATE OF CALIFORNIA TITLE-24 REQUIREMENTS, AND ALL APPLICABLE CODES AND ORDINANCES. IN THE EVENT OF CONFLICT BETWEEN PERTINENT CODES AND REGULATIONS AND THE REQUIREMENTS OF THE REFERENCED STANDARDS OF THESE NOTES, THE PROVISIONS OF THE MORE STRINGENT SHALL GOVERN.
2. DIMENSIONS HAVE PREFERENCE OVER SCALE. ALL WALL DIMENSIONS ARE GIVEN TO THE FACE OF FRAMING OR TO FACE OF CONCRETE UNLESS OTHERWISE NOTED. DOOR AND WINDOW DIMENSIONS ARE GIVEN TO THE CENTER OF THE OPENING UNLESS OTHERWISE NOTED.
3. THE CONTRACTOR SHALL VISIT THE SITE AND SHALL NOTIFY THE DESIGNER IF THERE ARE ANY OBSERVED DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL THE INFORMATION IN THE DRAWINGS AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY PRIOR TO ORDERING MATERIALS OR COMMENCING WITH WORK.
4. IF HIDDEN OR UNUSUAL SITUATIONS ARE ENCOUNTERED DURING CONSTRUCTION WHICH COULD NOT HAVE BEEN FORESEEN PRIOR TO CONSTRUCTION, NOTIFY THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL NOT ENCUMBER ANY PUBLIC OR PRIVATE PROPERTY OTHER THAN THE SITE WITHOUT ENCROACHMENT PERMITS OR WRITTEN PERMISSION FROM THE PROPERTY OWNERS.
6. THE CONTRACTOR SHALL PROVIDE FENCING, BARRICADES, WARNING SIGNS / SIGNALS OR OTHER PROTECTIVE MEASURES AS NEEDED TO PROVIDE FOR THE PUBLIC'S SAFETY.
7. THE CONTRACTOR SHALL SCHEDULE AND COORDINATE ALL INSPECTIONS AND AT THE END OF THE WORK AND SHALL PROVIDE THE OWNER WITH ALL THE ORIGINAL SIGNED DOCUMENTS FROM ANY INSPECTING ENTITY.
8. TYPICAL DETAILS AND NOTES SHALL APPLY UNLESS SPECIFICALLY SHOWN OR NOTED OTHERWISE. DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. DIMENSIONS TAKE PRECEDENCE OVER SCALE SHOWN ON DRAWINGS. SCALING DRAWINGS TO DETERMINE DIMENSIONS IS NOT VALID.
9. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DESIGN AND PROVIDE SHORING, BRACING, FORMWORK, ETC., AS REQUIRED TO PROTECT LIFE AND PROPERTY.
10. JOB COPIES OF THE BUILDING PERMITS SHALL BE ON-SITE DURING INSPECTIONS.

## APPLICABLE CODES

- 2019 CALIFORNIA CODES (CBC, CRC, CEC, CMC, CPC)
- 2019 CALIFORNIA GREEN BUILDING STANDARD CODE (CALGreen)
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA ENERGY CODE
- TOWN OF LOS GATOS ORDINANCES

## PROJECT DATA

OWNER: RADA AND MIHAILO DESPOTOVIC  
280 CARLTON AVENUE,  
LOS GATOS, CALIFORNIA 95032

PROPERTY ADDRESS: SAME

APN: 424-16-067

ZONING DISTRICT: R-1:8

SCOPE OF WORK: 2nd STORY ADDITION, REMODEL 1st FLOOR AND 63.75 SF ADDITION AT ENTRY, TO AN EXISTING SINGLE STORY RESIDENCE. EXISTING HOUSE HAS 3 BEDROOMS AND TWO BATHROOMS. PROPOSED HOUSE HAS 4 BEDROOMS AND 2-1/2 BATHROOMS. NO PROPOSED CHANGES TO EXISTING GARAGE. TOTAL PROPOSED 1st FLOOR HABITABLE SPACE = 1,368.09 SF TOTAL PROPOSED 2nd FLOOR HABITABLE SPACE = 729.01 SF TOTAL PROPOSED HABITABLE SPACE = 2,097.10 SF

OCCUPANCY CLASS R-3 / U

CONSTRUCTION TYPE V - B

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SP-4	STORY POLES, SIGN

## AREA CALCULATIONS

EXISTING HOUSE 1,304.34 S.F.  
EXISTING GARAGE 478.91 S.F.

1st FLOOR ADDITION 75.97 S.F.  
2nd FLOOR ADDITION 719.01 S.F.  
TOTAL ADDITIONS 794.98 S.F.

TOTAL PROPOSED HABITABLE AREA:  
1st FLOOR 1,380.31 S.F.  
2nd FLOOR 719.01 S.F.

TOTAL HABITABLE (w/o GARAGE) 2,099.32 S.F.

### MAX. ALLOWABLE FLOOR AREA

LOT SIZE: 6,425 SF

ALLOWABLE HABITABLE AREA:  
(EXCLUDING GARAGE, ADU)  
 $0.35 \cdot [(6,425 \cdot 5) \cdot 0.2 / 25] = 0.3386$   
 $0.3386 \cdot 6,425 = 2,175 \text{ SF}$

ALLOWABLE GARAGE AREA:  
 $0.1 \cdot [(6,425 \cdot 5) \cdot 0.07 / 25] = 0.09601$   
 $0.09601 \cdot 6,425 = 617 \text{ SF}$

### LOT COVERAGE

LOT SIZE: 6,425 SF

ALLOWABLE COVERAGE: 40% = 2,570.00 S.F.

1st FLOOR HABITABLE: 1,380.31 S.F.  
GARAGE: 478.91 S.F.  
COVERED REAR PATIO: 212.46 S.F.  
COVERED FRONT PORCH: 52.63 S.F.

TOTAL PROPOSED COVERAGE: 2,124.31 S.F.

## PROJECT TEAM

ARCHITECTURE  
SHLOMI CASPI  
2360 CARLTON AVE.  
SAN JOSE, CA 95124  
(408) 358-0469  
shlomicaspi@gmail.com

SURVEYOR  
ED WU  
WEC & ASSOCIATES  
2625 MIDDLEFIELD RD.  
PALO ALTO, CA 94306  
(650) 823-6466  
ed@weceng.com

&	AND	JT.	JOINT
@	AT	K.D.	KILN DRIED
Ø	DIAMETER	LAM.	LAMINATE
A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
ALUM.	ALUMINUM	MAT.	MATERIAL
APPROX.	APPROXIMATELY	MECH.	MECHANICAL
BD.	BOARD	MFR.	MANUFACTURER
BLKG.	BLOCKING	MIN.	MINIMUM
B.M.	BEAM	(N)	NEW
B.O.	BOTTOM OF	N.I.C.	NOT IN CONTRACT
CAB.	CABINET	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O/	OVER
CLG.	CEILING	O.C.	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
C.M.U.	CONCRETE MASONRY UNIT	PL.	PLYWOOD
COL.	COLUMN	(P)	PROPOSED
CONC.	CONCRETE	P.T.	PRESSURE TREATED
CONT.	CONTINUOUS	(R)	REMODEL
D	DRYER	R.	RADIUS
DBL.	DOUBLE	REF.	REFRIGERATOR
DTL.	DETAIL	REQ'D.	REQUIRED
DN.	DOWN	RM.	ROOM
D.F.	DOUGLAS FIR	RND.	ROUND
DR.	DOOR	R.O.	ROUGH OPENING
D.W.	DISHWASHER	RWD.	REDWOOD
DWG.	DRAWING / DRAWINGS	S.C.	SOLID CORE
EA.	EACH	SM.	SIMILAR
EL.	ELEVATION	SPEC.	SPECIFICATIONS
EQL.	EQUAL	SQ.	SQUARE
EQUIP.	EQUIPMENT	S.S.	STAINLESS STEEL
(E), EXIST.	EXISTING	STD.	STANDARD
EXT.	EXTERIOR	STL.	STEEL
FDN.	FOUNDATION	STRUCT.	STRUCTURAL
F.D.	FLOOR DRAIN	T&G	TONGUE AND GROOVE
F.O.	FACE OF	THK.	THICK
F.O.C.	FACE OF CONCRETE	T.O.	TOP OF
F.O.F.	FACE OF FINISH	T.O.C.	TOP OF CONCRETE
F.O.S.	FACE OF STUD	T.O.P.	TOP OF PLATE
FT.	FOOT / FEET	T.O.S.	TOP OF SLAB
FTG.	FOOTING	T.O.W.	TOP OF WALL
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
G.I.	GALVANIZED IRON	VERT.	VERTICAL
G.L.B.	GLUE LAM BEAM	V.I.F.	VERIFY IN FIELD
H.C.	HOLLOW CORE	W	WASHER
HDR.	HEADER	W/	WITH
H.M.	HOLLOW METAL	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	WD.	WOOD
HT.	HEIGHT	W.H.	WATER HEATER
LD.	INSIDE DIAMETER	W/O	WITHOUT
IN.	INCHES	WT.	WEIGHT
INSUL.	INSULATION		
INT.	INTERIOR		

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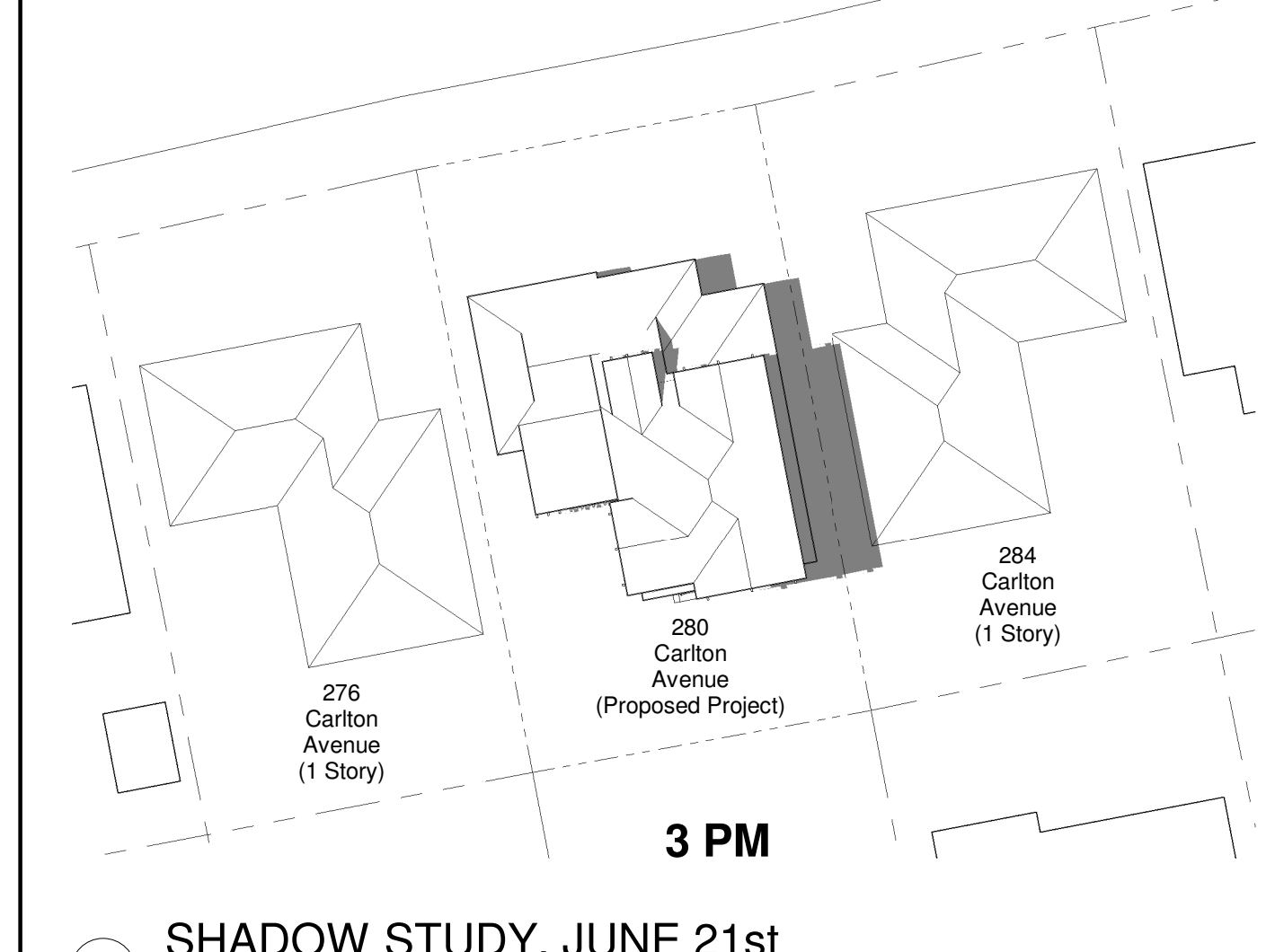
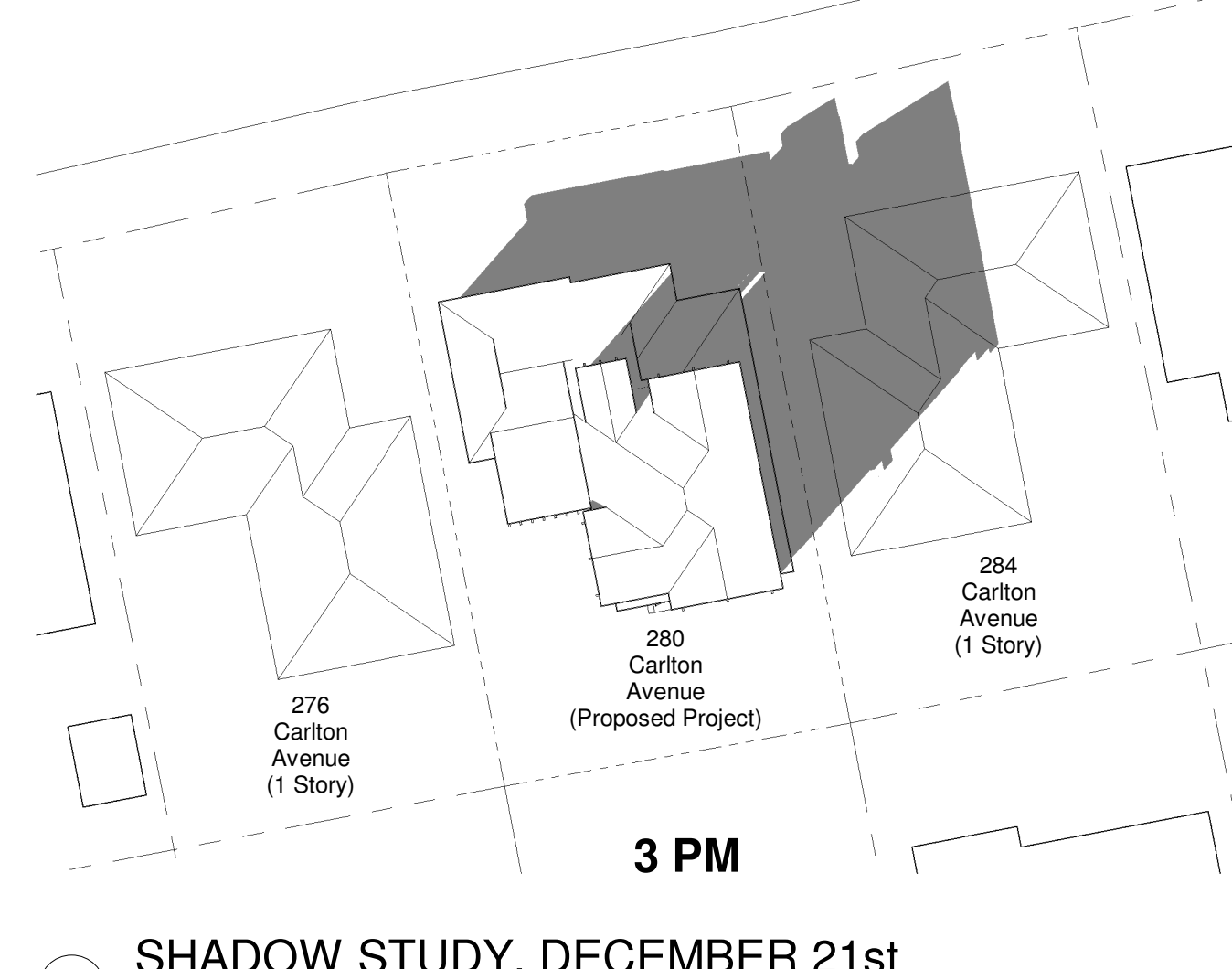
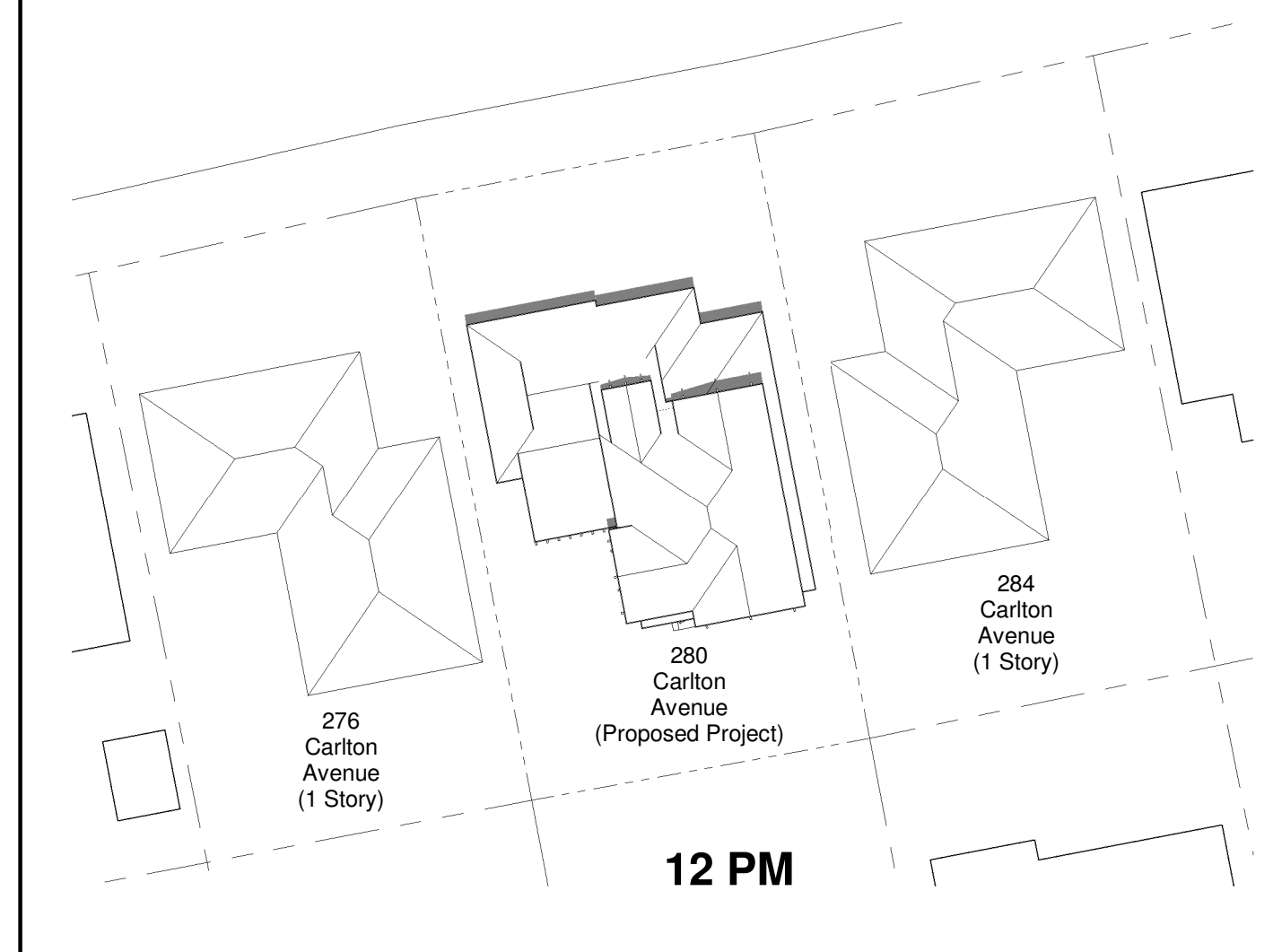
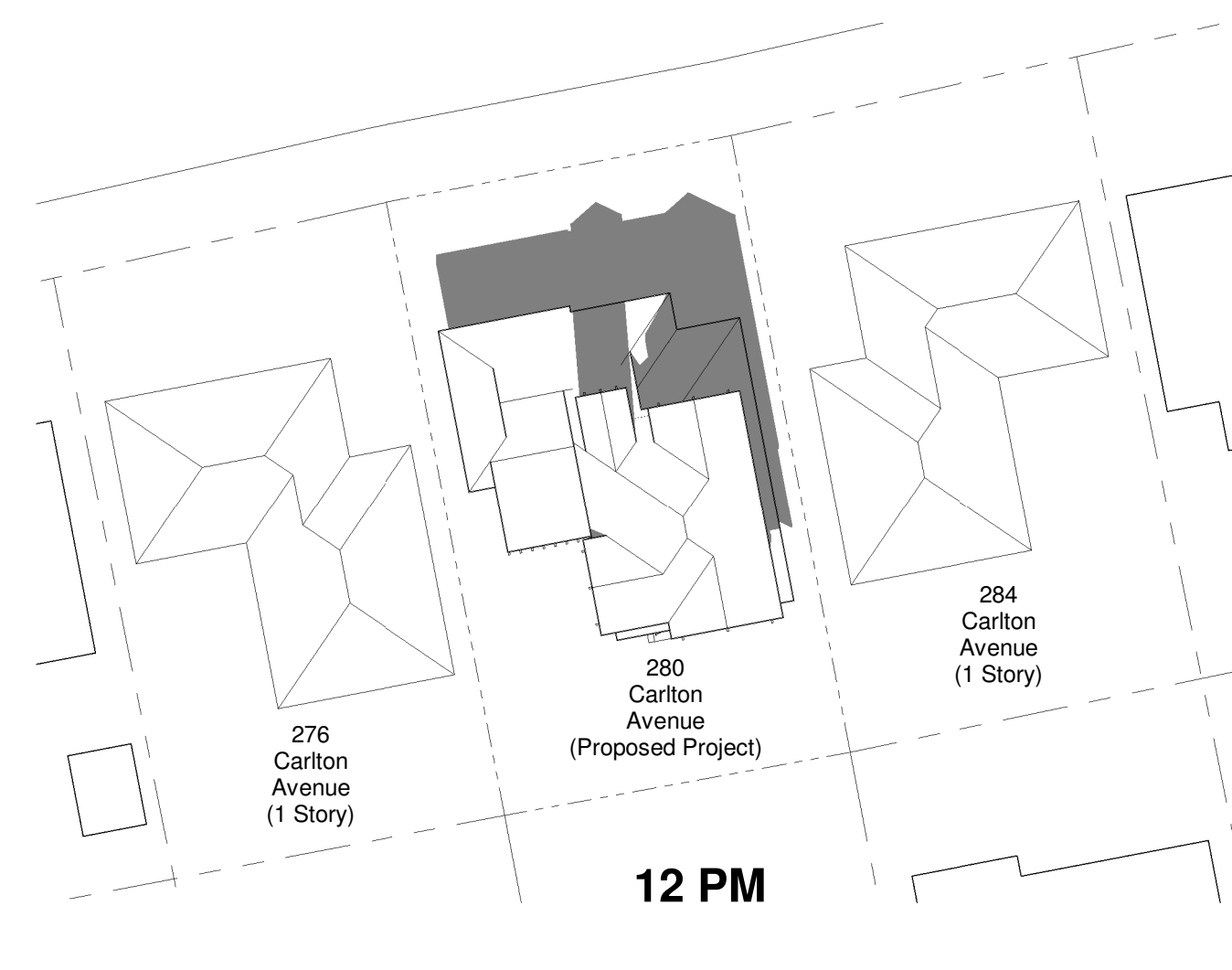
REVISIONS

SHEET NAME :

**AREA MAP,  
STREETSCAPES  
AND SHADOW  
STUDY**

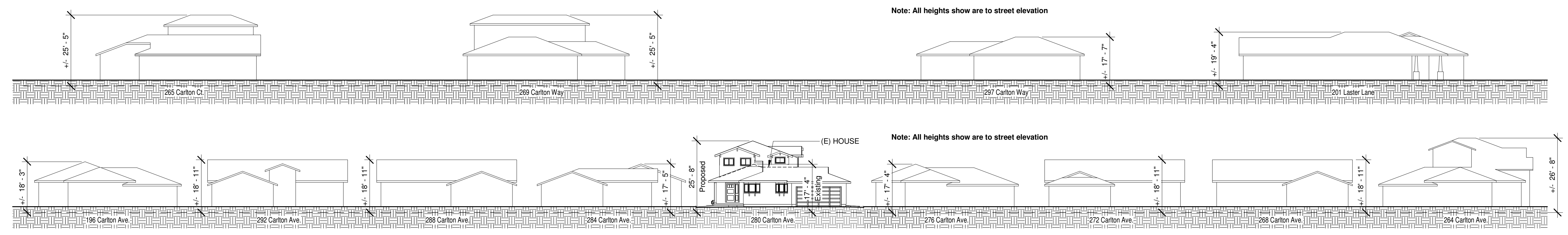
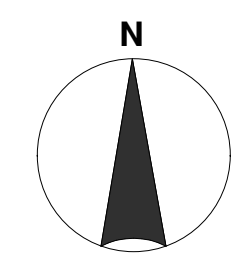
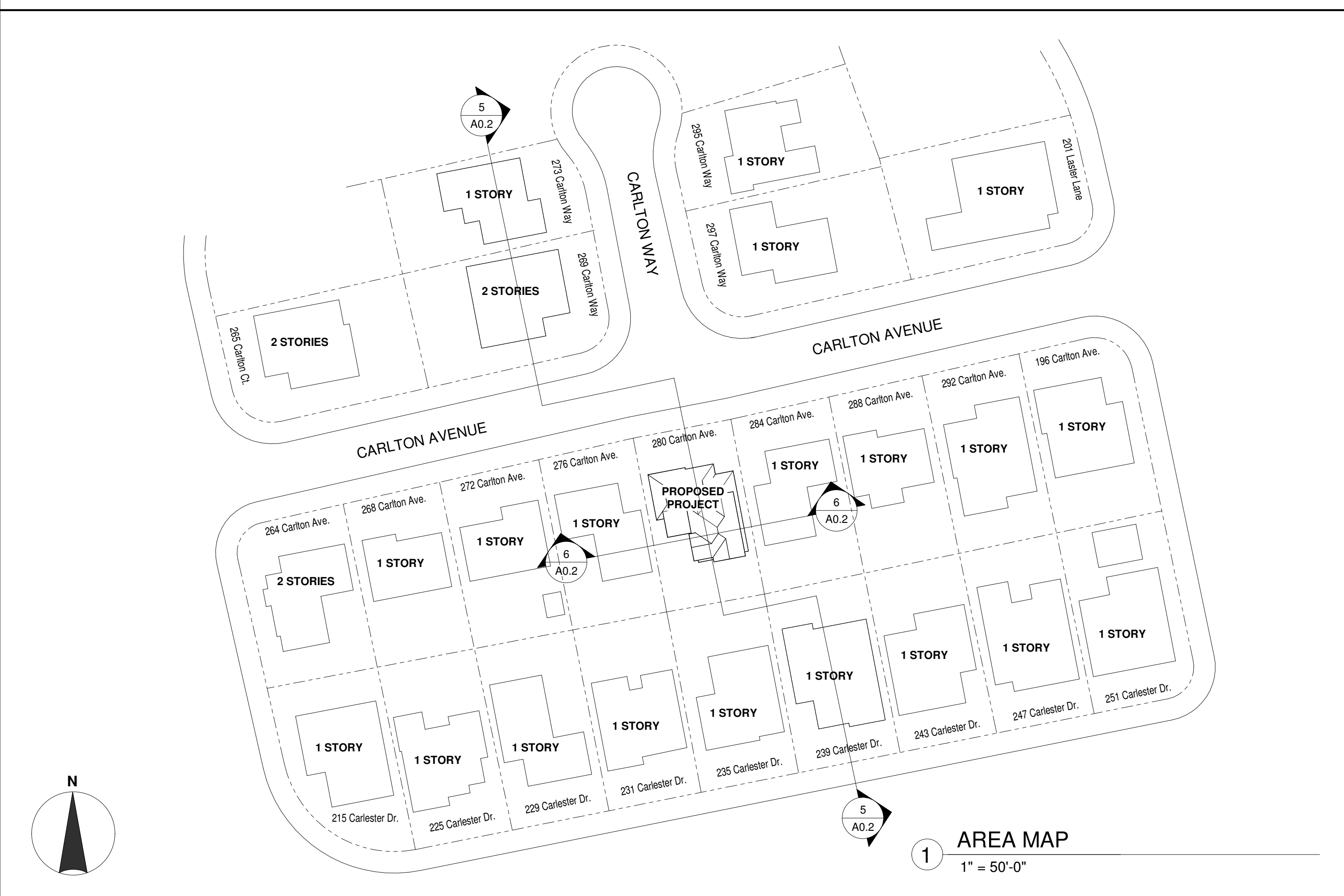
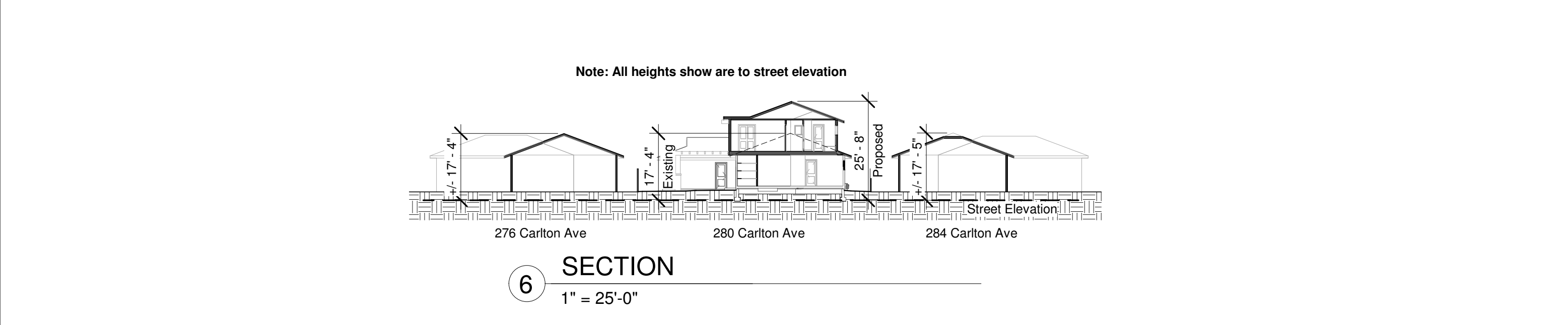
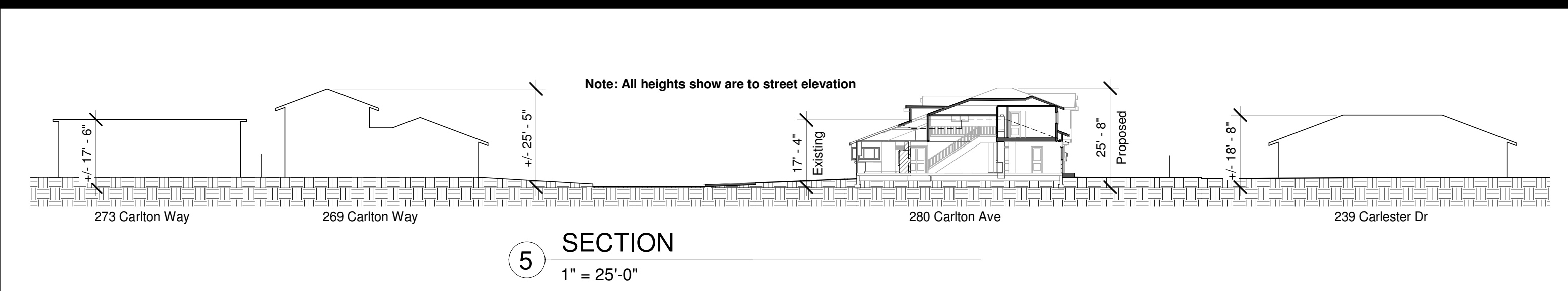
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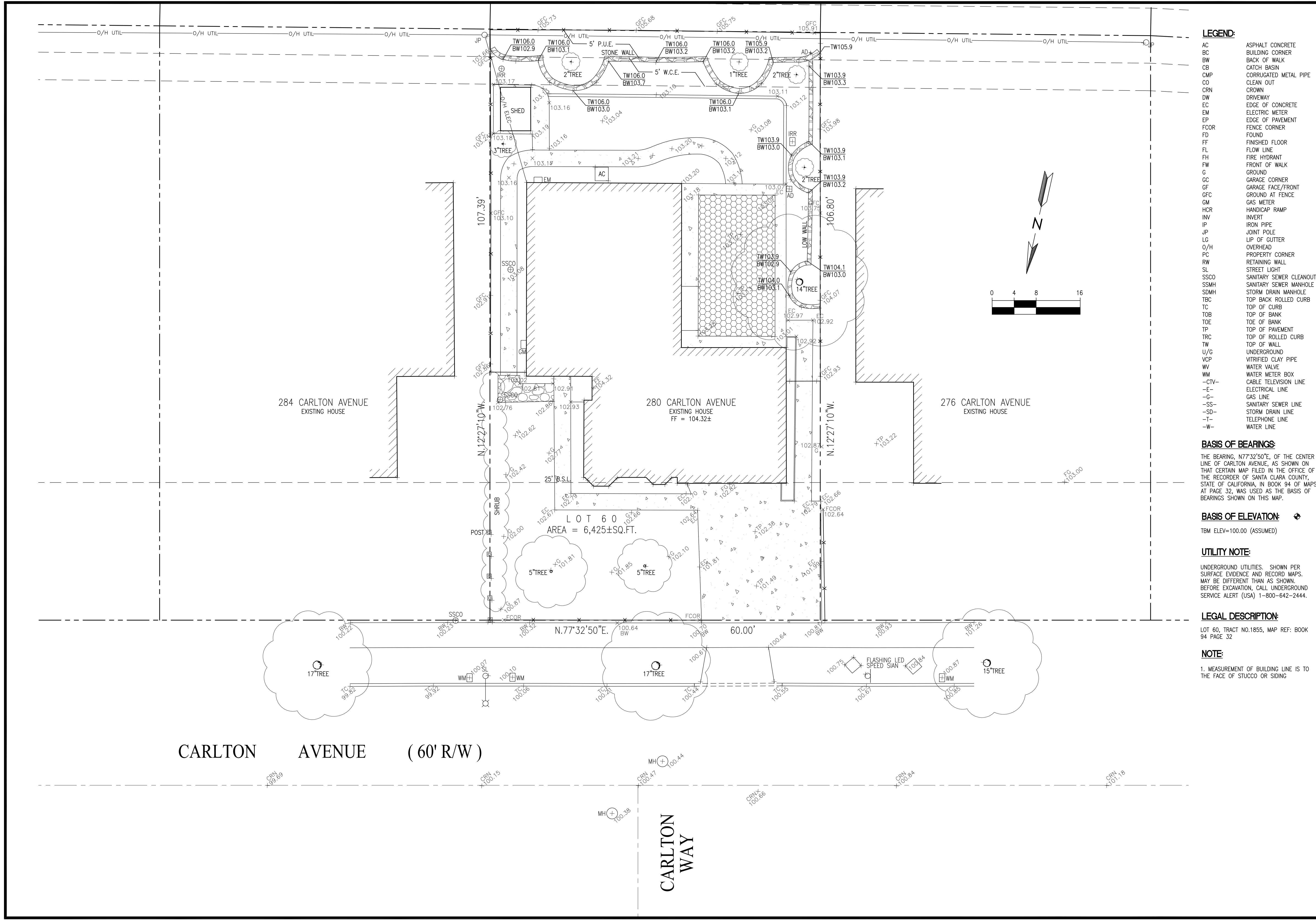
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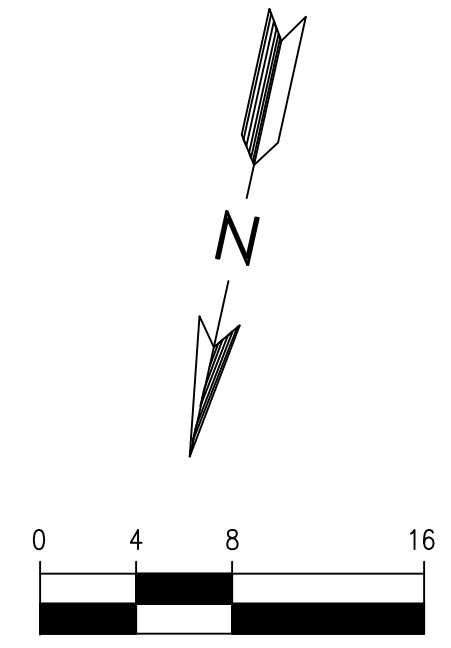
**4 SHADOW STUDY, DECEMBER 21st**  
1" = 30'-0"

**3 SHADOW STUDY, JUNE 21st**  
1" = 30'-0"





- LEGEND:**
- AC ASPHALT CONCRETE
  - BC BUILDING CORNER
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CMP CORRUGATED METAL PIPE
  - CO CLEAN OUT
  - CRN CROWN
  - DW DRIVEWAY
  - EC EDGE OF CONCRETE
  - EM ELECTRIC METER
  - EP EDGE OF PAVEMENT
  - FCOR FENCE CORNER
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FH FIRE HYDRANT
  - FW FRONT OF WALK
  - G GARAGE
  - GC GARAGE CORNER
  - GF GARAGE FACE/FRONT
  - GM GAS METER
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LG LIP OF GUTTER
  - O/H OVERHEAD
  - PC PROPERTY CORNER
  - RW RETAINING WALL
  - SL STREET LIGHT
  - SSCO SANITARY SEWER CLEANOUT
  - SSMH SANITARY SEWER MANHOLE
  - SDMH STORM DRAIN MANHOLE
  - TBC TOP BACK ROLLED CURB
  - TC TOP OF CURB
  - TOB TOP OF BANK
  - TOE TOE OF BANK
  - TP TOP OF PAVEMENT
  - TRC TOP OF ROLLED CURB
  - TW TOP OF WALL
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WV WATER VALVE
  - WM WATER METER BOX
  - CTV- CABLE TELEVISION LINE
  - E- ELECTRICAL LINE
  - G- GAS LINE
  - SS- SANITARY SEWER LINE
  - SD- STORM DRAIN LINE
  - T- TELEPHONE LINE
  - W- WATER LINE



**BASIS OF BEARINGS:**  
 THE BEARING, N77°32'50"E, OF THE CENTER LINE OF CARLTON AVENUE, AS SHOWN ON THAT CERTAIN MAP FILED IN THE OFFICE OF THE RECORDER OF SANTA CLARA COUNTY, STATE OF CALIFORNIA, IN BOOK 94 OF MAPS AT PAGE 32, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

**BASIS OF ELEVATION:**   
 TBM ELEV=100.00 (ASSUMED)

**UTILITY NOTE:**  
 UNDERGROUND UTILITIES, SHOWN PER SURFACE EVIDENCE AND RECORD MAPS, MAY BE DIFFERENT THAN AS SHOWN. BEFORE EXCAVATION, CALL UNDERGROUND SERVICE ALERT (USA) 1-800-642-2444.

**LEGAL DESCRIPTION:**  
 LOT 60, TRACT NO.1855, MAP REF: BOOK 94 PAGE 32

**NOTE:**  
 1. MEASUREMENT OF BUILDING LINE IS TO THE FACE OF STUCCO OR SIDING

**DESPOTOVIC RESIDENCE**

280 CARLTON AVENUE  
 LOS GATOS, CA  
 APN: 424-16-067



2625 MIDDLEFIELD RD #658  
 PALO ALTO, CA 94306  
 TEL: (650) 823-6466  
 FAX: (650) 887-1294

LICENSE STAMPS AND SIGNATURE



ISSUED

No.	Description	Date

DATE: NOV 19, 2021  
 SCALE: 1/8"=1'-0"  
 DRAWN: BG  
 JOB: 10078

SHEET TITLE:

**TOPOGRAPHIC SURVEY**

SHEET NO.

**C.0**

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REVISIONS

SHEET NAME :

**SITE PLAN,  
DEMOLITION  
PLAN**

SHEET NUMBER :

**A1.1**

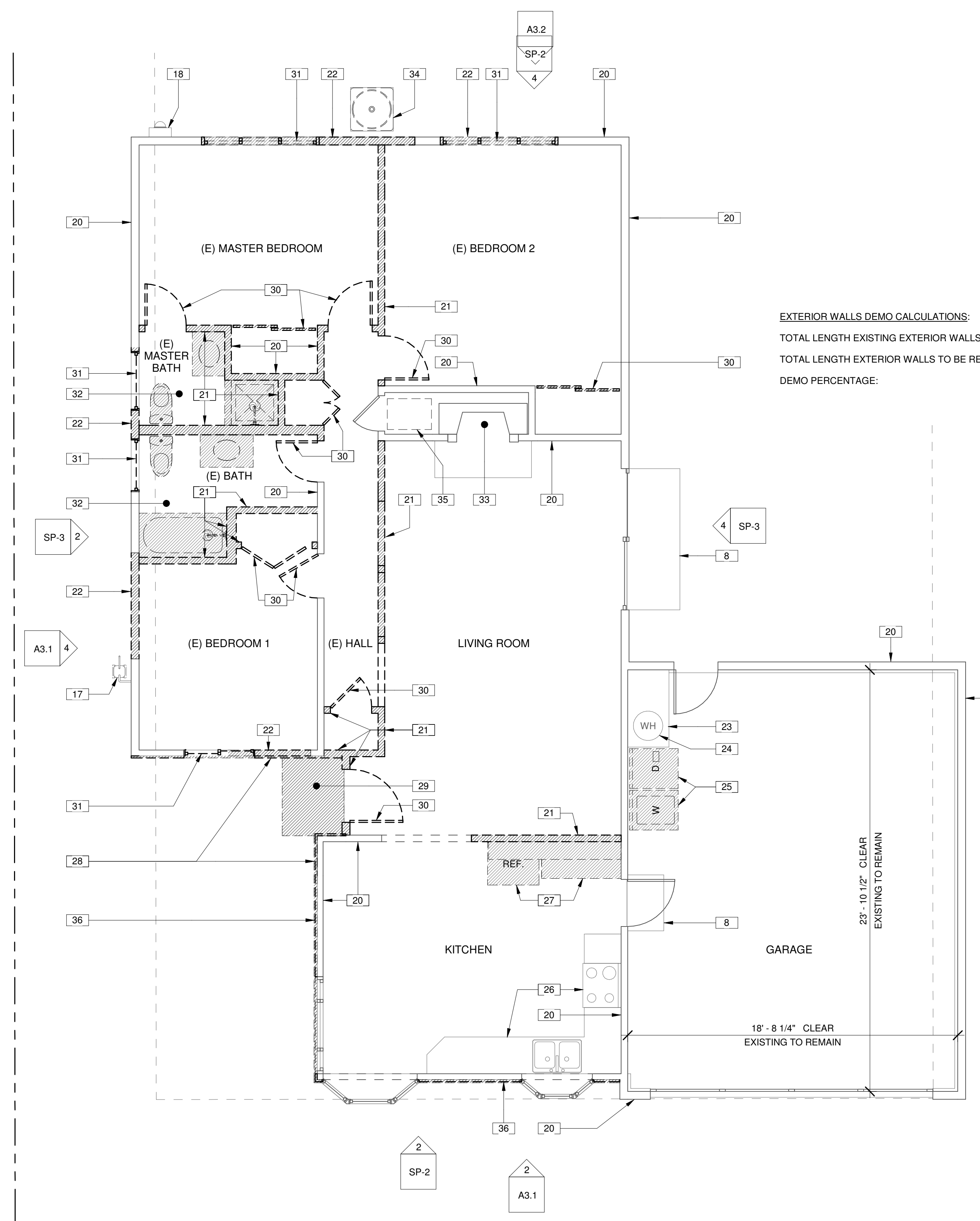
**TREE SCHEDULE**

No.	SPECIES	TRUNK SIZE	STATUS
1	Aliso	17"Ø	RETAIN
2	Black Poui	5"Ø	RETAIN
3	Biota	5"Ø	RETAIN
4	Allanhus Altissima	14"Ø	RETAIN
5	Crape Myrtle	2"Ø	RETAIN
6	Crape Myrtle	2"Ø	RETAIN
7	Navel Orange	1"Ø	RETAIN
8	Meyer Lemon	2"Ø	RETAIN
9	Crape Myrtle	3"Ø	RETAIN

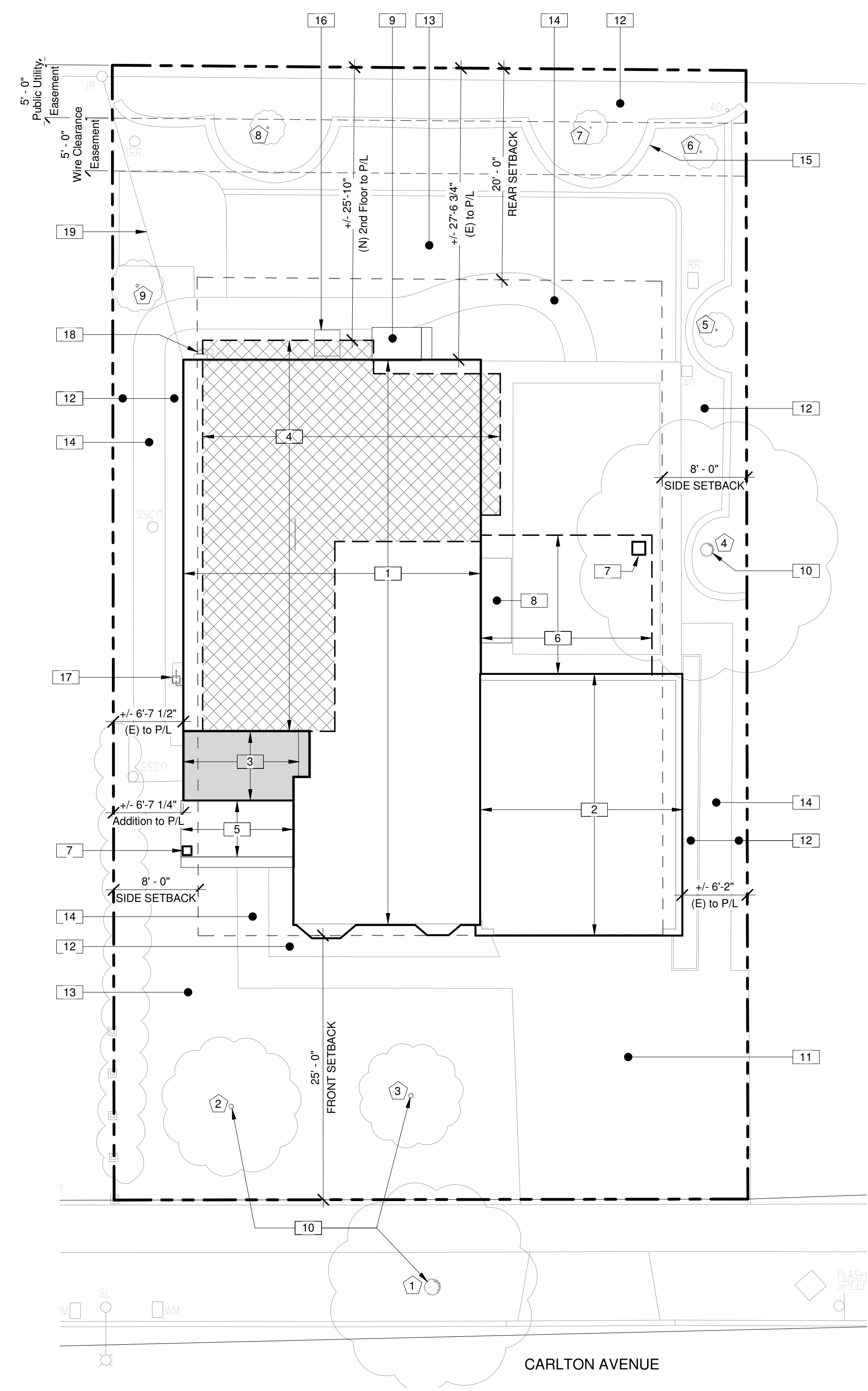
KEYNOTES	
1	EXISTING HOUSE TO REMAIN; REFER TO DEMOLITION PLAN AND PROPOSED PLAN FOR REMODEL WORK
2	EXISTING GARAGE TO REMAIN
3	SHADE INDICATES AREA OF PROPOSED ADDITION AT FIRST FLOOR
4	PATTERN INDICATES PROPOSED SECOND FLOOR ADDITION
5	NEW COVERED PORCH
6	NEW PATIO ROOF ABOVE, RETAIN EXISTING PAVERS AND CONCRETE HARDSCAPE
7	NEW POST
8	EXISTING LANDING TO REMAIN
9	NEW LANDING AND STEPS, REFER TO PROPOSED FLOOR PLAN
10	EXISTING TREE TO REMAIN, REFER TO TREE SCHEDULE; NO TREE REMOVAL IS PROPOSED
11	EXISTING DRIVEWAY TO REMAIN
12	EXISTING LANDSCAPE AREA TO REMAIN
13	EXISTING LAWN TO REMAIN
14	EXISTING WALKWAY TO REMAIN
15	EXISTING RETAINING-WALL TO REMAIN
16	A/C UNIT OVER AN EXISTING CONCRETE PAD; REPLACE UNIT AT SAME LOCATION

KEYNOTES	
17	EXISTING GAS METER TO REMAIN
18	EXISTING ELECTRICAL PANEL, UPDRADE TO 200 AMPS
19	EXISTING OVERHEAD POWER FEED; RELOCATE TO NEW, HIGHER ROOF
20	EXISTING WALL TO REMAIN
21	REMOVE EXISTING WALL AS SHOWN
22	CUT A NEW OPENING IN EXISTING WALL, REFER TO PROPOSED FLOOR PLAN FOR DIMENSIONAL REQUIREMENTS
23	EXISTING PLATFORM TO REMAIN
24	EXISTING WATER HEATER TO REMAIN
25	REMOVE AND SALVAGE WASHER AND DRYER, REFER TO PROPOSED FLOOR PLAN FOR NEW LOCATION
26	RETAIN KITCHEN CABINETS, FIXTURES AND APPLIANCES AS SHOWN
27	REMOVE AND SALVAGE KITCHEN CABINETS, FIXTURES AND APPLIANCES AS SHOWN; COORDINATE WITH HOMEOWNERS FOR NEW LOCATION
28	REMOVE EXISTING EXTERIOR FINISHES WHERE ADDITION OCCURS
29	REMOVE EXISTING LANDING
30	REMOVE EXISTING DOOR

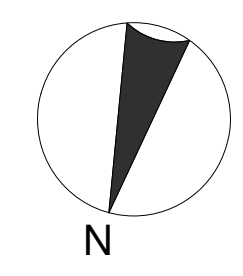
KEYNOTES	
31	REMOVE EXISTING WINDOW
32	BATHROOM DEMOLITION: REMOVE ALL CABINETS, FIXTURES AND FINISHES
33	EXISTING GAS FIREPLACE AND CHIMNEY TO REMAIN; EXTEND VENT UP TO NEW ROOF
34	REMOVE EXISTING A/C UNIT, RETAIN CONCRETE PAD; NEW A/C UNIT TO BE INSTALLED AT SAME LOCATION, REFER TO PROPOSED FLOOR PLAN
35	REMOVE EXISTING FURNACE; NEW FURNACE TO BE INSTALLED AT SAME LOCATION, REFER TO PROPOSED FLOOR PLAN
36	REMOVE EXISTING BOARD AND BATTEN SIDING AT KITCHEN WALLS



2 EXISTING AND DEMOLITION PLAN  
1/4" = 1'-0"



1 PROPOSED SITE PLAN  
1/8" = 1'-0"



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**PROPOSED FLOOR PLANS**

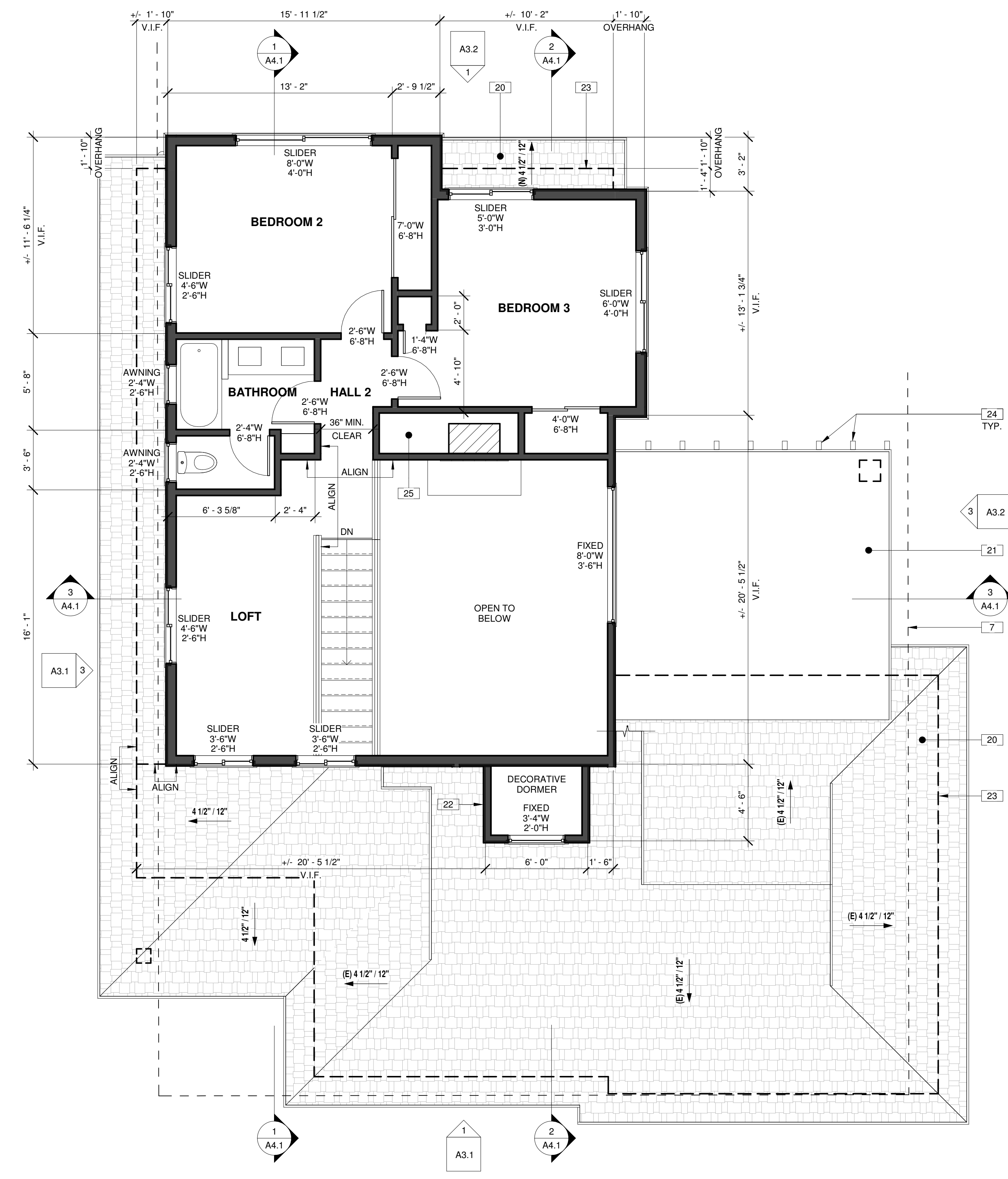
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**A2.1**

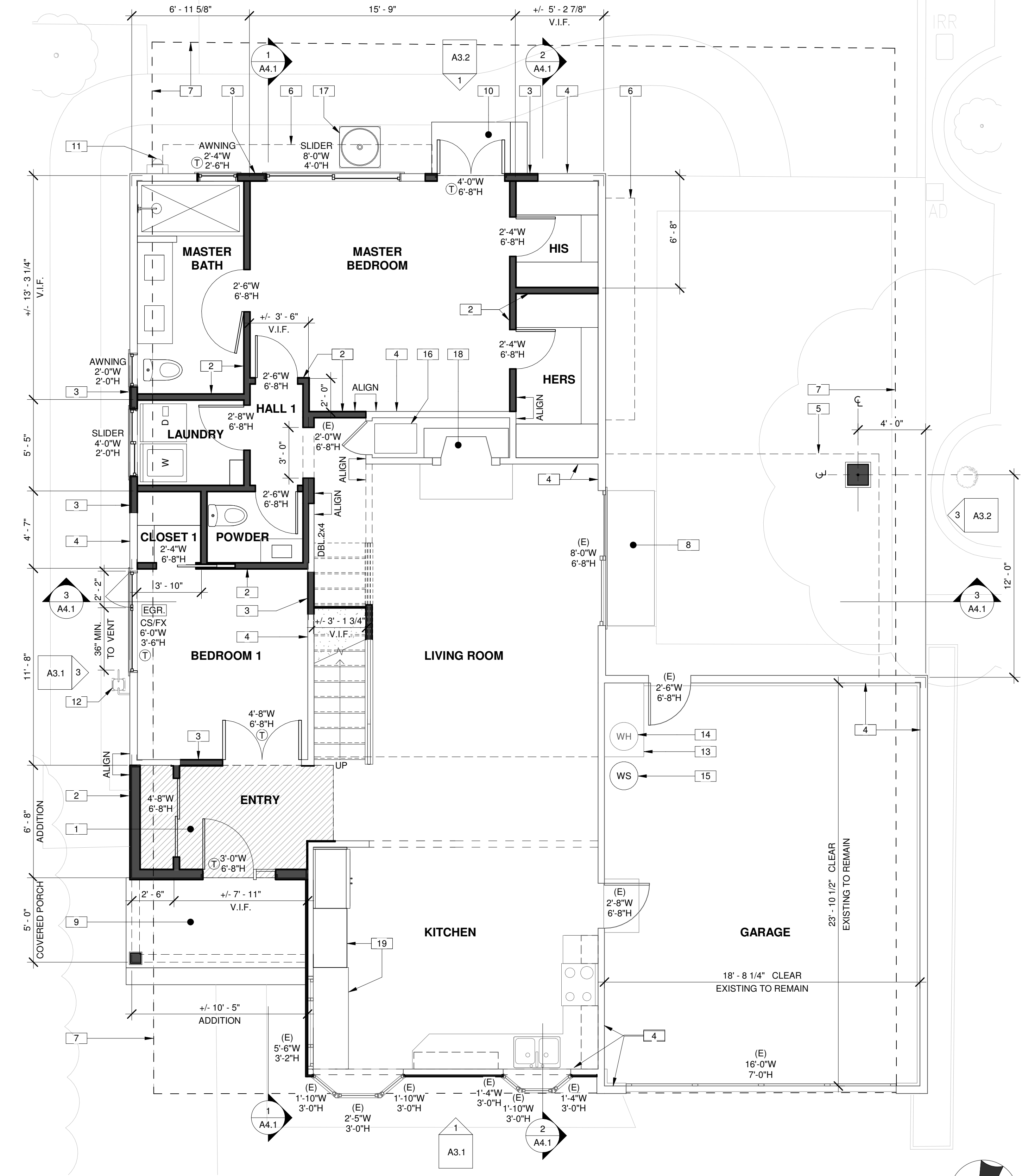
KEYNOTES	
1	PATTERN INDICATES AREA OF ADDITION
2	NEW WALL, TYPICAL
3	ENCLOSE EXISTING OPENING, MATCH AND ALIGN WITH WALL FINISHES ON BOTH SIDES
4	EXISTING WALL TO REMAIN
5	NEW PATIO ROOF ABOVE
6	PROPOSED 2ND FLOOR OVERHANG ABOVE
7	SETBACK LINE, REFER TO SITE PLAN ON A1.1
8	EXISTING LANDING TO REMAIN
9	NEW LANDING; TOP OF LANDING SURFACE TO BE 6" BELOW T.O. SUBFLOOR, SLOPE 2% AWAY FROM DOOR; STEP AT DOOR THRESHOLD SHALL NOT EXCEED 7-3/4"
10	NEW LANDING; TOP OF LANDING SURFACE TO ALIGN WITH T.O. SUBFLOOR, SLOPE 2% AWAY FROM DOOR; STEP AT DOOR THRESHOLD SHALL NOT EXCEED 1"

KEYNOTES	
11	EXISTING ELECTRICAL PANEL, UPGRADE TO 200 AMPS
12	EXISTING GAS METER TO REMAIN
13	EXISTING PLATFORM TO REMAIN
14	EXISTING WATER HEATER TO REMAIN
15	NEW WATER SOFTENER
16	NEW FURNACE
17	NEW A/C UNIT
18	EXISTING GAS FIREPLACE AND CHIMNEY TO REMAIN; EXTEND VENT UP TO NEW ROOF
19	NEW CABINETS, COORDINATE WITH OWNERS
20	ROOF WITH ASPHALT SHINGLES OVER #15 UNDERLAYMENT
21	FLAT ROOF WITH IB ROOFING; SLOPE 1/4" PER FOOT TO DRAIN

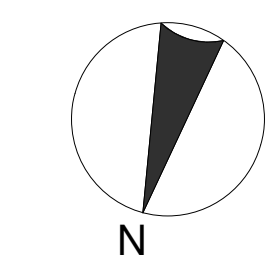
KEYNOTES	
22	DECORATIVE DORMER
23	DASH-LINE INDICATES EXTERIOR FACE OF WALL FRAMING BELOW
24	4x8 DECOTATIVE OUTRIGGERS
25	HVAC SHAFT



**2** PROPOSED SECOND FLOOR PLAN  
1/4" = 1'-0"



**1** PROPOSED FIRST FLOOR PLAN  
1/4" = 1'-0"



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PREPARED BY:  
SHLOMI CASPI

**RADA and MIHAILO DESPOTOVIC**  
280 CARLTON AVENUE, LOS GATOS, CALIFORNIA, 95032

CITY APPROVAL:

JOB NUMBER: 168  
PHASE: SD CD CA

DATE: 03/01/22

REVISIONS

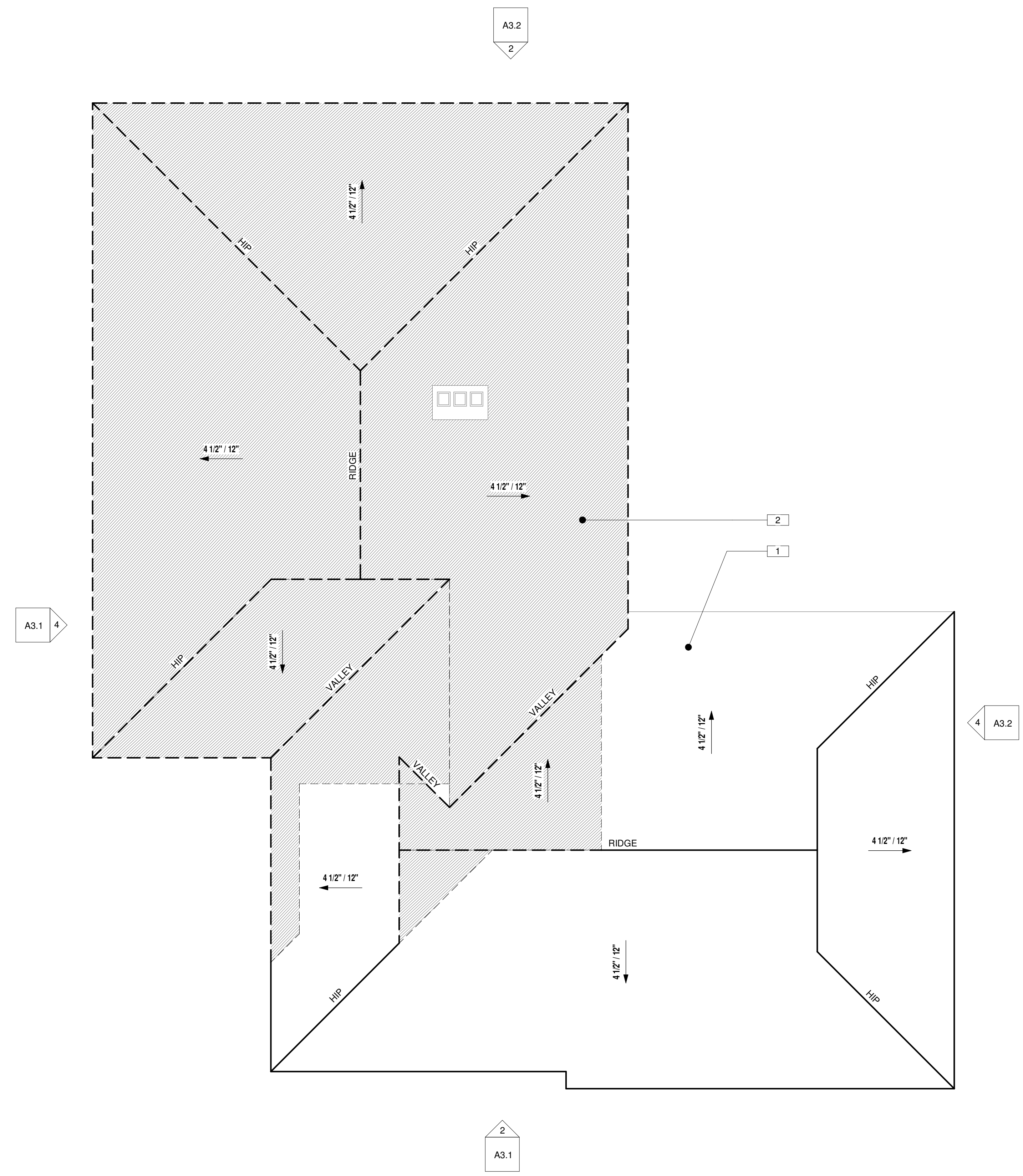
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ROOF PLANS

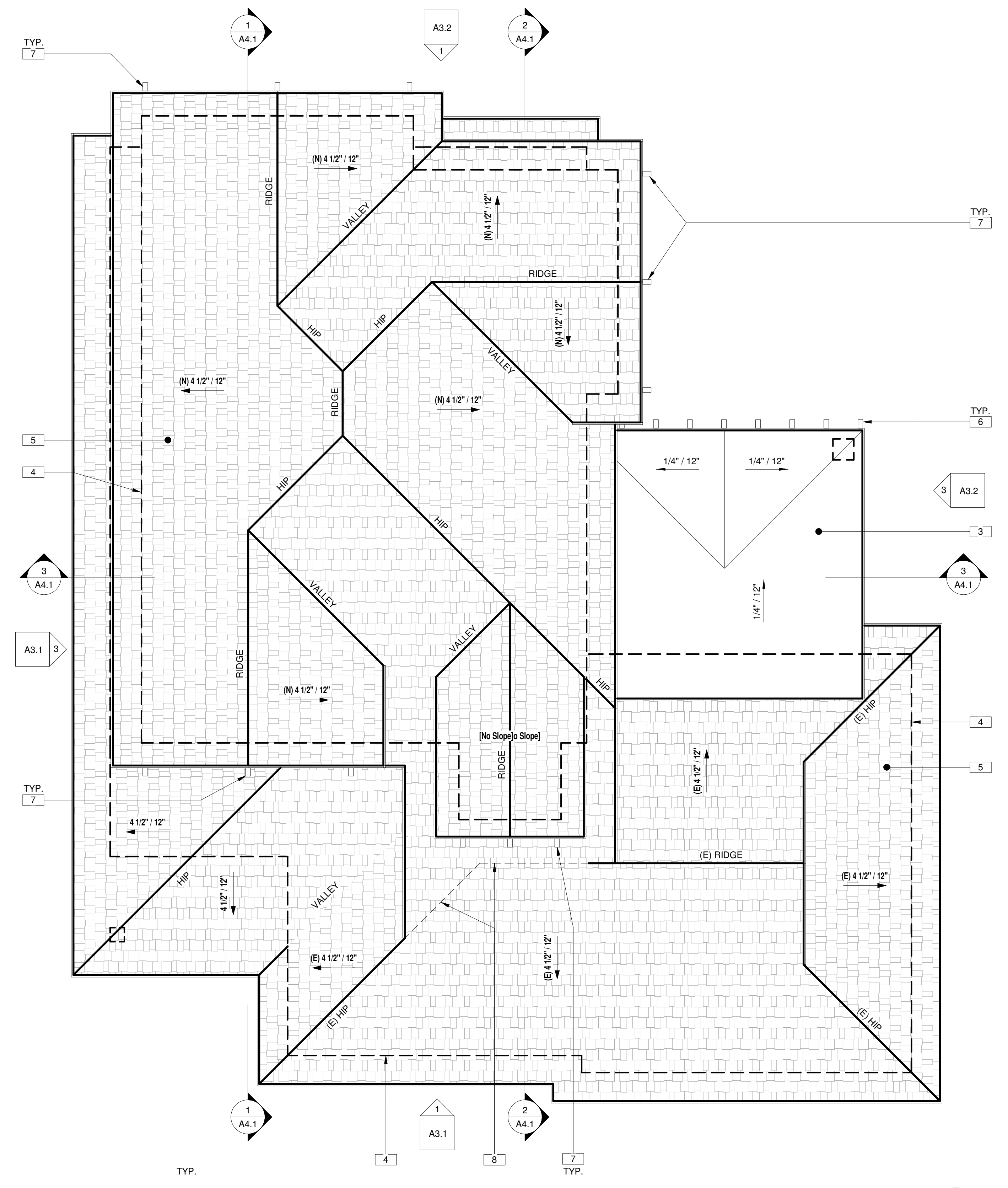
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**A2.2**

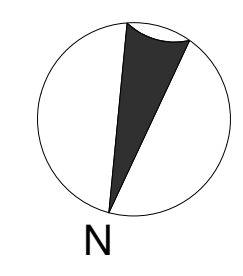
KEYNOTES	
1	EXISTING ROOF TO REMAIN, REMOVE EXISTING ASPHALT SHINGLES AND UNDERLAYMENT
2	PATTERN INDICATES ROOF DEMOLITION AREA
3	FLAT ROOF WITH IB ROOFING; SLOPE 1/4" PER FOOT TO DRAIN
4	DASH-LINE INDICATES EXTERIOR FACE OF WALL FRAMING BELOW
5	PROVIDE NEW ASPHALT SHINGLES OVER #15 UNDERLAYMENT AT ALL ROOFS, EXISTING AND NEW
6	4x8 DECOTATIVE OUTRIGGERS
7	4x12 DECOTATIVE OUTRIGGERS
8	ALIGN NEW ROOF WITH EXISTING ROOF

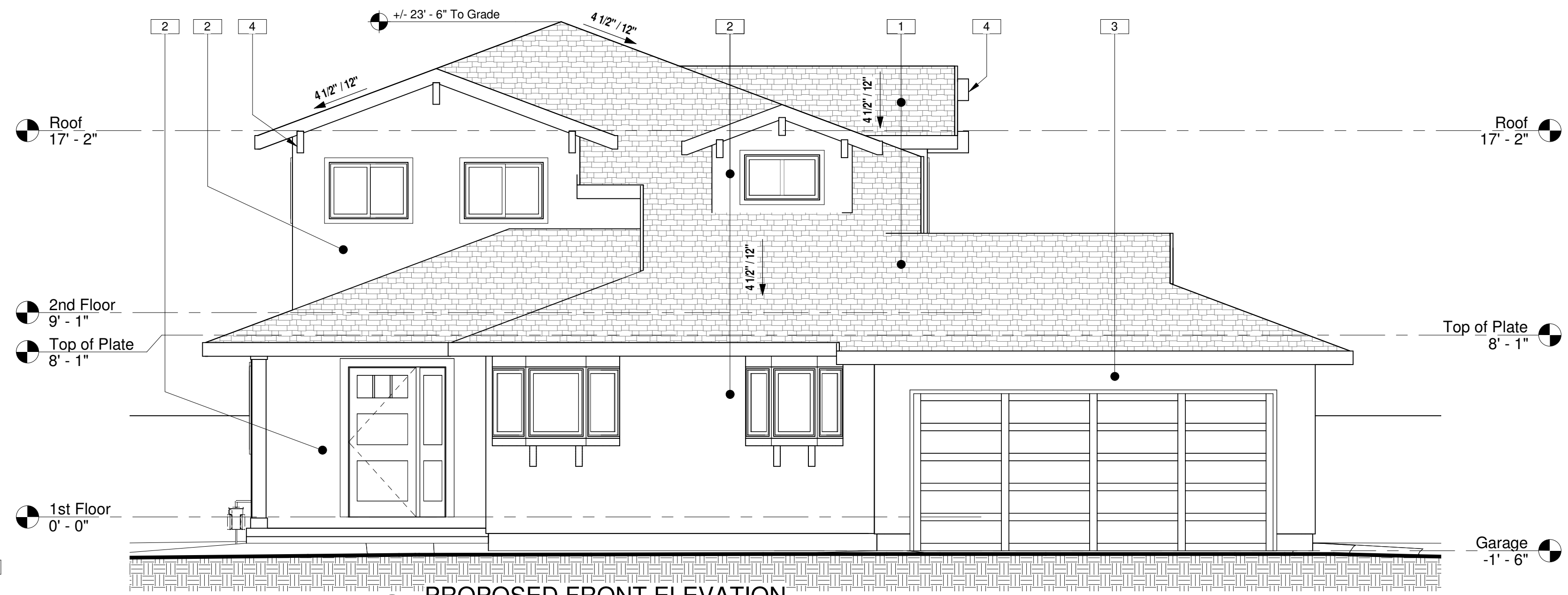


**2** ROOF DEMOLITION PLAN  
1/4" = 1'-0"



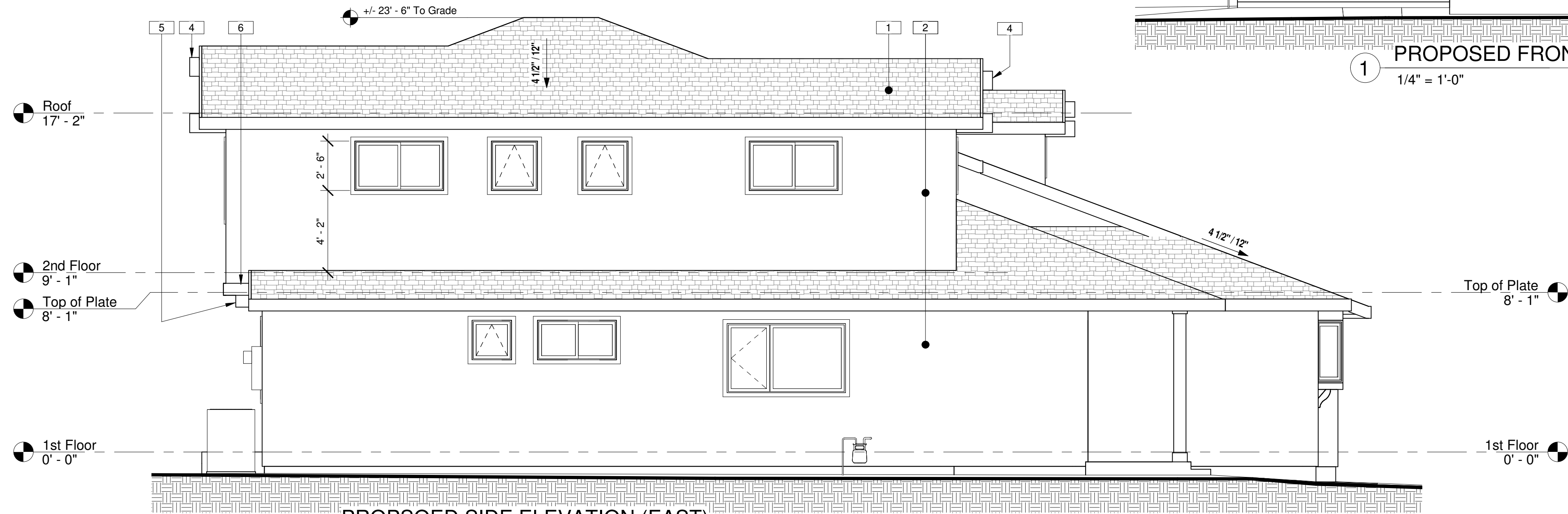
**1** PROPOSED ROOF PLAN  
1/4" = 1'-0"



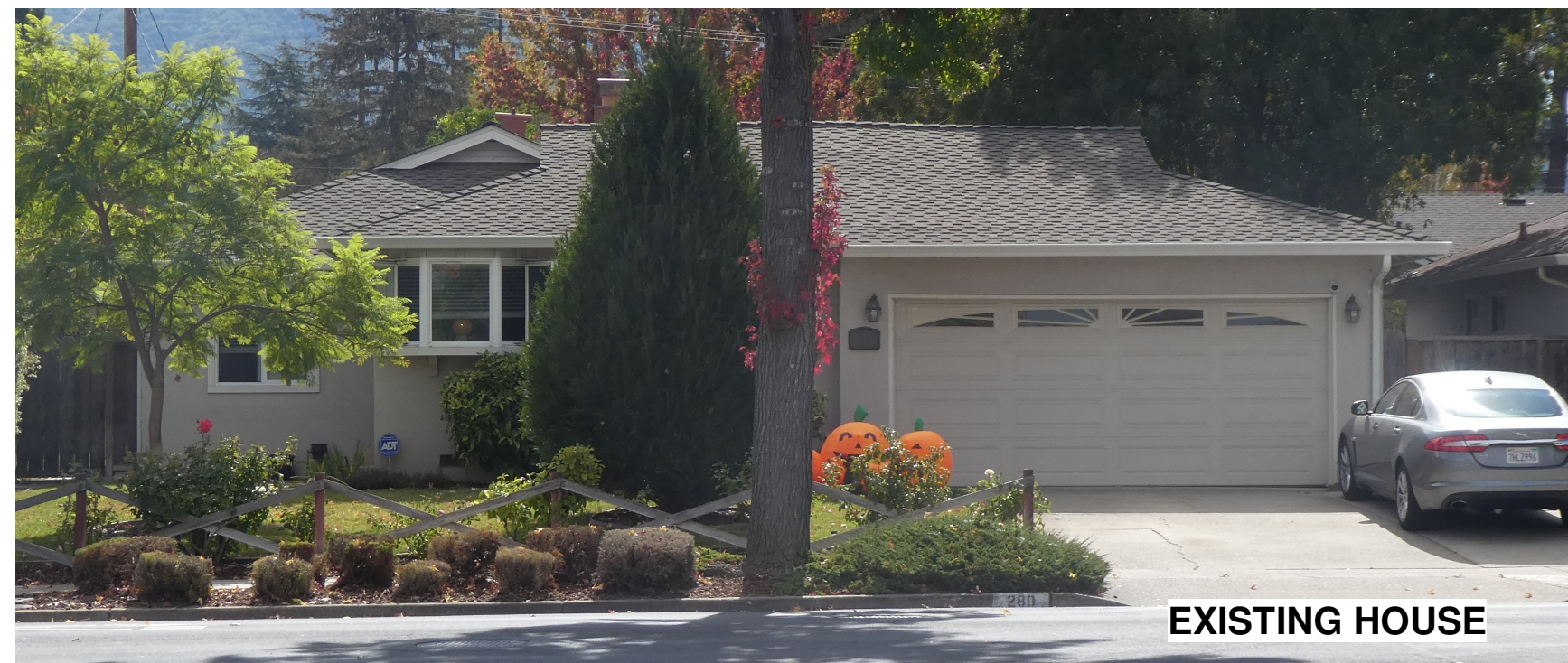


**1 PROPOSED FRONT ELEVATION**  
1/4" = 1'-0"

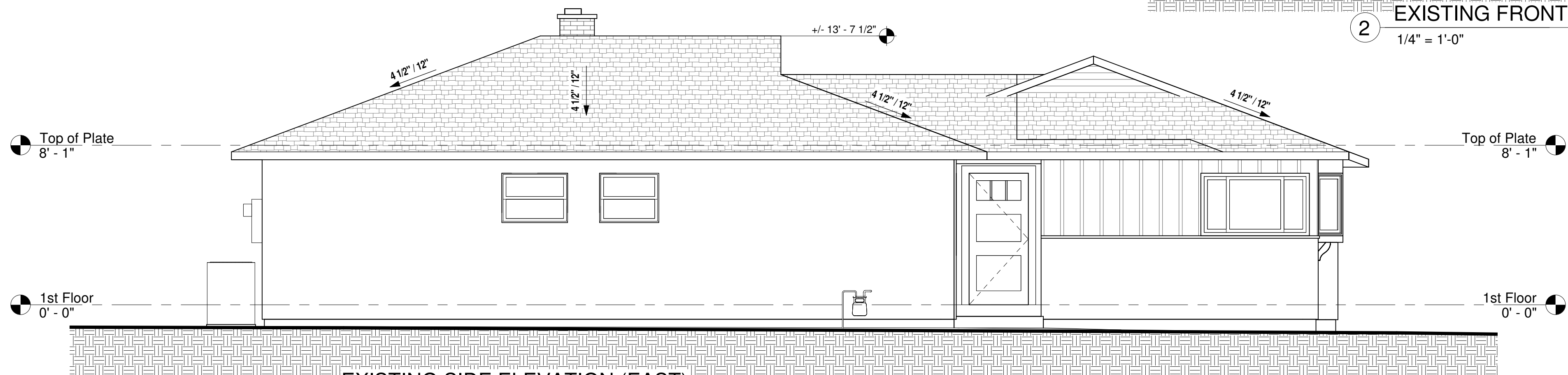
KEYNOTES	
1	PROVIDE NEW ASPHALT SHINGLES OVER #15 UNDERLAYMENT AT ALL ROOFS, EXISTING AND NEW
2	NEW STUCCO TO MATCH EXISTING TEXTURE; PROVIDE 7/8" THICK 3-COAT CEMENT PLASTER SYSTEM OVER 2 LAYERS OF GRADE 'D' PAPER
3	EXISTING STUCCO FINISH
4	4x12 DECORATIVE OUTRIGGERS
5	6x8 DECORATIVE CORBELS
6	2x8 WOOD TRIM



**3 PROPOSED SIDE ELEVATION (EAST)**  
1/4" = 1'-0"



**2 EXISTING FRONT ELEVATION**  
1/4" = 1'-0"



**4 EXISTING SIDE ELEVATION (EAST)**  
1/4" = 1'-0"

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CITY APPROVAL:

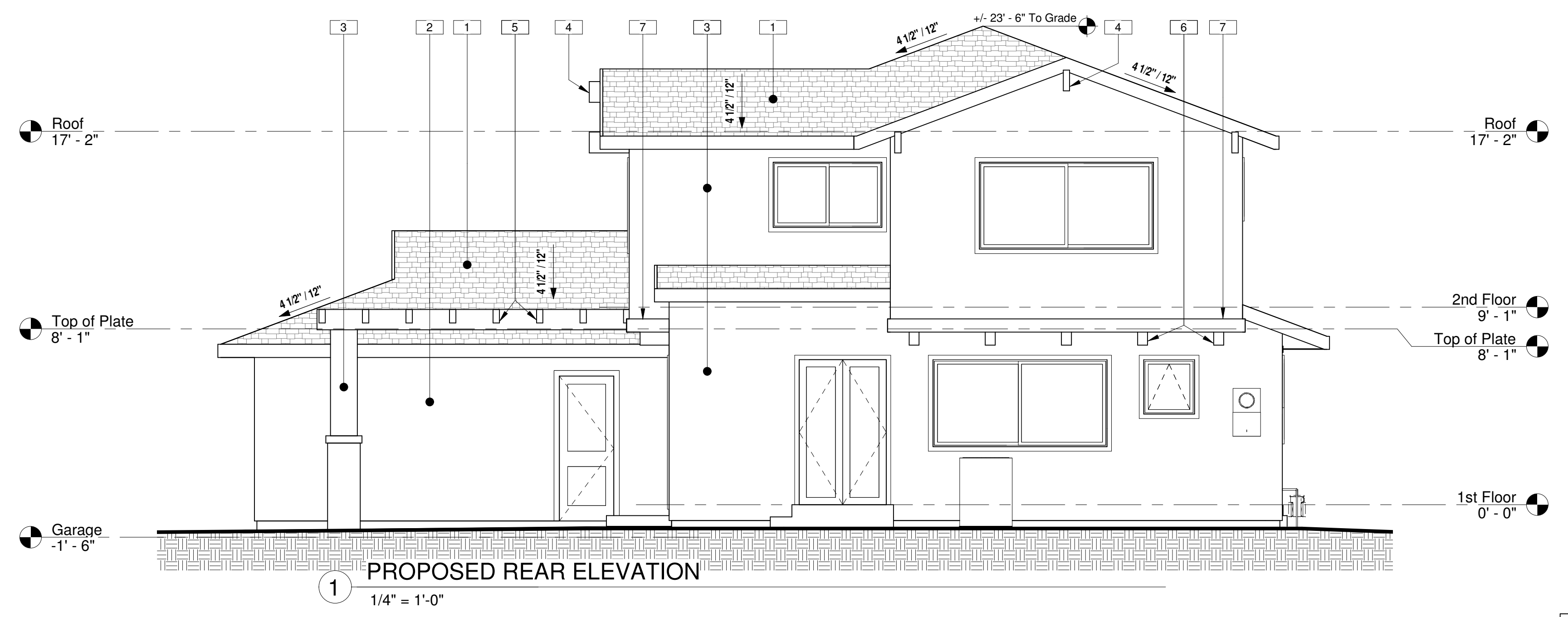
JOB NUMBER: 168  
PHASE: SD  CD  CA

DATE: 03/01/22

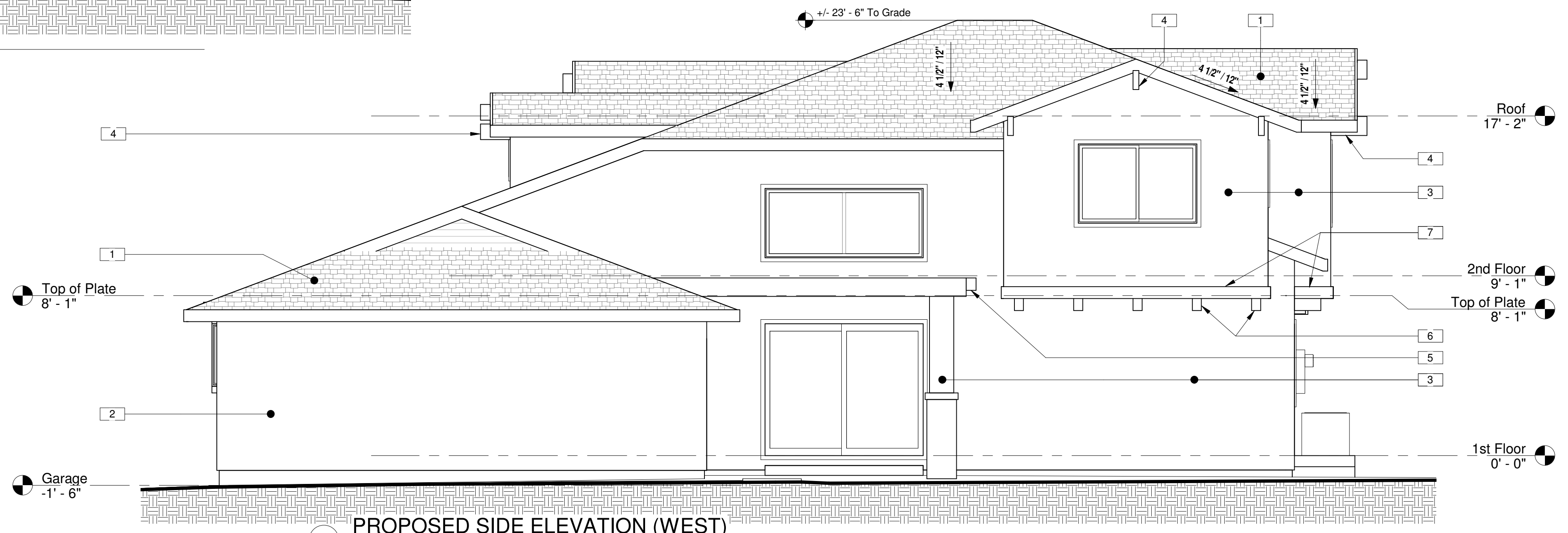
REVISIONS	

SHEET NAME :  
**EXISTING AND PROPOSED ELEVATIONS**  
SHEET NUMBER :

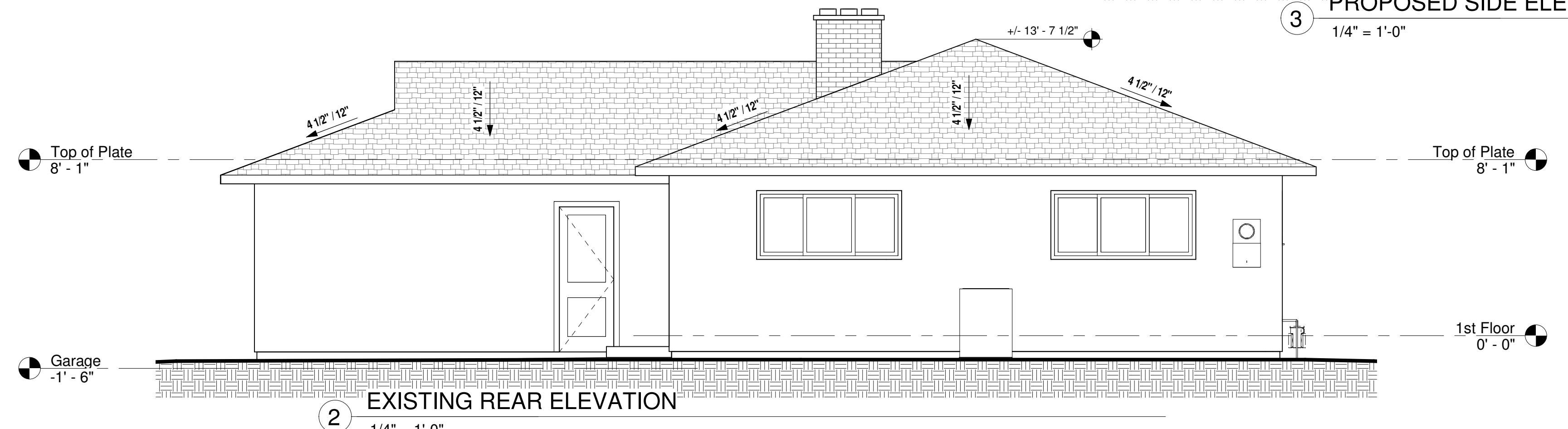
KEYNOTES	
1	PROVIDE NEW ASPHALT SHINGLES OVER #15 UNDERLAYMENT AT ALL ROOFS, EXISTING AND NEW
2	EXISTING STUCCO FINISH
3	NEW STUCCO TO MATCH EXISTING TEXTURE; PTOVIE 7/8" THICK 3-COAT CEMENT PLASTER SYSTEM OVER 2 LAYERS OF GRADE 'D' PAPER
4	4x12 DECOTATIVE OUTRIGGERS
5	4x8 DECOTATIVE OUTRIGGERS
6	6x8 DECOTATIVE CORBELS
7	2x8 WOOD TRIM



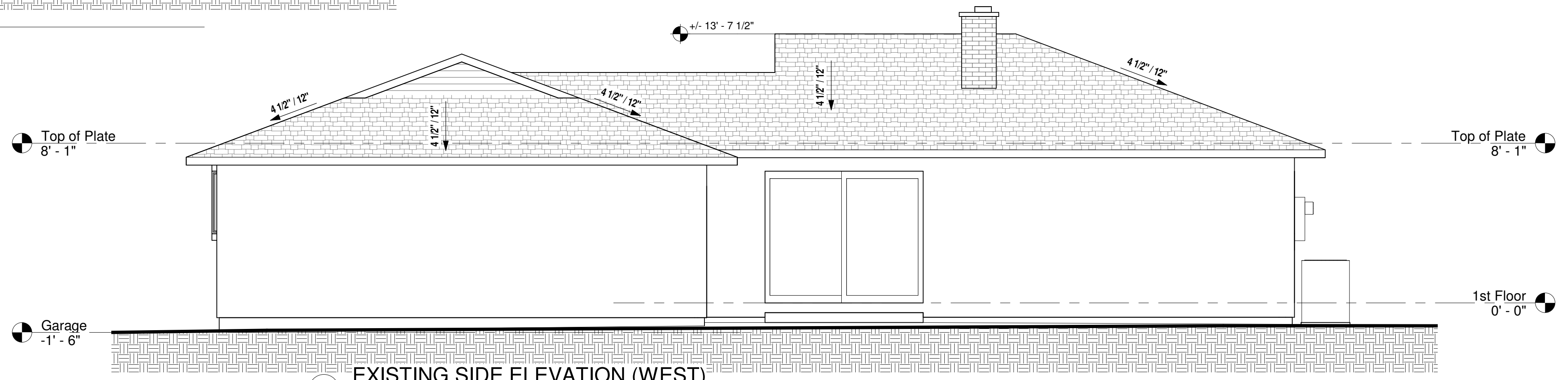
**1 PROPOSED REAR ELEVATION**  
1/4" = 1'-0"



**3 PROPOSED SIDE ELEVATION (WEST)**  
1/4" = 1'-0"



**2 EXISTING REAR ELEVATION**  
1/4" = 1'-0"



**4 EXISTING SIDE ELEVATION (WEST)**  
1/4" = 1'-0"



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REVISIONS

NO.	DESCRIPTION

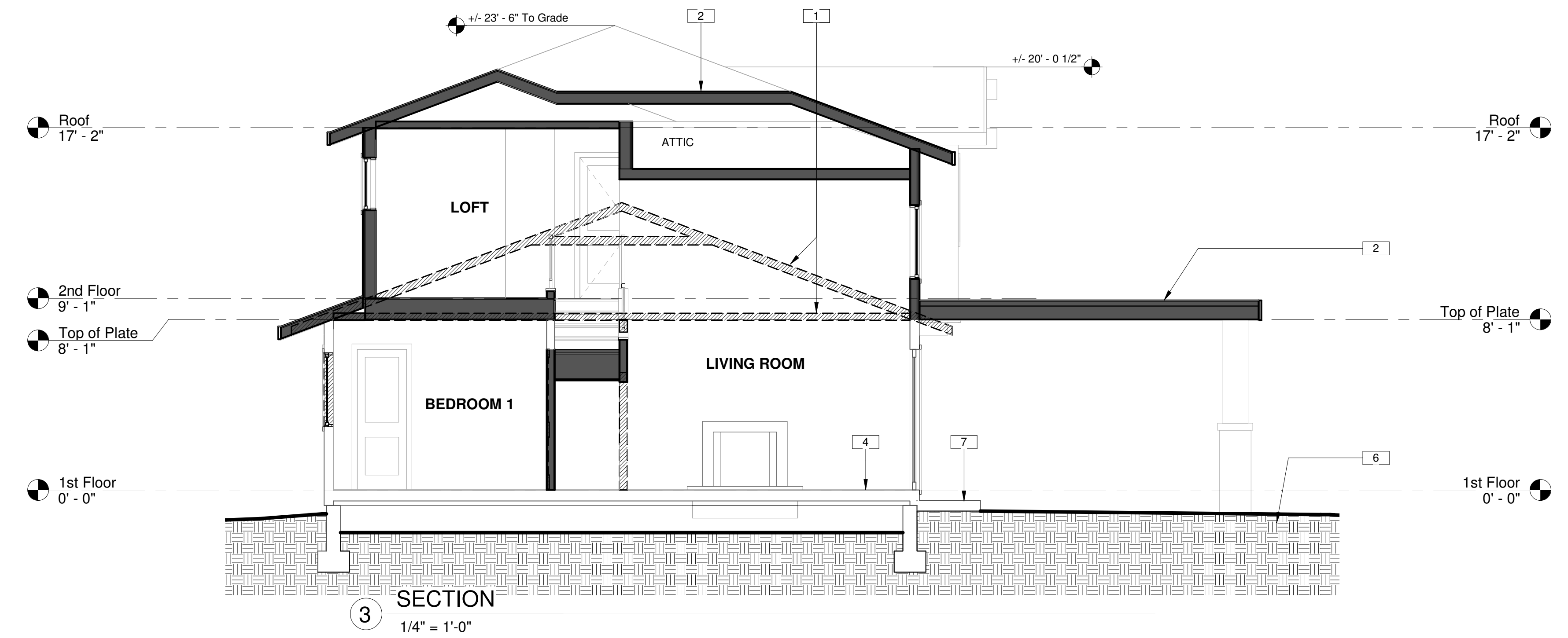
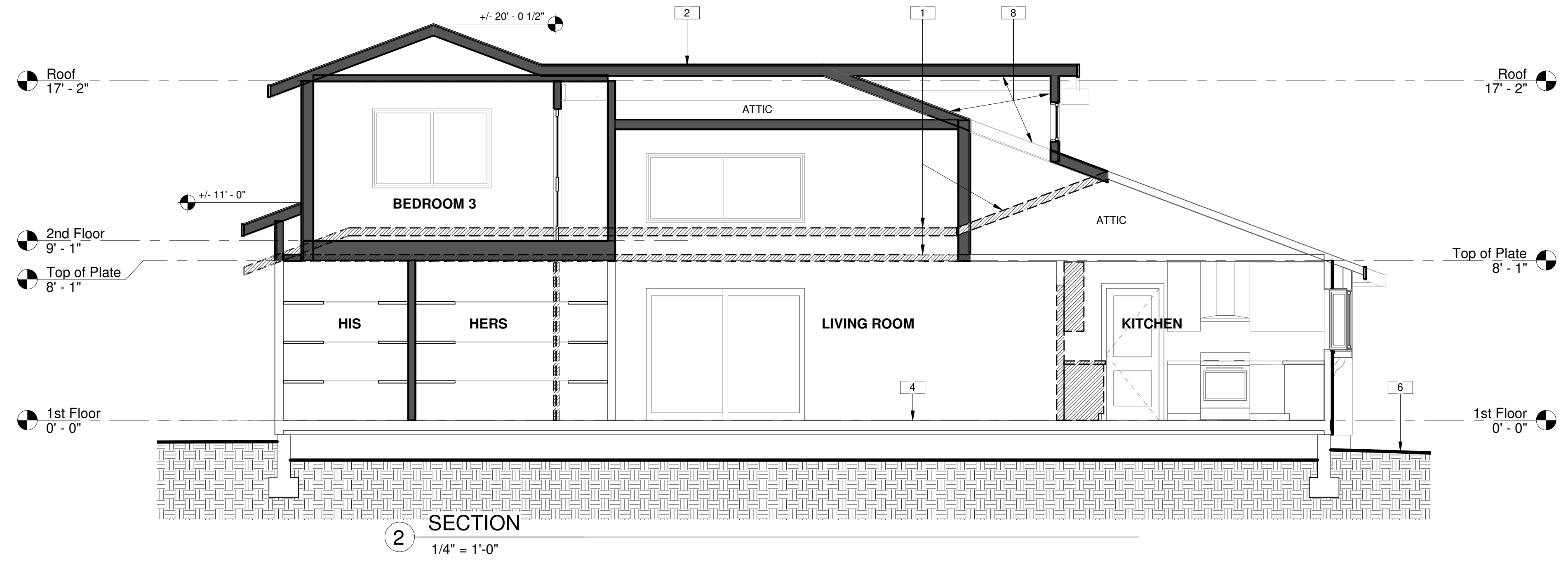
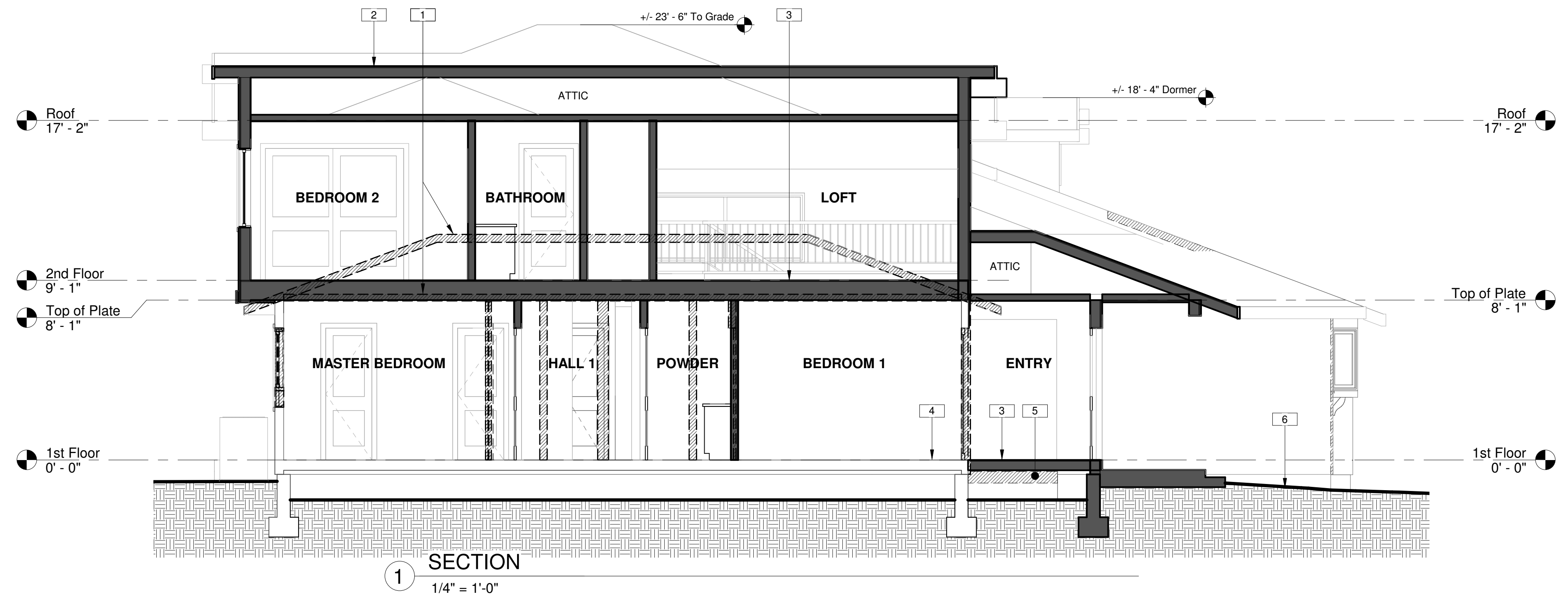
SHEET NAME :

SECTIONS

SHEET NUMBER :

**A4.1**

KEYNOTES	
1	REMOVE EXISTING ROOF AND CEILING AS SHOWN
2	NEW ROOF, REFER TO ROOF PLAN
3	NEW FLOOR
4	EXISTING FLOOR
5	REMOVE EXISTING LANDING
6	EXISTING / FINISH GRADE; NO GRADING WORK IS PROPOSED IN THIS PROJECT
7	EXISTING LANDING TO REMAIN
8	DECORATIVE DORMER



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