



**TOWN OF LOS GATOS  
PLANNING COMMISSION  
REPORT**

MEETING DATE: 11/08/2023

ITEM NO: 2

DATE: November 3, 2023

TO: Planning Commission

FROM: Joel Paulson, Community Development Director

SUBJECT: Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback, Street Side Yard Setback, and Corner Sight Triangle on Property Zoned R-1:8. **Located at 124 Garden Hill Drive.** APN 424-23-084. Fence Height Exception Application FHE-23-005. Categorically Exempt Pursuant to CEQA Guidelines Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. Property Owner: Rushikesh Kulkarni. Applicant/Appellant: Martin Lettunich. Project Planner: Ryan Safty.

RECOMMENDATION:

Deny the appeal and uphold the Community Development Director decision to deny a fence height exception request for construction of a six-foot tall fence within the required front yard setback, street side yard setback, and corner sight triangle on property zoned R-1:8, located at 124 Garden Hill Drive.

PROJECT DATA:

General Plan Designation: Low Density Residential

Zoning Designation: R-1:8 – Single-Family Residential

Applicable Plans & Standards: General Plan, Residential Design Guidelines

Parcel Size: 8,712 square feet

Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential	Low Density Residential	R-1:8

PREPARED BY: RYAN SAFTY  
Associate Planner

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Reviewed by: Planning Manager and Community Development Director

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CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities.

FINDINGS:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities; and
- As required by Section 29.40.320 of the Town Code for granting a Fence Height Exception.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The subject property is located at the southwestern corner of Garden Hill Way and Garden Hill Drive, one block south of Lark Avenue and one block west of Highway 17 (Exhibit 1). The immediate neighborhood consists of single-family residential properties.

Over the past few years, the subject property has been sold and redeveloped. A summary of this history is provided below:

- November 15, 2017, the previous owner emailed the Town, asking if they can move their approximately five-foot tall fence out to the front and street-side property lines. Town staff informed them that this was not allowed per the then current Fence Ordinance as the area is within the corner sight triangle (Exhibit 10);
- April of 2018, the property was sold;
- August 6, 2019, the Town adopted a new Fence Ordinance with stricter regulations regarding front yard and street-side yard fence heights and locations, along with a new exception process;
- August 24, 2020, Building Permit application B20-0574 was submitted for a 969-square foot addition to the front and rear of the residence (Exhibit 4). Town staff provided the following plan correction on September 2, 2020, during the review: "There is an existing five-foot high non-conforming fence located in the front yard setback. Generally, fences located in the front setback are required to be a maximum of three feet in height. In the future, should you wish to maintain or replace this fence, it shall be done in kind pursuant to Section 29.40.0325 of the Town Code." The building permit was issued on January 10, 2021, and finalized by Town staff on June 29, 2022;

BACKGROUND (continued):

- November 23, 2021, Building Permit application B21-1157 was submitted for an outdoor barbeque, arbor, and perimeter wall and fence (Exhibit 5). Town staff provided the following plan correction on December 14, 2021, during the review: "Sheet L-4, reduce the height of the corner wall and fence to a maximum of three feet when located within a required front or side yard abutting a street, driveway view area, traffic view area, or corner sight triangle unless an exception is granted by the Town Engineer and Community Development Director." Following this comment, the plans were revised to show a fence and wall that complied with the Town's height requirements. The building permit was issued on April 12, 2022, and finalized by Town staff on May 2, 2023;
- On February 24, 2022, after receiving the comments from staff on B20-0574 and B21-11157 and amending the plans to show three-foot tall fencing within the front yard setback, street side yard setback, and corner sight triangle, the owners applied for a Fence Height Exception (FHE-22-001). After working with staff and learning that staff could not support the exception request, the application was withdrawn on April 12, 2022;
- On August 4, 2023, following a complaint, the Town issued an administrative warning (Exhibit 6) regarding an unpermitted six-foot tall fence at the corner of Garden Hill Drive;
- On September 7, 2023, the subject Fence Height Exception application (FHE-23-005) was submitted (Exhibits 7 and 8), requesting approval to install a six-foot tall fence on top of a retaining wall along the front and street-side property lines and within the corner sight triangle;
- On September 27, 2023, the Community Development Director and Town Engineer determined that the required exception findings could not be made, and denied the request (Exhibit 9); and
- On October 5, 2023, the applicant and owners appealed this decision to the Planning Commission (Exhibit 11).

Pursuant to Town Code Section 29.20.255, any interested person as defined by Town Code Section 29.10.020 may appeal to the Planning Commission any decision of the Planning Director. For residential projects, an interested person is defined as, "a person or entity who owns property or resides within 1,000 feet of a property for which a decision has been rendered and can demonstrate that their property will be injured by the decision." The appellant/owner meets the requirements.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is located at the southwestern corner of Garden Hill Way and Garden Hill Drive, one block south of Lark Avenue and one block west of Highway 17 (Exhibit 1). The immediate neighborhood consists of single-family residential properties.

B. Project Summary and Zoning Compliance

The property owner is appealing the Community Development Director decision to deny a fence height exception request for the construction of a six-foot tall wooden fence on top of an approximately two-foot tall retaining wall within the required front yard setback, street side yard setback, and corner sight triangle.

DISCUSSION:

A. Fence Height Exception

The property owner has requested a fence height exception for construction of a six-foot tall wooden fence on top of an approximately two-foot tall retaining wall along the front corner of the property. The application requests exceptions to the required front yard setback, street-side setback, and corner sight triangle. Currently, there is an unpermitted three-foot tall bamboo screen attached to the approved three-foot tall wooden fence along the corner of the property.

As noted in the Background Section above, the property has undergone substantial remodel and redevelopment over the past few years. Building Permit B21-1157 allowed construction of an outdoor patio; a six-foot tall fence along the southern (rear yard) and western (internal side yard) property lines and outside of the required front setback, street side setback, and corner sight triangle; and allowed construction of a three-foot tall garden wall along the eastern (street side yard) property line and a two-foot tall retaining wall along the northern (front yard) property line. As retaining walls adjust the grade behind them, fence height is measured from the higher edge of grade; per Town Code, a three-foot fence can be built above the retaining wall in the front or street-side setback if it complies with the Town Engineer's corner sight triangle requirements (Exhibit 10).

Town staff visited the site to take pictures, and prepared Exhibit 12 to highlight which areas of the perimeter fencing is approved and compliant versus non-permitted and non-compliant. The area in green identifies the areas of the perimeter fence and wall that are compliant with code, while the area in red shows the portion of the fence that does not comply with code and requires an exception or modification. The front property line and



DISCUSSION (continued):

street-side property lines are differentiated from each other, and the corner sight triangle area is also highlighted.

Per Town Code Section 29.40.0315, fences and gates are limited to six feet in height with one foot of lattice on top (seven feet total), but are limited to, “three feet in height when located within a required front or side yard abutting a street, driveway view area, traffic view area, or corner sight triangle unless an exception is granted by the Town Engineer and Community Development Director.” The proposed fence is limited to three feet by Code, as it is within the required front yard setback, street side yard setback, and corner sight triangle.

Town Code Section 29.40.0320, provided below, allows an exception to any of the fence regulations if a property owner can demonstrate that one of the following conditions exist.

*Sec. 29.40.0320. - Exceptions.*

*An exception to any of these fence regulations may be granted by the Community Development Director. A fence exception application and fee shall be filed with the Community Development Department and shall provide written justification that demonstrates one (1) of the following conditions exist:*

- (a) Adjacent to commercial property, perimeter fences or walls may be eight (8) feet if requested or agreed upon by a majority of the adjacent residential property owners.*
- (b) On interior lots, side yard and rear yard fences, walls, gates, gateways, entry arbors, or hedges, behind the front yard setback, may be a maximum of eight (8) feet high provided the property owner can provide written justification that either:
  - (1) A special privacy concern exists that cannot be practically addressed by additional landscaping or tree screening; or*
  - (2) A special wildlife/animal problem affects the property that cannot be practically addressed through alternatives. Documented instances of wildlife grazing on gardens or ornamental landscaping may be an example of such a problem.**
- (c) At public utility facilities, critical infrastructure, and emergency access locations, exceptions may be granted where strict enforcement of these regulations will result in a security or safety concern.*
- (d) A special security concern exists that cannot be practically addressed through alternatives.*
- (e) A special circumstance exists, including lot size or configuration, where strict enforcement of these regulations would result in undue hardship.*

DISCUSSION (continued):

The Letter of Justification (Exhibit 8) cited conditions (b)(1) related to a special privacy concern, (b)(2) related to a special wildlife problem, (d) related to security, and (e) related to a special circumstance associated with the property configuration for justification of the exception request.

For conditions (b)(1) and (b)(2), staff could not support the exception as subsection (b) only applies to the side and rear fences on interior lots. This is a corner lot, and the exception is for the front and street side yards; therefore, subsection (b) of Town Code Section 29.40.0320 is not applicable.

For condition (d), the provided justification is as follows: "It is also a special security concern given the fact that my client has three young children who have no place to play outside but in that area. We see no alternative ways to address the safety of my client's children other than to have a tall fence to keep the children in and the coyotes out [...]. The fence at 3 feet high is not workable to avoid the threat from the coyotes." Town staff could not support the exception request under condition (d) as the property is located in an urbanized, residential subdivision. If the potential of a coyote sighting were deemed a "special security concern," then most properties in the Town would be eligible. Additionally, the owners are allowed to construct a six-foot tall fence with one-foot of lattice above (seven feet total) if they move the fence location back to the meet the required front and street side yard setbacks. As noted in the Background Section above, the owners were notified before and throughout their remodel process that the fence height at this location is limited to three feet. They proceeded with their house addition and remodel plans, which impacted which areas of the lot were available for outdoor use.

For condition (e), the provided justification is as follows: "My client is of East Indian descent. He belongs to a religion which places special importance on the sun and its east west passage through the sky. According to the tenants of his religion, he is to hold prayer sessions on the east side of his yard. He has tried to do so, but, prior to erecting the bamboo fence, the neighbors would stop and watch his private prayer sessions with his family. The lack of privacy with a short fence made it very difficult and uncomfortable for my client and his family to practice their faith." Town staff could not support the exception request under condition (e). As noted in the Background Section above, the owners were notified before and throughout their remodel process that the fence height at this location is limited to three feet. They proceeded with their house addition and remodel plans, which impacted which areas of the lot were available for outdoor use. Additionally, the owners are allowed to construct a six-foot tall fence with one-foot of lattice above (seven feet total) if they move the fence location back to the meet the required front and street side yard setbacks.

DISCUSSION (continued):

The Letter of Justification also argues that this is not a true road intersection, but instead a bend of a road, and therefore the corner sight triangle requirements should not be applicable. As a part of the Town's review, the Town Engineer reviewed the request and confirmed that the corner sight triangle requirements are valid at this location, and also denied the exception request. For the reasons outlined in this section, the Town denied the exception request on September 27, 2023 (Exhibit 9).

B. Appeal Analysis

The Decision of the Community Development Director to deny the fence height exception was appealed on October 5, 2023 (Exhibit 11).

The appeal form did not provide any additional reasoning for the request for the Town or Planning Commission to consider. The Planning Commission should review the previous exception justification points listed above to determine if the exception request can be approved.

C. Environmental Review

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities.

PUBLIC COMMENTS:

Written notice was sent to property owners and tenants within 300 feet of the subject property. At the time of preparation of this report, no public comment has been received.

CONCLUSION:

A. Summary

The property owner is requesting that the Planning Commission reconsider the Community Development Director's decision to deny the fence height exception to allow a new six-foot tall wooden fence within the required front yard setback, street side yard setback, and corner sight triangle.

CONCLUSION (continued):

B. Recommendation

Staff recommends that the Planning Commission deny the appeal and uphold the Community Development Director decision to deny the fence height exception application based on the reasoning provided in this report.

C. Alternatives

Alternatively, the Commission can:

1. Continue the matter to a date certain with specific direction;
2. Grant the appeal and approve the fence height exception with the findings in Exhibit 2 and the draft conditions provided in Exhibit 3; or
3. Grant the appeal with additional and/or modified conditions.

EXHIBITS:

1. Location Map
2. Required Finding
3. Recommended Conditions of Approval if Appeal is Granted
4. Building Permit B20-0574 Approved Plans
5. Building Permit B21-1157 Approved Plans
6. Administrative Warning, Dated August 4, 2023
7. Project Plans, Received September 7, 2023
8. Letter of Justification, Received September 7, 2023
9. Fence Height Exception Denial Letter, Dated September 27, 2023
10. View Area Diagrams
11. Appeal of the Community Development Director Decision, Received October 5, 2023
12. Pictures of Subject Property

# 124 Garden Hill Drive

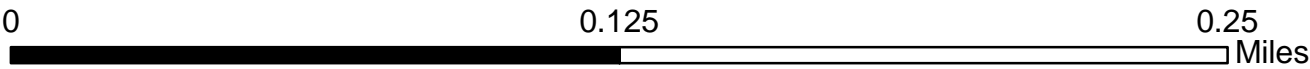
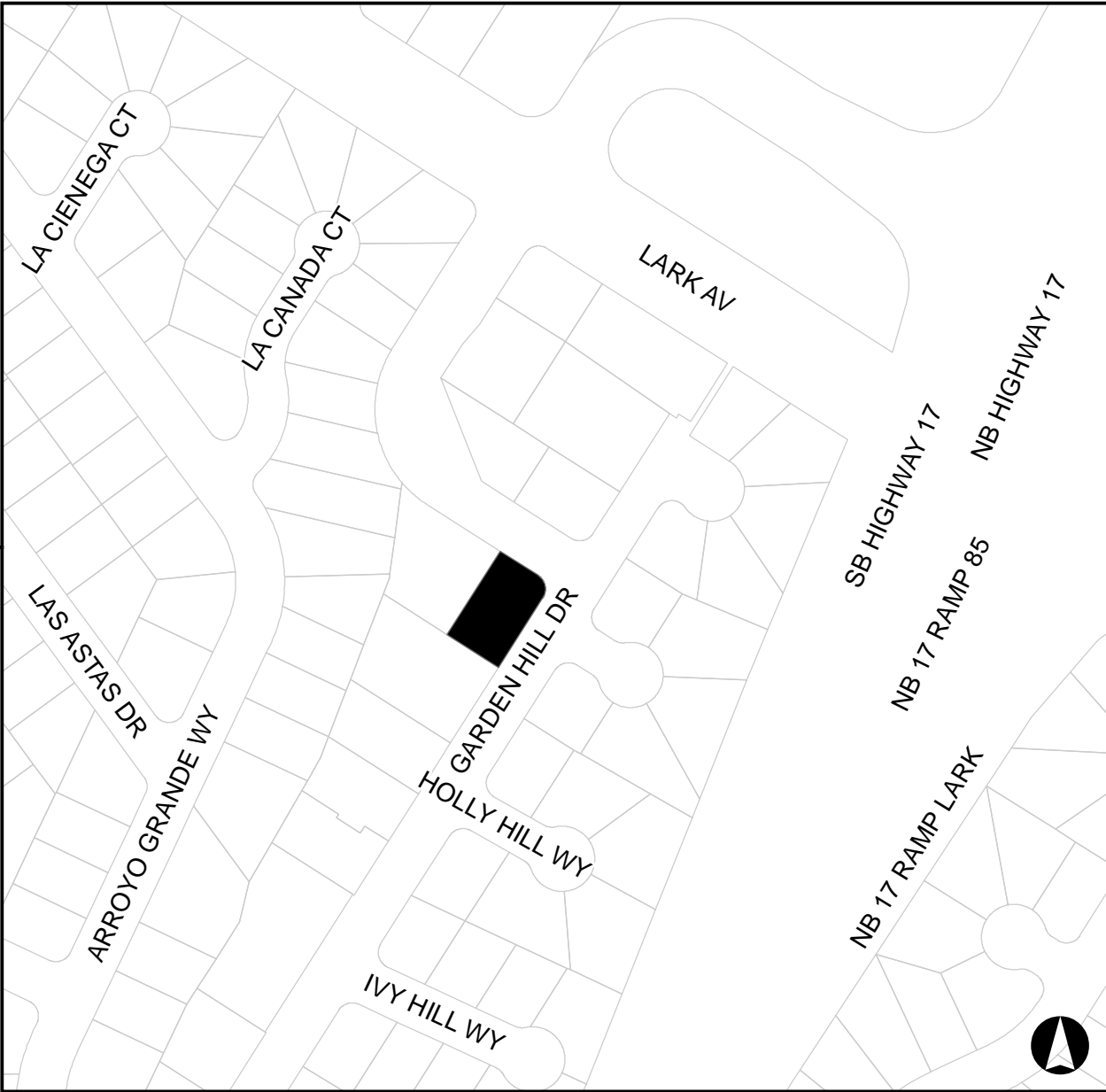


EXHIBIT 1

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**PLANNING COMMISSION – November 8, 2023**  
**REQUIRED FINDINGS FOR:**

**124 Garden Hill Drive**  
**Fence Height Exception Application FHE-23-005**

**Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback, Street Side Yard Setback, and Corner Sight Triangle on Property Zoned R-1:8. APN 424-23-084. Categorically Exempt Pursuant to CEQA Guidelines Section 15305: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. Property Owner: Rushikesh Kulkarni. Applicant/Appellant: Martin Lettunich. Project Planner: Ryan Safty.**

**Required finding for CEQA:**

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction or Conversion of Small Structures.

**Required findings for granting a Fence Height Exception:**

Per Town Code Section 29.40.0320, the applicant has provided written justification that demonstrates one of the following conditions exist:

- A special security concern exists that cannot be practically addressed through alternatives.
- A special circumstance exists, including lot size or configuration, where strict enforcement of these regulations would result in undue hardship.

EXHIBIT 2

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**PLANNING COMMISSION – November 8, 2023**  
**DRAFT CONDITIONS OF APPROVAL**

**124 Garden Hill Drive**  
**Fence Height Exception Application FHE-23-005**

**Consider an Appeal of a Community Development Director Decision to Deny a Fence Height Exception Request for Construction of a Six-Foot Tall Fence Located Within the Required Front Yard Setback, Street Side Yard Setback, and Corner Sight Triangle on Property Zoned R-1:8. APN 424-23-084. Categorically Exempt Pursuant to CEQA Guidelines Section 15305: New Construction or Conversion of Small Structures and Section 15301: Existing Facilities. Property Owner: Rushikesh Kulkarni. Applicant/Appellant: Martin Lettunich. Project Planner: Ryan Safty.**

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

*Planning Division*

1. APPROVAL: This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any intensification beyond this authorized use requires a Conditional Use Permit amendment.
2. EXPIRATION: The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested per Section 29.20.335 of the Town Code. Reasonable extensions of time not exceeding one year may be granted upon application, and can be granted if approved by the deciding body prior to the expiration date. Therefore, it is recommended that applications for a time extension be filed with the Community Development Department at least 60 days prior to the expiration date of the approval.
3. TOWN INDEMNITY: Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement (“the Project”) from the Town shall defend (with counsel approved by Town), indemnify, and hold harmless the Town, its agents, officers, and employees from and against any claim, action, or proceeding (including without limitation any appeal or petition for review thereof) against the Town or its agents, officers, or employees related to an approval of the Project, including without limitation any related application, permit, certification, condition, environmental determination, other approval, compliance or failure to comply with applicable laws and regulations, and/or processing methods (“Challenge”). Town may (but is not obligated to) defend such Challenge as Town, in its sole discretion, determines appropriate, all at applicant’s sole cost and expense.

Applicant shall bear any and all losses, damages, injuries, liabilities, costs, and expenses (including, without limitation, staff time and in-house attorney’s fees on a fully-loaded basis, attorney’s fees for outside legal counsel, expert witness fees, court costs, and other litigation expenses) arising out of or related to any Challenge (“Costs”), whether incurred by Applicant, Town, or awarded to any third party, and shall pay to the Town upon

demand any Costs incurred by the Town. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in such Challenge as Town, in its sole discretion, determines appropriate, all at the applicant's sole cost and expense. No modification of the Project, any application, permit certification, condition, environmental determination, other approval, change in applicable laws and regulations, or change in processing methods shall alter the applicant's indemnity obligation.

DRAFT



GENERAL PROJECT NOTES/REQUIREMENTS

1. **GOVERNING CODES:** ALL WORK SHALL CONFORM TO THE FOLLOWING CODES AND STANDARDS:  
A) 2019 CALIFORNIA BUILDING CODE (CBC) TITLE 24, PART 2 (BASED ON 2018 IBC)  
B) 2019 CALIFORNIA RESIDENTIAL CODE (CRC) TITLE 24, PART 2.5 (BASED ON 2018 IRC)  
C) 2019 CALIFORNIA ELECTRIC CODE (CEC) TITLE 24, PART 3 (BASED ON 2011 NEC)  
D) 2019 CALIFORNIA MECHANICAL CODE (CMC) TITLE 24, PART 4 (BASED ON 2018 UMC)  
E) 2019 CALIFORNIA PLUMBING CODE (CPC) TITLE 24, PART 5 (BASED ON 2018 UPC)  
F) 2019 CALIFORNIA ENERGY CODE TITLE 24, PART 6  
G) 2019 CALIFORNIA FIRE CODE (CFC) TITLE 24, PART 9 (BASED ON 2018 IFC)  
H) 2019 CALGREEN BUILDING CODE TITLE 24, PART 11  
  
IN ADDITION TO THE CODES REFERENCED ABOVE, ALL WORK SHALL CONFORM TO ALL LOCAL ORDINANCES AND REGULATIONS WHICH APPLY TO THE WORK AND SHALL IN ANY CASE CONFORM TO THE LATEST EDITION(S) OF THE CRC/IRC/CBC/IBC (CA RESIDENTIAL CODE/ INTERNATIONAL RESIDENTIAL CODE & CALIFORNIA BUILDING CODE/INTERNATIONAL BUILDING CODE) CURRENTLY ENFORCED AND ALL CITY, COUNTY AND/OR STATE CODES AS APPLICABLE.  
  
3. BRITT ROWE SHALL NOT BE HELD RESPONSIBLE FOR THE DESIGN, COORDINATION AND/OR IMPLEMENTATION OF ANY AND ALL "DESIGN-BUILD" WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING SEE THE APPROPRIATE CODE REFERENCES BELOW FOR DESIGN AND INSTALLATION REQUIREMENTS.  
  
A) ELECTRICAL: PER CEC (CALIFORNIA ELECTRIC CODE) CURRENT EDITION.  
B) MECHANICAL: PER CMC (CALIFORNIA MECHANICAL CODE) CURRENT EDITION.  
C) PLUMBING: PER CPC (CALIFORNIA PLUMBING CODE) CURRENT EDITION.  
D) FIRE SFRINKLERS: CFC (CALIFORNIA FIRE CODE)  
  
VERIFY AND ADDRESS ALL ADDITIONAL LOCAL ORDINANCES AND CODES WHICH MAY APPLY TO THE SPECIFIC "DESIGN-BUILD" APPLICATION AS REQUIRED.  
  
4. BRITT ROWE IS NOT RESPONSIBLE FOR THE DESIGN, COORDINATION, OR IMPLEMENTATION OF ANY WORK PERFORMED BY CONSULTANTS, INCLUDING BUT NOT LIMITED TO, STRUCTURAL ENGINEERING, SOIL ENGINEERING, CIVIL ENGINEERING, LAND SURVEYING, ELECTRICAL ENGINEERING, LANDSCAPE ARCHITECTURE AND/OR TITLE 24 ENERGY COMPLIANCE.  
  
5. IN ADDITION TO INSPECTIONS REQUIRED BY CBC 110, THE OWNER, CONTRACTOR AND/OR STRUCTURAL ENGINEER OF RECORD, ACTING AS THE OWNER'S AGENT, SHALL EMPLOY ONE OR MORE SPECIAL INSPECTORS OR JURISDICTION APPROVED TESTING AGENCIES, WHO SHALL PROVIDE "SPECIAL INSPECTIONS" DURING THE COURSE OF CONSTRUCTION FOR THE FOLLOWING TYPES OF WORK PER CBC 1104, 1101 OR 1108 INCLUDING BUT NOT LIMITED TO:  
  
A) CONCRETE: WHERE THE STRUCTURAL DESIGN EXCEEDS A (F'C) OF 2500 PSI  
B) ON SITE STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCING STEEL  
C) DRILLED PIERS, CAISSONS AND STRUCTURAL MASONRY  
D) RETROFIT EPOXY SET HOLD DOUGS AND/OR ANCHOR BOLTS.  
  
SPECIAL INSPECTOR'S APPROVALS/CREDENTIALS SHALL BE PROVIDED TO THE LOCAL JURISDICTION UPON REQUEST.  
  
6. ALL GENERAL CONTRACTORS AND/OR SUBCONTRACTORS SHALL BE LICENSED WITH POSSESSION OF THE APPROPRIATE INSURANCE POLICIES IE: WORKMAN'S COMPENSATION, LIABILITY, ETC., AND A VALID BUSINESS LICENSE WITHIN THE JURISDICTION OF THE SUBJECT PROPERTY PROJECT SITE.  
  
7. BRITT ROWE IS NOT RESPONSIBLE FOR THE ERECTION, FABRICATION AND/OR RELATIVE JOB SAFETY. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL COMPLY WITH ALL REQUIRED SAFETY ORDERS PER CAL-OSHA REQUIREMENTS AND REGULATIONS.

8. THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS ARE TO VERIFY, ALL EXISTING CONDITIONS AND/OR DISCREPANCIES BEFORE COMMENCING WITH WORK IN ORDER TO ENSURE CONFORMANCE WITH THE "CONSTRUCTION DOCUMENTS". ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF BRITT ROWE AND/OR THE STRUCTURAL ENGINEER OF RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL REQUESTS FOR "CHANGE ORDERS" SHALL BE SUBMITTED IN WRITING TO BRITT ROWE FOR APPROVAL.  
  
9. REGARDLESS OF DIMENSIONS SHOWN, ALL NEW WORK SHALL ALIGN EXACTLY WITH EXISTING WORK WITH RESPECT TO FLOOR ELEVATIONS, COLUMN CENTERLINES, WALL FACES, ETC., (UNO)  
  
10. LAYOUT FOR NEW WORK IS LARGELY BASED UPON RELATIONSHIPS TO EXISTING CONDITIONS OF THE SITE AND/OR EXISTING STRUCTURES. ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF BRITT ROWE, PRIOR TO THE COMMENCEMENT OF ANY WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY BRITT ROWE OF ALL DISCREPANCIES PRIOR TO THE COMMENCEMENT OF ANY WORK.  
  
11. PREFERENCE SHALL BE GIVEN TO WRITTEN/FIGURED DIMENSIONS ON THE DRAWINGS OVER SCALED MEASUREMENTS. THE "PLANS, SPECIFICATIONS AND GENERAL NOTES" ARE INTENDED TO AGREE AND SUPPLEMENT ONE ANOTHER. ANYTHING INDICATED IN ONE AND NOT THE OTHER, SHALL BE EXECUTED AS IF IN ALL IN CASES OF DIRECT CONFLICT, THE MOST RESTRICTIVE SHALL GOVERN.  
  
12. ALL WORK SHALL BE PLUMB, SQUARE AND TRUE AND SHALL BE OF GOOD "WORKMANLIKE" QUALITY AS ACCEPTABLE TO THE APPROPRIATE TRADE'S STANDARD PRACTICES AND THOSE OF THE TRADE'S COUNCILS AND/OR ORGANIZATIONS.  
  
13. ANY WORK AND/OR ITEM NOT SPECIFICALLY CALLED FOR IN THE DRAWINGS, BUT REQUIRED FOR A COMPLETE AND FULLY FUNCTIONING INSTALLATION CONSISTENT WITH THE INTENT OF THE "CONSTRUCTION DOCUMENTS" SHALL BE SUPPLIED BY THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS AS REQUIRED.  
  
14. THE INTENT OF THE "CONSTRUCTION DOCUMENTS" IS TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND TRANSPORTATION NECESSARY FOR THE COMPLETE AND PROPER EXECUTION OF THE WORK.  
  
15. THE PROJECT "SPECIFICATION BOOK" SHALL TAKE PRECEDENCE OVER NOTED SPECIFICATIONS WHEN APPLICABLE.  
  
16. CIVIL, SOIL AND STRUCTURAL ENGINEERING SPECIFICATIONS SHALL TAKE PRECEDENCE OVER ANY OTHER SPECIFICATIONS.  
  
17. BRITT ROWE RETAINS ALL RIGHTS AND OWNERSHIP TO ALL DRAWINGS AND SPECIFICATIONS. THESE DOCUMENTS MAY NOT BE USED IN WHOLE, OR IN PART, WITHOUT THE EXPRESSED WRITTEN CONSENT FROM BRITT ROWE.  
  
18. THE OWNER/DEVELOPER/CLIENT RESERVES THE RIGHT TO MAKE ALTERATIONS TO THE DESIGN DURING THE COURSE OF CONSTRUCTION. ALL CHANGES SHALL BE APPROVED BY THE LOCAL BUILDING OFFICIAL AND SHALL, IN ANY CASE, COMPLY WITH THE CURRENT EDITIONS OF THE CRC, CBC, CMC, CPC, CFC, CEC AND/OR CES AS REQUIRED.  
  
19. NEW CONSTRUCTION OR REMODELING IS LARGELY DEPENDENT UPON EXISTING SITE CONDITIONS AND THEREFORE A "SITE SURVEY" IS RECOMMENDED AND IF PROVIDED, SHALL BE GENERATED BY A LICENSED LAND SURVEYOR OR REGISTERED CIVIL ENGINEER AND SHALL CONTAIN THE FOLLOWING INFORMATION: PROPERTY CORNERS, PROPERTY LINES, EXISTING BUILDING(S), EASEMENTS, TOPOGRAPHY LINES, UTILITIES AND/OR SIGNIFICANT TREES. IF A SITE SURVEY IS NOT PROVIDED, BRITT ROWE WILL NOT BE HELD RESPONSIBLE FOR ANY AND ALL DISCREPANCIES RELATING TO THE SITE AND EXISTING CONDITIONS. IN ANY EVENT, BRITT ROWE SHALL NOT BE RESPONSIBLE FOR WORK PERFORMED BY OTHERS AND PROVIDED FOR THE PURPOSE OF COMPLETING THE PROJECT.  
  
20. ALL "DEFERRED SUBMITTALS" SHALL FIRST BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH NOTATION INDICATING THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE APPLICABLE BUILDING OFFICIAL.

GENERAL PROJECT INFORMATION

**OWNER:**  
  
RISHI AND ASHI KULKARNI  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032  
81.RISHI@GMAIL.COM

**PROJECT ADDRESS:**  
  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

**APN:**  
**LOT SIZE:**  
**LOT SLOPE:**  
**ZONING:**  
**TRACT:**  
**OCCUPANCY GROUP:**  
**TYPE OF CONSTRUCTION:**

424-23-084  
8,916 SF (21 ACRES)  
FLAT  
R-1B  
1520 (LOT X)  
R3/U  
V-B

FLOOR AREAS		
(E) LIVING AREA	1,214 SF	
(E) GARAGE	451 SF (2-CAR COV.)	ALLOWABLE = 798 SF FAR: (0.0889)
(N) LIVING AREA ADDITION	969 SF	
(N) COVERED PORCH	16 SF	@ FRONT ENTRY
(N) TOTAL LIVING AREA	2,183 SF	ALLOWABLE = 2,056 SF FAR: (0.318)

SETBACKS	PROVIDED	REQUIRED
FRONT (PER PLANNING)	(E) 20'-3"	25'-0"
REAR (PER PLANNING)	20'-6" @ ADDITION	20'-0"
LEFT SIDE (PER PLANNING)	(E) 1'-4"	8'-0"
RIGHT SIDE (PER PLANNING)	(E) 1'-11"	8'-0"

NOTE: CORNER LOT: LOT ORIENTATION IS DETERMINED BY LOT GEOMETRY AND NOT BY ADDRESS.

COVERAGES	PROPOSED	
BUILDING @ GRADE	3464 SF	DWELLING, GARAGE, PORCHES, PATIOS

BUILDING HEIGHT	PROPOSED	ALLOWED
MAX. RIDGE	(N) 18'-11"	30'-0"

SCOPE OF WORK:

NEW MASTER BEDROOM AND BATH ADDITION TO THE REAR OF AN EXISTING SINGLE STORY, SINGLE FAMILY RESIDENCE. SEE PLANS. ATTIC HEIGHT IS LESS THAN 1'-0"H. REMODELED AREA = 1214 SF.

SPECIAL NOTES

SCHEDULE FINAL INSPECTIONS PLEASE CONTACT THE FOLLOWING DEPARTMENTS SEVEN (7) DAYS IN ADVANCE OF FINAL BUILDING INSPECTION:

- ☒ PLANNING DIVISION: (408) 354-6874
- ☒ ENGINEERING/PUBLIC WORKS: (408) 399-5771
- ☐ SANTA CLARA COUNTY FIRE DISTRICT: (408) 378-4010
- ☒ WEST VALLEY SANITATION DISTRICT: (408) 378-2407
- ☐ SANTA CLARA CO. ENVIR. HEALTH: (408) 918-3400

DEMOLITION WORK  
Prior to the removal of any Interior OR exterior wall coverings please read and review the Town's demolition policy attached!

PLAN REVIEW ACCEPTANCE

FOR COMPLIANCE WITH THE APPLICABLE 2019 CALIFORNIA BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL, ENERGY AND GREEN BUILDING CODES AS AMENDED BY THE JURISDICTION:

PLAN REVIEW ACCEPTANCE OF DOCUMENTS DOES NOT AUTHORIZE CONSTRUCTION TO PROCEED IN VIOLATION OF ANY FEDERAL, STATE OR LOCAL REGULATION.

BY: Chris DATE: 12-16-20

Chris Strand

REVISIONS:	#
10/29/20	R1
12/13/20	R2

**BRITT • ROWE**

108 N. Santa Cruz Ave.  
Los Gatos, CA 95030

408.354.6224 (office)  
408.354.6514 (fax)  
www.britt-rowe.com

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KULKARNI  
RESIDENCE  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

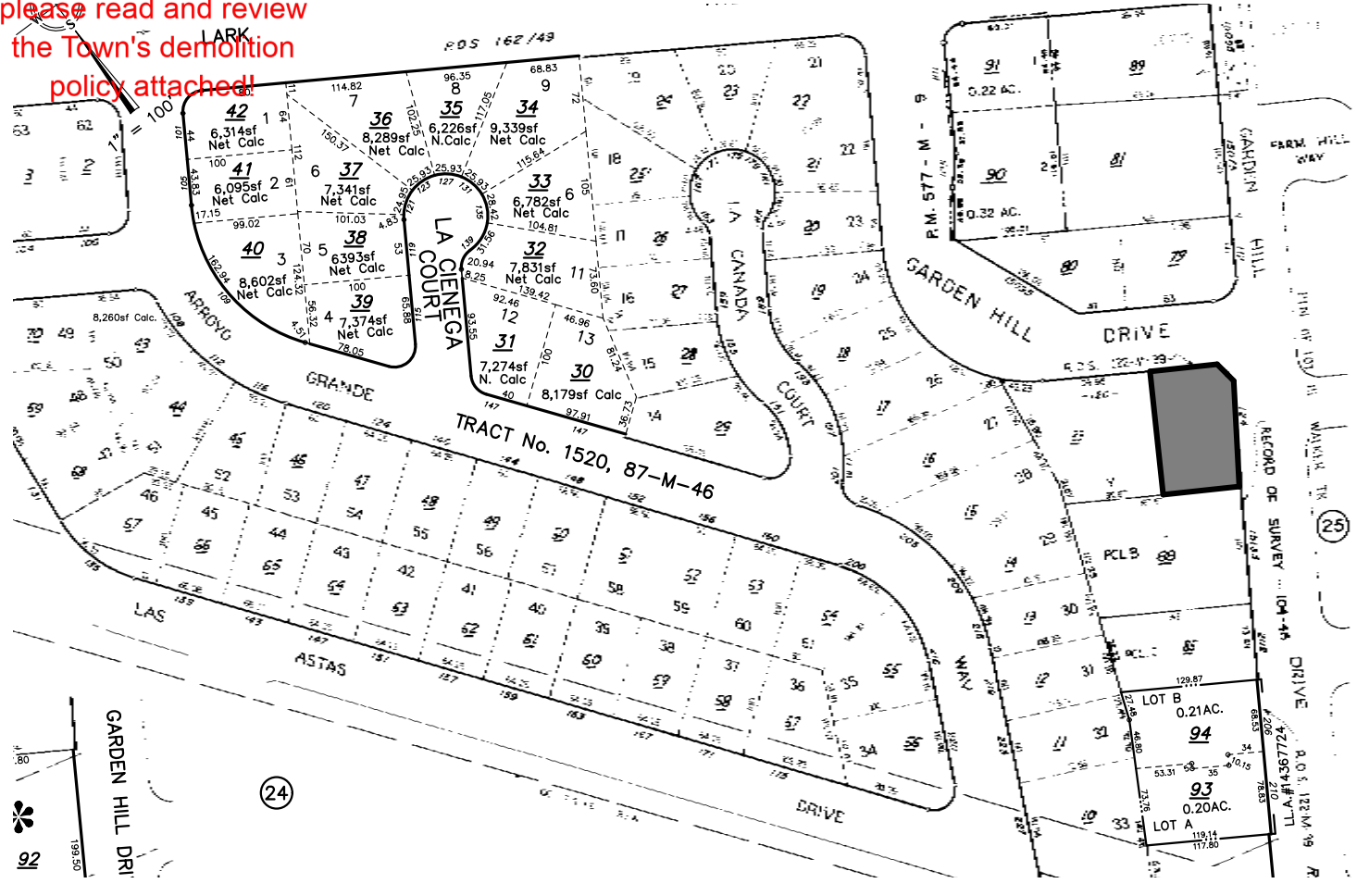
SHEET INDEXX - NOTES

SHT. ID	DRAWING TITLE
A0.1	TITLE SHEET AND GENERAL PROJECT INFO
A0.2	CALGREEN NOTES
MISC.	"BLUEPRINT FOR A CLEAN BAY"
A1.1	SITE PLAN - NOTES
A1.2	CONSTRUCTION MANAGEMENT PLAN
A2.1	EXISTING FLOOR PLAN - DEMOLITION
A2.2	EXISTING EXTERIOR WALL RETENTION PLAN
A2.3	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED FLOOR PLAN
A4.1	ROOF PLAN/NOTES/DETAILS
A5.1	EXTERIOR ELEVATIONS
A5.2	EXTERIOR ELEVATIONS
A6.1	BUILDING CROSS SECTIONS
D.1	WALL FRAMING DETAILS
DW.1	DOOR/WINDOW SCHEDULES/NOTES
E.1	PROPOSED ELECTRICAL PLAN
EN.1	CA ELECTRICAL CODE NOTES - ELECT. LEGEND
EN.2	CA ELECTRICAL CODE NOTES
EN.3	CA ENERGY COMMISSION NOTES
EN.4	CA ENERGY COMMISSION NOTES
F.1	SCC FIRE DEPARTMENT JOB SITE SAFETY
GN.1	CA BUILDING CODE NOTES
GN.2	CA BUILDING CODE NOTES
GN.3	CA BUILDING CODE NOTES
M.1	CA MECHANICAL NOTES
P.1	CA PLUMBING CODE NOTES
S.1	FOUNDATION PLAN - NOTES

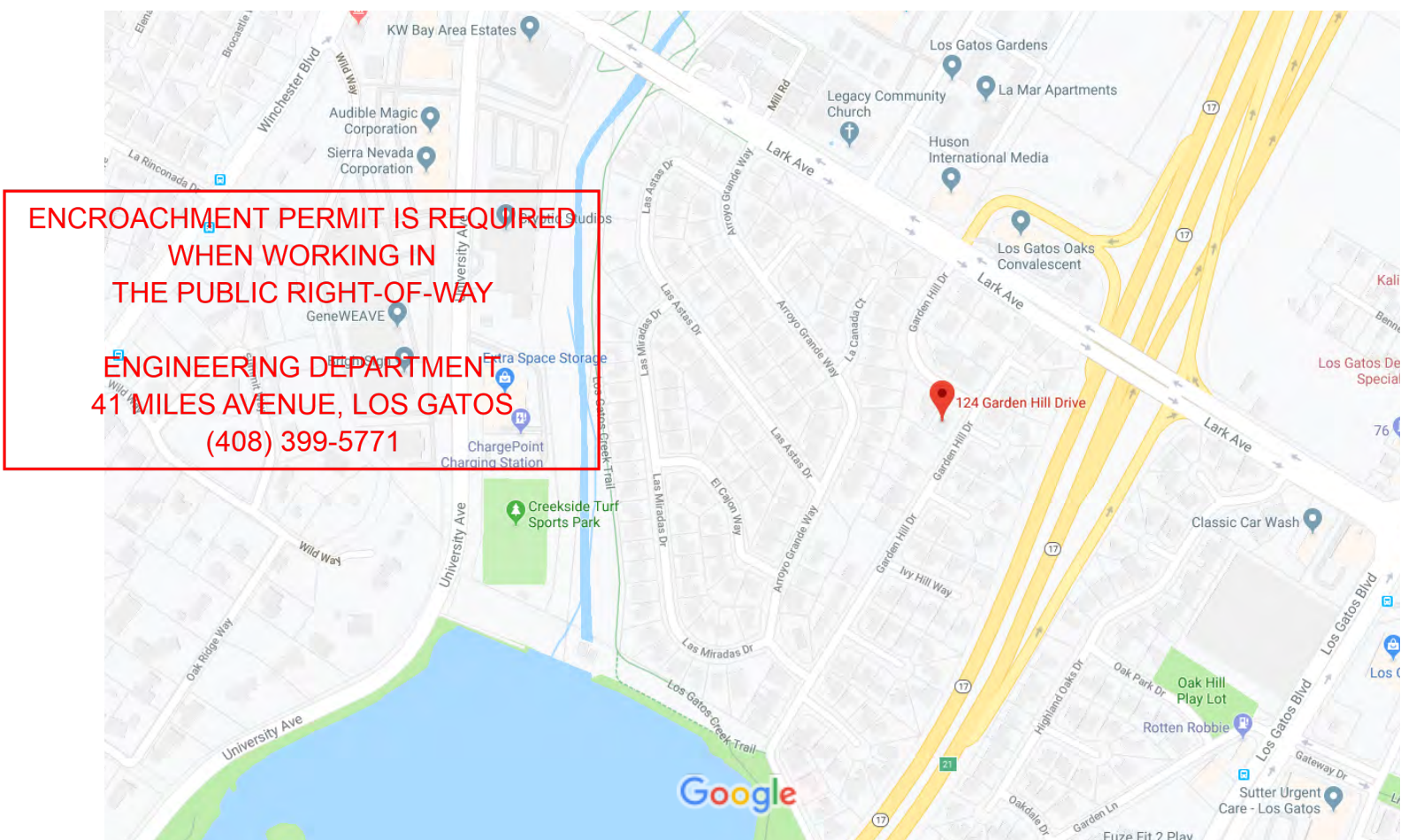
SHT. ID	DRAWING TITLE
S.3	ROOF FRAMING PLAN
SD.1	STRUCTURAL DETAILS
SD.2	STRUCTURAL DETAILS
SD.3	STRUCTURAL DETAILS
SD.4	STRUCTURAL DETAILS
SD.5	STRUCTURAL DETAILS
SD.6	STRUCTURAL DETAILS
SD.7	STRUCTURAL DETAILS
SN.1	STRUCTURAL NOTES
SN.2	STRUCTURAL NOTES
T24-1	TITLE 24 ENERGY CALCULATIONS
T24-2	TITLE 24 ENERGY CALCULATIONS

PARCEL MAP

DEMOLITION WORK  
Prior to the removal of any Interior OR exterior wall coverings please read and review the Town's demolition policy attached!



VICINITY MAP



PROJECT CONSULTANTS

**BUILDING DESIGNER**  
BRITT • ROWE  
108 N. SANTA CRUZ AVENUE  
LOS GATOS, CA 95030  
(408) 354.6224 (OFFICE)  
(408) 656-4132 (MIKE CELL)  
(408) 656-1983 (TONY CELL)  
(415) 535-3458 (DAVID CELL)  
FELONGIT@ME.COM

**STRUCTURAL ENGINEER**  
CHARLES WILLIAMS R.C.E.  
MR. CHARLES WILLIAMS P.E.  
PO BOX 1152  
MOUNTAIN VIEW, CA 94042  
(650) 219-8156  
[CLWRC@aol.com](mailto:CLWRC@aol.com)

**T24 ENERGY ANALYST**  
FRI ENERGY CONSULTANTS, INC.  
MR. NICHOLAS BIGNARDI  
21 N. HARRISON AVENUE, SUITE 210  
CAMPBELL, CA 95008  
(408) 866-1620  
NICK@FRICONSULTING.COM

JURISDICTION APPROVAL STAMP(S)

Town of Los Gatos  
BUILDING DIVISION  
PLAN APPROVED

BY: Chris Strand DATE: 12-16-20

Plan check approval of documents does not authorize construction to proceed in violation of any federal, state, nor local regulations.

COMMUNITY DEVELOPMENT  
PLANNING DIVISION  
APPROVED

11/18/2020  
MChavarin

- This project will require a pad certificate prepared by a licensed civil engineer or land surveyor to be submitted to the project Building Inspector at foundation inspection. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
- ☒ Building Pad Elevation
- ☒ Finish Floor Elevation
- ☒ Foundation corner locations
- ☐ Retaining wall(s) locations and elevations

DRAWING:	PROJECT INFO		DRAWN BY:
	12/16/20	NOTED	
PRINTED:			
SCALE:			

Professional Stamp

AO.1



REVISIONS:	#
10/29/20	RI

**BR**

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**KULKARNI**  
**RESIDENCE**  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

<b>SITE PLAN</b>			
<b>DRAWING:</b>			
<b>PRINTED:</b>	11/1/20		
<b>SCALE:</b>	NOTED		
<b>DRAWN BY:</b>	M.A.R.		

Professional Stamp

**A1.1**

TRACT NO. 1520  
100' x 100' x 100' x 100'

**RECORD OF SURVEY**  
PORTIONS OF LOT 15 OF THE  
WALKER TRACT SUBDIVISION  
SANTA CLARA COUNTY, CALIFORNIA  
SCALE 1"=60' OCT., 1959  
NELS C. RING - CIVIL ENGINEER  
SAN MATEO - CALIFORNIA

**SURVEYOR'S CERTIFICATE**  
This map correctly represents a survey made by me or under my direction in accordance with the requirements of Chapter 50 of Division 8 of the Business and Professions Code of the State of California, and I am a duly Licensed Professional Engineer, in March 1959.

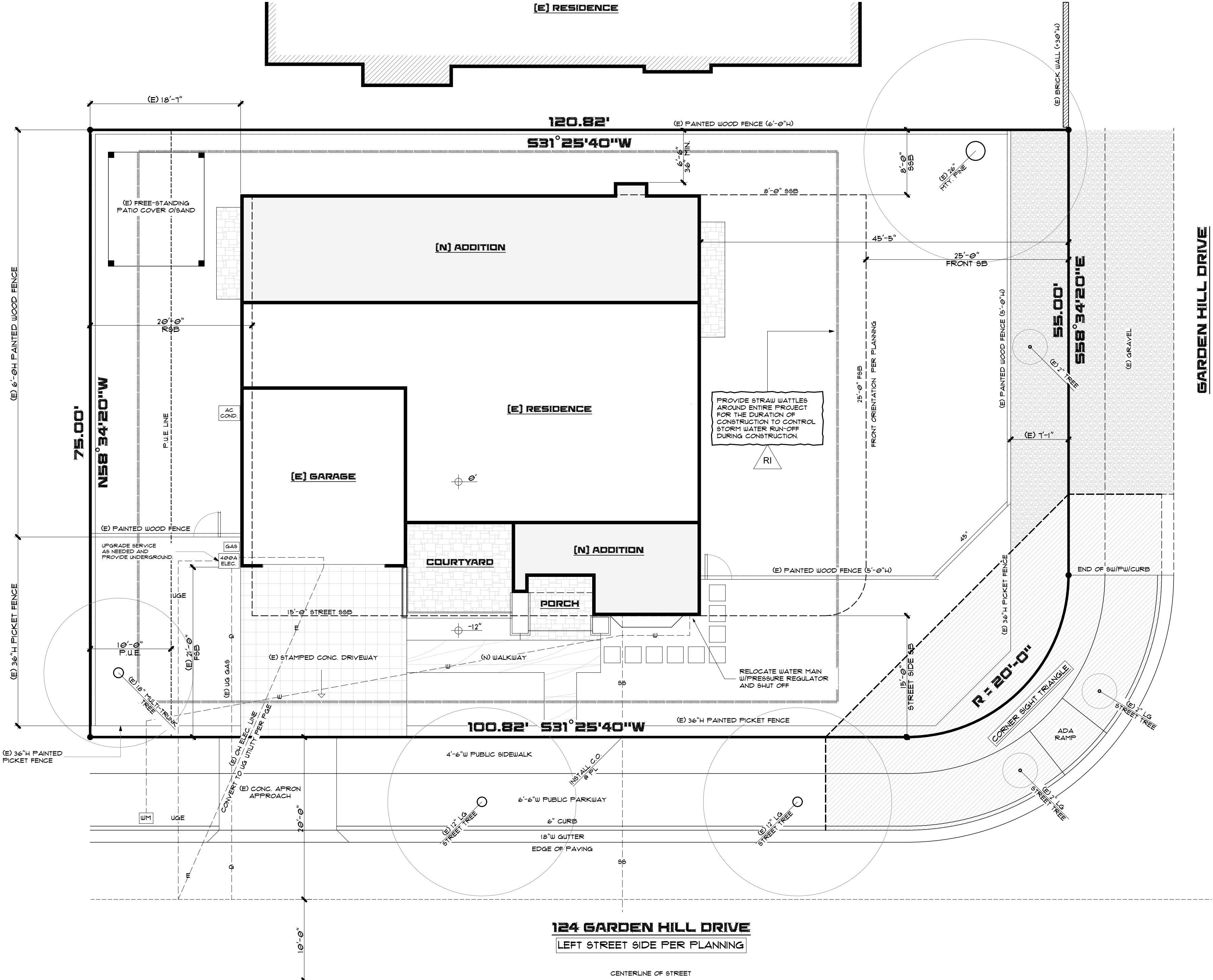
**COUNTY SURVEYOR'S CERTIFICATE**  
This map has been examined for conformity with the requirements of Chapter 50 of Division 8 of the Business and Professions Code of the State of California, and I am a duly Licensed Professional Engineer, in March 1959.

**LEGEND**  
--- Boundary Line  
--- Easement  
--- Right of Way  
--- Easement  
--- Easement

**RECORDED CERTIFICATE**  
This map has been recorded for conformity with the requirements of Chapter 50 of Division 8 of the Business and Professions Code of the State of California, and I am a duly Licensed Professional Engineer, in March 1959.

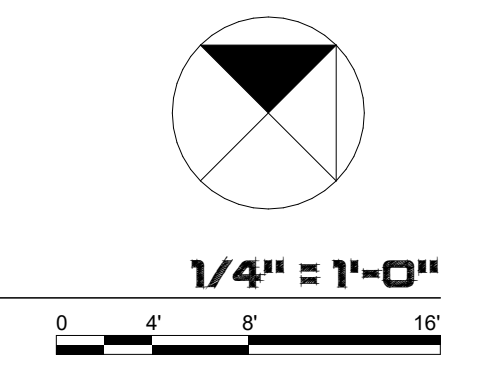
**SITE PLAN NOTES:**

- SEE CIVIL ENGINEER'S "GRADING AND DRAINAGE PLAN(S)" AS APPLICABLE AND/OR REQUIRED FOR TOPOGRAPHY, SITE WORK AND UNDERGROUND CONSTRUCTION (TYP.) ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL CODES AND REQUIREMENTS. CIVIL ENGINEER'S PLANS SHALL TAKE PRECEDENCE OVER ANY ARCHITECTURAL SITE PLAN(S) AND/OR LANDSCAPE PLAN(S).
- WHEN REQUIRED AND AS APPLICABLE, A LICENSED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL PROVIDE WRITTEN CERTIFICATION OF SETBACK COMPLYING FROM PROPERTY LINES AND ALL RELATIVE PAD ELEVATIONS FOR ALL NEW CONSTRUCTION ON THE SITE.
- UNLESS NOTED OTHERWISE ON CIVIL ENGINEERING PLANS (GRADING AND DRAINAGE), THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF 5% FOR A MINIMUM DISTANCE OF 10'-0" MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT 10'-0" OF HORIZONTAL DISTANCE, A 5% SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING WATER AWAY FROM THE FOUNDATION. DRAINAGE SWALE USED FOR THIS PURPOSE SHALL BE SLOPED 2% WHERE LOCATED WITHIN 10'-0" OF THE BUILDING FOUNDATION. IMPERVIOUS SURFACES WITHIN 10'-0" OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2% AWAY FROM THE BUILDING. CBC1804.4. SEE EXCEPTION FOR ALLOWABLE FINISH GRADE SLOPE REDUCTION TO 2% AWAY FROM STRUCTURE.
- WHEN EXISTING SEWER LATERALS ARE APPROVED FOR REUSE, EXISTING LINES SHALL BE TELEVIEWED AND APPROVED BY THE LOCAL SANITATION DISTRICT PRIOR TO FINAL INSPECTION. PROVIDE A NEW CLEAN OUT LOCATED @ THE PROPERTY LINE WITH AN APPROVED BACK FLOW PREVENTION DEVICE APPROVED BY THE SANITATION DEPARTMENT (AS APPLICABLE).
- IN NEW CONSTRUCTION, ALL UTILITIES SHALL BE INSTALLED UNDERGROUND (UNO). SEE THE UTILITY PROVIDER'S PLANS AND SPECIFICATIONS FOR LAYOUT, DETAILS AND SERVICE(S) TO BE PROVIDED. VERIFY JURISDICTION FOR SPECIAL MUNICIPAL REQUIREMENTS.
- ALL TREES MARKED ON THE "SITE PLAN" NOT SCHEDULED FOR REMOVAL SHALL BE PROTECTED BY THE APPROPRIATE TREE PROTECTION MEASURES IDENTIFIED BY THE CONSULTING ARBORIST OF RECORD OR LOCAL PLANNING JURISDICTION AS APPLICABLE AND REQUIRED AS A CONDITION OF APPROVAL. NO EQUIPMENT, MATERIALS OR WORK SHALL COMMENCE UNTIL ALL TREE PROTECTION FENCING IS INSTALLED. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL THE PROJECT IS READY FOR FINAL INSPECTION. ANY WORK REQUIRED WITHIN THE FENCED PROTECTED AREA SHALL BE PERFORMED WITH HAND TOOLS.
- AS APPLICABLE, SEE CONSULTING LANDSCAPE ARCHITECT'S DRAWINGS FOR FLATWORK, PAVING, RECREATIONAL FIXTURES, PROPOSED PLANTING AND IRRIGATION INSTALLATIONS.
- R3191 ADDRESS IDENTIFICATION. BUILDINGS SHALL BE PROVIDED WITH APPROVED ADDRESS IDENTIFICATION. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS IDENTIFICATION CHARACTERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. EACH CHARACTER SHALL BE NOT LESS THAN 4 INCHES (102 MM) IN HEIGHT WITH A STROKE WIDTH OF NOT LESS THAN 0.5 INCH (12.7 MM) WHERE REQUIRED BY THE FIRE CODE OFFICIAL. ADDRESS IDENTIFICATION SHALL BE PROVIDED IN ADDITIONAL APPROVED LOCATIONS TO FACILITATE EMERGENCY RESPONSE WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY. A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. ADDRESS IDENTIFICATION SHALL BE MAINTAINED.



**SITE PLAN**

124 GARDEN HILL DRIVE  
APN: 424-23-084  
LOT SIZE: 8,976 SF (.21 ACRES)  
ZONING: R-1:8  
TRACT: 1520 (LOT X)  
WUI: NO



IMPERVIOUS COVERAGE CALCULATIONS			
LOT SIZE = 8,916 SF			
ITEM LOCATION	(E) IMPERVIOUS COVERAGE	(N) IMPERVIOUS COVERAGE	DIFFERENCE/TOTAL
(E) RESIDENCE	1,214 SF	-	1,214 SF
(N) ADDITION	-	969 SF	+ 969 SF
(E) DRIVEWAY	431 SF	-	431 SF
(N) FRONT WALK	-	128 SF	+ 128 SF
(N) COURTYARD	-	151 SF	+ 151 SF
(N) PORCH/PEDESTALS	-	66 SF	+ 66 SF
(N) DOOR LANDINGS	-	11 SF	+ 11 SF
TOTAL	1,645 SF (18.3%)	1,391 SF (15.4%)	3,036 SF (33.9%)

PLAN REVIEW APPROVAL

12-16-20

TOWN OF LOS GATOS  
BUILDING DIVISION

Jurisdiction Stamps and/or Red Line Notes

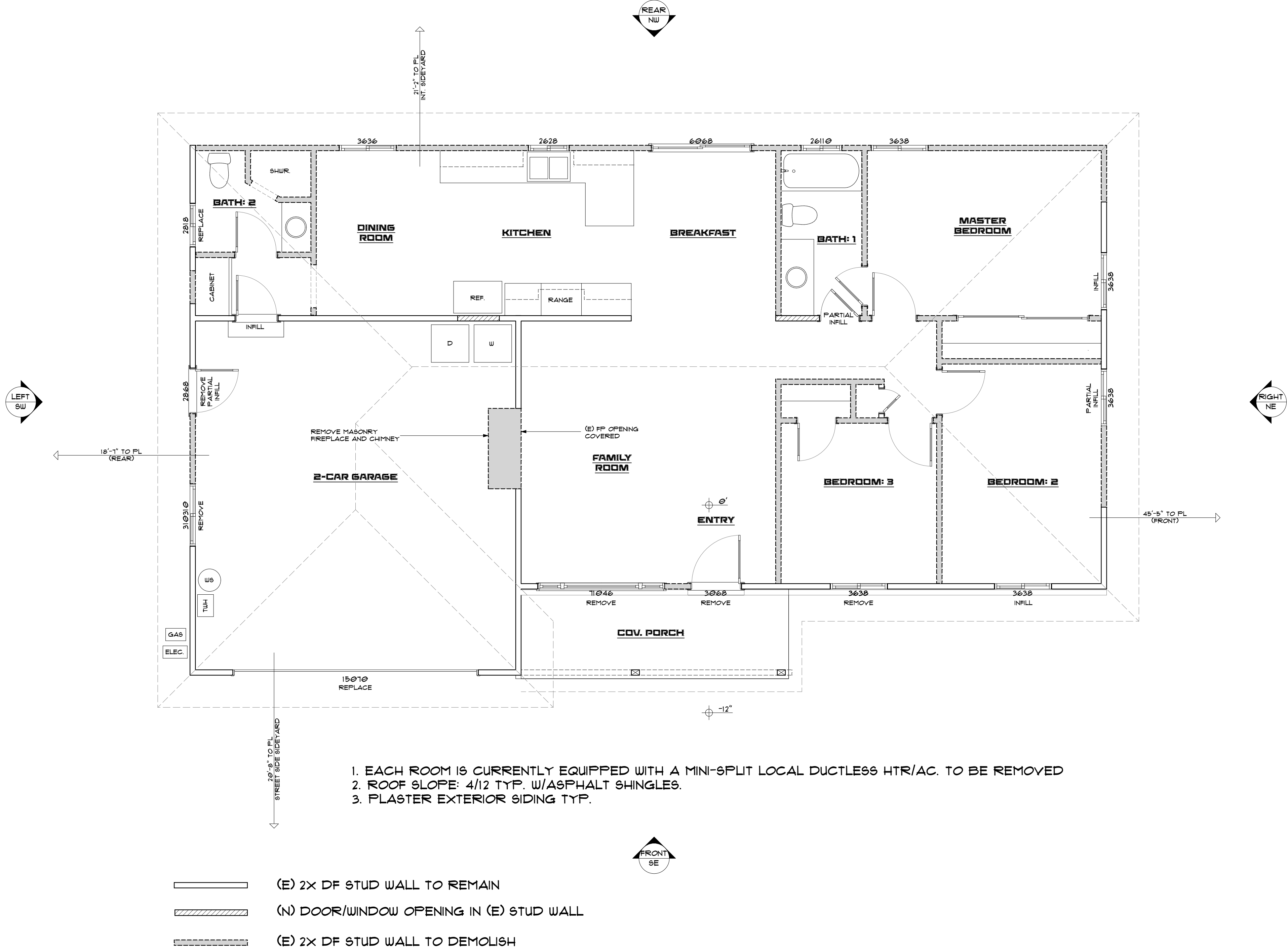






DEMOLITION NOTES: (AS APPLICABLE)

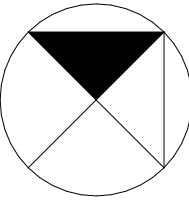
- SCOPE OF WORK TO BE REMOVED AND/OR DEMOLISHED SHALL BE INDICATED ON THE DRAWINGS AND SHALL INCLUDE THE DEMOLITION, REMOVAL AND/OR RELOCATION OF EXISTING MATERIALS AND/OR ASSEMBLIES NECESSARY TO INSTALL AND/OR CONSTRUCT THE PROJECT AS INDICATED ON THE PROPOSED FLOOR PLANS, ELEVATIONS AND OTHER PLANS CONTAINED WITHIN THE CONSTRUCTION DOCUMENT SET. ALL DEMOLITION SHALL COORDINATE WITH THE EXTENT OF THE PROPOSED CONSTRUCTION INDICATED ON THE APPROVED PLANS AND SHALL, IN ANY CASE, CONFORM TO ALL LOCAL AND STATE BUILDING CODES.
- THE GENERAL CONTRACTOR SHALL OBTAIN AN APPROVED "J-NUMBER" FROM THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT (BAAQMD) AS APPLICABLE PRIOR TO ANY DEMOLITION.
- THE GENERAL CONTRACTOR AND/OR SUBCONTRACTORS SHALL BE PROVIDED THE OPPORTUNITY TO VISIT THE PROJECT SITE TO BECOME FAMILIAR WITH THE SCOPE OF DEMOLITION REQUIRED.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DEMOLITION PERFORMED AND SHALL DESIGN, CONSTRUCT AND PROVIDE PROPER SHORING AND STRUCTURAL SUPPORT/BRACING AS REQUIRED THROUGHOUT THE DEMOLITION PROCESS AND PROJECT CONSTRUCTION AS REQUIRED PER CAL OSHA REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTIVE, CONSTRUCTION FENCING AROUND THE PROJECT SITE AND WILL WORK WITHIN THE CONFINES OF THE SITE FENCING WHENEVER POSSIBLE. HOWEVER, DEPENDING UPON SITE AND STRUCTURE CONDITIONS, ALTERNATIVE METHODS OF DEMOLITION AND ALTERNATIVE TYPES OF EQUIPMENT MAY BE USED TO ENSURE THE SAFEST AND MOST EFFICIENT MEANS OF OPERATION. THIS MAY INVOLVE MODIFICATION OF THE SITE FENCING FROM TIME TO TIME IN ORDER TO COMPLETE THE DEMOLITION ACTIVITIES. COORDINATION WITH THE PROPERTY OWNER SHALL BE REQUIRED IN ADVANCE.
- ALL EXISTING PORTIONS OF THE PROJECT THAT ARE DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE. ANY QUESTION AS TO WHAT SHALL REMAIN SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/DESIGNER AND/OR PROPERTY OWNER PRIOR TO COMMENCEMENT OF THE WORK.
- IN ACCORDANCE WITH THE "CONSTRUCTION WASTE MANAGEMENT PLAN", ALL DEMOLITION DEBRIS THAT WILL NOT BE RECYCLED AND/OR SALVAGED FOR REUSE BY THE PROPERTY OWNER AND/OR GENERAL CONTRACTOR WILL BE LOADED INTO SEMI-END DUMPS AND HAULED TO A DISPOSAL FACILITY FOR FURTHER RECYCLING OR LANDFILL. THE "CONSTRUCTION WASTE MANAGEMENT PLAN" PROVIDES DETAILED INFORMATION ON PERCENTAGES OF MATERIAL TO BE RECYCLED OR DISPOSED AND THE DESIGNATED RECYCLING AND/OR DISPOSAL FACILITIES TO BE USED.
- DISCONNECT ALL ELECTRICAL PRIOR TO ANY DEMOLITION BY OTHER TRADES. DISCONNECT, CAP AND CLEARLY IDENTIFY GAS LINES AS REQUIRED PRIOR TO ANY DEMOLITION BY OTHER TRADES.
- DURING THE COURSE OF DEMOLITION, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO USE WHATEVER METHODS REQUIRED TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT. FOLLOW ALL "BAY AREA AIR QUALITY MANAGEMENT DISTRICT" RECOMMENDATIONS AND REQUIREMENTS (AS APPLICABLE) FOR ALL ASPECTS OF THE DEMOLITION, INCLUDING, AS APPLICABLE, THE REMOVAL OF ASBESTOS AND/OR ANY OTHER HAZARDOUS MATERIALS LOCATED AT THE PROJECT SITE.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE PROPERTY OWNER OR THEIR AUTHORIZED REPRESENTATIVE, TO DETERMINE ALL EXISTING EQUIPMENT AND DEVICES TO BE RETAINED BY THE OWNER. THE GENERAL CONTRACTOR SHALL CAREFULLY REMOVE ALL EQUIPMENT AND DEVICES TO BE RETAINED, PRESERVE AND STORE THE EQUIPMENT IN A LOCATION DESIGNATED BY THE OWNER. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL, PRESERVATION, STORAGE, AND PROTECTION OF ALL EQUIPMENT AND DEVICES DESIGNATED TO BE REMOVED AND RE-INSTALLED.
- REMOVE AND REPLACE ALL DRY-ROTTED/TERMITE DAMAGED FRAMING MEMBERS AS REQUIRED AND PERMITTED. REMOVE (E) WALLS, WINDOWS AND DOORS AS INDICATED ON THE DEMOLITION PLAN. RECONSTRUCT, RELOCATE AND/OR REPLACE PER NEW FLOOR PLAN. REMOVE (E) BASEBOARDS, CROWN AND CASING WHERE WALLS, WINDOWS AND DOORS ARE TO BE REMOVED AND REPLACE PER NEW FINISH PLAN/SCHEDULE AS APPLICABLE.
- REMOVE/RELOCATE (E) ELECTRICAL FIXTURES, SWITCHES AND OUTLETS AS REQUIRED. UPGRADE MAIN PANEL AS REQUIRED TO SERVICE NEW ELECTRICAL LOADS. REMOVE (E) CIRCUITS TO SUB-PANEL OR MAIN PANEL OR TO NEAREST ACTIVE SWITCH OR JUNCTION BOX. SAFELY TIE AND CAP ALL TERMINATIONS AS REQUIRED.
- REMOVE (E) FLOOR COVERING IN ALL AREAS OF DEMOLITION AND REPLACE PER FINISH SCHEDULE OR PLAN. REMOVE ALL CABINETRY AS INDICATED ON PLANS AS APPLICABLE TO THE NEW LAYOUT.
- REMOVE ALL ROUGH PLUMBING, FIXTURES AND HARDWARE AS INDICATED ON PLANS AS APPLICABLE. CAP TERMINATIONS AS REQUIRED.
- IF UTILITY SERVICE IS TO BE INTERRUPTED, VERIFY AND CONFIRM W/OWNER REGARDING TIMING TO LIMIT INCONVENIENCE. PROVIDE TEMPORARY SERVICE AS REQUIRED AND PERMITTED BY LOCAL JURISDICTION.
- PROVIDE DUMPSTER AND HAUL AWAY DEBRIS AS REQUIRED TO MAINTAIN A CLEAN JOB SITE. ALL CONSTRUCTION INTERFERENCE WITH PUBLIC STREETS, CURBS, GUTTERS AND WALKWAYS SHALL BE APPROVED BY THE LOCAL JURISDICTION AND SHALL IN ANY CASE KEPT CLEANED AND FREE OF ANY DEBRIS THAT MAY INTERFERE WITH THEIR NORMAL FUNCTION.



(E) FLOOR PLAN: DEMO

(E) GARAGE AREA: 457 SF  
(E) LIVING AREA: 1214 SF  
(E) COVERED PORCH: 92 SF

1/4" = 1'-0"



PLAN REVIEW APPROVAL

12-16-20

TOWN OF LOS GATOS  
BUILDING DIVISION

REVISIONS:	#

**BR**

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RESIDENCE**  
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LOS GATOS, CA 95032

(E) FLOOR PLAN			
DRAWING:	11/11/20	NOTED	M.A.R. <i>M</i>
PRINTED:			
SCALE:			
DRAWN BY:			

Professional Stamp

**A2.1**

Jurisdiction Stamps and/or Red Line Notes



Dryer Cycles	Bulky / Bedding Cottons Delicates Mixed Loads Perm Press Quick Dry Sanitize Steam Dewrinkle Steam Refresh Timed Dry Towels Washer Link
Long Vent Capability	Up to 90 feet
Temperature Options	High/Medium/Low/Extra Low/No Heat
Control Type	Capacitive Touch Power On/Off Rotary-Electronic w/LEDs Start/Pause
Moisture Sensor	Sensor Dry
Style	Front-Loading
Dual Thermistors	Yes

## GE Dryer: GFD85ESPQRS

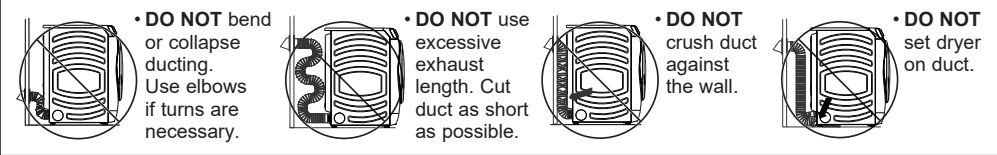
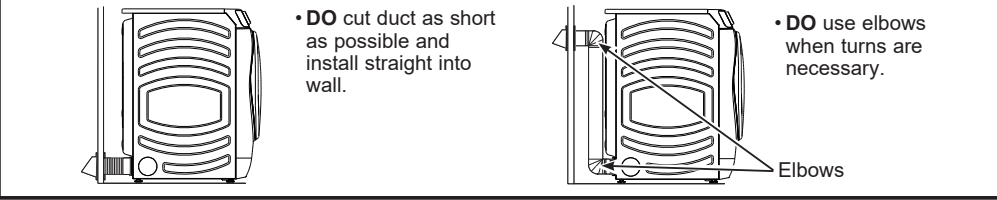
A DURABLE PLACARD (MINIMUM SIZE OF 4.5") MUST BE PERMANENTLY AFFIXED ON A WALL NEAR AND VISIBLE FROM THE DRYER LOCATION. THE PLACARD SHALL STATE THE ACTUAL LENGTH OF THE INSTALLED DRYER EXHAUST VENT AND INCLUDE THE FOLLOWING LANGUAGE:

#### WARNING:

CHECK THE MANUFACTURER INSTALLATION INSTRUCTIONS FOR ANY DOMESTIC DRYER THAT WILL BE INSTALLED AT THIS LOCATION. THE INSTRUCTIONS SHOULD ALLOW THE DRYER TO BE CONNECTED TO AN EXHAUST DUCT (VENT) THAT IS A MAXIMUM FEET LONG. DO NOT REMOVE THIS PLACARD.

#### Installation Instructions

#### EXHAUSTING THE DRYER (cont.)



#### EXHAUST LENGTH

- Using exhaust longer than specified length will:
  - Increase the drying times and the energy cost.
  - Reduce the dryer life.
  - Accumulate lint, creating a potential fire hazard.

The correct exhaust installation is **YOUR RESPONSIBILITY**.

Problems due to incorrect installation are not covered by the warranty.

The MAXIMUM ALLOWABLE length of the exhaust system depends upon the type of duct, number of turns, the type of exhaust hood (wall cap) and all conditions noted on the chart.

- Internal elbows added for side or bottom vent conversions must be included in the total elbow count.

- Any elbow greater than 45° should be treated as a 90° elbow; one elbow of 45° or less may be ignored.

- Two 45° elbows will be treated like one 90° elbow.

- For the side exhaust installations, add one 90° elbow to the chart.

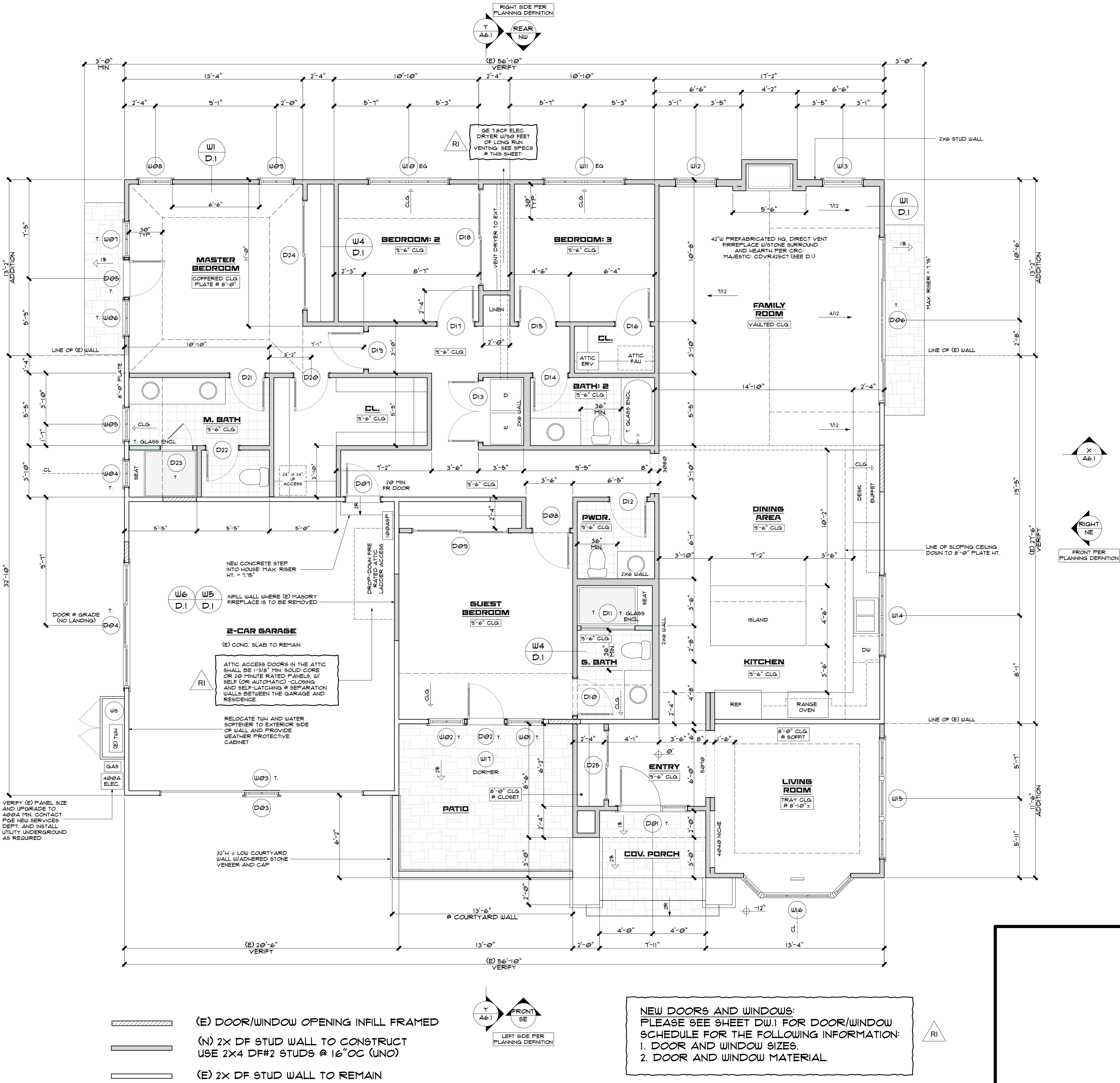
- For every additional 90° elbow, reduce the allowable vent system length by 10 feet.

- When calculating the total vent system length, you must add all the straight portions and elbows of the system (including the transition duct).

EXHAUST LENGTH FOR NORMAL VENT MODELS		RECOMMENDED MAXIMUM LENGTH	
No. of 90° Elbows	Rigid Metal	Schaeff Wood Types	Use only for short run installations
0	80 Feet	80 Feet	
1	60 Feet	45 Feet	
2	40 Feet	30 Feet	
3	30 Feet	25 Feet	
4	25 Feet	15 Feet	

EXHAUST LENGTH FOR LONG VENT MODELS		RECOMMENDED MAXIMUM LENGTH	
No. of 90° Elbows	Rigid Metal	Schaeff Wood Types	Use only for short run installations
0	200 Feet	175 Feet	
1	185 Feet	165 Feet	
2	175 Feet	155 Feet	
3	165 Feet	145 Feet	
4	155 Feet	135 Feet	
5	145 Feet	125 Feet	



## [N] FLOOR PLAN

[E] GARAGE AREA: 457 SF  
[E] LIVING AREA: 1214 SF  
[N] ADDITION: 969 SF  
[N] COVERED PORCH: 16 SF

REVISIONS:	#
10/29/20	1

**BR**

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124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

[N] FLOOR PLAN

11/11/20

NOTED

M.A.R. *MR.*

DRAWING:

PRINTED:

SCALE:

DRAWN BY:

Professional Stamp

**AB.1**

PLAN REVIEW APPROVAL

12-16-20

TOWN OF LOS GATOS  
BUILDING DIVISION

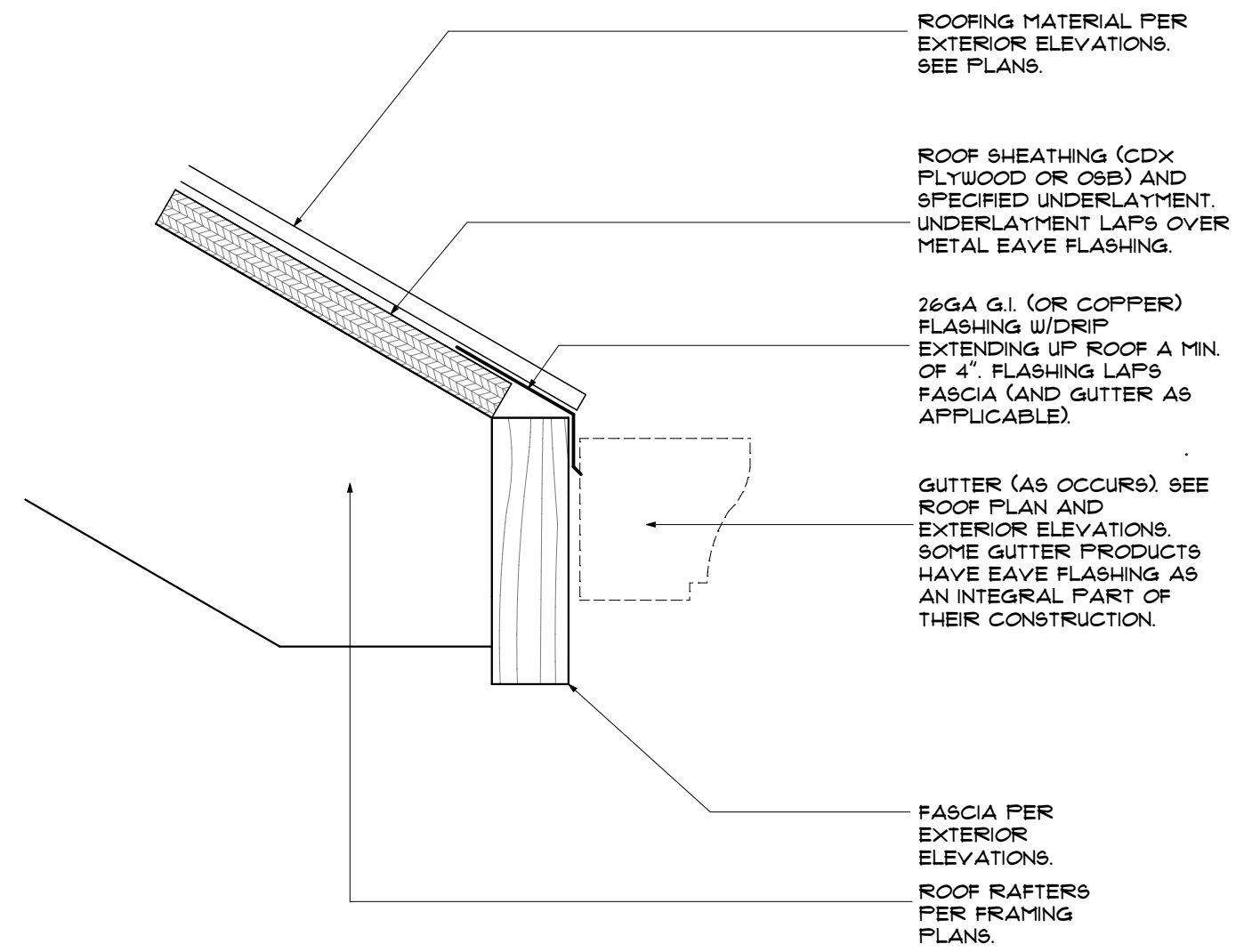
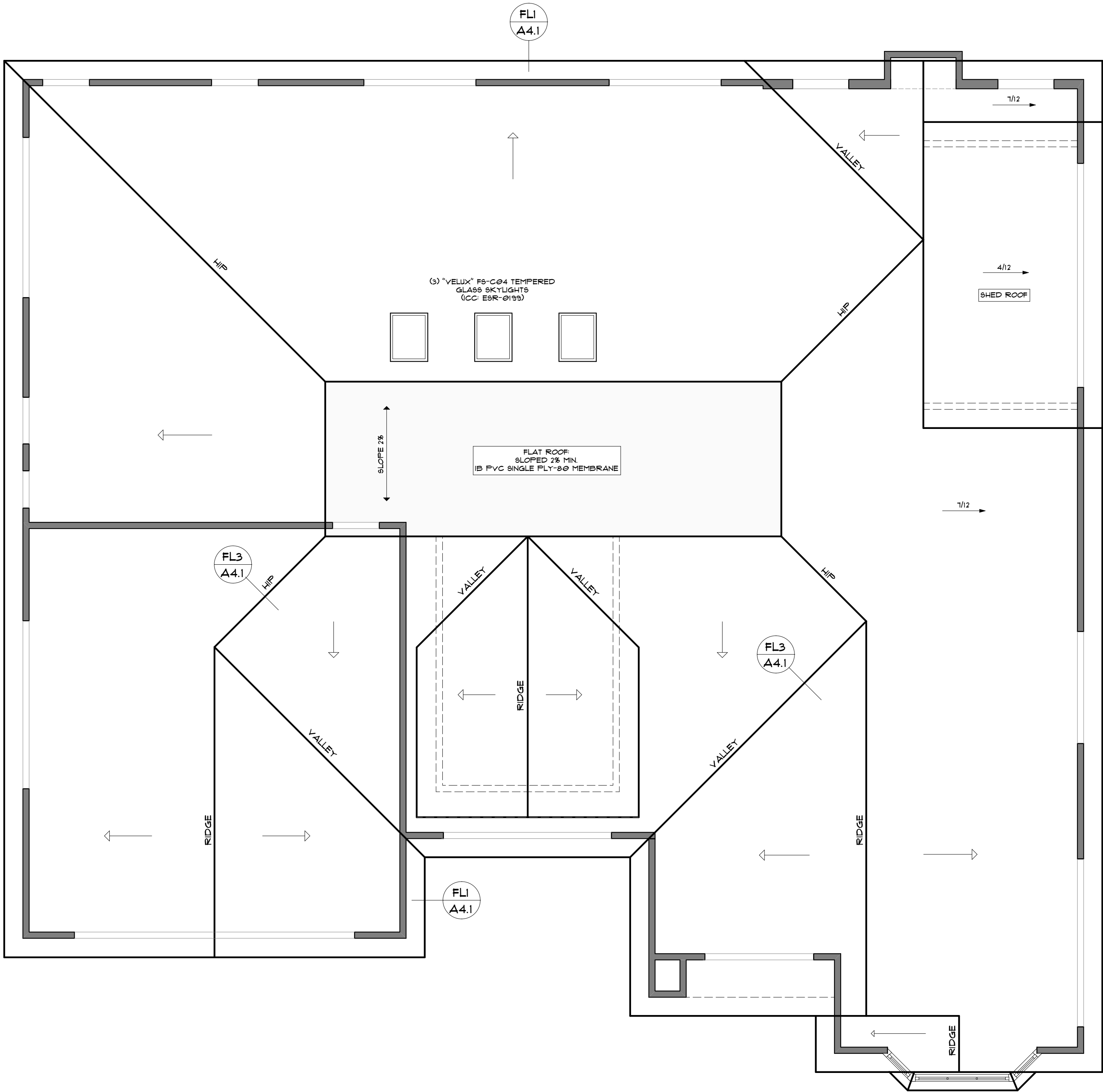
Jurisdiction Stamps and/or Red Line Notes



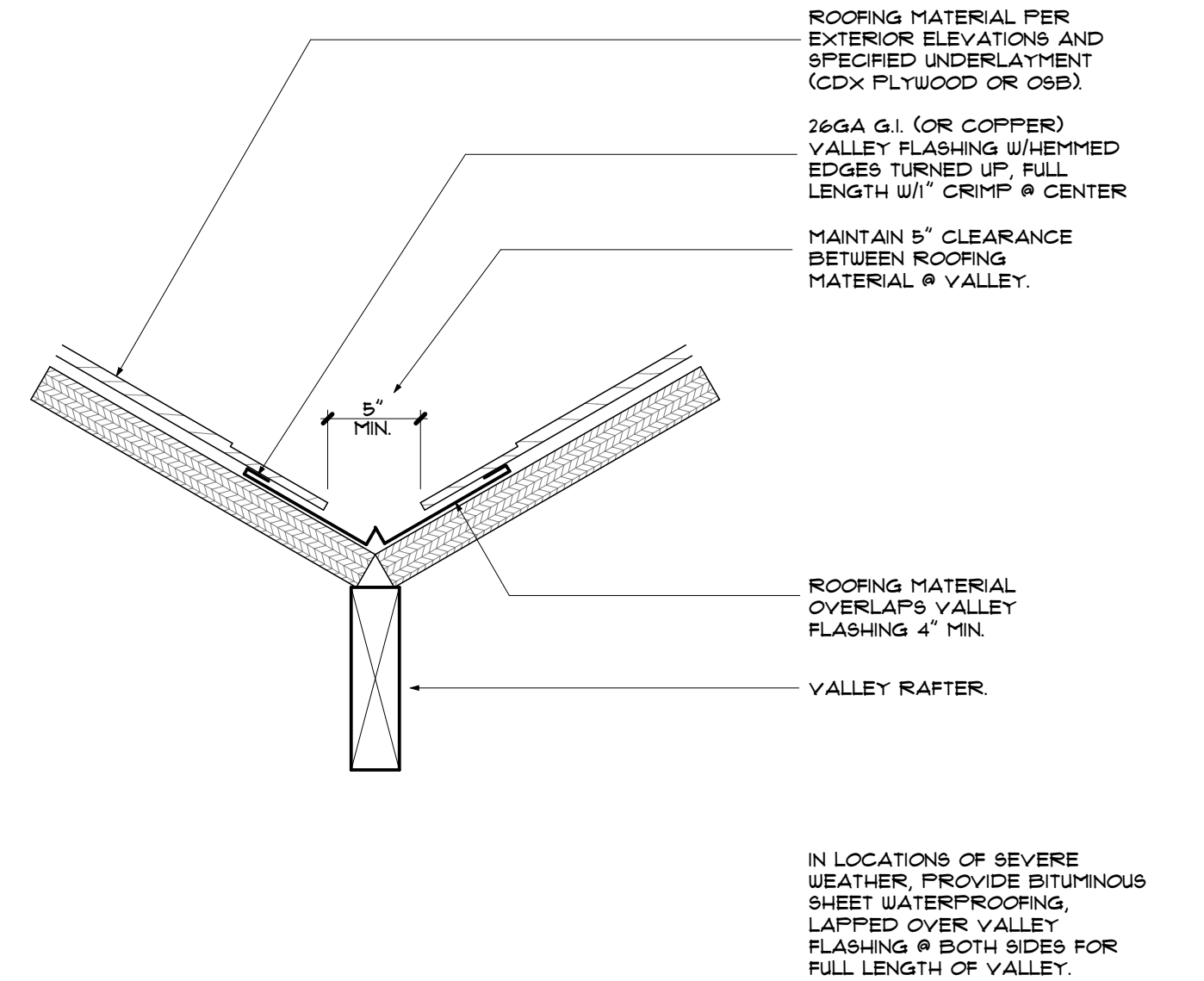
ATTIC VENTILATION CALCS (CRC R806)		
	NEW ROOF AREA	
AREA OF ACCESSIBLE ROOF TO BE VENTILATED	2,336 SF	
LENGTH OF EAVE (LF) W/RR @ 16"OC	148'-11" LF	
LENGTH OF EAVE (LF) W/RR @ 24"OC		
NUMBER OF BLOCKS W/(3) 2" DIA. HOLES	NONE: ATTIC IS INSULATED W/CCSF INSULATION (ICC: ESR-3159)	
NUMBER OF BLOCKS W/(4) 2" DIA. HOLES		
VENTILATION PROVIDED BY EAVE BLOCKS	N/A	
ADDITIONAL VENTILATION PROVIDED BY ALTERNATIVE MEANS	N/A	
TOTAL VENTING REQUIRED	N/A	
TOTAL VENTING PROVIDED	N/A	

ROOF MATERIAL/FRAMING NOTES	
ROOF SLOPE	7/12 (TYP.)
ROOFING MATERIAL	CLASS A, 40 YEAR ASPHALT ROOFING SHINGLES. COLOR SELECTED BY OWNER.
OVERHANG	12" TYP. (UNC)
SHEATHING	1/2" CDX PLYWOOD, NAILED W/10D @ 6"OC EDGE AND 10"OC FIELD. USE 19/32" OSB SHEATHING AS OPTION. PROVIDE RADIANT BARRIER PLYWOOD AS REQUIRED PER T24 CALCULATIONS.
UNDERLAYMENT	30# ASPHALT ROOFING PAPER OR EQUAL. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
FLASHING	PROVIDE 26GA G.I. METAL FLASHING @ ALL VALLEYS, RIDGES, ROOF TO WALL INTERSECTIONS AND ROOF PENETRATIONS PER CBC SECTION 1503.2.

1. RAFTERS SHALL BE PROVIDED WITH FULL DEPTH CLOSED CELL SPRAY FOAM INSULATION (ICC: ESR-3183) THROUGHOUT ATTIC. NO VENTING REQUIRED: SEE T24 AND CA ENERGY CODE FOR REQUIRED HERS INSPECTION AND VERIFICATION.
2. PROVIDE ATTIC ACCESS PER CRC R801.1. MINIMUM ACCESS OPENING SHALL BE 22" X 30".



**FL1 FLASHING: EAVE @ GUTTER**  
STANDARD



**FL3 FLASHING: VALLEY**

## ROOF PLAN

ROOF SLOPE: 7/12 TYP. (UNC)  
ROOFING MATERIAL: CLASS A, ASPHALT SHINGLES TYP.  
OVERHANG: 12" TYP.

1/4" = 1'-0"

PLAN REVIEW APPROVAL

12-16-20

TOWN OF LOS GATOS  
BUILDING DIVISION

REVISIONS:	#
10/29/20	RI

**BR**

**BRITT · ROWE**

108 N. Santa Cruz Ave.  
Los Gatos, CA 95030

408.354.6224 (office)  
408.354.6514 (fax)  
www.britt-rowe.com

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**KULKARNI  
RESIDENCE**  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

ROOF FRAMING PLAN			
DRAWING:	PRINTED:	SCALE:	DRAWN BY:
	11/1/20	NOTED	M.A.R. <i>M.</i>

Professional Stamp

**A4.1**

Jurisdiction Stamps and/or Red Line Notes



EXTERIOR ELEVATION FINISH SCHEDULE

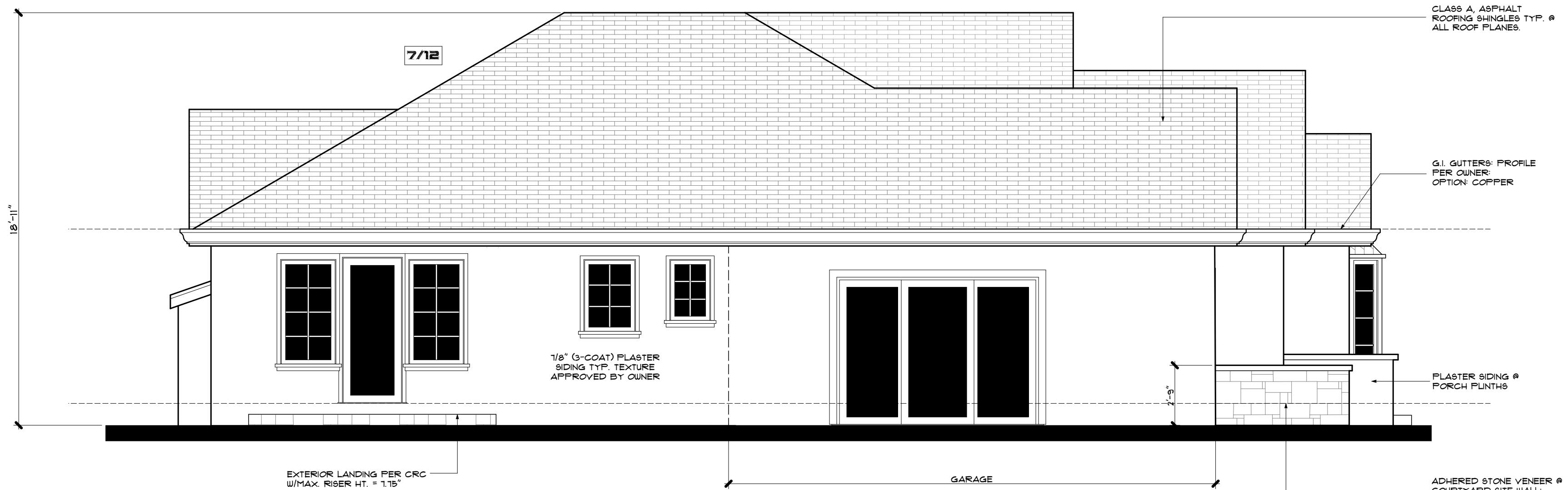
ROOFING
CLASS A, ASPHALT SHINGLES, O/MINIMUM 30# BUILDING PAPER OR EQUAL, O/CDX OR OSB "RADIANT BARRIER" ROOF SHEATHING AS REQUIRED BY T24 CALCULATIONS AS APPLICABLE. ROOF MATERIAL COLORS AND/OR MANUFACTURERS SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. WHERE ROOF SLOPES ARE LESS THAN 4/12, USE (2) LAYERS OF ROOFING UNDERLAYMENT. CRC R305.2.2 AND R305.1.2
EXTERIOR SIDING
EXTERIOR WALLS: 1/8" (3-COAT) PLASTER SIDING, O/G.I. EXPANDED METAL LATH, O/(2) LAYERS OF GRADE "D" BUILDING PAPER OR EQUAL, O/CDX PLYWOOD OR OSB WALL SHEATHING, NAILED @ 6/12 MINIMUM. SEE ENGINEER'S "SHEAR WALL SCHEDULE" FOR SPECIFIED PLYWOOD THICKNESS AND MINIMUM NAILING REQUIREMENTS.
NON SHEAR WALLS: PROVIDE A MINIMUM OF 3/8" CDX PLYWOOD WALL SHEATHING, "FULL WRAP". NAIL W/8D @ 6/12 MINIMUM. FOR REMODEL PROJECTS, ONLY NEW WALLS SHALL RECEIVE FULL WRAP SHEATHING (UNO).
WALL BASE: A MINIMUM 0.019-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
DOORS & WINDOWS
ALL EXTERIOR DOORS (WITH GLASS) AND WINDOWS SHALL BE CONSTRUCTED WITH DUAL PANED, LOW "E" GLAZING. TEMPERED GLAZING SHALL BE REQUIRED PER CRC SECTIONS R308 AND R311. DOOR AND WINDOW MANUFACTURER SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. SEE SHEET DW.1 AND DW.2 FOR ADDITIONAL DOOR AND WINDOW NOTES AND SCHEDULES.
ACCENTS
SEE EXTERIOR ELEVATIONS FOR ADDITIONAL WALL AND ROOF DETAILS AND SPECIFICATIONS.



(N) FRONT ELEVATION (SE)

LEFT SIDE PER PLANNING

1/4" = 1'-0"



(N) LEFT SIDE ELEVATION (SW)

REAR SIDE PER PLANNING

1/4" = 1'-0"

REVISIONS:	#
10/29/20	RI

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**KULKARNI  
RESIDENCE**  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

DRAWING:	EXT. ELEVATIONS
PRINTED:	11/11/20
SCALE:	NOTED
DRAWN BY:	M.A.R. <i>M</i>

Professional Stamp

PLAN REVIEW APPROVAL

12-16-20

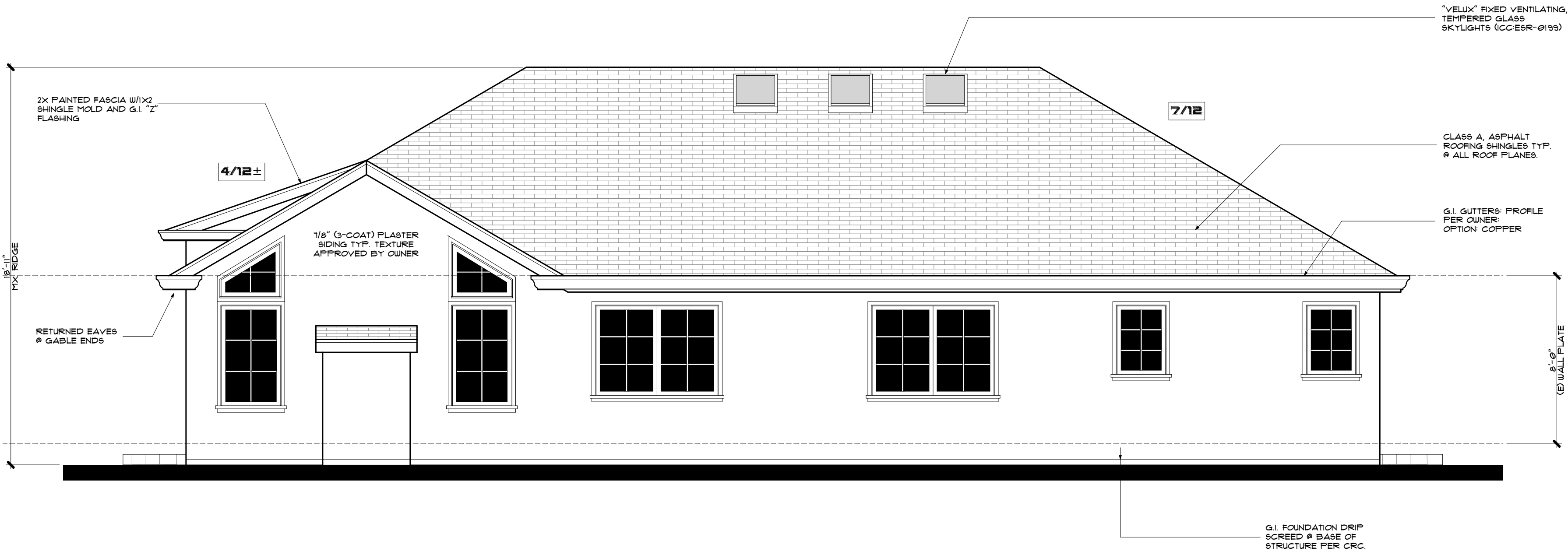
TOWN OF LOS GATOS  
BUILDING DIVISION

**A5.1**



EXTERIOR ELEVATION FINISH SCHEDULE

ROOFING
CLASS A, ASPHALT SHINGLES, O/MINIMUM 30# BUILDING PAPER OR EQUAL, O/CDX OR OSB "RADIANT BARRIER" ROOF SHEATHING AS REQUIRED BY T24 CALCULATIONS AS APPLICABLE. ROOF MATERIAL COLORS AND/OR MANUFACTURERS SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. WHERE ROOF SLOPES ARE LESS THAN 4/12, USE (2) LAYERS OF ROOFING UNDERLAYMENT. CRC R905.2.2 AND R905.1.2
EXTERIOR SIDING
EXTERIOR WALLS: 1/8" (3-COAT) PLASTER SIDING, O/G.I. EXPANDED METAL LATH, O(2) LAYERS OF GRADE "D" BUILDING PAPER OR EQUAL, O/CDX PLYWOOD OR OSB WALL SHEATHING, NAILED @ 6/12 MINIMUM. SEE ENGINEER'S "SHEAR WALL SCHEDULE" FOR SPECIFIED PLYWOOD THICKNESS AND MINIMUM NAILING REQUIREMENTS.
NON SHEAR WALLS: PROVIDE A MINIMUM OF 3/8" CDX PLYWOOD WALL SHEATHING, "FULL WRAP", NAIL W/8D @ 6/12 MINIMUM. FOR REMODEL PROJECTS, ONLY NEW WALLS SHALL RECEIVE FULL WRAP SHEATHING (NO)
WALL BASE: A MINIMUM 0.013-INCH (0.5 MM) (NO. 26 GALVANIZED SHEET GAUGE) CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3-1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C 926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.
DOORS & WINDOWS
ALL EXTERIOR DOORS (WITH GLASS) AND WINDOWS SHALL BE CONSTRUCTED WITH DUAL PANED, LOW "E" GLAZING. TEMPERED GLAZING SHALL BE REQUIRED PER CRC SECTIONS R302 AND R311. DOOR AND WINDOW MANUFACTURER SHALL BE SELECTED AND APPROVED BY THE PROPERTY OWNER. SEE SHEET DW.1 AND DW.2 FOR ADDITIONAL DOOR AND WINDOW NOTES AND SCHEDULES.
ACCENTS
SEE EXTERIOR ELEVATIONS FOR ADDITIONAL WALL AND ROOF DETAILS AND SPECIFICATIONS.



(N) REAR ELEVATION (NW)

RIGHT SIDE PER PLANNING

1/4" = 1'-0"



(N) RIGHT SIDE ELEVATION (NE)

FRONT SIDE PER PLANNING

1/4" = 1'-0"

REVISIONS:	#
10/29/20	RI

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**KULKARNI  
RESIDENCE**  
124 GARDEN HILL DRIVE  
LOS GATOS, CA 95032

DRAWING:	EXT. ELEVATIONS
PRINTED:	11/11/20
SCALE:	NOTED
DRAWN BY:	M.A.R. <i>M</i>

Professional Stamp

PLAN REVIEW APPROVAL

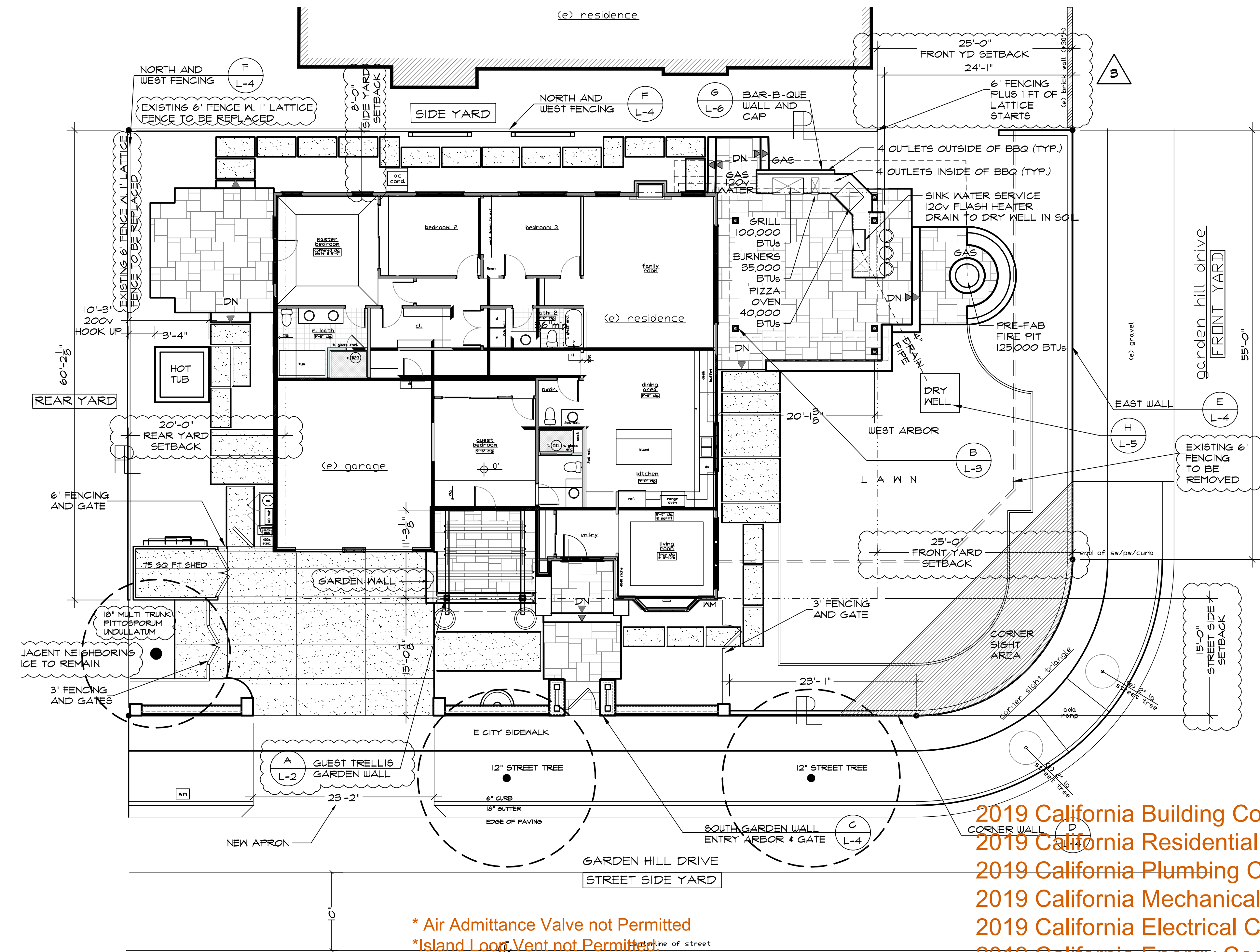
12-16-20

TOWN OF LOS GATOS  
BUILDING DIVISION

**A5.2**

Jurisdiction Stamps and/or Red Line Notes





- \* Air Admittance Valve not Permitted
- \* Island Loop Vent not Permitted
- \* Vent Pipe for the outdoor sink installation shall extend not less than 10 feet above the surrounding ground and shall be securely supported. CPC Section 906.4
- \* Provide a cover for the outdoor sink, which is required by the Town Building Division to allow the sink that is open to the sky to discharge into the sanitary sewer system per CPC Section 714.2
- \* The Sanitary Sewer Drainage System of the new outdoor kitchen must be separate and independent from the main dwelling with an independent connection with the public or private sanitary sewer system downstream from the main house sewer line to the street. CPC Section 311.0

2019 California Building Code, Vol. 1 & 2  
2019 California Residential Code  
2019 California Plumbing Code  
2019 California Mechanical Code  
2019 California Electrical Code  
2019 California Energy Code  
2019 California Existing Building Code  
2019 California Historical Building Code  
2019 California Green Building Standards  
2019 California Fire Code  
2018 International Code for Property Maintenance  
2018 International Existing Building Code\*  
\*Chapters 9, 14 & Appendices A2, A3, A4 & A5 only

## SCOPE OF WORK

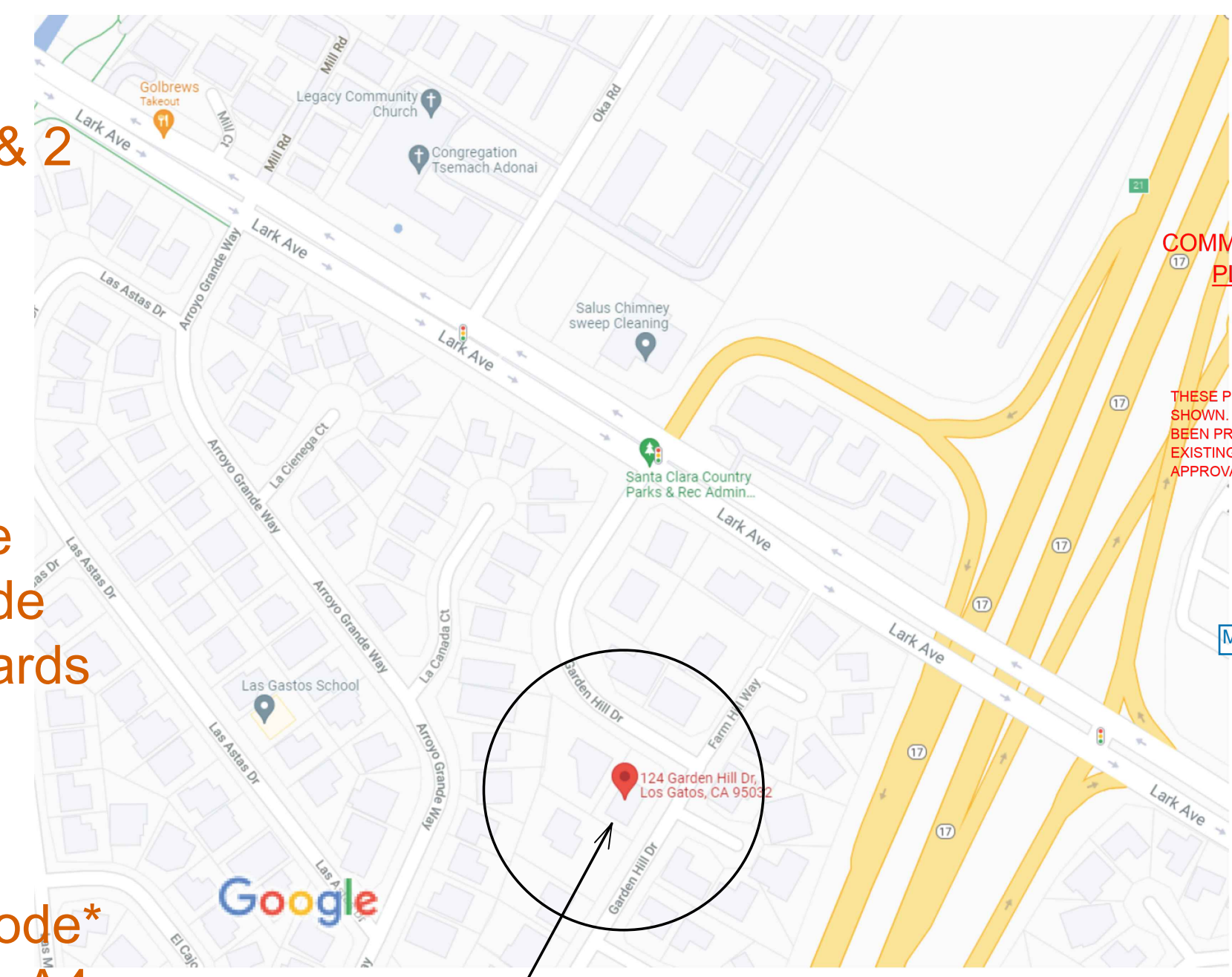
- A. TRELLIS AT GUEST BEDROOM
- B. ARBOR AT BAR-B-QUE AREA
- C. 3' HIGH GARDEN WALL, ARBOR AND GATE
- D. 3' HIGH FENCE FROM GARDEN WALL TO RESIDENCE
- E. 6' HIGH FENCE PROPERTY LINE FENCING
- F. GAS LINE FOR FIRE PIT
- G. BAR-B-QUE ISLAND:  
120V ELECTRICAL HOOK UP  
NATURAL GAS HOOK UP  
WATER SERVICE  
SINK DRAIN TO DRY WELL IN SOIL

## SHEET INDEX

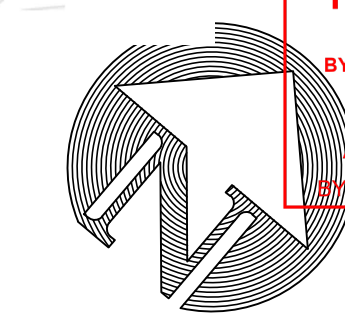
L-1 SITE PLAN	DETAIL A
L-2 GUEST TRELLIS	DETAIL B
L-3 WEST ARBOR	DETAIL C
L-4 SOUTH GARDEN WALL CORNER WALL EAST WALL NORTH AND WEST FENCING	DETAIL D DETAIL E DETAIL F
L-5 BAR-B-QUE	DETAIL G

## VICINITY MAP

A.P.N.# 42423084



SITE



NORTH

Todd Kalbfeld  
Landscape Design  
Landscape Design & Construction Management  
2945 TULIP ROAD, SAN JOSE, CA 95128  
(408) 605-9973

REVISIONS	BY
11/22/2021	TK
1/21/2022	TK
3/28/2022	TK

TODD KALBFELD  
PROFESSIONAL  
LANDSCAPE DESIGNER

SINGLE FAMILY RESIDENCE  
124 GARDEN HILL DRIVE, LOS GATOS, CA

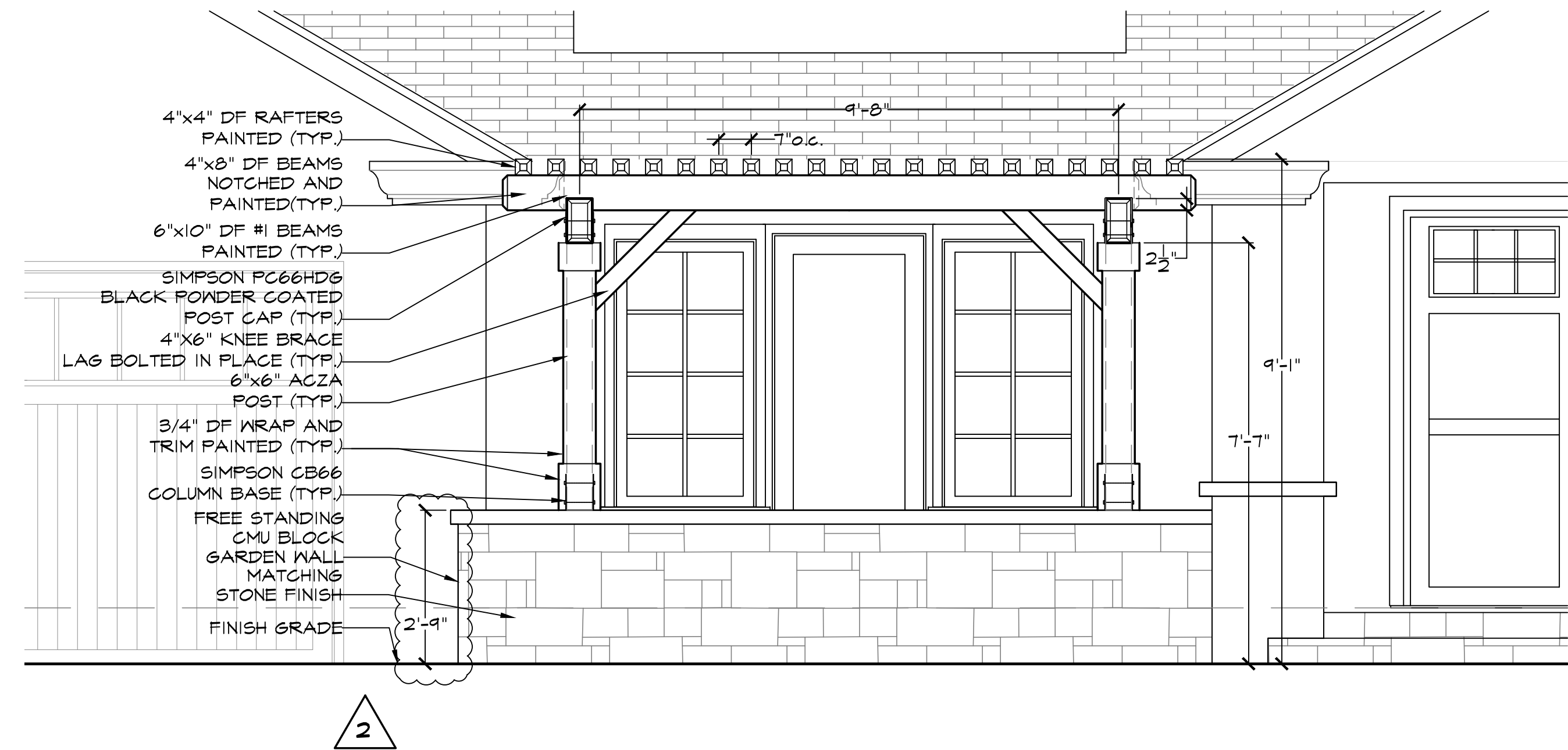
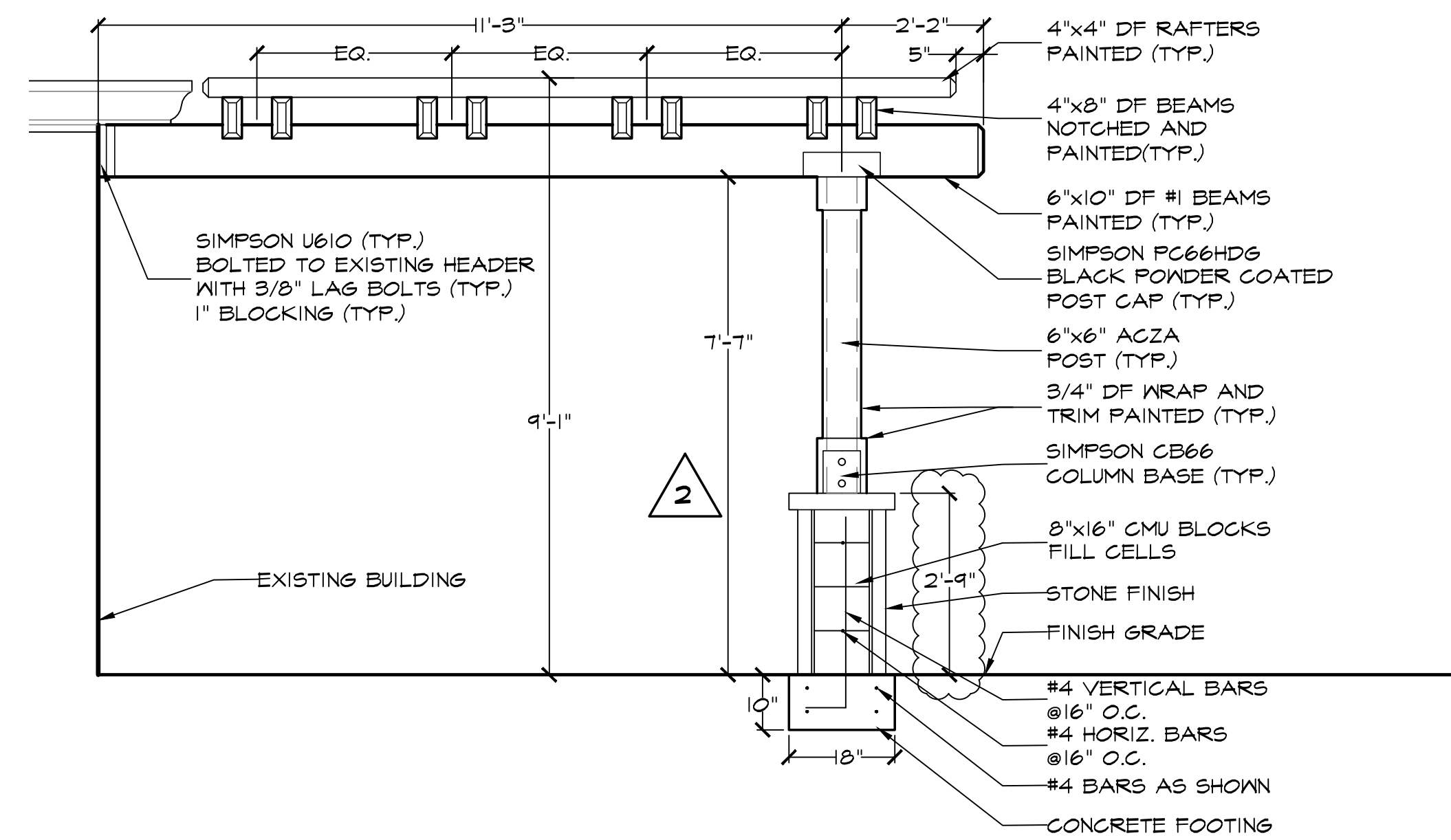
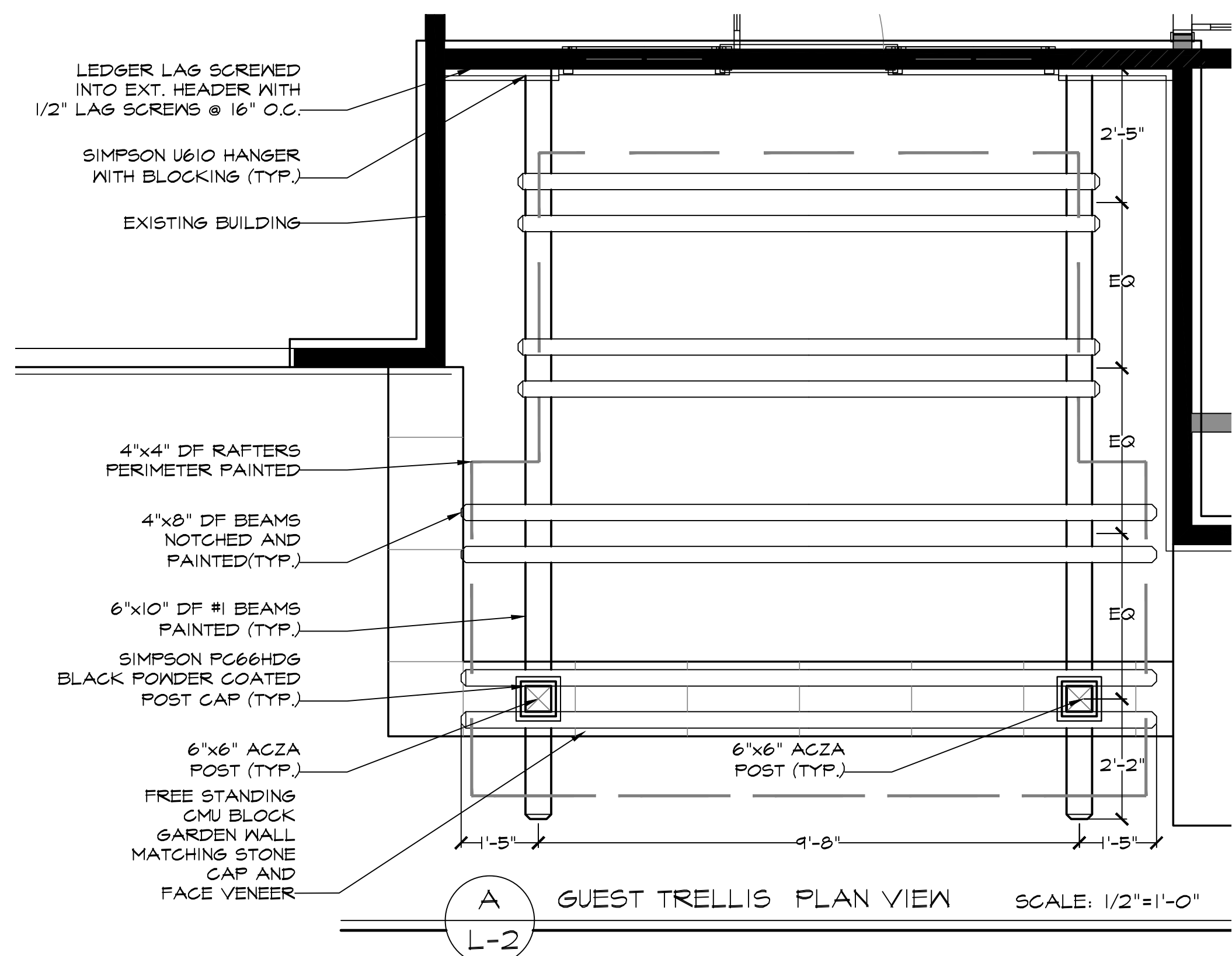
SITE PLAN

## REVISION

Town of Los Gatos BUILDING DIVISION PLAN APPROVED	DATE AUG / 2021
APPROVED	DATE 03/28/2022

JOB GARDEN HILL
SHEET L-1





2

# ARBOR MATERIALS JUSTIFICATION:

- ALL GARDEN AND SEATING WALLS ARE TO BE VENEERED WITH MATCHING STONE. STONE WILL MATCH EXACT STONE USED ON RESIDENCE TO CONTINUE STONE THEME.
- ALL ARBOR IS TO BE OUT OF DOUGLAS FIR PRIMED AND PAINTED. ALL COLORS AND JUSTIFICATION IS AS FOLLOWS:
  - ARBOR TOP IS TO BE A MEDIUM BROWN WORN BARN STYLE COLOR AND FINISH. THIS COLOR WILL ALSO BE USED ON ENTRY GATE AND ALL NEW FENCING. THIS COLOR IS CHOSEN AS IT WILL FOLLOW THE SAME COLOR AND TINT AS THE HOUSE ROOF COLOR.
  - ARBOR COLUMNS ARE TO BE PAINTED WHITE TO MATCH ALL TRIM COLOR PROPOSED ON HOUSE.

2

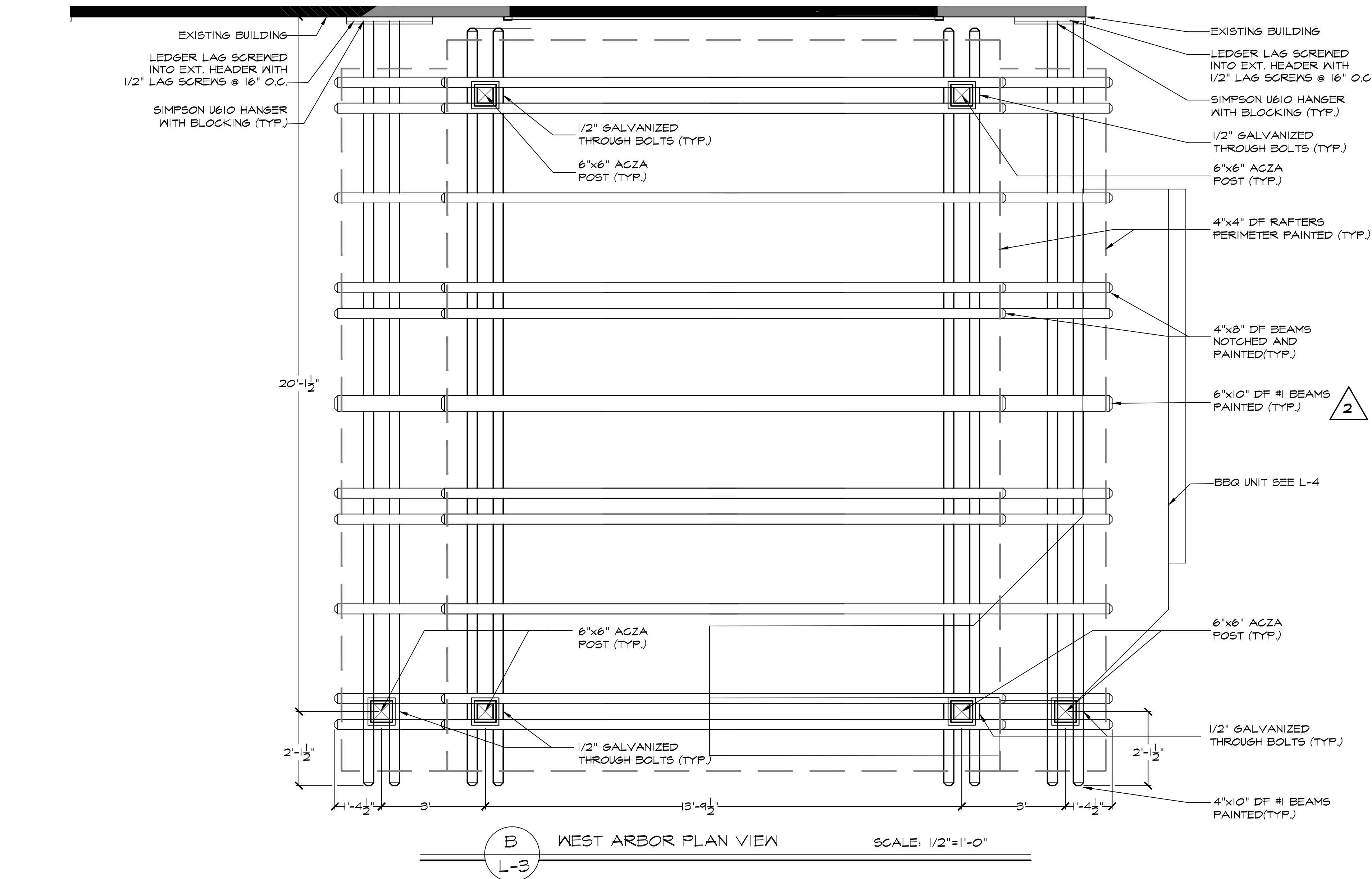
REVISIONS 1/21/2022 BY TK

TODD KALBFELD PROFESSIONAL LANDSCAPE DESIGNER

SINGLE FAMILY RESIDENCE  
124 GARDEN HILL DRIVE, LOS GATOS, CA

CONSTRUCTION DETAILS

DATE AUG / 2021  
DRAWN BY TK  
JOB GARDEN HILL  
TOWN OF LOS GATOS BUILDING DIVISION  
SHEETS

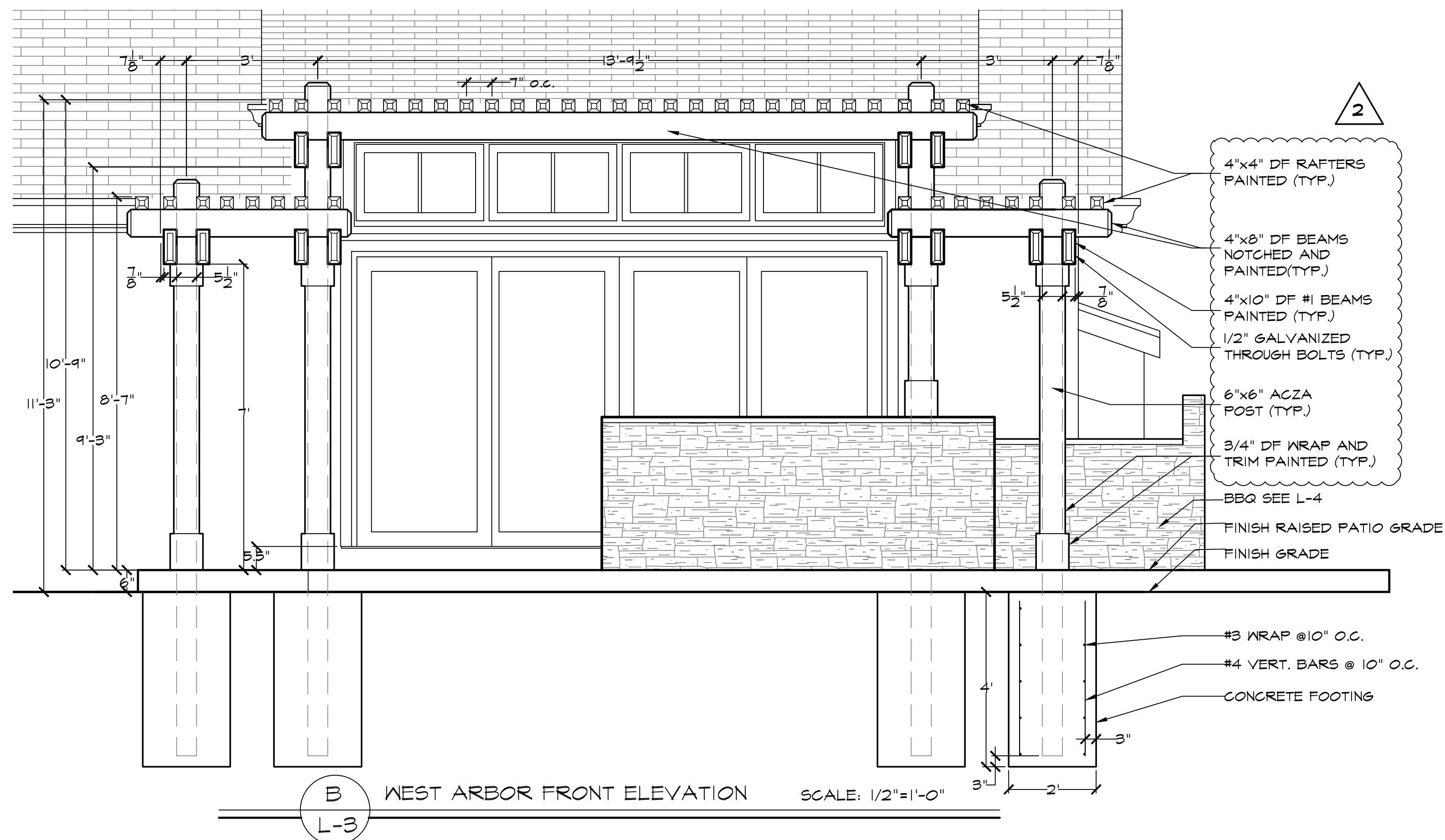


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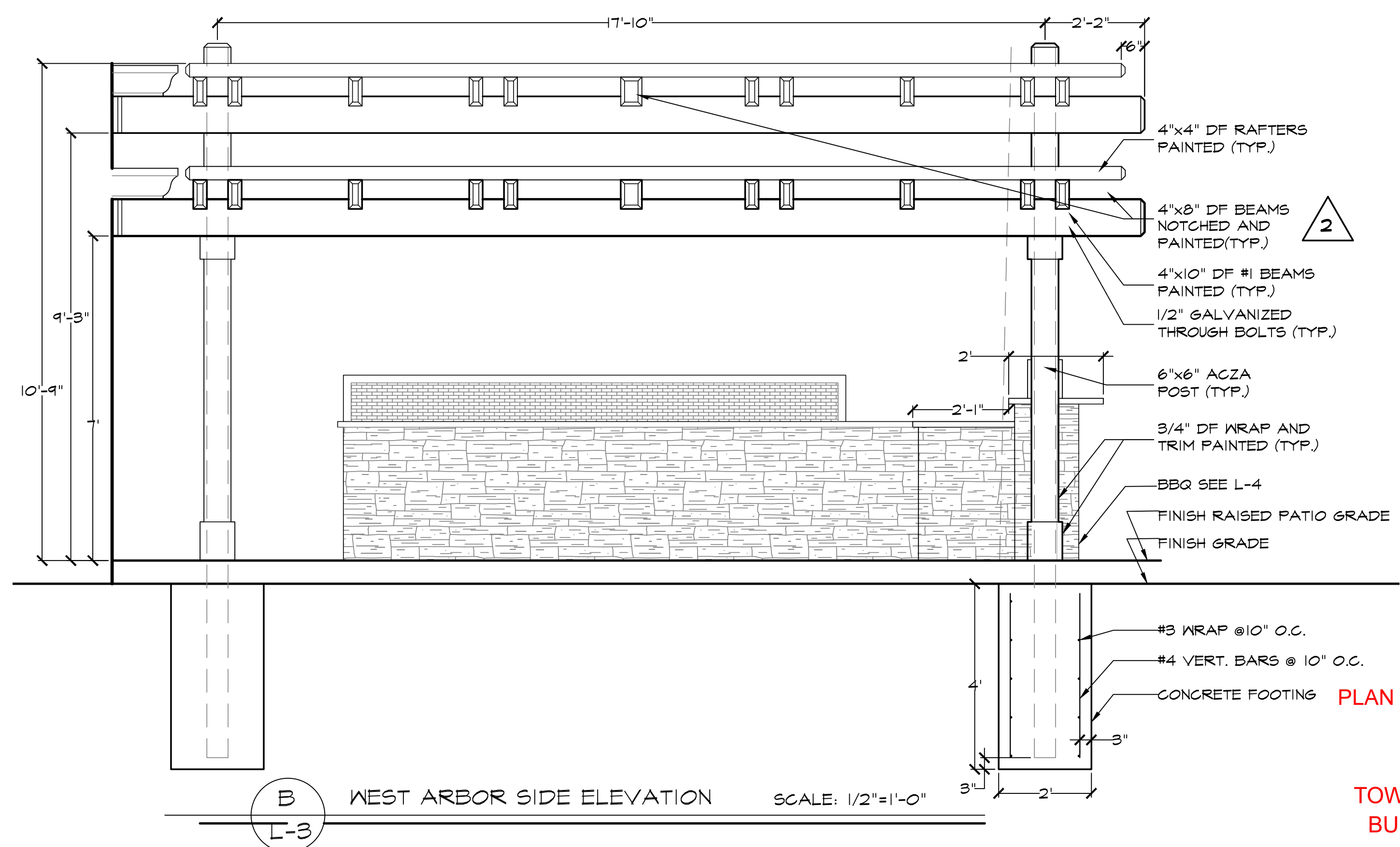
### ARBOR AND BAR-B-QUE MATERIALS JUSTIFICATION:

- BAR-B-QUE SIDE FACE TO BE VENEERED WITH MATCHING STONE. STONE WILL MATCH EXACT STONE USED ON RESIDENCE TO CONTINUE STONE THEME.
- ALL ARBOR IS TO BE OUT OF DOUGLAS FIR PRIMED AND PAINTED. ALL COLORS AND JUSTIFICATION IS AS FOLLOWS:
  - ARBOR TOP IS TO BE A MEDIUM BROWN WORN BARN STYLE COLOR AND FINISH. THIS COLOR WILL ALSO BE USED ON ENTRY GATE AND ALL NEW FENCING. THIS COLOR IS CHOSEN AS IT WILL FOLLOW THE SAME COLOR AND TINT AS THE HOUSE ROOF COLOR.
  - ARBOR COLUMNS ARE TO BE PAINTED WHITE TO MATCH ALL TRIM COLOR PROPOSED ON HOUSE.

2



2



2

Todd Kalbfeld  
Landscape Design  
Landscape Design & Construction Management  
2845 TULIP ROAD, SAN JOSE, CA 95128  
(408) 605-9913

REVISIONS  
1/21/2022 BY TK

TODD KALBFELD  
PROFESSIONAL  
LANDSCAPE DESIGNER

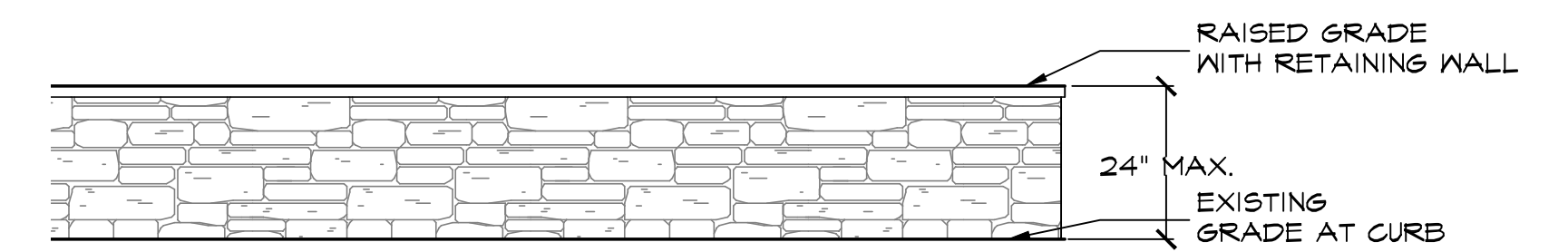
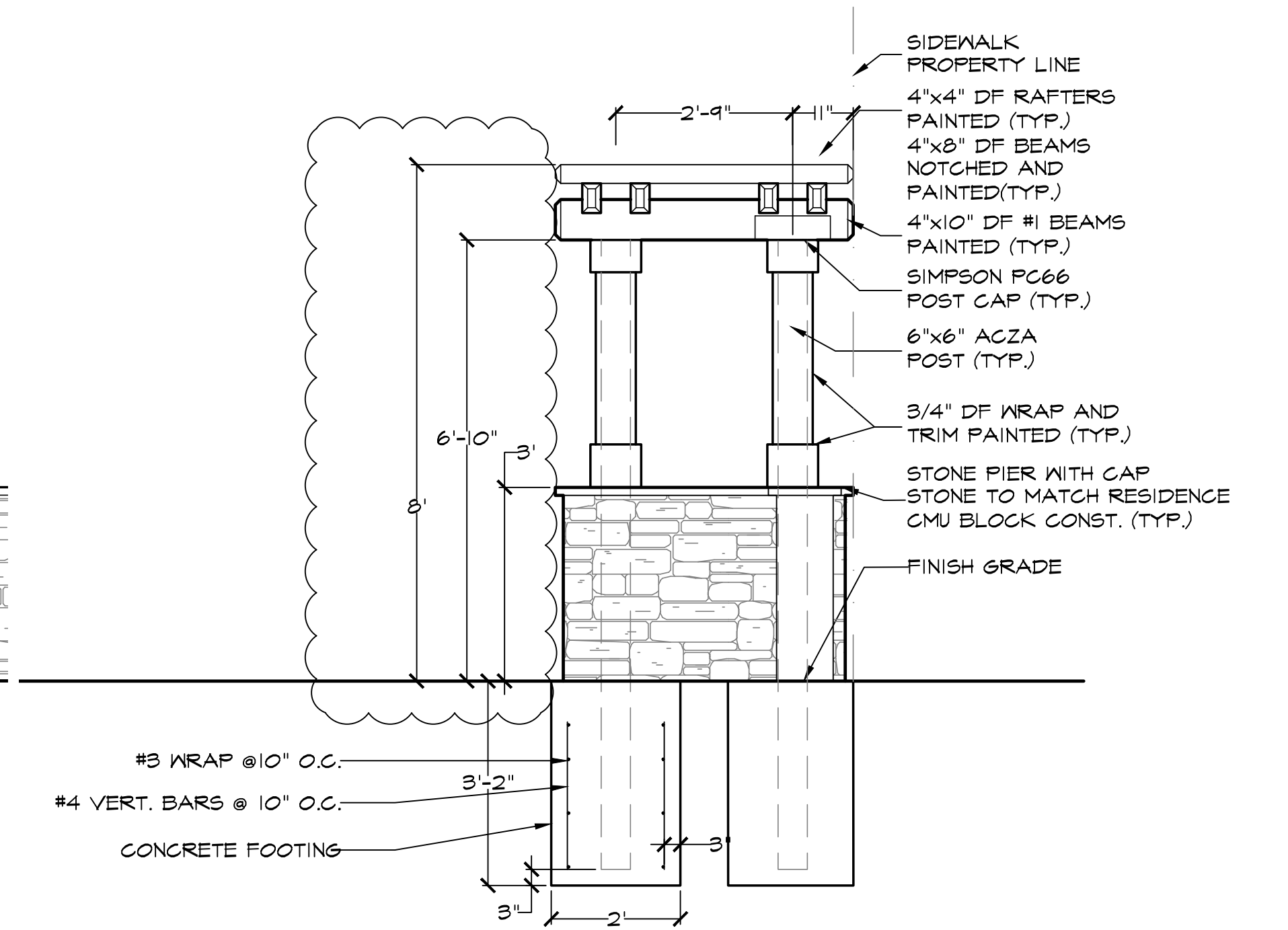
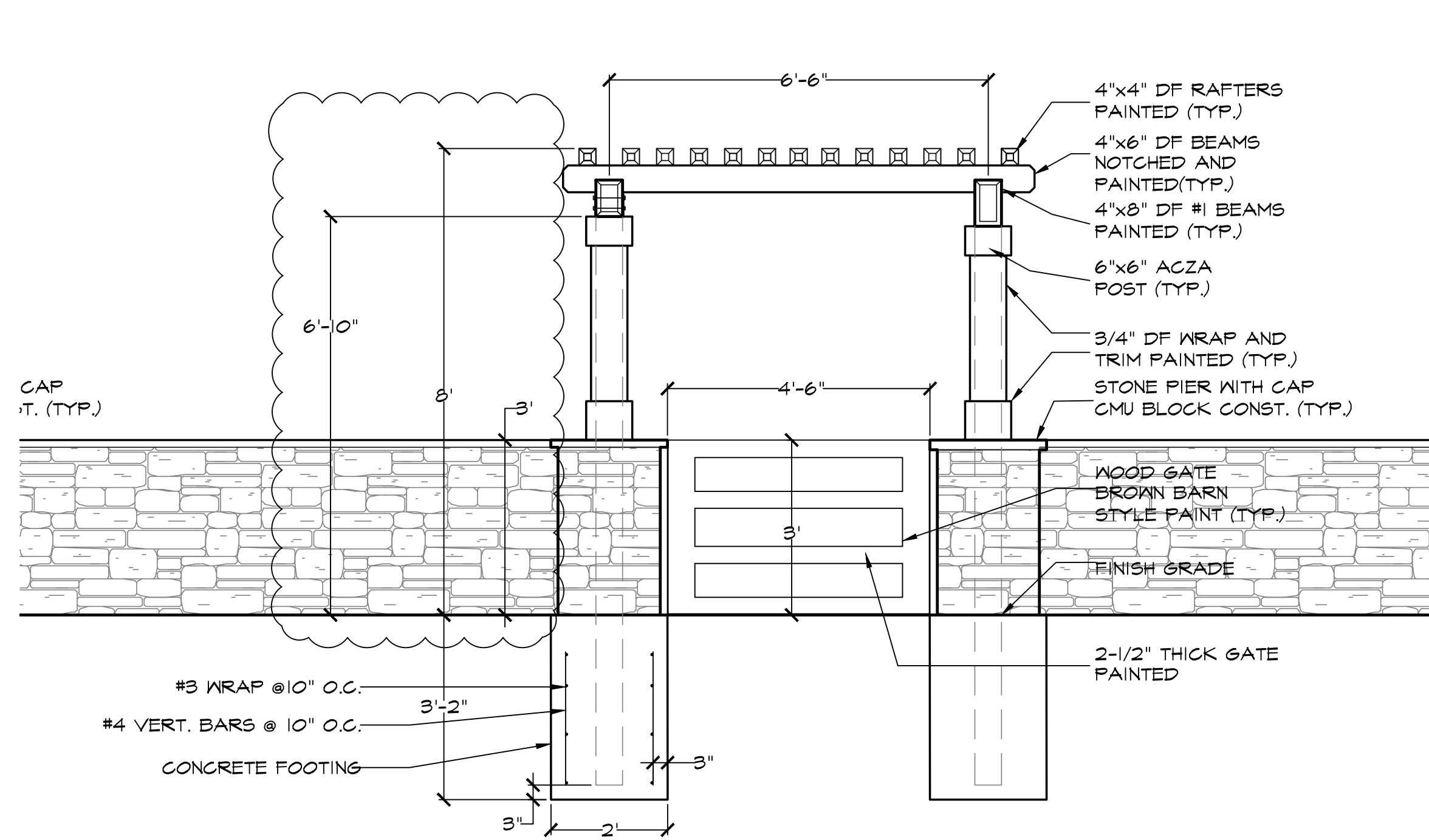
SINGLE FAMILY RESIDENCE  
124 GARDEN HILL DRIVE, LOS GATOS, CA

CONSTRUCTION DETAILS

DATE AUG / 2021  
DRAWN BY TK  
JOB GARDEN HILL  
TOWN OF LOS GATOS  
BUILDING DIVISION  
3  
OF SHEETS

PLAN REVIEW APPROVAL  
03.20.2022

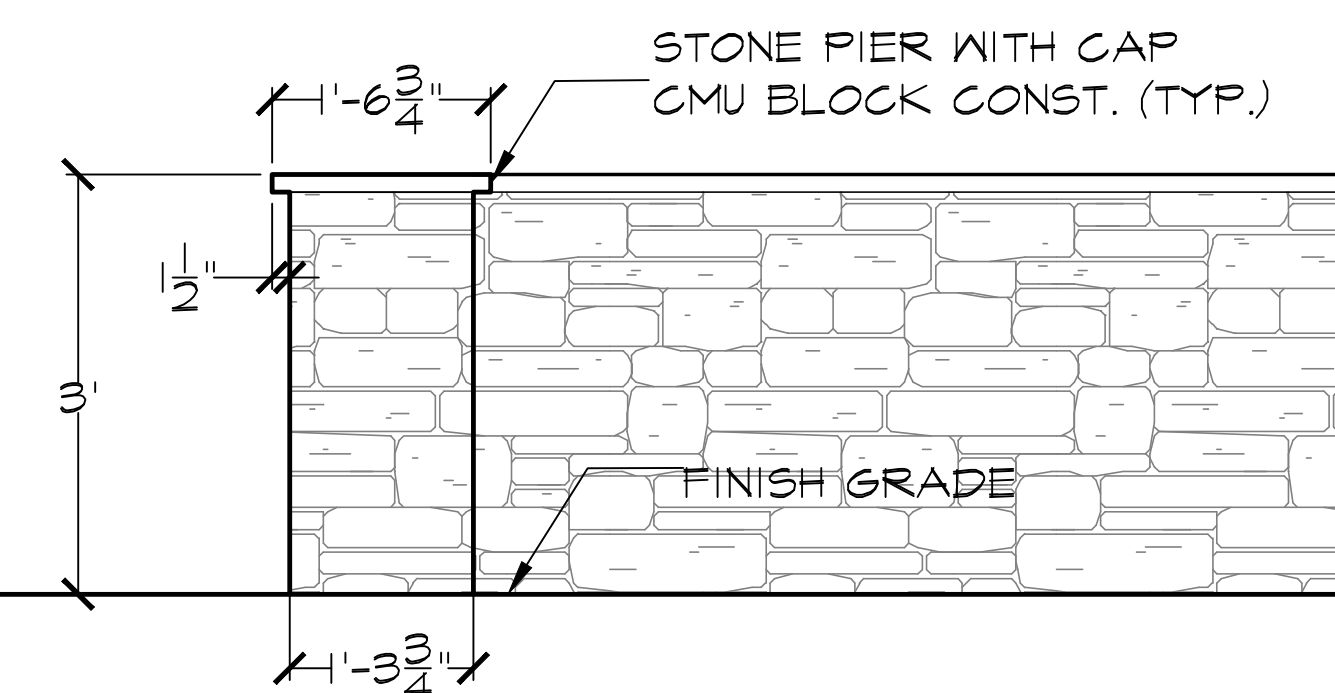
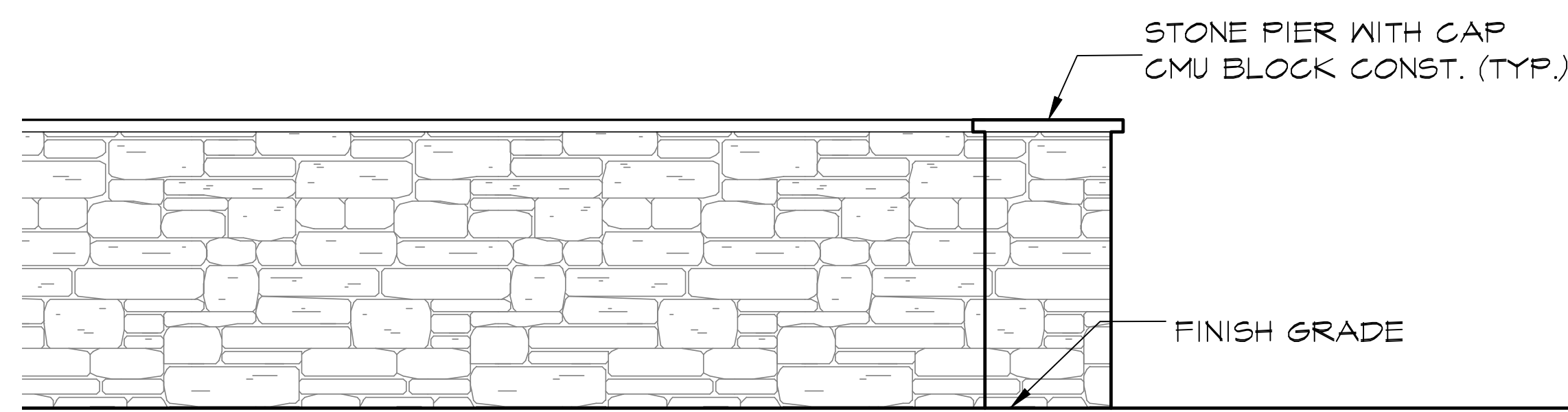




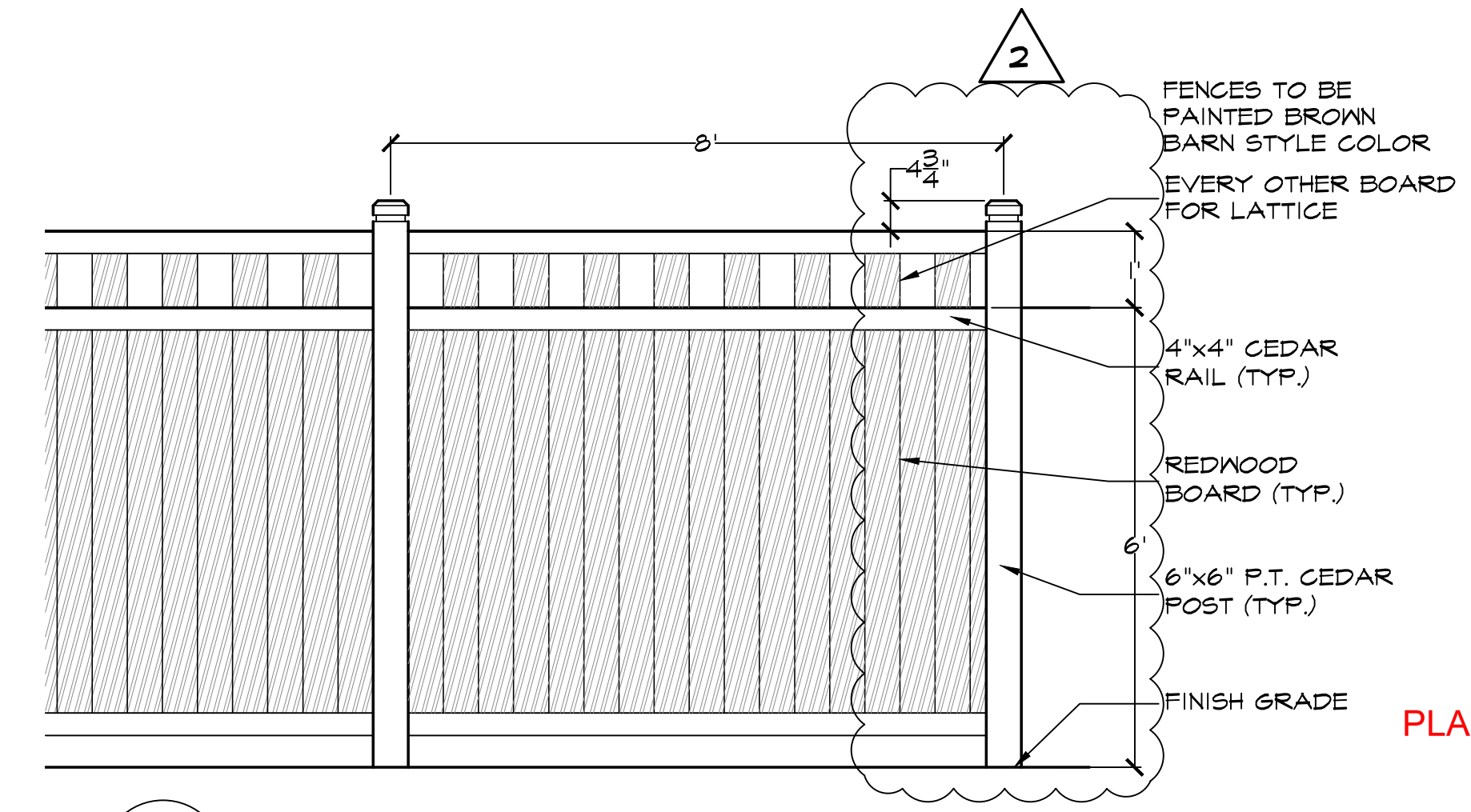
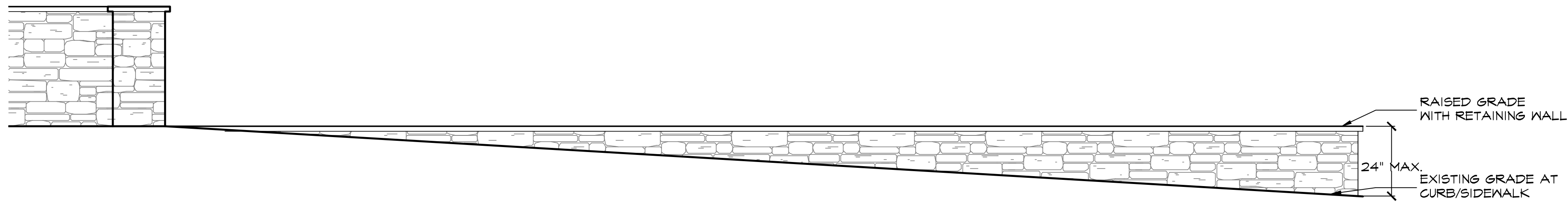
2 C L-4 SOUTH GARDEN WALL ENTRY ARBOR AND GATE SCALE: 1/2"=1'-0"

2 C L-4 SOUTH GARDEN WALL ENTRY ARBOR AND GATE SCALE: 1/2"=1'-0"

E L-4 EAST WALL SCALE: 1/2"=1'-0" 3



3 C L-4 SOUTH GARDEN WALL DRIVEWAY ENTRY PIERS SCALE: 1/2"=1'-0"

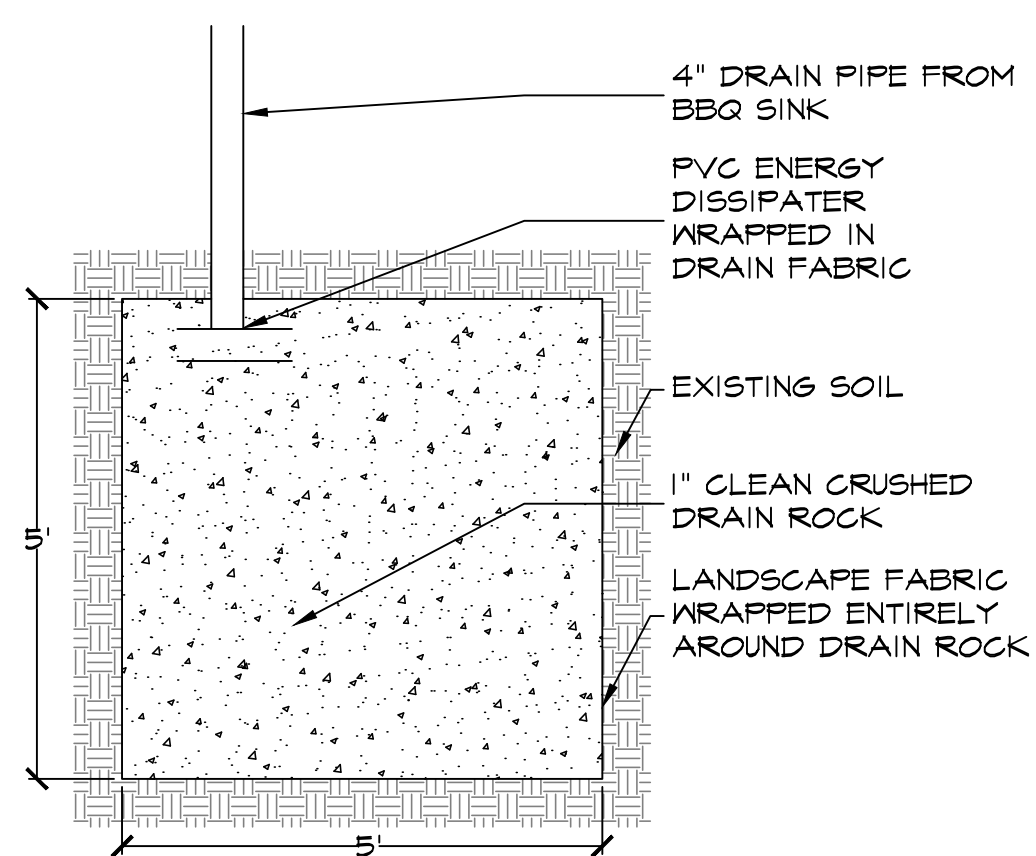


3 D L-4 CORNER WALL SCALE: 1/2"=1'-0"

F L-4 WEST AND NORTH FENCING SCALE: 1/2"=1'-0"

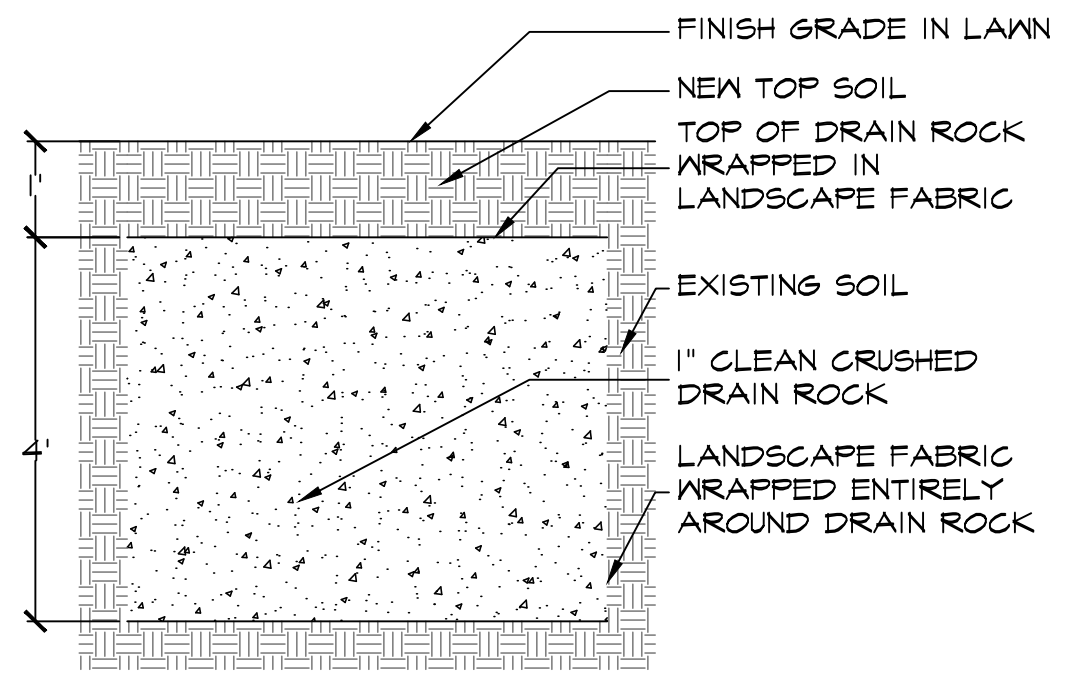
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H L-5 DRY WELL PLAN VIEW SCALE: 1/2"=1'-0"



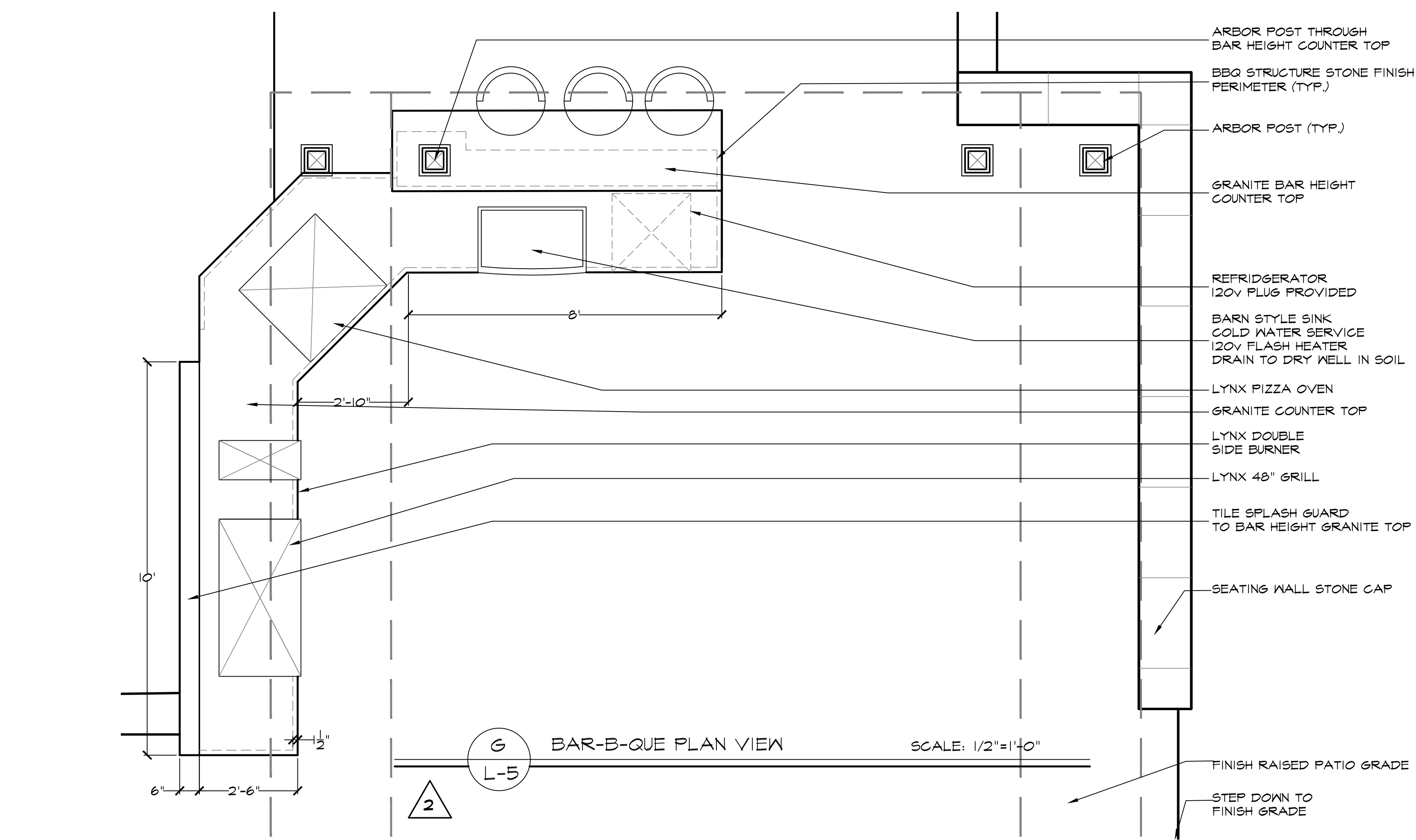
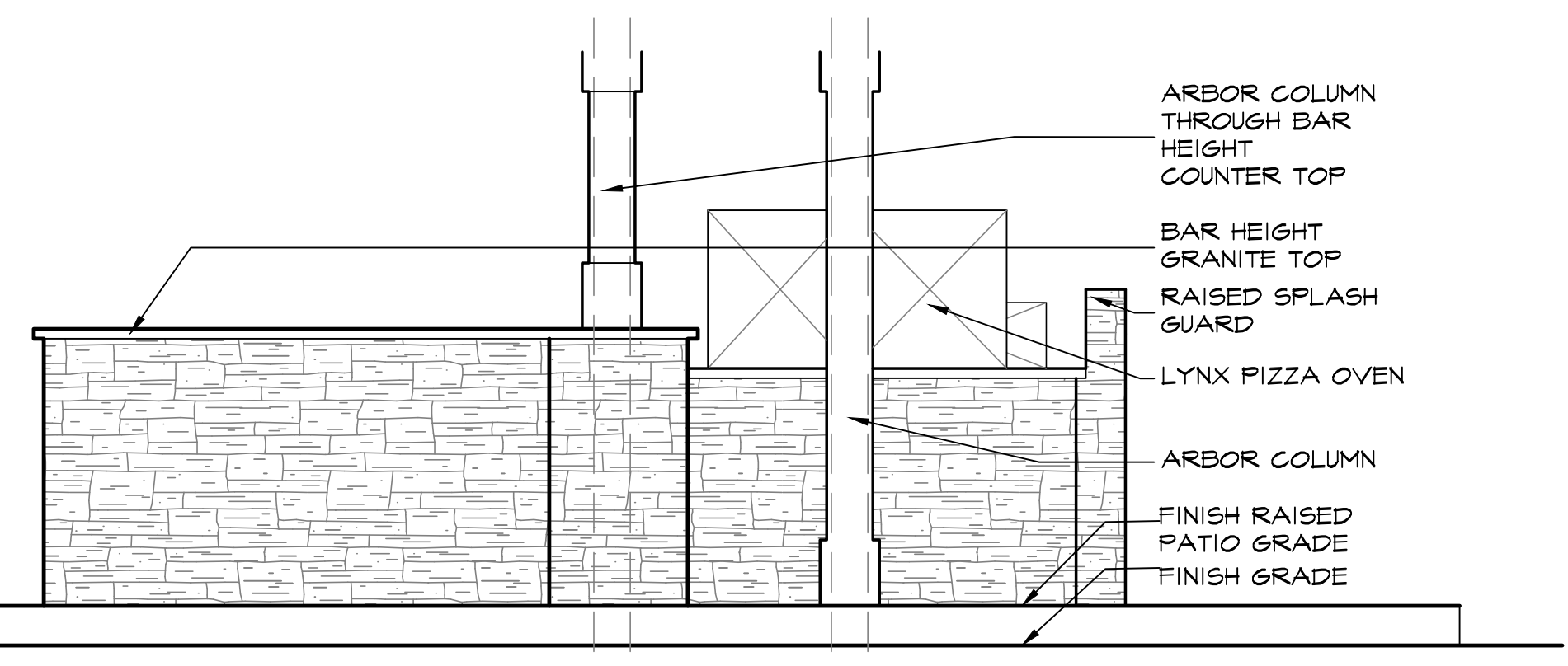
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H L-5 DRY WELL SECTION SCALE: 1/2"=1'-0"



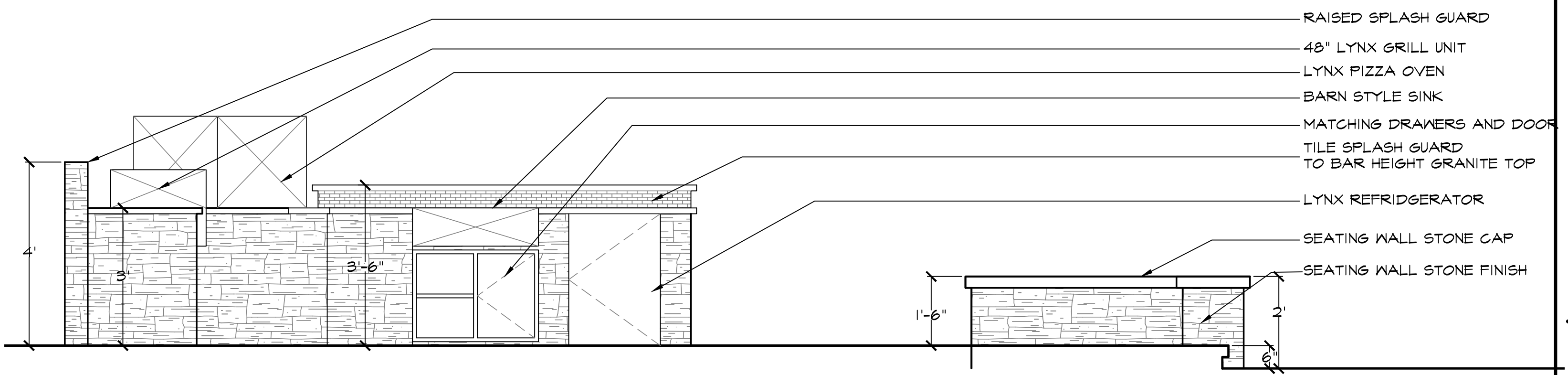
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G L-5 BAR-B-QUE BAR TOP ELEVATION SCALE: 1/2"=1'-0"



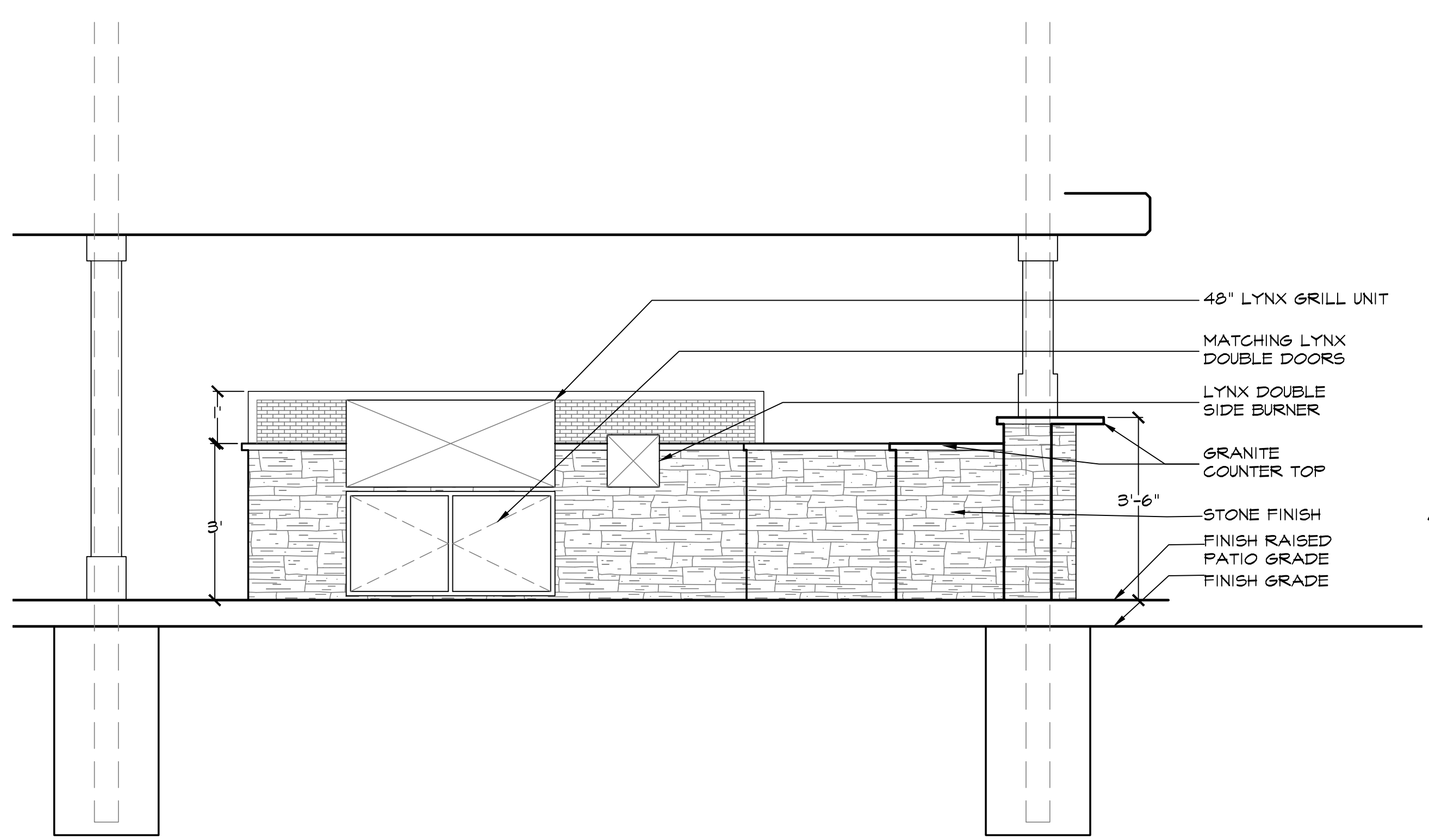
2

G L-5 BAR-B-QUE SINK ELEVATION SCALE: 1/2"=1'-0"



2

G L-5 BAR-B-QUE GRILL ELEVATION SCALE: 1/2"=1'-0"



OF SHEETS

TOWN OF LOS GATOS  
BUILDING DIVISION

JOB GARDEN HILL

DRAWN TK

DATE AUG / 2021

PLAN REVIEW APPROVAL

CONSTRUCTION DETAILS

SINGLE FAMILY RESIDENCE  
124 GARDEN HILL DRIVE, LOS GATOS, CA

TODD KALBFELD  
PROFESSIONAL  
LANDSCAPE DESIGNER

REVISIONS  
8/2/2021 BY TK

Todd Kalbfeld  
Landscape Design  
Landscape Design & Construction Management  
2845 TULIP ROAD, SAN JOSE, CA 95128  
(408) 605-9973

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**TOWN OF LOS GATOS  
CODE COMPLIANCE DIVISION**

August 4, 2023

Rushikesh Kulkarni and Ashwini Bhawe  
124 Garden Hill Drive  
Los Gatos, CA 95032

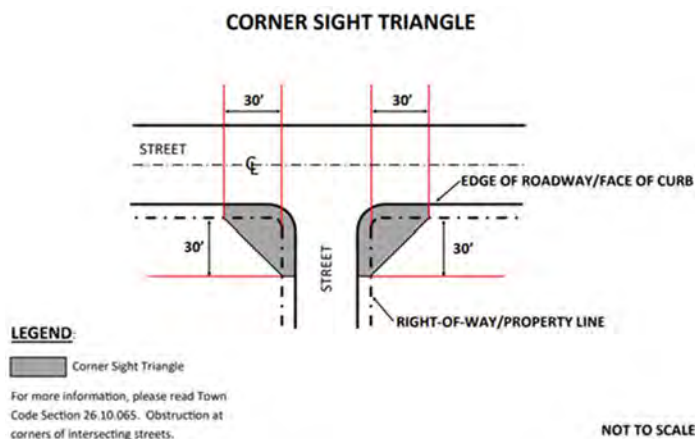
**Administrative Warning**

Re: Code violation at 124 Garden Hill Dr, Los Gatos

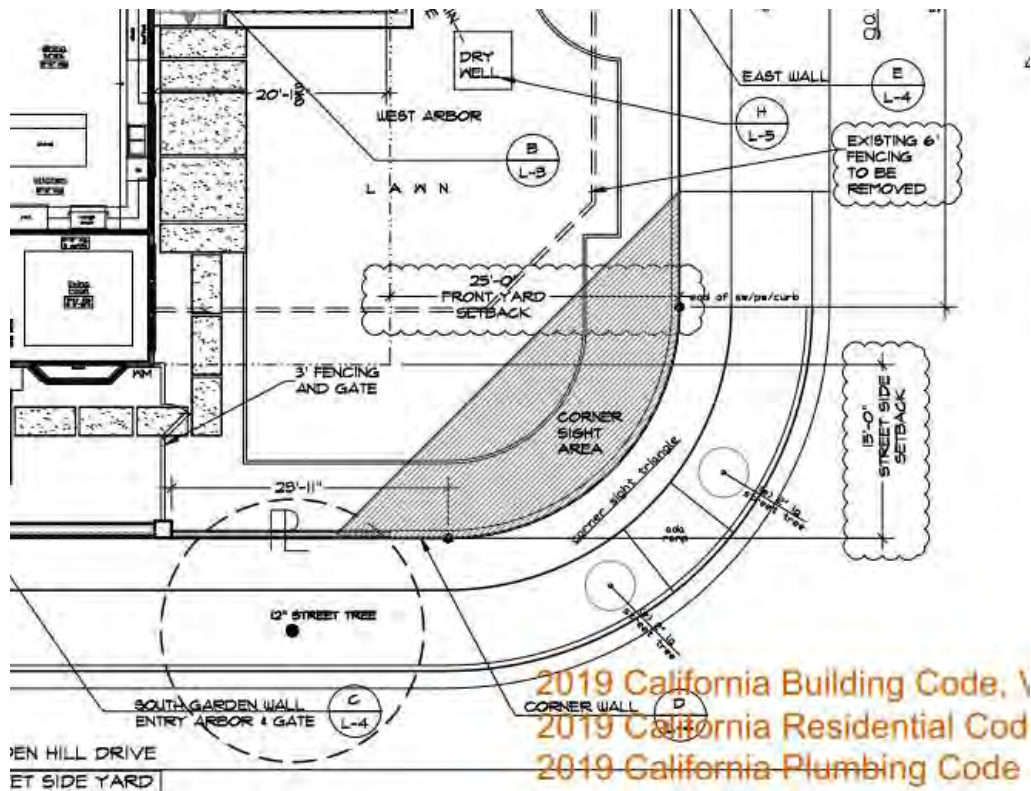
The Town of Los Gatos Community Development Department has received a concern regarding the above referenced property. The concern is regarding a sight distance issue with a six-foot-tall fence located on the corner of Garden Hill Drive. After consulting with the Town's traffic Engineer, it was determined that the fence height must be brought down to no taller than three (3) feet in height in the corner sight triangle area.

Pursuant to Town Code section 29.40.0315. - Height, materials and design, and location.

(3) Fences, walls, gates, and hedges may not exceed three (3) feet in height when located within a required front or side yard abutting a street (as required by the zone), driveway view area, traffic view area, or corner sight triangle unless an exception is granted by the Town Engineer and Community Development Director. Trees, hedges, and vegetation within a corner sight triangle shall meet the requirements of section 26.10.065.



Community Development Department • 110 E. Main Street 408.354.6872 • [www.losgatosca.gov](http://www.losgatosca.gov) • [www.facebook.com/losgatosca](https://www.facebook.com/losgatosca)



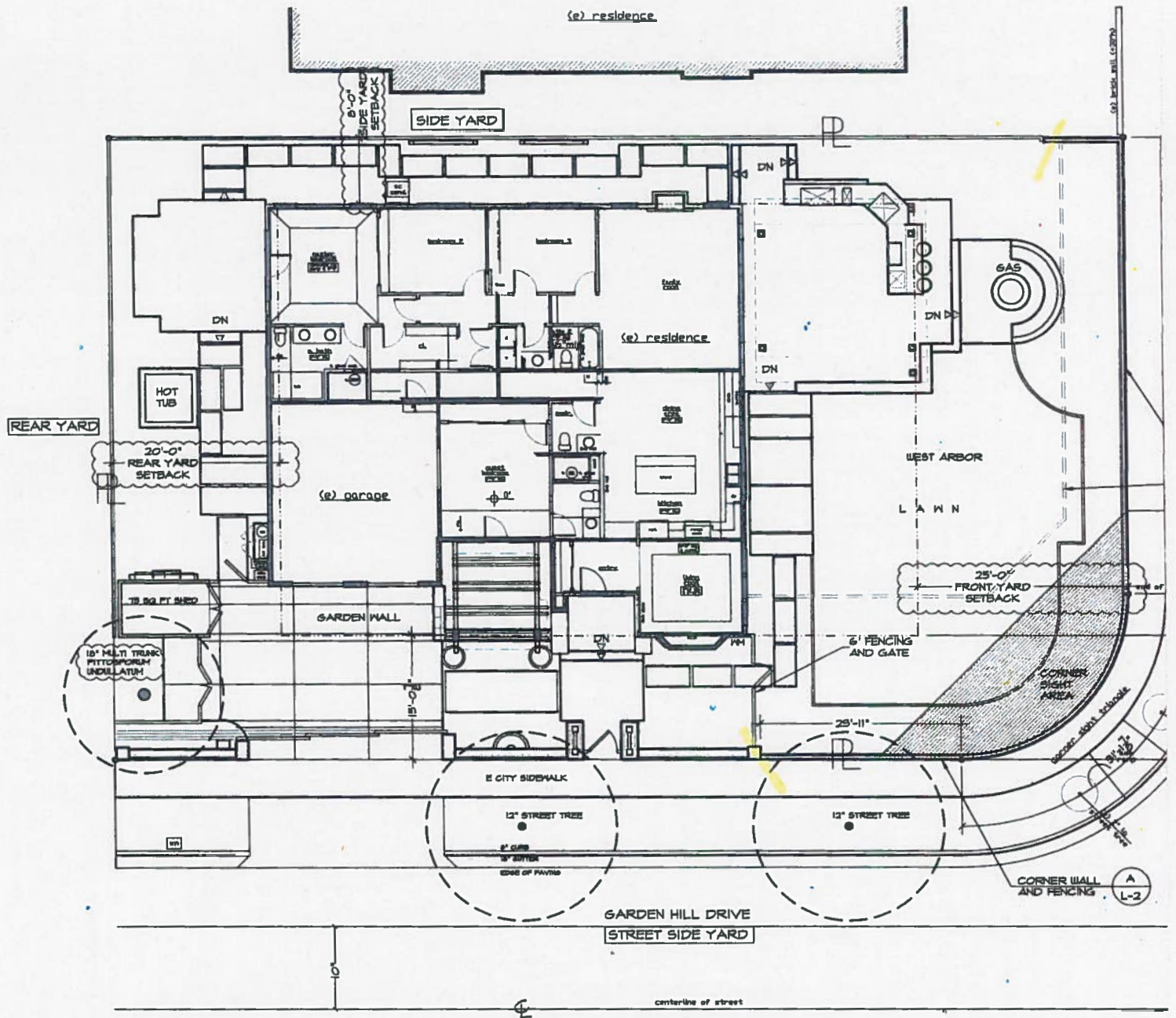
Building plan B21-1157 above indicates where the fence is to be three feet in height.

Accordingly, we are asking that the fence on the corner of Garden Hill Drive be maintained to a height no taller than three feet in height by **September 1, 2023**. I can be reached at ameyer@losgatosca.gov or 408-399-5746 if you should have any questions regarding this notice.

Respectfully yours,

*Allen Meyer*

Allen Meyer  
Code Compliance Officer  
Town of Los Gatos



# SCOPE OF WORK

A. NEW 6' FENCE

## SHEET INDEX

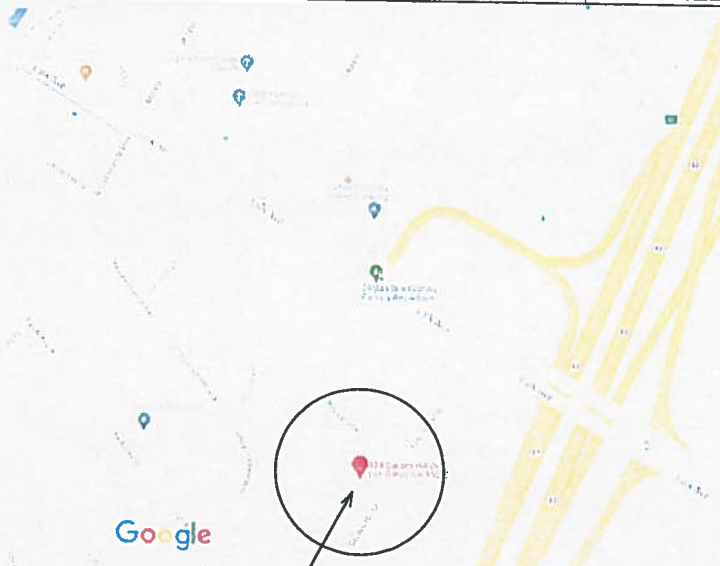
L-1 SITE PLAN

L-2 NEW FENCE DETAILS

DETAIL A & B

## VICINITY MAP

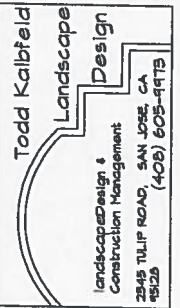
A.P.N.# 42423084



SITE



NORTH



REVISIONS BY

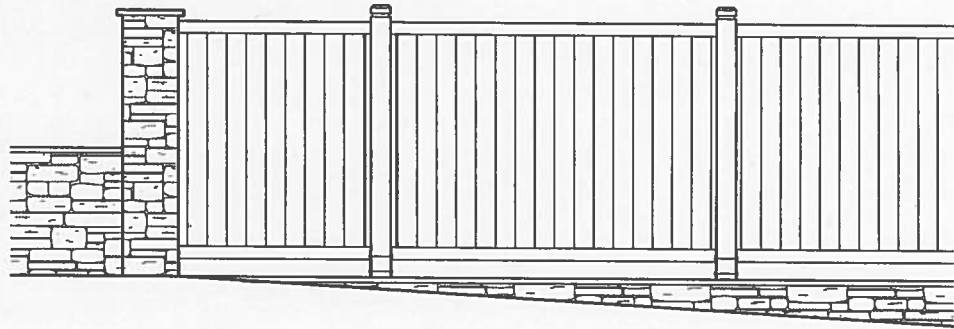


SINGLE FAMILY RESIDENCE  
124 GARDEN HILL DRIVE, LOS GATOS, CA

SITE PLAN

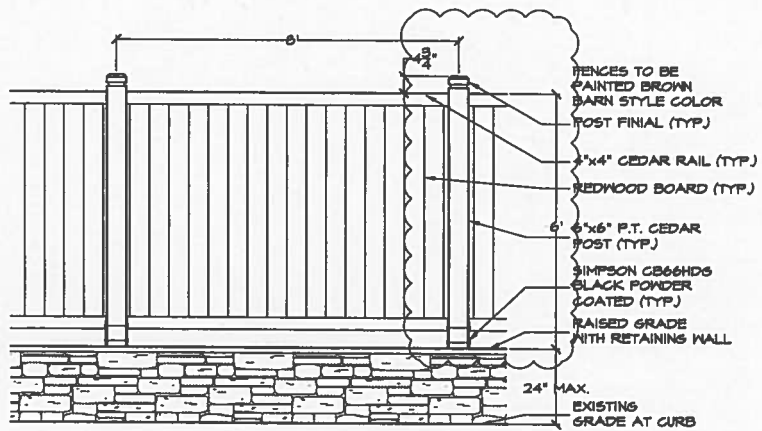
DATE AUG / 2021  
SCALE 1/8"=1'-0"  
DRAWN TK  
JOB GARDEN HILL  
SHEET L-1  
OF SHEETS





A  
L-2

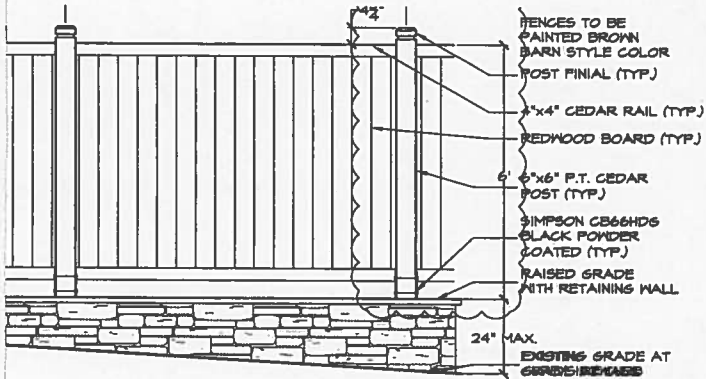
CORNER WALL AND FENCING



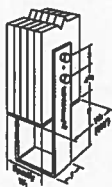
B  
L-2

EAST FENCING

SCALE: 1/2"=1'-0"



SCALE: 1/2"=1'-0"



-  
 L-2  
 SIMPSON CB66 POST BASE (TYP.) SCALE: N.T.S.

Todd Kalbfeld  
 Landscape  
 Design  
 landscape design &  
 Construction Management  
 2845 TULIP ROAD, SAN JOSE, CA  
 95128 (408) 605-9979

REVISIONS BY

TODD KALBFELD  
 PROFESSIONAL  
 LANDSCAPE DESIGNER

SINGLE FAMILY RESIDENCE  
 124 GARDEN HILL DRIVE, LOS GATOS, CA

CONSTRUCTION DETAILS

DATE AUG / 2021  
 SCALE AS SHOWN  
 DRAWN TK  
 JOB GARDEN HILL  
 SHEET L-2  
 OF SHEETS

455 Los Gatos Blvd., Suite 101  
Los Gatos, California 95032  
Telephone: (408) 395-3100  
Facsimile: (408) 395-3120

August 28, 2023

Community Development Department  
Town of Los Gatos  
110 E. Main St.  
Los Gatos, CA 95030

Attn: Sean Mullin

Re: 124 Garden Hill Drive, Los Gatos  
APN: 42423084

Dear Mr. Mullin:

I represent Rushikesh Kulkarni, owner of the above-referenced property.

This letter shall serve as my "letter of justification" in support of my client's request for an exception to the traffic triangle 3-foot fence rule which has been applied, I believe erroneously, to his property. My client would like to install 6-foot fences around the open area on the side of his house, which is the only area which serves as a back yard for his family due to the placement of his home on the lot.

First, the property is not located on an intersection. The traffic triangle rule was developed to allow cars to have adequate visibility when approaching an intersection. Mr. Kulkarni's property is simply on a loop of the road. There is no place where a car would approach his property where there would not be adequate visibility, nor are there any safety concerns for pedestrians.

Section 29.40.0320 states:

On interior lots, side yard and rear yard fences, walls, gates, gateways, entry arbors, or hedges, behind the front yard setback, may be a maximum of eight (8) feet high provided the property owner can provide written justification that either:

(1) A special privacy concern exists that cannot be practically addressed by additional landscaping or tree screening; or

(2) A special wildlife/animal problem affects the property that cannot be practically addressed through alternatives. Documented instances of wildlife grazing on gardens or ornamental landscaping may be an example of such a problem.

.....

(d) A special security concern exists that cannot be practically addressed through alternatives.

(e) As previously stated, this is the only area on my client's property that can function as a backyard. This creates a special privacy concern that cannot be practically addressed by additional landscaping or tree screening.

My client has video footage of a coyote walking down his street. This is a special wildlife concern that cannot be addressed through alternatives. It is also a special security concern given the fact that my client has 3 young children who have no place to play outside but in that area. We see no alternative ways to address the safety of my client's children other than to have a tall fence to keep the children in and the coyotes out.

The "backyard" of my client's property was designed for entertaining for large parties, family, friends and business personnel. With a three-foot wall, there is no privacy and installing a 6-foot barrier, 15 feet back from the 3-foot fences substantially decreases the usefulness of the backyard.

There is also a major safety issue for the small children that live here. On many occasions there have been coyote sightings with coyotes walking along the street. The fence at 3 feet high is not workable to avoid the threat from the coyotes.

As can be seen from the attached photographs, there is not an actual intersection at the turn in the road. Pictures were taken from Geern Hill Dr. and Farm Hill Drive and there is no safety issue even with the construction fencing which was placed on the property line.

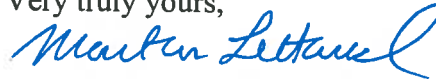
There are also photos going around the curve on Garden Hill Drive which show more than sufficient visibility to allay any safety concerns for pedestrians or cars.

There is little doubt that an exception is appropriate for 124 Garden Hill Dr. An exception should therefore be granted for this property.

The intent of the code was a safety concern primarily at intersecting streets. In the configuration of the streets in this instance, there is clear visibility for cars, pedestrians and therefore there is no need to enforce the traffic triangle.

My client has contacted his neighbors regarding this situation. They indicated that they had no concerns regarding visibility or safety on the street, but that they felt uncomfortable that they had an unfettered view into his private backyard.

Very truly yours,



MARTIN N. LETTUNICH



455 Los Gatos Blvd., Suite 101  
Los Gatos, California 95032  
Telephone: (408) 395-3100  
Facsimile: (408) 395-3120

September 13, 2023

Community Development Department  
Town of Los Gatos  
110 E. Main St.  
Los Gatos, CA 95030

Attn: Sean Mullin

Re: 124 Garden Hill Drive, Los Gatos  
APN: 42423084

Dear Mr. Mullin:

As you know, I represent Rushikesh Kulkarni, owner of the above-referenced property.

I recently submitted my client's "letter of justification" in support of his request for an exception. My client has requested that I provide you with a supplement to that letter to include in your review of his situation the following information.

My client is of East Indian descent. He belongs to a religion which places special importance on the sun and its east west passage through the sky. According to the tenants of his religion, he is to hold prayer sessions on the east side of his yard. He has tried to do so, but, prior to erecting the bamboo fence, the neighbors would stop and watch his private prayer sessions with his family. The lack of privacy with the short fence made it very difficult and uncomfortable for my client and his family to practice their faith.

Please advise if emailing this letter to you is sufficient to have this information included in his request for a fence height exception, or if we need to submit it in some other way.

Thank you for your assistance.

Very truly yours,



MARTIN N. LETTUNICH

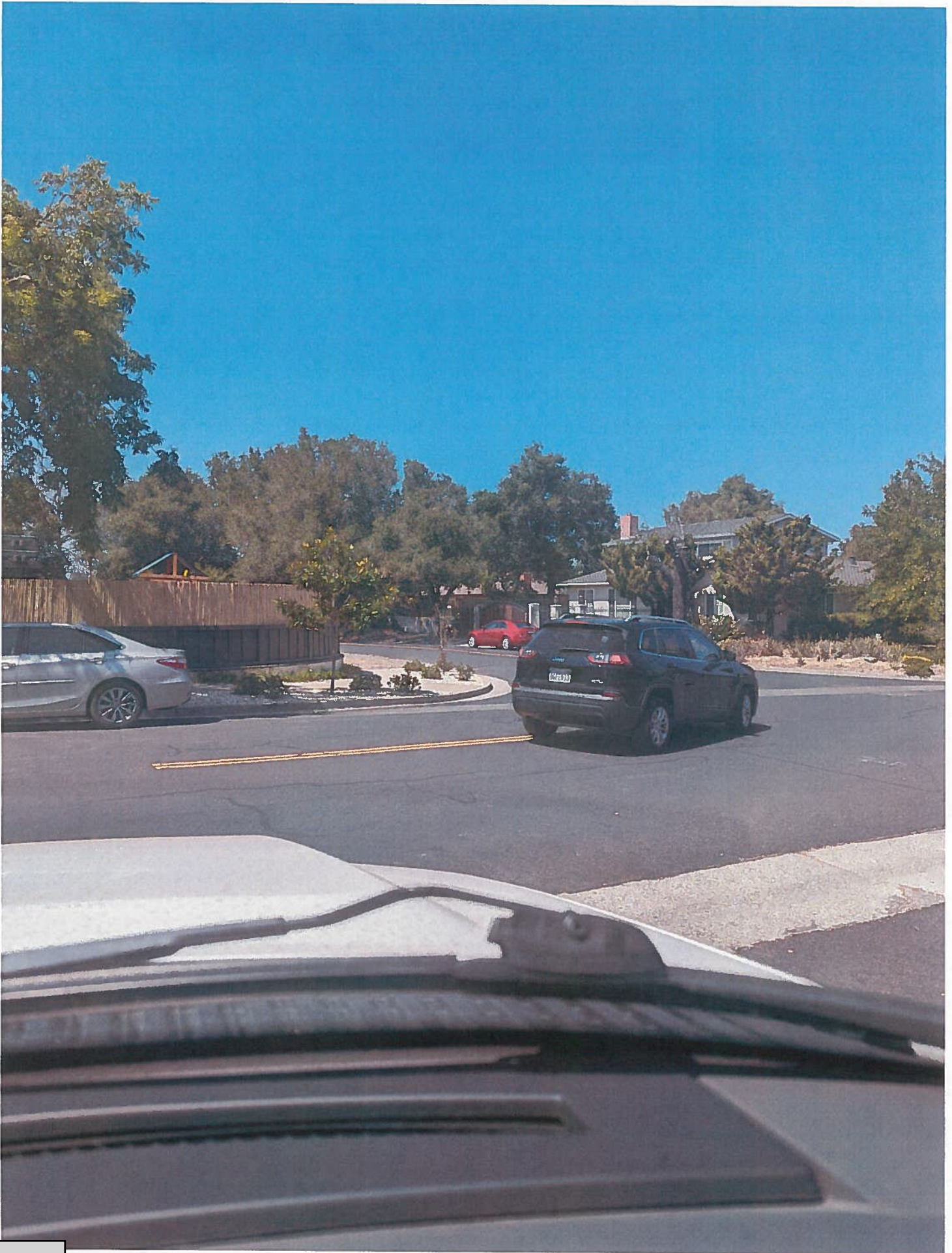














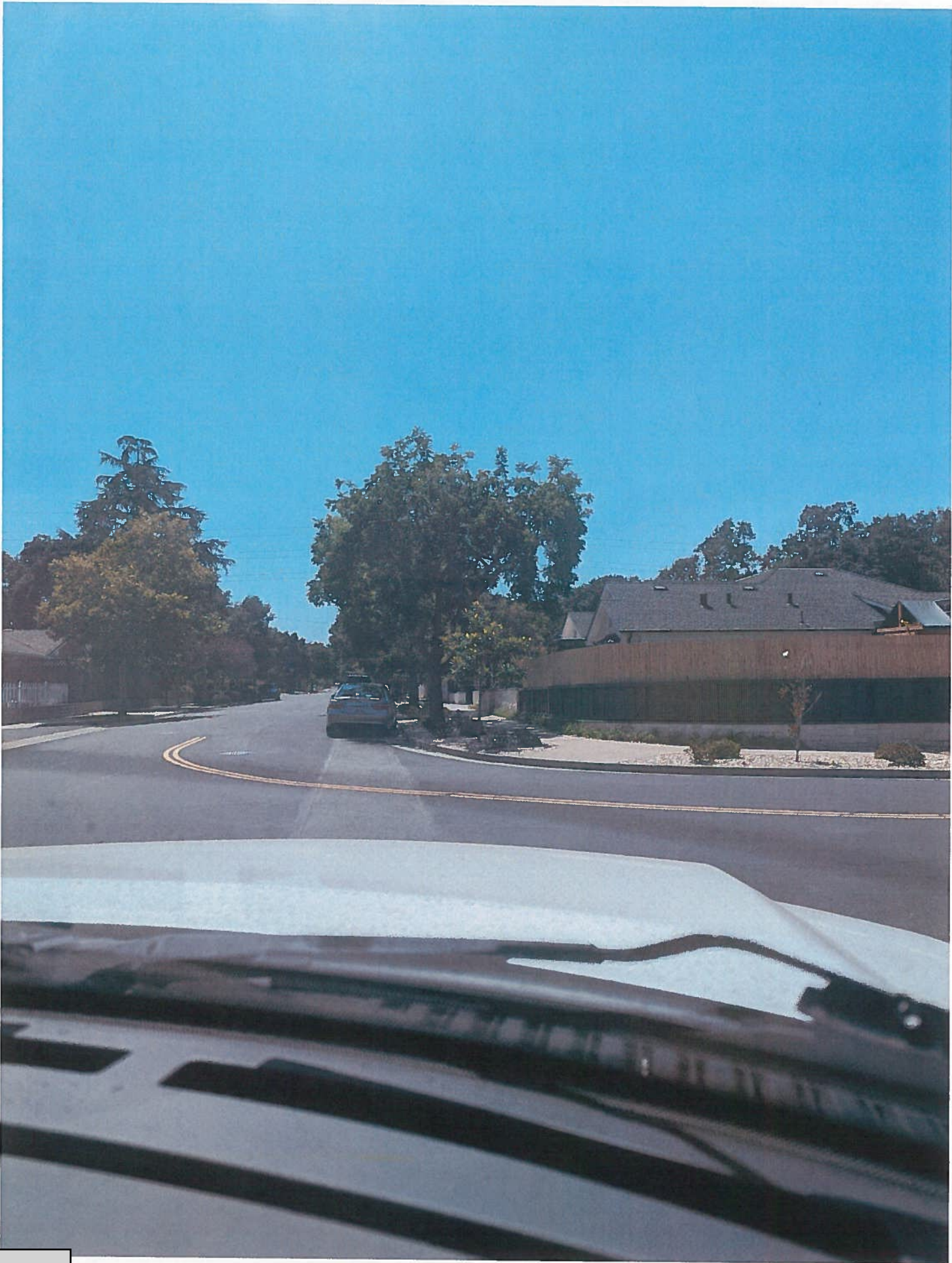


From Garden Hill  
Construction Time









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## TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT  
PLANNING DIVISION  
(408) 354-6872 Fax (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
LOS GATOS, CA 95030

September 27, 2023

Martin Lettunich  
455 Los Gatos Blvd, Suite 101  
Los Gatos, CA 95032

**RE: 124 Garden Hill Drive**  
Fence Height Exception (FHE-23-005)

Requesting Approval for an Exception to Construct a Six (6) Foot Tall Fence Within the Required Front Yard Setback, Street-Side Yard Setback, and Corner Site Triangle on Property Zoned R-1:8. APN 424-23-084.

APPLICANT: Martin Lettunich

PROPERTY OWNER: Rushikesh Kulkarni

The Los Gatos Community Development Department and the Town Engineer of the Parks and Public Works Department have reviewed the referenced application for a fence height exception pursuant to Section 29.40.0320. On September 27, 2023, the Los Gatos Community Development Department and Town Engineer have **denied** the request as the required findings could not be made. Additionally, the Town Engineer could not support the exception to the corner sight triangle per Town Code Section 26.10.065 – Obstructions at corners of intersecting streets.

PLEASE NOTE: Pursuant to Section 29.20.255 of the Town Code, this decision may be appealed to the Planning Commission within 10 days of the denial date. Any interested person may appeal this decision to the Planning Commission. Appeals, with the completed Appeal Form and appeal fee payment, must be submitted within 10 days from the date of denial, or by 4:00 p.m., October 9, 2023.

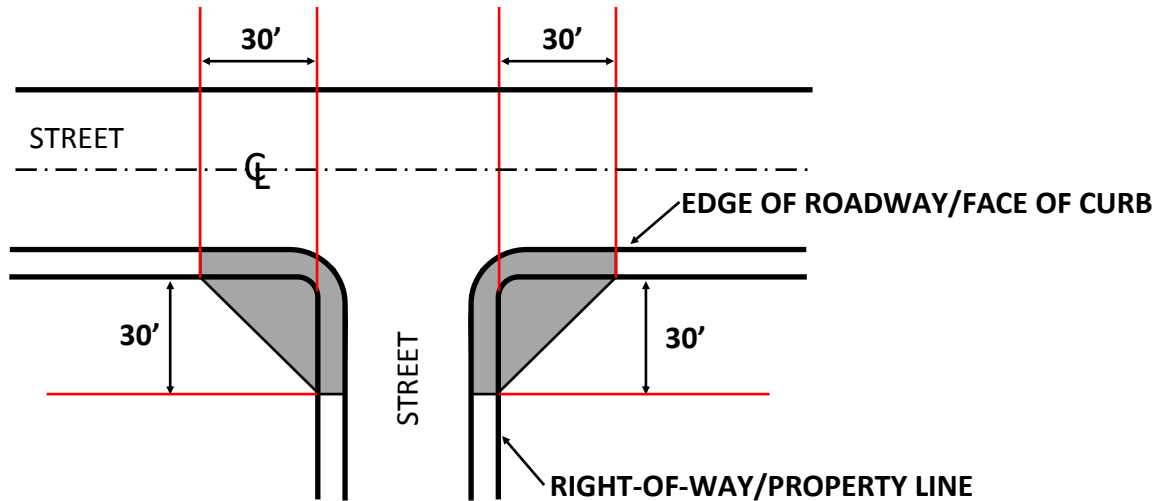
If you have any questions concerning this decision, please contact Project Planner Ryan Safty at (408) 354-6802 or via email at [RSafty@losgatosca.gov](mailto:RSafty@losgatosca.gov).

Sincerely,


Ryan Safty  
Associate Planner

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# CORNER SIGHT TRIANGLE

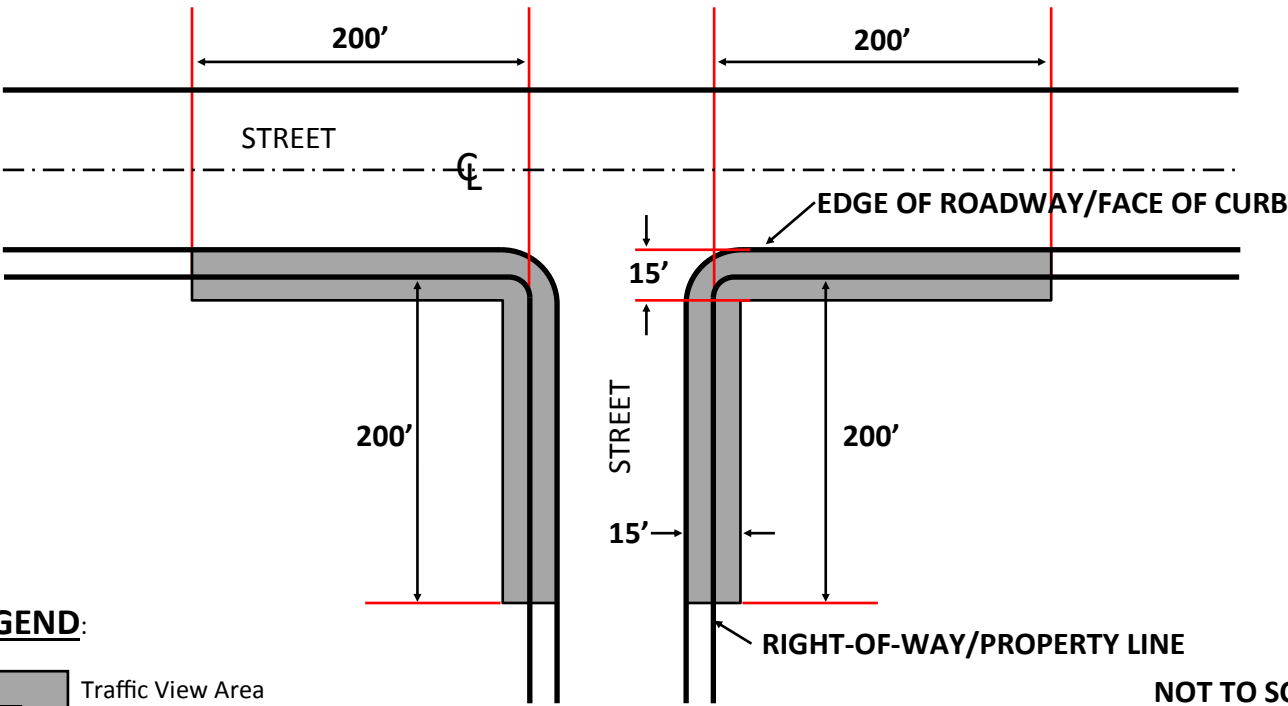


## LEGEND:

 Corner Sight Triangle

NOT TO SCALE

# TRAFFIC VIEW AREA

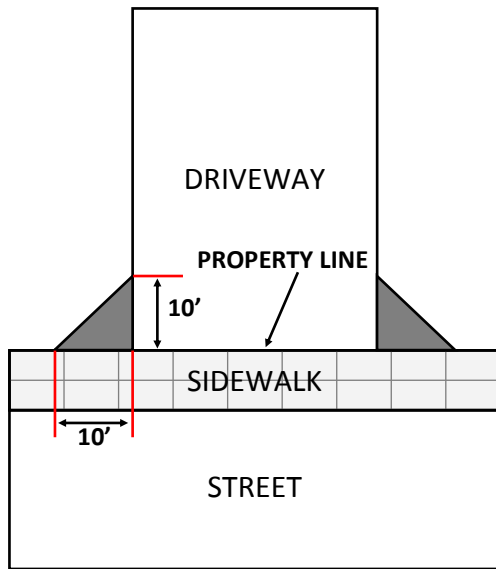


## LEGEND:

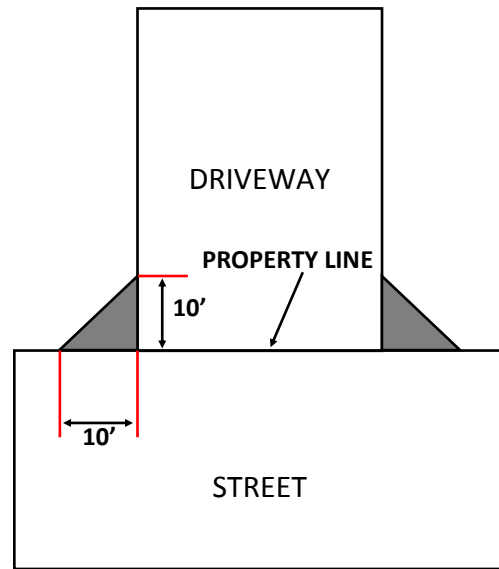
 Traffic View Area

NOT TO SCALE

## DRIVEWAY VIEW AREA



**Sidewalk Example**



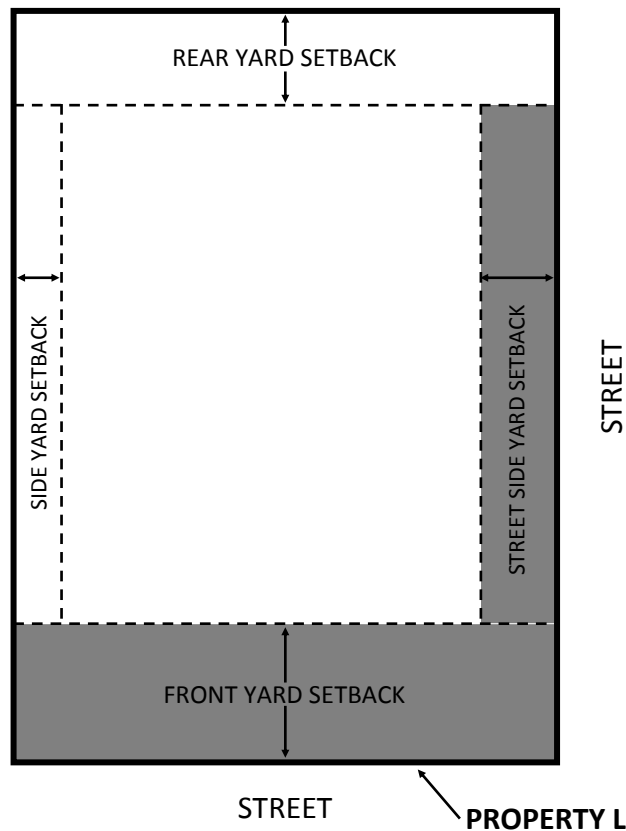
**No Sidewalk Example**

### LEGEND:


 Driveway View Area

NOT TO SCALE

## FRONT AND STREET SIDE YARD AREA



### LEGEND:

 Front and Street Side Yard Area

NOT TO SCALE



**TOWN OF LOS GATOS**  
**COMMUNITY DEVELOPMENT DEPARTMENT**  
 110 E. Main Street  
 Los Gatos, CA 95030

BP39016

**PAID**

OCT 05 2023

TOWN OF LOS GATOS

**APPEAL OF THE DECISION OF**  
**DIRECTOR OF COMMUNITY DEVELOPMENT**

**PLEASE TYPE or PRINT NEATLY**

I, the undersigned, do hereby appeal a decision of the DIRECTOR OF COMMUNITY DEVELOPMENT as follows:

DATE OF DECISION: September 27, 2023

PROJECT/APPLICATION: Fence Height Exception (FHE-23-005)

LOCATION: 124 Garden Hill Dr., Los Gatos, CA

Pursuant to the Town Code, any interested person as defined in Section 29.10.020 may appeal to the Planning Commission any decision of the Director.

*Interested person means:*

1. *Residential projects.* Any person or persons or entity or entities who own property or reside within 1,000 feet of a property for which a decision has been rendered, and can demonstrate that their property will be injured by the decision.
2. *Non-residential and mixed-use projects.* Any person or persons or entity or entities who can demonstrate that their property will be injured by the decision.

**LIST REASONS WHY THE APPEAL SHOULD BE GRANTED:**

The proposed fence placement would not, in this location, impair the visibility of drivers. My client is of East Indian descent. His religion requires him to hold prayer session on the eastern most part of his property. The proposed fencing provides the privacy needed to practice his religion without comments from the neighbors. It also keeps his small children safe from coyotes and traffic.

**IMPORTANT:**

1. Appeal must be filed not more than ten (10) days after the decision is rendered by the Director of Community Development. If the tenth (10<sup>th</sup>) day is a Saturday, Sunday, or Town holiday, then the appeal may be filed on the workday immediately following the tenth (10<sup>th</sup>) day. Appeals are due by 4:00 P.M.
2. The appeal shall be set for the first regular meeting of the Planning Commission which the business of the Planning Commission will permit, more than five (5) days after the date of the filing of the appeal. The Planning Commission may hear the matter anew and render a new decision in the matter.
3. You will be notified, in writing, of the appeal date.
4. Contact the project planner to determine what material is required to be submitted for the public hearing.

**RETURN APPEAL FORM TO COMMUNITY DEVELOPMENT DEPARTMENT**

PRINT NAME: Martin Lettunich

SIGNATURE: *Martin Lettunich*

DATE: 10-4-23

ADDRESS: 455 Los Gatos Blvd., #101, Los Gatos, CA 95032

\*\*\*\*\*

**OFFICE USE ONLY**

DATE OF PLANNING COMMISSION HEARING: \_\_\_\_\_

COMMISSION ACTION: 1. \_\_\_\_\_  
 2. \_\_\_\_\_  
 3. \_\_\_\_\_

DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 DATE: \_\_\_\_\_

PLAPPEAL \$ 255.00 Residential  
 PLAPPEAL \$ 1016.00 Commercial  
 PLAPPEAL \$ 103.00 Tree Appeals

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Corner Sight Triangle

Non-permitted 6' tall fencing within the front yard setback, street-side setback, and corner sight triangle

Street-side Property Line

Front Property Line

Approved, 3' high compliant fence/wall



























