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EXISTING

PROPOSED

PROPERTY LINE / BOUNDARY

RIGHT OF WAY

CENTERLINE

FACE OF CURB

SIDEWALK/MULTIUSE PATH

IRREVOCABLE OFFER OF DEDICATION

ROAD STRIPING

HANDICAP SPACE STRIPING

SANITARY SEWER & MANHOLE

STORM DRAIN & INLET

STORM MANHOLE

WATER LINE

WATER TRANSMISSION LINE

JOINT TRENCH (E-ELECTRIC, G-GAS, T-TELEPHONE, C-CABLE)

GRADING LIMITS

ELECTRIC TRANSFORMER

FIRE HYDRANT

EASEMENT LINE SEE CALL OUTS FOR TYPE

CALTRANS ACCESS PROHIBITED

EXISTING CONTOUR

EXISTING TREE/BRUSH

EXISTING SPOT ELEVATION

PROTECTED TREE WITH THE POTENTIAL TO BE PRESERVED TO THE EXTENT FEASIBLE DURING FINAL DESIGN

TREE PROTECTIVE FENCING

NON PROTECTED TREE WITH THE POTENTIAL TO BE PRESERVED TO THE EXTENT FEASIBLE DURING FINAL DESIGN

TREE TO BE REMOVED

PROPOSED LIGHTING

DRAINAGE MANAGEMENT AREA

INLET PROTECTION

STRAW WATTLES

TEMPORARY BARRIER FENCE

OVERLAND RELEASE

GRAVEL CONSTRUCTION ENTRANCE/EXIT

DRAINAGE ROUTE

RETAINING OR BASEMENT WALLS PER HEIGHTS/GRADE SHOWN

SECTION PER LOCATIONS SHOWN

VESTING TENTATIVE MAP

FOR CONDOMINIUM PURPOSES

LOS GATOS NORTH 40 PHASE II

79 LOTS 450 RESIDENTIAL UNITS 20,000± SF COMMERCIAL
LOS GATOS, CALIFORNIA

GENERAL NOTES:

1. PROPERTY OWNER:

YUKI FARMIS
ETPH LP
GROSVENOR USA LIMITED

2. APPLICANT/DEVELOPER:

DEVELOPER: GROSVENOR
CONTACT: WHITNEY CHRISTOPOULOS
ONE CALIFORNIA ST. # 2500
SAN FRANCISCO, CA 94111
PHONE: (415) 268-4077
E:WHITNEY.CHRISTOPOULOS@GROSVENOR.COM

3. CIVIL ENGINEER:

CONTACT: MACKAY & SOMPS CIVIL ENGINEERS, INC.
JACQUELYN BAYS
5142 FRANKLIN DR., SUITE B
PLEASANTON, CA 94588
PHONE: (925) 225-0860
E:JBAYS@MSCE.COM

4. ASSESSOR'S PARCEL NUMBER:

424-07-009, 424-07-052, 424-07-053, 424-07-081,
424-07-094, 424-07-095, 424-07-115, 424-07-116

5. EXISTING USE:

AGRICULTURAL / RESIDENTIAL

6. PROPOSED USE:

RESIDENTIAL & NON RESIDENTIAL USES PER
NORTH 40 SPECIFIC PLAN

7. EXISTING ZONING:

NORTH 40 SPECIFIC PLAN

8. PROPOSED ZONING:

PER NORTH 40 SPECIFIC PLAN

9. SITE AREA:

15.67 ACRES ± (GROSS)

10. TOTAL NUMBER OF PROPOSED UNITS:

TOTAL NUMBER OF LOTS: 71
TOTAL RESIDENTIAL UNITS: 450
COMMERCIAL CONDO SPACE: 20,000± SF

11. WATER SUPPLY:

SAN JOSE WATER COMPANY

12. SANITARY SEWER DISPOSAL:

WEST VALLEY SANITARY
DISTRICT

13. GAS AND ELECTRIC:

PACIFIC GAS & ELECTRIC

14. STORM DRAIN:

TOWN OF LOS GATOS

15. TELEPHONE:

AT&T

16. CABLE:

COMCAST

17. FIRE PROTECTION:

SANTA CLARA COUNTY FIRE
DEPARTMENT

18. AREA SUBJECT TO INUNDATION:

NONE

19. ALL STREETS AND ALLEYS EXCEPT LOS GATOS BLVD. TO BE PRIVATE & MAINTAINED BY HOA. STREETS AND ALLEYS TO BE DESIGNED PER NORTH 40 SPECIFIC PLAN AND TOWN STANDARDS OR AS OTHERWISE SHOWN ON THIS MAP. SPECIFIC PLAN TO PREVAIL WHEN DIFFERENT.

20. STORM WATER QUALITY IMPROVEMENTS AND HYDROMODIFICATION SHALL BE DESIGNED PER BAY AREA MUNICIPAL REGIONAL PERMIT AND SCVURPPP HANDBOOK.

21. ALL EXISTING STRUCTURES TO BE REMOVED.

22. ALL EXISTING SEPTIC SYSTEMS, LEACH FIELDS AND WATER WELLS TO BE ABANDONED PER COUNTY REQUIREMENTS.

23. ALL EXISTING OVERHEAD UTILITIES TO BE REMOVED OR UNDERGROUNDED.

24. EXISTING SAN JOSE WATER COMPANY TRANSMISSION PIPE TO BE REMOVED OR ABANDONED PER S.JWC REQUIREMENTS.

25. THE PROJECT IS EXPECTED TO BE PHASED. MULTIPLE FINAL MAPS MAY BE FILED ON THE PROPERTY SHOWN ON THIS VESTING TENTATIVE MAP IN ACCORDANCE WITH ARTICLE 4, SECTION 66456.1 OF THE SUBDIVISION MAP ACT.

26. UTILITY IMPROVEMENTS SHALL BE OWNED & MAINTAINED BY THE FOLLOWING.

WATER: SAN JOSE WATER COMPANY
SEWER: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY WEST VALLEY SANITATION DISTRICT
STORM DRAIN: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY TOWN OF LOS GATOS

ABBREVIATIONS

AB	AGGREGATE BASE	FL	FIRE HYDRANT	SD	STORM DRAIN
AC	ASPHALT CONCRETE	FL	FLOW LINE	SDMH	STORM DRAIN MANHOLE
BN	BOTTOM OF WALL	FUT	FUTURE	SF	SQUARE FEET
BO	BLOW OFF VALVE	GL	GARAGE LIP	SHT	SHEET
BT	BEGIN CURB TRANSITION	GB	GRADE BREAK	SS	SANITARY SEWER
BVC	BEGIN VERTICAL CURVE	GR	GRATE	SSE	SANITARY SEWER EASEMENT
BOW	BACK OF WALK	HP	HIGH POINT	SSMH	SANITARY SEWER MANHOLE
CDS	CONTINUOUS DEFLECTION SEPARATION DEVICE OR APPROVED EQUAL (A STORM WATER DEVICE INTENDED FOR POLLUTANT AND DEBRIS REMOVAL)	IMP	IMPROVEMENTS	STD	STANDARD
CG	CURB & GUTTER	INTX	INTERSECTION	TC	TOP OF CURB
C/L	CENTERLINE	INV	INVERT	TWC	TOP OF WEDGE CURB
CONC	CONCRETE	IRR	IRRIGATION	TW	TOP OF WALL
DI	DROP INLET	LF	LINEAR FEET	W	WATER
EG	EXISTING GROUND	LP	LOW POINT	WE	WATERLINE EASEMENT
EL	ELEVATION	LS	LANDSCAPE	WM	WATER METER
EP	EDGE OF PAVEMENT	MH	MANHOLE	WS	WATER SERVICE
ESMT	EASEMENT	NTC	NOT TO SCALE	BDNY	BOUNDARY
EX	EXISTING	NTS	NOT TO SCALE	BG	BACK OF GARAGE
FF	FINISH FLOOR	PAE	PUBLIC ACCESS EASEMENT	DTC	DEPRESSED TOP OF CURB
		PCC	POINT OF COMPOUND CURVE	DDCV	DOUBLE DETECTOR CHECK VALVE
		PL	PROPERTY LINE	FDC	FIRE DEPARTMENT CONNECTION
		PRC	POINT OF REVERSE CURVE	PIV	POST INDICATOR VALVE
		PUE	PUBLIC UTILITY EASEMENT		
		PVMT	PAVEMENT		
		R/W	RIGHT OF WAY		

MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS

5142 Franklin Drive Suite B
Pleasanton, CA 94588
www.msce.com

CONSULTANTS

ASSOCIATED MULTI-FAMILY ARCHITECT
HELLER MANUS ARCHITECTS
600 Montgomery Street, Suite 1250
San Francisco, CA 94111

DRY UTILITY DESIGN
GIACALONE DESIGN
5820 Stoneridge Mall Rd. Suite 345
Pleasanton, CA 94588

ASSOCIATED TOWNHOME AND AFFORDABLE HOUSING ARCHITECT
DAHLYN GROUP
5865 Owens Drive
Pleasanton, CA 94588

MASTERPLAN AND LANDSCAPE ARCHITECT
PERKINS & WILL
2 Bryant Street, Suite 300
San Francisco, CA 94105

LIGHTING DESIGN
PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

Grosvenor-Property Americas
One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN

ISSUE CHART

ISSUE	DATE
01	ENTITLEMENT SET
02	ENTITLEMENT SET - REVISION 1
03	ENTITLEMENT SET - REVISION 2
04	ENTITLEMENT SET - REVISION 3
05	ENTITLEMENT SET - REVISION 4
06	ENTITLEMENT SET - REVISION 5
07	ENTITLEMENT SET - REVISION 6

Job Number

TITLE

PHASE II COVER SHEET

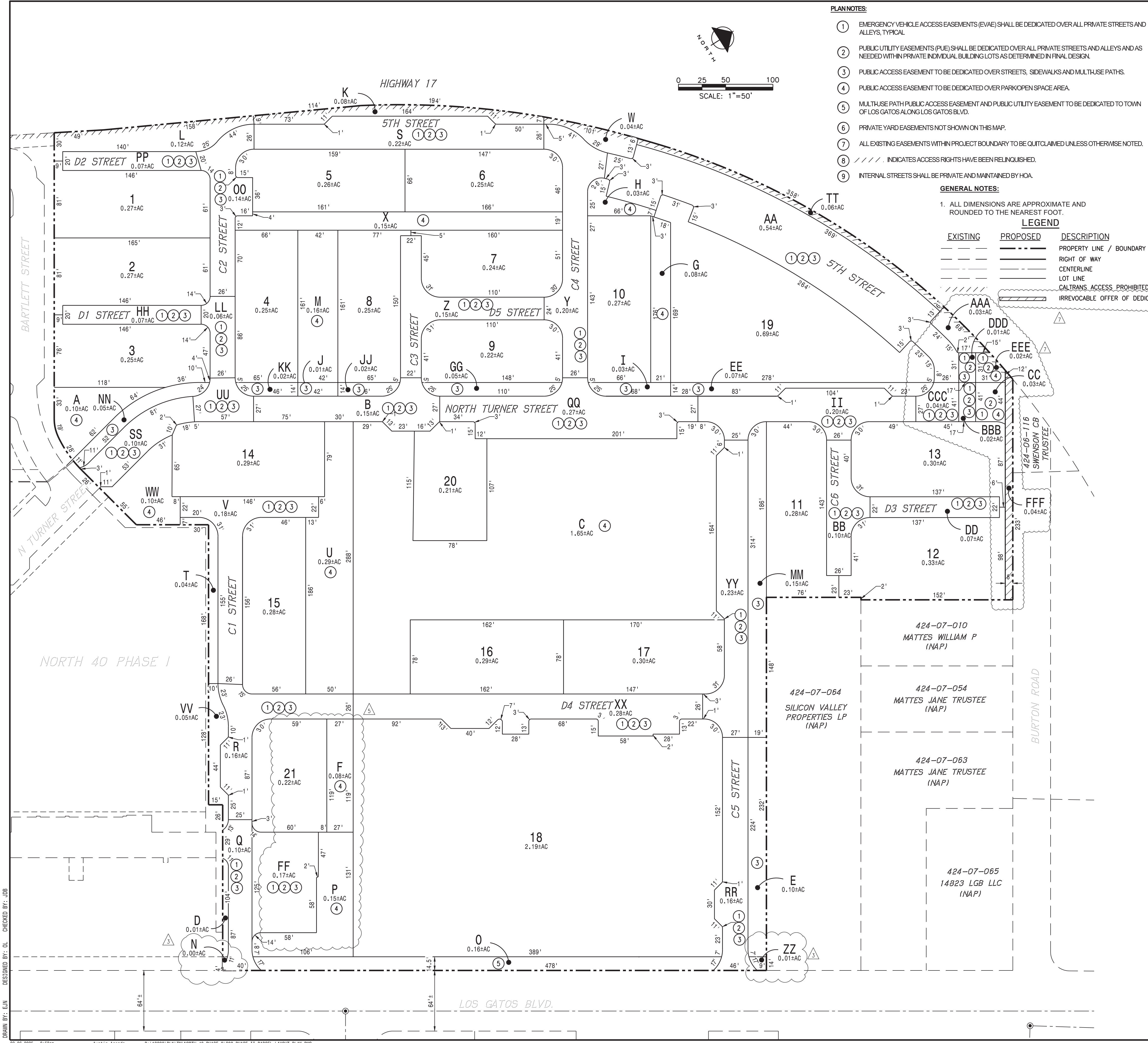
SHEET NUMBER

C1

DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JJB

03-06-2025 8:53am Austin Arenas P:\198901\PLAN\TOWN\NORTH 40 PHASE 2\001 PHASE II COVER SHEET.DWG

EXHIBIT 16



- PLAN NOTES:**
- 1. EMERGENCY VEHICLE ACCESS EASEMENTS (EVAE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS, TYPICAL.
 - 2. PUBLIC UTILITY EASEMENTS (PUE) SHALL BE DEDICATED OVER ALL PRIVATE STREETS AND ALLEYS AND AS NEEDED WITHIN PRIVATE INDIVIDUAL BUILDING LOTS AS DETERMINED IN FINAL DESIGN.
 - 3. PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER STREETS, SIDEWALKS AND MULTUSE PATHS.
 - 4. PUBLIC ACCESS EASEMENT TO BE DEDICATED OVER PARK/OPEN SPACE AREA.
 - 5. MULTUSE PATH PUBLIC ACCESS EASEMENT AND PUBLIC UTILITY EASEMENT TO BE DEDICATED TO TOWN OF LOS GATOS ALONG LOS GATOS BLVD.
 - 6. PRIVATE YARD EASEMENTS NOT SHOWN ON THIS MAP.
 - 7. ALL EXISTING EASEMENTS WITHIN PROJECT BOUNDARY TO BE QUITCLAIMED UNLESS OTHERWISE NOTED.
 - 8. / / / / INDICATES ACCESS RIGHTS HAVE BEEN RELINQUISHED.
 - 9. INTERNAL STREETS SHALL BE PRIVATE AND MAINTAINED BY HOA.

GENERAL NOTES:

1. ALL DIMENSIONS ARE APPROXIMATE AND ROUNDED TO THE NEAREST FOOT.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	LOT LINE
---	---	CALTRANS ACCESS PROHIBITED
---	---	IRREVOCABLE OFFER OF DEDICATION

PARCEL AREA TABLE			
PARCEL #	AREA (AC)	DESIGNATION	UNIT COUNT
1	0.27	RESIDENTIAL	7
2	0.27	RESIDENTIAL	7
3	0.25	RESIDENTIAL	7
4	0.25	RESIDENTIAL	8
5	0.26	RESIDENTIAL	8
6	0.25	RESIDENTIAL	8
7	0.24	RESIDENTIAL	7
8	0.25	RESIDENTIAL	8
9	0.22	RESIDENTIAL	7
10	0.27	RESIDENTIAL	8
11	0.28	RESIDENTIAL	7
12	0.33	RESIDENTIAL	7
13	0.30	RESIDENTIAL	7
14	0.29	RESIDENTIAL	7
15	0.28	RESIDENTIAL	8
16	0.29	RESIDENTIAL	8
17	0.30	RESIDENTIAL	8
18	2.19	MULTI-FAMILY RESIDENTIAL AND COMMERCIAL	255
19	0.69	AFFORDABLE MULTI-FAMILY RESIDENTIAL	68
20	0.21	RED BARN (RETAIL)	N/A
21	0.22	RETAIL	N/A
A	0.10	OPEN SPACE	N/A
AA	0.54	5TH STREET	N/A
AAA	0.03	OPEN SPACE	N/A
B	0.15	NORTH TURNER STREET	N/A
BB	0.10	C6 STREET	N/A
BBB	0.02	NORTH TURNER STREET PARKING	N/A
C	1.65	MEADOW PARK	N/A
CC	0.03	OPENSOURCE	N/A
CCC	0.04	NORTH TURNER STREET	N/A
D	0.01	OPEN SPACE	N/A
DD	0.07	D3 STREET	N/A
DDD	0.01	NORTH TURNER STREET PARKING	N/A
E	0.10	OPEN SPACE	N/A
EE	0.07	OPEN SPACE	N/A
EEE	0.02	OPEN SPACE	N/A
F	0.08	OPEN SPACE	N/A
FF	0.17	PARKING	N/A
FFF	0.04	IRREVOCABLE OFFER OF DEDICATION	N/A
G	0.08	OPEN SPACE	N/A
GG	0.05	OPEN SPACE	N/A
H	0.03	OPEN SPACE	N/A
HH	0.07	D1 STREET	N/A
I	0.03	OPEN SPACE	N/A
II	0.20	NORTH TURNER STREET	N/A
J	0.01	OPEN SPACE	N/A
JJ	0.02	OPEN SPACE	N/A
K	0.08	OPEN SPACE	N/A
KK	0.02	OPEN SPACE	N/A
L	0.12	OPEN SPACE	N/A
LL	0.06	C2 STREET	N/A
M	0.16	OPEN SPACE	N/A
MM	0.15	OPEN SPACE	N/A
N	0.00	OPEN SPACE	N/A
NN	0.05	OPEN SPACE	N/A
O	0.16	OPEN SPACE	N/A
OO	0.14	C2 STREET	N/A
P	0.15	OPEN SPACE	N/A
PP	0.07	D2 STREET	N/A
Q	0.10	C1 STREET	N/A
QQ	0.27	NORTH TURNER STREET	N/A
R	0.16	C1 STREET AND D4 STREET	N/A
RR	0.16	C5 STREET	N/A
S	0.22	5TH STREET	N/A
SS	0.10	NORTH TURNER STREET	N/A
T	0.04	OPEN SPACE	N/A
TT	0.06	OPEN SPACE	N/A
U	0.29	OPEN SPACE	N/A
UU	0.05	NORTH TURNER STREET	N/A
V	0.18	C1 STREET	N/A
VV	0.05	OPEN SPACE	N/A
W	0.04	OPEN SPACE	N/A
WW	0.10	OPEN SPACE	N/A
X	0.15	OPEN SPACE	N/A
XX	0.28	D4 STREET	N/A
Y	0.20	C4 STREET	N/A
YY	0.23	C5 STREET	N/A
Z	0.15	C3 STREET AND D5 STREET	N/A
ZZ	0.01	OPEN SPACE	N/A

MAC KAY & SOMPS
ENGINEERS PLANNERS SURVEYORS
5142 Franklin Drive Suite B
Pleasanton, CA 94588
www.msce.com

CONSULTANTS

ASSOCIATED MULTI-FAMILY ARCHITECT
HELLER MANUS ARCHITECTS
600 Montgomery Street, Suite 1250
San Francisco, CA 94111

DRY UTILITY DESIGN

GIACALONE DESIGN
5820 Stoneridge Mall Rd. Suite 345
Pleasanton, CA 94588

ASSOCIATED TOWNHOME AND AFFORDABLE HOUSING ARCHITECT

DAHILIN GROUP

5865 Owens Drive
Pleasanton, CA 94588

MASTERPLAN AND LANDSCAPE ARCHITECT

PERKINS & WILL

2 Bryant Street, Suite 300
San Francisco, CA 94105

LIGHTING DESIGN

PIVOTAL AEI

10 S LaSalle St.
Chicago, IL 60603

PROJECT

NORTH 40 PHASE II

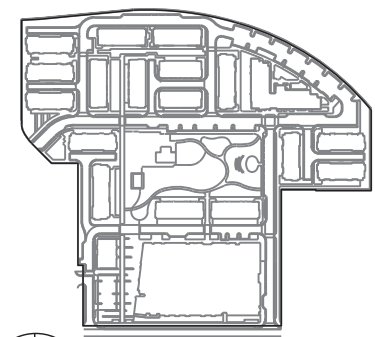
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

Grosvenor-Property Americas

One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN



ISSUE CHART

MARK	ISSUE	DATE
01	ENTITLEMENT SET	08/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	04/13/2024
04	ENTITLEMENT SET - REVISION 3	06/02/2024
05	ENTITLEMENT SET - REVISION 4	06/23/2024
06	ENTITLEMENT SET - REVISION 5	12/13/2024
07	ENTITLEMENT SET - REVISION 6	3/05/2025

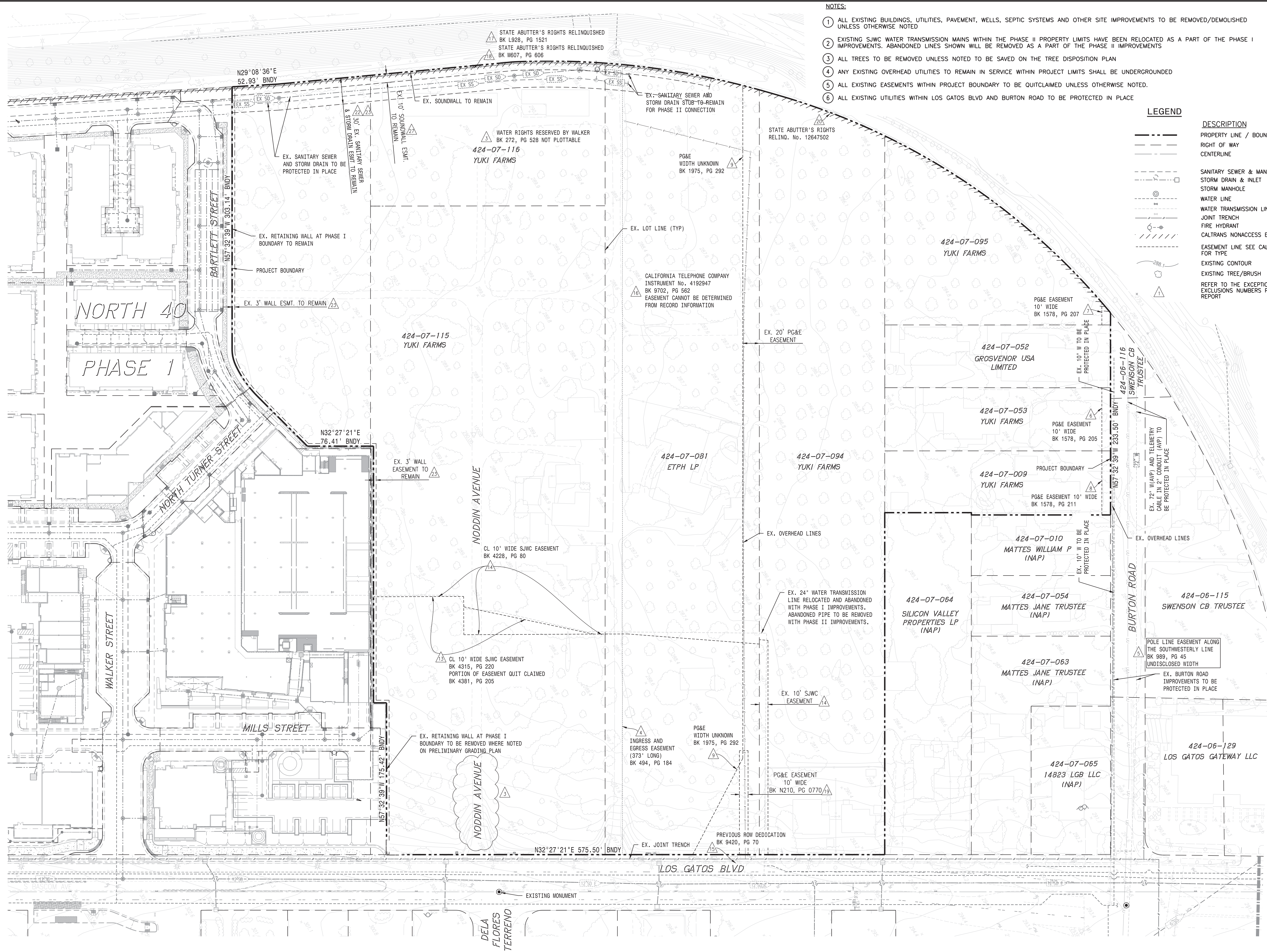
Job Number _____ TITLE _____

PHASE II PARCEL LAYOUT PLAN

SHEET NUMBER

C2

DRAWN BY: EUN DESIGNED BY: OL CHECKED BY: JOB



- NOTES:
- 1 ALL EXISTING BUILDINGS, UTILITIES, PAVEMENT, WELLS, SEPTIC SYSTEMS AND OTHER SITE IMPROVEMENTS TO BE REMOVED/DEMOLISHED UNLESS OTHERWISE NOTED
 - 2 EXISTING SJWC WATER TRANSMISSION MAINS WITHIN THE PHASE II PROPERTY LIMITS HAVE BEEN RELOCATED AS A PART OF THE PHASE I IMPROVEMENTS. ABANDONED LINES SHOWN WILL BE REMOVED AS A PART OF THE PHASE II IMPROVEMENTS
 - 3 ALL TREES TO BE REMOVED UNLESS NOTED TO BE SAVED ON THE TREE DISPOSITION PLAN
 - 4 ANY EXISTING OVERHEAD UTILITIES TO REMAIN IN SERVICE WITHIN PROJECT LIMITS SHALL BE UNDERGROUNDED
 - 5 ALL EXISTING EASEMENTS WITHIN PROJECT BOUNDARY TO BE QUITCLAIMED UNLESS OTHERWISE NOTED.
 - 6 ALL EXISTING UTILITIES WITHIN LOS GATOS BLVD AND BURTON ROAD TO BE PROTECTED IN PLACE

LEGEND

---	PROPERTY LINE / BOUNDARY
---	RIGHT OF WAY
---	CENTERLINE
---	SANITARY SEWER & MANHOLE
---	STORM DRAIN & INLET
---	STORM MANHOLE
---	WATER LINE
---	WATER TRANSMISSION LINE
---	JOINT TRENCH
---	FIRE HYDRANT
---	CALTRANS NONACCESS EASEMENT
---	EASEMENT LINE SEE CALL OUTS FOR TYPE
---	EXISTING CONTOUR
---	EXISTING TREE/BRUSH
---	REFER TO THE EXCEPTIONS AND EXCLUSIONS NUMBERS PER TITLE REPORT

MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS
5142 Franklin Drive Suite B
Pleasanton, CA 94588
www.msce.com

CONSULTANTS
ASSOCIATED MULTI-FAMILY ARCHITECT
HELLER MANUS ARCHITECTS
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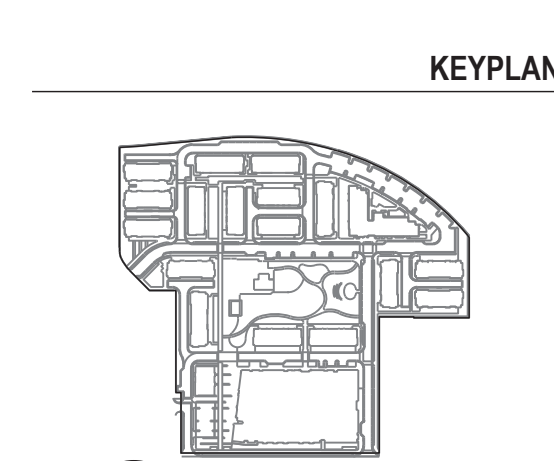
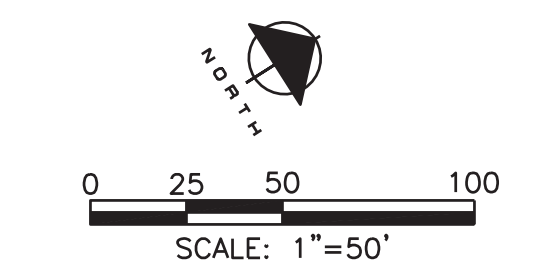
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DAHLLIN GROUP
5865 Owens Drive
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PERKINS & WILL
2 Bryant Street, Suite 300
San Francisco, CA 94105

LIGHTING DESIGN
PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

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APPLICANT
Grosvenor-Property Americas
One California Street, Suite 3000
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ISSUE CHART

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01	06/14/2023	ENTITLEMENT SET
02	01/16/2024	ENTITLEMENT SET - REVISION 1
03	03/13/2024	ENTITLEMENT SET - REVISION 2
04	06/05/2024	ENTITLEMENT SET - REVISION 3
05	06/23/2024	ENTITLEMENT SET - REVISION 4
06	10/13/2024	ENTITLEMENT SET - REVISION 5
07	10/25/2025	ENTITLEMENT SET - REVISION 6

Job Number

TITLE
PHASE II EXISTING CONDITIONS

SHEET NUMBER
C3

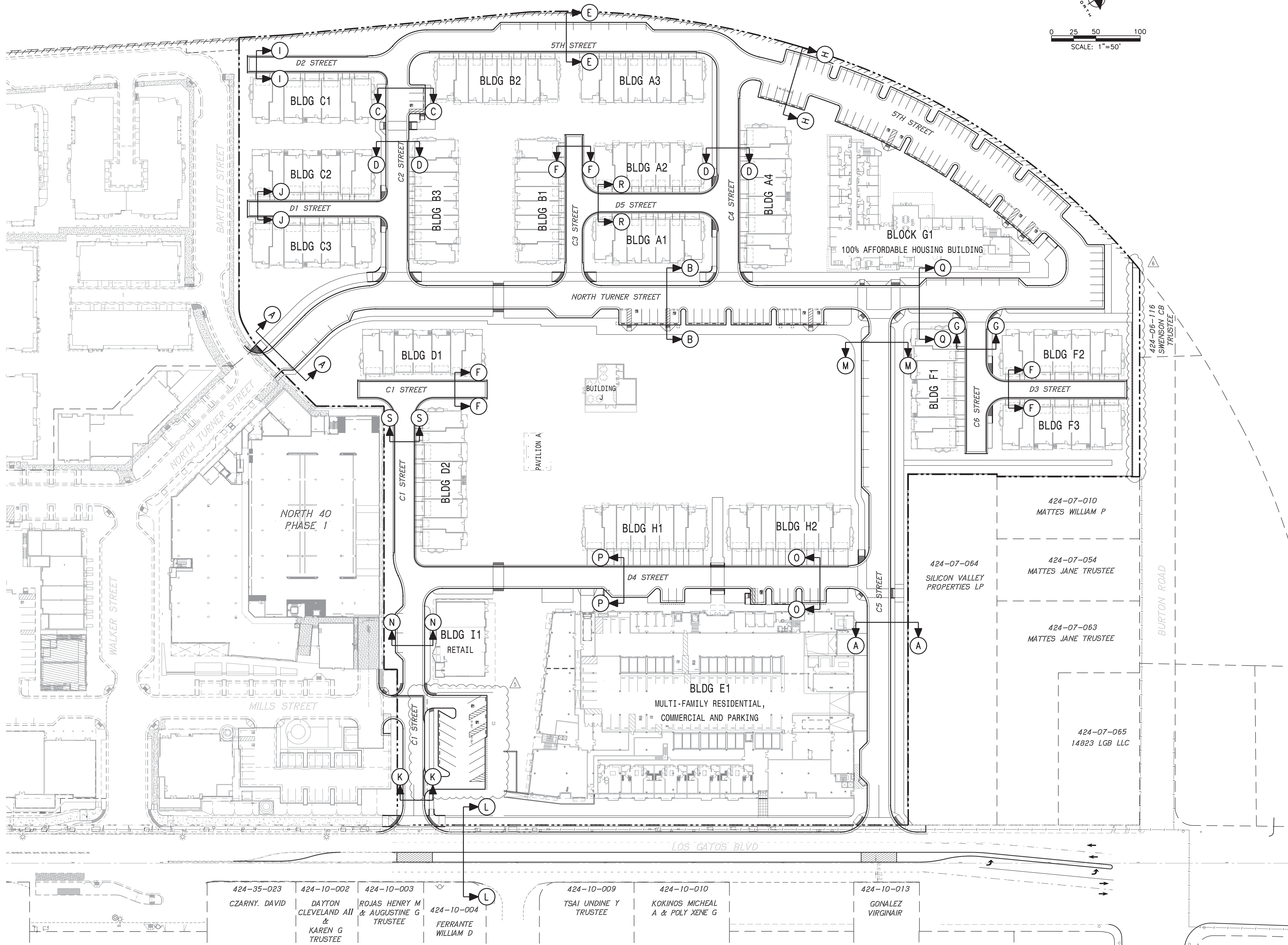


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03-06-2025 8:34am

Austin Arévalo

P:\198901\PLAN\NORTH 40 PHASE 2\005 PHASE II STREET CROSS SECTION LOCATIONS.DWG



MACKAY & SOMPS
ENGINEERS PLANNERS SURVEYORS

5142 Franklin Drive Suite B
Pleasanton, CA 94588
www.msce.com

CONSULTANTS

ASSOCIATED MULTIFAMILY ARCHITECT
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San Francisco, CA 94111

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Pleasanton, CA 94588

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DAHIN GROUP
5865 Owens Drive
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San Francisco, CA 94105

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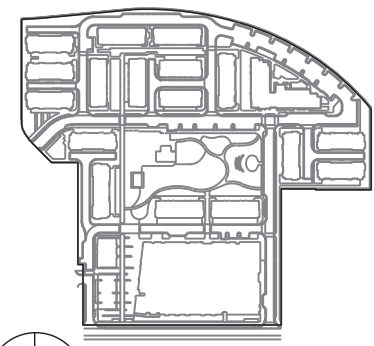
PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

Grosvenor-Property Americas
One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
01	ENTITLEMENT SET	09/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	03/13/2024
04	ENTITLEMENT SET - REVISION 3	06/05/2024
05	ENTITLEMENT SET - REVISION 4	06/23/2024
06	ENTITLEMENT SET - REVISION 5	10/13/2024
07	ENTITLEMENT SET - REVISION 6	10/25/2025

Job Number

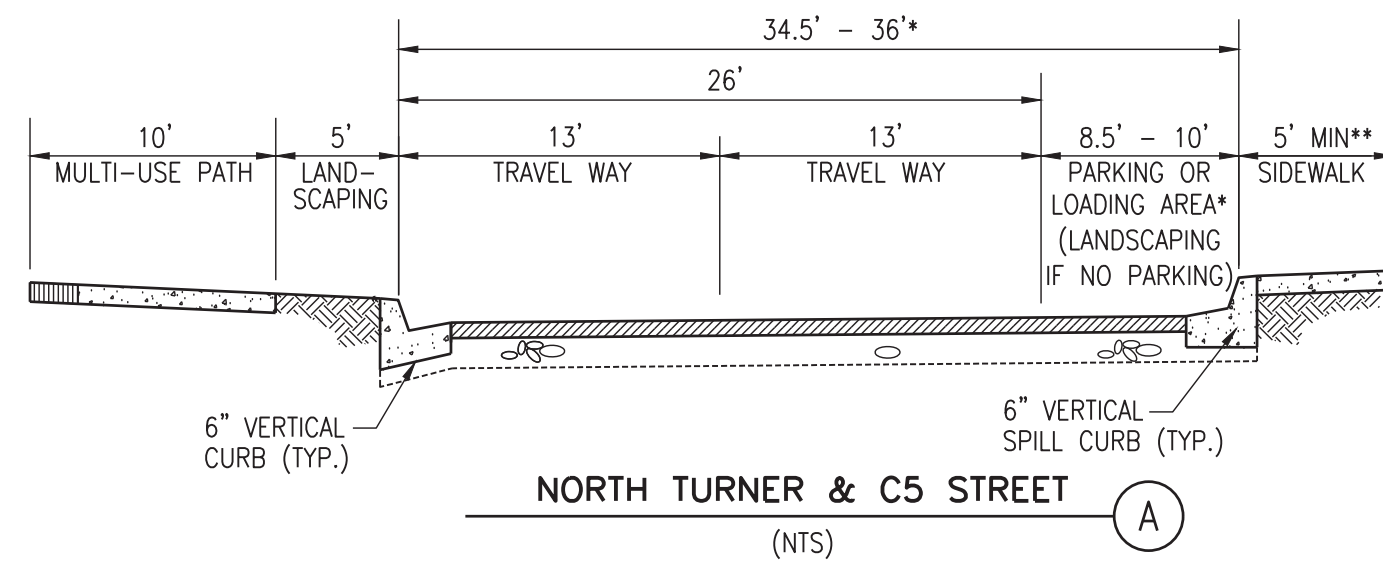
TITLE

**PHASE II STREET CROSS
SECTION LOCATIONS**

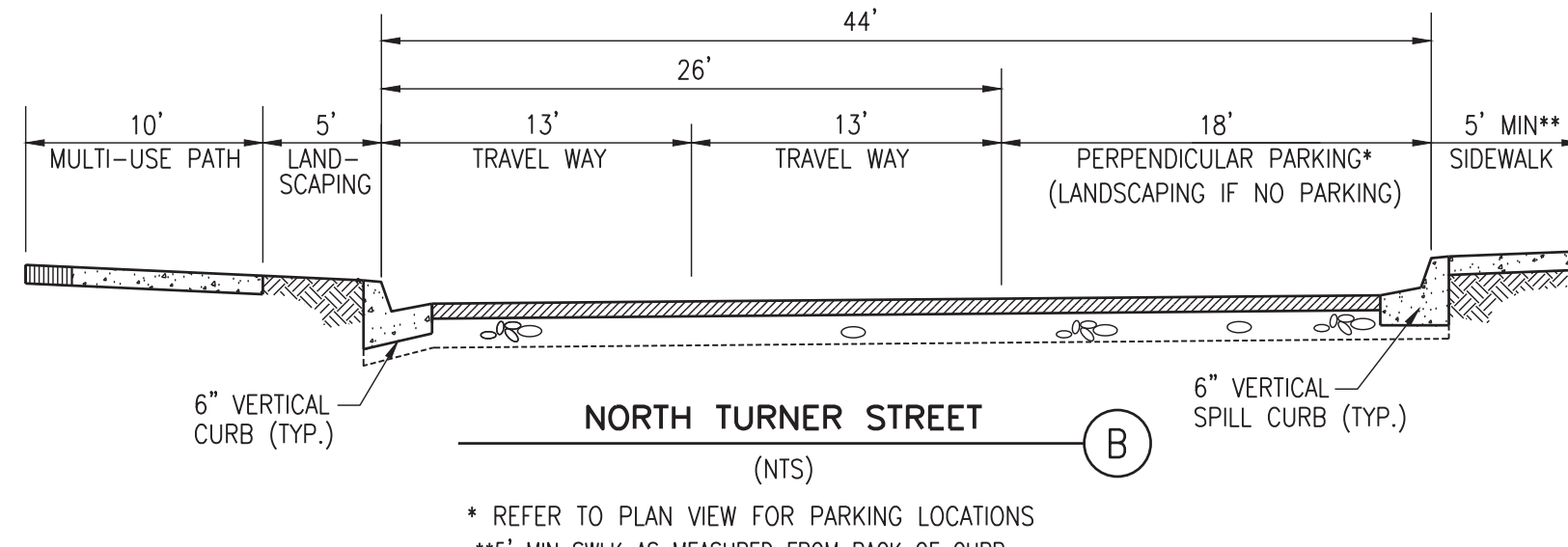
SHEET NUMBER

C5

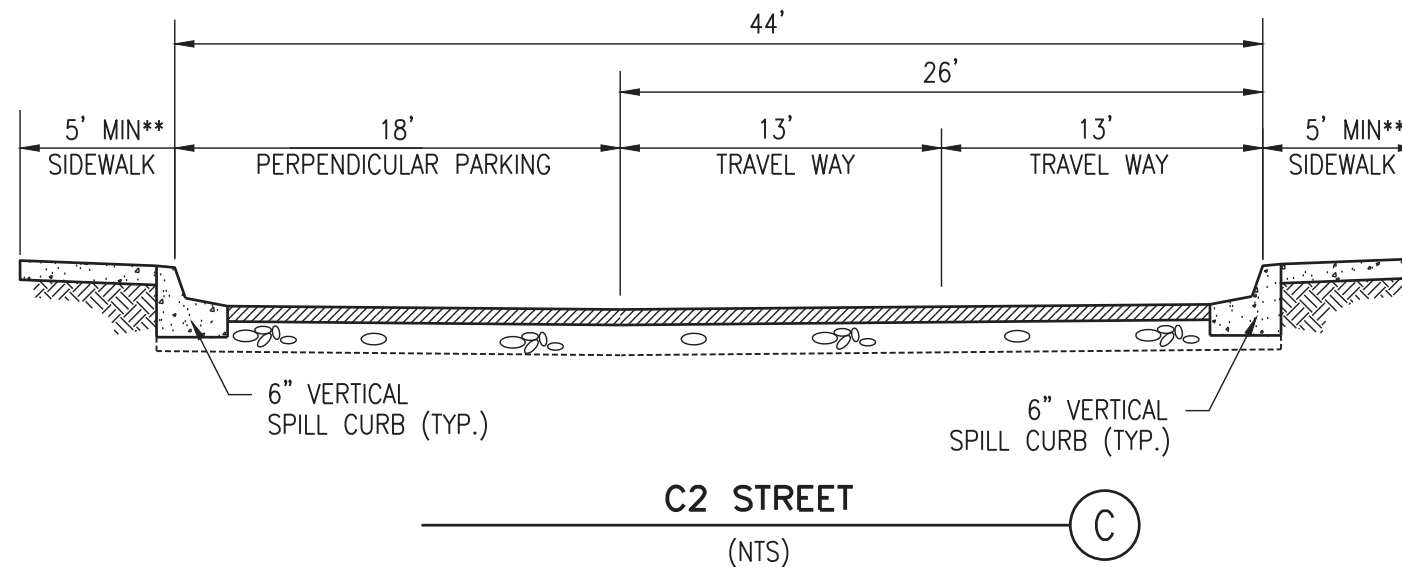
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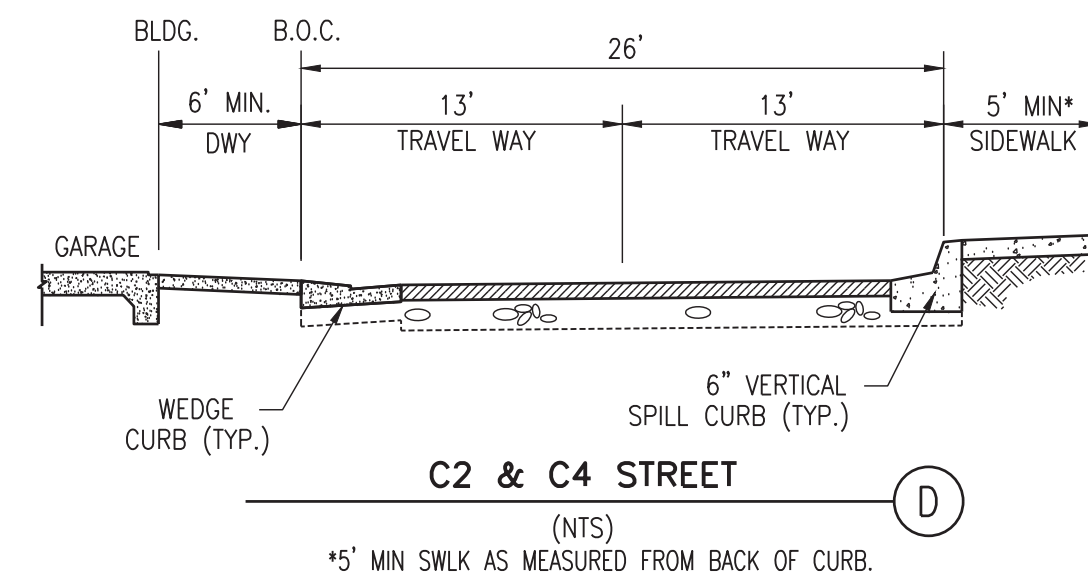
* REFER TO PLAN VIEW FOR PARKING/LOADING LOCATIONS. LOADING AREAS ARE 10' WIDE.
**5' MIN SWLK AS MEASURED FROM BACK OF CURB.
SEE PLAN VIEW FOR ADDITIONAL PEDESTRIAN PAVEMENT WIDTH AT BLDG E FRONTAGE



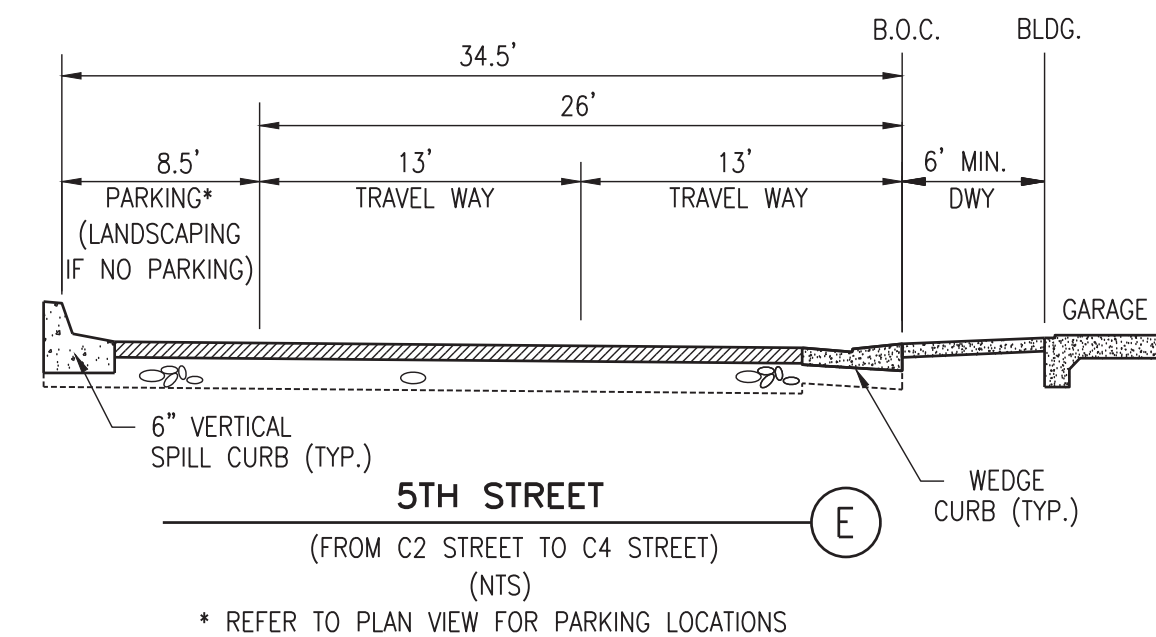
* REFER TO PLAN VIEW FOR PARKING LOCATIONS
**5' MIN SWLK AS MEASURED FROM BACK OF CURB.



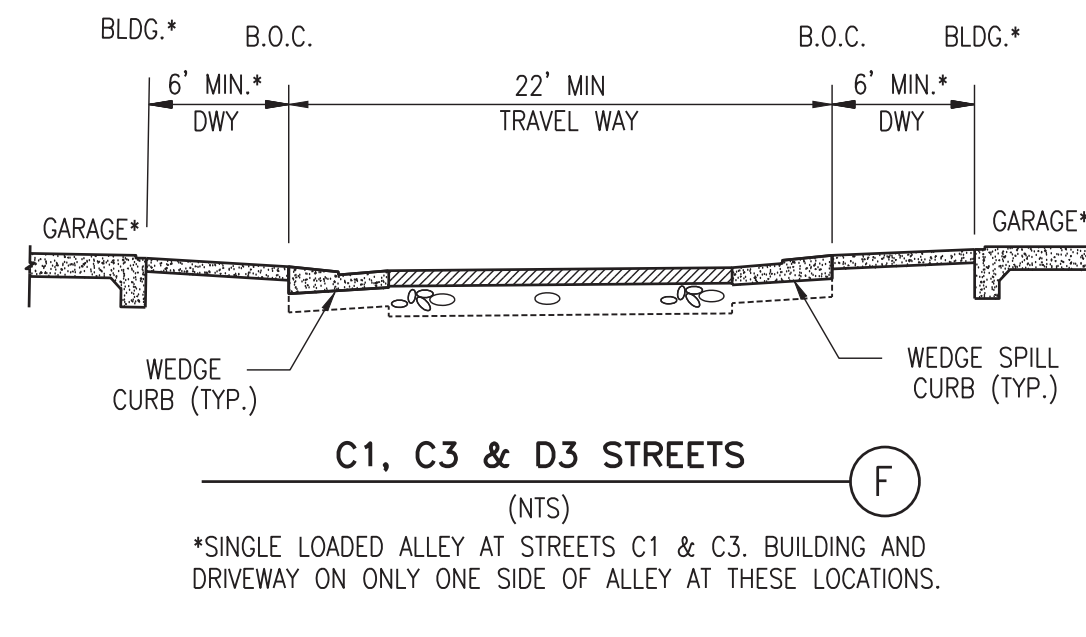
**5' MIN SWLK AS MEASURED FROM BACK OF CURB.



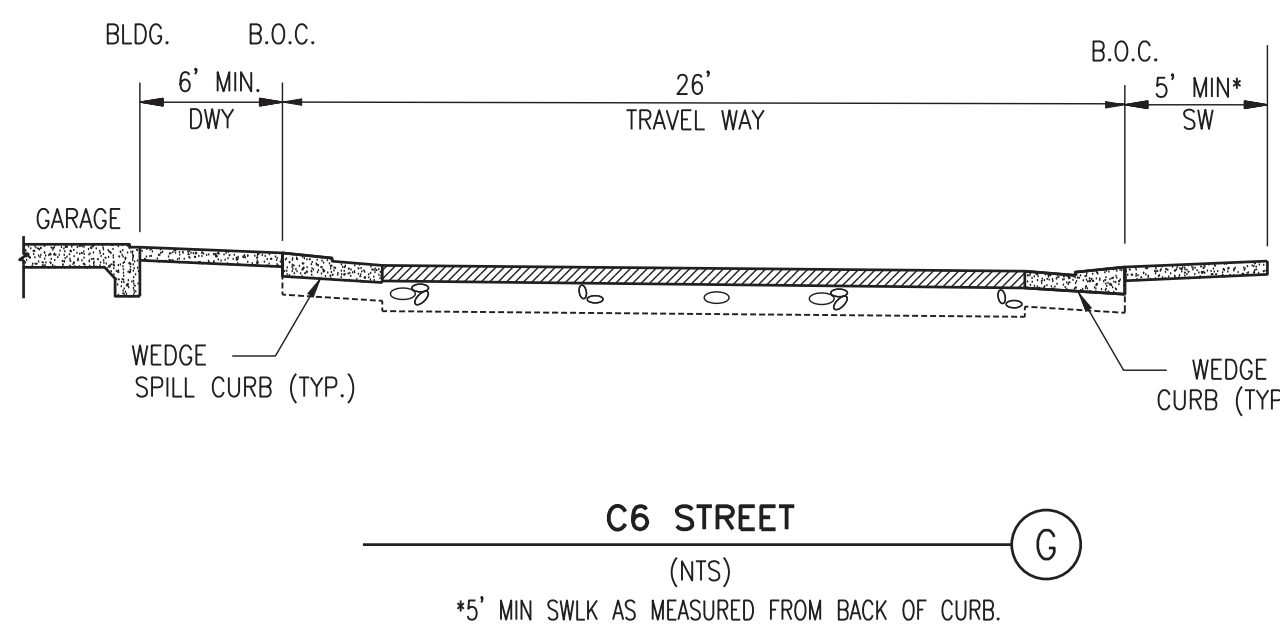
*5' MIN SWLK AS MEASURED FROM BACK OF CURB.



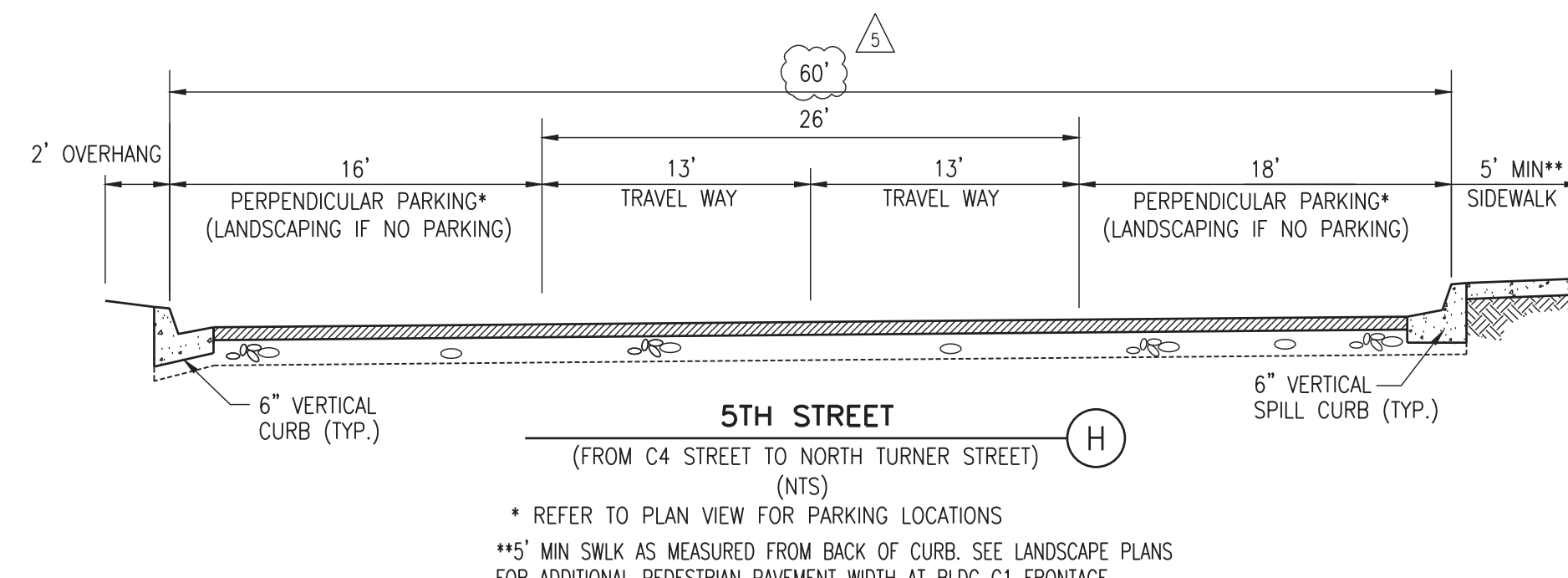
* REFER TO PLAN VIEW FOR PARKING LOCATIONS



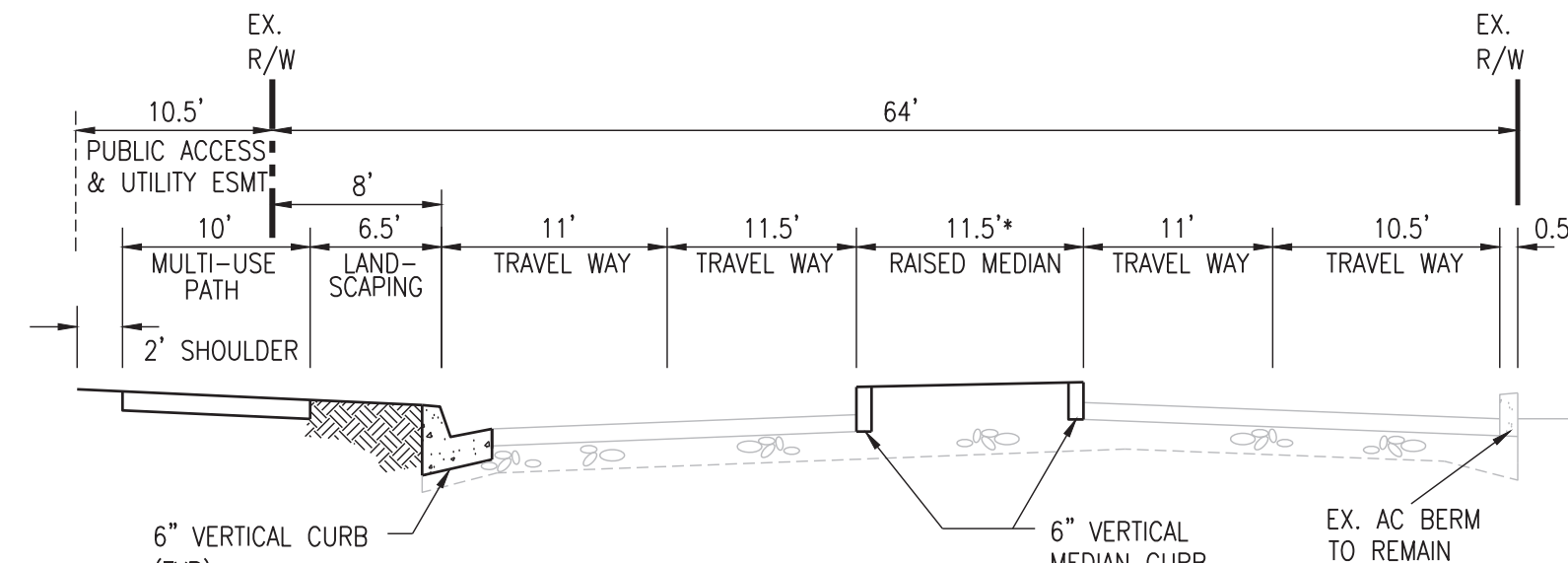
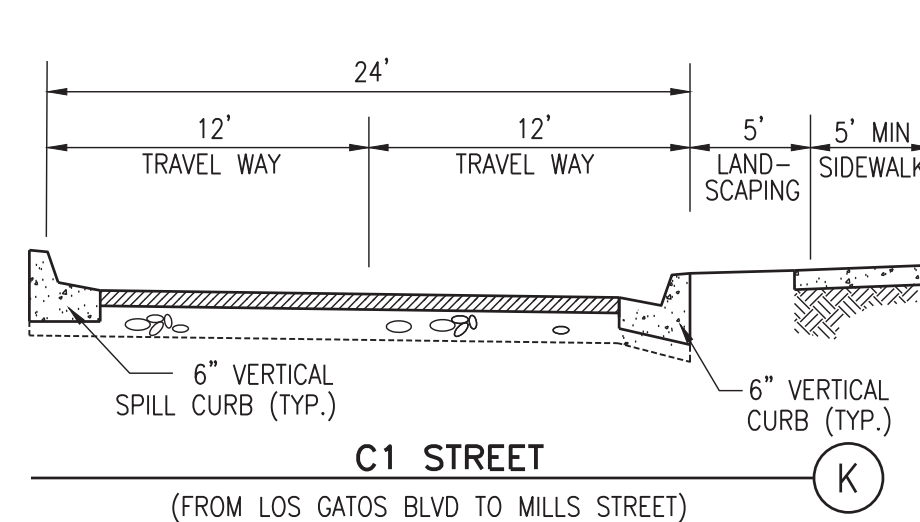
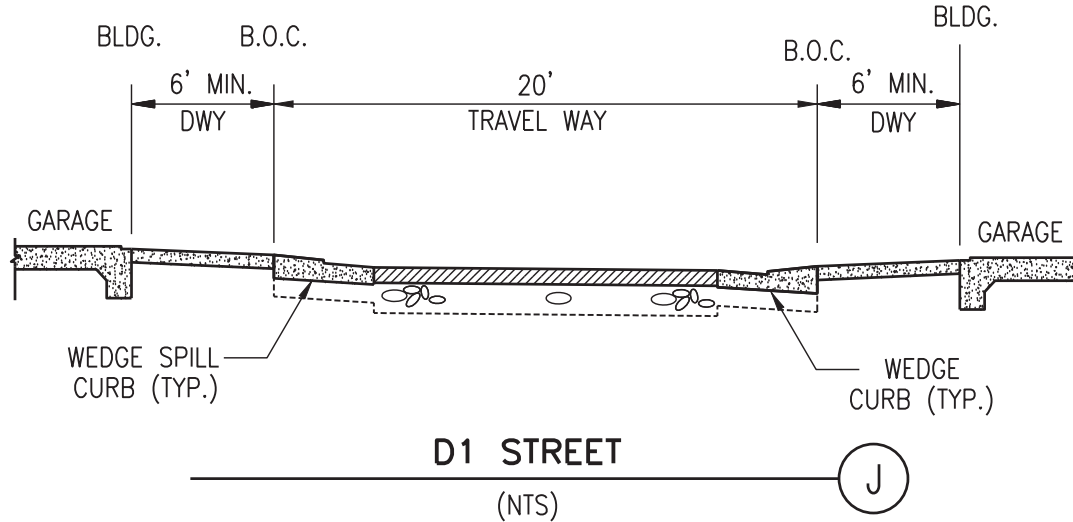
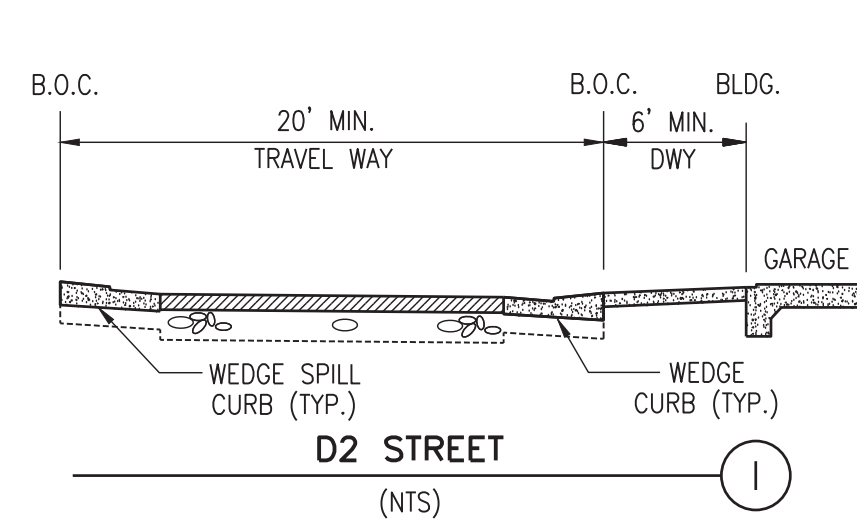
*SINGLE LOADED ALLEY AT STREETS C1 & C3. BUILDING AND DRIVEWAY ON ONLY ONE SIDE OF ALLEY AT THESE LOCATIONS.



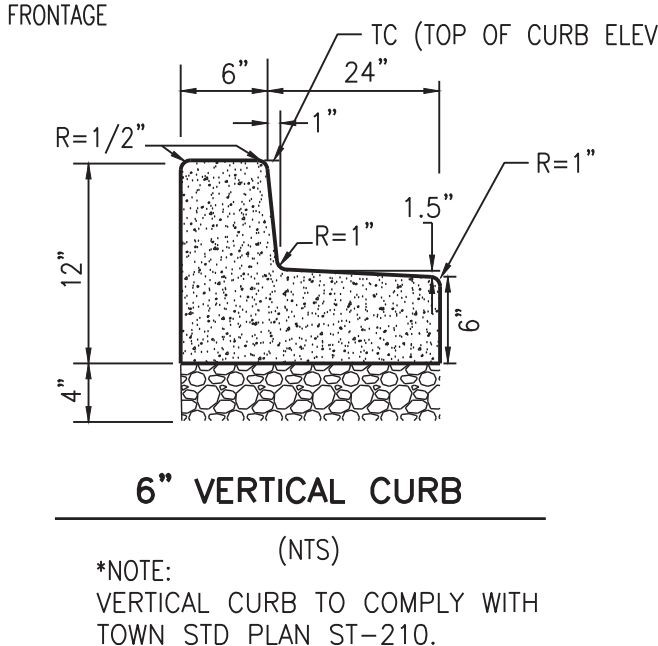
*5' MIN SWLK AS MEASURED FROM BACK OF CURB.



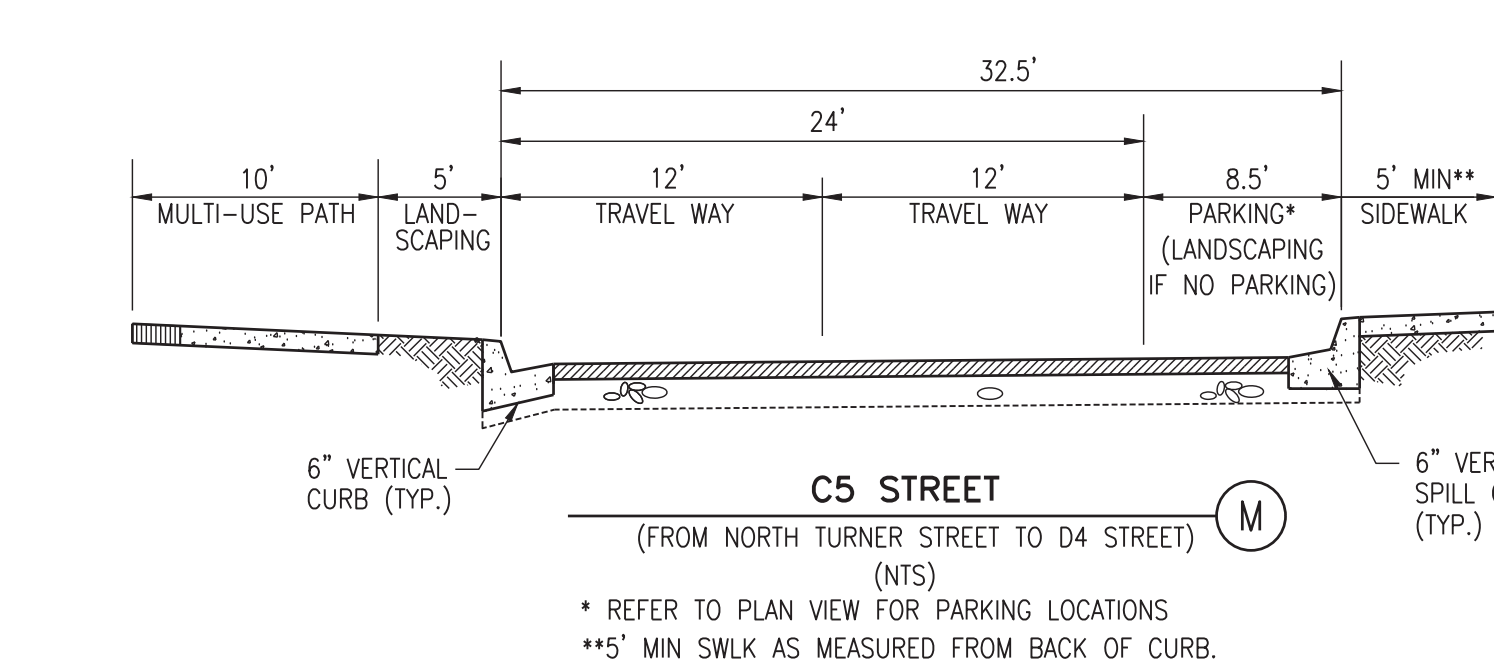
* REFER TO PLAN VIEW FOR PARKING LOCATIONS
**5' MIN SWLK AS MEASURED FROM BACK OF CURB. SEE LANDSCAPE PLANS FOR ADDITIONAL PEDESTRIAN PAVEMENT WIDTH AT BLDG G1 FRONTAGE



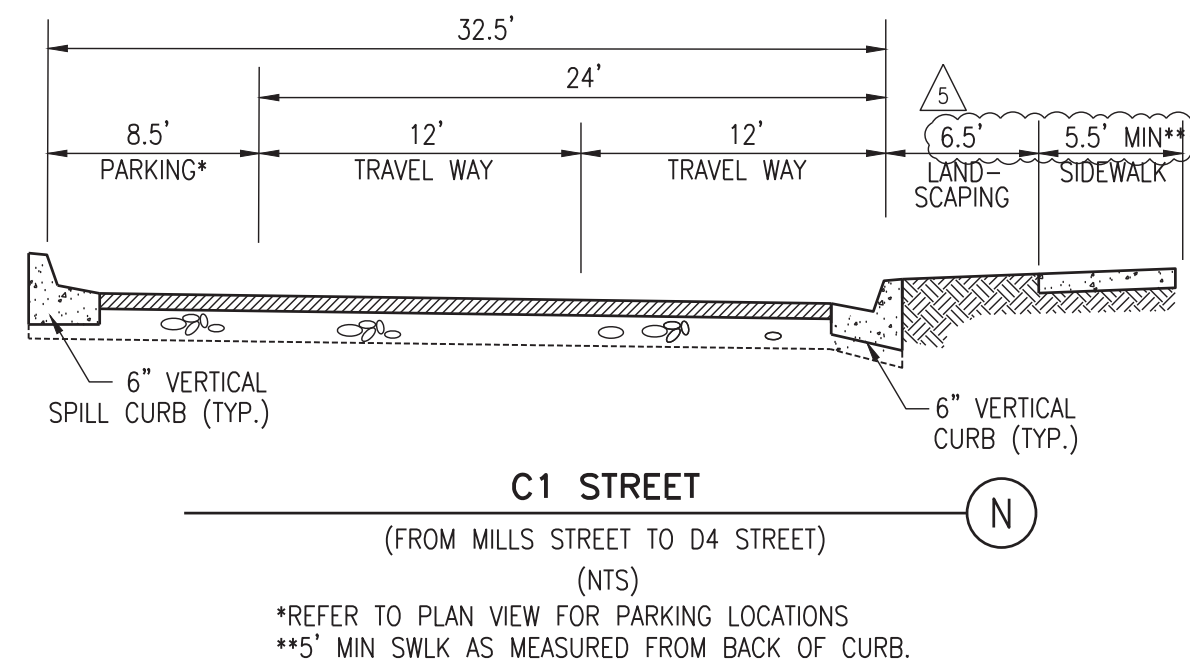
*EASEMENT WIDTH VARIES WHERE MEDIAN CONVERGES WITH BURTON/SAMARITAN INTERSECTION



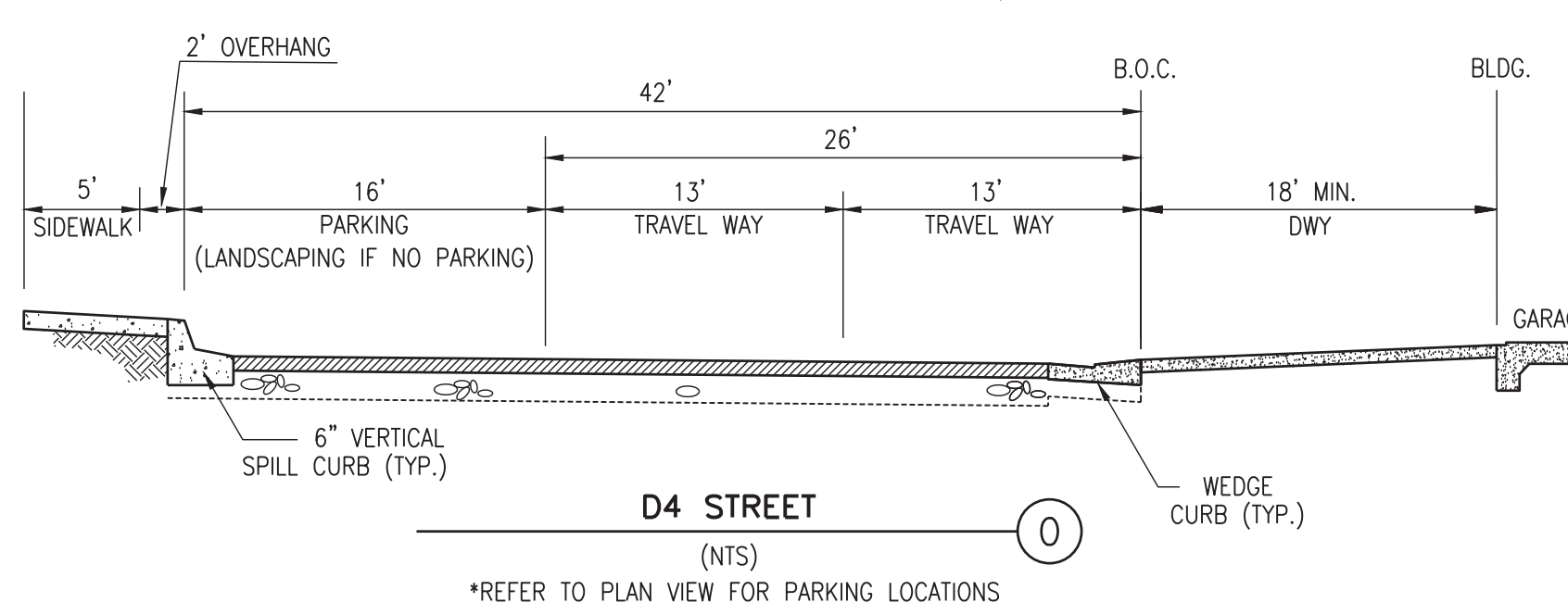
*NOTE: VERTICAL CURB TO COMPLY WITH TOWN STD PLAN ST-210.



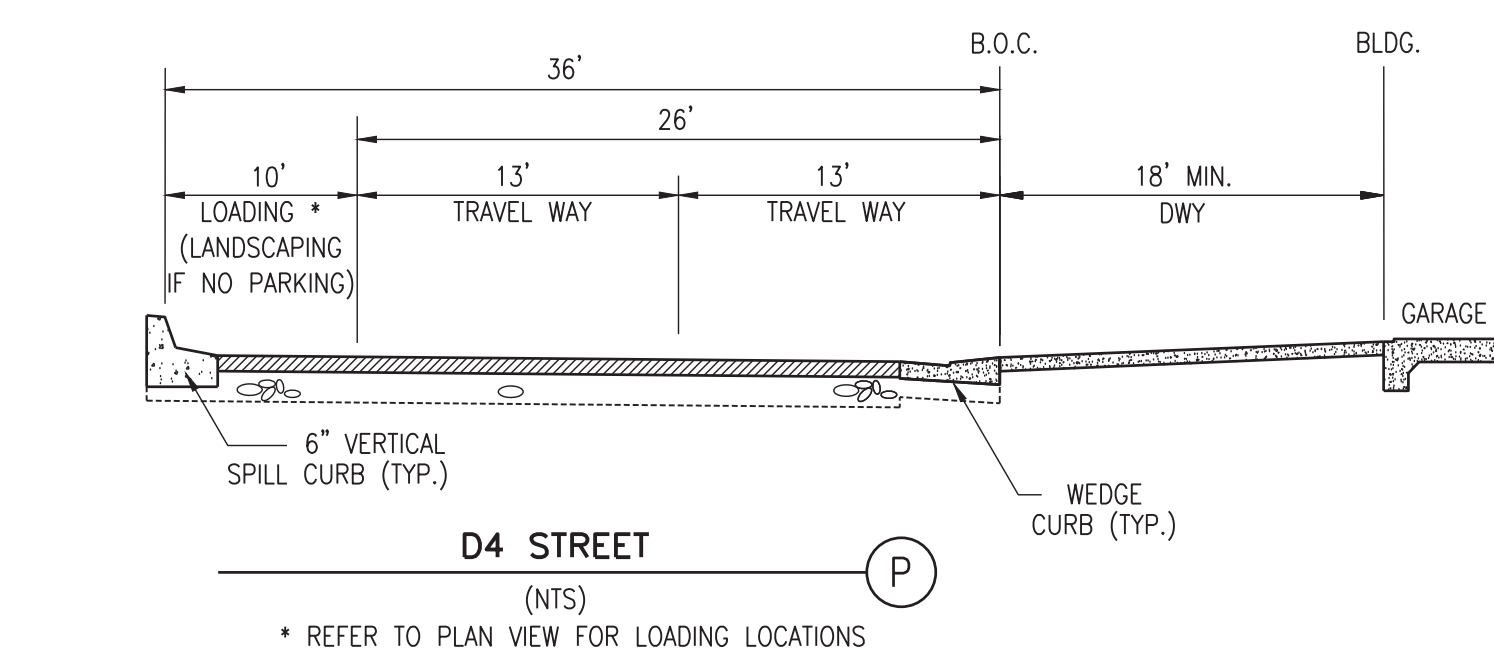
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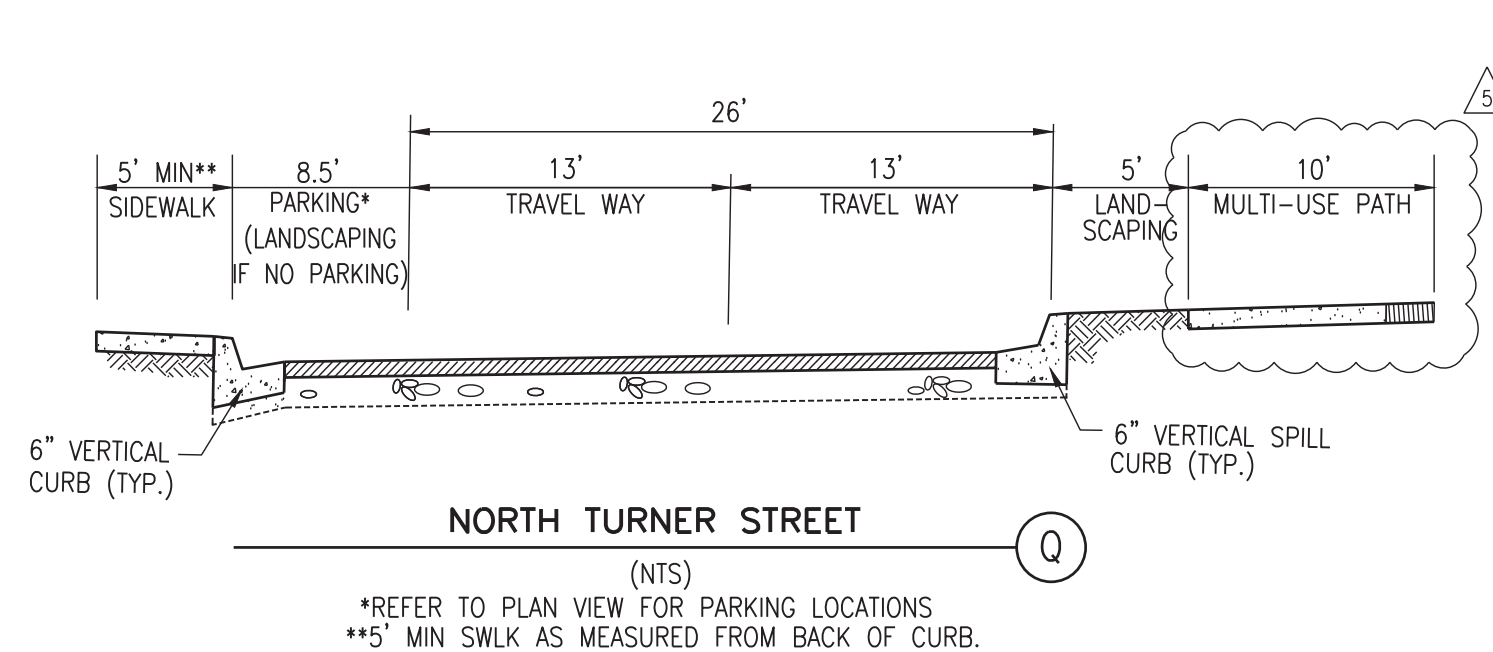
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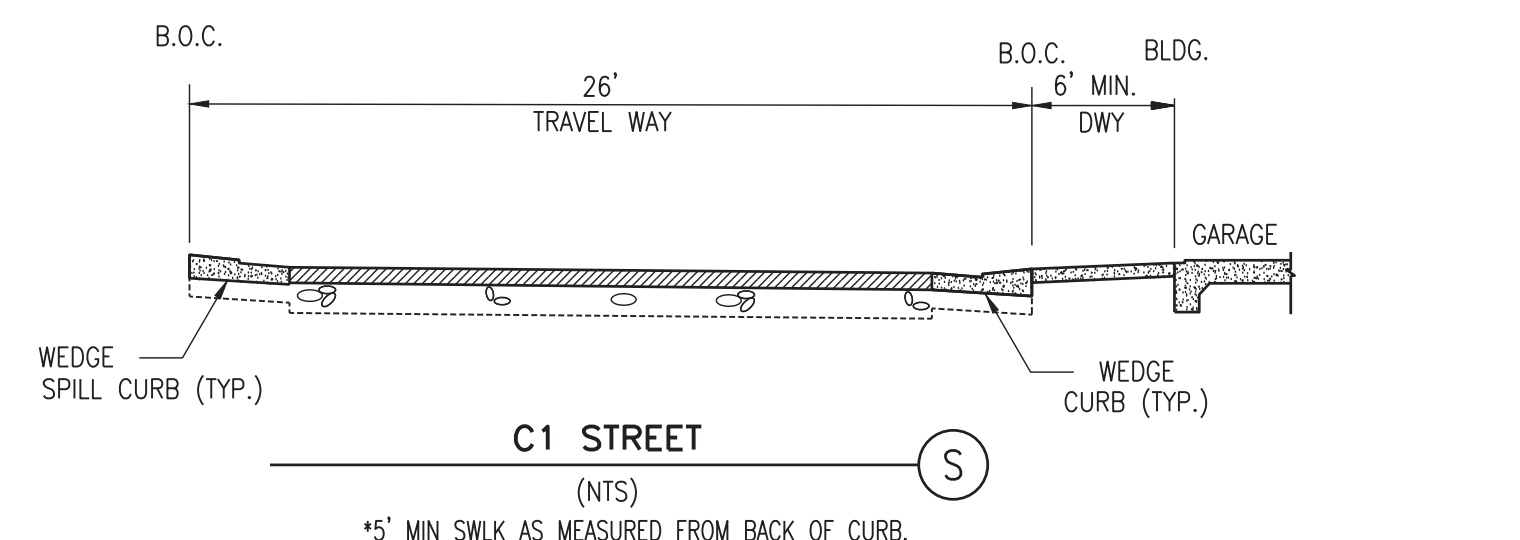
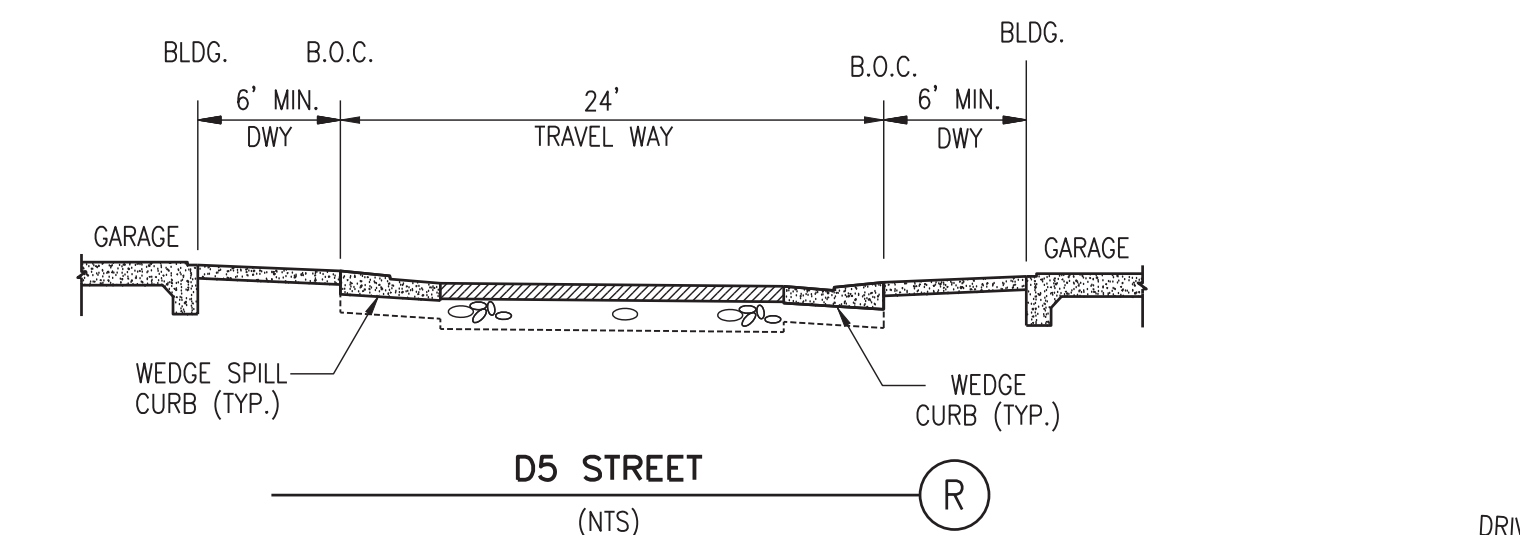
*REFER TO PLAN VIEW FOR PARKING LOCATIONS



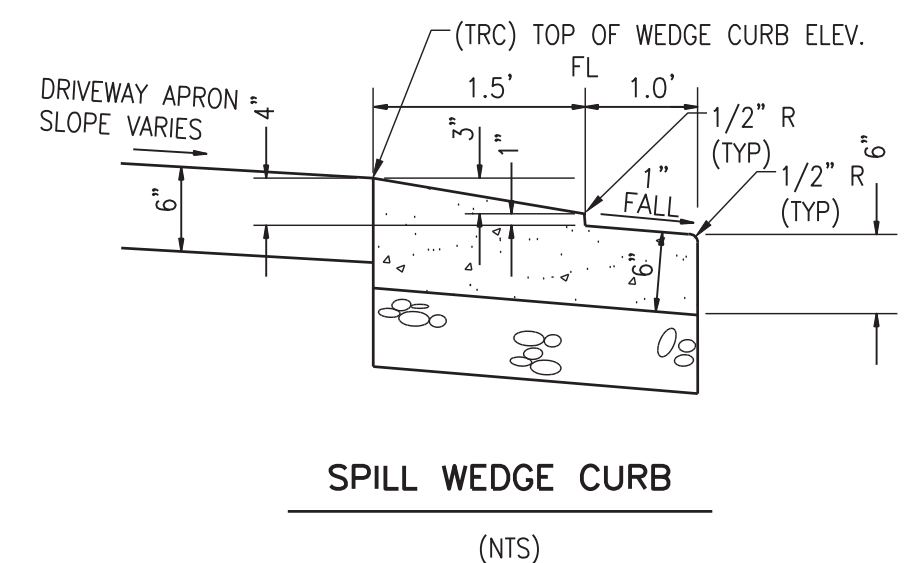
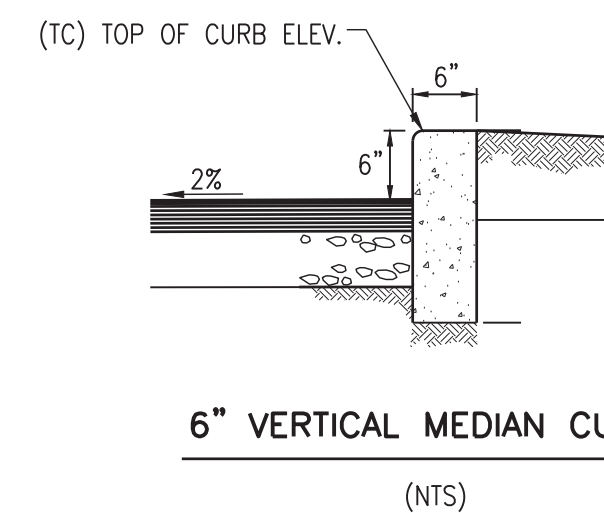
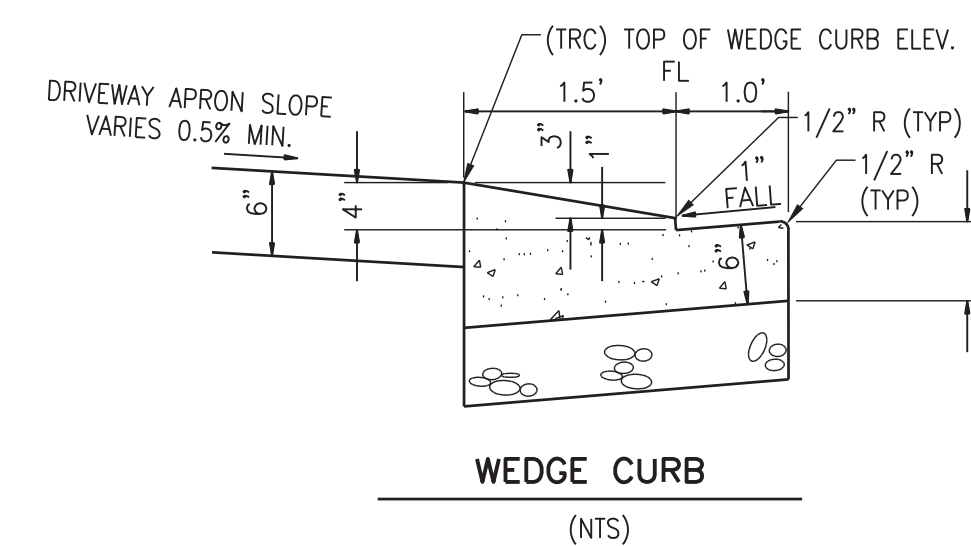
* REFER TO PLAN VIEW FOR LOADING LOCATIONS



*REFER TO PLAN VIEW FOR PARKING LOCATIONS
**5' MIN SWLK AS MEASURED FROM BACK OF CURB.



*5' MIN SWLK AS MEASURED FROM BACK OF CURB.



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ENGINEERS PLANNERS SURVEYORS
5142 Franklin Drive Suite B
Pleasanton, CA 94588
www.msce.com

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HELLER MANUS ARCHITECTS
600 Montgomery Street, Suite 1250
San Francisco, CA 94111

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GIACALONE DESIGN
5820 Stoneridge Mall Rd. Suite 345
Pleasanton, CA 94588

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DAHIN GROUP
5865 Owens Drive
Pleasanton, CA 94588

MASTERPLAN AND LANDSCAPE ARCHITECT
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2 Bryant Street, Suite 300
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Chicago, IL 60603

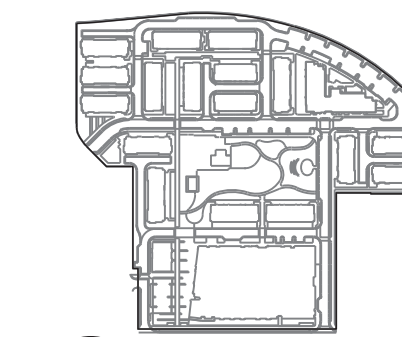
PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

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One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN



ISSUE CHART

DATE	ISSUE	DATE
01/16/2024	ENTITLEMENT SET	01/16/2024
03/13/2024	ENTITLEMENT SET - REVISION 1	03/13/2024
06/23/2024	ENTITLEMENT SET - REVISION 2	06/23/2024
09/23/2024	ENTITLEMENT SET - REVISION 3	09/23/2024
12/13/2024	ENTITLEMENT SET - REVISION 4	12/13/2024
03/26/2025	ENTITLEMENT SET - REVISION 5	03/26/2025

Job Number

TITLE

PHASE II STREET CROSS SECTIONS AND DETAILS

SHEET NUMBER

C6

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DAHIN GROUP
5865 Owens Drive
Pleasanton, CA 94588

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PERKINS & WILL
2 Bryant Street, Suite 300
San Francisco, CA 94105

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PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

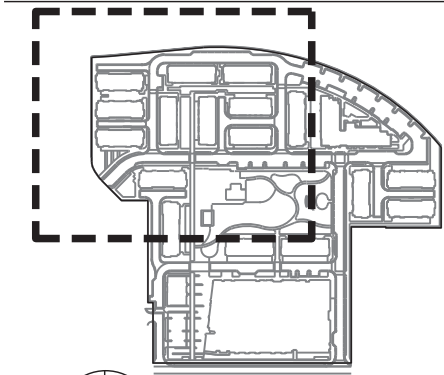
APPLICANT

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San Francisco, CA 94111



0 10 20 40
SCALE: 1"=20'

KEYPLAN



ISSUE CHART

NO.	DESCRIPTION	DATE
01	ENTITLEMENT SET	09/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	03/13/2024
04	ENTITLEMENT SET - REVISION 3	06/05/2024
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07	ENTITLEMENT SET - REVISION 6	10/25/2025

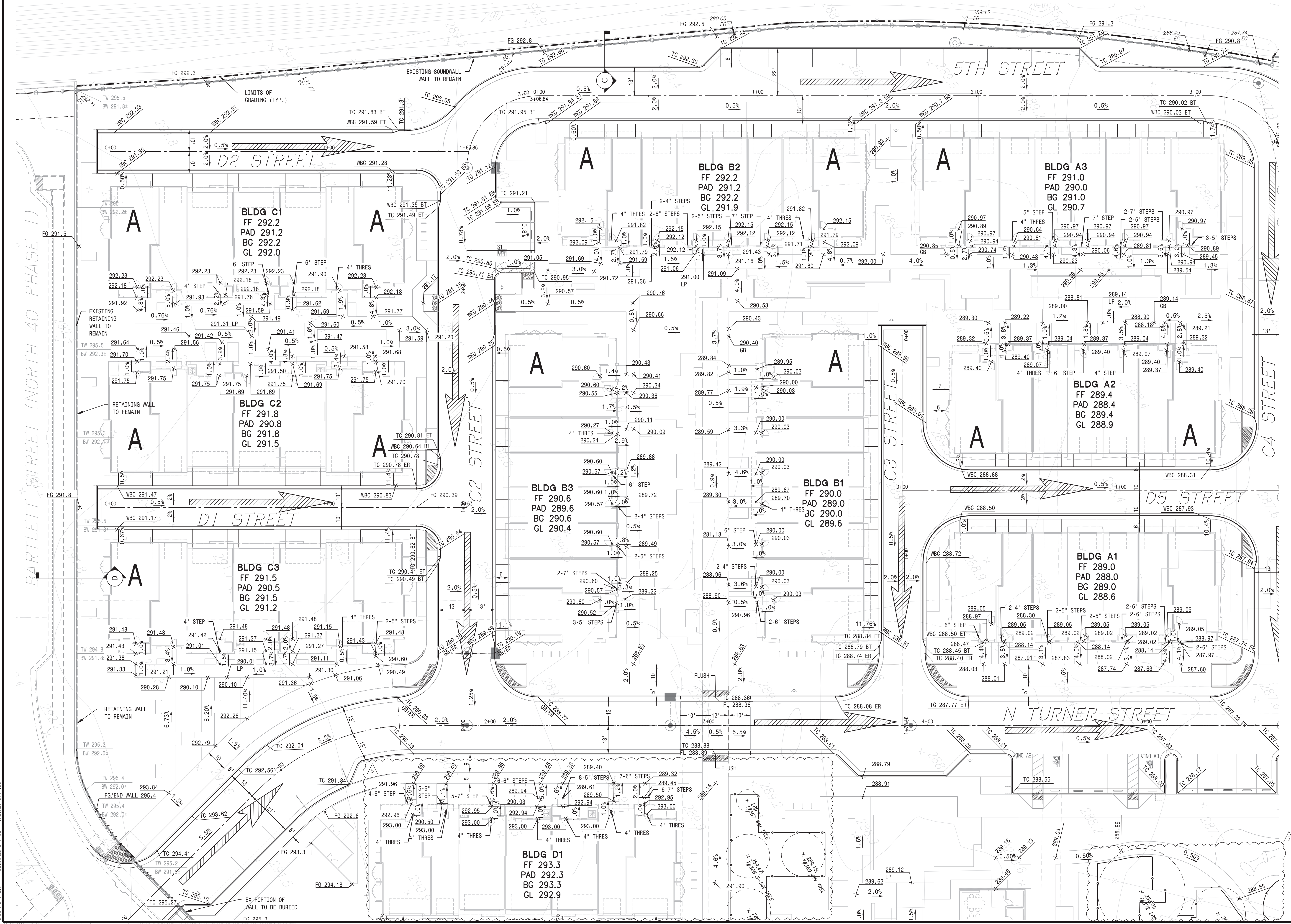
Job Number

TITLE

**PHASE II PRELIMINARY
GRADING PLAN**

SHEET NUMBER

C7



DRAWN BY: EJM DESIGNED BY: CL CHECKED BY: JDB

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5820 Stoneridge Mall Rd., Suite 345
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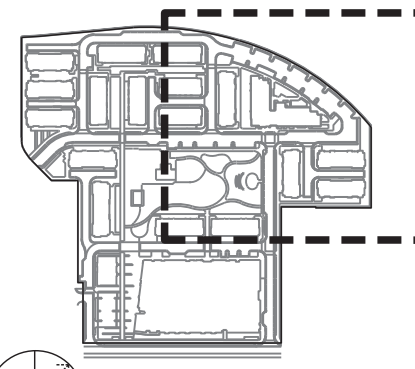
PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

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One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN



ISSUE CHART

NO.	DESCRIPTION	DATE
01	ENTITLEMENT SET	06/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	03/13/2024
04	ENTITLEMENT SET - REVISION 3	06/03/2024
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07	ENTITLEMENT SET - REVISION 6	10/05/2025

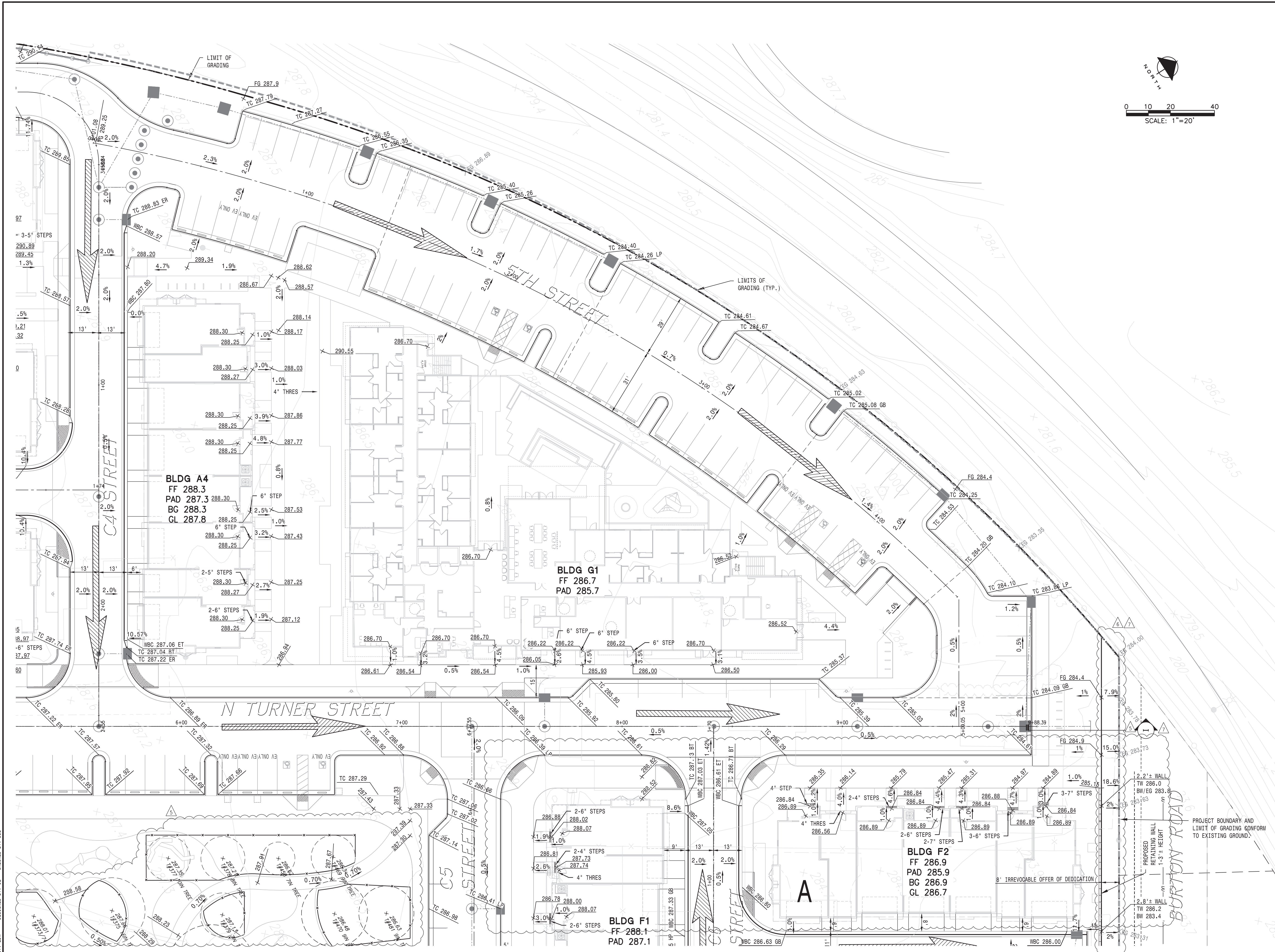
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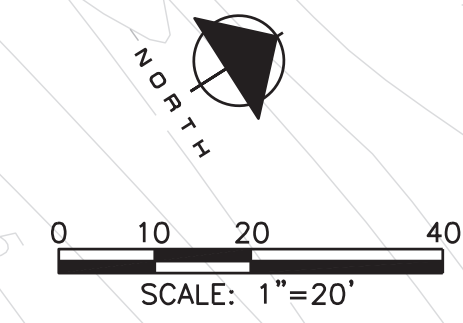
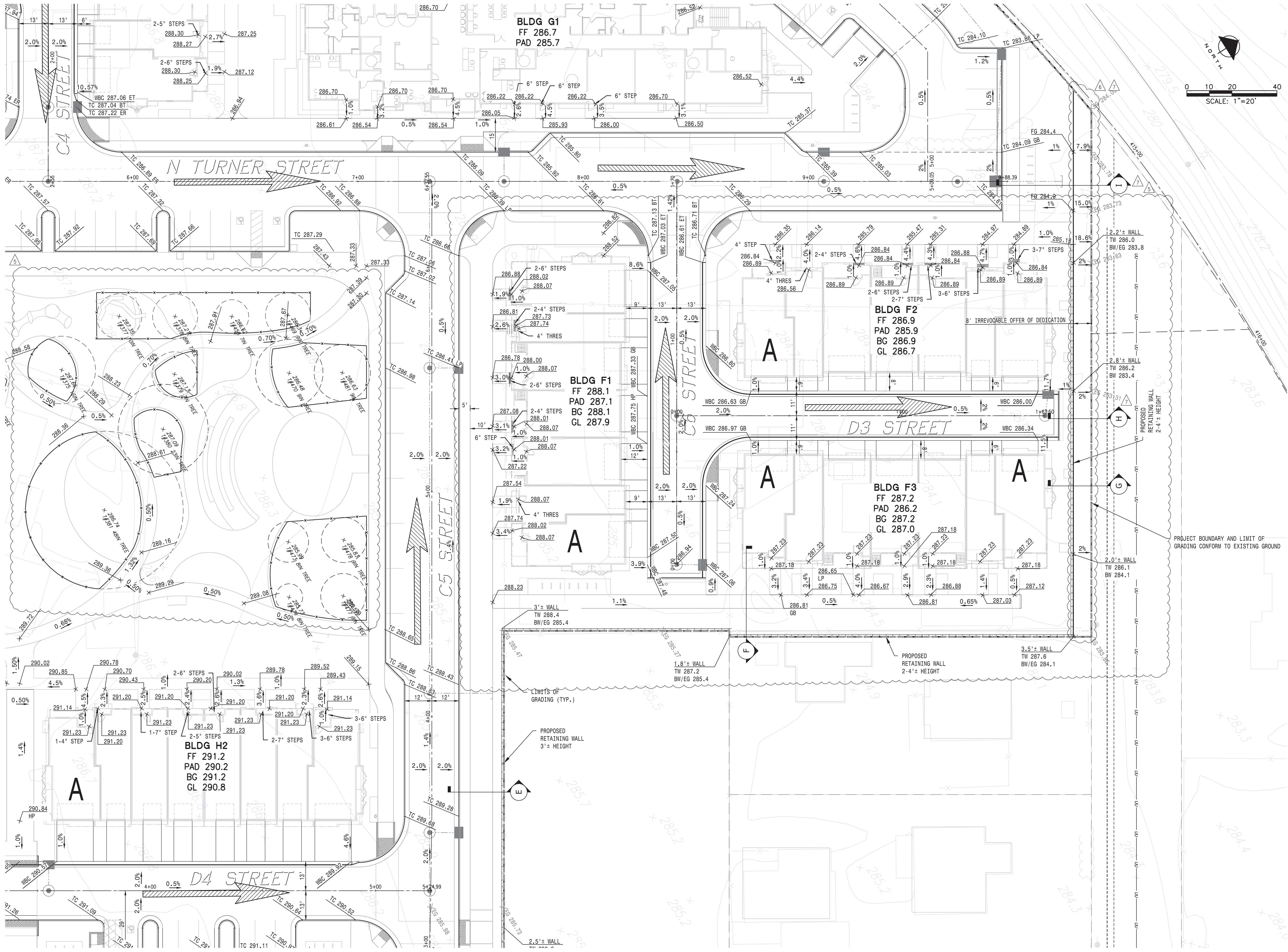
**PHASE II PRELIMINARY
GRADING PLAN**

SHEET NUMBER

C8



DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JJB



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10 S LaSalle St.
Chicago, IL 60603

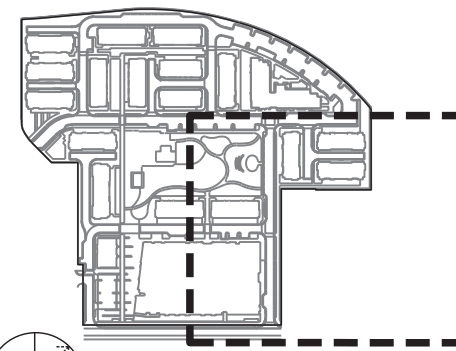
PROJECT

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North 40 Phase II
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KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
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02	ENTITLEMENT SET - REVISION 1	01/16/2024
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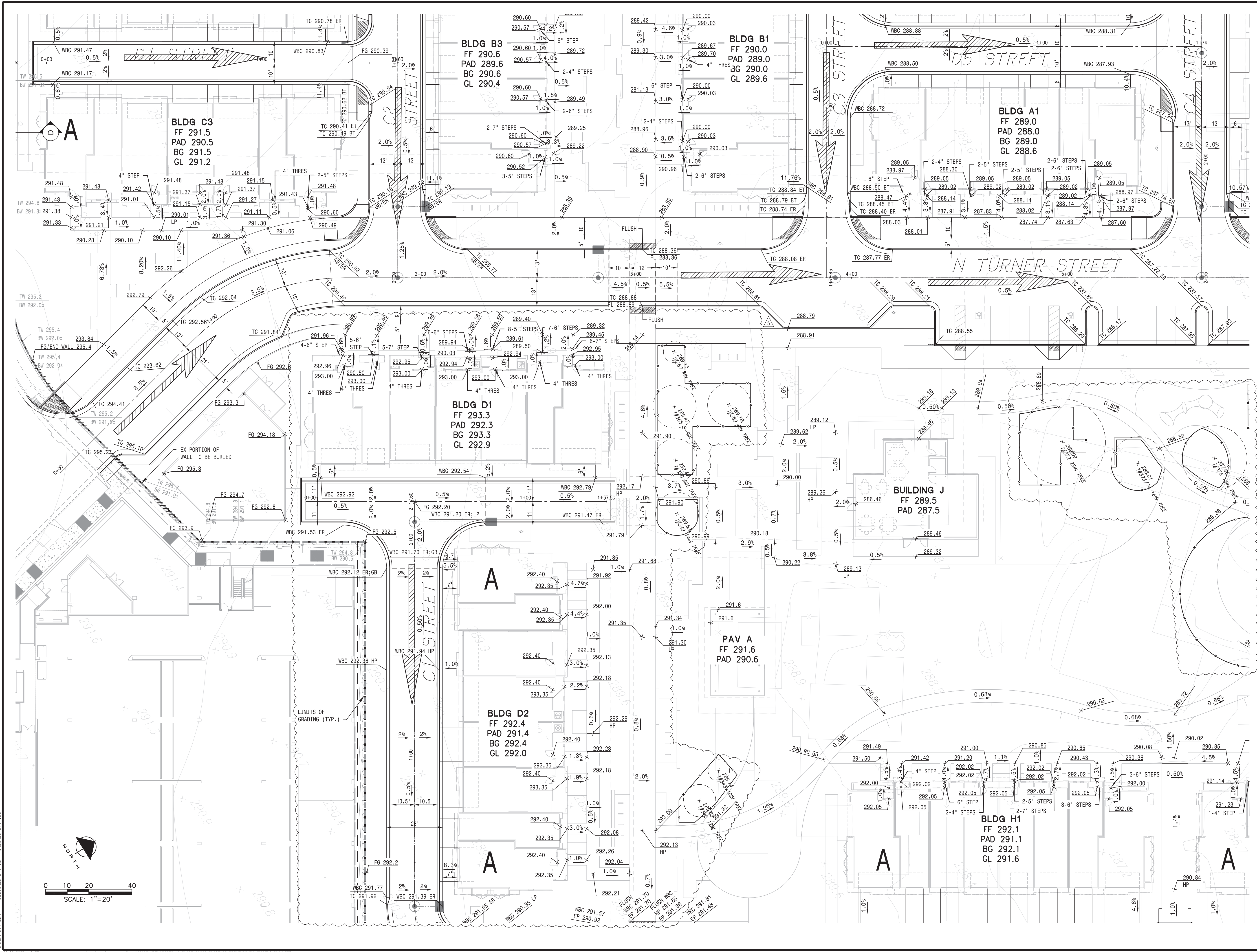
Job Number

TITLE

PHASE II PRELIMINARY GRADING PLAN

SHEET NUMBER

C9



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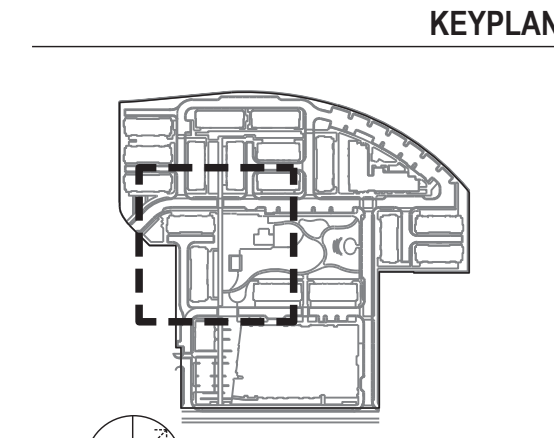
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PROJECT
NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT
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One California Street, Suite 3000
San Francisco, CA 94111

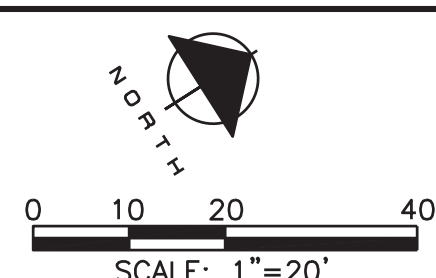
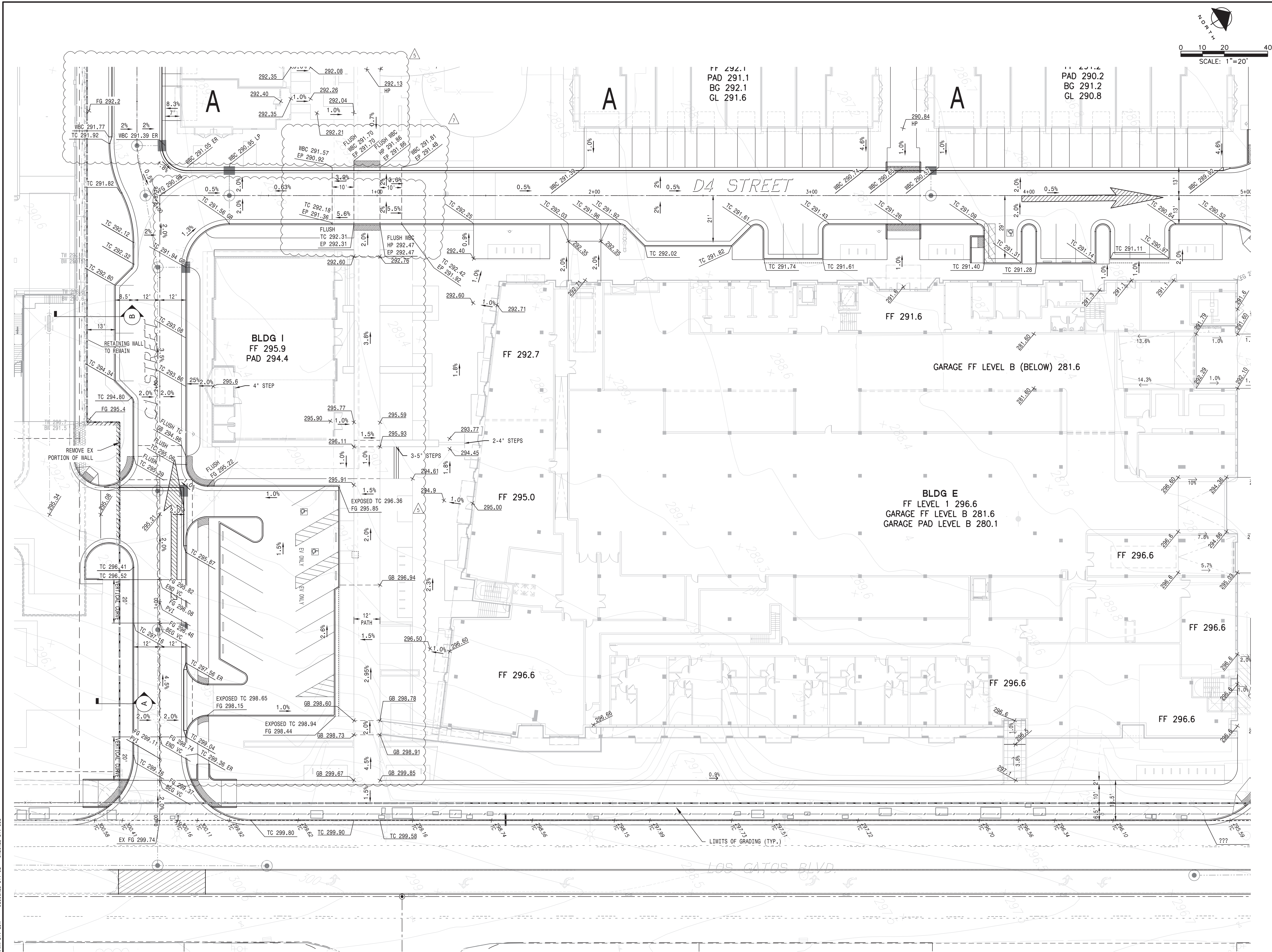


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NO.	DESCRIPTION
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02	ENTITLEMENT SET - REVISION 1
03	ENTITLEMENT SET - REVISION 2
04	ENTITLEMENT SET - REVISION 3
05	ENTITLEMENT SET - REVISION 4
06	ENTITLEMENT SET - REVISION 5
07	ENTITLEMENT SET - REVISION 6

Job Number
TITLE
PHASE II PRELIMINARY GRADING PLAN
SHEET NUMBER

C10

DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JBB



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PROJECT

NORTH 40 PHASE II

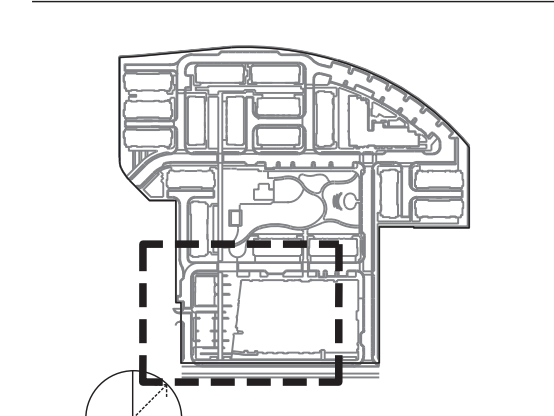
North 40 Phase II
Los Gatos, CA 95032

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KEYPLAN



ISSUE CHART

NO.	DESCRIPTION	DATE
01	ENTITLEMENT SET	06/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	03/13/2024
04	ENTITLEMENT SET - REVISION 3	06/03/2024
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Job Number

TITLE

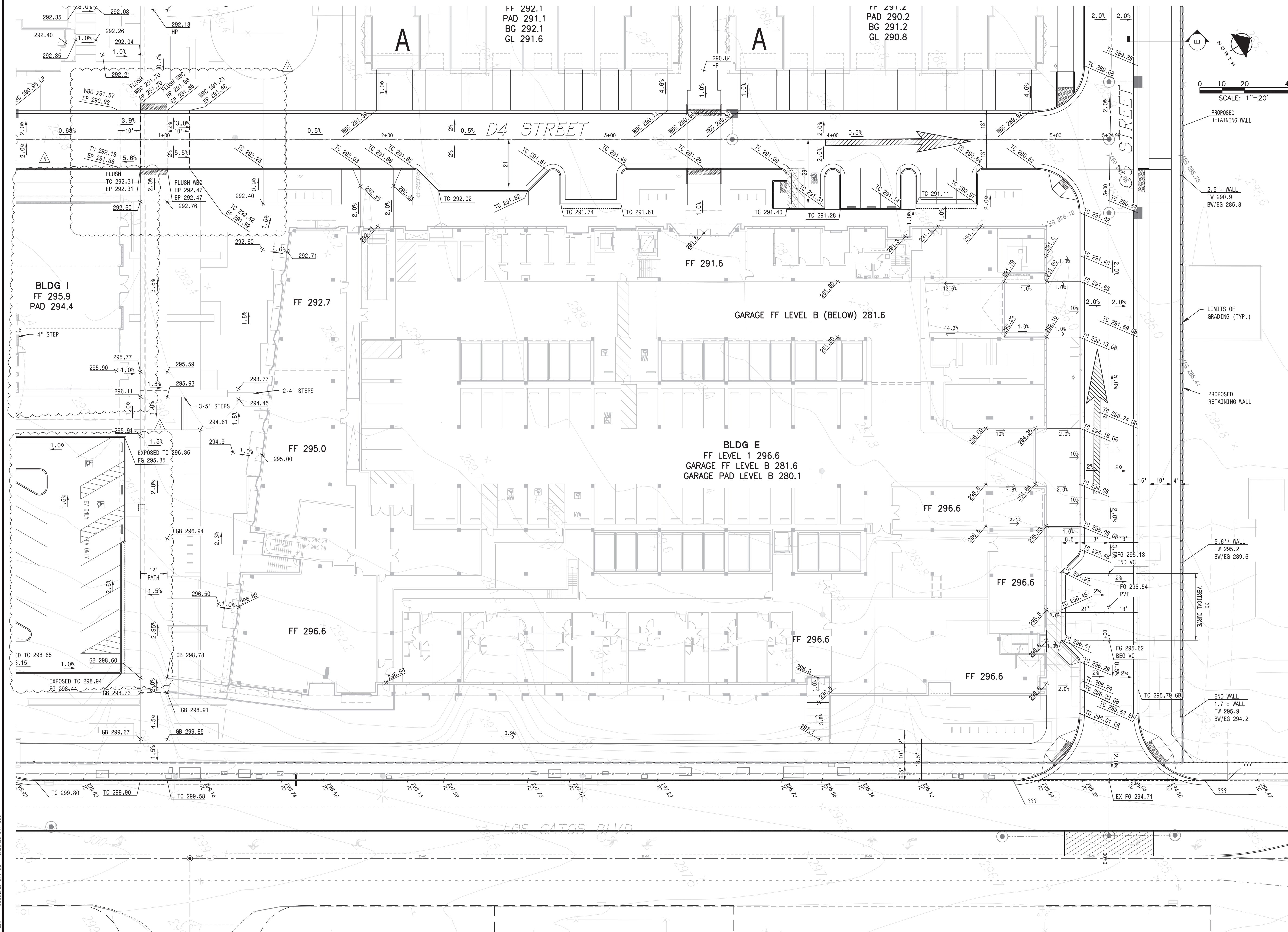
**PHASE II PRELIMINARY
GRADING PLAN**

SHEET NUMBER

C11

DRAWN BY: EJM DESIGNED BY: CL CHECKED BY: JOB

DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JJB



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PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

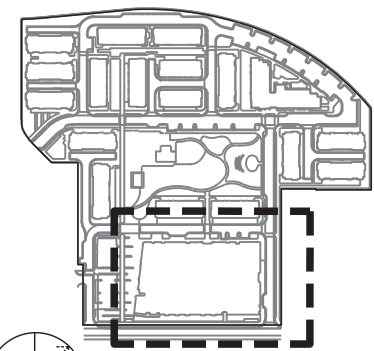
PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

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KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
01	ENTITLEMENT SET	08/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	03/13/2024
04	ENTITLEMENT SET - REVISION 3	06/03/2024
05	ENTITLEMENT SET - REVISION 4	06/20/2024
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Job Number

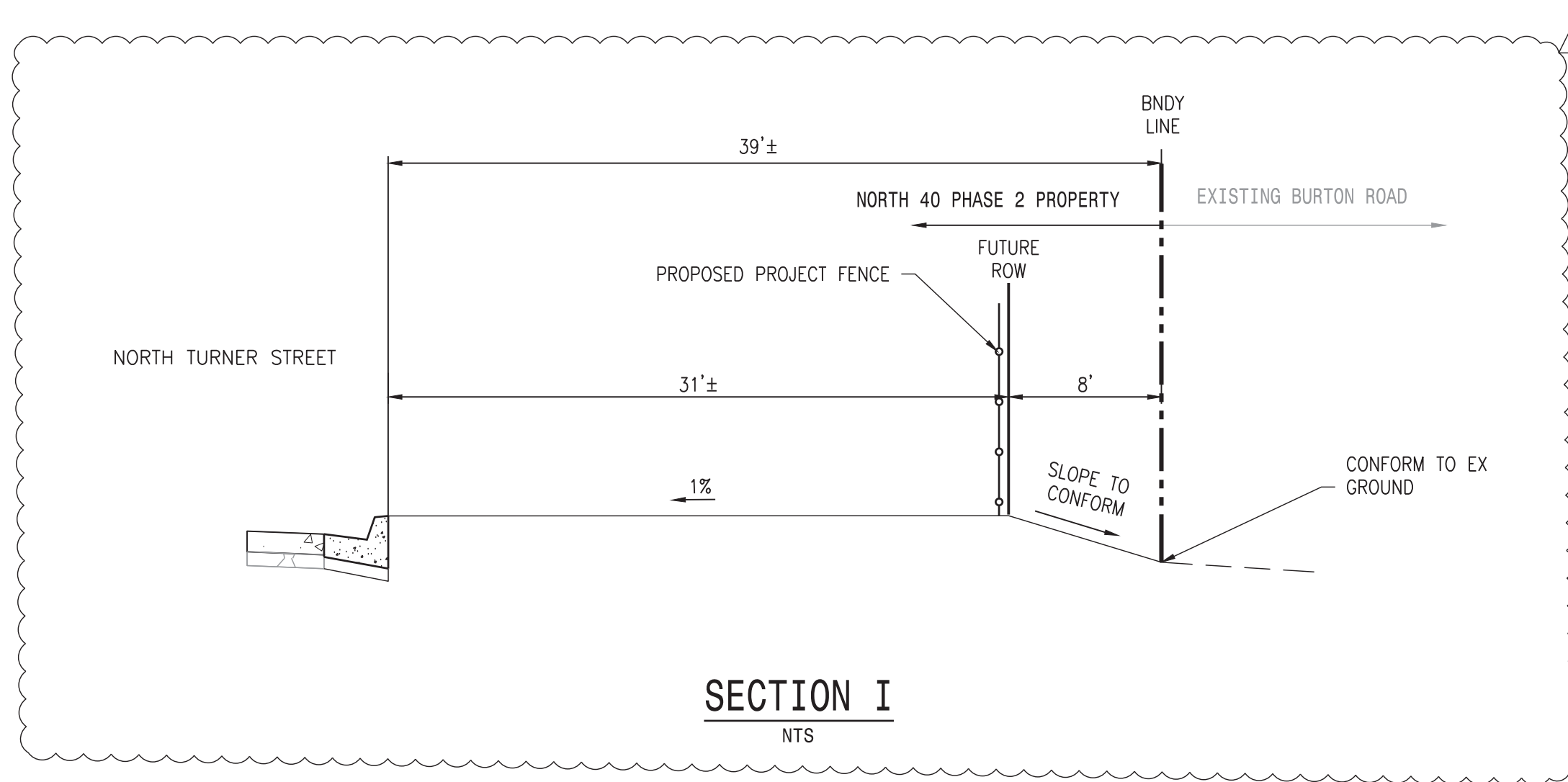
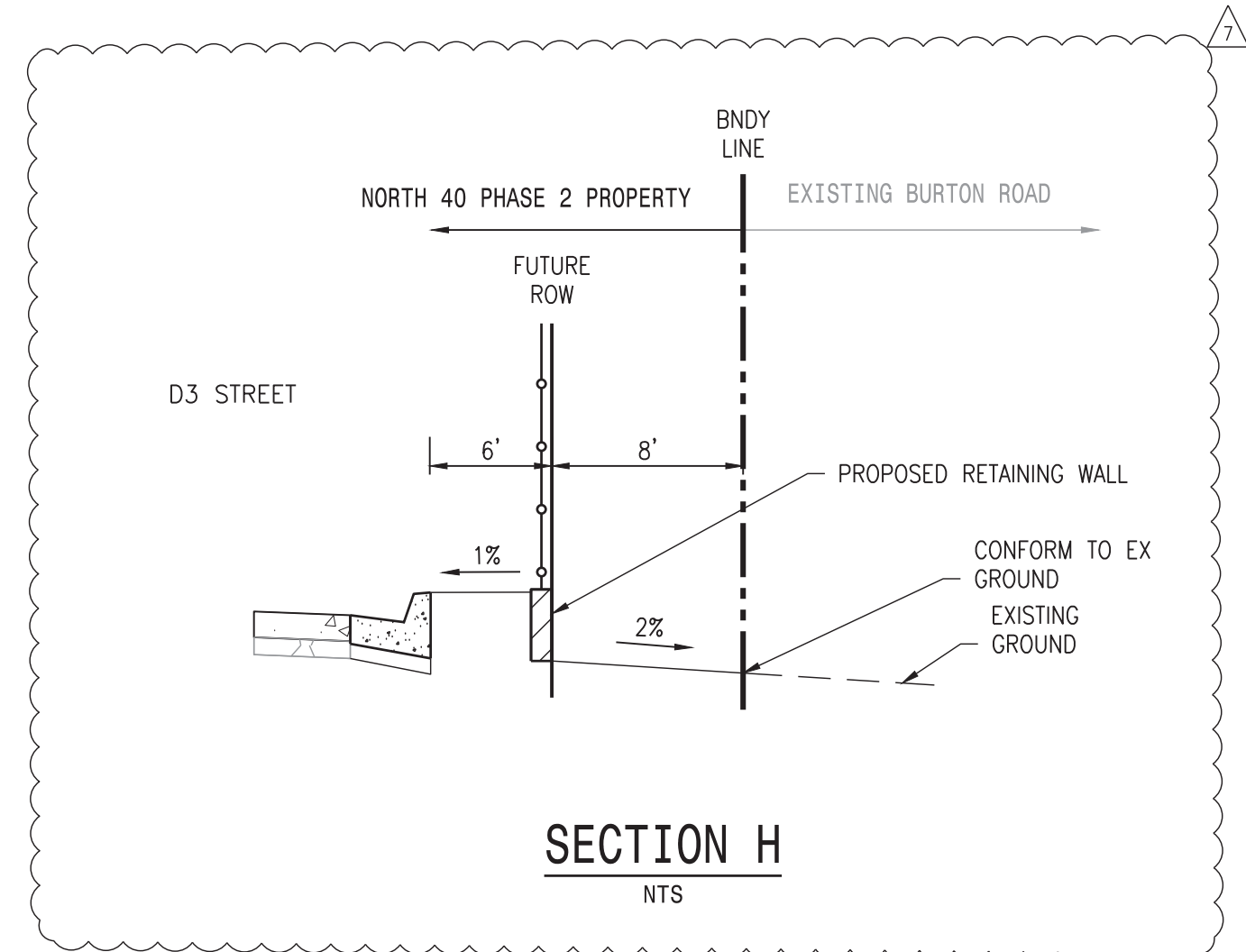
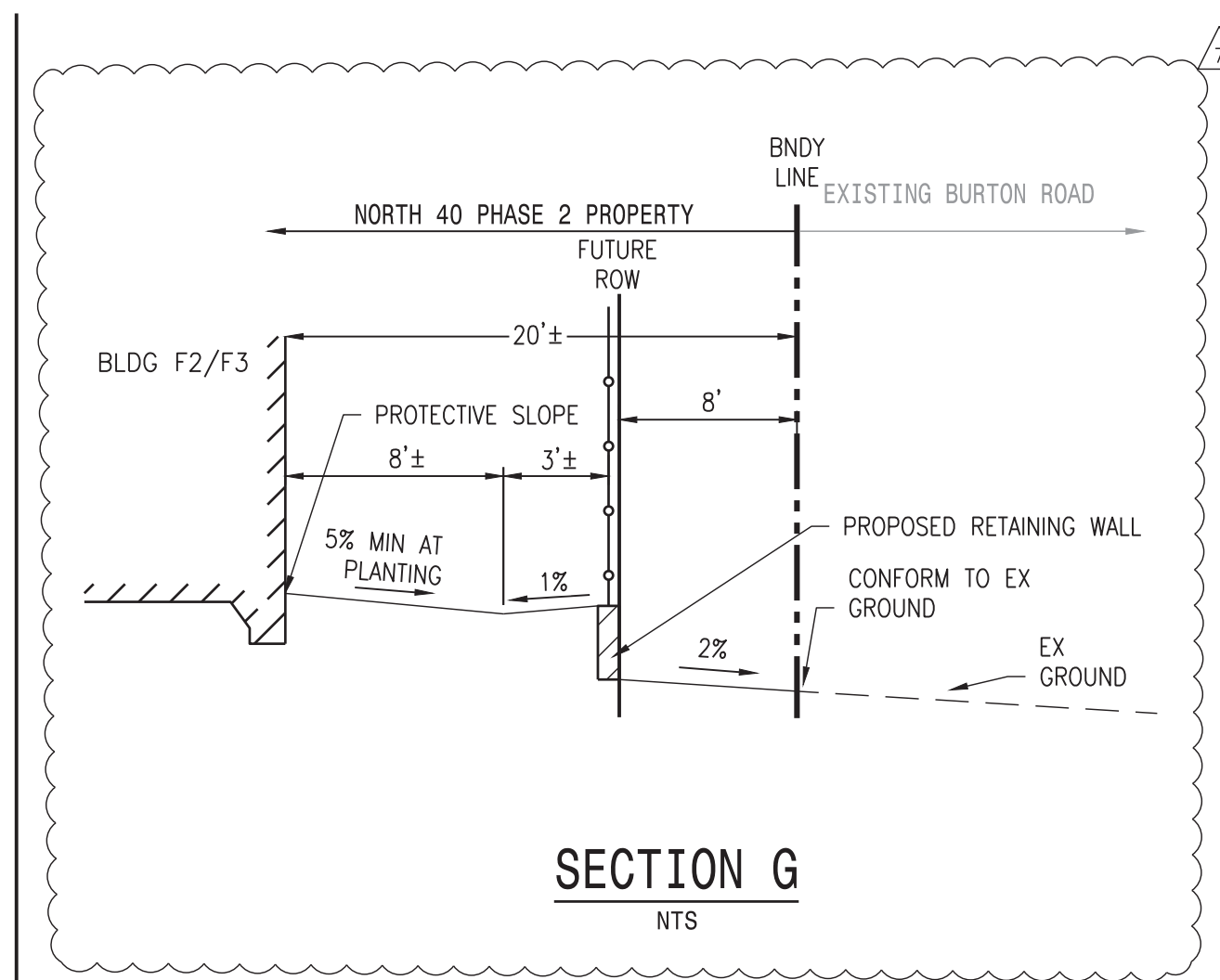
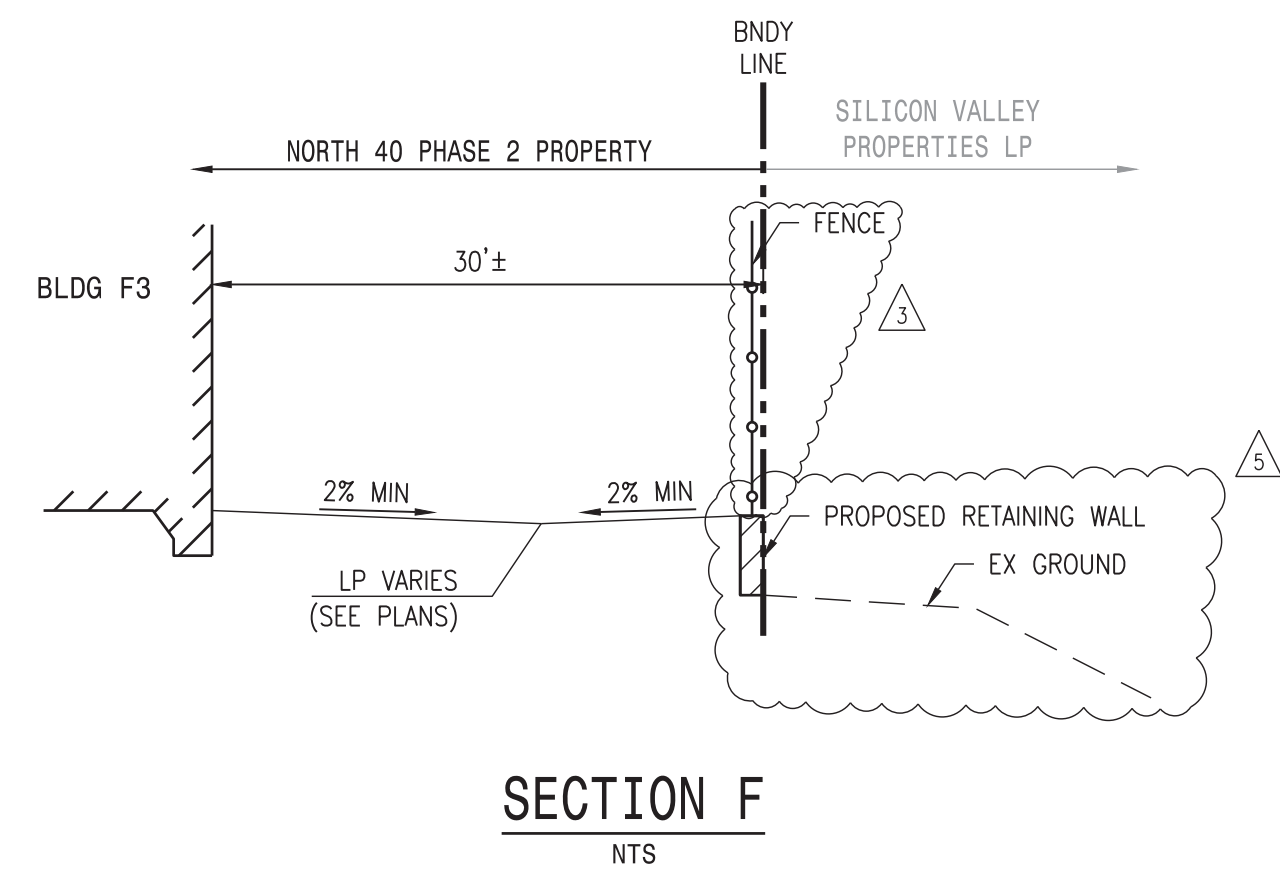
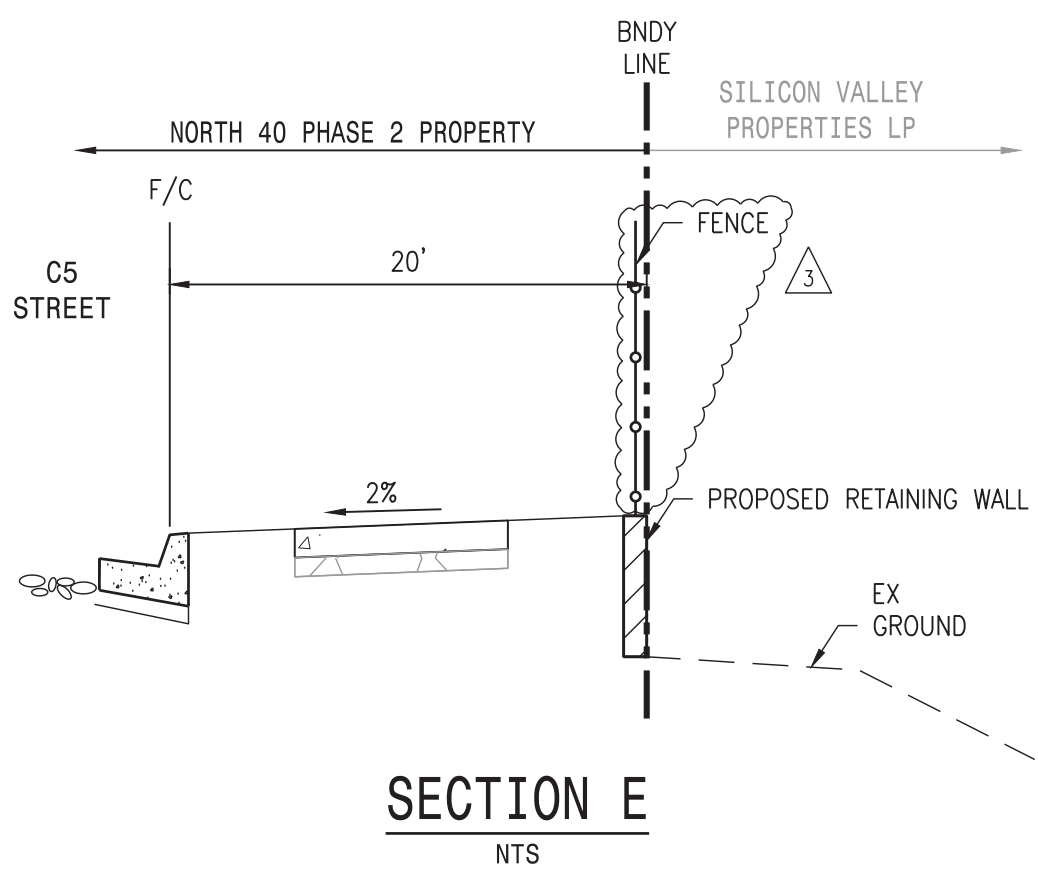
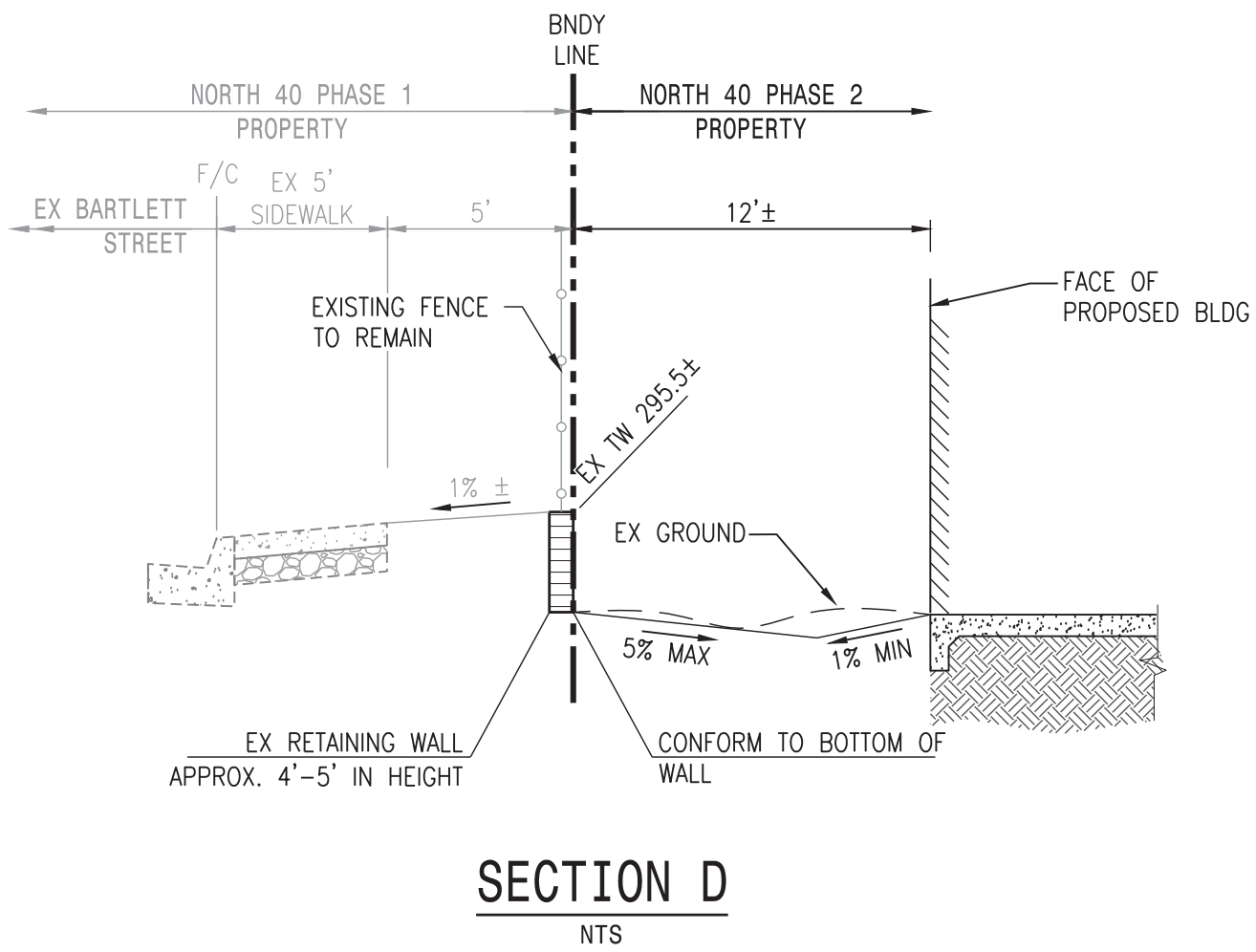
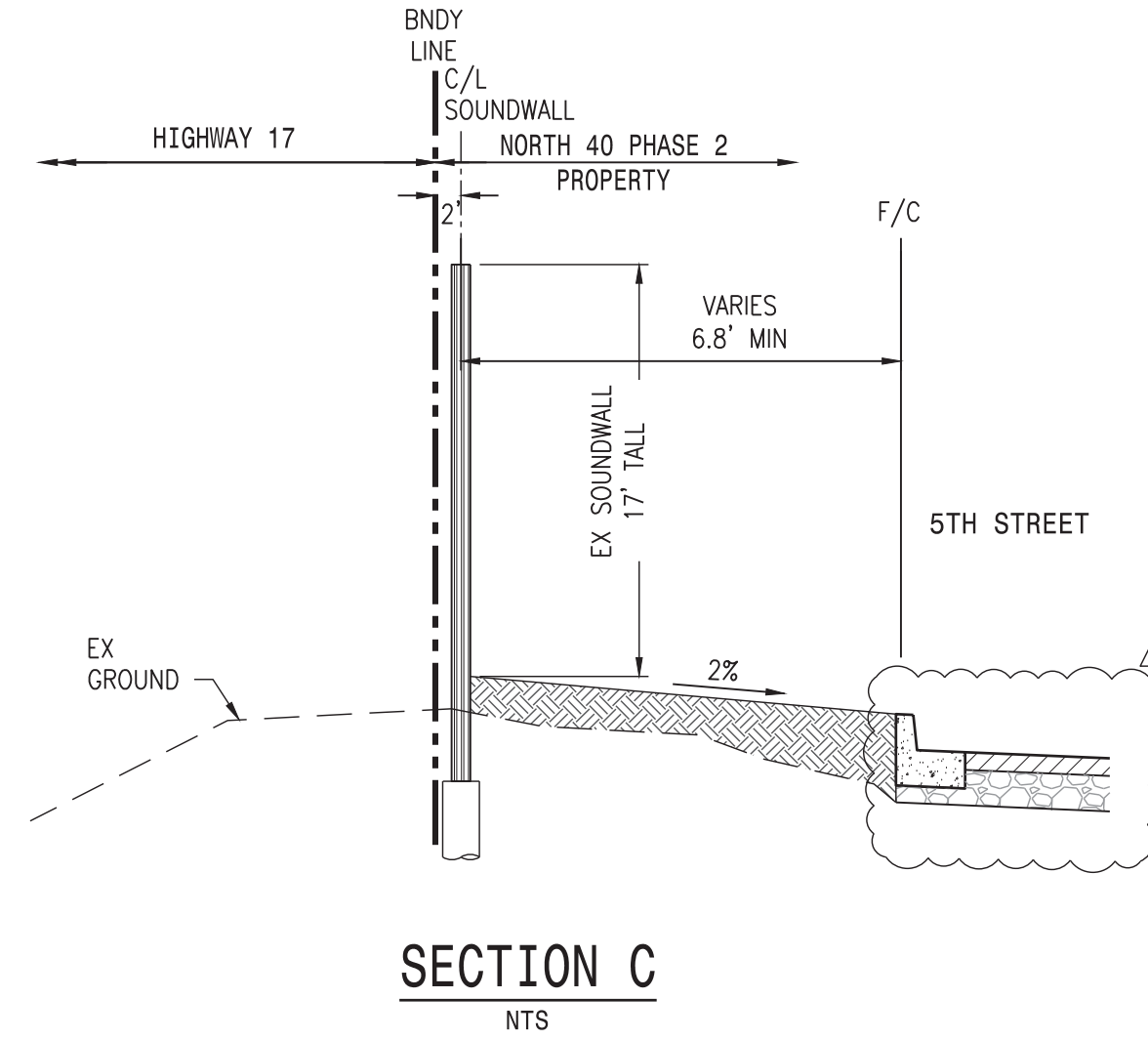
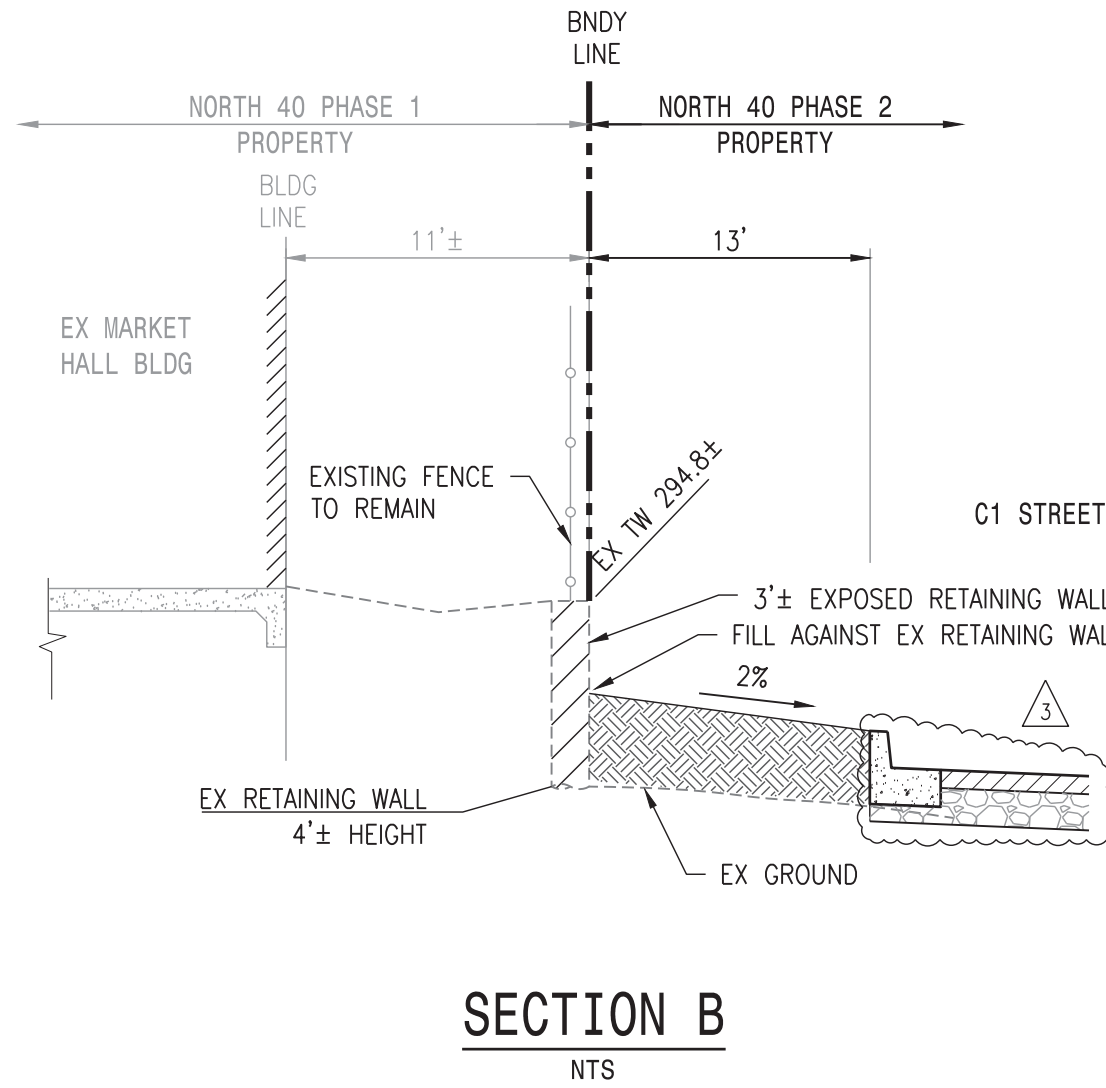
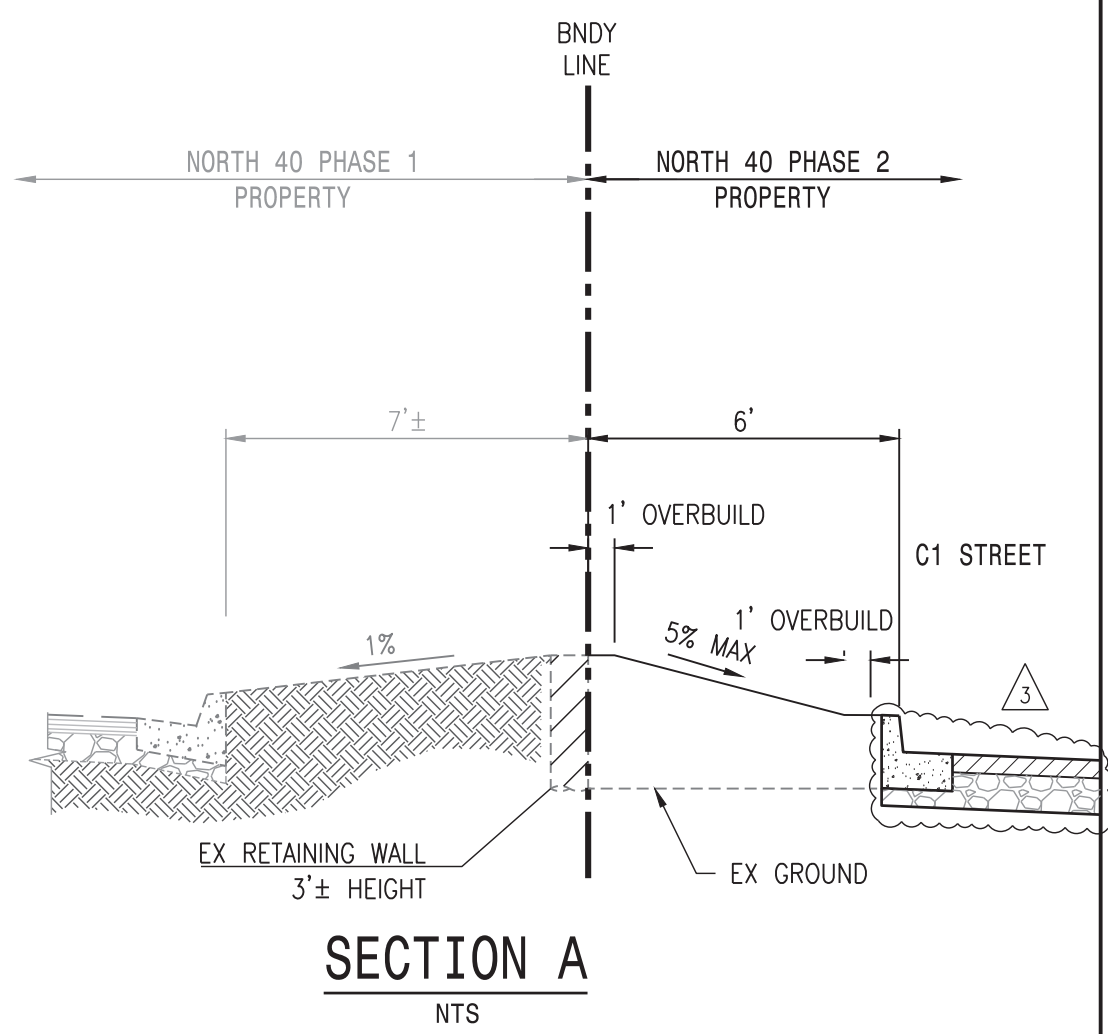
TITLE

**PHASE II PRELIMINARY
GRADING PLAN**

SHEET NUMBER

C12

DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JJB



CONCEPTUAL EARTHWORK SUMMARY:

PHASE	ESTIMATED CUT (CY)	ESTIMATED FILL (CY)	UTILITY TRENCH EXCAVATION (CY)	SHRINK AT 10% (CY)	CONSOLIDATION OVER FILL AREA (CY)	NET (CY)
2	31,565	24,756	TBD	TBD	TBD	6,809

- NOTES:
- QUANTITIES ROUNDED TO THE NEAREST THOUSAND
 - THE QUANTITIES INDICATE AN UNBALANCED DIRT CONDITION, NECESSITATING THE EXPORT OF MATERIAL AS PER THE PRELIMINARY GRADING PLAN. EARTHWORK QUANTITIES SUBJECT TO CHANGE WITH FINAL DESIGN.
 - THE TOTAL DISTURBED ACREAGE IS 15.67 AC.

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5142 Franklin Drive Suite B
Pleasanton, CA 94588
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ASSOCIATED MULTIFAMILY ARCHITECT
HELLER MANUS ARCHITECTS
600 Montgomery Street, Suite 1250
San Francisco, CA 94111

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Pleasanton, CA 94588

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PERKINS & WILL
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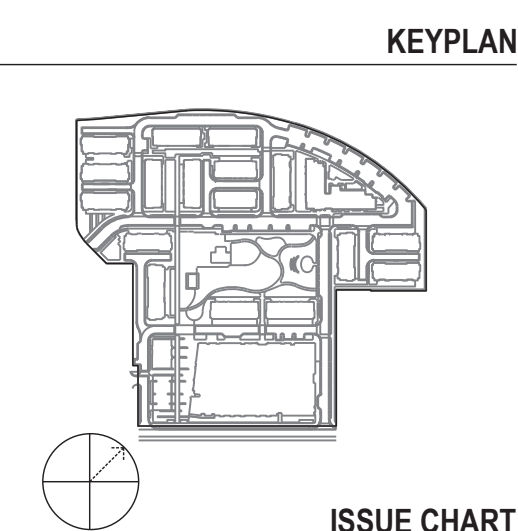
LIGHTING DESIGN
PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

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ISSUE CHART

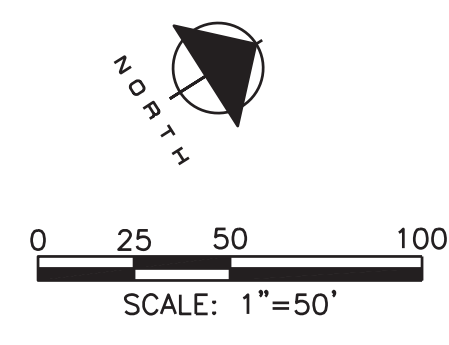
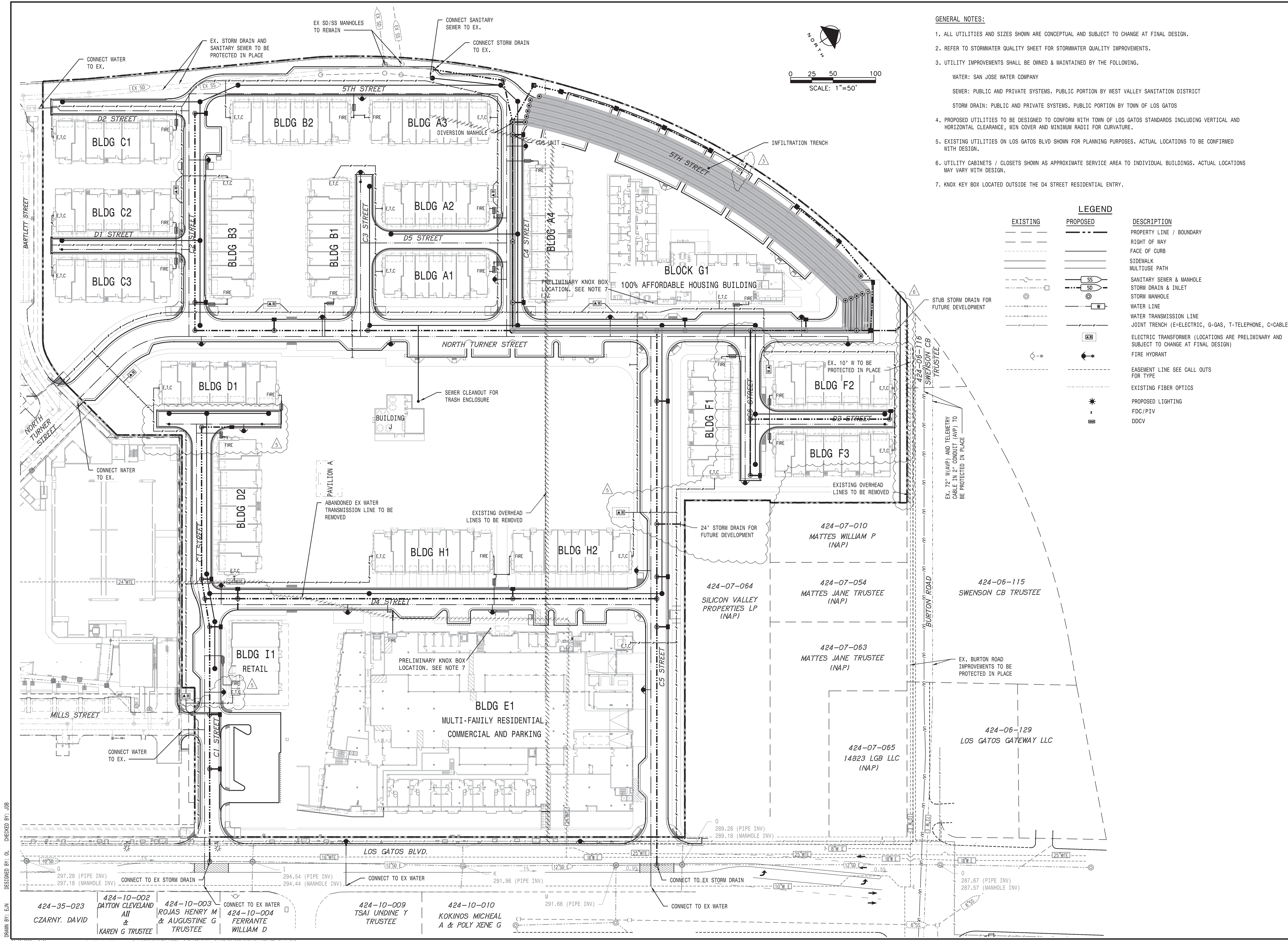
ISSUE	DATE
01	08/14/2023
02	01/16/2024
03	03/13/2024
04	06/05/2024
05	06/20/2024
06	10/13/2024
07	10/02/2025

TITLE

**PHASE II PRELIMINARY GRADING
PLAN SECTIONS AND DETAILS**

SHEET NUMBER

C13



- GENERAL NOTES:**
- ALL UTILITIES AND SIZES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE AT FINAL DESIGN.
 - REFER TO STORMWATER QUALITY SHEET FOR STORMWATER QUALITY IMPROVEMENTS.
 - UTILITY IMPROVEMENTS SHALL BE OWNED & MAINTAINED BY THE FOLLOWING.

WATER: SAN JOSE WATER COMPANY

SEWER: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY WEST VALLEY SANITATION DISTRICT

STORM DRAIN: PUBLIC AND PRIVATE SYSTEMS. PUBLIC PORTION BY TOWN OF LOS GATOS
 - PROPOSED UTILITIES TO BE DESIGNED TO CONFORM WITH TOWN OF LOS GATOS STANDARDS INCLUDING VERTICAL AND HORIZONTAL CLEARANCE, MIN COVER AND MINIMUM RADII FOR CURVATURE.
 - EXISTING UTILITIES ON LOS GATOS BLVD SHOWN FOR PLANNING PURPOSES. ACTUAL LOCATIONS TO BE CONFIRMED WITH DESIGN.
 - UTILITY CABINETS / CLOSETS SHOWN AS APPROXIMATE SERVICE AREA TO INDIVIDUAL BUILDINGS. ACTUAL LOCATIONS MAY VARY WITH DESIGN.
 - KNOX KEY BOX LOCATED OUTSIDE THE D4 STREET RESIDENTIAL ENTRY.

LEGEND		DESCRIPTION
EXISTING	PROPOSED	PROPERTY LINE / BOUNDARY
		RIGHT OF WAY
		FACE OF CURB
		SIDEWALK
		MULTIUSE PATH
		SANITARY SEWER & MANHOLE
		STORM DRAIN & INLET
		STORM MANHOLE
		WATER LINE
		WATER TRANSMISSION LINE
		JOINT TRENCH (E=ELECTRIC, G-GAS, T-TELEPHONE, C=CABLE)
		ELECTRIC TRANSFORMER (LOCATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE AT FINAL DESIGN)
		FIRE HYDRANT
		EASEMENT LINE SEE CALL OUTS FOR TYPE
		EXISTING FIBER OPTICS
		PROPOSED LIGHTING
		FDC/PIV
		DDCV

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5865 Owens Drive
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MASTERPLAN AND LANDSCAPE ARCHITECT
PERKINS & WILL
2 Bryant Street, Suite 300
San Francisco, CA 94105

LIGHTING DESIGN
PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

Grosvenor-Property Americas
One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN

ISSUE CHART

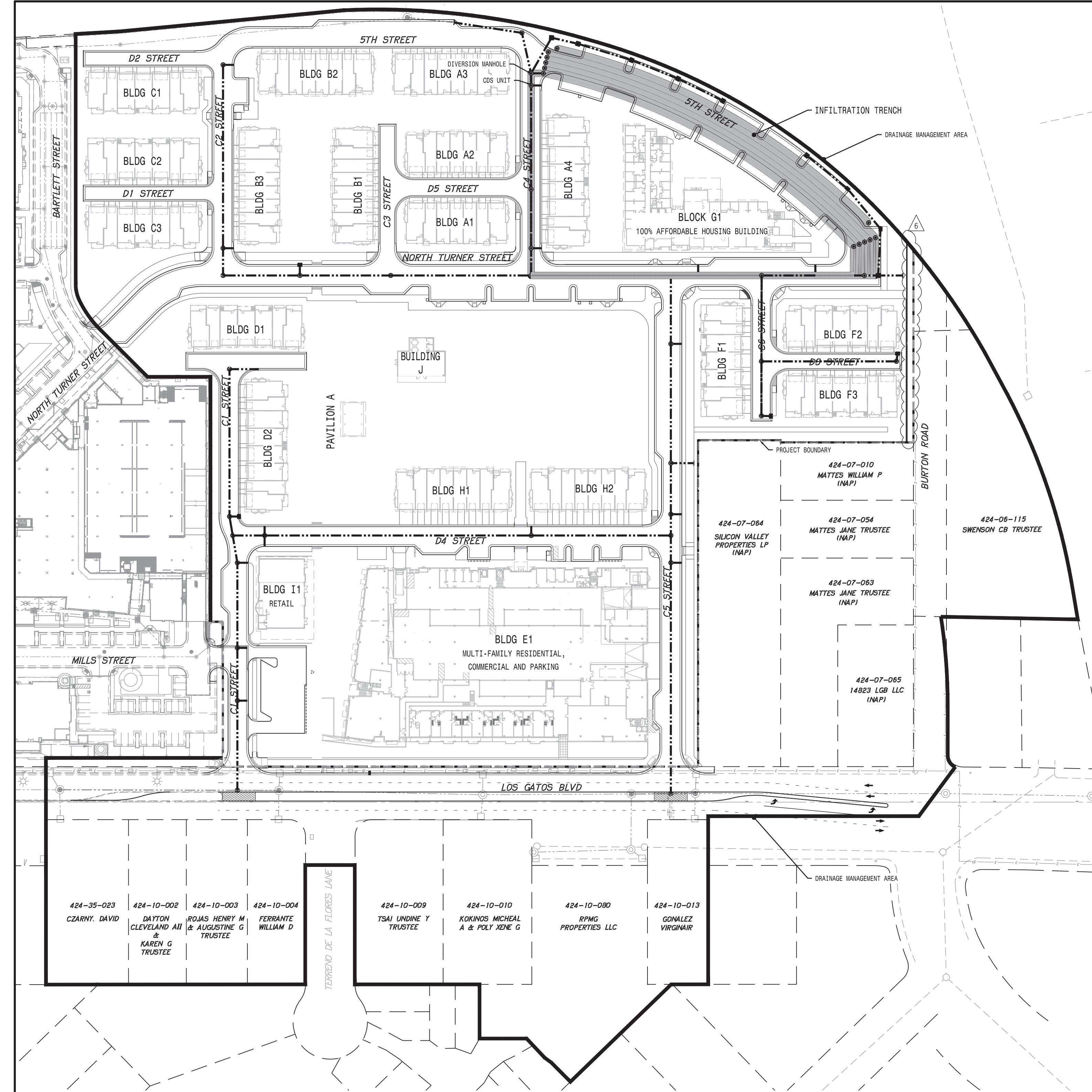
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07	ENTITLEMENT SET - REVISION 6	10/25/2025

Job Number

TITLE
PHASE II PRELIMINARY UTILITY PLAN

SHEET NUMBER
C14

DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JDB

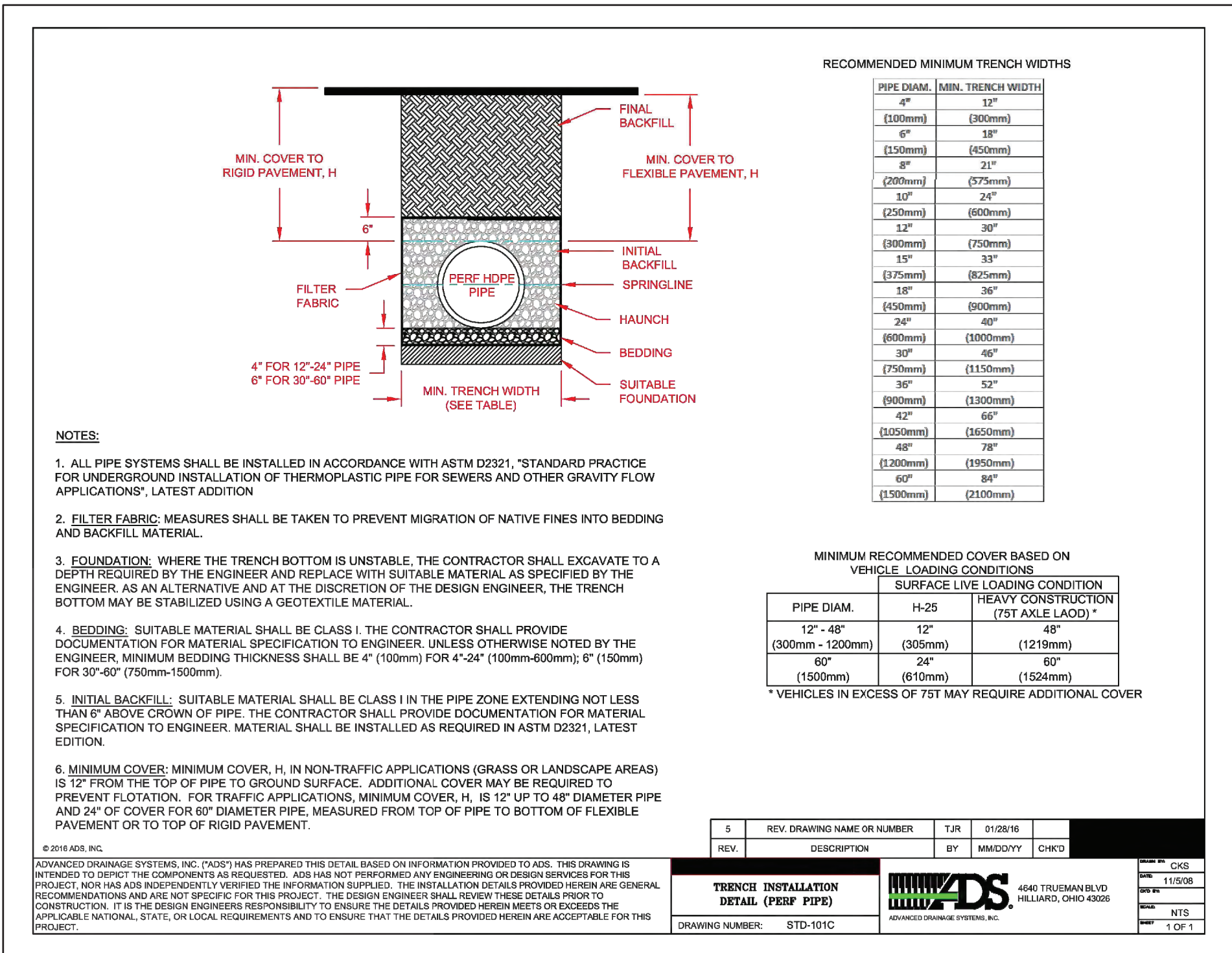


0 40 80 160
SCALE: 1"=80'

LEGEND

STORMWATER DRAINAGE MANAGEMENT AREA

Preliminary CDS Unit Sizing Calcs	
Q=CIA	
Intensity (San Jose Airport)	0.17
MAP _{SITE} /MAP _{GAGE}	1.5
I Design Intensity	0.255
C based on impervious percentage above	0.70
A Total project Area	24.94
Q Flow required	4.45



Stormwater Quality Treatment Sizing Calculations																
Total Project Area (SF)	Impervious Area (SF)	Pervious Area (SF)	% Impervious (i)	UBS (in)	Adjusted UBS Volume Required (in)	Storage Volume Required (ft³)	Subsurface Infiltration Trench									
							Nominal Pipe Size (in)	Nominal O.D. (in)	Trench Width (ft)	Bedding Thickness (in)	Trench Depth (ft)	Pipe Volume (cf/lf)	Rock Volume ⁽⁶⁾ (cf/lf)	Total Volume (cf/lf)	Trench Length Designed (ft)	Storage Volume Designed (ft³)
1086520	760133	326387	0.70	0.40	0.60	54717	48	54	6.7	18.00	6.0	12.50	3.5	16.00	3420	54720
													Infiltration Trench Drainage Calculations			
													Trench Surface Area (ft²)	Depth of ponding when full (in)	native soil ⁽⁷⁾ (in/hr)	Time needed to drain (hrs)
													22914	28.66	1.5	19
Notes:																
1. Sizing criteria from the Santa Clara Valley Urban Runoff Pollution Prevention Program 2016 C.3 Handbook - Volume Based Sizing method (CASQA BMP Handbook Approach) for treatment areas. See handbook for details																
2. Unit Basin Storage (UBS) volumes taken from C.3 Handbook, Appendix B, Figure B-2, San Jose Airport Gage, for Type B soils.																
3. Mean annual precipitation per Figure B-1 "Soil Texture and Mean Annual Precipitation Depths for the Santa Clara Basin" See C.3 Handbook, Appendix B, for figure.																
MAP _{SITE} 21.0 inches																
4. Mean annual precipitation gage (MAPGAGE) per Table B-2b: "Precipitation Data for Three Reference Gages" See C.3 Handbook, Appendix B for table.																
MAP _{GAGE} 13.9 inches																
5. UBS Adjustment factor = MAP _{SITE} /MAP _{GAGE} 1.5																
6. Assumed porosity (void space) of aggregate = 0.35																
7. Per Engeo's Geotechnical Exploration and supplemental Infiltration Trench Memo, actual infiltration rates on site exceed 5" per hour but 1.5" per hour was used to be conservative.																

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San Francisco, CA 94111

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GIACALONE DESIGN
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Pleasanton, CA 94588

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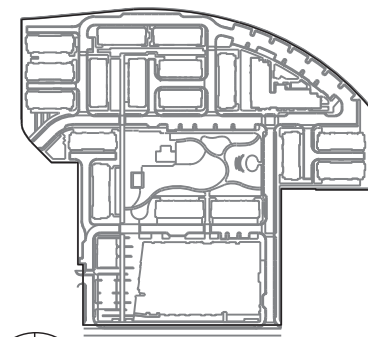
PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

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KEYPLAN



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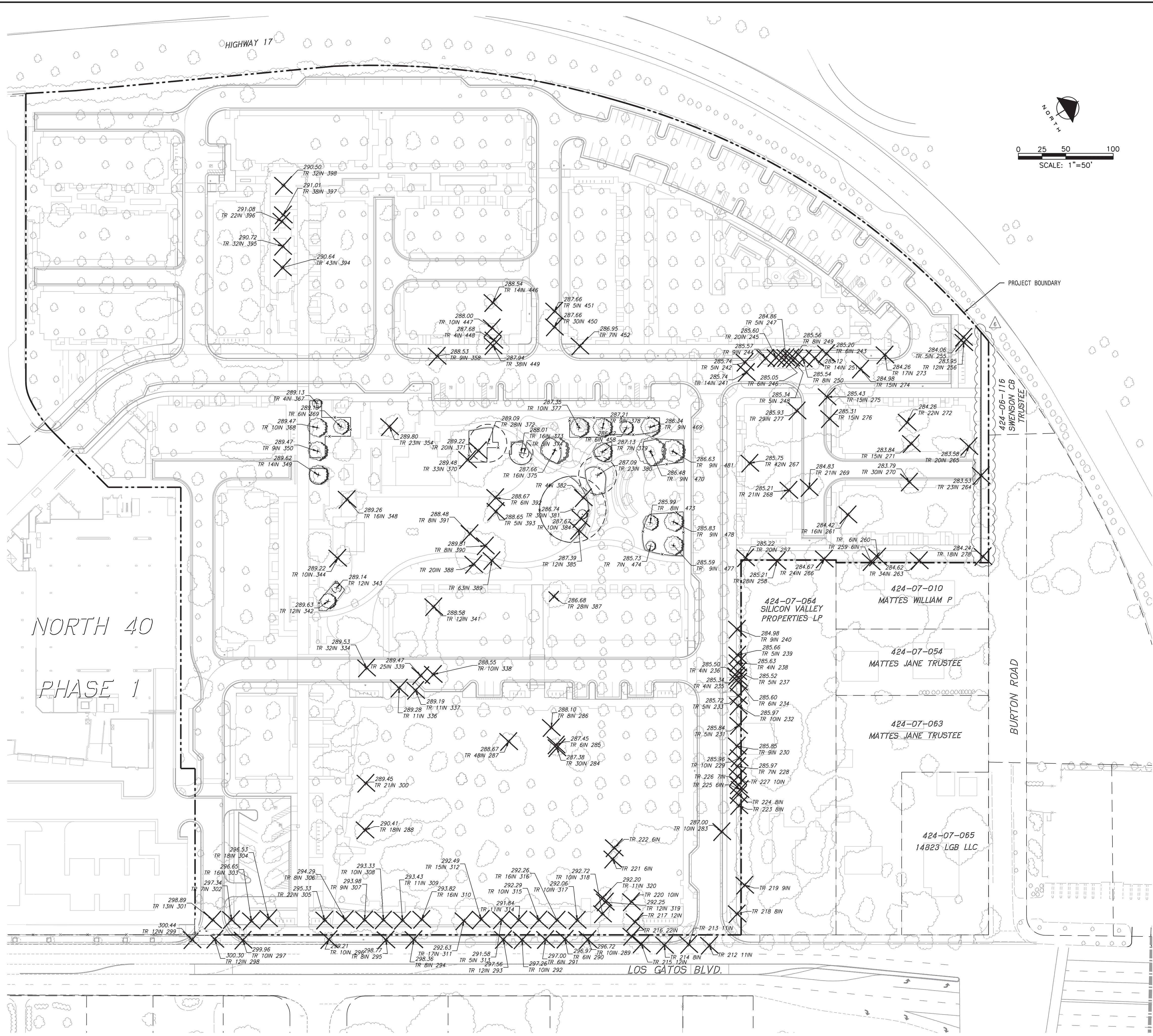
TITLE

**PHASE II STORMWATER
MANAGEMENT CONCEPT**

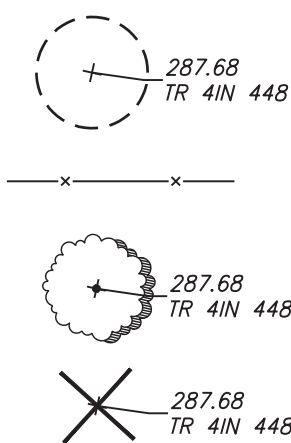
SHEET NUMBER

C15

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LEGEND



PROTECTED TREE WITH THE POTENTIAL TO BE PRESERVED TO THE EXTENT FEASIBLE DURING FINAL DESIGN

TREE PROTECTIVE FENCING PER ARBORIST RECOMMENDATION

NON PROTECTED TREE WITH THE POTENTIAL TO BE PRESERVED TO THE EXTENT FEASIBLE DURING FINAL DESIGN.

PROTECTED TREE TO BE REMOVED

NOTE:

1. SEE NORTH 40 PHASE II PRELIMINARY ARBORIST REPORT BY HORTSCIENCE, BARTLETT CONSULTING DATED SEPTEMBER 20, 2024 FOR TREE SPECIES AND HEALTH DETAILS.

Trees with the Potential to be Preserved to the Extent Feasible During Final Design.			
Tree #	Species	Protected	Not Protected
342	Persimmon		X
343	Goldenrain Tree	X	
349	English Walnut		X
350	English Walnut		X
367	English Walnut		X
368	English Walnut		X
369	English Walnut		X
372	Atlas Cedar	X	
373	Cork Oak	X	
374	Deodar Cedar	X	
375	English Walnut		X
377	English Walnut		X
378	English Walnut	X	
379	English Walnut	X	
380	Coast Live Oak	X	
381	Cork Oak	X	
458	English Walnut		X
469	English Walnut		X
470	English Walnut		X
473	English Walnut		X
474	English Walnut		X
477	English Walnut		X
478	English Walnut		X
481	English Walnut		X

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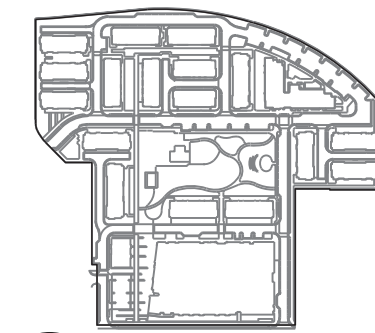
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Job Number

TITLE

**PHASE II TREE
DISPOSITION PLAN**

SHEET NUMBER

C16

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DAHLIN GROUP
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PERKINS & WILL
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Chicago, IL 60603

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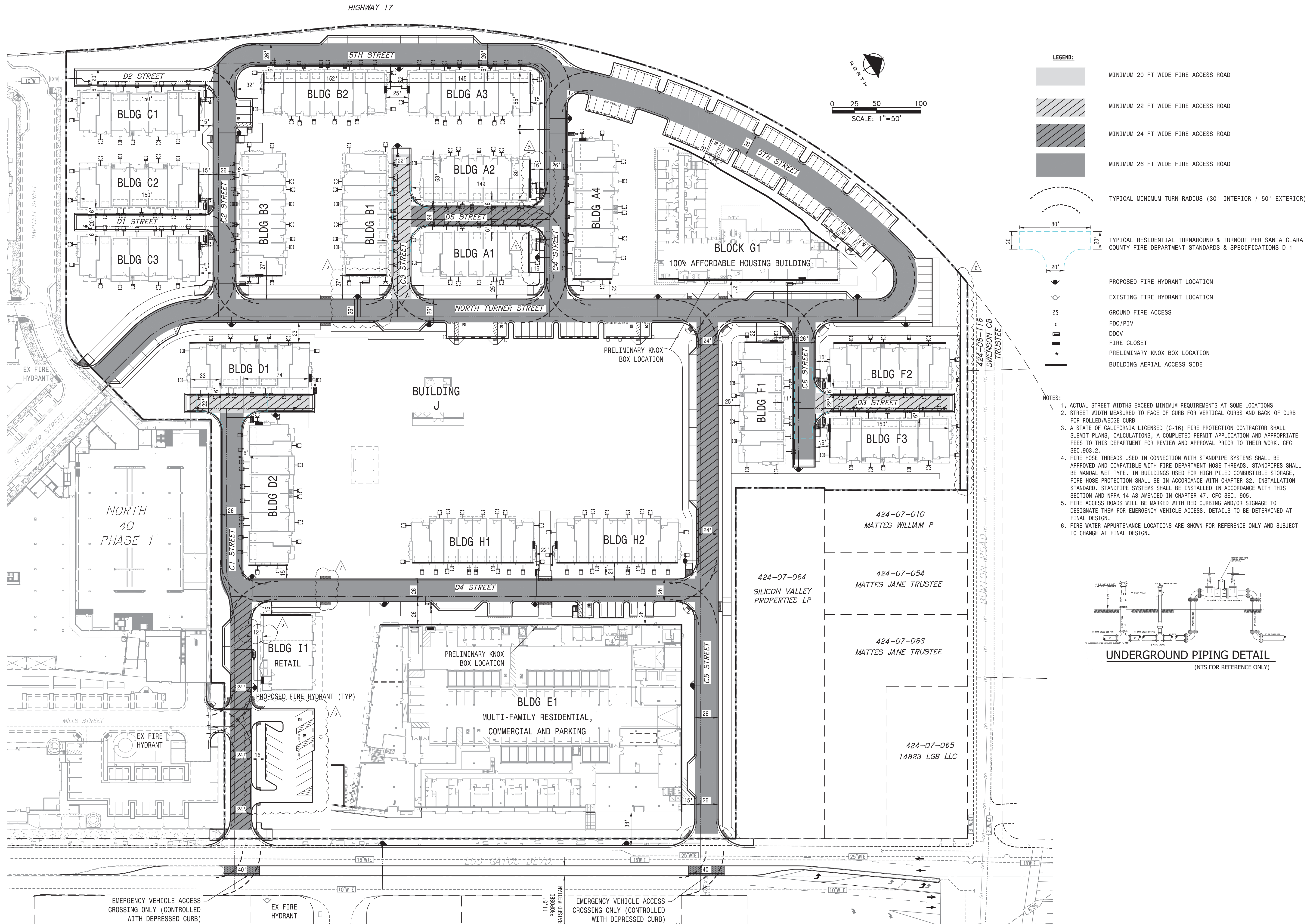
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TITLE

PHASE II FIRE ACCESS PLAN

SHEET NUMBER

C17 } Δ_7

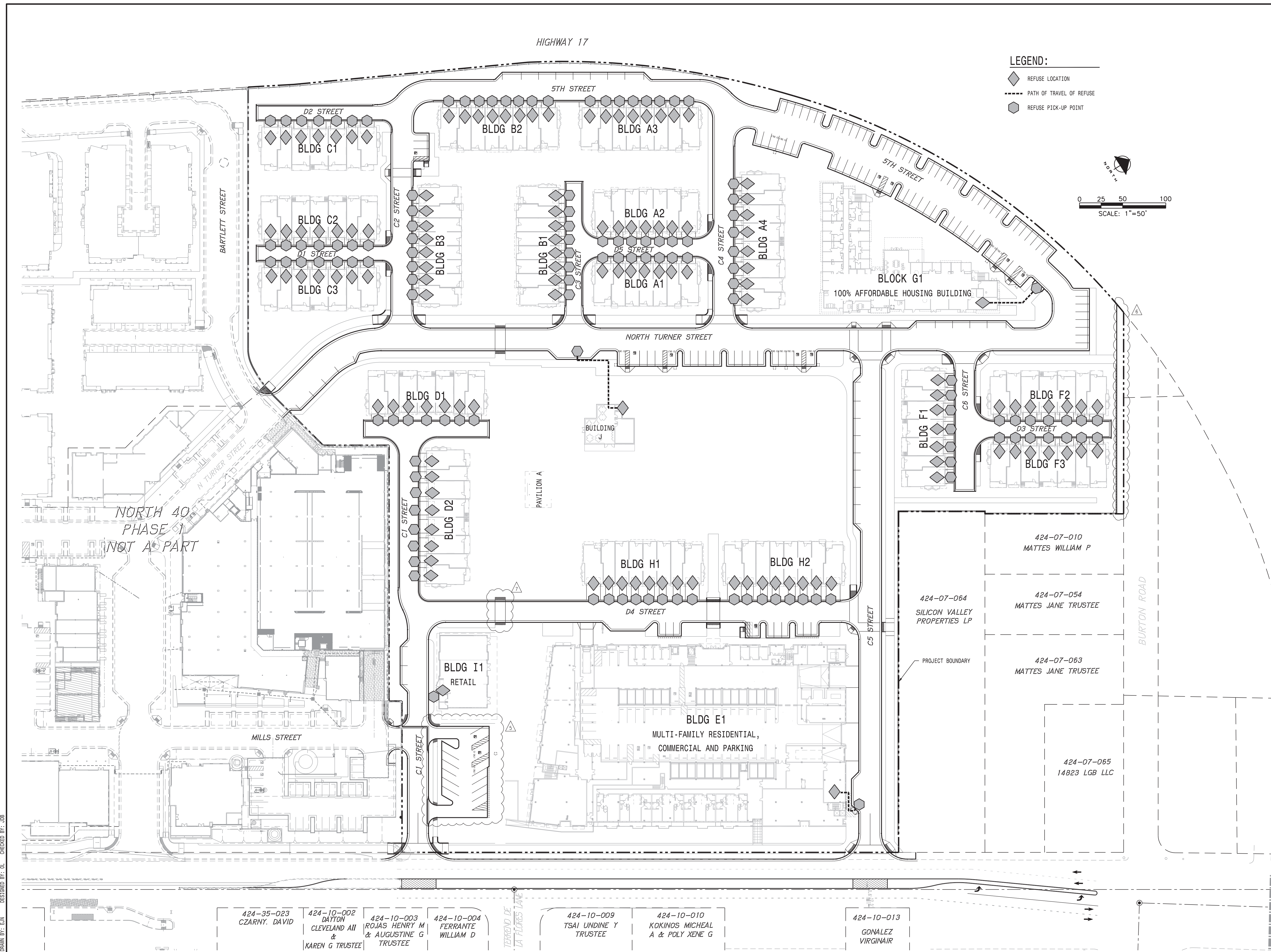


DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JJB

03-06-2025 8:38am

Austin Arévalo

P:\19890\PLAN\NORTH 40 PHASE 2\1016 PHASE II REFUSE CIRCULATION PLAN.DWG



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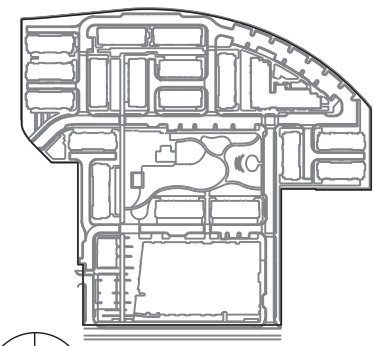
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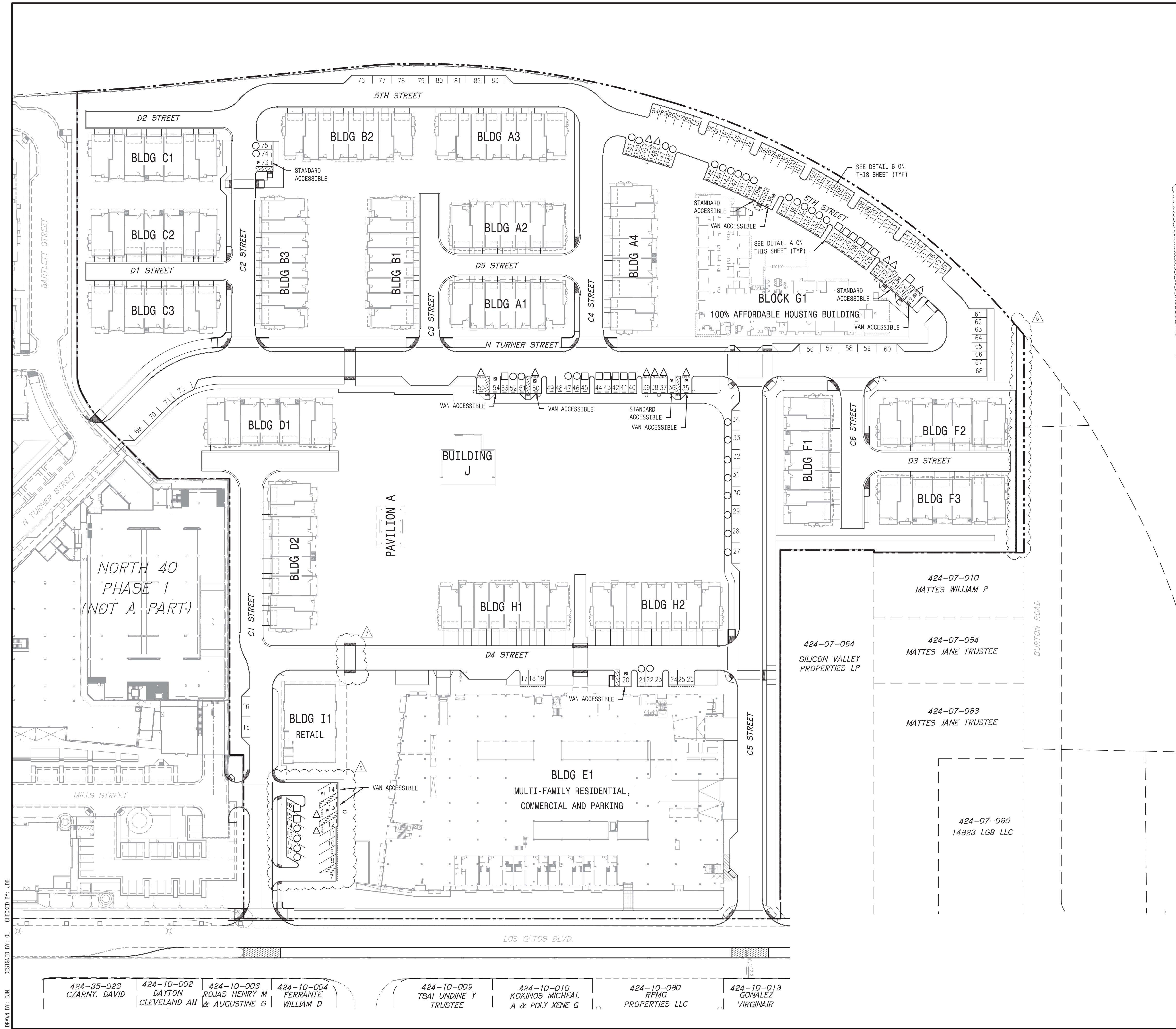
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TITLE

**PHASE II REFUSE
CIRCULATION PLAN**

SHEET NUMBER

C18



LEGEND:

- ACC STANDARD ACCESSIBLE STALL
- VAN VAN ACCESSIBLE STALL
- ELECTRIC VEHICLE READY STALL
- ELECTRIC VEHICLE CAPABLE STALL
- △ ELECTRIC VEHICLE CHARGER STALL
- WHEEL STOP

NOTES:

- STANDARD PARKING STALLS WILL COMPLY WITH TOWN OF LOS GATOS OFF-STREET PARKING STANDARDS.
PARALLEL STALL: 8.5' x 20' MIN (22' LENGTH NEXT TO OBSTRUCTION)
PERPENDICULAR STALL: 8.5' x 16' MIN WITH OVERHANG OR 8.5' x 18' WITH WHEEL STOP. SEE DETAILS BELOW.
- "EV" STALLS 9'x18' MIN PER CALIFORNIA GREEN BUILDING CODE ARE PROPOSED WHERE SHOWN AND ARE REQUIRED TO BE.
- STANDARD ACCESSIBLE STALLS (AND STANDARD ACCESSIBLE EV STALLS) ARE DESIGNED PER THE CALIFORNIA BUILDING CODE.
- VAN ACCESSIBLE STALLS (AND VAN ACCESSIBLE EV STALLS) ARE DESIGNED PER THE CALIFORNIA BUILDING CODE.
- PEDESTRIAN PATHWAYS WITHIN INTERNAL PARKING AREAS SHALL BE SEPARATED FROM VEHICULAR CIRCULATION BY A PHYSICAL BARRIER, SUCH AS A GRADE SEPARATION OR A RAISED PLANTING STRIP, OF AT LEAST SIX INCHES IN HEIGHT AND AT LEAST SIX FEET IN WIDTH. A PEDESTRIAN PATHWAY IS EXEMPT FROM THIS STANDARD WHERE IT CROSSES A PARKING VEHICULAR DRIVE AISLE.

DETAIL A: STANDARD STALL WITH WHEEL STOP
(NTS)

FACE OF CURB
REINFORCED CONCRETE PARKING WHEEL STOP
18' MIN (TYP)
8.5' MIN (TYP)

DETAIL B: STANDARD STALL WITH OVERHANG
(NTS)

FACE OF CURB
2' OVERHANG
16' (TYPICAL)
8.5' MIN (TYP)

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PERKINS & WILL
2 Bryant Street, Suite 300
San Francisco, CA 94105

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Chicago, IL 60603

PROJECT

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North 40 Phase II
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One California Street, Suite 3000
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TITLE

PHASE II PRELIMINARY PARKING PLAN

SHEET NUMBER

C19

Job Number

DRAWN BY: EJM DESIGNED BY: DL CHECKED BY: JDB

424-35-023
CZARNY, DAVID

424-10-002
DAYTON
CLEVELAND AII

424-10-003
ROJAS HENRY M
& AUGUSTINE G

424-10-004
FERRANTE
WILLIAM D

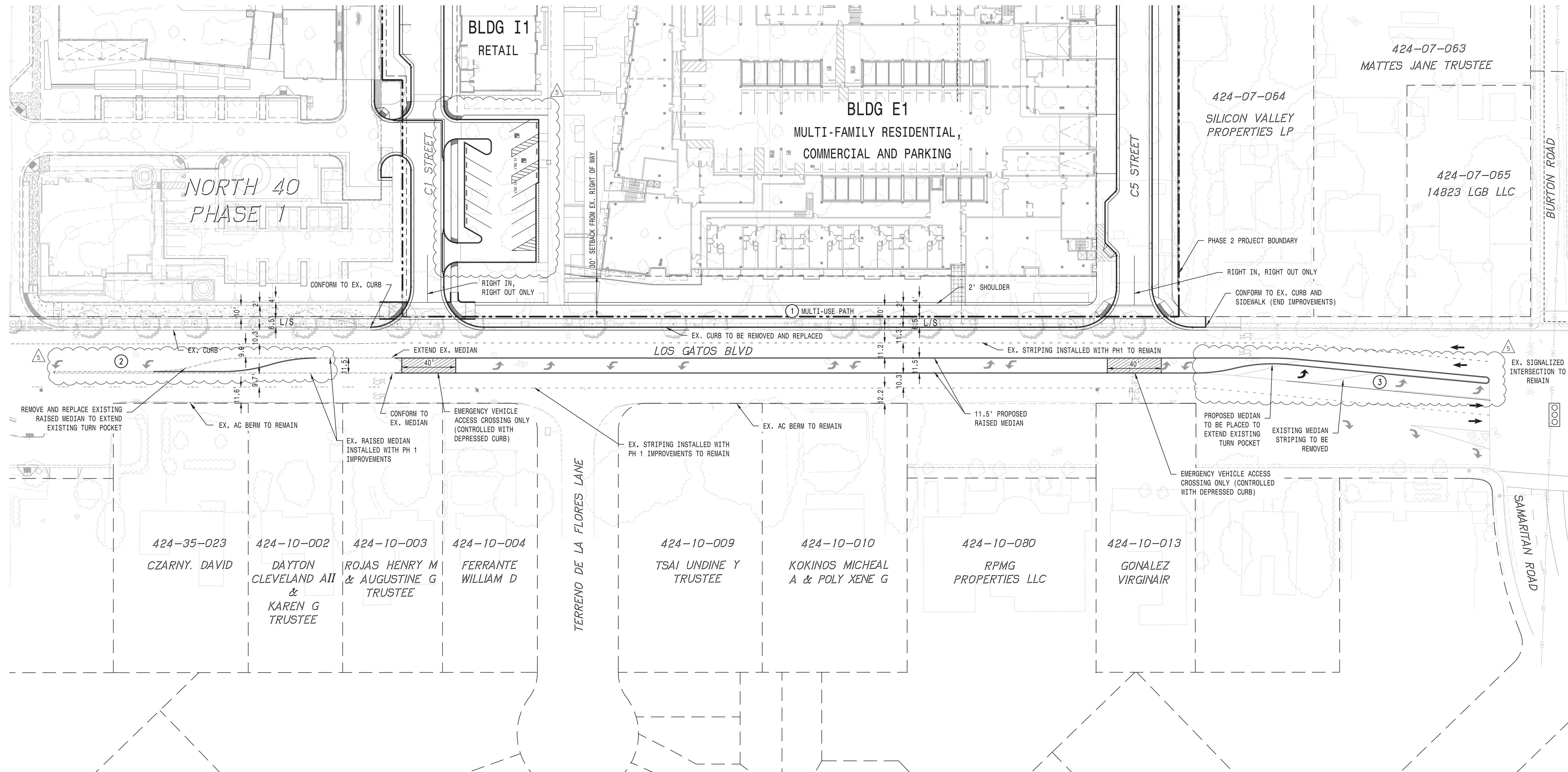
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TSAI UNDINE Y
TRUSTEE

424-10-010
KOKINOS MICHAEL
A & POLY XENE G

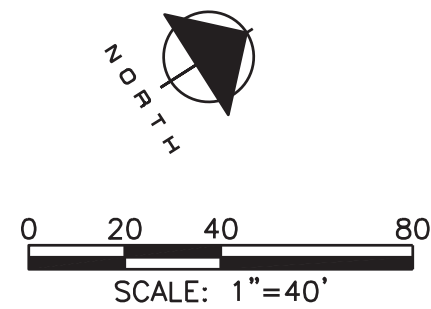
424-10-080
RPMG
PROPERTIES LLC

424-10-013
GONALEZ
VIRGINAIR

DRAWN BY: EN DESIGNED BY: OL CHECKED BY: JOB



- PROPOSED LOS GATOS BLVD. IMPROVEMENTS**
- 1 EXTEND 10' MULTI-USE PATH ALONG PHASE 2 FRONTAGE.
 - 2 REMOVE AND REPLACE EXISTING RAISED MEDIAN TO EXTEND EXISTING TURN LANE PER RECOMMENDATIONS FROM THE PROJECT'S TRANSPORTATION ANALYSIS
 - 3 PROPOSED RAISED MEDIAN TO BE PLACED TO EXTEND THE EXISTING TURN LANE PER RECOMMENDATIONS FROM THE PROJECT'S TRANSPORTATION ANALYSIS



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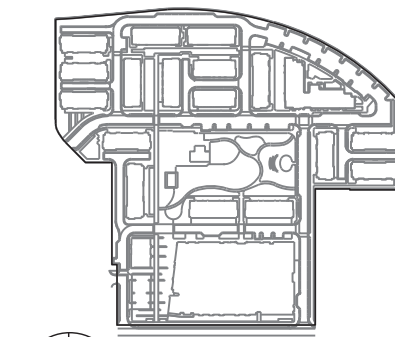
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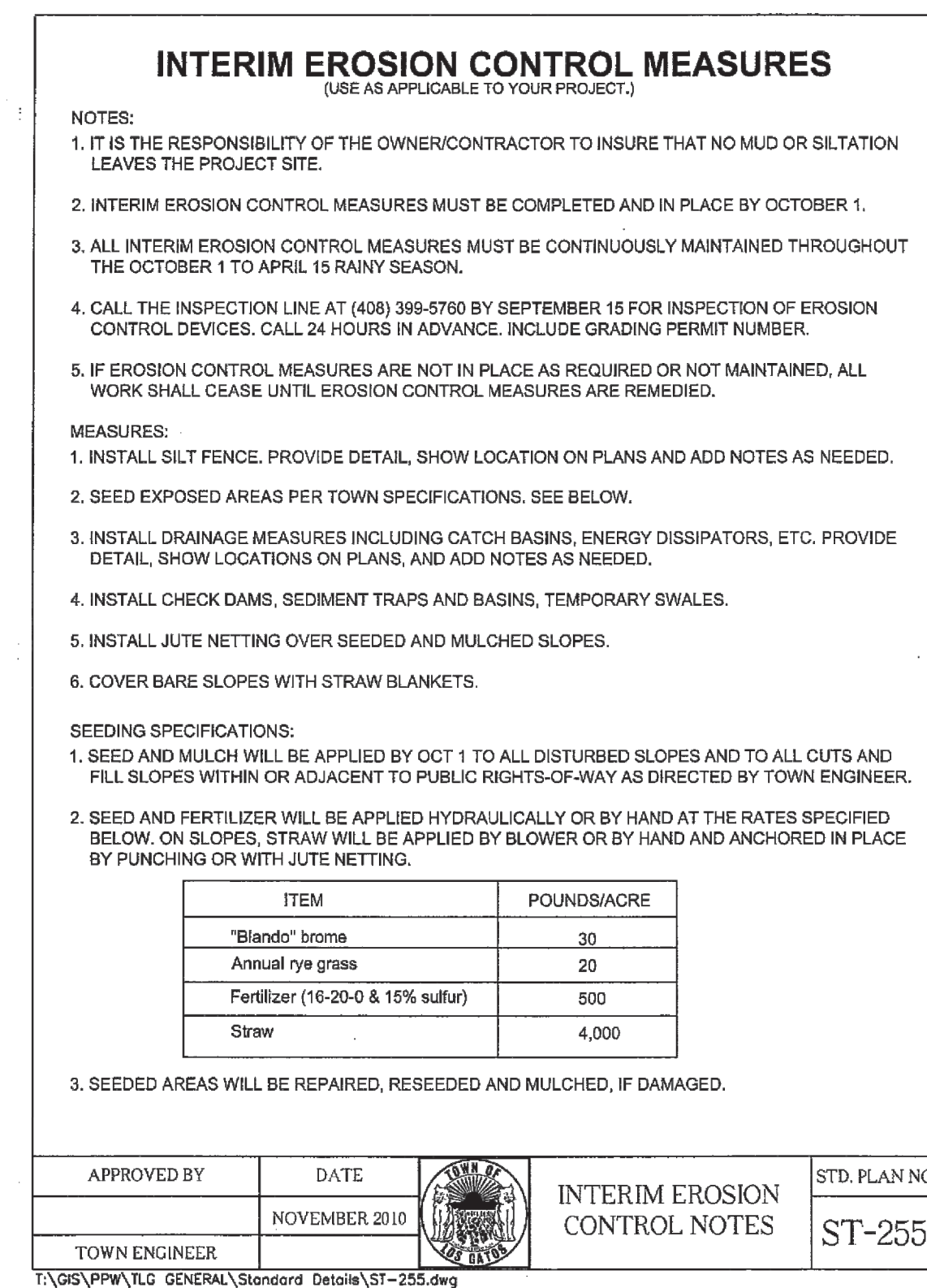
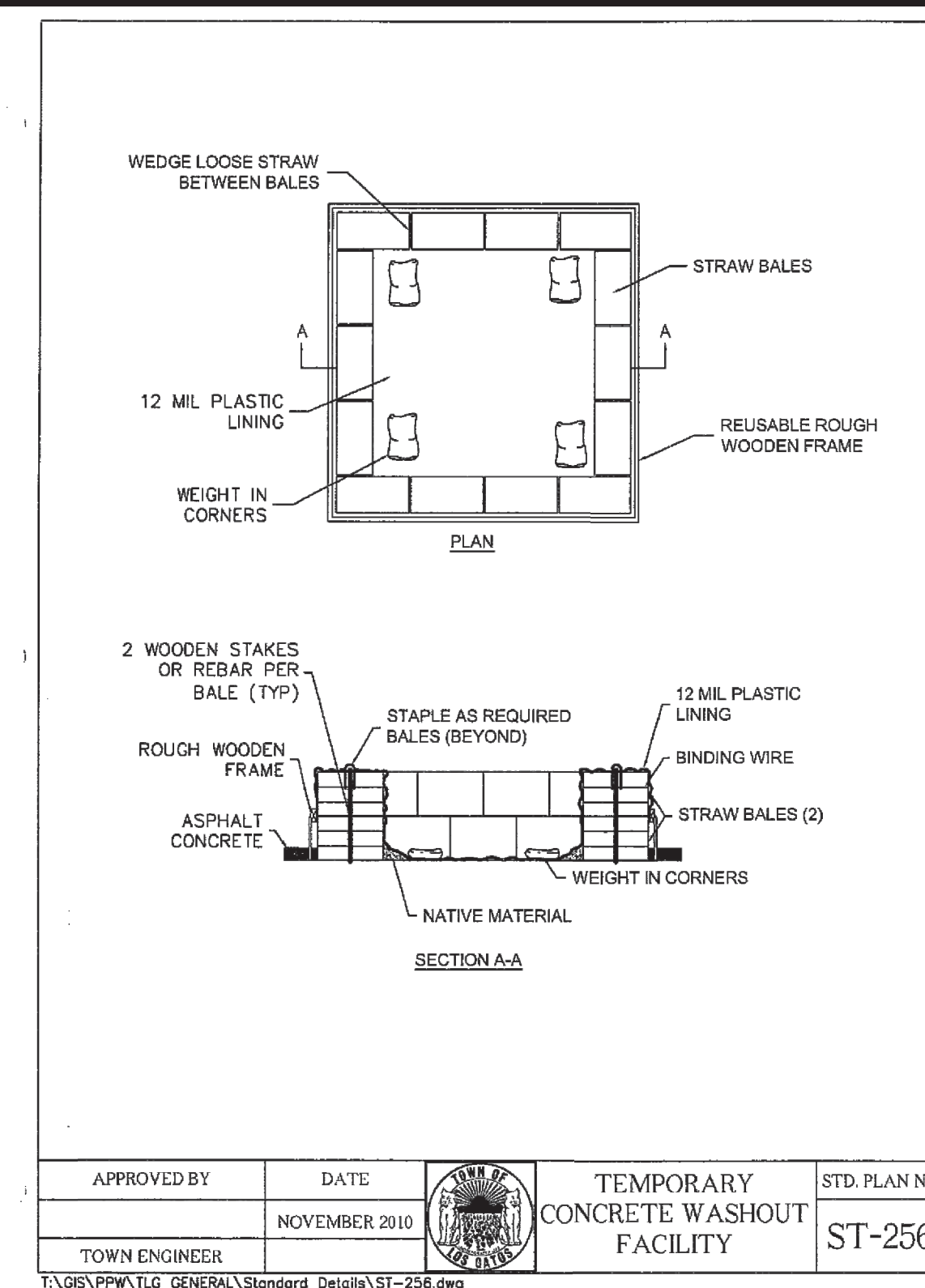
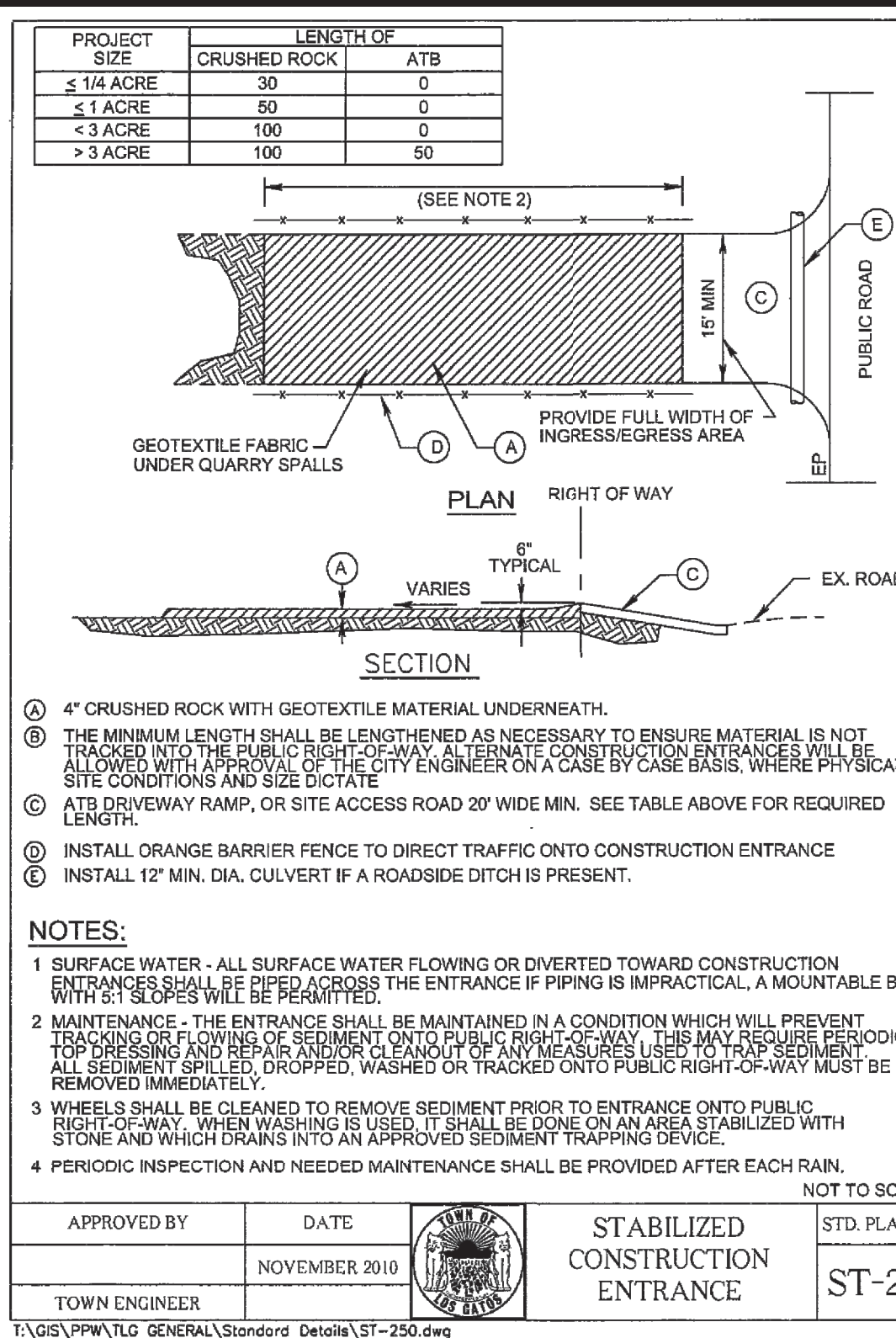
Job Number

TITLE

**PHASE II OFFSITE LOS GATOS
BLVD ROADWAY IMPROVEMENTS**

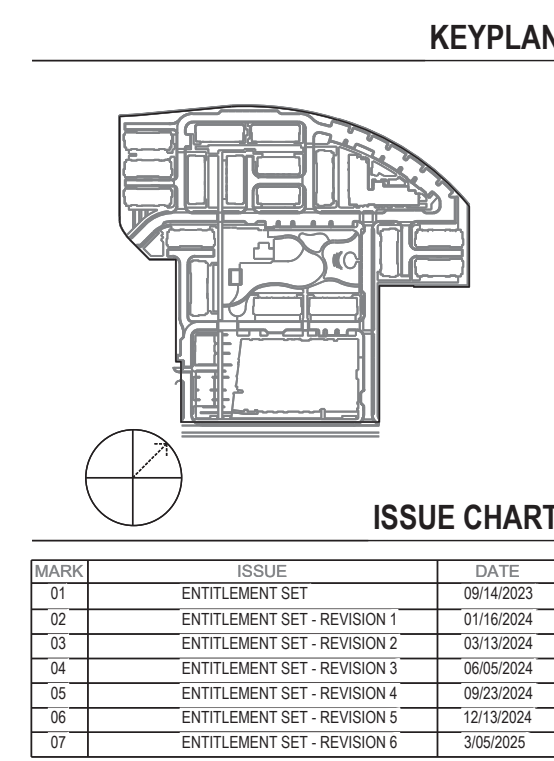
SHEET NUMBER

C20



PROJECT
NORTH 40 PHASE II
North 40 Phase I
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APPLICANT
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TITLE

PHASE II INTERIM
EROSION CONTROL PLAN

SHEET NUMBER

C21

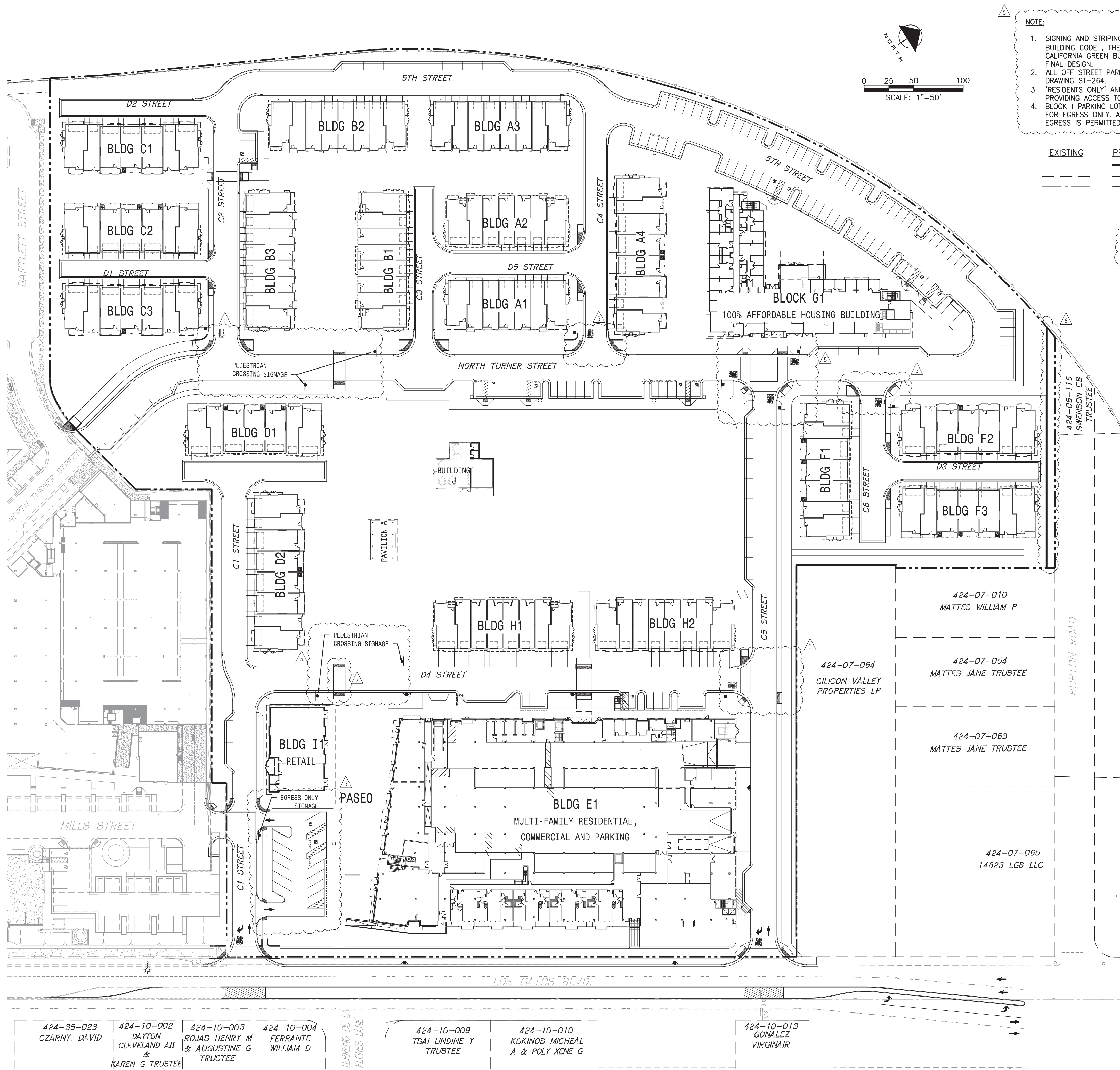
6

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03-06-2025 8:59am

Austin Arenas

P:\19890\PLAN\TM\NORTH 40 PHASE 2\022 PHASE II SIGNING & STRIPING PLAN.DWG



NOTE:

- SIGNING AND STRIPING WILL COMPLY WITH THE TOWN OF LOS GATOS STANDARD DRAWINGS, THE CALIFORNIA BUILDING CODE, THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (CAMUTCD), AND THE CALIFORNIA GREEN BUILDING CODE. SIGNING & STRIPING PLAN IS PRELIMINARY AND SUBJECT TO CHANGE WITH FINAL DESIGN.
- ALL OFF STREET PARKING SHALL HAVE DOUBLE STRIPING AND COMPLY WITH THE TOWN OF LOS GATOS STANDARD DRAWING ST-264.
- 'RESIDENTS ONLY' AND/OR 'NO OUTLET' SIGNAGE SHOULD BE POSTED IN ADVANCE OF DEAD-END DRIVE AISLES PROVIDING ACCESS TO TOWNHOMES.
- BLOCK I PARKING LOT SHOULD DESIGNATE THE EASTERN DRIVEWAY FOR INGRESS ONLY AND WESTERN DRIVEWAY FOR EGRESS ONLY. A SIGN SHOULD BE POSTED AT THE EGRESS DRIVEWAY TO ALERT DRIVERS THAT ONLY EGRESS IS PERMITTED.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE / BOUNDARY
---	---	RIGHT OF WAY
---	---	CENTERLINE
---	---	ROAD STRIPING
---	---	HANDICAP SPACE STRIPING
---	---	SIGN POST
---	---	STOP SIGN

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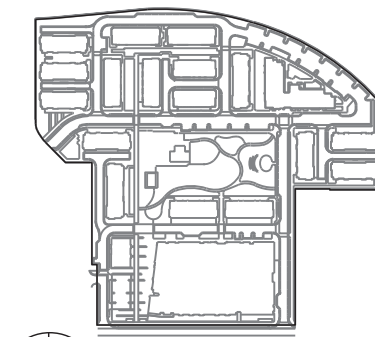
PROJECT

NORTH 40 PHASE II
North 40 Phase II
Los Gatos, CA 95032

APPLICANT

Grosvenor-Property Americas
One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN



ISSUE CHART

NO.	ISSUE	DATE
01	ENTITLEMENT SET	08/14/2023
02	ENTITLEMENT SET - REVISION 1	01/16/2024
03	ENTITLEMENT SET - REVISION 2	03/13/2024
04	ENTITLEMENT SET - REVISION 3	06/05/2024
05	ENTITLEMENT SET - REVISION 4	06/23/2024
06	ENTITLEMENT SET - REVISION 5	10/13/2024
07	ENTITLEMENT SET - REVISION 6	10/25/2025

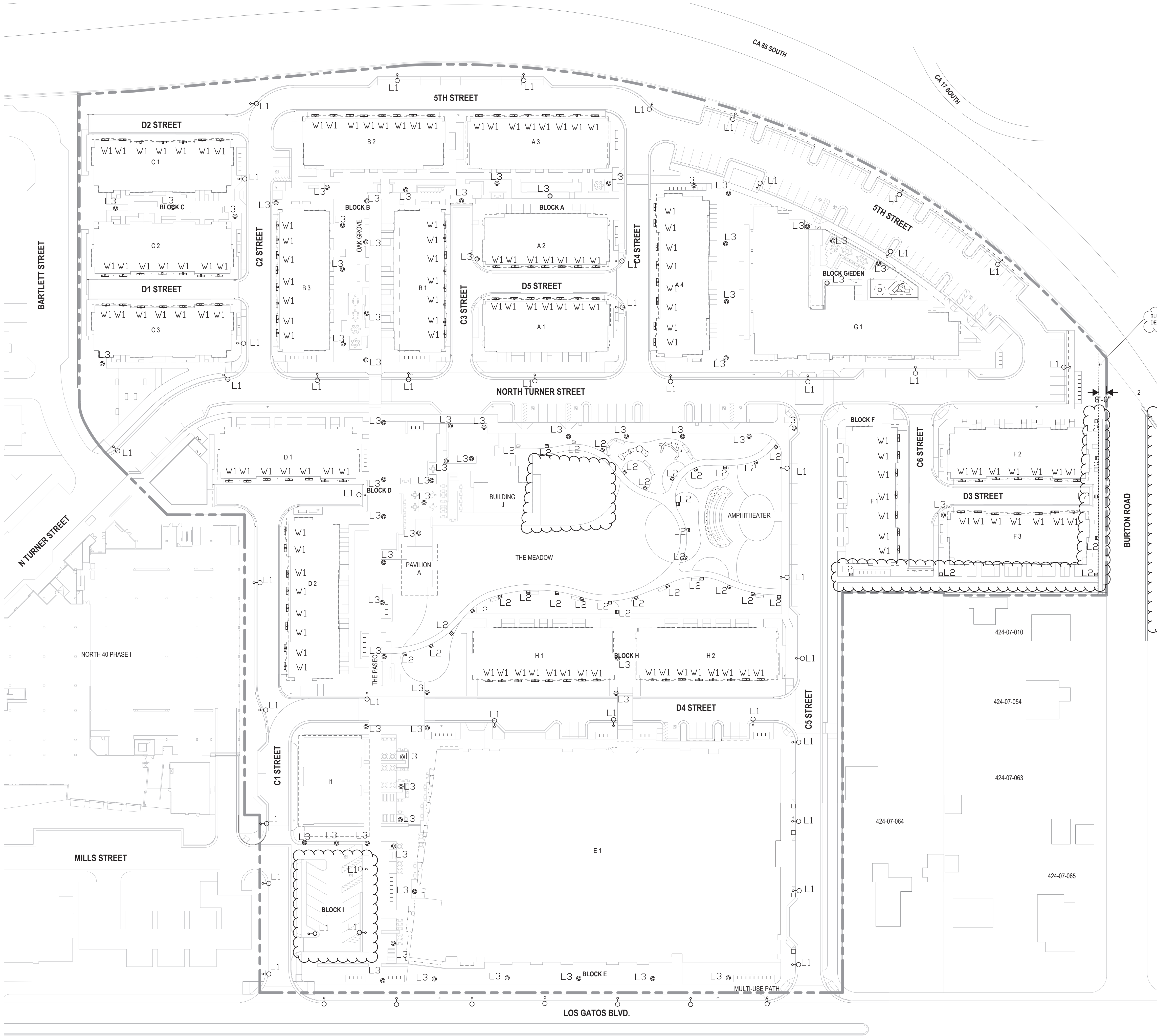
Job Number

TITLE

**PHASE II SIGNING &
STRIPING PLAN**

SHEET NUMBER

C22



LIGHTING NOTE

1. TYPE L1, L2 AND L3, LIGHT FIXTURES SHALL BE CIRCUITED IN AN ALTERNATING PATTERN USING SEPARATE CIRCUITS TO ENSURE THAT IF ONE CIRCUIT MALFUNCTIONS, PARTIAL ILLUMINATION WILL REMAIN.
2. THIS PROJECT SHALL COMPLY IN COMMUNITY RECREATION SPACES, BY PROVIDING PEDESTRIAN ORIENTED LIGHTING ALONG PATHS AT A MINIMUM OF 3' AND MAXIMUM OF 12' IN HEIGHT. FIXTURES ALONG PEDESTRIAN PATH AT A SPACING OF NO MORE THAN 30 LINEAR FEET ON CENTER.

1 ELECTRICAL LIGHTING - SITE PLAN

1" = 50'-0"

Perkins&Will

2 Bryant Street
Suite 300
San Francisco, CA 94105
t 415.856.3000
f 415.856.3001
www.perkinswill.com
CONSULTANTS

CIVIL ENGINEER
MACKAY & SOMPS
5142 Franklin Drive Suite B
Pleasanton, CA 94588

DRY UTILITY DESIGN
GIACALONE DESIGN
5820 Stoneridge Mall Rd. Suite 345
Pleasanton, CA 94588

ASSOCIATED TOWNHOME AND AFFORDABLE
HOUSING ARCHITECT
DAHIN GROUP
5865 Owens Drive
Pleasanton, CA 94588

ASSOCIATED MULTI-FAMILY ARCHITECT
HELLER MANUS ARCHITECTS
600 Montgomery Street, Suite 1250
San Francisco, CA 94111

LIGHTING DESIGN
PIVOTAL AEI
10 S LaSalle St.
Chicago, IL 60603

PROJECT

NORTH 40 PHASE II

North 40
Los Gatos, CA 95032

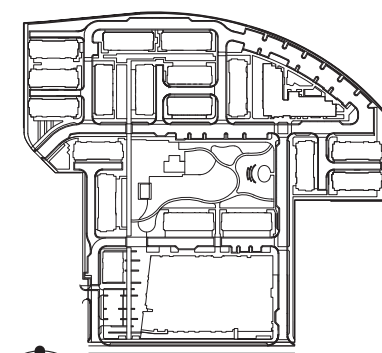


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Grosvenor-Property Americas

One California Street, Suite 3000
San Francisco, CA 94111

KEYPLAN



ISSUE CHART

7	ENTITLEMENT SET - REVISION 6	03/05/25
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4	ENTITLEMENT SET - REVISION 3	06/05/24
2	ENTITLEMENT SET - REVISION 1	01/15/24
1	ENTITLEMENT SET	09/15/23
MARK	ISSUE	DATE

Job Number 492028.000

TITLE

ELECTRICAL LIGHTING - SITE PLAN

SHEET NUMBER

EL100

2 Bryant Street
Suite 300
San Francisco, CA 94105
t 415.856.3000
f 415.856.3001
www.perkinswill.com
CONSULTANTS

CIVIL ENGINEER
MACKAY & SOMPS
5142 Franklin Drive Suite B
Pleasanton, CA 94588

DRY UTILITY DESIGN
GIACALONE DESIGN
5820 Stoneridge Mall Rd. Suite 345
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PROJECT

NORTH 40 PHASE II

North 40
Los Gatos, CA 95032

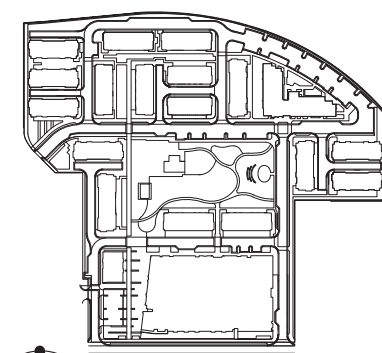


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One California Street, Suite 3000
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1	ENTITLEMENT SET	09/19/23
MARK	ISSUE	DATE

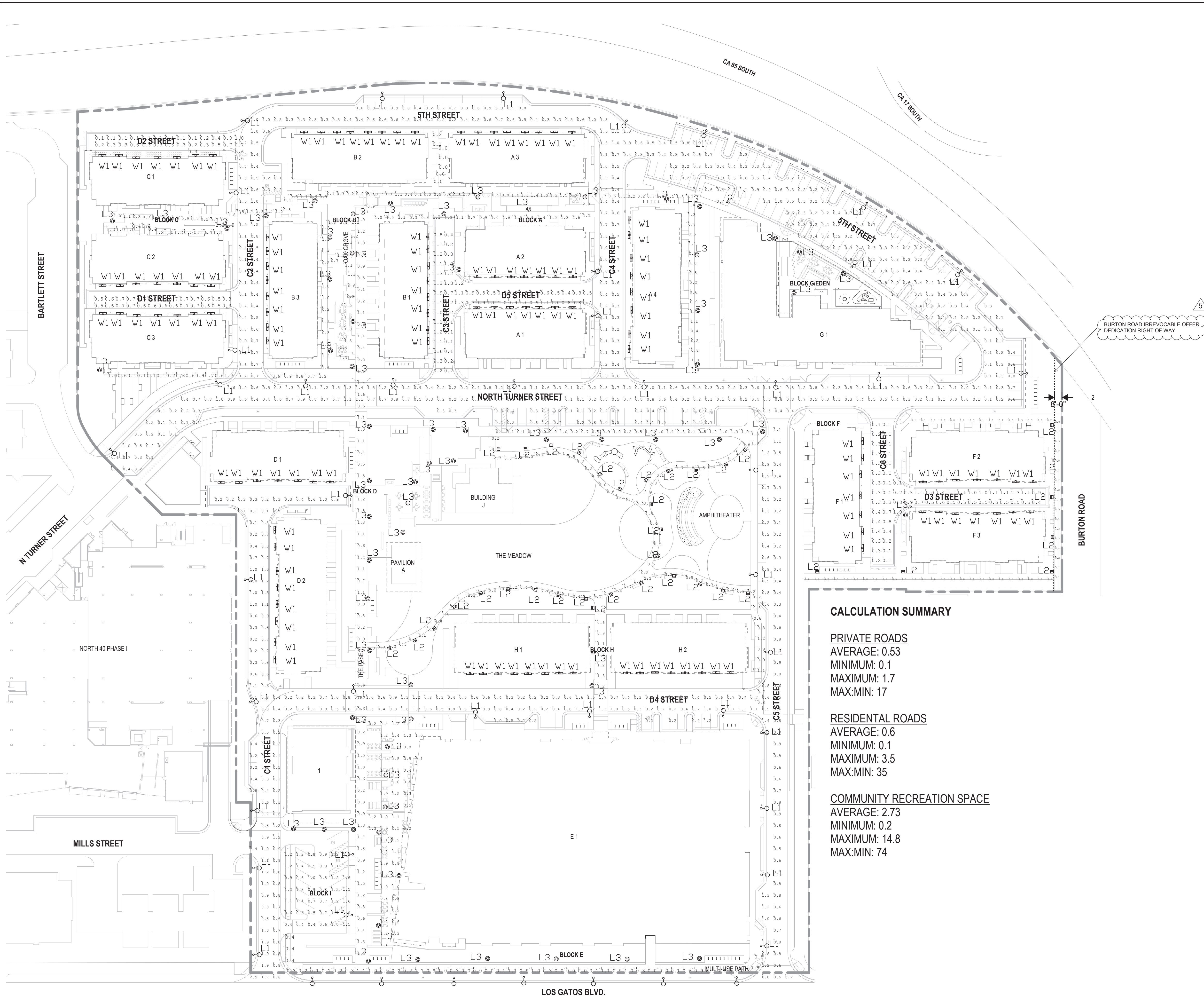
Job Number 492028.000

TITLE

ELECTRICAL LIGHTING -
PHOTOMETRIC PLAN

SHEET NUMBER

EL200



CALCULATION SUMMARY

PRIVATE ROADS

AVERAGE: 0.53
MINIMUM: 0.1
MAXIMUM: 1.7
MAX:MIN: 17

RESIDENTIAL ROADS

AVERAGE: 0.6
MINIMUM: 0.1
MAXIMUM: 3.5
MAX:MIN: 35

COMMUNITY RECREATION SPACE

AVERAGE: 2.73
MINIMUM: 0.2
MAXIMUM: 14.8
MAX:MIN: 74

LUMINAIRE SCHEDULE

TYPE	MANUFACTURER	CATALOG NUMBER	SOURCE TYPE, CCT, DELIVERED LUMENS	BALLAST/DRIVER - TYPE	WATTS	VOLT.	MOUNTING	NOTES	LOCATION
L1	GARDCO	ppt-196l-1150-ww-g2-2-unv	LED CCT 3000K 4743 LUMENS	LED DRIVER 0-10v	51W	UNV	POLE MOUNTED	MOUNTED AT 20'	COMMUNITY ROADWAY
L2	BEGA	B84462	LED CCT 3000K 1514 LUMENS	LED DRIVER 0-10v	18W	UNV	POLE MOUNTED		MEADOW
L3	BEGA	84401	LED CCT 3000K 2077 LUMENS	LED DRIVER 0-10v	27W	UNV	POLE MOUNTED	MOUNTED AT 12'	PEDESTRIAN PATHS
W1	BEGA	22360	LED CCT 3000K 1024 LUMENS	LED DRIVER 0-10v	22W	UNV	WALL MOUNTED	MOUNTED ABOVE GARAGE DOOR, ON BUILDING FACE.	GARAGE

2023 FHWA LIGHTING HANDBOOK

choice of which recommendations to use is up to the owner and designer of the lighting system based on their requirements and applicability. The criteria from each for this example are listed below:

IES RP-8-21

Roadway Lighting Level (RP-8-21, Table 11-1)

Average Luminance: >= 0.6 cd/m²
Average/minimum Uniformity Ratio: <= 3.5
Maximum/minimum Uniformity Ratio: <= 6.0
Veiling Luminance Ratio: <= 0.4

Intersection Lighting Level (RP-8-21, Table 12-1)

Average Illuminance: >= 16 lux
Average/minimum Uniformity Ratio: <= 4.0

Crosswalk Lighting Level (RP-8-21, Table 12-1)

Average Illuminance: >= 16 lux
Average Vertical Illuminance: >= 16 lux

Sidewalk Lighting Level (RP-8-21, Table 11-2)

Average Illuminance: >= 5 lux
Average/minimum Uniformity Ratio: <= 5.0
Average Vertical Illuminance: >= 2 lux

Bike Lane Lighting Level (RP-8-21)

Average Illuminance: >= 80% of roadway illuminance provided


AASHTO GL-7

Roadway Lighting Level (Table 3-5b)

Average Luminance: >= 0.6 cd/m²
Average/minimum Uniformity Ratio: <= 3.5
Maximum/minimum Uniformity Ratio: <= 6.0
Veiling Luminance Ratio: <= 0.4

Intersection Lighting Level (Section 3.4.4 and Table 3-5b)

Average Illuminance: >= 16 lux



Town of Los Gatos Public Works Department

Table 2-1
Illumination Standards Average
Maintained Horizontal Illumination (Foot Candles)

Road Class	Area Class	
	Residential	Industrial/Commercial
Private	0.4	N/A
Residential (Access)	0.6	1.2
Arterial *	0.8	1.6

* Intersection lighting is required. Street lights shall be placed in accordance with the Standards listed below.

Uniformity Ratio:

6:1 average to minimum for private
4:1 average to minimum for residential (access)
3:1 average to minimum for arterial

Average illumination levels at intersections shall be 1.5 times the illumination required on the more highly illuminated street. Exception: Local residential streets intersecting other local residential streets shall not require 1.5 times the illumination at other intersections, provided that one luminaries is placed at the intersection.

At signalized intersections, all signal poles shall include a street light. Lighting levels at these locations may be higher than the criteria listed above.

LIGHTING NOTES

1. Primary guidance of illumination levels for the roadway/driveway is based on the Los Gatos Street Design Standards of .4fc avg maintained horizontal illuminance for private residential roads and .6 fc average maintained horizontal illuminance for residential access roads. Because of the private residential nature of the roadways and sidewalks within the development, the IES RP-8, as referenced by the FHWA report.

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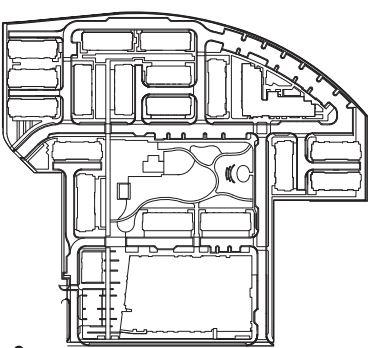


GROSVENOR

APPLICANT

Grosvenor-Property Americas
One California Street, Suite 3000
San Francisco, CA 94111

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Job Number 492028.000

TITLE

LUMINAIRE SCHEDULE AND CITY STANDARDS

SHEET NUMBER

EL300

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