

**TOWN OF LOS GATOS
HISTORIC PRESERVATION COMMITTEE
HISTORIC RESEARCH WORKSHEET**



Applicants shall provide written evidence and supporting documents to justify their request for a remodel, alteration, addition, determination of significance, or demolition of a designated or presumptive historic resource. This worksheet is intended to assist the applicant in gathering written evidence and supporting documents, and to assist the Historic Preservation Committee during evaluation of the request.

Applicants shall provide written evidence and supporting documents of the historical and architectural characteristics, regarding both structures (construction date, alteration dates, photographic documentation) and people (owner and/or resident names). If written evidence cannot fit on this worksheet, please attach separate sheets.

The Historic Preservation Committee reviews the application using the Town's Historic District Ordinance requirements. Copies of the ordinance(s) are available at Town Hall. The Committee meets the fourth Wednesday of every month. The filing deadline is 20 days prior to the meeting by 11:00 AM.

The applicant shall research the following (please check the box once you complete your research):

1. Los Gatos Public Library (see How to Research the History of a House in Los Gatos):
 - ☒ Sanborn Maps
 - ☒ 1941 Tax Assessment
 - ☒ 1989 Anne Bloomfield Historic Resource Survey forms
 - ☒ Polk's Directories
 - ☒ Telephone Directories
 - ☐ Other
2. Santa Clara County Resources (especially helpful for properties previously located in the county's jurisdiction):
 - ☒ Santa Clara County Planning Department records
 - ☐ San Jose Public Library (California Room)
3. Community Development Department Resources:
 - ☒ Sanborn Maps
 - ☒ 1989 Anne Bloomfield Historic Resource Survey forms
 - ☒ Community Development Department property files (permit history)

Research was conducted on (please enter date): 03/21/2025

Records and Documents found (please attach copies): 1. San Born Maps. 2. 1941 Tax Assesment

3. 1989 Anne Bloomfield Historic Survey. 4. Telephone Directories. 5. Computer Records. 6. SCC replies

The justification for the removal of 446 San Benito Ave from the Historic Inventory is attached as Attachment-1 containing all these documents as Annexures 1 to 10.

HOW TO RESEARCH THE HISTORY OF A HOUSE IN LOS GATOS
At the Los Gatos Public Library
100 Villa Avenue, Los Gatos CA 95030

Locked Cases Area

1. The Los Gatos *Sanborn Fire Insurance Maps* located on the microfilm file cabinet. These maps indicate the outline of buildings in 1884, 1888, 1891, 1895, 1904, 1928 and 1944 (please note the 1944 maps have been relabeled and appear out-of-order, before the 1928 maps). These can be used to identify a construction date range.

Bookcase #11

1. The 1941 *Tax Assessment Survey*. The listings are alphabetical by street name. An entry will note how old the owner thought the house was in 1941 (please note that this information is not always accurate).
2. The 1991 *Anne Bloomfield Historic Resources Survey*. These listings are alphabetical by street name.
3. A list of the *Museums of Los Gatos Historic Homes Tours* and programs.
4. A list of the 100 *Bellringers* and information.
5. As it Was by Dora Rankin.

Bookcase #12

1. The 1924-1974 *Polk's Directories* (please note that some years are missing), with reverse listings by address and then resident name.
2. *Business and Telephone Directories*, as early as 1881-82.

History Room (Docent Hours: 1:00-5:00 Mondays and Thursdays; 10:00-12:00 Wednesdays)

1. History of Los Gatos by George Bruntz and Los Gatos Observed by Alistair Dallas (979.473).
2. Information in the Residences drawers of the Vertical File, filed by street.
3. The Patrons' Inquiries, binder #3 Residences, listed by street, located on the shelf above the computers. These may provide information found under previous searches.

General

1. ancestry.com is available free while inside the library.
2. A Field Guide to American Houses by Virginia Savage McAlester (728 M11 in non-fiction)

JUSTIFICATION FOR REMOVAL FROM HISTORIC INVENTORY

446 San Benito Avenue Los Gatos, CA, 94032

SUBJECT: Request for removal of a Pre-1941 Property from Historic Resources Inventory for the Property Zoned R-1D, Located at 446 San Benito Avenue. APN 410-16-051.

PROPERTY OWNER/APPLICANT: Devendra Deshwal

PROPERTY DETAILS:

1. Date primary structure was built: as per ANNE BLOOMFIELD ARCHITECTURAL SURVEY- LOS GATOS RESEARCH -Year 1920, As Per Town Record -1905
2. Town of Los Gatos Historic Status Code: N/A
3. Does property have an LHP Overlay? No
4. Is the structure in a historic district? No
5. If yes, is it a contributor? N/A

DETAILED JUSTIFICATION:

A wide-ranging research has been conducted in line with the guidelines of the Historic Research WorkSheet, Historic Preservation Committee, Town of Los Gatos and the details of the research are given as below:

1. LOS GATOS PUBLIC LIBRARY:

- a. **SANBORN MAPS:** The Sanborn maps of 1928 & 1944 are attached as Annexures-1 & 2. These maps show the main house and an accessory structure in the rear yard. The main house still exists but the accessory structure is no longer existing as will be seen from the existing site plan sheet A1 in the plan set of the existing house attached as Annexure 10.
- b. **1941 TAX ASSESSMENT:** The 1941 Tax Assessment Survey is attached as Annexure-3. It does not convey any pointer to the historical character of this building. (The survey report is for lot 43 (Old No.) as also correlated in the ANNE BLOOMFIELD SURVEY.
- c. **1989 ANNE BLOOMFIELD HISTORIC RESOURCE SURVEY FORM:**
The Anne Bloomfield Historic Resource Survey Form is attached as Annexure-4. The survey also mentions its old lot No. as 43 and also provides its likely year of construction as 1920. The original style is said to be "Banglow". It also mentions that some alterations to existing windows and the Porch were done to the original house. A photo of the house is also given but the features of the house are not very clear from it. As such, the survey does not establish it to be a structure of historic importance.
- d. **POLK'S DIRECTORIES & TELEPHONE DIRECTORY:**

The Polk's Directories & Telephone directories were researched to know the details of persons staying or associated with this house. A chronological detail of the persons stayed is given in Annexure -5 attached including the relevant pages of the Polk's Directory.

A search was made on the internet for important persons associated with Los Gatos and a list of 83 people appeared as per the link below:

<https://www.famousfix.com/list/people-from-los-gatos-california>

None of these famous people lived in this house..

Thus a perusal of Annexure 5 and the Google search shows that no significant persons are associated with this house/structure.

e. HISTORIC PROPERTY RESEARCH COLLOECTION:

The Historic Property Research Collection in the Los Gatos Library was searched and no record pertaining to this structure was found in box no. 9 relevant for the San Benito Ave. A record of only one house i.e. for 441, was found in the box. This establishes the house at 446 San Benito Ave does not have any historical importance.

2. SANTA CLARA COUNTY RESOURCES:

A request was made to the planning department of the Santa Clara County to ascertain if any plans or any other records are available in the county records. The county replied that no plan or any other records are available for 446 San Benito Ave & asked to contact the town of Los Gatos for the same. Thus no historical records are available in the county for this structure. The email screenshot of the replies from the county are attached as Annexure 6 & 7.

3. TOWN OF LOS GATOS- COMPUTER RECORDS:

A search was made on the computer installed in the lobby to find out the records of 446 San Benito Ave. The search yielded some of the records including the permit records for some of the works done in this house. These records are attached as Annexure 8 (11 pages). A perusal of these records indicate that some alteration works have been done to the original house as below:

1. Electrical service upgrade
2. Front porch repair and repair of the eve.
3. Repair of the roof and eave including replacement of the rafters. The shape of the house given in this permit is rectangular box type.
4. In addition other unpermitted works have also been carried out in the house as brought out in succeeding paras.

4. ADDITIONAL DETAILS:

(a) In addition, the details of the house were also downloaded from the Town of Los Gatos city portal and the same are attached as Annexure-9.. A perusal of these records show that the permitted floor area of this house is 684 Sq Ft only. whereas the existing floor area of the house is 889 sq ft without the front porch. It speaks of some unpermitted addition made to the house as discussed in following paras.

(b) The plans of the existing house have been prepared and are attached as Annexure 10 (24 pages). The floor area of the existing house is 889 Sq Ft as against the permitted floor area of 684 Sq Ft only.

It is also seen that the ceiling height of the bedroom & bathroom on the right side is only 6'-9" to 6'-11", as against the main house ceiling height of 8'-0"(+). It is marked with A, B & C on sheet A4, A5 & A6.1.

It establishes that some unpermitted constructions have been made to the house. The possible unpermitted portion is marked in redlines in sheet A2 (Existing Floor Plan) & A2.1 (Area Calculations).

The photo survey of the existing house has also been done & the photos of the house are given in sheet A 6.1 to A6.17 & A7 of the attached plan set (Annexure -10).

A quick perusal of the photos & plan indicate that the house is not structurally sound & also some alterations have been made which are not code compliant as outlined below:

- i. The ridge board of the porch is not provided as seen in plan sheet A6.7. Thus the porch roof is not structurally sound.
 - ii. The height in the bedroom 2 is less than 7'-6" the minimum admissible height.
 - iii. A wall has been constructed between bedroom 1 & closet which is abutting the middle of the window as seen in Sheet A6.17.
 - iv. The existing windows of the bedroom are not egress compliant as per the current code requirement etc.
 - v. The architectural design of the house is very simple- a rectangular box with front porch enclosed on all sides and no uniqueness is noticed in the architectural details/design.
 - vi. Further due to alteration to window & porch etc, the original design is no longer existing.
- (c) As would be seen from the plan sheet A7, all the houses around this house have been modified and present a good look and this house in the existing condition is totally a misfit in the area.
- (d) The APN map and the Tract Map of the lot are also attached as Annexure 11 & 12.

CONCLUSION:

In view of the above points, it is clear that the existing house has no architectural merit for the following reasons:

- a. The structure is not associated with events that have made a significant contribution to the Town;
- b. No significant persons are associated with the structure.
- c. There are no distinctive characteristics of type, period or method of construction or representation of work of a master;
- d. The structure does not yield information to Town history; and,

- e. The integrity has been compromised due to alterations such that the structure no longer has the potential to convey significance.

In view of above submissions, it can be seen that the existing house at 446 San Benito Ave has no historic significance or architectural merit. Due to the poor condition of the house it needs repair and due to family needs extra space is also required to be added. Therefore, it is requested that the house may be removed from Historic Resources Inventory.

Thank you for your considerations

Best regards,



Devendra Deshwal
Homeowner
446 San Benito Ave,
Los Gatos CA, 95032
Phone- 408 318 1053

03/25/2025

ANNEXURE-1

(1928 SANBORN MAPS)

LOS GATOS
CALIF.

2

THURSTON

AV.

MARCH 1928
LOS GATOS
CALIF.

3

AV.

ANDREWS

AV.

(WILDER AV.)

AV.

SAN BENITO

MONTREY

SANTA CRUZ

MONTGOMERY

446 San Benoto Ave

17

MARIPOSA

AV.

27

29

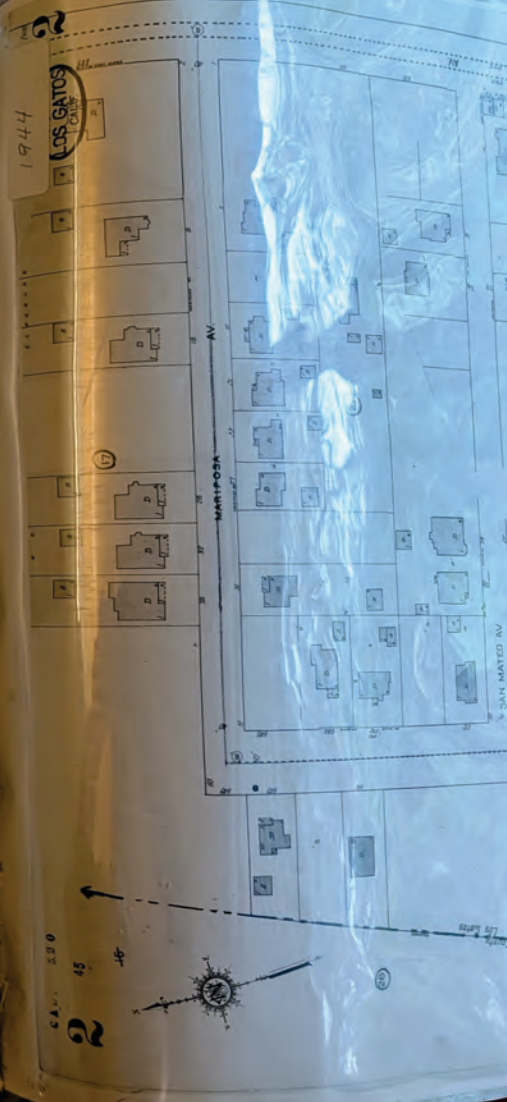
91

LOS GATOS MEMORIAL LIBRARY
LOS GATOS, CALIFORNIA /
87 OF 114

GIFT
of
LOS GATOS
MEMORIAL
LIBRARY

LOS GATOS REVENUE LIBRARY
57 1st 1st

Friends of
LOS GATOS
LIBRARY



BLOCK BOOK PAGE 35

SKETCHES OR REMARKS, OR
METES AND BOUNDS DESCRIPTION

Anne Bloomfield

ARCHITECTURAL/CULTURAL SURVEY
LOS GATOS RESEARCH

File address 446 San Benito

PARCEL MAP INFORMATION

Parcel # 410-16-051 Lot size: 48 front ft. x 150 ft. deep

Lot shape: Rectangle ☒ L ☐ Rectangle with small rear jog ☐ Other ☐

Location: N ☐ S ☐ E ☒ W ☐ side of SB St ☐ Ave ☒ Other ☐

distance to cross st: 291 ft. N ☐ S ☒ E ☐ W ☐ from Andrews

at NE ☐ NW ☐ SE ☐ SW ☐ corner of ☐

HISTORIC INFORMATION ON PARCEL MAP

Old tract or subdivision name N Brunsdall Sub Old Block # ☐ Old lot # 43

FIELD SURVEY INFORMATION (handwritten in red)

Preliminary rating ☒ Estimated age 1920s? Style Bungalow # stories ☐

Alterations some windows altered, porch altered

Other ☐

COUNTY ASSESSOR--PROPERTY CHARACTERISTICS (paste on copy) Page ☐ Effective date ☐

OWNERSHIP SHOWN ON MAPS

Source Name	Source Date	Source Page	Location of property, or Old tract/block/lot	Lot Size	Owner Name
	1891				
Blk Book	1908				
Survey	1941				

MISCELLANEOUS

National Register listed date ☐

County Inventory 1979 ☐

Town of Los Gatos: Designation ☐ Recognition ☐

District Name ☐

Previous Survey ☐

Gebhard: page # ☐ illustration page # ☐

Butler/Junior League ☐

PHOTOS: Roll/frame # 040/37 Date 7-5-90



OWNERSHIP HISTORY OF 446 SAN BENITO AVE, LOS GATOS

As per Telephone directories of various years available in the Los gatos Library, the ownership details are as below:

<u>Period</u>	<u>Homeowners</u>
Prior to 1934	No record found
1934 to 1941	Mr Conroy Owen
1941 to 1943	Mr M J Wuseri (The 1941 Tax assessment indicated his name (name not legible).
1943 to 1944	Vacant
1945 to 1947	Mrs Kinter Paula
1949 to 2025	Mr Cushman Arth C
2025 onwards	Mrs Rajkumari & Devendra Deshwal



38 N. FIRST
ST.

JAMES ROGER
McCHESNEY AND WEBSTER
INCORPORATED
REAL ESTATE — INSURANCE — LOANS

THORNTON D.

TEL.
COLUMBIA
2200

LOS GATOS HOUSEHOLDERS DIRECTORY (1934)

793

- 510 Wheeler A F (o)
511 Lee Jerry (o)
512 Vacant
513 Smith Chas (o)
519 Bellilo Paul
Thurston intersects
530 Panikhetti M I Mrs
(o)
533 Bezzone Paul (o)
530 Matrone Toney

- MONTGOMERY AV**—North from Saratoga
to Thurston 3 w of San-
ta Cruz
24 Barnhill Lee
25 Vacant
26 Vacant
27 Vacant
42 Giordano Bart
44 Mariani Caesar
45 Traves Harry (o)

- NEW YORK**—Southeast
from Los Gatos Creek to
Sella Vista

- 10 Effrat W F
41 Vacant
44 Vacant
47 Holliday E R (o)
51 Gillette J C Rev (o)
55 Vacant
Pleasant av intersects
57 Vacant
123 Lepurin Mary Mrs
(o)
129 Vacant
130 Vacant
137 Schonbeck Fritz (o)
141 Meyers L S
near Vacant
146 Vacant
148 English Annabel

- NICHOLSON AV**—West
from Santa Cruz to Glen
Ridge, 2 n of Main

- 209 Grant Fred
211 Lewis Dora Mrs
216 Mullen S A Mrs
nurse (o)
22 Cornelius Stanley (o)
Wilder av intersects
5 Harrub M F Mrs
Tait av intersects
34 Christensen Christo-
fer
310 Vacant
315 Curtis F N
Massol av intersects
391 Hobbie J G (o)

- OAK**—From Stacia to
Loma Alta, 1 e of San
Jose

- OAK HILL WAY**—From
Jackson to Central, 2 s
of Main
14 Vacant
15 Gollin W W
20 Haykel Julia Mrs

- 21 Lumbard M L Mrs
25 VanWinkle J H (o)
35 Zehnder Robt civ eng
(o)
38 Treadwell N E Mrs
(o)
45 Pendlebury W M F
(o)

- OLIVE AV**—West from
545 N Santa Cruz av
104 Vacant
105 Burke W F
106 Curtis P E (o)
108 Vacant
110 Bianchi Fred (o)
120 Newfarmer R O
San Benito av intersects

OVERLOOK ROAD**PALM AV**

- 4 Koulouris Angelo (o)
5 Seely B R Mrs
6 Millar G A (o)
8 Aubert Alba (o)
9 Mains H L (o)
35 Jenkins D T (o)
45 Sproles L W Mrs
55 Huff M W (o)

- PARK**—Southwest from
Main, 2 e of Front

- nr Main Los Gatos Swim-
ming Pool
Memorial Park
20 American Legion
Post No 158
36 Shore J D
Union Ice Co
50 Green H F restr
86 Vacant
96 Fox John

- PENNSYLVANIA AV**—
West from Bay View to
Wissahickon

- 2 Dell A I Mrs (o)
4 Eaton Ernest (o)
8 Rhineland A J (o)
24 LeFevre M F Mrs
28 Countryman F N (o)
Glenridge av intersects
Peralta av intersects
305 Vacant
309 Case L G (o)
323 Swanson Nels (o)
324 Volpa Jos (o)
327 Bache Dallas (o)
337 Mack E E (o)
345 Hawkins E A (o)
345½ Vacant
347 Vacant
360 Atkinson Owen
Walnut av intersects
361 Angell E G
363 Miniss Kath Mrs
365 Beale H G
371 Leet Georgianna Mrs
380 Roberts Wm
381 McCullagh Mary

- PERALTA**—North from
105 Pennsylvania to Her-
nandez

- 9 Kline Augusta
McEachern N A (o)
Murray W M
10 Herryman Fred Jr (o)
11 Erickson A L Jr
Whiting H H
18 Bell F A (o)
20 Hallet Cecile Mrs
32 Rankin Dora M
Rankin H A (o)
33 Simon Benj (o)
39 Mortimer A B
41 Vacant

- PINE**—West 1 blk from
401 San Jose av

- PLEASANT AV**—North
from intersection of
Main and Jackson to
New York

- 24 Alexander E P
26 Lindstrom Henry (o)
34 Reilly C A
43 Drew Weldon
44 Gasmann Alf
46 Vacant
46 Bruegge W O (o)

- PROSPECT**—South from
Reservoir rd to city lim-
its

- RESERVOIR ROAD**—
South from junction of
Clelland and Villa to
Prospect

- 39 DeRome S F Mrs
50 Young Wiston

- ROBERTS ROAD**—East
from Los Gatos Creek
near Cypress av
50 Ghetti L G (o)

- ROGERS ROAD**—From 5
Kimball to Reservoir rd

- SAN BENITO AV**—North
from Saratoga to Ashler,
2 w of Santa Cruz

- 410 McAuley G M Mrs
411 Carr F D (o)
415 Biancalani Augusto
(o)
416 DeGuire R P (o)
418 Godfrey F P (o)
421 Frame Alva (o)
423 Bedal C E
428 Pedrazzi Antone (o)
431 Muhlik C V
432 Wilson F A Mrs (o)
435 Tickner C H (o)
Tickner W S
436 Bachman Sarah Mrs
(o)
440 Idemoto Kamekichi
441 Solari Jas (o)
446 Conroy Owen
455 Fouch H M Mrs
456 Rovere Victor (o)

EVERY STORE

should appear in the Directory and the Directory should be

Besides its use to the storekeeper, it is a convenience the customer looks for.
The store that offers an old Directory, or no Directory at all, fails to show its patrons a courtesy
they will find elsewhere.

M. R. NEAL ^{P3} REAL ESTATE

Phone Ballard 8736

SAN JOSE, CALIFORNIA

458 E. Santa Clara St.
Loans, Exchanges, Rental Property

826

(1936) R. L. POLK & CO'S

ROGERS ROAD—From 5
Kimball to Reservoir
rd

Stine N C Mrs
West B W

SAN BENITO AV —

North from Saratoga to
Mariposa av, 2 w of

Santa Cruz

410 McAuley G M Mrs

411 Carr F D (o)

415 Biancalani Augusto

416 Belillo Vincent

418 Godfrey F P (o)

421 Frame Alva (o)

423 Vacant

428 Vacant

431 Booher P E

432 Wilson F A Mrs (o)

435 Tickner W S (o)

436 Bachman Sarah Mrs

440 Lifshitz P H

441 Solari Jas (o)

446 Conroy Owen

455 Foutch H M Mrs

456 Vacant

459 Vacant

463 Hummel Minna Mrs

(o)

464 Galatea J B

468 McArthur C V

470 Vacant

485 Storie R N

497 Perusio Michl (o)

Andrews intersects

500 Pasero Bonnie (o)

501 Graves D W

512 Parish E D Mrs

513 King Gertrude Mrs

514 Vacant

516 Strong M E Mrs

(o)

525 Smith J W (o)

526 Viorata Louis (o)

532 Serra Jos

Thurston intersects

Olive av intersects

561 Riggs W A (o)

565 Hall M E Mrs

Ashler ends

615 Cornell L C (o)

621 Sanders C K

San Mateo av ends

630 Brokaw Eliz Mrs

(o)

641 Hamilton Julia Mrs

(o)

642 Jefferson Philip

647 MacKenzie Ian

Mariposa av ends

SAN JOSE — Northeast

from e end of E Main

to Kennedy rd

34 Sprague W C (o)

41 Lewis Ella

46 Chamberlin Winnie

E (o)

Obert S H

49 Rogers Rachel Mrs

(o)

54 Burke C G Mrs (o)

Loma Alta intersects

99 Vacant

100 Dwyer M G Mrs (o)

101 Lupton H W (o)

103 Graves Mabel Mrs

104 Hubbell W H

111 Vacant

112 Burns J R

Mabie I D (o)

116 Vacant

120 Huelter Fredk (o)

rear Williams Sidney

122 Vacant

123 History Club of Los

Gatos

Stacia intersects

204 Pettis G S

207 Sprague H C Mrs

(o)

214 Ryan J W (o)

215 Harder W R Dr

Riggs Z S (o)

220 Bragdon I S Mrs

(o)

rear Johnson O L

221 Ashley A B (o)

226 Mileham Eleanora

Mrs

227 Vacant

228 Sager H S

235 Colvin E F (o)

236 Traub L W

241 Bromley L A (o)

Jones H A Mrs (o)

242 Moberly L A (o)

245 Worsley J H (o)

247 Ring F E (o)

249 Helm D W (o)

250 Wichman E M Mrs

254 Winters W D

255 Poole W D (o)

256 Harrison Emily G

(o)

Wheeler av intersects

262 Hamman R F (o)

263 Tate S P (o)

264 Lindstrom C M

268 Burke W F (o)

269 Kerlin G B Mrs (o)

271 Vacant

Charles intersects

301 Cole M C Rev

302 Lint E F Mrs (o)

303 Lloyd F W

309 Rasmussen A L

310 Brady M C Mrs

314 Soule Mary Mrs

315 Robinson Margt

Mrs (o)

316 Hudson J J

318 Burnette P L (o)

331 Stanley Anna Mrs

(o)

Harding av intersects

333 Rasmussen G P (o)

334 Hopkins R C (o)

340 Davies E J

346 Ducoty G L (o)

349 Kirkendall C A

Salani Pia Mrs (o)

357 Jenkins A E Mrs

(o)

363 Vacant

367 Mann J C

368 Vacant

371 Bigelow V C

Thrash M E Mrs

(o)

Caldwell intersects

389 Dalziel A S (o)

400 Vollmar E E

401 Le Favour Adelaide

Mrs (o)

402 Snyder A V (o)

404 Hedricks C J

Hedricks Mary F

(o)

405 Flint I V Mrs (o)

407 Sutton Walter (o)

409 Brun L E

410 Torrey L B

411 Andrews Alice J

(o)

Andrews C B

SAN MATEO AV—From

Santa Cruz av to San

Benito av, 1 n of Ash-

land av

15 Geraudo Bart

16 Geraudo Paul

18 Vacant

21 Wark W W

28 Walsh Alice Mrs

30 Lord A L (o)

SANTA CLARA—Chang-

ed to Palm av

SANTA CRUZ AV,

NORTH—

1 Comper & Butner

drugs

3 Boone H F barber

3 1/2 La Canada Build-

ing

Rooms

1 Colvin E F dentist

6 Brun L E dentist

7 Jones H G phys

17 Tremaine Courtney

dentist

Street continued

5 Booker E O dry gds

6 MacCallum C A gro

7 Angelus Culures

restr

8 Gagliasso G J

fruits

Whiteman C T

meats

8 1/2 F & A M Hall

9 Vacant

10 Vacant

11 Kopp Zelda Mrs

variety store

12 Vlamis Wm restr

13 1/2 Streepey J B jwr

15 100F Hall

16 Lincoln Mkt

Allario Frank gro

Barbieri Guido

fruits

Zucconi Jos meats

17 Safeway Stores

17 1/2 Vacant

18 Safeway Stores

19 Aymar Adolph bak-

er

21 Crall H J Co sta-

tioners

22 1/2 Redmen's Hall

23 Vacant

FUEL

Williams
& Russo

INC.

773

W. San Carlos
San Jose

Tel.

Ballard
1162

BUILDING
MATERIAL

62 West
San Fernando
RUSSWIN BUILDERS' HARDWARE
PIPE, IRON AND STEEL

SAN JOSE HARDWARE Co.

COL.
2100
SHERWIN-WILLIAMS PAINTS
TOOLS AND CUTLERY

LOS GATOS HOUSEHOLDERS' DIRECTORY (1941)

937

365 Belbin Emily A
Ries E D @
Walnut av intersects
3710 Leet Georgianna
Mrs @
Oakley H A Mrs
3800 Roberts Wm
381 Vacant

PERALTA — North from
105 Pennsylvania to
Hernandez
90 Autrey Helen L
100 Berryman F W Jr @
110 Hanson Ina Mrs
15 Faulkner Elvira
Mrs

180 Tremaine Courtney
@
200 Lapum M H @
28 Fasten Oliver
320 Rankin Henrietta A
@
33 Rubin Chas
350 Edwards W A @
410 Mors G L

PINE—West 1 blk from
461 San Jose av

PLEASANT AV — North
from intersection of
Main and Jackson to
New York av
180 Dwyer E L @
200 Andrews D E @
220 Pearson I M Mrs @
240 Moran W H
260 Hardwicke Bernard
34 Reilly J A Mrs @
400 Francini Peter @
44 Gassman Alf @
45 Garner H E
460 Bruege W O @

PROSPECT—South from
Reservoir rd to city
limits

RESERVOIR ROAD —
South from junction of
Clelland and Villa to
Prospect
390 DeRome Fannie
Mrs @
40 Evans L B
500 Young C E @
600 Gunter H C

ROBERTS ROAD — East
from Los Gatos Creek
near Cypress av

ROGERS ROAD — From
5 Kimball to Reservoir
rd
600 French W J
2500 Galatin A B
48 Stines N C

SAN BENITO AV—North
from Saratoga to Mar-
posa av, 2 w of Santa
Cruz
410 DeGuire Frances
Mrs @
411 Vacant
415 Sallozi Frank @
416 Augustin John
418 Godfrey P P @
4210 Frame A G @
4230 Peterson J L
428 Yokum John
431 Lindquist V H
4320 Wilson F A Mrs @
435 Tickner L C Mrs @
436 Tobar John @
440 Parodi Jos @
441 Solari Jas @

4480 Conroy Owen
455 Fouch H M Mrs
456 Vacant
4590 DeBolt E M @
463 Hummel Minna Mrs
4640 Galatea J B @
4680 McArthur C V @
485 Garciulo Pasquale

Andrews intersects
5000 Pasero Bernardo @
505 Mattos Geo
5120 Giorello Carlo @
5130 Lee A E Mrs @
514 Vacant

rear Wilder B A Mrs @
5160 Strong M E Mrs @
525 Smith J W @
526 Beltran Emilio
5320 Serra Jos @

Thurston intersects
Olive av intersects
535 Rudy L E
546 Goulart H E @
5570 Jefferson Philip @
559 Vacant
5610 Riggs F L Mrs @
5650 Tiffany B C

Ashler av ends
6150 Cornell L C @
@ Cornell Maurine M
music tchr
@ Cornell Maxine M
music tchr

6200 Wilhelm J M
621 Klein Kath @
Reiter A H
San Mateo av ends
630 Jewart C A
6410 Heinzen J B @
642 Vacant
647 MacKenzie Ian @
Mariposa av ends

SAN JOSE AV — North-
east from e end of E
Main to Kennedy rd
340 Sprague W C @
46 Chamberlain Win-
nie E @

47 Vacant
49 Rogers Rachel Mrs
@
540 Burke C G Mrs @
Loma Alta av intersects
990 Mann Chas
1000 Dwyer M G Mrs @
1010 Lupton H W @
1030 Brown A B Mrs
1040 Wright C N
1040 Baumgartner Wm
111 Erickson A J Mrs @
112 Burns J R
@ Mable I D @

116 Petrovich P S @
1200 Huelter Fredk @
rear Albini Peter
1220 Spreckels Richd @
1230 History Club of Los
Gatos
Simons way begins
Stacia intersects
204 Hart L A Mrs
@ Nelson E H Mrs
2070 Sprague H C Mrs
@

2140 Ryan J W @
2150 Harder W R @
2200 Harding M I Mrs @
2210 Vowles W F @
224 Dodd W H
226 Slown D A
2270 Evans E E @
Walbaum Gustave
rear Traub L W

228 Vacant
2310 Straub P J @
2350 Colvin E F @
236 Greco Louis
2410 Jones H A Mrs @
2420 Gaillac C A Mrs
@ Moberry L A @
245 Sigsby M C @
2470 Ring F E @
2490 Helm D W
250 Vacant
254 Banister J R
2550 Poole W D
2560 Harrison Emily G @
Walkington A B

Wheeler av intersects
262 Vacant
2630 Severns W E @
2640 Craib Jas
2680 Burke W F @
2690 Railsback A M
271 Benoit A E

Charles intersects
3010 Aston J F
3020 Wells D H osteo
303 Schuman Richd @
3090 Beckwith Ruth E
3100 Brady M C Mrs real
est
3140 Soule M E Mrs
315 Robinson Margt
Mrs @

910 So. Second St.

SAN JOSE

Tel. Ballard 91

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Association
TS

fornia

Leet G V Mrs
Oakley H A Mrs
Vacant
Baich W C

ALTA - North from
5 Pennsylvania
Bernandez
Brumhall E H
Berryman F W Jr

Hansen I E Mrs
Vacant
Tremaine Courtney

Lapum M H
Vacant
Rankin Henrietta

Rubin Chas
Knutzen T J
Mors G L

-West 1 blk from
San Jose av

ANT AV - North
intersection at
and Jackson to
York av

Wyer E L
Andrews D E
Farson I M Mrs
Oran W H
Ellis H B
Ellis J A Mrs
elter Kathryn
Mrs

ssman Alf
ndon M R
uegge W O

CT-South from
oir rd to city

OR ROAD -
from junction of
d and Villa to
at
lome Fannie
Mrs
uns L B
ng C E
ter H C

S ROAD - East
Gatos Creek
press av

ROAD-From
lli to Reservoir

th W J
ain A B
s N C

FO AV-North
atog to Mar-
2 w of Santa

ire F A Mrs
S
Frank
in John

P5

MERNER
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BUILDING MATERIALS
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LOS GATOS HOUSEHOLDERS DIRECTORY (1943)

855

Tel. Ballard 2462

418 Godfrey F P
421 Frame A G
423 Peterson J L
428 Chavez Gabriel
431 Wigglesworth W C
432 Vacant
435 Tickner C L Mrs
436 Vacant
440 Parodi Jos
441 Solari Jas
446 Vacant
453 Vacant H M
455 Lawrence Morris
459 Montgomery R E
463 Hummel Minna
Mrs
464 Calatea J B
468 McArthur C V
485 Garciulo Pasquale

487 Perusio J L
Andrews intersects
500 Pasero Bernardo
505 Baron E P
512 Fiorello Carlo
513 Bengston J E
514 Vacant
rear Vacant
516 Strong M E Mrs
525 Briscoe Benj
526 Reading A C
532 Serra Jos

Thurston intersects
Olive av intersects
535 Rudy L E
546 Goulart H E
557 Jexerson Philip
559 DeSelle Melvin
561 Riggs F L Mrs
562 Bensen A J
565 Tiffany B C
Ashler av ends
615 Cornell L C
620 Wilhelm J M
621 Klein Kath

San Mateo av ends
630 Vacant
641 Heinzen J B
642 Seamon Kath Mrs
644 Sheriffs R W
647 McKenzie Ian
Mariposa av ends
SAN JOSE AV - North-
east from e end of E
Main to Kennedy rd
345 Sprague W C
41 Rehford Frank
460 Chamblain Win-
nie E
490 Rogers Rachel Mrs

540 Burke C G Mrs
Loma Alta av intersects
98 Drury G
100 Dwyer M G Mrs
101 Lupton H W
103 Stuart Harry
104 Wright C N
104 1/2 Baumgartner
Wm
111 Erickson A M J
Mrs
112 Prestigiacoma
Ignacio

455 Poutch Helen O Mrs
456 Letts Chas B EL 4-3009
459 Montgomery Hilda E
EL 4-4519
463 Lawless John T EL 4-9508
464 Galatea John B EL 4-3728
468 McArthur Chas V EL 4-3688
497 Popham Robt L EL 4-2609
Andrews intersects
500 Pasero Bernardo EL 4-4997
501 Burgess Lee C EL 4-1971
505 Richards Hannah Mrs
512 Jettre Louis Jr
513 Crain Chas E EL 4-2487
514 Wilder Bessie A Mrs
515 Malatesta Edw J EL 4-3651
516 Strong Mae E Mrs
517 Mullock Rose A Mrs
525 Veitch John J EL 4-3484
526 Reading Alva C EL 4-3019
532 Lopez Josephine Mrs
EL 4-2819

1160 Petrovich P S
1200 Hueller Fredk
rear Wright W D
1220 Spreckles Richd
1230 History Club of Los
Gatos
Simons way begins
Stacia intersects
2040 Beall E S
2070 Sprague H C Mrs

2140 Ryan J W
2150 Harder W R
2200 Harding M I Mrs
2210 Vowles W F
224 Vacant
226 Vacant
227 Vacant
rear Vacant
2280 Kennett W H
2310 Straub W H
235 Vacant
236 Oreco Louis
2410 Spaeth E D chiro-
practor

242 Moberly L A
Avon Damon Minna
Mrs
2450 Rallsbach A M
247 Vacant
2490 Helm D W
2500 Spedding R W
2540 Jameson Frank
2550 Poole W D
2560 Walkington A B
Wheeler av intersects
262 Hermann R F
2630 Stevens W E
2640 Hazelwood E E Jr
2680 Hazelwood E E
269 Hook H D
2710 DeBold E M

Charles intersects
301 Davidson P L
3020 Wells D H osteo
303 Schuman Richd
3090 Beckwith A B Mrs
3100 Brady M C Mrs
real est
314 Vacant
315 Robinson Margt
Mrs
3160 Espersen R E
3180 Burnett P L
321 Bourguignon L C

3240 Smith L E
3310 Heath D C
Harding av intersects
333 Rasmussen L R
Mrs
3340 Vollmar E E
3400 Zucconi Jos
3460 Wells W I
3490 Vavallino F G
3500 Leslie C S Mrs
3570 Jenkins A E Mrs
363 Vacant

Fillmer av begins
3650 Thrash M E Mrs
3710 Henard J A
Caldwell av intersects
3890 Dalziel A S
4080 Snyder A V

4130 Kent H L
4160 Oberst S H
4180 Higbee G H
4210 Klint Fred
4230 Sutton Walter
4300 Hedricks C J
4320 Torrey L B
4380 Brun L E
4450 Andrews C B
Spencer av intersects

SAN MATEO AV-From
Santa Cruz av to San
Benito av, n of Ash-
land av
14 Robershotte A N
16 Giarundo Paul
18 Gironado Bart
21 Wallbaum Shirley
270 Krauss Julius
280 Wnsh Alice M
Mrs
30 Dudley J D
330 Rexford G W

SANTA CRUZ AV.
NORTH - North from
Main to city limits,
principal business
street
10 Comper & Burtnr
Drugs
3 Vacant
3 1/2 La Canada Build-
ing
Courtney Hope
Shop women's clo

Rooms:
60 Brun L E dentist
70 Jones H G phys
170 Tremaine Courtney
dentist
Street continued
5 Vacant
60 Whiteman C T gro
70 Culures Angelo
restr
80 La Montagne E E
fruit
8 1/2 Masonic Hall
9 Vacant
12 Vlamis Wm liquors
13 1/2 Streepey J B
jwlr
14 Vlamis Wm restr
15 T O OF Hall
160 Am Red Cross
170 Fanning C W gro
17 1/2 Vacant
180 Sprouse-Reitz Co
varieties

190 Aymar Adolph bak-
er
210 Crall H J & Co
staty
22 1/2 Redmen's Hall
230 Home Appliance
Store
240 Templeman A M
ldy
26-280 Lincoln Market
Allario Frank gro
Barbieri Guido
fruits
Zucconi Jos meats

Loma Alta av intersects
109 Hardinge Kath Mrs
EL 4-3143
101 Ide Lottie C Mrs
Jones Grace E EL 4-1185
Solari Rudolph EL 4-4793
103 Legnito Geo J EL 4-1408
104 Adams Richd L EL 4-3439
111 Erickson A M J Mrs
EL 4-3182
113 Prestigiacoma Ignacio
EL 4-4866
116 Petrovich Paul S
120 Hueller Fredk EL 4-3366
1201 Dynak Dan
122 Spreckels Anna S Mrs
EL 4-4238
123 History Club of Los Gatos
EL 4-4138
Simons way begins
Stacia intersects
204 Beall Edwin S EL 4-2845

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2X
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at Second

RESERVOIR ROAD-South from
junction of Cleland av and Villa
av to Prospect

11 Mattenberger Wm L
EL 4-1734
39 DeRome Fannie Mrs
EL 4-3073
Kehl Louise G Mrs
39a Lederman Wm H
40 Evans Lanty B EL 4-2673
60 Bither Earl A EL 4-9076
78 Vacant
83 Curtis Paul E EL 4-4934
93 Merrill Alberto E EL 4-1876
99 Killen John F EL 4-1894
111 Henderson Ralph D EL 4-2616
Findlay Bernard A EL 4-2809

12

ROBERTS ROAD-East from Los
Gatos Creek near Cypress av

Loma Alta av intersects

109 Hardinge Kath Mrs
EL 4-3143
101 Ide Lottie C Mrs
Jones Grace E EL 4-1185
Solari Rudolph EL 4-4793
103 Legnito Geo J EL 4-1408
104 Adams Richd L EL 4-3439
111 Erickson A M J Mrs
EL 4-3182
113 Prestigiacoma Ignacio
EL 4-4866
116 Petrovich Paul S
120 Hueller Fredk EL 4-3366
1201 Dynak Dan
122 Spreckels Anna S Mrs
EL 4-4238
123 History Club of Los Gatos
EL 4-4138
Simons way begins
Stacia intersects
204 Beall Edwin S EL 4-2845

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LOS GATOS HOUSEHOLDERS DIRECTORY (1944)

362 Bellman C J
368 Canuel J
368 Decker W C
368 1/2 Diet Grace Mrs
Walnut av intersects
371 O'Leet G V Mrs
380 King G T
381 Balch W C

PERALTA—North from
105 Pennsylvania av to
Hernandez av
Bramhall E H
11 Merrill H K
150 Young J V
180 Tremaine Courtney

184 Sawyer Florence
80 Slapum M H
320 Rankin Henrietta
33 Rubin Chas
39 Knutson T
410 Mors G L

PINE—West 1 blk from
401 San Jose av

PLEASANT AV—North
from intersection of
Main and Jackson to
New York av

150 Dwyer E L
205 Andrews D E
220 Pearson T M Mrs
24 Kinney G D
260 Gelatt D H Mrs
34 MacGregor D R
40 Curtis G D
44 Gasmann Alf
45 Landau M R
460 Bruegge W O

PROSPECT—South from
Reservoir rd to city
limits

RESERVOIR ROAD—
South from junction of
Cleveland and Villa to
Prospect

390 De Rome Fannie
Mrs
40 Evans L B
500 Young C E
600 Gunter H C

ROBERTS ROAD—East
from Los Gatos Creek
near Cypress av

ROGERS ROAD—From 5
Kimball to Reservoir rd
600 Colvin E F dentist
250 Kidwell W J
258 N C

SAN BENITO AV—North
From Saratoga av to
Mariposa av, 2 w of
Santa Cruz av
410 DeGuire F A Mrs

411 Marshman P L
415 Ballotti Frank
418 Coffin G J
418 Godfrey E F
420 Prange A G
420 Peterson J L
425 Chavez Gabriel
431 Boyer Henry
432 Sparty A E Mrs
435 Franklin C Mrs
436 Copeland G H
440 Moras Jos
Parodi J O

441 Solari Jos
446 Vacant
449 Routh Helen M
450 Lawrence Morris
450 Monticory R E
463 Hummel Mary Mrs
460 Galtes J C
4680 MacArthur C V
485 Garcilaso Pascual
487 Barnum I B Mrs
489 Perusio J L

Andrews intersects
5000 Pasero Bernardo
5050 Baron E F
5120 Fiorelle Carlo
515 Bengtson E E
514 Wilder Bessie Mrs
near Vacant
5160 Stanton M E Mrs
525 Briceoe Benj
526 Reading A C
532 Adams Percy

Thurston intersects
Olive av intersects
535 Rudy L E
5460 Goulart H E
5570 Jefferson Philip
550 Stewart V T
561 Vacant
562 Benson A J
5650 Tiffany B C

Ashler av ends
5150 Cornell L C
6200 Wilhelm J M
621 Klein Kath Mrs

San Mateo av ends
6300 Golden Leonard
6410 Heinzen J B
642 Sparks Richd
6440 Beatty H C
6470 MacKenzie Ian
Mariposa av ends

SAN JOSE AV—North-
east from end of E
Main to Kennedy rd
340 Sprague W C
460 Chamberlin Winnie
E

490 Rogers Ruth J
540 Burke C G Mrs
Loma Alta av intersects
98 Drury G E
100 Eaton W P
101 Lupton H W
103 Stewart Harry

1040 Wright C N
1045 Chummarner
Wm
111 Erigson A M J Mrs
112 Prestigiacomo Is-
nacio
1160 Petrovich P B
120 Fugler Fred
120 1/2 Cooper Olga Mrs
1220 Greckles Richd
1230 History Club of Los
Gatos

Simons way begins
Stacia intersects
2040 Ball E S
2070 Sprague H C Mrs
2140 Ryan J W
2150 Harder W R
220 Erwin Simon
Feuerbacher F D
2300 Horne B W
2310 Vowles W P
226 Greco Dominic
227 Bruckmann Henry
2280 Kennels W H
2310 Straub P J
2330 Collins Jas
238 Greco Louis
2410 Spaeth O E chiro-
podist
2420 Van Dannon Minnie
Mrs

2420 Belmont E S
2450 Halsback A M
247 Vacant
2480 Heim D W
2500 Mendonsa H D
2540 Jameson P E
2550 Poole W D
258 Beebe D E
256 1/2 Mullins R C
Wheeler av intersects
2620 Haman R F
2630 Severns W E
2640 Hazewood E E Jr
268 Burke W F
2690 Newton W C
2710 DeBold E M

Charles intersects
3010 Aikman Rae
3020 Wells D H osteo
3030 Schuman Richd
3090 Beckwith A B Mrs
310 Brady M C Mrs real
est

314 Stoltz G R
315 Vacant
316 Cravens Louise Mrs
3180 Burnett P L
321 Bourguignon L C
3240 Smith E
3310 Heath D C elec
contr

Harding av intersects
333 Rasmussen L R Mrs
3340 Vollmar E E
3400 Zuconci J P

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MAIL

PALM AV—Contd
 55Spores L W Mrs
 55Gunn G R
 4Taubner E A

PARK — Southwest from Main, 2 e of Front
 nr Main Los Gatos Swimming Pool
 185Atkinson H E Mrs
 muste tchr
 260Wolenik Leo
 485Groppe John
 800Lagomarsino Geo
 823Moore Alice Mrs
 83 Spedacci Lino
 804Fox J P

PENNSYLVANIA AV — West from Bay View ct to Wissahickon av
 25Stindt C G
 45O'Hara R J
 82Rhinelander A J
 245Pelice P C
 285Countryman Fayette N
 Krauss W A
 Glenridge av intersects
 572MacGibbon E G Mrs
 3074White Minerva Mrs
 309 Cass L G bldg contr

3235Swanson Nels
 323½ Holden J T
 3245Harvey B B Mrs C
 S pract
 Harvey M P
 3270Hayden A L
 3375Leeper J R
 3455Sollazzi F J
 3470Ebaugh M A Mrs
 Palm av intersects

357 Ghiotti L R
 360Seely B R Mrs
 3612Schultz B F
 3630Bellman C J
 3650Baldwin R W radio
 repr
 Decker W C
 Walnut av intersects
 3715Sperry A E Mrs
 380 King G T
 3810Balch W C

PERALTA — North from Hernandez av
 9 Fisher G R
 Ireland H P
 Norman Otto
 Shane M E
 10Berrymann F W Jr
 11 Hanson I E Mrs
 Kutney D E
 12Lorentzen A Mrs
 1505Daly J R
 180Tremaine Courtney
 18½ Bolton Nancy
 Mrs

265Lapum M H
 325Rankin Henrietta M
 330Rubin Chas
 385Woody R J
 41 Moss G L

PINE AV — West 1 blk from 401 San Jose av
 185MacDonald M L
 225Muyard F D
 225Von Damm Albt
 265Webster Edna
 295Pyre E S
 305Martin R P
 315Gibson J P
 405Bassett A W
 415Erwin S W bldg
 contr
 445Mustache Domingo
 49 Lloyd R W
 60 Henriksen H E

PLEASANT AV — North from intersection of Main and Jackson to New York av
 185Dwyer E L
 205Andrews D E
 225Pearson I M Mrs C
 S pract
 245Holmes Bert
 265Gellat D H Mrs
 345Keller P M
 405Curtis G D
 44 Gasman Alfred
 45 Vacant
 46 Gib Jas

PROSPECT—South from Reservoir rd to city limits

RESERVOIR ROAD — South from junction of Cleveland av and Villa to Prospect
 39De Rome Fannie Mrs
 5McClenagan Jos
 405Evans L B
 505Young C E
 60 Kincaid A M

ROBERTS ROAD — East from Los Gatos Creek near Cypress av

ROGERS ROAD — From 5 Kimble av to Reservoir rd
 605Colvin E F
 250 Stines H P Mrs

ROSE—South from Roberts rd, 2 w of San Jose av

ROSE AV — Northeast from Saratoga av, 4 w of Santa Cruz av
 101 Tedeschi Nancy
 1082Volpa Jos
 1105Rescher R H
 1125Del Blanco Enrico

116 Rivolta Santino
 120 Romitti Lorraine
 1405Pastore J E
 1450King G H
 214 Elroy Albt
 2850Bruce R E
 Weaverling L H
 3005Olson C N

ROSE COURT — Northwest from Rose av, 1 n of Saratoga av
 1 Koch H H
 20Erickson L R
 3 Gould F A
 50Gager F G
 6 Wells F A
 75Willard K L Mrs
 95Chase Maude E
 105Luther J D Mrs
 115Probst T S
 125Smith Walter
 13 Woroshloff L A
 145Cressy F S

ROYCE — From Santa Cruz av to University av, 3 n of Main
 106 Hatch E J

SAN BENITO AV—North from Saratoga av to Mariposa av, 2 w of Santa Cruz av
 4105De Guire F A Mrs

4115Premier W J Jr
 415 Sallozi Frank
 416 Nelson Marcelette Mrs
 418 Godfrey F P
 4215Frame A G
 4235Sadler F J
 428 Loder L R Mrs
 4315Amerio Daro
 4325Cook E D
 4355Brinker C A
 445 Tangen Anna Mrs
 436 Copeland H H
 440 Moras Jos
 Parodi J C
 4415Horstman C J

445 Kinter Paula Mrs
 455 Routh H M Mrs
 4585Letts C B
 4595Montgomery R E
 463 Gremmler C M
 4645Galatea J B
 4685McArthur C V
 485 Garciculo Pasquale
 4975Barnum Rose
 Andrews intersects
 500 Pasero Bernardo
 5055Spagnola Raymond

512 Bergher Elias
 5135Bengston J E
 5145Wildner B A Mrs
 5165Strong N E Mrs
 5255Ruxtable W W
 5265Smith Kenneth
 532 Adams C R
 Thurston intersects
 5355Rudy L E
 545 Jefferson Philip
 546 Lee S J
 557 Cass L G Jr
 5595Quinn W P
 5615Madsen P W
 5655Tiffany B C

5155Arne I A
 6235Wilhelm J M
 6215Klein K A Mrs
 6235Matusek A H
 630 Brokaw M M Mrs

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LOS GATOS HOUSEHOLDERS' DIRECTORY (1984)

PINE AV—Contd
17110 James Vernon @ EL 4-4033
17121 Bassett Arth W @ EL 4-4218
17128 Erwin Simeon W @ EL 4-3457
17140 McGrain Frank
17151 Carlson Lester E @
EL 4-2134
17170 Bonaccorsi Frank P EL 4-1421
17171 Parks Walter N @ EL 4-2354
17250 Ernest S @
EL 4-2886

PLEASANT AV—North from Inter-
section of Main and Jackson to
New York av

17 Pleasant Apartments
apt 1 Jepson Stanley
2 Vacant
3 Watson John E EL 4-4898
4 Breck Geo
5 Hill Marian E EL 4-9660
6 Wilson Milton O
7 Gould Fred A
8 Kruljac Joseph A
9 Dreback James M
10 Gregory Marjorie A EL 4-3768
11 Dwyer Earl L @ EL 4-4193
12 Parker John W @ EL 4-3885
22 Pearson Ida M Mrs @ CSP
EL 4-4181
23 Gibson John R @ EL 4-4368
26 Gelatt Dora H Mrs @
EL 4-4380
34 Malone Robt EL 4-1518
36 Snook Burton D @
40 Curtis Geo D @ EL 4-4373
44 Jensen Harry C @
45 Wilson Jas @ EL 4-2001
46 Vacant

PROSPECT—South from Reservoir
rd to city limits

85 Wilson Verre D @ EL 4-1713
90 Monsarrat Sam A @
EL 4-9041
161 Cole Emile C F @ EL 4-2694
175 Phelps Happer K @
EL 4-9027
200 Convent of The Holy Names
EL 4-1730
at Kimble av Cook Alice M Mrs @
EL 4-9078
Cozzens Florence H Mrs
EL 4-9079

RAMEL WAY—East from El Nido av
Worcester Edw Mrs EL 4-2136RESERVOIR ROAD—South from
junction of Cleland av and Villa
av to Prospect

11 Mattenberger Wm L @
EL 4-1734
40 Evans Lant B @ EL 4-2673
39 DeRome Fannie Mrs @
EL 4-3073
Kehl Louise G Mrs
39a Lederman Wm H
40 Evans Lant B @ EL 4-2673
79 Vacant
83 Curtis Paul E @ EL 4-4034
99 Merrill Alberto E @ EL 4-1876
99 Killen John F @ EL 4-1894
111 Henderson Ralph D @ EL 4-2016
Findlay Bernard A EL 4-2809

ROBERTS ROAD—East from Los
Gatos Creek near Cypress av

16856 Williams Thos @ EL 4-4017
cor San Jose-Los Gatos rd McCarthy
Eug I @ EL 4-2859

ROBIE LANE—From 16707 Shannon
rd, 1 e of San Jose av

11 Sarkanbardi Mirdza
EL 4-1122
16298 Gunn Clarence E @ EL 4-3953
16301 Friesen Frank K EL 4-1058
16310 Gunn Harold A @ bldg contr
EL 4-3771
16319 Spatswood Harvey V @
EL 4-3887
16322 Pearce Allen B EL 4-3448
16334 Hall Rosabel @ EL 4-3279
16346 Richards Roy I @ EL 4-9298
16370 Martin Peter A @ EL 4-9114
16382 Spatswood Garth L @
EL 4-2777
16408 Barnhill Alf M EL 4-1140

ROGERS ROAD—From 5 Kimble
av to Reservoir rd

Shines Norman C @ EL 4-1591
60 Byrne Andrew T EL 4-2644
Colvin Ernest F @ EL 4-1551
250 Drury G E @ EL 4-1923

ROYCE—From Santa Cruz av to
University av, 3 n of Main

106 Jones Kenneth V EL 4-2236
114 Los Gatos Daily Times
EL 4-3900
116 Smith Lloyd E EL 4-3564

SAN BENITO AV—North from
Saratoga av to Mariposa av, 2
w of Santa Cruz av

410 Allison Claxton A EL 4-3193
411 Lund Hazle G Mrs EL 4-9386
415 Sallozi Frank @
416 Nichols Emma
418 Godfrey Frank P @
421 Frame Alva G @ EL 4-3906
423 Kerner Paul E @ EL 4-4629
428 Feeham Maria
431 Albani Sinto
432 Cook Ernest D @ EL 4-4079
435 Schneider Geo M @ EL 4-4912
436 McAnally Arch B @
437 Macris Fortine Mrs @
EL 4-4051

438 Parodi Jos @
440 Russell J Elmo EL 4-3609
441 Peathers Helen Mrs
446 Cushman Arth C @ EL 4-2388

455 Foutch Helen O Mrs
456 Letts Chas B @ EL 4-3009
459 Montgomery Robt E @
EL 4-4519
463 Lawless John T @ EL 4-9598
464 Galatea John B @ EL 4-2728
468 McArthur Chas V @ EL 4-3688
497 Popham Robt L @ EL 4-3609

Andrews intersects

500 Pasero Bernardo @ EL 4-4237
501 Burgess Lee C @ EL 4-1071
505 Richards Hannah Mrs @
512 Istre Louis Jr
513 Crain Chas E @ EL 4-2487
514 Wilder Bessie A Mrs @
515 Malatesta Edw J @ EL 4-3661
516 Strong Mae E Mrs @
517 Mullick Rose A Mrs @
525 Veitch John H EL 4-3484
526 Reading Alva C @ EL 4-3019
532 Lopez Josephine Mrs @
EL 4-2819

Thurston intersects

535 Anderson Richd D EL 4-2170
546 Gilbert Paul H @
557 Congdon Dwg G @
559 McNamee Philip L EL 4-2162
561 Madden Paul W @ EL 4-3135
565 Hall Elbert J @ EL 4-3727
Ashler av ends
615 Graves Lorenzo H @ EL 4-4457
620 Wilhelm John M @ EL 4-9052
621 Klein Kath A Mrs @
EL 4-3971
Morgenson Adolph L
EL 4-3000
623 Thoraby Carl E EL 4-2445
629 Matje Jon @ EL 4-2218
San Mateo av ends
630 Broken Margery M EL 4-4495
Trinitatch John
639 Cilker Elsie E Mrs @
EL 4-3538
640 Balch Albert E @ EL 4-1446
641 Kirkpatrick Frank W @
EL 4-4718
642 Sommer Francis @ EL 4-1874
644 Forbes Francis H @
EL 4-4365
647 Mackenzie Ian @ EL 4-4131
Mariposa av intersects

SAN JOSE AV—Northeast from e
end of E Main to Kennedy rd

6-10 Medco-Dental Building
6 Feldkamp Irving M phys
EL 4-2773
8 Wareham Warren S dentist
EL 4-2193
10 Carlisle Fred B dentist
EL 4-1545
31 Thompson Rollin B
33 Ogden Gladys Mrs
Shannon Donald S EL 4-4976
34 Sprague Josephine Mrs @
EL 4-3132
Smith Beattie L Mrs
35 Steed Fred H EL 4-9501
37 Ryder Robt A EL 4-9600
41 Cotton W J EL 4-2761
46 Chamberlin Cecil P @
EL 4-2384
Kutney Don C
49 Rogers Ruth T @ EL 4-2107
54 Apartments
1 Woods Geo M @
2 Dowell Loren Mrs
3 Paur R F EL 4-8464
4 Stanton Ione Mrs EL 4-9283
99 Stewart Mary Mrs EL 4-2009
99a Koth Rudolph J

Loma Alta av intersects

100 Hardinge Kath Mrs @
EL 4-3145
101 Ide Lottie C Mrs
Jones Grace E EL 4-1185
Solari Rudolph EL 4-4793
103 Legnitto Geo J @ EL 4-1406
104 Adams Richd L EL 4-3439
111 Erickson A M J Mrs @
EL 4-3182
112 Prestigiacomo Ignazio @
EL 4-4866
116 Petrovich Paul S @
120 Hueller Fredk @ EL 4-3366
120 Dymak Dan
122 Spreackels Anna S Mrs @
EL 4-4238
123 History Club of Los Gatos
EL 4-4138
Simons way begins
Stacia intersects
204 Beall Edwin S @ EL 4-2845

Gunn,
L'Hommedieu
and
Company

REALTORS

Commercial
Industrial
Income Property
Property Management
Appraisals
Loans
Insurance

Phone

Cypress

5-6226

167
W. Santa Clara
St.

SAN JOSE

PERFECT
SIGHT
IS
ESSENTIALSEE YOUR EYE
PHYSICIANSan Jose's
Only Complete
Downtown
LaboratoryCYPRESS
3-9357JOHN SCHROCK
Dispensing
Optician124 E. Santa
Clara St.
SAN JOSE

COLLECTION BUREAU
OF SAN JOSE
NO COLLECTION - NO FEE
200 S. MARKET STREET SAN JOSE TELEPHONE 297-7000

E. F. HUTTON & COMPANY INC.
MEMBER NEW YORK STOCK EXCHANGE
41 NORTH FIRST ST., SAN JOSE 13
PHONE 292-7752

THE HIBERNIA BANK
SAVINGS - COMMERCIAL - TRUST
142 W. Santa Clara San Jose Tel. 297-0553

R. L. POLK & CO.

ROXBURY LANE - From
Wedgewood av west 2 south
Pollard rd
509 Berquist Herbert C @
378-7761
512 Thompson Ernest @
378-8389
515 Gamboa Frank @
378-0378
516 Mayock Douglas S
378-9534
524 Vacant
378-9892
532 Carney John E
538 Dunne John E 378-2100
539 Vacant
540 Sampson Robert @
378-9745

ROYCE - From Santa Cruz
av to University av 3
north of Main
106a Nerenberg Benj optom
EL4-9310
Zilliox Wm E optom
EL4-9310
108b Lee Barton K dentist
354-3376
114 Loedatos Times-
Saratoga Observer
354-3900
West Valley Times
EL4-3900

RUSHMORE LANE - From
Towns north 2 east of
University av
210 Apartments
1 Schmitts Wayne R 354-9096
2 Vacant
3-4 Vacant
5 Olite Alice E Mrs
EL4-2952
6 Isaacs Chas L 354-1739
7 Bell Earl J 354-9344
8 Homer Arth T EL4-6308
Street continued

SAN BENITO AV - From
Santa Cruz av
410 Vanderweil Emile
354-9671
411 Mitchell Cecilia A Mrs
354-9988
415 Saltoni Frank P @
EL4-2646
416 Atchley Easie M Mrs
354-4389
418 Godfrey Frank P @
EL4-7483
419 Rump Ben F Rev 354-
1419
421 Frame Alva G @
EL4-2606
422 Casey H W 354-3832
423 Kerper Paul E @
EL4-4629

SUNSWET GROWERS, INC.
- DRIED FRUITS -
84 W. San Antonio Street San Jose Phone 292-1414

P10 MOLLY'S PARADISE MOTEL 1964
26 MOTEL ROOMS - HEATED POOL
OFF MAIN HIGHWAY
46 E. MAIN STREET LOS GATOS
PHONE 354-1963

LOS GATOS DIRECTORY OF HOMEOWNERS

SAN BENITO AV - Contd
438 Hudson Ruth Mrs
EL4-2487
431 Abianst Steo @
432 Devonport Russell
EL4-2750
435 HULL Billy J EL4-2750
436 Rodriguez Olga M @
354-3010
437 Dominguez Ambrosio @
438 Perrelli Joe @
440 Moshy Jeanne Mrs @
441 Fentness L McDonald
EL4-7776
444 Trinidad Edw J 354-
3954
446 Clummas Arth C @
EL4-2568
447 Johnson Tom
455 Foutch Helen O Mrs @
EL4-7893
456 Lette Chas B @
EL4-2608
458 Burti Ida Mrs @ 354-4463
459 No Return
462 Harrington A W @
464 Galatin John B @
EL4-2728
468 McArthur Chas V @
EL4-3188
470 Football Apartments
rear Marwood Frank
(A) Bueyler Lela Y Mrs
354-7964
(B) Vacant
(C) Dickmann Joale Mrs
(D) Moss Harry W
EL4-7274
Street continued
497 Popham Robt I @
EL4-2609
Andrews intersects
500 Pasero Bernardo @
EL4-2646
501 Burgess Lea C @
EL4-1071
505 Gilbertson Donald E @
512 Apartments
1 Kyle T Mrs
2 Lawson Madred L
EL4-5607
3 Thion Vera B EL4-9400
4 West Herbert L 354-4023
5 Black Virginia

318 Circle Chas @
EL4-2487
314 Usher Heide A Mrs @
EL4-1963
315 Hewitt James W 354-
2847
316 McCormick L R @
EL4-2109
317 Alexander Wm F @
EL4-7594
325 Vacant
328 Seaborn Alva C @
EL4-2013
329a Powell Vio M Mrs
354-2993
329b Rose Chas R
EL4-1797
329c Olney Marion Mrs
EL4-1819
332 Coovergl Emile 354-
4495
333 Spence David E @
354-8628
335 Eastman Harrison A
337 Mountjoy Florence Mrs
354-4625
Thurston intersects
Oliver av intersects
346 Gilbert Beriah I Mrs @
EL4-3281
351 Congdon Dae G @
EL4-0961
359 McNamee Philip L
EL4-2161
361 Madson Paul W @
EL4-3135
365 Hatten Christian S 354-
1062
Ashley av ends
615 Graves Lorenzo H @
EL4-4431
620 Wilhelm John M @
EL4-9086
621 Hultinger Frank
Rosen Jos 354-7275
622 Abramson Edw
623 Moe Joe J @ EL4-2218
San Mateo av ends
630 Brooker Margery M Mrs @
EL4-4407
631 Hastings Geo A
EL4-3929

JOE KERLEY, Lincoln-Mercury, Inc.
MERCURY - LINCOLN - CONTINENTAL - COMET
SALES AND SERVICE
2566 Stevens Creek Blvd. San Jose Phone 241-8830

JOHN B. SHELTON
ROOTING CONTRACTORS
1407 WILLOW ST. SAN JOSE TEL. 292-2162

MONTREY AV - North from Sara-
toys av to Thornton, 1 w of
Santa Cruz av
413 Jeffries Harriet E
417 Vianini Wm @ EL 4-4553
421 Hoover Marion Mrs
422 Edw Lloyd D @ EL 4-2620
425 Reid Herbert D @
rear Pavoni Sam
430 Bonaci Antonio @
Haskell Gerald G EL 4-3471
440 Norrabi Katarina Mrs
441 Miller Myrtle Mrs
rear Davis Ruth Mrs @ EL 4-4275
442 Solazzi Louis @ EL 4-3472
443 Mills Lloyd D @ EL 4-2183
444 Orellier Peter @ EL 4-4401
445 Tachio Steve @ EL 4-1563
452 Klotzhaugh Nell Mrs @
EL 4-4257
453 Calares Frank @ EL 4-2823
456 Hayes Lionel J EL 4-3560
459 Fickies Frank @ EL 4-3902
460 Palumbo Kenneth
461 Copeland Garvey H @ EL 4-4783
464 Johnson Alaine H @
rear Gindman Rind C EL 4-2025
477 Skopus Peter @ EL 4-2946
Andrews intersects
501 Ivorra Emilio @
508 Berlo Paul @ EL 4-3754
509 Gill Olga Mrs EL 4-3875
510 Hodges Edith K Mrs @
EL 4-3056
511 Geraci Sam
512

NICHOLSON AV - West from
Cruz av to Glenridge av, 2
209 Church Deimar M
211 Baron Lucian E
216 Mullen Sally A Mrs @ E.
222 Webster Chas L @ EL 4-
Wilder av intersects
255 Dobler Olive A Mrs @
EL 4-2508
Tait av intersects
304 Norton L Ash @ EL 4-
310 Witt Estella G Mrs @ EL 4-
315 Bagier Henry W @ EL 4-1067
316 O'Sullivan Edith Mrs @
EL 4-4646
Mansel av intersects
399 Colford Victor R @ EL 4-11

OAK - From Santa to Loma Alta
1 e of San Jose av
OAK GROVE AV - West and south
from Jones rd, 1 e of Santa Cr
Los Gatos bwy
10 Jones Charlotte H Mrs @
EL 4-1317
20 Ocker Ernest P @ EL 4-3786
26 Rogers Leonard H Jr @
EL 4-2051
30 Mix Lawrence C @
40 Ferrero H @

ANNEXURE -6
Santa Clara County Reply -1

e-permits@pln.sccgov.org

Active

1 of 6

Best regards,
E-Permits/clr

One attachment • Scanned by Gmail

Request for Copi...

Devendra Deshwal

<dsdeshwal@gmail.com>

to E-Permits

Good evening.

The request for copies of the plans duly filled and signed is attached please.

Best regards,

Devendra Deshwal

PE # C89732

One attachment • Scanned by Gmail

Request for Copi...

E

E-Permits

to me

Hello, we do not have any plans on record for 446 San Benito Ave. This address is currently in the Town of Los Gatos, CA. Their Planning Dept number is (408) 354-6872.

Thanks,

County of Santa Clara Planning E-Permits

Thank you for the information.

Thank you for your help.

Thank you for your assistance.

Reply

Forward

REQ 25-179 446 San Benito 

 **DO NOT REPLY - Santa Clara County Department of Planning and Development** <no-reply@accela.com>
to me ▾

Hello,

The property is in the City Of Los Gatos. The County of Santa Clara Department of Planning and Development has reviewed the records we maintain, and no responsive records were found. This completes our response to your CPRA request.

Thank you,

 Reply  Forward 

Mon, Mar 17, 9:25 AM (6 days ago) ☆ 😊 ↶ ⋮  

CITY COMPUTER RECORDS

1. Electrical Service Upgrade (5 pages)

**TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
ELECTRICAL PERMIT**

Permit Number: **E04-000258**

Work Description: **UPGRADE SERVICE 200 AMPS**
Building Address: **446 SAN BENITO AV LG**
Applied: **05/24/2004**
Approved:

Status: **APPLIED**
Issued:
Expired:

OWNER **CUSHMAN JACK E SR; GENELDA F 05/24/2004 Phone: 266-3351**
446 SAN BENITO AVE
LOS GATOS, CA
95030-5305
CONTRACTOR **OWNER/BUILDER** **05/24/2004**
SAME
License: **000000**

--Square Footage--

New Residence: **0** Remodel: **0** Commercial: **0**

Description	Tot Fee
Electrical Permit Fees	83.00

Total Calculated Fees:	\$83.00
Total Additional Fees:	\$0.00
Total Fees Due:	\$83.00
Total Payments:	\$0.00
Balance Due:	\$83.00

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X _____

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A) I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

Signature X _____

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X _____

WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

CERTIFICATION OF OWNER/BUILDER DECLARATION

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X _____

NOTICE:

1. Signs are regulated. See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, showstring lighting is not permitted.

OWNER-BUILDER VERIFICATION

1. I or my immediate family (parent, spouse, or child) will perform (check one):
- A. ☒ All the work authorized by this permit.
 - B. ☐ A portion of the work
 - C. ☐ None of the work.

If B or C is checked, complete 2 or 3 below.

2. A state licensed contractor will be hired to do (complete section below):
- A. ☐ All of the work.
 - B. ☐ A portion of the work
 - C. ☐ None of the work

Contractor	Address/City	Phone Number	State License #	Type of work to be performed

3. ☐ I will utilize unlicensed person(s) other than my family to perform all or portions of the authorized work. I understand that I may be an employer (see reverse side). A Certificate of Insurance covering worker's compensation must be on file at the Community Development office.

Person/Firm	Address/City	Phone Number	Type of work to be performed

I AGREE TO CHECK THAT EACH CONTRACTOR AND SUBCONTRACTOR HAS A VALID TOWN OF LOS GATOS BUSINESS LICENSE BEFORE THEY BEGIN TO WORK. YOU MAY VERIFY BUSINESS LICENSE STATUS WITH THE FINANCE DEPARTMENT AT (408) 354-6831 OR (408) 399-5704.

Property Owner's Initial JC

Any changes to this form shall be submitted to the Community Development Department

n:\master\finance\permit



TOWN OF LOS GATOS
COMMUNITY DEVELOPMENT DEPARTMENT
PO Box 949, Los Gatos, CA 95031
(408) 354-6881

OWNER-BUILDER INFORMATION

Attention Property Owner:

If you plan to improve your property and employ persons other than your immediate family, the following information will be of benefit to you. State and Federal laws require that you:

- Register with the State and Federal government as an employer.
- Withhold and remit income tax for each employee.
- Withhold and remit social security costs on each employee and pay social security costs on each employee.
- Withhold and remit disability insurance costs for each employee and pay worker's compensation insurance costs for each employee.
- Pay employee unemployment insurance costs on each employee.
- There may be financial risks for you if you do not carry out these obligations and these risks are especially serious with respect to worker's compensation insurance.
- If the structure is intended for sale, property owners who are not licensed contractors are allowed to perform their work personally or through their own employees, without a licensed contractor or subcontractor, only under limited conditions.
- A frequent practice of unlicensed persons professing to be contractors is to secure an "Owner-Builder" building permit, erroneously implying that the property owner is providing his or her own labor and material personally.

Information about licensed contractors, insurance, and lien laws may be obtained by contacting the Contractors' State License Board and/or various business and trade associations.

Please complete the "Owner-Builder Verification" form (reverse side) and sign below so that we can confirm that you are aware of these matters. The building permit cannot be issued until the verification has been completed and signed to the Community Development Department.

I declare under penalty of perjury that the information provided on the reverse side is true and correct. I have read and understand the Owner-Builder Information.

Property Owner's Signature: Jack Cushman Date: 5/24/04
Job Address: 446 SAN BENITO RD Permit #: E04-000258
Print Owner's Name: JACK CUSHMAN

TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT - BUILDING DIVISION * PHONE 354-6881 FAX (408) 354-7563

INSPECTION REQUESTS PHONE 354-6877

APPLICATION FOR ELECTRICAL PERMIT

E04-

UNIT FEE	NO OF ITEMS	AMOUNT	TOTAL	PER	SITE ADDRESS & SUITE #	Historic - Pre-1941
LIGHTS, SWITCHES, OUTLETS		2.00 EA			446 San Benito	
RESIDENTIAL APPLIANCES: CUPBOARD, OVER THE RANGE DISPOSALS, CLOTHES DRYER OR OTHER MOTOR OPERATED APPLIANCE NOT EXCEEDING 1/2 HP/500 WATT		6.00 EA			USE OF EXISTING BUILDING (Please Check)	Commercial Building/ Parking Structure
NONRESIDENTIAL APPLIANCES: MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABINETS, LAUNDRY MACHINES, DRINKING FOUNTAINS OR OTHER SIMILAR EQUIPMENT (NOTE: SEE SCHEDULE FOR OTHER EQUIPMENT)		7.00 EA			Single Family Residence	Condo/Apartment/ Townhome
POWER APPARATUS: CIRCUIT BREAKERS, TRANSFORMERS, A.C. OR D.C. PLANTS, BATTERY EQUIPMENT					PROPERTY OWNER	PHONE (REQUIRED)
UP TO 10 KV		13.00 EA			JACK CUSHMAN	408-266-3351
OVER 10 KV, AND NOT OVER 50 KV		21.00 EA			MAIL ADDRESS	
OVER 50 KV, AND NOT OVER 100 KV		41.00 EA			1833 ANDREWS AVE	
OVER 100 KV		57.00 EA			CITY	ZIP
MOTORS:					San Jose	95124
UP TO 1/2 HP		13.00 EA			CONTRACTOR	PHONE
UP TO 2 1/2 HP		21.00 EA			MAIL ADDRESS	
UP TO 5 1/2 HP		41.00 EA				
OVER 5 1/2 HP		62.00 EA			CITY	ZIP
TRANSFORMERS:					STATE LICENSE	MUST SHOW CURRENT WORKER'S COMP
UP TO 5 KVA		13.00 EA			TOWN LICENSE	
UP TO 10 KVA		21.00 EA			COMMERCIAL TENANT	PHONE (REQUIRED)
UP TO 50 KVA		36.00 EA			MAIL ADDRESS	
OVER 50 KVA		52.00 EA			446 SAN BENITO AVE	
BUSWAYS (PER 100 FT) CONDUITS		7.00 EA			CITY	ZIP
SERVICE EQUIPMENT:					Los Gatos	95030
200 AMP OR LESS		52.00 EA			DESCRIPTION OF WORK:	
201 TO 500 AMP		72.00 EA			SERVICE CHANGE	
JOB PANELS		26.00 EA			I certify that I have read this application and state that the above	
TEMPORARY POWER POLE		52.00 EA			information is correct. I agree to comply with all town and county	
TEMPORARY DISTRIBUTION SYSTEM & TEMPORARY LIGHTING SYSTEM		26.00 EA			ordinances and state laws relating to building construction, and	
PRIVATE SWIMMING POOL		41.00 EA			hereby authorize representatives of this Town to enter upon the	
PUBLIC SWIMMING POOL		77.00 EA			property for inspection purposes.	
SPAS OR SAUNAS		26.00 EA			Signed Jack Cushman	Date 5/24/04
ILLUMINATED SIGNS		41.00 EA			NOTICE:	
PHOTOVOLTAIC SYSTEM (RES)		49.00 EA			1. SIGNS ARE REGULATED, SEE PLANNING DEPT.	
SOLAR SYSTEMS		49.00 EA			2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES, SHOE STRING LIGHTING NOT PERMITTED.	
VIEW FROM ONLY	50 FT X 50 FT					
PERMIT ISSUANCE		31.00				
ADDITIONS TO PERMIT		10.00				
PLAN CHECK FEE (25% OF ELECTRICAL FEE)						
TOTAL FEES						

N:\Dev\FORMS\ELECTAPP.XLS

Rev 1/04

2. FRONT PORCH AND ROOF EVE REPAIR PERMIT -5 Pages



TOWN of LOS GATOS Community Development Building Permit

Permit ID/Type:	B10-0174 BUILDING/BUILDING/RESIDENTIAL/REPAIR	Applied:	03/11/2010
Work Description:	REPAIR FRONT PORCH AND REPAIR EVE'S ON HOUSE	Approved:	
Status:		Issued:	
Address:	446 SAN BENITO AVE, LOS GATOS, CA 95030	Expires:	9/7/2010
Owner:	CUSHMAN GENELDA 3139 CYRUS AVESAN JOSE, CA 95124	Phone:	jack 266-3351
Contractor:	OWNER/BUILDER SAMELOS GATOS, CA	Phone:	
License No.:	000000		

Job Value:	\$2,000.00	Buildings:	1
Total Sq. Ft.:		Houses:	0
Building Use:	Dwellings	Census #:	434
Occupancy Type:	R-3	Construction Type:	V-B

Total Fees	\$190.07
Total Payments	\$0.00
Balance Due	\$190.07

LICENSED CONTRACTOR'S DECLARATION

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect.

License Class _____ California Contractor License No. _____
Expiration Date _____ Contractor Signature _____

WORKERS' COMPENSATION DECLARATION WARNING: FAILURE TO SECURE WORKERS' COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO ONE HUNDRED THOUSAND DOLLARS (\$100,000), IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE, INTEREST, AND ATTORNEY'S FEES.

I hereby affirm under penalty of perjury one of the following declarations:

_____ I have and will maintain a certificate of consent to self-insure for workers' compensation, issued by the Director of Industrial Relations as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. Policy No. _____

_____ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are: Carrier _____ Policy Number _____ Expiration Date _____
Name of Agent _____ Phone # _____

IC I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

[Signature]
Signature of Applicant

3-11-10
Date

OWNER-BUILDER DECLARATION

I hereby affirm under penalty of perjury that I am exempt from the Contractors' State License Law for the reason(s) indicated below by the checkmark(s) I have placed next to the applicable item(s) (Section 7031.5, Business and Professions Code):

Code: Any city or county that requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors' State License Law (Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt from licensure and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500).):

☒ I, as owner of the property, or my employees with wages as their sole compensation, will do ☐ all of or ☐ portions of the work, and the structure is not intended or offered for sale (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who, through employees' or personal effort, builds or improves the property, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the Owner-Builder will have the burden of proving that it was not built or improved for the purpose of sale.).

☐ I, as owner of the property, am exclusively contracting with licensed Contractors to construct the project (Section 7044, Business and Professions Code: The Contractors' State License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the projects with a licensed Contractor pursuant to the Contractors' State License Law.).

☐ I am exempt from licensure under the Contractors' State License Law for the following reason:

Jack Carshing
By my signature below I acknowledge that, except for my personal residence in which I must have resided for at least one year prior to completion of the improvements covered by this permit, I cannot legally sell a structure that I have built as an owner-builder if it has not been constructed in its entirety by licensed contractors. I understand that a copy of the applicable law, Section 7044 of the Business and Professions Code, is available upon request when this application is submitted or at the following. Web site: <http://www.leginfo.ca.gov/calaw.html>

☒ Date 3-11-10 Signature of Property Owner or Authorized agent _____

DECLARATION REGARDING CONSTRUCTION LENDING AGENCY

I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Section 3097, Civil Code).

Lender's Name _____ Lender's Address _____

By my signature below, I certify to each of the following:

I am the property owner or authorized to act on the property owner's behalf. I have read this application and the information I have provided is correct. I agree to comply with all applicable city and county ordinances and state laws relating to building construction. I authorize representatives of this city or county to enter the above-identified property for inspection purposes.

Jack Carshing
Signature of Property Owner or Authorized Agent

3-11-10
Date



TOWN OF LOS GATOS

B10-174

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
PHONE (408) 354-6876 FAX (408) 354-7593
www.LosGatosCA.gov/building

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

NOTICE TO PROPERTY OWNER

Dear Property Owner:

An application for a building permit has been submitted in your name listing yourself as the builder of the property improvements specified at 446 San Benito

We are providing you with an Owner-Builder Acknowledgment and Information Verification Form to make you aware of your responsibilities and possible risk you may incur by having this permit issued in your name as the Owner-Builder.

We will not issue a building permit until you have read, initialed your understanding of each provision, signed, and returned this form to us at our official address indicated. An agent of the owner cannot execute this notice unless you, the property owner, obtain the prior approval of the permitting authority.

OWNER'S ACKNOWLEDGMENT AND VERIFICATION OF INFORMATION DIRECTIONS:

Read and initial each statement below to signify you understand or verify this information.

 1. I understand a frequent practice of unlicensed persons is to have the property owner obtain an "Owner-Builder" building permit that erroneously implies that the property owner is providing his or her own labor and material personally. I, as an Owner-Builder, may be held liable and subject to serious financial risk for any injuries sustained by an unlicensed person and his or her employees while working on my property. My homeowner's insurance may not provide coverage for those injuries. I am willfully acting as an Owner-Builder and am aware of the limits of my insurance coverage for injuries to workers on my property.

 2. I understand building permits are not required to be signed by property owners unless they are responsible for the construction and are not hiring a licensed Contractor to assume this responsibility.

 3. I understand as an "Owner-Builder" I am the responsible party of record on the permit. I understand that I may protect myself from potential financial risk by hiring a licensed Contractor and having the permit filed in his or her name instead of my own.

 4. I understand Contractors are required by law to be licensed and bonded in California and to list their license numbers on permits and contracts.

 5. I understand if I employ or otherwise engage any persons, other than California licensed Contractors, and the total value of my construction is at least five hundred dollars (\$500), including labor and materials, I may be considered an "employer" under state and federal law.

 6. I understand if I am considered an "employer" under state and federal law, I must register with the state and federal government, withhold payroll taxes, provide workers' compensation disability insurance, and contribute to unemployment compensation for each "employee." I also understand my failure to abide by these laws may subject me to serious financial risk.

(over)



7. I understand under California Contractors' State License Law, an Owner-Builder who builds single-family residential structures cannot legally build them with the intent to offer them for sale, unless all work is performed by licensed subcontractors and the number of structures does not exceed four within any calendar year, or all of the work is performed under contract with a licensed general building Contractor.

8. I understand as an Owner-Builder if I sell the property for which this permit is issued, I may be held liable for any financial or personal injuries sustained by any subsequent owner(s) that result from any latent construction defects in the workmanship or materials.

9. I understand I may obtain more information regarding my obligations as an "employer" from the Internal Revenue Service, the United States Small Business Administration, the California Department of Benefit Payments, and the California Division of Industrial Accidents. I also understand I may contact the California Contractors' State License Board (CSLB) at 1-800-321-CSLB (2752) or www.cslb.ca.gov for more information about licensed contractors.

10. I am aware of and consent to an Owner-Builder building permit applied for in my name, and understand that I am the party legally and financially responsible for proposed construction activity at the following address: 446 San Benito

11. I agree that, as the party legally and financially responsible for this proposed construction activity, I will abide by all applicable laws and requirements that govern Owner-Builders as well as employers.

12. I agree to notify the issuer of this form immediately of any additions, deletions, or changes to any of the information I have provided on this form. Licensed contractors are regulated by laws designed to protect the public. If you contract with someone who does not have a license, the Contractors' State License Board may be unable to assist you with any financial loss you may sustain as a result of a complaint. Your only remedy against unlicensed Contractors may be in civil court. It is also important for you to understand that if an unlicensed Contractor or employee of that individual or firm is injured while working on your property, you may be held liable for damages. If you obtain a permit as Owner-Builder and wish to hire Contractors, you will be responsible for verifying whether or not those Contractors are properly licensed and the status of their workers' compensation insurance coverage. Before a building permit can be issued, this form must be completed and signed by the property owner and returned to the agency responsible for issuing the permit.

Note: A copy of the property owner's driver's license, form notarization, or other verification acceptable to the agency is required to be presented when the permit is issued to verify the property owner's signature.

Signature of property owner

Jack Anderson

Date:

3-11-10

I have contracted with the following person (firm) to provide the proposed construction:

Person and/or Firm Name:		
Address	City	Zip
Phone	Contractors State License Number	

If needed, provide additional contractor information on separate form.



TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION
PHONE: (408) 354-6876 FAX: (408) 354-7593
www.losgatosca.gov/building

CIVIC CENTER
110 E. MAIN STREET
P.O. Box 949
LOS GATOS, CA 95031

Application #

BUILDING DIVISION PERMIT APPLICATION

B10-174

SITE ADDRESS 446 SAN BENITO AVE Suite _____ Today's Date 3/11/10

TYPE OF WORK TO BE DONE ☐ New ☐ Addition ☐ Alteration ☒ Repair ☐ Reroof ☐ Deck ☐ Pool/Spa ☐ Ret Wall

DETAILED DESCRIPTION OF WORK TO BE DONE REPAIR FRONT PORCH, REPAIR
FUELS ON TERRACE

PROJECT AREA	New/Add Sq. Ft.	Remodel/Alter Sq. Ft.	Reroof/Pool/Porch/Deck SF	Retaining Wall LF
1 st Floor	_____	_____	_____	_____
2 nd Floor	_____	_____	_____	_____
Attic/Basement/Cellar/Porch	_____	_____	_____	_____
Attached/Detached Garage	_____	_____	_____	_____

CONSTRUCTION VALUATION (Required): _____ Include costs of all labor and materials

BUILDING DETAILS: Heated? ☐ Cooled? ☐ # of Stories _____ ☐ Pre 1941/Historic District ☐ Has A Fire Sprinkler System

Is there a Swimming Pool and/or Spa located at this address: ☐ Yes ☐ No

Proposed Use of Building: _____ Construction Type _____ Occupancy Type _____

CONTACT NAME JACK CUSHMAN Phone 408 266 7751 Fax _____

Address _____ City _____ Zip _____

Property Owner Name JACK CUSHMAN Phone (Required) 408 266 7751

Address 3139 CYPRESS AVE City SAN JOSE Zip 95124

Architect/Engineer/Designer _____ License # _____ Phone _____

Address _____ City _____ Zip _____

Contractor Name _____

State License No. _____ License Type _____ Expires _____ Town Business Lic. No. _____

Commercial Tenant _____ Phone _____

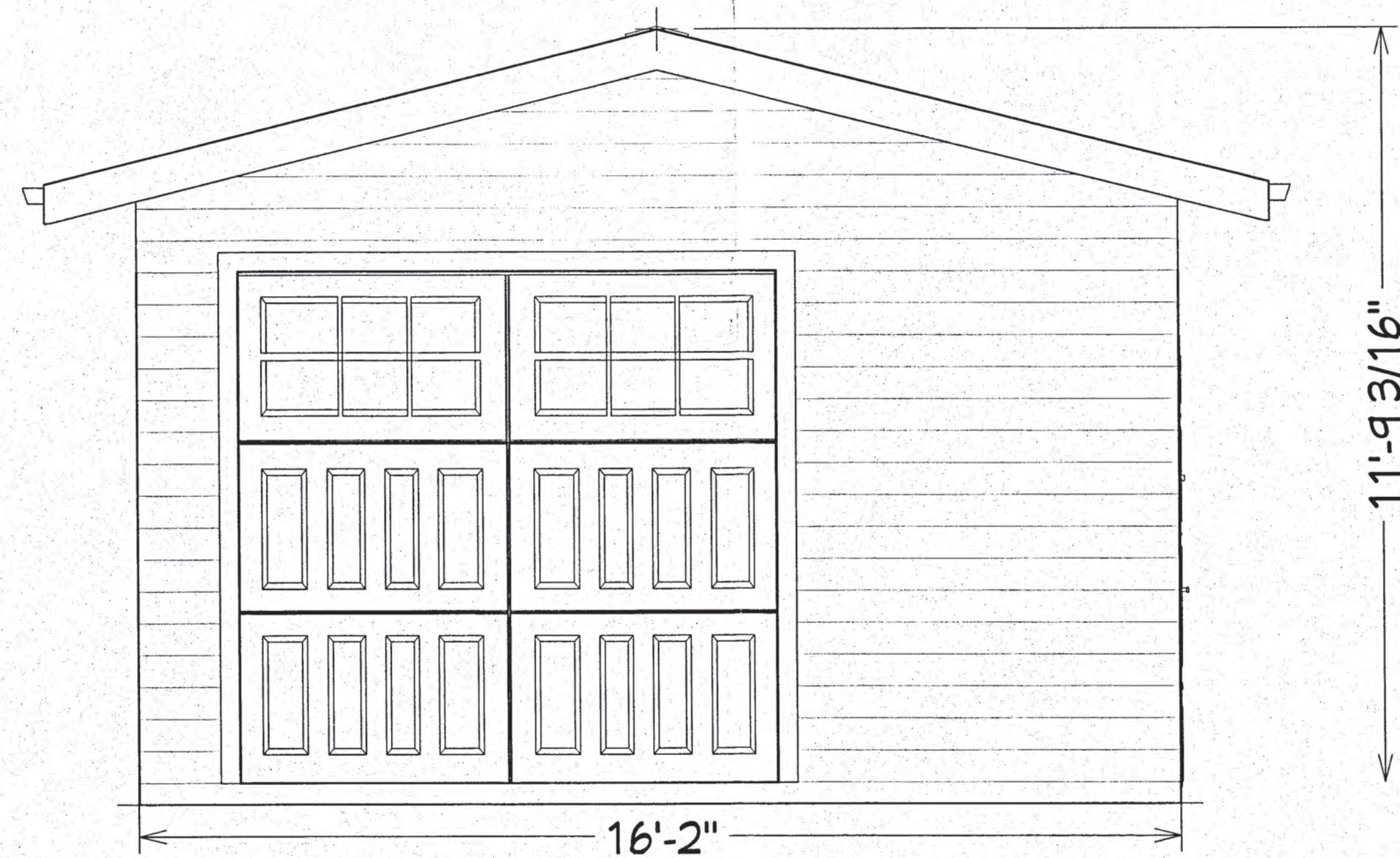
Address _____ City _____ Zip _____

Please complete the Electrical, Mechanical & Plumbing details on reverse side

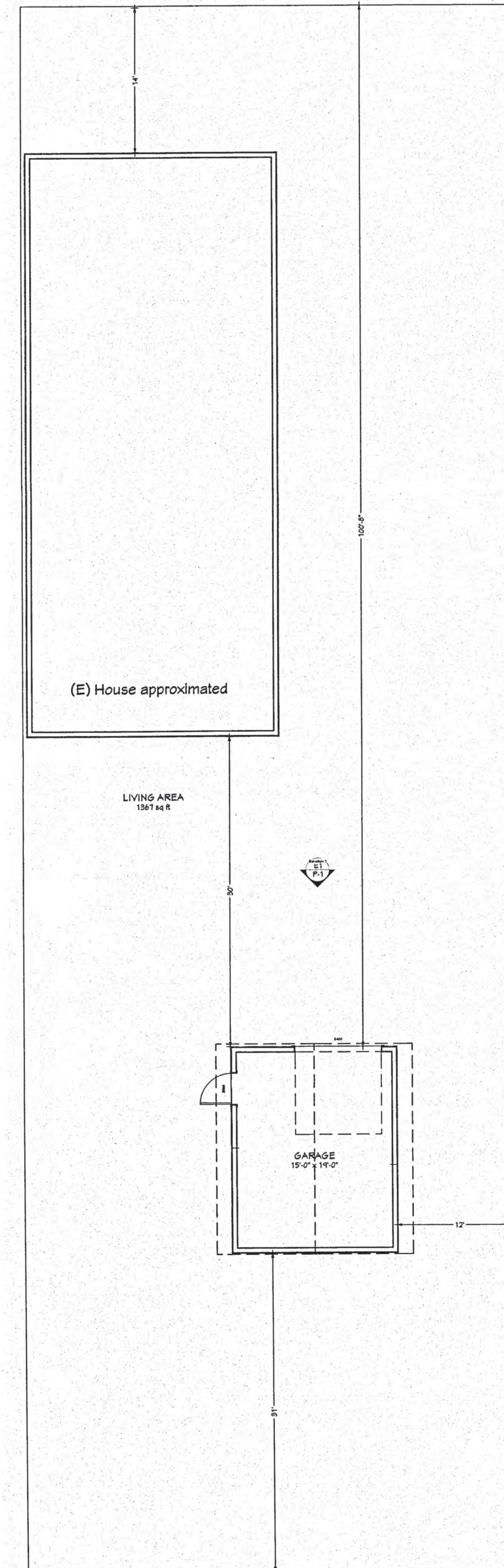


A black and white photograph of a small, single-story building, possibly a shed or a small house, with horizontal siding and a gabled roof. The building is shown from a three-quarter perspective. The roof is made of wooden rafters, and the walls are covered in horizontal siding. A large, multi-paned window is visible on the front facade. The building appears to be made of wood or a similar material.

All (N) Composition Shingles to match existing over #15 felt



San Benito Ave


$$1/4" = 1'$$

- 2013 California Residential Code
- 2013 California Building Code
- 2013 California Electrical Code
- 2013 California Energy Code
- 2013 California Mechanical Code
- 2013 California Plumbing Code
- 2013 California Green Building Standards
- 2013 California Fire Code

Expired
as of 3/20/16

[illegible]

Roof Repair for:
446 San Benito Ave, Los Gatos
APN: 410-16-051

A-1

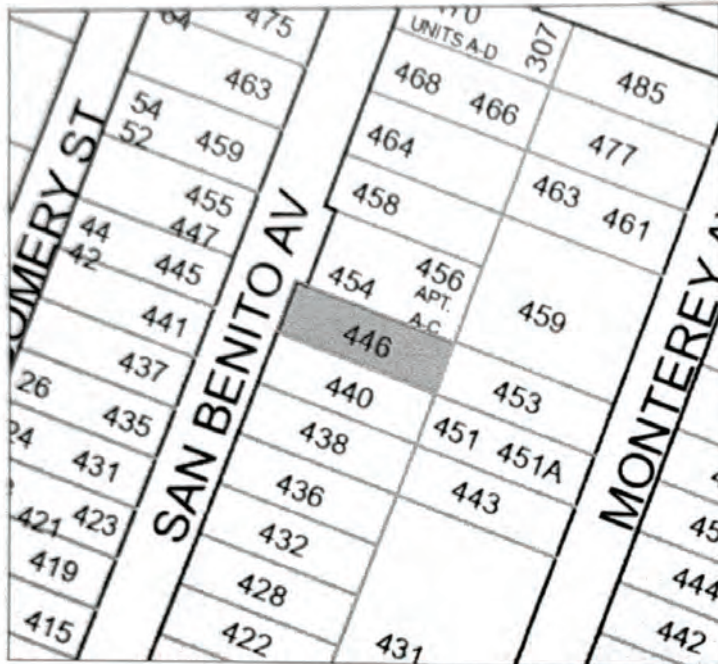
B15-0600



Town of Los Gatos

Parcel Report

Assessor's Parcel Number: 410 16 051



Basic Parcel Information

Situs Address: 446 SAN BENITO AV
Owner's Name: CUSHMAN DEBORAH F TRUSTEE
Co-Owner:
Owner's Address: 3139 CYRUS AVE
City, State:
Zip Code: 95124
Lot Size (Assessed): 7,200 Sq. Ft.
Lot Size GIS: Sq. Ft.
Property Value: \$178,473.00
Zoning: R-1D
Elem School:

Property Characteristics

Buildings on Parcel:	Lot Size (Acres): 0.16	Land Use Description:
No. of Units:	Williamson Act Flag:	Medium Density Residential
Total # of Floors: 1	Well Flag:	County Use Code: 1
Bedrooms /Baths:	Pool Code: N	Year Built: 1905
Total # of Rooms:	Building Square Ft.: 684.00	Effective Year: 1905
	Garage Code: 0	2010 Census Block:
	Percentage Improved:	

Assessor's Information

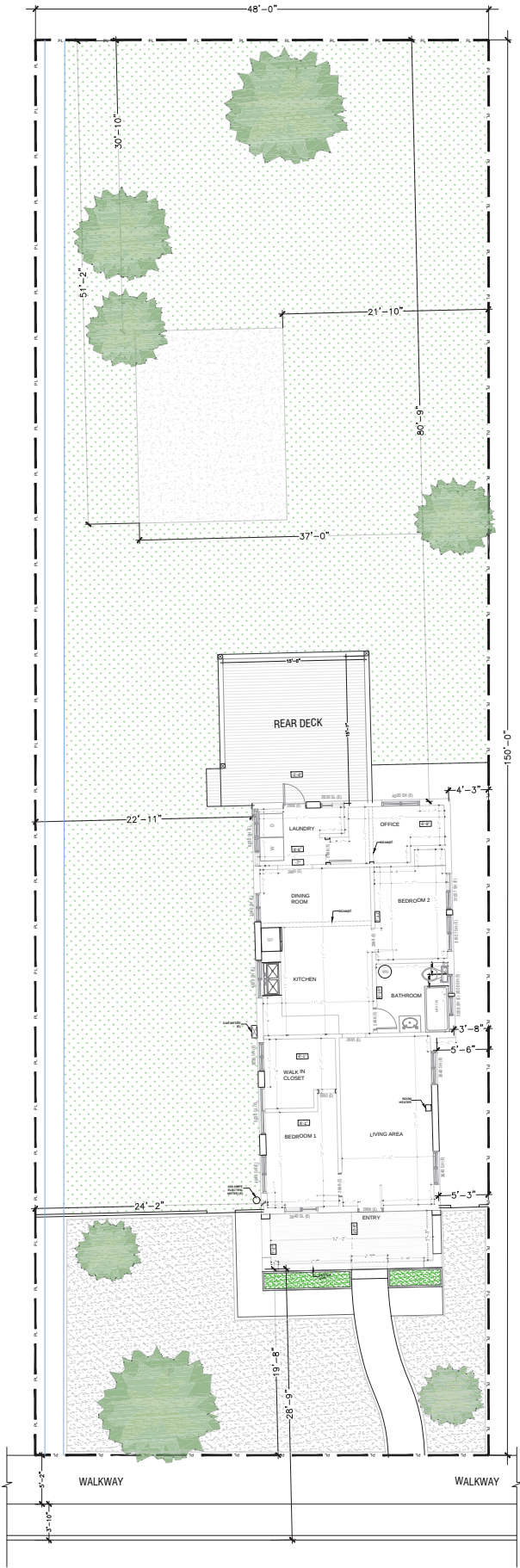
Tax Rate Area: 3000	Tract:
Tax Year: 20241125	Block and Lot No.:
Document Date: 20211012	Record Book/Volume/Page:
Document: 25129718	
Deed Type: DEED	

Additional Information

Has Secondary Unit?: No	Is Historic Site?: No
Is In Hillside Planning Area?: No	FEMA Flood Panel / Zone: 0376 / X
Is In Hillside Specific Plan?: No	Street Sweeping: T5 (Week1 Monday)

SYMBOLS

- PL — PROPERTY LINE
- EXISTING WALL



EXISTING SITE PLAN
SCALE 1/8" = 1'-0"



OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS

NUMBER	DATE	DESCRIPTION

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

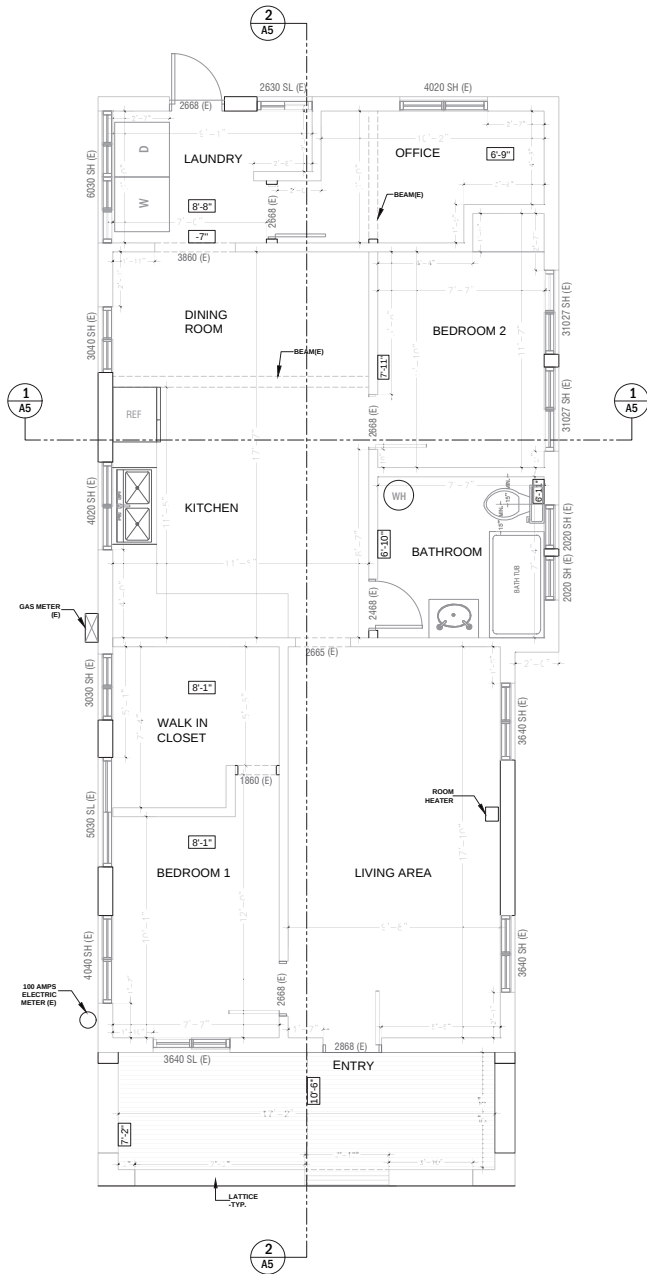
SHEET
TITLE:-

EXISTING
SITE PLAN

DATE
03/03/2025
SCALE
1/8 " = 1'-0"
SHEET
A1

SYMBOLS

==



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"



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(ADDITION &
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**446 SAN BENITO
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CA 95030**

SHEET TITLE:-

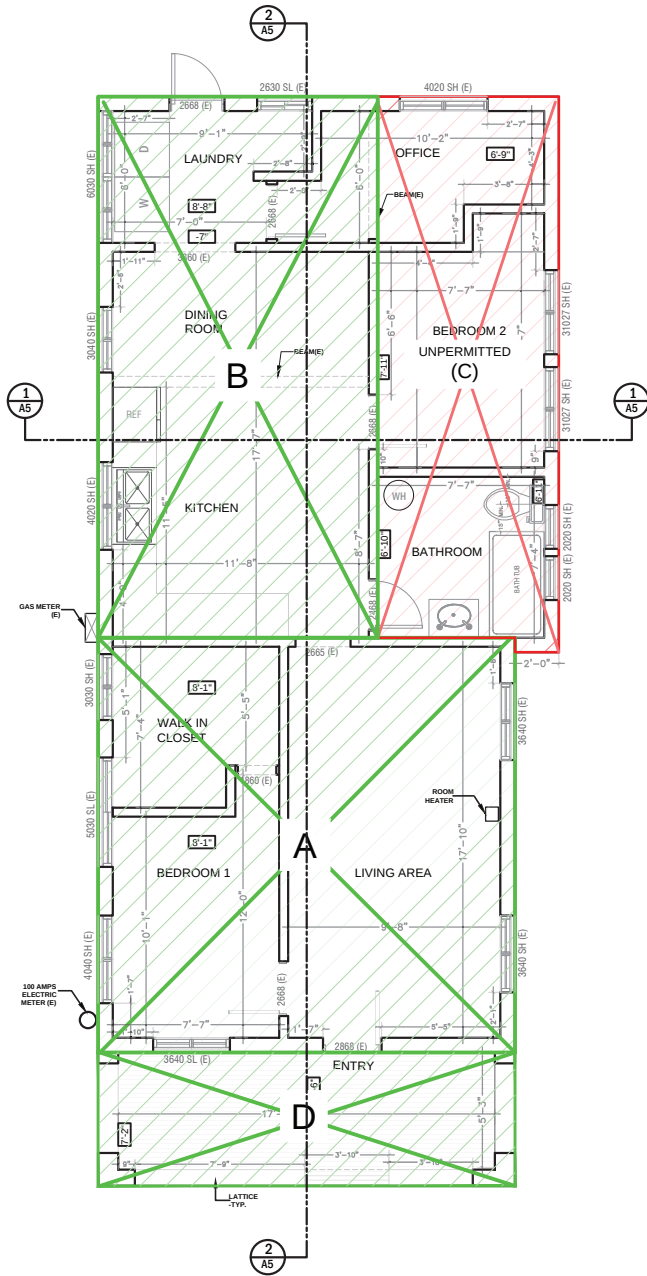
EXISTING
FLOOR
PLANS

DATE
03/03/2025
SCALE
1/4"=1'-0"
SHEET
A2

SYMBOLS

EXISTING WALL

AREA CALCULATIONS (EXISTING HOUSE)	
FLOOR AREA	
A	19'-0" X 18'-11"= 359.41 SQ FT
B	12'-8" X 24'-8"= 314.50 SQ FT
PERMITTED / FLOOR AREA	674.00 SQ FT = SAYS 684SQ FT (AS PER RECORDS)
UNPERMITTED ADDITION	
C	8'-1" X 24'-10"= 204.83 SQ FT
TOTAL EXISTING FLOOR AREA	TOTAL FLOOR AREA (A+B+C)= 889 SQ FT
PORCH AREA	
D	18'-11" X 6'-1"= 115.58 SQ FT



EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

OWNER :-

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REVISIONS

DESCRIPTION	DATE

PROJECT :

(ADDITION &
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446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET TITLE:-

AREA
CALCULATION

DATE

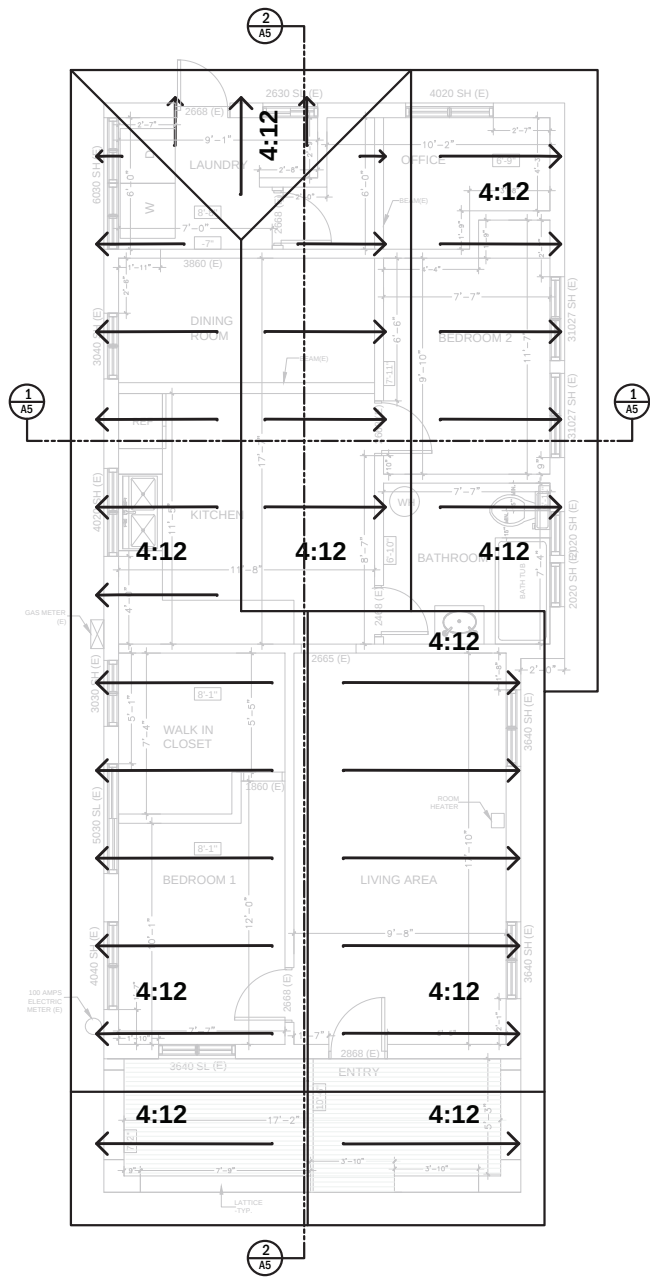
03/03/2025

SCALE

1/4"=1'-0"

SHEET

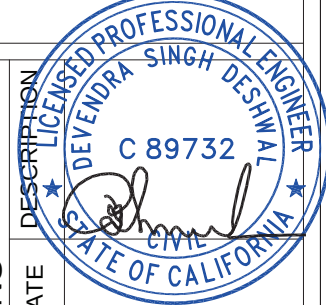
A2.1



EXISTING ROOF PLAN
SCALE 1/4" = 1'-0"

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
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REVISIONS

DESCRIPTION

DATE

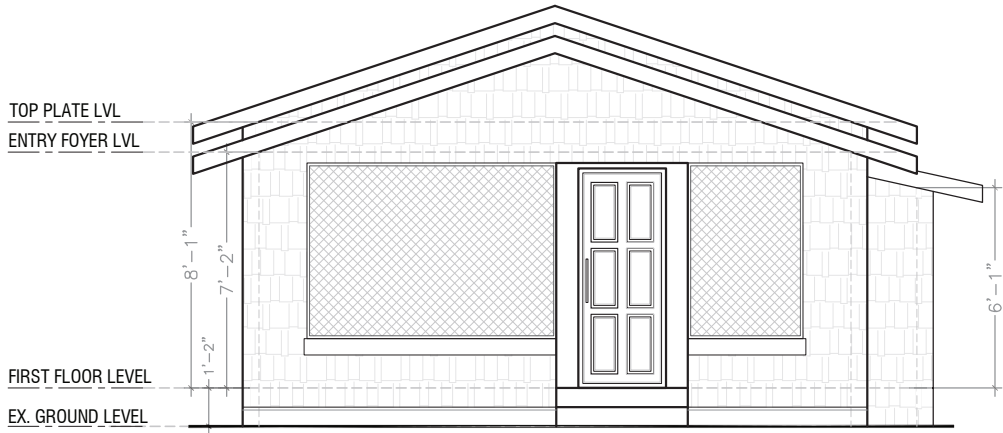
NUMBER

PROJECT :

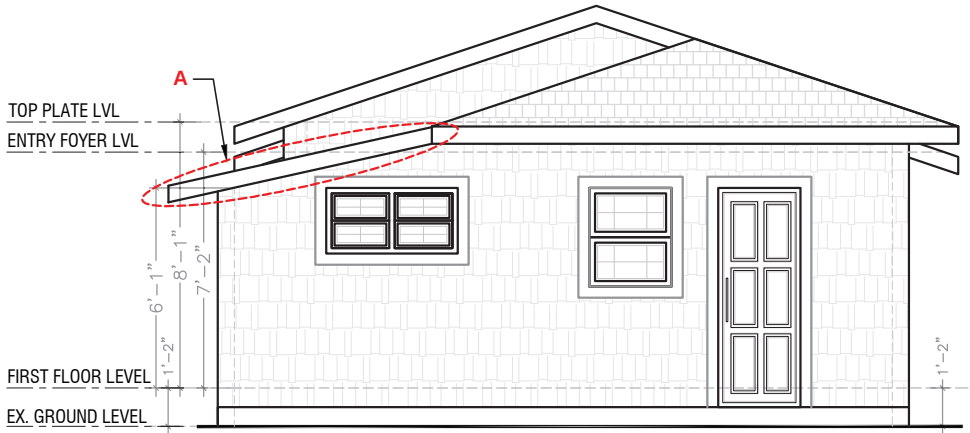
(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-
EXISTING
ROOF PLAN

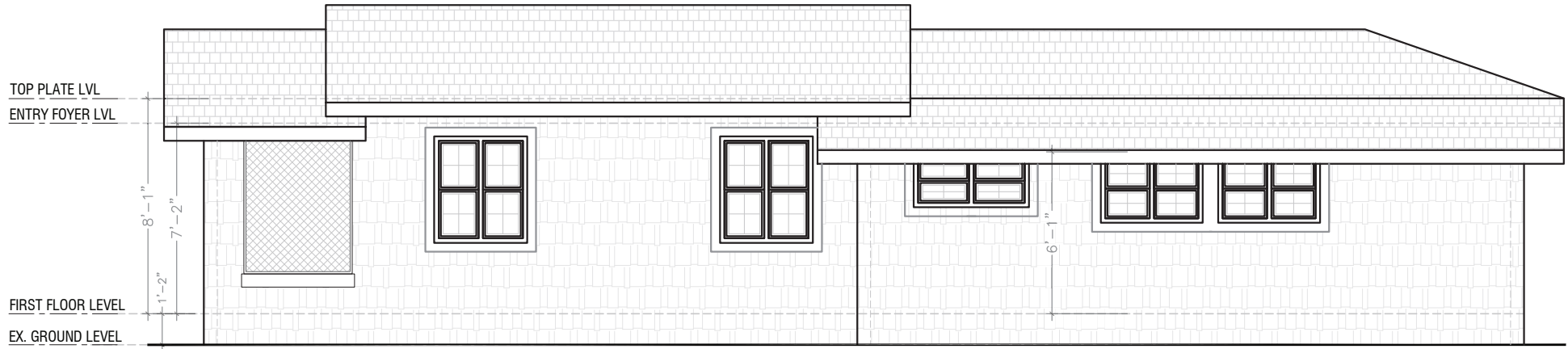
DATE
03/03/2025
SCALE
1/4"=1'
SHEET
A3



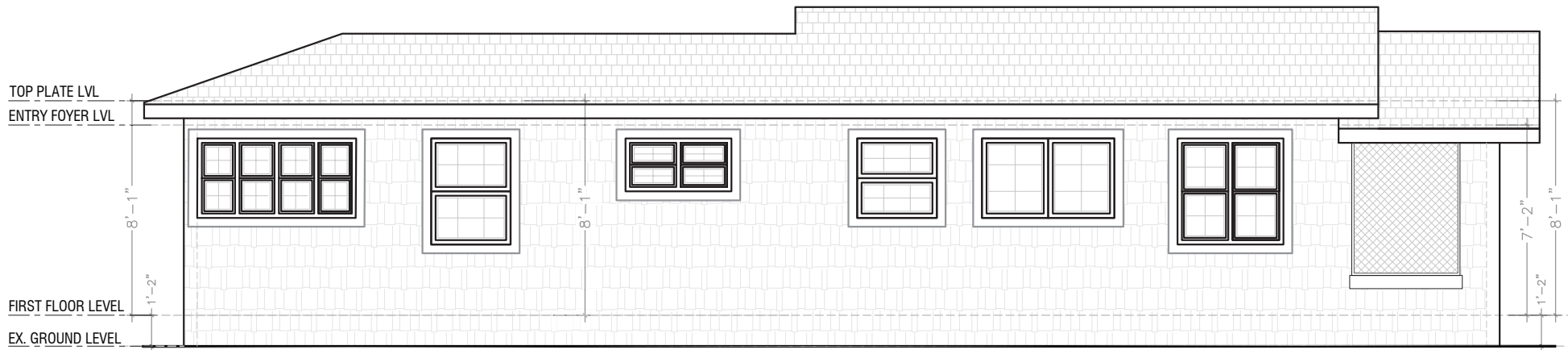
EXISTING FRONT ELEVATION
SCALE 3/8" = 1'-0"



EXISTING REAR ELEVATION
SCALE 3/8" = 1'-0"



EXISTING RIGHT ELEVATION
SCALE 3/8" = 1'-0"



EXISTING LEFT ELEVATION
SCALE 3/8" = 1'-0"

OWNER :-
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REVISIONS

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DATE

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(ADDITION &
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**446 SAN BENITO
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CA 95030**

SHEET
TITLE:-

EXISTING
ELEVATIONS

DATE

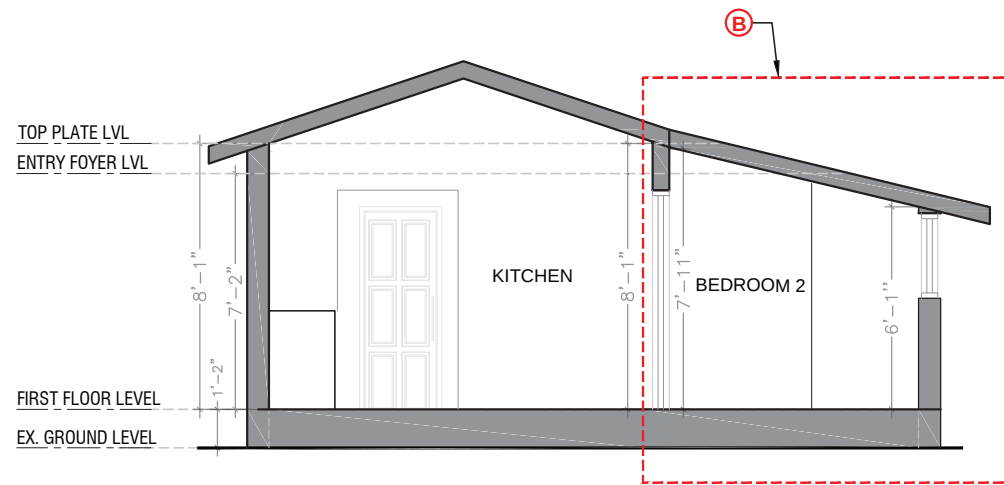
03/03/2025

SCALE

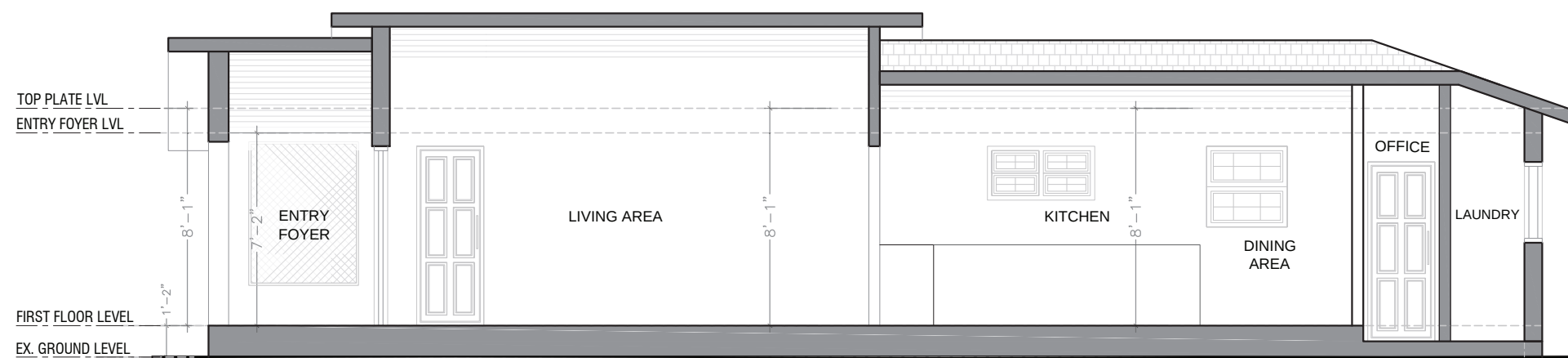
3/8"=1'-0"

SHEET

A4



EXISTING SECTION - $\frac{1}{A5}$
SCALE : 3/8"=1'-0"



EXISTING SECTION - $\frac{2}{A5}$
SCALE : 3/8"=1'-0"

OWNER :-

RAJ KUMARI
& DEVENDRA

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REVISIONS

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**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SECTIONS

DATE

03/03/2025

SCALE

3/8"=1'-0"

SHEET

A5



1. SITE

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
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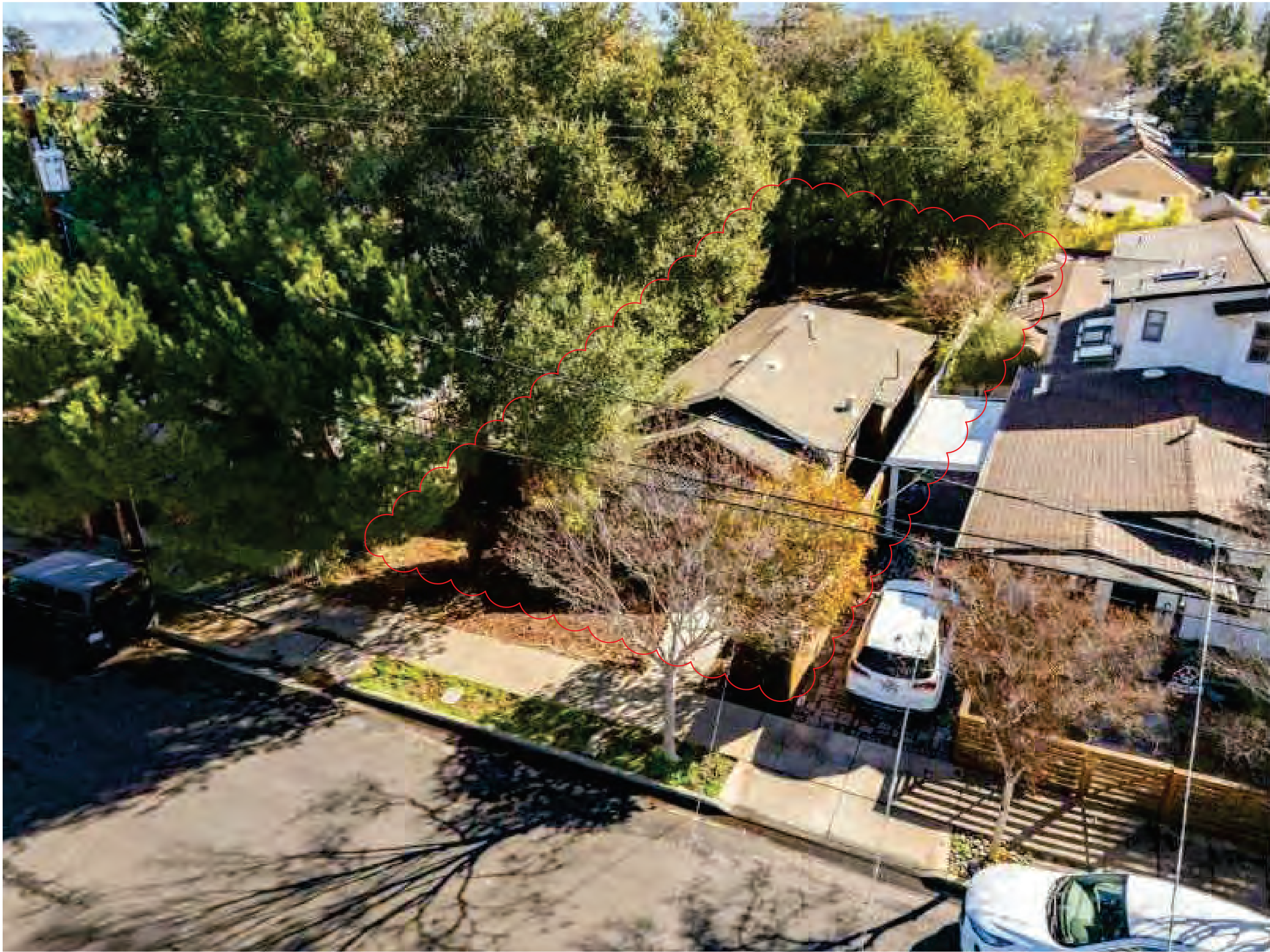
PROJECT :

(ADDITION &
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446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-

EXISTING
SITE
PHOTO-1

DATE
03/03/2025
SCALE
NTS
SHEET
A6.1



2. SITE FRONT AERIAL VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
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20801, VERDE MOOR CT.
SARATOGA, CA - 95070
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REVISIONS

NUMBER	DATE	DESCRIPTION
--------	------	-------------

PROJECT :

(ADDITION &
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EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SITE
PHOTO-2

DATE

03/03/2025

SCALE

NTS

SHEET

A6.2



3. SITE REAR AERIAL VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
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PRINCIPAL
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REVISIONS	DESCRIPTION
	DATE
NUMBER	

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446 SAN BENITO
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CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-3

DATE
03/03/2025
SCALE
NTS
SHEET
A6.3



4. FRONT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
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	DATE
	NUMBER

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CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-4

DATE
03/03/2025
SCALE
NTS
SHEET
A6.4

LEFT VIEW



5. SITE LEFT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
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20801, VERDE MOOR CT.
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CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-5

DATE
03/03/2025
SCALE
NTS
SHEET
A6.5



6. ENTRY FOYER (PORCH)

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
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20801, VERDE MOOR CT.
SARATOGA, CA - 95070
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CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-6

DATE
03/03/2025
SCALE
NTS
SHEET
A6.6



7. ENTRY PORCH (CEILING)

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
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PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
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REVISIONS		
NUMBER	DATE	DESCRIPTION

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446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-

EXISTING
SITE
PHOTO-7

DATE
03/03/2025
SCALE
NTS
SHEET
A6.7



8. LEFT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
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20801, VERDE MOOR CT.
SARATOGA, CA - 95070
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REVISIONS	DESCRIPTION	DATE
	NUMBER	

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EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-8

DATE
03/03/2025
SCALE
NTS
SHEET
A6.8



9. LEFT VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
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REVISIONS	DESCRIPTION	DATE
	NUMBER	

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SITE
PHOTO-9

DATE
03/03/2025
SCALE
NTS
SHEET
A6.9



10. LEFT REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
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REVISIONS	DESCRIPTION
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CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-10

DATE
03/03/2025
SCALE
NTS
SHEET
A6.10



11. RIGHT SIDE

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
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REVISIONS	DESCRIPTION	DATE
	NUMBER	

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SITE
PHOTO-11

DATE
03/03/2025
SCALE
NTS
SHEET
A6.11



12. RIGHT VIEW
(FROM REAR)

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS	DESCRIPTION	
	NUMBER	DATE

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SITE
PHOTO-12

DATE
03/03/2025
SCALE
NTS
SHEET
A6.12



13. REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS	DESCRIPTION	DATE	
	NUMBER		

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-

EXISTING
SITE
PHOTO-13

DATE
03/03/2025
SCALE
NTS
SHEET
A6.13



14. REAR DECK SITE VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS	DESCRIPTION	DATE
	NUMBER	

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-

EXISTING
SITE
PHOTO-14

DATE
03/03/2025
SCALE
NTS
SHEET
A6.14



15. SITE REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS	DESCRIPTION
	DATE
	NUMBER

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SITE
PHOTO-15

DATE
03/03/2025
SCALE
NTS
SHEET
A6.15



16. SITE REAR VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS	DESCRIPTION
	DATE
	NUMBER

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
EXISTING
SITE
PHOTO-16

DATE
03/03/2025
SCALE
NTS
SHEET
A6.16



17. CLOSET VIEW

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



REVISIONS		
NUMBER	DATE	DESCRIPTION

PROJECT :

(ADDITION &
REMODELING OF
EXISTING HOUSE)
**446 SAN BENITO
AVE, LOS GATOS,
CA 95030**

SHEET
TITLE:-

EXISTING
SITE
PHOTO-17

DATE
03/03/2025
SCALE
NTS
SHEET
A6.17



461 MONTEREY AVE 459 MONTEREY AVE 453 MONTEREY AVE 451 MONTEREY AVE 443 MONTEREY AVE

HOUSES ROW OF CONTEXT TO REAR / ADJACENT OF THE HOUSE



458 SAN BENITO AVE 456 SAN BENITO AVE 446 SAN BENITO AVE 440 SAN BENITO AVE 438 SAN BENITO AVE

HOUSES ROW OF CONTEXT TO THE HOUSE

SAN BENITO ROAD



459 SAN BENITO AVE 455 SAN BENITO AVE 445 SAN BENITO AVE 447 SAN BENITO AVE 437 SAN BENITO AVE

HOUSES ROW OF CONTEXT TO FRONT OF THE HOUSE

OWNER :-
RAJ KUMARI
& DEVENDRA

DESIGNER :-
UNICORN STRUCTURES
PRINCIPAL
DEVENDRA DESHWAL
20801, VERDE MOOR CT.
SARATOGA, CA - 95070
PH. NO.: 408-318-1053
EMAIL:dsdeshwal@gmail.com



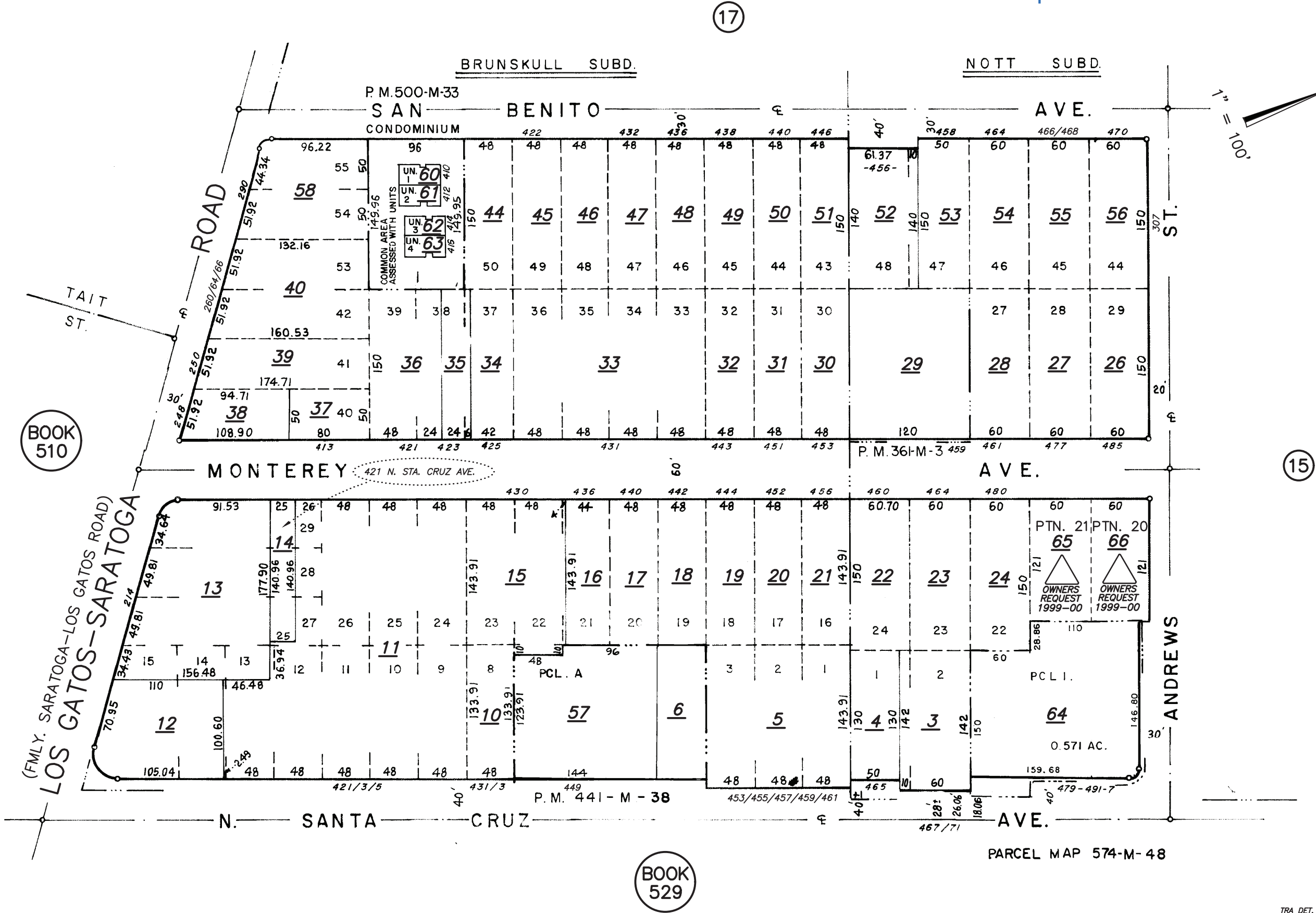
REVISIONS	DESCRIPTION	DATE
	NUMBER	

PROJECT :
(ADDITION &
REMODELING OF
EXISTING HOUSE)
446 SAN BENITO
AVE, LOS GATOS,
CA 95030

SHEET
TITLE:-
CONTEXT
PHOTO
GRAPHS

DATE
03/03/2025
SCALE
NTS
SHEET
A7

ANNEXURE-11
APN Map



REFERENCES

- (A) BRUNSKULL SUB., "K"-M-67
(B) PARCEL MAP, 475-M-20
(C) RECORD OF SURVEY 746-M-27
(D) PARCEL MAP, 500-M-33

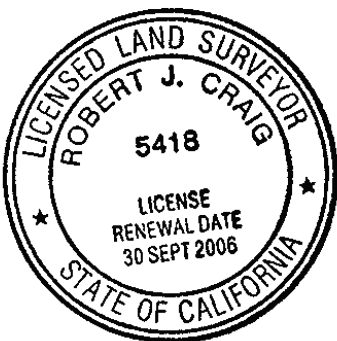
BASIS OF BEARINGS

BEARING NORTH 21°30' EAST ALONG THE CENTER LINE OF SAN BENITO AVENUE AS SHOWN UPON THAT CERTAIN PARCEL MAP FILED FOR RECORD IN BOOK 475 OF MAPS, AT PAGE 20, SANTA CLARA COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS MAP.

SURVEYOR'S STATEMENT

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act at the request of Gilbert Clevenger in January, 2005.

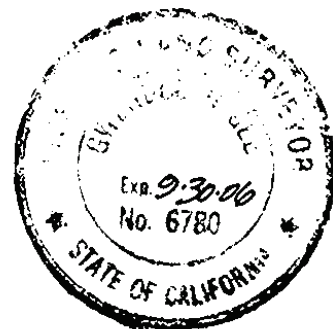
ROBERT J. CRAIG
Professional Land Surveyor No. 5418
Renewal Date 9/30/2006



COUNTY SURVEYOR'S STATEMENT

This map has been examined in accordance with Section 8766 of the Professional Land Surveyors' Act this 23RD day of NOVEMBER 2006.

GWENDOLYN GEE, COUNTY SURVEYOR
Professional Land Surveyor No. 6780
Renewal Date 9/30/2006



RECORDER'S STATEMENT

Filed this 29th day of November 2006 at 2:42 P.M. in Book 794
of Maps 34 at Page 34, at the request of DUNBAR & CRAIG
LAND SURVEYS, INC.

County Recorder BRENDA DAVIS

File: 18696891

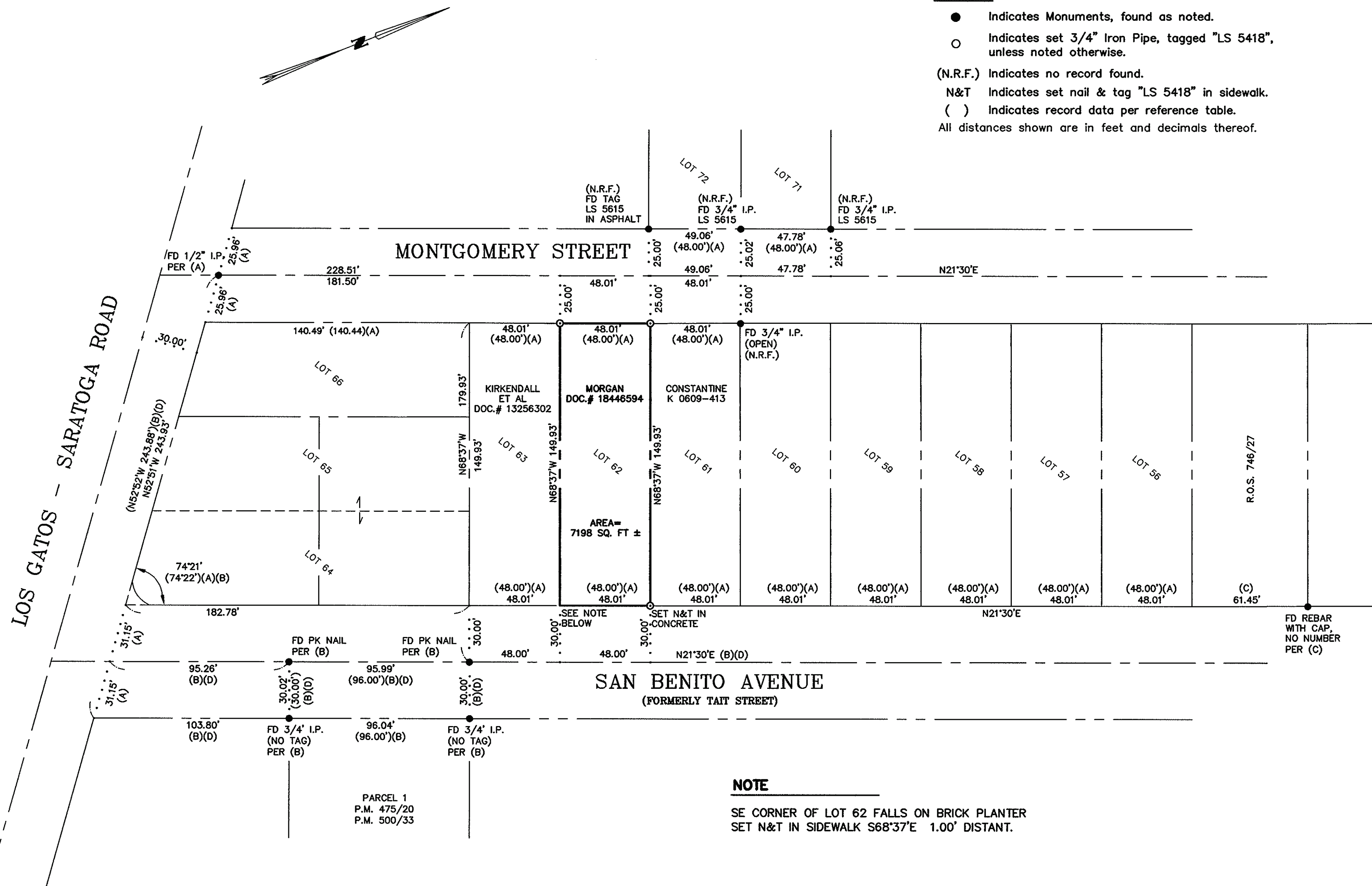
By Deputy Diana

Fee: \$8.00

This map being filed in accordance with Section 8762(b) (1)(2)(3) of the Professional Land Surveyors' Act.

LEGEND

- Indicates Monuments, found as noted.
 - Indicates set 3/4" Iron Pipe, tagged "LS 5418", unless noted otherwise.
 - (N.R.F.) Indicates no record found.
 - N&T Indicates set nail & tag "LS 5418" in sidewalk.
 - () Indicates record data per reference table.
- All distances shown are in feet and decimals thereof.



NOTE

SE CORNER OF LOT 62 FALLS ON BRICK PLANTER
SET N&T IN SIDEWALK S68°37'E 1.00' DISTANT.

APN: 410-17-056

DUNBAR & CRAIG LICENSED LAND SURVEYORS 236 N. SANTA CRUZ AVENUE #104 LOS GATOS, CALIFORNIA 95030 (408) 399-6929		RECORD OF SURVEY LOT 62, BRUNSKULL SUB. AS SHOWN IN BOOK "K" OF MAPS, PAGE 67 RECORDS OF SANTA CLARA COUNTY	
		SITUATED IN TOWN OF LOS GATOS SANTA CLARA COUNTY, CALIFORNIA	
SCALE 1"=40'	DRAWN CHC	JOB NO. 05006	SHEET 1
DATE NOVEMBER 22, 2005	CHECKED RJC	INDEX SANTA CLARA CO.	OF 1
DESIGN RJC	DWG NAME 05006ROS.dwg	GRID 139-28-52	

18696891

794
34
34

34