

ABBREVIATIONS

ARCH.	ARCHITECTURAL	INT.	INTERIOR
BTWN.	BETWEEN	MAX.	MAXIMUM
BLDG.	BUILDING	MIN.	MINIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BM.	BEAM	MFGR.	MANUFACTURER
CSMT.	CASEMENT	MICRO.	MICROWAVE
CLR.	CLEAR	MTL.	METAL
CL'G.	CEILING	NAT.	NATURAL
C.J.	CEILING JOIST	(N)	NEW
COL.	COLUMN	NO.	NUMBER
CONC.	CONCRETE	O.C.	ON CENTER
CONT.	CONTINUOUS	PLYWD.	PLYWOOD
DRY.	DRYER	RIS.	RISERS
DIA.	DIAMETER	R.O.	ROUGH OPENING
DIM.	DIMENSION(S)	R.R.	ROOF RAFTERS
D.W.	DISHWASHER	REV.	REVISION
DWGS.	DRAWINGS	REFR.	REFRIGERATOR
ELEV.	ELEVATION	REQD.	REQUIRED
EQ.	EQUAL	SHT.	SHEET
(E)	EXISTING	SL.	SLIDER
EXT.	EXTERIOR	SIM.	SIMILAR
F.A.U.	FORCED AIR UNIT	STL.	STEEL
FIN.	FINISH, FINISHED	STRUCT.	STRUCTURAL
FLR.	FLOOR	TEMP.	TEMPE RED
F.J.	FLOOR JOIST	TR.	TREADS
FTG.	FOOTING	T&G.	TOUNGE & GROOVE
FRZ.	FREEZER	T.O.	TOP OF
GA.	GAUGE	TYP.	TYPICAL
GALV.	GALVANIZED	U.N.O	UNLESS NOTED OTHERWISE
G.D.	GARBAGE DISPOSAL	V.I.F.	VERIFY IN FIELD
GRD.	GRADE	WASH.	WASHER
GYP. BD.	GYPSUM BOARD	W.H.	WATER HEATER
HDR.	HEADER	WD.	WOOD
HGT.	HEIGHT		

APPLICABLE CODES

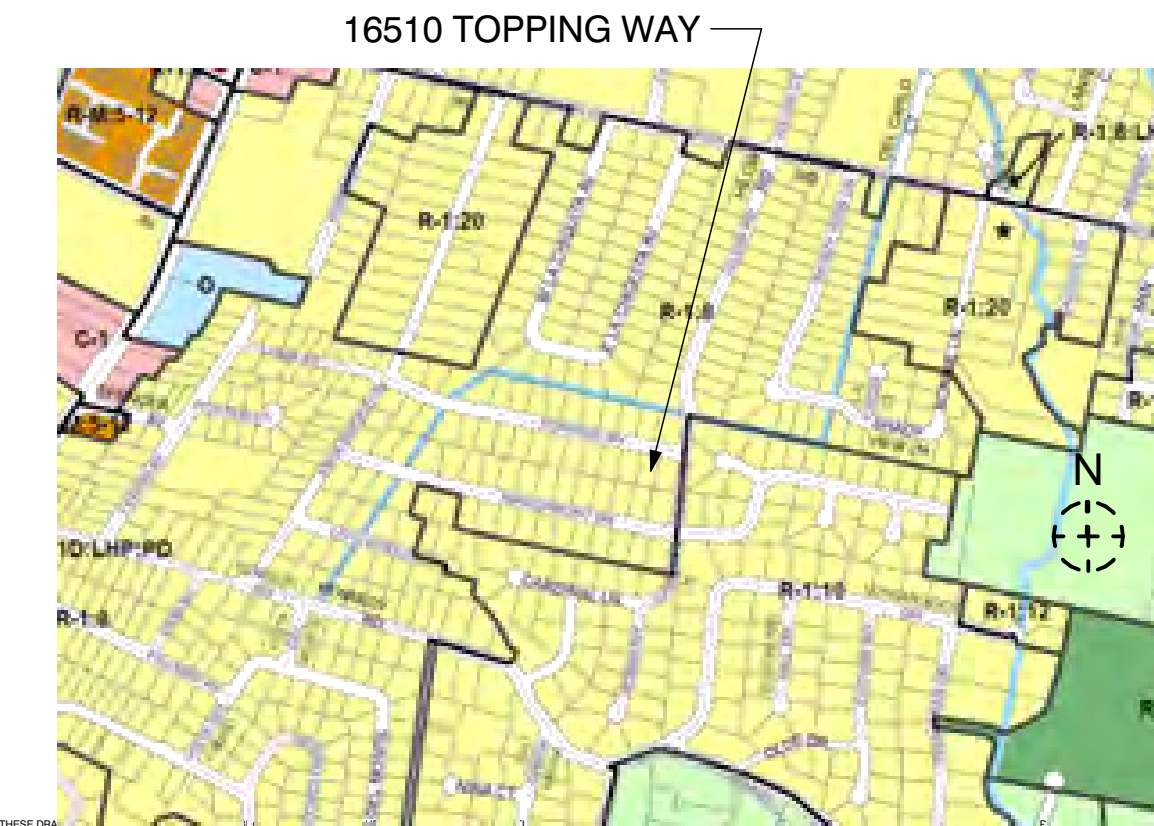
2022 California Building Code - CCR Title 24 Part 2
2022 California Residential Code - CCR Title 24 Part 2.5
2022 California Electrical Code - CCR Title 24 Part 3
2022 California Mechanical Code - CCR Title 24 Part 4
2022 California Plumbing Code - CCR Title 24 Part 5
2022 California Building Energy Efficiency Standards - CCR Title 24 Part 6
2022 California Historical Building Code - CCR Title 24 Part 8
2022 California Existing Building Code - CCR Title 24 Part 10
2022 California Green Building Standards Code - CCR Title 24 Part 11
2022 International Existing Building Code, Appendix Chapters A2 and A5

2022 California Code of Regulations Title 24, Parts 1-12, including locally adopted Reach Codes

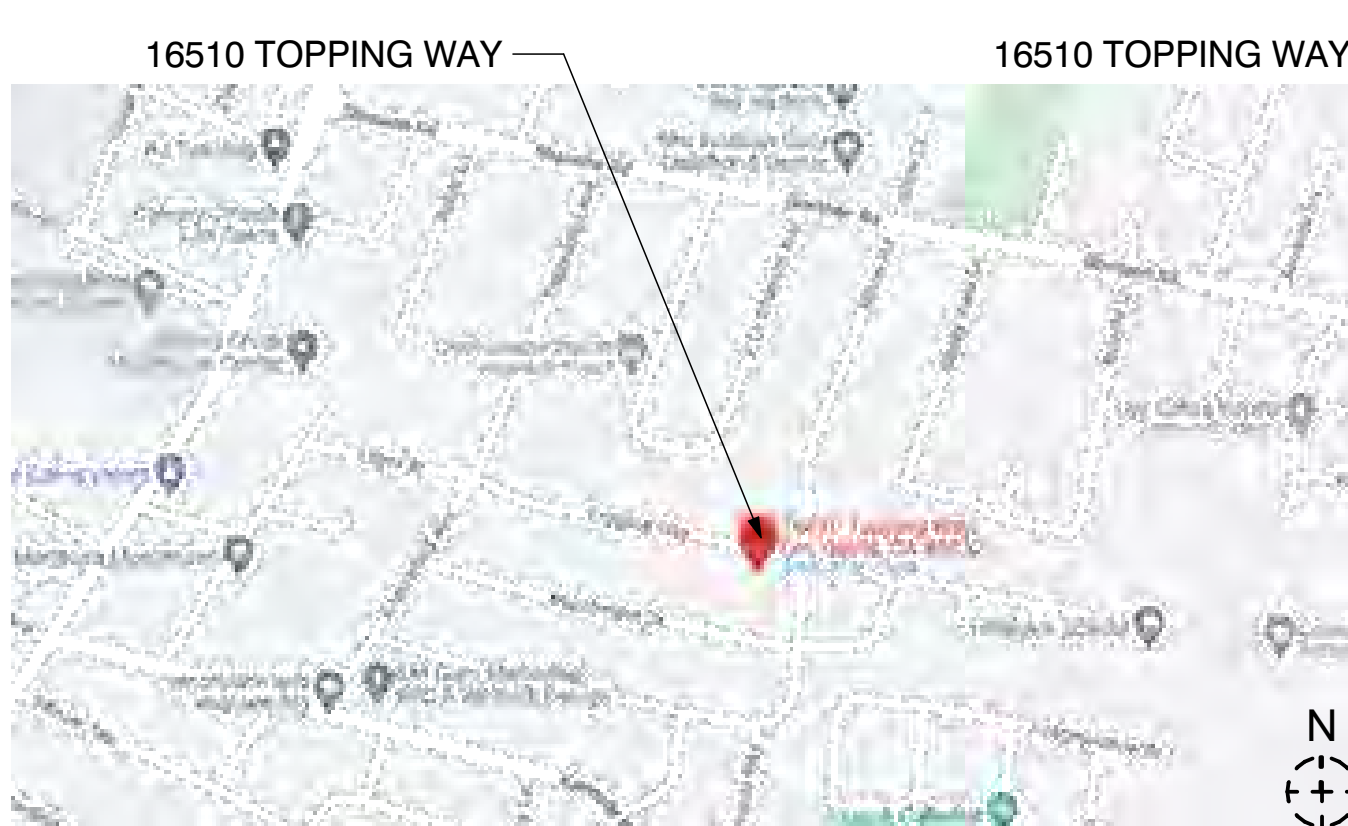
LEGEND

#	DOOR
#	WINDOW
X A-XX Detail # Sheet #	DETAIL
X A-XX X	INTERIOR ELEVATIONS
X A-XX X	SECTION
X A-XX X	EXTERIOR ELEVATION
X-X"	(UNLESS NOTED OTHERWISE)
X X-X"	SLOPE
X-X"	ELEVATION HEIGHTS

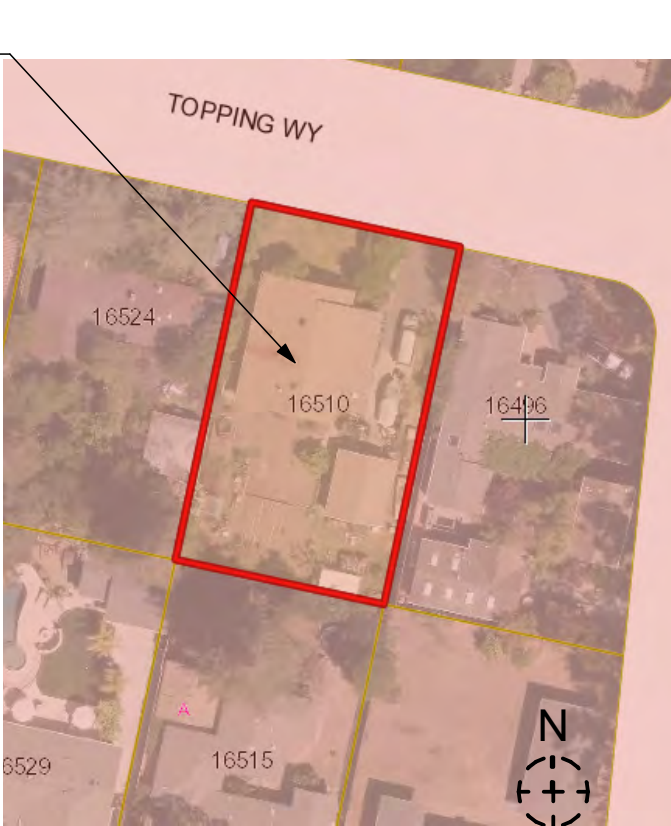
ZONING MAP



VICINITY MAP



LG GIS MAP



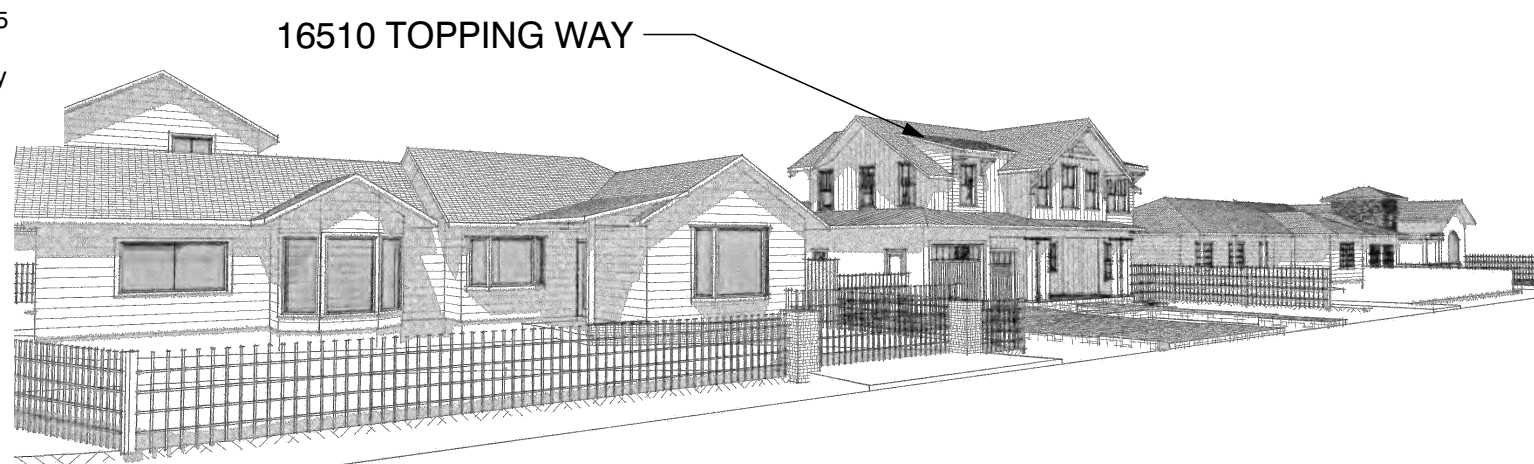
Bamberger/McGovern Residence



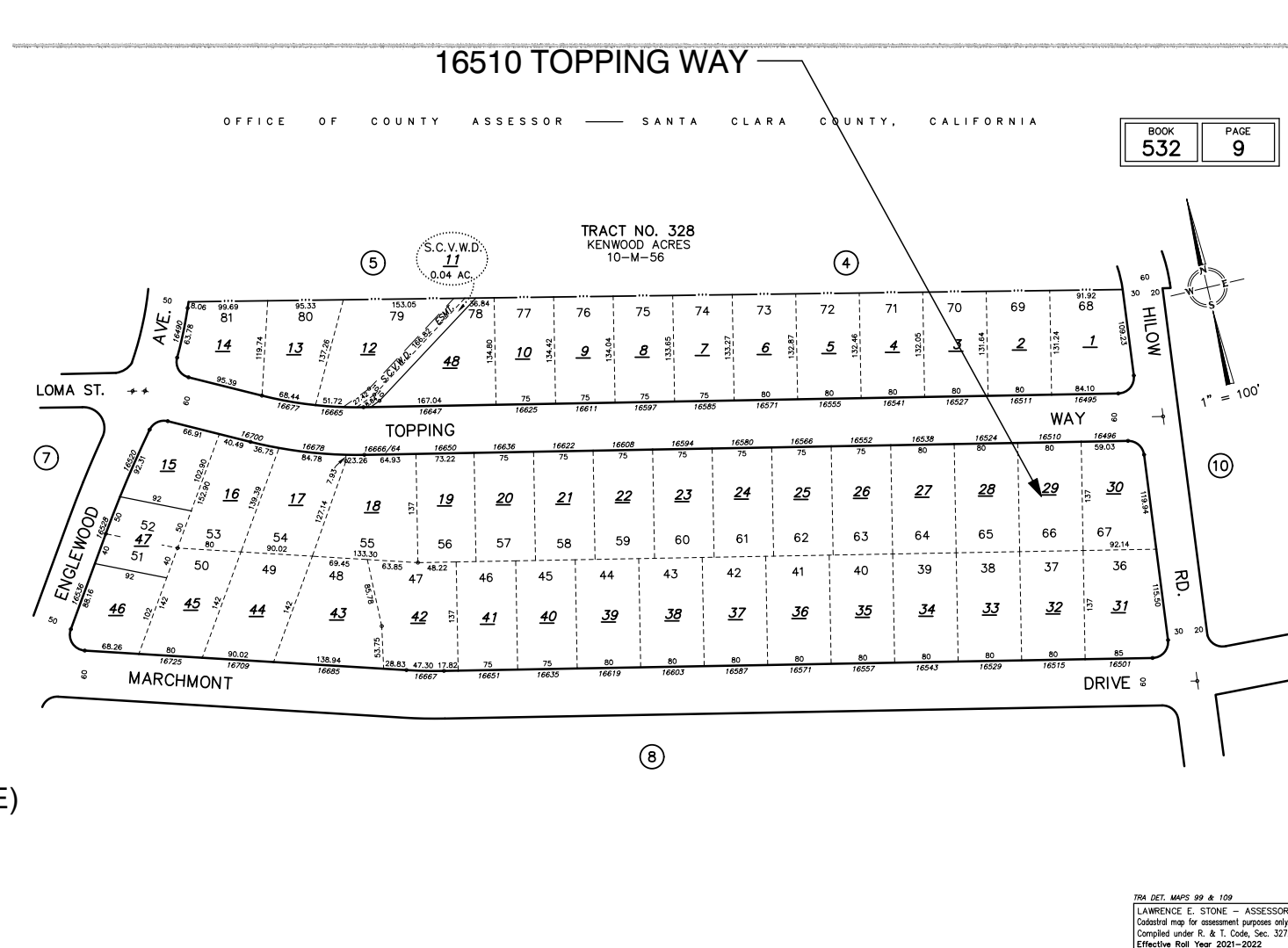
TOPPING WAY / STREET VIEW



REAR YARD VIEW (POOL UNDER SEPARATE PERMIT)



ASSESSOR MAP



NOTES

1. All adhesives, sealants, caulks, paints, coatings, and aerosol paint containers must remain on the site for field verification by the Building Inspector. CGBSC Section 4.504.2.4
2. "Prior to final inspection, a letter signed by the general contractor OR the owner/builder (for any owner/builder projects) must be provided to the Town of Los Gatos Building Official certifying that all adhesives, sealants, caulks, paints, coatings, aerosol paints, aerosol coatings, carpet systems (including carpeting, cushion and adhesive), resilient flooring systems, and composite wood products installed on this project are within the emission limits specified in CGBSC Section 4.504."
3. Verification of replacement of all existing to remain non-compliant plumbing fixtures with water-conserving plumbing fixtures as specified in Civil Code Section 1101.1-1101.8, shall be provided to the Town Building Inspector, prior to final inspection. This requirement applies to all existing to remain plumbing fixtures located within the structure under the scope of this permit."

PLANNING NOTES

1. Pursuant to Town Code, all permanent exterior light fixtures should utilize shields so that no bulb is visible and to ensure that light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes

TREE FENCING

Protective tree fencing and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.

TREE PROTECTION

Sec. 29.10.1005 - Protection of trees during construction.

- (a) Protective tree fencing shall specify the following:
 - (1) Size and materials. Six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than ten-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
 - (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire dripline area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip; chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cutout only (such as downtown); orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with two-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
 - (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition, grading or construction permits are issued and remain in place until the work is completed. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
 - (4) Warning sign. Each tree fence shall have prominently displayed an eight and one-half-inch by eleven-inch sign stating: "Warning—Tree Protection Zone—This fence shall not be removed and is subject to penalty according to Town Code 29.10.1025."
- (b) All persons, shall comply with the following precautions:
 - (1) Prior to the commencement of construction, install the fence at the dripline, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials, equipment cleaning, or parking of vehicles within the TPZ. The dripline shall not be altered in any way so as to increase the encroachment of the construction.
 - (2) Prohibit all construction activities within the TPZ, including but not limited to: excavation, grading, drainage and leveling within the dripline of the tree unless approved by the Director.
 - (3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the dripline of or in drainage channels, swales or areas that may lead to the dripline of a protected tree.
 - (4) Prohibit the attachment of wires, signs or ropes to any protected tree.
 - (5) Design utility services and irrigation lines to be located outside of the dripline when feasible.
 - (6) Retain the services of a certified or consulting arborist who shall serve as the project arborist for periodic monitoring of the project site and the health of those trees to be preserved. The project arborist shall be present whenever activities occur which may pose a potential threat to the health of the trees to be preserved and shall document all site visits.
 - (7) The Director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

SCFD NOTES

Fire sprinklers required

1. **Fire Sprinklers Required:** Approved automatic sprinkler systems in new and existing buildings and structures shall be provided in the locations described in this Section or in Sections 903.2.1 through 903.2.12 whichever is the more restrictive and Sections 903.2.14 through 903.2.21. For the purposes of this section, firewalls and fire barriers used to separate building areas shall be constructed in accordance with the California Building Code and shall be without openings or penetrations. 1. An automatic sprinkler system shall be provided throughout all new buildings and structures, other than Group R occupancies, except as follows: a. Buildings and structures not located in any Wildland-Urban Interface and not exceeding 1,200 square feet of fire area. b. Buildings and structures located in any Wildland-Urban Interface Fire Area and not exceeding 500 square feet of fire area. c. Group S-2 or U occupancies, including photovoltaic support structures, used exclusively for vehicle parking which meet all of the following: 1. Noncombustible construction. i. Maximum 5,000 square feet in building area. ii. Structure is open on not less than three (3) sides nor 75% of structure perimeter. iii. Minimum of 10 feet separation from existing buildings, or similar structures. iv. Unless area is separated by fire walls complying with California Building Code 706. c. Canopies, constructed in accordance with CBC 406.7.2, used exclusively for weather protection of vehicle fueling pads per CBC 406.7.1 and not exceeding 5,000 square feet of fire area. 2. An automatic sprinkler system shall be installed throughout all new buildings with a Group R fire area. Exception: Accessory Dwelling Unit, provided that all of the following are met: a. The unit meets the definition of an Accessory Dwelling Unit as defined in the Government Code Section 55952.2. b. The existing primary residence does not have automatic fire sprinklers. c. The accessory dwelling unit does not exceed 1,200 square feet in size. d. The unit is on the same lot as the primary residence. e. The unit meets all applicable access and water supply requirements of Chapter 5 and Appendix B of the 2022 California Fire Code. 3. An approved automatic fire sprinkler system shall be installed in new manufactured homes (as defined in California Health and Safety Code Sections 18007 and 18009) and multifamily manufactured homes with two dwelling units (as defined in California Health and Safety Code Section 18008.7) in accordance with Title 25 of the California Code of Regulations. 4. An automatic sprinkler system shall be installed throughout existing buildings with a Group R fire area when additions are made causing the fire area to exceed 3,000 square feet. Exception: Additions where all of the following are met: a. Building addition does not exceed 500 square feet. b. The existing structure meets all water supply requirements of Chapter 5 and Appendix B of the 2022 California Fire Code. 5. An automatic sprinkler system shall be provided throughout existing Group A, B, E, F, L, M, S and U buildings and structures, when additions are made that increase the fire area to more than 3,000 square feet or that create conditions described in Sections 903.2.1 through 903.2.18. 6. Any change in the character of occupancy or in use of any building with a fire area equal to or greater than 3,000 square feet which, in the opinion of the fire code official or building official, would place the building into a more hazardous division of the same occupancy group or into a different group of occupancies and constitutes a greater degree of life safety. 1. or increased fire risk 2., shall require the installation of an approved fire automatic fire sprinkler system. 2. **Required Fire Flow:** The minimum required fireflow for this project is 875 GPM @ 20 psi residual from a fire hydrant located within 600' of the farthest exterior corner of the structure is required. Contact your local water purveyor (San Jose Water) for details on how to obtain the fire flow letter. 3. **Water Supply Requirements:** Potable water supply shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3 and Health and Safety Code 15114.7. 4. **Address Identification:** New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1. 5. **Construction Site Fire Safety:** All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

SJWD FIRE FLOW

SJWD FIRE FLOW

Eric Beckstrom
P.O. Box 1317
Los Gatos, CA 95030
Subject: 16510 Topping Way, Los Gatos, CA
APN: 532-09-029
Dear Mr. Beckstrom:
Based on the information that was supplied by you, the table below provides the results of a water supply computer simulation at the location indicated. These results are valid for one year from the date of the simulation. Flow data is from the water distribution main, not from the meter connection. Elevations are from the 1985 United States Geological Survey contour.
Flow Location: Topping Way, approx. 140' W. of Hilltop Rd
Main Size: 6 in.
Elevation: 4 in.
Date of Computer Simulation: June 15, 2023
Static Pressure: 96 psi
Residual Pressure: 750 gpm
Simulation Discharge: 750 gpm
Determining the size of a Private Fire Protection Service or adequacy of a private fire protection system from the information provided herein is the responsibility of those qualified to do so. San Jose Water Company undertakes to supply only such water at such pressure as may be available any time through the normal operation of its system. Section 774 of the Public Utilities Code limits the liability of the utility resulting from a claim regarding the provision or maintenance of an adequate water supply, water pressure, equipment or other fire protection facility or service.

San Jose Water Company
Engineering Support Supervisor
Mary Henderson
Engineering Support Supervisor
Mtg: 10/11/2023
16510 Topping Way, Los Gatos, CA 95030
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NOTES:

1. PV SYSTEM - A separate building permit is required for the PV system that is required by the California Energy Code Performance or Prescriptive standards. The separate PV System permit must be finalized prior to issuance of Certificate of Occupancy
2. ALL ELECTRIC HOUSE - This residence will comply with the Town's all electric appliance, electric vehicle and energy storage system requirements in accordance with Town Code.
3. HVAC SYSTEM - "HERS Verification required for the HVAC Cooling, HVAC Distribution, and HVAC Fan Systems. Provide evidence of Third Party Verification (HERS) to project building inspector, prior to final inspection".
4. OUTDOOR/EXTERIOR LIGHTING - all exterior lighting will be downward directed with bulbs shielded from neighbor's view, SEE A1.0 FOR SPEC INFO
Exterior lighting shall be kept to a minimum, and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security

PROJECT AREA CALCULATIONS

LOT CALCULATIONS		16510 Topping Way	
LOT AREA	10,960.00	SF	
COVERAGE CALCULATIONS			
BUILDING COVERAGE ALLOWED	40%		
ALLOWED COVERAGE	4,384.00	SF	IMPERVIOUS
EXISTING STRUCTURES			
HOUSE, 1-STORY	1,755.00	SF	16.2' HT
GARAGE - DETACHED, 1-STORY	478.00	SF	13.3' HT
TOTAL EXISTING STRUCTURES	2,233.00	SF	
PROPOSED COVERAGE			
HOUSE	1,824.00	SF	
GARAGE (ATTACHED)	728.00	SF	
FRONT PORCH	203.00	SF	
REAR PORCH	176.00	SF	
TOTAL PROPOSED COVERAGE	2,931.00	SF	IMPERVIOUS
COVERAGE AMOUNT UNDER ALLOWED	1,453.00	SF	IMPERVIOUS
16510 Topping Way FAR			
FAR CALCULATIONS			
LOT AREA	10,960	SF	
AREA	10.96	5	5.96 25 0.24 0.2 0.0477 0.35 FAR 0.302 10,960.00
			HOUSE 3,288.0 SF
			from City
			GARAGE 910.1 SF
			from City
GARAGE FAR CALCULATIONS			
AREA	10.96	5	5.96 25 0.24 0.1 0.0167 0.1 0.083 10,960.00
			HOUSE 3,288.0 SF
			HOUSE AMOUNT UNDER 183.0 SF
FLOOR AREAS			
FIRST FLOOR	1,824.0	SF	
SECOND FLOOR	1,281.0	SF	
PROPOSED HOUSE TOTAL	3,105.0	SF	
HOUSE ALLOWED	3,288.0	SF	
HOUSE AMOUNT UNDER	183.0	SF	
PROPOSED GARAGE TOTAL			
GARAGE ALLOWED	910.1	SF	
GARAGE AMOUNT UNDER	182.1	SF	
HOUSE/GARAGE TOTAL	3,833.0	SF	

CONTACTS

CLIENT:	Steve Bamberger & Susan McGovern 16510 Topping Way Los Gatos, CA 95032
ARCHITECT:	Beckstrom Architecture + Interiors PO Box 1317 Los Gatos, CA 95030 650 847-8351, eric@beckstromarchitecture.com
STRUCTURAL ENGINEER:	Efe Sozklesen MS, PE. 4x Engineering, Inc. 4340 Stevens Creek Blvd. Suite # 240 San Jose, CA 95129 408 642-5464, contact@4xengineering.com
CONTRACTOR:	TBD
TITLE 24/ GREENPOINT RATER:	Title 24 Data Corp Monika Taylor CEA R13-14-10017 633 Monterey Trail, POB 2199, Frazier Park, CA 93225-2199 800-237-8824; title24@fraztrn.com

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REVISIONS		BY
1	10/6/2023	EB
2	11/21/2023	EB
3	12/13/2023	EB

BECKSTROM

ARCHITECTURE + INTERIORS

650.847.8351

Bamberger/McGovern Residence

A New House

16510 Topping Way

Los Gatos, CA 95032

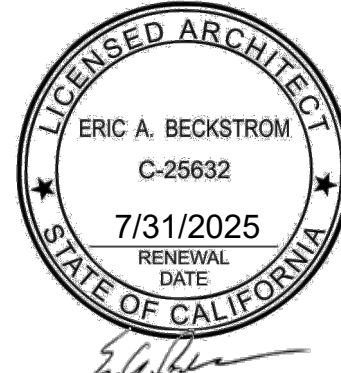
APN: 532-09-029

Planning Set

REV #4

5/1/2024

SEAL:



DRAWING TITLE:

COVER SHEET

DRAWN

EB

DATE

5/1/2024

SCALE

1"= 1'-0", 1:2.13, 1:1.29, 1:1.15, 1:1.16, 1:1.89

JOB NO.

6

FILENAME

2214 Bamberger CD09.dgn

SHEET

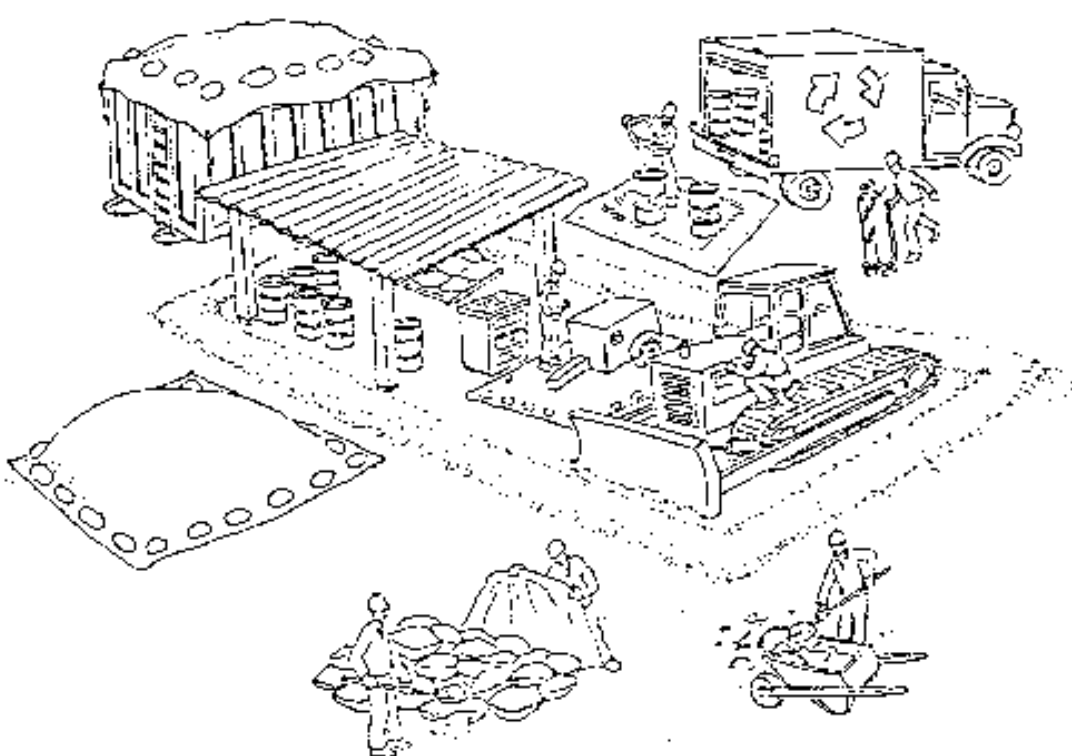
A0.0

EXHIBIT 12

Pollution Prevention — It's Part of the Plan

Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.
- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.



Paving/asphalt work

- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and man-holes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.



Painting

- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISIONS		BY
1	10/6/2023	EB
2	11/21/2023	EB
3	12/13/2023	EB

BECKSTROM ARCHITECTURE + INTERIORS 650.847.8351	P.O. BOX 1317, LOS GATOS, CA 95030 eric@beckstromarchitecture.com www.beckstromarchitecture.com	

Bamberger/McGovern Residence	
A New House	
16510 Topping Way	
Los Gatos, CA 95032	
APN: 532-09-029	
Planning Set	
REV #4	
5/1/2024	

SEAL:	
DRAWING TITLE:	
BLUE PRINT FOR A CLEAN BAY	
DRAWN	EB
DATE	5/1/2024
SCALE	1:1.20
JOB NO.	6
FILENAME	2214 Bamberger CD9 0.0.ph
SHEET	A0.1

GreenPoint Rated

NEW HOME RATING SYSTEM, VERSION 9.0

SINGLE FAMILY CHECKLIST

The GreenPoint Rated program tracks green building practices for the home. GreenPoint Rated is administered by Green & Green, a non-profit whose mission is to promote healthy, green and resource efficient building in California.

The minimum requirement of GreenPoint Rated are verification of 50 or more points. Earn the following minimum points per category: Community (2) Energy (15) Interior Air Quality (10) Resource (5) Water (30) and meet the prerequisite CA Green Buildingcode HB-1, 21, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.

Decisions by the User, CalGreen & A prerequisite must be verified as "Yes", "No", or "Not" in a range of percentages to allocate points. Select the appropriate checkbox and the appropriate points will appear in the box "Points Achieved".

The criteria for the green building practices listed herein are described in the GreenPoint Rated Home Rating Manual. For more information please visit www.builtgreen.org/greenpoint-rated

Build & Green is not a code enforcement agency.

A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rated and certified by Build & Green.

Non-Prerequisite Points: 0/50

Points Targeted: 94

Certification Level Targeted: Gold

Completion Pathway Targeted: None

POINTS REQUIRED

Additional Points

Additional Points

Project Name: Topping Way Residence
Project Owner: 1600 Topping Way
Project City: Los Gatos
Project Date: 08/2012

MEASURES

Category	Measure	Points Available	Points Earned	Points Remaining	Points Targeted	Points Achieved
CA GREEN	CA Green Res (REQUIRED)	1	1	0	1	1
A SITE	A1. Construction Footprint (See Preservation Plan Report and Ordinance 08.04% of Site Developed and Subdivided)	1	1	0	1	1
	A2. Job Site Construction Waste Diversion	1	1	0	1	1
	A3. 10% CA Green Building (Residential Energy Only Cover)	1	1	0	1	1
	A3.2 Recycling Rates from First Party Verified Used Waste Facility	1	1	0	1	1
	A3. Recycled Content Base Material (Minimum 20% Recycled Content)	1	1	0	1	1
	A4. Heat Island Effect Reduction (Non-Roof)	1	1	0	1	1
	A5. Construction Environmental Quality Management Plan Including Flush-Out	1	1	0	1	1
	A6. Stormwater Control: Prescriptive Path (subject to 3 items)	1	1	0	1	1
	A6.1 Permeable Paving Material	1	1	0	1	1
	A6.2 Erosion and Soil-Bestoration Features	1	1	0	1	1
	A6.3 Non-Leaching Roofing Materials	1	1	0	1	1
	A6.4 Smart Stormwater Street Design	1	1	0	1	1
	A7. Stormwater Control: Performance Path (Exposure and Treat 60% of Annual Runoff Credit)	1	1	0	1	1

B FOUNDATION

YES	B1. Low Carbon Concrete (Minimum 40%)	1	1	0	1	1
YES	B2. Radon-Resistant Construction	1	1	0	1	1
YES	B3. Foundation Drainage System	1	1	0	1	1
YES	B4. Moisture Controlled Crawlspace	1	1	0	1	1
YES	B5. Structural Pest Controls	1	1	0	1	1
YES	B5.1 Termite Shields and Separated Exterior Wood-to-Concrete Connections	1	1	0	1	1
YES	B5.2 Plant Trunks, Bases, or Stems at Least 36 Inches from the Foundation	1	1	0	1	1

C LANDSCAPE

0.0%	C1. One the Landscape are waterways. Plants exposed at 6 ft or less than 10%.	1	1	0	1	1
YES	C2. Plants Grouped by Water Needs (Hydrozoning)	1	1	0	1	1
YES	C3. Three Inches of Mulch in Planting Beds	1	1	0	1	1
YES	C3. Resource Efficient Landscapes	1	1	0	1	1
YES	C3.1 No Invasive Species According to Region	1	1	0	1	1
YES	C3.2 Plants Chosen and Located to Grow to Natural Size (unless otherwise)	1	1	0	1	1
YES	C3.3 Drought Tolerant, California Native, Mediterranean Species, or Other Appropriate Species	1	1	0	1	1
YES	C4. Minimal Turf in Landscape	1	1	0	1	1
YES	C4.1 No Turf or Slopes Exceeding 10% and No Overhead Sprinklers Installed in Areas Less Than 100 Feet Wide	0	0	2	2	0
>10%	C4.2 Turf on a Small Percentage of Landscape Area	0	0	2	2	0
YES	C5. Trees to Moderate Building Temperature (on least 50% of Front Porch and Shading and Wind Break)	1	1	0	1	1
YES	C6. High Efficiency Irrigation System	1	1	0	1	1
YES	C6.1 System Uses Dry-Run Test Cycles, Auditors or Sensors	0	0	2	2	0
YES	C7. One inch of Harvest in the Top Six to Twelve Inches of Soil	1	1	0	1	1
YES	C8. Rainwater Harvesting System	1	1	0	1	1
YES	C8.1 Rainwater Harvesting System with 500 Gallon Storage Capacity	1	1	0	1	1
YES	C8.2 Rainwater to Flush Toilets or Meet 50% of Landscape Irrigation Demand	1	1	0	1	1

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TBD	C09. Recycled Wastewater Irrigation System						1
TBD	C10. Efficient Water Meter for Landscape Irrigation						2
TBD	C11. Efficient Landscape Water Budget						1
	C12. Environmentally Preferable Materials for Site						
TBD	C13. 1 Environmentally Preferable Materials for 70% of Hardscapes and Fencing					1	
Yes	C13. Reduced Light Pollution (reduces lighting fixtures installed and directed downwards)						
TBD	C14. Large Mature Tree(s)				1		
TBD	C15. Third Party Landscape Program Certification						1
TBD	C16. Maintenance Contract with Certified Professional (Only if Newly Certified Professional or Firms)						1
D. STRUCTURAL FRAME AND BUILDING ENVELOPE							
	D1. Optimal Value Engineering						
TBD	D1.1 Joists, Rafters, and Studs at 24 inches On Center			1		2	
TBD	D1.2 Non Load Bearing Door and Window Headers Sized for Load						1
Yes	D1.3 Advanced Framing Headers			2		2	
	D2. Construction Material Efficiencies						
TBD	D2.1 Prefabricated Wall or Roof Framing (Pre-assembled wall and roof framing for at least 60% of project)					2	
TBD	D2.2 Prefabricated Modular Units						6
Yes	D3. Engineered Lumber		1			1	
TBD	D4. Insulated Headers				1		
	D6. FSC-Certified Wood						
TBD	D5.1 Dimensional Lumber, Studs, and Timber						6
TBD	D5.2 Panel Products						2
	D6. Solid Wall Systems						
TBD	D6.1 At Least 60% of Floors						1
TBD	D6.2 At Least 60% of Exterior Walls				1		1
TBD	D6.3 At Least 60% of Roofs						1
Yes	D7. Energy Heels on Roof Trusses		1		1		
16 inches	D8. Overhangs and Gutters		1	1	1		
	D9. Reduced Pollution Entering the Home from the Garage						
Yes	D9.1 Detached or No Garage	2			2		
TBD	D9.2 Migration Strategies for Attached Garage				1		
	D10. Structural Pest and Rot Controls						
Yes	D10.1 All Wood Labeled At Least 12 Inches Above the Soil		1				1
TBD	D10.2 Wood Framing Treated With Borates or Factory Integrated, or Wall Materials Other Than Wood						
Yes	D11. Moisture-Resistant Materials in Wet Areas (such as Kitchens, Bathrooms, Utility Rooms, and Basements)	2			1		
E. EXTERIOR							
TBD	E1. Environmentally Preferable Decking						1
TBD	E2. Flashing Installation Third-Party Verified						2
	E3. Rain Screen Wall System						2
Yes	E4. Durable and Non-Combustible Cladding Materials		1				1
Yes	E5. Durable and Fire Resistant Roofing Materials or Assembly			1		1	
TBD	E6. Vegetated Roof		2	2			
TBD	E7. Cool Roof			1			
F. INSULATION							
	F1. Insulation with 30% Post-Consumer or 60% Post-Industrial Recycled Content						
TBD	F1.1 Walls and Floors						0.5
TBD	F1.2 Ceilings						0.5
	F2. Insulation that Meets the CDPH Standard Method--Residential for Low Emissions						
TBD	F2.1 Walls and Floors						0.5
Yes	F2.2 Ceilings						2
	F3. Low GWP Insulation That Does Not Contain Fire Retardants						0.5
TBD	F3.1 Cavity Walls and Floors				1		
TBD	F3.2 Ceilings					1	
TBD	F3.3 Interior and Exterior						1

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Home Single Family Version 9.0									
G. PLUMBING									
G1. Efficient Distribution of Domestic Hot Water									
TRD	G1.2 WaterSense Valves 1 and for Hot Water Distribution								1
Yes	G1.3 Recycled Efficiency in Hot Water Distribution								2
G2. Install Water-Efficient Fixtures									
Yes	G2.1 WaterSense Showerheads 1.75 gpm with Matching Compensation Valve								2
	G2.2 WaterSense Bathroom Faucets 1.0 gpm								1
e10.gal	G2.3 WaterSense Toilets with a Maximum Performance (MAP) Threshold of No Less Than 500 Gallons / 28 gal CR/1.1 gpf								1
TRD	G3. Pre-Plumbing for Graywater System								2
TRD	G4. Operational Graywater System								4
TRD	G5. Thermostatic Shower Shut-Off Valve								1
H. HEATING, VENTILATION, AND AIR CONDITIONING									
H1. Sealed Combustion Units									
No	H1.1 Sealed Combustion Furnace								0
TRD	H1.2 Sealed Combustion or Heat Pump Water Heater								0
H2. High Performing Zoned Hydronic Radiant Heating System									
TRD	H2.1 Effective Ductwork								1
TRD	H2.1.1 Duct Mastic on Duct Joints and Seams								1
	H2.2 Pressure Balance the Ductwork System								1
H3. Advanced Practices for Cooling									
Yes	H3.1 ENERGY STAR® Ceiling Fans in Living Areas and Bedrooms								1
H6. Whole House Mechanical Ventilation Practices to Improve Indoor Air Quality									
TRD	H6.1 Meet ASHRAE 62.2-2019 Ventilation Residential Standards								4
	H6.2 Adequate Ventilation								2
TRD	H6.3 Outdoor Air is Filtered and Temperature								1
H7. Effective Range Hood Design and Installation									
Yes	H7.1 Effective Range Hood Ducting and Design								1
	H7.2 Automatic Range Hood (ERV)								1
TRD	H8. High Efficiency HVAC Filter (MERV 16+)								1
	H9. Advanced Refrigerants (see global warming potential table)								1
H10. No Fireplace or Sealed Gas Fireplace									
Yes	H10.1 No Fireplace								1
Yes	H11. Humidity Control Systems								1
H12. Register Design Per ACCA Manual T									
I. RENEWABLE ENERGY									
Yes	I.1 Onsite Renewable Generation (Solar PV, Solar Thermal, and Wind)								25
J. Low Carbon Homes									
TRD	J.1.1 Near Zero Energy Home (all net kWh of annual site energy use)								0
No	J.2 Near Zero Energy Home with Fossil-Fueled Systems (about 1 and less strategies from I)								0
K. Energy Storage and Thermal Load Shifting									
Yes	K.1 Battery Energy Storage System (BESS)								2
TRD	K.2 Auxiliary Thermal Energy Storage System or Pre-Heating of Hot Water								1
	K.3 Pre-Cooling Equipment for AC								1
TRD	K.4. Solar Hot Water Systems to Preheat Domestic Hot Water								1
L. BUILDING PERFORMANCE AND TESTING									
TRD	L.1 Third-Party Verification of Quality of Installation Installation								1
TRD	L.2 Supply and Return Air Flow Testing								1
TRD	L.4. All Electric or Combustion Appliance Safety Testing								1
Point Compliance Permit for AS	L.5. Building Performance Enclosure Title 24 Part 6								1
Select Climate Zone	Select Project Climate Zone								
0	J.6.1 Home Outperforms Title 24 Part 6								0
J.6. Title 24 Prepared and Signed by a CABEC Certified Energy Analyst									
TRD	J.7. Participation in Utility Program with Third-Party Plan Review								1
TRD	J.8. ENERGY STAR® for Homes								1

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Home Single Family Version 0.0					
No		J8. EPA Indoor AirPurification Certification			
Yes		J9. Blower Door Testing			
		0	1	2	3
			3		
K. FINISHES					
K1. Entrypways Designed to Reduce Tracked-In Contaminants					
TBD		K1.1 Installed Entrypway Underneath Entryway (entrances and perimeter assembly) (to save storage)			
TBD		K2. Zero-VOC Interior Wall and Ceiling Paints			
Yes		K3. Low-VOC Caulks and Adhesives			
		1			
K4. Environmentally Preferable Materials for Interior Finish					
TBD		K4.1 Cabinets			
				2	
TBD		K4.2 Interior Trim			
				2	
TBD		K4.3 Shelving			
				2	
TBD		K4.4 Doors			
				2	
TBD		K4.5 Countertops			
				1	
K5. Formaldehyde Emissions in Interior Finish Exceed CARB					
TBD		K5.1 Closets			
			1		
TBD		K5.2 Cabinets and Countertops			
			2		
TBD		K5.3 Interior Trim and Shelving			
			2		
TBD		K6. Products That Comply With the Health Product Declaration Open Standard			
			2		
TBD		K7. Indoor Air Formaldehyde Testing (Passes Levels Than 0.1 Parts Per Billion)			
			2		
No		K8. Comprehensive Inclusion of Low Emitting Finishes			
L. FLOORING					
TBD		L1. Environmentally Preferable Flooring			
				3	
Yes		L3. Durable Flooring (not flooring in front surface)			
		2		1	
TBD		L4. Thermal Mass Flooring			
			1		
M. APPLIANCES AND LIGHTING					
Yes		M1. ENERGY STAR® Dishwasher			
		1			1
CEE Tier 2		M2. Efficient Laundry Appliances			
		2		1	2
Yes		M2.1 CEE/Rated Clothes Washer			
			1		
TBD		M2.2 ENERGY STAR® Dryer			
			2		
TBD		M2.3. Solar Dryer/L Dryer Lines			
			0.5		
<2 cubic feet		M3. Size-Efficient ENERGY STAR® Refrigerator			
		1	2		
M4. Permanent Centers for Waste Reduction Strategies					
Yes		M4.1 Bulk-in Recycling Center			
		1			1
Yes		M4.2 Bulk-in Composting Center			
		1			1
M5. Lighting Efficiency					
Yes		M5.1 High-Efficiency Lighting			
		2		2	
TBD		M5.2 Lighting System Designed to IEQNA Footcandle Standards or Designed by Lighting Consultant			
				2	
Yes		M6. Electric Vehicle Charging Stations and Infrastructure			
		3		1	
N. COMMUNITY					
N1. Smart Development					
Yes		N1.1 9th Site			
		2		1	
TBD		N1.2 Designated Brownfield Site			
			1		1
TBD		N1.3 Conserve Resources by Increasing Density			
			2		2
TBD		N1.4 Cluster Homes for Land Preservation			
			1		1
TBD		N1.5 Home Size Efficiency			
		0			10
3105		Enter the area of the home, in square feet			
5		Enter the number of bedrooms			
N2. Housing/Development Located Near Transit					
Yes		N2.1 Within 1/4 mile of Major Transit Stop			
			1		1
TBD		N2.2. Within 1/2 mile of a Major Transit Stop			
				2	
N3. Pedestrian and Bicycle Access					
No		N3.1 Pedestrian Access to Services Within 1/2 Mile of Community Services			
			2		
0		Enter the number of "Tier 1" services			
		Enter the number of "Tier 2" services			

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Home Energy Pro Version 9.0									
TBD	N3.2 Connection to Pedestrian Pathways								
TBD	N3.3 Traffic Calming Strategies								
	N4. Outdoor Gathering Places								
TBD	N4.1 Public or Semi-Public Outdoor Gathering Places for Residents								
TBD	N4.2 Public Outdoor Gathering Places with Direct Access to Tier 1 Community Services								
	N5. Social Interaction								
TBD	N5.1 Residential Entries with Views to Caters								
TBD	N5.2 Entrances Visible from Street and/or Other Front Doors								
TBD	N5.3 Plazas Oriented to Street and Public Space								
	N6. Passive Solar Design								
TBD	N6.1 Heating Load								
TBD	N6.2 Cooling Load								
	N7. Adaptable Building								
TBD	N7.1 Universal Design Principles in Units								
TBD	N7.2 Full-Function Independent Rental Unit								
	N8. Resiliency								
TBD	N8.1 Assessment(Cal-Archip, Firebird, Structural, HAZID, FEMA, FIRM, or Seismic Evaluation)								
TBD	N8.2 Strategies to Address Assessment Findings								
	N9. Social Equity in Community								
TBD	N9.1 Diverse Workforce								
TBD	N9.2 Community Locationality (Caltrans/Seismic (2015) 100% or better, 20% or less Healthy Places Index (HPHI) 1.0)								
	0. OTHER								
TBD	01. GreenPoint Rated Checklist in Blueprints								
TBD	02. Pre-Construction Kickoff Meeting with Rater and Subcontractors								
TBD	03. Orientation and Training to Occupants—Conduct Educational Walkthroughs								
TBD	04. Builder or Developer's Management Staff are Certified Green Building Professionals								
	05. Home System Monitors								
TBD	05.1 Energy Home System Monitors								
TBD	05.2 Water Home System Monitors								
TBD	05.3 Home Indoor Air Quality System Monitors								
TBD	05.4 Home Outdoor Air Quality System Monitors								
	06. Green Building Education								
TBD	06.1 Marketing Green Building								
TBD	06.2 Green Building Signage								
TBD	07. Green Appraisal Addendum or Energy Efficiency Score								
TBD	08. Detailed Durability Plan and Third-Party Verification of Plan Implementation								
	Summary								
	Total Available Points in Specific Category	215.5	31	82.5	46	36	42		
	Minimum Points Required in Specific Category	40	3	21	4	4	4		
	Total Points Achieved	83.5	3.0	100	50.0	57.0	100		

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GoodPoint Rated New Home Single Family Checklist Version 7.0

REVISIONS		BY
1	10/6/2023	EB
2	11/21/2023	EB
3	12/13/2023	EB

BECKSTROM
ARCHITECTURE + INTERIORS
650.647.8351
P.O. BOX 1317, LOS ANGELES, CA 90012
eric@beckstromarch.com
www.beckstromarch.com

P.O. BOX 1317, LOS GATOS, CA 95030
eric@beckstromarchitecture.com
www.beckstromarchitecture.com

Bamberger/McGovern Residence
A New House
16510 Topping Way
Los Gatos, CA 95032
APN: 532-09-029

APN: 532-09-029

Planning Set
REV #4
5/1/2024

SEAL



DRAWING TITLE:

GREEN POINT RATED CHECKLIST

DRAWN ER

DATE 5/1/2024

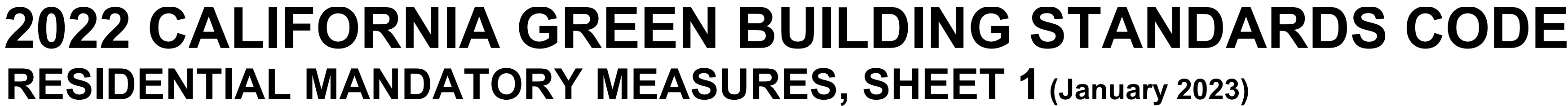
SCALE 1' = 1'-0"

JOB NO. 6

FILENAME
2214 Bamberger CD9.0.pln

SHEP

A0.2



FROM
INTERIORS

P.O. BOX 1317, LOS GATOS, CA 95030
eric@beckstornarchitecture.com
www.beckstornarchitecture.com

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

A0.3



2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y = YES
N/A = NOT APPLICABLE
RESPON. PARTY = RESPONSIBLE PARTY (i.e. ARCHITECT, ENGINEER, OWNER, CONTRACTOR, INSPECTOR ETC.)

<div><div>Y</div><div>N/A</div><div>RESPON. PARTY</div></div>	<p>MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O₃/g ROG).</p> <p>Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 and 94701.</p> <p>MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood.</p> <p>PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging).</p> <p>Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a).</p> <p>REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to ozone formation in the troposphere.</p> <p>VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a).</p> <p>4.503 FIREPLACES</p> <p>4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.</p> <p>4.504 POLLUTANT CONTROL</p> <p>4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system.</p> <p>4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish materials shall comply with this section.</p> <p>4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply:</p> <ol style="list-style-type: none">Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and trichloroethylene), except for aerosol products, as specified in Subsection 2 below.Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of <i>California Code of Regulations</i>, Title 17, commencing with section 94507. <p>4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.</p> <p>4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of <i>California Code of Regulations</i>, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air Quality Management District additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.</p> <p>4.504.2.4 Verification. Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following:</p> <ol style="list-style-type: none">Manufacturer's product specification.Field verification of on-site product containers. <table><tr><th colspan="2">TABLE 4.504.1 - ADHESIVE VOC LIMIT_{1,2}</th></tr><tr><th colspan="2">(Less Water and Less Exempt Compounds in Grams per Liter)</th></tr><tr><th>ARCHITECTURAL APPLICATIONS</th><th>VOC LIMIT</th></tr><tr><td>INDOOR CARPET ADHESIVES</td><td>50</td></tr><tr><td>CARPET PAD ADHESIVES</td><td>50</td></tr><tr><td>OUTDOOR CARPET ADHESIVES</td><td>150</td></tr><tr><td>WOOD FLOORING ADHESIVES</td><td>100</td></tr><tr><td>RUBBER FLOOR ADHESIVES</td><td>60</td></tr><tr><td>SUBFLOOR ADHESIVES</td><td>50</td></tr><tr><td>CERAMIC TILE ADHESIVES</td><td>65</td></tr><tr><td>VCT & ASPHALT TILE ADHESIVES</td><td>50</td></tr><tr><td>DRYWALL & PANEL ADHESIVES</td><td>50</td></tr><tr><td>COVE BASE ADHESIVES</td><td>50</td></tr><tr><td>MULTIPURPOSE CONSTRUCTION ADHESIVE</td><td>70</td></tr><tr><td>STRUCTURAL GLAZING ADHESIVES</td><td>100</td></tr><tr><td>SINGLE-PLY ROOF MEMBRANE ADHESIVES</td><td>250</td></tr><tr><td>OTHER ADHESIVES NOT LISTED</td><td>50</td></tr><tr><td colspan="2">SPECIALTY APPLICATIONS</td></tr><tr><td>PVC WELDING</td><td>510</td></tr><tr><td>CPVC WELDING</td><td>490</td></tr><tr><td>ABS WELDING</td><td>325</td></tr><tr><td>PLASTIC CEMENT WELDING</td><td>250</td></tr><tr><td>ADHESIVE PRIMER FOR PLASTIC</td><td>550</td></tr><tr><td>CONTACT ADHESIVE</td><td>80</td></tr><tr><td>SPECIAL PURPOSE CONTACT ADHESIVE</td><td>250</td></tr><tr><td>STRUCTURAL WOOD MEMBER ADHESIVE</td><td>140</td></tr><tr><td>TOP & TRIM ADHESIVE</td><td>250</td></tr><tr><td colspan="2">SUBSTRATE SPECIFIC APPLICATIONS</td></tr><tr><td>METAL TO METAL</td><td>30</td></tr><tr><td>PLASTIC FOAMS</td><td>50</td></tr><tr><td>POROUS MATERIAL (EXCEPT WOOD)</td><td>50</td></tr><tr><td>WOOD</td><td>30</td></tr><tr><td>FIBERGLASS</td><td>80</td></tr></table> <p>1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.</p> <p>2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.</p>	TABLE 4.504.1 - ADHESIVE VOC LIMIT _{1,2}		(Less Water and Less Exempt Compounds in Grams per Liter)		ARCHITECTURAL APPLICATIONS	VOC LIMIT	INDOOR CARPET ADHESIVES	50	CARPET PAD ADHESIVES	50	OUTDOOR CARPET ADHESIVES	150	WOOD FLOORING ADHESIVES	100	RUBBER FLOOR ADHESIVES	60	SUBFLOOR ADHESIVES	50	CERAMIC TILE ADHESIVES	65	VCT & ASPHALT TILE ADHESIVES	50	DRYWALL & PANEL ADHESIVES	50	COVE BASE ADHESIVES	50	MULTIPURPOSE CONSTRUCTION ADHESIVE	70	STRUCTURAL GLAZING ADHESIVES	100	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250	OTHER ADHESIVES NOT LISTED	50	SPECIALTY APPLICATIONS		PVC WELDING	510	CPVC WELDING	490	ABS WELDING	325	PLASTIC CEMENT WELDING	250	ADHESIVE PRIMER FOR PLASTIC	550	CONTACT ADHESIVE	80	SPECIAL PURPOSE CONTACT ADHESIVE	250	STRUCTURAL WOOD MEMBER ADHESIVE	140	TOP & TRIM ADHESIVE	250	SUBSTRATE SPECIFIC APPLICATIONS		METAL TO METAL	30	PLASTIC FOAMS	50	POROUS MATERIAL (EXCEPT WOOD)	50	WOOD	30	FIBERGLASS	80	<div><div>Y</div><div>N/A</div><div>RESPON. PARTY</div></div>	<table><tr><th colspan="2">TABLE 4.504.2 - SEALANT VOC LIMIT</th></tr><tr><th colspan="2">(Less Water and Less Exempt Compounds in Grams per Liter)</th></tr><tr><th>SEALANTS</th><th>VOC LIMIT</th></tr><tr><td>ARCHITECTURAL</td><td>250</td></tr><tr><td>MARINE DECK</td><td>760</td></tr><tr><td>NONMEMBRANE ROOF</td><td>300</td></tr><tr><td>ROADWAY</td><td>250</td></tr><tr><td>SINGLE-PLY ROOF MEMBRANE</td><td>450</td></tr><tr><td>OTHER</td><td>420</td></tr><tr><td colspan="2">SEALANT PRIMERS</td></tr><tr><td>ARCHITECTURAL</td><td></td></tr><tr><td>NON-POROUS</td><td>250</td></tr><tr><td>POROUS</td><td>775</td></tr><tr><td>MODIFIED BITUMINOUS</td><td>500</td></tr><tr><td>MARINE DECK</td><td>760</td></tr><tr><td>OTHER</td><td>750</td></tr></table> <table><tr><th colspan="2">TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS_{1,2}</th></tr><tr><th colspan="2">GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS</th></tr><tr><th>COATING CATEGORY</th><th>VOC LIMIT</th></tr><tr><td>FLAT COATINGS</td><td>50</td></tr><tr><td>NON-FLAT COATINGS</td><td>100</td></tr><tr><td>NONFLAT-HIGH GLOSS COATINGS</td><td>150</td></tr><tr><td colspan="2">SPECIALTY COATINGS</td></tr><tr><td>ALUMINUM ROOF COATINGS</td><td>400</td></tr><tr><td>BASEMENT SPECIALTY COATINGS</td><td>400</td></tr><tr><td>BITUMINOUS ROOF COATINGS</td><td>50</td></tr><tr><td>BITUMINOUS ROOF PRIMERS</td><td>350</td></tr><tr><td>BOND BREAKERS</td><td>350</td></tr><tr><td>CONCRETE CURING COMPOUNDS</td><td>350</td></tr><tr><td>CONCRETE/MASONRY SEALERS</td><td>100</td></tr><tr><td>DRIVEWAY SEALERS</td><td>50</td></tr><tr><td>DRY FOG COATINGS</td><td>150</td></tr><tr><td>FAUX FINISHING COATINGS</td><td>350</td></tr><tr><td>FIRE RESISTIVE COATINGS</td><td>350</td></tr><tr><td>FLOOR COATINGS</td><td>100</td></tr><tr><td>FORM-RELEASE COMPOUNDS</td><td>250</td></tr><tr><td>GRAPHIC ARTS COATINGS (SIGN PAINTS)</td><td>500</td></tr><tr><td>HIGH TEMPERATURE COATINGS</td><td>420</td></tr><tr><td>INDUSTRIAL MAINTENANCE COATINGS</td><td>250</td></tr><tr><td>LOW SOLIDS COATINGS₁</td><td>120</td></tr><tr><td>MAGNESITE CEMENT COATINGS</td><td>450</td></tr><tr><td>MASTIC TEXTURE COATINGS</td><td>100</td></tr><tr><td>METALLIC PIGMENTED COATINGS</td><td>500</td></tr><tr><td>MULTICOLOR COATINGS</td><td>250</td></tr><tr><td>PRETREATMENT WASH PRIMERS</td><td>420</td></tr><tr><td>PRIMERS, SEALERS, & UNDERCOATERS</td><td>100</td></tr><tr><td>REACTIVE PENETRATING SEALERS</td><td>350</td></tr><tr><td>RECYCLED COATINGS</td><td>250</td></tr><tr><td>ROOF COATINGS</td><td>50</td></tr><tr><td>RUST PREVENTATIVE COATINGS</td><td>250</td></tr><tr><td>SHELLACS</td><td></td></tr><tr><td>CLEAR</td><td>730</td></tr><tr><td>OPAQUE</td><td>550</td></tr><tr><td>SPECIALTY PRIMERS, SEALERS & UNDERCOATERS</td><td>100</td></tr><tr><td>STAINS</td><td>250</td></tr><tr><td>STONE CONSOLIDANTS</td><td>450</td></tr><tr><td>SWIMMING POOL COATINGS</td><td>340</td></tr><tr><td>TRAFFIC MARKING COATINGS</td><td>100</td></tr><tr><td>TUB & TILE REFINISH COATINGS</td><td>420</td></tr><tr><td>WATERPROOFING MEMBRANES</td><td>250</td></tr><tr><td>WOOD COATINGS</td><td>275</td></tr><tr><td>WOOD PRESERVATIVES</td><td>350</td></tr><tr><td>ZINC-RICH PRIMERS</td><td>340</td></tr></table> <p>1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WATER & EXEMPT COMPOUNDS</p> <p>2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.</p> <p>3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.</p>	TABLE 4.504.2 - SEALANT VOC LIMIT		(Less Water and Less Exempt Compounds in Grams per Liter)		SEALANTS	VOC LIMIT	ARCHITECTURAL	250	MARINE DECK	760	NONMEMBRANE ROOF	300	ROADWAY	250	SINGLE-PLY ROOF MEMBRANE	450	OTHER	420	SEALANT PRIMERS		ARCHITECTURAL		NON-POROUS	250	POROUS	775	MODIFIED BITUMINOUS	500	MARINE DECK	760	OTHER	750	TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS _{1,2}		GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS		COATING CATEGORY	VOC LIMIT	FLAT COATINGS	50	NON-FLAT COATINGS	100	NONFLAT-HIGH GLOSS COATINGS	150	SPECIALTY COATINGS		ALUMINUM ROOF COATINGS	400	BASEMENT SPECIALTY COATINGS	400	BITUMINOUS ROOF COATINGS	50	BITUMINOUS ROOF PRIMERS	350	BOND BREAKERS	350	CONCRETE CURING COMPOUNDS	350	CONCRETE/MASONRY SEALERS	100	DRIVEWAY SEALERS	50	DRY FOG COATINGS	150	FAUX FINISHING COATINGS	350	FIRE RESISTIVE COATINGS	350	FLOOR COATINGS	100	FORM-RELEASE COMPOUNDS	250	GRAPHIC ARTS COATINGS (SIGN PAINTS)	500	HIGH TEMPERATURE COATINGS	420	INDUSTRIAL MAINTENANCE COATINGS	250	LOW SOLIDS COATINGS ₁	120	MAGNESITE CEMENT COATINGS	450	MASTIC TEXTURE COATINGS	100	METALLIC PIGMENTED COATINGS	500	MULTICOLOR COATINGS	250	PRETREATMENT WASH PRIMERS	420	PRIMERS, SEALERS, & UNDERCOATERS	100	REACTIVE PENETRATING SEALERS	350	RECYCLED COATINGS	250	ROOF COATINGS	50	RUST PREVENTATIVE COATINGS	250	SHELLACS		CLEAR	730	OPAQUE	550	SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100	STAINS	250	STONE CONSOLIDANTS	450	SWIMMING POOL COATINGS	340	TRAFFIC MARKING COATINGS	100	TUB & TILE REFINISH COATINGS	420	WATERPROOFING MEMBRANES	250	WOOD COATINGS	275	WOOD PRESERVATIVES	350	ZINC-RICH PRIMERS	340	<div><div>Y</div><div>N/A</div><div>RESPON. PARTY</div></div>	<table><tr><th colspan="2">TABLE 4.504.5 - FORMALDEHYDE LIMITS:</th></tr><tr><th colspan="2">MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION</th></tr><tr><th>PRODUCT</th><th>CURRENT LIMIT</th></tr><tr><td>HARDWOOD PLYWOOD VENEER CORE</td><td>0.05</td></tr><tr><td>HARDWOOD PLYWOOD COMPOSITE CORE</td><td>0.05</td></tr><tr><td>PARTICLE BOARD</td><td>0.09</td></tr><tr><td>MEDIUM DENSITY FIBERBOARD</td><td>0.11</td></tr><tr><td>THIN MEDIUM DENSITY FIBERBOARD₂</td><td>0.13</td></tr></table> <p>1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH 93120.12.</p> <p>2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).</p>	TABLE 4.504.5 - FORMALDEHYDE LIMITS:		MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION		PRODUCT	CURRENT LIMIT	HARDWOOD PLYWOOD VENEER CORE	0.05	HARDWOOD PLYWOOD COMPOSITE CORE	0.05	PARTICLE BOARD	0.09	MEDIUM DENSITY FIBERBOARD	0.11	THIN MEDIUM DENSITY FIBERBOARD ₂	0.13	<div><div>Y</div><div>N/A</div><div>RESPON. PARTY</div></div>	<p>DIVISION 4.5 ENVIRONMENTAL QUALITY (continued)</p> <p>4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs.</p> <p>https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx.</p> <p>4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs.</p> <p>https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx.</p> <p>4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.</p> <p>4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)</p> <p>See California Department of Public Health's website for certification programs and testing labs.</p> <p>https://www.cdph.ca.gov/Programs/CCDPHP/DEOD/CEHLB/IAQ/Pages/VOC.aspx.</p> <p>4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seq.), by or before the dates specified in those sections, as shown in Table 4.504.5</p> <p>4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:</p> <ol style="list-style-type: none">Product certifications and specifications.Chain of custody certifications.Product labeled and invoiced as meeting the Composite Wood Products regulation (see CCR, Title 17, Section 93120, et seq.).Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European EN 336 standards, and Canadian CSA 0121, CSA 0151, CSA 0153 and CSA 0325 standards.Other methods acceptable to the enforcing agency. <p>4.505 INTERIOR MOISTURE CONTROL</p> <p>4.505.1 General. Buildings shall meet or exceed the provisions of the <i>California Building Standards Code</i>.</p> <p>4.505.2 CONCRETE SLAB FOUNDATIONS. Concrete slab foundations required to have a vapor retarder by California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the California Residential Code, Chapter 5, shall also comply with this section.</p> <p>4.505.2.1 Capillary break. A capillary break shall be installed in compliance with at least one of the following:</p> <ol style="list-style-type: none">A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06.Other equivalent methods approved by the enforcing agency.A slab design specified by a licensed design professional. <p>4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:</p> <ol style="list-style-type: none">Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements found in Section 101.8 of this code.Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. <p>Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to enclosure.</p> <p>4.506 INDOOR AIR QUALITY AND EXHAUST</p> <p>4.506.1 Bathroom exhaust fans. Each bathroom shall be mechanically ventilated and shall comply with the following:</p> <ol style="list-style-type: none">Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building.Unless functioning as a component of a whole house ventilation system, fans must be controlled by a humidity control.Humidity controls shall be capable of adjustment between a relative humidity range less than or equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of adjustment.A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in) <p>Notes:</p> <ol style="list-style-type: none">For the purposes of this section, a bathroom is a room which contains a bathtub, shower or tub/shower combination.Lighting integral to bathroom exhaust fans shall comply with the <i>California Energy Code</i>. <p>4.507 ENVIRONMENTAL COMFORT</p> <p>4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be sized, designed and have their equipment selected using the following methods:</p> <ol style="list-style-type: none">The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or methods.Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential Equipment Selection), or other equivalent design software or methods. <p>Exception: Use of alternate design temperatures necessary to ensure the system functions are acceptable.</p>	<div><div>Y</div><div>N/A</div><div>RESPON. PARTY</div></div>	<p>CHAPTER 7</p> <p>INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS</p> <p>702 QUALIFICATIONS</p> <p>702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:</p> <ol style="list-style-type: none">State certified apprenticeship programs.Public utility training programs.Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.Programs sponsored by manufacturing organizations.Other programs acceptable to the enforcing agency. <p>702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:</p> <ol style="list-style-type: none">Certification by a national or regional green building program or standard publisher.Certification by a statewide energy consulting or verification organization, such as HERS raters, building performance contractors, and home energy auditors.Successful completion of a third party apprentice training program in the appropriate trade.Other programs acceptable to the enforcing agency. <p>Notes:</p> <ol style="list-style-type: none">Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS). <p>[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.</p> <p>Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.</p> <p>703 VERIFICATIONS</p> <p>703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.</p>	<div><div>Y</div><div>N/A</div><div>RESPON. PARTY</div></div>
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SUBSTRATE SPECIFIC APPLICATIONS																																																																																																																																																																																																																										
METAL TO METAL	30																																																																																																																																																																																																																									
PLASTIC FOAMS	50																																																																																																																																																																																																																									
POROUS MATERIAL (EXCEPT WOOD)	50																																																																																																																																																																																																																									
WOOD	30																																																																																																																																																																																																																									
FIBERGLASS	80																																																																																																																																																																																																																									
TABLE 4.504.2 - SEALANT VOC LIMIT																																																																																																																																																																																																																										
(Less Water and Less Exempt Compounds in Grams per Liter)																																																																																																																																																																																																																										
SEALANTS	VOC LIMIT																																																																																																																																																																																																																									
ARCHITECTURAL	250																																																																																																																																																																																																																									
MARINE DECK	760																																																																																																																																																																																																																									
NONMEMBRANE ROOF	300																																																																																																																																																																																																																									
ROADWAY	250																																																																																																																																																																																																																									
SINGLE-PLY ROOF MEMBRANE	450																																																																																																																																																																																																																									
OTHER	420																																																																																																																																																																																																																									
SEALANT PRIMERS																																																																																																																																																																																																																										
ARCHITECTURAL																																																																																																																																																																																																																										
NON-POROUS	250																																																																																																																																																																																																																									
POROUS	775																																																																																																																																																																																																																									
MODIFIED BITUMINOUS	500																																																																																																																																																																																																																									
MARINE DECK	760																																																																																																																																																																																																																									
OTHER	750																																																																																																																																																																																																																									
TABLE 4.504.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS _{1,2}																																																																																																																																																																																																																										
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS																																																																																																																																																																																																																										
COATING CATEGORY	VOC LIMIT																																																																																																																																																																																																																									
FLAT COATINGS	50																																																																																																																																																																																																																									
NON-FLAT COATINGS	100																																																																																																																																																																																																																									
NONFLAT-HIGH GLOSS COATINGS	150																																																																																																																																																																																																																									
SPECIALTY COATINGS																																																																																																																																																																																																																										
ALUMINUM ROOF COATINGS	400																																																																																																																																																																																																																									
BASEMENT SPECIALTY COATINGS	400																																																																																																																																																																																																																									
BITUMINOUS ROOF COATINGS	50																																																																																																																																																																																																																									
BITUMINOUS ROOF PRIMERS	350																																																																																																																																																																																																																									
BOND BREAKERS	350																																																																																																																																																																																																																									
CONCRETE CURING COMPOUNDS	350																																																																																																																																																																																																																									
CONCRETE/MASONRY SEALERS	100																																																																																																																																																																																																																									
DRIVEWAY SEALERS	50																																																																																																																																																																																																																									
DRY FOG COATINGS	150																																																																																																																																																																																																																									
FAUX FINISHING COATINGS	350																																																																																																																																																																																																																									
FIRE RESISTIVE COATINGS	350																																																																																																																																																																																																																									
FLOOR COATINGS	100																																																																																																																																																																																																																									
FORM-RELEASE COMPOUNDS	250																																																																																																																																																																																																																									
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500																																																																																																																																																																																																																									
HIGH TEMPERATURE COATINGS	420																																																																																																																																																																																																																									
INDUSTRIAL MAINTENANCE COATINGS	250																																																																																																																																																																																																																									
LOW SOLIDS COATINGS ₁	120																																																																																																																																																																																																																									
MAGNESITE CEMENT COATINGS	450																																																																																																																																																																																																																									
MASTIC TEXTURE COATINGS	100																																																																																																																																																																																																																									
METALLIC PIGMENTED COATINGS	500																																																																																																																																																																																																																									
MULTICOLOR COATINGS	250																																																																																																																																																																																																																									
PRETREATMENT WASH PRIMERS	420																																																																																																																																																																																																																									
PRIMERS, SEALERS, & UNDERCOATERS	100																																																																																																																																																																																																																									
REACTIVE PENETRATING SEALERS	350																																																																																																																																																																																																																									
RECYCLED COATINGS	250																																																																																																																																																																																																																									
ROOF COATINGS	50																																																																																																																																																																																																																									
RUST PREVENTATIVE COATINGS	250																																																																																																																																																																																																																									
SHELLACS																																																																																																																																																																																																																										
CLEAR	730																																																																																																																																																																																																																									
OPAQUE	550																																																																																																																																																																																																																									
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100																																																																																																																																																																																																																									
STAINS	250																																																																																																																																																																																																																									
STONE CONSOLIDANTS	450																																																																																																																																																																																																																									
SWIMMING POOL COATINGS	340																																																																																																																																																																																																																									
TRAFFIC MARKING COATINGS	100																																																																																																																																																																																																																									
TUB & TILE REFINISH COATINGS	420																																																																																																																																																																																																																									
WATERPROOFING MEMBRANES	250																																																																																																																																																																																																																									
WOOD COATINGS	275																																																																																																																																																																																																																									
WOOD PRESERVATIVES	350																																																																																																																																																																																																																									
ZINC-RICH PRIMERS	340																																																																																																																																																																																																																									
TABLE 4.504.5 - FORMALDEHYDE LIMITS:																																																																																																																																																																																																																										
MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MILLION																																																																																																																																																																																																																										
PRODUCT	CURRENT LIMIT																																																																																																																																																																																																																									
HARDWOOD PLYWOOD VENEER CORE	0.05																																																																																																																																																																																																																									
HARDWOOD PLYWOOD COMPOSITE CORE	0.05																																																																																																																																																																																																																									
PARTICLE BOARD	0.09																																																																																																																																																																																																																									
MEDIUM DENSITY FIBERBOARD	0.11																																																																																																																																																																																																																									
THIN MEDIUM DENSITY FIBERBOARD ₂	0.13																																																																																																																																																																																																																									

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED ON AN INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL NEEDS. THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

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REVISIONS

BY

10/6/2023

EB

11/21/2023

EB

12/13/2023

EB

BECKSTROM

ARCHITECTURE + INTERIORS

650.847.8351

P.O. BOX 1317, LOS GATOS, CA 95030

eric@beckstromarchitecture.com

www.beckstromarchitecture.com

Bamberger/McGovern Residence

A New House

16510 Topping Way

Los Gatos, CA 95032

APN: 532-09-029

Planning Set

REV #4

5/1/2024

SEAL:

LICENSED ARCHITECT

ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

5/1/2025

DRAWING TITLE:

CA GREEN BLDG STDS

CODE-2

DRAWN

EB

DATE

5/1/2024

SCALE

1:1.05

JOB NO.

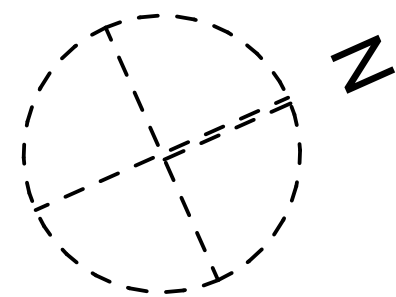
6

FILENAME

2214 Bamberger CD9 0.ph


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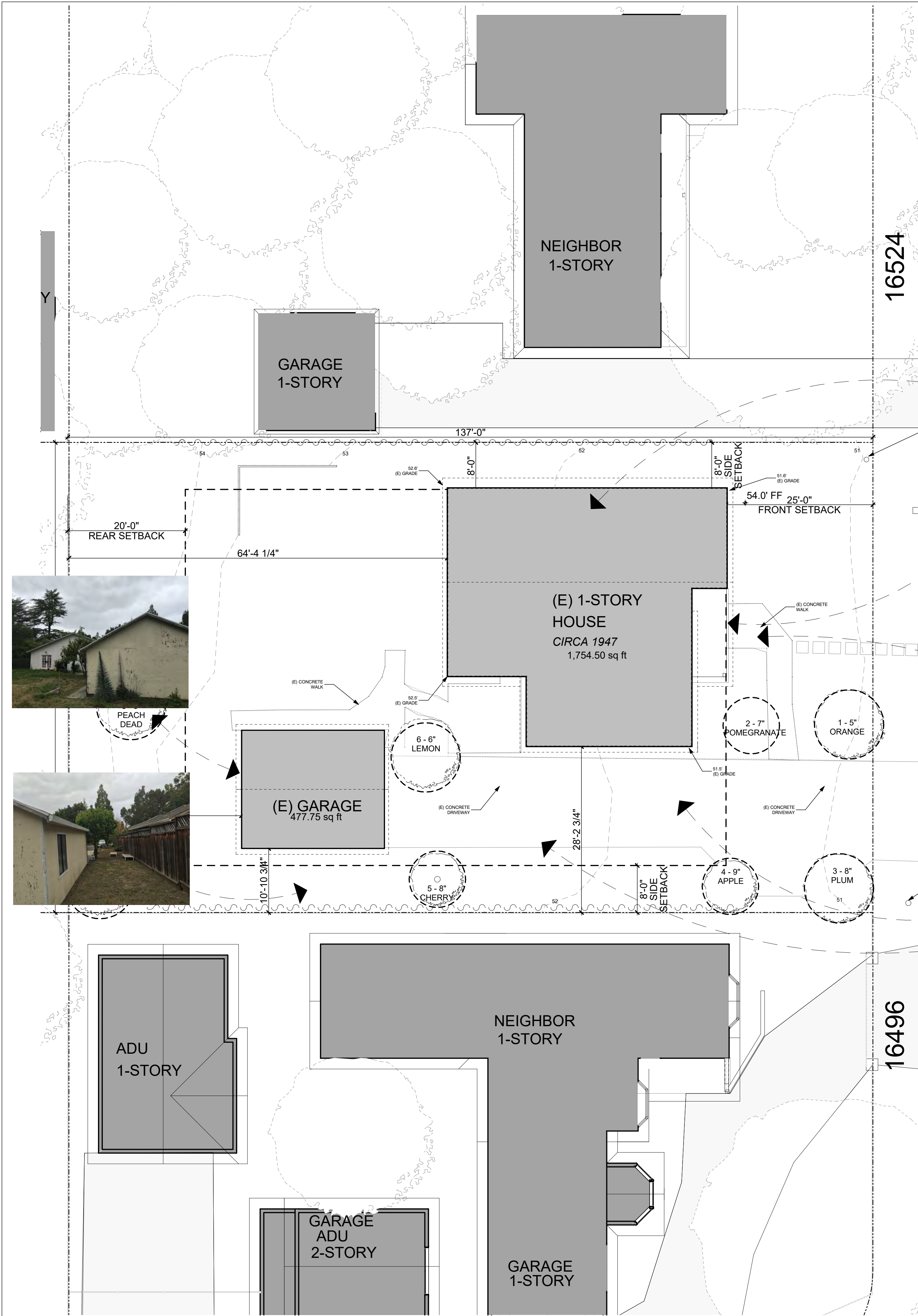
A0.4



SCALE: 1" = 20'

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3	12/13/2023	EB
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<div><div>Bamberger/McGovern Residence</div><div>A New House</div><div>16510 Topping Way</div><div>Los Gatos, CA 95032</div><div>APN: 532-09-029</div></div>		
<div><div>Planning Set</div><div>REV #4</div><div>5/1/2024</div></div>		
<div>SEAL:</div> <div><div><div>LICENSED ARCHITECT</div><div>ERIC A. BECKSTROM</div><div>C-25632</div><div>7/31/2025</div><div>RENEWAL DATE</div><div></div></div></div>		
<div>DRAWING TITLE:</div> <div>SITE PLAN-EXISTING</div>		
<div>DRAWN</div> <div>EB</div>		
<div>DATE</div> <div>5/1/2024</div>		
<div>SCALE</div> <div>1" = 20'</div>		
<div>JOB NO.</div> <div>6</div>		
<div>FILENAME</div> <div>2214 Bamberger CD9.0.pin</div>		
<div>SHEET</div> <div>A1.0E</div>		



16510 TOPPING DR. EXISTING



TOPPING WAY



SITE PLAN-EXISTING

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Los Gatos, CA 95032

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Planning Set

REV #4

5/1/2024

SEAL:

LICENSED ARCHITECT

ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

STATE OF CALIFORNIA

DRAWING TITLE:

SITE PLAN-EXISTING LARGE

DRAWN

EB

DATE

5/1/2024

SCALE

1" = 10'

JOB NO.

6

FILENAME

2214 Bamberger CD9 0.ph

SHEET

A1.1E

LOT CALCULATIONS 16510 Topping Way											
LOT AREA	10,960.00	SF									
COVERAGE CALCULATIONS											
BUILDING COVERAGE ALLOWED	40%										
ALLOWED COVERAGE	4,384.00	SF	IMPERVIOUS								
EXISTING STRUCTURES											
HOUSE, 1-STORY	1,755.00	SF	16.2' HT								
GARAGE - DETACHED, 1-STORY	478.00	SF	13.3' HT								
TOTAL EXISTING STRUCTURES	2,233.00	SF									
PROPOSED COVERAGE											
HOUSE	1,824.00	SF									
GARAGE (ATTACHED)	728.00	SF									
FRONT PORCH	203.00	SF									
REAR PORCH	176.00	SF									
TOTAL PROPOSED COVERAGE	2,931.00	SF	IMPERVIOUS								
COVERAGE AMOUNT UNDER ALLOWED	1,453.00	SF	IMPERVIOUS								
16510 Topping Way FAR											
FAR CALCULATIONS	AREA	5	5.96	25	0.24	0.2	0.0477	0.35	0.302	10,960.00	HOUSE 3,288.0 SF
											from City
GARAGE FAR CALCULATIONS	AREA	5	5.96	25	0.24	0.1	0.0167	0.1	0.083	10,960.00	910.1 SF
											from City
FLOOR AREAS											
FIRST FLOOR	1,824.0	SF									
SECOND FLOOR	1,281.0	SF									
PROPOSED HOUSE TOTAL	3,105.0	SF									
HOUSE ALLOWED	3,288.0	SF									
HOUSE AMOUNT UNDER	183.0	SF									
PROPOSED GARAGE TOTAL	728.0	SF									
GARAGE ALLOWED	910.1	SF									
GARAGE AMOUNT UNDER	182.1	SF									
HOUSE/GARAGE TOTAL	3,833.0	SF									

LEGEND

WATER	—○—○—○—○—
SEWER	—SS—SS—SS—SS—
ELECTRICAL	—A—A—A—A—
GAS	—G—G—G—G—
TREE PROTECTION FENCING	~~~~~
PROPERTY LINE	-----
SETBACK LINE	- - - - -

EXTERIOR HOUSE LIGHTING - all exterior lighting will be downward directed with bulbs shielded from neighbor's view, SEE A1.0



Bayport Collection Dark Sky 7 3/4\"/>
High Outdoor Porch Wall Light
★★★★★ 4 Reviews
\$77.00
FREE SHIPPING & FREE RETURNS* | Local Warehouse
Special Orders
1 ADD TO CART SAVE

A PERMIT IS NOT REQUIRED FOR REMOVAL OR MAJOR PRUNING OF FRUIT TREES LESS THAN 18" IN DIAMETER; NO FRUIT TREES ON THIS SITE ARE GREATER THAN 18" DIAMETER. THE TABLE BELOW IS PROVIDED AS A COURTESY

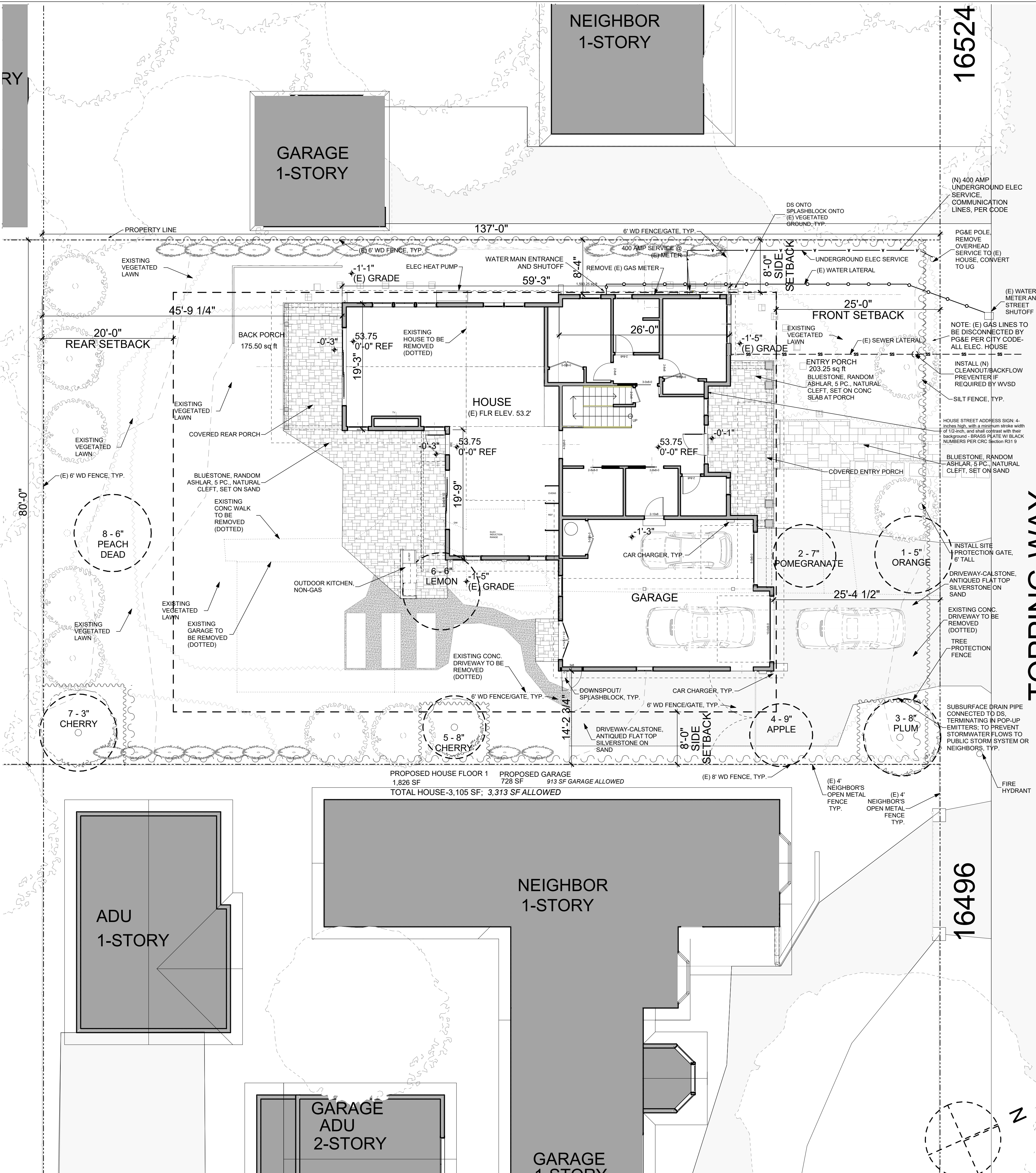
TREE TABLE

ID	SPECIES	SIZE	CONDITION	STATUS	NOTES
1	FRUIT-ORANGE	5'	AVERAGE/MEDIUM HEALTH	REMOVE	TOO CLOSE TO HOUSE, IN NEW DRIVEWAY
2	FRUIT-POMEGRANATE	7'	OVERMATURE, SEVERELY STRESSED	REMOVE	TOO CLOSE TO HOUSE, DISEASED, DEAD BRANCHES, ETC.
3	FRUIT-PLUM	8'	AVERAGE/MEDIUM HEALTH	RETAIN	TOO CLOSE TO HOUSE, DISEASED, DEAD BRANCHES, ETC.
4	FRUIT-APPLE	9'		REMOVE	TOO CLOSE TO HOUSE, IN NEW DRIVEWAY
5	FRUIT-CHERRY	8'		RETAIN	
6	FRUIT-LEMON	6'	AVERAGE/MEDIUM HEALTH	REMOVE	TOO CLOSE TO HOUSE
7	FRUIT-CHERRY	3'	AVERAGE/MEDIUM HEALTH	RETAIN	
8	FRUIT-PEACH	6'	DEAD	REMOVE	DEAD

TREE STAKING: All newly planted trees shall be double-staked using rubber tree ties

SITE PLAN

SCALE: 1/8" = 1'-0"



REVISIONS

BY

10/6/2023

EB

11/21/2023

EB

12/13/2023

EB

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Planning Set

REV #4

5/1/2024

SEAL:

LICENSED ARCHITECT

ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

Signature

DRAWING TITLE:

SITE PLAN-PROPOSED

DRAWN

EB

DATE

5/1/2024

SCALE

1/8" = 1'-0", 1:1.12, 1:1.16

JOB NO.

6

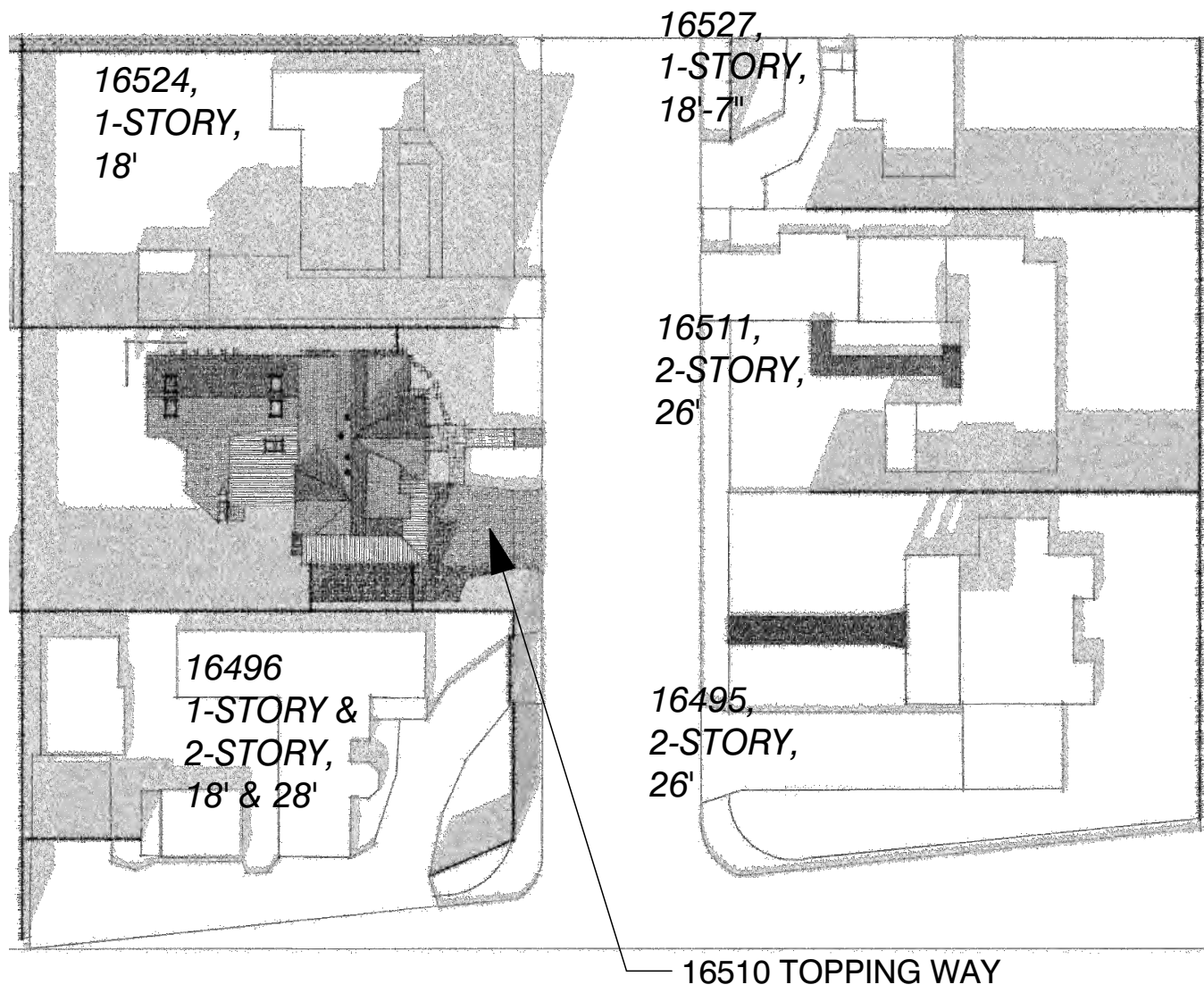
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2214 Bamberger CD9 0.pln

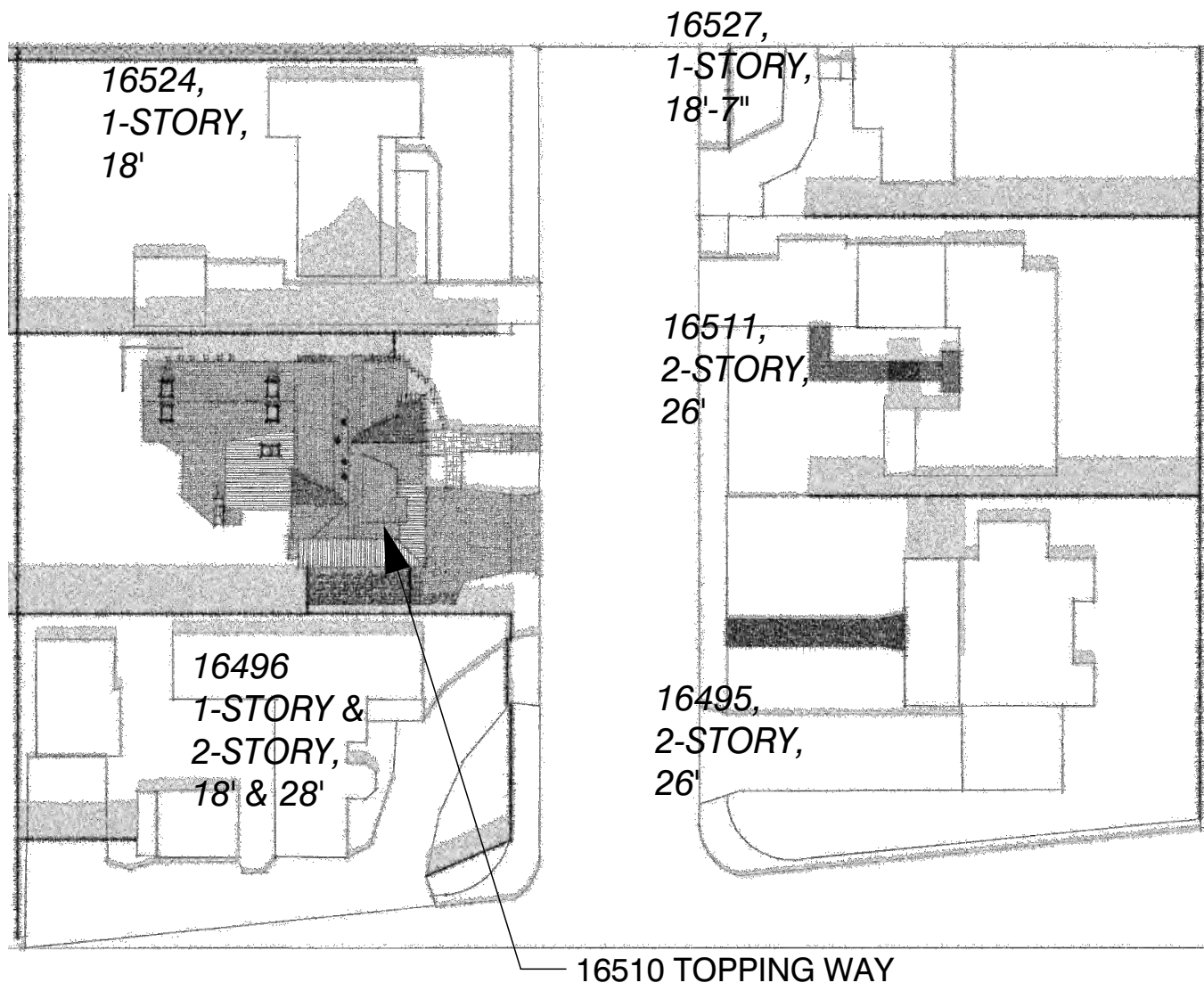
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A1.2

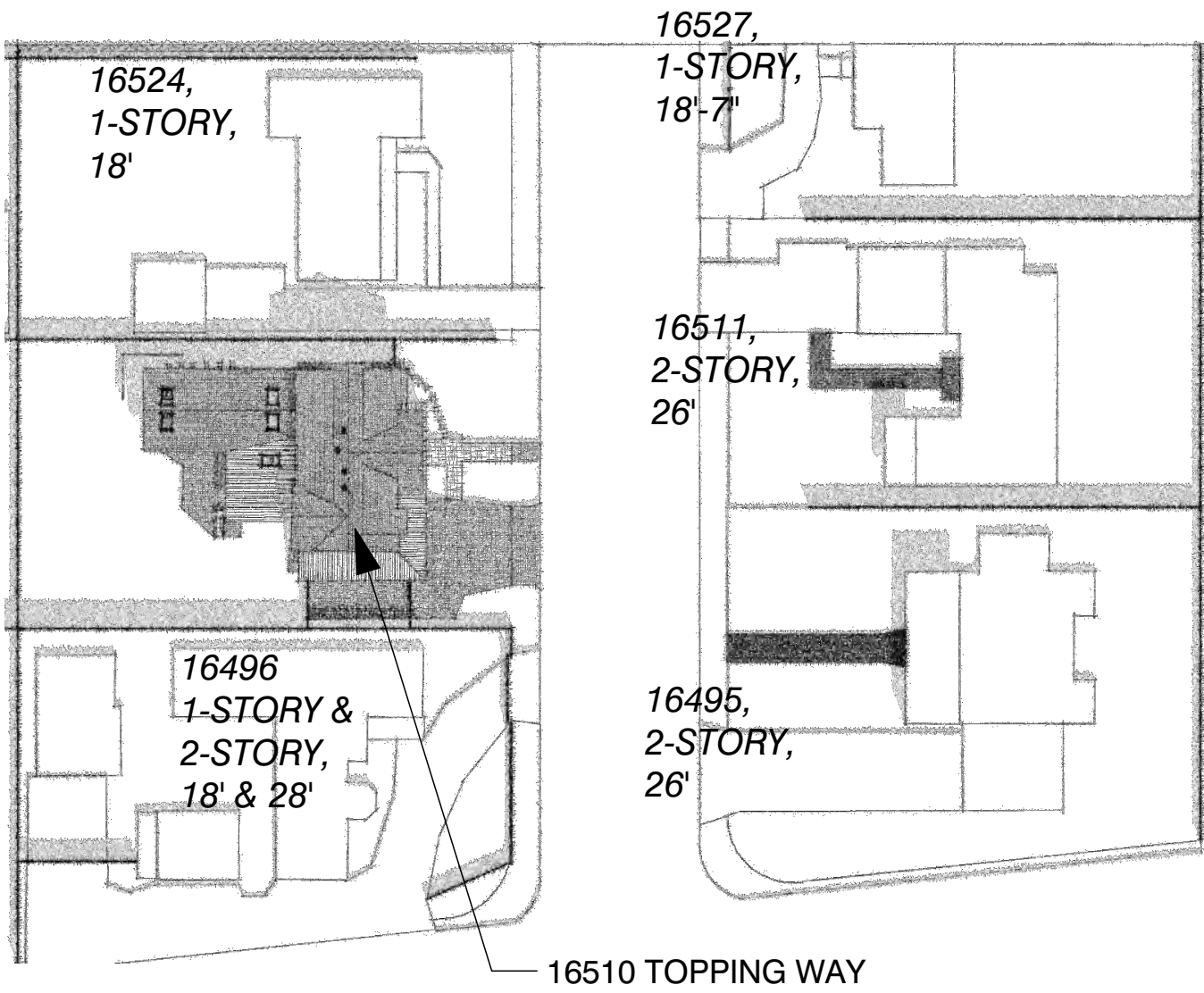
SHADOW STUDIES



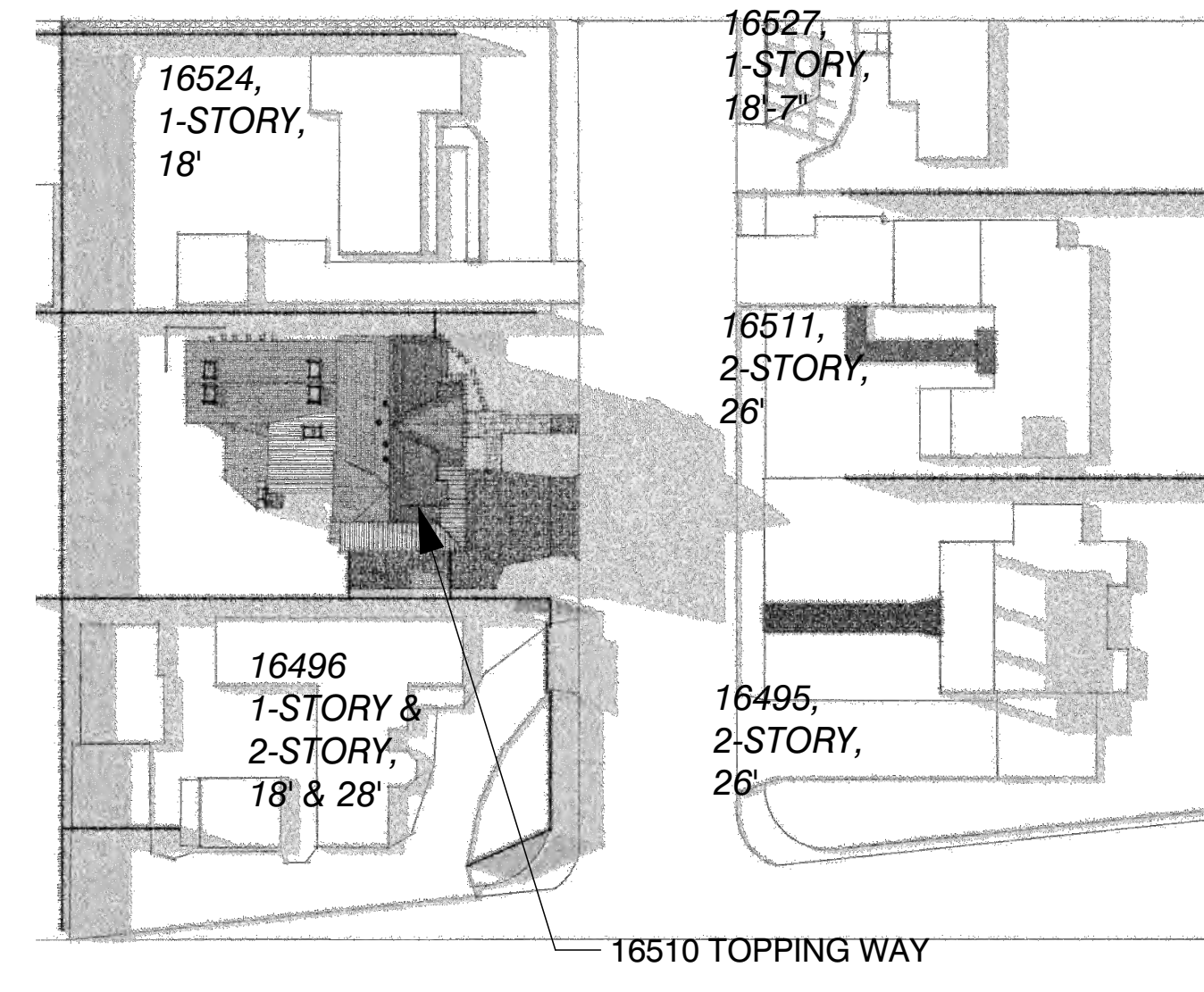
12/21 9:00 AM



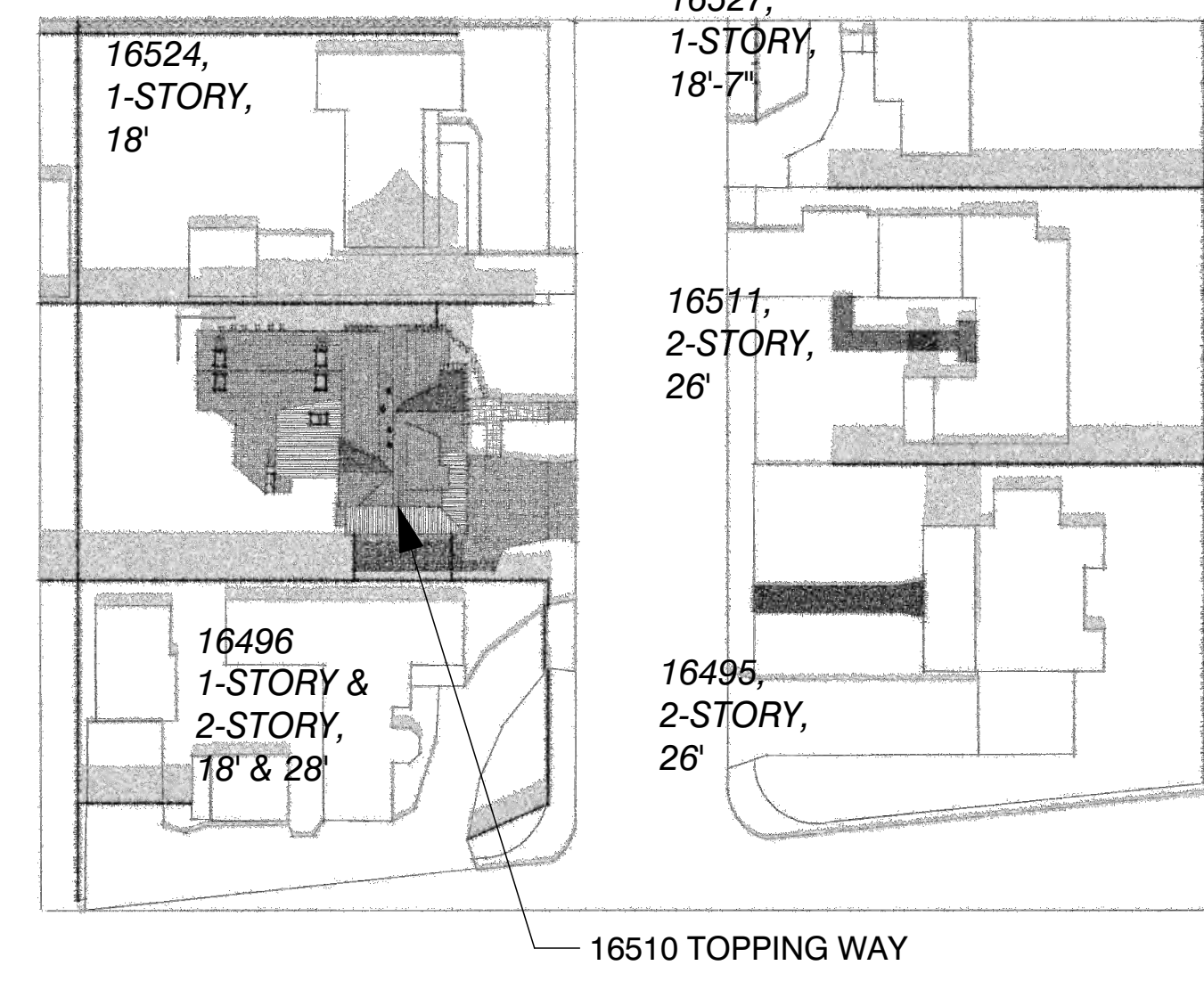
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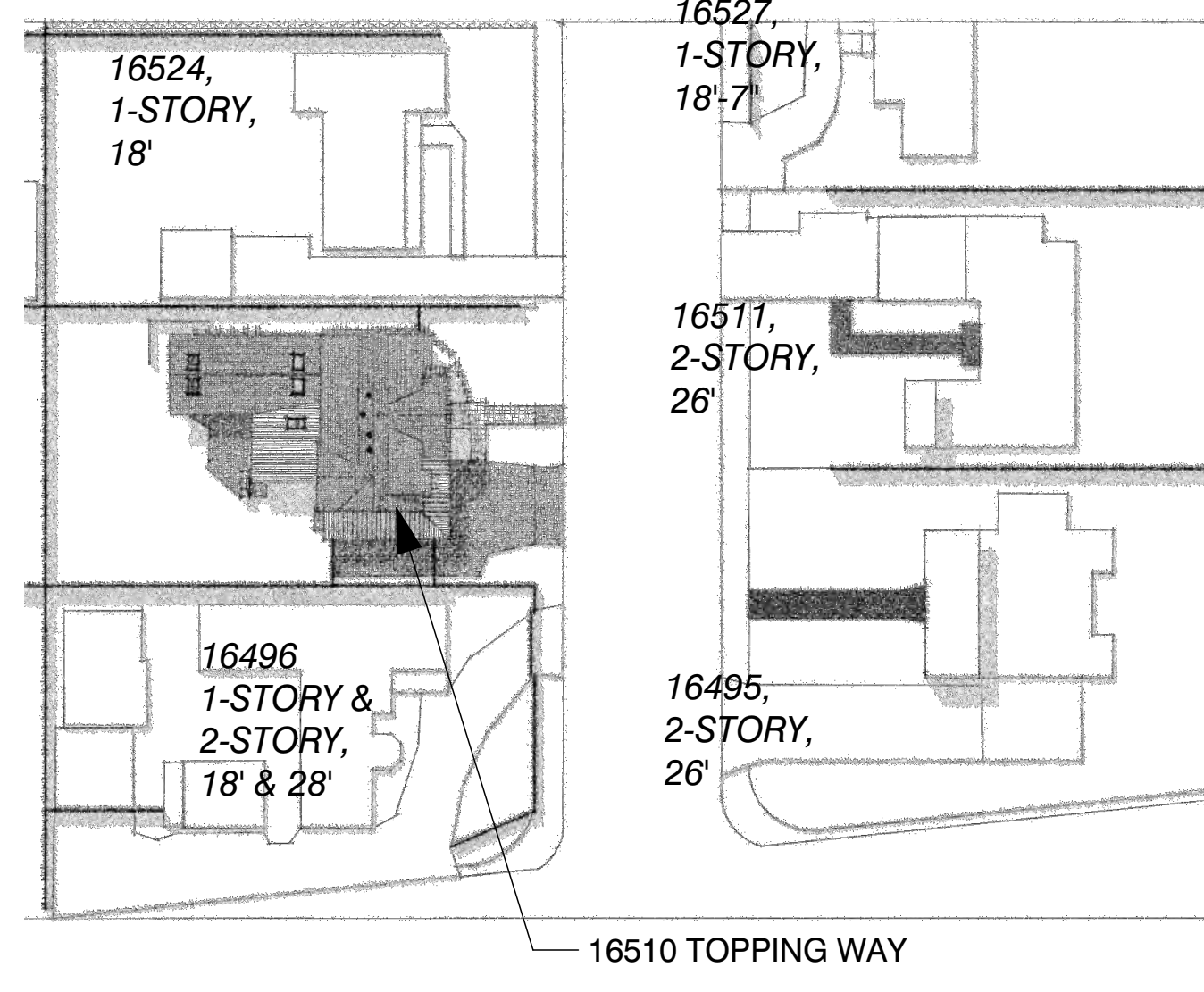
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12/21 3:00 PM



3/21 3:00 PM

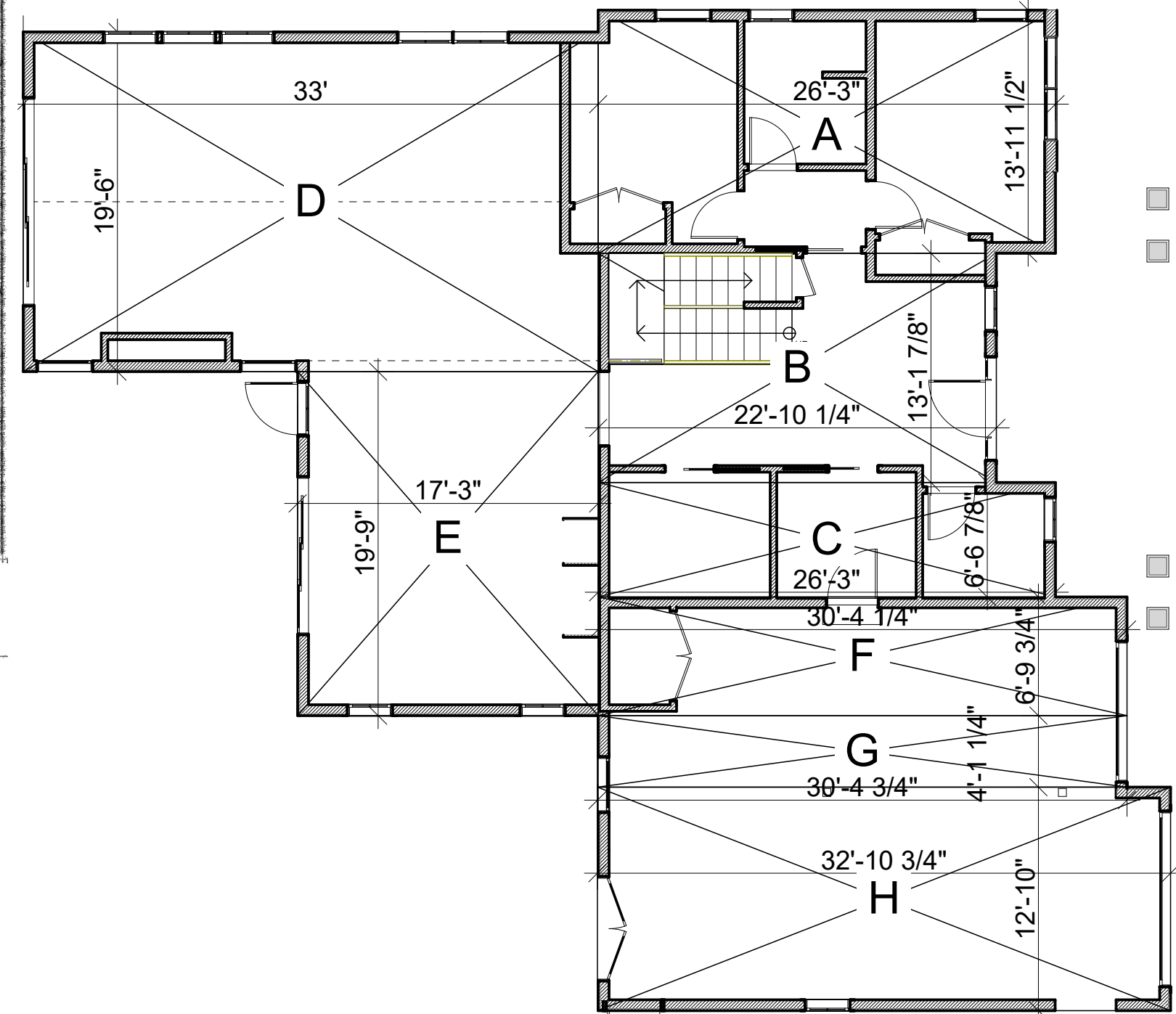


6/21 3:00 PM



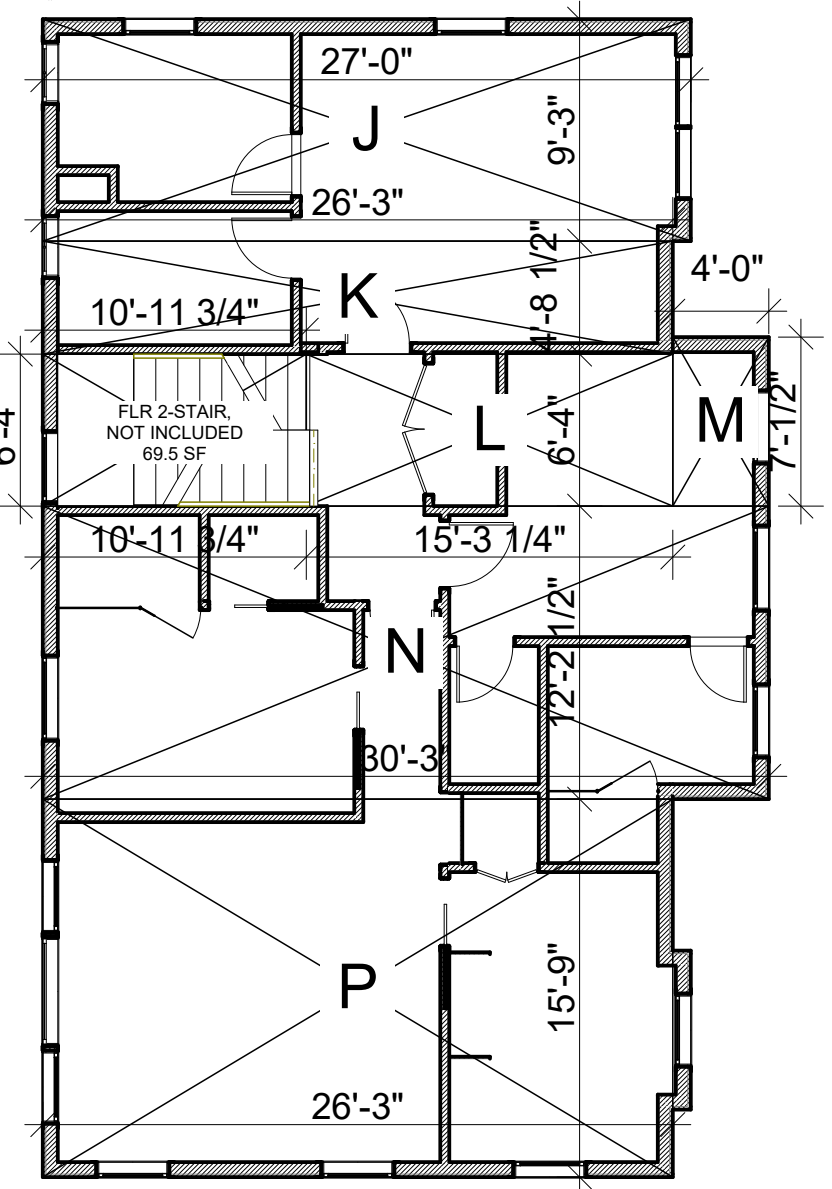
FAR FLOOR CHART

FLOOR AREA HOUSE		WIDTH	HEIGHT	AREA (SF)
SECTION				
A		26.25	13.96	366.40
B		22.85	13.16	300.76
C		26.25	6.57	172.52
D		33.00	19.50	643.50
E		17.25	19.75	340.69
FIRST FLR SUBTOTAL				1,823.86 SF
J		27.00	9.25	249.75
K		26.25	4.71	123.59
L		15.27	6.33	96.66
M		4.00	7.04	28.16
N		30.25	12.21	369.29
P		26.25	15.75	413.44
SECOND FLR SUBTOTAL				1,280.89 SF
HOUSE TOTAL				3,104.75 SF
GARAGE				
F		30.35	6.81	206.77
G		30.40	4.10	124.74
H		30.90	12.83	396.48
GARAGE TOTAL				727.99 SF
PROJECT TOTAL				3,832.73 SF
FLR 2-STAIR		6.33	10.98	69.50 SF



FIRST FLOOR-FAR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR-FAR PLAN

SCALE: 1/8" = 1'-0"

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10/6/2023

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LICENSED ARCHITECT

ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

Signature

STATE OF CALIFORNIA

DRAWING TITLE:

SHADOW STUDIES, FAR PLANS & CALCS

DRAWN

EB

DATE

5/1/2024

SCALE

1/8" = 1'-0", 1" = 1'-0"

JOB NO.

6

FILENAME

2214 Bamberger CD9.0.pln

SHEET

A1.4

DRAINAGE NOTES

GRADING NOTES

1. FINISH GRADE AROUND THE STRUCTURE SHALL SLOPE AWAY FROM THE FOUNDATION A MIN. OF 5% FOR A MINIMUM DISTANCE OF 10'. (CBC 1804.3) EXCEPTION: WHERE CLIMATIC OR SOIL CONDITIONS WARRANT, THE SLOPE OF THE GROUND AWAY FROM THE BUILDING FOUNDATION SHALL BE PERMITTED TO BE REDUCED TO NOT LESS THAN 2%. THE PROCEDURE USED TO ESTABLISH THE FINAL GROUND LEVEL ADJACENT TO THE FOUNDATION SHALL ACCOUNT FOR ADDITIONAL SETTLEMENT OF BACKFILL.

2. ON GRADED SITES, THE TOP OF ANY EXTERIOR FOUNDATION SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR THE INLET OF AN APPROVED DRAINAGE DEVICE A MINIMUM OF 12" PLUS 2%. ALTERNATE ELEVATIONS ARE PERMITTED SUBJECT TO THE APPROVAL OF THE BUILDING OFFICIAL, PROVIDED IT CAN BE DEMONSTRATED THAT THE REQUIRED DRAINAGE TO THE POINT OF DISCHARGE AND AWAY FROM THE STRUCTURE IS PROVIDED AT ALL LOCATIONS OF THE SITE. (CBC 1808.7.4)

3. ALL RUN OFF FROM ROOFS SHALL BE COLLECTED BY ROOF GUTTERS. ALL ROOF GUTTER DOWNSPOUTS SHALL BE EQUIPPED WITH SCREENS TO PREVENT THE INTRUSION OF LEAVES, TWIGS & DEBRIS.

4. ROOF GUTTER DOWN SPOUTS SHALL BE EQUIPPED WITH SPLASH BLOCKS LOCATED IMMEDIATELY BELOW POINT OF DOWNSPOUT DISCHARGE. SPLASH BLOCKS SHALL DIRECT ROOF GUTTER FLOW AWAY FROM BUILDING FOUNDATION AS REQUIRED TO PREVENT PONDING OF WATER ADJACENT TO BUILDING FOUNDATION.

5. ALL STORM DRAINAGE PIPING, FITTINGS, AREA DRAINS, DROP INLETS ETC SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECS.

6. ALL PIPES FROM THE ROOF GUTTER DOWN SPOUTS AND/OR YARD PIPING SHALL BE IN 4" SDR-35, UNO. SLOPE MIN. 1% MIN TO APPROVED RELEASE LOCATION.

7. SIDE YARD DRAINAGE SWALES SHALL BE CONSTRUCTED TO FACILITATE RUNOFF AWAY FROM BUILDING FOUNDATIONS AT THE MAX RATE PRACTICABLE. RUNOFF TO ADJACENT PARCELS IS PROHIBITED.

8. UNO, ALL DRAINAGE SWALES AND OTHER LANDSCAPED FINISH SURFACES SHALL BE CONSTRUCTED TO PROMOTE RUNOFF CONTACT WITH LANDSCAPE VEGETATION AND SOIL MEDIA EN ROUTE TO APPROVED DISCHARGE LOCATION. RUN OFF SHALL BE DIRECTED TOWARD FRONT YARD AND BACKYARD AS SHOWN. PROVIDE 1% MINIMUM SLOPE TOWARD DISCHARGE LOCATION IN LANDSCAPED AREAS, EXCEPT TOWARD BUILDING FOUNDATION.

9. BACKWATER VALVE ON DRAINAGE PIPING SERVING FIXTURE THAT HAVE FLOOD LEVEL RIMS LESS THAN 12-INCHES ABOVE THE ELEVATION OF THE NEXT UPSTREAM MANHOLE. CPC 710.0.

10. ONE OR MORE OF THE FOLLOWING MEASURES TO PREVENT FLOODING OF ADJACENT PROPERTY IN ACCORDANCE WITH CGBSC SECTION 4.106.2:
A. PROVIDE RETENTION BASINS OF SUFFICIENT SIZE TO RETAIN STORM WATER ON SITE.
B. WHERE STORM WATER IS CONVEYED TO THE PUBLIC DRAINAGE SYSTEM, SHOW METHOD OF FILTRATION CONSISTING OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
C. SHOW COMPLIANCE TO LOCAL STORM WATER ORDINANCE.

11. MATERIAL COLLECTION: THE TOWN EXCLUSIVE PROVIDER OF THIS SERVICE IS WEST VALLEY COLLECTION & RECYCLING (408) 283-9250.

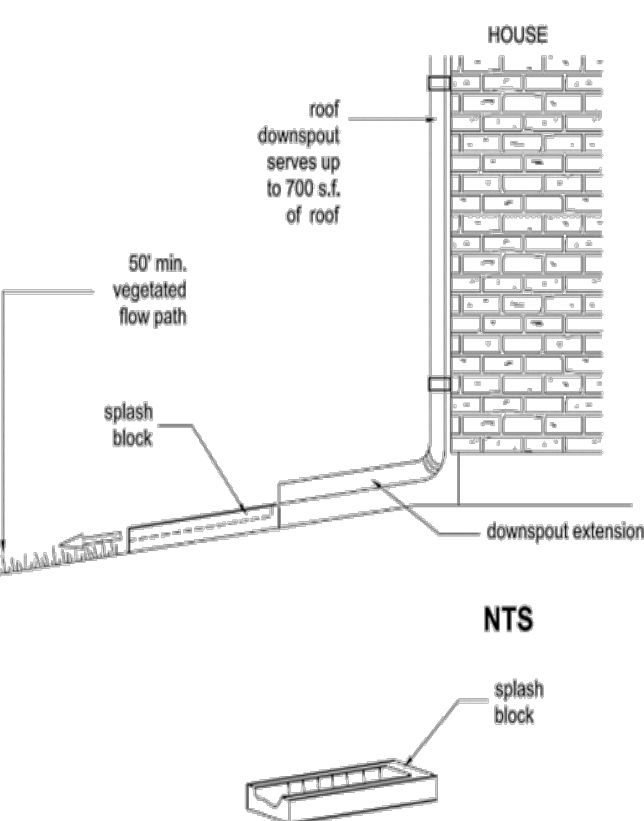
EROSION CONTROL MEASURES

- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON SITE AND SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL LANDSCAPING.
- STRAW ROLLS(S) SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON SITE AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
- DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ON TO ENGLEWOOD AVENUE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES(BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
- STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARP AULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- ONCE THE PROPOSED ON SITE DRAINAGE INLETS HAVE BEEN INSTALLED(IF NEEDED), THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
- A WATER HOSE SHALL BE PROVIDED ON SITE FOR DUST CONTROL.
- IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVATE AND REMEDY THE PROBLEM AND TAKE PREVENTIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS RE-OCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE CITY'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
- ALL DISTURBED SOIL SHALL BE 'MATTED AND SEEDED' WITHIN TWO (2) WEEKS OF 'FINAL DISTURBANCE'.

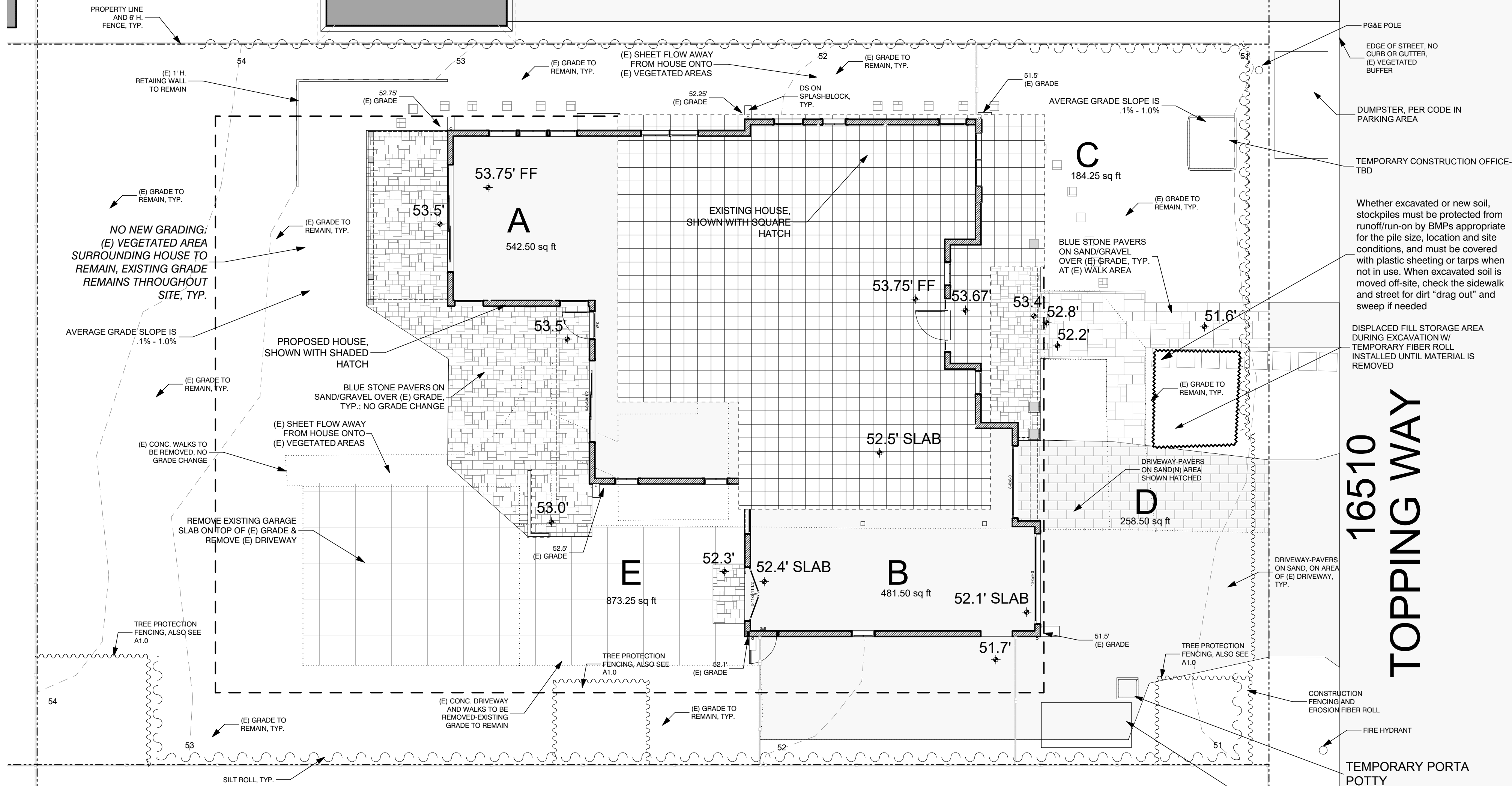
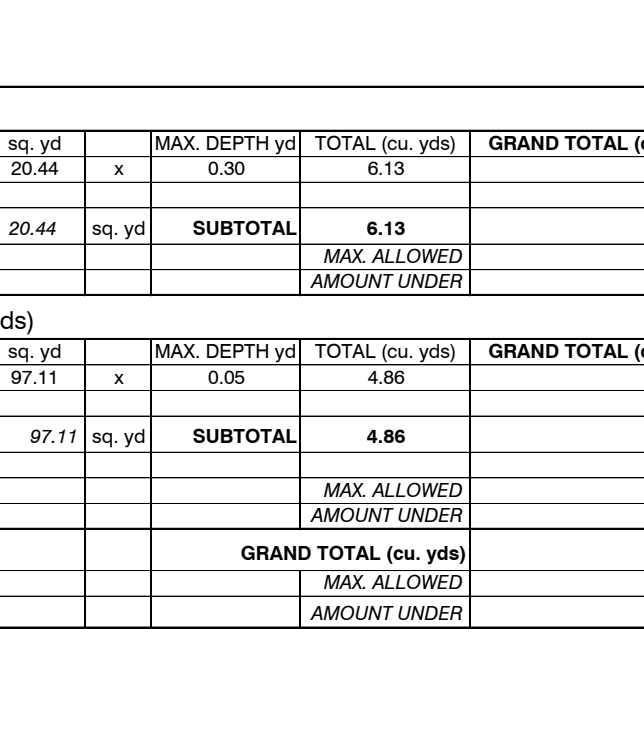
HOUSE - GRADING QUANTITIES (approx. cu. yds)													
AREA	CUT sq. ft.	9 sq. ft./sq. yd.	sq. yd.	MAX. DEPTH yd.	TOTAL (cu. yds)	AREA	FILL sq. ft.	9 sq. ft./sq. yd.	sq. yd.	MAX. DEPTH yd.	TOTAL (cu. yds)	GRAND TOTAL (cu. yds)	
A	543.00	9.00	60.33	x	0.30	18.10	C	184.00	9.00	20.44	x	0.30	6.13
B	482.00	9.00	53.56	x	0.05	2.68							
SubTotal			113.89	sq. yd.			SubTotal			20.44	sq. yd.		
												6.13	
											MAX. ALLOWED AMOUNT UNDER	26.91 cu. yds	
												-23.09 cu. yds	

DRIVEWAY/ (E) GARAGE SLAB - GRADING QUANTITIES (approx. cu. yds)													
AREA	CUT sq. ft.	9 sq. ft./sq. yd.	sq. yd.	MAX. DEPTH yd.	TOTAL (cu. yds)	AREA	FILL sq. ft.	9 sq. ft./sq. yd.	sq. yd.	MAX. DEPTH yd.	TOTAL (cu. yds)	GRAND TOTAL (cu. yds)	
D	259.00	9.00	28.78	x	0.05	1.44	E	874.00	9.00	97.11	x	0.05	4.86
SubTotal			11.49	sq. yd.			SubTotal			97.11	sq. yd.		
												4.86	
											MAX. ALLOWED AMOUNT UNDER	50.00 cu. yds	
												-43.71 cu. yds	
											GRAND TOTAL (cu. yds)	33.21 cu. yds	
											MAX. ALLOWED AMOUNT UNDER	50.00 cu. yds	
												16.79 cu. yds	

FIBER ROLL, TYP. DETAIL



SPLASH BLOCK, TYP.



SITE PLAN - GRADING

SCALE: 1/8" = 1'-0"

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BY

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EB

11/21/2023

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12/13/2023

EB

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ARCHITECTURE + INTERIORS

650.847.8351

P.O. BOX 1317, LOS GATOS, CA 95030
eric@beckstromarchitecture.com
www.beckstromarchitecture.com

Bamberger/McGovern Residence

A New House

16510 Topping Way

Los Gatos, CA 95032

APN: 532-09-029

Planning Set

REV #4

5/1/2024

SEAL:

LICENSED ARCHITECT

ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

STATE OF CALIFORNIA

DRAWING TITLE:

SITE PLAN-GRADING

DRAWN

EB

DATE

5/1/2024

SCALE

1/8" = 1'-0", 1:1.51, 1:1.62

JOB NO.

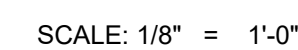
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FILENAME

2214 Bamberger CD9 0.ph

SHEET

A1.5



A1.6

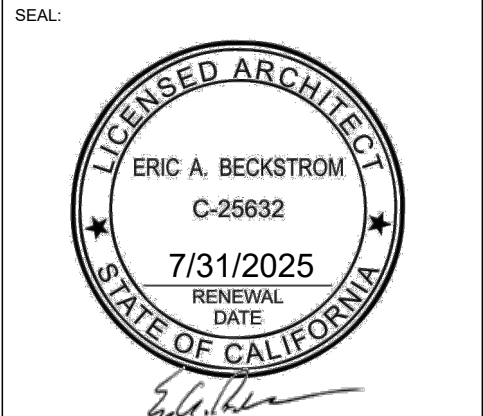


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eric@beckstromarchitecture.com
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DRAWN	EB
DATE	5/16/2024
SCALE	
JOB NO.	6
FILENAME	2214 Bamberger CD9 0.pht
SHEET	A1.7



16510 TOPPING WAY

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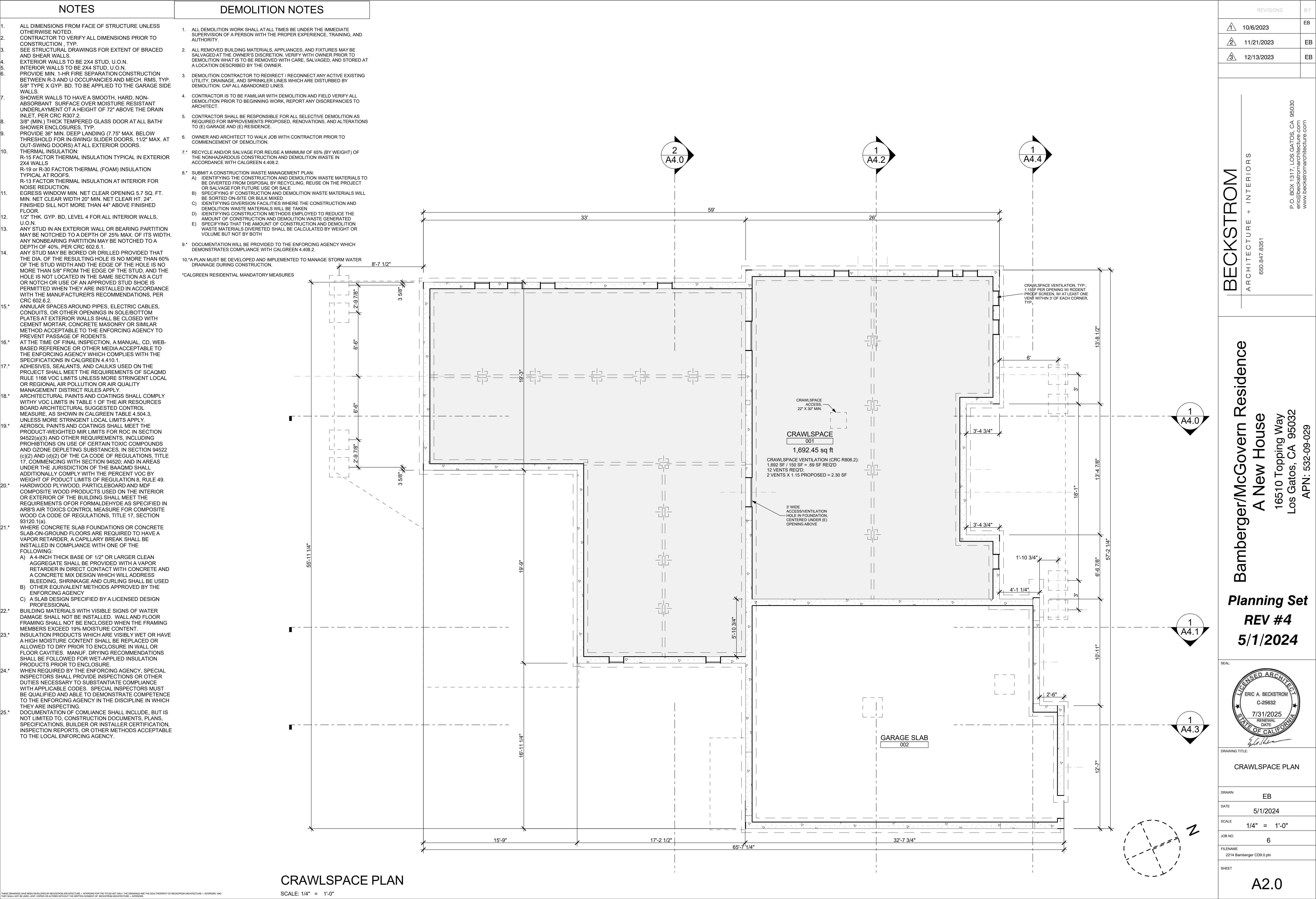
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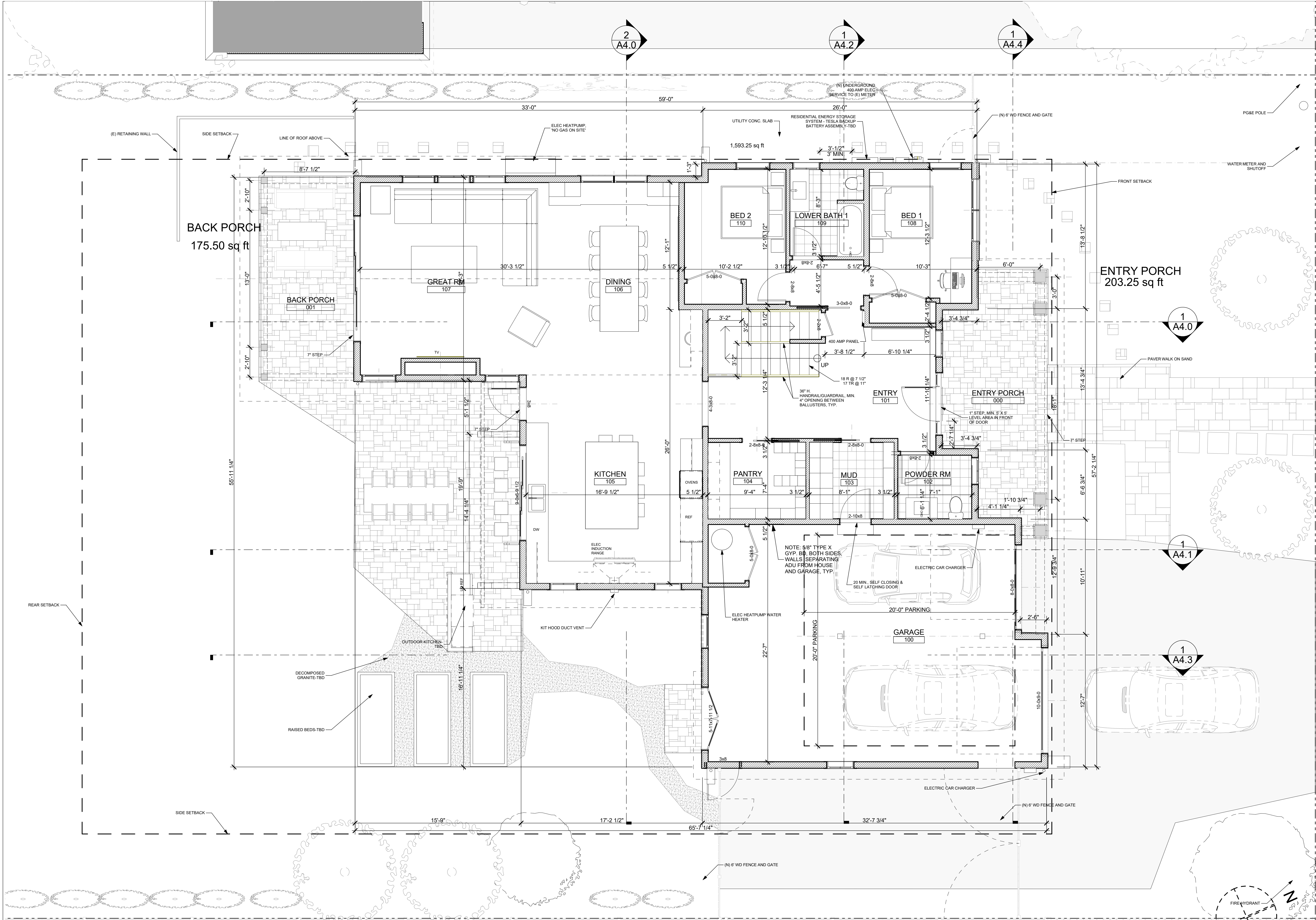
ERIC A. BECKSTROM
C-25632
7/31/2025
RENEWAL DATE
Eric A. Beckstrom

DRAWING TITLE:
NEIGHBORHOOD CONTEXT
2

DRAWN	EB
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JOB NO.	6
FILENAME	2214 Bamberger CD09 0.pln

SHEET
A1.8

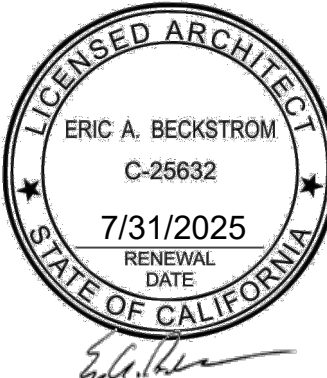




FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

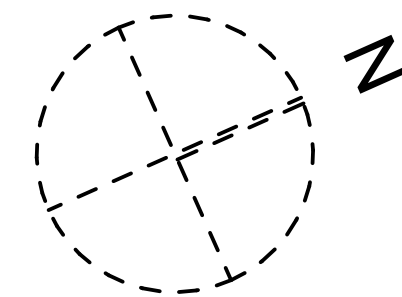
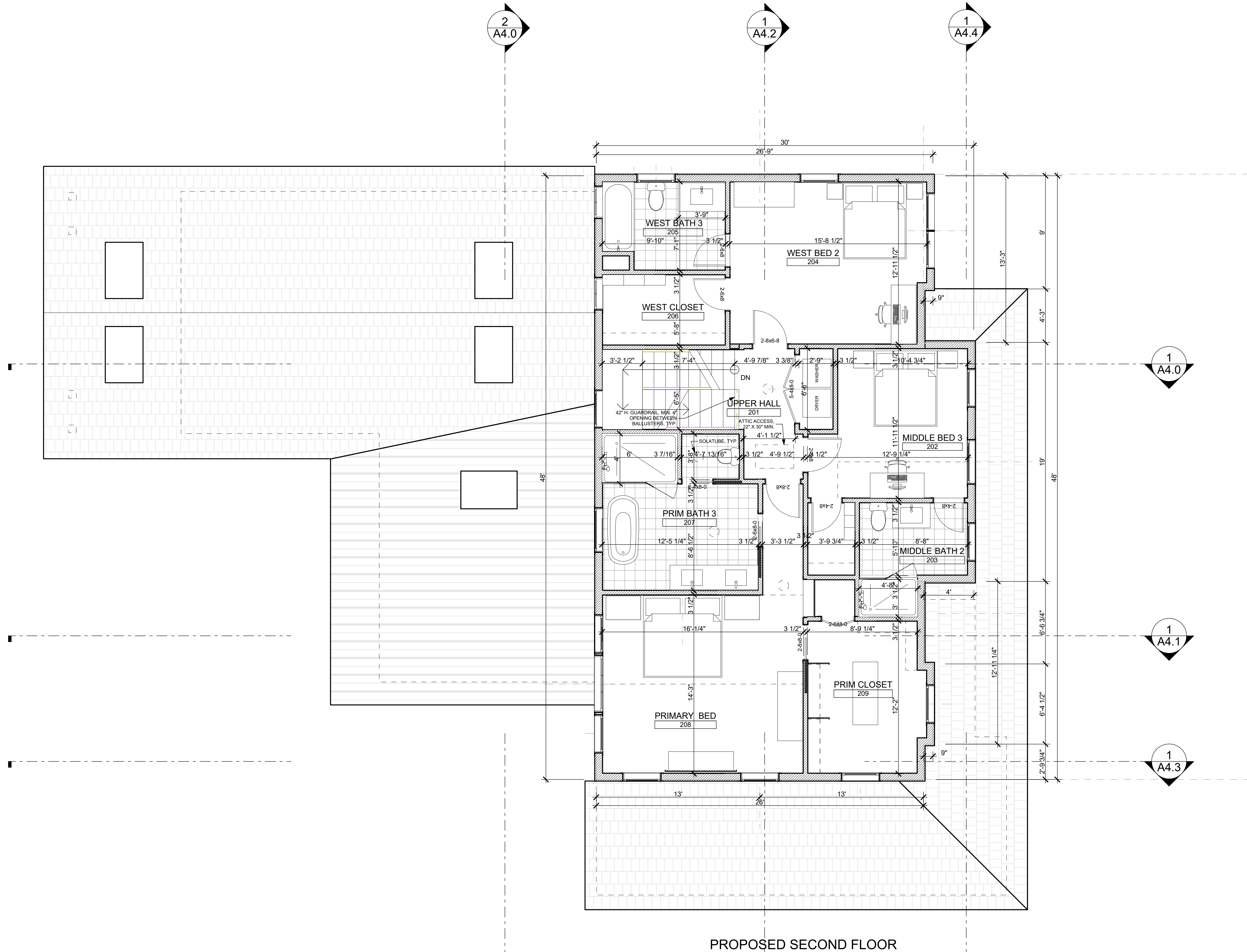
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DRAWING TITLE: FIRST FLOOR PLAN		
DRAWN EB		
DATE 5/1/2024		
SCALE 1/4" = 1'-0"		
JOB NO. 6		
FILENAME 2214 Bamberger CD09.0.pht		
SHEET A2.1		

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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SECOND FLOOR PLAN		
DRAWN		EB
DATE		5/1/2024
SCALE		1/4" = 1'-0"
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FILENAME		2214 Bamberger CD9.0.ph
SHEET		A2.2

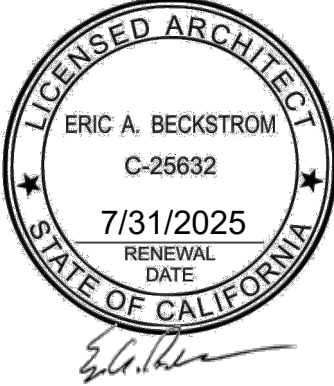
ATTIC PLAN

SCALE: 1/4" = 1'-0"

ROOF PLAN

SCALE: 1/4" = 1'-0"

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DRAWING TITLE: ATTIC & ROOF PLANS		
DRAWN EB		
DATE 5/1/2024		
SCALE 1/4" = 1'-0"		
JOB NO. 6		
FILENAME 2214 Bamberger CD9.0.ph		
SHEET A2.3		



16597 TOPPING WAY

4 HOUSES AWAY
THIS HOUSE HAS A LARGER/WIDER DORMER THAT IS WAY
CLOSER TO THE STREET THAN THE PROPOSED DESIGN, IT
HAS FULL 2-STORY WALLS AND NO PORCH;
HOWEVER THIS HOUSE TOTALLY FITS IN WITH LOS GATOS
FABRIC.
ALL THE HOUSES BUILT IN 1880 WERE EVEN CLOSER TO
THE STREET AND MORE VERTICAL.
IN URBAN DESIGN TERMS THIS IS CALLED THE 'STREET
WALL'. EVERY CITY IN THE USA AND EUROPE HAS A STREET
WALL. WHEN THE STREET WALL IS ERODED IT LOSES THE
NEIGHBORHOOD FEEL. ALL THE HALLOWEEN VISITORS PICK
THE DENSEST AND STRONGEST STREET WALL STREETS IN
LOS GATOS FOR A REASON-IT FEELS SAFE AND
COMFORTABLE.
ALL URBAN DESIGNERS AROUND THE WORLD ALL WORK TO
REINSTATE 'STREET WALLS' AND DIVERSITY OF FORM
WHICH WE ARE FORTUNATE TO HAVE IN LOS GATOS



16566 TOPPING WAY

4 HOUSES AWAY
THIS HOUSE HAS A TALLER GABLE
DORMER AND THE A SMALL PORCH
WITH A SOLID FIRST FLOOR, IE. A
SMALL OPEN ENTRY PORCH. IT
TOTALLY FITS IN WITH ALL THE
HOUSES IN THE NEIGHBORHOOD

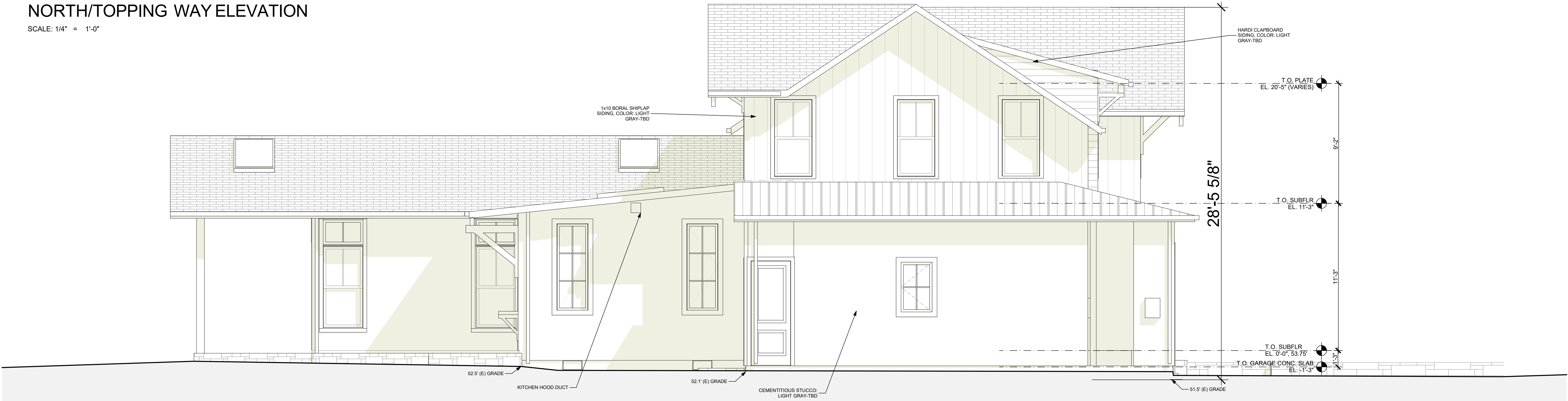
PLEASE NOTE, THE ENTIRE
FRONT OF THE HOUSE HAS A
SHED DORMER WHICH IS
PUNCTUTATED BY A SMALLER
GABLE THAN THE NEIGHBORS.
THE GABLE COULD BE MUCH
LARGER AND IT WOULD STILL FIT
THE LOS GATOS FABRIC

PLEASE NOTE, THE
HOUSE HEIGHT WAS
LOWERED 15" FROM
THE ORIGINAL
SUBMISSION DUE TO
COMMENTS FROM
THE CITY



NORTH/TOPPING WAY ELEVATION

SCALE: 1/4" = 1'-0"



EAST/LEFT ELEVATION

SCALE: 1/4" = 1'-0"

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eric@beckstromarchitecture.com
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Planning Set

REV #4

5/1/2024

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ERIC A. BECKSTROM

C-25632

7/31/2025

RENEWAL DATE

Signature

DRAWING TITLE:

ELEVATIONS

DRAWN: EB

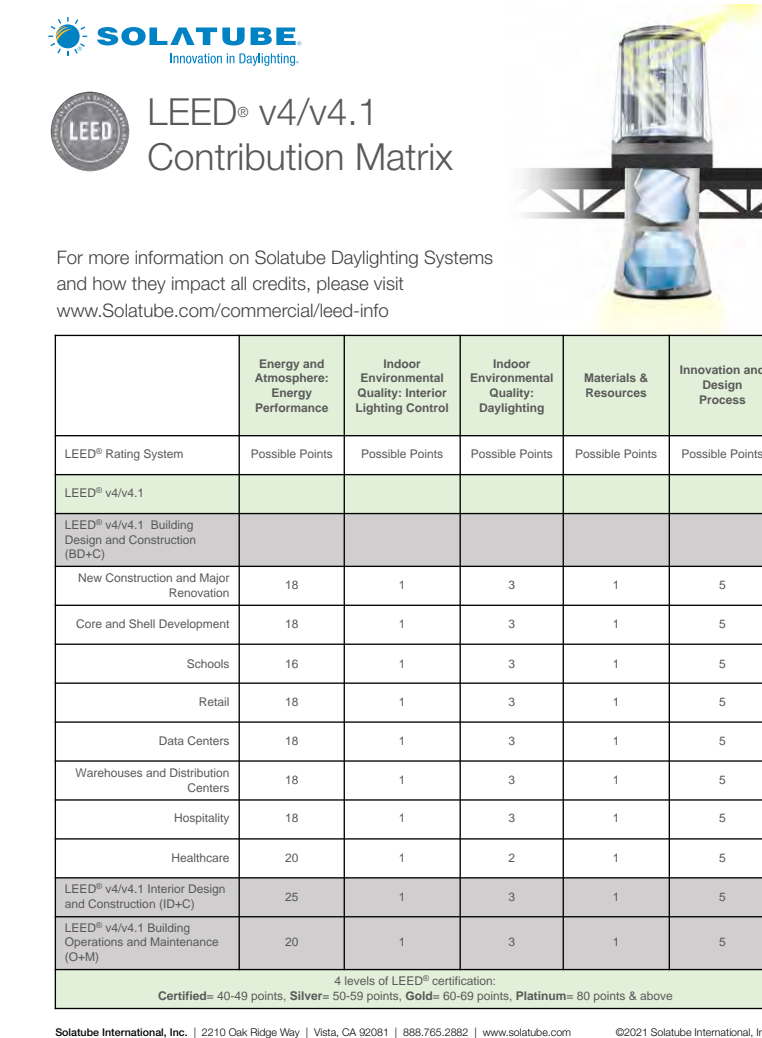
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SCALE: 1/4" = 1'-0"

JOB NO: 6

FILENAME: 2214 Bamberger CD9 0.ph

SHEET: A3.0

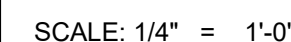


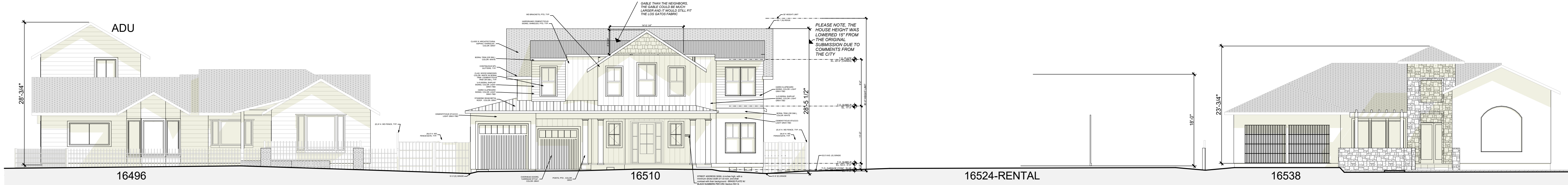
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A3.1





NORTH/STREET STREET NEIGHBORHOOD ELEVATION

SCALE: 1" = 10'



SOUTH/STREET NEIGHBORHOOD ELEVATION

SCALE: 1" = 10'

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REV #4

5/1/2024

SEAL:

DRAWING TITLE:

ELEVATIONS-
STREETSCAPES

DRAWN

EB

DATE

5/1/2024

SCALE

1" = 10'

JOB NO.

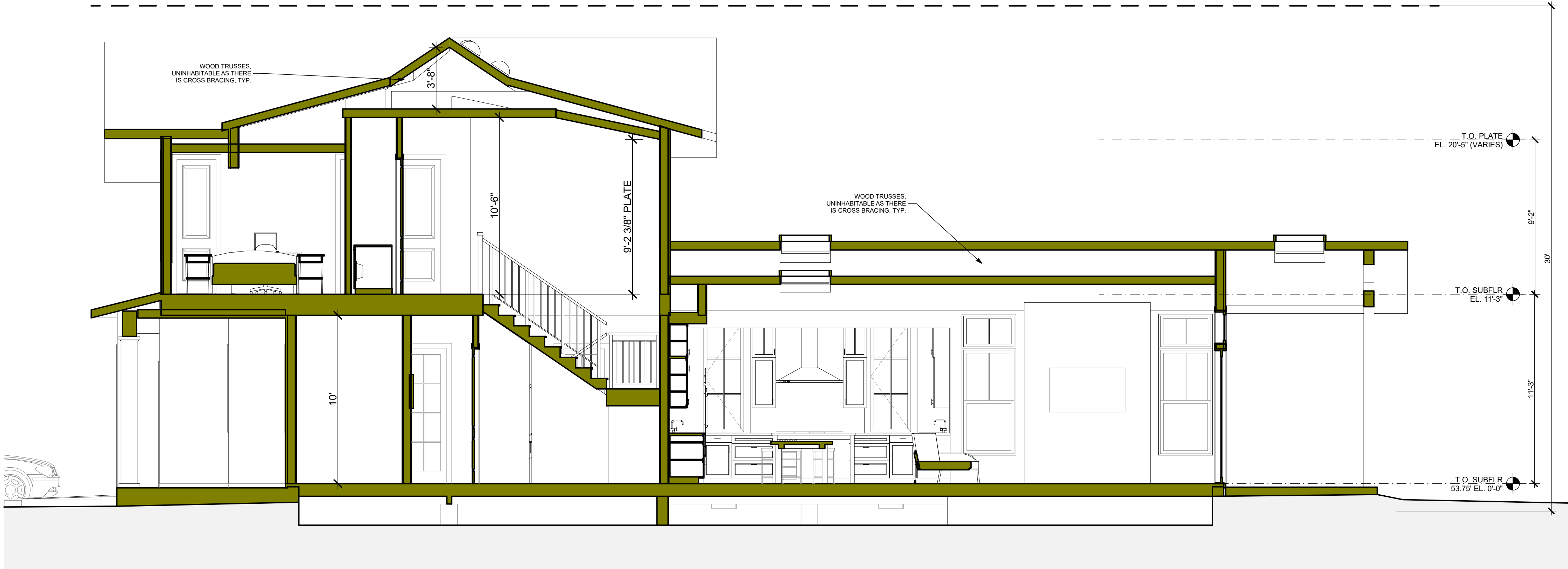
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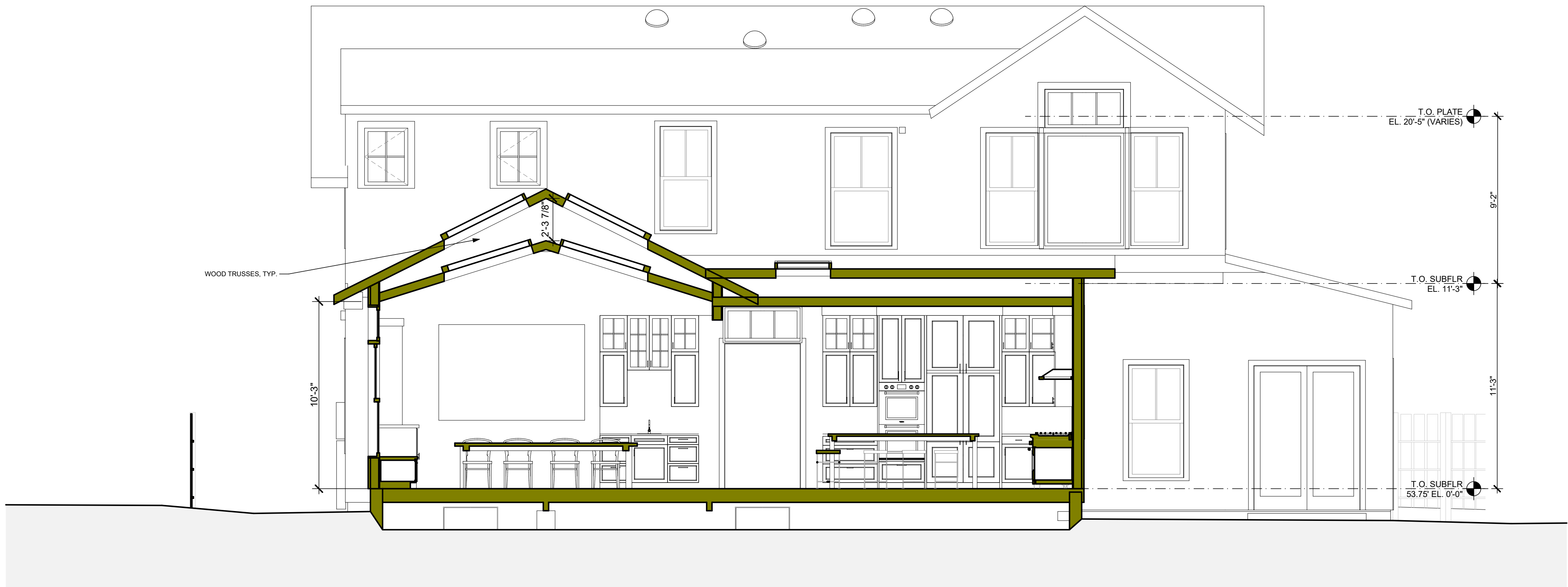
2214 Bamberger CD9 0.ph

SHEET

A3.2



1 SECTION-GRT RM/STAIR
SCALE: 1/4" = 1'-0"



2 SECTION-DINING/KITCHEN
SCALE: 1/4" = 1'-0"

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SEAL:

DRAWING TITLE:

BUILDING SECTIONS

DRAWN: EB

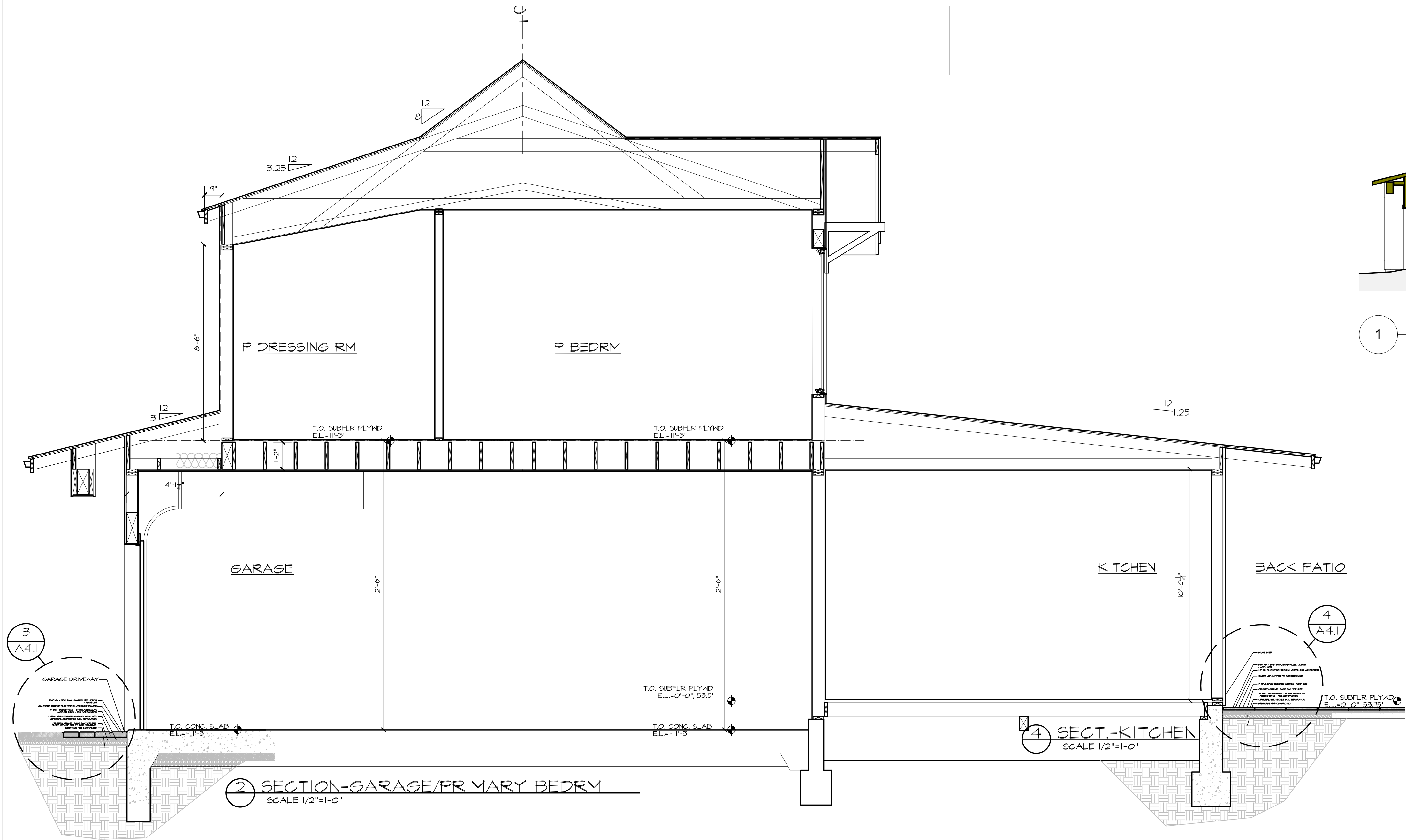
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JOB NO: 6

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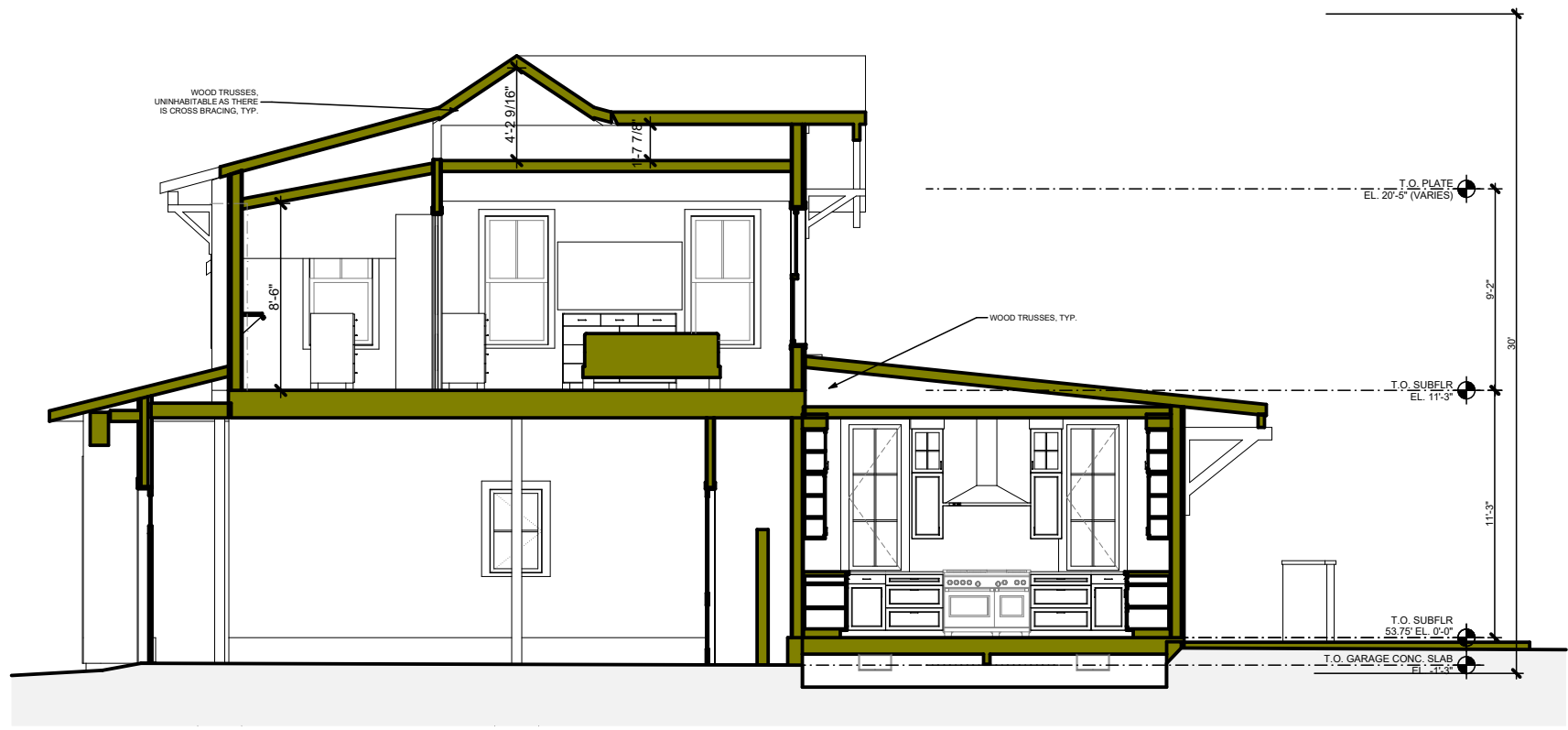
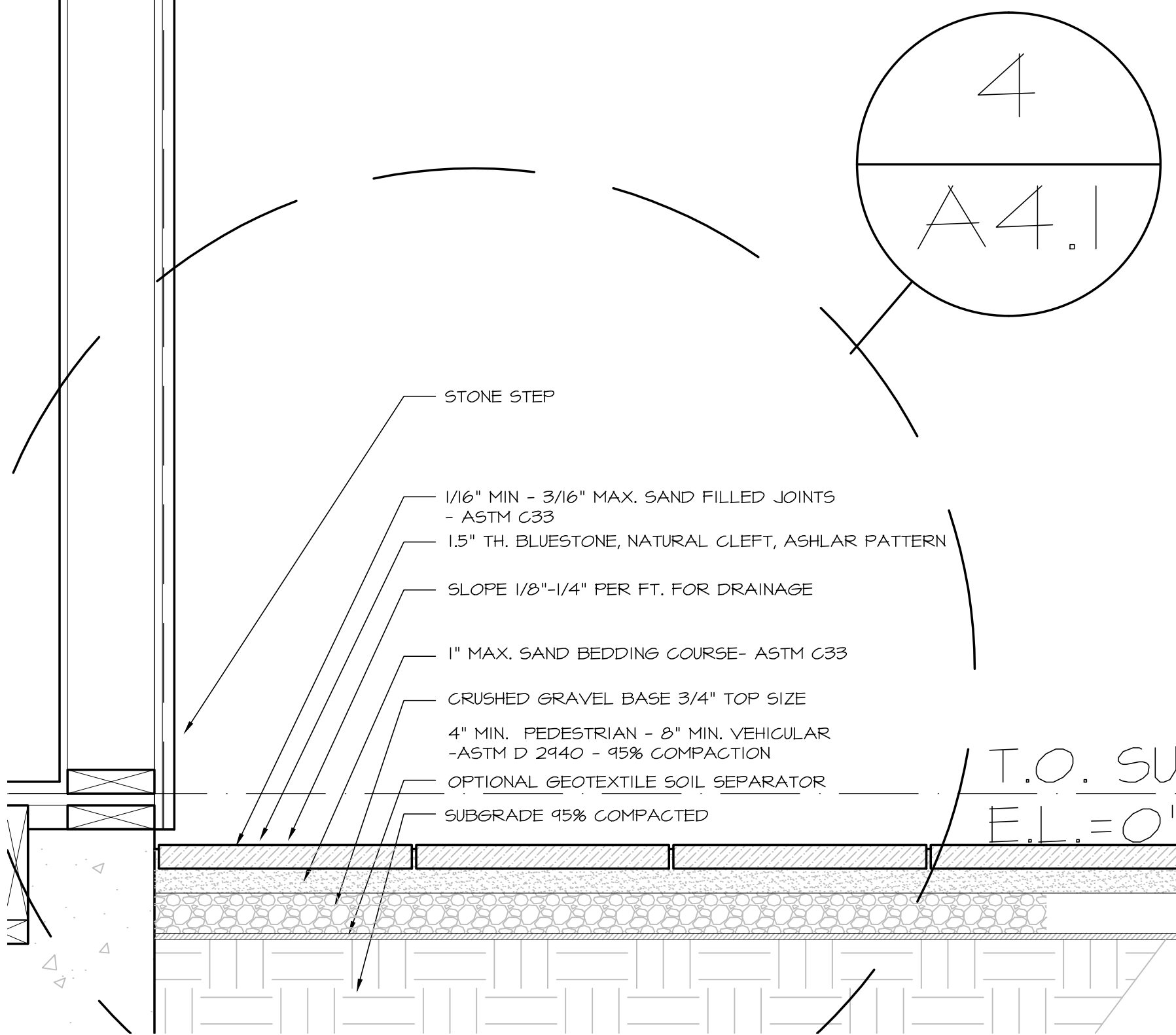
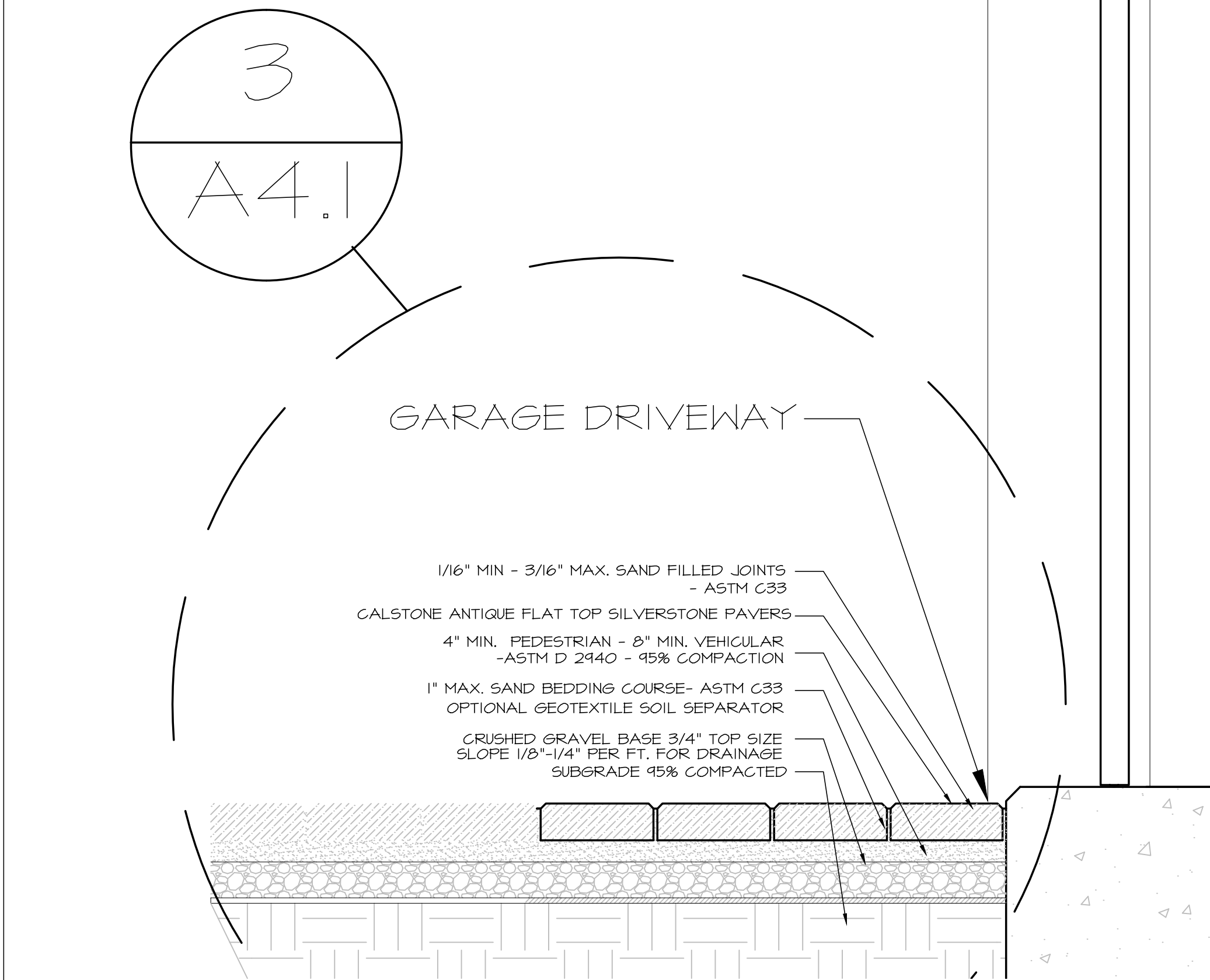


1 SECTION-GARAGE/PRIMARY BED/KITCHEN
SCALE: 1/8" = 1'-0"

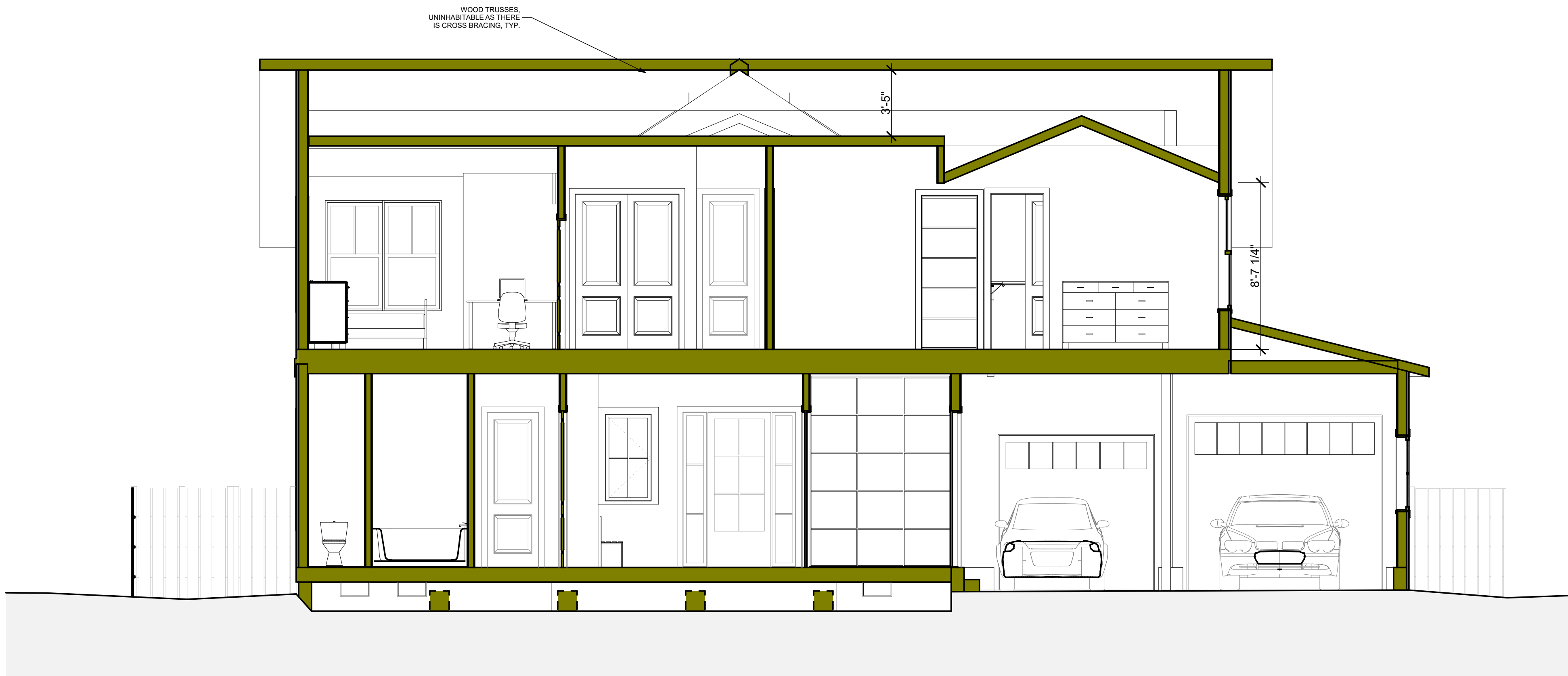
DIAGRAM ONLY

4 SECT.-KITCHEN
SCALE 1/2"=1'-0"

2 SECTION-GARAGE/PRIMARY BEDRM
SCALE 1/2"=1'-0"



REVISIONS		BY
1	10/6/2023	EB
2	11/21/2023	EB
3	12/13/2023	EB
BECKSTROM ARCHITECTURE + INTERIORS 650.847.8351		
P.O. BOX 1317, LOS GATOS, CA 95030 eric@beckstromarchitecture.com www.beckstromarchitecture.com		
Bamberger/McGovern Residence A New House 16510 Topping Way Los Gatos, CA 95032 APN: 532-09-029		
Planning Set REV #4 5/1/2024		
SEAL: 		
DRAWING TITLE: BUILDING SECTIONS		
DRAWN	EB	
DATE	5/1/2024	
SCALE	1/8" = 1'-0", 1" = 1'-0"	
JOB NO.	6	
FILENAME	2214 Bamberger CD9 0.ph	
SHEET	A4.1	



1 SECTION-BED 2/STAIR/PANTRY/GARAGE
SCALE: 1/4" = 1'-0"

BECKSTROM ARCHITECTURE-PAST PROJECTS (PARTIAL)



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eric@beckstromarchitecture.com
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Bamberger/McGovern Residence

A New House

16510 Topping Way
Los Gatos, CA 95032
APN: 532-09-029

Planning Set

REV #4

5/1/2024

SEAL:

DRAWING TITLE:
BUILDING SECTIONS & PAST WORK

DRAWN: EB

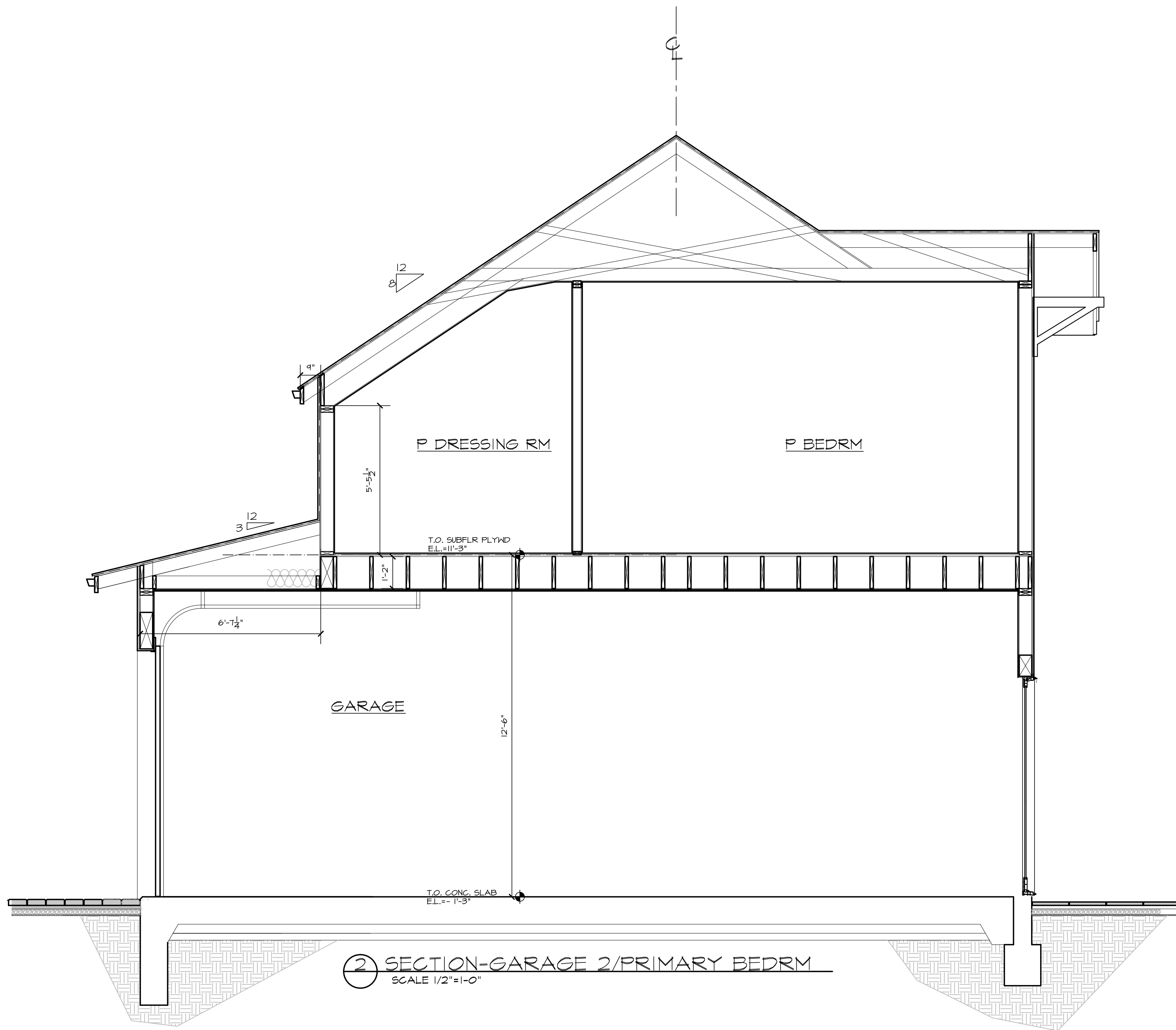
DATE: 5/1/2024

SCALE: 1/4" = 1'-0"

JOB NO: 6

FILENAME: 2214 Bamberger CD9 0.ph

SHEET: A4.2



2 SECTION-GARAGE 2/PRIMARY BEDRM
SCALE: 1/2" = 1'-0"



1 SECTION-GARAGE/PRIMARY BEDRM
SCALE: 1/8" = 1'-0"

DIAGRAM ONLY

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Planning Set
REV #4
5/1/2024

SEAL:



DRAWING TITLE:

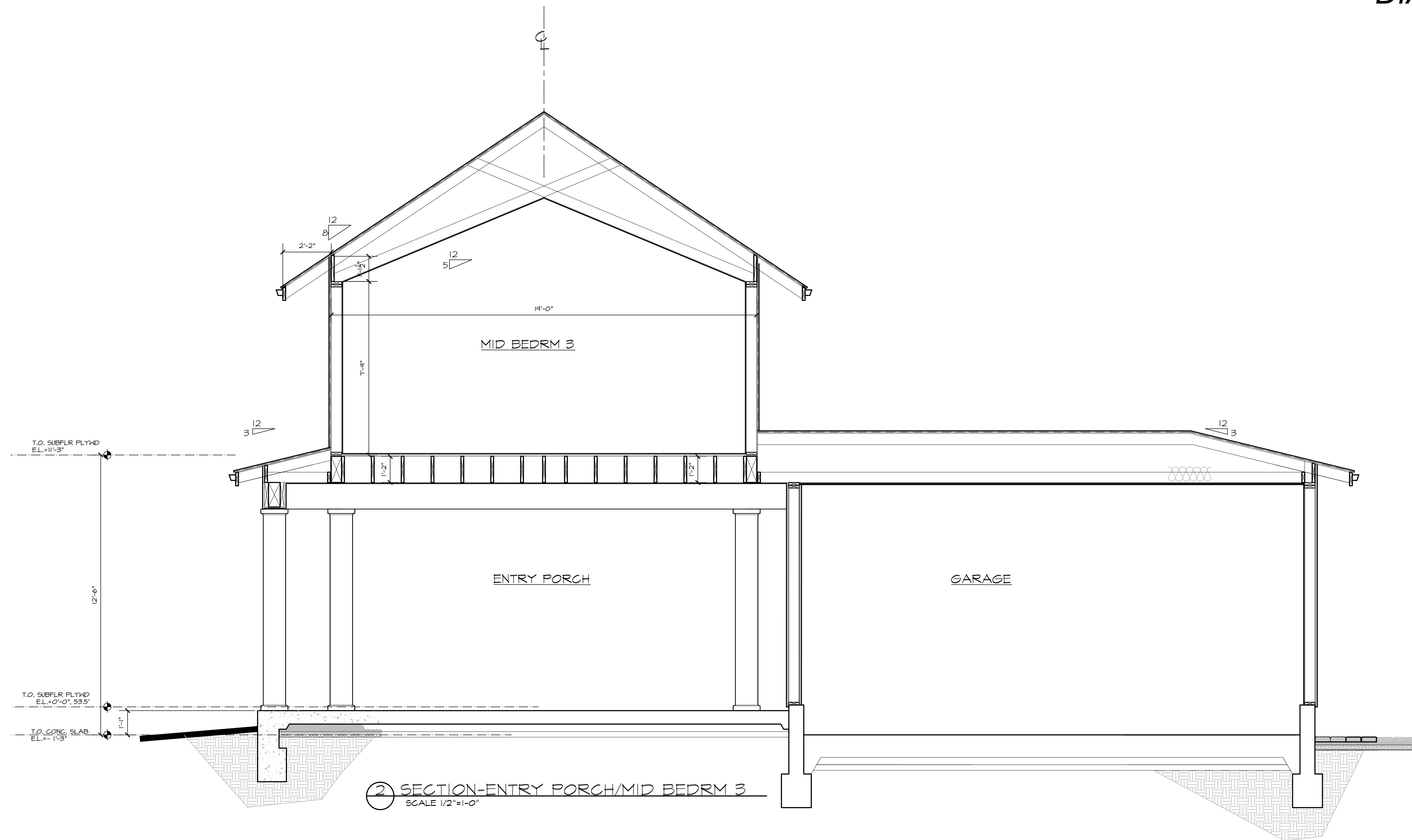
BUILDING SECTIONS

DRAWN	EB
DATE	5/1/2024
SCALE	1" = 1'-0", 1/8" = 1'-0"
JOB NO.	6
FILENAME	2214 Bamberger CD9 0.ph
SHEET	A4.3



1 SECTION-MID BEDRM 1/ENTRY/GARAGE
SCALE: 1/8" = 1'-0"

DIAGRAM ONLY



2 SECTION-ENTRY PORCH/MID BEDRM 3
SCALE 1/2"=1'-0"

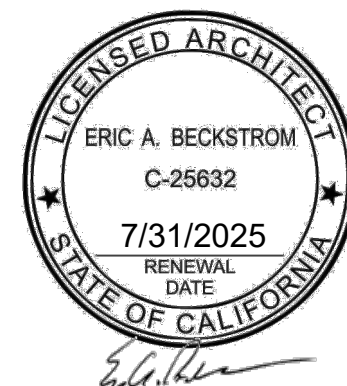
REVISIONS		BY
1	10/6/2023	EB
2	11/21/2023	EB
3	12/13/2023	EB

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APN: 532-09-029

Planning Set
REV #4
5/1/2024

SEAL:



DRAWING TITLE:

BUILDING SECTIONS

DRAWN	EB
DATE	5/1/2024
SCALE	1" = 1'-0", 1/8" = 1'-0"
JOB NO.	6
FILENAME	2214 Bamberger CD9 0.ph

SHEET

A4.4

Irrigation Legend		
Quantity	Symbol	Description
Meter		
1		3/4 inch meter (existing)
2		Brass Gate or Ball Valve
1		Reduced Pressure Backflow Prevention Device
Control Valves and Filters		
12		Hunter 1" PGZ-101-40 Drip Zone Kit
3		Stub for future extensions
6		Valve Boxes
Irrigation Accessories		
1		Hunter Pro-C Hydrant
100 ft		18/12 Irrigation Wire
18		Round Valve Boxes (Optional)
18		Flush Points in Round Valve Boxes
18		1" Isolation Valve (in Optional Round Valve Box)
3		Hose Bib
See Details Page		
PVC Fittings - (200 Micro-Tubing Adapters)		
Mainline Pipe		
22 ft		Sch 40 1" Delivery Line
160 ft		Sch 40 3/4" Main Feed Line
Lateral Line Pipe		
450 ft		Sch 40 1/2" (Color Coded to Zone)
Sleeve		
25 ft		Sch 40 1/2" (Color Coded to Zone)
Drip Tubing		
2000 ft		Netafim 17m TLCV6-12
350 ft		Netafim 17mm Blank Polyethylene Tubing
80 ft		Netafim 1/4" Inline Micro Tubing 12" spacing
See Details Page		
Netafim Fittings		

Irrigation Notes		
Drip		
1. All planting area are dripped with Netafim inline, primarily TLCV6-12, with TLZ4-6 in the raised beds. The lawn has sub-surface installation with midline supply. Planting areas are configured with grid patterns. Trees are to be positioned in spirals specific to the plant's establishment and mature root areas. Each spiral is to be positioned to the root zone as it matures. Two points of connector/drip improves flow and minimizes flush points.		
2. Ensure that all plants have at least 2 emitters on the root ball. If necessary install 1/2" inline extensions to each side of the root ball. Use a Netafim Micro Tubing Adaptor plugged into a nearby Netafim inline emitter, and run 1/2" tube onto the root ball, and stake down. These lines are specifically to get the plant established and to be moved from the base of the plant within 2 years.		
3. Zones have 1/2" PVC laterals running directly from the valve to where the zone begins. PVC is connected to drip line by either blank 17mm polyethylene tubing or directly to the Netafim. It is very important that the blank tubing be 17mm to ensure a tight fit. These individual areas are clearly marked on this plan, be sure to install the correct size pipe or tubing as they are designed to handle the maximum flow of each zone.		
4. On the edges of the drip zone, position the emitter line no more than 4" from the hand-scaping edge.		
5. The supply and exhaust headers for each sub-line consist of a 1/2" blank polyethylene tubing.		
6. Each drip zone has a flush point at the hydraulic opposite end of the supply header. Install in dedicated valve boxes per detail instructions. Those located at the end of tree spirals may remain uncovered.		
Valves		
1. Valve manifolds include Hunter Hunter PGZ-101-40 Drip Zone Kit, pressure regulators and filters.		
* ACZ valves were chosen specifically per the low flow capability. It is recommended to confirm the flows for each zone and adjust accordingly to ensure the valve closes properly.		
2. Valves are all to be installed in ground.		
3. Valves are to be mounted in ground.		
Pipes		
1. The Delivery Line from the 3/4" Water Meter to the Point of Connection is 1" Schedule 40 PVC. The Supply Line to the irrigation system is 3/4" Schedule 40 PVC from POC to each valve manifold. Connection to the city water supply is shown on plan.		
2. Lateral lines positioning is to be attested per actual site conditions.		
Controller and Weather Sensor		
1. The irrigation controller is an outdoor Hunter Hydrowise Controller with expansion modules for 13 available stations. WIFI enabled.		
2. Hunter WB-CLK Wireless Rain Sensor is to be installed in an area that is unobstructed by lines, roof overhangs, or anything else that might block rain from getting to the sensor.		

General Notes	
1. All proposed locations are approximate. Adjustments are to be made in relation to house and hardscape.	
2. Soil amendments shall be incorporated according to the recommendations of the soil report and as appropriate for selected plants.	
3. A 3" layer of mulch shall be applied to all exposed planting surfaces with the exception of turf.	
4. A diagram of the hydrozone plan shall be kept with the Irrigation controller for subsequent management purposes.	
5. A Certificate of Completion shall be filled out and certified by either the signer of the landscape plans, the signer of the irrigation plans, or the licensed Landscape Contractor for the project.	
6. An irrigation audit report shall be completed at the time of final inspection.	
7. Irrigation water supply is city supplied potable water from the existing water meter located at the parkway.	
8. At the time of final inspection, the permit application must provide the owner of the property with a Certificate of Completion, Certificate of Installation, Irrigation Schedule, schedule of landscape maintenance, and a schedule of irrigation maintenance.	

Water Budget									
Item	Plant	Water Req. (in)	Water Req. (ft)	Water Req. (in)	Water Req. (ft)	Water Req. (in)	Water Req. (ft)	Water Req. (in)	Water Req. (ft)
1	1	1	1	1	1	1	1	1	1
2	2	2	2	2	2	2	2	2	2
3	3	3	3	3	3	3	3	3	3
4	4	4	4	4	4	4	4	4	4
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98	98	98	98	98	98	98	98	98	98
99	99	99	99	99	99	99	99	99	99
100	100	100	100	100	100	100	100	100	100

Water Source	
Meter Size	3/4 inch
Static Pressure	90 psi
Elevation Change	0 feet
Service Line Information	
Pipe Category	Calvanized
Pipe Size	3/4 inch
Length	~ 25 feet
Velocity	6.01 fpm
Recommendations	
Maximum Recommended Flow	60 gpm
Available Working Pressure	90 psi

Landscape Profile	
Landscape area:	3,378 sq. ft.
Soil type:	Clay Loam
Static pressure:	65 PSI
Drip emitter flow:	0.6 gph
Drip emitter spacing:	12"
Drip row spacing:	16"
Drip application rate:	0.96 in/hr

Irrigation Maintenance Schedule	
During First 6 Weeks after Installation:	
1. Check controller and landscape every two weeks to assure that the automatic program is functioning well, and the plants are thriving.	
2. Check watering history on controller.	
3. Check that all data in controller are current and correct.	
4. Turn on all zones and walk through to assure proper function of all components and coverage.	
5. Adjust zone schedule to calibrate soil moisture penetration to plant requirements.	
Every Six Months	
1. Flush all drip zones to remove any debris from the system.	
2. Flush all drip filters at the system every 6 months.	
3. Turn on each zone and walk through to ensure that all is functioning well. Make any repairs and adjustments that are needed.	
4. Adjust zone schedule to calibrate soil moisture penetration to plant requirements.	
Annually	
1. Perform an annual full-system irrigation check. Make any needed repairs or adjustments.	

Irrigation Notes					
Establishment Schedules					
This schedule is meant to be used the first year to establish the plantings. After the first year is over, switch to the Permanent Schedules.					
Zones	Plant Types	Peak	Application Rate (in/hr)	Weekly ETo	Minutes Per Week
Perennials	High (for first year)	July	0.96	1.47	60
Trees	High (for first year)	July	0.96	1.47	60
Permanent Schedules					
This permanent schedule is for after the plants have been established (1 year minimum).					
Zones		Peak	Application Rate (in/hr)	Weekly ETo	Minutes Per Week
Low water perennials- full sun	Dip	July	0.96	45.3	30
Low water trees full sun	Dip	July	0.96	45.3	30

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