

1/8" = 1'=0"

ABREVIATION \$ SYMBOL LEGEND

EXISTING (P) PROPOSED

FRONT YARD SET BACK REAR YARD SET BACK SIDE YARD SET BACK

G GAS LINE

_P__PROPERTY LINE _PP_ POWER POLE

-OH - OYERHEAD ELEC LINE

_S _ SEWER LINE

-W - WATER LINE

THE HOUSE IS TO BE EQUIPPED WITH FIRE SPRINKLERS

SITE NOTES: - NO GRADING PROPOSED

- (E) SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED - (N) DOWNSPOUTS W/ SPLASH BLOCKS TO DIVERT RUNOFF ONTO YEGETATED AREAS

TREE PROTECTION MEASURES WILL BE INSTALLED AROUND ALL PROTECTED TREES AS REQ'D BY SECTION 29.10.1005

NOTE: NO UTILITIES VISIBLE FROM STREET INCLUDING HB'S

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PY SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PY SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWNS ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.70.020 AND 6.120.020.

PROJECT DESCRIPTION

THE NEIGHBORHOOD IS IN A TRANSITION OF RENEWAL AND COMPRISED OF VARYING ARCHITECTURAL STYLES. THE PROJECT WILL BE A NEW DWELLING COMPOSED OF TRADITIONAL AMERICAN FORMS BLENDING AMICABLY INTO IT'S ECLECTIC NEIGHBORHOOD. THIS HOME DESIGN IS APPROPRIATE FOR THE NEIGHBORHOOD- IN MANY WAYS ITS FORM RESEMBLING THE 2 STOREY RIGHT NEXT TO IT AT 120 OLIVE.

SITE PARTICULARS

SITE IS NON-CONFORMING IN BOTH AREA AND DIMENSION APN: 410 15 022 ZONING:RI-D AVG SLOPE: 4% SITE AREA: 3680 SF FAR HOUSE: 0.372 ALLOWED FLOOR AREA: 1369 SF REQUIRED SETBACKS: FRONT= 15', REAR= 20', SIDE'S= 5'

OWNERS

THOMAS \$ MEREDITH REICHERT 118 OLIVE STREET, LOS GATOS, CA 95030 PH: 858 449 4536 EMAIL: THOMASMICHAELREICHERT@GMAIL.COM

AREA SUMMARY

MAIN LEVEL 896 SF 781 SF UPSTAIRS LEVEL TOTAL FLOOR AREA 1677 SF BELOW GROUND LIVING 896 SF 299 SF BELOW GROUND STORAGE GARAGE 299 SF

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Print date 09.23.21 09.01.21 06.15.21 04.26.21

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Revisions:

PRELIM

PLAN CK PRICING SET CONST. SET

Scale : Date: Sheet

EXHIBIT 11

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS COMMENTS STAFF TECHNICAL REVIEW

September 14, 2021 ITEM 2: 118 Olive Street; APN: 410-15-022 hitecture and Site Application S-21-013 Requesting approval for construction of a second story addition to an existing SFR to exceed FAR with reduced setbacks on property zoned R-1D

PROJECT PLANNER: Sean Mullin LAST REVIEWED: August 17, 2021

DEFICIENCIES: (GENERAL)

1) Relocate the existing water meter outside of the Olive Street right-of-way per Condition

<u>DRAFT CONDITIONS</u>:
TO THE SATISFACTION OF THE DIRECTOR OF PARKS AND PUBLIC WORKS:

- 1) GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an Department. The Owner's representative in charge shall be at the job site during all working ours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing
- 2) APPROVAL: This application shall be completed in accordance with all the conditions of development plans. Any changes or modifications to the approved plans or conditions of
- approvals shall be approved by the Town Engineer.

 3) CONSTRUCTION PLAN REQUIREMENTS: Construction drawings shall comply with Section 1 Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.

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review and approval.

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS COMMENTS

- RESTORATION OF PUBLIC IMPROVEMENTS: The Owner or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing
- 5) SITE SUPERVISION: The General Contractor shall provide qualified supervision on the job site at all times during construction. 6) STREET/SIDEWALK CLOSURE: Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on work hours, protective enclosures, or other means to facilitate public access in a safe manner
- 7) INSPECTION FEES: Inspection fees shall be deposited with the Town prior to the issuance of 8) DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the
- approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into 9) PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for
- during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner for review and approval by the Development Review Committee

10) GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: In the event that,

prior to applying for a grading permit. 11) ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly

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TOWN OF LOS GATOS PARKS AND PUBLIC WORKS COMMENTS

- 12) PRECONSTRUCTION MEETING: Prior to issuance of any building permits or the commencement of any site work, the general contractor shall: a) Along with the Owner, attend a pre-construction meeting with the Town Engineer to discuss the project conditions of approval, working hours, site maintenance and other b) Acknowledge in writing that they have read and understand the project conditions of
- approval and will make certain that all project sub-contractors have read and understand them as well prior to commencing any work, and that a copy of the project conditions of approval will be posted on-site at all times during construction. final (i.e. after the 10-day appeal period and no requested appeals being submitted to the Town), the Property Owner shall record a Deed Restriction on each of the parcels in question which prohibits the recording of a Certificate of Compliance until one of the two (2) prerequisite actions occurs prior to the proposed recordation: 1) removal of any structures which cross lot/property lines or 2) the Property Owner successfully obtaining an Architecture & Site approval from the Town of Los Gatos for the demolition of the
- xisting house and construction of a replacement house. 14) WATER METER: The existing water meter, currently located within the Olive Street right-ofway, shall be relocated within the property in question, directly behind the public right-ofway line. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to 15) SIDEWALK REPAIR: The Owner shall repair and replace to existing Town standards any
- sidewalk damaged now or during construction of this project. All new and existing adjacent infrastructure must meet current ADA standards. Sidewalk repair shall match existing color texture and design, and shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of sidewalk repair will be determined by the Engineering Construction Inspector during the construction phase of th project. The improvements must be completed and accepted by the Town before a tificate of Occupancy for any new building can be issued.
- 16) CURB AND GUTTER REPAIR: The Owner shall repair and replace to existing Town standards any curb and gutter damaged now or during construction of this project. All new and existing adjacent infrastructure must meet Town standards. New curb and gutter shall be constructed per Town Standard Details. New concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. The limits of curb and gutter repair will be determined by the Engineering Construction Inspector during the construction phase of the project. The

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PARKS AND PUBLIC WORKS COMMENTS

ccupancy for any new building can be issued. 17) CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-ofway will only be allowed if it does not cause access or safety problems as determined by

improvements must be completed and accepted by the Town before a Certificate of

TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS COMMENTS

- 18) ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with 19) HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or
- p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a building permit, the Owner or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose
- 20) CONSTRUCTION HOURS: All site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction
- hours. Approval of this request is at discretion of the Town. 21) CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.
- 22) CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any building permits the Owner's design consultant shall submit a construction management plan sheet (fullsize) within the plan set that shall incorporate at a minimum the Earth Movement Plan Project Schedule, site security fencing, construction staging area, materials storage area(s) onstruction trailer(s), concrete washout(s) and proposed outhouse locations. Please refe to the Town's Construction Management Plan Guidelines document for additional

23) MAINTENANCE ACCESS: Prior to the issuance of any building permits, the Owner shall propose maintenance access improvements for the Town Engineer to review, comment on,

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TOWN OF LOS GATOS

- and approve. The Engineering Division of the Parks and Public Works Department shall 24) BEST MANAGEMENT PRACTICES (BMPs): The Owner is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop
- 25) SITE DESIGN MEASURES: All projects shall incorporate at least one of the following a) Protect sensitive areas and minimize changes to the natural topography. b) Minimize impervious surface areas. c) Direct roof downspouts to vegetated areas.
- d) Use porous or pervious pavement surfaces on the driveway, at a minimum. e) Use landscaping to treat stormwater. 26) UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks ndustrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle
- 27) LANDSCAPING: In finalizing the landscape plan for the biotreatment area(s), it is recommended that the landscape architect ensure that the characteristics of the selected plants are similar to those of the plants listed for use in bioretention areas in Appendix D o the Santa Clara Valley Urban Runoff Pollution Prevention Program (SCVURPPP) C.3
- 28) DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be presenand in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to

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soil, sand, or other loose debris shall be covered.

areas away from the adjacent residential homes.

wind speeds exceed twenty (20) miles per hour.

building plans, and contract specifications:

speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling

29) AIR QUALITY: To limit the project's construction-related dust and criteria pollutant

emissions, the following the Bay Area Air Quality Management District (BAAQMD)-

a) All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and

unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.

shall be staged off-site until materials are ready for immediate loading and removal

c) All haul trucks transporting soil, sand, debris, or other loose material off-site shall be

d) As practicable, all haul trucks and other large construction equipment shall be staged in

e) All visible mud or dirt track-out onto adjacent public roads shall be removed using wet

power vacuum street sweepers at least once per day, or as deemed appropriate by

Town Engineer. The use of dry power sweeping is prohibited. An on-site track-ou

control device is also recommended to minimize mud and dirt-track-out onto adjacent

Building pads shall be laid as soon as possible after grading unless seeding or soil binders

f) All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.

g) All driveways and sidewalks to be paved shall be completed as soon as possible

h) Post a publicly visible sign with the telephone number and person to contact at the lead

agency regarding dust complaints. This person shall respond and take corrective action

ensure compliance with applicable regulations. Please provide the BAAQMD's

complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).

i) All excavation, grading, and/or demolition activities shall be suspended when average

j) Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in

30) CONSTRUCTION ACTIVITIES: All construction shall conform to the latest requirements of

the CASQA Stormwater Best Management Practices Handbooks for Construction Activities

and New Development and Redevelopment, the Town's grading and erosion control

ordinance, and other generally accepted engineering practices for erosion control as

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required by the Town Engineer when undertaking construction activitie

disturbed areas as soon as possible and watered appropriately until vegetation is

within forty-eight (48) hours. The Air District's phone number shall also be visible to

TOWN OF LOS GATOS PARKS AND PUBLIC WORKS COMMENTS

- 31) SITE DRAINAGE: Rainwater leaders shall be discharged to splash blocks. No through curb storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facility(ies) may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way line(s) if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be dversely affected. No improvements shall obstruct or divert runoff to the detriment of an
- adjacent, downstream or down slope property. 32) SILT AND MUD IN PUBLIC RIGHT-OF-WAY: It is the responsibility of Contractor and homeowner to make sure that all dirt tracked into the public right-of-way is cleaned up on a daily basis. Mud, silt, concrete and other construction debris SHALL NOT be washed into
- the Town's storm drains. 33) GOOD HOUSEKEEPING: Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public ight-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
- an encroachment permit, the Owner shall initiate a weekly neighborhood email notification program to provide project status updates. The email notices shall also be posted on a ulletin board placed in a prominent location along the project perimete 35) COVERED TRUCKS: All trucks transporting materials to and from the site shall be covered.

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TOWN OF LOS GATOS STAFF TECHNICAL REVIEW COMMENTS

STAFF TECHNICAL REVIEW PLANNING DIVISION September 23, 2021

118 Olive Street Architecture and Site Application S-21-013

> Requesting Approval for Demolition of an Existing Single-family residence and Construction of a New Single-family Residence to Exceed Floor Area Ratio Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. APN 410-15-022.

PROPERTY OWNER: Thomas and Meredith Reichert APPLICANT: Jay Plett, Architect

PROJECT PLANNER: Sean Mullin LAST REVIEWED BY STAFF: Third Review

COMMENTS: This Architecture and Site Application submittal is **INCOMPLETE** and requires resubmittal of plans and application materials to address deficiencies noted.

ENVIRONMENTAL: The project appears to be Categorically Exempt pursuant to the adopted Existing Facilities.

MODIFICATIONS TO PLANS

b) The bay window at the office bedroom is not depicted on the front elevation on

GENERAL COMMENTS

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1) Sheet A-1.1: Update the floor area/FAR comparisons table to reflect the revised size of the a) Dimension the depth of the proposed parking space within the garage.

This Architectural and Site application is required to follow the Town's Height Pole and Netting Policy. Height poles and project identification signs will be required prior to the

public notice of any pending approval. Please modify plans per the above comments and resubmit to Planning with a compliance memorandum through the Town's online portal. As part of the resubmittal materials.

please provide a transmittal sheet. The transmittal sheet must list number of items and

TOWN OF LOS GATOS STAFF TECHNICAL REVIEW COMMENTS

- the name of each of the item(s) that are being resubmitted. 5) WELO Review (advisory): If new irrigated landscape areas of 500 square feet or more are proposed with this or future Building Permits, the project will require submittal of a Landscape Documentation Package pursuant to the State's Water Efficient Landscape Ordinance (WELO) prior to issuance of a Building Permit. This is a separate submittal from your Building Permit. A review deposit based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for
- 6) Pursuant to the adopted fee schedule, in the event additional processing services by the Town are required due to changes, modifications, additions, errors, omissions, or discrepancies caused by the applicant of his/her agents or representatives, the applicant shall pay an additional fee as determined by the Director of Community Development to
- 7) Pursuant to the adopted fee schedule, if the requested information from any of the Tech Review Staff is not submitted within 180 days of this meeting, the applicant will be required to pay a fee of 10% of the current application fee at the time the requested information is submitted. Any resubmittal after one year will be processed as a new
- application, subject to new fees. B) Pursuant to the adopted fee schedule, if after three meetings, any additional review is required by the Technical Review Committee and/or DRC, there will be an additional fee

Please resubmit and provide a compliance memorandum showing how all of the deficiencies and general comments have been addressed. PLEASE NOTE THAT COMMENTS/DEFICIENCIES LISTED ABOVE MAY NOT BE AN EXHAUSTIVE LIST OF ALL STAFF TECHNICAL REVIEW COMMENTS OR CONDITIONS.

Sean R. Mullin, AICP Associate Planner SMullin@losgatosca.gov

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TOWN OF LOS GATOS BUILDING DIVISION CONDITIONS OF APPROVAL

September 8, 2021

Architecture and Site Application S-21-013

Requesting Approval for Demolition of an Existing Single-family residence and Construction of a New Single-family Residence to Exceed Floor Area Ratio Standards with Reduced Front and Side Yard Setbacks on Nonconforming Property Zoned R-1D. APN 410-15-022.

PROPERTY OWNER: Thomas M/Meredith A Reichert PROJECT PLANNER: Sean Mullin

1. A comprehensive plan review has not been completed for this project under consideration by the Development Review Committee or Town Council. Advisory Comments may be provided separate building permit application process. Once the Development Review Committee and/o submit complete sets of construction drawings and documents to the Building Counter. No

STAFF TECHNICAL REVIEW

One of the requirements of the Town's newly adopted Energy Reach Code require homes use electricity as the only source of energy for space heating, water heating (including pools and spas), cooking appliances, clothes drying appliances, and other features for bot interior and exterior applications. Please remove all reference to gas appliances and add a note to the cover sheet of the plans stating the following, "This residence will comply with the Town's all electric appliance, electric vehicle and energy storage system requirements in accordance with Town Code Section 6.70.020 and 6.120.020."

DRAFT CONDITIONS: TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Title 24, Parts 1-12, including locally adopted Energy Reach Codes.

family residence. A separate Building Permit is required for the construction of the new single family residence and attached garage. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code. 2. APPLICABLE CODES: The current codes, as amended and adopted by the Town of Los Gatos as of

January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations

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BUILDING DIVISION CONDITIONS OF APPROVAL

3. CONDITIONS OF APPROVAL: The Conditions of Approval must be blue lined in full on the cover with the building permit application detailing how the Conditions of Approval will be addressed 4. BUILDING & SUITE NUMBERS: Submit requests for new building addresses to the Building

livision prior to submitting for the building permit application process

- 5. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42". Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.

 Solls REPORT: A Solls Report, prepared to the satisfaction of the Building Official, containing
- foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils 8. SHORING: Shoring plans and calculations will be required for all excavations which exceed five
- (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations. 9. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. Thi
- certificate shall certify compliance with the recommendations as specified in the Soils Report been prepared according to the approved plans. Horizontal and vertical controls shall be set

b. Finish floor elevation

d. Retaining wall(s) locations and elevations be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet. 11. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed wit adaptability features for single-family residences per Town Resolution 1994-61:

a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future. b. All passage doors shall be at least 32-inch wide doors on the accessible floor level. c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing

no more than 1 inch out of plane with the immediate interior floor level and with an 18 nch clearance at interior strike edge. d. A door buzzer, bell or chime shall be hard wired at primary entrance. backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos

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BUILDING DIVISION CONDITIONS OF APPROVAL

TOWN OF LOS GATOS

PARKS AND PUBLIC WORKS COMMENTS

Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the 3. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies

14. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to nit issuance. Special Inspection forms are available from the Building Division Service unter or online at www.losgatosca.gov/building.

15. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division rvice Counter for a fee of \$2 or at ARC Blueprint for a fee or online at

16. APPROVALS REQUIRED: The project requires the following departments and agencies approva before issuing a building permit: Community Development – Planning Division: (408) 354-6874 Engineering/Parks & Public Works Department: (408) 399-5771 Santa Clara County Fire Department: (408) 378-4010

d. West Valley Sanitation District: (408) 378-2407 e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

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Robert Gray, CBO

rgray@losgatosca.gov

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SANTA CLARA COUNTY FIRE DEPARTMEN

REVIEW No. 21 4035 DEVELOPMENTAL REVIEW COMMENTS Plans and Scope of Review:

The California Fire (CFC) & Building (CBC) Code, 2019 edition, as adopted by the Town of Los Gatos Town Code (LGTC), California Code of Regulations (CCR) and Health & Safety Code. The scope of this project includes the following:

Proposed new 3,171 SF two-story single-family residence with basement and attached garage.

Plans are APPROVED with the following conditions.

This project shall comply with the following:

Plan Review Comments: 1. Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes.

2. Fire Sprinklers Required: (As Noted on Sheet A-1) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing ne- and two-family dwellings when additions are made that increase the building area to more than 3,600 SF whether by increasing the area of the primary residence or by creation of an attached Accessory Dwelling Unit. 2) In all new basements and in existing basements that are expanded by more than 50%. 3) In all attached ADUs, additions or alterations to an existing one- and two-family dwelling that have an existing fire sprinkler system. Exceptions: 1) One or more additions made to a building after January 1, 2011 that does not total more than 1,000 square feet of building area and meets all access and water supply requirements of Chapter 5 and Appendix B and C of the 2019 California Fire Code. This project is categorized as a new dwelling according to scope.

Jay Plett Architect 09/22/2021 1 of 2 LGA 🛛 🗖 🛣 🗖 R-3/U VB PROJECT TYPE OR SYSTEM LOCATION 118 Olive Los Gatos TABULAR FIRE FLOW REDUCTION FOR FIRE SPRINKLERS REQUIRED FIRE FLOW ⊕ 20 PSI

Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga.



SANTA CLARA COUNTY FIRE DEPARTMENT

REVIEW No. 21 4035 DEVELOPMENTAL REVIEW COMMENTS

3. Water Supply Requirements: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7.

4. Address identification: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the fire code official, address numbers shall be provided in additional approved locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. CFC Sec. 505.1. 5. Construction Site Fire Safety: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification S1-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any

Jay Plett Architect 09/22/2021 2 of 2 LGA 🛛 🗆 🛣 🗖 R-3/U VB REDUCTION FOR FIRE SPRINKLERS REQUIRED FIRE FLOW \oplus 20 PSI 500TABULAR FIRE FLOW

Los Altos Hills, Los Gatos, Monte Sereno, and Saratoga

TOWN AND FIRE CONDITIONS OF APPROVAL

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Date:

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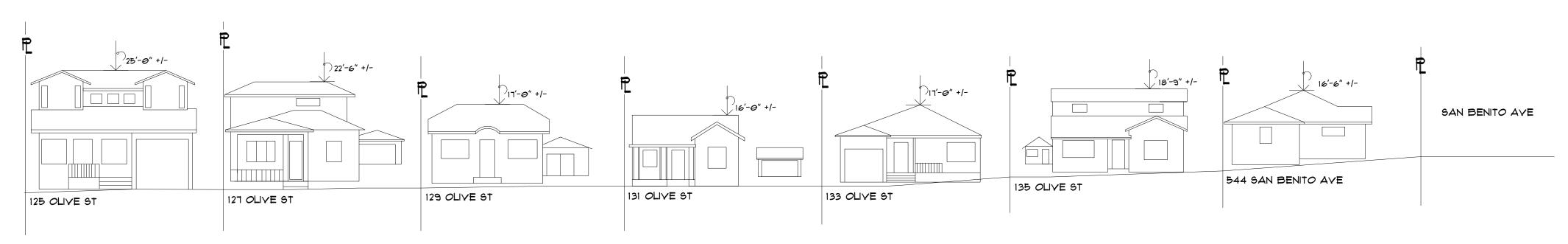
408.354.4551

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213 Bean Avenue

Los Gatos, CA 95030



OLIVE STREET LOOKING ACROSS FROM PROJECT

1/16" = 1'-0"



NEGHBORHOOD PLAN

SAN BENTO AVE | PROJECT | HOUSE | 17-0" +1- | Project | 18 OLIVE ST | 1

OLIVE STREET LOOKING AT PROJECT

FLOOR AREA/FAR COMPARISONS

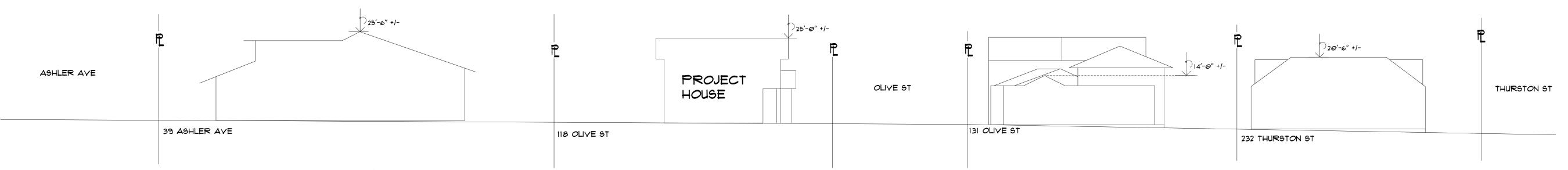
ADDRESS	LOT SIZE	FLR AREA	ALLOWED/OVER FLR AREA	FAR HOUSE	GARAGE (SF)
114 OLIVE ST	3680	1311		0.356	220
116 OLIVE ST	3680	969		0.263	220
120 OLIVE ST	3680	1429	1369/60 SF	0.388	300
135 OLIVE ST	3542	*1699	1326/373 SF	** <i>0</i> .479	0
133 OLIVE ST	3542	975		0.375	190
131 OLIVE ST	3624	1125		0.310	215
129 OLIVE ST	3588	916		<i>0</i> .255	162
127 OLIVE ST	3588	1518	1340/178 SF	0.423(COMP.	FAR) 300
546 SAN BENITO AVE	3680	*1767	1369/398 SF	**0.480	360

PROJECT HOUSE					
118 OLIVE ST	3680	1677	1369/308 SF	0.456	242

ANALYSIS

- *2 NEIGHBOR HOMES HAVE GREATER FLOOR AREA
- ** 2 NEIGHBOR HOMES HAVE GREATER FAR

AS THE STREETSCAPE ILLUSTRATES, THE PROJECT HOUSE BLENDS AMICABLY WITH THE SCALE OF THE NEIGHBORHOOD



NEIGHBORHOOD SECTION A

1/16" = 1'-0"

09.23.21 06.15.21 04.26.21 JAY PLETT

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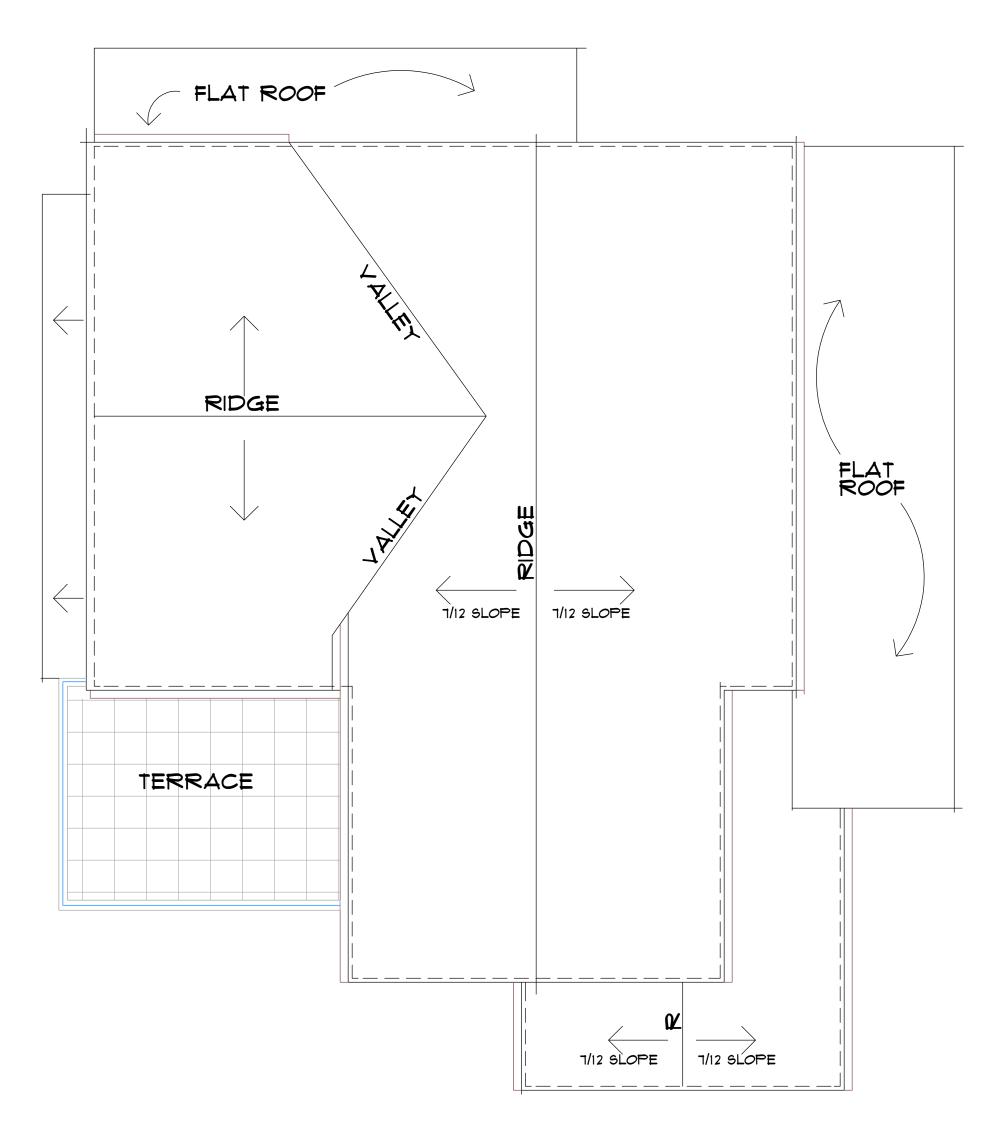
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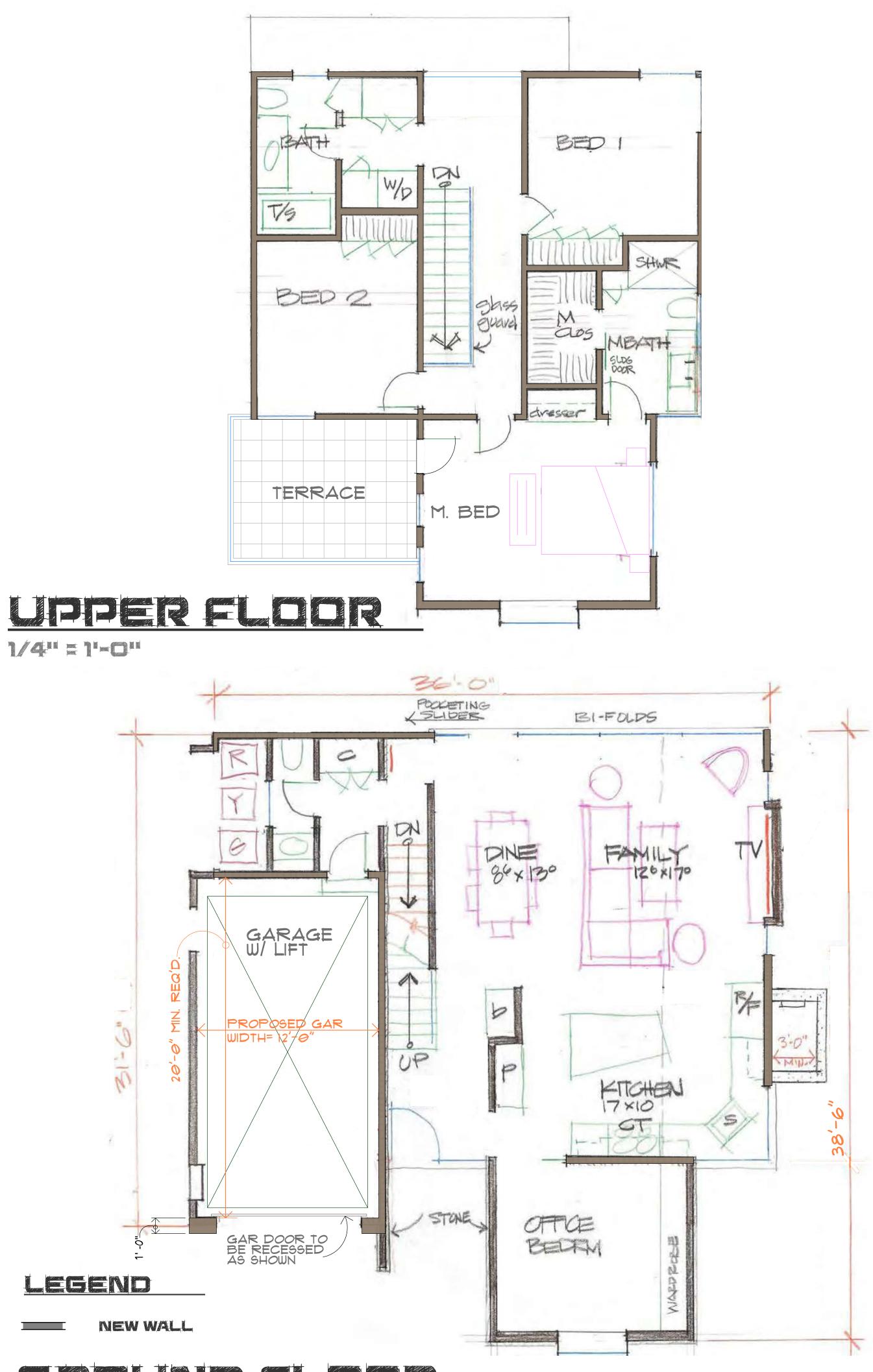
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A-1.



1/4" = 1"-0"



EROUND FLOOR

1/4" = 1"=0"

Print date:

09.23.21

09.01.21

06.15.21

04.26.21

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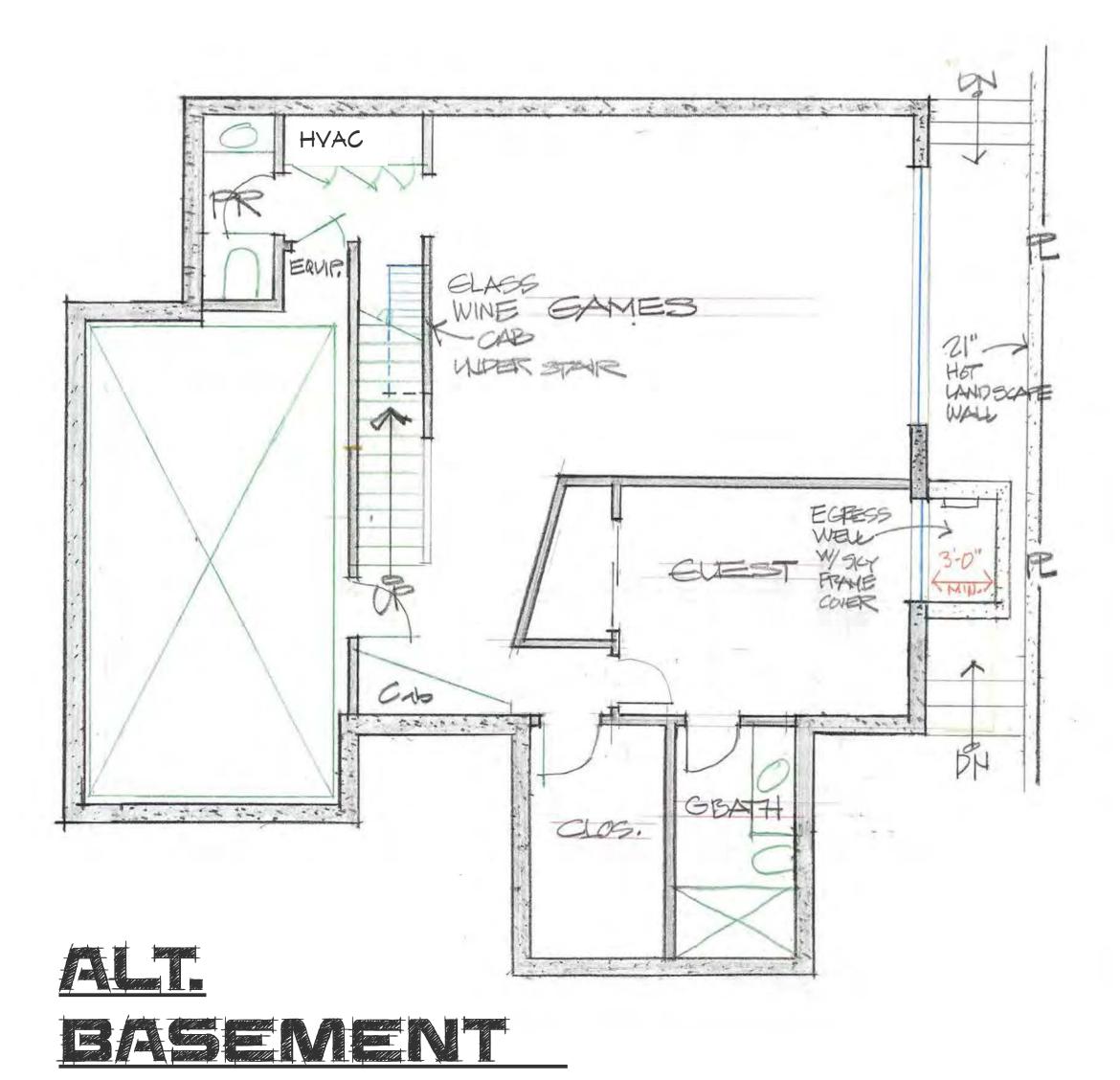
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OFFICE. ground level

1/4" = 1'=0"

attic

HYAC

POCKET POCKET

1/4" = 1"=0"

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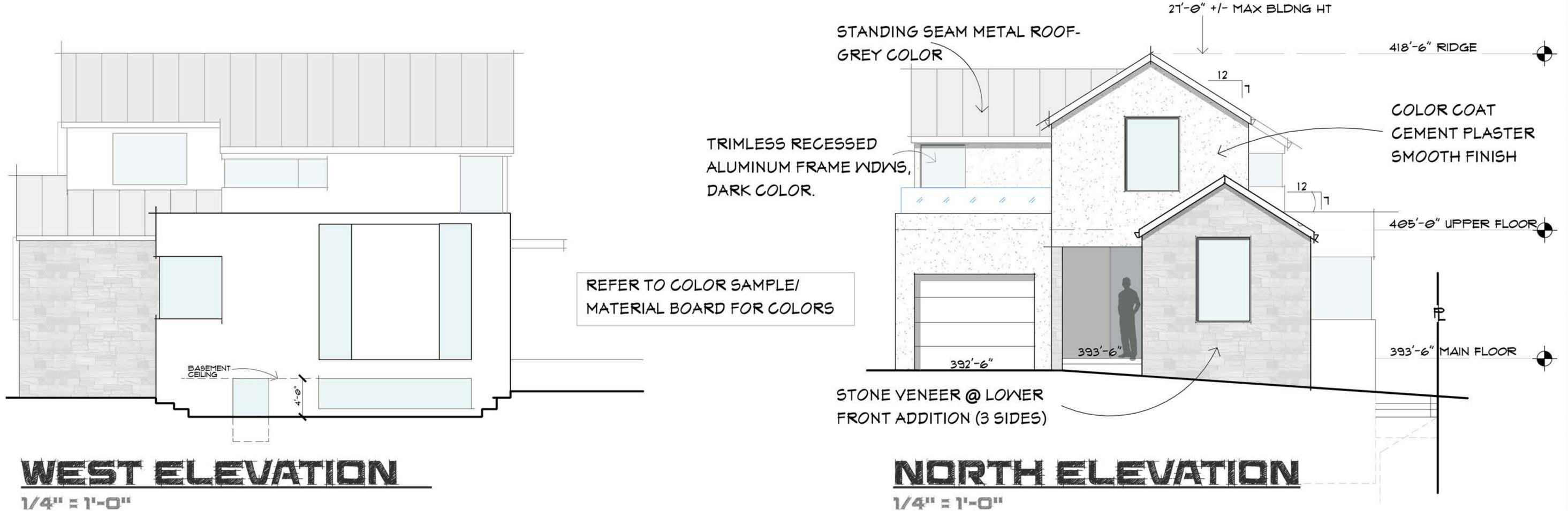
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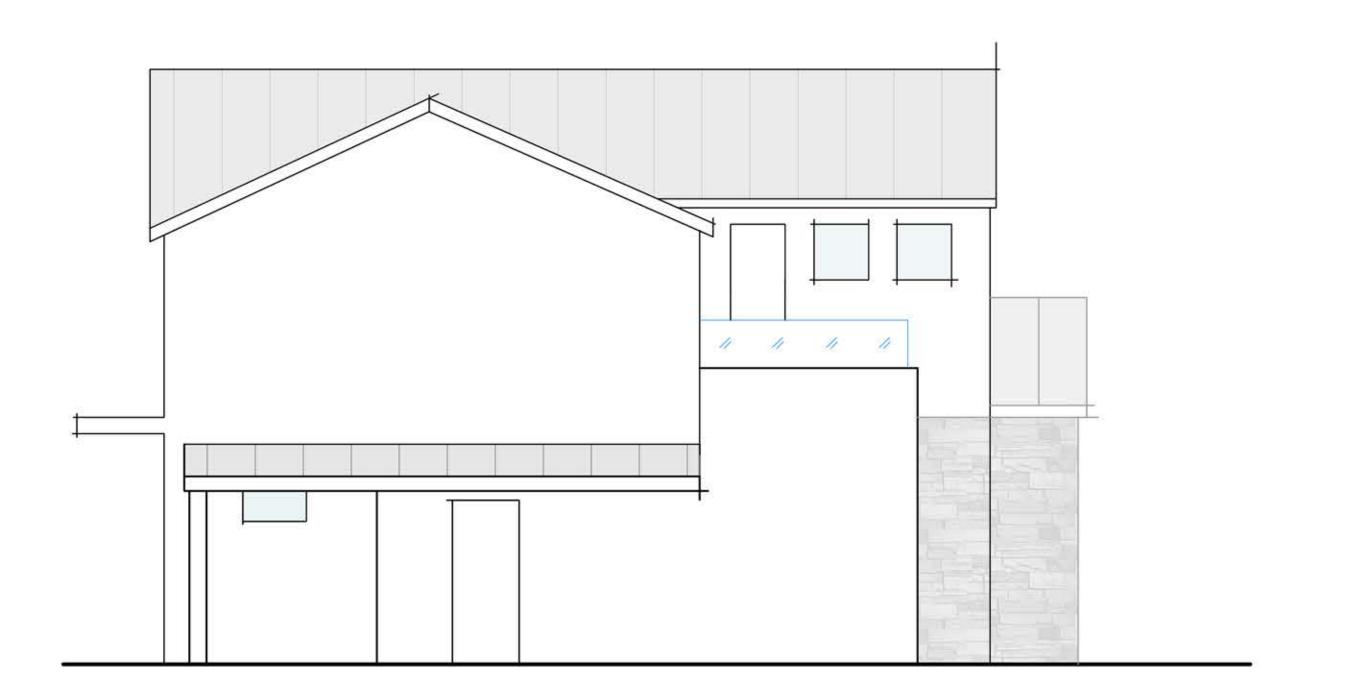
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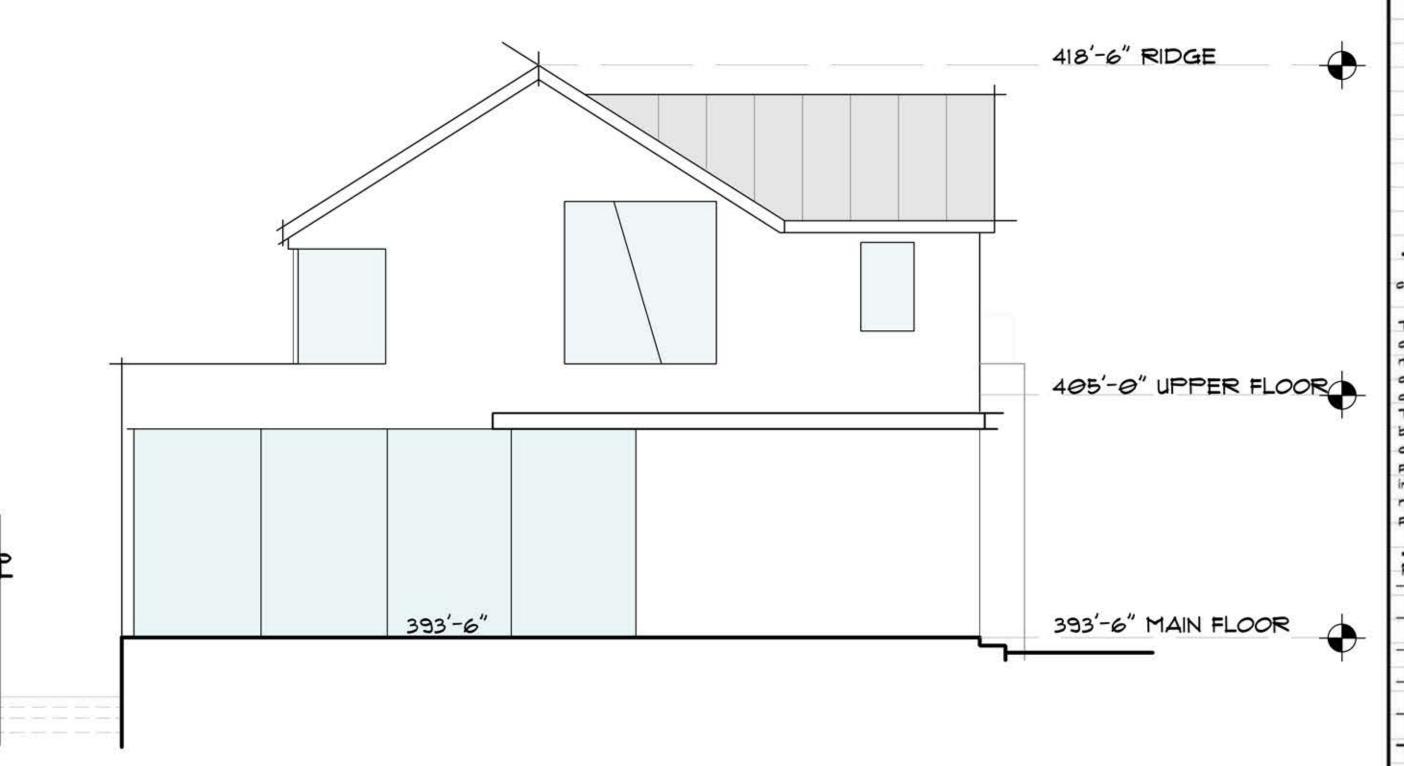
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EAST ELEVATION

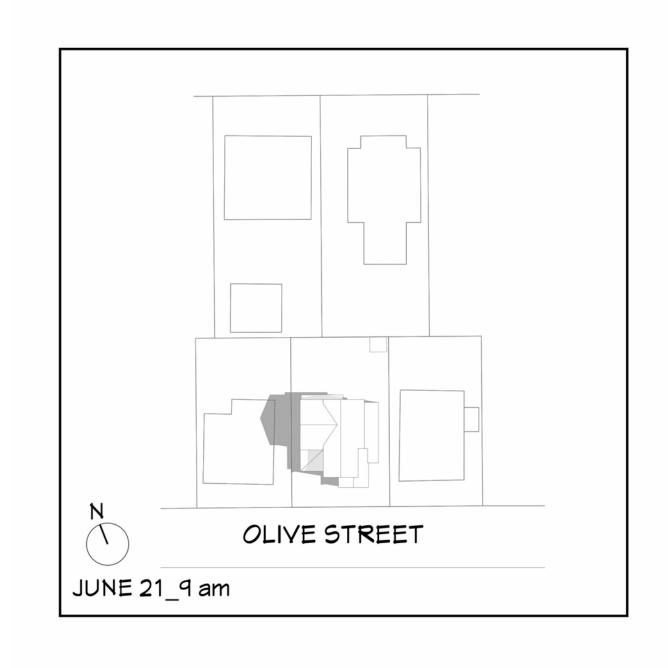
1/4" = 1'-0"

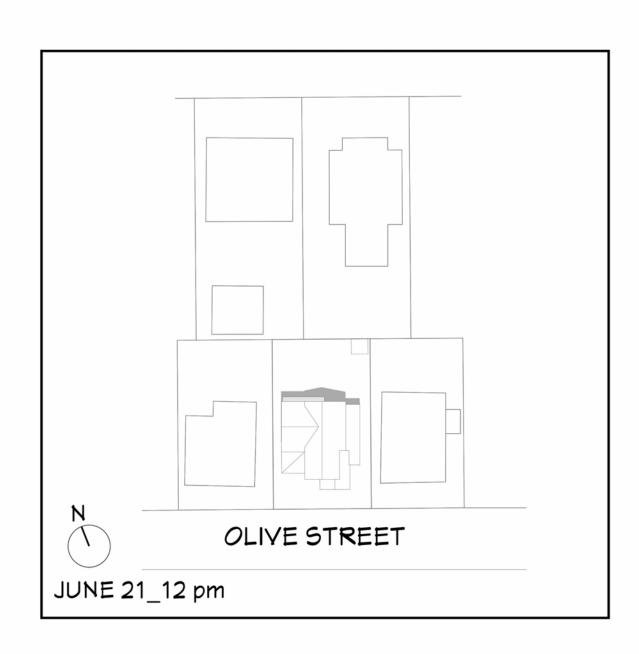


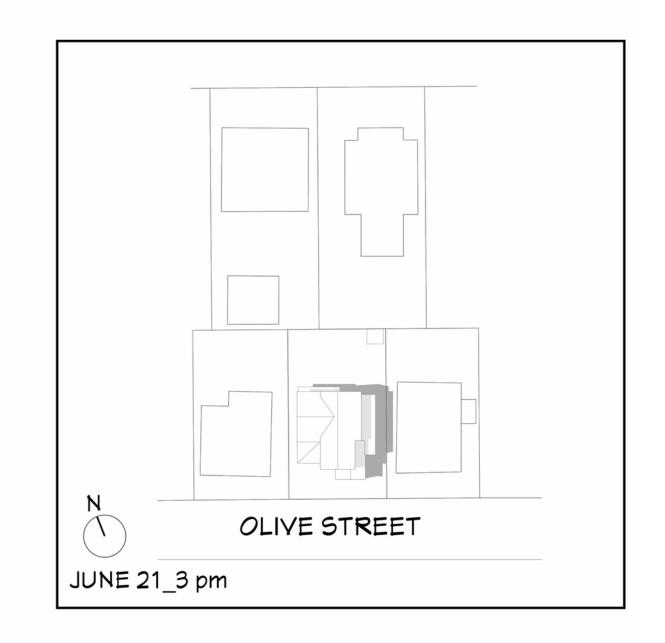
SOUTH ELEVATION

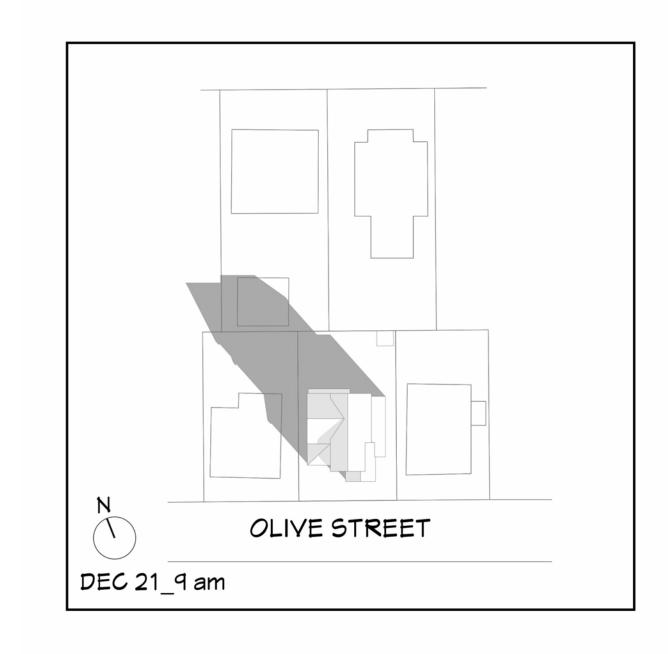
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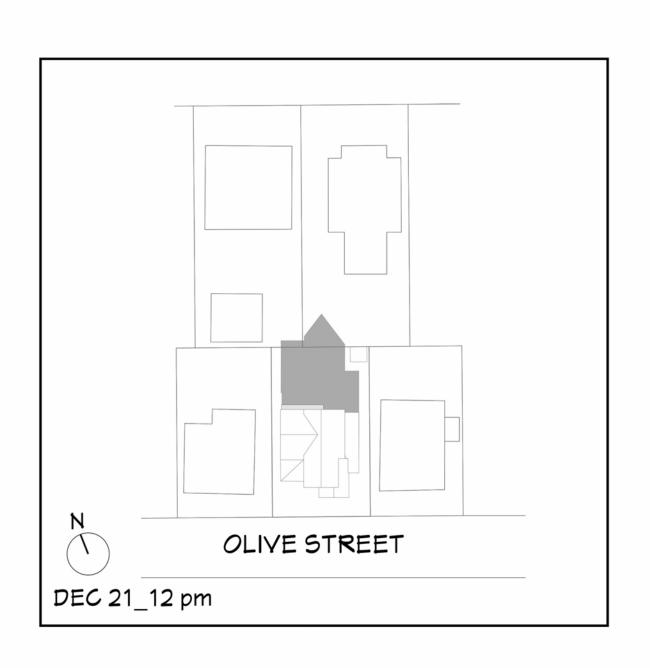
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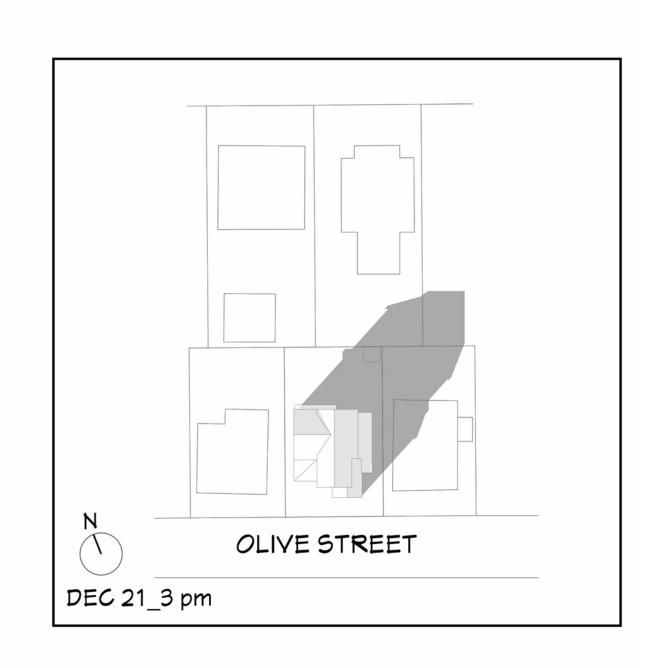












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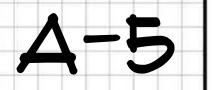
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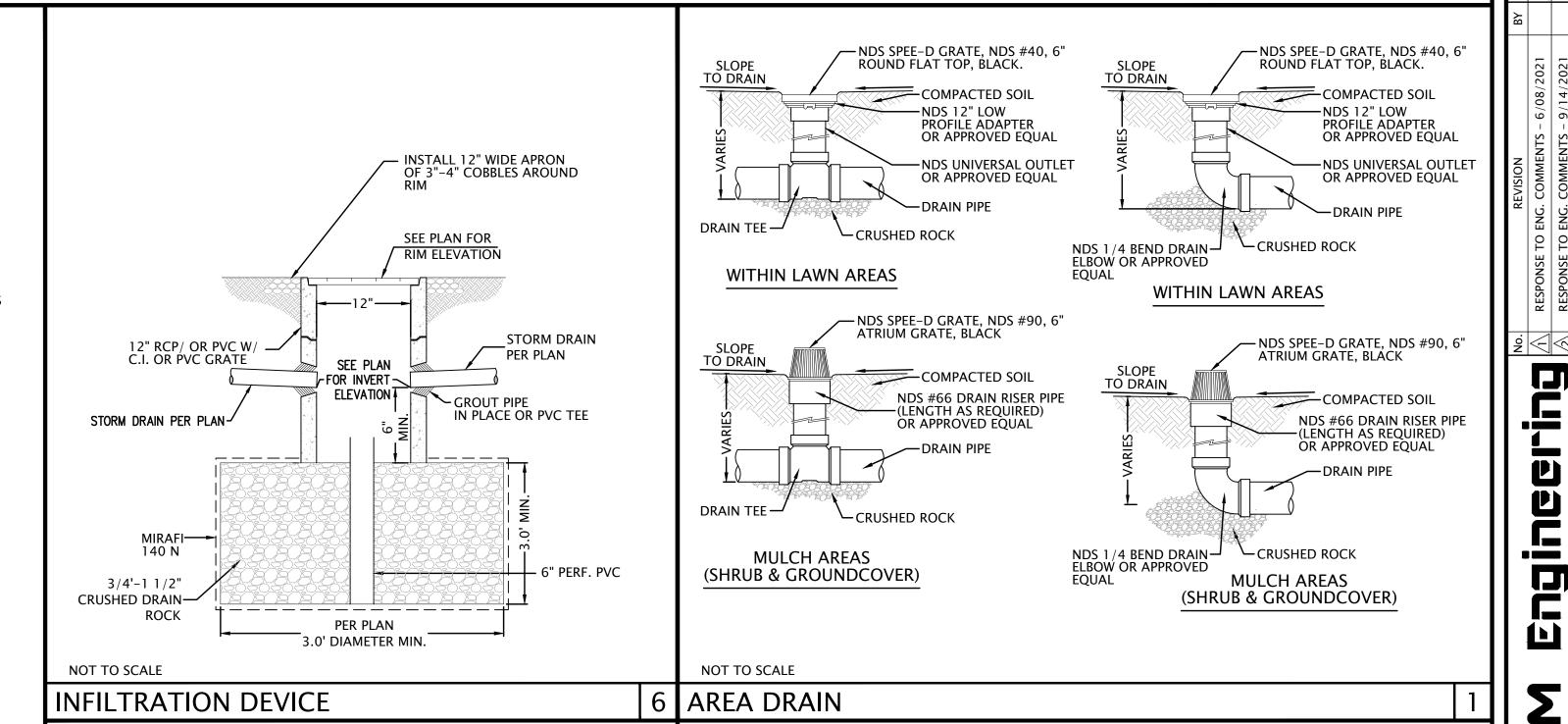
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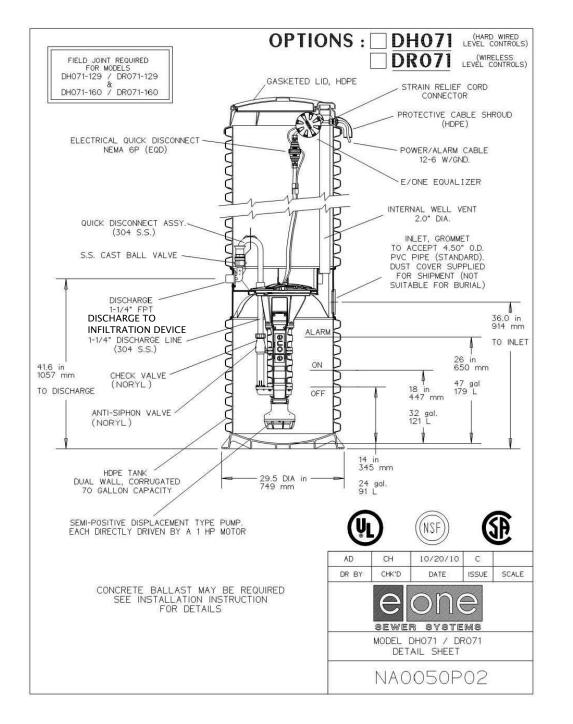


REICHERT ADDITION & REMODEL APN: 410-15-022 118 OLIVE AVENUE, LOS GATOS, CA.

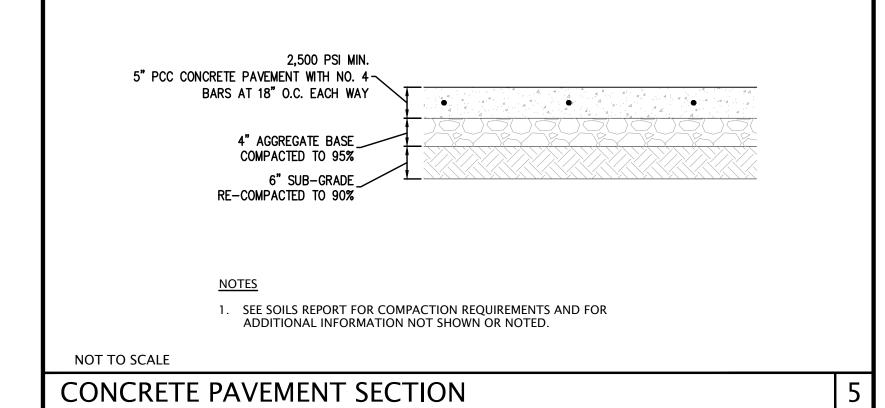
GENERAL NOTES

- I. GENERAL:
- 1. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
- 2. COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION
- 3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
- 4. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM AND SANITARY INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
- SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY GKM ENGINEERS, AT (408) 656-5917 BEFORE ADJUSTING UTILITY DESIGN.
- CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. IF THE CONTRACTOR REQUIRES ASSISTANCE HE SHALL CALL GKM ENGINEERS AT (408) 656-5917 AND REQUEST A SURVEY CREW TO MAKE THE DETERMINATION. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
- 7. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE. NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING.
- 8. STORM DRAIN PIPES DESIGNATED AS "SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 P.V.C. (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL), CLASS HDPE SMOOTH INTERIOR PIPE PER ASTM D3212 (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL) OR DUCTILE IRON PIPE (D.I.P.), IF SPECIFIED ON PLANS. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE (R.C.P.). HDPE AND P.V.C. PIPE SHALL ONLY BE USED WHEN THE MANUFACTURER RECOMMENDATION REQUIREMENTS ARE MET. PIPE MADE OF ANY OTHER MATERIAL MAY BE USED ONLY AFTER APPROVAL OF THE ENGINEER.
- 9. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS. WATER VALVES, FIRE HYDRANTS, TELEPHONE AND ELECTRIC VAULTS AND PULL BOXES THAT LIE WITHIN AREAS EFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
- 10. ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN.
- 11. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
- 12. PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.
- 13. ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY GKM, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. GKM ASSUMES NO LIABILITY FOR THE ACCURACY OF
- 14. WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND PERMITS BEFORE ROUGH GRADING THE SITE, AS REVISIONS TO UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.
- 15. THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE: CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
- 16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
- 17. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY: THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
- 18. WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.
- 19. ALL PIPES SHALL HAVE A MINIMUM COVER OF 3' FROM FINISH GRADE UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- 20. BENCHMARK:_





NOT TO SCALE PUMP STATION





SHEET INDEX

COVER SHEET, DETAILS, & GENERAL NOTES

C1.1 BEST MANAGEMENT PRACTICES

GRADING AND DRAINAGE PLAN

C3.0 EROSION CONTROL PLAN

C4.0 TOPOGRAPHIC SITE SURVEY

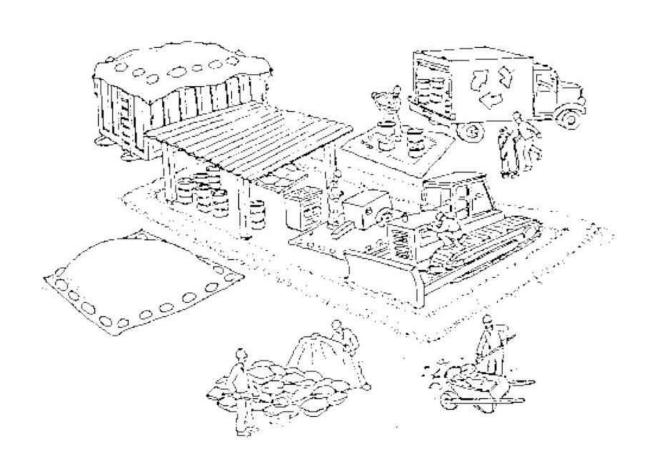


DATE 9/23/202 SCALE AS SHOWN

DRAFTER

DESIGNER

Pollution Prevention — It's Part of the Plan



Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



Materials storage & spill cleanup

Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✔ Be sure to arrange for appropriate disposal of all hazardous wastes.

Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

Vehicle and equipment maintenance & cleaning Inspect vehicles and equipment for leaks

- frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
 If you must clean vehicles or equipment
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street.

 Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.
- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.

Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- Place drip pans or absorbent material under paving equipment when not in use.
- Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.

✓ Do not use water to wash down fresh asphalt concrete pavement.

Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

Painting

- Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.



- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.

B A S M A A Bay Area Stormwater Management Agencies Association (BASMAA)

1-888-BAYWISE

Storm drain polluters may be liable for fines of up to \$10,000 per day!

REVISION

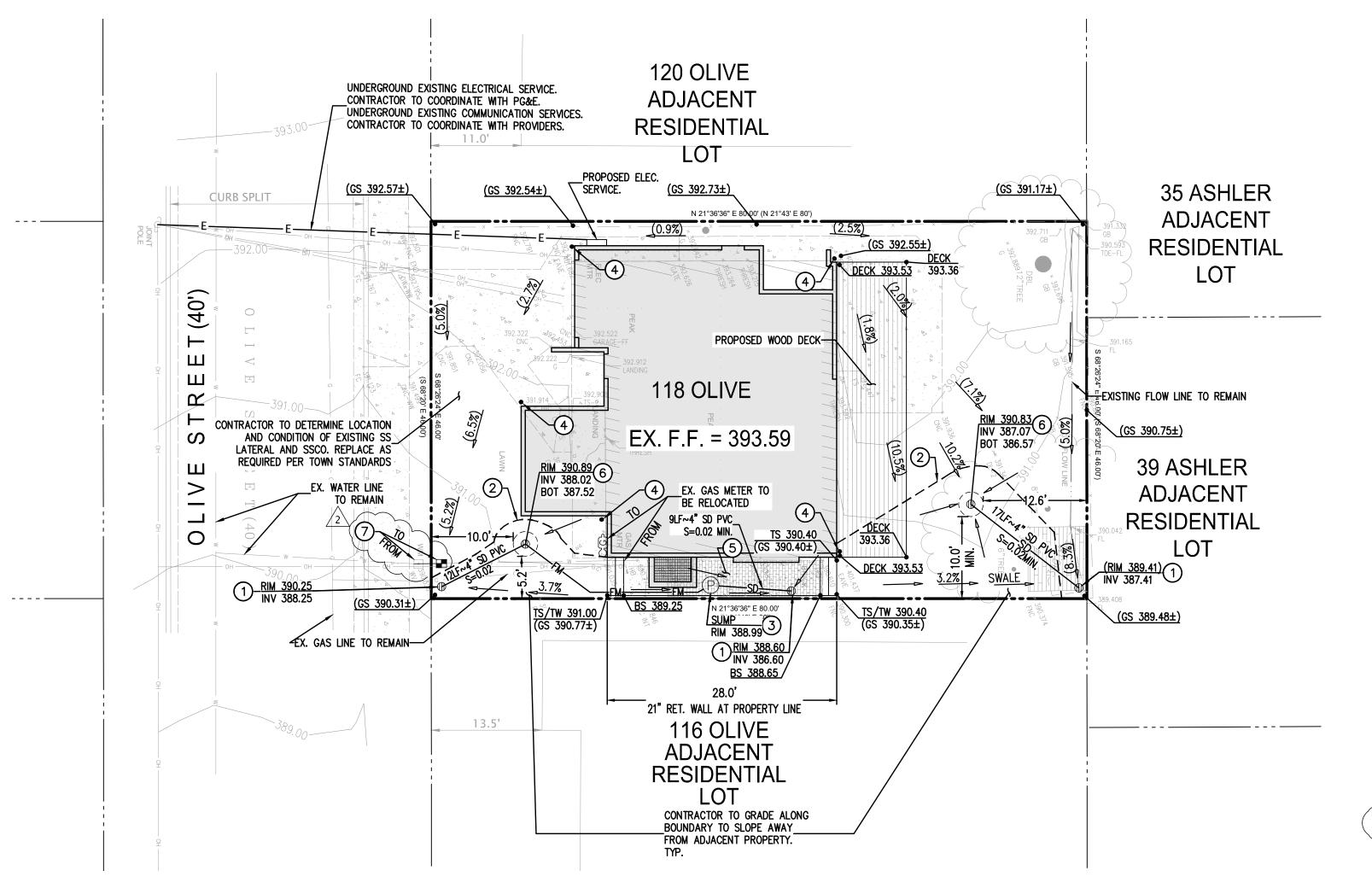
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C. COMMENTS - 9/14/2021

C. COMMENTS - 9/14/2021

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LEGEND

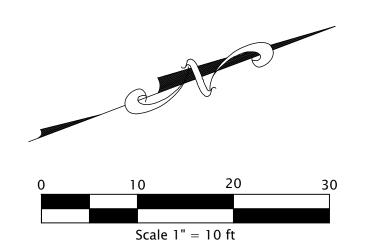
	LIMITS OF GRADING
SD	STORM DRAIN LINE
FM	STORM DRAIN FORCE MAIN LII
————E———	UNDERGROUND ELECTRIC
GS 102.18	SPOT GRADE
GS 102.18 OR (GS 102.18)	EX GRADE
<u>_2%_</u> _	DIRECTION OF FLOW

ABBREVIATIONS

AB AC AD BOT BS C C&G CLR CONC DWY EX. F.F. FF FL FS FYSB GB GS HP ICV	FINISH FLOOR FINISH FLOOR FLOW LINE	IRR L/S MAX MIN MIN. NO. O.C. PV PVC RIM RWL RYSB SD SDCB SDCB SDCO STD. SYSB TS TYP. W/	MAXIMUM MINIMUM MINIMUM NUMBER ON CENTER PAVEMENT POLYVINYL CHLORIDE RIM ELEVATION RAIN WATER LEADER REAR YARD SETBACK STORM DRAIN STORM DRAIN CATCH BASIN STORM DRAIN CLEAN OUT STANDARD SIDE YARD SETBACK TOP OF SLAB
		w/	WILL

EXISTING DIRECTION OF FLOW

•	EARTHWORK QUANTITIES		
	ROUGH GRADING CUT: ROUGH GRADING FILL:	0.9 CUYDS 0.0 CUYDS	
	IMPORT:	0 CUYDS	
	EXPORT:	0.9 CUYDS	



CONSTRUCTION NOTES

1) PROVIDE AREA DRAIN PER DETAIL 1/C1.0.

2 LIMITS OF GRADING

3 PROVIDE STORM DRAIN PUMP PER DETAIL 3/C1.0

4 ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW

(5) CONSTRUCT CONCRETE WALK PER DETAIL 5/C1.0.

PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.

RELOCATE EXISTING WATER METER OUTSIDE OF PUBLIC RIGHT-OF-WAY.

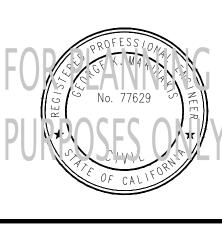
RAINWATER LEADER NOTE

All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

SURVEY NOTE

THIS SURVEY WAS PREPARED BY: ALPHA LAND SURVEYS, INC. 4444 SCOTTS VALLEY DR #7 SCOTTS VALLEY, CA 95066 DATED 3/1/21 JOB#: 2020-065

GKM ENGINEERING IS NOT LIABLE TO THE ACCURACY OF ANY OF THE EXISTING TOPOGRAPHIC, FIXED WORKS, BOUNDARY, AND/OR ENCUMBRANCE INFORMATION SHOWN ON THESE PLANS



REVISION

RESPONSE TO ENG. COMMENTS – 6/08/2021

RESPONSE TO ENG. COMMENTS – 9/14/2021

D PLANNING (408) 656 5917 (hengineering.com

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8 Blvd., Suite 205

032

CIVIL ENGINEE
16185 Los Gatos Bla
Los Gatos, Ca 9503.

IFORNIA

GRADING AND DRAINAGE PLAN
REICHERT ADDITION & REMODEL
APN: 410-15-022
118 OLIVE AVENUE

23/2021

DATE 9/23/2021
SCALE AS SHOWN
DESIGNER GM
DRAFTER GM
JOB A210614
SHEET D 2 2

SHEET C2.0

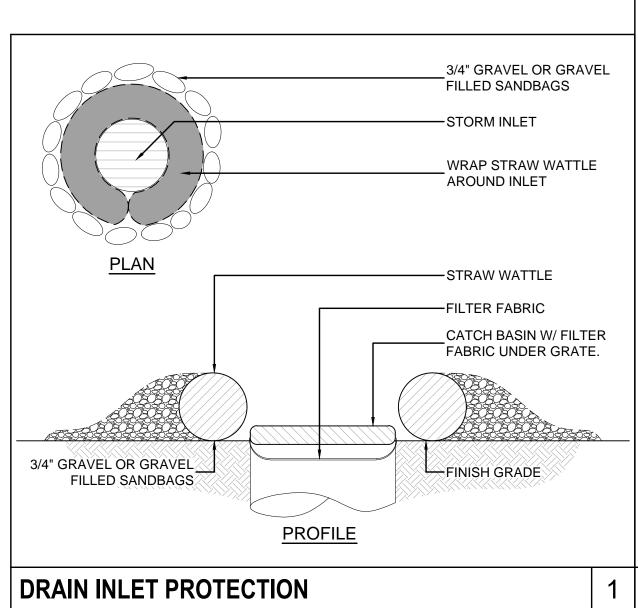
SURVEY NOTE

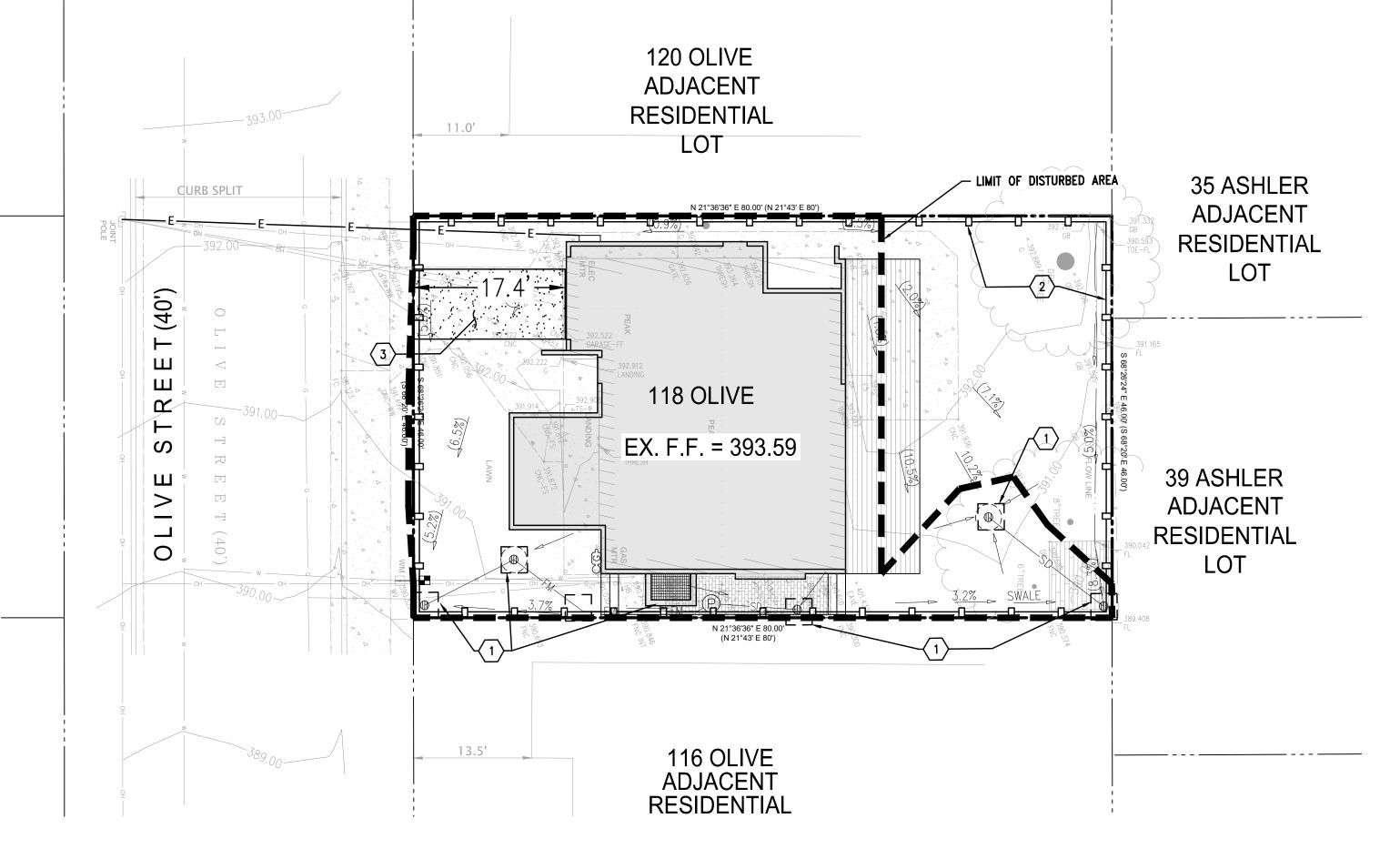
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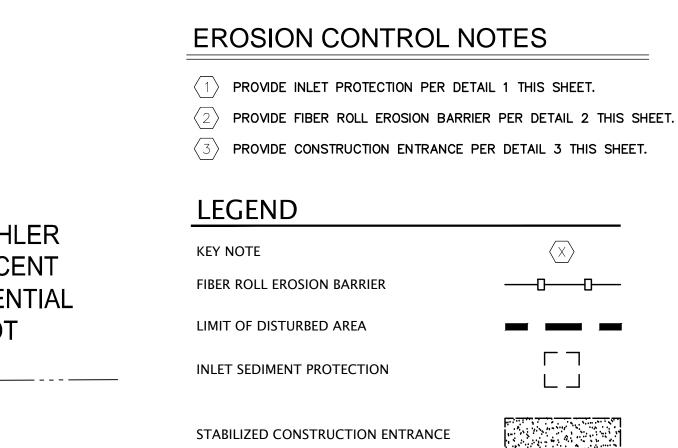
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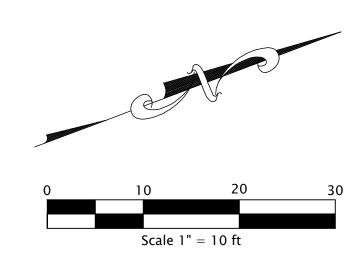
EROSION CONTROL NOTES

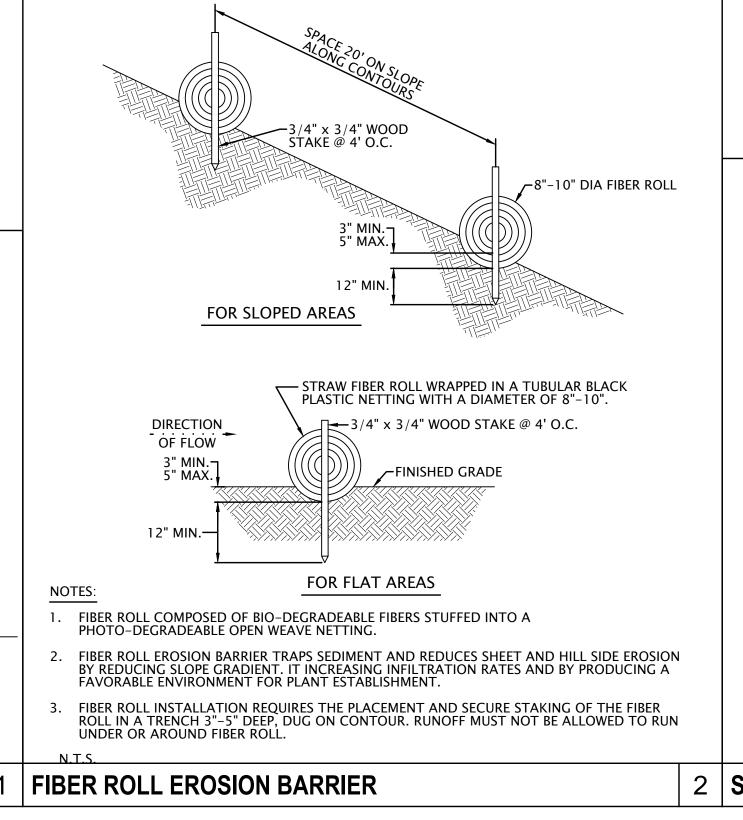
- EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE BY OCTOBER 15 AND SHALL CONTINUE IN EFFECT UNTIL APRIL 15, OR UNTIL INSTALLATION OF THE PERMANENT PROJECT LANDSCAPING AND PAVING.
- 2. CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- 3. A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE. THE CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (GREATER THAN 3" BUT SMALLER THAN 6" IN DIAMETER) AT LEAST TWELVE (12) INCHES THICK BY FIFTY (50) FEET LONG BY TWELVE (12) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
- 4. SEDIMENT TRAPS SHALL BE CONSTRUCTED AND MAINTAINED IN PLACE AROUND EACH STORM INLET AS INDICATED ON THE DEMOLITION PLAN. SEE THE "DRAIN INLET PROTECTION" DETAIL ON THIS SHEET. ALL INLETS WHICH ARE NOT PROTECTED BY SEDIMENT TRAPS SHALL BE COMPLETELY BLOCKED AS LONG AS THE EROSION CONTROL PLAN IS IN EFFECT.
- 5. ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.
- 6. ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS, AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.
- 7. FOLLOWING EACH STORM, THE CONTRACTOR SHALL INSPECT EACH STORM INLET SEDIMENT TRAP TO ASSURE THE INTEGRITY OF THE BASIN AND OUTLET PIPE. ANY DAMAGE TO THESE OR OTHER EROSION CONTROL DEVICES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
- 8. AS SOON AS PRACTICABLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAP BASIN AND SHALL CLEAR THE OUTLET PIPE OF ANY BLOCKAGE.
- 9. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.

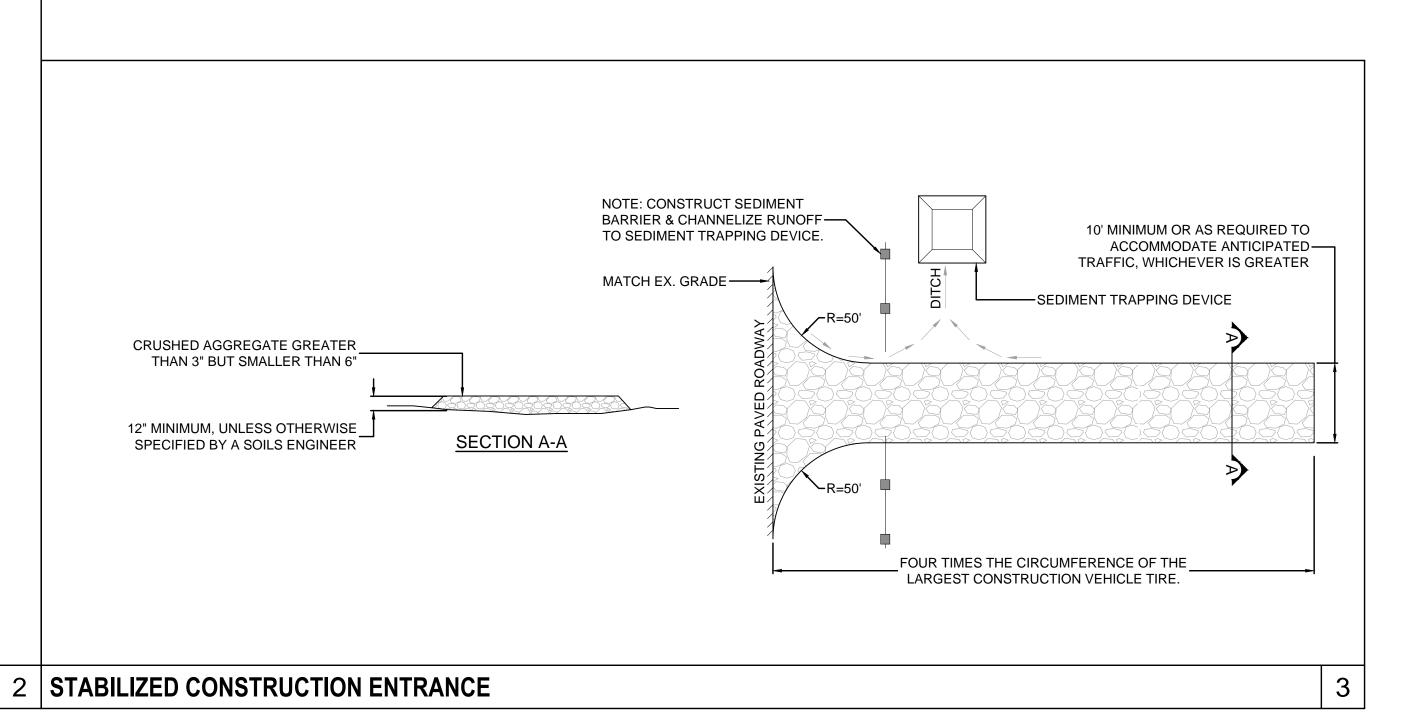














REVISION

RESPONSE TO ENG. COMMENTS - 6/08/20

RESPONSE TO ENG. COMMENTS - 9/14/20

S917

S917

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EROSION CONTROL PLAN SICHERT ADDITION & REMOD APN: 410–15–022

DATE 9/23/2021
SCALE AS SHOWN
DESIGNER GM
DRAFTER GM

DESIGNER GM
DRAFTER GM
JOB A210614
SHEET C3.0

S 68'26'24" E 46.00' (S 68'20' E 46.00') FLOW LINE 390.0 6"TREE GAS MTR S 68°26'24" E 46.00' (S 68°20' E 46.00') WM + 390.33 × 392.50 WW-FNC END O L I V E S T R E E T (40') CURB SPLIT

ELEVATION DATUM

ELEVATIONS ARE DERIVED FROM A GPS READING AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, ELEVATIONS HAVE NOT BEEN TIED TO A PUBLISHED BENCHMARK.

<u>REFERENCES</u>

(A) U-M-49

(B) 328-M-42

(C) DOC# 24808153

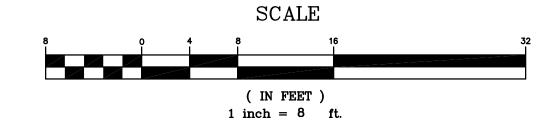
BASIS OF BEARINGS

BEARINGS ARE BASED UPON THE CENTER LINE OF FANCHER COURT AS SHOWN ON THAT CERTAIN MAP RECORDED IN BOOK 328 OF MAPS AT PAGE 42, SANTA CLARA COUNTY RECORDS

NORTH 60° 56' 16" WEST

<u>NOTES</u>

A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EASEMENTS SHOWN, IF ANY, ARE COMPILED FROM RECORD MAPS AND THE CURRENT DEED FOR THE PROPERTY. THERE MAY BE ADDITIONAL EASEMENTS THAT BURDEN OR BENEFIT THE SUBJECT PROPERTY THAT WOULD ONLY BE REVEALED ON A TITLE REPORT.





1" = 8' DATE: 3/1/21

JEAN-PAUL HAPPEE, PLS 8807

ALPH	IA LAND S	URVEYS, INC.
4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438–4453	TOPOGRAPHIC MAP OF 118 OLIVE STREET TOWN OF LOS CATOS

JOB#: 2020-065

PARCEL DATA:

ABBREVIATIONS

410-15-022

PUE - PUBLIC UTILITY EASEMENT WCE - WIRE CLEARANCE EASEMENT SDE - STORM DRAIN EASAEMENT ICV — IRRIGATION CONTROL VALVE

AE — ANCHOR EASEMENT

FS - FACE OF STEPS TS - TOP OF STEPS GB — GRADE BREAK HB - HOSE BIB

OH — OVERHEAD UTILITY LINES

3,680 SF +/-

118 OLIVE STREET TOWN OF LOS GATOS SANTA CLARA COUNTY

SHEET C4.0