

# SITE PLAN

1/8" = 1'-0"

## ABBREVIATION & SYMBOL LEGEND

- (E) EXISTING
- (P) PROPOSED
- FY9B FRONT YARD SET BACK
- RY9B REAR YARD SET BACK
- SY9B SIDE YARD SET BACK
- G- GAS LINE
- P- PROPERTY LINE
- PP- POWER POLE
- OH- OVERHEAD ELEC LINE
- S- SEWER LINE
- W- WATER LINE

THE HOUSE IS TO BE EQUIPPED WITH FIRE SPRINKLERS

SITE NOTES:  
 - NO GRADING PROPOSED  
 - (E) SITE DRAINAGE PATTERNS TO REMAIN UNCHANGED  
 - (N) DOWNSPOUTS W/ SPLASH BLOCKS TO DIVERT RUNOFF ONTO VEGETATED AREAS

TREE PROTECTION MEASURES WILL BE INSTALLED AROUND ALL PROTECTED TREES AS REQ'D BY SECTION 23.10.1005

NOTE: NO UTILITIES VISIBLE FROM STREET INCLUDING HB'S

A SEPARATE BUILDING PERMIT IS REQUIRED FOR THE PV SYSTEM THAT IS REQUIRED BY THE ENERGY CALCULATIONS COMPLIANCE MODELING. THE SEPARATE PV SYSTEM PERMIT MUST BE FINALED PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY

THIS RESIDENCE WILL COMPLY WITH THE TOWNS ALL ELECTRIC APPLIANCE, ELECTRIC VEHICLE AND ENERGY STORAGE SYSTEM REQUIREMENTS IN ACCORDANCE WITH TOWN CODE SECTION 6.10.020 AND 6.120.020.

## PROJECT DESCRIPTION

THE NEIGHBORHOOD IS IN A TRANSITION OF RENEWAL AND COMPRISED OF VARYING ARCHITECTURAL STYLES. THE PROJECT WILL BE A NEW DWELLING COMPOSED OF TRADITIONAL AMERICAN FORMS BLENDING AMICABLY INTO IT'S ECLECTIC NEIGHBORHOOD. THIS HOME DESIGN IS APPROPRIATE FOR THE NEIGHBORHOOD- IN MANY WAYS ITS FORM RESEMBLING THE 2 STOREY RIGHT NEXT TO IT AT 120 OLIVE.

## SITE PARTICULARS

SITE IS NON-CONFORMING IN BOTH AREA AND DIMENSION  
 APN: 410 15 022  
 ZONING: RI-D  
 AVG SLOPE: 4%  
 SITE AREA: 3680 SF  
 FAR HOUSE: 0.312  
 ALLOWED FLOOR AREA: 1369 SF  
 REQUIRED SETBACKS: FRONT= 15', REAR= 20', SIDE'S= 5'

## OWNERS

THOMAS & MEREDITH REICHERT  
 118 OLIVE STREET, LOS GATOS, CA 95030  
 PH: 858 449 4536  
 EMAIL: THOMASMICHAELREICHERT@GMAIL.COM

## AREA SUMMARY

MAIN LEVEL	896 SF
UPSTAIRS LEVEL	781 SF
TOTAL FLOOR AREA	1677 SF
BELOW GROUND LIVING	896 SF
BELOW GROUND STORAGE	299 SF
GARAGE	299 SF

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Print date :

- 09.23.21
- 09.01.21
- 06.15.21
- 04.26.21

JAY PLETT ARCHITECT

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 www.plett-arc.com  
 213 Bean Avenue  
 Los Gatos, CA 95030

**REICHERT HOME**  
**REMODEL & ADDITION**  
**118 OLIVE**  
**APN: 410 15 022**

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Revisions :

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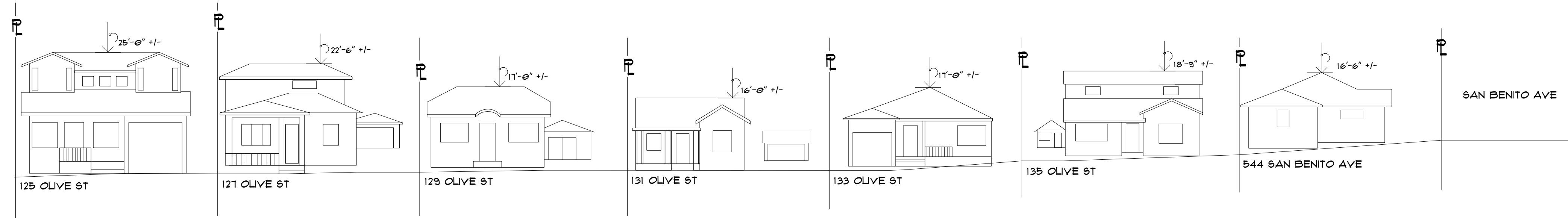
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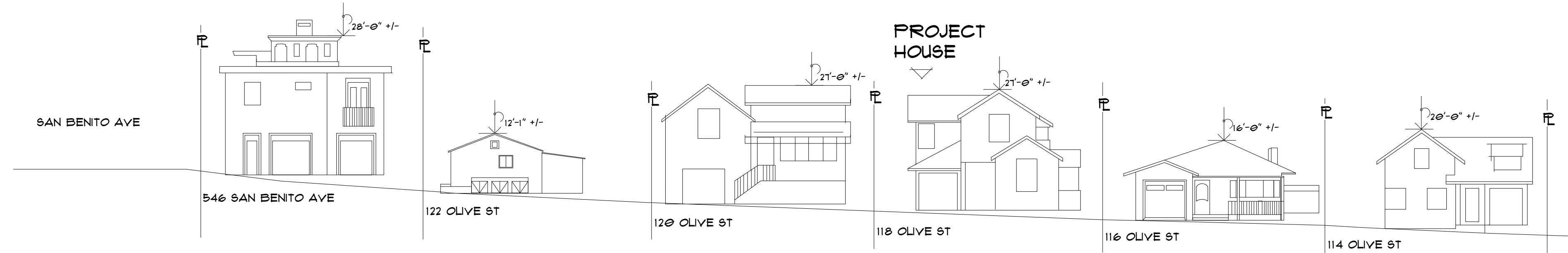
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 EXHIBIT 11





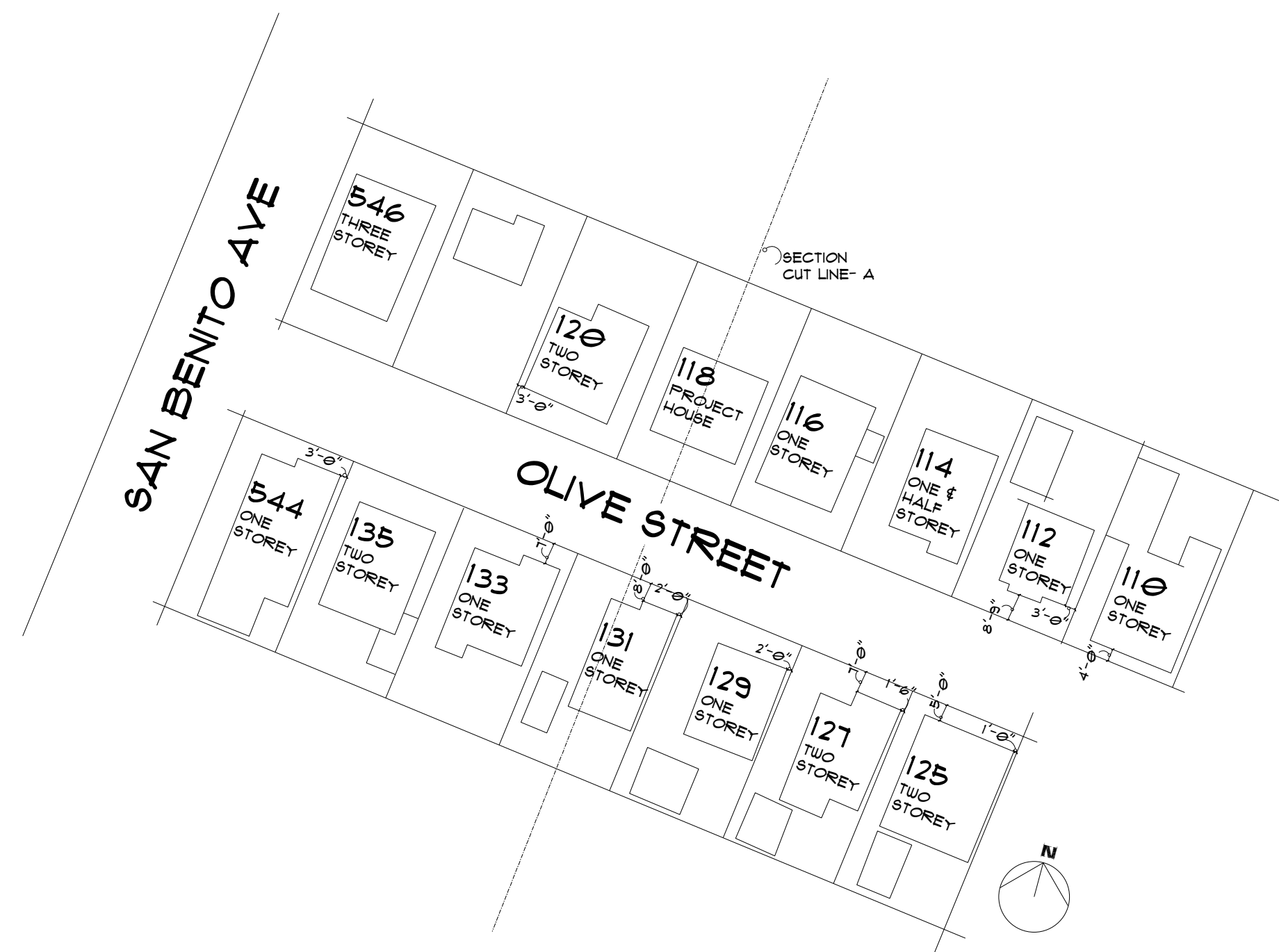
**OLIVE STREET LOOKING ACROSS FROM PROJECT**

1/16" = 1'-0"



**OLIVE STREET LOOKING AT PROJECT**

1/16" = 1'-0"



**FLOOR AREA/FAR COMPARISONS**

ADDRESS	LOT SIZE	FLR AREA	ALLOWED/OVER FLR AREA	FAR HOUSE	GARAGE (SF)
114 OLIVE ST	3680	1311		0.356	220
116 OLIVE ST	3680	969		0.263	220
120 OLIVE ST	3680	1429	1369/60 SF	0.388	300
135 OLIVE ST	3542	*1699	1326/373 SF	**0.479	0
133 OLIVE ST	3542	975		0.375	190
131 OLIVE ST	3624	1125		0.310	215
129 OLIVE ST	3588	916		0.255	162
127 OLIVE ST	3588	1518	1340/178 SF	0.423(COMP. FAR)	300
546 SAN BENITO AVE	3680	*1767	1369/398 SF	**0.480	360

**NEIGHBORHOOD PLAN**

1" = 50'

**PROJECT HOUSE**

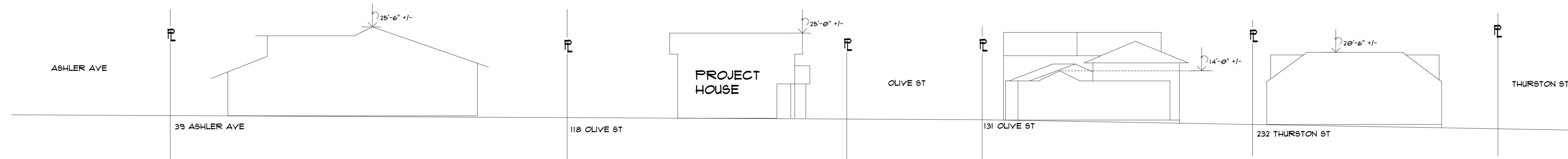
118 OLIVE ST	3680	1677	1369/308 SF	0.456	242
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**ANALYSIS**

\*2 NEIGHBOR HOMES HAVE GREATER FLOOR AREA

\*\* 2 NEIGHBOR HOMES HAVE GREATER FAR

AS THE STREETSCAPE ILLUSTRATES, THE PROJECT HOUSE BLENDS AMICABLY WITH THE SCALE OF THE NEIGHBORHOOD



**NEIGHBORHOOD SECTION-A**

1/16" = 1'-0"

**REICHERT HOME**  
**REMODEL & ADDITION**  
**118 OLIVE**  
**APN: 410 15 022**

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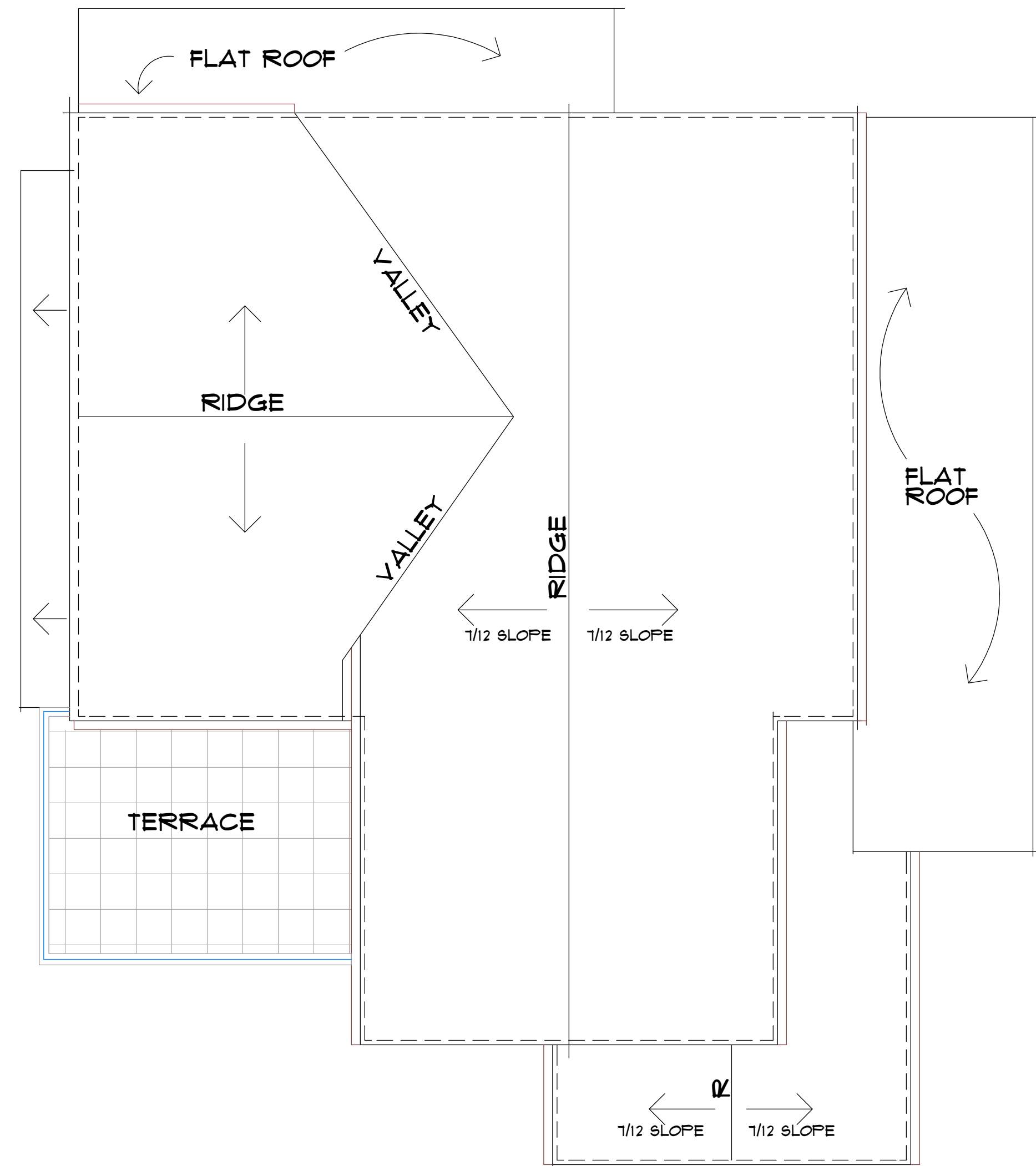
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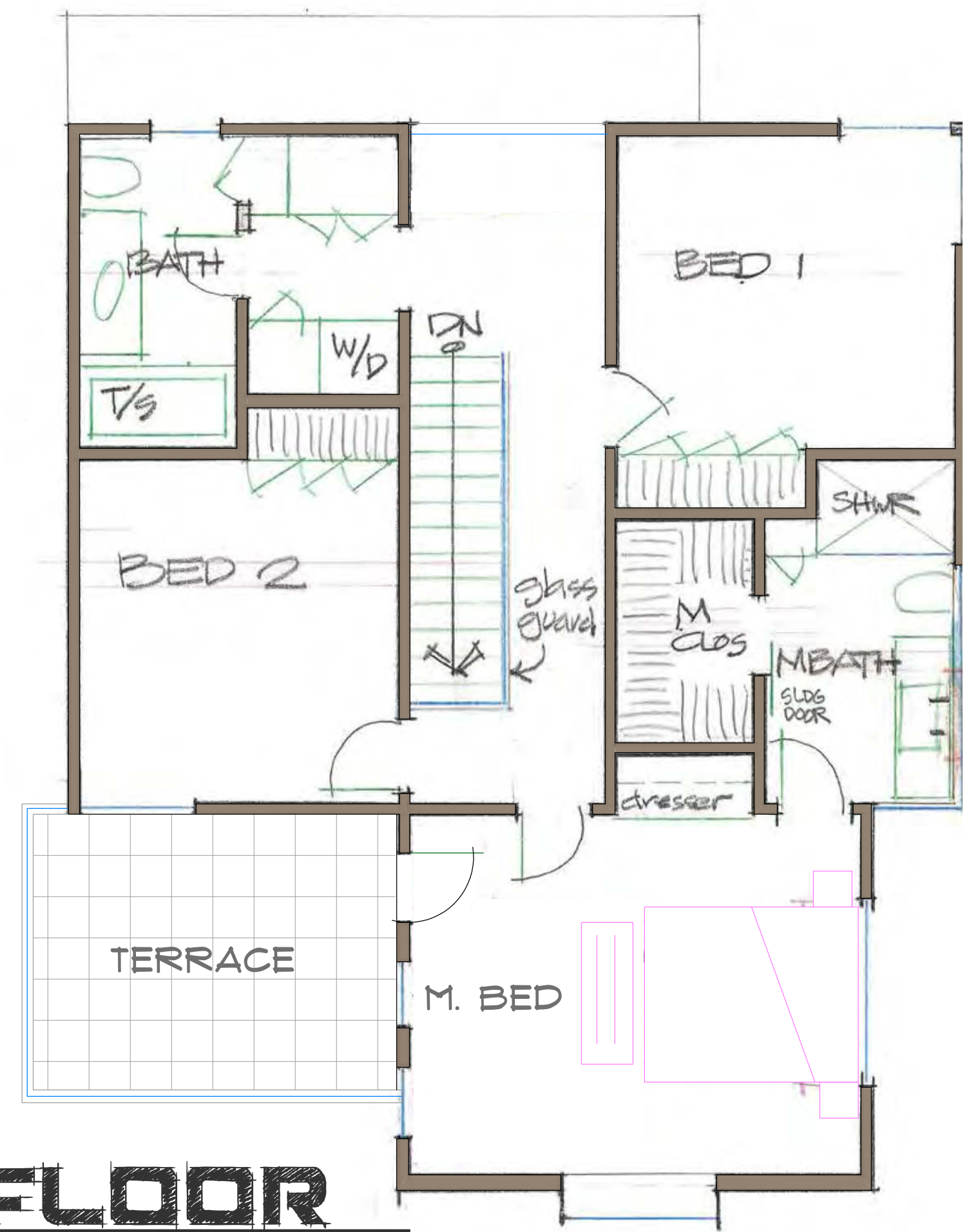
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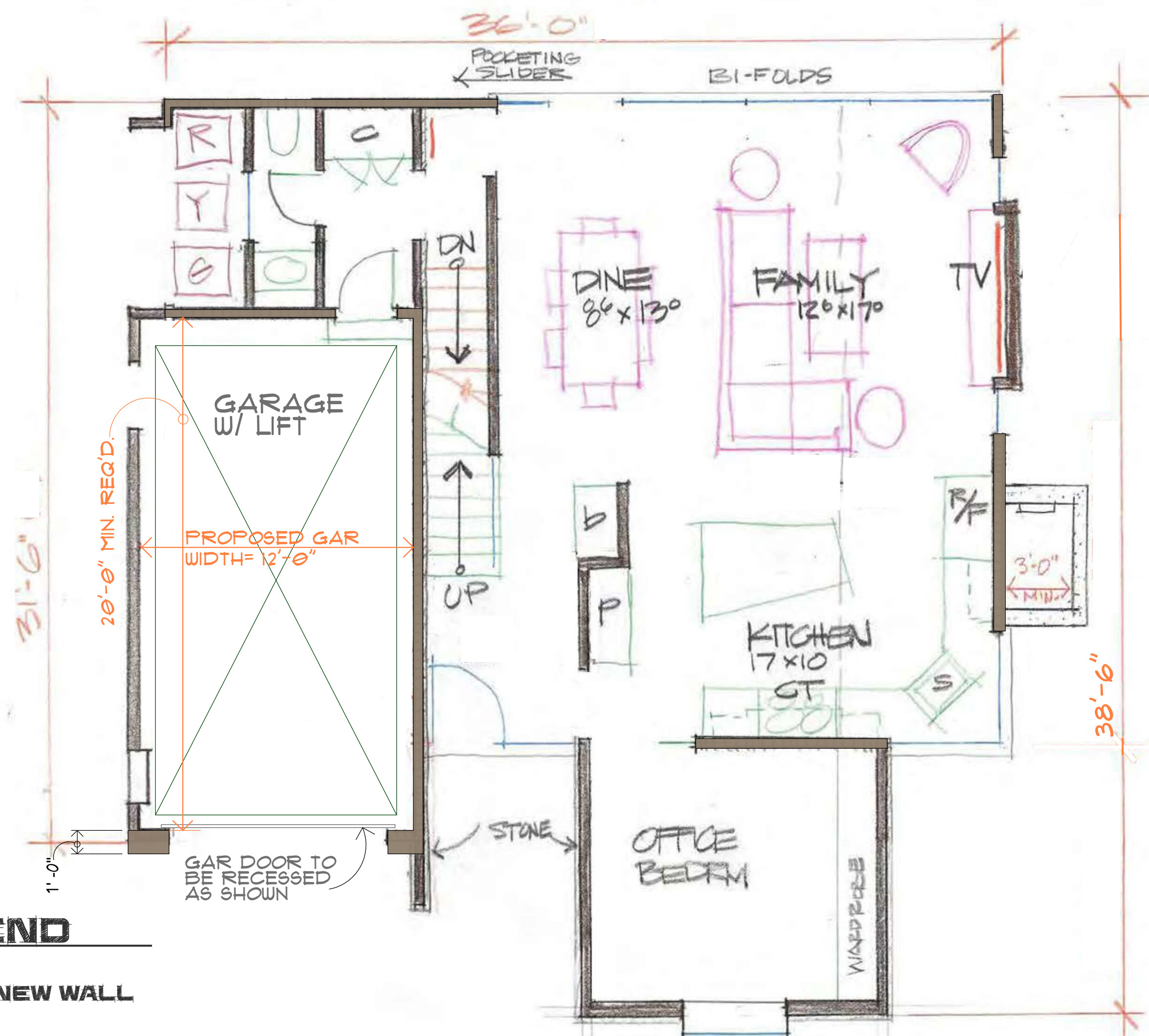
**A-1.1**



**ROOF PLAN**  
1/4" = 1'-0"



**UPPER FLOOR**  
1/4" = 1'-0"



**LEGEND**  
— NEW WALL

**GROUND FLOOR**  
1/4" = 1'-0"

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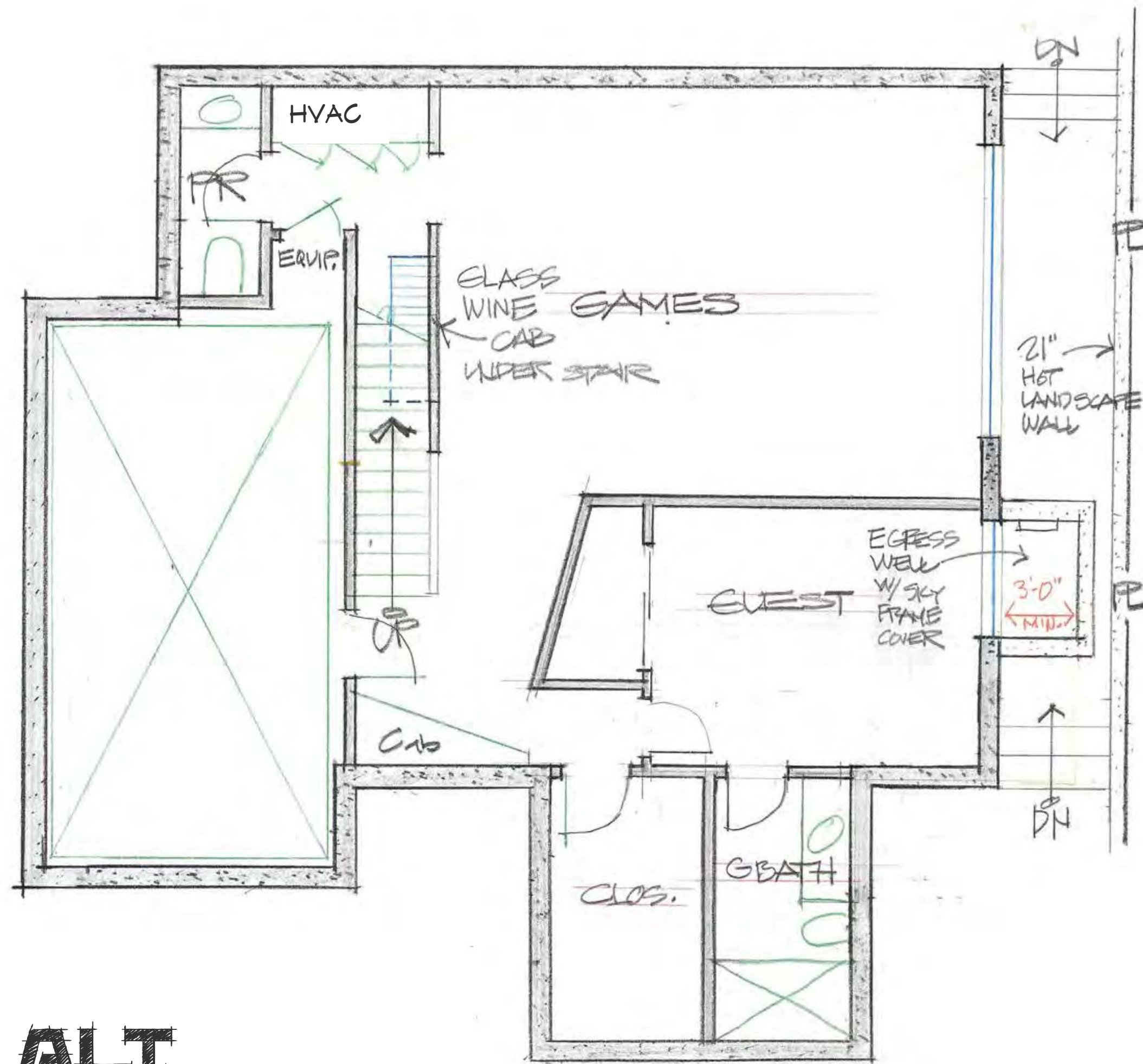
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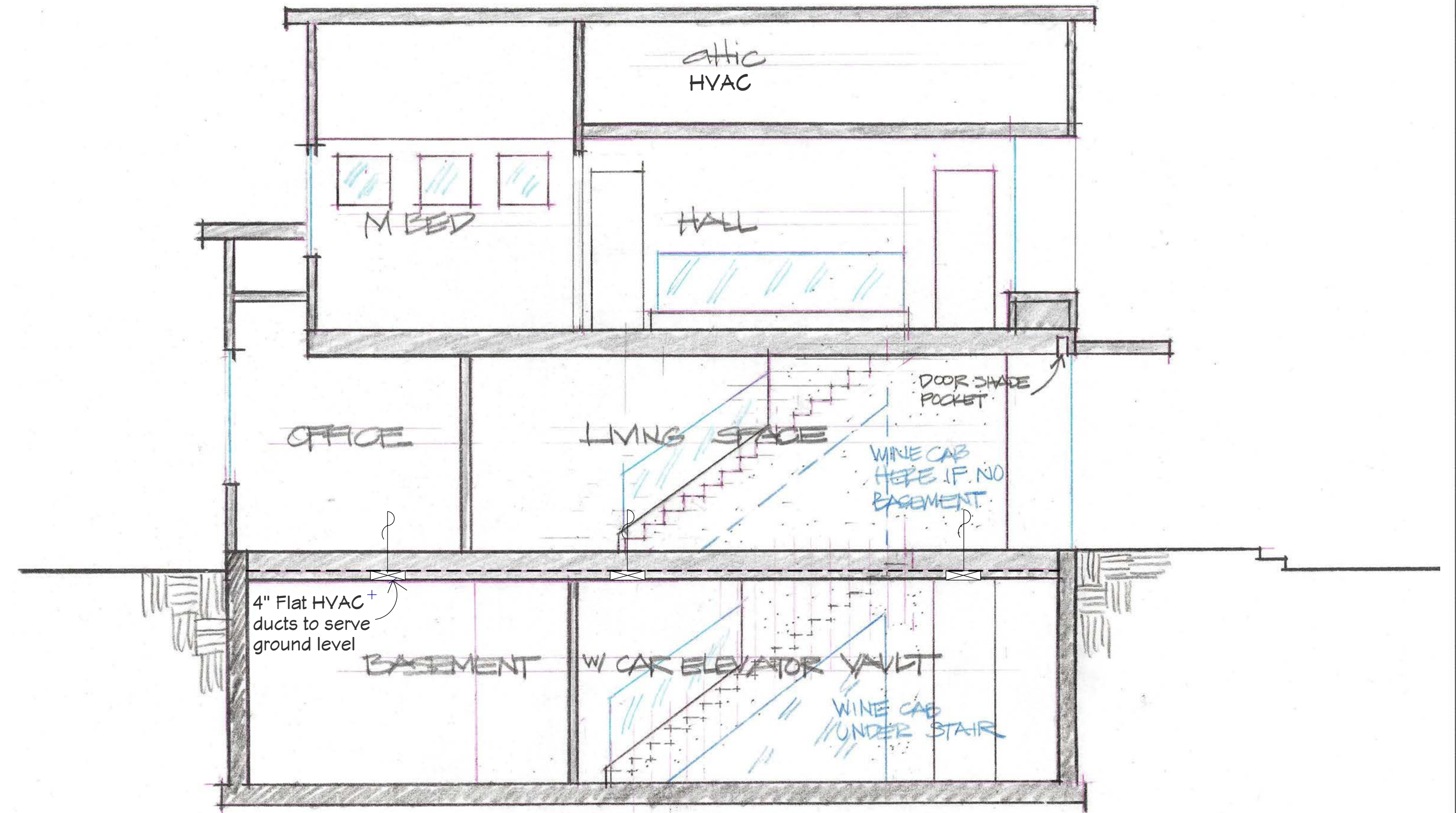
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**A-2**



**ALT.**  
**BASEMENT**

1/4" = 1'-0"



**SECTION**

1/4" = 1'-0"

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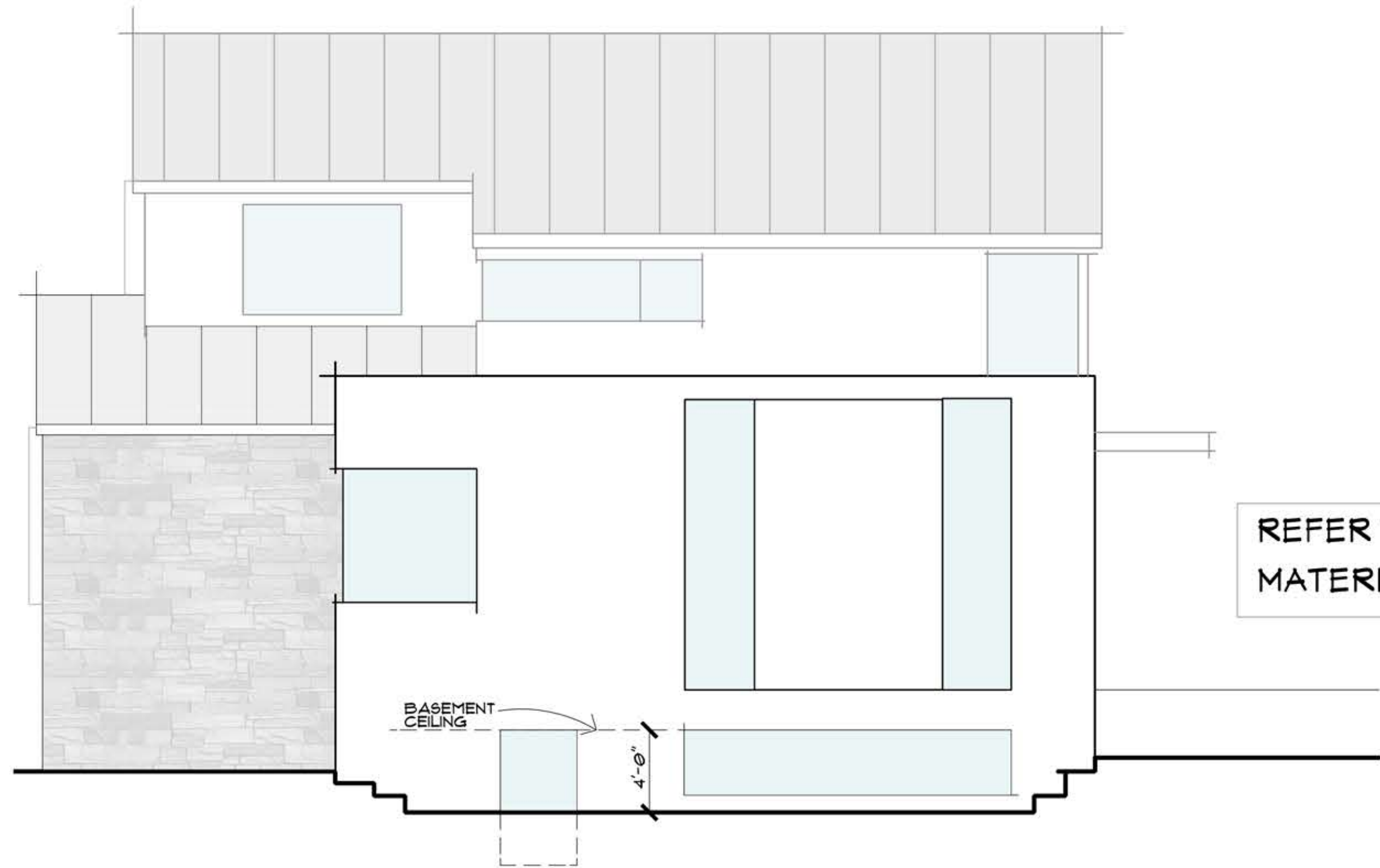
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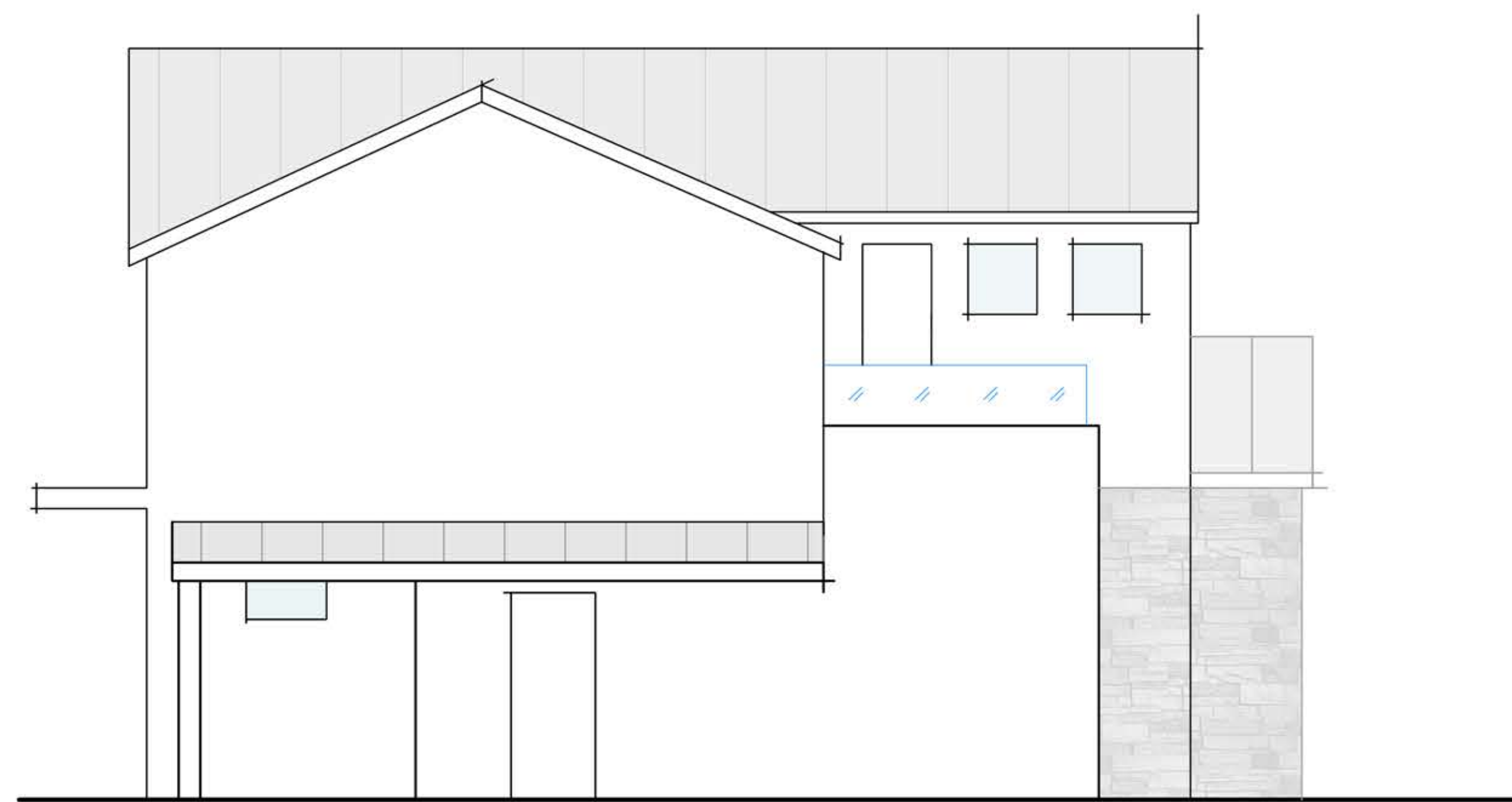
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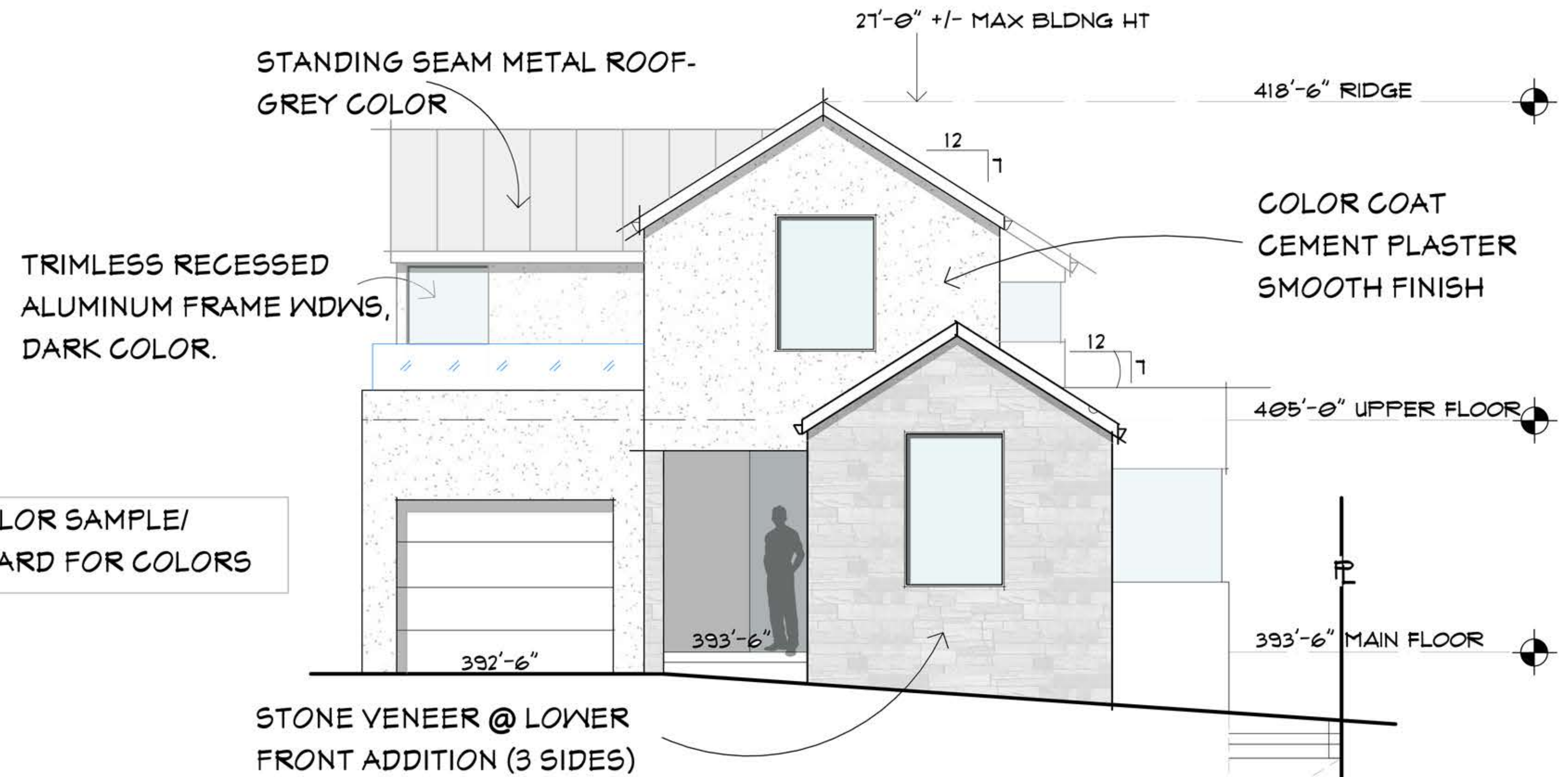
## WEST ELEVATION

1/4" = 1'-0"



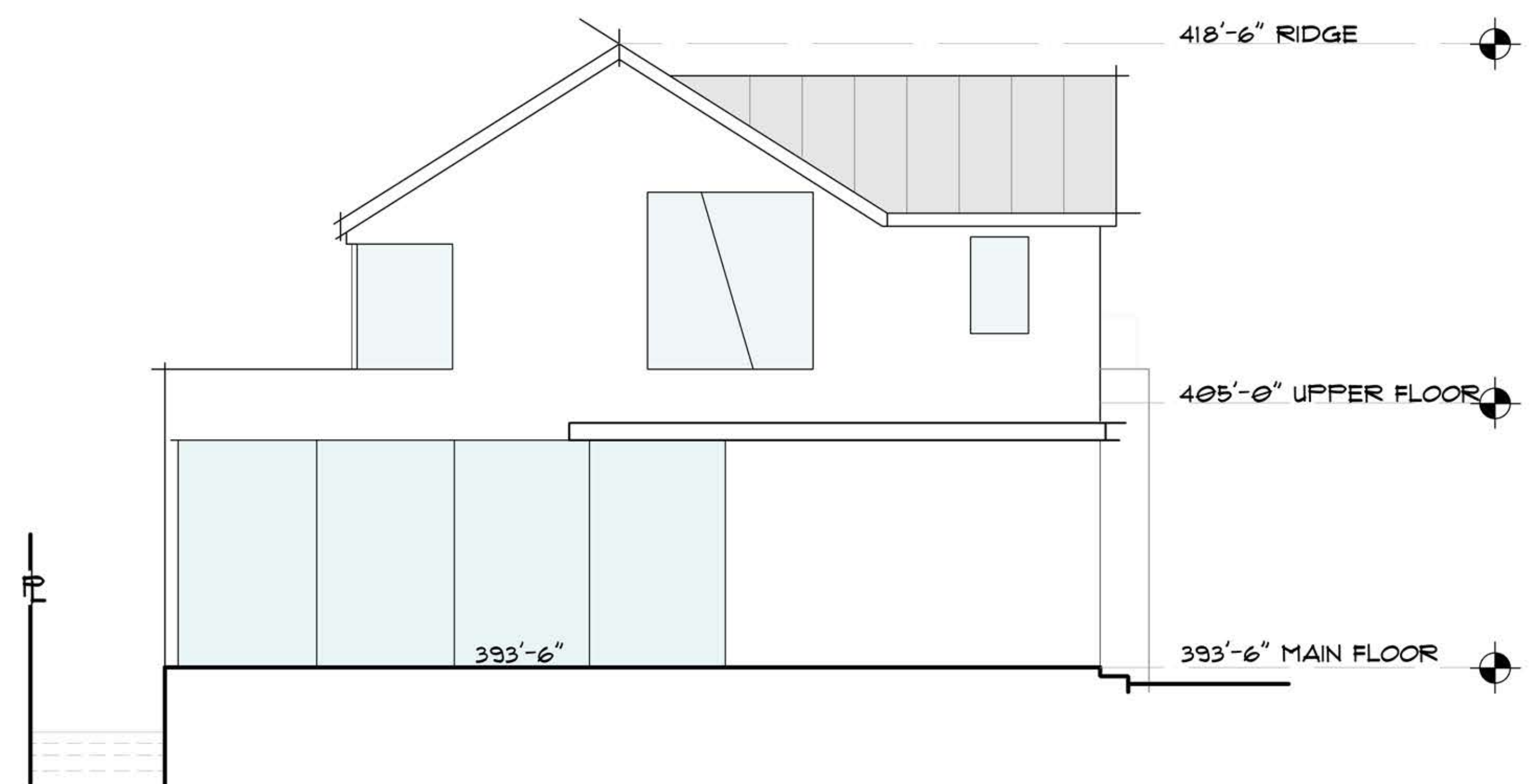
## EAST ELEVATION

1/4" = 1'-0"



## NORTH ELEVATION

1/4" = 1'-0"



## SOUTH ELEVATION

1/4" = 1'-0"

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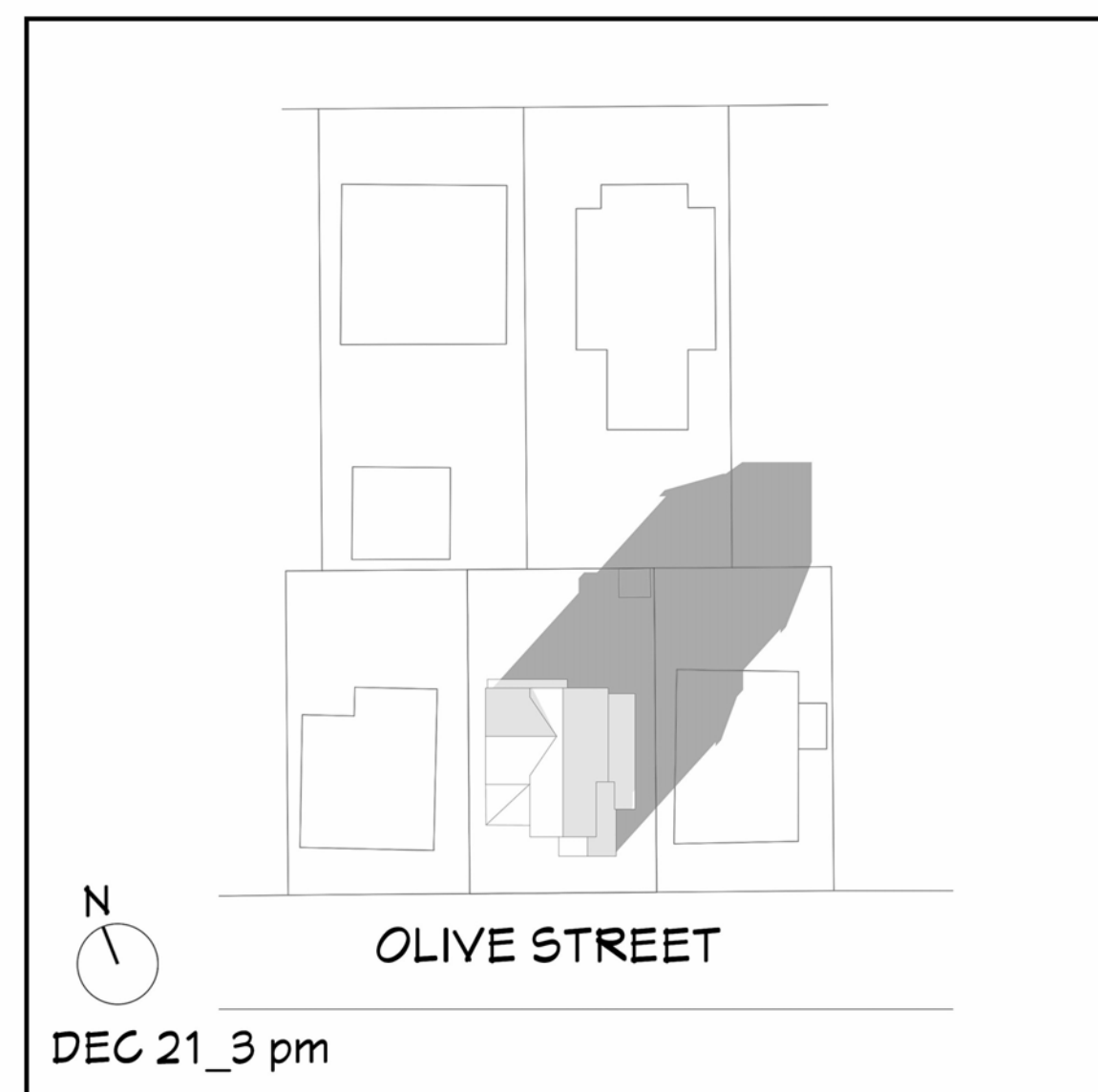
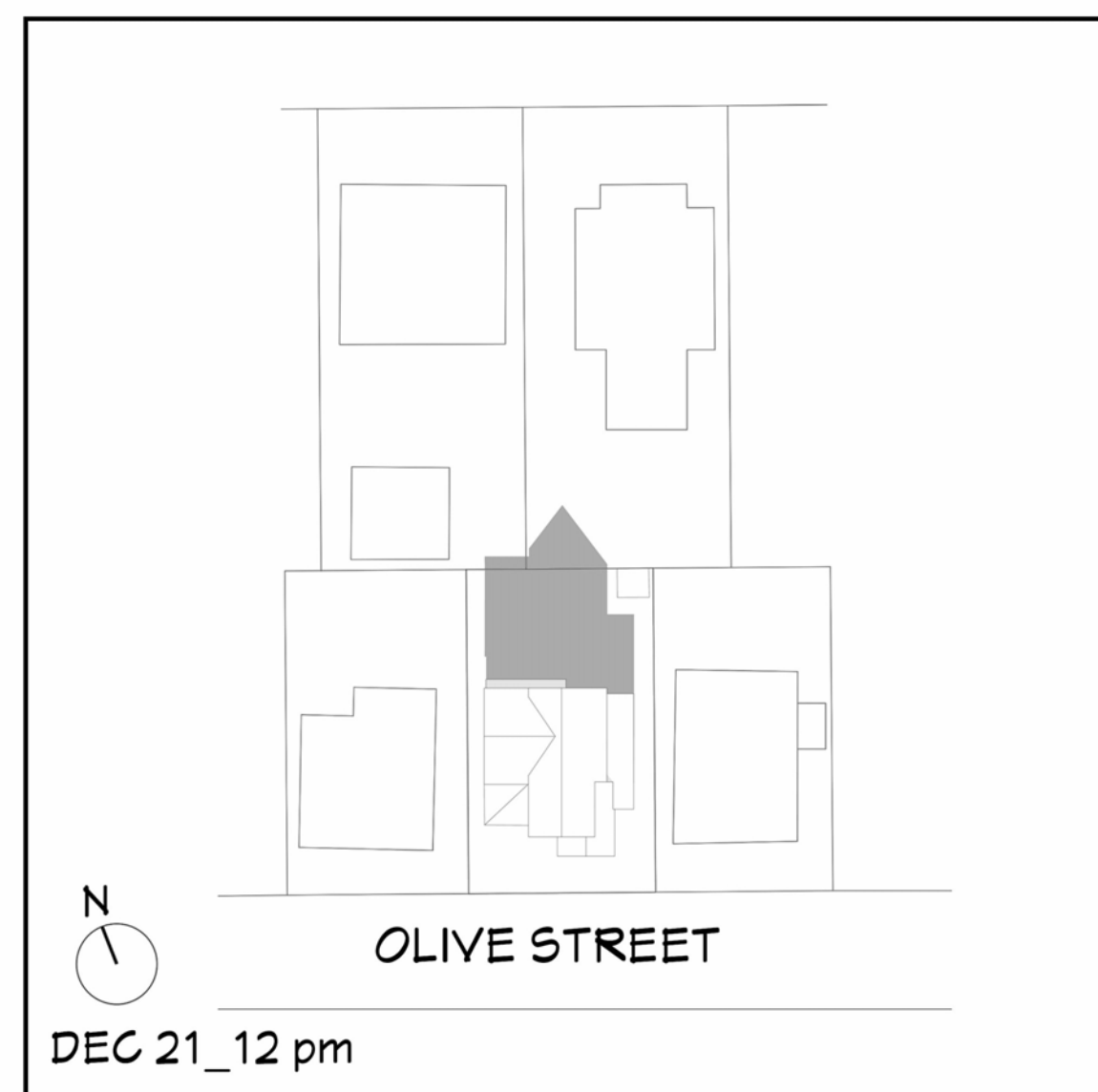
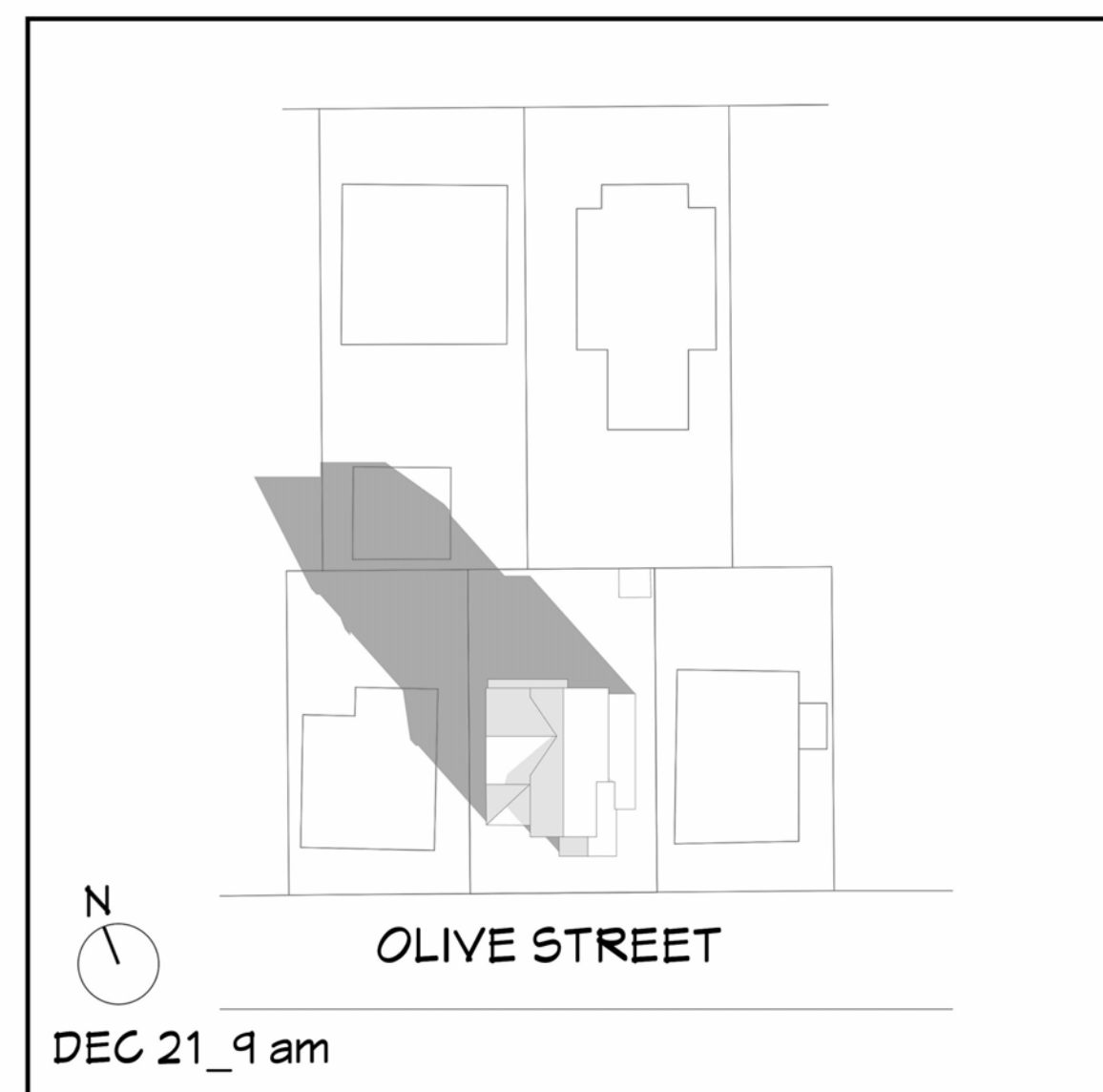
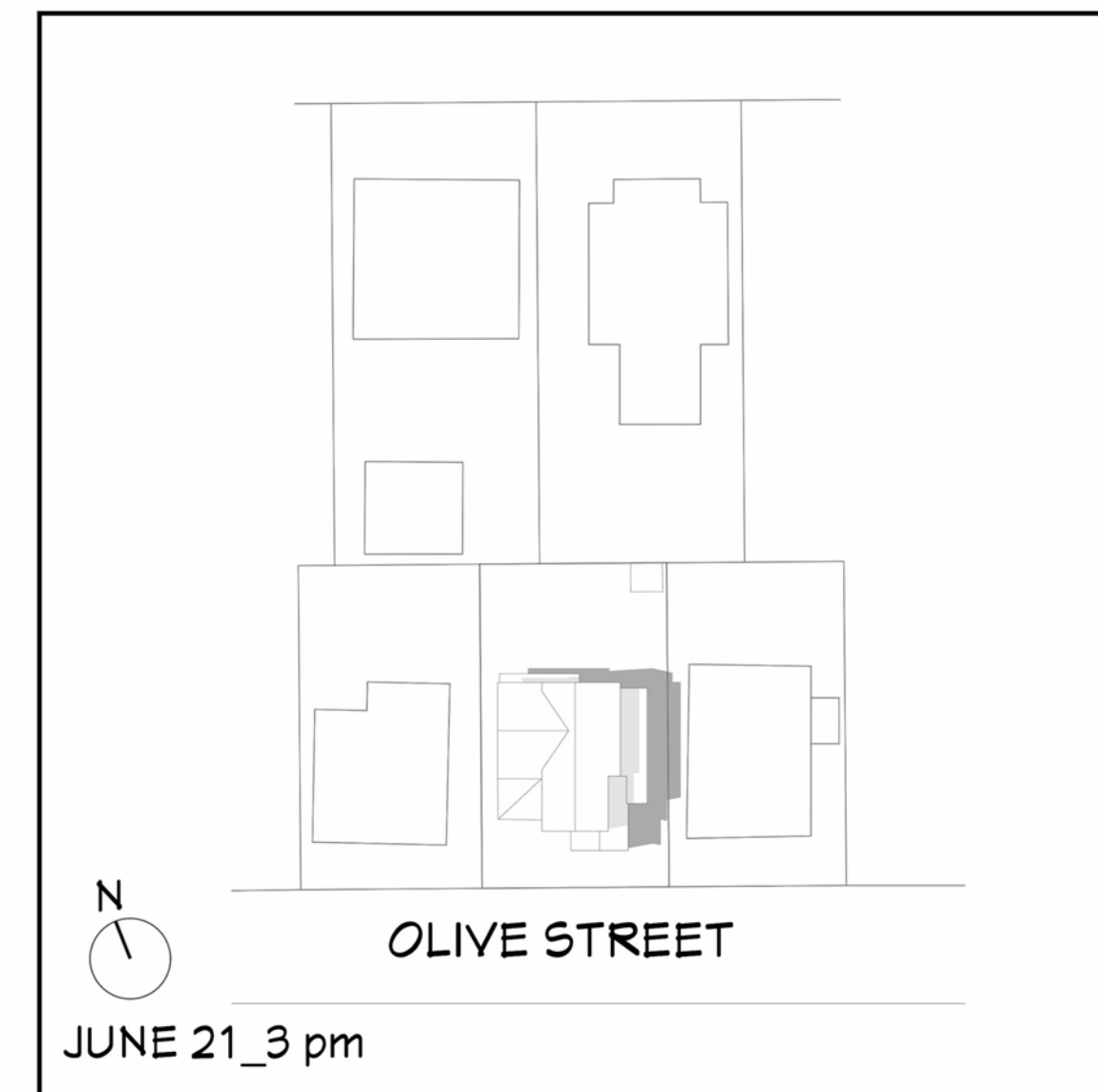
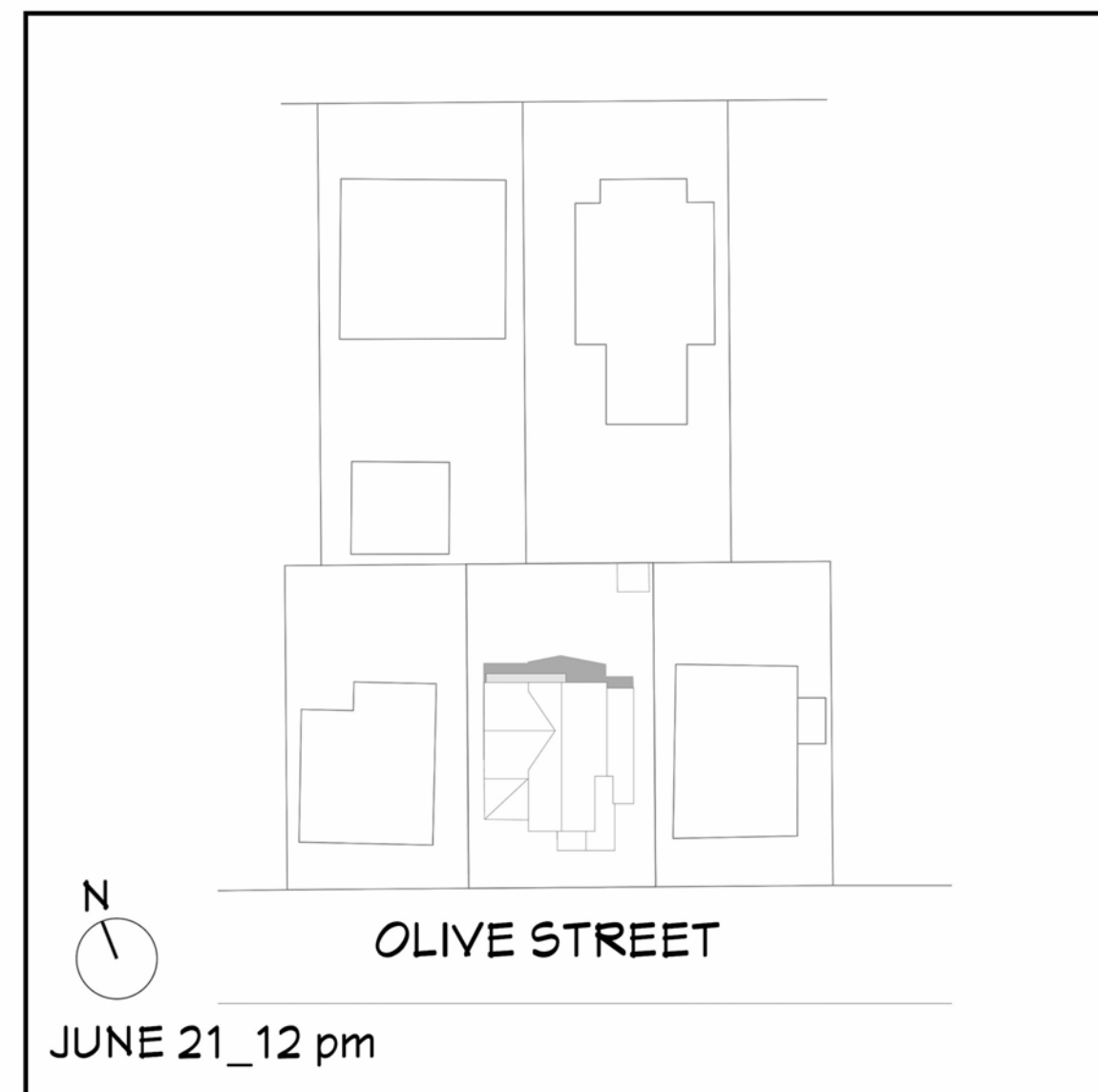
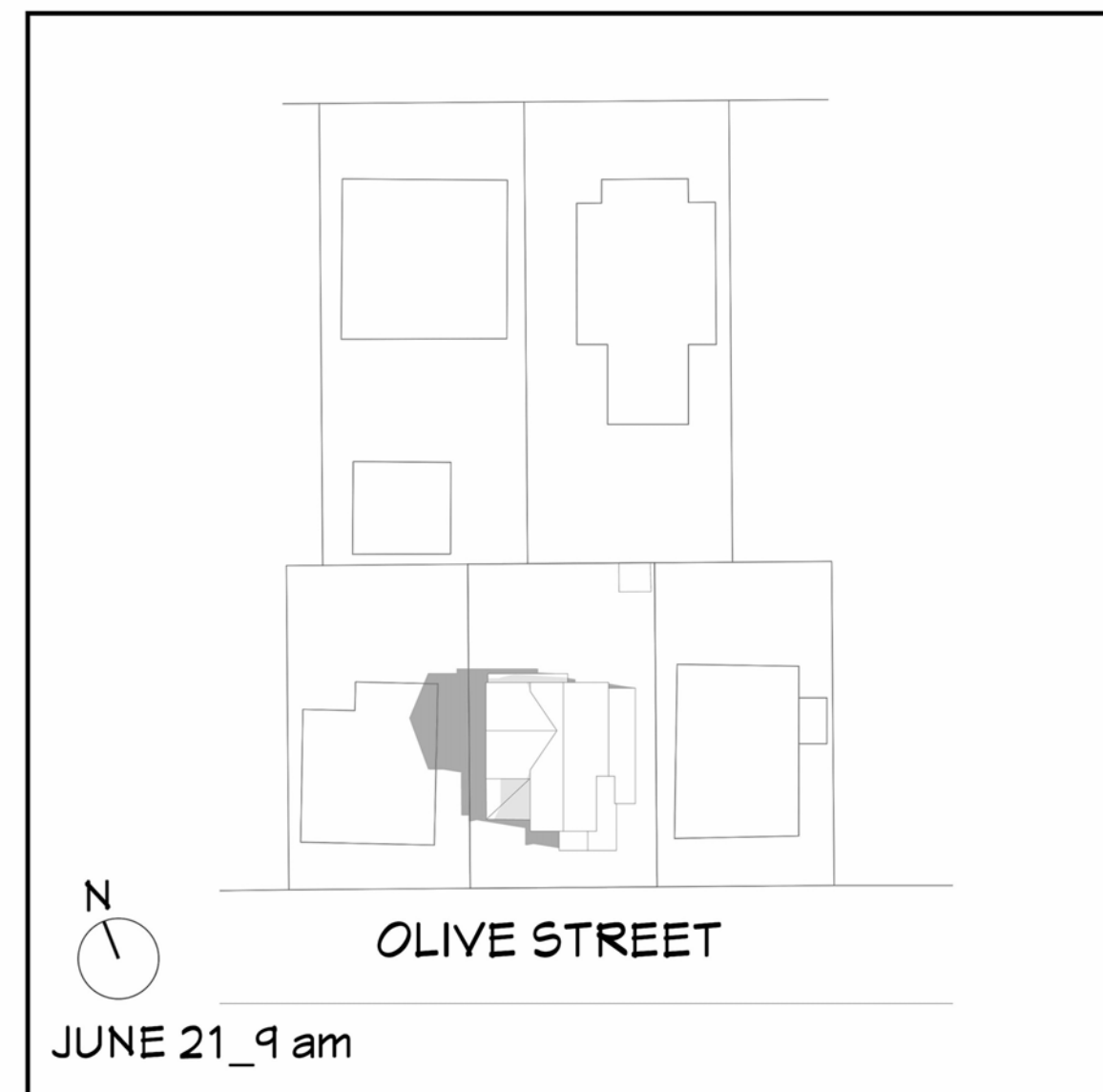
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# SHADOW STUDY

NOT TO SCALE

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# A-5

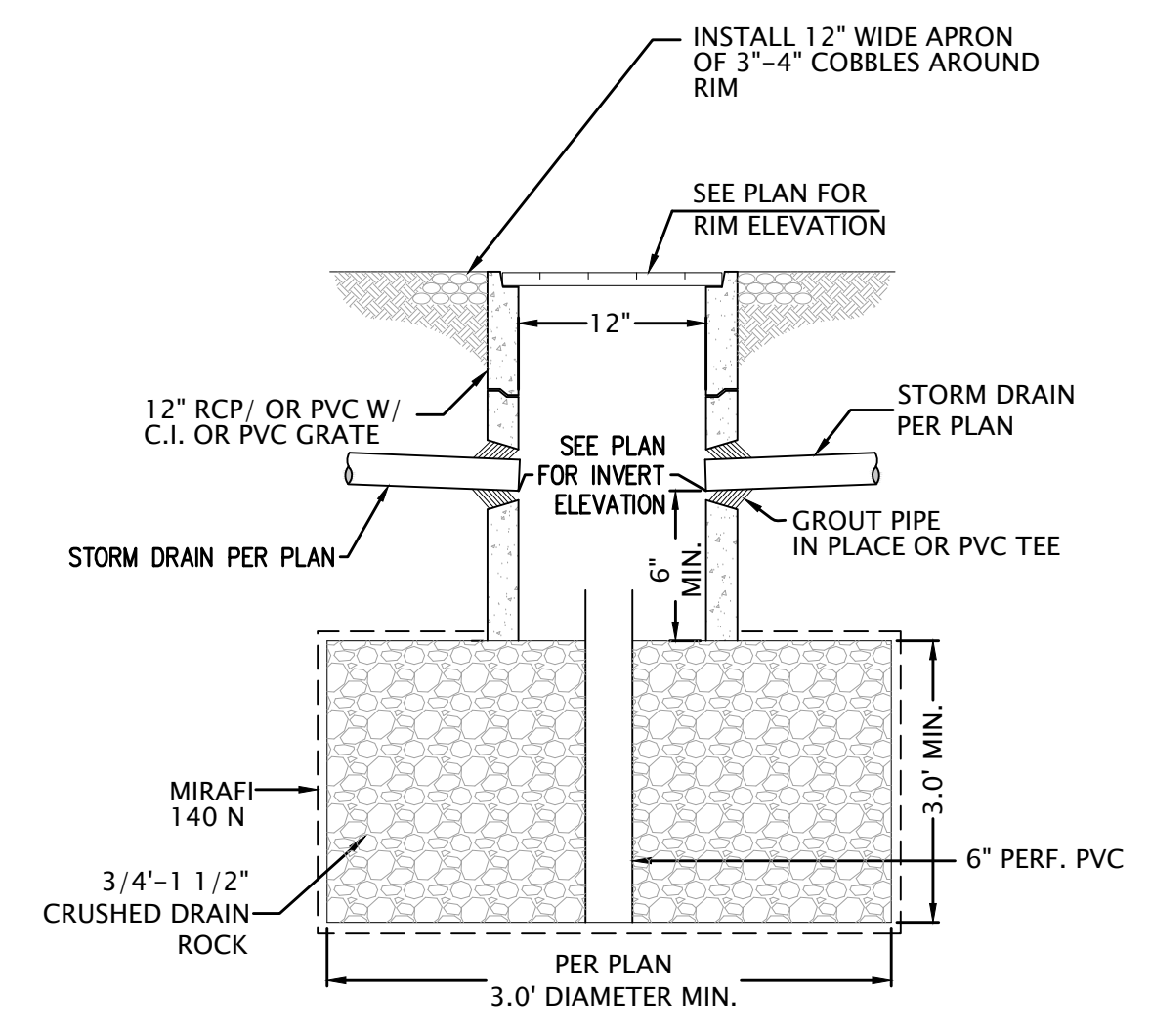
# REICHERT ADDITION & REMODEL

## APN: 410-15-022

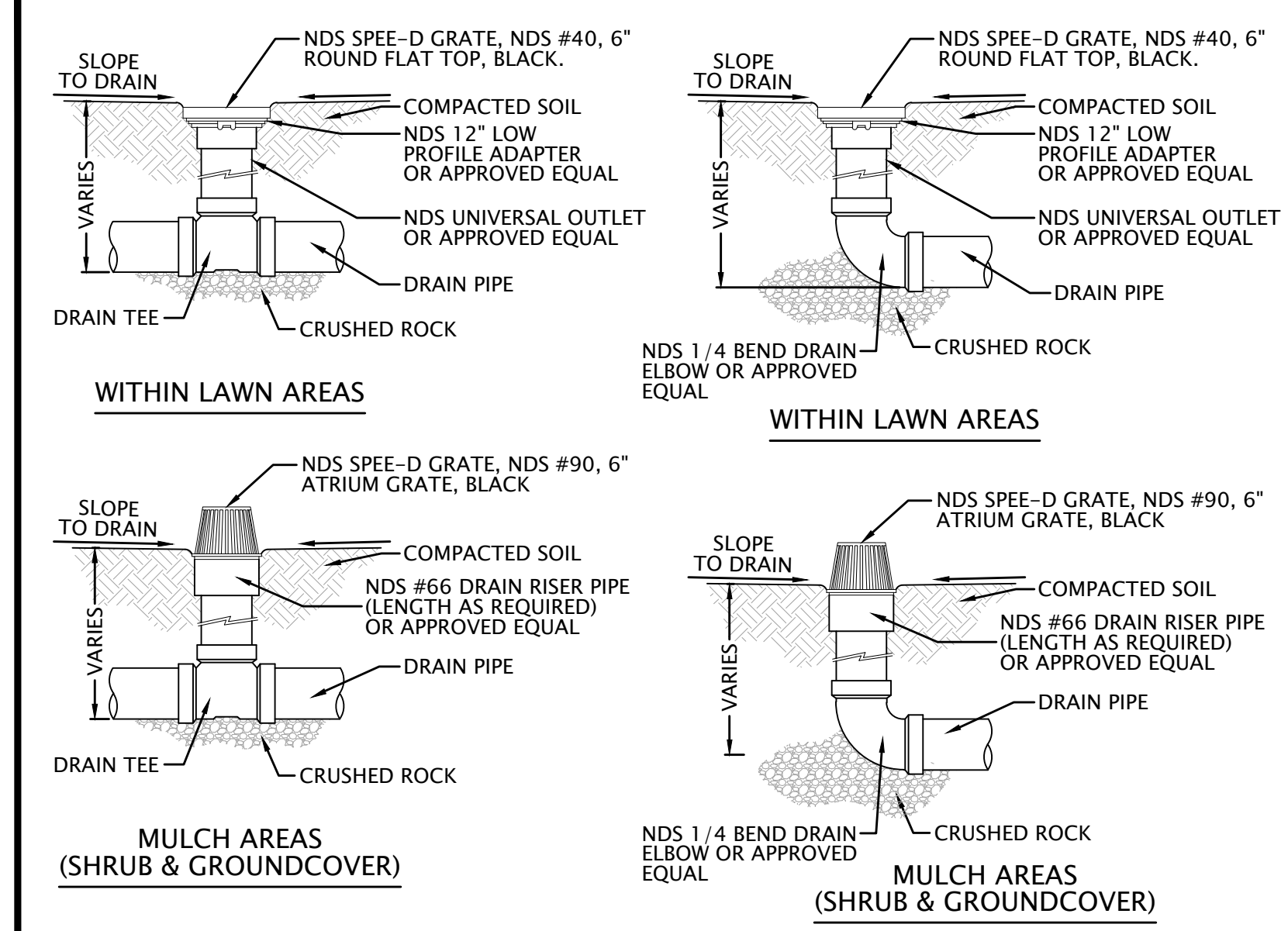
### 118 OLIVE AVENUE, LOS GATOS, CA.

#### GENERAL NOTES

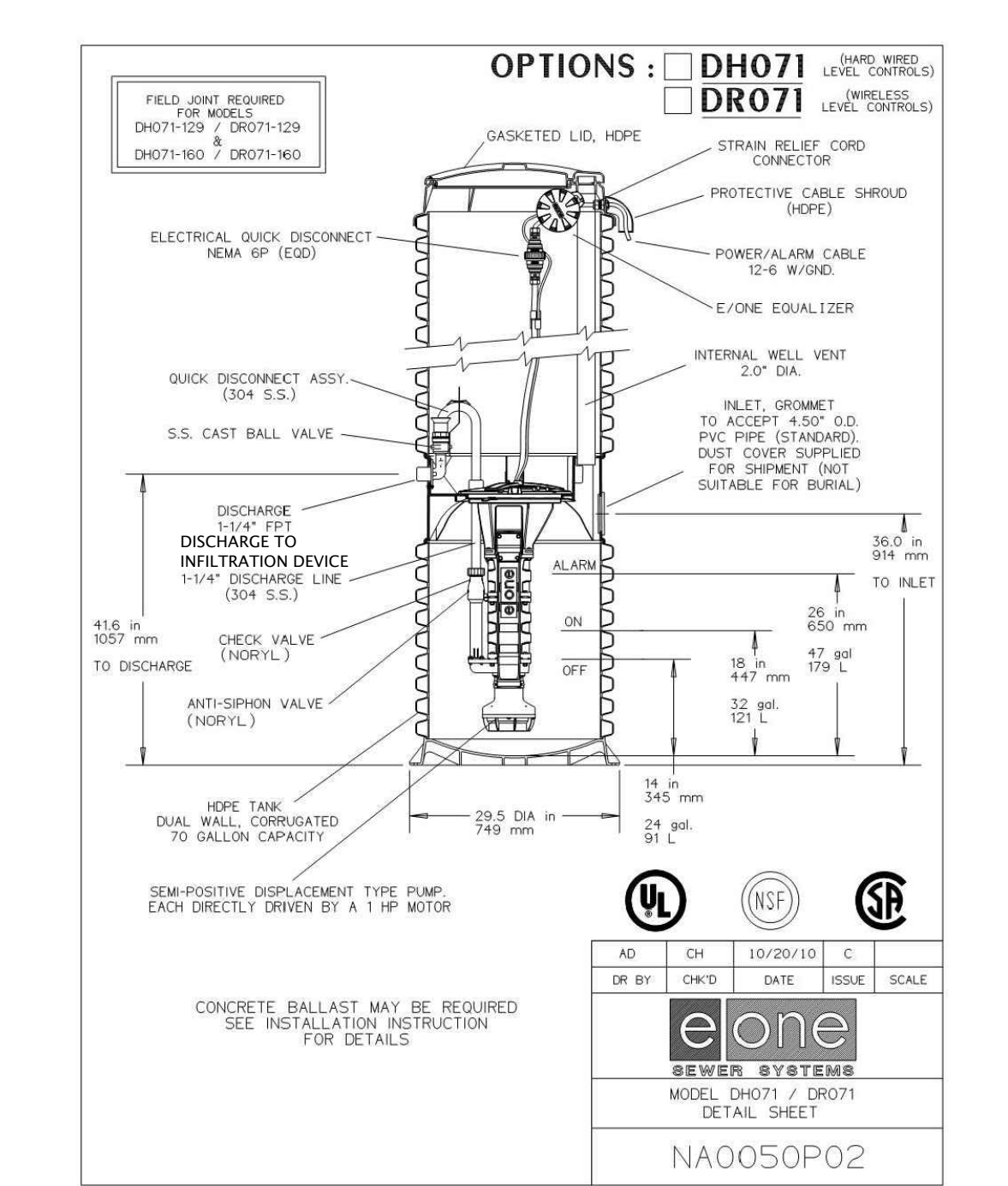
- I. GENERAL:
1. ADJUSTMENTS TO BUILDING PAD ELEVATIONS OR PARKING LOT GRADES TO ACHIEVE EARTHWORK BALANCE SHALL BE MADE ONLY WITH APPROVAL OF THE ENGINEER.
2. COMPACTION TO BE DETERMINED USING ASTM D1557-LATEST EDITION.
3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THE IMPROVEMENT PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. (A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES.) HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF THE DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS.
4. CONTRACTOR TO VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO ANY SITE WORK. ALL WORK FOR STORM AND SANITARY INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY.
5. SHOULD DISCREPANCIES EXIST BETWEEN THE ACTUAL ELEVATIONS AND LOCATIONS OF EXISTING UTILITY CONNECTIONS AND THOSE AS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL NOTIFY GKM ENGINEERS, AT (408) 656-5917 BEFORE ADJUSTING UTILITY DESIGN.
6. CONTRACTOR SHALL UNCOVER AND EXPOSE ALL EXISTING UTILITY AND SEWER LINES WHERE THEY ARE TO BE CROSSED ABOVE OR BELOW BY THE NEW FACILITY BEING CONSTRUCTED IN ORDER TO VERIFY THE GRADE AND TO ASSURE THAT THERE IS SUFFICIENT CLEARANCE. IF THE CONTRACTOR REQUIRES ASSISTANCE HE SHALL CALL GKM ENGINEERS AT (408) 656-5917 AND REQUEST A SURVEY CREW TO MAKE THE DETERMINATION. PIPE SHALL NOT BE STRUNG NOR TRENCHING COMMENCED UNTIL ALL CROSSINGS HAVE BEEN VERIFIED FOR CLEARANCE. IF THE CONTRACTOR FAILS TO FOLLOW THIS PROCEDURE, HE WILL BE SOLELY RESPONSIBLE FOR ANY EXTRA WORK OR MATERIAL REQUIRED IF MODIFICATIONS TO THE DESIGN ARE NECESSARY.
7. THE CONTRACTOR SHALL SET HIS STRING OR WIRE THROUGH AT LEAST THREE GRADE STAKES TO VERIFY THE GRADE. IF THE STAKES DO NOT PRODUCE A UNIFORM GRADE, NOTIFY THE ENGINEER IMMEDIATELY AND HAVE THE GRADES CHECKED PRIOR TO TRENCHING.
8. STORM DRAIN PIPES DESIGNATED AS "SD FROM 4" TO 24" IN DIAMETER SHALL BE SDR-35 P.V.C. (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL), CLASS HDPE SMOOTH INTERIOR PIPE PER ASTM D3212 (HANCOR SURE-LOK WT PIPE OR APPROVED EQUAL) OR DUCTILE IRON PIPE (D.I.P.), IF SPECIFIED ON PLANS. NO MATERIAL SUBSTITUTION SHALL BE ALLOWED FOR DUCTILE IRON PIPE. ANY PIPES LARGER THAN 24" IN DIAMETER SHALL BE CLASS III REINFORCED CONCRETE PIPE (R.C.P.). HDPE AND P.V.C. PIPE SHALL ONLY BE USED WHEN THE MANUFACTURER RECOMMENDATION REQUIREMENTS ARE MET. PIPE MADE OF ANY OTHER MATERIAL MAY BE USED ONLY AFTER APPROVAL OF THE ENGINEER.
9. ALL UTILITY STRUCTURES INCLUDING, BUT NOT LIMITED TO MANHOLES, CATCH BASINS, WATER VALVES, FLEX HYDRANTS, TELEPHONE AND ELECTRIC VALVES AND PULL BOXES THAT LIE WITHIN AREAS EFFECTED BY WORK ON THIS PROJECT SHALL BE ADJUSTED TO GRADE BY THE CONTRACTOR OR THE RESPECTIVE UTILITY COMPANY. THE CONTRACTOR IS RESPONSIBLE TO AFFECT COORDINATION.
10. ALL AREAS TO BE GRADED AT 1% MINIMUM FOR DRAINAGE EXCEPT ALONG FLOWLINE OF CURB AND GUTTER OR VALLEY GUTTER, AS SHOWN.
11. CONTRACTOR SHALL GRADE EVENLY BETWEEN SPOT ELEVATIONS SHOWN.
12. PROPOSED SPOT GRADES (ELEVATIONS) SHOWN HEREON ARE FINISHED PAVEMENT GRADES, NOT TOP OF CURB GRADES, UNLESS NOTED OTHERWISE.
13. ESTIMATED EARTHWORK QUANTITIES: EARTHWORK QUANTITIES SHOWN (IF ANY), OR OTHERWISE SUPPLIED BY GKM, ARE APPROXIMATE ONLY AND SHOWN FOR THE PURPOSES OF CALCULATING GRADING PERMIT FEES. GKM ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE QUANTITIES.
14. WHEN A GRADING PERMIT IS ISSUED ON THIS PROJECT THE AGENCY APPROVAL APPLIES ONLY TO GRADING. THE CONTRACTOR IS RESPONSIBLE FOR SECURING ALL OTHER NECESSARY PERMITS TO ACCOMPLISH PROPOSED SITE WORK. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR OBTAIN ALL NECESSARY UNDERGROUND PERMITS BEFORE ROUGH GRADING THE SITE, AS REVISIONS TO UNDERGROUND FACILITIES MANDATED BY PLAN CHECKING AGENCIES MAY SUBSTANTIALLY EFFECT GRADING INCLUDING FINISHED FLOOR ELEVATIONS.
15. THE CONTRACTOR SHALL VERIFY THE CONTENTS AND THICKNESSES OF THE BUILDING SLAB SECTION (IE. CONCRETE, SAND, ROCK) WITH THE STRUCTURAL PLANS AND THE ELEVATIONS SHOWN HEREON PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.
16. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE O.S.H.A. REGULATIONS.
17. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.
18. WHERE OFF-SITE DRIVEWAY APPROACHES ARE TO BE CONSTRUCTED THE ON-SITE DRIVEWAY SHALL NOT BE CONSTRUCTED UNTIL THE OFF-SITE IMPROVEMENTS ARE INSTALLED. THE ON-SITE DRIVEWAY SHALL CONFORM TO THE COMPLETED OFF-SITE DRIVEWAY.
19. ALL PIPES SHALL HAVE A MINIMUM COVER OF 3' FROM FINISH GRADE UNLESS OTHERWISE SPECIFIED ON THE PLANS.
20. BENCHMARK: \_\_\_\_\_



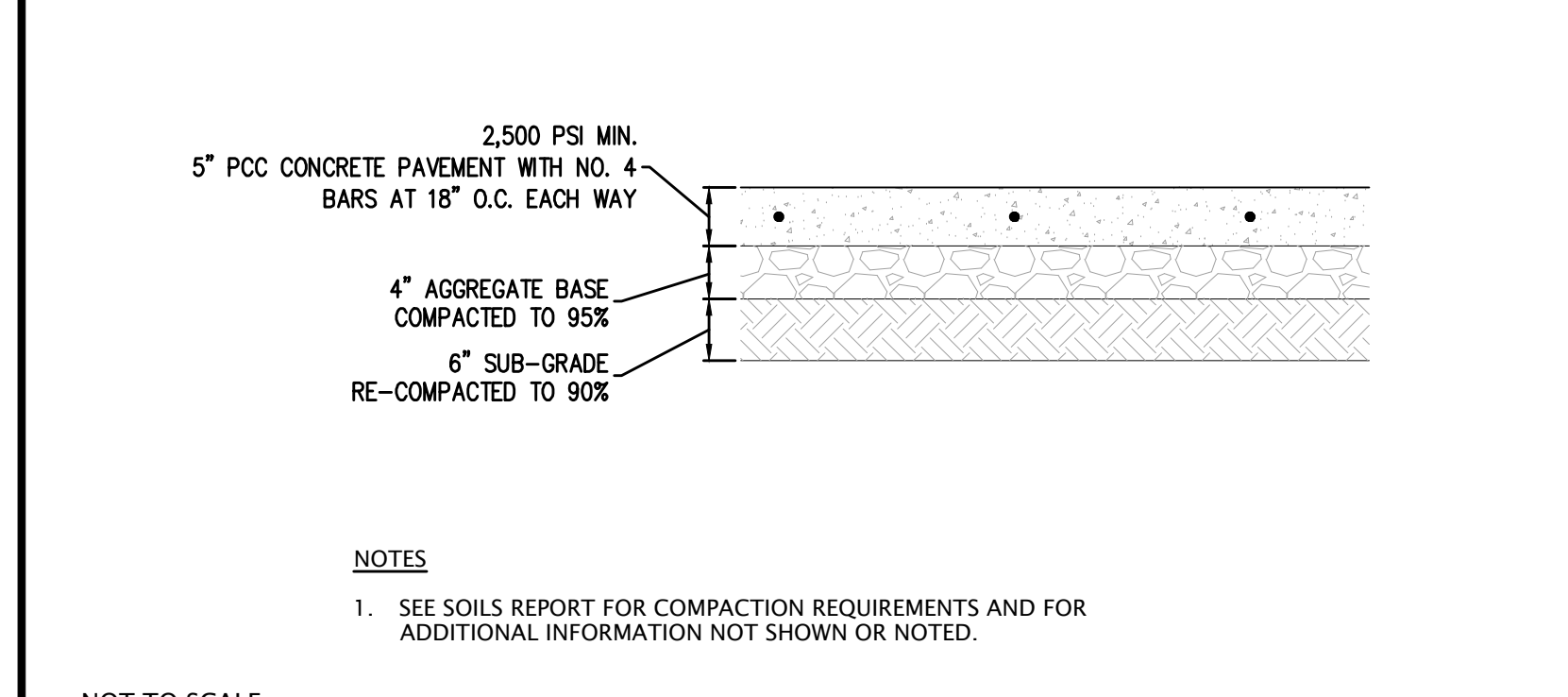
INFILTRATION DEVICE 6



AREA DRAIN 1



PUMP STATION 3



CONCRETE PAVEMENT SECTION 5




**Know what's below.  
Call 811 before you dig.**

#### SHEET INDEX

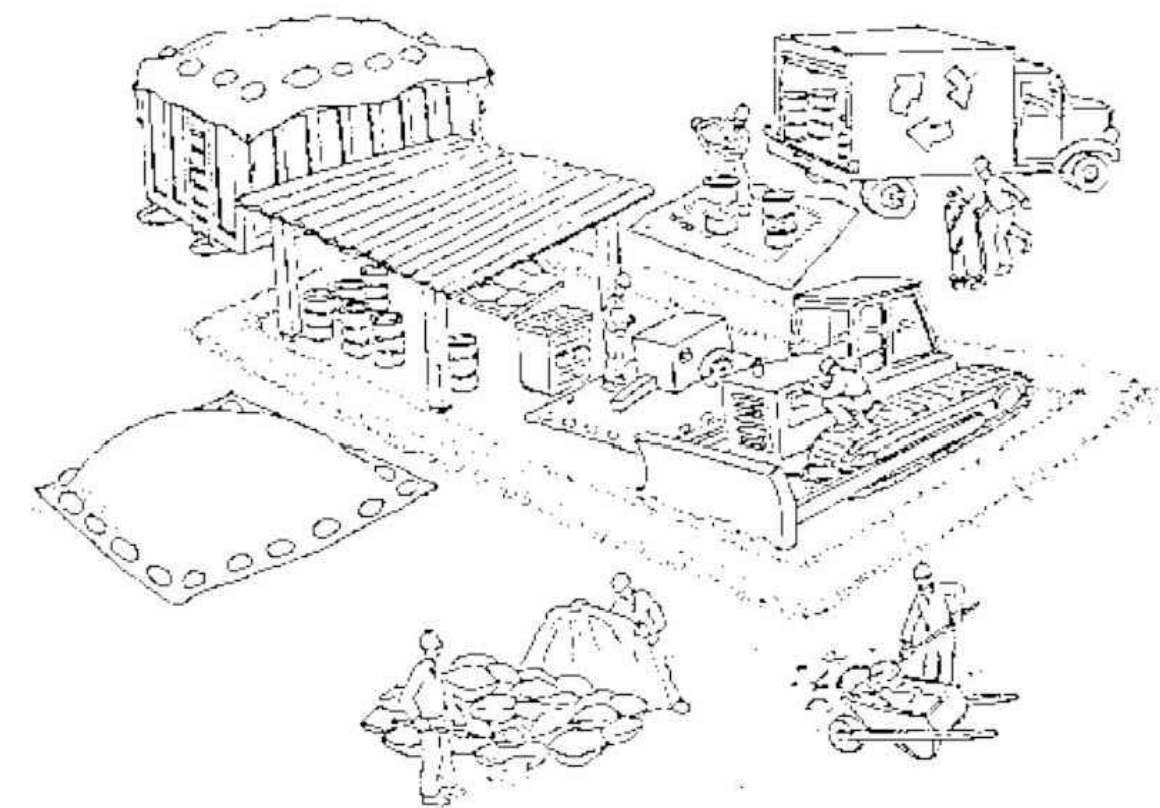
C1.0	COVER SHEET, DETAILS, & GENERAL NOTES
C1.1	BEST MANAGEMENT PRACTICES
C2.0	GRADING AND DRAINAGE PLAN
C3.0	EROSION CONTROL PLAN
C4.0	TOPOGRAPHIC SITE SURVEY



BY		REVISION		RESPONSE TO ENG. COMMENTS - 6/08/2021		RESPONSE TO ENG. COMMENTS - 9/14/2021	
No.	<<<	No.	<<<	No.	<<<	No.	<<<
							
CIVIL ENGINEERING • SURVEYING • LAND PLANNING 161.85 Los Gatos Blvd., Suite 205 Los Gatos, CA 95032 (408) 656-5917 CKMEngineering.com							
COVER SHEET, DETAILS AND GENERAL NOTES REICHERT ADDITION & REMODEL APN: 410-15-022 118 OLIVE AVENUE LOS GATOS, CALIFORNIA							
DATE	9/23/2021						
SCALE	AS SHOWN						
DESIGNER	GM						
DRAFTER	GM						
JOB	A210614						
SHEET	<b>C1.0</b>						
OF	5 SHEETS						



# Pollution Prevention — It's Part of the Plan



## Make sure your crews and subs do the job right!

Runoff from streets and other paved areas is a major source of pollution in San Francisco Bay. Construction activities can directly affect the health of the Bay unless contractors and crews plan ahead to keep dirt, debris, and other construction waste away from storm drains and local creeks. Following these guidelines will ensure your compliance with local ordinance requirements.



### Materials storage & spill cleanup

#### Non-hazardous materials management

- ✓ Sand, dirt, and similar materials must be stored at least 10 feet from catch basins, and covered with a tarp during wet weather or when rain is forecast.
- ✓ Use (but don't overuse) reclaimed water for dust control as needed.
- ✓ Sweep streets and other paved areas daily. Do not wash down streets or work areas with water!
- ✓ Recycle all asphalt, concrete, and aggregate base material from demolition activities.
- ✓ Check dumpsters regularly for leaks and to make sure they don't overflow. Repair or replace leaking dumpsters promptly.

#### Hazardous materials management

- ✓ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, state, and federal regulations.
- ✓ Store hazardous materials and wastes in secondary containment and cover them during wet weather.
- ✓ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ✓ Be sure to arrange for appropriate disposal of all hazardous wastes.

#### Spill prevention and control

- ✓ Keep a stockpile of spill cleanup materials (rags, absorbents, etc.) available at the construction site at all times.
- ✓ When spills or leaks occur, contain them immediately and be particularly careful to prevent leaks and spills from reaching the gutter, street, or storm drain. Never wash spilled material into a gutter, street, storm drain, or creek!
- ✓ Report any hazardous materials spills immediately! Dial 911 or your local emergency response number.

### Vehicle and equipment maintenance & cleaning

- ✓ Inspect vehicles and equipment for leaks frequently. Use drip pans to catch leaks until repairs are made; repair leaks promptly.
- ✓ Fuel and maintain vehicles on site only in a bermed area or over a drip pan that is big enough to prevent runoff.
- ✓ If you must clean vehicles or equipment on site, clean with water only in a bermed area that will not allow rinsewater to run into gutters, streets, storm drains, or creeks.
- ✓ Do not clean vehicles or equipment on-site using soaps, solvents, degreasers, steam cleaning equipment, etc.



### Dewatering operations

- ✓ Reuse water for dust control, irrigation, or another on-site purpose to the greatest extent possible.
- ✓ Be sure to call your city's storm drain inspector before discharging water to a street, gutter, or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ✓ In areas of known contamination, testing is required prior to reuse or discharge of groundwater. Consult with the city inspector to determine what testing to do and to interpret results. Contaminated groundwater must be treated or hauled off-site for proper disposal.



### Saw cutting

- ✓ Always completely cover or barricade storm drain inlets when saw cutting. Use filter fabric, hay bales, sand bags, or fine gravel dams to keep slurry out of the storm drain system.
- ✓ Shovel, absorb, or vacuum saw-cut slurry and pick up all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ✓ If saw cut slurry enters a catch basin, clean it up immediately.

### Concrete, grout, and mortar storage & waste disposal

- ✓ Be sure to store concrete, grout, and mortar under cover and away from drainage areas. These materials must never reach a storm drain.
- ✓ Wash out concrete equipment/trucks off-site or designate an on-site area for washing where water will flow onto dirt or into a temporary pit in a dirt area. Let the water seep into the soil and dispose of hardened concrete with trash.



- ✓ Divert water from washing exposed aggregate concrete to a dirt area where it will not run into a gutter, street, or storm drain.
- ✓ If a suitable dirt area is not available, collect the wash water and remove it for appropriate disposal off site.

### Earthwork & contaminated soils

- ✓ Keep excavated soil on the site where it is least likely to collect in the street. Transfer to dump trucks should take place on the site, not in the street.
- ✓ Use hay bales, silt fences, or other control measures to minimize the flow of silt off the site.



- ✓ Avoid scheduling earth moving activities during the rainy season if possible. If grading activities during wet weather are allowed in your permit, be sure to implement all control measures necessary to prevent erosion.
- ✓ Mature vegetation is the best form of erosion control. Minimize disturbance to existing vegetation whenever possible.
- ✓ If you disturb a slope during construction, prevent erosion by securing the soil with erosion control fabric, or seed with fast-growing grasses as soon as possible. Place hay bales down-slope until soil is secure.

- ✓ If you suspect contamination (from site history, discoloration, odor, texture, abandoned underground tanks or pipes, or buried debris), call your local fire department for help in determining what testing should be done.
- ✓ Manage disposal of contaminated soil according to Fire Department instructions.

### Paving/asphalt work



- ✓ Do not pave during wet weather or when rain is forecast.
- ✓ Always cover storm drain inlets and manholes when paving or applying seal coat, tack coat, slurry seal, or fog seal.
- ✓ Place drip pans or absorbent material under paving equipment when not in use.
- ✓ Protect gutters, ditches, and drainage courses with hay bales, sand bags, or earthen berms.
- ✓ Do not sweep or wash down excess sand from sand sealing into gutters, storm drains, or creeks. Collect sand and return it to the stockpile, or dispose of it as trash.
- ✓ Do not use water to wash down fresh asphalt concrete pavement.

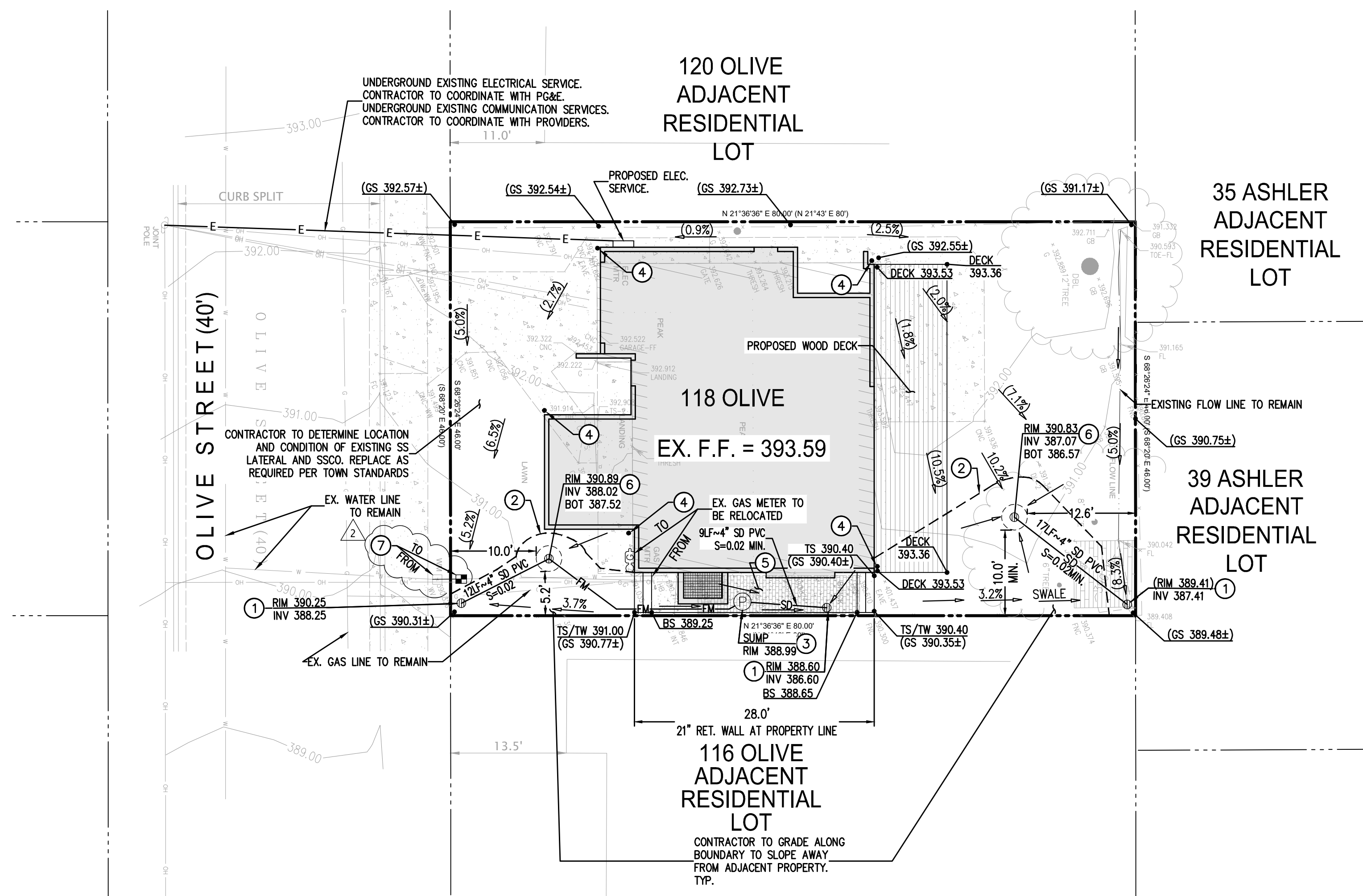
### Painting



- ✓ Never rinse paint brushes or materials in a gutter or street!
- ✓ Paint out excess water-based paint before rinsing brushes, rollers, or containers in a sink. If you can't use a sink, direct wash water to a dirt area and spade it in.
- ✓ Paint out excess oil-based paint before cleaning brushes in thinner.
- ✓ Filter paint thinners and solvents for reuse whenever possible. Dispose of oil-based paint sludge and unusable thinner as hazardous waste.



REVISION	BY	NO.	DATE
RESPONSE TO ENG. COMMENTS - 6/08/2021			
RESPONSE TO ENG. COMMENTS - 9/14/2021			
<b>GKM Engineering</b> CIVIL ENGINEERING • SURVEYING • LAND PLANNING 16185 Los Gatos Blvd., Suite 205 Los Gatos, CA 95032 (408) 656 5917 GKMEngineering.com			
BEST MANAGEMENT PRACTICES REICHERT ADDITION & REMODEL APN: 41 0-15-022 118 OLIVE AVENUE LOS GATOS, CALIFORNIA			
DATE	9/23/2021		
SCALE	AS SHOWN		
DESIGNER	GM		
DRAFTER	GM		
JOB	A210614		
SHEET	C1.1		
OF	5 SHEETS		



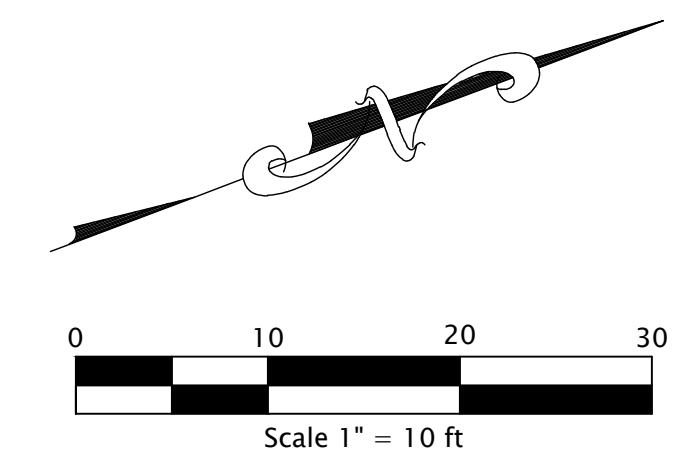
**LEGEND**

---	LIMITS OF GRADING
SD	STORM DRAIN LINE
FM	STORM DRAIN FORCE MAIN LINE
E	UNDERGROUND ELECTRIC
GS 102.18	SPOT GRADE
OR (GS 102.18)	EX GRADE
2%	DIRECTION OF FLOW
(2%)	EXISTING DIRECTION OF FLOW

**ABBREVIATIONS**

AB	AGGREGATE BASE	IRR	IRRIGATION
AC	ASPHALTIC CONCRETE	L/S	LANDSCAPE
AD	AREA DRAIN	MAX	MAXIMUM
BOT	BOTTOM	MIN	MINIMUM
BS	BOTTOM OF STEP	MIN.	MINIMUM
C	CONCRETE	NO.	NUMBER
C&G	CURB AND GUTTER	O.C.	ON CENTER
CL	CENTERLINE	PV	PAVEMENT
CLR	CLEAR	PVC	POLYVINYL CHLORIDE
CONC	CONCRETE	RIM	RIM ELEVATION
DWY	DRIVEWAY	RWL	RAIN WATER LEADER
EX.	EXISTING	RYSB	REAR YARD SETBACK
F.F.	FINISH FLOOR	SD	STORM DRAIN
FF	FINISH FLOOR	SDCB	STORM DRAIN CATCH BASIN
FL	FLOW LINE	SDCO	STORM DRAIN CLEAN OUT
FS	FIRE SERVICE or FINISH SURFACE	STD.	STANDARD
FYSB	FRONT YARD SETBACK	SYSB	SIDE YARD SETBACK
GB	GRADE BREAK	TS	TOP OF SLAB
GS	GROUND SURFACE	TYP.	TYPICAL
HP	HIGH POINT	W/	WITH
ICV	IRRIGATION CONTROL VALVE		
INV	INVERT ELEVATION		

EARTHWORK QUANTITIES	
ROUGH GRADING CUT:	0.9 CUYDS
ROUGH GRADING FILL:	0.0 CUYDS
IMPORT:	0 CUYDS
EXPORT:	0.9 CUYDS



**CONSTRUCTION NOTES**

- 1 PROVIDE AREA DRAIN PER DETAIL 1/C1.0.
- 2 LIMITS OF GRADING
- 3 PROVIDE STORM DRAIN PUMP PER DETAIL 3/C1.0
- 4 ALL ROOF RAINWATER LEADERS ARE TO BE DISCHARGED ONTO SPLASH BLOCKS THAT ARE DESIGNED TO SPREAD OUT THE RAIN WATER SO THAT IT ENTERS THE LANDSCAPE AREAS AS SHEET FLOW
- 5 CONSTRUCT CONCRETE WALK PER DETAIL 5/C1.0.
- 6 PROVIDE INFILTRATION DEVICE PER DETAIL 6/C1.0.
- 7 RELOCATE EXISTING WATER METER OUTSIDE OF PUBLIC RIGHT-OF-WAY.

**RAINWATER LEADER NOTE**

All roof rainwater leaders are to be discharged onto splash blocks that are designed to spread out the rain water so that it enters the landscape areas as sheet flow

**SURVEY NOTE**

THIS SURVEY WAS PREPARED BY:  
 ALPHA LAND SURVEYS, INC.  
 4444 SCOTT'S VALLEY DR #7  
 SCOTT'S VALLEY, CA 95066  
 DATED 3/17/21 JOB#: 2020-065

GKM ENGINEERING IS NOT LIABLE TO THE ACCURACY OF ANY OF THE EXISTING TOPOGRAPHIC, FIXED WORKS, BOUNDARY, AND/OR ENCUMBRANCE INFORMATION SHOWN ON THESE PLANS



**GKM Engineering**  
 CIVIL ENGINEERING • SURVEYING • LAND PLANNING  
 161.85 Los Gatos Blvd., Suite 205  
 Los Gatos, Ca 95032

CALIFORNIA

**GRADING AND DRAINAGE PLAN**  
 REICHERT ADDITION & REMODEL  
 APN: 41 0-15-022  
 118 OLIVE AVENUE

LOS GATOS

DATE	9/23/2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A210614
SHEET	<b>C2.0</b>
OF	5 SHEETS

**SURVEY NOTE**

THIS SURVEY WAS PREPARED BY:  
 ALPHA LAND SURVEYS, INC.  
 4444 SCOTT'S VALLEY DR #7  
 SCOTT'S VALLEY, CA 95066  
 DATED 3/1/21 JOB#: 2020-065  
 GKM ENGINEERING IS NOT LIABLE TO THE ACCURACY OF  
 ANY OF THE EXISTING TOPOGRAPHIC, FIXED WORKS,  
 BOUNDARY, AND/OR ENCUMBRANCE INFORMATION  
 SHOWN ON THESE PLANS

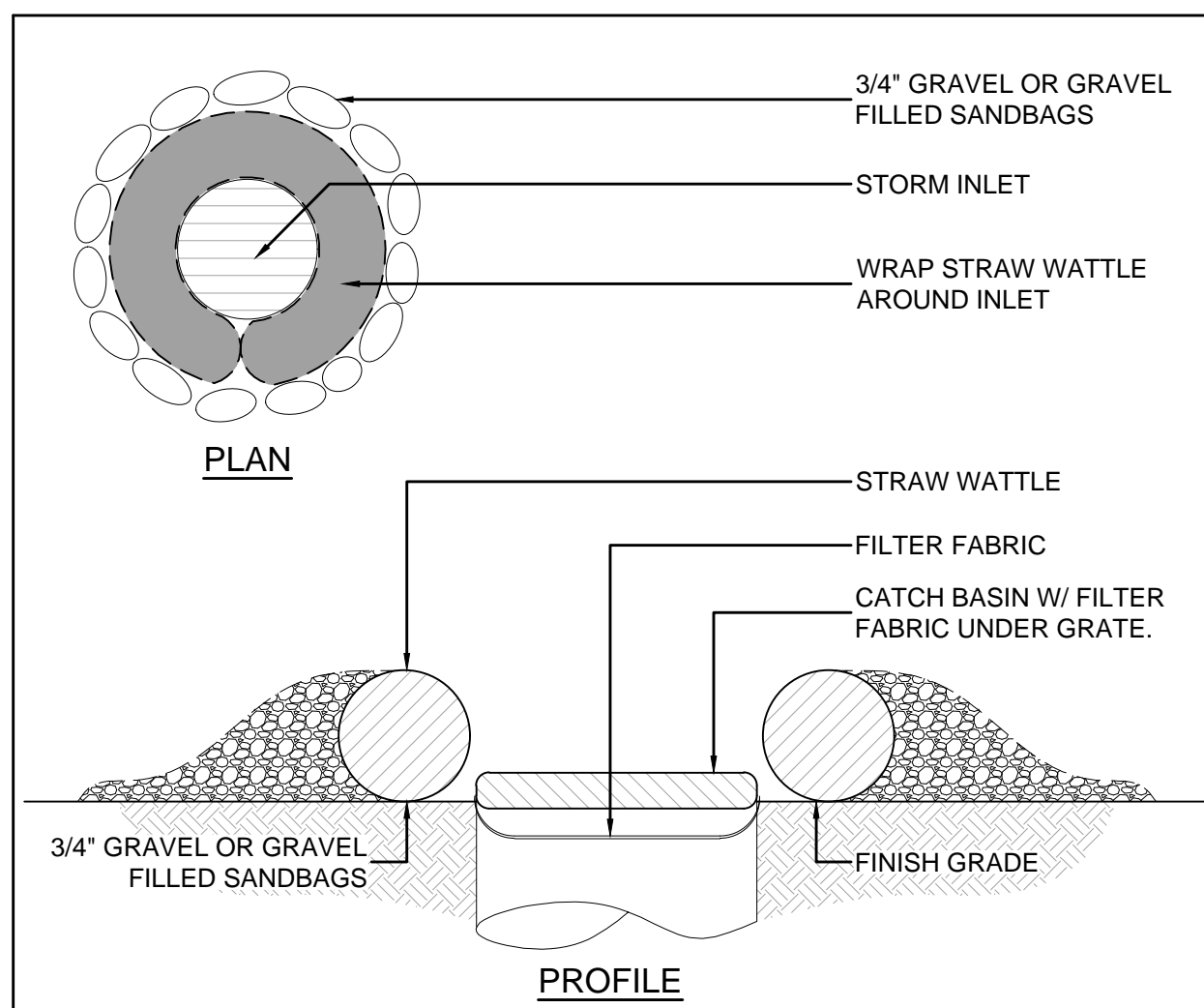
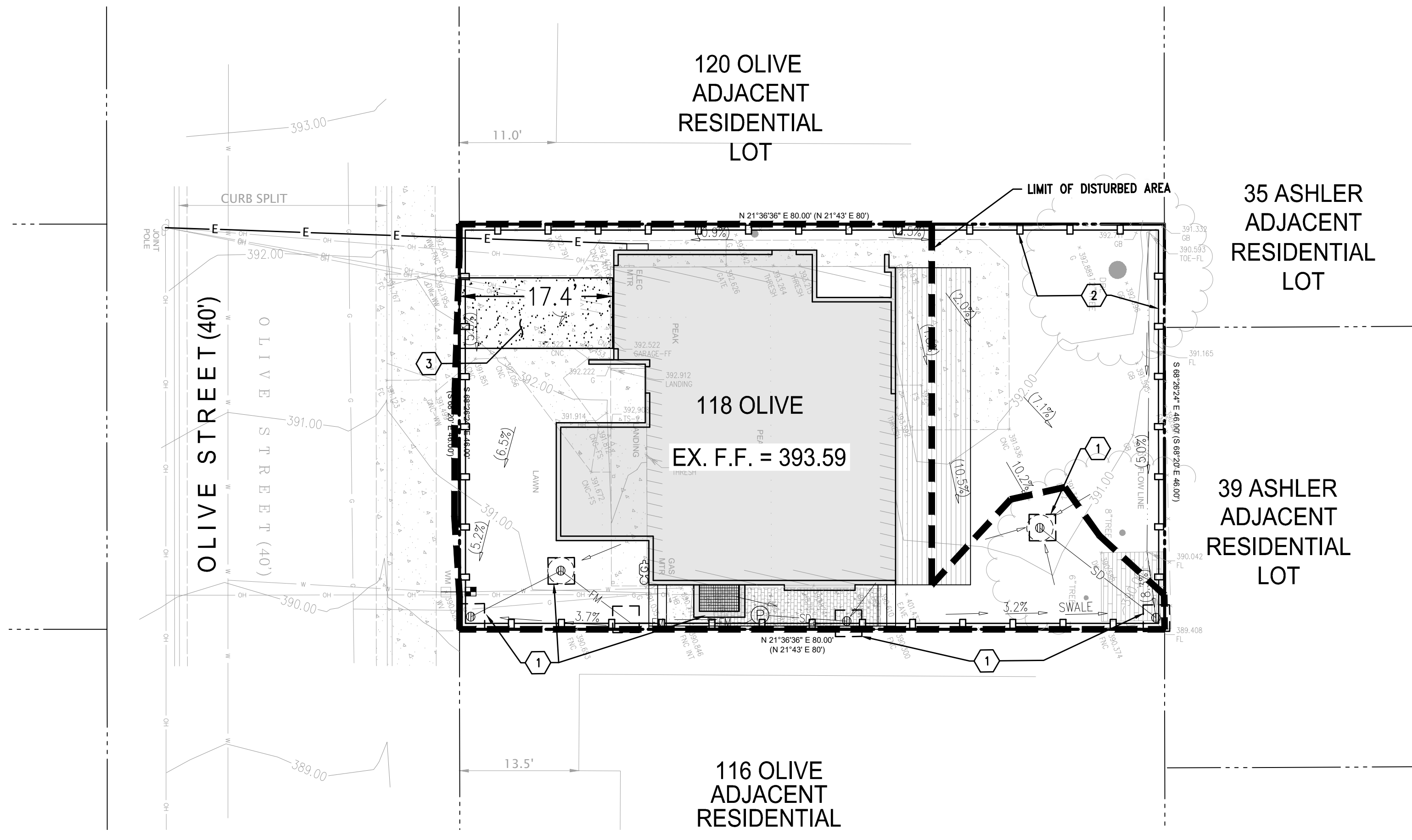
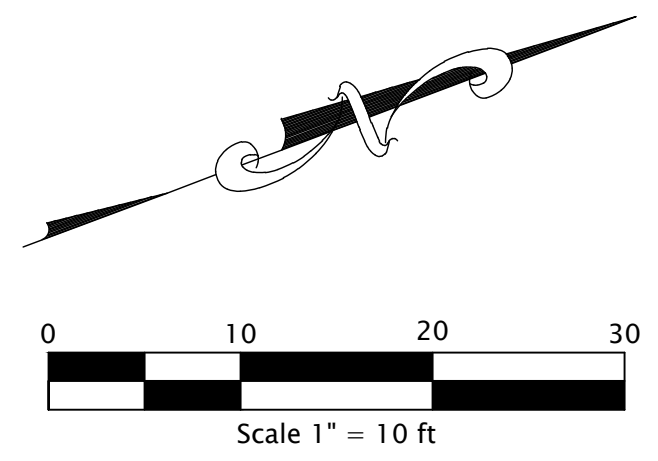
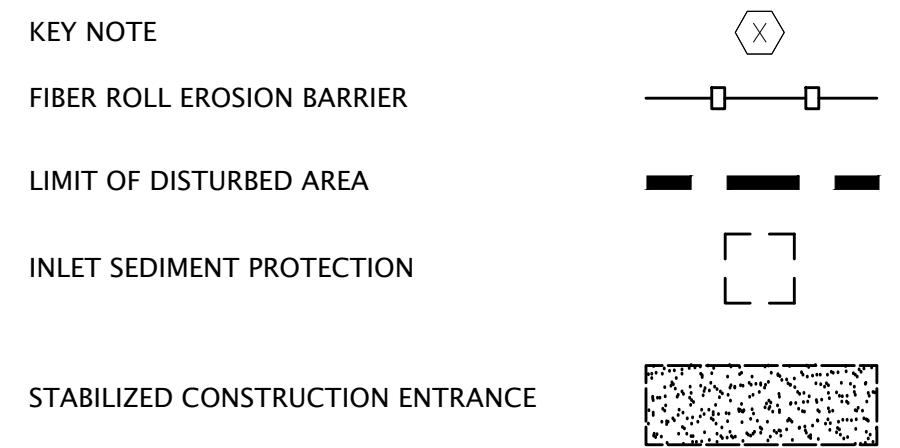
**EROSION CONTROL NOTES**

- EROSION CONTROL FACILITIES AND MEASURES ARE TO BE INSTALLED AND OPERABLE BY OCTOBER 15 AND SHALL CONTINUE IN EFFECT UNTIL APRIL 15, OR UNTIL INSTALLATION OF THE PERMANENT PROJECT LANDSCAPING AND PAVING.
- CHANGES TO THE EROSION CONTROL MEASURES INDICATED ON THESE PLANS AND DESCRIBED HEREIN TO ACCOMMODATE FIELD CONDITIONS MAY BE MADE ONLY WITH THE PRIOR APPROVAL OF OR AT THE DIRECTION OF THE CITY ENGINEER.
- A CONSTRUCTION ENTRANCE SHALL BE PROVIDED AT ANY POINT OF EGRESS FROM THE SITE. THE CONSTRUCTION ENTRANCE SHOULD BE COMPOSED OF COARSE DRAIN ROCK (GREATER THAN 3" BUT SMALLER THAN 6" IN DIAMETER) AT LEAST TWELVE (12) INCHES THICK BY FIFTY (50) FEET LONG BY TWELVE (12) FEET WIDE AND SHALL BE MAINTAINED UNTIL THE SITE IS PAVED.
- SEDIMENT TRAPS SHALL BE CONSTRUCTED AND MAINTAINED IN PLACE AROUND EACH STORM INLET AS INDICATED ON THE DEMOLITION PLAN. SEE THE "DRAIN INLET PROTECTION" DETAIL ON THIS SHEET. ALL INLETS WHICH ARE NOT PROTECTED BY SEDIMENT TRAPS SHALL BE COMPLETELY BLOCKED AS LONG AS THE EROSION CONTROL PLAN IS IN EFFECT.
- ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO PREVENT SEDIMENT-LADEN RUNOFF FROM ENTERING THE STORM DRAINAGE SYSTEM OR ADJACENT PROPERTIES.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY DURING THE RAINY SEASON. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS THERETO PRIOR TO ANTICIPATED STORMS, AND SHALL PERIODICALLY INSPECT THE SITE AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE REPAIRED IMMEDIATELY.
- FOLLOWING EACH STORM, THE CONTRACTOR SHALL INSPECT EACH STORM INLET SEDIMENT TRAP TO ASSURE THE INTEGRITY OF THE BASIN AND OUTLET PIPE. ANY DAMAGE TO THESE OR OTHER EROSION CONTROL DEVICES SHALL BE REPAIRED AS SOON AS PRACTICABLE.
- AS SOON AS PRACTICABLE FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE SEDIMENT TRAP BASIN AND SHALL CLEAR THE OUTLET PIPE OF ANY BLOCKAGE.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF THE EROSION CONTROL FACILITIES AND SHALL CONDUCT PERIODIC INSPECTION OF THE PROJECT SITE DURING STORMS OF PROLONGED DURATION AND/OR HEAVY INTENSITY TO ASSURE THAT THEY FUNCTION IN THE MANNER DESCRIBED HEREIN.

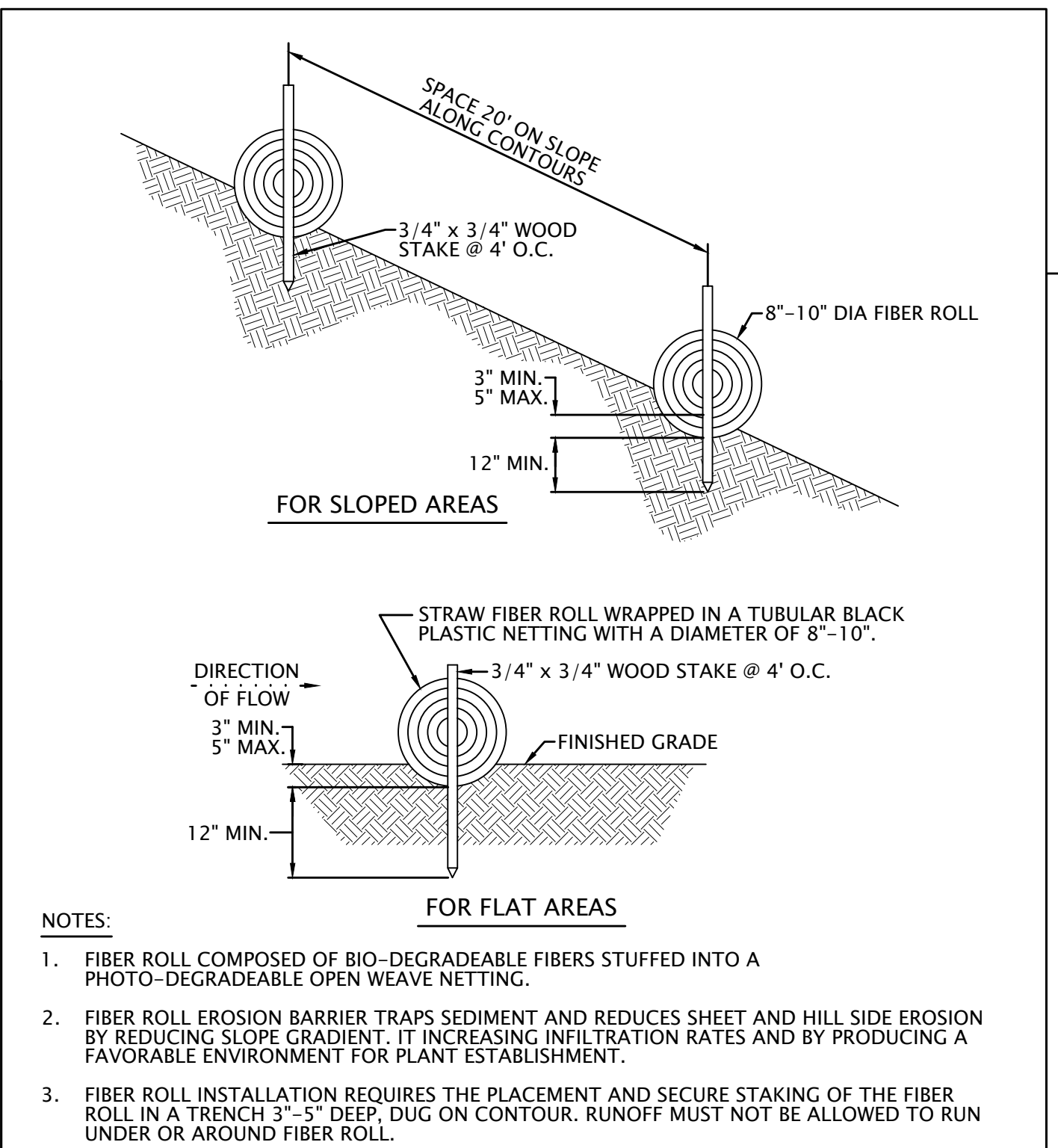
**EROSION CONTROL NOTES**

- PROVIDE INLET PROTECTION PER DETAIL 1 THIS SHEET.
- PROVIDE FIBER ROLL EROSION BARRIER PER DETAIL 2 THIS SHEET.
- PROVIDE CONSTRUCTION ENTRANCE PER DETAIL 3 THIS SHEET.

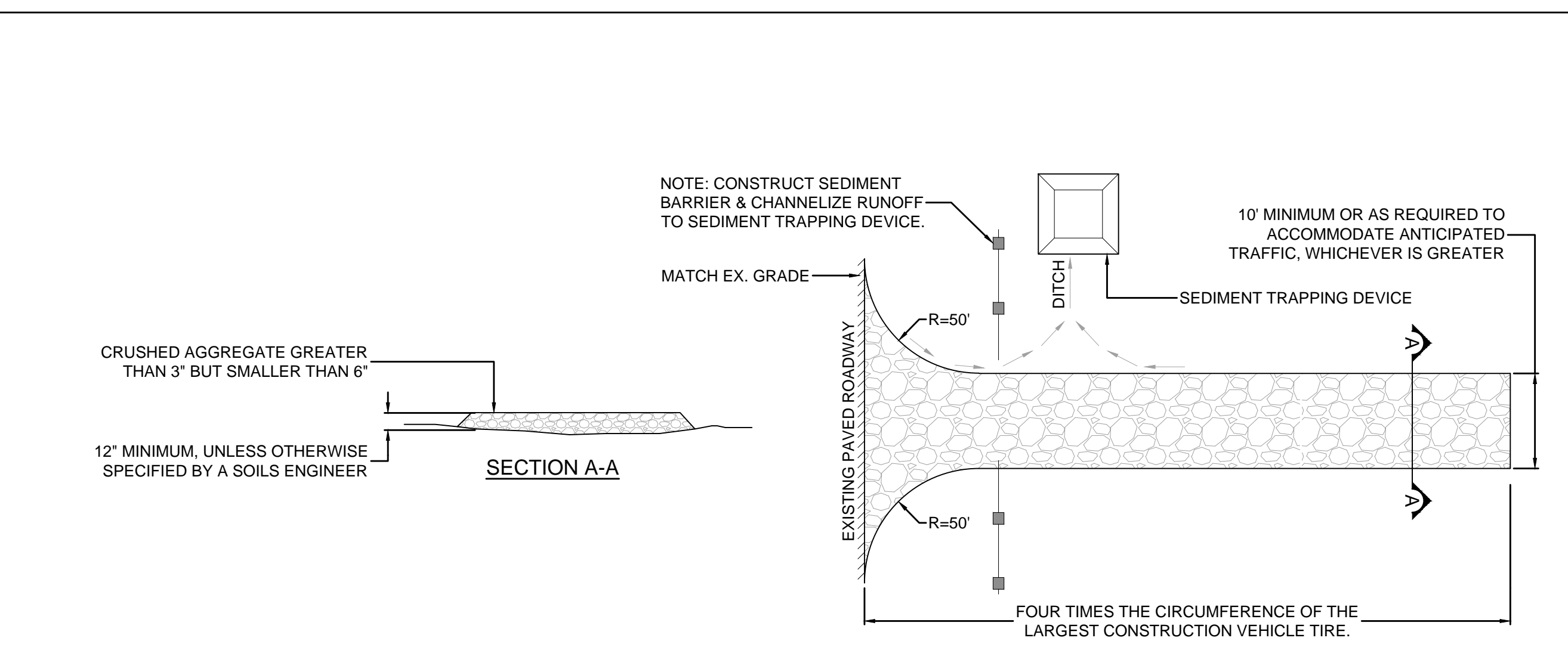
**LEGEND**



**DRAIN INLET PROTECTION** 1



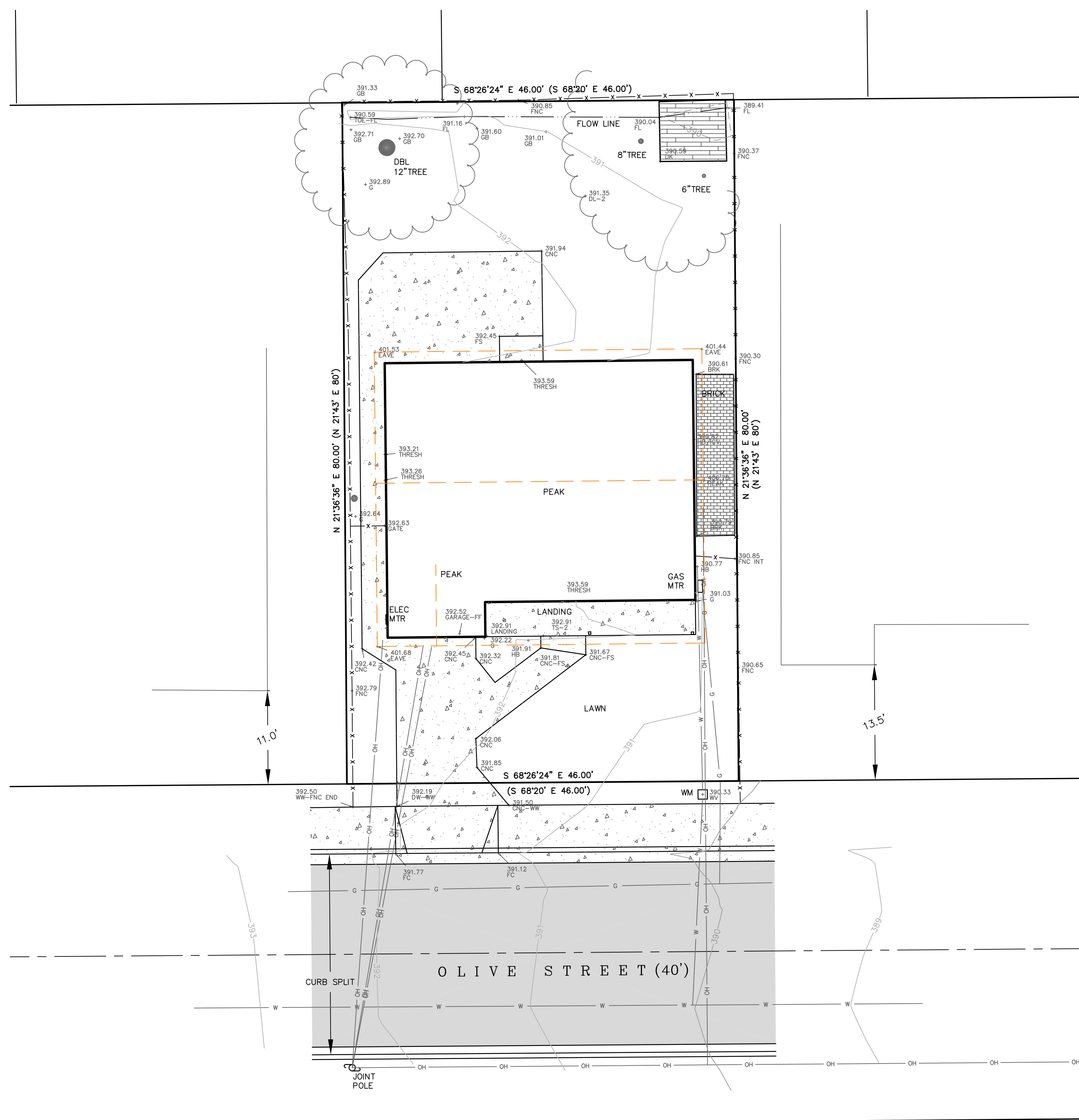
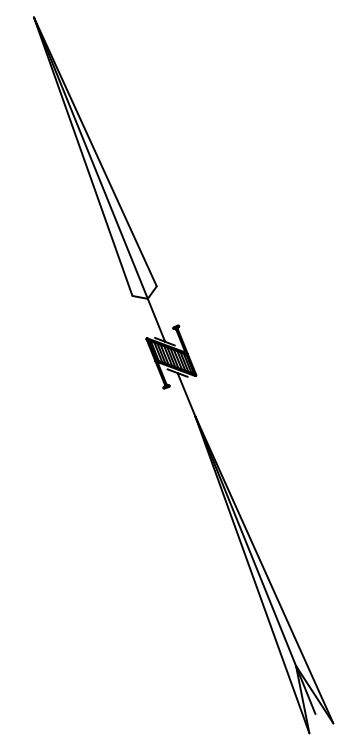
**FIBER ROLL EROSION BARRIER** 2



**STABILIZED CONSTRUCTION ENTRANCE** 3

BY	
REVISION	
No.	
BY	
REVISION	
No.	
RESPONSE TO ENG. COMMENTS - 6/08/2021	
RESPONSE TO ENG. COMMENTS - 9/14/2021	
CIVIL ENGINEERING • SURVEYING • LAND PLANNING 16185 Los Gatos Blvd., Suite 205 Los Gatos, Ca 95032 (408) 656 5917 GKMEngineering.com	
CALIFORNIA	
<b>EROSION CONTROL PLAN</b> REICHERT ADDITION & REMODEL APN: 41 0-15-022 118 OLIVE AVENUE	
DATE	9/23/2021
SCALE	AS SHOWN
DESIGNER	GM
DRAFTER	GM
JOB	A210614
SHEET	<b>C3.0</b>
OF	5 SHEETS





**PARCEL DATA:**  
 APN: 410-15-022  
 AREA: 3,680 SF +/-

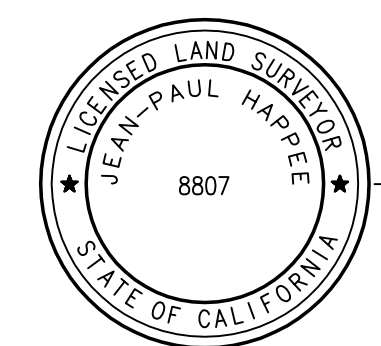
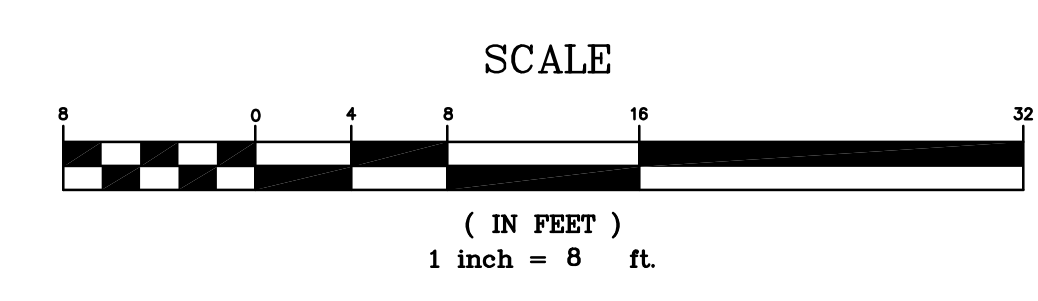
**ABBREVIATIONS**  
 PUE - PUBLIC UTILITY EASEMENT  
 WCE - WIRE CLEARANCE EASEMENT  
 SDE - STORM DRAIN EASEMENT  
 ICV - IRRIGATION CONTROL VALVE  
 AE - ANCHOR EASEMENT  
 OH - OVERHEAD UTILITY LINES  
 FS - FACE OF STEPS  
 TS - TOP OF STEPS  
 GB - GRADE BREAK  
 HB - HOSE BIB

**ELEVATION DATUM**  
 ELEVATIONS ARE DERIVED FROM A GPS READING AND BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988, ELEVATIONS HAVE NOT BEEN TIED TO A PUBLISHED BENCHMARK.

**REFERENCES**  
 (A) U-M-49  
 (B) 328-M-42  
 (C) DOC# 24808153

**BASIS OF BEARINGS**  
 BEARINGS ARE BASED UPON THE CENTER LINE OF FANCHER COURT AS SHOWN ON THAT CERTAIN MAP RECORDED IN BOOK 328 OF MAPS AT PAGE 42, SANTA CLARA COUNTY RECORDS  
 NORTH 60° 56' 16" WEST

**NOTES**  
 A TITLE REPORT WAS NOT PROVIDED FOR THIS SURVEY. EASEMENTS SHOWN, IF ANY, ARE COMPILED FROM RECORD MAPS AND THE CURRENT DEED FOR THE PROPERTY. THERE MAY BE ADDITIONAL EASEMENTS THAT BURDEN OR BENEFIT THE SUBJECT PROPERTY THAT WOULD ONLY BE REVEALED ON A TITLE REPORT.



*Jean-Paul Happee*  
 JEAN-PAUL HAPPEE, PLS 8807

ALPHA LAND SURVEYS, INC.			
4444 SCOTT'S VALLEY DR, #7 SCOTT'S VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1148 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP OF 118 OLIVE STREET TOWN OF LOS GATOS SANTA CLARA COUNTY	SHEET <b>C4.0</b> OF ONE
1" = 8'	DATE: 3/1/21	JOB#: 2020-065	