

69 Hernandez

PLUMBING PERMIT

Location

69 Hernandez

is hereby granted Access Permit
to install plumbing at above location in accordance with

RECEIPT for Five hundred Dollars
Inspection fee is hereby acknowledged.

By

W. O. C. 2.

For Permit	1.00
Water System 1.00	
House Sewer 1.00	
Sewer Connection 10.00	
Fixtures 1.00	
Water Heater 1.00	
Gas Line 1.00	
Gas Appliances .50	
Central Heat 1.00	
TOTAL FEE	\$12.00

ATC-20 Detailed Evaluation Safety Assessment Form

BUILDING DESCRIPTION:

Name: PENNER.Address: 69 HERMAN DER.No. of Stories: 2Basement: Yes ☒ No ☐ Unknown ☐Approximate Age: 65-70 YearsApproximate Area: Square feet

Structural System:

Wood Frame ☒ Unreinforced Masonry ☐Reinforced Masonry ☐ Tilt-up ☐Concrete Frame ☐ Concrete Shear Wall ☐Steel Frame ☐ Other

Primary Occupancy:

Dwelling ☒ Other Residential ☐ Commercial ☐Office ☐ Industrial ☐ Public Assembly ☐School ☐ Government ☐ Emer. Serv. ☐Historic ☐ Other

OVERALL RATING: (Check One)

INSPECTED (Green) ☒LIMITED ENTRY (Yellow) ☐

INSPECTOR:

Inspector ID MARILYN/SNEKRELLAffiliation SONOMA CO.

INSPECTION DATE:

Mo/day/year 10-20-88Time 2:45 am ☒ pm

Instructions: Complete building evaluation and checklist on next page and then summarize results below.

Posting:	Existing	Recommended
None	<input checked="" type="checkbox"/>	
Inspected (Green)	<input type="checkbox"/>	<input type="checkbox"/>
Limited Entry (Yellow)	<input type="checkbox"/>	<input type="checkbox"/>
Unsafe (Red)	<input type="checkbox"/>	<input type="checkbox"/>

Posted at this Assessment:

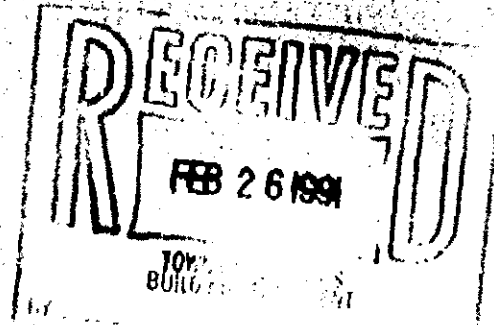
☐ Yes ☐ NoExisting posting by:

Recommendations:

☐ No further action required☒ Engineering Evaluation required (circle one) Structural ☒ Geotechnical ☐ Other ☐ Barricades needed in the following areas: ☐ Other (falling hazard removal, shoring/bracing required, etc.): Comments (Why posted Unsafe, etc.): 1. INVESTIGATE PERIMETER FOUNDATION, MOTOR.
CONNECTIONS POINTS, HOUSE SHIFTED TO NORTH.2. CHIMNEY FAILURE, FIRE CHIMNEY MUST BE REBUILT.



TOWN of LOS GATOS
BUILDING DEPARTMENT
(408) 354-6876



REQUEST FOR EXTENSION

PLAN REVIEW APPLICATION

APPLICATION NUMBER: B-19810
APPLICATION DATE: Sep 20 1990
EXPIRATION DATE: MARCH 20 1991
PHONE NUMBER: 355-8360

JOB ADDRESS: 239 Hernandez
OWNER NAME: Robert Keller
MAILING ADDRESS: 10 JACKSON ST
Suite # 203C
LOS GATOS CA 95030

DESCRIPTION OF WORK: new house

Please review and extend my application. The following is an explanation of the conditions (out of my control) which necessitate this request:

The mudslides on Hillside during rainy season

APPLICANT SIGNATURE: [Signature]

DATE: 2-26-91

NOTE TO APPLICANT: 1.

An application may be extended only once. An extension is valid for 180 days. In order to renew an application after expiration date, the applicant shall re-submit plans and pay a new plan review fee.

2.

Return to:

Building Department
110 E. Main Street
Los Gatos, CA 95032

DO NOT WRITE BELOW THIS LINE



APPROVAL



DISAPPROVAL

EXTEND TO: 9-4-91

REASONS:

APPROVED BY: [Signature]

Director of Building Services

DATE: 3-4-91

REMARKS:

TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA. 95030
BUILDING INSPECTION DEPARTMENT • PHONE 364-6874

APPLICATION FOR BUILDING PERMIT

B 19373

BUILDING ADDRESS 69 Hernandez	DATE 7-6-90
LOT NO. TRACT	SIZE OF LOT 12.5 AC.
USE OF EXISTING BUILDING Residence	NO. OF BUILDINGS 12.5 AC.
OWNER Jill & Dennis Penner	PH 354-1372
ADDRESS 69 Hernandez	CITY Los Gatos
ARCHITECT OR ENGINEER Riley Associates	PH 374-1700
ADDRESS 125 E. Sunnyside	CITY Campbell
CONTRACTOR Vega Corp.	PH 354-3412
ADDRESS 336 N. Santa Cruz	CITY Los Gatos
STATE LICENSE 564014	TOWN LICENSE 891545

NEW	ADD	ALTER	REPAIR	DEMOLISH
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
USE OF EXISTING	AREAS	BSMT	OTHER	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	
DESCRIPTION OF WORK Foundation & exterior work				

NAME
CONTRACTOR

ADDRESS
CONTRACTOR

☐ NOT APPLICABLE

CONTRACTOR'S DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA/A CONTRACTOR'S LICENSE LAW.

SIGNATURE X **[Signature]**

WORKER'S COMPENSATION DECLARATION

A

I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE X **[Signature]**

B

I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE X **[Signature]**

C

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE X **[Signature]**

BUILDING PERMIT APPROVAL		DATE
PLAN DEPT.		11
ENGINEERING DEPT.		11
FIRE DEPT.		11
BUILDING DEPT.		21/29
SEWER DEPT.		
COMPT.		
FR	TYPE CONST.	
SB	OCC GROUP	
FEAR	USE	
SB	FORM	
LEFT	FIRE	
SB	SPR	
RIGHT		
SB		
VALUATION		\$
FEES & TAXES		
BUILDING PERMIT		\$
SEISMIC TAX		
CONSTRUCTION TAX		
UTILITY TAX		
PARK TAX		
PLAN CHECK FEE		
TOTAL		\$

INSPECTION RECORD

7/12/90 CRIPPLE WALL SHEAR NAIL (A)

7/22/90 CRIPPLE WALL AB'S OK (A)

3651A111 07/06/90 TOTAL 0.00

10/23 APPROVALS

PERMITS LOCATION	DATE	APPROVAL
FORMS MATERIALS	8-13-90	[Signature]
LEAVE FIRE STOPS	7-27-90	[Signature]
BRACING BOOTS		
FURNACE LOCATION		
GAS VENT EXITS		
INSULATION		
LATH EXT		
INSULATION EXT		
LANDSCAPING		
PAVING AND CURBS		
IMPROVEMENTS		
COMPLETED		

TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 354-8878
INSPECTION REQUESTS PHONE 354-8877

P 18484

1

UNIT FEE	NO. OF ITEMS	AMOUNT	FEE
WATER CLOSET		7.00 EA	
BATH TUB		7.00 EA	
SHOWER		7.00 EA	
LAVATORY		7.00 EA	
SINK		7.00 EA	
DISHWASHER		7.00 EA	
DYPOSEH		7.00 EA	
CLOTHES WASHER		7.00 EA	
FLOOR DRAIN		7.00 EA	
DRAINAGE FTN		7.00 EA	
RAINWATER SYSTEM		6.00 PER DRAIN	
HOUSE SEWER		15.00 EA	
WATER HEATER		10.00 EA	
GREASE TRAP		12.00 EA	
GAS SYSTEM		10.00 SYSTEM	
LAWN SPRINKLER		9.00 SYSTEM	
WATER SYSTEM		10.00 SYSTEM	
VACUUM BREAKER		2.00 EA	
BACKFLOW DEVICE		8.00 EA	
PRIVATE SWIMMING POOL		30.00	
NEW FES COAST	50 FT X \$0.16 =		
		SUBTOTAL	

PLUMBING PLAN CHECK FEE 25%

Clearcut @ app line 8.00

ISSUANCE OF PERMIT

TOTAL FEES \$

28.00

CONTRACTORS DECLARATION

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW

SIGNATURE X *Connie Carlock*

COMPLETE A OR B

WORKERS COMPENSATION DECLARATION

A I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKERS COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE X *Connie Carlock*

CERTIFICATE OF EXEMPTION FROM WORKERS COMPENSATION INSURANCE

B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKERS COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE X

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO PLUMBING CONSTRUCTION AND I HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE X *Connie Carlock*

BUILDING ADDRESS *69 Hernandez Ave.*

USE OF BUILDING *Residence*

OWNER *Penna*

PHONE

MAIL ADDRESS

69 Hernandez

CITY *Los Gatos*

ZIP *95030*

CONTRACTOR

Dallas Carlock

PHONE

354-5413

MAIL ADDRESS

16721 Medina Ave.

CITY

Los Gatos

ZIP *95030*

STATE

LICENSE *446107*

TOWN

LICENSE *2010197*

GROUP

USE ZONE

PROCESSED BY

DATE

INSPECTION RECORD

VALUATION

TOWN OF LOS GATOS

PAID *for 2010*
for *179254.62*

APPROVALS

UNDERFLOOR WORK

FOUR PLUMBING

GAS FEES

GAS VENTS

HOT WATER HEATER

HOUSE SEWER

PLUMBING FEATURES

GAS TEST

UTILITY CO NOTIFIED

DATE

INSPECTOR'S SIGNATURE

9-15-07

Jim Hall

9-15-07

Jim Hall

7-10-62

7700 8480 17724
CUSTOMER 409 409 409 409

DESCRIPTION	AMOUNT
CUSTOMER 409 409 409 409	128.00

TOTAL DUE: 128.00

CUSTOMER 409 409 409 409	1.00
CUSTOMER 409 409 409 409	128.00
CUSTOMER 409 409 409 409	128.00
CUSTOMER 409 409 409 409	1.00

7700 8480 17724

116 E. MAIN ST., LOS GATOS, CA 95030
BUILDING INSPECTION DEPARTMENT • PHONE 364-0874

INSPECTION REQUESTS PHONE 384-6977

B 24863



BUILDING ADDRESS 69 Hernandez		STREET, AVE., BLVD., ETC.		SUITE OR APT. NO.	
USE OF EXISTING BUILDING		DATE 10/19/97		PH 354-1317	
OWNER Bill Penner		ADDRESS 69 Hernandez		CITY Los Angeles	
ARCHITECT (I) ENGINEER (I) DESIGNER (I)		CP 95030		STATE OR APT. NO.	
CONTRACTOR Penner Building Co		PH 354-1317		SUITE OR APT. NO.	
ADDRESS 4491 Pen Ave		CITY San Jose		CP 95127	
STATE LICENSE C-37-547736		TOWN LICENSE		SQUARE FOOTAGE EXISTING ADDITION TOTAL	
NO. OF STORES		SIZE OF LOT		NO. OF LIVING UNITS	
APN		ESTIMATE VALUATION			
DESCRIPTION OF WORK Rear porch addition with alk 40yr comp. 31' x 11'					
LENDING AGENCY		ADDRESS			
HAZARDOUS MATERIALS DECLARATION: If this application is for construction of new buildings or structures, I hereby certify that no hazardous materials are present on the site. <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
CONTRACTORS DECLARATION					
I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.					
SIGNATURE X [Signature]					
COMPLETE A OR B					
WORKERS COMPENSATION DECLARATION					
I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKERS COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED AND ON FILE WITH THE TOWN OFFICE FOR REFERENCE THAT IT SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE PROJECT.					
SIGNATURE X [Signature]					
CERTIFICATE OF EXEMPTION FROM WORKERS COMPENSATION INSURANCE					
B I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKERS COMPENSATION LAWS OF CALIFORNIA.					
SIGNATURE X [Signature]					
I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATIVE TO BUILDING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.					
SIGNATURE X [Signature]					

REQ FINAL INSP.		P.F.M.	DEPT.	PERMIT APPROVALS	DATE
REQ FINAL INSP.	PLAN				
REQ FINAL INSP.	ENGINEERING				
REQ FINAL INSP.	FIRE				
REQ FINAL INSP.	BUILDING				
REQ FINAL INSP.	CEP				

FEES AND TAXES			
FRONT SB	PERMIT ISSUANCE	BldgPrmt	\$ 20.00
REAR SB	BUILDING PERMIT	BldgPrmt	100.00
LEFT SB	TITLE - 24	Title24F	
RIGHT SB	SEWER TAX	SMIP 5%	1.04
USE ZONE		SMIP 95%	1.88
SEWER NO	PLAN CHECK	PChkB'dg	
TYPE GROUP	MICRO BUILDING	MicroB'dg	1.10
TYPE CONST	CONSTRUCTION TAX	ConstCap	
FIRE SPRINKLER []	JUDICIARY TAX	ConstUnd	
	PARK TAX	ConstPrk	
	PLANNING PLAN CHECK	PchKPlan	
	MICRO PLANNING	MicroPin	
	STORM DRAINING	Bas'n	
TOTAL \$			123.00

INSPECTION RECORD	
Smoke Detectors Required ALREADY INSTALLED OK CM 1-2-11/10-21-97	
TOWN OF LOS GATOS	
PAID - OCT 19 1997	
VALIDATION	FOR [Signature] # 2117

APPROVALS		
INSPECTION LOCATION	DATE	INSPECTOR'S SIGNATURE
FOODS MARKET		
UNIVERSITY MICROFILMS		
LIBRARY		
POSTAL SERVICE		
ADULTERY		
EXTERIOR LIGHT		
INSULATION		
SHEET ROCK		
BUILDING CODE FINAL		
BUILDING PERMIT FINAL	11-2-97	[Signature]

19 Hernandez
19373

SCOPE OF WORK:

A. PRELIMINARY SITE WORK:

1. Arrange with owner for working space requirements and material storage areas required onsite before starting work.
2. Remove all attached structures, sheds, plantings, irrigation systems and other items that will interfere with reconstruction work. Store removed materials onsite for future reinstallation after reconstruction work is completed.

B. FOUNDATION REPLACEMENT:

1. Provide for temporary provisions to raise utilities (sewer, water, gas, etc.) to provide continuous operation of the utilities during the temporary working reconstruction period. Provide diagonal bracing members from ground to floor level to stabilize house when lifted. Remove only that portion of exterior siding necessary to allow working space for the damaged foundation replacement. Remove nuts and washers from foundation anchor bolts and save for future reinstallation.
2. Use houseowner's jacks or heavy duty jacks to lift house from foundation sufficient to provide working room for reconstruction of damaged existing foundation. Maintain stability of structure at all times with diagonal bracing from ground to floor.
3. Remove damaged existing concrete foundations at those locations shown on the plans as well as any location where hidden damage to the foundation is discovered during the course of the work. Dispose of removed concrete and construction debris offsite.
4. Excavate for new concrete foundations as per the foundation detail shown on the plans. Do not fill overexcavated foundation areas with compacted soil - instead fill entire excavated area with structural concrete at time of pouring new foundation.
5. Install foundation forms, reinforcing steel and anchor bolts for the foundation as shown on the plans. Pour new foundation with 3,000 psi (4 sack per cubic yard) concrete. At least four (4) standard samples are to be taken and stored until tested by a material testing laboratory. Foundation forms are not to be removed until the concrete reaches 3,000 psi as measured by compression testing of these samples by the materials laboratory.

C. FLOOR ADJUSTMENT AND LEVELING:

1. Reset house on foundation only after new concrete foundations have reached 3,000 psi as measured by compression testing of concrete samples by the materials laboratory.
2. Install floor leveler jacks (see detail on plans) in place of each girder support post or as required by the field conditions to hold floor leveling adjustment.
3. Level first floor of house to within 1/2" of true level (using the top of the subfloor as reference) throughout the house.
4. After leveling is finished the mudsills shall be drypacked with a non-shrink grout to provide proper bearing and the mudsills shall then be reanchored to the foundation using bolt connector sleeves, bolt extensions, wooden spacer blocks, and larger washers to compensate for the larger holes thru the spacer blocks necessitated by the installation of the connector sleeves. The exterior siding is then to be reinstalled. However, any siding damaged by the contractor's operations including original removal as well as earthquake damage is to be replaced with new siding of like kind. All damaged floor beams and studs as well as other damaged structural members are to be replaced in kind.
5. In order to allow the wood framing of the house to adjust to the leveled condition, allow a nominal period of between three months and six months to elapse between the time that the house is leveled and the time that work begins to correct all interior wall cracks, door reframing and window distortion corrections (see Cosmetic Repairs below). It should be realized that the process of lifting and leveling the house will probably create new wall cracks and distortions that will also require future repairs.
6. After the house has been leveled and after the nominal period of between three months and six months has passed, the brick chimney and fireplace is to be rebuilt in conformance with the Town of Los Gatos Building Code including the use of reinforcing steel and full grouting of the space between the flue liner and the brick structure as well as proper metal flashing at the roof level where penetrated by the chimney.
7. Cleanup worksite, remove and dispose of all wood scraps and other construction debris from the basement area as well as the underfloor area and the exterior site area.

D. COSMETIC REPAIR:

1. Following the completion of the above construction items and after the recommended lapse of time to allow the frame, window and door shifting and adjustment to the new support conditions, the existing cracks in the wall and ceiling are to be repaired and painted as follows: Wall cracks should be repaired by replacing the damaged sheetrock panel to the stud and plate or backing block, NOT by putty infilling the cracks.
2. Ceiling cracks and ceiling damaged areas should be repaired by removing all damaged and loose plaster and replastering by an experienced craftsman with the proper equipment.
3. Distorted or uneven doors and windows should be rehung plumb and free working with proper trim installed.
4. The exterior and interior of the house is to be painted to blend the repaired areas with the nonrepaired areas to present a homogeneous appearance with proper surface protection.

These plans are based on normal engineering calculations made in accordance with generally accepted engineering principles using recommendations contained in a project report prepared by the undersigned dated November 13, 1988, Project 8993-1.

The reconstruction presented herein will, in my professional opinion, mitigate the effects of the earthquake of October 17, 1989, on the project property. It is expected, however, that some additional minor movement is possible and is to be expected. It is not represented that the reconstruction shown herein will be an absolute cure for the problems at the subject site.

The above is made in lieu of all other warranties either express or implied.

JAMES F. RILEY, R.C.S. 9493

APR 19 1992

FOUNDATION RECONSTRUCTION

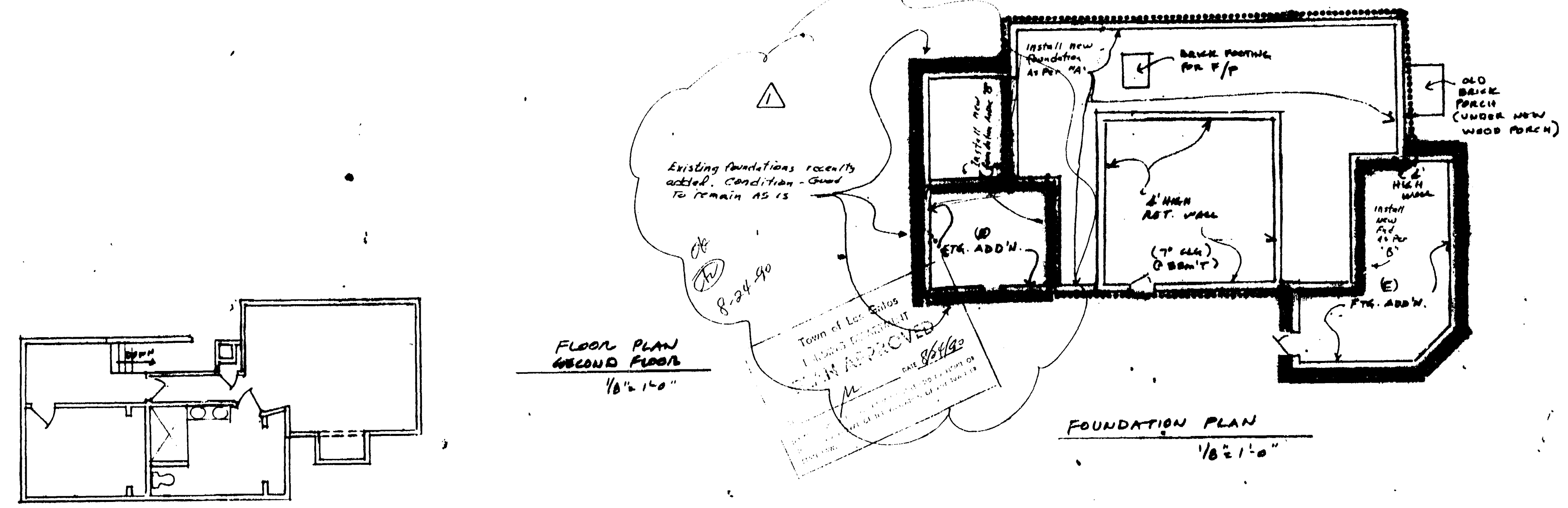
DATE: 4/23/92
DRAWN BY: JFR
CHECKED BY: JFR

THE PENNER RESIDENCE
69 HERNANDEZ AVE, LOS GATOS, CA 95030

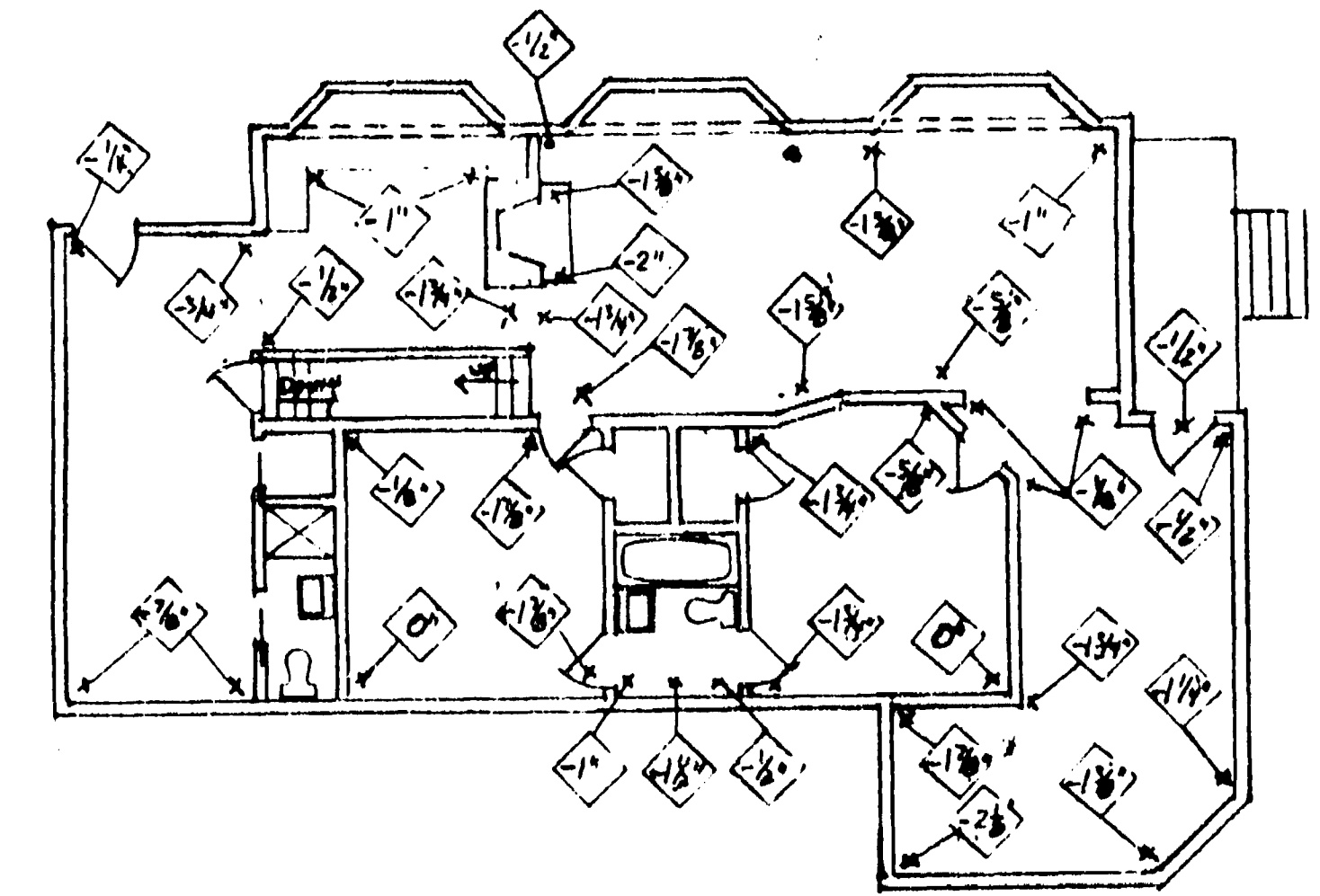
RILEY ASSOCIATES
8993

NOTE

Indicates FOUNDATION DETAIL (A)
Indicates FOUNDATION DETAIL (B)
Indicates FOUNDATION DETAIL (C)



FOUNDATION PLAN
1/8" = 1'-0"



FLOOR PLAN FIRST FLOOR
1/8" = 1'-0"

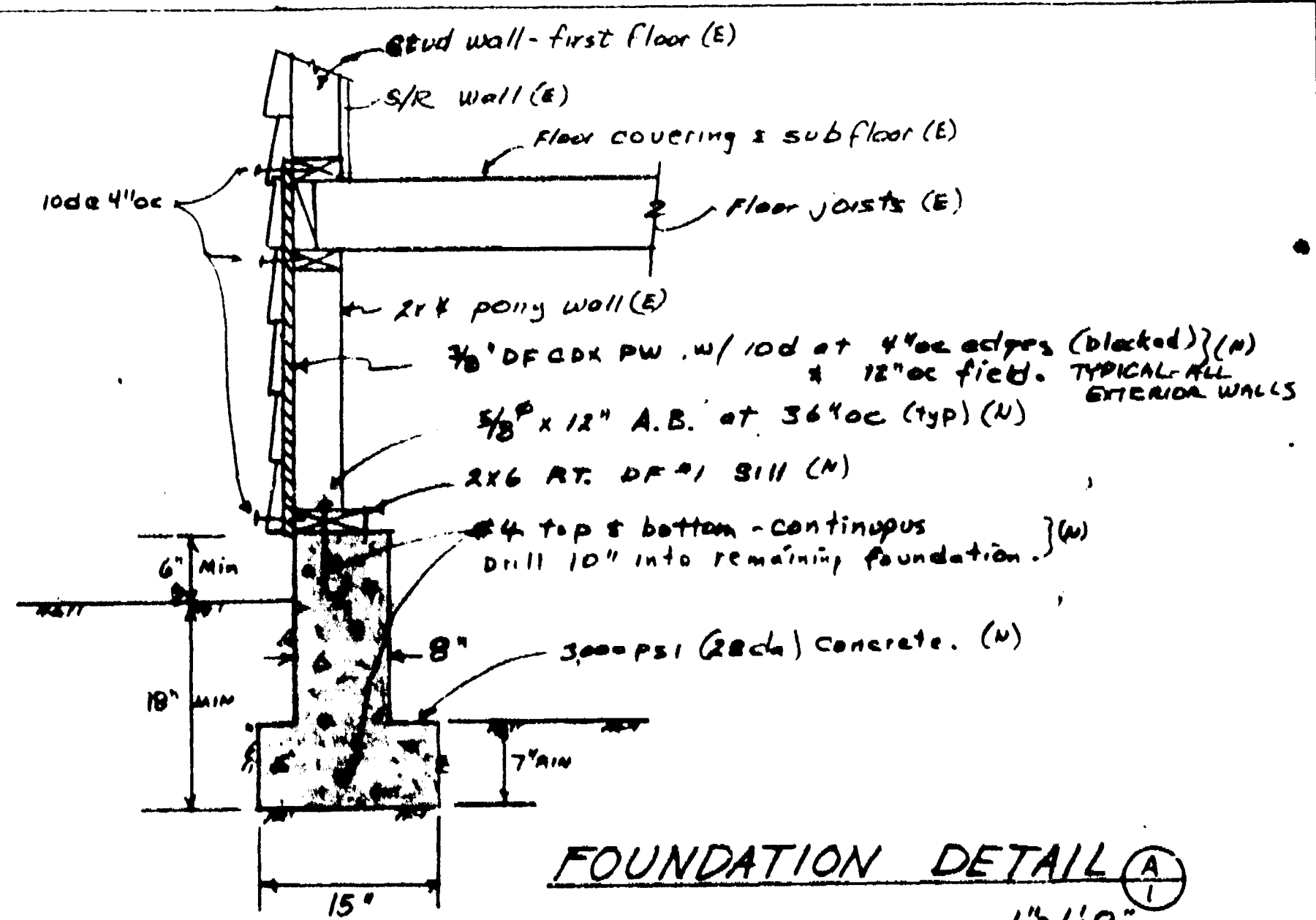
NOTE:

(A) INDICATES (E) FINISH FLOOR IS 1 1/2" BELOW LEVEL FLOOR PLANE

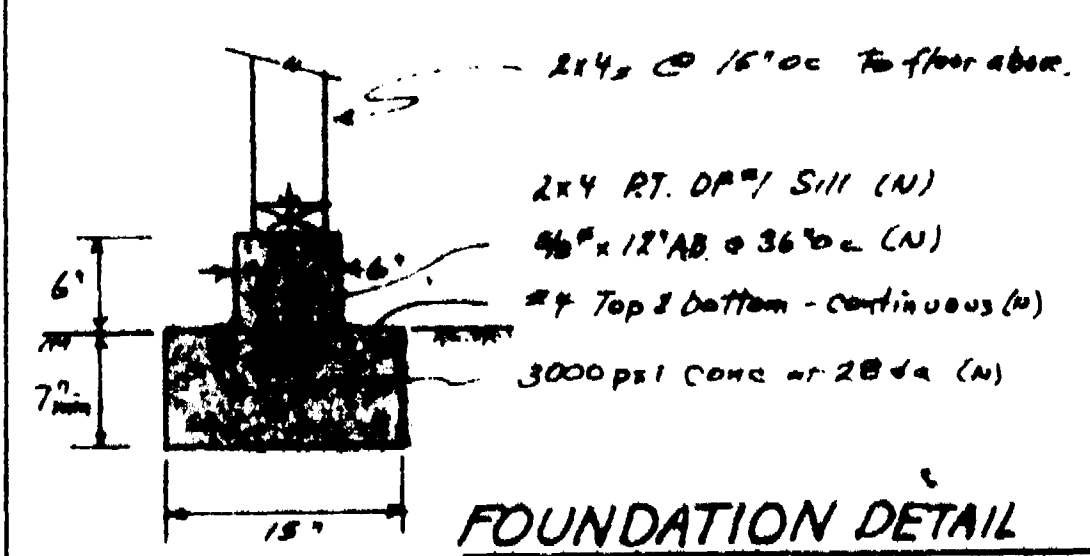
(B) INDICATES LEVEL FLOOR PLANE POINT

LEVEL FLOOR PLANE IS AT TOP OF SUB FLOOR AT BOTTOM OF LINOLEUM (1/4" MIN.) AND AT BOTTOM OF RUG (5/8" MIN.) AND AT BOTTOM OF TILE (1/2" MIN.).

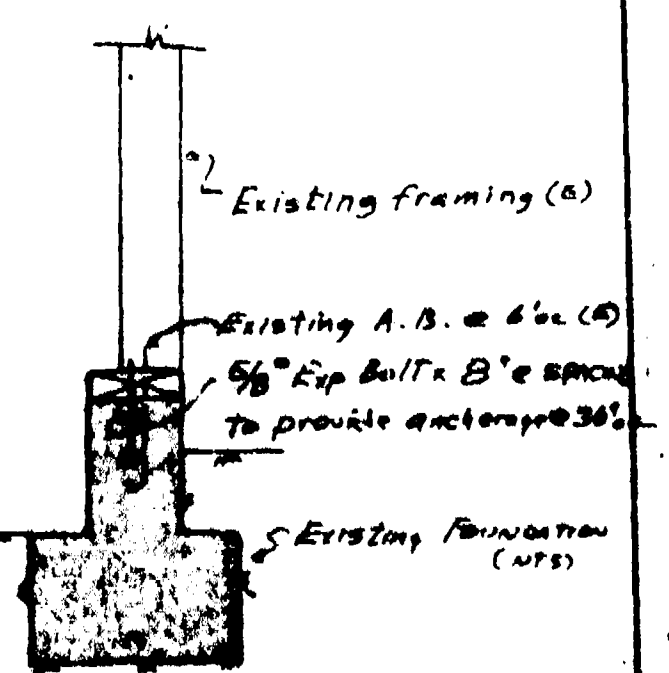
FLOOR PLAN BASEMENT
1/8" = 1'-0"



FOUNDATION DETAIL A
1 1/4" = 1'-0"



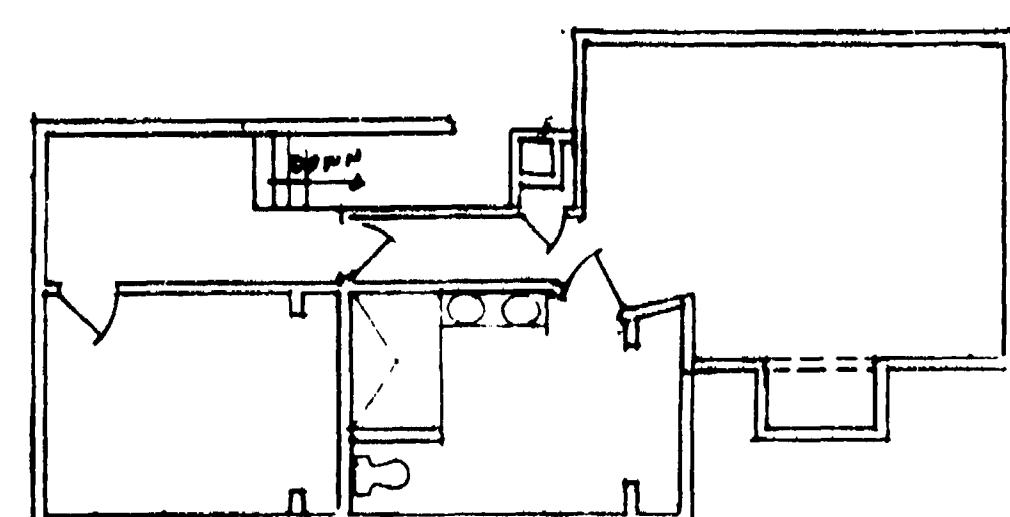
FOUNDATION DETAIL B
1 1/4" = 1'-0"



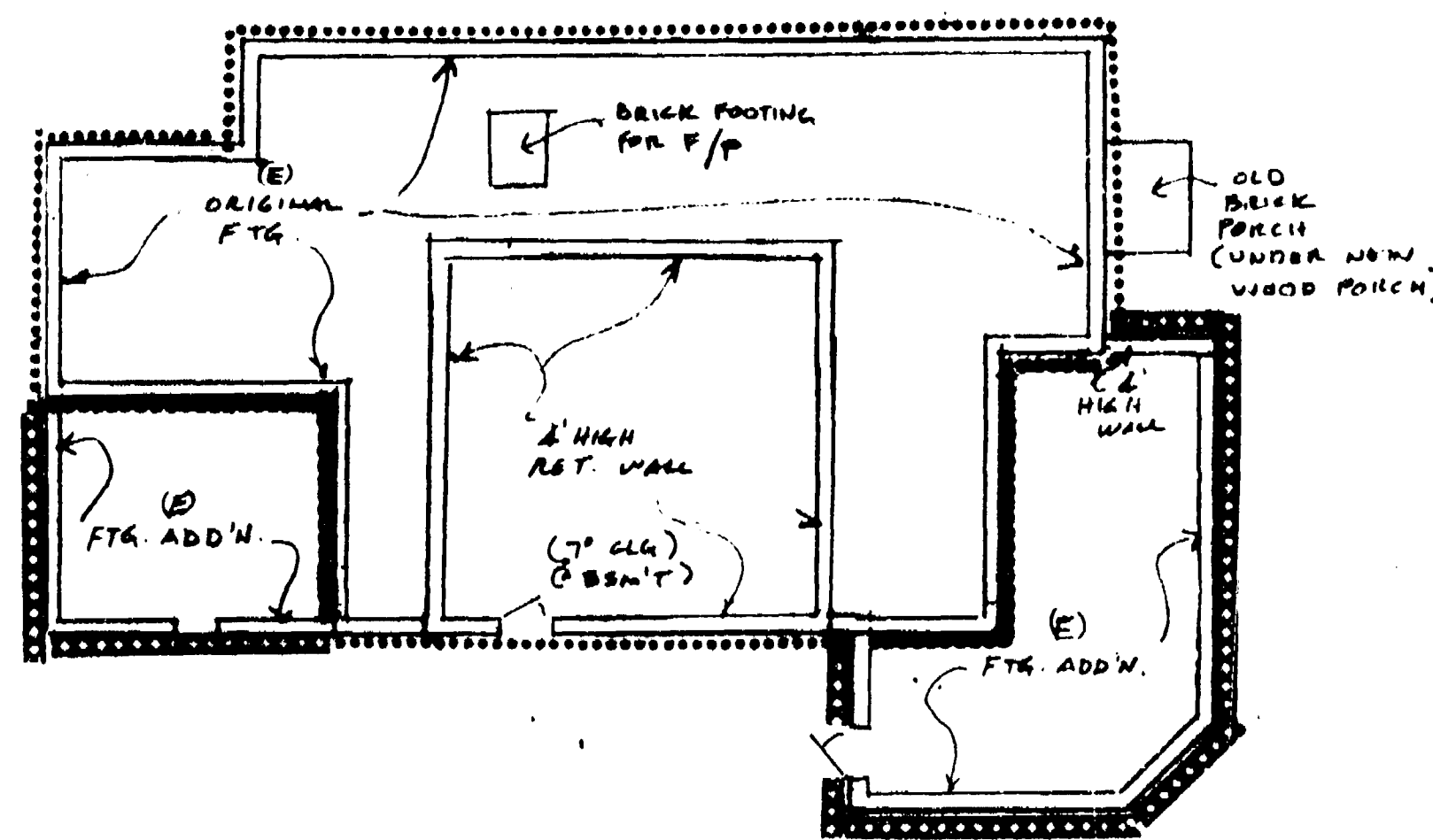
FOUNDATION DETAIL C
1 1/4" = 1'-0"

24X

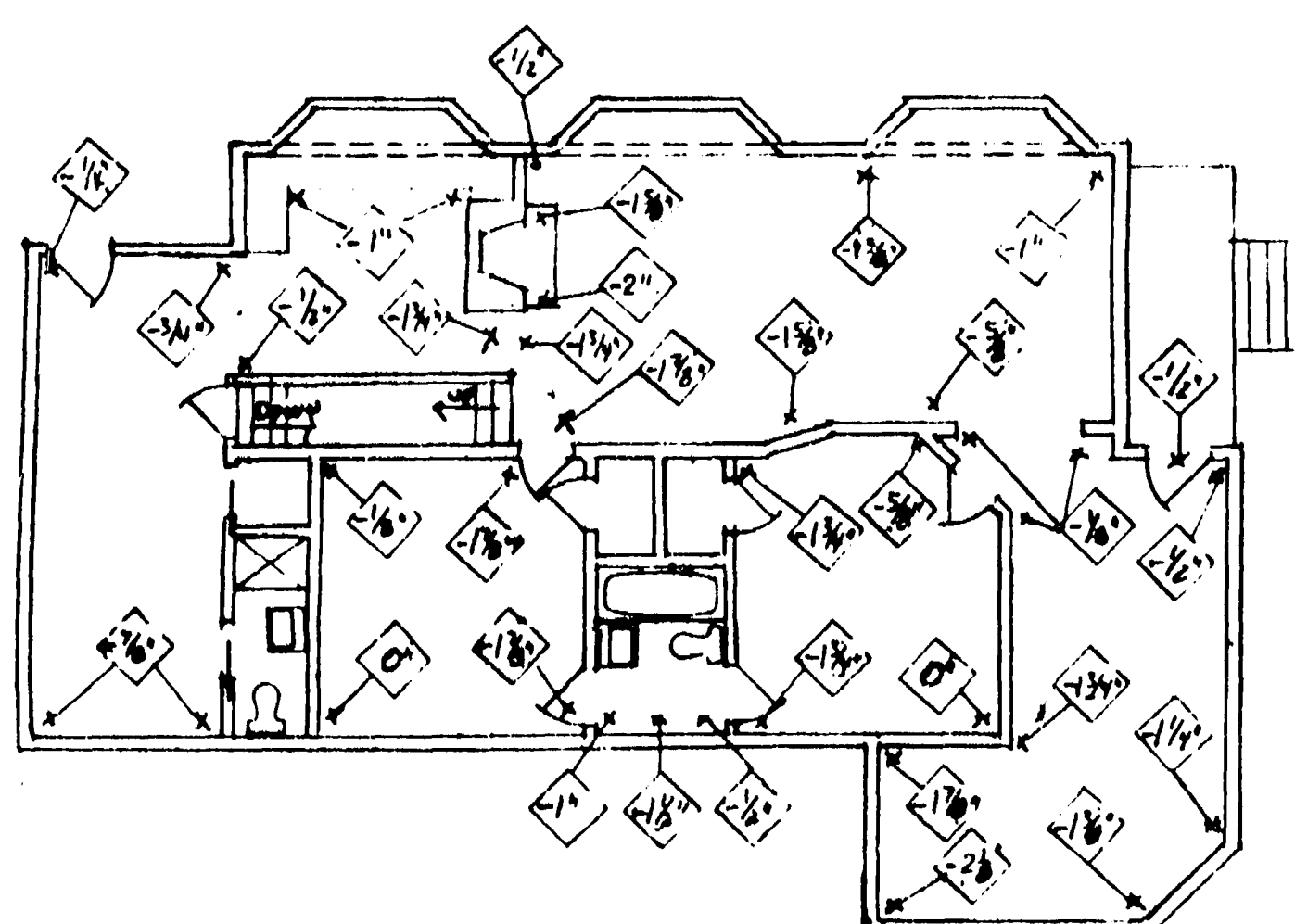
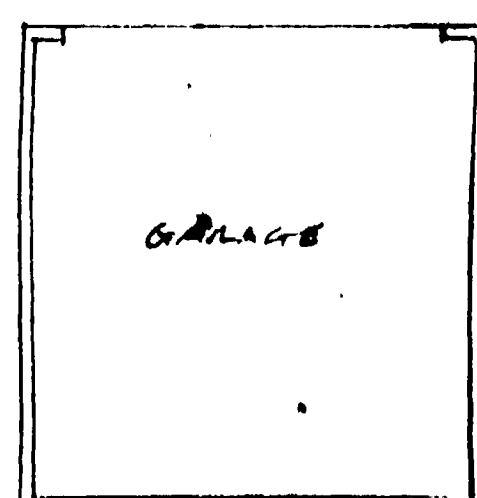
NOTE
 Indicates FOUNDATION DETAIL (A)
 Indicates FOUNDATION DETAIL (B)
 Indicates FOUNDATION DETAIL (C)



FLOOR PLAN
SECOND FLOOR
1/8" = 1'-0"

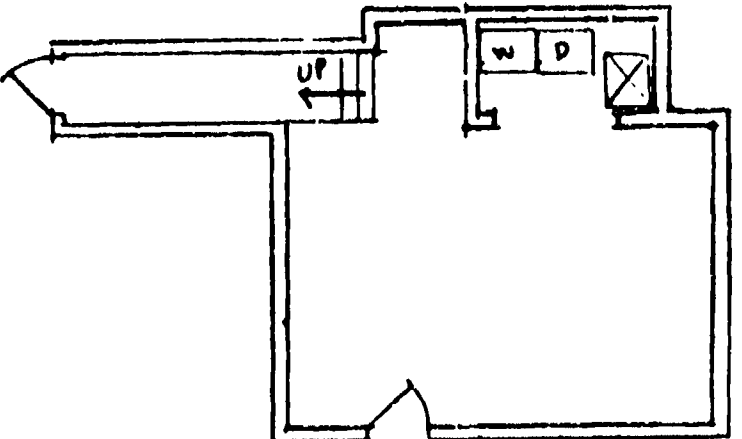


FOUNDATION PLAN
1/8" = 1'-0"



FLOOR PLAN
FIRST FLOOR
1/8" = 1'-0"

NOTE:
 (A) INDICATES (E) FINISH FLOOR IS 1/8" BELOW LEVEL FLOOR PLANE
 (B) INDICATES LEVEL FLOOR PLANE POINT
 LEVEL FLOOR PLANE IS AT TOP OF SUB FLOOR AT BOTTOM OF LINOLEUM (1/4" THICK) AND AT BOTTOM OF RUG (5/8" THICK) AND AT BOTTOM OF TILE (1/2" THICK).



FLOOR PLAN
BASEMENT 1/8" = 1'-0"

D. COSMETIC REPAIR:

- Following the completion of the above construction items and after the recommended lapse of time to allow frame, window and door shifting and adjustment to the new support conditions, the existing cracks in the wall and ceiling are to be repaired and painted as follows: Wall cracks should be repaired by replacing the damaged sheetrock panel to the stud and plate or backing block. NOT by putty infilling the cracks.
- Ceiling cracks and ceiling damaged areas should be repaired by removing all damaged and loose plaster and replastering by an experienced craftsman with the proper equipment.
- Distorted or uneven doors and windows should be rehung plumb and free working with proper trim installed.
- The exterior and interior of the house is to be painted to blend the repaired areas with the nonrepaired areas to present a homogenous appearance with proper surface protection.

NOTE

These plans are based on normal engineering calculations made in accordance with generally accepted engineering principles using recommendations contained in a project report prepared by the undersigned dated November 13, 1989. Project 8902-1.
 The reconstruction presented herein will, in my professional opinion, mitigate the effects of the earthquake of October 17, 1989, on the project property. It is expected, however, that some additional minor movement is possible and is to be expected. It is not represented that the reconstruction shown herein will be an absolute cure for the problems at the subject site.
 The above is made in lieu of all other warranties either express or implied.

James P. Riley
 JAMES P. RILEY, R.C.E. 9889

SCOPE OF WORK:

A. PRELIMINARY SITE WORK:

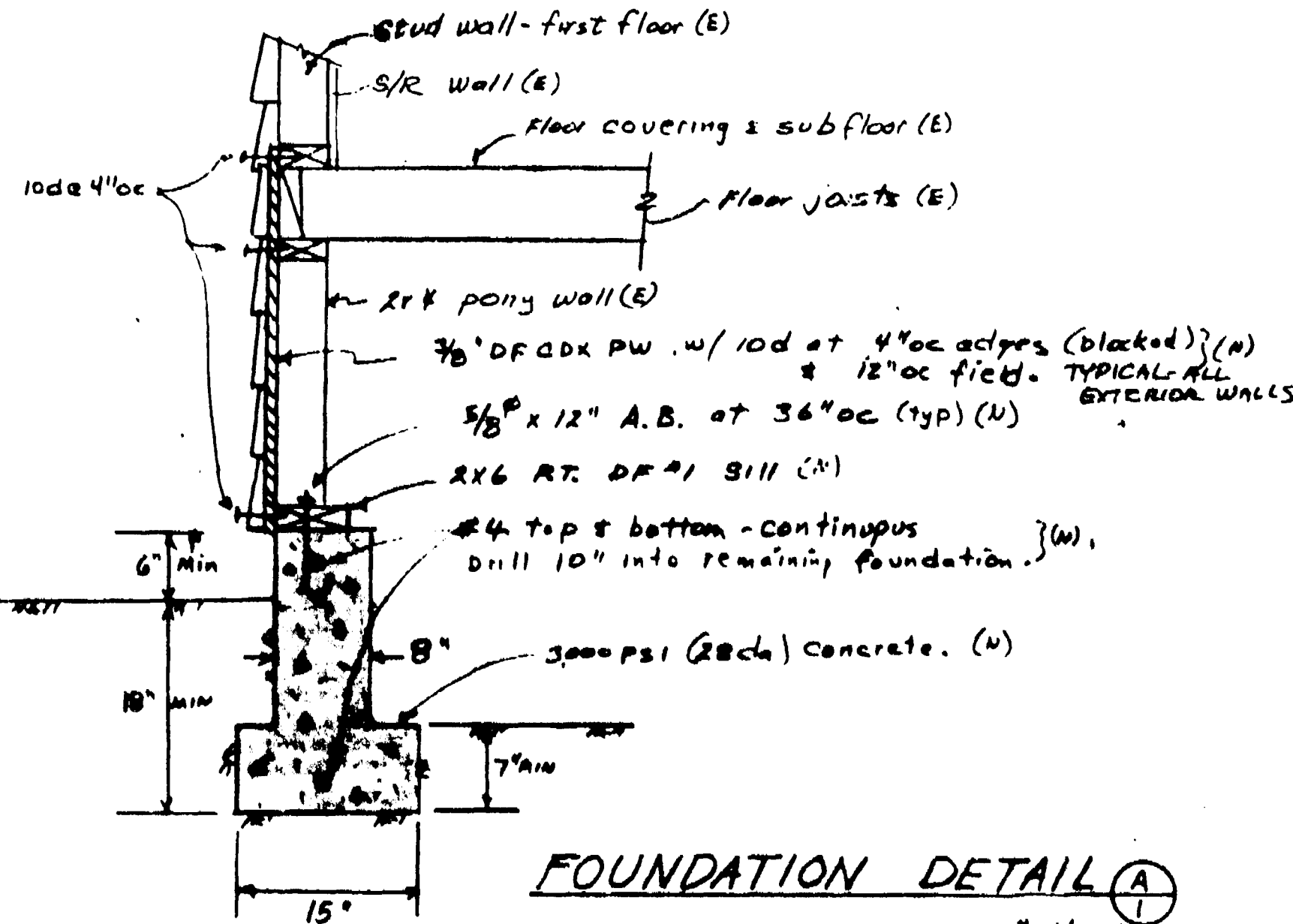
- Arrange with owner for working space requirements and material storage areas required onsite before starting work.
- Remove all attached structures, sheds, plantings, irrigation systems and other items that will interfere with reconstruction work. Store removed materials onsite for future reinstallation after reconstruction work is completed.

B. FOUNDATION REPLACEMENT:

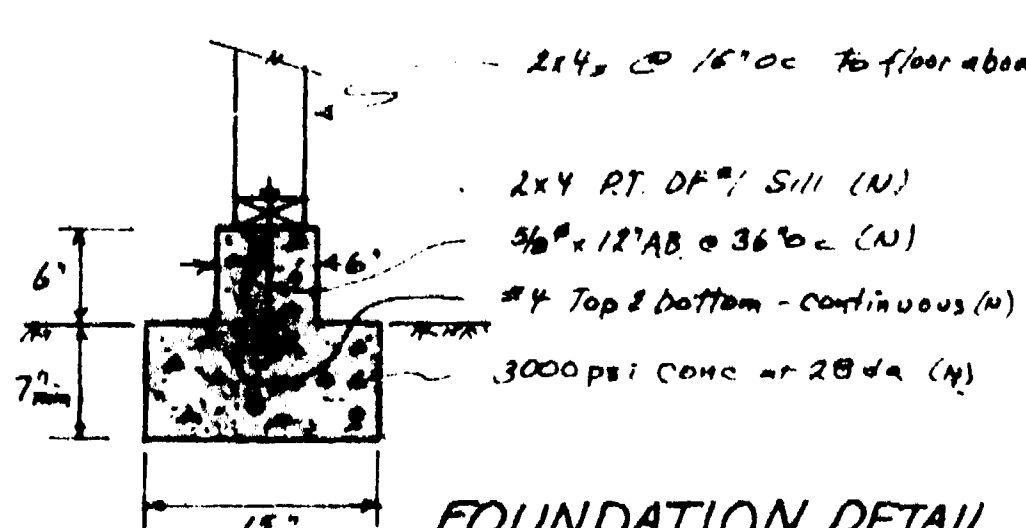
- Provide for temporary provisions to raise utilities (sewer, water, gas, etc.) to provide continuous operation of the utilities during the temporary working reconstruction period. Provide diagonal bracing members from ground to floor level to stabilize house when lifted. Remove only that portion of exterior siding necessary to allow working space for the damaged foundation replacement. Remove nuts and washers from foundation anchor bolts and save for future reinstallation.
- Use housejacker's jacks or heavy duty jacks to lift house from foundation sufficient to provide working room for reconstruction of damaged existing foundation. Maintain stability of structure at all times with diagonal bracing from ground to floor.
- Remove damaged existing concrete foundations at those locations shown on the plans as well as any location where hidden damage to the foundation is discovered during the course of the work. Dispose of removed concrete and construction debris offsite.
- Excavate for new concrete foundations as per the foundation detail shown on the plans. Do not fill overexcavated foundation areas with compacted soil - instead fill entire excavated area with structural concrete at time of pouring new foundation.
- Install foundation forms, reinforcing steel and anchor bolts for the foundation as shown on the plans. Pour new foundation with 3,000 psi (5 sack per cubic yard) concrete. At least four (4) standard samples are to be taken and stored until tested by a material testing laboratory. Foundation forms are not to be removed until the concrete reaches 3,000 psi as measured by compression testing of these samples by the materials laboratory.

C. FLOOR ADJUSTMENT AND LEVELING:

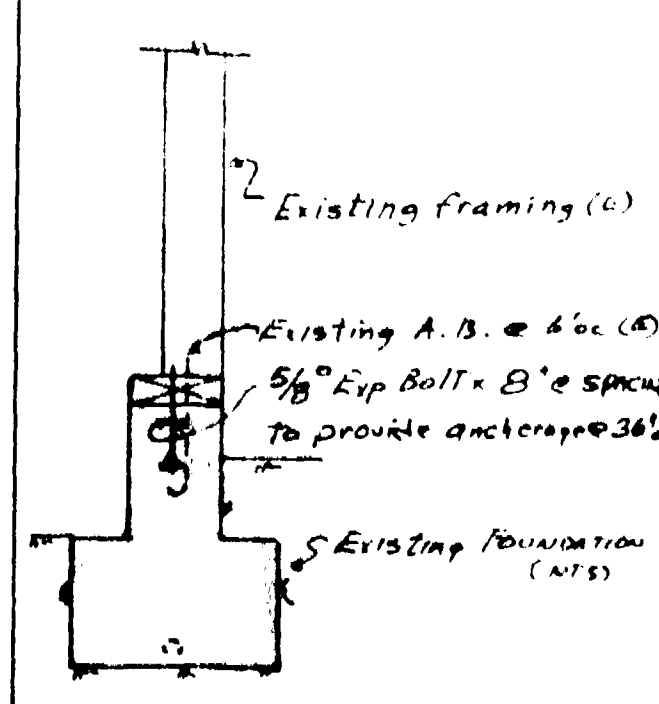
- Reset house on foundation only after new concrete foundations have reached 3,000 psi as measured by compression testing of concrete samples by the materials laboratory.
- Install floor leveler jacks (see detail on plans) in place of each girder support post or as required by the field conditions to hold floor leveling adjustment.
- Level first floor of house to within 1/2" of true level (using the top of the subfloor as reference) throughout the house.
- After leveling is finished the mudsills shall be drypacked with a non-shrink grout to provide proper bearing and the mudsills shall then be reanchored to the foundation using bolt corrector sleeves, bolt extensions, wooden spacer blocks, and larger washers to compensate for the larger holes thru the spacer blocks necessitated by the installation of the connector sleeves. The exterior siding is then to be reinstalled. However, any siding damaged by the contractor's operations including original removal as well as earthquake damage is to be replaced with new siding of like kind. All damaged floor beams and studs as well as other damaged structural members are to be replaced in kind.
- In order to allow the wood framing of the house to adjust to the leveled condition, allow a nominal period of between three months and six months to elapse between the time that the house is leveled and the time that work begins to correct all interior wall cracks, door reframing and window distortion corrections (see Cosmetic Repairs below). It should be realized that the process of lifting and leveling the house will probably create new wall cracks and distortions that will also require future repairs.
- After the house has been leveled and after the nominal period of between three months and six months has passed, the brick chimney and fireplace is to be rebuilt in conformance with the Town of Los Gatos Building Code including the use of reinforcing steel and full grouting of the space between the flue liner and the brick structure as well as proper metal flashing at the roof level where penetrated by the chimney.
- Cleanup worksite, remove and dispose of all wood scraps and other construction debris in the basement area as well as the underfloor area and the exterior site area.



FOUNDATION DETAIL (A)
1/4" = 1'-0"



FOUNDATION DETAIL (B)
1/4" = 1'-0"



FOUNDATION DETAIL (C)
NTS

FOUNDATION RECONSTRUCTION			
SCALE: 1/8" = 1'-0"	APPROVED BY: <i>[Signature]</i>	DATE: MAY 15, 1990	REVISION: 1/16
THE PENNER RESIDENCE 69 HERNANDEZ AVE, LOS GATOS, CA 95030			
RILEY ASSOCIATES		8993	

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