





# TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

## APPLICATION FOR BUILDING PERMIT

P 7022 ✓ 1

**FOR APPLICANT TO FILL IN**

ADDRESS: 137 N. SANTA CECILIA AVE  
 CITY: LOS GATOS  
 APPLICANT: JOHN LOCHNEIL  
 PROJECT: CEILING SOFFIT  
 ALTERNATE: ALVARADO AVE  
 TENANT: METAL FABRICATIONS  
 137 N. SANTA CECILIA AVE  
 LOS GATOS

137 N. SANTA CECILIA AVE

FIRE ZONE: 3	CONV. TYPE: I	GROUP: R-3	PROCEEDED BY:
PERMITS: C-2	REPAIR: CONSTRUCTION	VARIANCE: USE PERMIT	
FRONT	REAR	R. SIDE	L. SIDE

BUILDING PERMIT APPROVAL		DATE
[Signature]		3/20/74
[Signature]		4/3/78
[Signature]		8/12/79
[Signature]		4/5/79

INSPECTION RECORD

**DESCRIPTION OF WORK**

ACTOR TRUCK  
 OF ICE (2700) SHOP  
 80.50  
 10,000  
 SMI 70  
 TOTAL 81.20

VALIDATION

[Handwritten notes and signatures]

**APPROVALS**

DATE	INSPECTOR'S SIGNATURE
4/11/74 etc	[Signature]
	[Signature]

FINAL

DISTRIBUTION: 1 - TOWN ENGINEER, 2 - TOWN CLERK, 3 - APPLICANT, 4 - OWNER





# TOWN OF LOS GATOS

110 E. MAIN ST., LOS GATOS, CA 95030  
 BUILDING INSPECTION DEPARTMENT - PHONE 354-6876  
 APPLICATION FOR PLUMBING PERMIT

P 8011 ✓

FOR APPLICANT TO FILL IN

NO.	ITEM @ \$4.00 EA.	NO.	ITEM @ \$4.00 EA.	FEE
	WATER CLOSET		LAUNDRY TUB	
	FURN TUB		CLOTHES WASHER	
	SHOWER		DISHOTER	
	LAZATORY		FLOOD DRAIN	
	W.C.	2 #	FLOOR SINK	
	W.C. WASHED		DRINKING F. IN	
<p>ABOVE TOTAL X \$4.00 = <i>28</i></p>				
NO.	MISCELLANEOUS ITEMS			FEE
1	W.C. SEWER	1	10.00	
	WATER HEATER		5.00	
	WATER SYSTEM		5.00	
	WATER FITTING		5.00	
	LAWN SPRINKLER		6.00	
	PRIVATE SEWAGE SYSTEM		30.00	
	R. W. WATER SYSTEM DRAIN		2.00	
	SEW. SYSTEM		10.00	
	ADDITIONAL OUTLETS OVER 1" TO EA.			
	PERMIT			10.00

②	TOTAL FEE	\$ 35.00
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BUILDING ADDRESS  
 137 N. SANTA CRUZ

USE OF BUILDING  
 ICE CREAM PARLOR

OWNER  
 NAME  
 ADDRESS  
 CITY LOS GATOS TEL. NO.

CONTRACTOR GERARD PLUMBING  
 ADDRESS

CITY LOS GATOS TEL. NO.  
 STATE CALIF. LICENSE 511981 TOWN LICENSE

GROUP	USE ZONE	PROJECT ID
		Jd
INSPECTION RECORD		

VALIDATION

NO. 100351001

APPROVALS		
UNDER FLOOR WORK	DATE	SIGNATURE
RE-PIPE PLUMBING	4/15/79	[Signature]
GAS PIPING		
GAS VENTS		
HOT WATER HEATER		
HOUSE SEWER		
PLUMBING FIXTURES		
GAS TEST		
UTILITY CO NOTIFIED		
FINAL		

I hereby certify that I have read this application and that I am a duly licensed plumber in the State of California and I am qualified to perform the work proposed hereon. I agree to comply with all applicable codes and standards. I will be responsible for obtaining all necessary permits and for the accuracy of the information provided on this application. I agree to pay the fee for this permit and to comply with all applicable codes and standards.

I hereby certify that I am a duly registered and/or licensed as required by the Town of Los Gatos and State of California and that I am the legal owner of the work proposed hereon. My signature and seal are required for this permit.

SIGNATURE OF PERMITTEE: *Gerard Plumb*

SIGNATURE OF CONTRACTOR MUST BE THAT OF LICENSEE



# TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT - PHONE 354-6876

## APPLICATION FOR BUILDING PERMIT

B 5317

**FOR APPLICANT TO FILL IN**

PROPERTY ADDRESS: 137 N Santa Cruz

OWNER: Larry White

MAILING ADDRESS: 137 N Santa Cruz  
Los Gatos

APPLICANT: B. Turner

CONTACT: 2425 Valley View

PHONE: 354-2400

DATE: \_\_\_\_\_

137 N. Santa Cruz

FIRE ZONE	EXISTING TYPE	PROPOSED TYPE
<u>3</u>	<u>V</u>	<u>F-2 (CC)</u>
USE ZONE	CURRENT CONDITION	PROPOSED CONDITION
<u>C-2</u>		<u>RETELOW</u>

BUILDING PERMIT APPROVAL			DATE
PLANNING DEPT	<u>[Signature]</u>		<u>3/21/77</u>
ENGINEERING DEPT	<u>[Signature]</u>		<u>3/21/77</u>
INSPECTION DEPT	<u>[Signature]</u>		<u>3/22/77</u>

INSPECTION RECORD

**DESCRIPTION OF WORK**

1500 sq ft Add on

2400

2500

SMI 30

**TOTAL 24,50**

VALIDATION: MAN 24 4 2754 \* 0024.50 T

**USE AND OCCUPANCY APPROVAL**

ISSUED BY: [Signature] DATE: 1/1

PLANNING DEPARTMENT

**APPROVALS**

PLANNING DEPARTMENT	DATE
ENGINEERING DEPARTMENT	DATE
BUILDING DEPARTMENT	DATE
PLANNING AND OCCUPANCY DEPARTMENT	DATE
FINAL	

**Town of Los Gatos**  
 Building Inspection Department  
 Phone Elgato 4-4520

No. 4700 B

Location 137 N Santa Cruz  
 Lot Block Tract

**BUILDING PERMIT**

Street.....

Setbacks ft.

Front.....  
 Side (.....) (.....)  
 Rear.....

Zone C-2 Date 8-5, 1964

Is hereby granted in accordance with application to

~~Build~~ ) No. Elect Sign Family Residence and  
 Remodel )  
 Add to )  
 Move ) (or. Elect Sign Other Type Structure

Occupancy J

Owner Felice Spoes

Contractor Sunset Sign Co

Valuation 7,300 \$ 3.00 fee

RECEIPT for Elect Sign Dollars  
 as inspection fee is hereby acknowledged.

Town of Los Gatos Building Inspection Department

By W. A. [Signature]

ELECTRICAL, PLUMBING AND GAS PERMITS ARE REQUIRED  
 IN ADDITION TO THIS PERMIT

**INSPECTION RECORD**

	DATE	INSPECTOR
FOOTINGS		
FOUNDATION FORMS		
POUR NO CONCRETE UNTIL ABOVE HAS BEEN SIGNED		
BOND BEAM (CONC. BLK.)		
ROUGH PLBG.	PARTIAL	
	COMPLETE	
GAS PRESSURE		
ROUGH FRAME (INCLUDES FLUES, ROOF & SIDING)		
DO NOT WIRE UNTIL ABOVE HAS BEEN SIGNED		
ROUGH WIRING		
COVER NO WALLS UNTIL ABOVE HAS BEEN SIGNED		
STUCCO WIRE & LATH		
PLUMBING FIXTURES		
GAS APPLIANCES		
ELECTRICAL FIXTURES		
BUILDING COMPLETE		

No Utilities Will Be Cleared Until  
 (Building Complete) Has Been Approved

TOWN OF LOS GATOS  
BUILDING INSPECTION DEPARTMENT

Permit Number: P08 001020

Work Description: T-1 FOR LINDSEY FAIRBANK RESTAURANT AND PELLAGE

Building Address: 187 N SANTA FE ST  
 Owner: WHITE, LAWRENCE L & ANN M  
 Address: PO BOX 305  
 City: LOS GATOS, CA  
 Contractor: SHIC INC  
 License: 21601  
 Address: 440 N MAIN STREET  
 City: SAN JOSE, CA  
 Business Name:  
 Arch/Eng Firm Name:  
 License:  
 Address:  
 City:

Class Code: LIMITED  
 Applied: 12/26/1998  
 Approved: 12/21/1998  
 Expiration: 12/31/2000  
 Expired: 12/31/1999

Valuation: \$2,100,000  
 Total Sq.Ft.: 1,100 Available Sq.Ft.:  
 Class Code: 4-2 Bldg Comp: 101 Unit Count: 00

***** PERMIT FEES *****			
Permit Issuance:	25.00	Park Tax:	0.00
Building Permit:	600.00	Planner Plan Fee:	0.00
Title 24:	400.00	Minor Planning Fee:	0.00
Seismic Tax:	140.00	Site Plan Fee:	0.00
Plan Check:	60.00	Land Dept. Fee:	10.78
Micro Building:	0.00	Computer Fee:	10.40
Construction Tax:	0.00	Electricity Fee:	
Utility Tax:	0.00	Plumbing Fee:	
Gen Plan Fee:	0.00	Mechanical Fee:	

Total Estimated Fees: 1,225.00  
 Total Additional Fees: 0.00  
 Total Fees Due: 1,225.00  
 Total Payments: 0.00  
 BALANCE DUE: 1,225.00

PERMISSION TO CONTRACT  
 I certify that the above information is true and correct to the best of my knowledge and belief.  
 Signature: [Signature]  
 TITLE: [Title]  
 ADDRESS: [Address]  
 REFERENCE TO PERMITS: [Reference]  
 A. I hereby declare that I am a duly licensed contractor in the State of California and that I am not under any suspension or revocation of my license. I shall not employ any person in any manner or on any premises subject to the authority, jurisdiction or laws of the State of California.  
 Signature: [Signature]  
 CERTIFICATE OF PERMITS: [Certificate]  
 B. I certify that in the performance of the work shown this permit, I shall not employ any person in any manner or on any premises subject to the authority, jurisdiction or laws of the State of California.  
 Signature: [Signature]  
 CERTIFICATE OF PERMITS: [Certificate]  
 I certify that I have read this application and that the above information is correct. I agree to comply with all Town ordinances and State laws relating to building construction, and I hereby authorize representatives of this Town to enter upon the above property to verify the information hereon.  
 Signature: [Signature]

**WEST VALLEY SANITATION DISTRICT  
SANTA CLARA COUNTY**

100 E. Sycamore Ave., Cupertino, CA 95014  
408-379-2407

SEWER CONNECTION  
PERMIT NUMBER

Permit Date: \_\_\_\_\_

**LOCATION:**

A.P.N. \_\_\_\_\_  
 Sewer Location: Bk \_\_\_\_\_ Pg \_\_\_\_\_  
 Tract \_\_\_\_\_ Lot \_\_\_\_\_  
 Proj. \_\_\_\_\_ Assmt. \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Jurisdiction \_\_\_\_\_

**FEES:**

Acreage \_\_\_\_\_  
 Frontage \_\_\_\_\_  
 Service Advance \_\_\_\_\_  
 Processing \_\_\_\_\_  
 Other \_\_\_\_\_  
 Capacity \_\_\_\_\_

\$

**BUILDING SEWER CONNECTION:**

\_\_\_\_\_ Sewer \_\_\_\_\_  
 \_\_\_\_\_ Sewer \_\_\_\_\_  
 \_\_\_\_\_ Sewer \_\_\_\_\_  
 \_\_\_\_\_ Sewer \_\_\_\_\_  
 \_\_\_\_\_ Sewer \_\_\_\_\_  
 \_\_\_\_\_ Sewer \_\_\_\_\_

**BUILDING TYPE:**

\_\_\_\_\_ Single Family  
 \_\_\_\_\_ Condominium/Town Houses  
 \_\_\_\_\_ Multiple Dwelling  
 \_\_\_\_\_ Number of Units \_\_\_\_\_  
 \_\_\_\_\_ Commercial  
 \_\_\_\_\_ Industrial  
 Other Information: \_\_\_\_\_

**BACKFLOW PROTECTION:**

\_\_\_\_\_ Backflow Protection \_\_\_\_\_  
 \_\_\_\_\_ Backflow Protection \_\_\_\_\_  
 \_\_\_\_\_ Backflow Protection \_\_\_\_\_  
 \_\_\_\_\_ Backflow Protection \_\_\_\_\_  
 \_\_\_\_\_ Backflow Protection \_\_\_\_\_

**INSTRUCTIONS:**

Street encroachment permit required before  
 permit is issued. Permit fee must be paid to the City of Cupertino.  
 Do not connect any plumbing until it is accepted by the District.  
 Obtain a building or plumbing permit from the local building department.

**Change in Status:**

\_\_\_\_\_

Permit Number: P99-000071

Work Description: PLUM FOR T/I

Building Address: 137 N SANTA CRUZ AV
Owner.....: WHITE LAWRENCE L AND JOANN M TRU
Address.....: STEE ET A
City.....: PO BOX 695
Zip.....: 95031
Contractor.....: GHIC INC
License.....: 751631
Address.....: 440 N 1ST ST STE 160
City.....: SAN JOSE CA
Zip.....: 95112
Business Lic.: Also is Applicant

Status.: ISSUED
Applied.: 02/03/1999
Approved: 02/03/1999
Issued.: 02/03/1999
Expires.: 08/02/1999

--Square Footage--
New Residence: Remodel: Commercial:

\*\*\*\*\* PERMIT FEES \*\*\*\*\*
Permit Issuance.....: 25.00
Plan Check Fee.....: 27.00
New Residential.....: .00
Remodel.....: .00
Commercial.....: .00
Detail Plumbing Fee.: 148.00
\*\*\*\*\*
Total Calculated Fees: 210.00
Total Additional Fees: .00
Total Fees Due.....: 210.00
Total Payments.....: .00
BALANCE DUE.....: 210.00

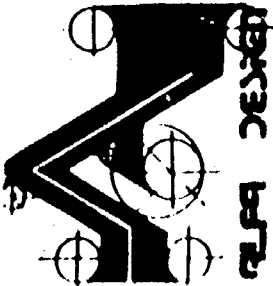
CONTRACTORS DECLARATION
I certify that I am properly licensed by the state of California.
Signature X: [Signature]

COMPLETE A OR B
WORKER'S COMPENSATION DECLARATION
A I hereby affirm that I have a policy of Worker's Compensation insurance. A notation of policy number and date of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.
Signature X: [Signature]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE
B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.
Signature X: [Signature]

CERTIFICATION OF PERMIT ISSUANCE
I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.
Signature X: [Signature]





2617 EAST 14TH STREET • ORKLAND • CA 94601  
 510•536•3599

3.3.99

(E) WALK

REVISION  
 RECEIVED

MAR 8 1999

TOWN OF LOS GATOS  
 BUILDING ENGINEERING SERVICES

395-001020

PROPOSED  
 2x4 @ 16" O.C. TYP.

REVISED 2.22.99

Update  
 6:30:00

3/11/99

PROPOSED  
 2x4 @ 16" O.C. TYP.  
 MEZANINE  
 LEVEL

1

(E) CONCRETE  
 WALL

MEZANINE  
 LEVEL

TJI HANGER

TJI FR. POST

WASHER

1/2" TYP  
 FLASHING

LEDGER DETAILS  
 N.T.S.

File COPY

(E) CONCRETE WALL

2x12 FULL LEDGER  
 POINTS TO (E) CONCRETE WALL  
 W/ 5/8" x 10" A-B @ 12" O.C. @ TOP/BOTTOM  
 5/8" TYP  
 1/4" EPOXY GROUT  
 5/8" TYP  
 1/2" O.C. TYP

24" @ 16" O.C. TYP

EX P.T. WD

1/2" x 10" A-B @ MAX

(E) CONCRETE  
 SLAB FLOOR TO  
 REMAIN

(E) STUD  
 WALL

(E) SLAB FLOOR

1 NEW ADDITIONAL  
 FOOTING  
 N.T.S.

2 CONT. #4 @ TOP/BOTTOM

#4 DOWELS TO (E) SLAB @ 12" O.C. TYP  
 W/ EPOXY GROUT.

FLOOR PLAN REVISION 2.22.99.

FOR RAIN BOW REST.  
 AT 137 NORTH SANTA CRUZ / LOS GATOS.

Permit Number: E99-000214

Work Description: ELEC FOR T/I

Building Address: 137 N SANTA CRUZ AV
Owner.....: WHITE LAWRENCE L AND JOANN M TRU
Address.....: STEE ET A
City.....: PO BOX 695
Zip.....: 95031
Contractor.....: W.E. MASON INC.
License.....: 88216
Address.....: P.O. BOX 1860
City.....: LOS GATOS, CA
Zip.....: 95030
Business Lic.: Also is Applicant

Status.: ISSUED
Applied.: 04/15/1999
Approved:
Issued.: 04/15/1999
Expires.: 10/12/1999

--Square Footage--

New Residence: Remodel: Commercial:

Table with 2 columns: Description and Amount. Includes rows for PERMIT FEES (Permit Issuance, Plan Check Fee, New Resident, Remodel, Commercial, Detail Electrical Fee), Total Calculated Fees (177.50), Total Additional Fees (.00), Total Fees Due (177.50), Total Payments (.00), and BALANCE DUE (177.50).

CONTRACTORS DECLARATION

I certify that I am properly licensed by the State of California Contractors License Law.

Signature X [Handwritten Signature]

COMPLETE A or B

WORKER'S COMPENSATION DECLARATION

A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.

Signature X [Handwritten Signature]

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE

B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.

Signature X [Handwritten Signature]

CERTIFICATION OF PERMIT ISSUANCE

I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.

Signature X [Handwritten Signature]

NOTICE:

- 1. Signs are regulated, See Planning Dept. for requirements
2. Outdoor lights are regulated against shining on other properties, strobe lighting is not permitted.



# TOWN OF LOS GATOS

## CERTIFICATE OF OCCUPANCY TOWN OF LOS GATOS

CIVIC CENTER  
110 E. MAIN STREET  
P.O. Box 949  
Los Gatos, CA 95031

This is to certify that a final inspection and examination has been made by the Building Department of that certain building located at: **137 N. SANTA CRUZ AVENUE** Town of Los Gatos, County of Santa Clara, State of California, and had been found to substantially comply with the provisions of the building and zoning ordinances of the Town of Los Gatos and/or the California State Housing Act and **MAY BE OCCUPIED** in accordance with the relevant provisions of said ordinances and/or the State Housing Act.

The permission hereby granted to occupy said building is based on the premise that said building and the land upon which it is situated will be consistently maintained in accordance with all the ordinances of the Town of Los Gatos and laws of the State of California regulating the use and occupancy of buildings of a similar class and lands before referred to.

The Certificate of Occupancy shall not be construed as authority to violate, cancel, alter, or set aside any of the provisions of requirements of any laws or ordinances of the Town of Los Gatos; nor shall such issuance thereafter prevent requiring corrections or errors or of violations of any applicable law or ordinance of the Town of Los Gatos.

Occupancy Group:	B	BUILDING USE: RESTAURANT
Division:		BUILDING DESCRIPTION: Type V - Non Rated
Use Zone:	C-2	AREA: 2,155 Square Feet
No. Stories:	1	CONDITIONS:
Building Permit No.	B98-001020	
Approved for Liv. Un:	N/A	

OWNER/ADDRESS: Lawrence L. & Joann M. White  
P.O. Box 695  
Los Gatos, CA 95231

DATE: October 25, 1999

Scott R. Baker, Director of Parks and Public Works

N:\B&E\FORMS\CERTS\LSANS60.WPD



Permit Number: M99-000444

Work Description: MECH FOR T/I

Building Address:	137 N SANTA CRUZ AV	Status..:	ISSUED
Owner.....:	WHITE LAWRENCE I, AND JOANN M TRU	Applied.:	10/06/1999
Address.....:	STEE ET A	Approved:	10/06/1999
City.....:	PO BOX 695	Issued...:	10/06/1999
Zip.....:	95031	Expires.:	04/03/2000
Contractor.....:	CHUN TSUI		
License.....:	580342		
Address.....:	3410 PARK BLVD		
City.....:	OAKLAND CA		
Zip.....:	94610		
Business Lic.:	Also is Applicant		

--Square Footage--  
 New Residence:                      Remodel:                      Commercial:

\*\*\*\*\*!\*\*\*\*\* PERMIT FEES \*\*\*\*\*

Permit Issuance.....:	25.00
Plan Check Fee.....:	16.75
New Residential.....:	.00
Remodel.....:	.00
Commercial.....:	.00
Detail Mechanical Fee:	67.00

\*\*\*\*\*

Total Calculated Fees:	108.75
Total Additional Fees:	.00
Total Fees Due.....:	108.75
Total Payments.....:	.00
BALANCE DUE.....:	108.75

CONTRACTORS DECLARATION  
 I certify that I am properly licensed by the State of California Contractors License Law.  
 Signature X \_\_\_\_\_

COMPLETE A or B  
 WORKER'S COMPENSATION DECLARATION  
 A I hereby affirm that I have a policy of Worker's Compensation insurance. A certified copy of a certificate of that insurance is herewith furnished, and on file with the Town. I further affirm that I shall keep the insurance in effect throughout the job.  
 Signature X \_\_\_\_\_

CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE  
 B I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the Worker's Compensation Laws of the State of California.  
 Signature X \_\_\_\_\_

CERTIFICATION OF PERMIT ISSUANCE  
 I certify that I have read this application and state that the above information is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspection purposes.  
 Signature X \_\_\_\_\_

NOTICE: All new mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town of Los Gatos Code.

# TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT \* PHONE 354-6876 FAX (408) 354-7593

INSPECTION REQUESTS PHONE 354-6877

## APPLICATION FOR MECHANICAL PERMIT

M99-

UNIT FEE	NO OF UNITS	AMOUNT	\$	FEE	BUILDING ADDRESS
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A/C, BOILER, COMPRESSOR, OR AIR HANDLER		20.00 EA			137 NORTH Santa Cruz Ave Los Gatos 95030
DUCT OUTLET OR REGISTER		3.00 EA	6	22	USE OF BUILDING
FIREPLACE		12.00 EA			OWNER Paul Kungsh, Hong Kong [REDACTED] PHONE [REDACTED]
VENTILATING FAN		6.00 EA	12	00	MAIL ADDRESS 1530 Smith Rd. San Jose, CA 95070
HOOD RESIDENTIAL		15.00 EA	<del>1</del>		MAIL ADDRESS
HOOD COMMERCIAL		25.00 EA	2	500	CITY ZIP
FLUE VENT		6.00 EA			CONTRACTOR PHONE
EVAPORATIVE COOLER		12.00 EA	2	400	CHUN WAIH TSUI [REDACTED]
SOLAR COLLECTOR		22.00 SYSTEM			MAIL ADDRESS
OTHER MECHANICAL APPLIANCE		15.00 EA			3410 PARK BLVD
GAS		10.00 SYSTEM			CITY ZIP
NEW RES CONST _____ SQ FT X 50 C4 +					OAKLAND CA 94610
		SUBTOTAL			STATE LICENSE 580342 TOWN LICENSE 141911
MECHANICAL PLAN CHECK FEE 25%					EXP. DATE 11-30-1999
ISSUANCE OF PERMIT		\$25.00			
<b>TOTAL FEES</b>			56	25	

**NOTICE:** All mechanical equipment shall be screened and the screening shall match the building in terms of material and color. Noise levels from the equipment shall not exceed what is permitted by Section 16.20.025 of the Town Code.

**NOTICE:** When installing a new A/C unit or repairing electrical, an electrical permit must also be required.

## Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

10/11/99  
Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

MON  
Day

Date

Job Address 137 N SANTA CRUZ AV. Plan No. 378-001020

Description Final of T.F. For "GREEN PAPAYA RESTAURANT"

Final inspection has been made of the above building and Certificate of Occupancy is to be issued \_\_\_\_\_, \_\_\_\_\_ 19\_\_\_\_, unless advised otherwise within 48 hours.

Certificate of Occupancy may be issued.

Hold issuance of Certificate of Occupancy.

By \_\_\_\_\_ Date \_\_\_\_\_

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

RETURN to:  
J. MUNOZ

## Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

1/10/94  
Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

Nov 17  
Day                                  Date

Job Address 127 N. 1st St. A. Plan No. 100-1000

Description Final inspection of "MAYA RE-MODEL"

Final inspection has been made of the above building and Certificate of Occupancy is to be issued \_\_\_\_\_, 19\_\_\_, unless advised otherwise within 48 hours.

- Certificate of Occupancy may be issued.                                   Hold Issuance of Certificate of Occupancy.

ASTER JOB CARD

By \_\_\_\_\_ Date \_\_\_\_\_

**Note:** If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

*REMOVED*  
*T. MUNOZ*



# Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

10/11/99  
Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

MON  
Day Date

Job Address 127 N Santa Ana Av Plan No. BR-001020

Description Final of T.E. FOR "GREEN PAPAYA RESTAURANT"

Final inspection has been made of the above building and Certificate of Occupancy is to be issued \_\_\_\_\_, 19\_\_\_\_, unless advised otherwise within 48 hours.

Certificate of Occupancy may be issued.  Hold issuance of Certificate of Occupancy.

By SLBail Date 10/14/99

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

RETURN TO:  
J. MUNOZ

# Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

10/11/99  
Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

11/01  
Day Date

Job Address 137 N South Pine Av Plan No. 100-1010-20

Description Truck at 7.0 P.M. "GREEN PARKA RESIDENT"

Final inspection has been made of the above building and Certificate of Occupancy is to be issued \_\_\_\_\_, 19\_\_\_\_, unless advised otherwise within 48 hours.

Certificate of Occupancy may be issued.  Hold issuance of Certificate of Occupancy.

By [Signature] Date 10/14/99

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

REMOVED  
J. MILANOZ

**TOWN OF LOS GATOS  
COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING PERMIT**

Permit Number: **B04-0638**

Work Description: **T/O (E) BUILT-UP AND R/R 7000 SF W/BUILT-UP**

Building Address: **137 N SANTA CRUZ AV LG**

Status: **APPLIED**

Applied: **08/04/2004**

Issued: **08/04/2004**

Approved: **08/04/2004**

Expires: **01/31/2005**

CONTRACTOR **STATEWIDE ROOFING INC**  
5542 MONTEREY ROAD #201  
SAN JOSE CA  
95138

08/06/2004 Phone: [REDACTED]

License: **803926**

OWNER **ADAMS JAMES**

07/09/2001 Phone: [REDACTED]

LOS GATOS, CA  
95030

Valuation: \$31,000.00  
Total Sq. Ft.: 7000 Liveable Sq.Ft.: 0  
Class Code: 437 Bldg Count: 1 House Count: 0

Description	Tot Fee
Building Permit Fees	482.85
Computer Services Fee	18.07
Microfilm Fees - Bldg.	2.20
NPDES Fee	50.00
Road Impact Basin #2	280.00
Seismic Tax 5%	.33
Seismic Tax 95%	6.18

Total Calculated Fees: \$819.63  
Total Additional Fees: \$0.00  
Total Fees Due: \$819.63  
Total Payments: \$0.00  
Balance Due: \$819.63

**LICENSED CONTRACTOR'S DECLARATION**

I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 of division 3 of the Business and Professions Code, and my license is in full force and effect.

Signature X: *[Signature]* COMPLETE A or B

**WORKER'S COMPENSATION DECLARATION**

A) I hereby affirm under penalty of perjury I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

**CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE**

B) I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that, if I should become subject to the worker's compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Signature X: \_\_\_\_\_  
WARNING: FAILURE TO SECURE WORKER'S COMPENSATION COVERAGE IS UNLAWFUL, AND SHALL SUBJECT AN EMPLOYER TO CRIMINAL PENALTIES AND CIVIL FINES UP TO \$100,000, IN ADDITION TO THE COST OF COMPENSATION, DAMAGES AS PROVIDED FOR IN SECTION 3706 OF THE LABOR CODE.

**CERTIFICATION OF OWNER/BUILDER DECLARATION**

I hereby affirm under penalty of perjury that I, as owner of the property, have read this application and the owner/builder information form attached is correct. I agree to comply with all Town ordinances and State Laws relating to building construction, and hereby authorize representatives of this Town to enter upon the above mentioned property for inspections.

Signature X: \_\_\_\_\_



# TOWN OF LOS GATOS

COMMUNITY DEVELOPMENT DEPARTMENT  
BUILDING DIVISION  
(408) 354-6881 or (408) 399-5711 FAX (408) 354-7593

CIVIC CENTER  
110 E. MAIN STREET  
P.O. Box 949  
Los Gatos, CA 95031

M03 \_\_\_\_\_  
P03 \_\_\_\_\_

## PERMIT APPLICATION FOR PLAN REVIEW/BUILDING PERMIT

B03 \_\_\_\_\_  
E03 \_\_\_\_\_

SITE ADDRESS 137 N Santa Cruz Ave Suite \_\_\_\_\_ Today's Date August 6, 2004

TYPE OF WORK TO BE DONE  New  Addition  Alteration  Repair  Demo  Reroof  Pool Spa  Renewal

DETAILED DESCRIPTION OF WORK TO BE DONE replace existing built-up roof

Structural Detail	Exterior	Interior	New Addition/Conversion	Reroof/Pool/Spa
_____	_____	_____	_____	<u>20 ft</u>
_____	_____	_____	_____	_____
_____	_____	_____	_____	_____

ESTIMATED COST \$31,000 (Include costs of all labor and materials)  
PROPERTY TYPE  Residential  Commercial  Industrial  Other \_\_\_\_\_  
PREVIOUS USE  Yes  No  Pre-1941 Historic  Pre-Spanish 8 years

CONTACT NAME Bobby Robertson Phone \_\_\_\_\_  
Address \_\_\_\_\_ City San Jose Zip 95128

Owner Name Concepcion Property Phone Required \_\_\_\_\_  
Address \_\_\_\_\_ City CA Zip 95030

Architect/Engineer/Designer N/A License # \_\_\_\_\_ Phone \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

Contractor Name Statewide Roofing, Inc.  
State License No. 8039202 License Type C-39 Expires 4/30/06 Town Business Lic. No. \_\_\_\_\_

Commercial Tenant \_\_\_\_\_ Phone \_\_\_\_\_  
Address \_\_\_\_\_ City \_\_\_\_\_ Zip \_\_\_\_\_

CONSTRUCTION LENDING AGENCY  
I certify under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (sec. 3097, C.V.C.).  
Lender's Name \_\_\_\_\_ Lender's Address \_\_\_\_\_

I certify that I have read this application and state that the above information is correct. I agree to comply with all town and county ordinances and state laws relating to building construction, and hereby authorize representatives of this Town to enter upon the property for inspection purposes.  
Signature Bobby Robertson Date August 6, 2004

137 N. Santa Cruz Ave  
B98-001020  
Office copy

Final

2-5 2-5 2-5 2-5 2-5 1-0 1-0 1-0 1-0 1-0  
N = 624# P = 242# 242# 242# 242#  
CR. Local CENTRAL NJ: 242# + 242# + 242# + 242# = 968#  
112# 2-2x10 J<sub>w</sub> = 576#12 = 1223 < 1500x1x115x12 = 184# per 100  
R = 242# + 242# = 484# + 514 = 998#  
f<sub>w</sub> = 15x112 = 61 < 95x112  
A = 5.62x19x1128 + 242x1700000x2x98.9 + 484x1700000x2x98.9  
= 1.588 + 1.04 = 2.628 = 2628#



137 N SANTA CRUZ  
LOS GATOS, CA 95030

RECEIVED  
MAY 5 1998  
TOWN OF LOS GATOS  
BUILDING/ENGINEERING DEPARTMENT



FIRE DEPARTMENT  
SANTA CLARA COUNTY  
14780 Winchester Blvd., Los Gatos, CA 95032 1818  
(408) 378 4010 (phone) • (408) 378 9342 (fax)  
CONTROL NUMBER 898-001020  
BLDG PERMIT NUMBER 98-2806  
PLAN REVIEW NUMBER 98-2806

PLAN REVIEW COMMENTS

CODE/SEC	SHEET	NO.	REQUIREMENT
			Review of plans for the proposed tenant improvement to an existing restaurant.
UFC	1002	1006.2.7	1 The revisions result in a revised dining load of 48; The facility occupancy classification remains as a group "B" use.
NFPA	Std 96		2 Provide a 40B rated fire extinguisher in the kitchen area, and one 2A:10BC rated fire extinguisher accessible to the occupants.
UFC	1006		3 A 16 inch minimum clearance between the fryer and adjacent open flame appliances has not been provided. Relocate the fryer to provide the required clearance or, provide a stainless steel barrier between the appliance, that extends the full depth, and 16" above the surface of the oil.
			4 The appliances, exhaust hood, and associated ductwork shall be protected by an automatic fire suppression system. Prior to installation, a licensed C-16 contractor shall submit to the fire department, three sets of shop drawings, a completed permit application, and applicable fee's for review.

Approved: Okay to issue the building permit, subject to compliance with the above conditions

DISTRICT	BLANK	SPECS NEW	TROCK AS	OCCUPANCY	CONST. TYPE	PERMITTEE	DATE	PAGE
LGA	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	B	V-N	Alpha Design & Construction	10/8/98	1 of 1
SEC.FLOOR		AREA	LOAD	DESCRIPTION		Commercial Construction		
		1,400 sq ft	52					

NAME OF PROJECT: RESTAURANT  
LOCALITY: 137 Santa Cruz Av., N

This drawing is the property of the Architect and is to be returned to the Architect upon completion of the project. It is not to be used for any other purpose without the written consent of the Architect.

County of Santa Clara  
Environmental Resources Agency  
Department of Environmental Health  
c/o Mail Code 22203007800, Avenue L and Street, 10000 1000  
P.O. Box 29970  
San Jose, California 95129-0970  
(408) 291-6881 FAX: 291-6281



October 15, 1998  
Alpha Design  
Attention: Anthony Pham  
2617 International Bl  
Oakland CA 94601

PROJECT NUMBER: SR113348  
PROJECT NAME: DOUBLE RAINBOW RESTAURANT  
PROJECT ADDRESS: 137 N SANTA CRUZ AV., LOS GATOS

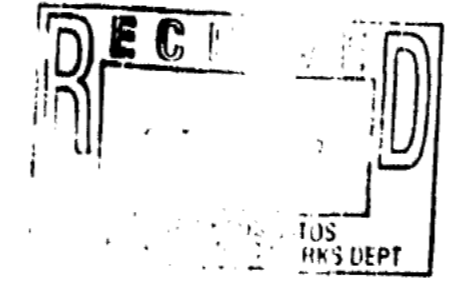
The remodel plans for the above project have been reviewed and approved by this department. This approval shall expire by limitation and will become null and void if the construction, reconstruction, alteration, or other work authorized by this approval is not commenced within 180 days from the date of approval. Please notify this office when construction begins.

Please present one (1) copy of the plans to your local building official for the required permit application and approval. Retain the second copy on the job site. A **FOOD FACILITY CONSTRUCTION CARD** will be attached to the job copy and must be posted with other building permits.

Please be advised that you are responsible to contact this office to arrange a construction inspection prior to rough plumbing signoff, installation of equipment, and again upon completion of the project. You will also be asked to submit a mechanical exhaust system performance test, if one is present, before we can final the project.

If you have any further questions or would like to call for an inspection appointment please contact the undersigned at (408) 299-6080 between 8:00 a.m. and 9:30 a.m. Monday through Friday.

Ronald E Sharp  
RONALD E SHARP, REHS  
SENIOR ENVIRONMENTAL HEALTH SPECIALIST  
PLAN REVIEW AND CONSTRUCTION UNIT  
DEPARTMENT OF ENVIRONMENTAL HEALTH  
cc: City of Los Gatos Building Department  
Hong Ngu, 137 N Santa Cruz Av., Los Gatos CA 95030



Board of Supervisors, District 11, Gary, Hon. Alan Parks, Eric, Mark Hughes, James F. Deval, R. S. Joseph, Senator County Executive: Ho, David Y. Chen

Hong Ngo/Paul Huynh  
Double Rainbow  
137 N. Santa Cruz Avenue  
Los Gatos, CA 95030

November 1, 1998

Town of Los Gatos  
Building and Engineering Department  
Civic Center  
110 E. Main Street  
Los Gatos, CA 95031  
(408) 354-6881 Phone  
(408) 354-7593 Fax

Re: Double Rainbow, 137 N. Santa Cruz, Los Gatos  
Tenant Improvement

Permit Number: 1998-001020

Dear Building and Engineering Department:

We are Hong Ngo and Paul Huynh, co-owners of Double Rainbow Restaurant at 137 N. Santa Cruz Avenue in Los Gatos, certify that Double Rainbow maintains four employees or less on site at any time.

Respectfully Submitted,  
  
Paul Huynh

Hong Ngo/Paul Huynh





**TOWN OF LOS GATOS**  
**BUILDING AND ENGINEERING DEPARTMENT**

City Center  
 110 E. Main Street  
 P.O. Box 989  
 Los Gatos, CA 95031

**RECEIVED**  
**NOV 18 1998**

October 22, 1998

Anthony Pham  
 Oakland, CA 94601

LOCATION OF JOB: **137 NORTH SANTA CRUZ AVENUE, Tenant Improvement**

PERMIT NUMBER: **B98-001020**

Dear Mr. Pham

**PLAN CHECK COMMENTS**

1. Clearly label the project address on sheets 7 through 12.
2. Note the occupant load on the cover sheet of the plans, as required per UBC Chapter 10.
3. Label on the floor plan the size of the new door at the restroom and the double door at the kitchen. The doors shall be minimum 36" doors, as required per UBC Section 1004.6.
4. Label on the plans the sizes of the proposed store-front windows.
5. Provide a letter from the tenant indicating the total number of employees for the tenant space, as required per UBC Section 2902.3. If the tenant has more than 4 employees, revise the plans to show separate sanitary facilities (both of which will be required to be accessible), per CBC Section 1115B.2.
6. Revise the opening between the waitress station and the kitchen area to be minimum 36" wide and the opening between the waitress station and dining area at the counter to be minimum 36" wide, as required per CBC Section 1105B.3.2.
7. Revise the kitchen floor plan to provide minimum 36" clear access throughout, as required per CBC Section 1104B.5.8.
8. Revise the plans to show location of accessible seating (minimum 5% of total seating provided must be accessible) in the dining area, as required per CBC Section 1104B.5.4. Show the following clearances on the plans:
  - a. Minimum 30"x48" clear floor space.
  - b. Accessible seating overlaps and accessible route (minimum 36" wide access aisles).
  - c. Knee space is at least 27" high, 30" wide and 19" deep.
9. Revise the floor plan and the mezzanine plan to show handrails on both sides of the stairway, as required per CBC Section 1006.9.1a.
10. Revise the plans to show handrail extensions at the top and the bottom of the stairway, as required per CBC Section 1006.9.2a.
11. Revise the stair sections detail on sheet 3 to show 1-1/2" clearance between the handrail and the wall, as required per CBC Section 1006.9.2.5a.
12. Revise the plans to show how to provide striping for the visually impaired at the stairway, as required per CBC Section 1006.9.1.
13. Revise the door hardware detail on sheet 5 and the storefront detail on sheet 12 to show 60" from the ground surface to the centerline of the accessibility sign (not 48"), as required per CBC Section 1127B.3.
14. Note on the door threshold detail that the change in level between 1/4" and 1/2" is beveled at a gradient of 1:2, as required per CBC Section 1004.9.1a.
15. Note on the plans that effort to operate exterior doors shall not exceed 8 1/2 pounds. Interior doors shall not exceed 5 pounds, as required per CBC Section 1004.5.1.

**RESPONSE**

1. SHEET 7 - 12
2. SHEET 1
3. SHEET 2
4. SHEET 2
5. SHEET 2
6. SHEET 2
7. SHEET 2
8. SHEET 2
9. SHEET 2
10. SHEET 2-4
11. SHEET 5
12. SHEET 5
13. SHEET 5
14. SHEET 5 / SHEET 12
15. SHEET 5 / SHEET 12

INCORPORATED AUGUST 10, 1887

Page 2  
 LOCATION: **137 NORTH SANTA CRUZ AVENUE**  
 October 22, 1998

16. Note on the plans that opening hardware shall be centered between 30" and 44" above the floor surface, as required per CBC Section 1004.3.1.
17. Dimension at the entry door the minimum 24" strike side clearance at the entry door, as required per CBC Section 1004.9.2.3a.
18. Note on the bathroom detail that the grab bar diameter shall be between 1-1/4" and 1-1/2", as required per CBC Section 1115B.8.2.
19. Revise the plans to show location of accessible counter at the cash register (minimum 36" long, between 28" and 34" high), as required per CBC Section 1122B.4.
20. Note on the plumbing plans to provide a trap primer at all floor drains and mop sink, as required per UPC Section 1007.0.
21. Provide complete, site 24 Reports for the Building Envelope, and Lighting, to the Building Department, for further review. The Envelope and Lighting Certificates of Compliance and Mandatory Measures shall be blue-lined on the construction plans.
22. The Town Standard Santa Clara Valley Nonpoint Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (Size 24" X 36") is available at the Building Department service counter.
23. Submit three sets of corrected plans to the Building Department for further review. All plans shall be "WET" signed and stamped by responsible design professional.
24. Issuance of the Building permit requires approval from:
  - a) Planning Department: Martin Akure at 354-6879
  - b) West Valley Sanitation District: 378-2407
  - c) County Health Department: 299-6060

Sheet 2 /  
 Sheet 2  
 Sheet B  
 Sheet 2A  
 attached

Very truly yours,

*Susan Kautzer*  
**SUSAN KAUTZER, P.E.**  
 Plan Check Engineer

SK:sp

**CERTIFICATE OF COMPLIANCE (Part 1 of 2) ENV-1**

PROJECT NAME: **RESTAURANT T.I.** DATE: **11-2-98**

ADDRESS: **137 N. SANTA CRUZ** Building Permit #

PROJECT DESIGNER: **ALPHA DESIGN** Checked by Date: **11/2/98**

DESIGNER'S ADDRESS: **SECRET MAC** Enforcement Agency Use:

**GENERAL INFORMATION**

DATE OF PLANS: **11-2-98** BUILDING CONDITIONED FLOOR AREA: \_\_\_\_\_ CLIMATE ZONE: **4**

BUILDING TYPE:  NONRESIDENTIAL  HIGH RISE RESIDENTIAL  HOTEL-MOTEL GUEST ROOM

PHASE OF CONSTRUCTION:  NEW CONSTRUCTION  ADDITION  ALTERATION  UNCONDITIONED (for addition)

METHOD OF ENVELOPE COMPLIANCE:  COMPONENT  OVERALL ENVELOPE  PERFORMANCE

**STATEMENT OF COMPLIANCE**

This Certificate of compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building envelope requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

DOCUMENTATION AUTHORITY: **SECRET MAC** DATE: **11/2/98**

The Principal Envelope Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and submittals, with the specifications, and with any other conditions submitted with this permit application. The Principal Envelope Designer has been deemed to meet the envelope requirements contained in sections 110, 116 through 118, and 119 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a civil engineer or architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a professional engineer or architect licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation; and for the following reasons:

PREPARED BY ENVELOPE DESIGNER NAME: **SECRET MAC** DISCIPLINE: **SECRET MAC** DATE: **11-2-98** PERMIT NUMBER: **B98001020**

INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES: **LAST PAGE OF REPORT ENV-1(1)**

**ASSURE CROSS-TO-APPLY PLANS**

Please Detailed instructions on the use of this and all Energy Efficiency Standards compliance forms, please refer to the Nonresidential Manual issued by the California Energy Commission.

ENV-1: Required on plans for all submittals. Part 2 may be incorporated in schedules on plans.

ENV-2: Used for all submittals, choose appropriate version depending on method of envelope compliance.

ENV-3: Optional. Use if default U-values are not used. Choose appropriate version for assembly U-value to be calculated.

Nonresidential Compliance Form January 1996

**CERTIFICATE OF COMPLIANCE (Part 2 of 2) ENV-1**

PROJECT NAME: **137 N. SANTA CRUZ** DATE: **11-2-98**

**OPAQUE SURFACES**

ASSEMBLY NAME (eg. Wall-1, Floor-1)	INSULATION R-VALUE (eg. R-19, R-22, etc.)	CONSTRUCTION TYPE (eg. Block, Wood, Metal)	LOCATION/COMMENTS (eg. Suspended Ceiling, Downspout, etc.)	NOTE TO FIELD (Building Dept. Use)
STEEL WALL	11	WEEP	EXIST. - 1 ADDITION	
ROBBED WALL	11	ROBBED CMU	EXIST.	
RRP	19	WEEP	EXIST.	

**WINDOWS**

WINDOW NAME (eg. Window-1)	NO. OF PANS	U-VALUE (eg. 1.25)	FRAME TYPE (Metal, Wood, etc.)	EXTERIOR SHADE	OVERHANG CREDIT	GLAZING TYPE (eg. Clear, Tinted)	NOTE TO FIELD (Building Dept. Use)
STEEL FRAME	1	1.25	METAL	-	Y	SINGLE CLEAR	
EXT. FRAME	1	1.25	METAL	-	N	SINGLE TINTED	

**SKYLIGHTS**

SKYLIGHT NAME (eg. Sky-1)	NO. OF PANS	U-VALUE	FRAME TYPE (Metal, Wood, etc.)	SKYLIGHT MATERIAL (Glas, Plastic, etc.)	GLAZING TYPE (Clear, Low-E, etc.)	NOTE TO FIELD (Building Dept. Use)
None						

**NOTES TO FIELD** (For Building Department Use Only)

Nonresidential Compliance Form January 1996



### ENVELOPE COMPONENT METHOD ENV-2

PROJECT NAME: 157 N. SANTA CRUZ DATE: 11-2-98

#### WINDOW AREA CALCULATION

GROSS WALL AREA (GWA) = 716  
 DISPLAY PERIMETER (DP) = 24  
 DP + 4 = 144

GREATER OF:  
 716  
 144

MAXIMUM ALLOWABLE WINDOW AREA: 716  
 PROPOSED WINDOW: 142

#### SKYLIGHT AREA CALCULATION

ATRIUM HEIGHT: 10 FT

IF  $\geq 8$  FT:  $0.10 \times \text{GROSS ROOF AREA} = \text{ALLOWED SKY AREA}$   
 IF  $\geq 8$  FT:  $0.05 \times \text{GROSS ROOF AREA} = \text{ALLOWED SKY AREA}$

ACTUAL SKY AREA: 1

OPAQUE SURFACES				ASSEMBLY U-VALUE			
ASSEMBLY NAME	TYPE	HEAT CAPACITY	INSULATION R-VALUE	PROPOSED	MIN. ALLOWED	TABLE VALUE	MAX. ALLOWED
STEEPSIDE WALL	WALL	< 7.0	11	11			
FURRED CEILING	WALL	> 7.0	19	19	0.85	0.85	0.85
CEILING	CEILING	N.A.	19	19			

WINDOWS											
WINDOW NAME	ORIENTATION	U-VALUE		PROP. RATIO	PROPOSED RATIO			PROP. RATIO	ALLOW. RATIO	U-VALUE	SHADING COEFFICIENT
		PROP.	ALLOW.		U	S	TDS				
EXIST		1.25	1.25	1	0.91	0.42	0.63	0.71			
EXIST		1.25	1.25	1	0.91	0.42	0.63	0.71			
EXIST		1.25	1.25	1	0.91	0.42	0.63	0.71			

SKYLIGHTS											
SKYLIGHT NAME	TRANSLUCENT	CLOSING		# OF PANE	U-VALUE		PROPOSED	ALLOWED	SHADING COEFFICIENT	PROPOSED	ALLOWED
		TRANSLUCENT	TRANSPARENT		PROPOSED	ALLOWED					
NONE											

\* EXIST KEAR WINDOWS MUST BE LIMITED TO 71% SG IF IT IS NOT ALREADY LISTED.

January 1996

### PROPOSED MASONRY WALL ASSEMBLY ENV-3

PROJECT NAME: 157 N. SANTA CRUZ DATE: 11-2-98

#### COMPONENT DESCRIPTION

ASSEMBLY NAME: FURRED CMU WALL

DESCRIPTION OF ASSEMBLY:

OUTSIDE

INSIDE

SKETCH OF ASSEMBLY

WALL R-VALUE and HEAT CAPACITY	
WALL UNIT THICKNESS	6" NOMINAL INCHES
MATERIAL TYPE	MU SOLID (CMU, MW, CMU, NW, CMU, CLAY UNIT, CLAY BRICK, CONCRETE)
CORE TREATMENT	SOLID (SOLID, GROUDED, EMPTY, INSULATED, NA)
WALL R-VALUE	1.4 (FROM TABLE B-5 OF B-6)
WALL HEAT CAPACITY	11.4 (FROM TABLE B-5 OF B-6)

FURRING/INSULATION LAYER (INSIDE and/or OUTSIDE IF ANY)			
FURRING FRAMING MATERIAL	WOOD (WOOD, METAL, NONE)		
FURRING FRAMING SIZE	2x4 NOMINAL INCHES	2.5 ACTUAL INCHES	
FURRING SPACE INSULATION	1/2 TYPE	1.5 R-VALUE	
EXTERIOR INSULATING AREA	0 TYPE	0 R-VALUE	
FURRING ASSEMBLY EFFECTIVE R-VALUE	1.4 (FROM TABLE B-5)		
EXTERIOR INSULATING LAYER R-VALUE			
INSULATION LAYER R-VALUE			

WALL ASSEMBLY R-VALUE and U-VALUE

INSULATION LAYER R-VALUE: 0 + WALL R-VALUE: 1.4 = WALL ASSEMBLY R-VALUE: 1.4

WALL ASSEMBLY U-VALUE: 0.71

Nonresidential Compliance Form January 1996

### ENVELOPE MANDATORY MEASURES ENV-MM

PROJECT NAME: 157 N. SANTA CRUZ DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§ 110(b) Installed Insulating Material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating material, Title 20, Chapter 4, Article 3.	✓	
§ 110(c) All Insulating Materials shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 2002 and 707 of the Title 24, Part 2.	✓	
§ 117(a) All Exterior Joints and openings in the building that are observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.	✓	
§ 116(b) Site Constructed Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for untraced glass doors and fire doors).	✓	
§ 116(c) Manufactured Doors and Windows installed shall have air infiltration rates not exceeding those shown in Table number 1-E of the Standards. Manufactured fenestration products must be labeled for U-value according to NFRC procedures.	✓	
§ 118(c) Demising Walls in Nonresidential Buildings: The opaque portions of framed demising walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-11 between framing members.	✓	

January 1996

### CERTIFICATE OF COMPLIANCE (Part 1 of 2) LTG-1

PROJECT NAME: 157 N. SANTA CRUZ DATE: 11-2-98

DESIGNER: ROBERT MAC

DATE: 11-2-98

GENERAL INFORMATION	
DATE OF PLANS	12/16/98 (REPRODUCTION AREA)
BUILDING TYPE	NONRESIDENTIAL
PHASE OF CONSTRUCTION	NEW CONSTRUCTION
METHOD OF ENVELOPE COMPLIANCE	COMPLETE BLDG

**STATEMENT OF COMPLIANCE**

This Certificate of Compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building lighting requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

The Principal Lighting Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other information submitted with this permit application. The proposed building has been designed to meet the envelope requirements contained in the applicable parts of Sections 110, 119, 130 through 132, 146, and 149 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation, and that I am a Civil Engineer, Electrical Engineer or Architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section 5537.2 of the Business and Professions Code to sign this document as the person responsible for its preparation, and that I am a licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation, and for the following reason(s): \_\_\_\_\_

PRINCIPAL LIGHTING DESIGNER NAME: ROBERT MAC SIGNATURE: [Signature] DATE: 11-2-98

INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES: LAST PAGE OF RFP LTG-MM

INSTRUCTIONS TO APPLICANT: For detailed instructions on the use of this and all Energy Efficiency Standards compliance forms, please refer to the Nonresidential Manual issued by the California Energy Commission. LTG-1: Required on plans for all submittals. Part 2 may be incorporated in schedules on plans. LTG-2: Required for all submittals. LTG-3: Optional. Use only if lighting control credits are taken. LTG-4: Optional. Use only if Tailored Method is used. Parts 2 and 3 used only if applicable.

January 1996

**CERTIFICATE OF COMPLIANCE** (Rev. 2-96) **FIG. 1**

PROJECT NAME: 137 N. SANTA CELESTE DATE: 11-2-98

**INSTALLED LIGHTING SCHEDULE**

LUMINAIRE NAME (By Type, Type, etc.)	LAMPS			BALLASTS			NOTE TO FIELD
	TYPE	NO. OF LAMPS	WATTS/LAMP	TYPE	NO. OF	NO. LUMINAIRE	
8" 1 LAMP FLUOR. (A)	<input checked="" type="checkbox"/>	1	75	<input checked="" type="checkbox"/>	1	1	
COMPACT 13 W FLUOR. (B)	<input checked="" type="checkbox"/>	1	15	<input checked="" type="checkbox"/>	1	1	
75 W INCAND. (C)	<input checked="" type="checkbox"/>	1	75	<input type="checkbox"/>	0		

\*Provide Supporting Documentation

**MANDATORY AUTOMATIC CONTROLS**

CONTROL LOCATION (Room #)	CONTROL IDENTIFICATION	CONTROL TYPE (Auto Time Switch, etc.)	SPACE CONTROLLED	NOTE TO FIELD
DEY STORAGE	SS	DOUBLE SWITCH	DEY STORAGE	
KITCHEN	SS	DOUBLE SWITCH	KITCHEN	

**CONTROLS FOR CREDIT**

CONTROL LOCATION (Room # or Dwg. #)	CONTROL IDENTIFICATION	CONTROL TYPE (Keypad, Daylight, Dimming, etc.)	LUMINAIRE CONTROL TYPE (Type, etc.)	NOTE TO FIELD
N/A				

**NOTES TO FIELD - For Building Department Use Only**

Nonresidential Compliance Form January 1996

**LIGHTING COMPLIANCE SUMMARY** **FIG. 2**

PROJECT NAME: 137 N. SANTA CELESTE DATE: 11-2-98

**ACTUAL LIGHTING POWER**

LUMINAIRE NAME	DESCRIPTION	NUMBER OF LUMINAIRES	WATTS PER LUMINAIRE (Including Ballast)	CEC DEFAULT	TOTAL WATTS
A	8" 1 LAMP FLUOR.	12	83	<input checked="" type="checkbox"/>	996
B	COMPACT 13 W FLUOR.	9	15	<input checked="" type="checkbox"/>	135
C	75 W INCAND.	2	75	<input checked="" type="checkbox"/>	150

SUBTOTAL FROM THIS PAGE: 1281

PLUS SUBTOTAL FROM CONTINUATION PAGE: \_\_\_\_\_

LESS CONTROL CREDIT WATTS (from FIG. 1): \_\_\_\_\_

ADJUSTED ACTUAL WATTS: 1281

**ALLOWED LIGHTING POWER (Choose One Method)**

**COMPLETE BUILDING METHOD**

BUILDING CATEGORY (from Table 1-1)	WATTS PER SF	COMPLETE BLDG AREA	ALLOWED WATTS
THOD			

**AREA CATEGORY METHOD**

AREA CATEGORY (from Table 1-1)	WATTS PER SF	WATTS (SF)	ALLOWED WATTS
KITCHEN / WAITRESS STATION	2.2	386	849
OFFICE	1.6	98	157
CORRIDOR / STORAGE / SUPPORT	0.8	72	58
<b>TOTALS</b>		1216	1064

**FLOORED METHOD**

TOTAL ALLOWED WATTS (from FIG. 1 or from Complete Form): \_\_\_\_\_

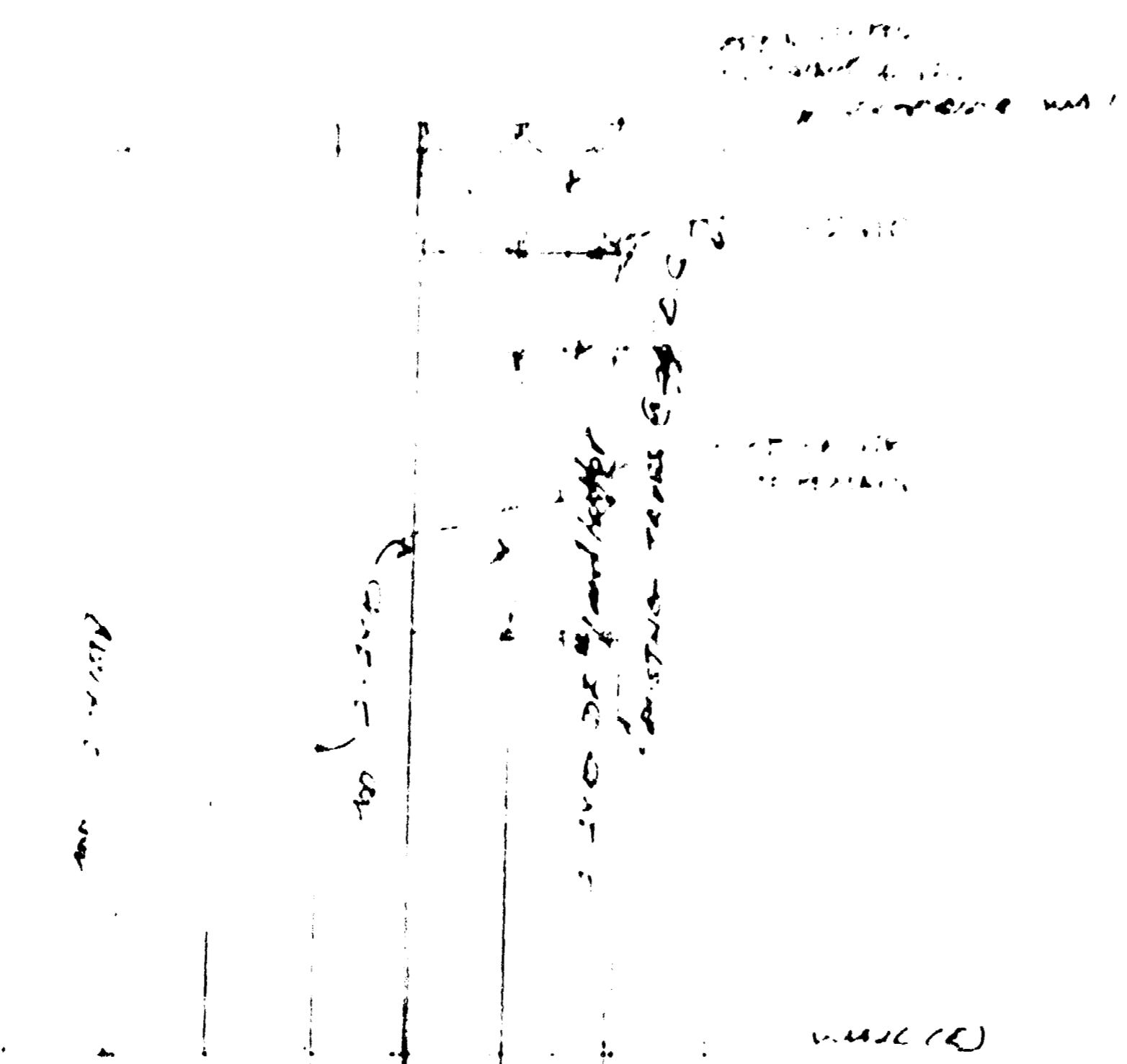
Nonresidential Compliance Form January 1996

**LIGHTING MANDATORY MEASURES** **LTC-MM**

PROJECT NAME: 137 N. SANTA CELESTE DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§ 131(d) Building Lighting Shut-off: The building lighting shut-off system consists of an automatic time switch, with a zone for each floor; or the building is separately metered and less than 5,000 square feet, exempt from the shut-off requirement.		
§ 131(e) Override for Building Lighting Shut-off: The automatic building shut-off system is provided with a manual, accessible override switch in sight of the lights. The area of override is not to exceed 5,000 square feet.		
§ 119(h) Automatic Control Devices Certified: All automatic control devices specified are certified, all alternate equipment shall be certified and installed as directed by the manufacturer.		
Fluorescent Ballast and Luminaire Certified: All fluorescent fixtures specified for the project are certified and listed in the Directory. All installed fixtures shall be certified.		
§ 132 Tandem Wiring for One and Three Lamp Fluorescent Fixtures: All one and three lamp fluorescent fixtures are tandem wired with two lamp ballasts where required by Standards Section 132, or all three lamp fluorescent fixtures are specified with electronic high frequency ballasts and are exempt from tandem wiring requirements.		
§ 131(a) Individual Room/Area Controls: Each room and area in this building is equipped with a separate switch or occupancy sensor device for each area with floor-to-ceiling walls.		
§ 131(b) Uniform Reduction for Individual Rooms: All rooms and areas greater than 100 square feet and more than 12 watts per square foot of lighting load shall be controlled with 0-level switching for uniform reduction of lighting within the room.		
§ 131(c) Daylight Area Control: All rooms with windows and skylights that are greater than 250 square feet and that allow for the effective use of daylight in the area shall have 50% of the lamps in each daylight area controlled by a separate switch; or the effective use of daylight cannot be accomplished because the windows are continuously shaded by a building on the adjacent lot. Degree of shading during different times of the year is included on plans.		
§ 131(f) Control of Exterior Lights: Exterior mounted fixtures served from the electrical panel inside the building are controlled with a directional photo cell control on the roof and a corresponding relay in the electrical panel.		
§ 131(e) Display Lighting: Display lighting shall be separately switched on circuits that are 20 amps or less.		

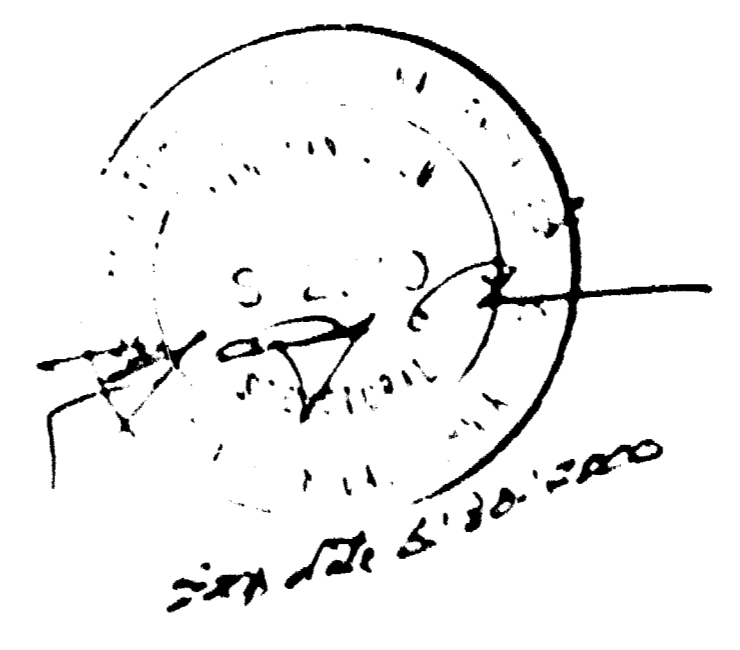
Complied: [Signature] Date: [Signature]

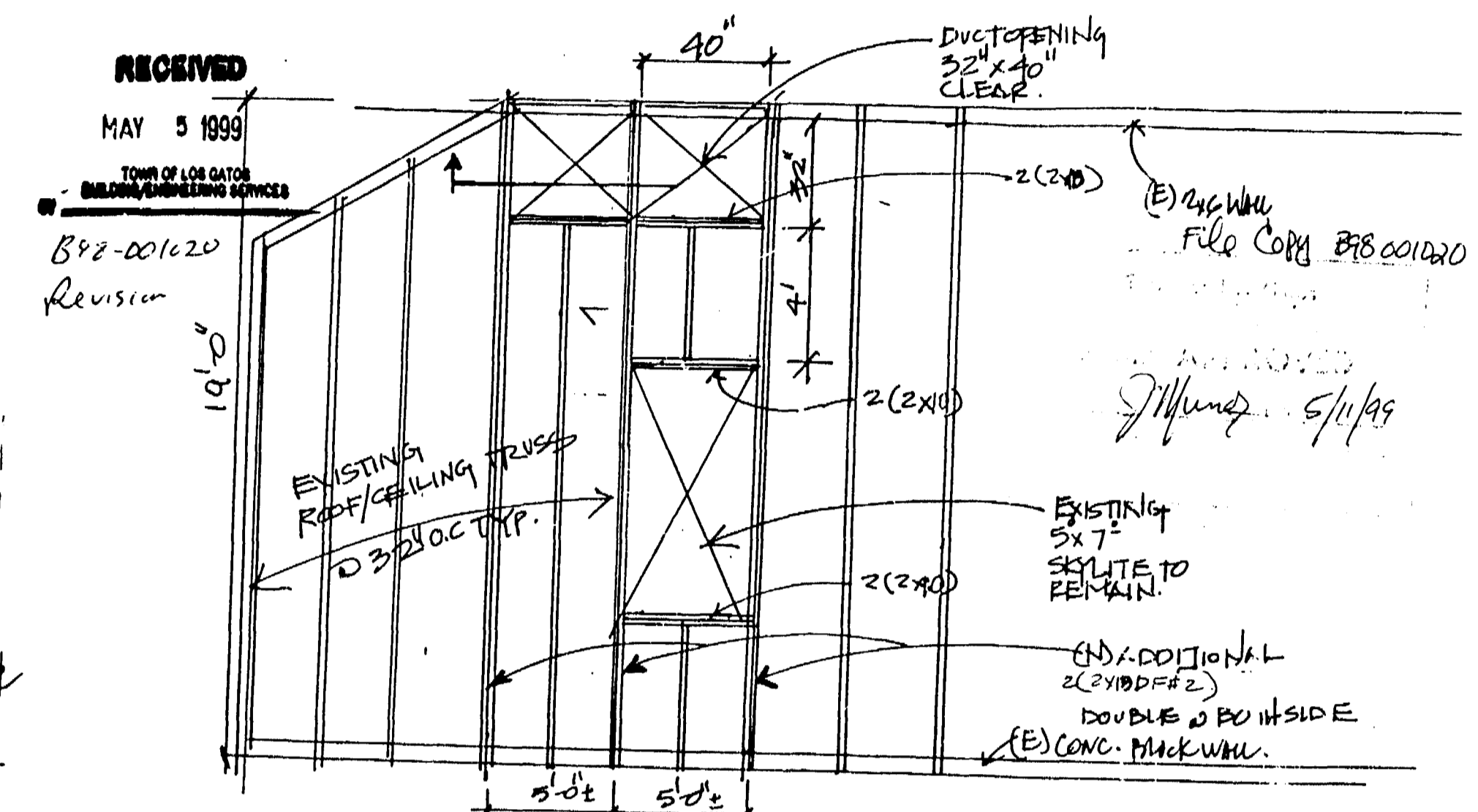


*Handwritten notes in Spanish, possibly describing the drawing or project details.*

**RECEIVED**  
 MAY 5 1999  
 TOWN OF LOS GATOS  
 BUILDING/ENGINEERING DEPT

PLAN APPROVED  
*Handwritten signature*





RECEIVED  
MAY 5 1999  
TOWN OF LOS GATOS  
BUILDING DEPARTMENT SERVICES  
B72-001020  
Revisor

DUCT OPENING  
22" x 10"  
CLEAR

2 (2x10)

(E) 2x10  
FILE COPY B72-001020

2 (2x10)

EXISTING  
5x7  
STEEL TO  
REMAIN

(A) ADDITIONAL  
2 (2x10) (E) 2  
DOUBLE @ PO INSIDE

(E) CONC. MURK WALL

EXISTING  
CEILING / ROOF FRAMING  
1/4" = 1' 0"

137 N. SANTA CRUZ  
LOS GATOS, CA 95030



**GENERAL NOTES**

- 1) Contractor shall examine site, field verify all dimensions and field conditions. Contractor is to become familiar with conditions affecting the construction prior to submitting a bid, and at commencement of construction. Failure to do so shall not be considered a just cause for future extras.
- 2) Contractor to provide general cost breakdown for all construction categories (i.e., demolition, carpentry, millwork, electrical, etc.) and unit breakdowns for all items (i.e. electrical; duplex outlets; phone outlets; conduit runs; quad outlets; 2 x 4 fluorescents, 4 x 4 fluorescents; 75w downlights, etc.) Provided unit costs and quantity for all items in all categories, to owner.
- 3) Contractor shall provide unit cost to owner for each for cost of material and installation cost prior to commencement of work.
- 4) Contractor shall provide all necessary permits, and fees.
- 5) Contractor shall provide all necessary temporary protection to ensure the safety of the general public during the construction phase.
- 6) Contractor shall meet all local governing code requirements for performance of all construction work.
- 7) Contractor to guarantee labor and material for one (1) year.
- 8) In case of conflict in drawings, the contractor shall not proceed with that part of the work until the discrepancy has been clarified by the designer.
- 9) In case of conflict, larger scale drawings shall take precedence over smaller scale drawings.
- 10) Contractor shall notify designer of any conditions he finds where in his judgment it would be desirable to modify the requirements to produce the best results.
- 11) Unless noted otherwise, all stud walls shall receive two (2) coats of finish paint. Color per finish schedule. Prep all wall surfaces as necessary with proper prime coat required for final wall finish material.
- 14) Provide internally illuminated exit lighting as required by code.
- 15) Contractor to provide adequate blocking, bracing, backing, and/or additional studs to support fixtures, shelves, etc. in party wall.
- 16) All built-in plumbing fixtures to be supplied and installed by plumbing contractor. Plumbing contractor to supply all necessary information for cut outs to be performed by cabinet contractor.
- 17) All non-built-in plumbing fixtures to be supplied and installed by plumbing contractor.
- 18) Smoke Detector Alarms shall be installed within all areas as required by local and national codes, as well as all other governing agencies.
- 19) Contractor is responsible for the calculations and implementation of all electrical circuitry as required to comply with all local and national codes and regulations.
- 20) Emergency lights as required by code.
- 21) General contractor shall coordinate with subcontractors verification of final dimensions for finish work in accordance with construction documents.



VICINITY MAP N16

RECEIVED  
NOV 18 1998  
TOWN OF LOS GATOS  
BUILDING DEPARTMENT  
618-001620

SHEET INDEX	
1	PROJECT DATA
2	KITCHEN FLOOR PLAN (2A) TITLE 24 COMPLIANCE
3	MEZZANINE FLOOR PLAN / FRAMING PLAN
4	MEZ FLOOR FRAMING DETAILS
5	DETAILS
6	ROOM/EQUIPT SCHEDULE
7	ELECTRICAL PLAN
8	PLUMBING PLAN
9	EQUIPT W/ ROOF
10	KITCHEN ELEVATIONS
11	BLOWER/MAKEUP AIR UNIT
12	HAND MEETRM DETAILS

PLANNING DEPARTMENT  
APPROVED  
NOV 10/13/98

\* SEE NOTES

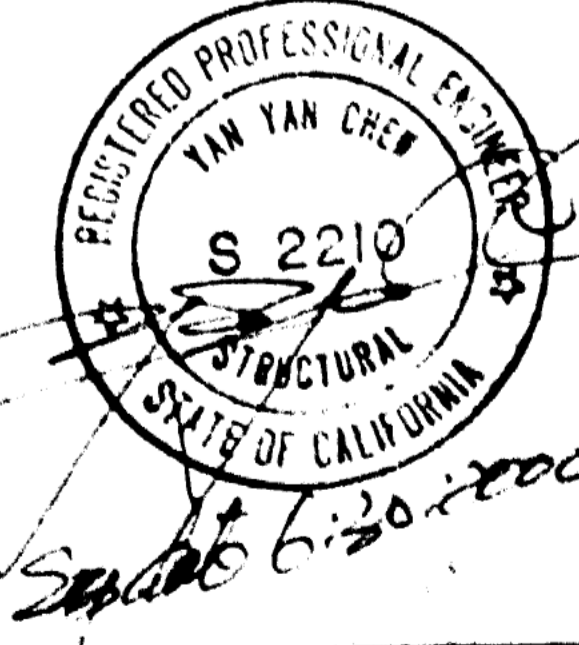
FLOOR AREA OF  
TENANT SPACE 1400 SF  
MEZZANINE 648 SF  
PARKING OPEN  
OFF PROPERTY

**PROJECT DATA**  
PROJECT NAME DOUBLE RAINBOW REST.  
137 N. SANTA CRUZ AVE  
LOS GATOS, CA 95030  
OWNER HANG HGO  
137 N. SANTA CRUZ AVE  
LOS GATOS, CA 95030

PARCEL #  
CONSTRUCTION TYP V.M.  
# STORY ONE W/ HIGHT CEILING  
SPRINKLER NO  
OCCUPANCY GROUP P  
(E) USED FOOD/ICE CREAM  
PROPOSED USE FOOD/ICE CREAM  
OCCUPANT LOAD 50 MAX  
PHONE # 510-170-6100

**SCOPE OF WORK**  
• INTERIOR TENANT IMPROVEMENT (E) FOOD SERVICE REST.  
- DEMOLISH EXISTING FOOD SERVICE FACILITY  
- REPLACE MEZZANINE FLOOR  
- UPGRADE (E) FACILITIES TO COMPLY W/ HEALTH DEPT.  
- NO STRUCTURAL CHANGE - NO LIGHTING CHANGE W/ DINING RM  
• APPLICABLE CODES  
UPC, UMC, UPC 1994, NEC 1993  
ENERGY STANDARD 1995  
ACCESSIBILITY STANDARD  
CITY OF LOS GATOS REGULATIONS  
E-CODES.

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 12/2/98



REVISION	DATE

2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-536-5395

PROJECT DATA

PROPOSED TENANT IMPROVEMENT 2  
137 N. SANTA CRUZ  
LOS GATOS, CA  
HANG/HIS HONEY N&O

DATE 9-20-98  
SCALE  
JOB 9809  
SHEET 1



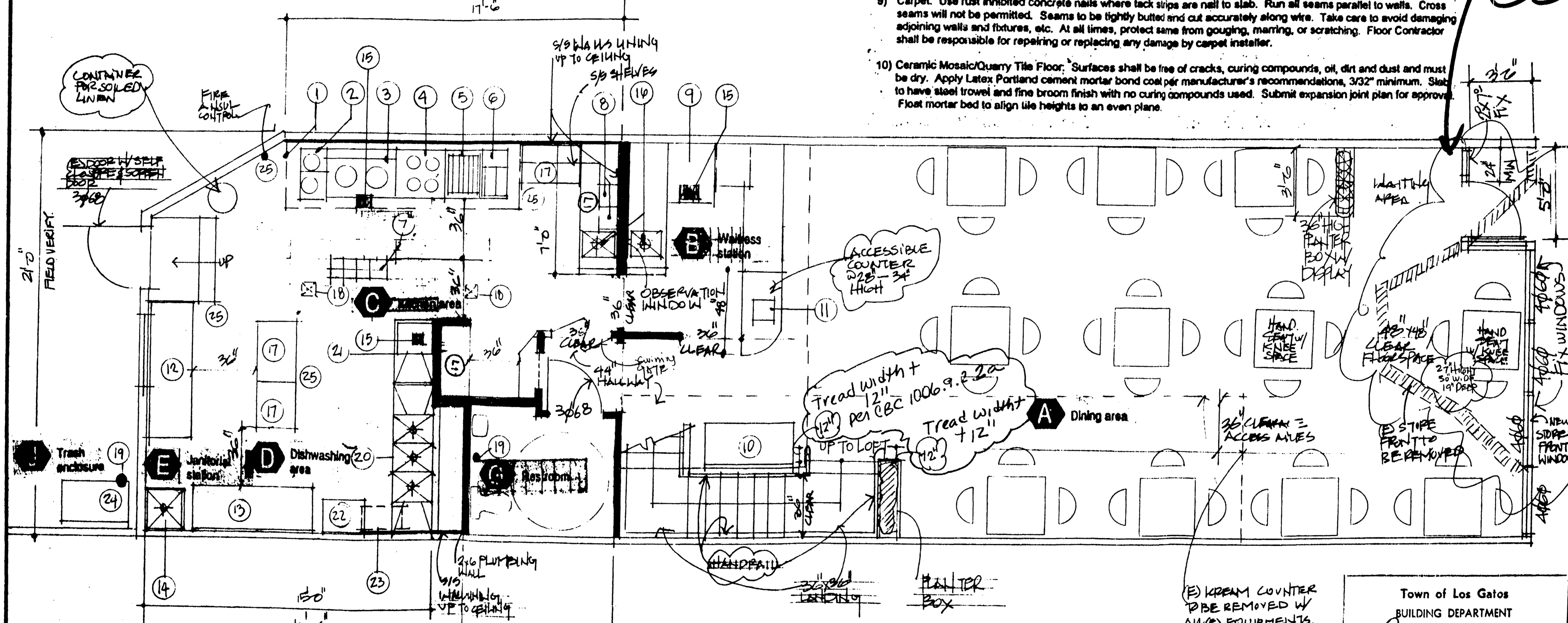
**FINISH NOTES**

- Any wood surfaces to be painted or stained shall be clean, smooth, dry and fully sanded. Knots and pitch pockets shall be sealed w/ shellac. Fill joints, cracks, nail holes, etc., with specified putty after priming, then smooth sand.
- Remove any finish hardware prior to painting and reinstall after paint is dry.
- Each coat of paint shall be applied evenly, free of brush marks, sags or runs. Care shall be exercised to avoid lapping of paint on adjacent surfaces. Paint shall be sharply cut to line.
- Finish work shall be adequately covered with uniform color and finish, the number of coats herein specified being a minimum. Painter shall provide any additional coats appropriate to produce a first class job satisfactory to Designer. Any firehose cabinets, air registers, grills, light fixture trim, primed hardware or surfaces whose finish has not been indicated shall be painted to match adjacent surfaces.
- All wallboard surfaces to be painted shall be clean, spackle any nail holes before priming. Surfaces to receive wall covering shall be sanded smooth and receive one coat of flat oil base primer or prepared as recommended by wall-covering installer.
- Wall tile shall be applied to clean gypsum board surface, joints to be treated with tape and compound bedding coat only (no finish coat). Nail heads, one coat only. Corners, jambs, etc., must be plumb. Water resistant gypsum backing board shall be minimum 1/2" thick. Apply Latex Portland cement mortar bond coat per manufacturer's recommendations. Allow 24 hours after tile has set before grouting.
- Floor contractor shall inspect all surfaces to receive finish floor material to insure proper installation. Any defects in surface shall be corrected by General Contractor.
- Carpet: Use rust inhibited concrete nails where tack strips are nail to slab. Run all seams parallel to walls. Cross seams will not be permitted. Seams to be tightly butted and cut accurately along wire. Take care to avoid damaging adjoining walls and fixtures, etc. At all times, protect same from gouging, marring, or scratching. Floor Contractor shall be responsible for repairing or replacing any damage by carpet installer.
- Ceramic Mosaic/Quarry Tile Floor: Surfaces shall be free of cracks, curing compounds, oil, dirt and dust and must be dry. Apply Latex Portland cement mortar bond coat per manufacturer's recommendations, 3/32" minimum. Slab to have steel trowel and fine broom finish with no curing compounds used. Submit expansion joint plan for approval. Float mortar bed to align tile heights to an even plane.

PLANNING DEPARTMENT  
APPROVED

ALL CHANGES HAVE BEEN APPROVED  
IF ANY MODIFICATION TO WHAT IS  
PROPOSED OR TO WHAT IS SHOWN  
HEREIN, THIS MAY REQUIRE A SEPARATE  
APPROVAL.  
*MAN 12/3/98*

**NOTE: DOES NOT INCLUDE  
MODIFICATIONS TO  
EXTERIOR.**



REQUIRES  
A/S

2617 EAST 14TH STREET • ORLAND • CA 94601  
510-536-3599

KITCHEN FLOOR  
PLAN

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE *2/26/98*  
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO BE AN APPROVAL OF THE VALIDATION OF ANY TOWN OR STATE LAW.

PROPOSED TENANT  
IMPROVEMENT OF  
157 N. SAN VICENTE  
LOS GATOS

Date	9.26.98
Scale	
Drawn	
Job	1809
Sheet	2



- NOTES**
- ALL EXISTING CASE & WALL CASES SHALL BE REMOVED.
  - SAVE BASE CAB (FRONT PANEL) FOR NEW COUNTER & WASTEBASK STATION.
  - EXISTING PICTURES, LAB/SINK SHALL BE REMOVED.
  - WALL TO REMOVE.
  - EXISTING WALL TO REMAIN.
  - NEW 2x4 STUD WALL.
  - EXISTING DOOR & WINDOWS TO BE REMOVED.



**CERTIFICATE OF COMPLIANCE**

PROJECT NAME: RESTAURANT T.I.  
 ADDRESS: 137 N. SANTA CRUZ  
 DOCUMENTATION AUTHOR: ALPHA DESIGN  
 DATE: 11-2-98

DATE OF PLAN: BUILDING CONDITIONED FLOOR AREA: 216 (EXHIBIT B) CLIMATE ZONE: 4

BUILDING TYPE:  NONRESIDENTIAL  HIGH RISE RESIDENTIAL  HOTEL/MOTEL GUEST ROOM

PHASE OF CONSTRUCTION:  NEW CONSTRUCTION  ADDITION  ALTERATION  UNCONDITIONED (file affidavit)

METHOD OF ENVELOPE COMPLIANCE:  COMPLETE BLDG.  AREA CATEGORY  TAILORED  PERFORMANCE

This Certificate of Compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building lighting requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

DOCUMENTATION AUTHOR: ROBERT MAO SIGNATURE: [Signature] DATE: 11-2-98

The Principal Lighting Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other requirements submitted with this permit application. The proposed building has been designed to meet the envelope requirements contained in the applicable parts of Sections 110, 119, 130 through 132, 146, and 149 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a Civil Engineer, Electrical Engineer or Architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section 5537.2 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation; and for the following reason(s): \_\_\_\_\_

PRINCIPAL LIGHTING DESIGNER NAME: [Signature] SIGNATURE: [Signature] LIC #: 877740 DATE: 11-3-98

INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES: LAST PAGE OF REPORT LTG-MM

INSTRUCTIONS TO APPLICANT: For detailed instructions on the use of this and all Energy Efficiency Standards compliance forms, please refer to the Nonresidential Manual published by the California Energy Commission. ENV-1: Required on plans for all submittals. Part 2 may be incorporated in schedules on plans. ENV-2: Used for all submittals; choose appropriate version depending on method of envelope compliance. ENV-3: Optional. Use only if default U-values are not used. Choose appropriate version for assembly U-value to be calculated.

PROJECT NAME: RESTAURANT T.I. DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§131(d) Building Lighting Shut-off: The building lighting shut-off system consists of an automatic time switch, with a zone for each floor; or the building is separately metered and less than 5,000 square feet; exempt from the shut-off requirement.		
§131(d)2 Override for Building Lighting Shut-off: The automatic building shut-off system is provided with a manual, accessible override switch in sight of the lights. The area of override is not to exceed 5,000 square feet.		
§119(h) Automatic Control Devices Certified: All automatic control devices specified are certified, all alternate equipment shall be certified and installed as directed by the manufacturer.	✓	
Fluorescent Ballast and Luminaires Certified: All fluorescent fixtures specified for the project are certified and listed in the Directory. All installed fixtures shall be certified.	✓	
§132 Tandem Wiring for One and Three Lamp Fluorescent Fixtures: All one and three lamp fluorescent fixtures are tandem wired with two lamp ballasts where required by Standards Section 132; or all three lamp fluores. fixtures are specified with electronic high-frequency ballasts and are exempt from tandem wiring requirements.	✓	
§131(a) Individual Room/Area Controls: Each room and area in this building is equipped with a separate switch or occupancy sensor device for each area with floor-to-ceiling walls.	✓	
§131(b) Uniform Reduction for Individual Rooms: All rooms and areas greater than 100 square feet and more than 1.2 watts per square foot of lighting load shall be controlled with hi-level switching for uniform reduction of lighting within the room.	✓	
§131(c) Daylight Area Control: All rooms with windows and skylights that are greater than 250 square feet and that allow for the effective use of daylight in the area shall have 90% of the lamps in each daylight area controlled by a separate switch; or the effective use of daylight cannot be accomplished because the windows are continuously shaded by a building on the adjacent lot. Diagram of shading during different times of the year is included on plans.		
§121(f) Control of Exterior Lights: Exterior mounted fixtures served from the electrical panel inside the building are controlled with a directional photo cell control on the roof and a corresponding relay in the electrical panel.		
§121(g) Display Lighting: Display lighting shall be separately submittal on circuits that are 200 volts or less.		

**CERTIFICATE OF COMPLIANCE**

PROJECT NAME: RESTAURANT T.I.  
 ADDRESS: 137 N. SANTA CRUZ  
 DOCUMENTATION AUTHOR: ALPHA DESIGN  
 DATE: 11-2-98

DATE OF PLAN: BUILDING CONDITIONED FLOOR AREA: 216 (COMPLETE SPACE) CLIMATE ZONE: 4

BUILDING TYPE:  NONRESIDENTIAL  HIGH RISE RESIDENTIAL  HOTEL/MOTEL GUEST ROOM

PHASE OF CONSTRUCTION:  NEW CONSTRUCTION  ADDITION  ALTERATION  UNCONDITIONED (file affidavit)

METHOD OF ENVELOPE COMPLIANCE:  COMPONENT  OVERALL ENVELOPE  PERFORMANCE

This Certificate of Compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building envelope requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

DOCUMENTATION AUTHOR: ROBERT MAO SIGNATURE: [Signature] DATE: 11-2-98

The Principal Envelope Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other requirements submitted with this permit application. The proposed building has been designed to meet the envelope requirements contained in sections 110, 116 through 118, and 140, 142, 143, or 149 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a Civil Engineer or Architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section 5537.2 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation; and for the following reason(s): \_\_\_\_\_

PRINCIPAL ENVELOPE DESIGNER NAME: [Signature] SIGNATURE: [Signature] DATE: 11-3-98 LIC #: 857740

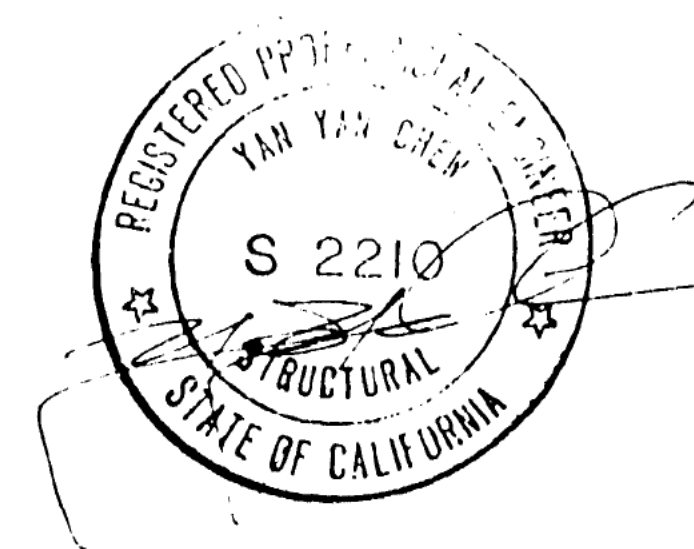
INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES: LAST PAGE OF REPORT ENV-MM

INSTRUCTIONS TO APPLICANT: For detailed instructions on the use of this and all Energy Efficiency Standards compliance forms, please refer to the Nonresidential Manual published by the California Energy Commission. ENV-1: Required on plans for all submittals. Part 2 may be incorporated in schedules on plans. ENV-2: Used for all submittals; choose appropriate version depending on method of envelope compliance. ENV-3: Optional. Use only if default U-values are not used. Choose appropriate version for assembly U-value to be calculated.

PROJECT NAME: RESTAURANT T.I. DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§118(e) Insulating Material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating material, Title 20, Chapter 4, Article 3.	✓	
§118(c) All Insulating Materials shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 2002 and 707 of the Title 24, Part 2.	✓	
§117(a) All Exterior Joints and openings in the building that are observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.	✓	
§110(b) Site Constructed Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for unframed glass doors and fire doors).		
§116(a) Manufactured Doors and Windows installed shall have air infiltration rates not exceeding those shown in Table number 1-E, of the Standards. Manufactured fenestration products must be labeled for U-value according to NFRC procedures.	✓	
§110(e) Damaging Walls in Nonresidential Buildings: The opaque portions of framed damping walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-11 between framing members.	✓	

Town of Los Gatos  
 BUILDING DEPARTMENT  
 PLAN APPROVED  
 DATE: 12/2/98



REVISIONS	BY

8617 EAST 14TH STREET • OAKLAND • CA 94601  
 510-536-3599

TITLE 24 COMPLIANCE

PROPOSED TENANT IMPROVEMENT @ 137 N. SANTA CRUZ LOS GATOS, CA PROJECT/NO. 9809

DATE: 11-3-98

Scale

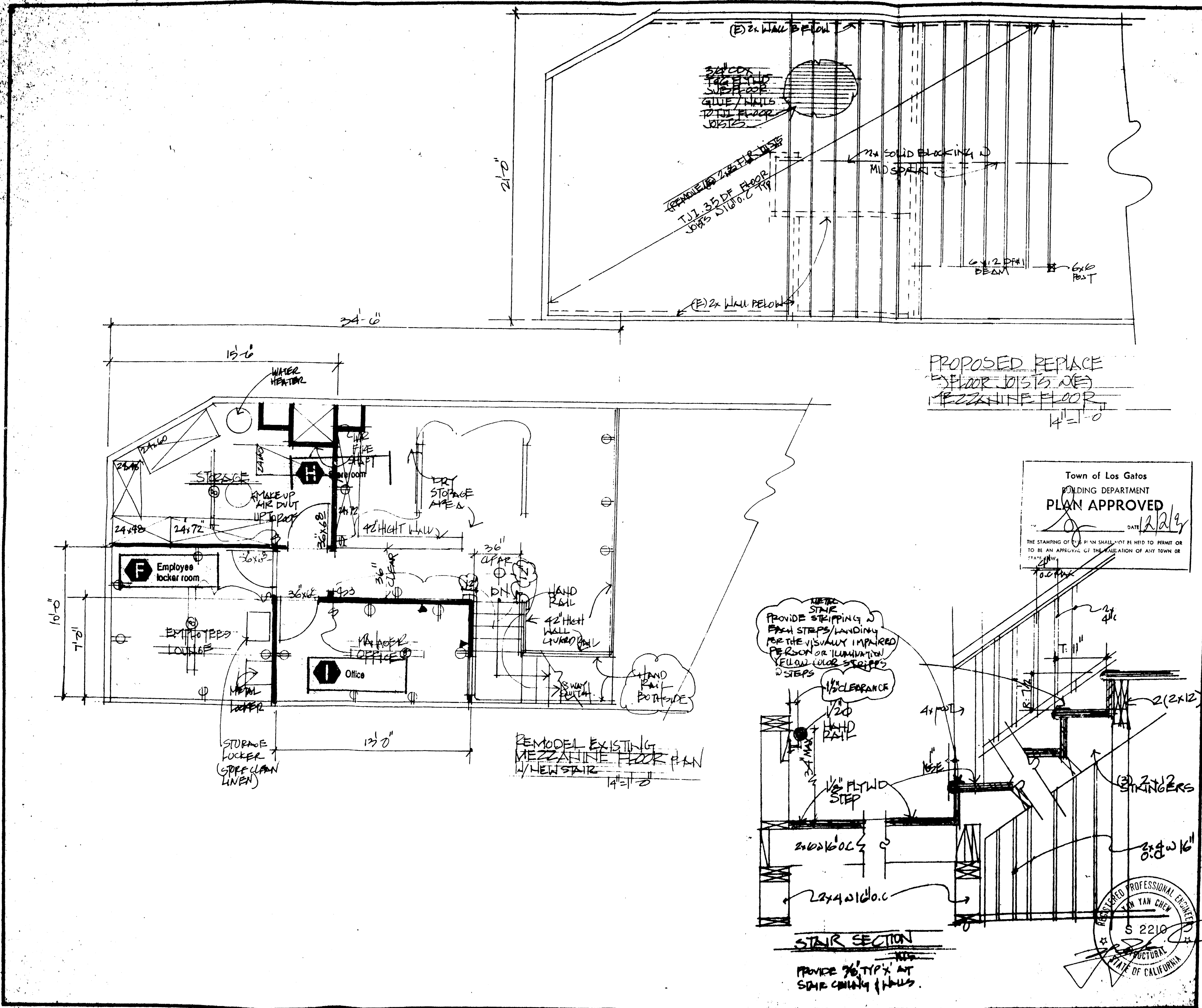
Drawn

Job 9809

Sheet 2A

Of 2 Sheets

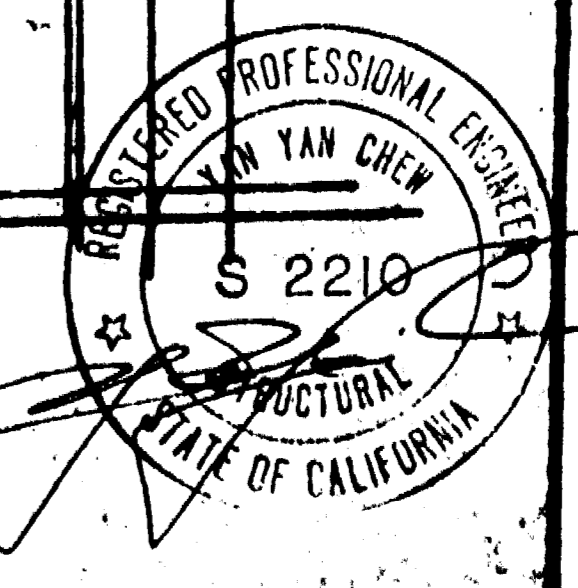




NO. 36	PERIOD OF USE WITH RECORDS
PROPOSED TENANT IMPROVEMENT @ 157 SANTA CRUZ LOS GATOS, CA	MEZZANINE FLOOR PLAN & FRAMING PLAN
Date 9.26.16	Scale
Drawn	Job 9809
Sheet	3
Of	



2617 EAST 14TH STREET • ORLANDO • CA 94601  
510-536-3599





**UNIFORM LOAD DEFLECTION (Dead + Minimum)**

Span (ft)	18" o.c.	24" o.c.
12'-0"	1/4"	1/4"
15'-0"	3/8"	1/2"
18'-0"	1/2"	3/4"
21'-0"	5/8"	1"
24'-0"	3/4"	1 1/4"
27'-0"	1"	1 1/2"
30'-0"	1 1/8"	1 3/4"
33'-0"	1 1/4"	1 7/8"
36'-0"	1 1/2"	2"

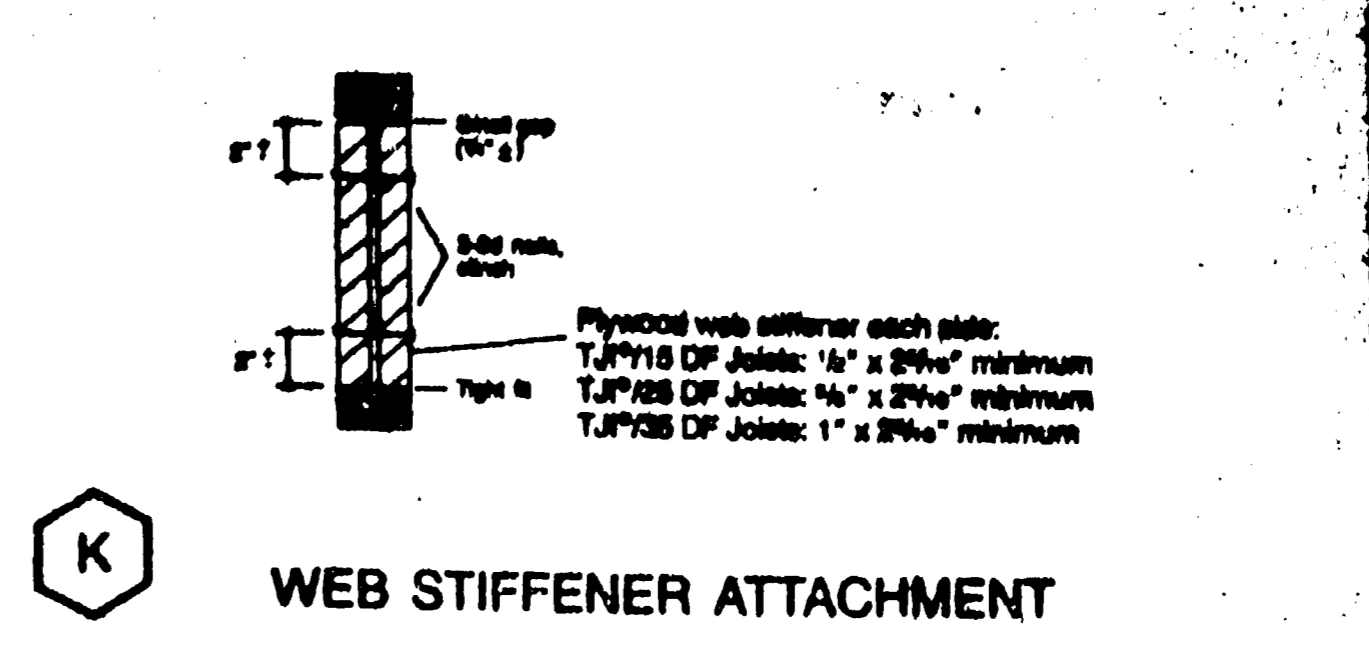
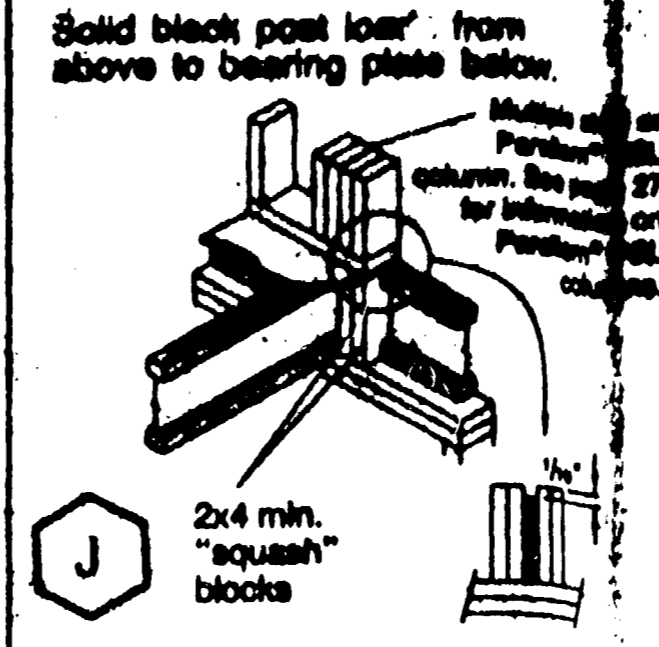
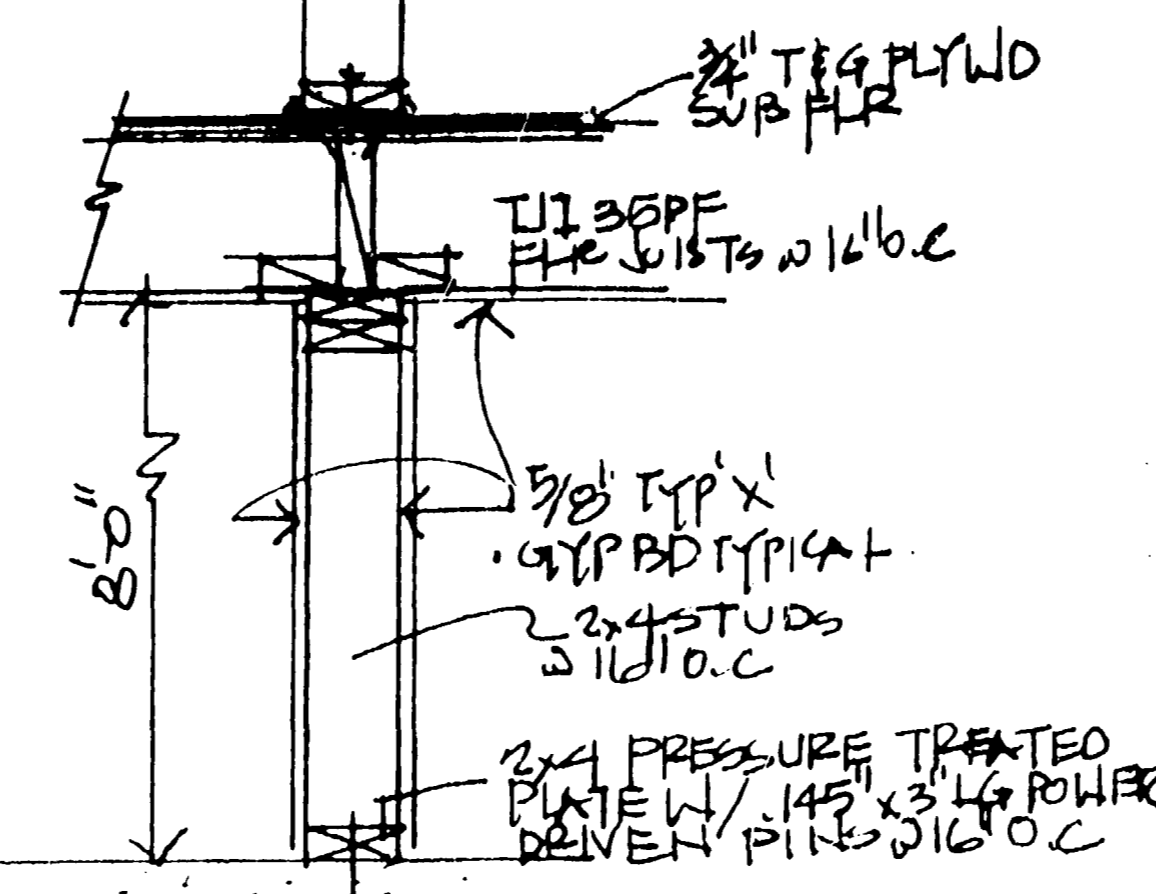
**GENERAL NOTES:**

- Span charts assume composite action with single layer of the appropriate span rated glue-nailed wood sheathing for deflection only. Spans shall be reduced 5" where sheathing panels are nailed only.
- Spans are based on clear distance between supports, uniformly loaded joists, and include allowable increases for repetitive use members.
- For loading conditions not shown, refer to allowable uniform load tables on page 14.
- Spans shown reflect the most restrictive of simple span or multiple span applications.
- Long term deflection under dead load which includes the effect of creep, common to all wood members, has not been considered for any of the above applications. Only shaded spans reflect initial dead load deflection exceeding 0.33" which may be unacceptable. For additional information contact your True Joist MacMillan representative.

**WEB STIFFENER REQUIREMENTS**

- End Bearings:** Web stiffeners (see detail "K" on page 7) are not required at end bearings of TJI® floor joists listed in this guide except on hangers when the sides of the hanger do not laterally support the TJI® joist top flange. (See detail "H1" on page 7)
- Intermediate Bearings:** At intermediate supports where the joists are continuous span, web stiffeners are required only if the intermediate bearing width is less than 5 1/4" and the span on either side of the intermediate bearing is greater than the spans shown in the following chart:

JOIST SPANS	40 PSF LIVE LOAD, 10 PSF DEAD LOAD			40 PSF LIVE LOAD, 22 PSF DEAD LOAD		
	18" o.c.	24" o.c.	36" o.c.	18" o.c.	24" o.c.	36" o.c.
<b>WEB STIFFENERS NOT REQUIRED</b>						
Not Required	25'-1"	20'-10"	18'-8"	28'-11"	20'-2"	18'-9"
Not Required	Not Required	24'-2"	19'-4"	31'-3"	23'-4"	19'-5"



**THESE CONDITIONS ARE NOT PERMITTED**

DO NOT cut holes too close to supports.

Refer to hole charts on page 17 for minimum distance from bearing wall.

DO NOT bevel cut joint beyond inside face of wall.

Birds-mouth cut must not overhang inside face of plate.

TJI® joist flange must bear fully on the plate. See detail "R12" on page 13.

**NAILING REQUIREMENTS**

- Nail joists at bearings with 2-8d (or 10d or 12d box) nails (1 each side), 1 1/2" minimum bearing and to minimize splitting.
- Nail TJI® joist blocking panels or TJI® rim board to bearing plate with 8d nails at 6" on center. Use nail TimberStrand™ LSL or MICRO-LAM® LVL rim board to bearing plate with 10d nails at 6" on center or 16d nails at 12" on center. When used for sheathing, nail to bearing plate with same nailing schedule as the decking.
- Nail 1 1/2" width (or less) rim board, rim joist or closure to TJI® joist with 2-8d nails, one each at top and bottom edge. Use 16d box nails with TJI® 25 DF rim joists.
- Attach 2x4 min. squash blocks at details "A2", "B2" and "J" to TJI® joist top and bottom flanges with 1-8d nail.

**WEB STIFFENER REQUIREMENTS**

- Web stiffeners are required if the sides of the hanger do not laterally support the TJI® joist top flange. Web stiffeners are also required for TJI® 25 DF and TJI® 35 DF joists per row 7 under floor span charts.

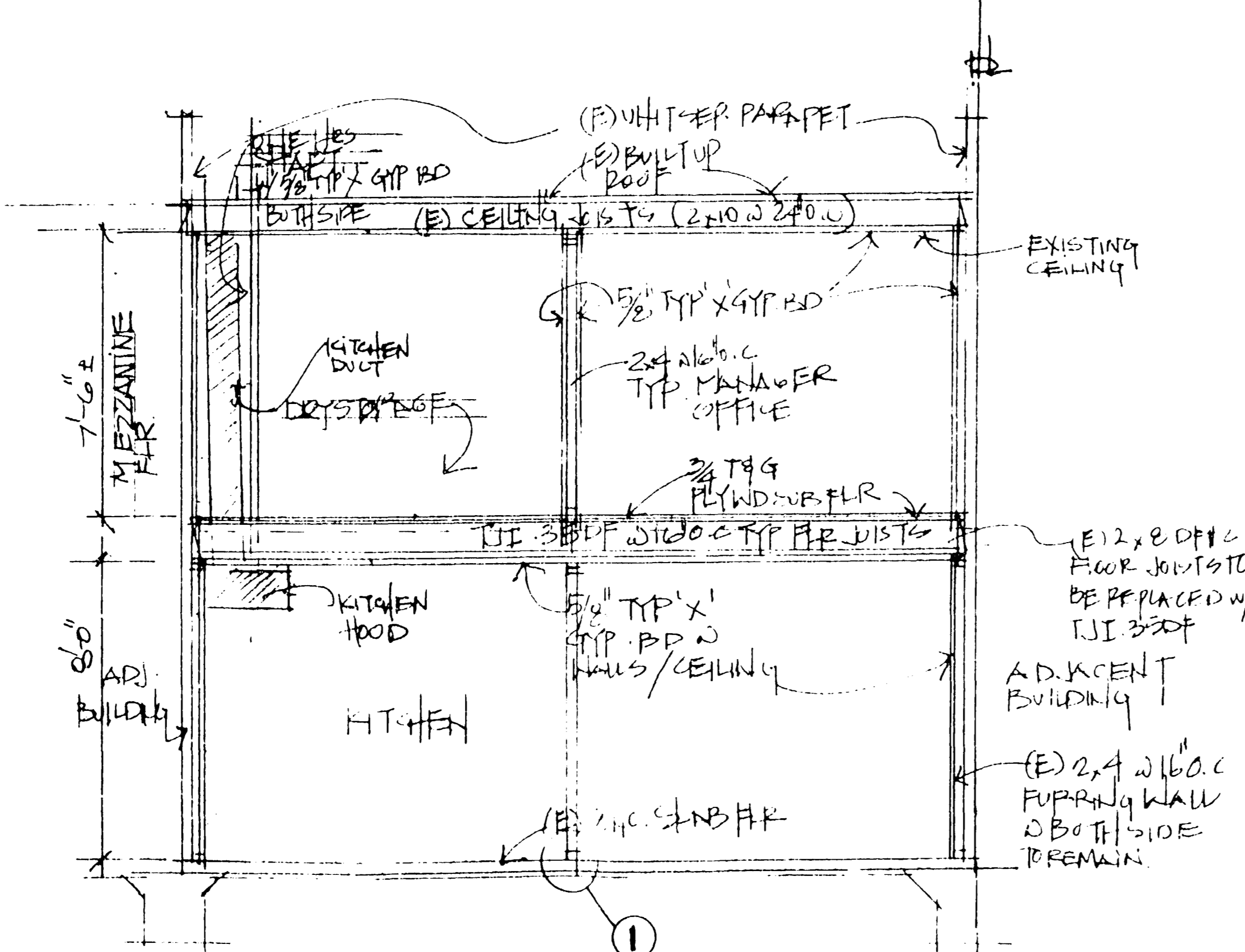
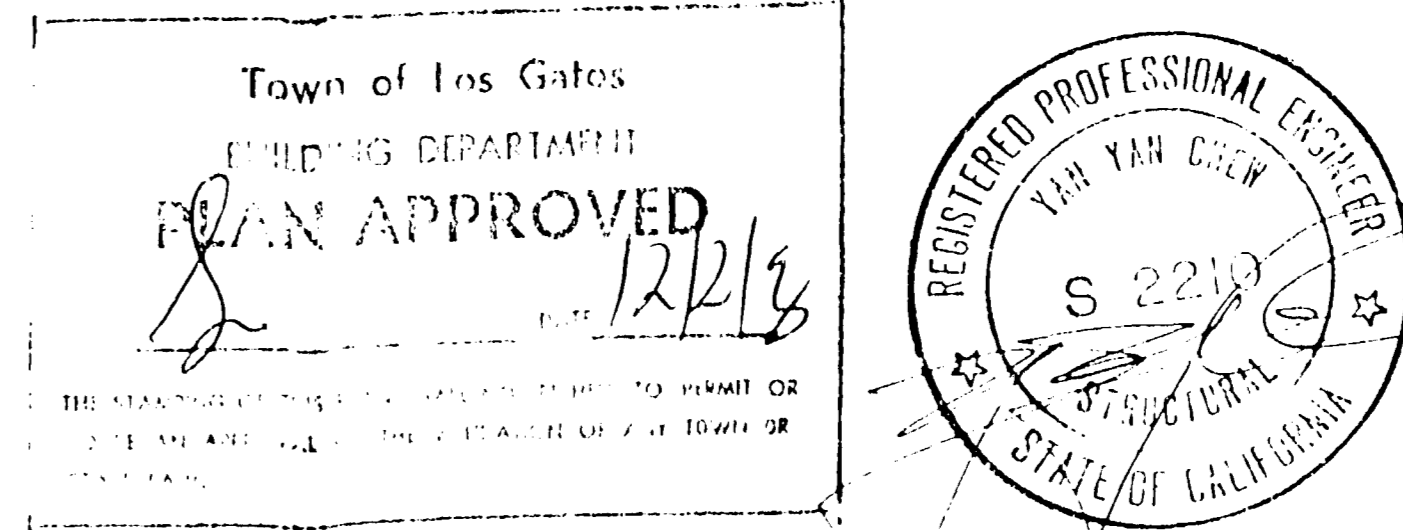
**FILLER AND BACKER BLOCK SIZES**

Filler Block (Detail "H2")	1 1/2" x 1 1/2" TYPICAL	3/4" x 1 1/2" TYPICAL	3/4" x 1" TYPICAL	1 1/2" x 1" TYPICAL	1 1/2" x 3/4" TYPICAL
Filler	2x6	2x6	2x6	2x6	2x6
Backer	4'-0" long	4'-0" long	8'-0" long	8'-0" long	8'-0" long
Details "H1", "H2", "H3"	1" or 1 1/2"	1" or 1 1/2"	1" or 1 1/2"	1" or 1 1/2"	1" or 1 1/2"

\*Filler and backer block length should accommodate required nailing without splitting.

**GENERAL NOTES**

- MINIMUM BEARING LENGTH**
- 1 1/2" minimum bearing is required at joist ends.
  - 3 1/2" minimum bearing is required when joists are continuous over the support.
- BLOCKING PANELS, RIM BOARDS OR RIM JOISTS**
- For single story applications and second story of two story applications use details "A1", "A2", "A3", "A4" or "A5".
  - For main floor rim of two story applications see details "A1", "A2", "A4" or "A5".
  - Details provide 1000 plf vertical load transfer to each layer of 3/4" rim board or rim joist.
  - Details provide 2000 plf vertical load transfer for each TJI® blocking panel or rim joist.
  - Details provide 3450 plf vertical load transfer to each 1 1/2" TimberStrand™ LSL rim board.
  - Details provide 3145 plf vertical load transfer for each 1 1/2" MICRO-LAM® LVL used as rim board or blocking.
- 3/4" RIM BOARD, REINFORCEMENT OR CLOSURE**
- 3/4" rim board, reinforcement or closure fastens to 1/2" CDX plywood or other exterior grade 4824 span rated sheathing that is cut to match the full depth of the joist. Install with face grain horizontal.
  - Rim board and cantilever reinforcement must bear fully on the wall plate. Bracing complying with the code shall be carried to the foundation.
  - When 3/4" rim board is used, blocking panels cut from TJI® joists or MICRO-LAM® LVL may be installed for a maximum of 4' at each end and at least 4' every 25' of bearing wall length to carry wall bracing as required to the foundation. See detail "A6".
  - Check local codes for acceptance of details "A2", "A3", "A4" and "A5". (May not be applicable to seismic zones 3 and 4.)



**CROSS SECTION KITCHEN JOIST**

**TJI® JOIST FLOOR DETAILS**

**B1**

NOTE: Web stiffeners are not required for TJI® 25 DF and TJI® 35 DF joists. See row 7 under Floor Span Charts.

**B2**

NOTE: Web stiffeners are not required for TJI® 25 DF and TJI® 35 DF joists. See row 7 under Floor Span Charts.

**B3**

NOTE: Web stiffeners are not required for TJI® 25 DF and TJI® 35 DF joists. See row 7 under Floor Span Charts. NO LOAD BEARING WALL ABOVE.

**A1**

**A2**

See detail "A6" for additional information.

**A3**

See detail "A6" for additional information.

**A4**

NOTE: Must have 1 1/4" minimum joist bearing at ends.

**A5**

NOTE: 1 1/2" TimberStrand™ LSL or 1 1/2" MICRO-LAM® LVL rim board or double 3/4" rim board.

See detail "A6" for additional information.

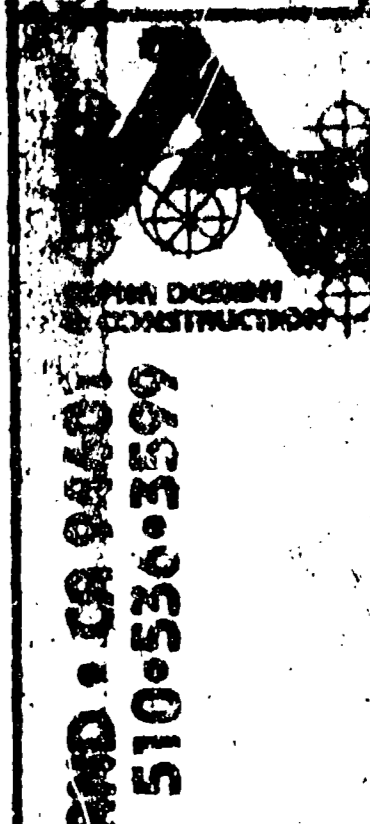
**A6**

NOTE: 3/4" rim board. Allowed with 1 1/2" and 1 1/4" joist only. Written used with 2x4 min. squash blocks as shown in detail "B1".

<b>REVISIONS</b>	<b>BY</b>

**PROPOSED TENANT IMPROVEMENT @ 137 N. GATOTA CRUZ LOS GATOS**

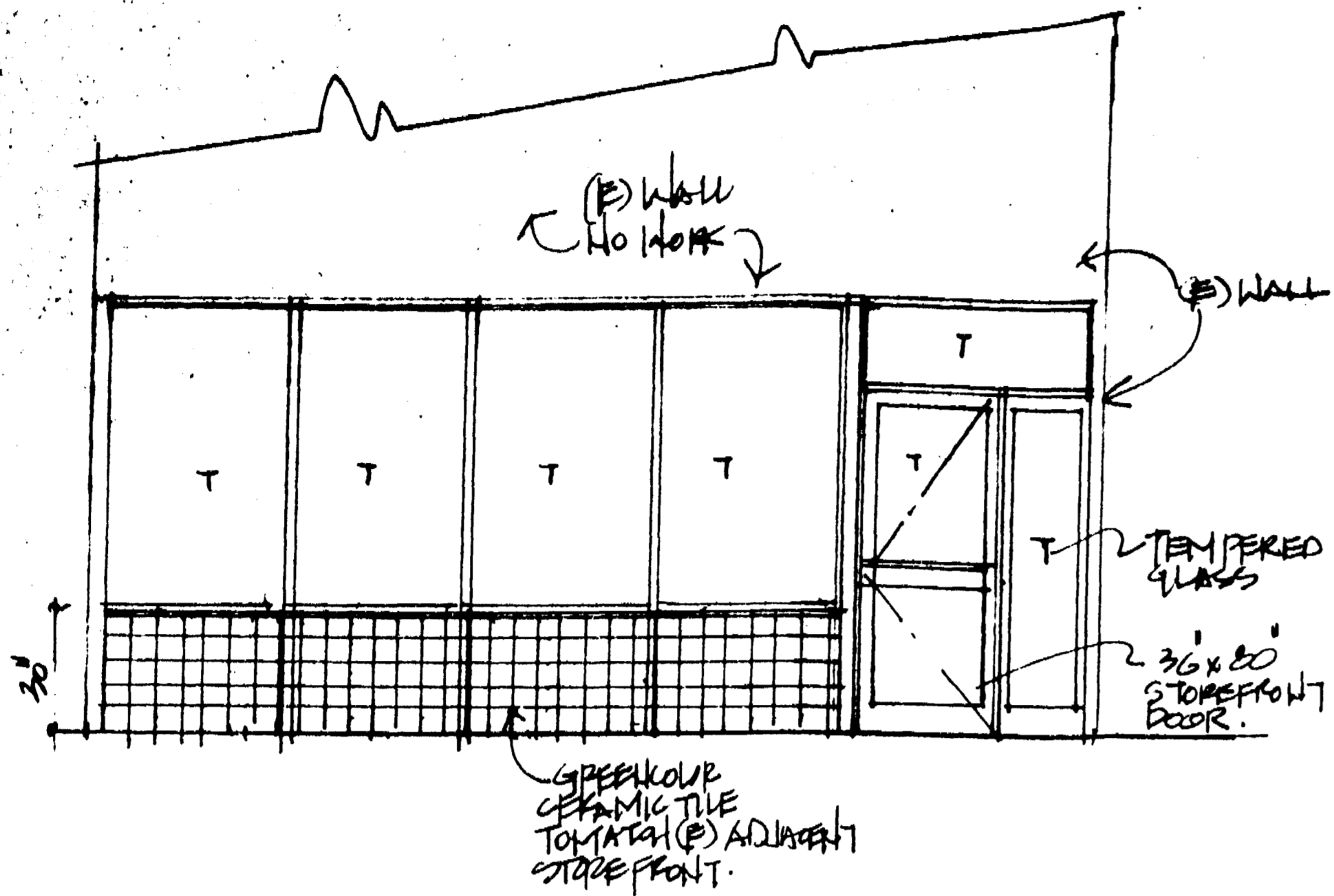
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Scale:   
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Job: 9809  
Sheet: 4  
Of: Sheets



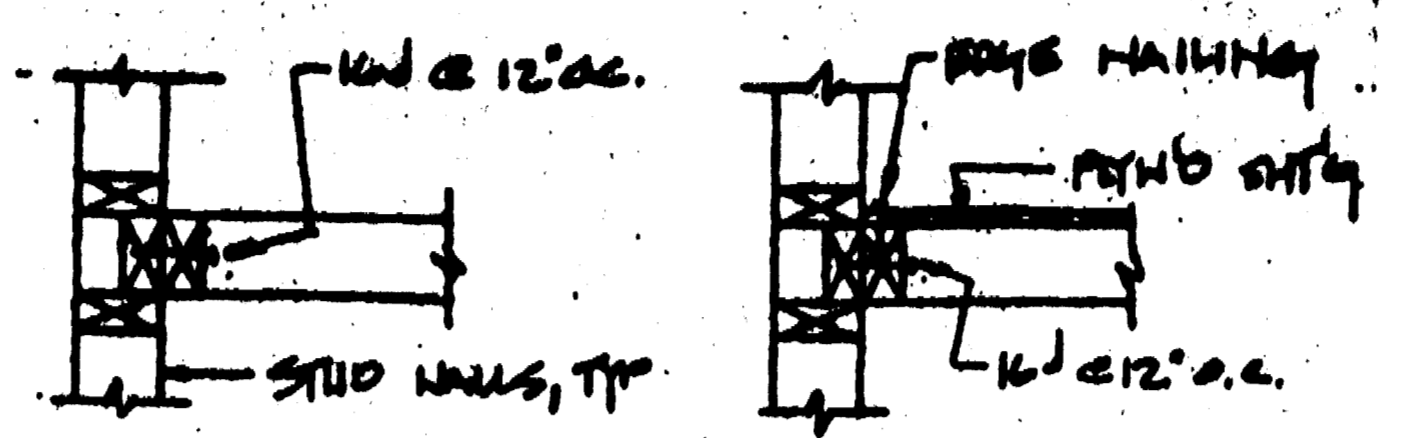
8617 EAST 14TH STREET, OAKLAND, CA 94601, 510-536-3599

FLOOR DETAILS

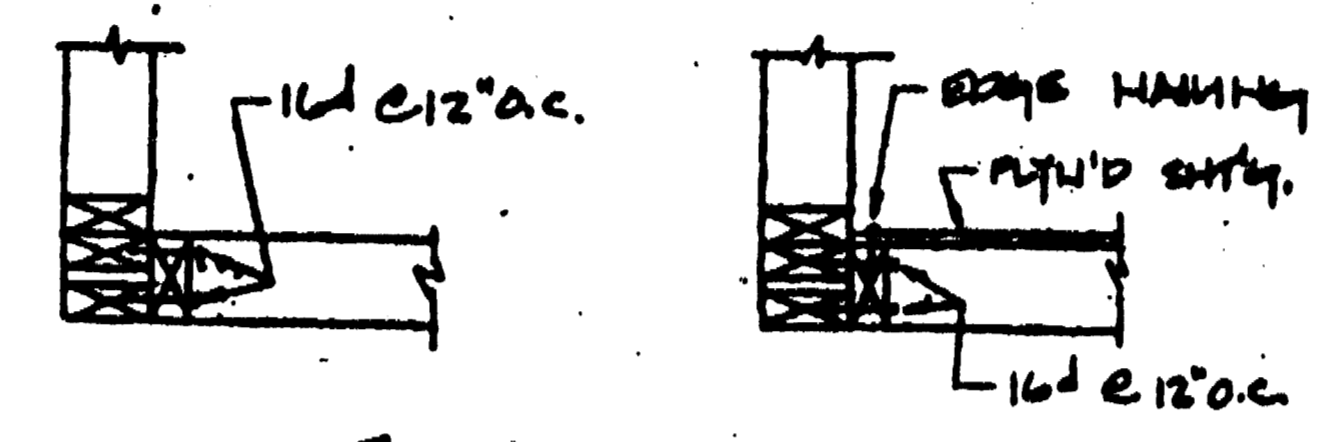




PROPOSED REPLACE STOREFRONT  
 D FRONT ELEVATION  
 H = 1'-0"

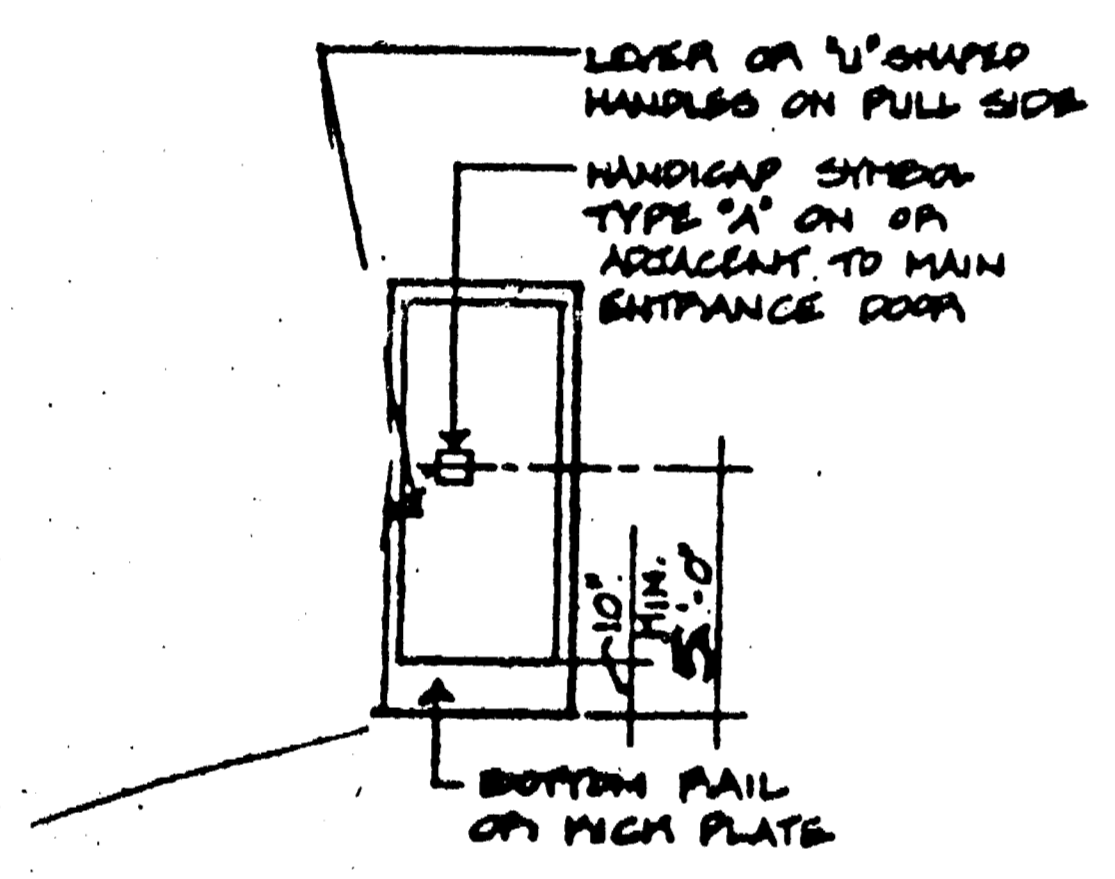


AT INTERSECTIONS

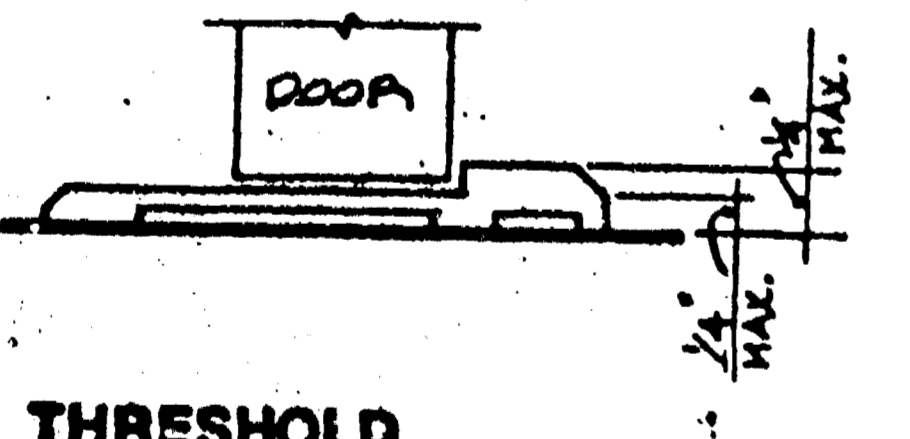


AT CORNERS

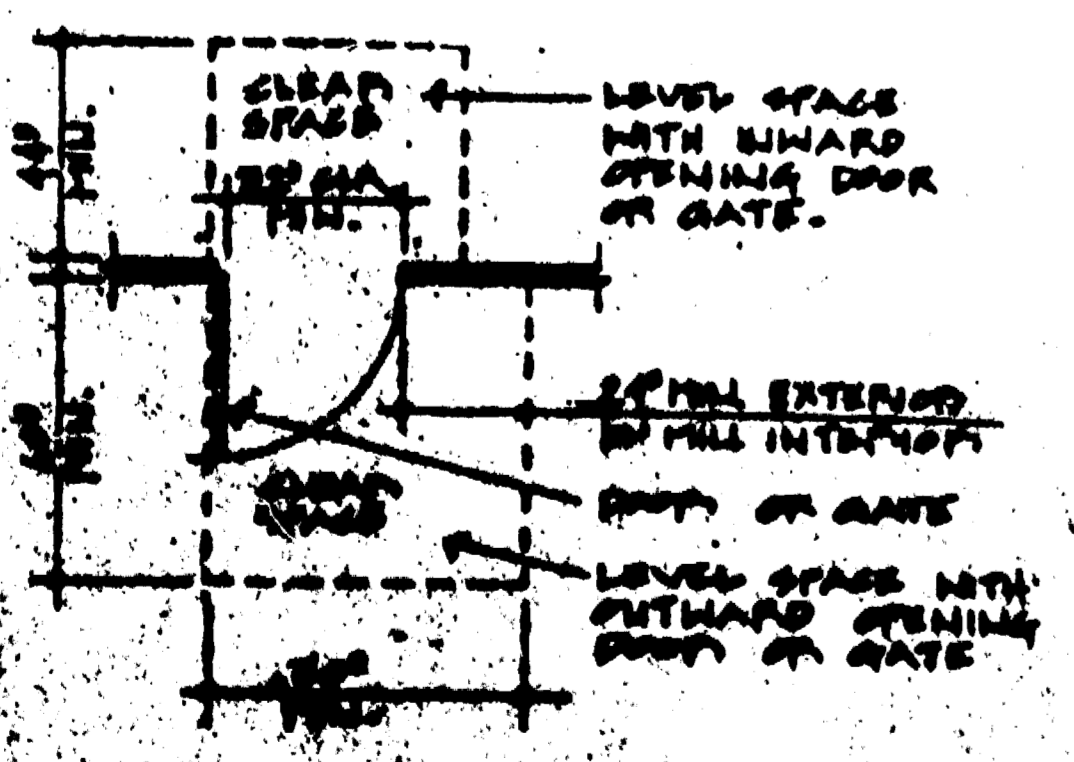
TYP. STUD WALL CONN.



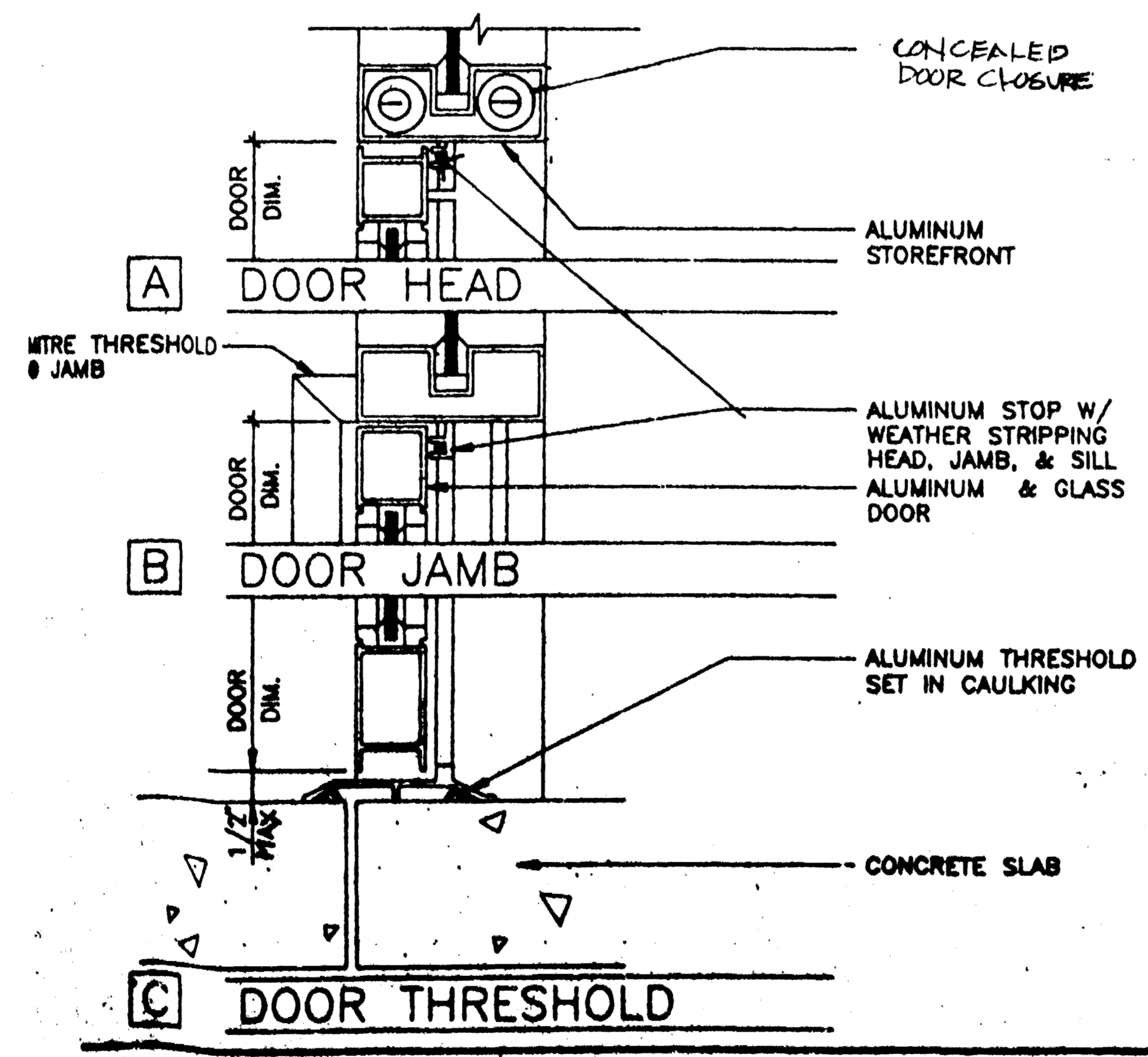
DOOR HARDWARE



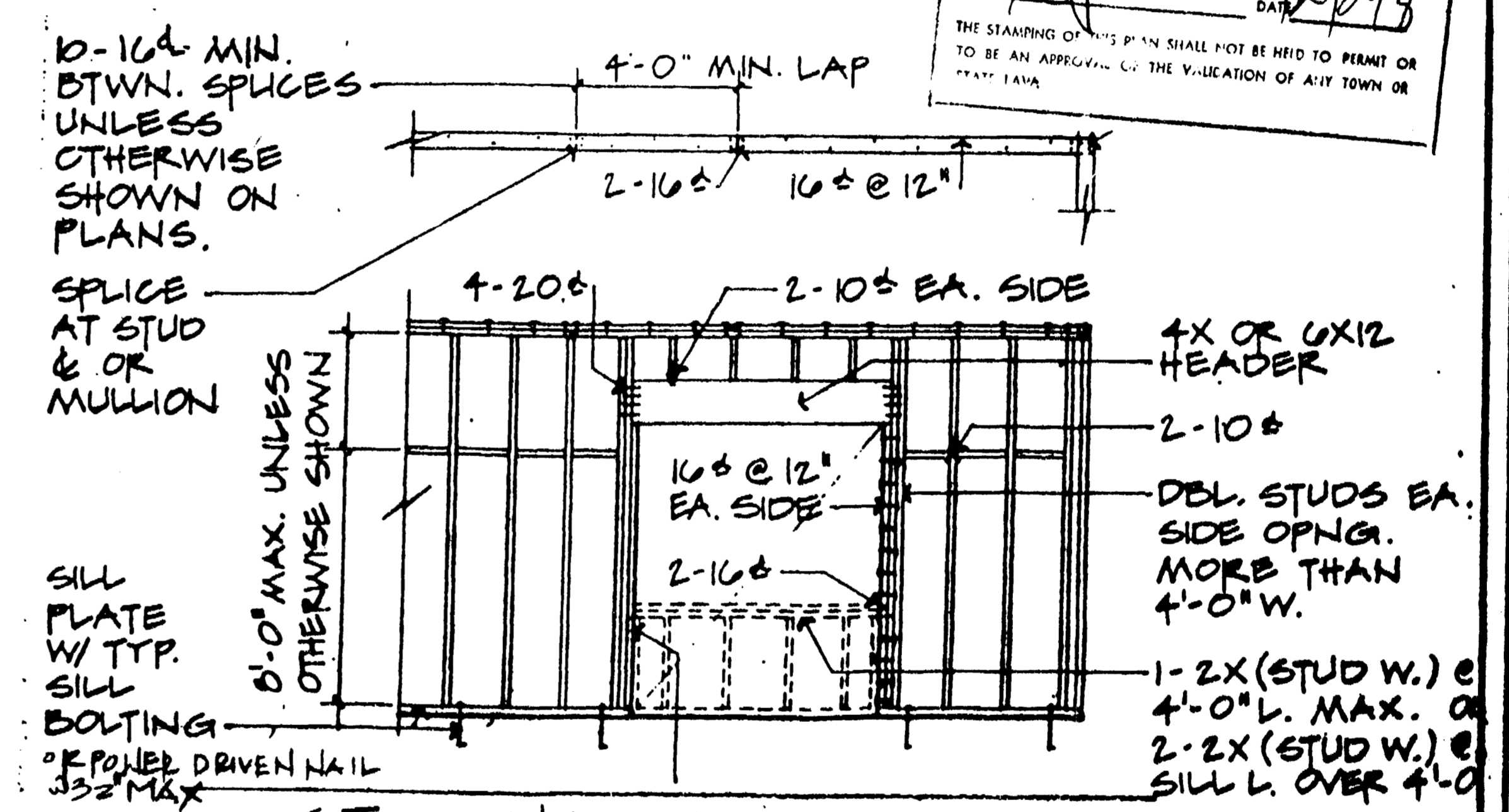
THRESHOLD



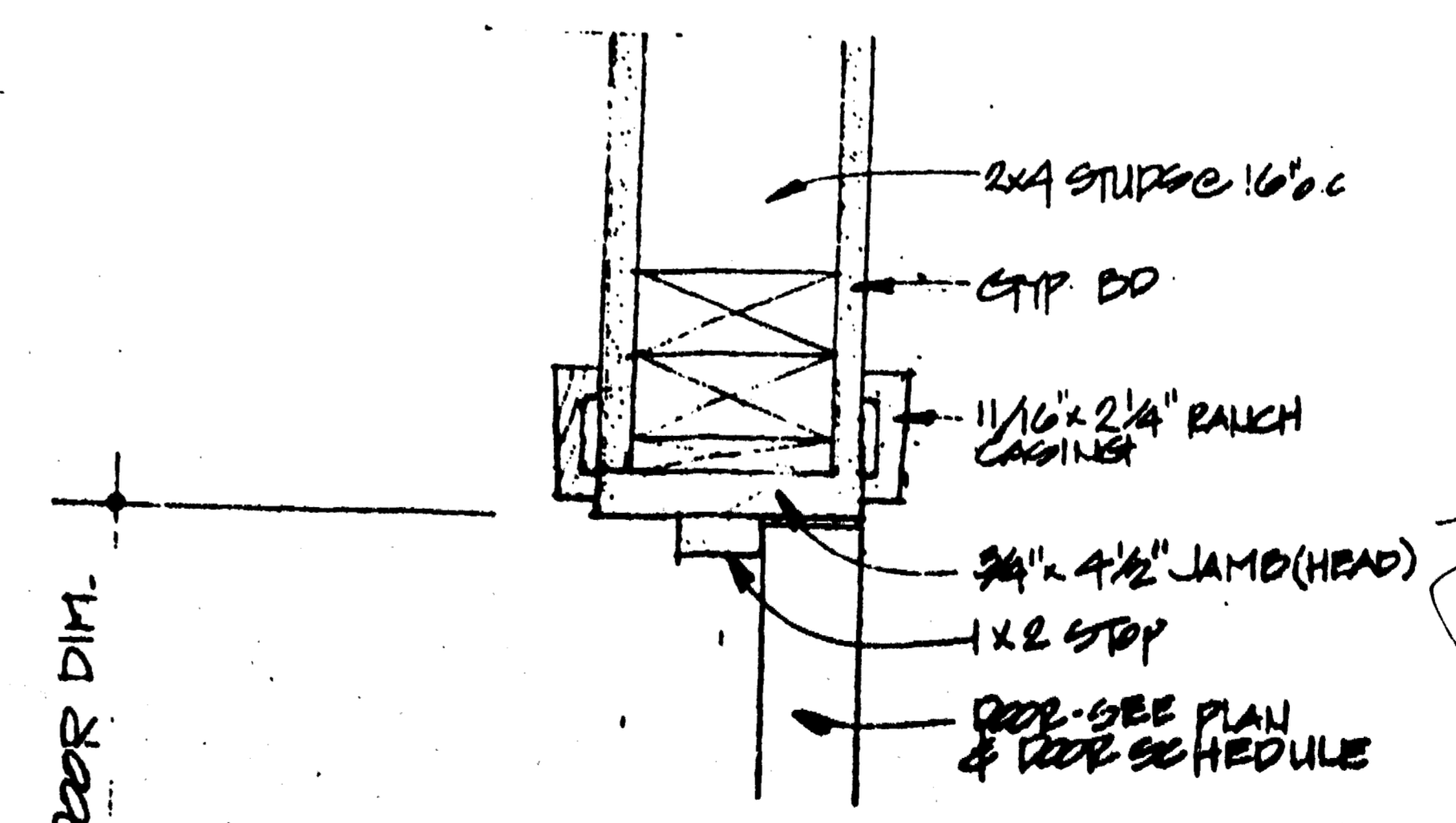
DOOR CLEARANCE



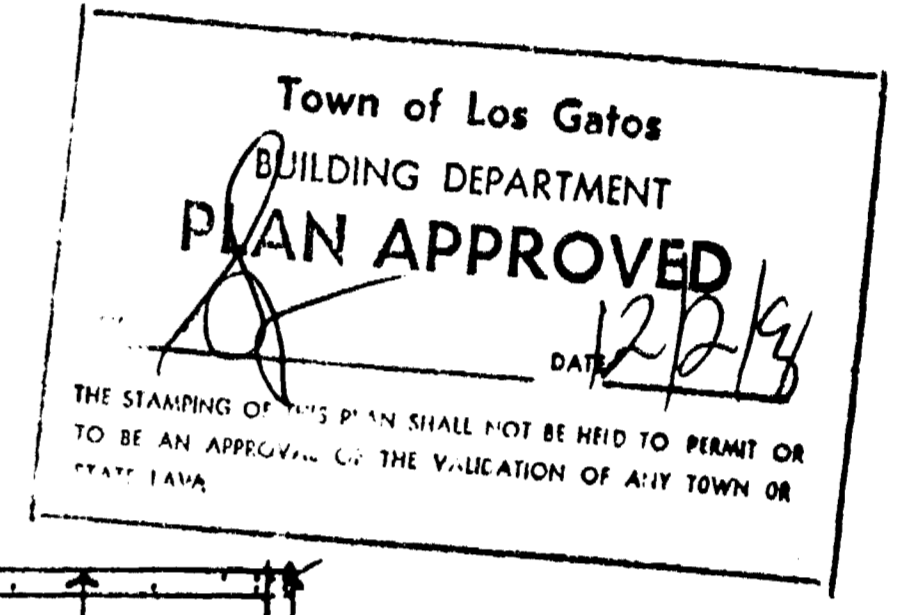
TYP. STOREFRONT ENTRY DOOR  
 SCALE: 3/8" = 1'-0"



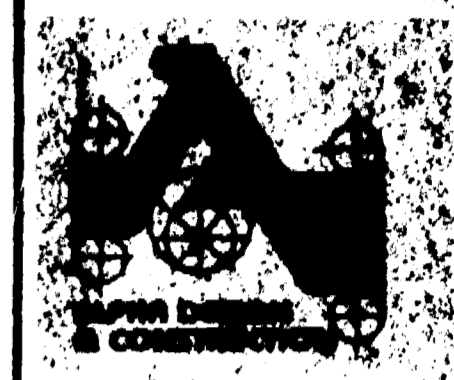
STUD WALL DETAIL



JAMB (HEAD SIM.) INTERIOR DOOR



REVISIONS	BY



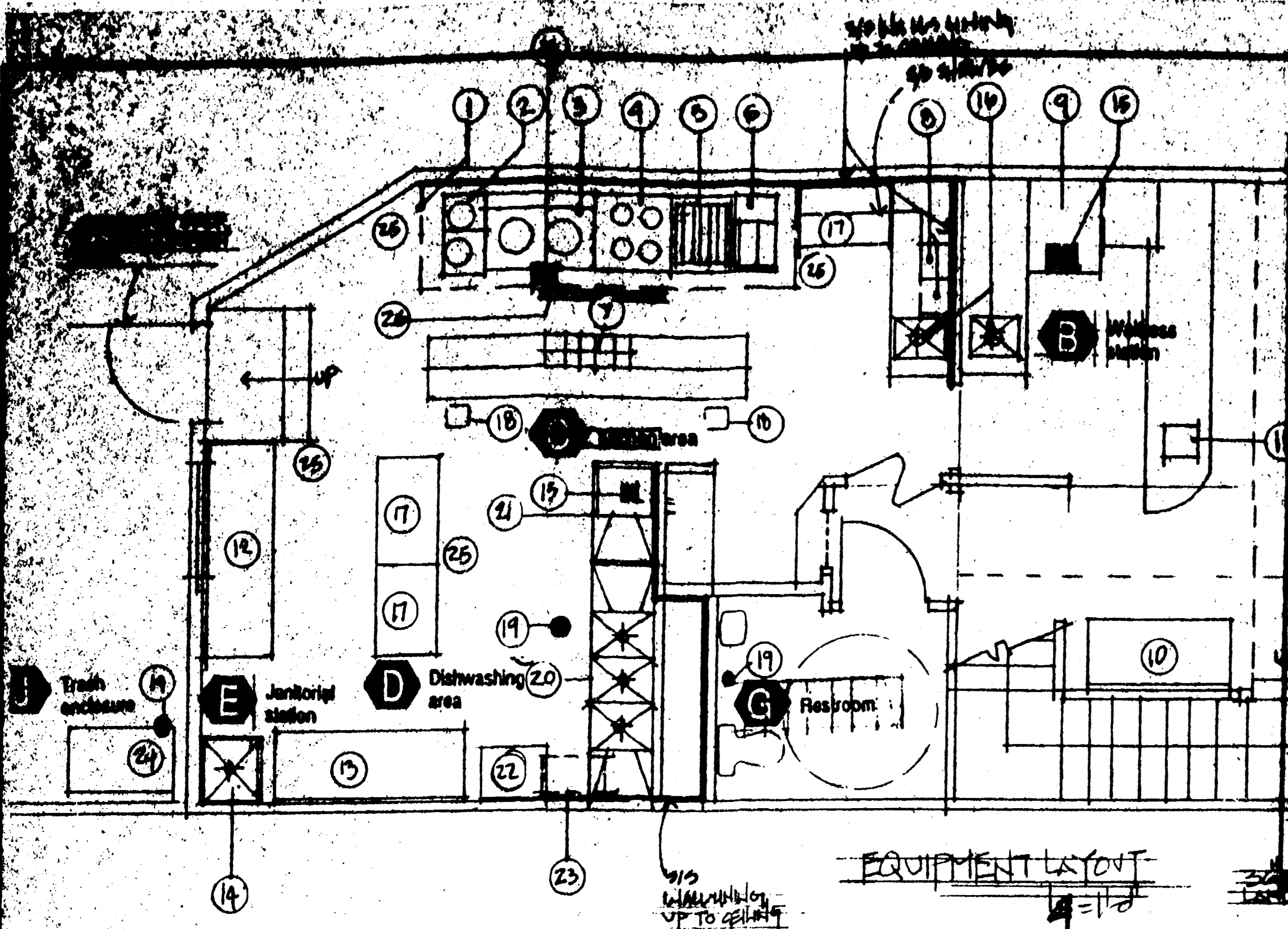
Town of Los Gatos  
 BUILDING DEPARTMENT  
 PLAN APPROVED  
 DATE 12/2/13  
 THE SEALING OF THIS PLAN SHALL NOT BE HELD TO PREVENT OR TO BE AN APPROVAL OR THE VALIDATION OF ANY TOWN OR STATE LAW.

2617 EAST 14TH STREET • ORLAND • CA 94601  
 510-536-3599

PROPOSED TENANT IMPROVEMENT 151 N. SANTA CRUZ LOS GATOS - CA

Date	9.20.18
Scale	
Drawn	
Job	1809
Sheet	5
of	





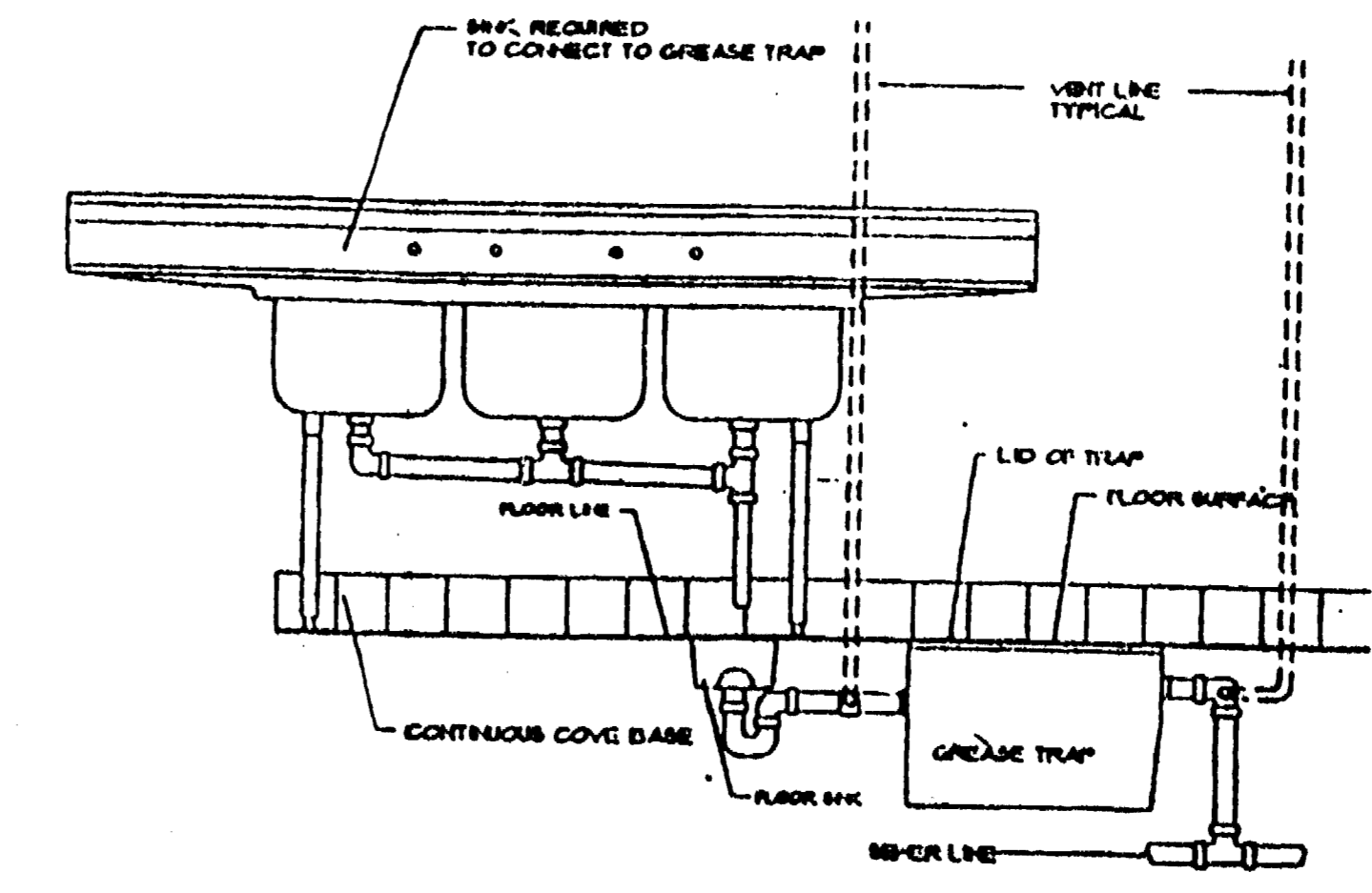
# ROOM FINISH SCHEDULE

NO. or AREA	FLOOR	FLOOR BASE or COVE	WALLS	CEILING	REMARKS
1 Dining area	HARDWOOD FLOOR	RUBBER BASE 4" HIGH	5/8" TYP. X 9 1/2" CO. BRICK LAYBACK PAINT	5/8" 98. 40 TYP. WHITE PAINT	
2 Waitress station	CERAMIC TILE W/ EPOXY GROUT	CERAMIC BASE W/ 3/8" CURB			
3 Kitchen area	QUARRY TILE W/ EPOXY GROUT	QUARRY BASE W/ 3/8" CURB			
4 Dishwashing area					1/2" PANEL LINING BEHIND SINK
5 Janitorial station					
6 Employee locker room	COMMERCIAL SHEET VINYL	RUBBER BASE 4" HIGH			TARGET SAFETY (HEATING/COOLING SERVICES)
7 Restroom	CERAMIC TILE	TILE BASE W/ 3/8" CURB			48" HIGH WAINSCOT. W/ EPOXY CERAMIC TILE
8 Storeroom	COMMERCIAL SHEET VINYL	RUBBER BASE			TARGET SAFETY HEAT
9 Office	CARPET				
10 Trash enclosure	CEMENT SEAL	EPOXY PAINT SEALER	CEMENT PLASTER		

EQUIPMENT LAYOUT

## EQUIPMENT CHECKLIST

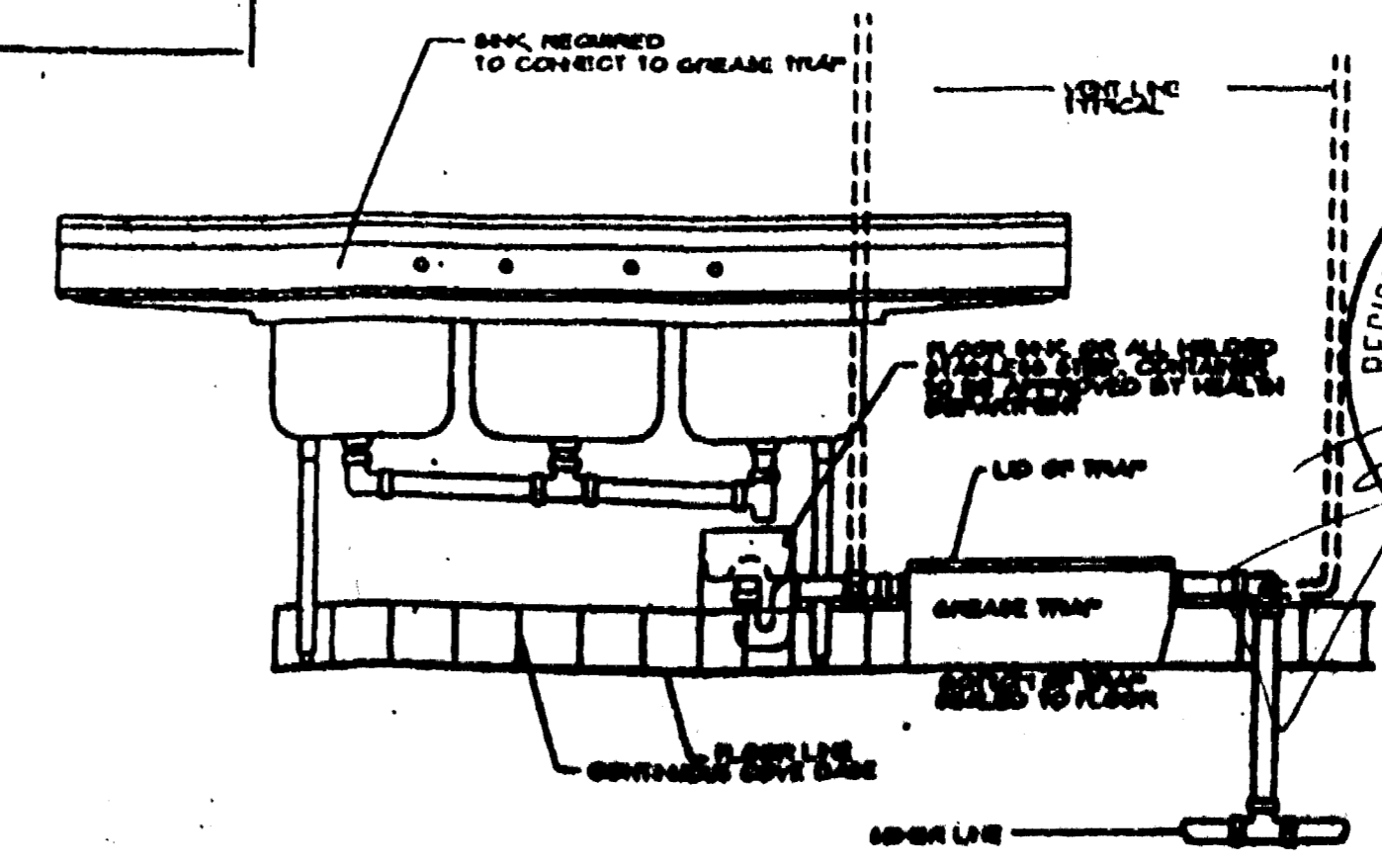
NO.	ITEM	MANUFACTURER	MODEL NUMBER
1	DISH WOOD	SHEETMETAL CO.	
2	STOCK POT	IMPERIAL	15PA-1B
3	CHINESE WOK	IMPERIAL	1CRA-2
4	STONE		IR-4
5	SKILLET		PBA-322B
6	FRIGER	WOLF	FS-WTF-92
7	COOLER TABLE	SHEET METAL CO.	
8	MICROWAVE OVEN	PANASONIC	NE-6085
9	TOASTER	POPS/MANITOC	ER-0400A
10	REFRIGERATOR	BEVERAGE AIR	MT-46
11	COFFEE	CASINO/ROYAL	460NX
12	FRIG. IN REF.	SUPERIOR/ALFA	ES-30-87
13	FRIG. IN FREEZER	TRUE	T72F
14	MOP SINK	FLOORDOME	NS2-1004
15	TRASH SINK	ZURN	16" X 20" X 20"
16	WASH SINK	ADVANCE	TP9-60
17	WATER SINK	IMPERIAL	8 TB SC-90
18	RECYCLING RECYCLER		
19	RECYCLING DRUM	ZURN	
20	WASH SINK	LAMBERTON	3/4" X 17" X 20" X 20"
21	TRASH SINK		143P 17 X 20 X 20"
22	WATER SINK		
23	WATER SINK	ZURN	
24	WATER SINK		
25	WATER SINK		



GREASE TRAP INSTALLED BELOW FLOOR SURFACE  
NOT TO SCALE

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE: 9/20/95

NOTE: ALL PIPES MUST BE MINIMUM 6 INCHES OFF THE FLOOR IF GREASE TRAP UNIT IS LOCATED ABOVE THE FLOOR THEN THE UNIT MUST BE 6 INCHES MINIMUM AWAY FROM ALL WALLS.  
GREASE TRAPS ARE REQUESTED BY THE LOCAL BUILDING DEPARTMENT OR SEWER DISTRICT. CHECK WITH THESE AGENCIES TO DETERMINE IF A GREASE TRAP IS NECESSARY AND TO THEIR SIZE REQUIREMENTS.



GREASE TRAP INSTALLED ABOVE FLOOR SURFACE  
NOT TO SCALE

REGISTERED PROFESSIONAL ENGINEER  
TAM YAN CHER  
S. 2210  
STRUCTURAL  
STATE OF CALIFORNIA

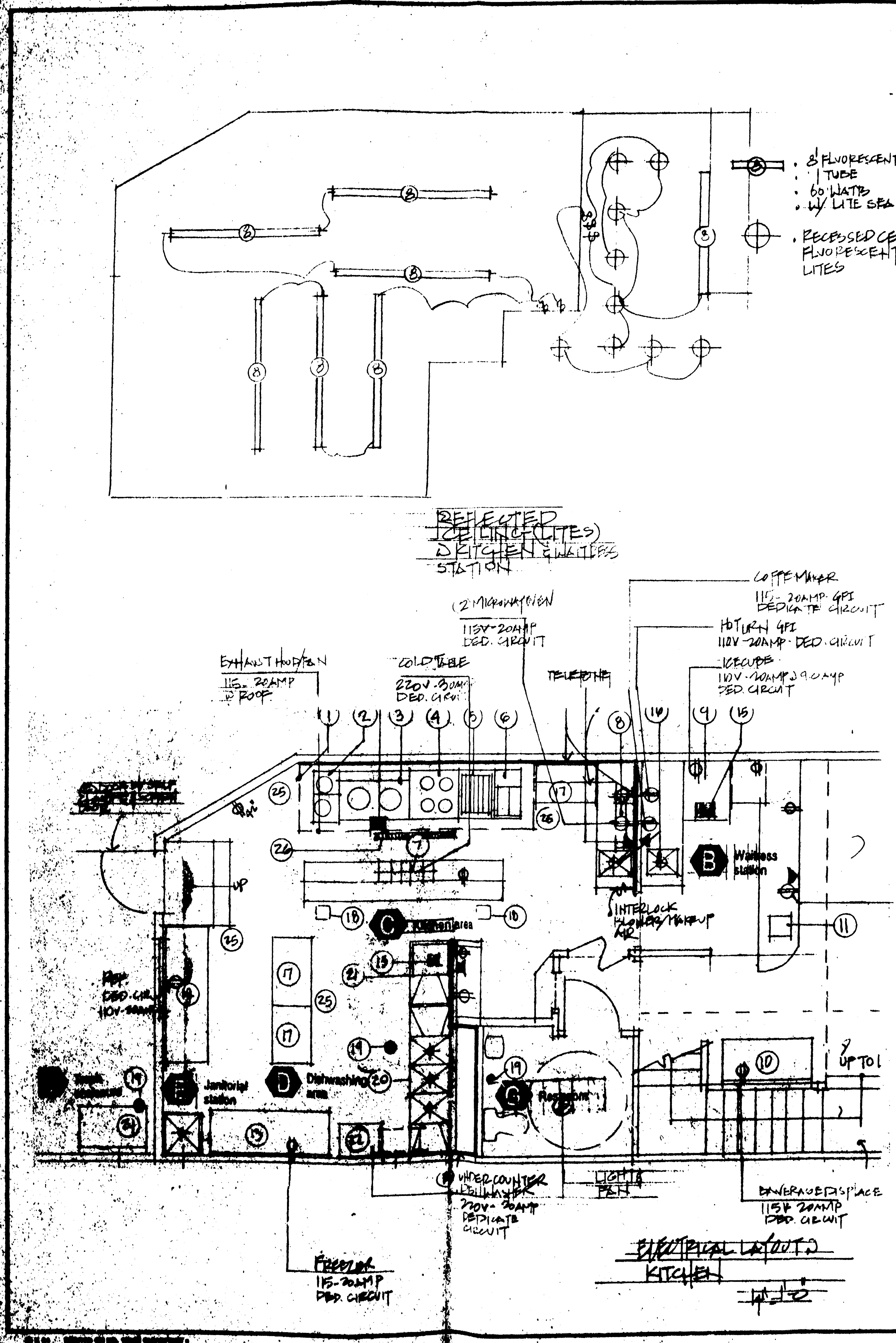
2617 EAST 14TH STREET • ORLANDO • CA 95001  
310-534-3500

ROOM/EQUIP SCHEDULE

PROPOSED TENANT IMPROVEMENT 137 N. SANTA CAROLINA LOS GATOS, CA

Date: 9.20.95  
Scale:  
Drawn:  
Job: 1809  
Sheet: 6

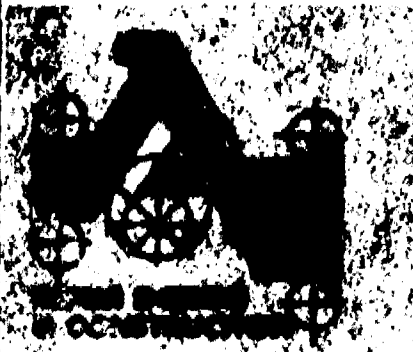




**ELECTRICAL NOTES**

1. THE ELECTRICAL REQUIREMENTS AND CONNECTIONS SHOWN ON THIS PLAN ARE FOR FOOD SERVICE EQUIPMENT.
2. ELECTRICAL ROUGH-IN WORK AND FINAL CONNECTIONS TO ALL FOOD SERVICE EQUIPMENT AND FIXTURES AS SHOWN ON PLAN SHALL BE BY THE ELECTRICAL CONTRACTOR.
3. ACCESS AREAS AND CUT-INS AT JOBSITE SHALL BE PROVIDED BY EQUIPMENT FABRICATOR AS REQUIRED FOR INSTALLATION OF ELECTRICAL OUTLETS, JUNCTION BOX(S), HOME RUN(S)?, ETC. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL EXTENSION SHIELDS AS REQUIRED.
4. REFRIGERATION AUTOMATIC DEFROST SYSTEM FOR WALK IN FREEZER(S) ELECTRICAL CONTRACTOR TO PROVIDE FOUR (4) WIRE COLOR CODED SERVICE FROM FREEZER COMPRESSOR AND TIME CLOCK TO FREEZER BLOWER COIL IN FIXTURE.
5. ELECTRICAL CONTRACTOR TO CONNECT ALL COMPRESSORS AND PROVIDE DISCONNECTS, MAGNETIC STARTERS AND THERMO-OVERLOAD PROTECTION WHERE REQUIRED.
6. THE ELECTRICAL PLAN INDICATES ROUGH-IN LOCATION, POINT OF CONNECTION TO FIXTURE AND TYPE OF CONNECTION ONLY. ELECTRICIAN TO PROVIDE CIRCUITS AND CONDUIT RUNS AS REQUIRED BY CODE.
7. PLANS ARE FURNISHED FOR THE PURPOSE OF SHOWING LOCATION OF EQUIPMENT OUTLETS, TYPES OF CONNECTION AND ELECTRICAL LOAD REQUIRED.
8. VAPOR PROOF LIGHTS FOR EXHAUST HOOD(S), COMPLETE WITH PULL-BOXES AND CONDUIT, SHALL ALL BE SUPPLIED BY ELECTRICIAN TO SUPPLY AND INSTALL WIRING AND HOOK-UP TO WALL MOUNTED SWITCH WITH PILOT LIGHT LOCATED AS PER PLAN.
9. VAPOR PROOF LIGHTS FOR WALK-IN COOLER AND WALK-IN FREEZER COMPLETE WITH SWITCH AND PILOT LOCATED INSIDE WALK-IN(S) AND OUTSIDE, SHALL BE FURNISHED BY B.R.D. UNLESS OTHERWISE INDICATED.
10. ELECTRICAL MATERIALS INCLUDING WIRING, FITX AND CONDUIT, SWITCHES, DISCONNECTS, MAGNETIC STARTERS, THERMO-OVERLOAD PROTECTION, ELECTRICAL PANELS, CORDS AND PLUGS, ETC. SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
11. ALL DIMENSIONS SHOWN ON PLAN ARE MEASURED FROM FINISHED WALLS, FLOORS, CEILINGS, AND/OR CENTER LINES OF COLUMNS TO CENTER LINES OR OUTLETS AND PULL-BOXES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL MAKE ALLOWANCES FOR FINISHES WHEN ROUGH-IN THE REQUIREMENTS.
12. ELECTRICAL CONTRACTOR TO PROVIDE POWER ON ROOF AND CONNECT EXHAUST FANS AS DIRECTED BY VENTILATION CONTRACTOR. DISCONNECT SWITCHES TO BE MOUNTED CONVENIENT TO HOODS.

REVISIONS	BY



2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-536-3399

ELECTRICAL PLAN

PROPOSED TENANT IMPROVEMENT @ 1371 N. SANTA CRUZ LOS GATOS, CA FOR HWY/MSH/BR/NTG0

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 2/2/83  
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PRINT OR TO BE AN APPROVAL OF THE VALIDATION OF ANY TOWN OR STATE LAW.

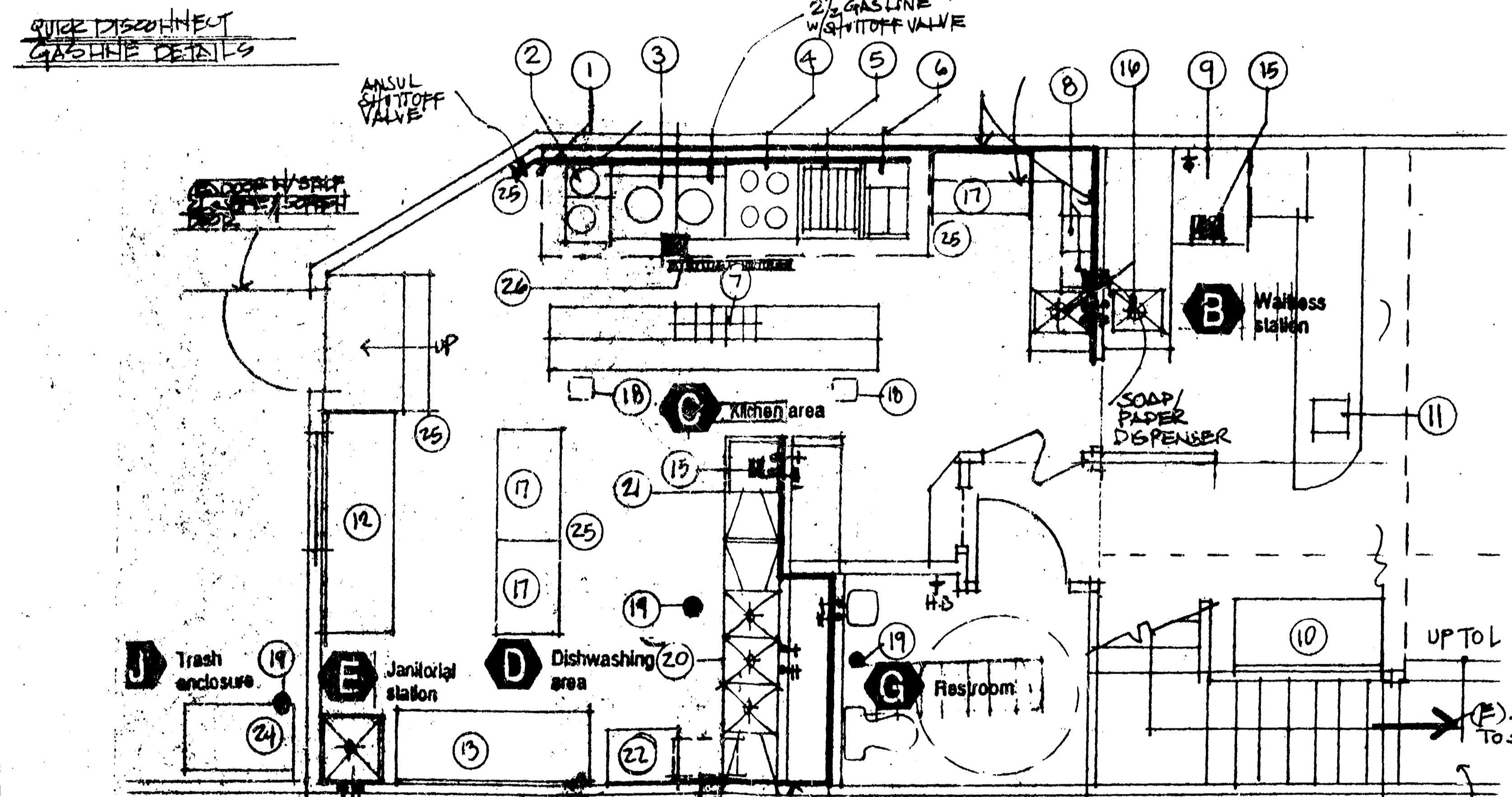
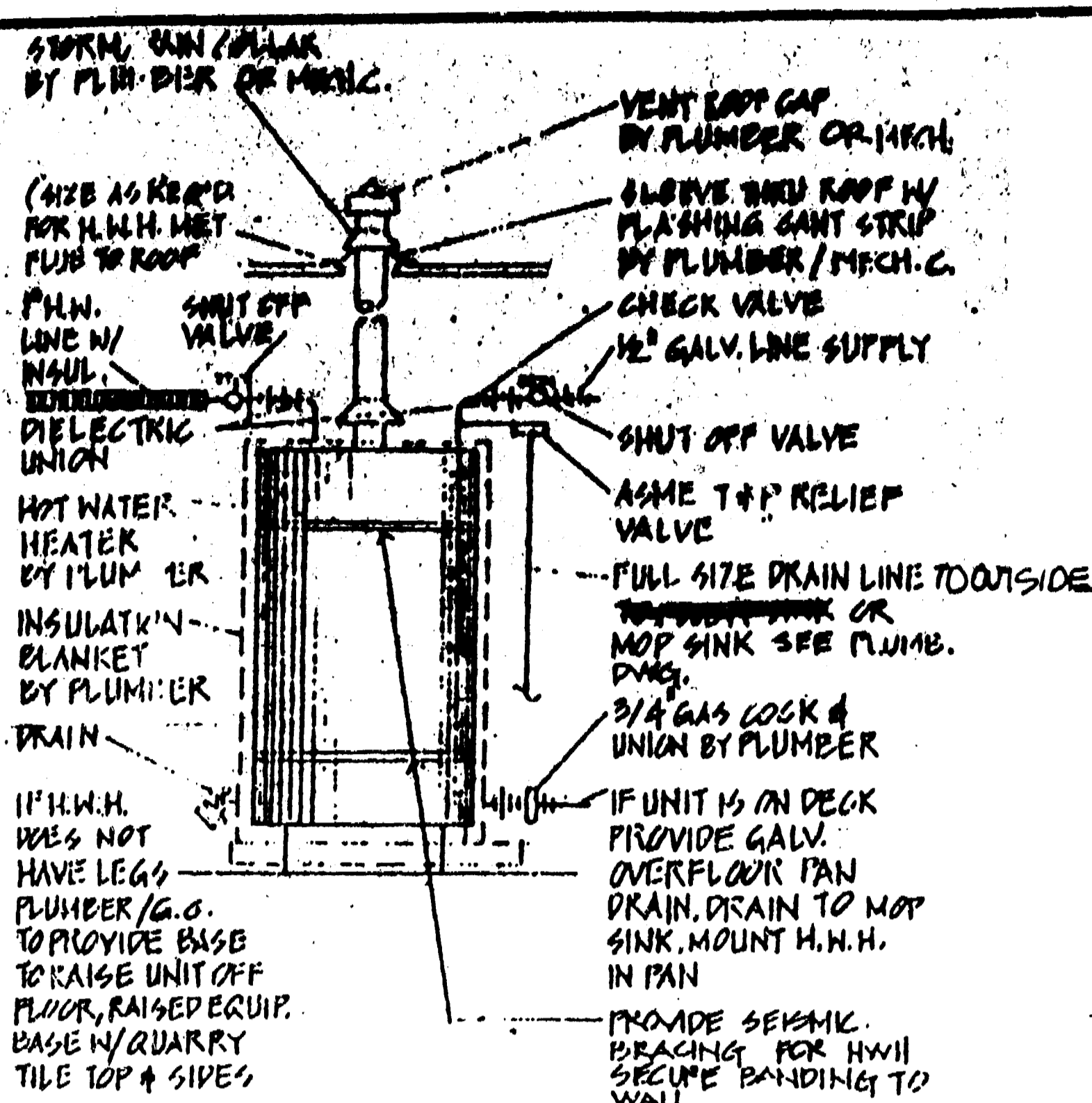
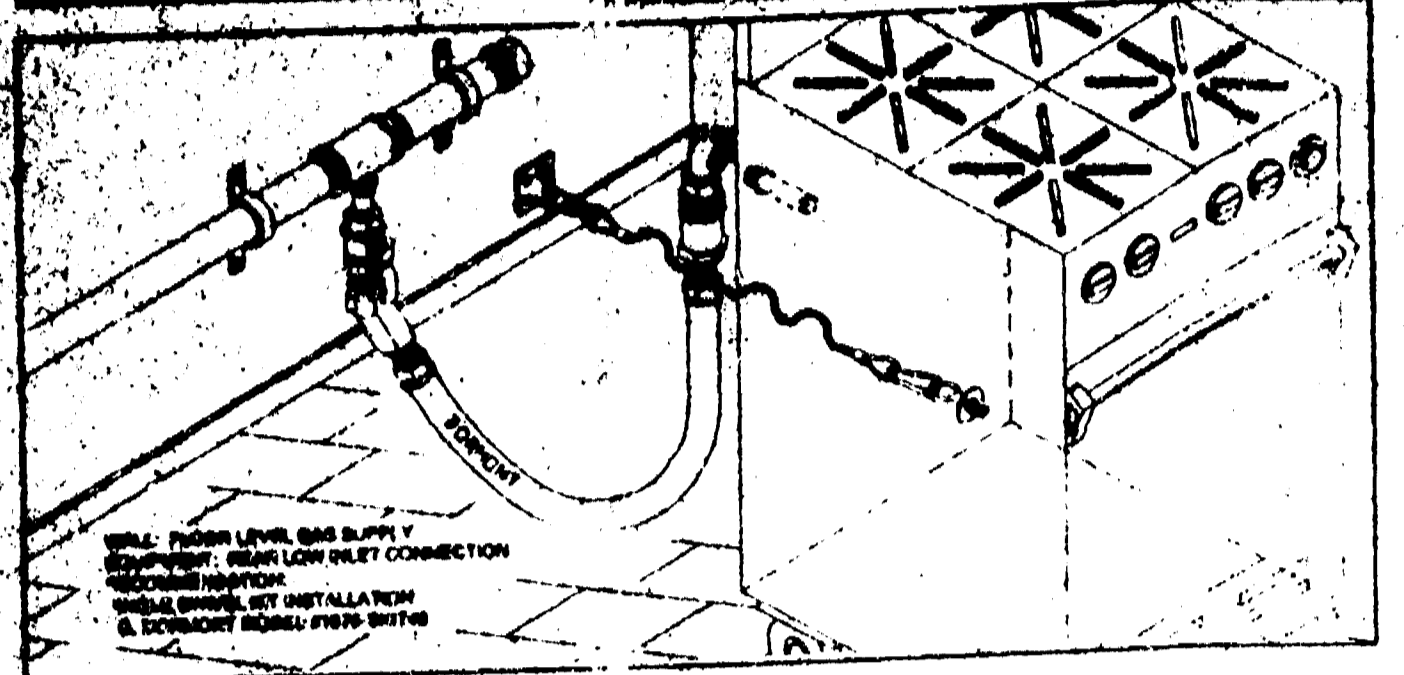


Date	9.20.80
Scale	
Drawn	
Job	9809
Sheet	7
Of	



**Notes:**

1. All work shall be done in accordance with the City of Los Angeles Building Department and the State of California Building Code.
2. All work shall be done in accordance with the City of Los Angeles Building Department and the State of California Building Code.
3. All work shall be done in accordance with the City of Los Angeles Building Department and the State of California Building Code.



DESCRIPTION	PIPE SIZE (INCHES)				REMARKS
	H.W.	H.W.	W	V	
16 HANDSINK	1/2	1/2	2"	1 1/2"	
19 FLOOR DRAIN			2"	1 1/2"	
WATER CLOSET W/ FLUSH TANK	1/2		3"	1 1/2"	
17 LAVATORY	1/2	1/2	1 1/2"	1 1/2"	
15 3/4 WORKING TABLE					16" x 30" x 3/4" NSF
21 FLOOR SINK			2"	1 1/2"	
21 FOOD PREPARATION SINK/HANDSINK	1/2	1/2	1 1/2"	1 1/2"	DRAIN INDIRECT TO FLOOR SINK
20 THREE COMPARTMENT SINK	1/2	1/2	2" TO GREASE TRAP	1 1/2"	1 1/2" TRIPLE WASTE MANIFOLD TO WASTE DISPOSER
WATER HEATER			INLET	OUTLET	3/4" DRAIN
12 (E) REFR.					
13 (E) REFR.					
20 FLOOR DRAIN			2"	1 1/2"	TRENCH DRAIN W/ TRIM FRAME. DRAIN INDIRECTLY TO FLOOR SINK
9 ICE MACHINE W/ WASTE DISPOSER	1/2		3/8"		TIED INTO BLDG. SPRINKLER SYSTEM
FIRE PROTECTION CONTROL CABINET	1				
3 CHINESE GAS RANGE W/ WATER COOLED TOP	1/2		BY H.W. DRAIN FLOOR	UPR. 0 SINK	4 1/2" COLD WATER FOR RANGE TOP COOLER FAUCETS
6 GAS DEEP FRYER					2 1/2"
4 GAS RANGE W/ OVEN					2 1/2"
5 GAS FIRED DROILER					2 1/2"
14 MOP SINK			2"	1 1/2"	
GREASE TRAP			BY MAN. SPEC.		75 GPM @ 25 GPM
2 Cook POT					2 1/2"

**GREASE TRAP SIZE**

3 COMP. SINK: 18" x 24" x 18" = 5184 cu. in.  
 5184 x 3 = 15552 cu. in.  
 15552 = 67 GAL.  
 67 GAL @ 75% = 50 GPM  
 REQ. 50 GAL  
 PROV. 75 GAL @ 25 GPM

**WATER LINE**

1 MOP SINK 4  
 1 3 COMP. SINK 4  
 1 HANDSINK 2  
 1 PREP SINK 2  
 1 TOILET 5  
 1 LAV. 2  
 1 Dishwasher 4  
 1 SINK (WASH UP) 4

07 UNIT  
 100' @ 27 UNIT PER. 7 1/4"  
 PROVIDE 1 1/2"

**PLUMBING LAYOUT ORIGIN**

**HOT WATER WORK SHEET**

1 UTENSIL SINK 3 @ 25. 75  
 2 HANDSINK + LAV 2 @ 5. 10  
 1 PREP SINK 1 @ 10. 10  
 1 MOP SINK 1 @ 10. 10  
 1 PRE WASH FRYER 1 @ 45. 45

150 x .6 = 90 GPH  
 90 x 75% = 67 GPH  
 67 x 60 = 4020 BTU PER  
 7500 BTU PROVIDE W

**GAS LINE SIZE**

2 POT @ 90,000 BTU @ 2"	180,000 BTU
1 CHINESE WOK @ 330,000	330,000 BTU
2 STOVE @ 107,000	107,000 BTU
1 DROILER @ 70,000	70,000 BTU
1 DEEP FRY @ 120,000	120,000 BTU
1 WATER HEATER @ 7,500	7,500 BTU
<b>TOTAL</b>	<b>881,500 BTU</b>
<b>LENGTH</b>	<b>100'</b>

**GAS SIZE REQUIRED** 2" φ  
**PROVIDE** 2 1/2" φ

NOTE: A TRAP PRIMER SHALL BE PROVIDED AT ALL FLOOR DRAINS & MOP SINK

Town of Los Gatos  
 BUILDING DEPARTMENT  
**PLAN APPROVED**  
 DATE 12/2/19  
 REGISTERED PROFESSIONAL ENGINEER  
 YAN YAN CHEN  
 S 2210  
 STRUCTURAL  
 STATE OF CALIFORNIA

REVISIONS

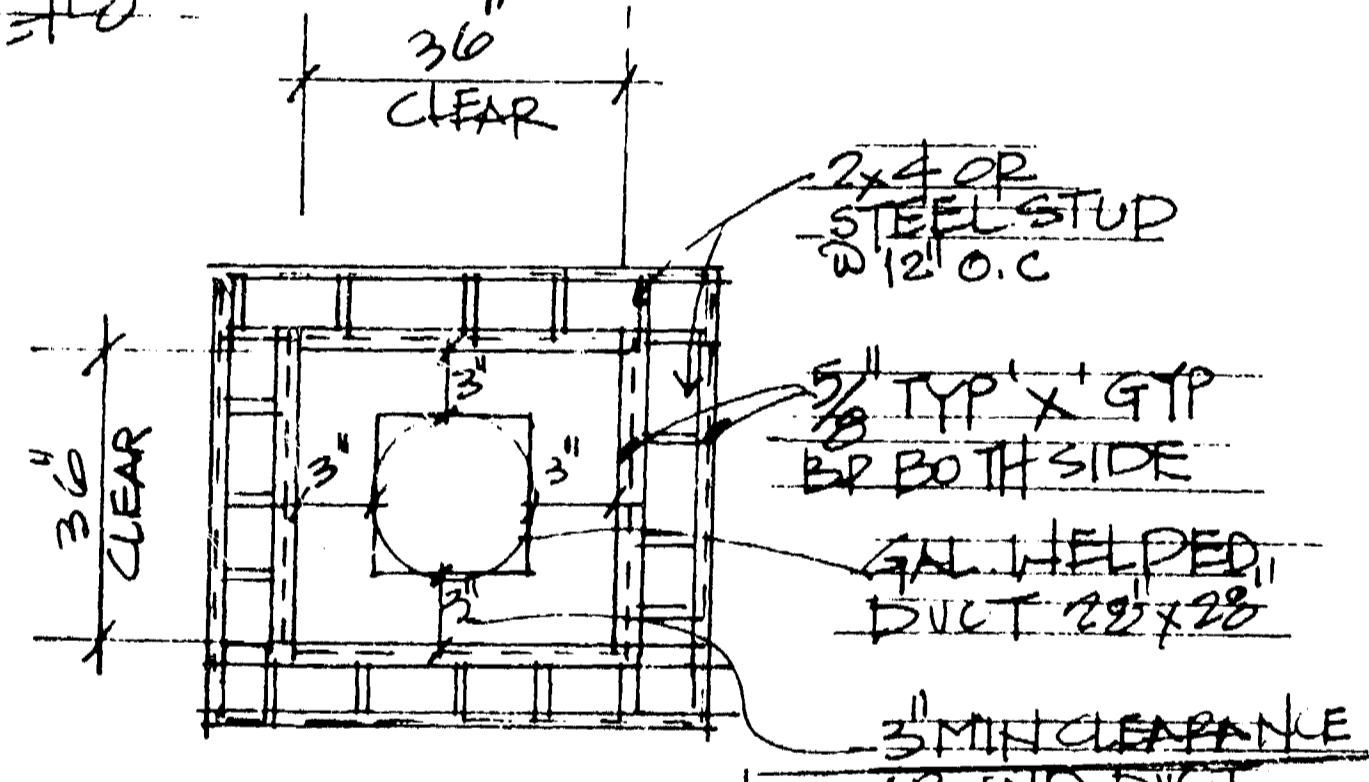
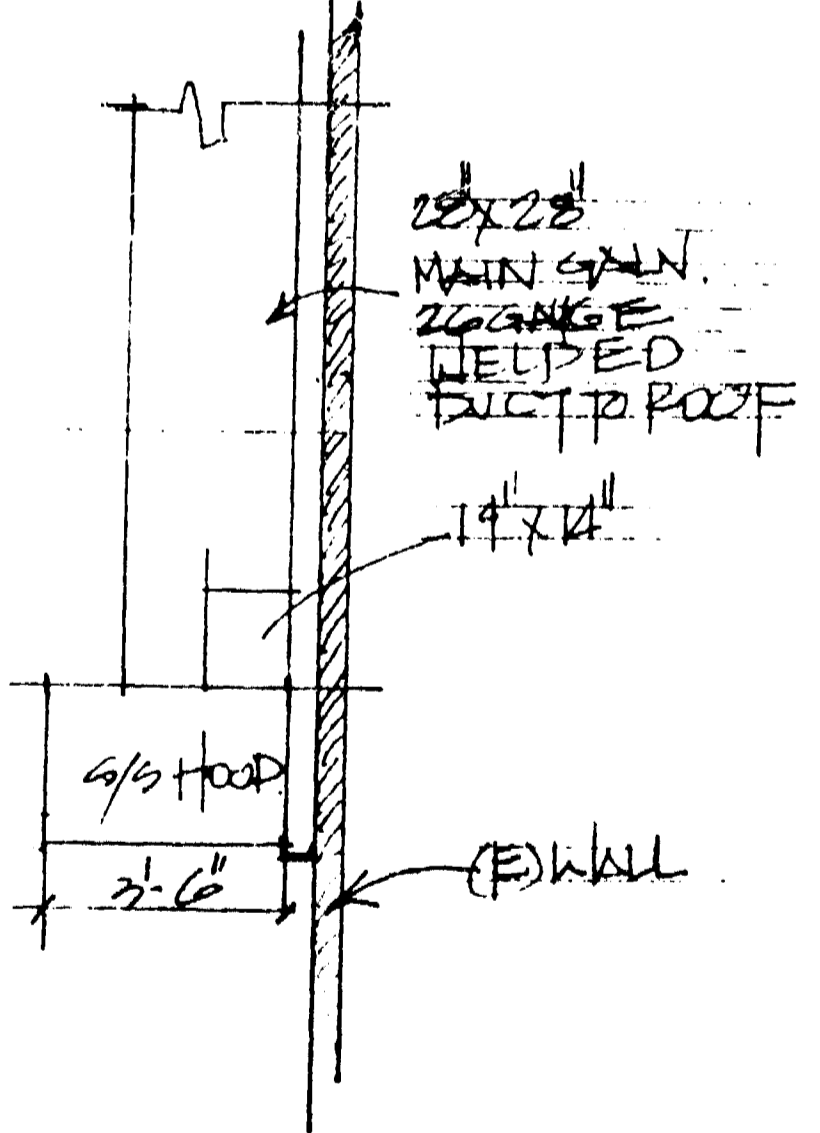
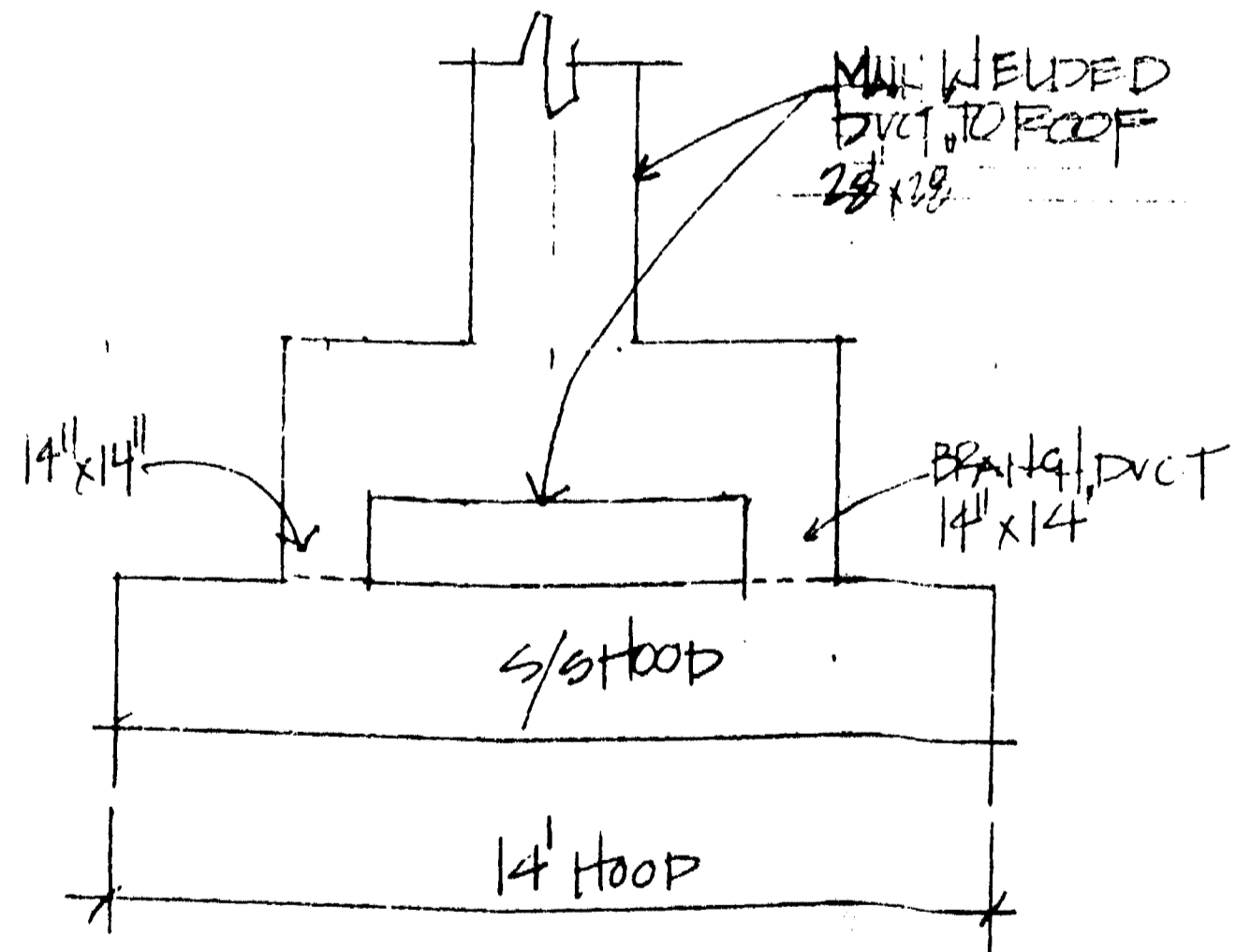
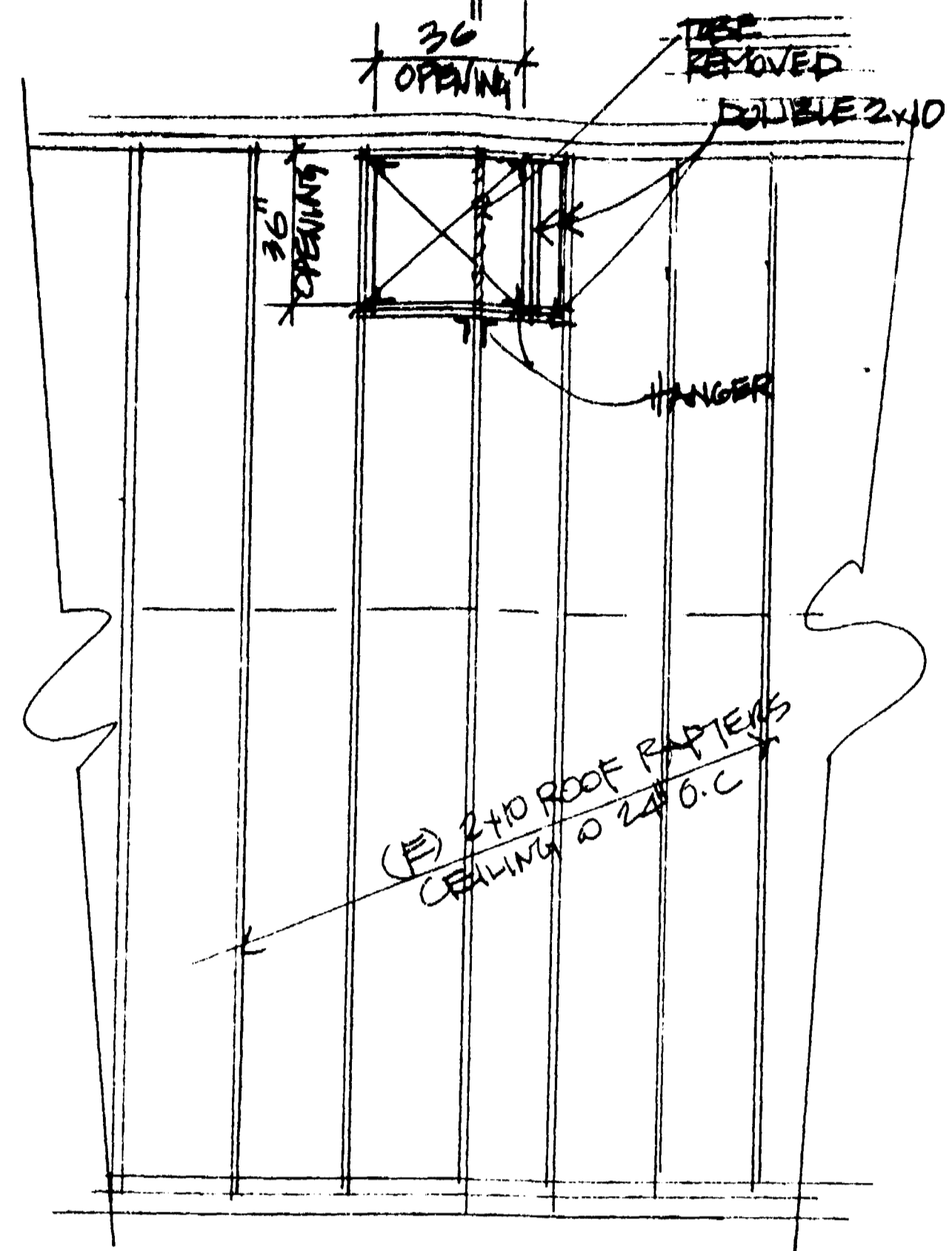
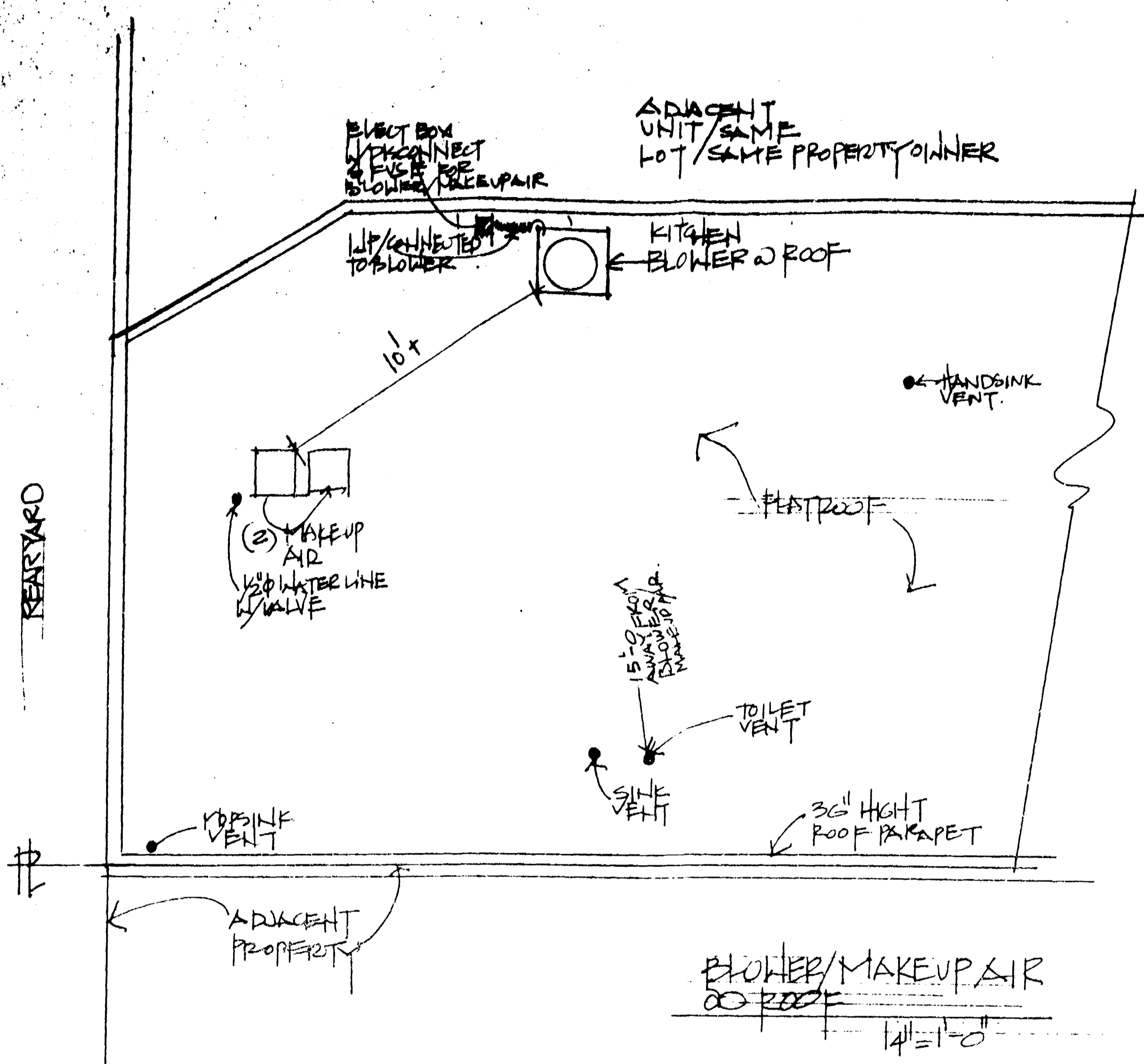
2617 EAST 14TH STREET • ORLAND • CA 94601  
 510-536-3599

PLUMBING PLAN

PROJECT TEAM  
 YAN YAN CHEN  
 LOS GATOS, CA  
 FOR M/MS HONGKING

Date 9.20.18  
 Scale  
 Drawn  
 Job 9809  
 Sheet 3  
 Of 3





DUCT GLASS  
FRAMING

PLAN APPROVED  
BUILDING DEPARTMENT  
Town of Los Gatos



REVISIONS	BY

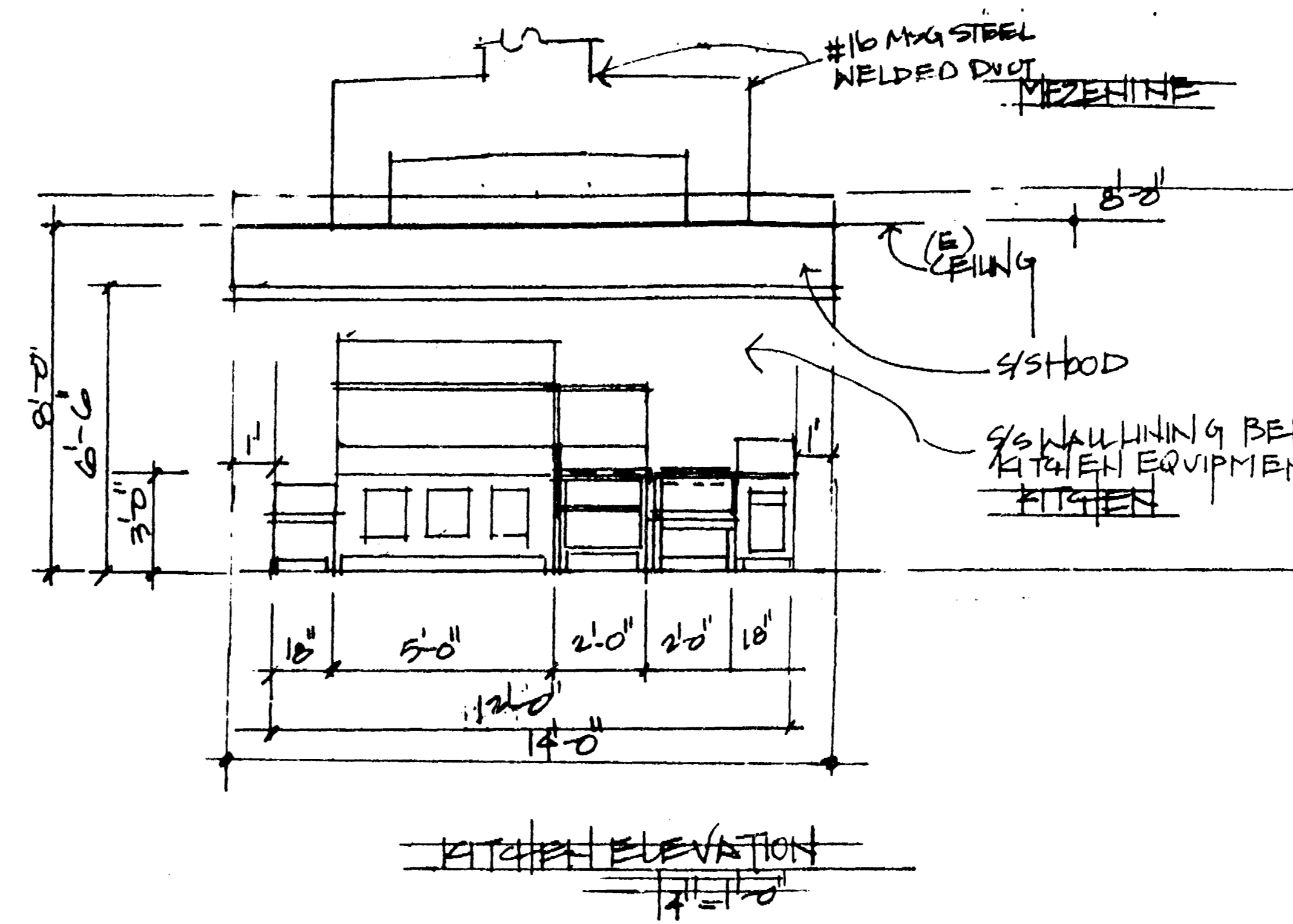
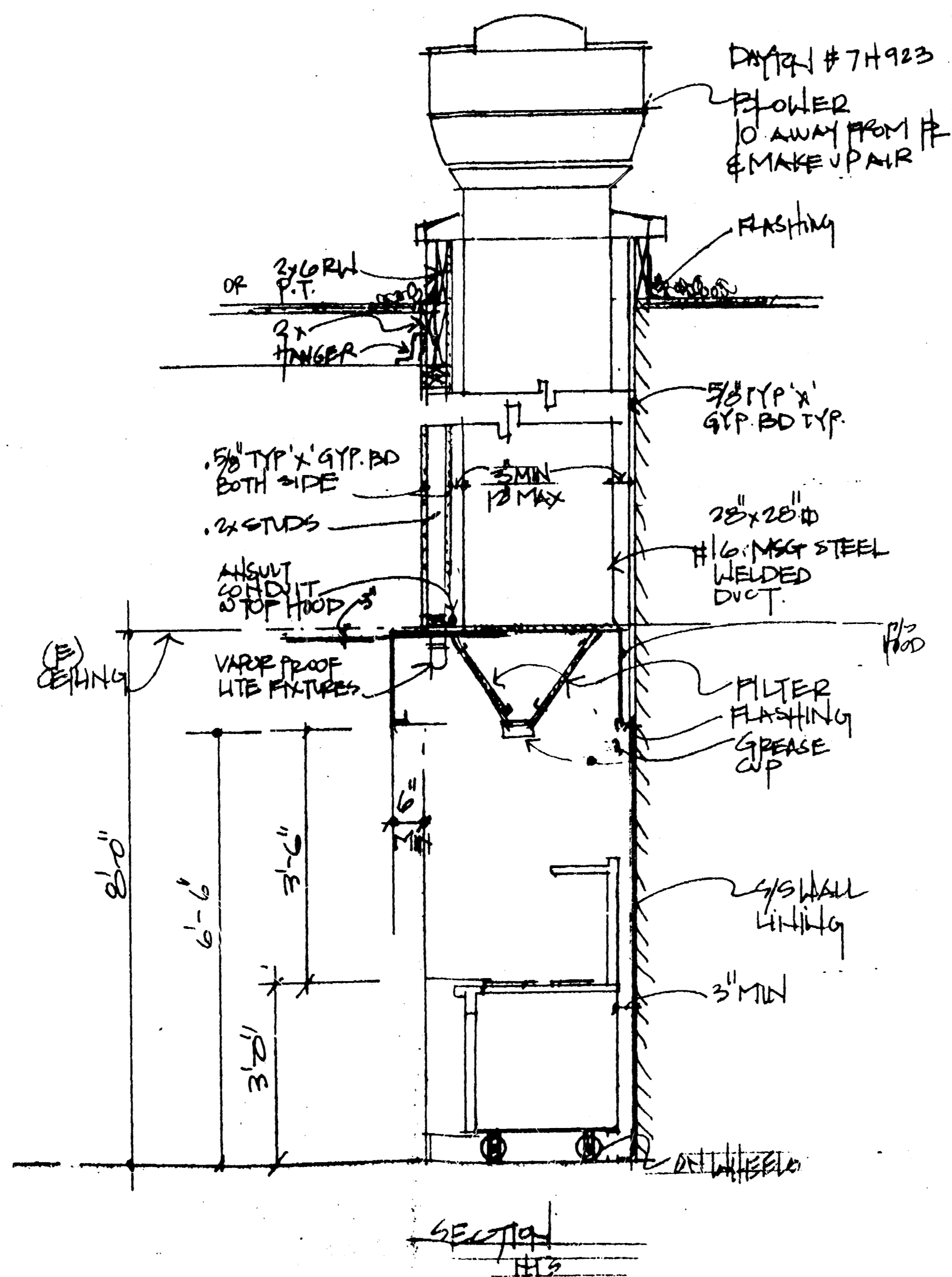


8617 EAST 14TH STREET • ORLAND • CA 94601  
510-536-3599

PROPOSED TENANT IMPROVEMENT & ROOF EQUIPMENT  
157 N. SANTA CRUZ  
LOS GATOS, CA  
FOR M/MS HONG N90

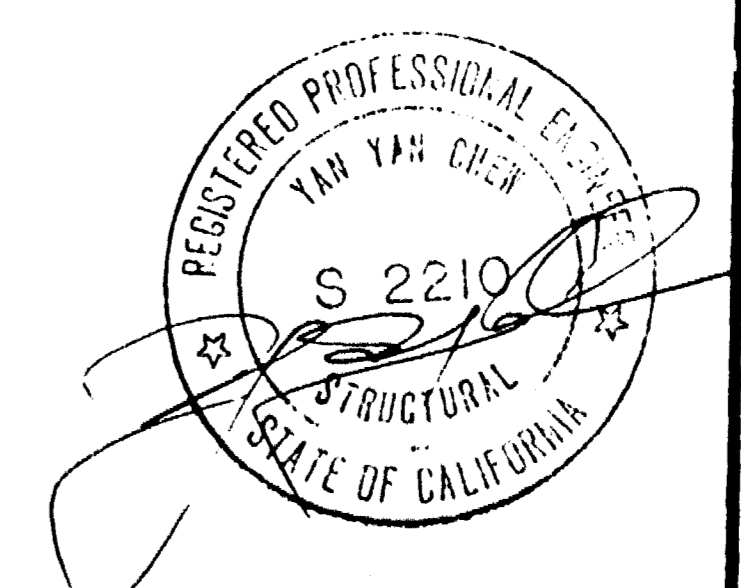
Date 9-20-18  
Scale  
Drawn  
Job 1801  
Sheet  
9  
Of

ISOMETRIC  
DUCT GLASS  
FRAMING NTS



- NOTES.
1. GREASE FILTERS SHALL BE INSTALLED IN HOLDER W/ HANDLES AND READY MOVABLE FOR CLEANING
  2. ALL JOINTS & SEAMS SHALL BE GREASE TIGHT.
  3. HOOD SHALL BE SECURELY FASTENED IN PLACE BY NON COMBUSTIBLE SUPPORT
  4. AHUL SYSTEM SHALL BE PROVIDED PER HOOD.
  5. PROVIDE CLEAN OUT FOR CLEANING DUCT SYSTEM
  6. WELD OR BRAZE ALL DUCT JOINTS AND SEAMS ON THE EXTERNAL SURFACE.

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 12/2/80  
THE SEALING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VALIDATION OF ANY TOWN OR COUNTY LAW.



REVISIONS	BY

2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-536-3599

PROPOSED TENANT IMPROVEMENT OF 157 N. SANTA CAROLINA ST. LOS GATOS, CA. PREPARED BY TERRY N. P. N. P.

Date 9-20-78  
Scale  
Drawn  
Job  
Sheet  
of 10



**HOOD WORKSHEET**

Facility: \_\_\_\_\_ wall \_\_\_\_\_

**HOOD EQUIPMENT**

Is it cooking equipment?  Yes  No

Are dimensions in overhead plan?  Yes  No

**HOODS & QUICK DISCONNECTS**

RECOMMENDED! Specified?  YES  NO

Head low enough to allow 2' on sides of equipment?  YES  NO

Head wide enough to allow 2' in front & back of equipment?  YES  NO

Canopy lip is 6.5' above floor & 4' above cooking surface?  YES  NO

Canopy is free of horizontal electrical/ansul lines?  YES  NO

**Inside Hood dimensions:**  $3-6$  ft. X  $4-0$  ft. =  $496$  sq. ft.

$49$  sq. ft. X  $200$  CFM factor from UMC =  $9800$  CFM

Other formula: \_\_\_\_\_ = \_\_\_\_\_ CFM

Other formula is for what kind of hood? \_\_\_\_\_

**FILTERS**

$65$  H X  $20$  W (Filter Size) X  $12$  (# of Filters) X  $2-88$  sq. ft. =  $3456$  sq. ft. (total filter area)

$9800$  CFM +  $3456$  sq. ft. (total filter area) =  $283.9$  fpm

Baffle filter fpm should = 300; must be 250-350. Is it?  YES  NO

Horizontal slot filter fpm should = 1000; must be 800-1200. Is it?  YES  NO

If this is a "LISTED" hood, fpm can be < or > above. Is it?  YES  NO

**DUCT**

Duct dimensions:  $28$  X  $28$  (inches) +  $144$  =  $5-4$  sq. ft. (duct area)

Hood > 12 ft. long shows > 1 exhaust outlet to main duct?  YES  NO

$9800$  CFM +  $1800$  sq. ft. (duct area) =  $5-4$  fpm

Fpm should = 1800; must be 1500-2500. Is it?  YES  NO

**STATIC PRESSURE & EXHAUST FAN**

# of elbows =  $2$  Cleanout at each elbow?  YES  NO

Total Static Pressure =  $1.5$  SP Inspector: From plans & SP Chart = \_\_\_\_\_

Exhaust Fan: Make DAYTON Model # 7H923 H.P. 5

Unit handles grease-laden vapors?  YES  NO

Unit pulls required CFM at SP?  YES  NO

**MAKE-UP AIR**

CFM + 2000 CFM = \_\_\_\_\_ Next higher \_\_\_\_\_ Diffusers

(Exhaust) (Max. per diffuser) which number = \_\_\_\_\_ required

Make-up air Static Pressure = \_\_\_\_\_ SP Inspector: From plans & SP chart = \_\_\_\_\_ SP

Make-up air unit: Make ESSICK AIR Model # 3C419 (2 MAKEUPAIR)

Unit supplies 95-100% of exhaust CFM at estimated SP?  YES  NO

Make-up air intake on roof  $\geq$  10 ft. from exhaust?  YES  NO

Diffusers on ceiling  $\geq$  10 ft. from hood?  YES  NO

Exhaust & make-up air electrically interlocked?  YES  NO

Prepared by: ANTHONY BLUM MARIA DESIGN

Name \_\_\_\_\_ Company \_\_\_\_\_ hws 11/5/98 - III 3

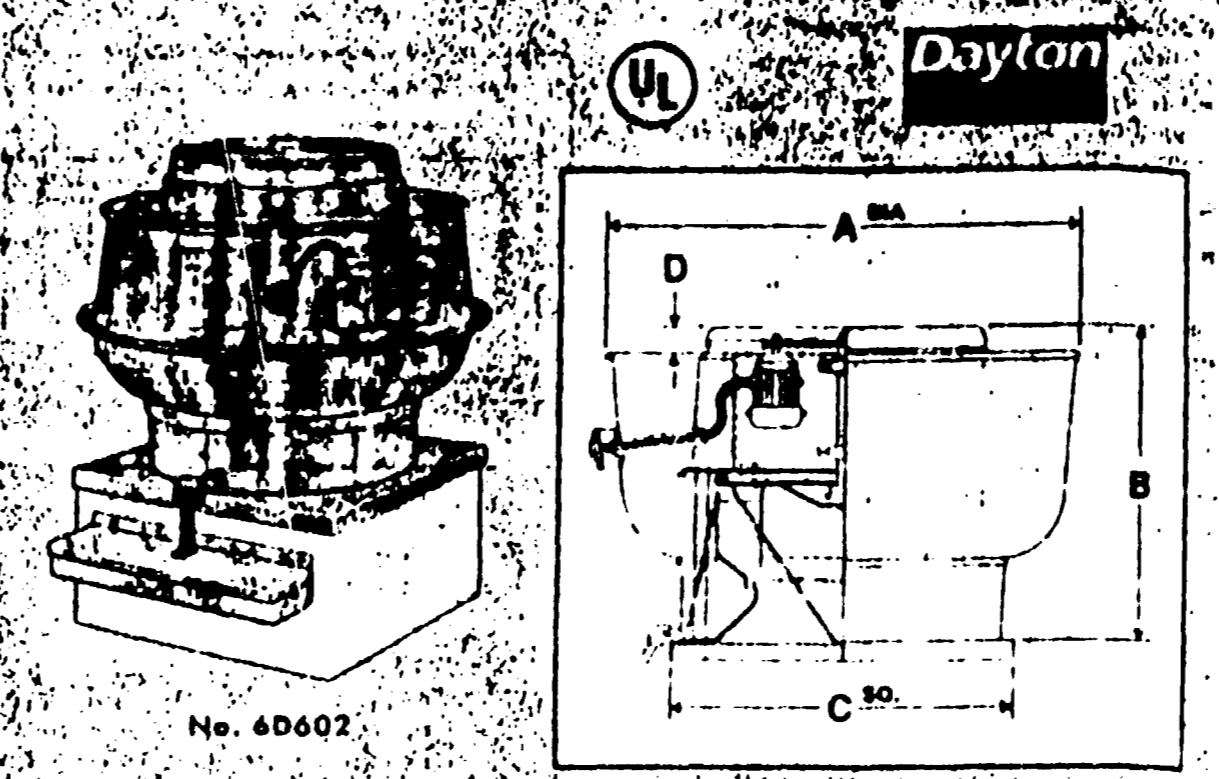
**COMMERCIAL KITCHEN VENTILATORS**

- Backward incline wheel design improves air flow efficiency
- Isolated spun aluminum construction with steel support brackets
- Built-in grease absorber, grease collector box, and external junction box, are included (curb not included)
- 15 1/2 through 24 1/2" units can be roof or wall mounted. Other sizes are roof mount only
- Externally cooled motor compartment provides longer motor and drive component life
- Ventilators meet NFPA-96-1991 installation requirements

Removes grease laden and foul air up to 100' from commercial kitchen appliances including grills, ovens, fryers, ranges, and steam tables. Permanently lubricated ball bearing ventilators. Ball bearing motors and variable pitch drives are packed separately when ordered with ventilators.

UL listed under Power Ventilators for Restaurant Appliances (YZHW). Subject 702. Only for Stock Nos. of ventilators sold complete with motor and drives. Ventilators must be mounted on 18" high steel roof curbs to comply with NFPA 96 and UL Guide Y21W.

Replacement Parts Available 1-800-323-0626



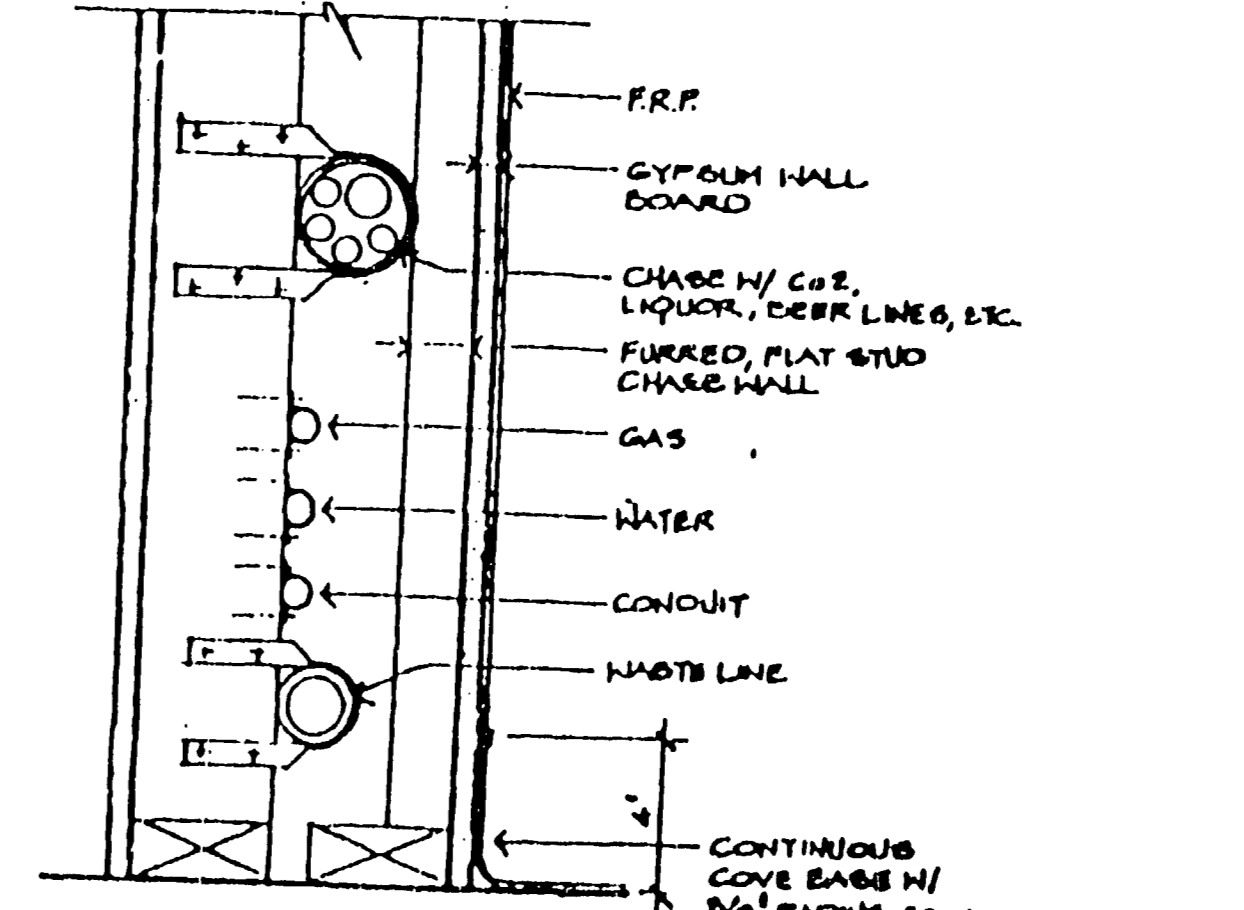
**COMMERCIAL KITCHEN VENTILATORS LESS MOTOR AND DRIVE**

Wheel Dia. In.	A	Dimensions, inches	C	D	Stock No.	List	Each	Stock No.	Recommended IP
18 1/2"	25	30 1/2"	24 1/2"	5 1/2"	02802	1011.05	\$807.00	700	5C7P
20 1/2"	31	37 1/2"	31 1/2"	6 1/2"	02803	1213.05	\$84.00	1000	5C7P
24 1/2"	37	43 1/2"	37 1/2"	7 1/2"	02804	1515.05	\$88.50	1500	5C7P
30 1/2"	43	50 1/2"	43 1/2"	8 1/2"	02805	2275.05	\$184.00	2000	5C7P

**COMMERCIAL KITCHEN VENTILATORS WITH 1725 RPM BALL BEARING MOTOR AND DRIVE**

Wheel Dia. In.	22 1/2"	24 1/2"	26 1/2"	28 1/2"	30 1/2"	32 1/2"	34 1/2"	36 1/2"	38 1/2"	40 1/2"	42 1/2"	44 1/2"	46 1/2"	48 1/2"	50 1/2"
18 1/2"	152	114	76	38	20	12	7	4	2	1	1	1	1	1	1
20 1/2"	202	144	96	48	26	14	8	4	2	1	1	1	1	1	1
24 1/2"	252	184	124	62	32	16	9	5	3	1	1	1	1	1	1
30 1/2"	352	254	164	82	40	20	11	6	4	2	1	1	1	1	1
36 1/2"	452	324	214	104	50	26	13	7	5	3	2	1	1	1	1
42 1/2"	552	394	264	124	60	32	15	8	6	4	3	2	1	1	1
48 1/2"	652	464	314	144	70	38	17	9	7	5	4	3	2	1	1
54 1/2"	752	534	364	164	80	44	19	10	8	6	5	4	3	2	1

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE: 11/2/98



- All final finishes including colors (smooth with no texture).
  - Type of floor covering extending up the wall continuously 4" with 3/8" radius cove.
  - Conduit, pipes, and waste lines within the wall.
  - Chases for: Co2, syrup, liquor, beer, soda, wine, etc., etc.
  - Access must be accessible.
- EXCEPTIONS WILL BE GRANTED ONLY IF SO STATED IN THE UMC, UPC, UBC, AND NEC IF SOLID WALLS SUCH AS CONCRETE BLOCK ARE ENCOUNTERED, FURF THE WALL OUT TO CONCEAL CONDUITS, PIPES, ETC.

**STEEL WASHABLE AIR/GREASE FILTERS**

Permanent, easily cleaned 2" thick filters are designed for commercial-type kitchens in restaurants, hospitals, hotels, schools and other institutional applications. Drain holes provided. Optional ball handles listed below.

Baffle type 30-ga galvanized steel filters provide maximum grease removal and minimum air flow restriction. Clean filter air resistance at 300 FPM air velocity is 0.47" W.C. Filters are installed at an angle with baffle in vertical position. Meet NFPA standard 96, UL Classified as to flammability only after exposure to grease-laden air (File No. R7863). Airon brand.

Zinc coated steel mesh filters feature one-piece construction with double-side frames and external support. Repeated wash, convulsed filter mesh cleans easily, has low resistance. Type Clean Air air resistance at 300 FPM air velocity is 0.44" W.C. UL Listed for air only applications. Down brand.

**Baffle-Type Galvanized Steel Filters**

Filter No.	Filter Size	List	Each	Unit Price
B-1	18 1/2" X 24 1/2"	1011.05	\$807.00	700
B-2	20 1/2" X 26 1/2"	1213.05	\$84.00	1000
B-3	24 1/2" X 30 1/2"	1515.05	\$88.50	1500
B-4	30 1/2" X 36 1/2"	2275.05	\$184.00	2000

**EVAPORATIVE COOLING SYSTEMS**

Energy efficient, rugged blower motor

Auto-Bolt® system replaces pump

Unique Auto-Bolt® pad keeps its shape and thickness for superior water evaporation and air filtration

Blower housing is welded to cooler which provides smooth, quiet operation

Low silt/water and easily converted from down to side discharge

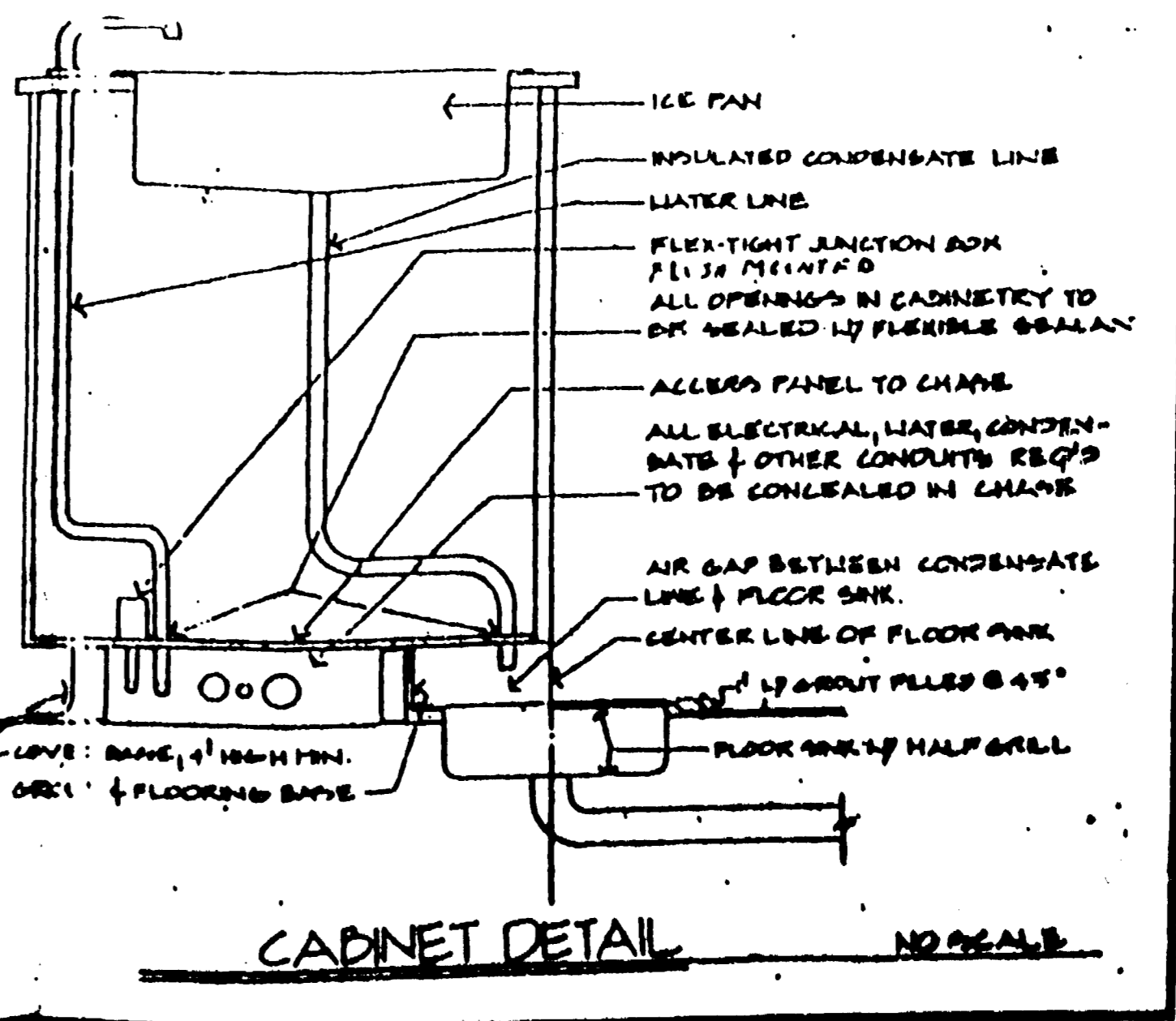
Non-rusting PVC plastic reservoir

Motor-protected blower motor

Refrigerant evaporative coolers are designed for long lasting service. All water contact parts such as water reservoir, blower and motor frames are constructed of "positive" PVC. Positive means cooling is good. Where mechanical air conditioning is the expensive to use or where cooled air cannot be recirculated as in hospitals, dry cleaners, laboratories, and restaurants. Also used in homes, garages, garages, shops and green houses. Approximately 30% more economical than other evaporative coolers.

Auto-Bolt® evaporative coolers are designed for long lasting service. All water contact parts such as water reservoir, blower and motor frames are constructed of "positive" PVC. Positive means cooling is good. Where mechanical air conditioning is the expensive to use or where cooled air cannot be recirculated as in hospitals, dry cleaners, laboratories, and restaurants. Also used in homes, garages, garages, shops and green houses. Approximately 30% more economical than other evaporative coolers.

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REVISIONS	BY

8017 EAST 14TH STREET • ORKLAND • CA 94601  
510-536-3599

PROPOSED TENANT IMPROVEMENT IN 137A1, SANITA CRUZ LOS GATOS, CA FOR MR/MRS HONG N'GO

Date: 9.20.98

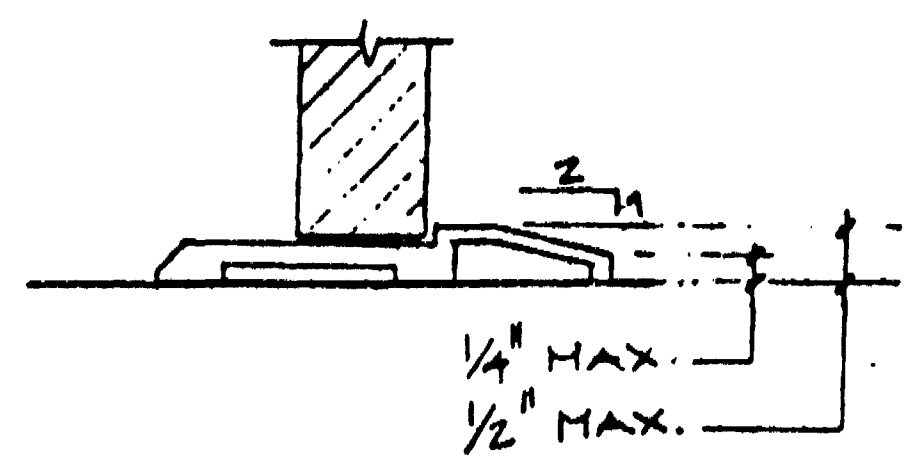
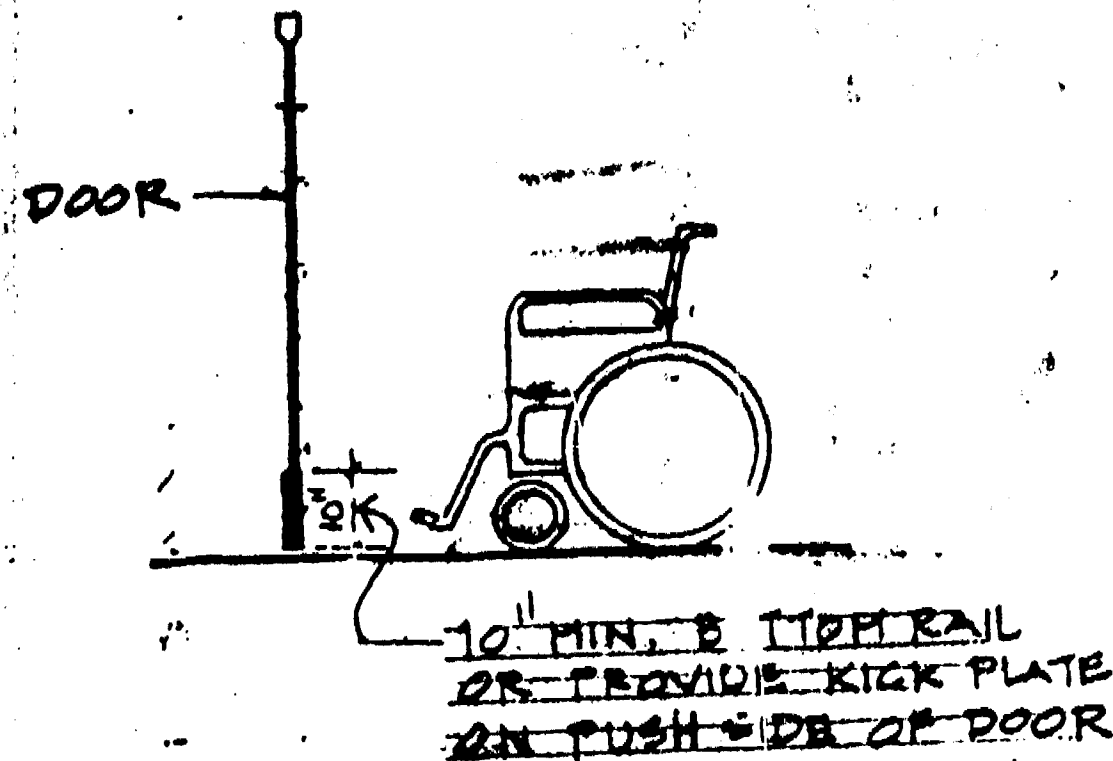
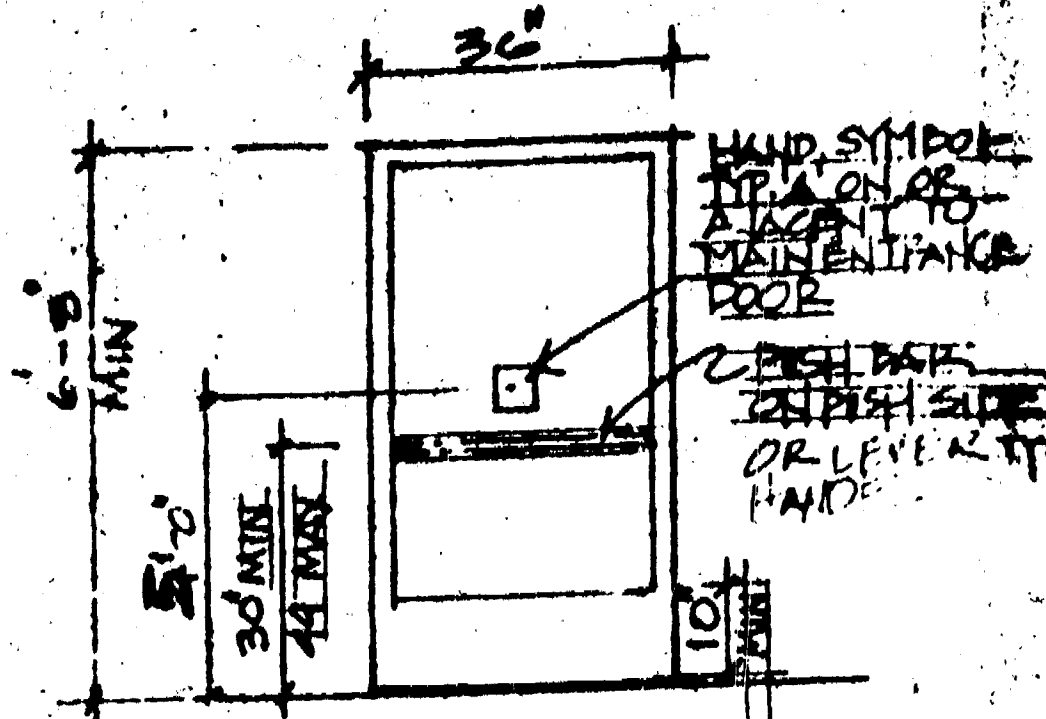
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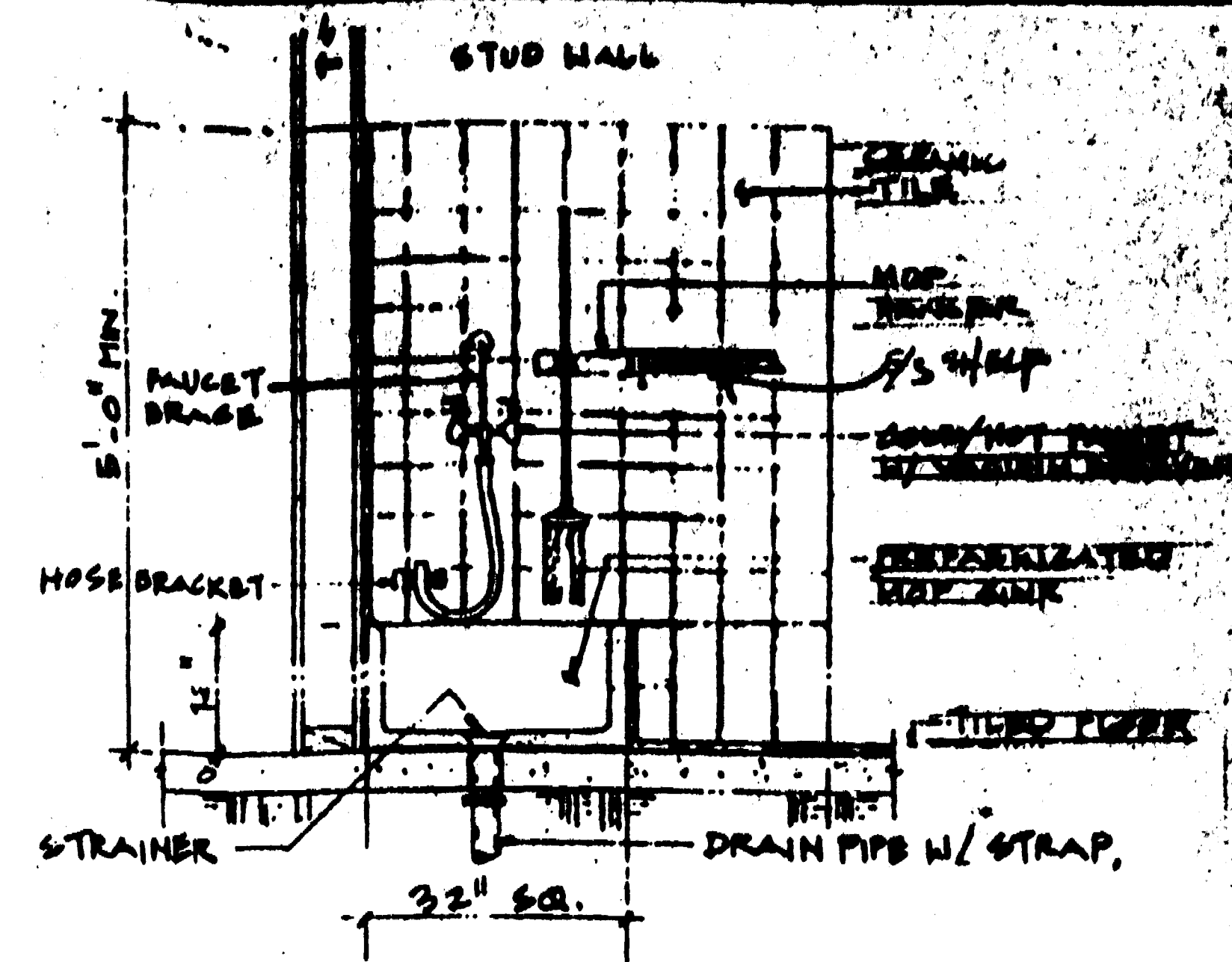
Job: 9809

Sheet: 11 of \_\_\_\_\_

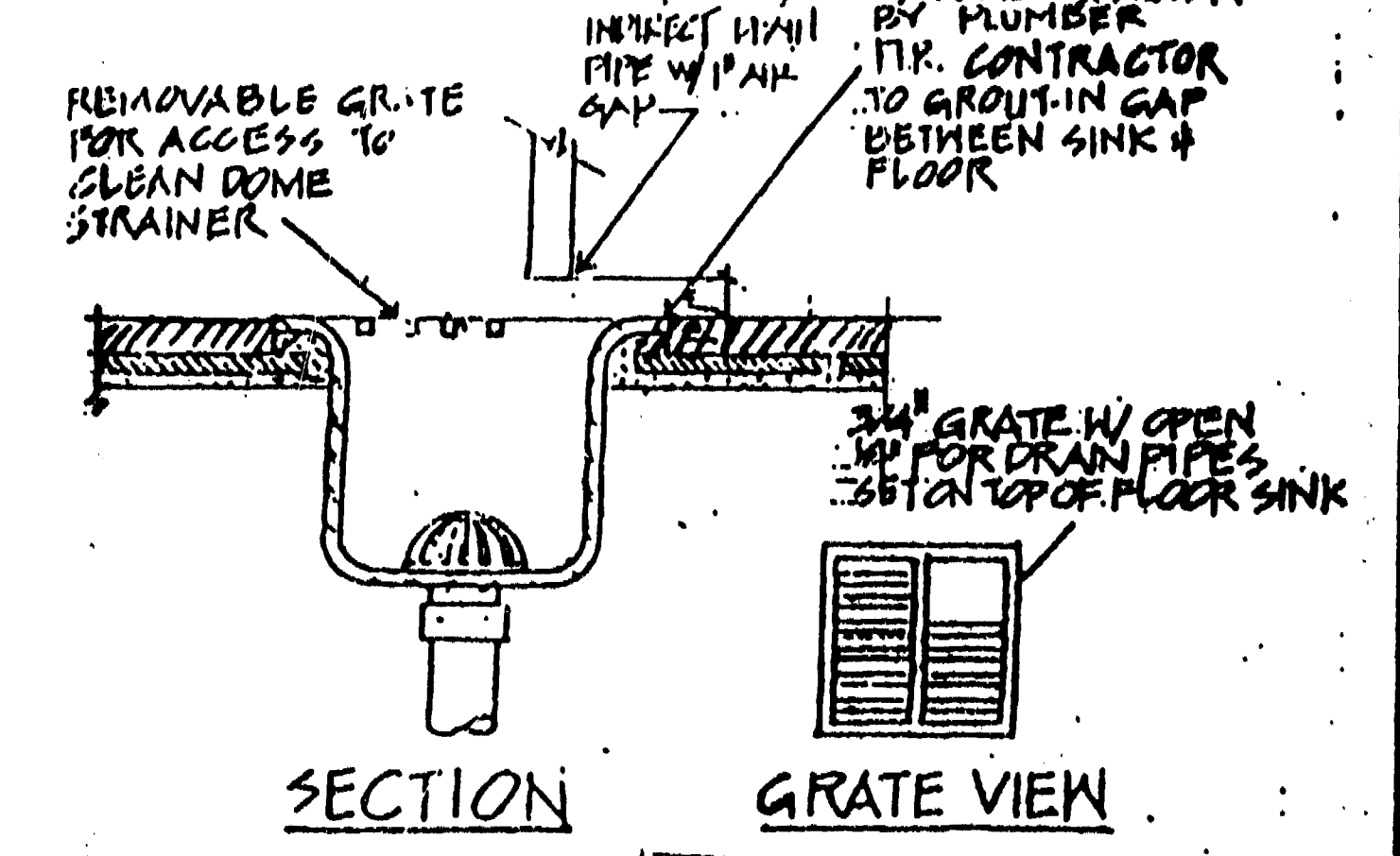
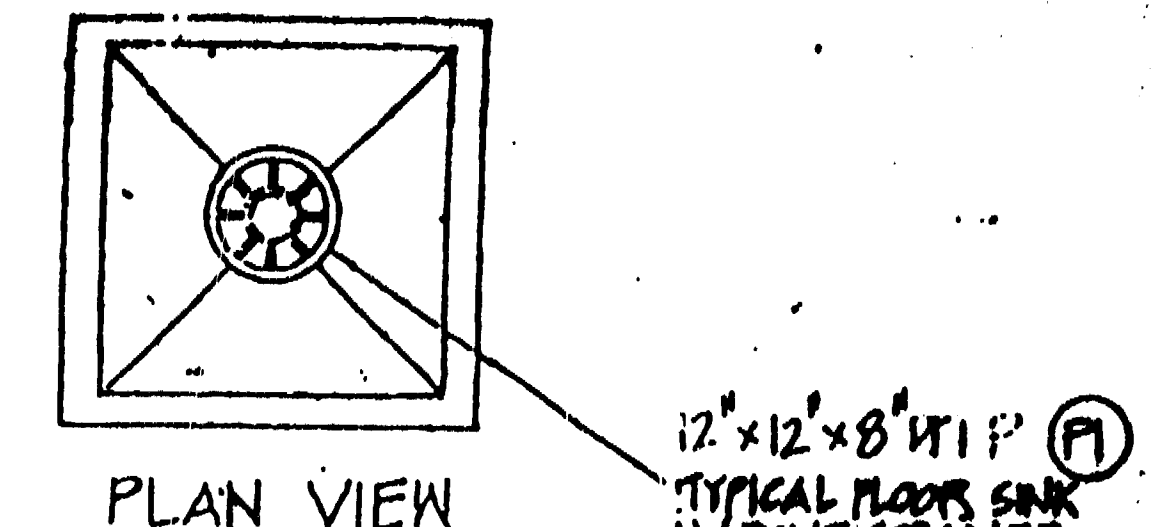




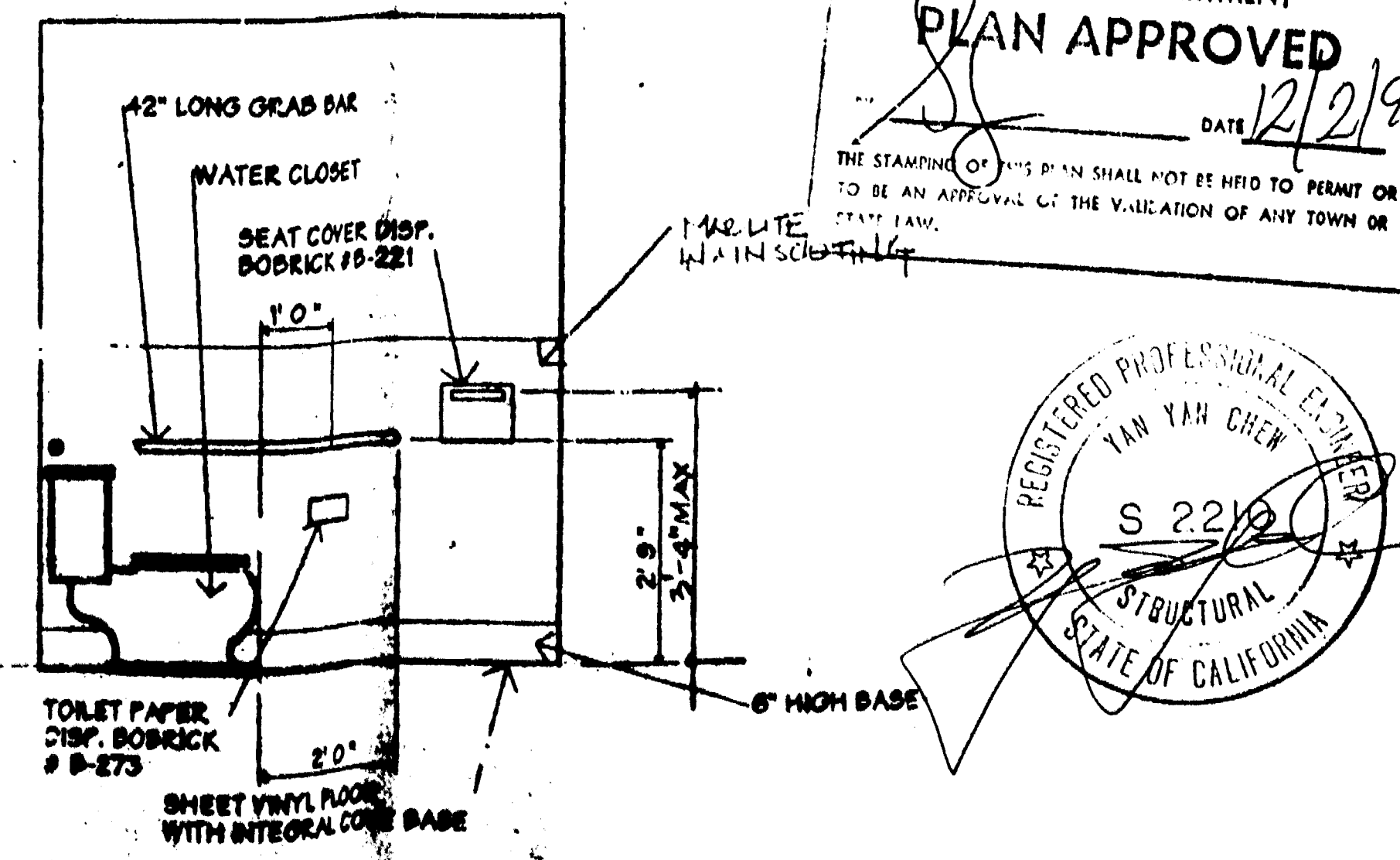
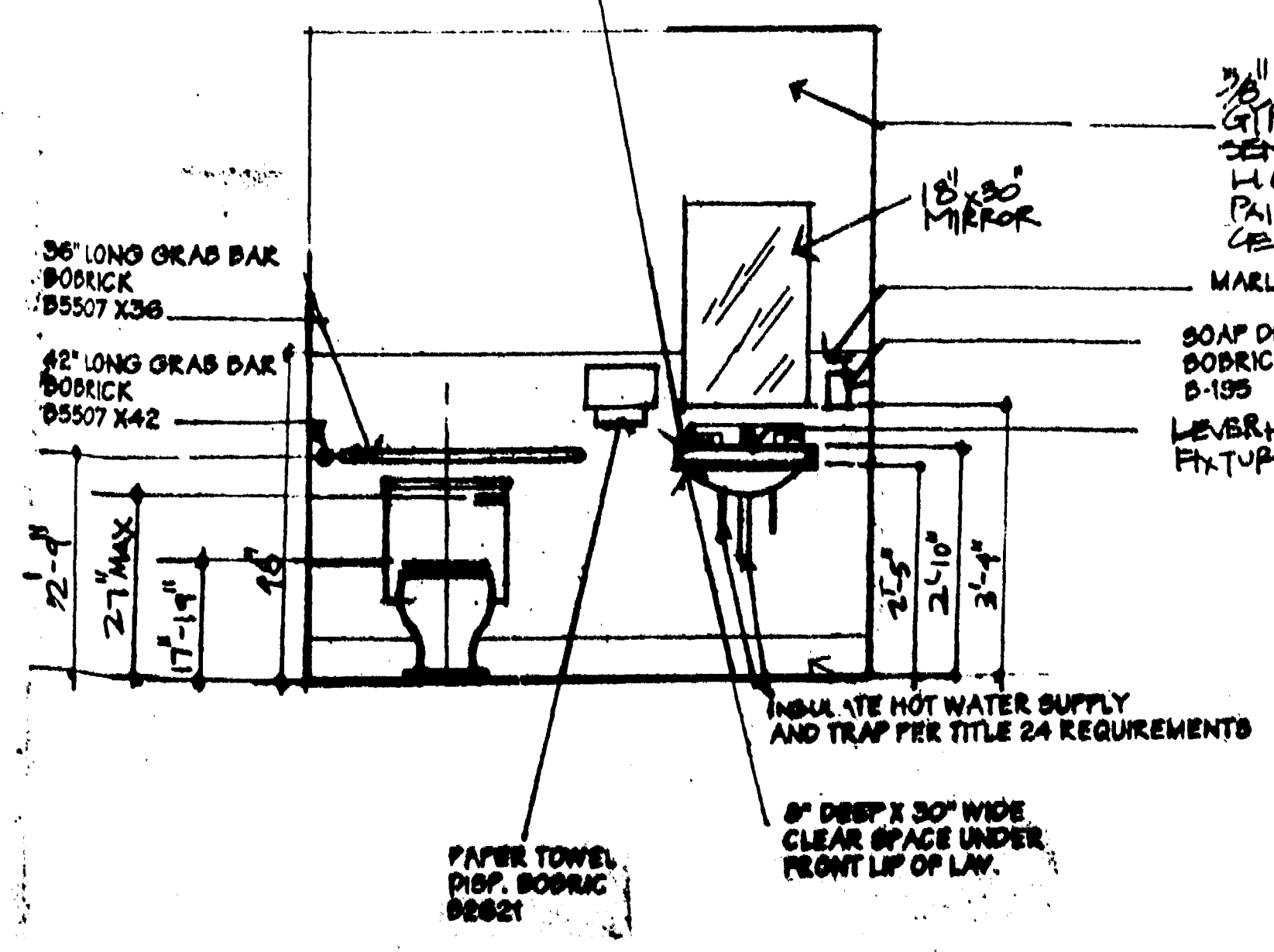
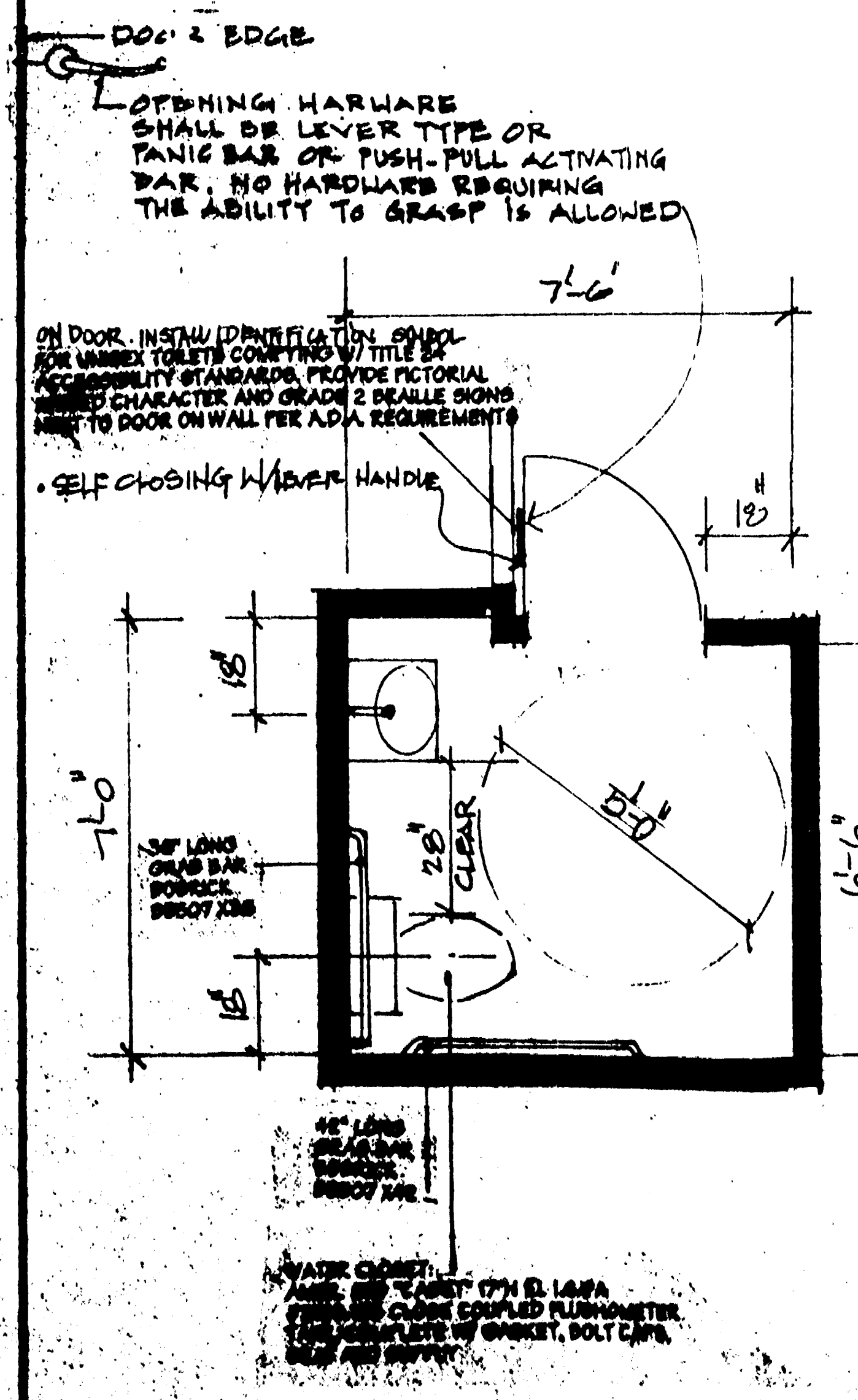
**THRESHOLDS**  
 NOTE: THE CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" IS DEVELOPED AT A GRADIENT OF 1:2



**MOP SINK SECTION**  
 1/2" = 1'-0"



1. THE DRAWINGS AND DETAILS COMPLY WITH THE HANDICAPPED ACCESS REGULATIONS TITLE 24 OR WHEN ENFORCING AGENCIES DETERMINE COMPLIANCE WITH REQUIREMENTS CREATE A REASONABLE HARDSHIP, EXCEPTIONS MAY BE GRANTED AS LONG AS EQUIVALENT FACILITATION IS PROVIDED.
2. CONTENT OF DETAILS CONTAINED ARE STANDARD, AND ARE MINIMUMS ONLY UNLESS OTHERWISE NOTED.
3. THE OPERATION OF EXTERIOR DOOR SHALL NOT EXCEED 8 1/2 POUNDS / INTERIOR DOORS SHALL NOT EXCEED 5 POUNDS.
4. OPENING HARDWARE SHALL BE CENTERED BETWEEN 30" AND 44" ABOVE THE FLR SURFACE.



Town of Los Gatos  
 BUILDING DEPARTMENT  
**PLAN APPROVED**  
 DATE 12/2/98  
 THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VALIDATION OF ANY TOWN OR CITY LAW.

REGISTERED PROFESSIONAL ENGINEER  
 YAN YAN CHEN  
 S 2218  
 CIVIL ENGINEER  
 STATE OF CALIFORNIA

**ACCESSIBLE TOILET ROOM**

NOTE: THE GRAB BARS DIAMETER SHALL BE BETWEEN 1/4" AND 1/2"

REVISIONS	BY

2617 EAST 14TH STREET • ORLANDO • FL 32837  
 310-538-8597

HAND REST RM.

PROPOSED TENANT IMPROVEMENT  
 1371 N. SANTA CRUZ  
 LOS GATOS, CA  
 FOR: MERRICK HENNING

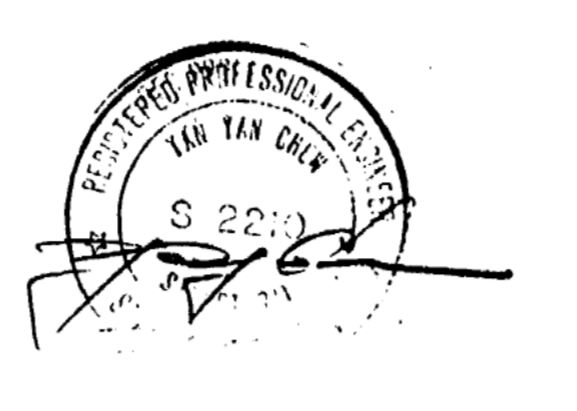
Date: 9-26-98  
 Scale:  
 Drawn:  
 Job: 9809  
 Sheet: 12  
 of: 12

137 N. Santa Cruz Ave  
B98-001020  
Office copy

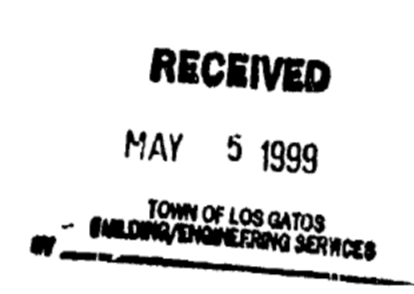
Final

ELEC 20 2000  
 MECH 25  
 PLUMB 25  
 S.D.M. 25  
 INSULATION 1.0  
 NOISE 2.5  
 TOTAL 120.00  
 120.00 / 20.00 = 6.00

n = 6.00  
 P = 6.00 x 10 = 60.00  
 CRITICAL CONTROL 10 = 60.00 + 60.00 = 120.00 + 20.00 = 140.00  
 USE 2-2010 f<sub>0</sub> = 578212 / 201119 = 2.88 < 11520.11 x 115 x 112 = 1818.00 c.c.  
 R = 60.00 + 60.00 = 120.00 + 5.00 = 125.00  
 f<sub>1</sub> = 15 x 1122 = 1683 < 98414  
 A = 578212 / 201119 + 40 x 1700000 / 201119 = 2.88 + 40 x 1700000 / 201119 = 1.58 + 1.24 = 1006 = 1006 c.c.



137 N SANTA CRUZ  
Los Gatos, Ca 95030



**County of Santa Clara**  
 Environmental Resources Agency  
 Department of Environmental Health  
 1700 Bascom Avenue, Suite 200, San Jose, CA 95128  
 Phone: (408) 291-1100 Fax: (408) 291-1101



October 15, 1998  
 Alpha Design  
 Attention: Anthony Pham  
 2617 International Bl  
 Oakland CA 94601

**PROJECT NUMBER: SR113348**  
**PROJECT NAME: DOUBLE RAINBOW RESTAURANT**  
**PROJECT ADDRESS: 137 N SANTA CRUZ AV., LOS GATOS**

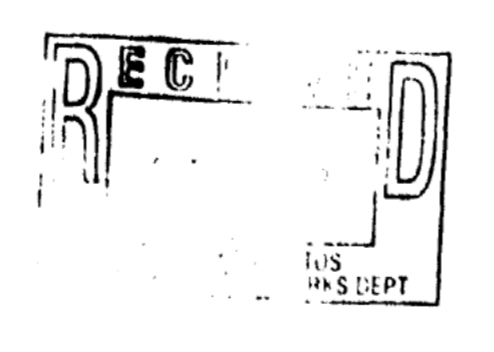
The remodel plans for the above project have been reviewed and approved by this department. This approval shall expire by limitation and will become null and void if the construction, reconstruction, alteration, or other work authorized by this approval is not commenced within 180 days from the date of approval. Please notify this office when construction begins.

Please present one (1) copy of the plans to your local building official for the required permit application and approval. Retain the second copy on the job site. A **FOOD FACILITY CONSTRUCTION CARD** will be attached to the job copy and must be posted with other building permits.

Please be advised that you are responsible to contact this office to arrange a construction inspection prior to rough plumbing signoff, installation of equipment, and again upon completion of the project. **You will also be asked to submit a mechanical exhaust system performance test, if one is present, before we can final the project.**

If you have any further questions or would like to call for an inspection appointment please contact the undersigned at (408) 299-6060 between 8:00 a.m. and 9:30 a.m. Monday through Friday.

Ronald E. Sharp  
**RONALD E SHARP, REHS**  
 SENIOR ENVIRONMENTAL HEALTH SPECIALIST  
 PLAN REVIEW AND CONSTRUCTION UNIT  
 DEPARTMENT OF ENVIRONMENTAL HEALTH  
 cc: City of Los Gatos Building Department  
 Hong Ngu, 137 N Santa Cruz Av., Los Gatos CA 95030



Board of Supervisors, December 1, 1993. Board of Supervisors, December 1, 1993. Board of Supervisors, December 1, 1993. Board of Supervisors, December 1, 1993. Board of Supervisors, December 1, 1993.



**FIRE DEPARTMENT**  
**SANTA CLARA COUNTY**  
 14700 Winchester Blvd., Los Gatos, CA 95032 1S18  
 (408) 378-4010 (408) 378-9312 (Fax)

CONTROL NUMBER  
 BLDG PERMIT NUMBER **B98-001020**  
 PLAN REVIEW NUMBER **98-2006**

**PLAN REVIEW COMMENTS**

CODE/REG	SHEET	NO.	REQUIREMENT
UPC 1002 1006.2.7		1	Review of plans for the proposed tenant improvement to an existing restaurant. The revisions result in a revised dining load of 48; The facility occupancy classification remains as a group "B" use.
UPC 1006		2	Provide a 40B rated fire extinguisher in the kitchen area, and one 2A:10BC rated fire extinguisher accessible to the occupants.
NFPA Std 96		3	A 16 inch minimum clearance between the fryer and adjacent open flame appliances has not been provided. Relocate the fryer to provide the required clearance or, provide a stainless steel barrier between the appliance, that extends the full depth, and 16" above the surface of the oil.
UPC 1006		4	The appliances, exhaust hood, and associated ductwork shall be protected by an automatic fire suppression system. Prior to installation, a licensed C-16 contractor shall submit to the fire department, three sets of shop drawings, a completed permit application, and applicable fee's for review.

Approved: Okay to issue the building permit, subject to compliance with the above conditions

DISTRICT	PLANS	SPECS	NEW	TRAIL	AS	OCCUPANCY	COND. TYPE	PERMITTEE	DATE	PAGE
LGA	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	B	V-N	Alpha Design & Construction	10/8/98	1 of 1
SEC. FLOOR						AREA	LOAD	DESCRIPTION	BY	
						1,400 sq	52	Commercial Construction	Harnes, George	
NAME OF PROJECT	RESTAURANT		LOCATION		137 Santa Cruz Av., N					

Hong Ngo/Paul Huynh  
 Double Rainbow  
 137 N. Santa Cruz Avenue  
 Los Gatos, CA 95030

November 1, 1998

Town of Los Gatos  
 Building and Engineering Department  
 Civic Center  
 110 E. Main Street  
 Los Gatos, CA 95031  
 (408) 354-6881 Phone  
 (408) 354-7593 Fax

Re: Double Rainbow, 137 N. Santa Cruz, Los Gatos  
 Tenant Improvement

Permit Number: B98-001020

Dear Building and Engineering Department:

We are Hong Ngo and Paul Huynh, co-owners of Double Rainbow Restaurant at 137 N. Santa Cruz Avenue in Los Gatos, certify that Double Rainbow maintains four employees or less on site at any time.

Respectfully Submitted,

Paul Huynh  
 Hong Ngo/Paul Huynh





TOWN OF LOS GATOS

BUILDING AND ENGINEERING DEPARTMENT  
(408) 354-6881  
FAX (408) 354-7593

CIVIL CENTER  
110 E. MAIN STREET  
P.O. BOX 949  
LOS GATOS, CA 95031

RECEIVED  
NOV 18 1998

October 22, 1998

Anthony Pham  
2617 International Boulevard  
Oakland, CA 94601

LOCATION OF JOB 137 NORTH SANTA CRUZ AVENUE, Tenant Improvement

PERMIT NUMBER B98-001920

Dear Mr. Pham:

PLAN CHECK COMMENTS

RESPONSE

- 1 Clearly label the project address on sheets 7 through 12. SHEET 7 - 12
2 Note the occupant load on the cover sheet of the plans, as required per UBC Chapter 10. SHEET 1.
3 Label on the floor plan the size of the new door at the restroom and the double door at the kitchen. The doors shall be minimum 3068 doors, as required per UBC Section 1004.6. SHEET 2
4 Label on the plans the sizes of the proposed store-front windows. SHEET 2
5 Provide a letter from the tenant indicating the total number of employees for the tenant space, as required per UBC Section 2902.3. If the tenant has more than 4 employees, revise the plans to show separate sanitary facilities (both of which will be required to be accessible) per CBC Section 1115B.2. SHEET 2
6 Revise the opening between the waitress station and the kitchen area to be minimum 36" wide and the opening between the waitress station and dining area at the counter to be minimum 36" wide, as required per CBC Section 1105B.3.2. SHEET 2
7 Revise the kitchen floor plan to provide minimum 36" clear access throughout, as required per CBC Section 1104B.5. SHEET 2
8 Revise the plans to show location of accessible seating (minimum 5% of total seating provided must be accessible) in the dining area, as required per CBC Section 1104B.5.4. Show the following clearances on the plans:
a Minimum 30"x48" clear floor space
b Accessible seating overlaps and accessible route (minimum 36" wide access aisle)
c Knee space is at least 27" high, 30" wide and 19" deep. SHEET 2
9 Revise the floor plan and the mozzanine plan to show handrails on both sides of the stairway, as required per CBC Section 1006.9.1a. SHEET 2 - 4
10 Revise the plans to show handrail extensions at the top and the bottom of the stairway, as required per CBC Section 1006.9.2.2a. SHEET 2
11 Revise the stair sections detail on sheet 3 to show 1-1/2" clearance between the handrail and the wall, as required per CBC Section 1006.9.2.5a. SHEET 5
12 Revise the plans to show how to provide stripping for the visually impaired at the stairway, as required per CBC Section 1006.16.1. SHEET 5
13 Revise the door hardware detail on sheet 5 and the storefront detail on sheet 12 to show 60" from the ground surface to the centerline of the accessibility sign (not 48"), as required per CBC Section 1127B.3. SHEET 5
14 Note on the door threshold detail that the change in level between 1/4" and 1/2" is beveled at a gradient of 1:2, as required per CBC Section 1004.9.1a. SHEET 5 / SHEET 12
15 Note on the plans that effort to operate exterior doors shall not exceed 8 1/2 pounds. Interior doors shall not exceed 5 pounds, as required per CBC Section 1004.9.1. SHEET 5 / SHEET 12

INCORPORATED AUGUST 10, 1887

Page 2  
LOCATION 137 NORTH SANTA CRUZ AVENUE  
October 22, 1998

- 18 Note on the plans that opening hardware shall be centered between 30" and 44" above the floor surface, as required per CBC Section 1004.3.1. SHEET 2 / SHEET 12
19 Dimension at the entry door the minimum 24" strike side clearance at the entry door, as required per CBC Section 1004.9.2.3a. SHEET 2
20 Note on the bathroom detail that the grab bar diameter shall be between 1-1/4" and 1-1/2", as required per CBC Section 1115B.8.2. SHEET 2
21 Revise the plans to show location of accessible counter at the cash register (minimum 36" long, between 28" and 34" high), as required per CBC Section 1122B.4. SHEET 2
22 Note on the plumbing plans to provide a trap primer at all floor drains and mop sink, as required per UPC Section 1007.0. SHEET 2
23 Provide complete Title 24 Reports for the Building Envelope, and Lighting, to the Building Department, for further review. The Envelope and Lighting Certificates of Compliance and Mandatory Measures shall be blue-lined on the construction plans. SHEET 2A
24 The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program specification sheet shall be part of plan submittal. The specification sheet (Size 24"x36") is available at the Building Department service counter. SHEET 2
25 Submit three sets of corrected plans to the Building Department for further review. All plans shall be "WET" signed and stamped by responsible design professional. SHEET 2
26 Issuance of the Building permit requires approval from:
a) Planning Department: Martin Akhie at 354-6879
b) West Valley Sanitation District: 378-2407
c) County Health Department: 299-6060

Very truly yours,

Susan Kautzer

SUSAN KAUTZER, P.E.  
Plan Check Engineer

SK sb

CERTIFICATE OF COMPLIANCE (Part 1 of 2) ENV-1

Form with fields for PROJECT NAME, PROJECT ADDRESS, GENERAL INFORMATION, STATEMENT OF COMPLIANCE, and SIGNATURE. Includes a 'RECEIVED' stamp dated NOV 18 1998.

CERTIFICATE OF COMPLIANCE (Part 2 of 2) ENV-1

Form with tables for OPAQUE SURFACES, WINDOWS, and SKYLIGHTS. Includes a 'RECEIVED' stamp dated NOV 18 1998.

### ENVELOPE COMPONENT METHOD ENV-2

PROJECT NAME: 1371 N. SANTA CECILIA DATE: 11-2-98

#### WINDOW AREA CALCULATION

GROSS WALL AREA (GWA)	1776	DISPLAY PERIMETER (DP)	24
GWA x 0.64	1136	DP x 4	96
GREATER OF		MAXIMUM ALLOWABLE WINDOW AREA	
1136		96	
PROPOSED WINDOW		142	

If the PROPOSED WINDOW AREA is greater than the MAXIMUM ALLOWABLE WINDOW AREA, go to another method.

#### SKYLIGHT AREA CALCULATION

ATRIUM HEIGHT: \_\_\_\_\_ FT

IF ≤ 8 FT:  $0.10 \times \text{GROSS ROOF AREA} = \text{ALLOWED SKY AREA}$

IF > 8 FT:  $0.05 \times \text{GROSS ROOF AREA} = \text{ALLOWED SKY AREA}$

ACTUAL SKYLIGHT AREA: \_\_\_\_\_

If the ACTUAL SKYLIGHT AREA is greater than the ALLOWED SKYLIGHT AREA, go to another method.

#### OPAQUE SURFACES

ASSEMBLY NAME (See Table 1)	TYPE	HEAT CAPACITY	INSULATION R-VALUE	PROPOSED	MIN. ALLOWED	TABLE VALUE	MAX. ALLOWED
EXTERIOR WALL	MW	< 7.0	1	1	1	1	1
EXTERIOR FLOOR	WF	> 7.0	1	1	1	1	1
EXTERIOR ROOF	WR	NA	1	1	1	1	1

\* For each assembly type, insert the minimum insulation R-value or the maximum heat capacity U-value.

#### WINDOWS

WINDOW NAME (See Section 2)	ORIENTATION	U-VALUE		FURRING PANS		PROPOSED RSHG		PROP. RSHG	ALLOW. RSHG
		PROP.	MIN. ALLOWED	SC	H	V	THIS SIDE		
EXTERIOR	W	1.25	1.5	1	1	1	1	1	1
EXTERIOR	E	1.25	1.5	1	1	1	1	1	1
EXTERIOR	S	1.25	1.5	1	1	1	1	1	1

#### SKYLIGHTS

SKYLIGHT NAME (See Section 2)	GLAZING		FURRING PANS		U-VALUE		SEEDING COEFFICIENT	
	PROPOSED	MIN. ALLOWED	PROPOSED	MIN. ALLOWED	PROPOSED	MIN. ALLOWED	PROPOSED	MIN. ALLOWED
EXTERIOR	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

\* EXIST. REAR WINDOW MUST BE TIGHT TO THE GC IF IT IS NOT ALREADY DONE.

January 1996

### PROPOSED MASONRY WALL ASSEMBLY ENV-3

PROJECT NAME: 1371 N. SANTA CECILIA DATE: \_\_\_\_\_

#### COMPOSITE DESCRIPTION

ASSEMBLY NAME: **EXTERIOR CMU WALL**

DESCRIPTION OF ASSEMBLY:

OUTSIDE

INSIDE

SKETCH OF ASSEMBLY

#### WALL R-VALUE and HEAT CAPACITY

WALL UNIT THICKNESS	6"	NOMINAL INCHES
MATERIAL TYPE	MW	1/2" CMU/MW CMU; NW CMU; CLAY UNIT; CLAY BRICK; CONCRETE
CORE TREATMENT	SOLID	SOLID; GRADED; EMPTY; INSULATED; NA
WALL R-VALUE	1.4	R <sub>w</sub> (FROM TABLE B-5) (B-6)
WALL HEAT CAPACITY	11.4	HC (FROM TABLE B-7) (B-8)

#### FURRING/INSULATION LAYER (INSIDE and/or OUTSIDE IF ANY)

FURRING FRAMING MATERIAL	WOOD	(WOOD; METAL; NONE)
FURRING FRAMING SIZE	2 x 4	NOMINAL INCHES
FURRING SPACE INSULATION	1.5	TYPE
EXTERIOR INSULATING AREA	0	TYPE

FURRING ASSEMBLY EFFECTIVE R-VALUE:  $1.4 + 0 = 1.4$

EXTERIOR INSULATING LAYER R-VALUE: \_\_\_\_\_

INSULATION LAYER R-VALUE: \_\_\_\_\_

#### WALL ASSEMBLY R-VALUE and U-VALUE

INSULATION LAYER R-VALUE:  $1.4$  + WALL R-VALUE:  $1.4$  = WALL ASSEMBLY R-VALUE:  $11.8$

U-VALUE:  $0.085$

January 1996

### ENVELOPE MANDATORY MEASURES ENV-MM

PROJECT NAME: 1371 N. SANTA CECILIA DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§110(a) Installed Insulating Material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating material, Title 20, Chapter 4, Article 3.	✓	
§110(c) All Insulating Materials shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 2002 and 707 of the Title 24, Part 2.	✓	
§117(a) All Exterior Joints and openings in the building shall be observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.	✓	
§116(b) Site Constructed Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for unit-attached glass doors and fire doors).	✓	
§116(a)(1) Manufactured Doors and Windows installed shall have air infiltration rates not exceeding those shown in Table number 1-E, of the Standards. Manufactured Insulation products must be labeled for U-value according to NFRC procedures.	✓	
§118(e) Demising Walls in Nonresidential Buildings: The opaque portions of framed demising walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-11 between framing members.	✓	

January 1996

### CERTIFICATE OF COMPLIANCE (Part 1 of 2) LTG-1

PROJECT NAME: 1371 N. SANTA CECILIA DATE: 11-2-98

PROJECT ADDRESS: 1371 N. SANTA CECILIA

DESIGNER: ALBERT PROJECTIONS

PROJECT NAME: EXTERIOR WALL

#### GENERAL INFORMATION

DATE OF PLANS: \_\_\_\_\_

BUILDING TYPE:  NONRESIDENTIAL  HIGH RISE RESIDENTIAL  HOTEL/MOTEL/GUEST ROOMS

PHASE OF CONSTRUCTION:  NEW CONSTRUCTION  ADDITION  ALTERATION  UNOCCUPIED (See Section 1)

METHOD OF COMPLIANCE:  COMPLETE BLDG.  AREA CATEGORY  TAILORED  PERFORMANCE COMPLIANCE

#### STATEMENT OF COMPLIANCE

This Certificate of Compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building lighting requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

The Principal Lighting Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other documents submitted with this permit application. The proposed building has been designed to meet the envelope requirements contained in the applicable parts of Sections 110, 119, 130 through 132, 146, and 149 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation, and that I am a Civil Engineer, Electrical Engineer or Architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section 5537.2 of the Business and Professions Code to sign this document as the person responsible for its preparation, and that I am a licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation, and for the following reason(s): \_\_\_\_\_

DESIGNER: ALBERT PROJECTIONS

INDICATE LOCATION ON PLANS OF NOTE (CHECK FOR MANDATORY MEASURES): LAST PAGE OF EXPECT LTG-MM

January 1996



**CERTIFICATE OF COMPLIANCE** (Part 2 of 2) **LIG-1**

PROJECT NAME: 157 N. SANTA CELESTE DATE: 11-2-98

**INSTALLED LIGHTING SCHEDULE**

LUMINAIRE NAME (If Type 1, Type 2, etc.)	LAMP		BALLAST		NOTE TO FIELD
	TYPE	NO. OF LAMPS	TYPE	NO. LUMINAIRE	
2" 1 LAMP FLUOR. (A)	<input checked="" type="checkbox"/>	1	75	<input checked="" type="checkbox"/>	
COMPACT 13 W FLUOR. (B)	<input checked="" type="checkbox"/>	1	13	<input checked="" type="checkbox"/>	
75 W INCANDE. (C)	<input checked="" type="checkbox"/>	1	75	<input checked="" type="checkbox"/>	

\*Provide supporting Documentation

**MANDATORY AUTOMATIC CONTROLS**

CONTROL LOCATION (Room #)	CONTROL IDENTIFICATION	CONTROL TYPE (Auto Time Switch, etc.)	NOT TO EXCEED	NOTE TO FIELD
KEY STORAGE	SS	DOUBLE SWITCH	KEY STORAGE	
KITCHEN	SP	DOUBLE SWITCH	KITCHEN	

**CONTROLS FOR CREDIT**

CONTROL LOCATION (Room # or Elev. #)	CONTROL IDENTIFICATION	CONTROL TYPE (Occupant, Occupant Dimming, etc.)	LUMINAIRE CONTROLLED	NOTE TO FIELD
N/A				

**NOTES TO FIELD - For Building Department Use Only**

Nonresidential Compliance Form January 1996

**LIGHTING COMPLIANCE SUMMARY** **LIG-2**

PROJECT NAME: 157 N. SANTA CELESTE DATE: 11-2-98

**ACTUAL LIGHTING POWER**

LUMINAIRE NAME	DESCRIPTION	NUMBER OF LUMINAIRES	WATTS PER LUMINAIRE (Including Ballast)	CEC DEFAULT Y/N	TOTAL WATTS
A	2" 1 LAMP FLUOR.	12	83	<input checked="" type="checkbox"/>	996
B	COMPACT 13 W FLUOR.	4	13	<input checked="" type="checkbox"/>	52
C	75 W INCANDE.	2	75	<input checked="" type="checkbox"/>	150
SUBTOTAL FROM THIS PAGE					1200
LESS CONTROL CREDIT WATTS (From LIG-1)					
ADJUSTED ACTUAL WATTS					1200

If not using the CEC Default value, please provide supporting documentation.

**ALLOWED LIGHTING POWER (Choose One Method)**

**COMPLETE BUILDING METHOD**

BUILDING CATEGORY (from Table 1-1)	WATTS PER SF	COMPLETE BLDG. AREA	ALLOWED WATTS

**AREA CATEGORY METHOD**

AREA CATEGORY (from Table 1-1)	WATTS PER SF	WATTS (SF)	ALLOWED WATTS
KITCHEN / WAITRESS STATION	2.2	180	396
OFFICE	1.6	90	144
CORRIDOR / STAIRS / SUPPORT	0.8	112	89.6
TOTALS		1200	1572

**FLOORED METHOD**

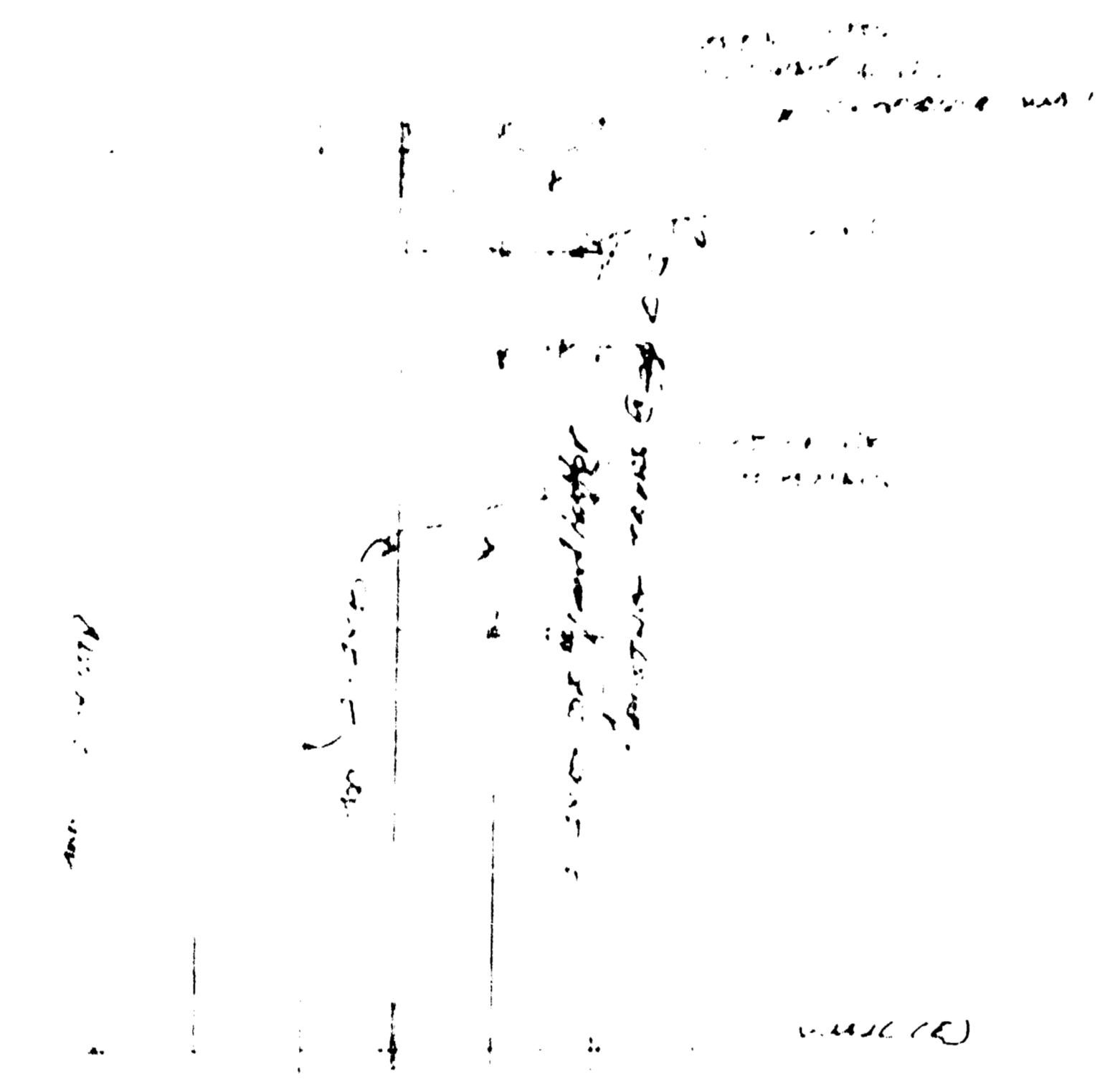
TOTAL ALLOWED WATTS (from LIG-1 or from Computer Math)

Nonresidential Compliance Form January 1996

**LIGHTING MANDATORY MEASURES** **LIG-MM**

PROJECT NAME: 157 N. SANTA CELESTE DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§131(d)1 Building Lighting Shut-off: The building lighting shut-off system consists of an automatic time switch, with a zone for each floor, or the building is separately metered and less than 5,000 square feet, exempt from the shut-off requirement.		
§131(d)2 Override for Building Lighting Shut-off: The automatic building shut-off system is provided with a manual, accessible override switch in sight of the lights. The area of override is not to exceed 5,000 square feet.		
§112(b) Automatic Control Devices Certified: All automatic control devices specified are certified, all alternate equipment shall be certified and installed as directed by the manufacturer.		
Fluorescent Ballast and Luminaires Certified: All fluorescent fixtures specified for the project are certified and listed in the Directory. All installed fixtures shall be certified.		
§132 Tandem Wiring for One and Three Lamp Fluorescent Fixtures: All one and three lamp fluorescent fixtures are tandem wired with two lamp ballasts where required by Standard Section 132; or all three lamp fluorescent fixtures are specified with electronic high-frequency ballasts and are exempt from tandem wiring requirements.		
§131(a) Individual Room/Area Controls: Each room and area in this building is equipped with a separate switch or occupant sensor device for each area with floor-to-ceiling wasts.		
§131(b) Uniform Reduction for Individual Room: All rooms and areas greater than 100 square feet and more than 12 watts per square foot of lighting load shall be controlled with a level switching for uniform reduction of lighting within the room.		
§131(c) Daylight Area Control: All rooms with windows and skylights that are greater than 250 square feet and that allow for the effective use of daylight in the area shall have 50% of the lamps in each daylight area controlled by a separate switch, or the effective use of daylight cannot be accomplished because the windows are continuously shaded by a building on the adjacent lot. Diagram of shading during different times of the year is included on plans.		
§131(d) Control of Exterior Lights: Exterior mounted fixtures served from the electrical panel inside the building are controlled with a directional photo cell control on the roof and a corresponding relay in the electrical panel.		
§131(e) Display Lighting: Display lighting shall be separately switched on circuits that are 20 amps or less.		

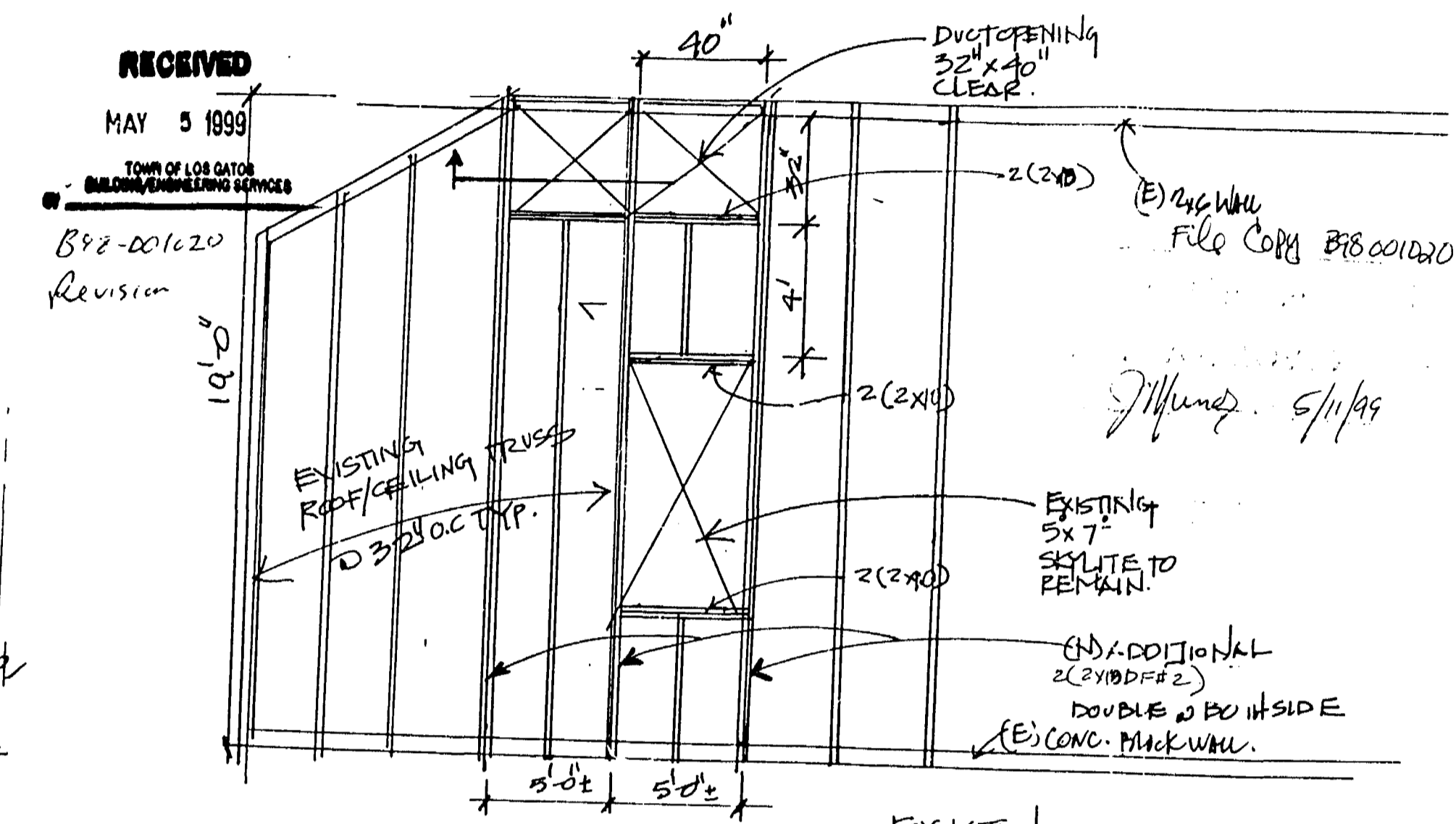


1/2" thick  
 1/2" thick

**RECEIVED**  
 MAY 5 1999  
 TOWN OF LOS GATOS  
 BUILDING/ENGINEERING DEPARTMENT

APPROVED  
 [Signature]  
 [Circular Stamp]  
 [Signature]





137 N. SANTA CRUZ  
 LOS GATOS, CA 95030

EXISTING:  
 CEILING/ROOF FRAMING  
 1 1/2" = 1'-0"

**GENERAL NOTES**

- 1) Contractor shall examine site, field verify all dimensions and field conditions. Contractor is to become familiar with conditions affecting the construction prior to submitting a bid, and at commencement of construction. Failure to do so shall not be considered a just cause for future extras.
- 2) Contractor to provide general cost breakdown for all construction categories (i.e., demolition, carpentry, millwork, electrical, etc.) and unit breakdowns for all items (i.e. electrical; duplex outlets; phone outlets; conduit runs; quad outlets; 2 x 4 fluorescents; 4 x 4 fluorescents; 75w downlights, etc.) Provide unit costs and quantity for all items in all categories, to owner.
- 3) Contractor shall provide unit cost to owner for each for cost of material and installation cost prior to commencement of work.
- 4) Contractor shall provide all necessary permits, and fees.
- 5) Contractor shall provide all necessary temporary protection to ensure the safety of the general public during the construction phase.
- 6) Contractor shall meet all local governing code requirements for performance of all construction work.
- 7) Contractor to guarantee labor and material for one (1) year.
- 8) In case of conflict in drawings, the contractor shall not proceed with that part of the work until the discrepancy has been clarified by the designer.
- 9) In case of conflict, larger scale drawings shall take precedence over smaller scale drawings.
- 10) Contractor shall notify designer of any conditions he finds where in his judgment it would be desirable to modify the requirements to produce the best results.
- 11) Unless noted otherwise, all stud walls shall receive two (2) coats of finish paint. Color per finish schedule. Prep all wall surfaces as necessary with proper prime coat required for final wall finish material.
- 14) Provide internally illuminated exit lighting as required by code.
- 15) Contractor to provide adequate blocking, bracing, backing, and/or additional studs to support fixtures, shelves, etc. in party wall.
- 16) All built-in plumbing fixtures to be supplied and installed by plumbing contractor. Plumbing contractor to supply all necessary information for cut outs to be performed by cabinet contractor.
- 17) All non-built-in plumbing fixtures to be supplied and installed by plumbing contractor.
- 18) Smoke Detector Alarms shall be installed within all areas as required by local and national codes, as well as all other governing agencies.
- 19) Contractor is responsible for the calculations and implementation of all electrical circuitry as required to comply with all local and national codes and regulations.
- 20) Emergency lights as required by code.
- 21) General contractor shall coordinate with subcontractors verification of final dimensions for finish work in accordance with construction documents.



VICINITY MAP NEW

Submitted  
RECEIVED  
NOV 18 1998  
TOWN OF LOS GATOS  
BUILDING/ENGINEERING SERVICES  
138-001020

SHEET INDEX	
1	PROJECT DATA
2	KITCHEN FLOOR PLAN (2A) TITLE 24 COMPLIANCE
3	MEZZANINE FLOOR PLAN / FRAMING PLAN
4	MEZ FLOOR FRAMING DETAILS
5	DETAILS
6	ROOM/EQUIPT SCHEDULE
7	ELECTRICAL PLAN
8	PLUMBING PLAN
9	EQUIPT 2 ROOF
10	KITCHEN ELEVATIONS
11	BLOWER/MAKEUP AIR UNIT
12	HAND INSTRM DETAILS

PLANNING DEPARTMENT  
RECEIVED  
NOV 10 3 1998

SEE NOTES

FLOOR AREA OF  
TENANT SPACE 1400 SF  
MEZZANINE 648 SF  
PARKING OPEN OF PROPERTY

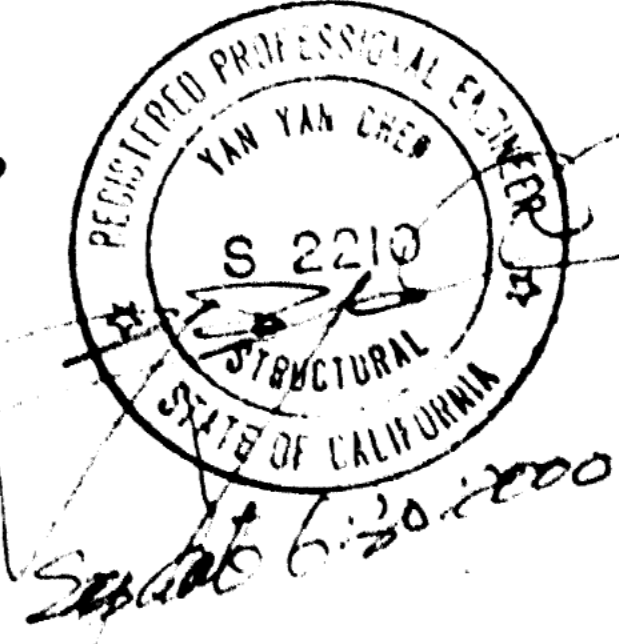
**PROJECT DATA**  
PROJECT NAME DOUBLE RAINBOW REST  
137 N. SANTA CRUZ AVE  
LOS GATOS, CA 95030

OWNER HANG NGO  
137 N. SANTA CRUZ AVE  
LOS GATOS, CA 95030

PARCEL #  
CONSTRUCTION TYP VIN  
# STORY ONE WITHHT CEILING  
SPRINKLER NO  
OCCUPANCY GROUP B  
(E) USED FOOD/ICECREAM  
PROPOSED USE FOOD/ICECREAM  
OCCUPANT LOAD 50 MAX  
PHONE # 510-170-6100

**SCOPE OF WORK**  
• INTERIOR TENANT IMPROVEMENT (E) FOOD SERVICE REST.  
- REMODELING EXISTING FOOD SERVICE FACILITY  
- REPLACE MEZZANINE FLOOR  
- UPGRADE (E) FACILITIES TO COMPLY WITH HEALTH PER.  
- NO STRUCTURAL CHANGE - NO LIGHTING CHANGE 2 DINING RM MEZZANINE LEVEL  
• APPLICABLE CODES

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 12/2/98  
UPC, UMC, UPC 1994  
NEC 1993  
ENERGY STANDARD 1995  
ACCESSIBILITY STANDARD  
CITY OF LOS GATOS REGULATIONS & CODES.



REVISIONS	BY



2617 EAST 14TH STREET • ORLAND • CA 94601  
510-534-3599

PROJECT DATA

PROPOSED TENANT IMPROVEMENT 2  
137 N. SANTA CRUZ  
LOS GATOS, CA  
OWNER/HANG NGO

Date	9.20.98
Scale	
Drawn	
No	9809
Sheet	1
Of	1



**FINISH NOTES**

- 1) Any wood surfaces to be painted or stained shall be clean, smooth, dry and fully sanded. Knots and pitch pockets shall be sealed w/ shellac. Fill joints, cracks, nail holes, etc. with specified putty after priming, then smooth sand.
- 2) Remove any finish hardware prior to painting and reinstall after paint is dry.
- 3) Each coat of paint shall be applied evenly, free of brush marks, sags or runs. Care shall be exercised to avoid lapping of paint on adjacent surfaces. Paint shall be sharply cut to line.
- 4) Finish work shall be adequately covered with uniform color and finish, the number of coats herein specified being a minimum. Painter shall provide any additional coats appropriate to produce a first class job satisfactory to Designer. Any firehose cabinets, air registers, grills, light fixture trim, primed hardware or surfaces whose finish has not been indicated shall be painted to match adjacent surfaces.
- 5) All wallboard surfaces to be painted shall be clean, spackle any nail holes before priming. Surfaces to receive wall covering shall be sanded smooth and receive one coat of flat oil base primer or prepared as recommended by wall-covering installer.
- 6) Wall tile shall be applied to clean gypsum board surface, joints to be treated with tape and compound bedding coat only (no finish coat). Nail heads, one coat only. Corners, jams, etc., must be plumb. Water resistant gypsum backing board shall be minimum 1/2" thick. Apply Latex Portland cement mortar bond coat per manufacturer's recommendations. Allow 24 hours after tile has set before grouting.
- 8) Floor contractor shall inspect all surfaces to receive finish floor material to insure proper installation. Any defects in surface shall be corrected by General Contractor.
- 9) Carpet: Use rust inhibited concrete nails where tack strips are nail to slab. Run all seams parallel to walls. Cross seams will not be permitted. Seams to be tightly butted and cut accurately along wire. Take care to avoid damaging adjoining walls and fixtures, etc. At all times, protect same from gouging, marring, or scratching. Floor Contractor shall be responsible for repairing or replacing any damage by carpet installer.
- 10) Ceramic Mosaic/Quarry Tile Floor: Surfaces shall be free of cracks, curing compounds, oil, dirt and dust and must be dry. Apply Latex Portland cement mortar bond coat per manufacturer's recommendations, 3/32" minimum. Slab to have steel trowel and fine broom finish with no curing compounds used. Submit expansion joint plan for approval. Float mortar bed to align tile heights to an even plane.

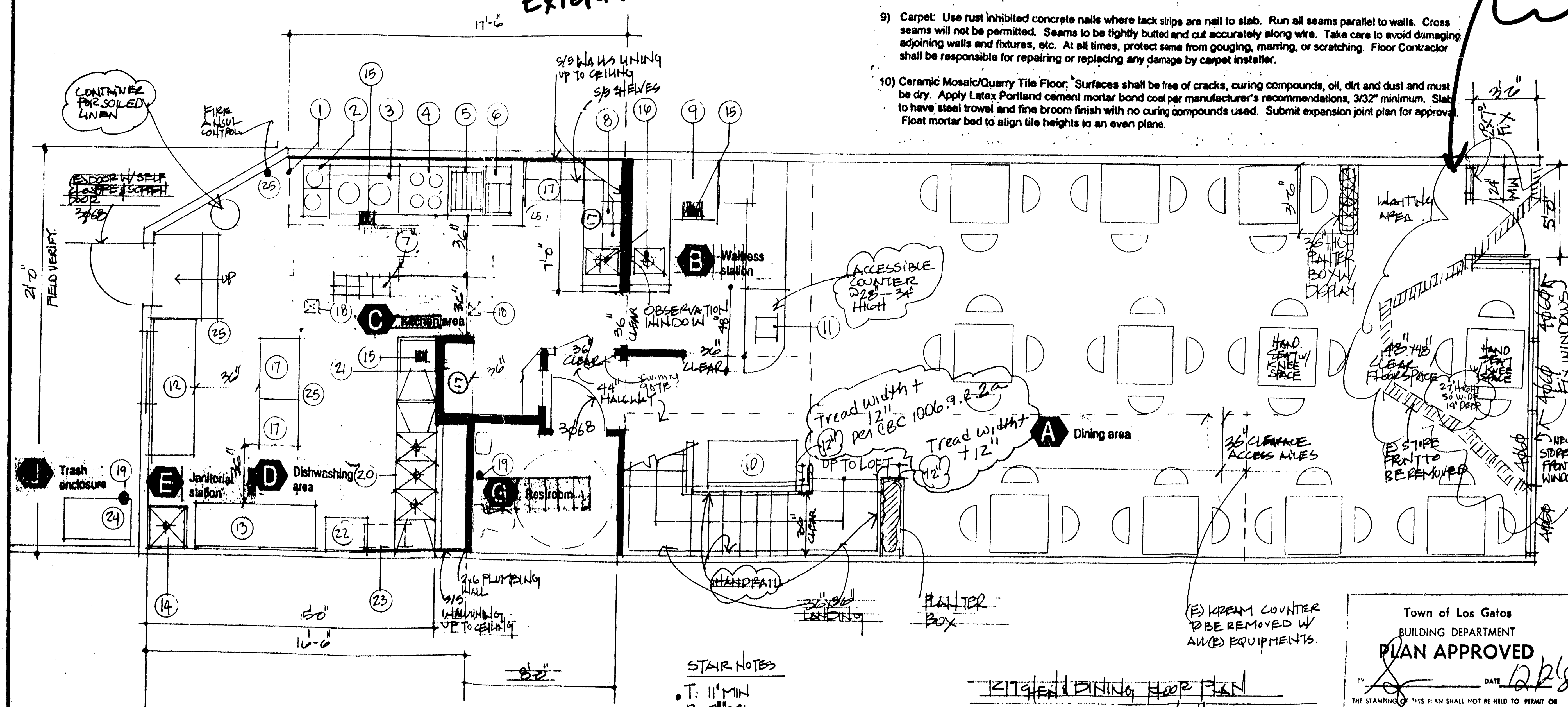
REQUIRES A/S

PLANNING DEPARTMENT  
APPROVED

ALL CHANGES HAVE BEEN APPROVED  
IF ANY MODIFICATION TO WHAT IS  
PROPOSED OR TO WHAT IS SHOWN  
HEREIN MAY REQUIRE A SEPARATE  
PERMIT

MAR 12/3/98

NOTE: DOES NOT INCLUDE  
MODIFICATIONS TO  
EXTERIOR.



**STAIR NOTES**

- T: 11" MIN
- R: 7 1/2" MAX
- HANDRAIL 1 1/2" Ø MAX  
2 3/4" MAX
- PROVIDE 5/8" TYP X UNDER  
STAIRS ON WOOD STAIRS.

KITCHEN & DINING FLOOR PLAN

**NOTES**

- ALL EXISTING BASE & WALL CAS SHALL BE REMOVED.
- SAVE BASE CAB (FRONT PANEL) FOR NEW COUNTER  
& WAITRESS STATION.
- (E) RESTROOM FIXTURES/LAB/SINK SHALL BE REMOVED.
- (E) WALL TO REMOVE  
EXISTING WALL TO REMAIN
- NEW 2x4 STUDSWALL
- (E) FRONT DOOR & WINDOWS TO BE REMOVED.

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 9/26/98



REVISIONS	BY

2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-536-3599

KITCHEN FLOOR PLAN

PROPOSED TENANT IMPROVEMENT OF 157 N. SANTA CRUZ LOS GATOS

Date 9.26.98

Scale

Drawn

Job 9809

Sheet 2

Of 2 sheets



**CERTIFICATE OF COMPLIANCE**

PROJECT NAME: 137 N. SANTA CRUZ  
 DATE: 11-2-98

BUILDING TYPE:  NONRESIDENTIAL  HIGH RISE RESIDENTIAL  HOTEL/MOTEL GUEST ROOM

PHASE OF CONSTRUCTION:  NEW CONSTRUCTION  ADDITION  ALTERATION  UNCONDITIONED (fill in office)

METHOD OF ENVELOPE COMPLIANCE:  COMPLETE BLDG.  AREA CATEGORY  TAILORED  PERFORMANCE

This Certificate of Compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building lighting requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

DOCUMENTATION AUTHOR: ROBERT MAO  
 SIGNATURE: [Signature]  
 DATE: 11-2-98

The Principal Lighting Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other variations submitted with this permit application. The proposed building has been designed to meet the envelope requirements contained in the applicable parts of Sections 110, 119, 130 through 132, 146, and 149 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a Civil Engineer, Electrical Engineer or Architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section 5537.2 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation; and for the following reason(s):

PERMANENT LIGHTING DESIGNER NAME: [Name]  
 SIGNATURE: [Signature]  
 DATE: 11-3-98

INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES: LAST PAGE OF REPORT LTG-MM

**INSTRUCTIONS TO APPLICANT**

For detailed instructions on the use of this and all Energy Efficiency Standards compliance forms, please refer to the Nonresidential Manual published by the California Energy Commission.

LTG-1: Required on plans for all submittals. Part 2 may be incorporated in schedules on plans.

LTG-2: Required for all submittals.

LTG-3: Optional. Use only if lighting control credits are taken.

LTG-4: Optional. Use only if Tailored Method is used. Parts 2 and 3 used only if applicable.

PROJECT NAME: 137 N. SANTA CRUZ  
 DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§ 131(a) Building Lighting Shut-off: The building lighting shut-off system consists of an automatic time switch, with a zone for each floor, or the building is separately metered and less than 5,000 square feet; exempt from the shut-off requirement.		
§ 131(a)(2) Override for Building Lighting Shut-off: The automatic building shut-off system is provided with a manual, accessible override switch in sight of the lights. The area of override is not to exceed 5,000 square feet.		
§ 110(h) Automatic Control Devices Certified: All automatic control devices specified are certified, all alternate equipment shall be certified and installed as directed by the manufacturer.	✓	
Fluorescent Ballast and Luminaire Certified: All fluorescent fixtures specified for the project are certified and listed in the Directory. All installed fixtures shall be certified.	✓	
§ 132 Tandem Wiring for One and Three Lamp Fluorescent Fixtures: All one and three lamp fluorescent fixtures are tandem wired with two lamp ballasts where required by Standards Section 132; or all three lamp fluorescent fixtures are specified with electronic high-frequency ballasts and are exempt from tandem wiring requirements.	✓	
§ 131(a) Individual Room/Area Controls: Each room and area in this building is equipped with a separate switch or occupancy sensor device for each area with floor-to-ceiling walls.	✓	
§ 901(b) Uniform Reduction for Individual Rooms: All rooms and areas greater than 100 square feet and more than 12 watts per square foot of lighting load shall be controlled with hi-level dimming for uniform reduction of lighting within the room.	✓	
§ 101(c) Daylight Area Control: All rooms with windows and skylights that are greater than 200 square feet and that allow for the effective use of daylight in the area shall have 50% of the lamps in each daylight area controlled by a separate switch; or the effective use of daylight cannot be demonstrated because the windows are consistently shaded by a building on this adjacent lot. Diagram of shading during typical times of the year is included on plans.		
§ 101(d) Control of Exterior Lighting: Exterior mounted fixtures served from the electrical panel inside the building are controlled with a directional photo cell control on the roof and a photocell wiring relay in the electrical panel.		
§ 101(e) Display Lighting: Display lighting shall be separately controlled on circuits that		

**CERTIFICATE OF COMPLIANCE**

PROJECT NAME: 137 N. SANTA CRUZ  
 DATE: 11-2-98

BUILDING TYPE:  NONRESIDENTIAL  HIGH RISE RESIDENTIAL  HOTEL/MOTEL GUEST ROOM

PHASE OF CONSTRUCTION:  NEW CONSTRUCTION  ADDITION  ALTERATION  UNCONDITIONED (fill in office)

METHOD OF ENVELOPE COMPLIANCE:  COMPONENT  OVERALL ENVELOPE  PERFORMANCE

This Certificate of Compliance lists the building features and performance specifications need to comply with Title 24, Parts 1 and 6 of the California Code of Regulations. This certificate applies only to building envelope requirements.

The documentation preparer hereby certifies that the documentation is accurate and complete.

DOCUMENTATION AUTHOR: ROBERT MAO  
 SIGNATURE: [Signature]  
 DATE: 11-2-98

The Principal Envelope Designer hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other variations submitted with this permit application. The proposed building has been designed to meet the envelope requirements contained in sections 110, 116 through 118, and 140, 142, 143, or 149 of Title 24, Part 6.

Please check one:

I hereby affirm that I am eligible under the provisions of Division 3 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a Civil Engineer or Architect.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section 5537.2 of the Business and Professions Code to sign this document as the person responsible for its preparation; and that I am a licensed contractor preparing documents for work that I have contracted to perform.

I affirm that I am eligible under the exemption to Division 3 of the Business and Professions Code by Section \_\_\_\_\_ of the \_\_\_\_\_ Code to sign this document as the person responsible for its preparation; and for the following reasons:

PERMANENT ENVELOPE DESIGNER NAME: [Name]  
 SIGNATURE: [Signature]  
 DATE: 11-3-98

INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES: LAST PAGE OF REPORT ENV-MM

**INSTRUCTIONS TO APPLICANT**

For detailed instructions on the use of this and all Energy Efficiency Standards compliance forms, please refer to the Nonresidential Manual published by the California Energy Commission.

ENV-1: Required on plans for all submittals. Part 2 may be incorporated in schedules on plans.

ENV-2: Used for all submittals; choose appropriate version depending on method of envelope compliance.

ENV-3: Optional. Use if default U-values are not used. Choose appropriate version for assembly U-value to be calculated.

PROJECT NAME: 137 N. SANTA CRUZ  
 DATE: 11-2-98

DESCRIPTION	Designer	Enforcement
§ 110(a) Installed Insulating Material shall have been certified by the manufacturer to comply with the California Quality Standards for insulating material, Title 20, Chapter 4, Article 3.	✓	
§ 110(c) All Insulating Materials shall be installed in compliance with the flame spread rating and smoke density requirements of Sections 2002 and 707 of the Title 24, Part 2.	✓	
§ 117(a) All Exterior Joints and openings in the building that are observable sources of air leakage shall be caulked, gasketed, weatherstripped or otherwise sealed.	✓	
§ 110(b) Site Constructed Doors, Windows and Skylights shall be caulked between the unit and the building, and shall be weatherstripped (except for unframed glass doors and fire doors).		
§ 110(a) Manufactured Doors and Windows installed shall have air infiltration rates not exceeding those shown in Table number 1-E, of the Standards. Manufactured fenestration products must be labeled for U-value according to NFRC procedures.	✓	
§ 110(c) Demising Walls in Nonresidential Buildings: The opaque portions of framed demising walls in nonresidential buildings shall have insulation with an installed R-value of no less than R-11 between framing members.	✓	

Town of Los Gatos  
 BUILDING DEPARTMENT  
**PLAN APPROVED**  
 DATE: 12/2/98

THE SIGNATURE OF THE APPLICANT SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VARIATION OF ANY TOWN OR COUNTY LAW.



REVISIONS

NO.	DATE	DESCRIPTION

2617 EAST 14TH STREET • ORLAND • CA 94601  
 510-536-3599

TITLE 24 COMPLIANCE

PROPOSED TENANT IMPROVEMENT @ 137 N. SANTA CRUZ LOS GATOS, CA PERMIT NO. 9809

DATE: 11-3-98

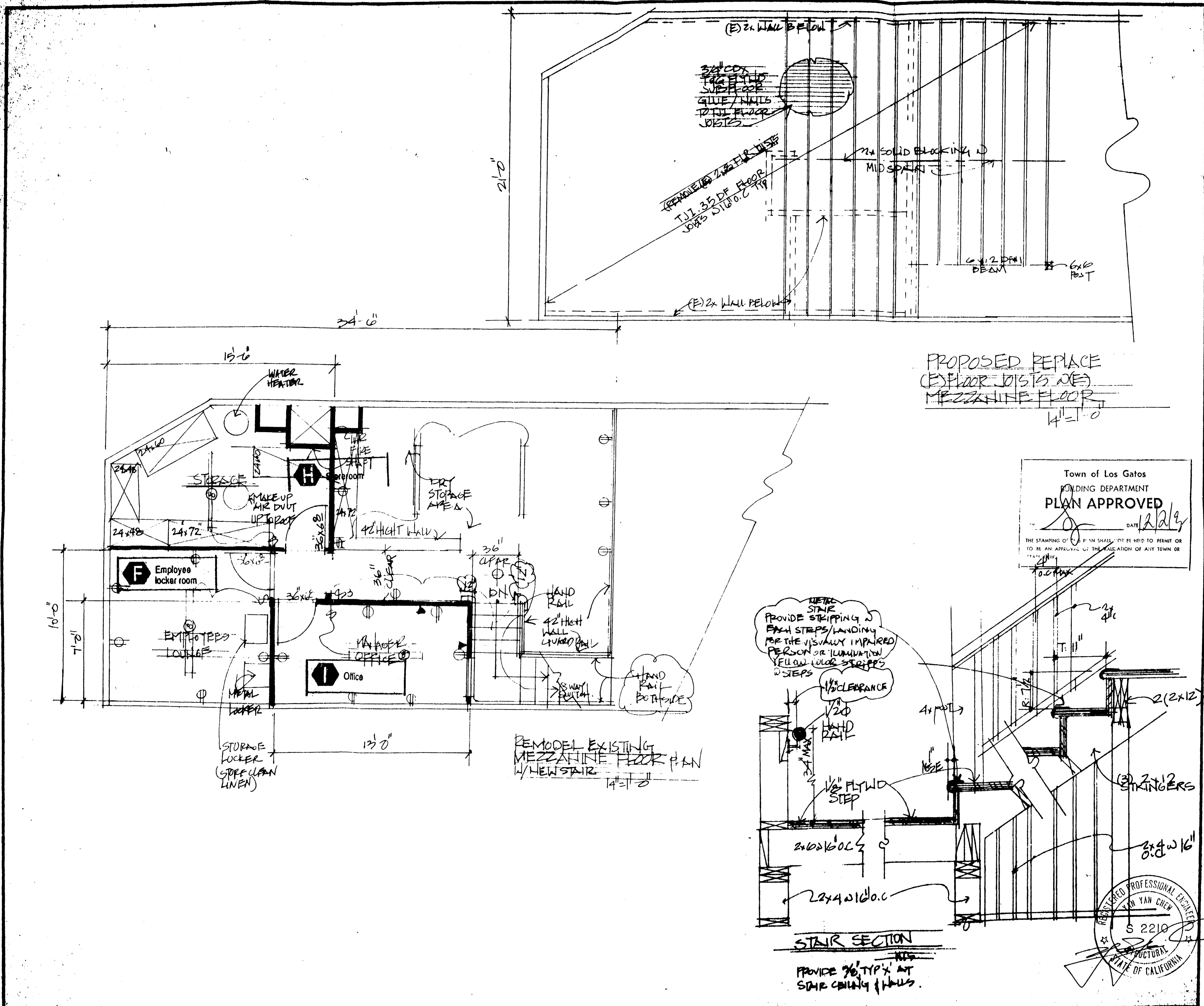
Scale

Drawn

Job 9809

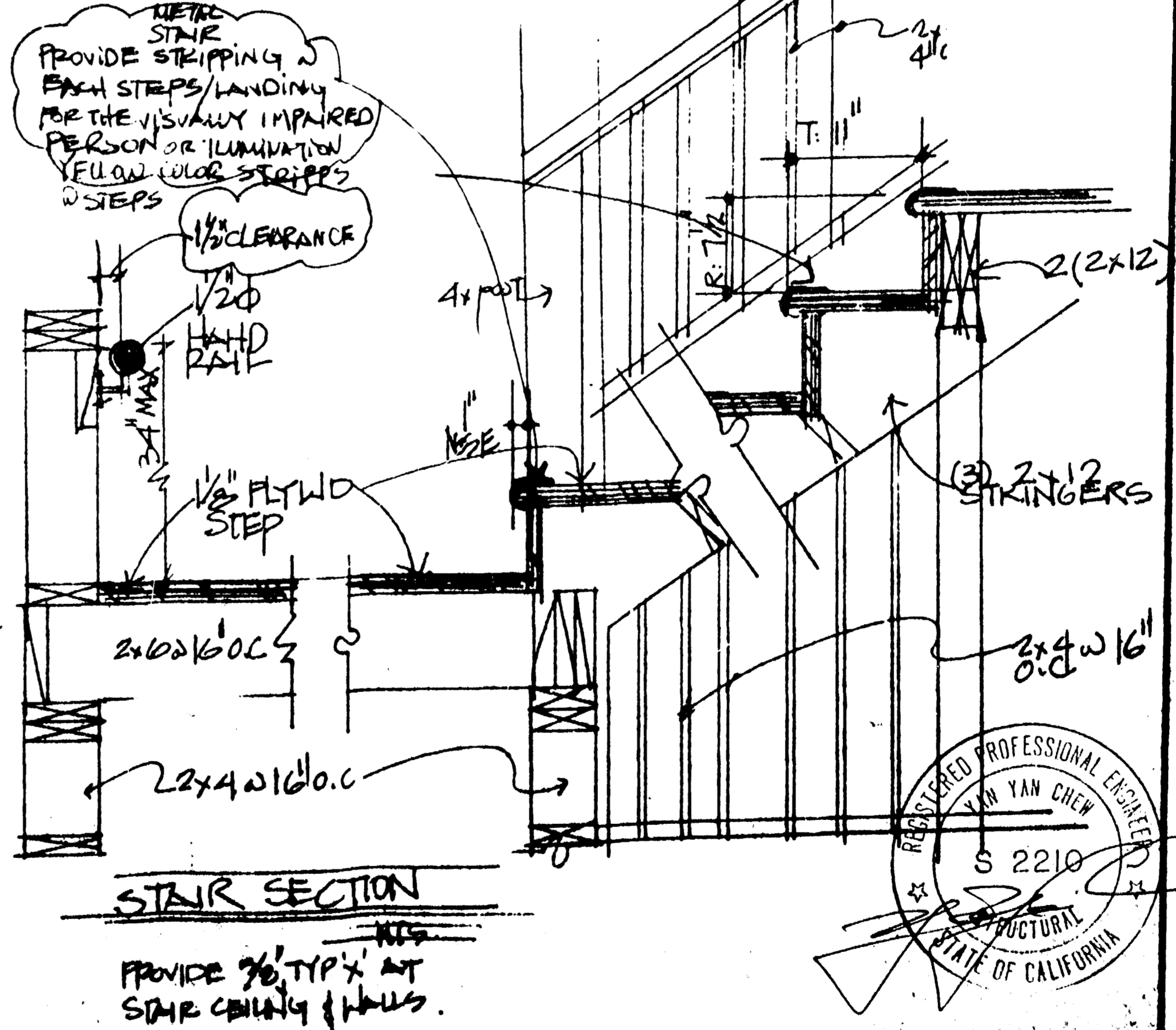
Sheet 2A of 2 sheets





PROPOSED REPLACE  
 (F) FLOOR JOISTS (IES)  
 MEZZANINE FLOOR  
 4"=1'-0"

Town of Los Gatos  
 BUILDING DEPARTMENT  
**PLAN APPROVED**  
 DATE 12/2/96  
 THE STAMPING OF THIS PLAN SHALL BE HELD TO BE NECESSARY TO PERMIT OR  
 TO BE AN APPROVAL OF THE CALCULATION OF ANY TOWN OR



**STAIR SECTION**  
 PROVIDE 3/8\"/>

REVISIONS	BY



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 510-536-3599

PROPOSED TENANT  
 IMPROVEMENT @  
 137 SANITA CRUZ  
 LOS GATOS, CA

MEZZANINE FLOOR  
 PLAN & FRAMING PLAN

Date 9.20.96  
 Scale  
 Drawn  
 Job 9809  
 Sheet **3**  
 Of 3 sheets

REGISTERED PROFESSIONAL ENGINEER  
 YAN YAN CHEW  
 S 2210  
 STRUCTURAL  
 STATE OF CALIFORNIA



Span (ft)	10 psf live load, 20 psf dead load		15 psf live load, 20 psf dead load	
	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
10-0	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
11-0	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
12-0	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
13-0	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
14-0	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
15-0	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood

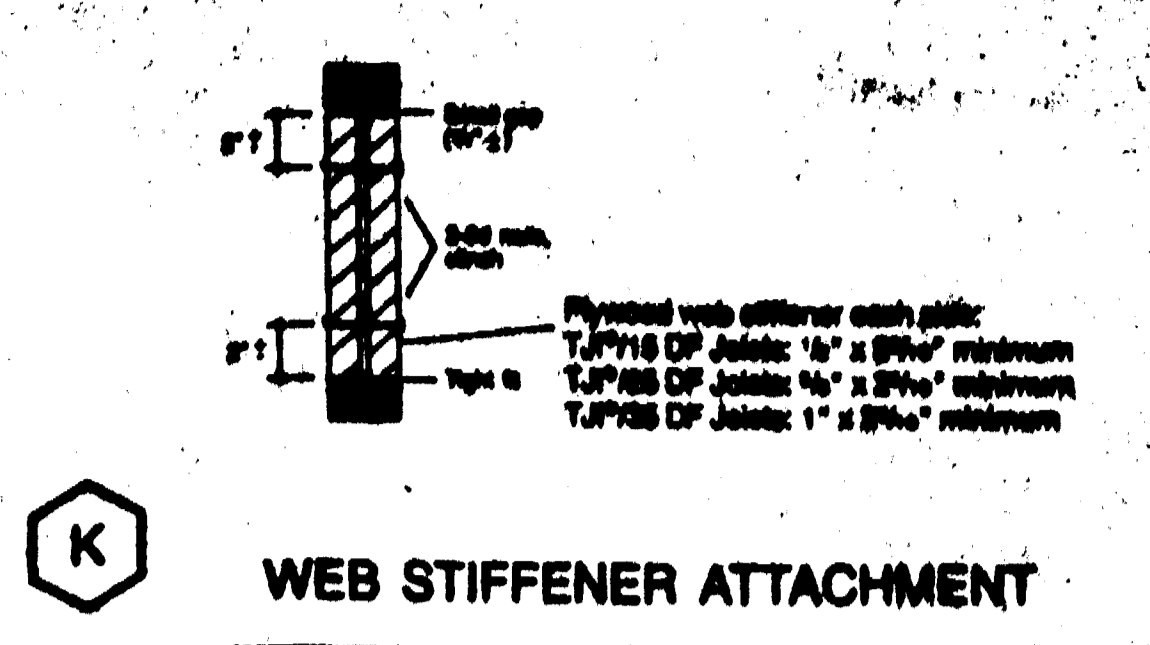
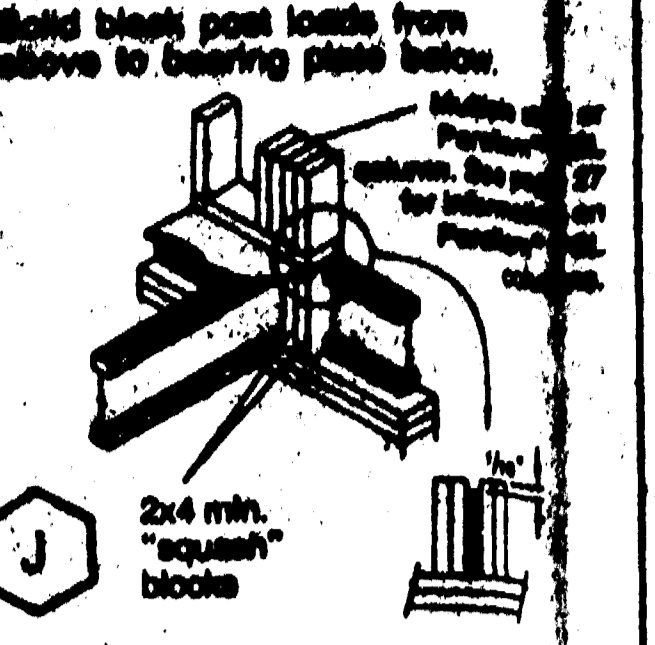
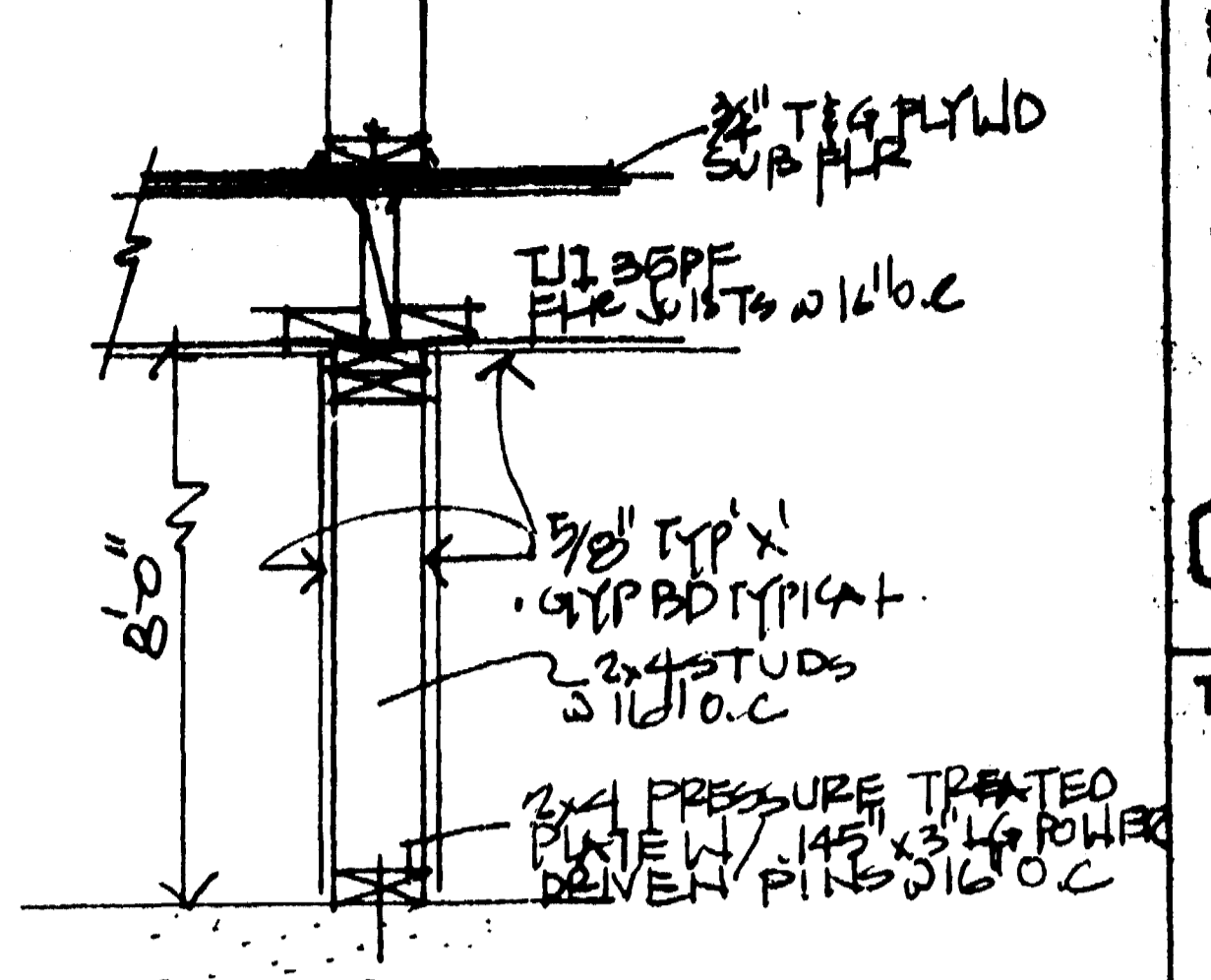
**GENERAL NOTES:**

- Span charts assume composite action with single layer of the appropriate span rated glue-nailed wood sheathing for deflection only. Spans shall be reduced 8" unless sheathing panels are nailed only.
- Spans are based on clear distance between supports, uniformly loaded joists, and include allowable increases for repetitive wall members.
- For loading conditions not shown, refer to allowable uniform load tables on page 14.
- Spans shown reflect the most restrictive of simple span or multiple span applications.
- Long term deflection under dead load which includes the effect of creep, common to all wood members, has not been considered for any of the above applications. (See Table 10.1.1) Spans reflect initial dead load deflection exceeding 0.33" which may be unacceptable. For additional information contact your True Joist MacMillan representative.

**WEB STIFFENER REQUIREMENTS:**

- End Bearings: Web stiffeners (see detail "K" on page 7) are not required at end bearings of TJI® floor joists listed in this guide except in hangers when the sides of the hanger do not laterally support the TJI® joist top flange. (See detail "H1" on page 7).
- Intermediate Bearings: At intermediate supports where the joists are continuous span, web stiffeners are required only if the intermediate bearing width is less than 5 1/4" and the span on either side of the intermediate bearing is greater than the spans shown in the following chart:

Span (ft)	10 psf live load, 20 psf dead load		15 psf live load, 20 psf dead load	
	1/2" CDX	1/2" Plywood	1/2" CDX	1/2" Plywood
10-0	Not Required	Not Required	Not Required	Not Required
11-0	Not Required	Not Required	Not Required	Not Required
12-0	Not Required	Not Required	Not Required	Not Required
13-0	Not Required	Not Required	Not Required	Not Required
14-0	Not Required	Not Required	Not Required	Not Required
15-0	Not Required	Not Required	Not Required	Not Required



**THESE CONDITIONS ARE NOT PERMITTED**

- DO NOT cut holes too close to supports. Refer to hole charts on page 17 for minimum distance from bearing wall.
- DO NOT bore out just beyond inside face of wall.
- Bored-out cut must not overhang inside face of plate. TJI® joist flange must bear fully on the plate. See detail "R12" on page 13.

**NAILING REQUIREMENTS**

- Nail joists at bearings with 2-8d (or 10d or 12d box) nails (1 each side).
- 1 1/2" minimum from end to minimize splitting.
- Nail TJI® joist blocking panels or TJI® rim joist to bearing plate with 8d nails at 6" on center. Use nail TimberStrand™ LSL or MICRO-LAM™ LVL rim board to bearing plate with 10d nails at 6" on center or 16d nails at 12" on center. When used for shear transfer, nail to bearing plate with same nailing schedule as the decking.
- Nail 1 1/4" width (or less) rim board, rim joist or closure to TJI® joist with 2-8d nails, one each at top and bottom flange. Use 16d box nails with TJI® DF rim joists.
- Attach 2x4 min. "squash" blocks at details "A2", "B2" and "J" to TJI® joist top and bottom flanges with 1-8d nail.

**WEB STIFFENER REQUIREMENTS**

- Web stiffeners are required if the sides of the hanger do not laterally support the TJI® joist top flange. Web stiffeners are also required for TJI® DF and TJI® DF joists per note 7 under floor span charts.

**FILLER AND BACKER BLOCK SIZES**

Block Size (Depth x Height)	1 1/2" or 1 3/4" TJI® DF	2" or 2 1/4" TJI® DF	2 1/2" or 3" TJI® DF	3 1/2" or 4" TJI® DF	4 1/2" or 5" TJI® DF
2x4 min. plywood	2x6	2x6	2x6	2x6	2x6
2x4 min. LVL	2x6	2x6	2x6	2x6	2x6
2x4 min. LVL	4'-0" long	4'-0" long	4'-0" long	4'-0" long	4'-0" long
1 1/2" or 1 3/4" TJI® DF	1" nail	1" nail	1" nail	1" nail	1" nail

\*Filler and backer block length should accommodate required nailing without splitting.

**GENERAL NOTES**

**MINIMUM BEARING LENGTH**

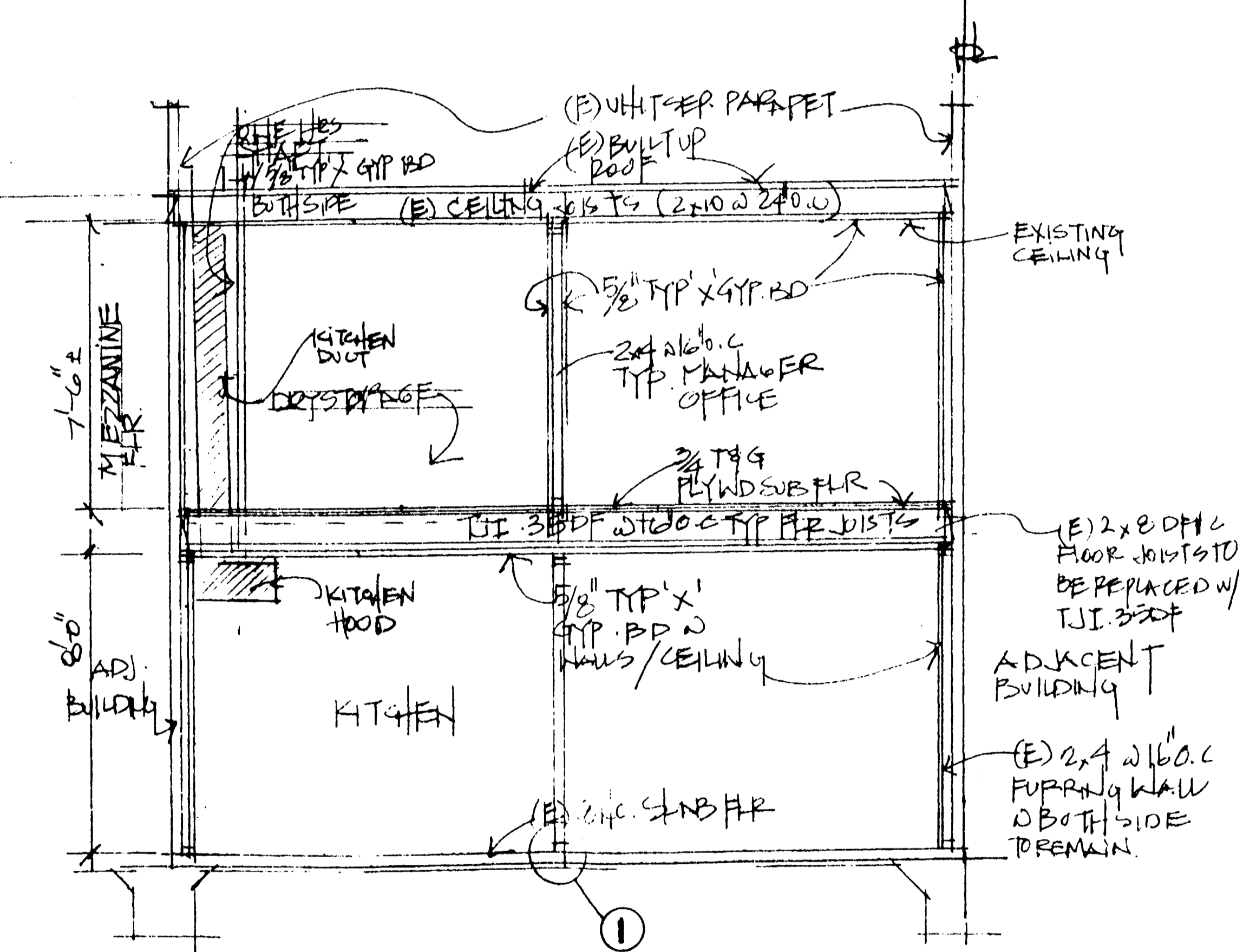
- 1 1/2" minimum bearing is required at post ends.
- 3 1/2" minimum bearing is required when joist are continuous over the support.

**BLOCKING PANELS, RIM BOARDS OR RIM JOISTS**

- For single-story applications and second story of two-story applications use details "A1", "A2", "A3", "A4" or "A5".
- For main floor rim of two-story applications use details "A1", "A2", "A4" or "A5".
- Details provide 1000 plf vertical load transfer for each layer of 1/4" rim board.
- Details provide 2000 plf vertical load transfer for each TJI® blocking panel or rim joist.
- Details provide 3450 plf vertical load transfer for each 1 1/4" TimberStrand™ LSL rim board.
- Details provide 5145 plf vertical load transfer for each 1 1/4" MICRO-LAM™ LVL used as rim board or blocking.

**1/4" RIM BOARD, REINFORCEMENT OR CLOSURE**

- 1/4" rim board reinforcement or closure refers to 1/4" CDX plywood or other 1/4" exterior grade 4824 span rated sheathing that is cut to match the full depth of the joist. Install with face grain horizontal.
- Rim board and cantilever reinforcement must bear fully on the wall plate.
- Bracing complying with the code shall be carried to the foundation.
- When 1/4" rim board is used, blocking panels cut from TJI® joists or MICRO-LAM™ LVL may be installed for a minimum of 4' at each end and at least 4' every 25' of bearing wall length to carry wall bracing as required to the foundation. See detail "A6".
- Check local codes for acceptance of details "A2", "A3", "A4" and "A6". (May not be applicable in seismic zones 3 and 4.)



CROSS SECTION OF KITCHEN AREA

**TJI® JOIST FLOOR DETAILS**

**B1** NOTE: This detail may be used for TJI® DF and TJI® DF joists. See note 7 under floor span charts.

**B2** NOTE: Web stiffeners are required for TJI® DF and TJI® DF joists. See note 7 under floor span charts.

**B3** NOTE: Blocking panels may be required for TJI® DF and TJI® DF joists. See note 7 under floor span charts.

**A4** NOTE: Must have 1 1/2" minimum joist bearing at ends.

**A5** NOTE: See detail "A6" for additional information.

**A6** NOTE: 2" dimension, allowed with 1 1/2" and 1 3/4" joist only when used with 2x4 min. "squash" blocks or 2x4 min. plywood.

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 12/2/13

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FLOOR DETAILS

PROPOSED TENANT IMPROVEMENT @ 137 N. SANTA CRUZ LOS GATOS

Date 9-20-98

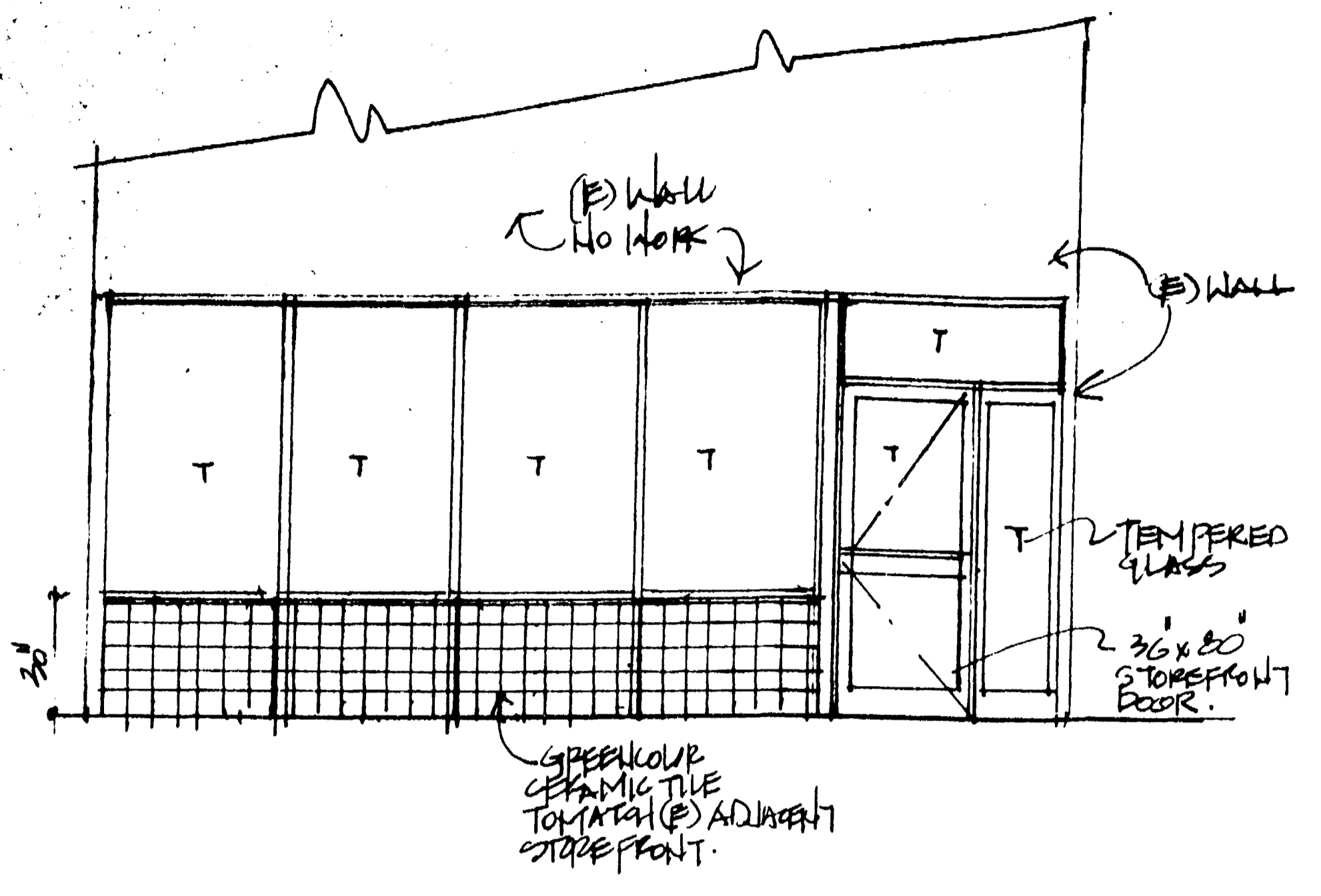
Scale

Drawn

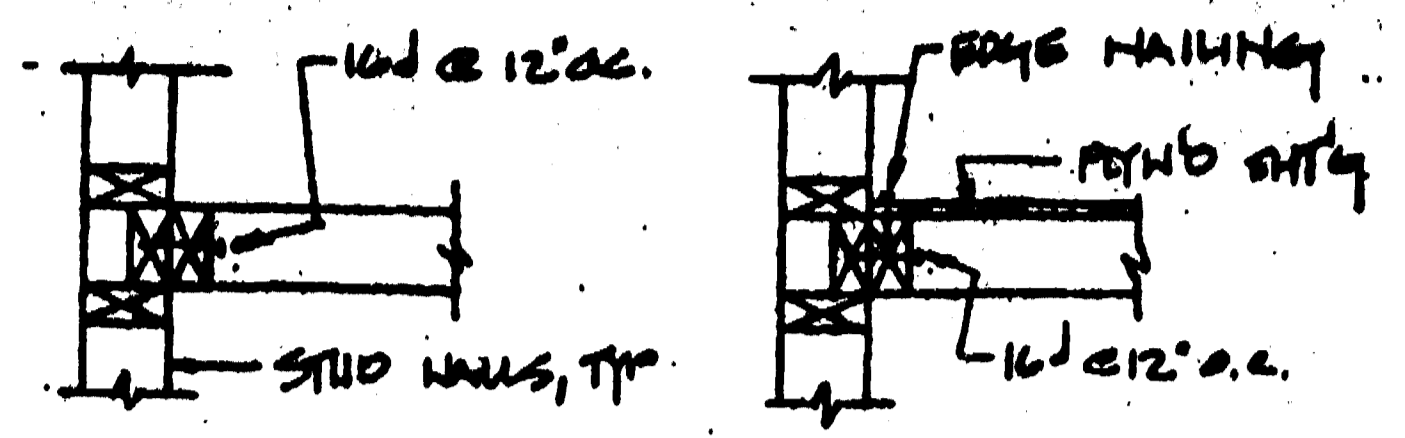
Job 9809

Sheet 4 of 4

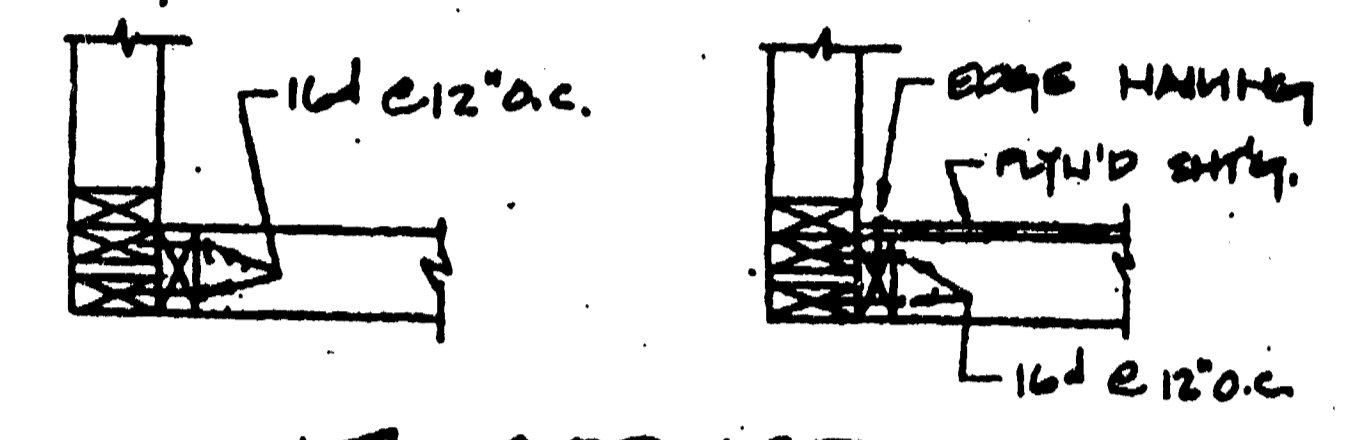




PROPOSED REPLACE STOREFRONT  
 D FRONT ELEVATION  
 H=1'-0"

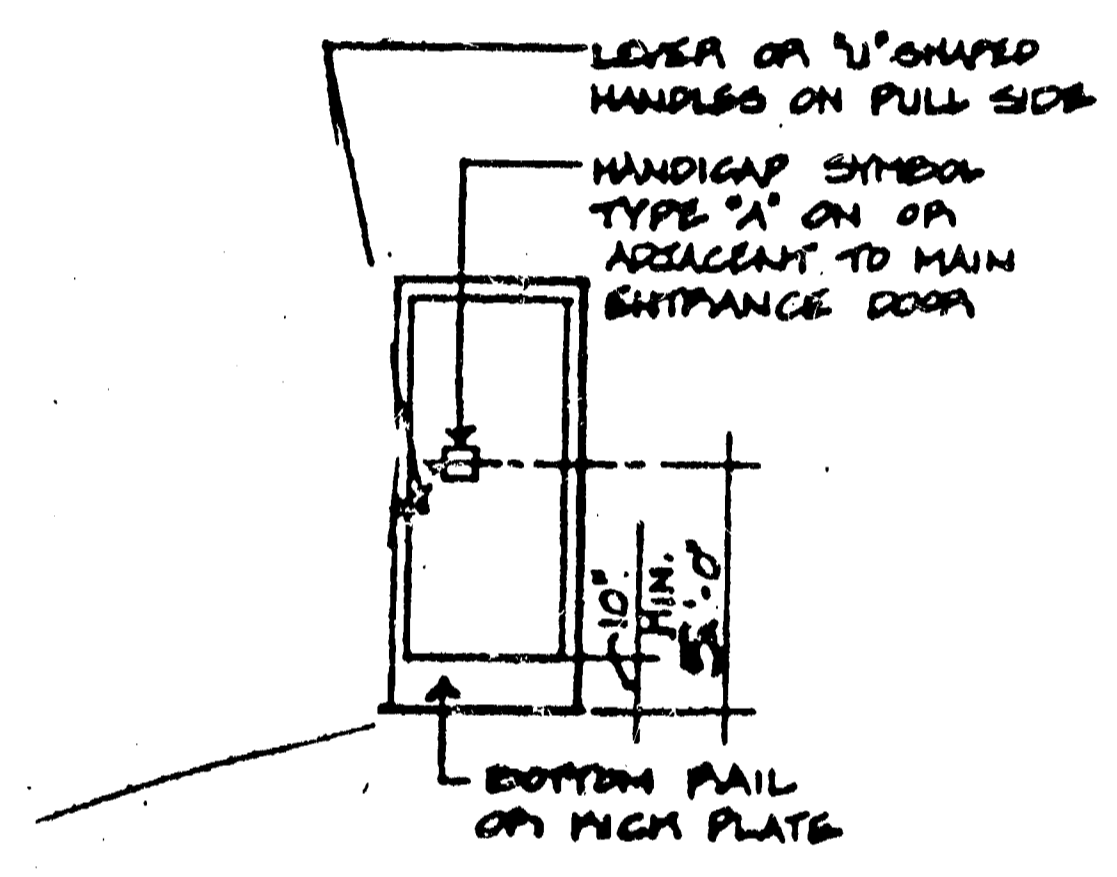


AT INTERSECTIONS

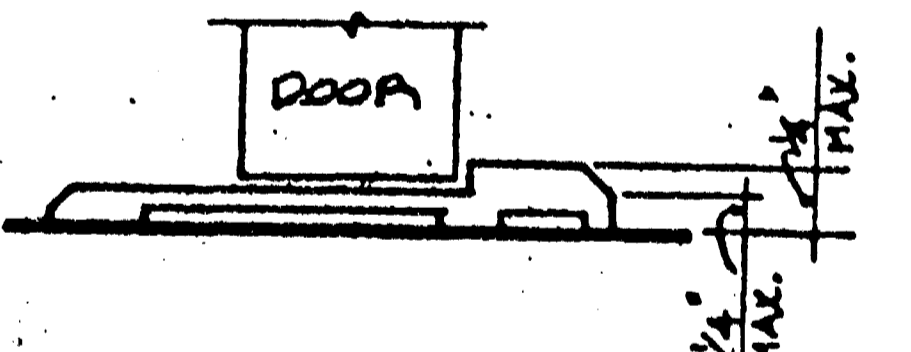


AT CORNERS

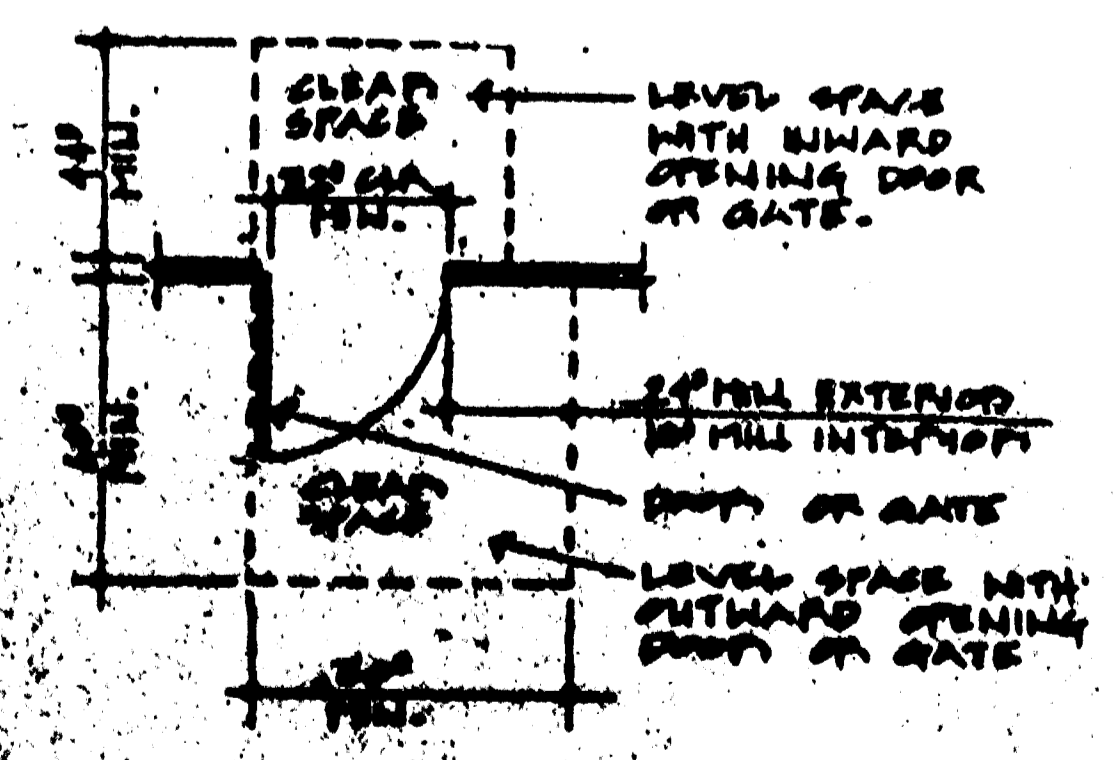
TYP. STUD WALL CONN.



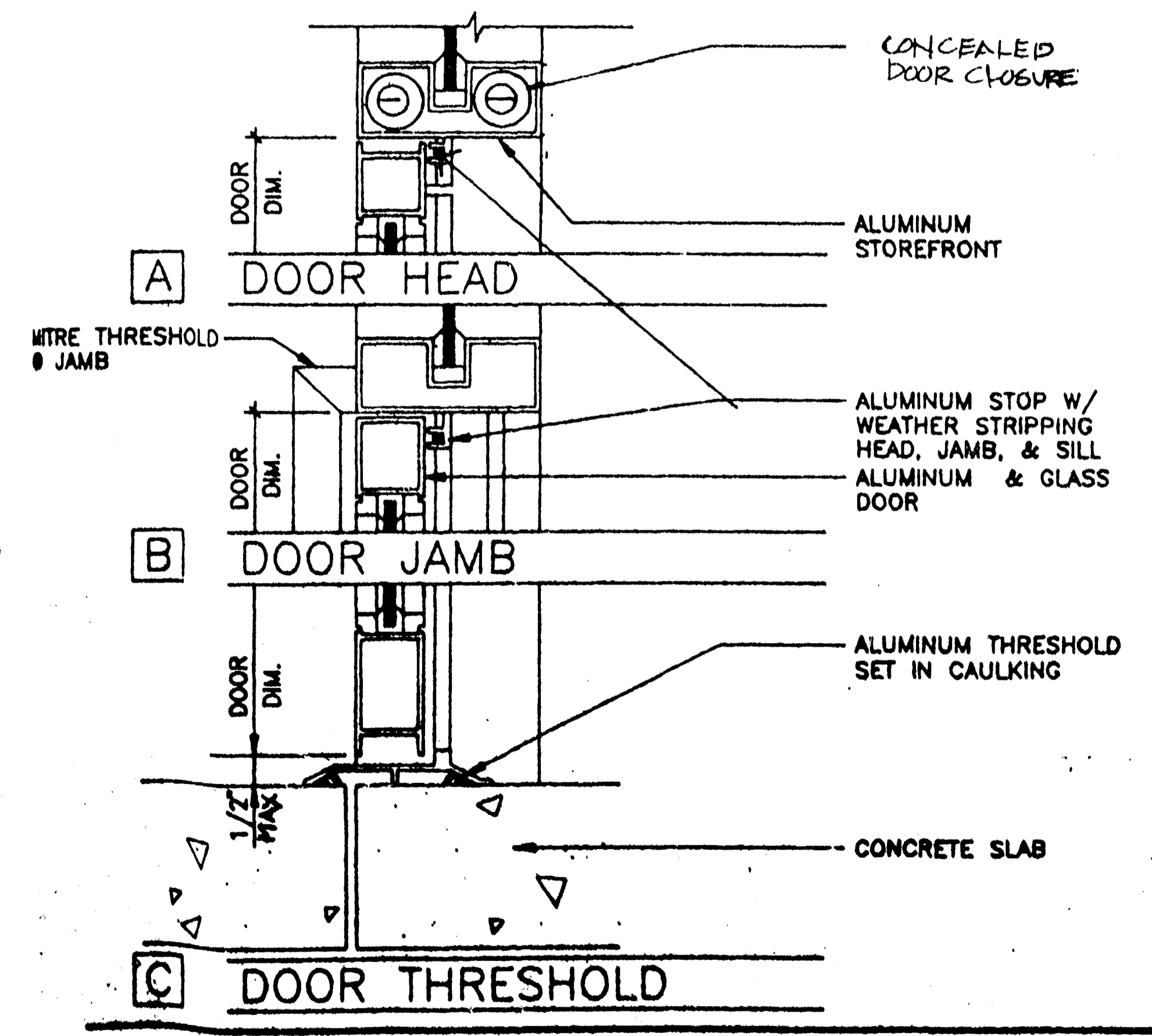
DOOR HARDWARE



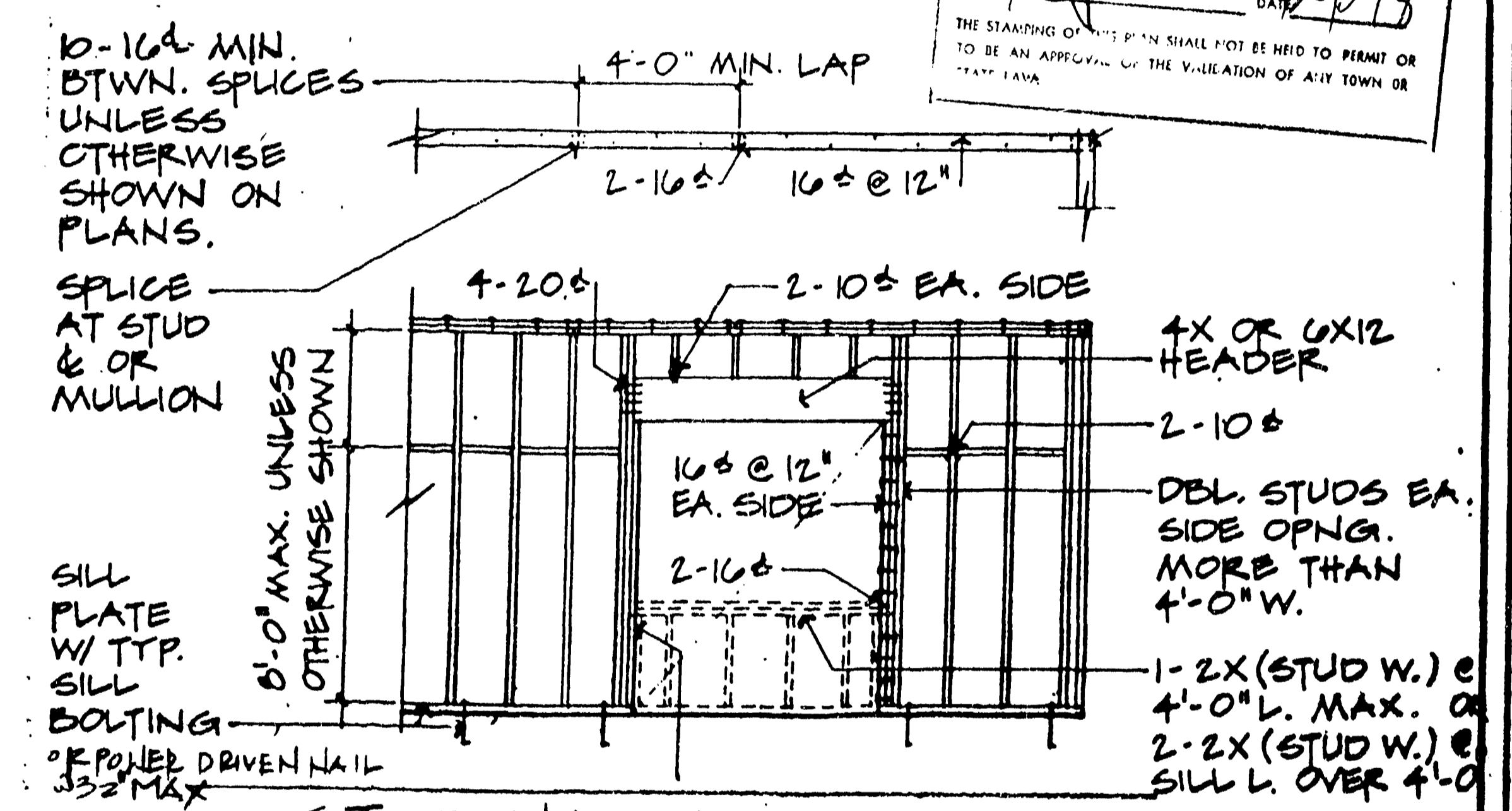
THRESHOLD



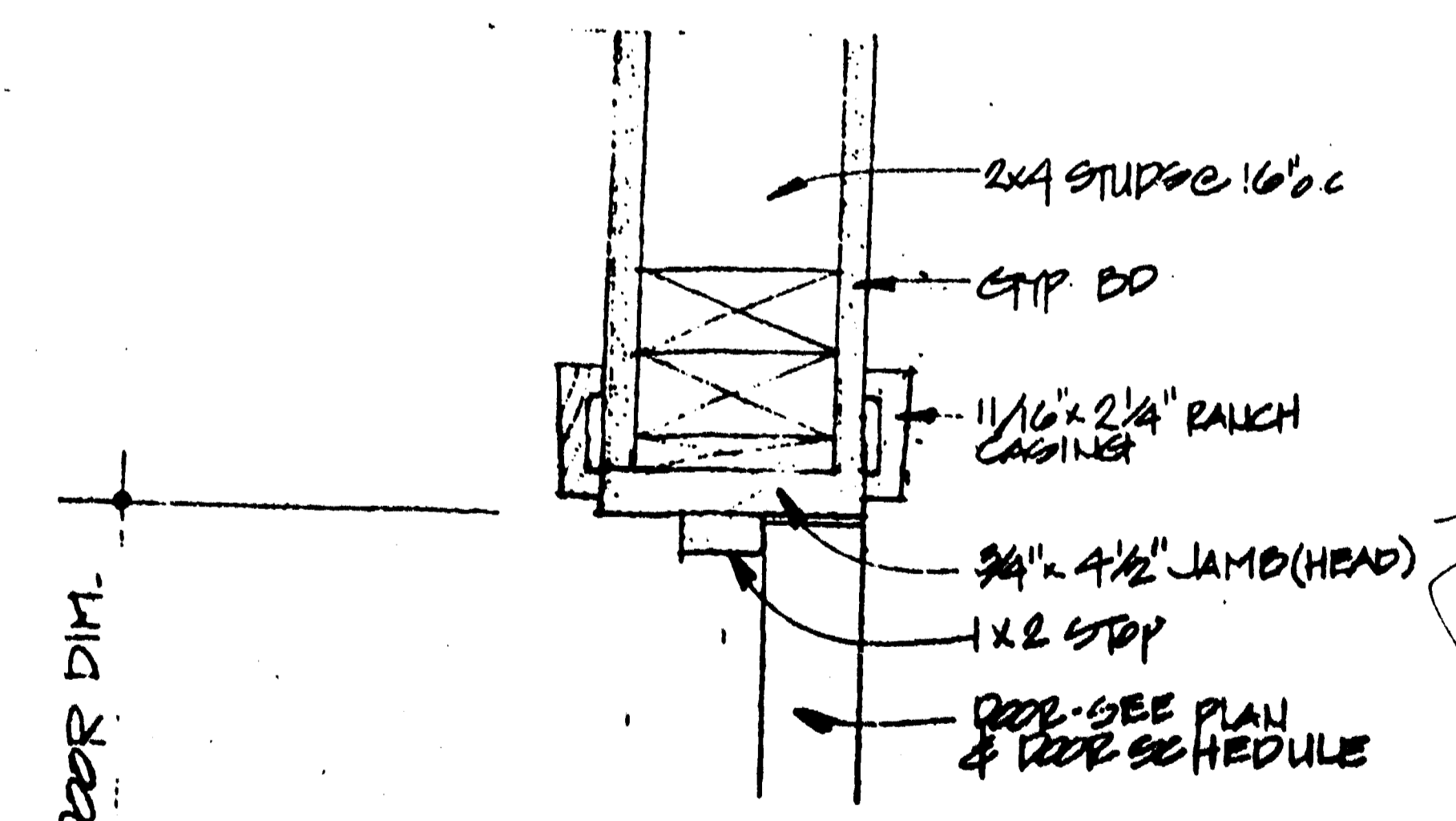
DOOR CLEARANCE



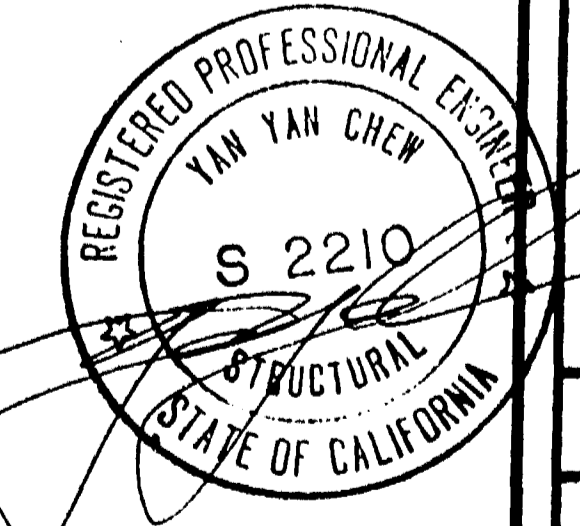
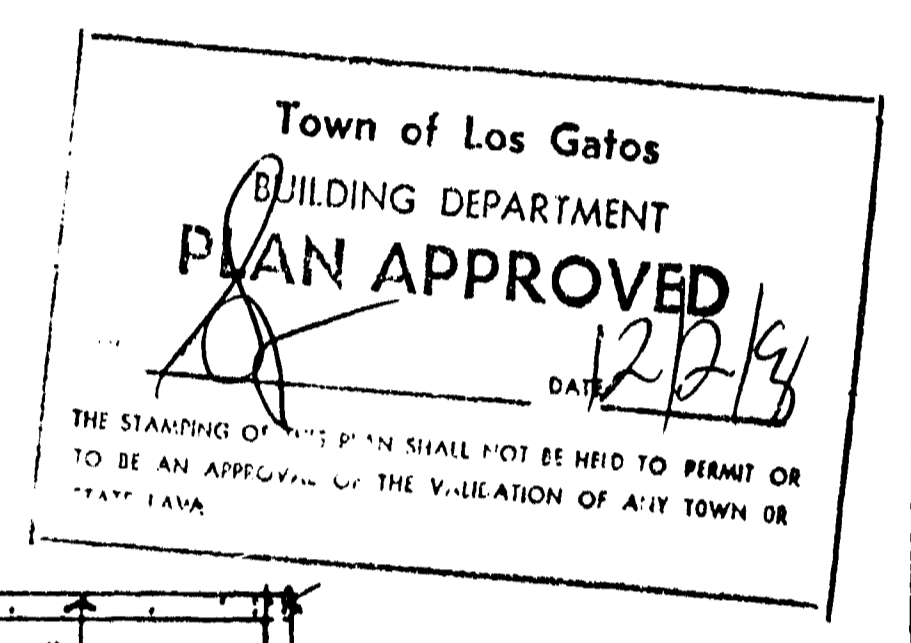
TYP. STOREFRONT ENTRY DOOR  
 SCALE: 3/4"=1'-0"



STUD WALL DETAIL



JAMB (HEAD SIM.) INTERIOR DOOR



REVISIONS	BY



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 510-536-3599

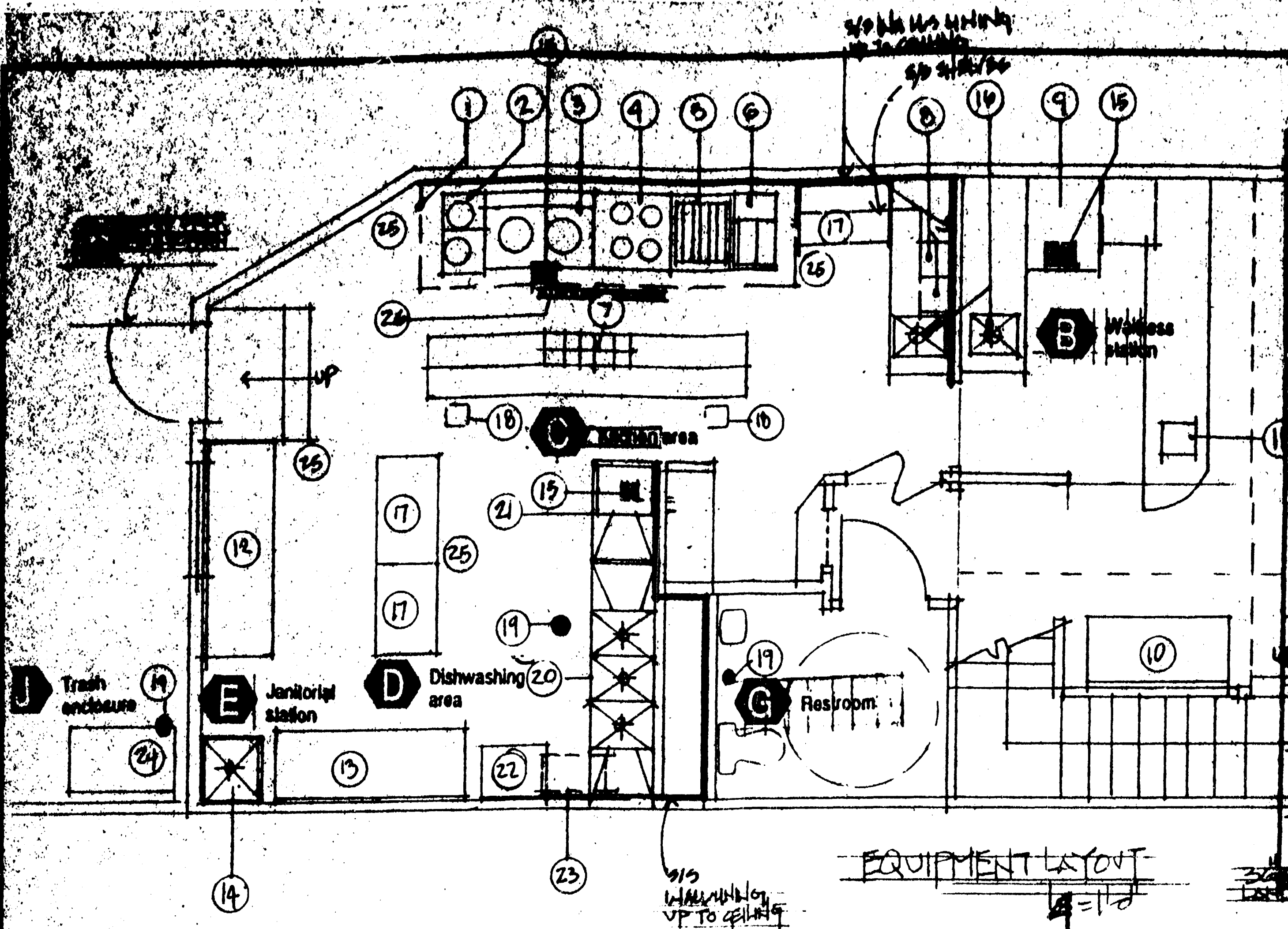
DETAILS

PROPOSED TENANT  
 IMPROVEMENT 2  
 151 N. SANTA CRUZ  
 LOS GATOS - CA

Date	9.20.98
Scale	
Drawn	
Job	1809
Sheet	5
of	



# ROOM FINISH SCHEDULE



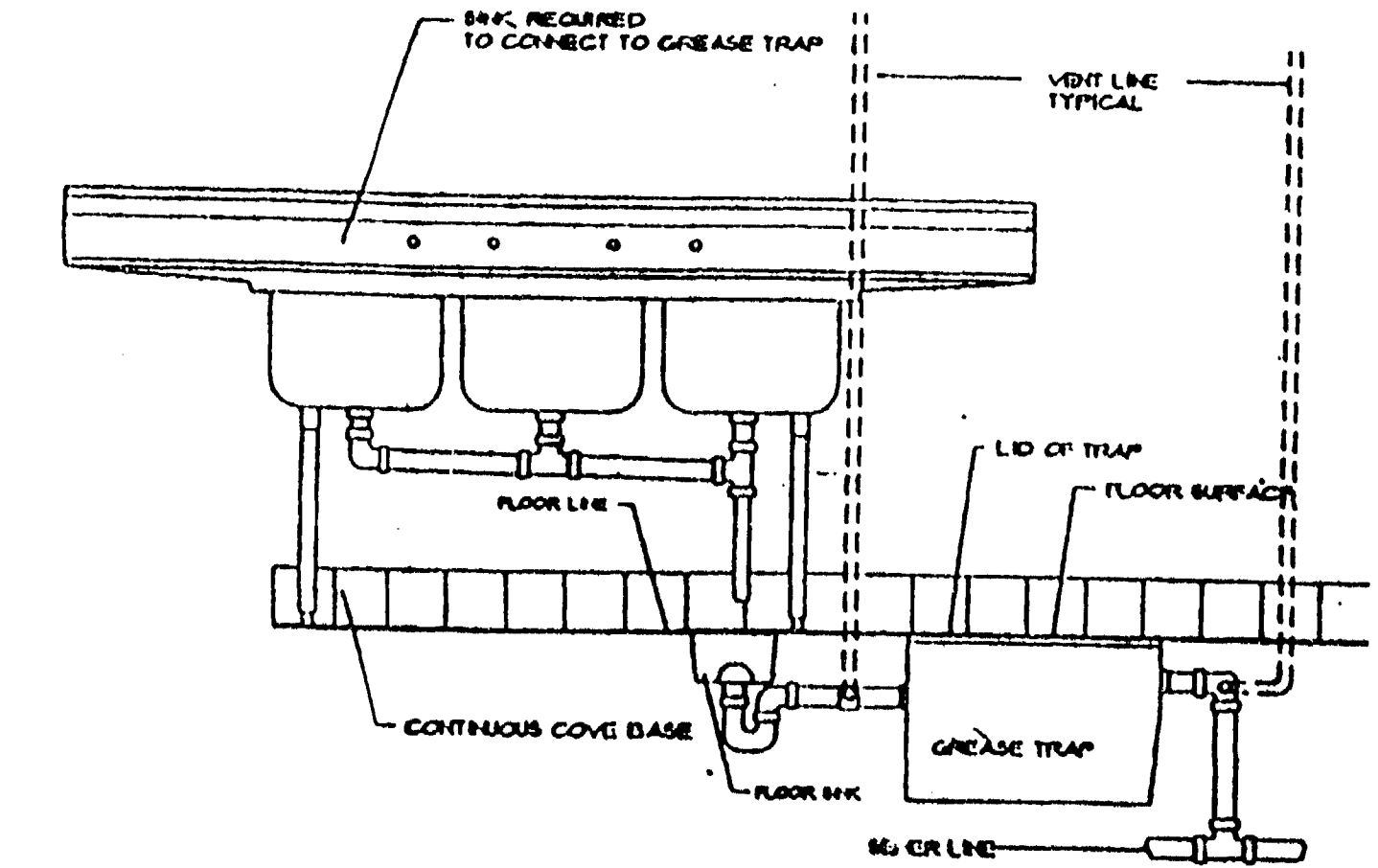
ROOM or AREA	FLOOR	FLOOR BASE or COVE	WALLS	CEILING	REMARKS
Dining area	HARDWOOD FLOOR	RUBBER BASE 6" HIGH	5/8" TYP. x 4 1/2" OD RUSTLE BRICKS PAINT	3/8" 90° RD TYP. WHITE PAINT	
Waitress station	CERAMIC TILE W/ EPOXY GROUT	CERAMIC BASE W/ 3/8" CURB			
Kitchen area	QUARTZ TILE / RED W/ EPOXY GROUT	QUARTZ BASE W/ 3/8" CURB			
Dishwashing area					3/8" PANEL LINING BEHIND SINK
Janitorial station					
Employee locker room	COMMERCIAL SHEET VINYL	RUBBER BASE 6" HIGH			TARGET SAFETY HEAT WELDING REQUIRED
Restroom	CERAMIC TILE	TILE BASE W/ 3/8" CURB			48" HIGH WAINSCOT. W/ EPOXY CERAMIC TILE
Storeroom	COMMERCIAL SHEET VINYL	RUBBER BASE			TARGET SAFETY HEAT
Office	CARPET				
Trash enclosure	CEMENT SEAL	EPOXY PAINT SEALER	CEMENT PLASTER		

REVISIONS	BY

## EQUIPMENT CHECKLIST

ITEM	MANUFACTURER	MODEL NUMBER
1. 8'x8' HOOD	SHEETMETAL CO.	
2. STOCK POT	IMPERIAL	15PA-1B
3. CHINESE WOK	IMPERIAL	1CRA-2
4. STOVE		1R-4
5. BROILER		EBA-222B
6. FRYER	WOLF	FS-WTF-42
7. COOLER TABLE	SHEETMETAL CO.	
8. MICROWAVE OVEN	PANASONIC	NE-6065
9. ICEMAKER	PEPSI/AMNITOC	ER-0400A
10. BEVERAGE REFRIGERATOR	BEVERAGE AIR	MT-46
11. GRIDDLE	LASINO/ROYAL	460NX
12. FRENCH IN REF.	SUPERIOR/VUEVA	RS-30-AT
13. FRENCH IN FREEZER	TRUE	T12E
14. HOT SINK	MORSTONE	MSR-3484
15. FLOOR SINK	ZURN	18" x 18" ZS1002
16. HAND SINK	ADVANCE	TPS-60
17. WRESTLING TABLE	IMPERIAL	8 TB SC 90
18. WRESTLING MOUNTAIN		
19. FLOOR DRAIN	ZURN	
20. 3 COMP SINK	LAMBERTON	SNLPT-2010
21. 2 COMP SINK		NSP 17ED13
22. 10 DISHWASHERS		
23. 2 COMP TUB	ZURN	
24. 2 COMP CONTAINER (DRAINAGE) BY CITY		
25. 2 COMP CONTAINER		

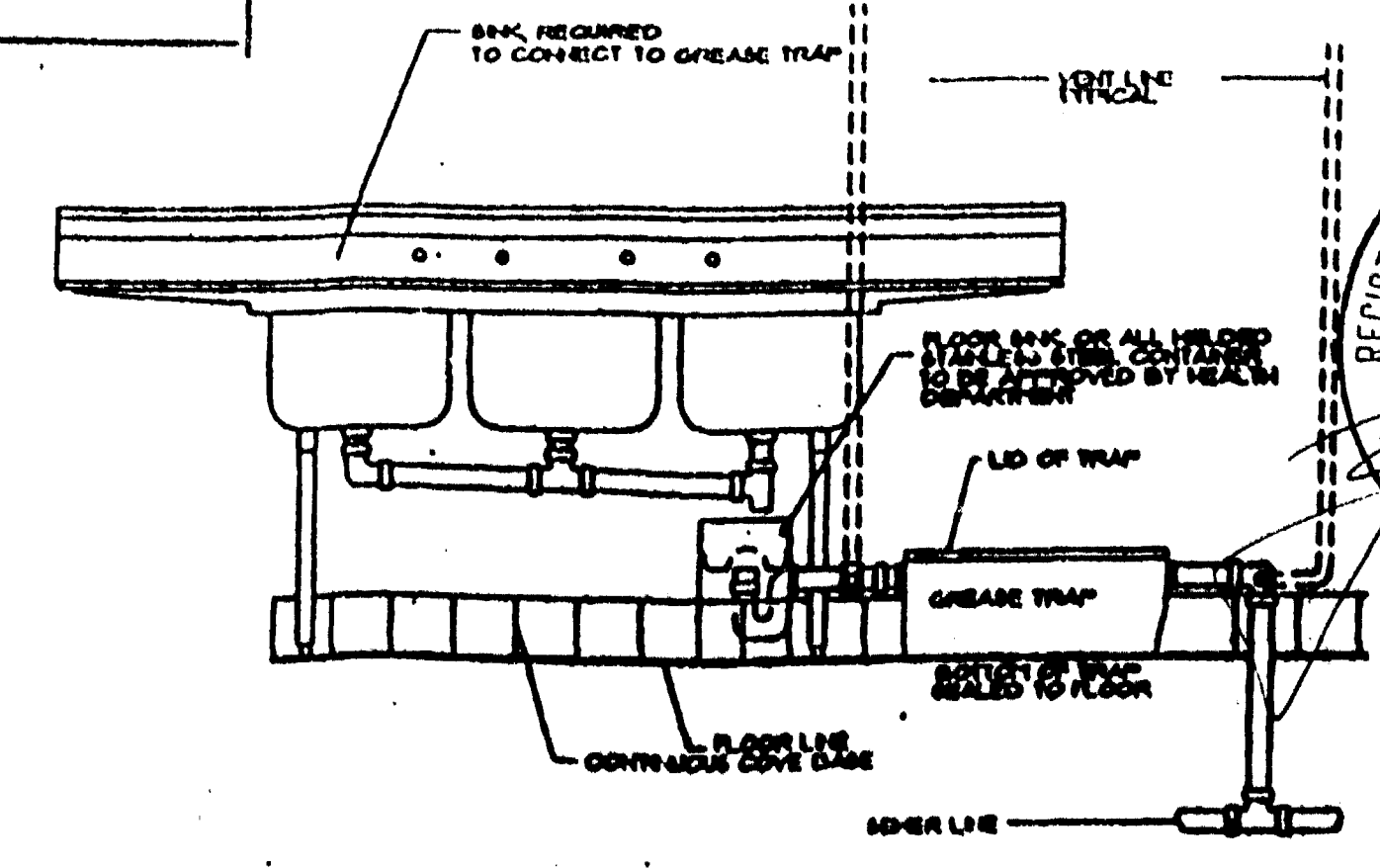
EQUIPMENT LAYOUT



GREASE TRAP INSTALLED BELOW FLOOR SURFACE  
NOT TO SCALE

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE: 2/2/95

NOTE: ALL PIPES MUST BE MINIMUM 6 INCHES OFF THE FLOOR. IF GREASE TRAP UNIT IS LOCATED ABOVE THE FLOOR THEN THE UNIT MUST BE 6 INCHES MINIMUM AWAY FROM ALL WALLS.  
GREASE TRAPS ARE REQUESTED BY THE LOCAL BUILDING DEPARTMENT OR SHERIFF DISTRICT. CHECK WITH THESE AGENCIES TO DETERMINE IF A GREASE TRAP IS NECESSARY AND TO THEIR SIZE REQUIREMENTS.



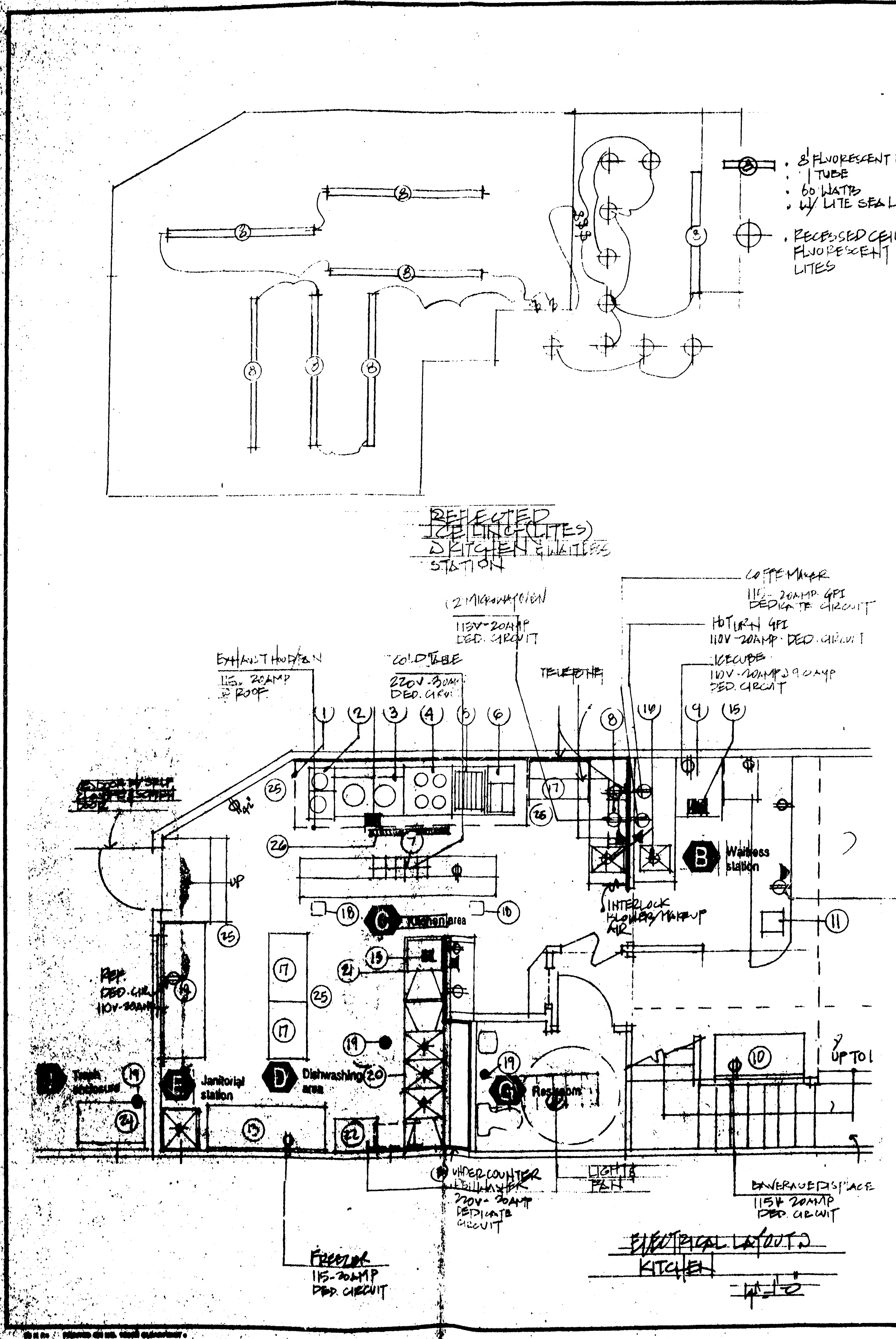
GREASE TRAP INSTALLED ABOVE FLOOR SURFACE  
NOT TO SCALE

REGISTERED PROFESSIONAL ENGINEER  
YAN YAN CHEW  
S 2210  
STRUCTURAL  
STATE OF CALIFORNIA

ROOM/EQUIP SCHEDULE  
PROPOSED TENANT IMPROVEMENT 157 N. SANTA CECILIA LOS GATOS, CA  
Date: 9.20.95  
Scale:  
Draw:  
Job: 9809  
Sheet: 6  
Of: 6

2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-534-3588





**ELECTRICAL NOTES**

1. THE ELECTRICAL REQUIREMENTS AND CONNECTIONS SHOWN ON THIS PLAN ARE FOR FOOD SERVICE EQUIPMENT.
2. ELECTRICAL ROUGH-IN WORK AND FINAL CONNECTIONS TO ALL FOOD SERVICE EQUIPMENT AND FIXTURES AS SHOWN ON THIS PLAN SHALL BE BY THE ELECTRICAL CONTRACTOR.
3. ACCESS AREAS AND CUT-INS AT JOBSITE SHALL BE PROVIDED BY EQUIPMENT FABRICATOR AS REQUIRED FOR INSTALLATION OF ELECTRICAL OUTLETS, JUNCTION BOX(S), HOME RUN(S)?, ETC. ELECTRICAL CONTRACTOR TO PROVIDE AND INSTALL EXTENSION SHIELDS AS REQUIRED.
4. REFRIGERATION AUTOMATIC DEFROST SYSTEM FOR WALK IN FREEZER(S) ELECTRICAL CONTRACTOR TO PROVIDE FOUR (4) WIRE COLOR CODED SERVICE FROM FREEZER COMPRESSOR AND TIME CLOCK TO FREEZER BLOWER COIL IN FIXTURE.
5. ELECTRICAL CONTRACTOR TO CONNECT ALL COMPRESSORS AND PROVIDE DISCONNECTS, MAGNETIC STARTERS AND THERMO-OVERLOAD PROTECTION WHERE REQUIRED.
6. THE ELECTRICAL PLAN INDICATES ROUGH-IN LOCATION, POINT OF CONNECTION TO FIXTURE AND TYPE OF CONNECTION ONLY. ELECTRICAL CONTRACTOR TO PROVIDE CIRCUITS AND CONDUIT RUNS AS REQUIRED BY CODE.
7. PLANS ARE FURNISHED FOR THE PURPOSE OF SHOWING LOCATION OF EQUIPMENT, OUTLETS, TYPES OF CONNECTION AND ELECTRICAL LOAD REQUIRED.
8. VAPOR PROOF LIGHTS FOR EXHAUST HOOD(S), COMPLETE WITH PULL-BOXES AND CONDUIT, SHALL ALL BE SUPPLIED BY ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL WIRING AND HOOK-UP TO WALL MOUNTED SWITCH WITH PILOT LIGHT LOCATED AS PER PLAN.
9. VAPOR PROOF LIGHTS FOR WALK-IN COOLER AND WALK-IN FREEZER COMPLETE WITH SWITCH AND PILOT LOCATED INSIDE WALK-IN(S) AND OUTSIDE, SHALL BE FURNISHED BY B.R.D. UNLESS OTHERWISE INDICATED.
10. ELECTRICAL MATERIALS INCLUDING WIRING, FITTING AND CONDUIT, SWITCHES, DISCONNECTS, MAGNETIC STARTERS, THERMO-OVERLOAD PROTECTION, ELECTRICAL PANELS, CORDS AND PLUGS, ETC. SHALL BE SUPPLIED BY THE ELECTRICAL CONTRACTOR, UNLESS OTHERWISE SPECIFIED.
11. ALL DIMENSIONS SHOWN ON PLAN ARE MEASURED FROM FINISHED WALLS, FLOORS, CEILINGS, AND/OR CENTER LINES OF COLUMNS TO CENTER LINES OR OUTLETS AND PULL-BOXES. THE GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL MAKE ALLOWANCES FOR FINISHES WHEN ROUGH-IN THE REQUIREMENTS.
12. ELECTRICAL CONTRACTOR TO PROVIDE POWER ON ROOF AND CONNECT EXHAUST FANS AS DIRECTED BY VENTILATION CONTRACTOR. DISCONNECT SWITCHES TO BE MOUNTED CONVENIENT TO HOODS.

REVISIONS	BY



2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-536-5599

ELECTRICAL PLAN

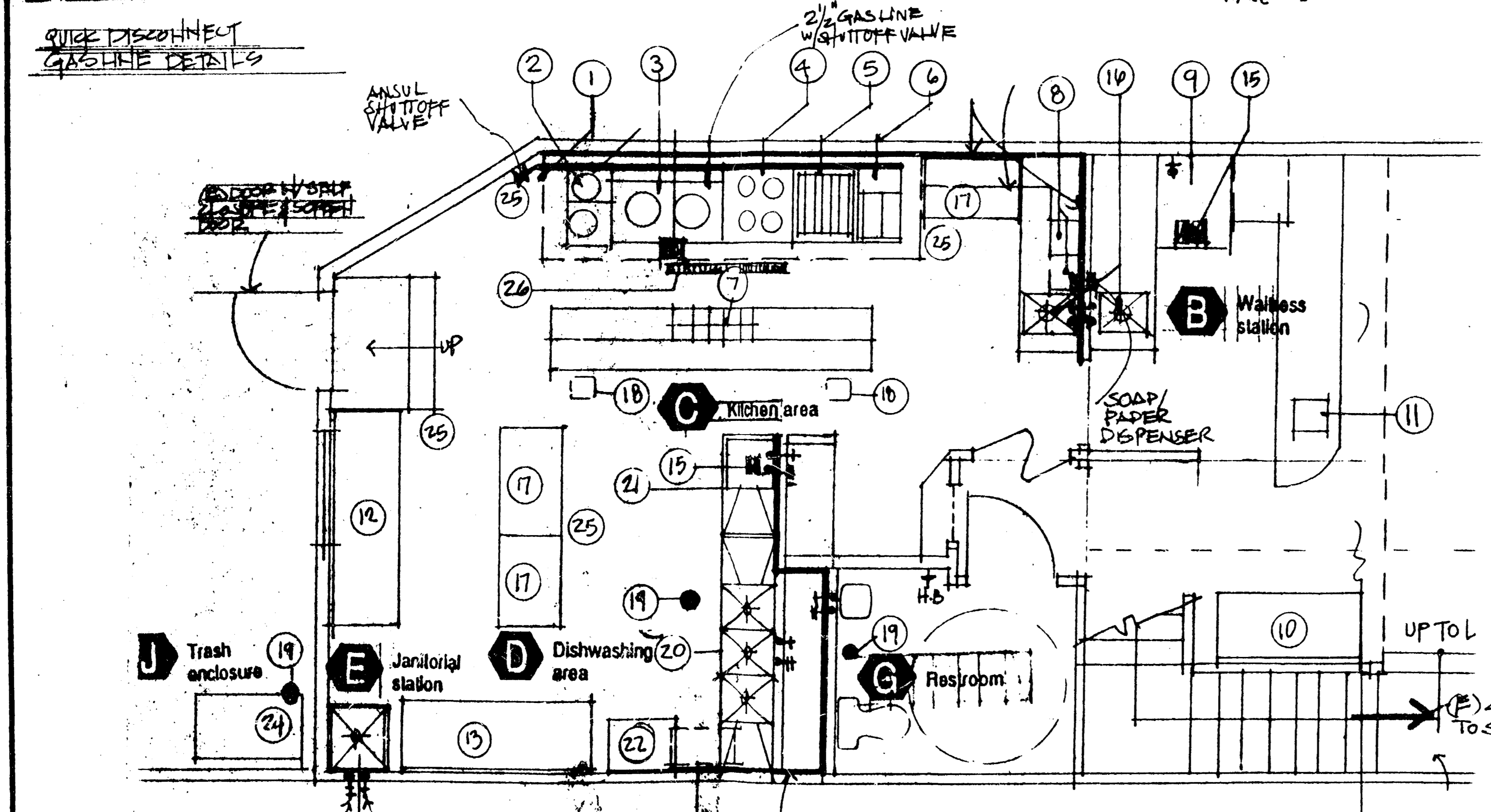
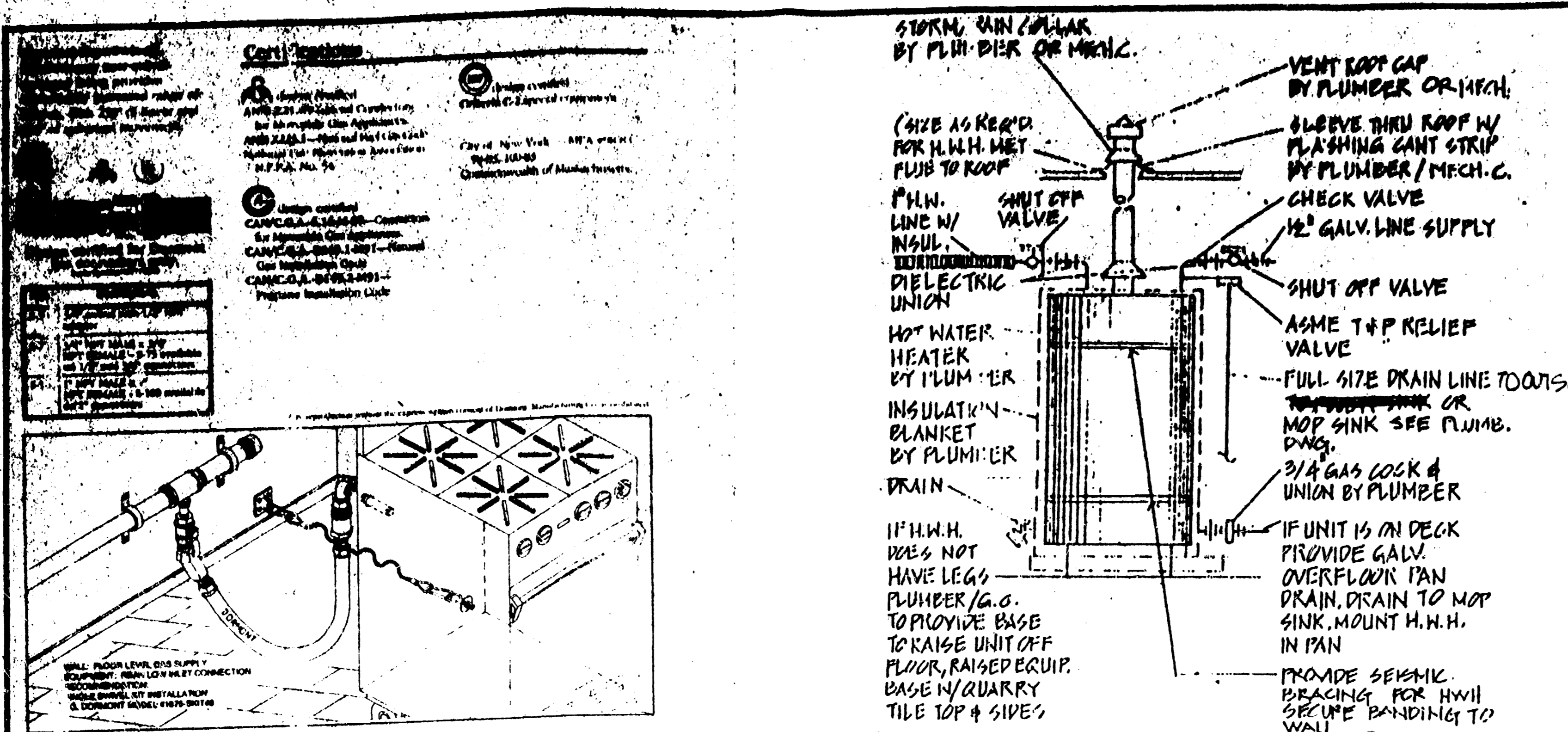
PROPOSED TENANT IMPROVEMENT TO 1371 N. SANTA CRUZ LOS GATOS, CA FOR MR. MONTENEGRO

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**  
DATE 12/2/13  
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OR THE VALIDATION OF ANY TOWN OR STATE LAW.



Date	9.20.13
Scale	
Drawn	
Job	9809
Sheet	7
Of	8 Sheets





**PLUMBING FIXTURE SCHEDULE**

DESCRIPTION	PIPE SIZE (INCHES)			REMARKS
	W.	H.W.	GAS	
16 HAND SINK	1/2	1/2	2"	1 1/2"
19 FLOOR DRAIN			2"	1 1/2"
WATER CLOSET W/ FLUSH TANK	1/2		3"	1 1/2"
LAVATORY	1/2	1/2	1 1/2"	1 1/2"
17 3/8 WORKING TABLE				1/4" x 3/8" N.S.F.
15 FLOOR SINK			2"	1 1/2"
21 FOOD PREPARATION SINK/HAND SINK	1/2	1/2	1 1/2"	1 1/2"
20 THREE COMPARTMENT SINK	1/2	1/2	2\"/>	
WATER HEATER			3/4\"/>	
12 (E) REFR.				
13 (E) FREEZER				
20 FLOOR DRAIN			2"	1 1/2"
9 ICE MACHINE W/ SOUP DISPENSER	1/2		3/8"	
FIRE PROTECTION CONTROL CABINET	1			
3 CHINESE GAS RANGE W/ WATER COOLED TOP	1/2		BY H.W. DRAIN FLOOR	UPR. 0 SINK 4 1/2"
6 GAS DEEP Fryer				4 1/2"
4 GAS RANGE W/ OVEN				2 1/2"
5 GAS FIRED DROILER				2 1/2"
14 MOP SINK			2"	1 1/2"
GREASE TRAP			BY MAN. SPEC.	75 GPM @ 25 GPM
2 Cook POT				2 1/2"

**GREASE TRAP**

3 COMP SINK: 10' x 24' x 12' = 288 GAL. W.C.  
 5184 x 3 = 15552 cu. in  
 15552 = 679 GAL.  
 231  
 679 GAL @ 75% = 509 GAL.  
 REQ: 509 GAL.  
 PROV: 759 GAL @ 25 GPM

**WATER LINE**

**HOT WATER WORKSHEET**

MOP SINK	4		
3 COMP SINK	4		
HAND SINK	2		
PREP SINK	2		
TOILET	5		
LAV.	2		
DISHWASHER	4		
SINK (WASH/VP)	4		

UTENSIL SINK 3 @ 2.5 = 7.5  
 HAND SINK + LAV 2 @ 5 = 10  
 PREP SINK 1 @ 10 = 10  
 MOP SINK 1 @ 10 = 10  
 PRE WASH SPRAYER 1 @ 2.5 = 4.5

150 x .6 = 90 GPH  
 90 x 75% = 67.5 GPH  
 67 x 60 = 4020 BTU PER HOUR  
 7500 BTU PROVIDE OK

**PLUMBING PLAN APPROVED**

Town of Los Gatos  
 BUILDING DEPARTMENT  
 DATE: 12/2/19

**GAS LINE SIZE**

2 POT @ 90,000 BTU x 2 =	180,000 BTU
1 CHINESE WOK @ 350,000	350,000 BTU
24 STOVE 107,000	107,000 BTU
1 BROWER 70,000	70,000 BTU
1 DEEP FRYER 120,000	120,000 BTU
1 WATER HEATER 74,500	74,500 BTU
<b>TOTAL</b>	<b>881,500 BTU</b>

LENGTH 100'

**GAS SIZE REQUIRED** 2"  $\phi$   
**PROVIDE** 2 1/2"  $\phi$  OK

NOTE: A TRAP PRIMER SHALL BE PROVIDED AT ALL FLOOR DRAINS & MOP SINK

REVISIONS

	BY

2617 EAST 14TH STREET • ORLAND • CA 94601  
 510-536-3599

PLUMBING PLAN

PROJECT TEAM  
 IMPROVEMENTS  
 JSTN. SANTICRUZ  
 LOS GATOS, CA  
 FOR MR/MRS HONGKUNGO

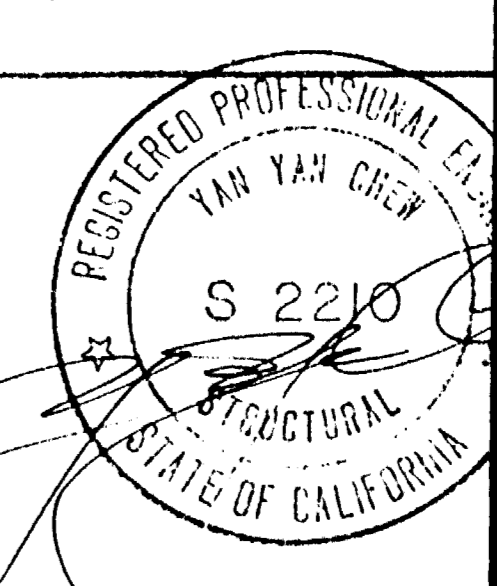
Date 9.20.19

Scale

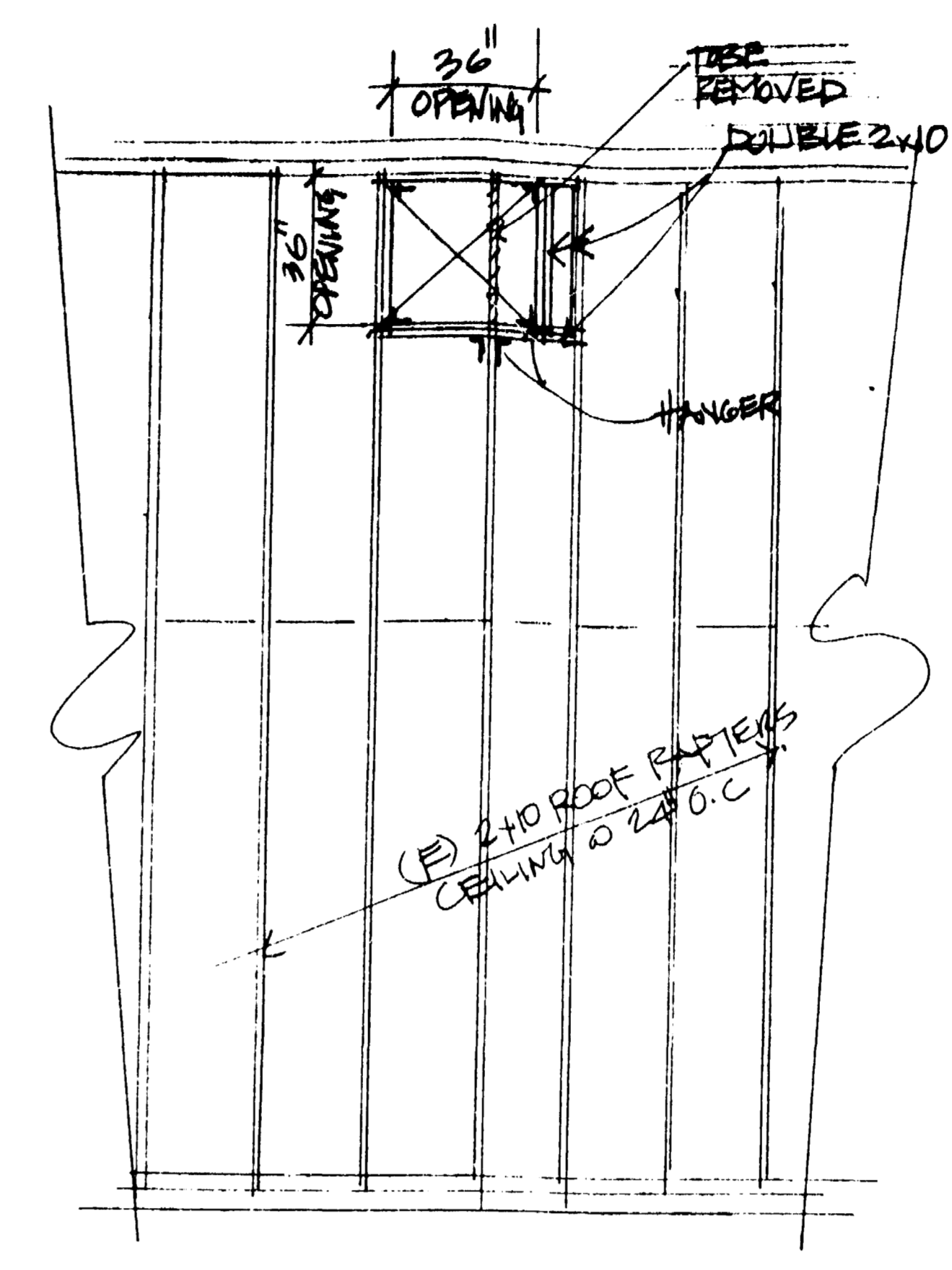
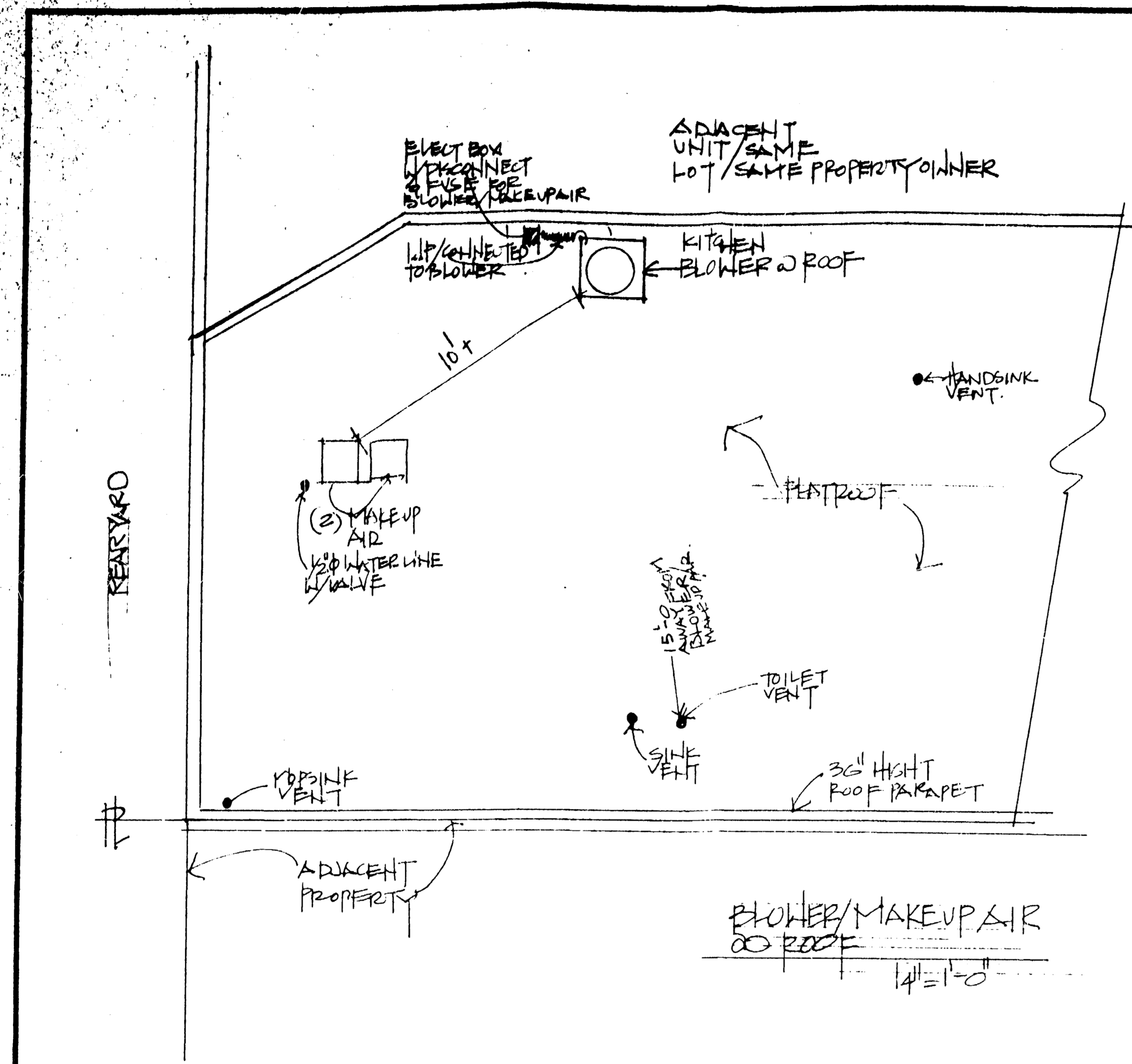
Drawn

Job 9809

Sheet 3 of 3

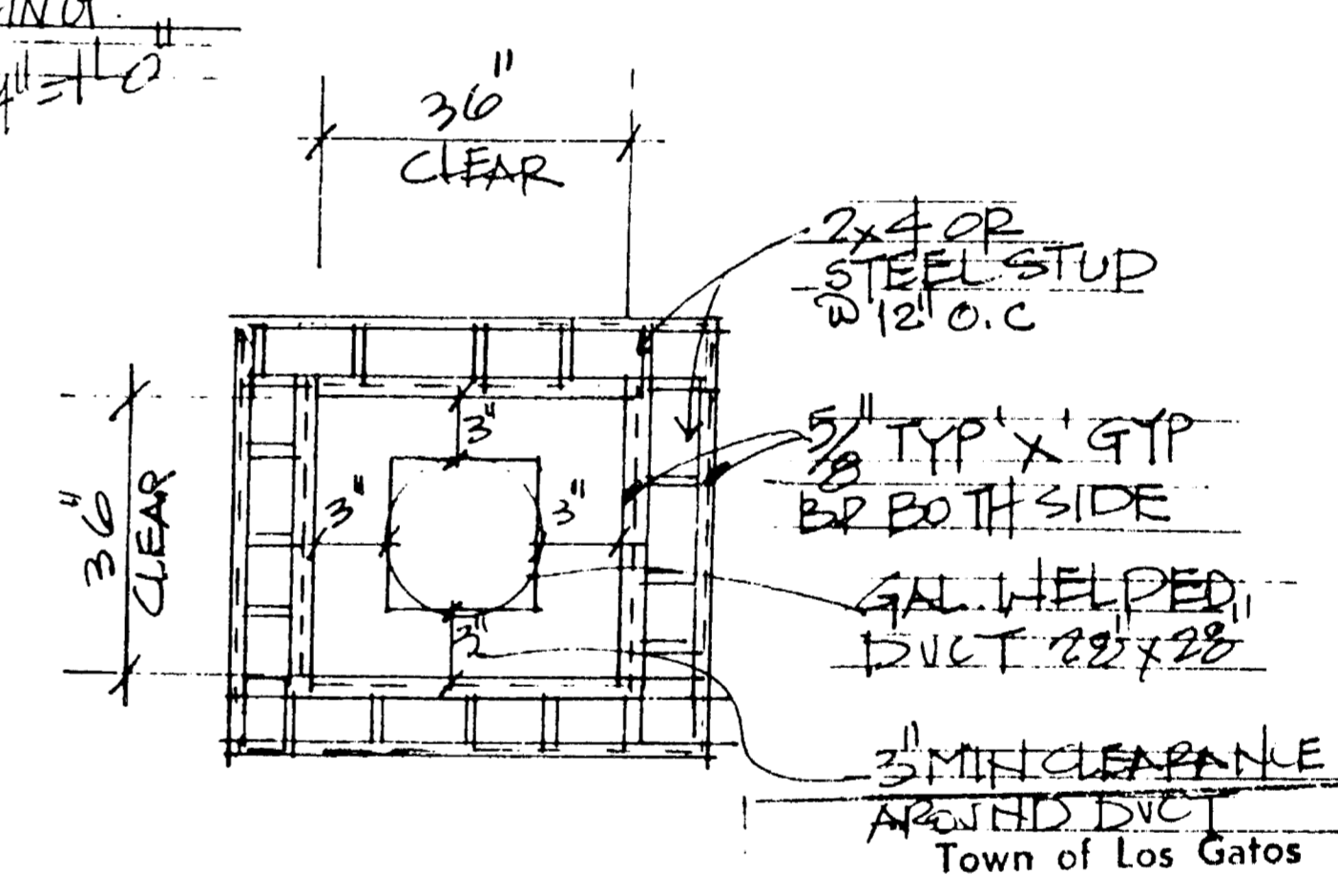
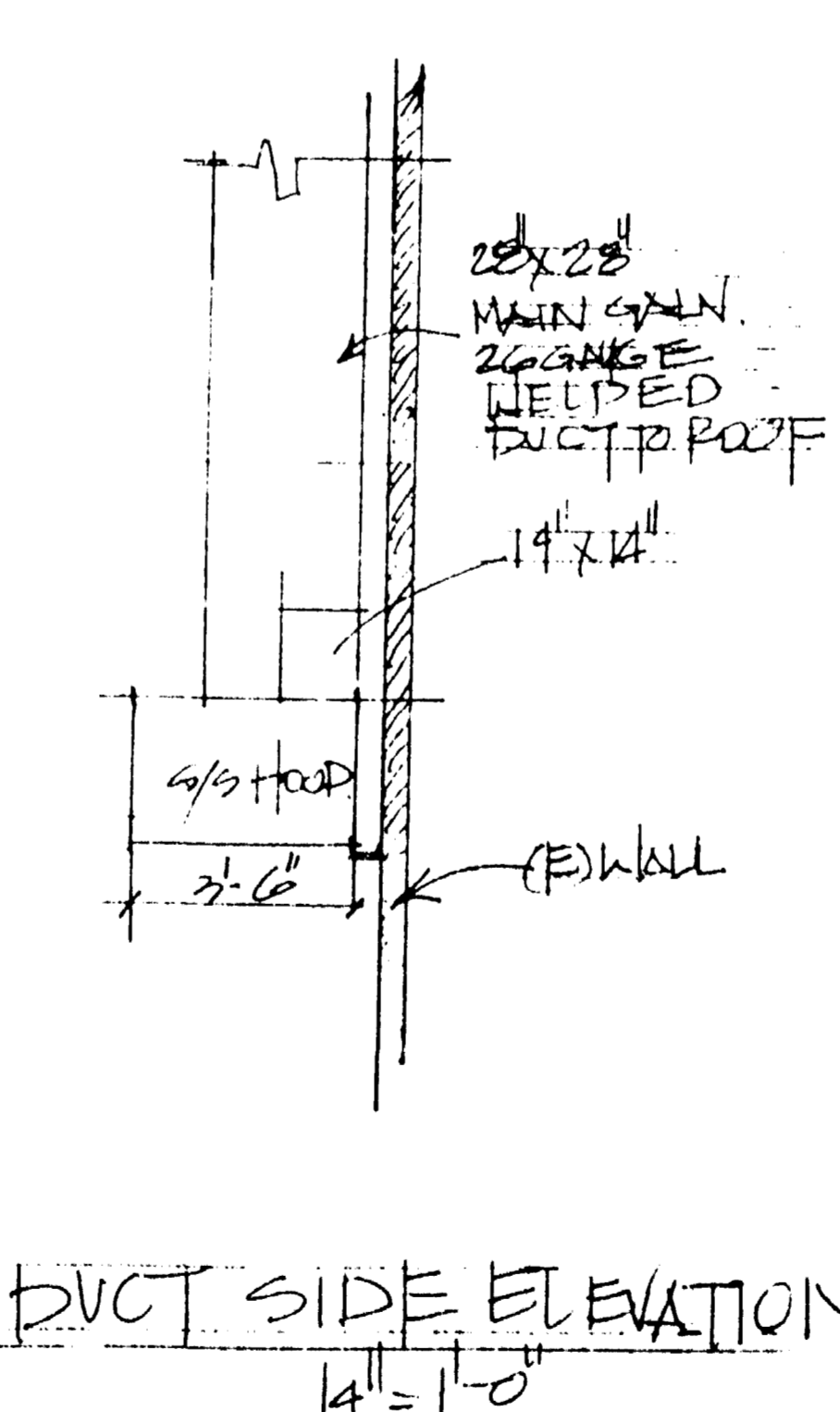
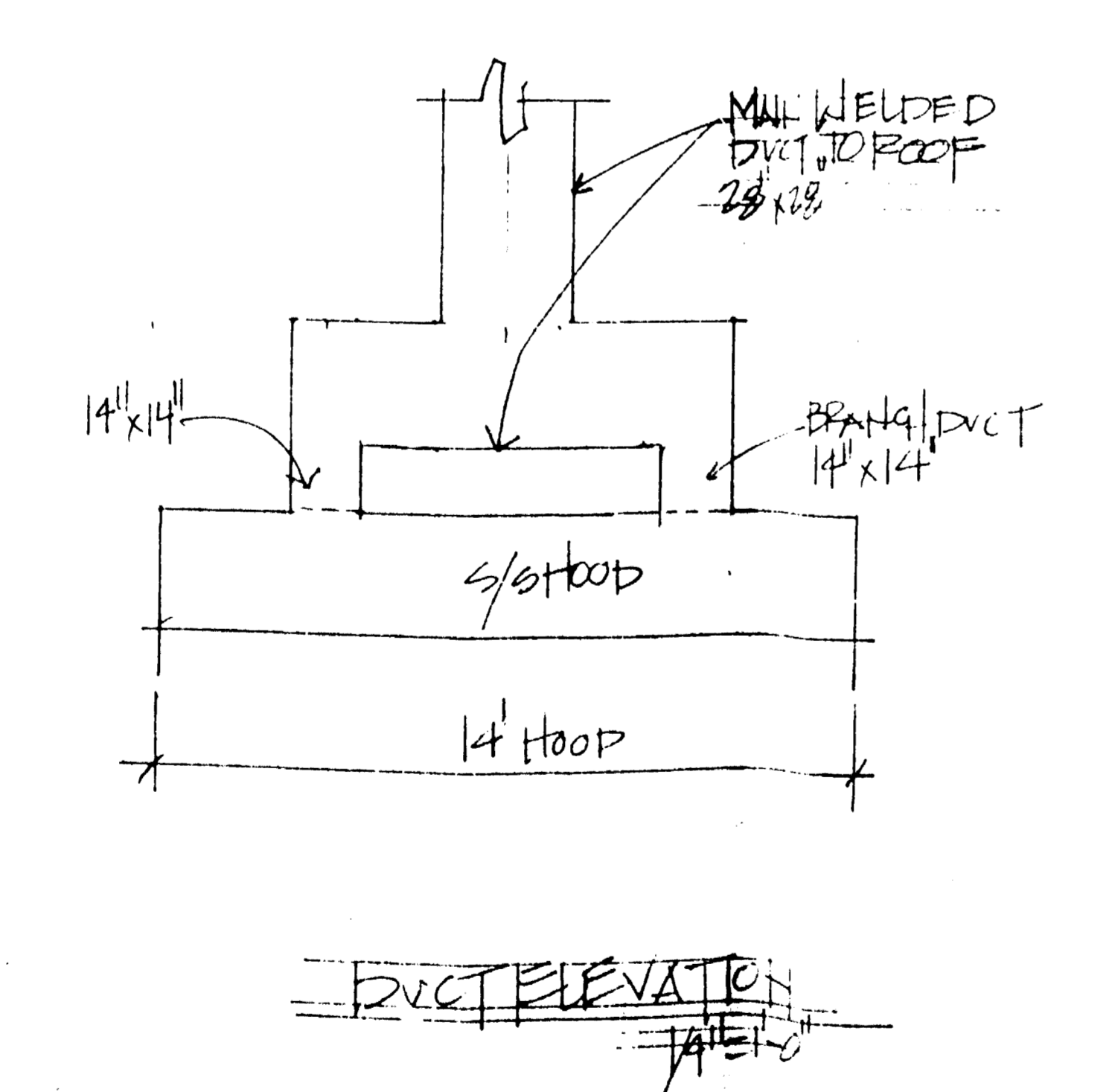






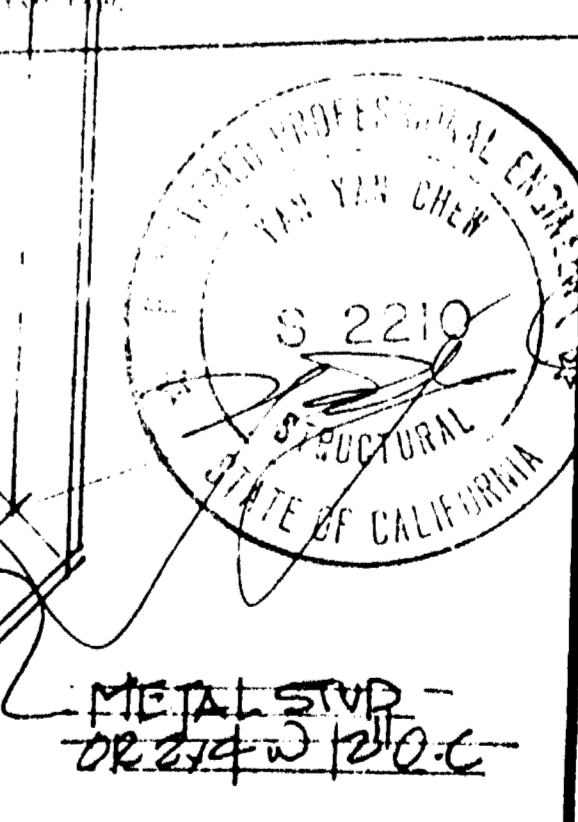
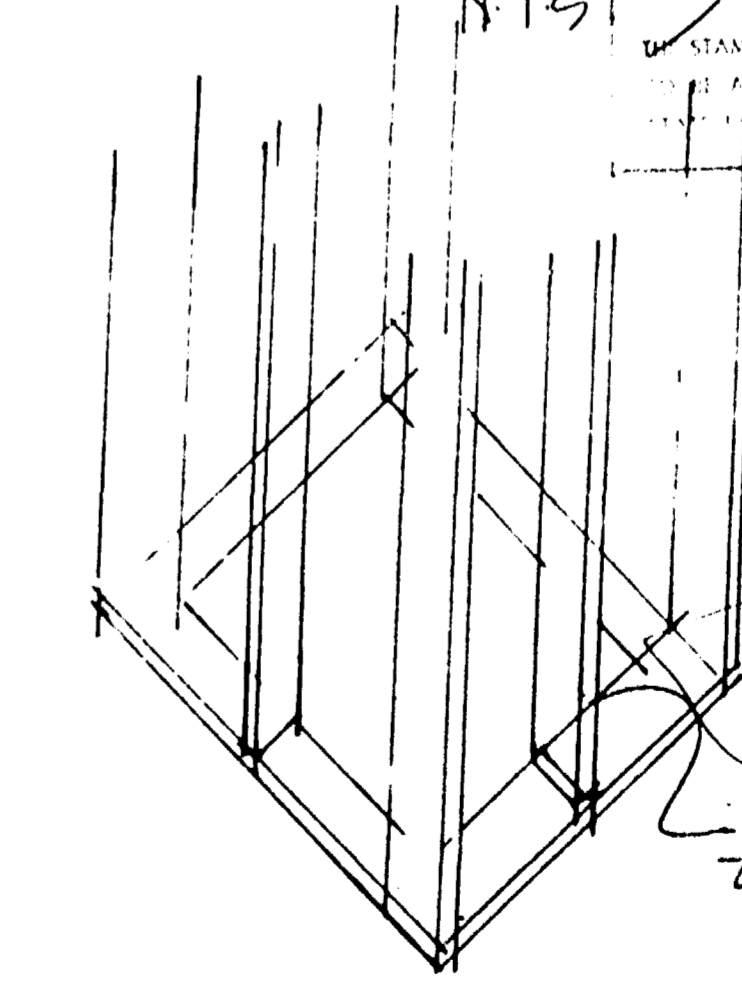
OPENING FOR  
DUCT CHASE ON  
ROOF/CEILING

1/4" = 1'-0"



DUCT CHASE  
FLOOR PLAN

NTS



REVISIONS	BY

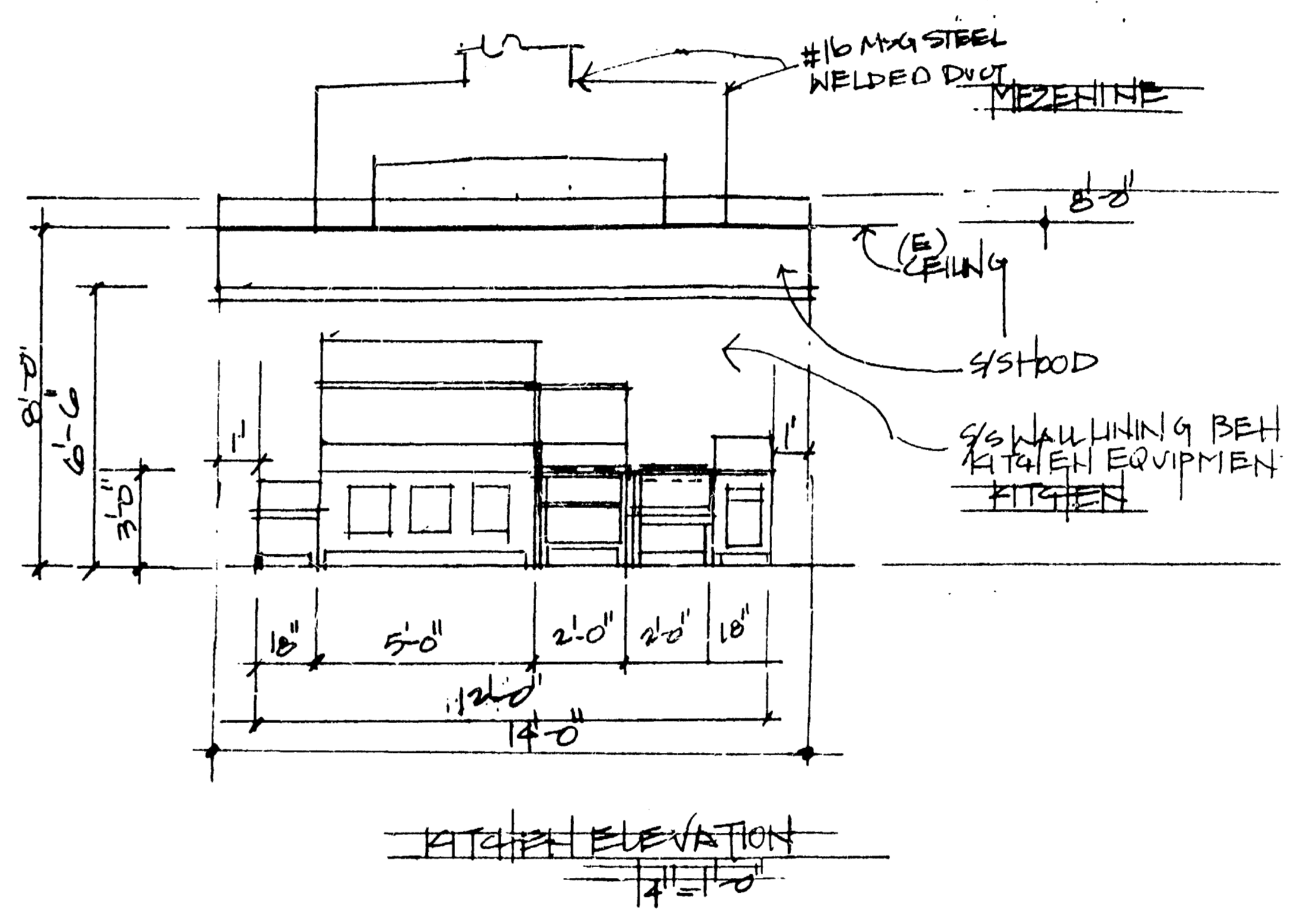
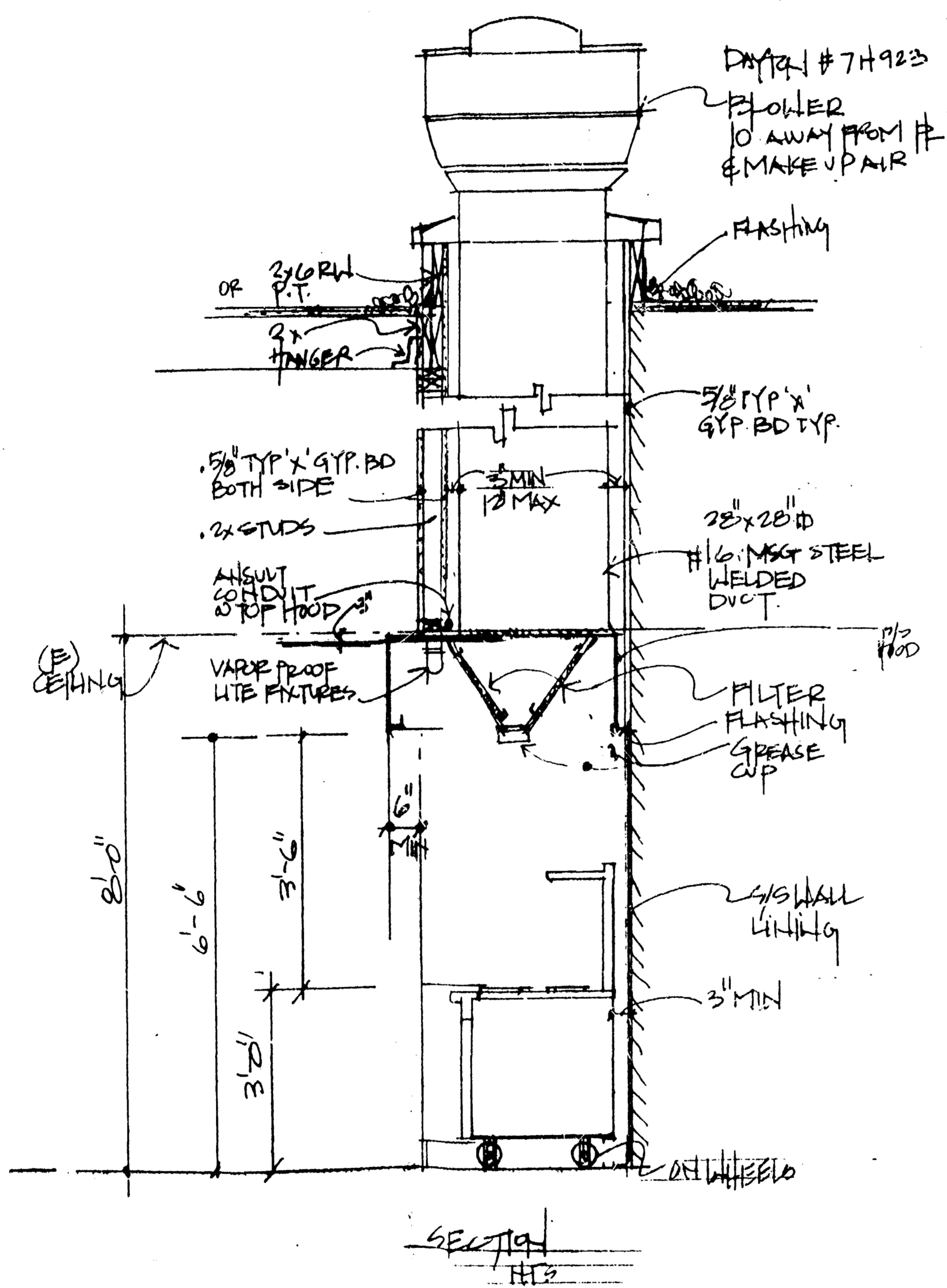


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510-536-3599

PROPOSED TENANT  
IMPROVEMENT OF  
157 N. SANTA CRUZ  
LOS GATOS, CA  
FOR M/M/KS HONG NGO

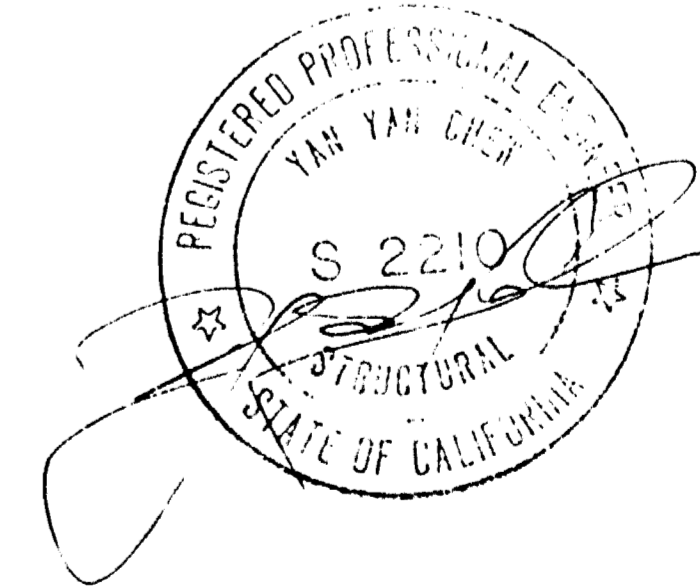
Date 4-20-18  
Scale  
Drawn  
Job 7809  
Sheet  
Of 9





- NOTES.
1. GREASE FILTERS SHALL BE INSTALLED IN HOLDER W/ HANDLES AND READY MOVABLE FOR CLEANING
  2. ALL JOINTS & SEAMS SHALL BE GREASE TIGHT.
  3. HOOD SHALL BE SECURELY FASTENED IN PLACE BY NON COMBUSTIBLE SUPPORT
  4. ABSUL SYSTEM SHALL BE PROVIDED FOR DUCT/ HOOD.
  5. PROVIDE CLEAN OUT FOR CLEANING DUCT SYSTEM
  6. WELD OR BRAZE ALL DUCT JOINTS AND SEAMS ON THE EXTERNAL SURFACE.

Town of Los Gatos  
 BUILDING DEPARTMENT  
**PLAN APPROVED**  
 DATE 12/2/18



REVISIONS	BY



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 510-536-3599

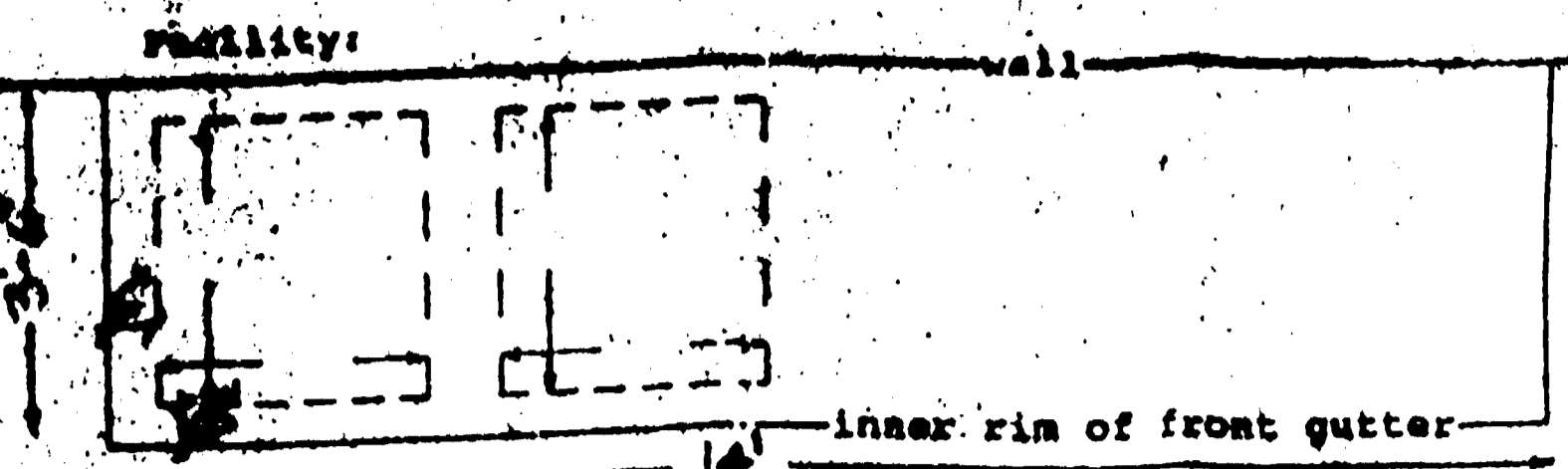
KITCHEN RENOVATION

PROPOSED TENANT IMPROVEMENT @ 137 N. CHARTER WAY LOS GATOS, CA PROJECT HAS TO DO W/ 1890

Date	9.20.18
Scale	
Drawn	
Job	
Sheet	10

**HOOD WORKSHEET**

Facility: \_\_\_\_\_



Is hood in keeping with floor dimensions?  yes  no

Is hood clear of obstructions?  yes  no

Is hood clear of obstructions?  yes  no

Is hood clear of obstructions?  yes  no

Is hood clear of obstructions?  yes  no

Is hood clear of obstructions?  yes  no

Trade hood dimensions:  $3-6$  ft. x  $14-2$  ft. =  $498$  sq. ft. (width) (length)

$49$  sq. ft. x  $200$  Q factor from UMC =  $9800$  CFM

Other formula:  $4/4$  = \_\_\_\_\_ CFM

Other formula is for what kind of hood? \_\_\_\_\_

Filters:  $12$  x  $2-88$  sq. ft. =  $34.56$  sq. ft. (# of filters) (usable area per filter) (total filter area)

$9800$  CFM ÷  $34.56$  sq. ft. (total filter area) =  $283.5$  fpm

Baffle filter fpm should = 300; must be 250-350. Is it?  yes  no

Horizontal slot filter fpm should = 1000; must be 800-1200. Is it?  yes  no

If this is a "LISTED" hood, fpm can be < or > above. Is it?  yes  no

DUCT

Duct dimensions:  $28$  x  $28$  (inches) (inches) =  $5.44$  sq. ft. (duct area)

Hood > 12 ft. long shows > 1 exhaust outlet to main duct?  yes  no

$9800$  CFM ÷  $1800$  sq. ft. (duct area) =  $5.44$  fpm

Fpm should = 1800; must be 1500-2500. Is it?  yes  no

STATIC PRESSURE & EXHAUST FAN

# of elbows =  $2$  Cleanout at each elbow?  yes  no

Total Static Pressure =  $1$  SP Inspector: From plans & SP chart = \_\_\_\_\_

Exhaust Fan: Make DAYTON Model # 7H923 H.P. 5

Unit pulls required CFM at SP?  yes  no

Make-up air (Make-up air unit: Make ESSICK AIR Model # 3C469 (2 MAKEUPAIR))

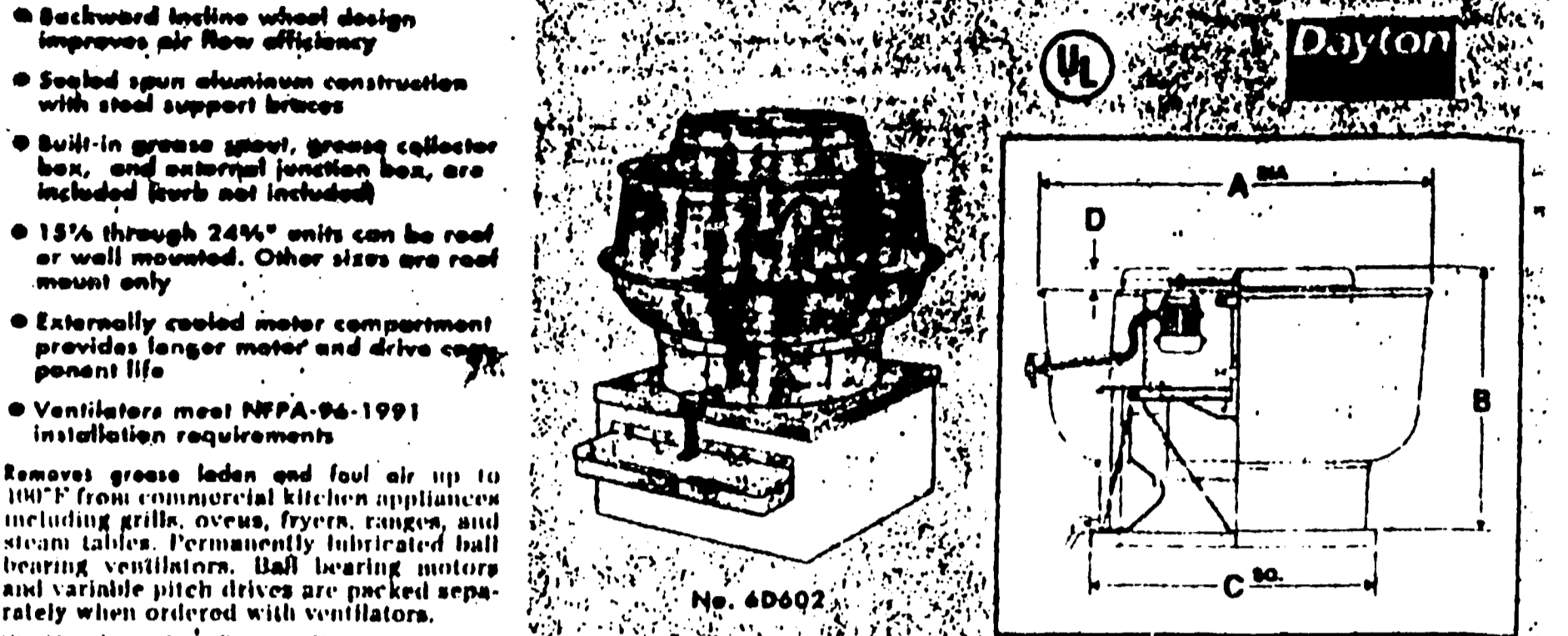
Make-up air intake on roof > 10 ft. from exhaust?  yes  no

Diffusers on ceiling > 10 ft. from hood?  yes  no

Exhaust & make-up air electrically interlocked?  yes  no

Prepared by: ANTHONY BLUM MATA DESIGN Name Company

### COMMERCIAL KITCHEN VENTILATORS



Backward incline wheel design improves air flow efficiency.

Sealed spun aluminum construction with steel support braces.

Built-in grease guard, grease collector box, and external location box, are included (but not included).

15% through 24% units can be roof or wall mounted. Other sizes are roof mount only.

Externally located motor compartment provides longer motor and drive component life.

Ventilators meet NFPA-96-1991 installation requirements.

Removes grease laden and foul air up to 100' from commercial kitchen appliances including grills, ovens, fryers, ranges, and steam tables. Permanently lubricated ball bearing ventilators, ball bearing motors and variable pitch drives are packed separately when ordered with ventilators.

UL listed under Power Ventilators for Restaurant Appliances (VZHIV). Subject 702. Only for Stock Nos. of ventilators and complete with motor and drive. Ventilators must be mounted on 1/4" high steel roof curbs to comply with NFPA 96 and UL Guide VZHIV.

Replacement Parts Available 1-800-323-0520

Dayton Mfg. Co. certifies that the ventilators shown herein are listed to bear the AMCA Seal. The ratings shown are for installations in accordance with AMCA Publication 211 and AMCA Publication 311 and comply with the requirements of the AMCA Certified Ratings Program.

**COMMERCIAL KITCHEN VENTILATORS LESS MOTOR AND DRIVE**

Wheel Dia. No.	A	B	C	D	Stock No.	Unit	Each	Page	Recommended 1/2" Duct No.
18 1/2"	15	21	27	33	85602	4103.45	\$607.00	208	6C507
24"	18	27	33	39	85603	125.00	\$84.00	100	6C510
30"	21	33	39	45	85604	165.00	\$88.50	132	6C511
					85605	225.00	\$184.00	200	6C511

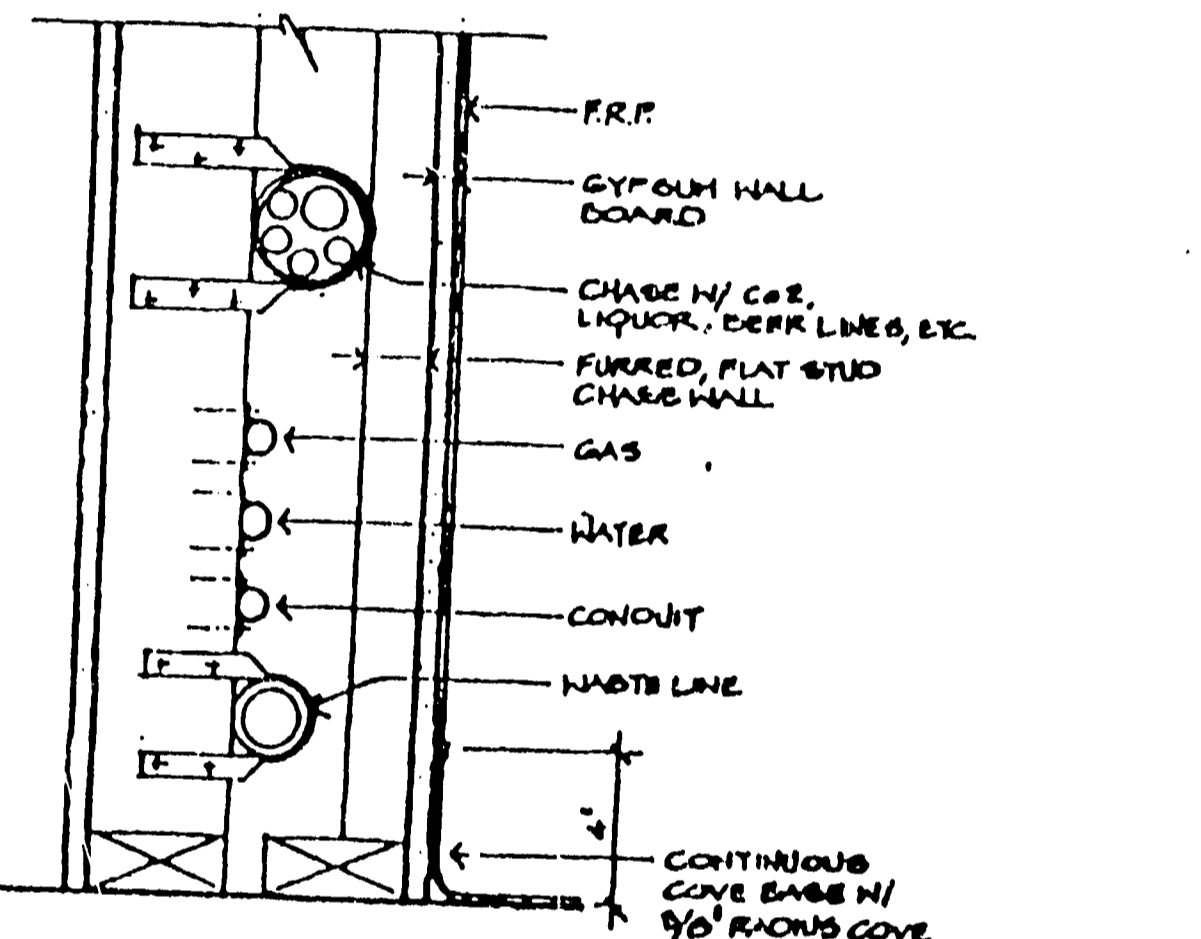
**COMMERCIAL KITCHEN VENTILATORS WITH 1725 RPM BALL BEARING MOTOR AND DRIVE**

Wheel Dia. No.	A	B	C	D	Stock No.	Unit	Each	Page	Recommended 1/2" Duct No.
18 1/2"	15	21	27	33	79996	1117.00	\$638.00	208	6C507
24"	18	27	33	39	79997	1195.00	\$710.00	100	6C510
30"	21	33	39	45	79998	1268.00	\$748.00	132	6C511
					79999	1342.00	\$786.00	200	6C511

Town of Los Gatos  
BUILDING DEPARTMENT  
**PLAN APPROVED**

DATE: 12/13

THE STANDARDS OF THIS PLAN SHALL BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VENTILATION OF ANY TOWN OR CITY.



- All final finishes including colors (smooth with no texture).
  - Type of floor covering extending up the wall continuously 4" with 3/8" radius cove.
  - Conduit, pipes, and waste lines within the wall.
  - Access for: CO2, syrup, liquor, beer, soda, wine, ser., etc.
  - Access must be accessible.
- EXCEPTIONS WILL BE GRANTED ONLY IF SO STATED IN THE UMC, UPC, UBC, AND REC. IF SOLID WALLS SUCH AS CONCRETE BLOCK ARE ENCOUNTERED, FURNISH THE WALL OUT TO CONCEAL CONDUITS, PIPES, ETC.

### EVAPORATIVE COOLING SYSTEMS

- Energy efficient, rugged blower motor.
- Auto-Best system replaces pump.
- Unique Rate-Best pad keeps its shape and thickness for superior water absorption and air filtration.
- Blower housing is welded to motor which provides smooth, quiet operation.
- Low altitude and heavy construction from drum to side discharge.
- Non-corrosive PVC air inlets.
- Non-corrosive PVC plastic reservoir.
- Water-resistant blower motor.

Water-resistant blower motor...  
Non-corrosive PVC air inlets...  
Water-resistant blower motor...

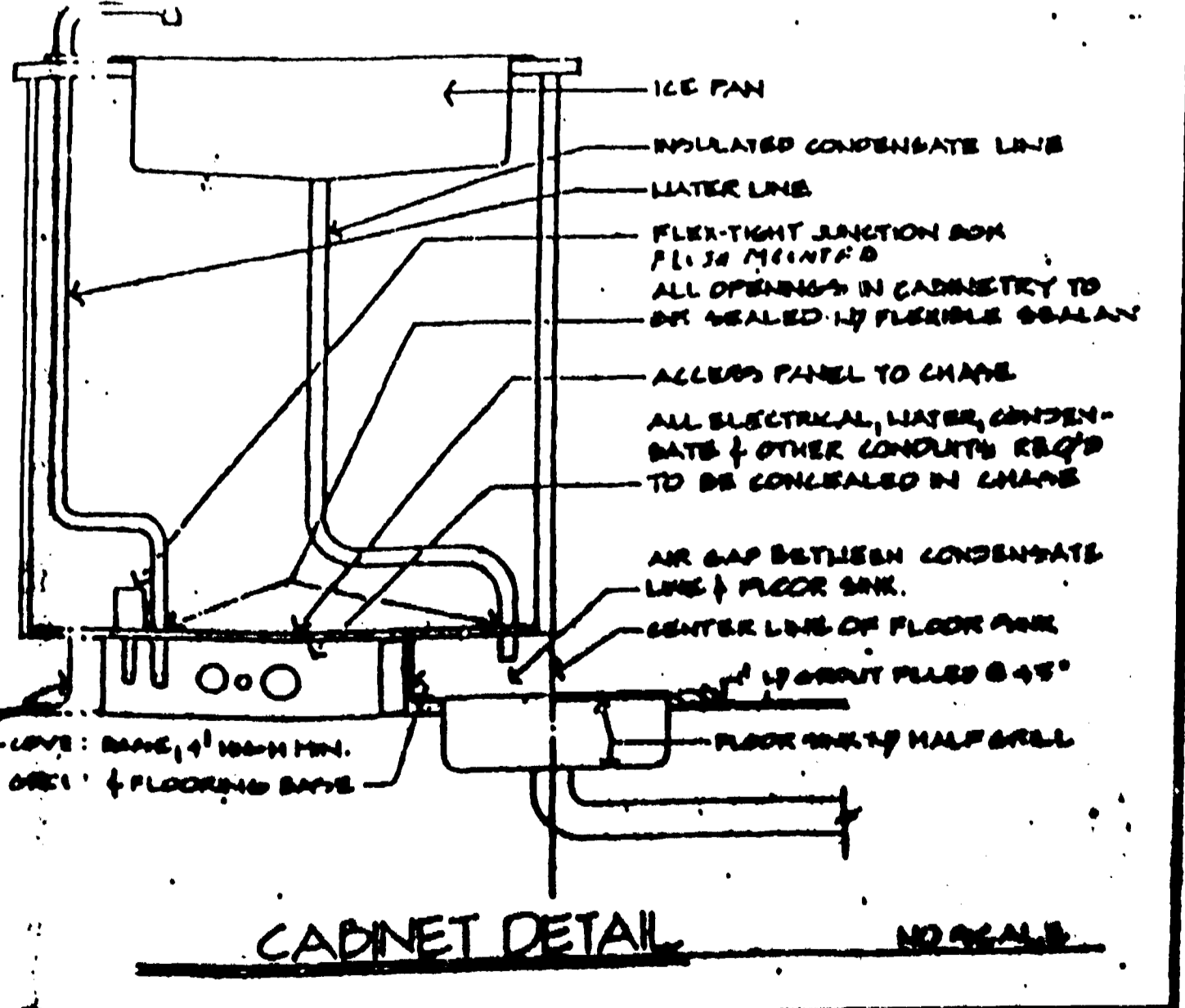
### STEEL WASHABLE AIR/GREASE FILTERS

Permanent, easily cleaned 2" thick filters are designed for commercial-type kitchens in restaurants, hospitals, hotels, schools and other institutional applications. Drain holes provided. Optional ball handles listed below.

Baffle type 30-gal galvanized steel filters provide maximum grease removal and minimum air flow restriction. Clean filter air resistance at 200 FPM air velocity is 0.47 W.C. Filters are installed at an angle with bottom in vertical position. Meet NFPA standard No. 96. UL Classified as to flameability only after exposure to pressure laden air (UL No. 17883). Airson brand.

Zinc coated steel mesh filters feature one-piece construction with double-baffle design and patented design. Standard mesh: 20 mesh. Clean filter air resistance at 200 FPM air velocity is 0.47 W.C. UL Listed for air only applications. 30-gal. brand.

Filter No.	A	B	C	D	Stock No.	Unit	Each	Page	Recommended 1/2" Duct No.
18 1/2"	15	21	27	33	85602	4103.45	\$607.00	208	6C507
24"	18	27	33	39	85603	125.00	\$84.00	100	6C510
30"	21	33	39	45	85604	165.00	\$88.50	132	6C511
					85605	225.00	\$184.00	200	6C511



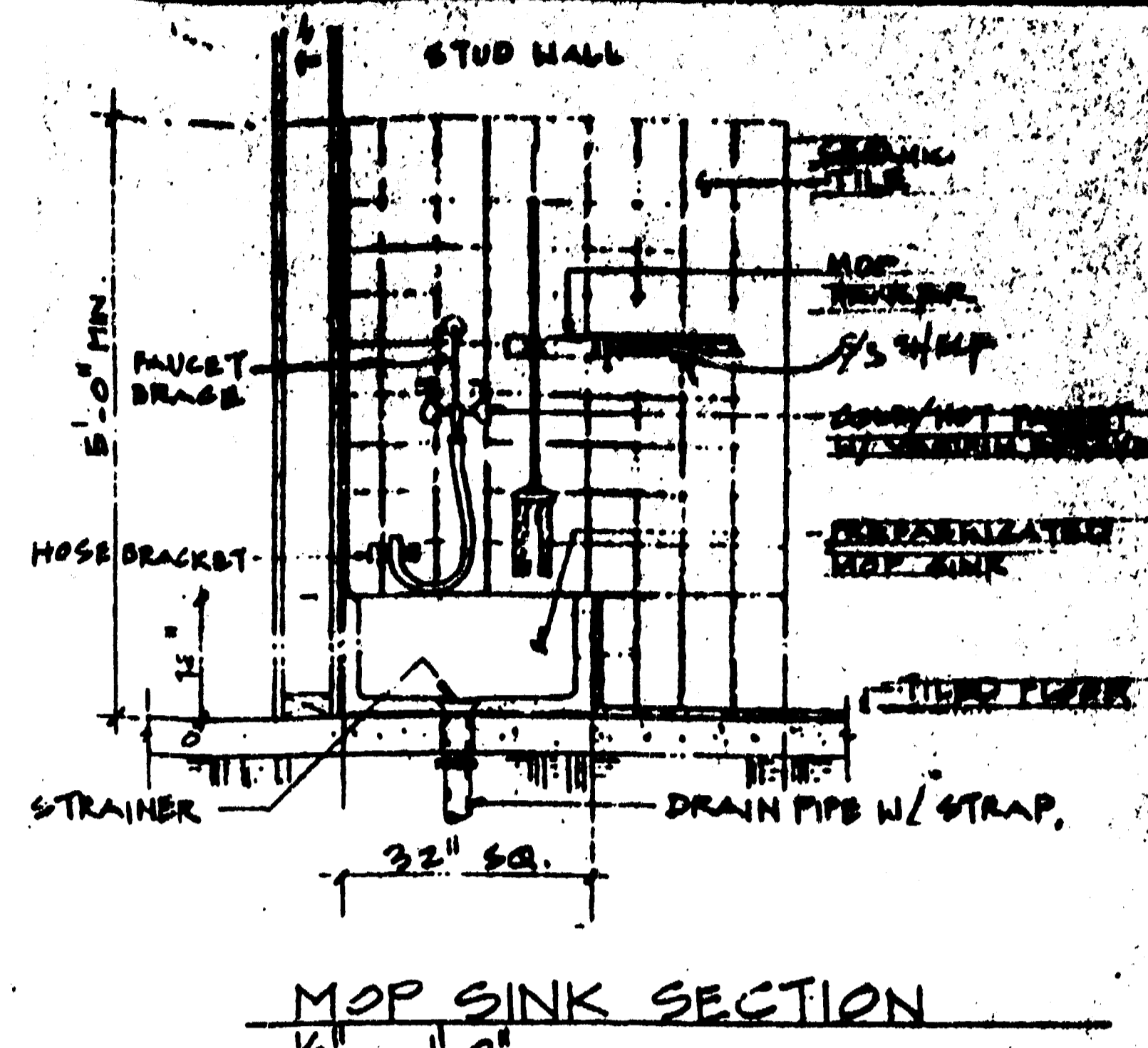
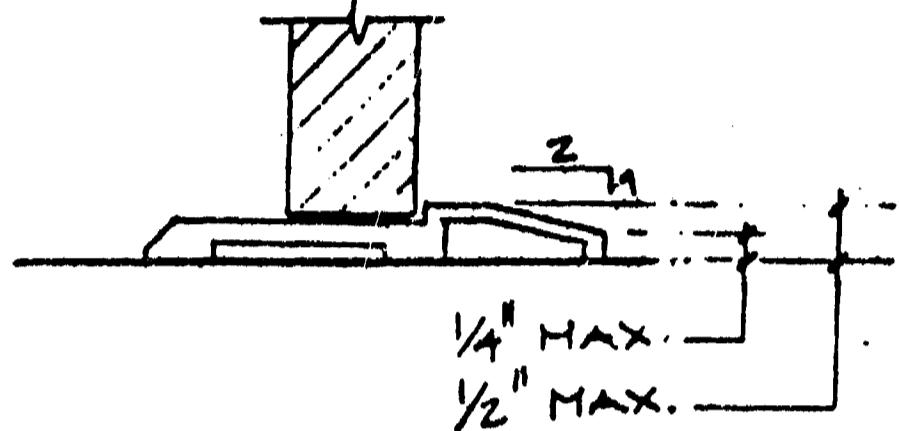
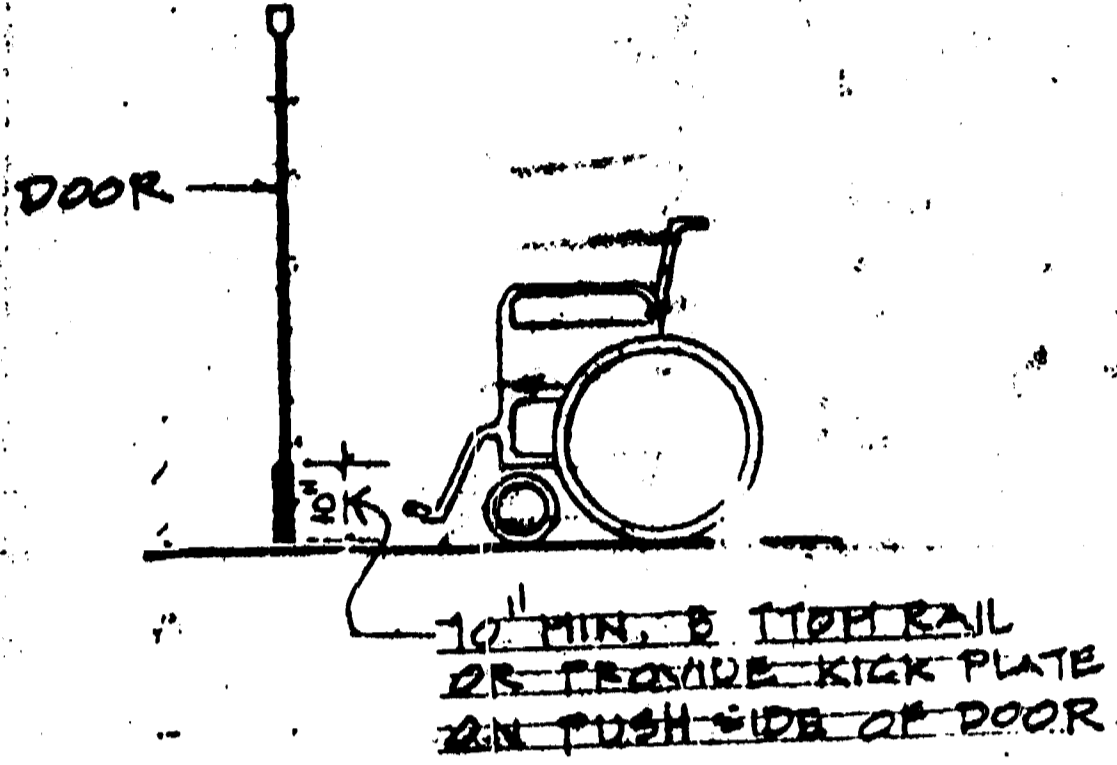
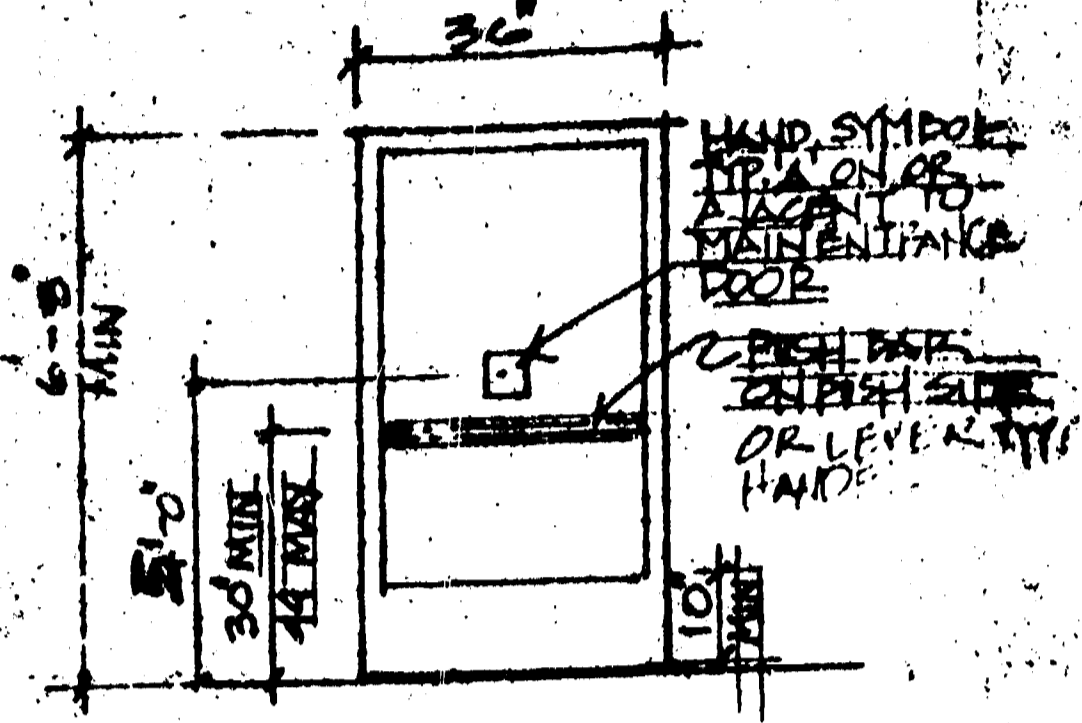
REVISIONS	BY

2617 EAST 14TH STREET • OAKLAND • CA 94601  
510-536-3599

PROPOSED TENANT IMPROVEMENT NO. 137A, SANTA CRUZ LOS GATOS, CA FOR MR/MRS HONG NHO

Date: 4.20.98  
Scale:  
Drawn:  
Job: 7809  
Sheet: 11

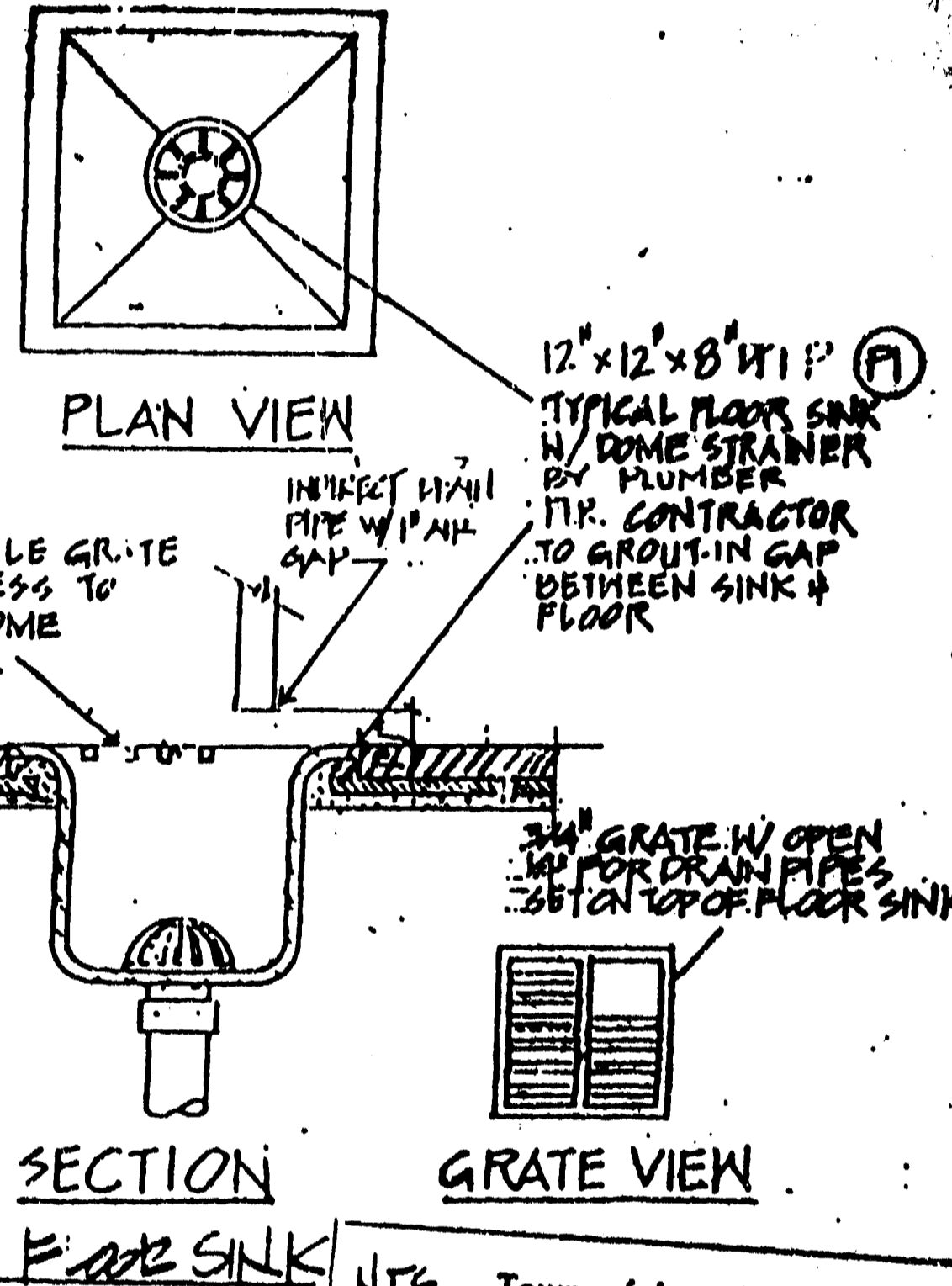




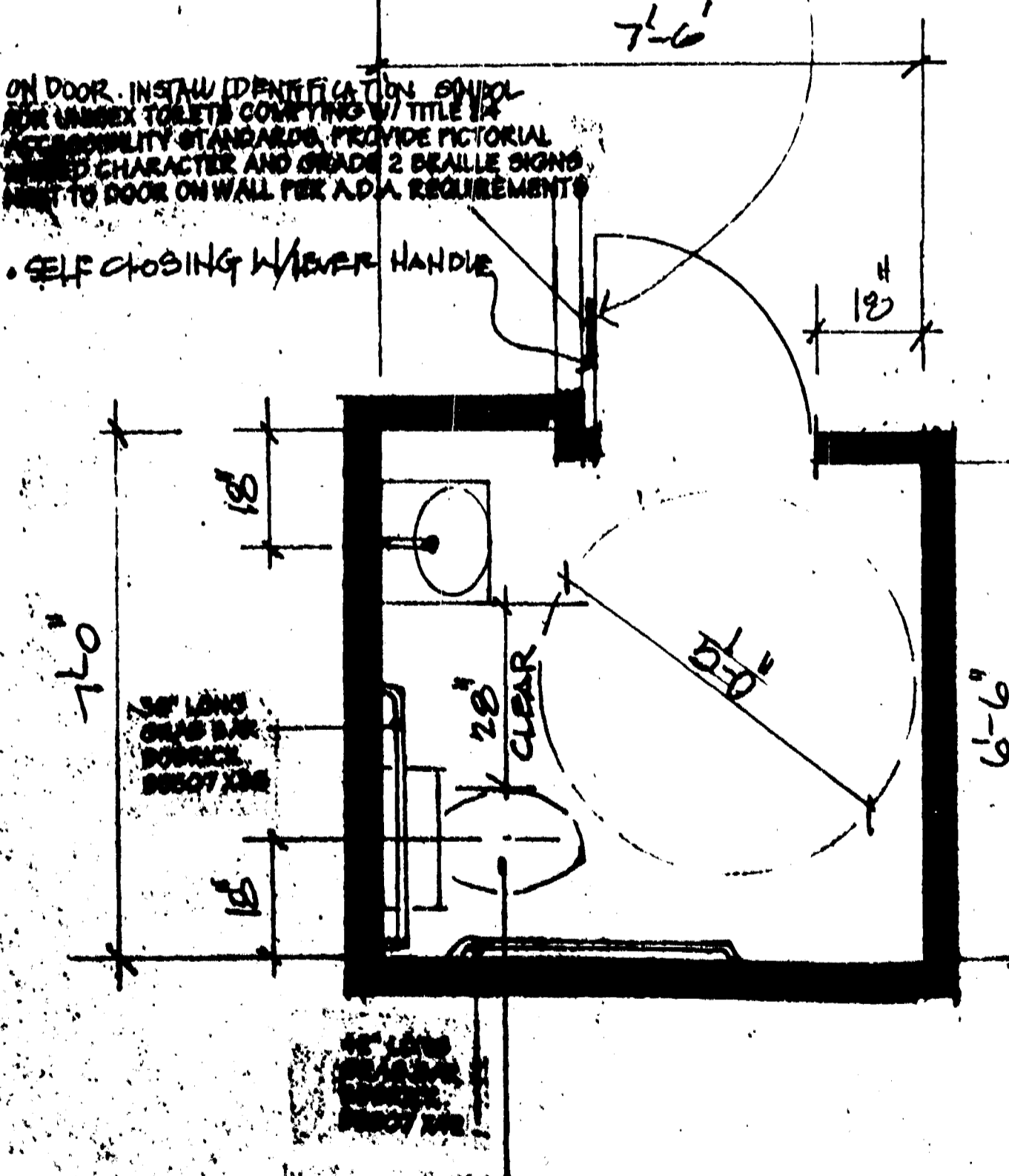
MIN. ENTRANCE WIDTH  
MIN. CLEARANCE

1. THE DRAWINGS AND DETAILS COMPLY WITH THE HANDICAPPED ACCESS REGULATIONS TITLE 24 OR WHEN ENFORCING AGENCIES DETERMINE COMPLIANCE WITH REQUIREMENTS CREATE REASONABLE HARDSHIP, EXCEPTIONS MAY BE GRANTED AS LONG AS EQUIVALENT FACILITATION IS PROVIDED.
2. CONTENT OF DETAILS CONTAINED ARE STANDARD, AND ARE MINIMUMS ONLY UNLESS OTHERWISE NOTED.
3. THE OPERATION OF EXTERIOR DOOR SHALL NOT EXCEED 8 1/2 POUNDS / INTERIOR DOORS SHALL NOT EXCEED 5 POUNDS.
4. OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 AND 44" ABOVE THE FLOOR SURFACE.

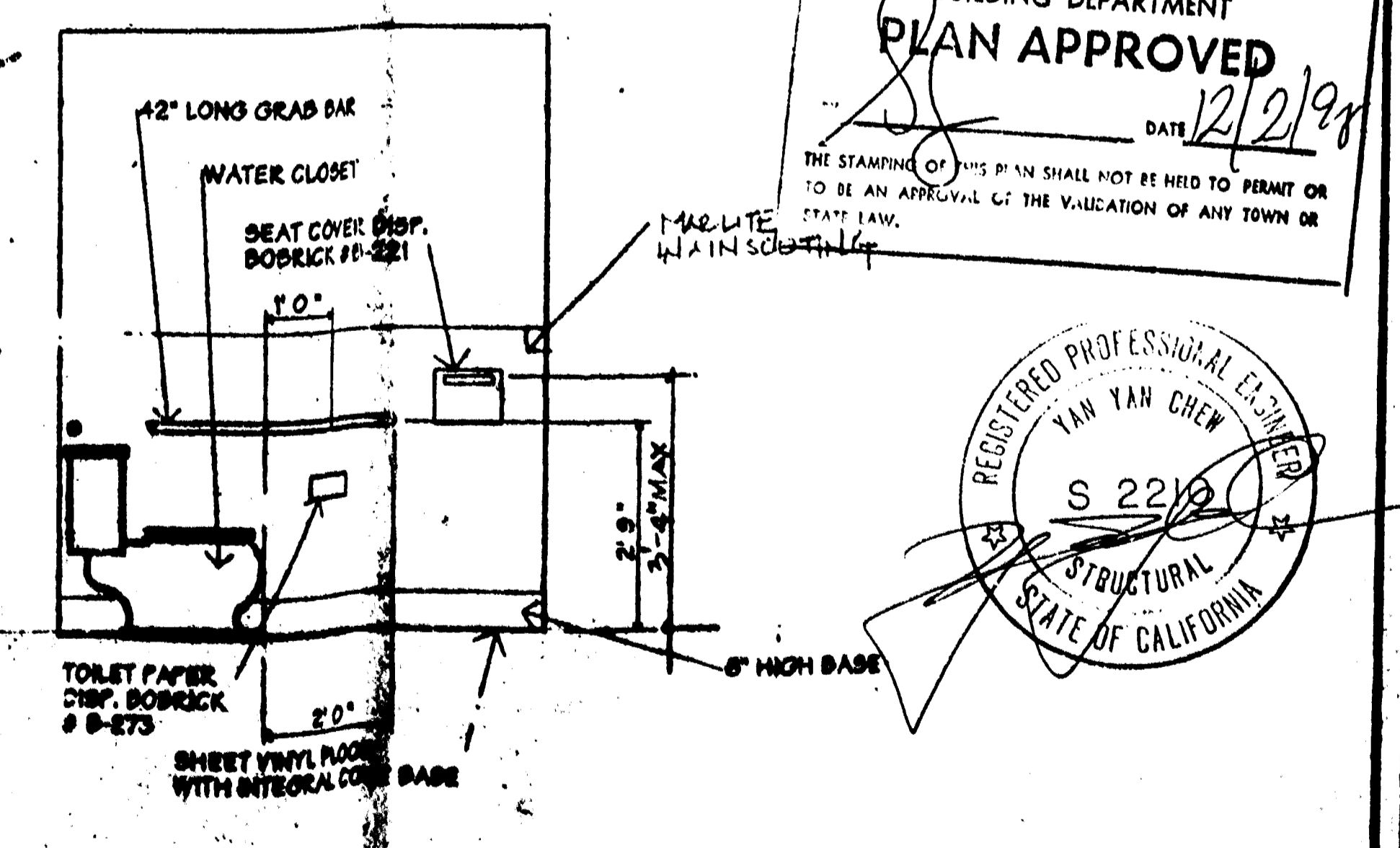
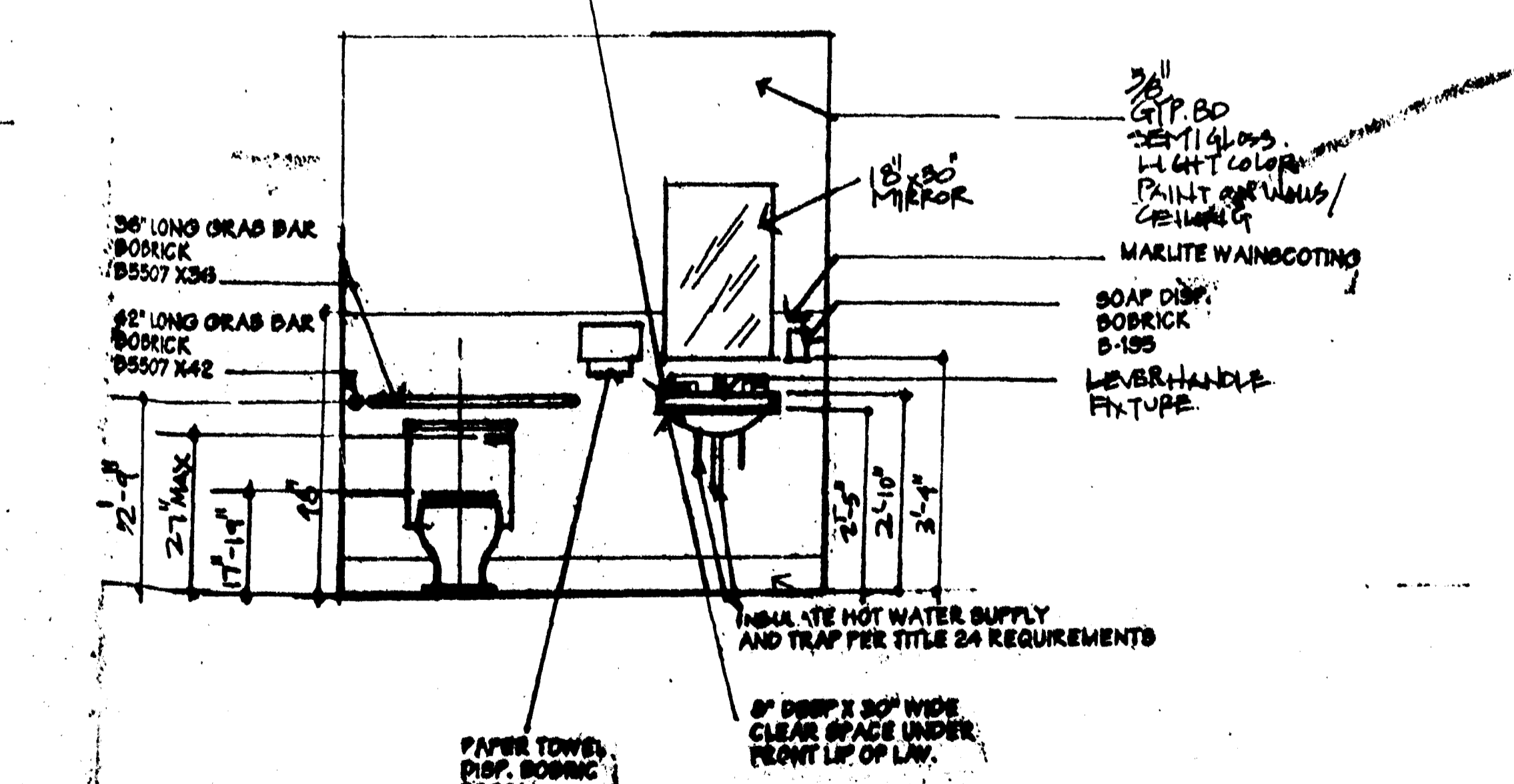
NOTES: THE CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" IS DEVELOPED AT A GRADIENT OF 1:2



DOOR EDGE  
OPENING HARDWARE SHALL BE LEVER TYPE OR PANIC BAR OR PUSH-PULL ACTIVATING BAR. NO HARDWARE REQUIRING THE ABILITY TO GRASP IS ALLOWED.



LAVATORY: AMER. STD. "LUCERNE" VIT. CHINA OVERFLOW, FAUCET LEDGE, WHITE #0008, 012. WALL HANGER. MOEN LEGEND 4400 FAUCET COMPLETE WITH TRIM  
5. GRAB BAR DIAMETER SHALL BE 1 1/4" - 1 1/2"



Town of Los Gatos  
BUILDING DEPARTMENT  
PLAN APPROVED  
DATE 12/21/98  
THE STAMPING OF THIS PLAN SHALL NOT BE HELD TO PERMIT OR TO BE AN APPROVAL OF THE VALIDATION OF ANY TOWN OR STATE LAW.

REGISTERED PROFESSIONAL ENGINEER  
YAN YAN CHEN  
S 2219  
STRUCTURAL  
STATE OF CALIFORNIA

**ACCESSIBLE TOILET ROOM**

NOTE: THE GRAB BARS DIAMETER SHALL BE BETWEEN 1 1/4" AND 1 1/2"

NO. / REVISION	
DATE	9-26-98
DATE	
DATE	9-26-98
DATE	12

PROPOSED TENANT IMPROVEMENT 231 N. SANTA CRUZ LOS GATOS, CA FOR IMPROVEMENT 1990  
HAND. REST RM.  
2317 EAST 14TH STREET • OAKLAND, CA 94612  
510-533-1334







TOWN OF LOS GATOS  
Building Inspection Department  
Phone Elgato 4-4520

No 3743 P

*139*  
*[Handwritten signature]*

**PLUMBING PERMIT**

Location.....

Date..... *10-6*....., 19*61*

is hereby granted..... *County Street*.....

to install plumbing at above location in accordance with

application for..... *Blackwell*..... owner

RECEIPT for..... *Two*..... Dollars

as inspection fee is hereby acknowledged.

TOWN OF LOS GATOS BUILDING INSPECTION DEPT.

By..... *[Handwritten Signature]*.....

For Permit	1.00
Water System 1.00	
House Sewer 1.00	
Sewer Connection 10.00	
Fixtures 1.00	
Water Heater 1.00	
<i>Blower (exhaust hood)</i>	<i>1.00</i>
Gas Line 1.00	
Gas Appliances .50	
Central Heat 1.00	
TOTAL FEE \$ <i>2</i>	



# TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 384-0876  
INSPECTION REQUESTS PHONE 384-0877

E 20069

1

UNIT PRICE	NO. OF ITEMS	AMOUNT	Q	PRICE
OUTDOOR LIGHTS		.50 EA.		
INDOOR LIGHTS		.90 EA.		
SWITCHES		.90 EA.		
RECEPTACLES, OUTLETS	1	.90 EA.		70
<b>RESIDENTIAL:</b> OVEN, COOK TOP, RANGE, WALL AIR COND., SPACE HEATER, DISPOSER, DISHWASHER, WATER HEATER, WASHING MACH., CLOTHES DRYERS, OTHER SMALL APPLIANCES, 1 KW OR LESS		3.00 EA.		
<b>COMMERCIAL:</b> MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABINETS, ILLUMINATED SHOW CASES, DRINK FOUNTAINS, VENDING MACH., LAUNDRY MACH., OTHER SMALL APPLIANCES 1 KW OR LESS		6.00 EA.		
LARGE APPLIANCES, POWER APPARATUS, HEATING & AIR COND. EQUIP., COOKING & BAKING EQUIP., OTHER LARGE APPLIANCES & APPARATUS OVER 1 KW	1	8.00 EA.		5.00
OVER 10 KW		15.00 EA.		
OVER 50 KW		30.00 EA.		
OVER 100 KW		45.00 EA.		
FEESWAY (PER 100 FEET)		5.00 EA.		
FRIGS		20.00 EA.		
SERVICE EQUIP. NOT OVER 200 AMPS	1	20.00 EA.		70.00
SERVICE EQUIP. OVER 200 AMPS		40.00 EA.		
SERVICE EQUIP. OVER 600 VOLTS		75.00 EA.		
SUBPANEL	1	11.00 EA.		11.00
MISC APPARATUS, CONDUITS & CONDUCTORS		12.00 EA.		
TEMPORARY POWER POLE		20.00 EA.		
TEMPORARY LIGHTING SYSTEM		10.00 EA.		
SWIMMING POOL SYSTEM		30.00 EA.		
NEW RESIDENTIAL CONST. _____ SQ. FT. X \$0.01 =				
		SUBTOTAL		391.70
ELECTRICAL PLAN CHECK FEE 25%				
ISSUANCE OF PERMIT				20.00
<b>TOTAL FEES \$</b>				591.70

**BUILDING ADDRESS**  
139 NORTH SANTA CRUZ AVE.

**USE OF BUILDING**  
COMMERCIAL - RETAIL

**OWNER** L.A.W. PROPERTIES  
PHONE \_\_\_\_\_

**MAIL ADDRESS**  
[REDACTED]

**CITY** Los Gatos CA. **ZIP** 95032

**CONTRACTOR** Los Gatos Electric  
PHONE [REDACTED]

**MAIL ADDRESS**  
14867 Los Gatos Alameda Road

**CITY** Los Gatos CA. **ZIP** 95032

**STATE LICENSE** C104566944 **TOWN LICENSE** 2010747

**NOTICE:**  
1. SIGNS ARE REGULATED, SEE PLANNING DEPT.  
2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES. SKOESTRING LIGHTING NOT PERMITTED.

GROUP	USE ZONE	PROCESSED BY	DATE
		Marco	8/26/93

**INSPECTION RECORD**  
\* Check For A "New" HVAC on Roof

**CONTRACTORS DECLARATION**  
I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR LICENSE LAW

SIGNATURE: [Signature]

**COMPLETE A OR B**  
**WORKER'S COMPENSATION DECLARATION**  
I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREBY FURNISHED AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE: [Signature]

**CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE**  
I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE: [Signature]

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE: [Signature]

**TOWN OF LOS GATOS**  
**VALIDATION** PAID 1008 23 1033  
FOR #18469 (Q)

**APPROVALS**

	DATE	INSPECTOR'S SIG.
CONDUIT	5/4/94	[Signature]
ROUGH WIRING	5/4/94	[Signature]
SERVICE EQUIP.	5/4/94	[Signature]
FIXTURES		
GROUNDING	5/4/94	[Signature]
UTILITY CO. NOTIFIED	5/4/94	[Signature]
SIGN	5/4/94	[Signature]

**REQUEST FOR ELECTRICAL POWER BEFORE FINAL INSPECTION**

I, DENNIS D. SHARPER, owner, occupant, or general contractor of building located at 139 N. SANTA ANA AVE request temporary electrical power, for above building, to be used for testing equipment and illuminating the interior to facilitate the completion of the building. I assume all responsibility for using said power in a safe manner and I will assume responsibility for disconnecting power and keeping switches locked in an open position when not in use by qualified personnel.

I also assure the Building Department that the building will not be occupied until the building is accepted as complete by the Building Department of the Town of Los Gatos and Use and Occupancy has been approved by the Town of Los Gatos.

REQUEST TEMPORARY METERS  
SET AT PERMANENT LOCATION  
FOR T.I. WORK

Dennis D. Sharper  
(Signature)

5/4/94  
(Date)

Approved By	Date
<u>(Signature)</u>	<u>5-4-94</u>

# TOWN OF LOS GATOS

BUILDING INSPECTION DEPARTMENT • PHONE 354-6876  
INSPECTION REQUESTS PHONE 354-6377

1114-000110  
19000 1

UNIT FILE	NO. OF ITEMS	AMOUNT	\$	FEES
WATER CLOSET		7.00 EA		
BATH TUB		7.00 EA		
SHOWER		7.00 EA		
LAVATORY		7.00 EA		
SINK		7.00 EA		
DISHWASHER		7.00 EA		
DISPOSER		7.00 EA		
CLOTHES WASHER		7.00 EA		
FLOOR DRAIN		7.00 EA		
DRINKING FTN.		7.00 EA		
RAINWATER SYSTEM		8.00 PER G-TANK		
HOUSE SEWER		15.00 EA		
WATER HEATER		10.00 EA		
GREASE TRAP		12.00 EA		
GAS SYSTEM	1/4" ac	10.00 SYSTEM	10 ac	
LAWN SPRINKLER		9.00 SYSTEM		
WATER SYSTEM		10.00 SYSTEM		
VACUUM BREAKER		2.00 EA		
BACKFLOW DEVICE		8.00 EA		
PRIVATE SWIMMING POOL		30.00		
NEW RES. CONST.	50 FT. X 50 FT.			
SUBTOTAL				
PLUMBING PLAN CHECK FEE 25%				

BUILDING ADDRESS: **139 N. Santa Cruz**

USE OF BUILDING: \_\_\_\_\_

OWNER: **White** PHONE: \_\_\_\_\_

MAIL ADDRESS: \_\_\_\_\_

CITY: \_\_\_\_\_ ZIP: \_\_\_\_\_

CONTRACTOR: **SUNRISE Plumbing** PHONE: \_\_\_\_\_

MAIL ADDRESS: **P.O. BOX 2177**

CITY: **L. O.** STATE: **95031**

STATE LICENSE: **646710** TOWN LICENSE: **9/10/2001**

GROUP	USE ZONE	PROCESSED BY	DATE
INSPECTION RECORD			
Talent - Kist & A Candy Store			

ISSUANCE OF PERMIT 20.00

**TOTAL FEES \$ 50.00**

**CONTRACTORS DECLARATION**

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.

SIGNATURE: *W. N. Robinson*

**COMPLETE A OR B**

**WORKER'S COMPENSATION DECLARATION**

**A** I, HERE BY A FIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THIS INSURANCE IS HERBY FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE: \_\_\_\_\_

**B** I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE: *W. N. Robinson*

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO PLUMBING CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

SIGNATURE: *Tom Nelson*

VALIDATION: *132134*

APPROVALS	
DATE	INSPECTOR'S SIG
6/2/94	(Signature)
6/2/94	(Signature)
6/2/94	(Signature)



# County of Santa Clara

Environmental Resources Agency  
Department of Environmental Health

Central Office  
2220 Moorpark Avenue, East Wing, Room 100  
San Jose, California 95128-2690  
(408) 299-6060 FAX 298-6261



January 26 1994

Gregory R. Green  
[REDACTED]  
[REDACTED]

PROJECT NUMBER 3808  
PROJECT NAME THE CANDY STORE  
PROJECT ADDRESS 139 N. SANTA CRUZ AVE., LOS GATOS 95030

Plans for the above project have been reviewed by this department and have been stamped approved, subject to the following condition:

Ceiling in janitorial area to be a smooth washable ceiling tile.

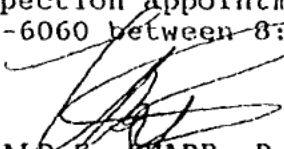
This approval shall expire by limitation and will become null and void if the construction, reconstruction, alteration, or other work authorized by this approval is not commenced within 180 days from the date of approval.

Please present one (1) copy of the plans to your local building official for the required permit application and approval. Please retain the second copy on the job site. A FOOD FACILITY CONSTRUCTION CARD will be attached to the job copy and must be posted with the other building permits.

Please be advised that you are responsible to contact this office to arrange a construction inspection prior to installation of equipment and again upon completion of the project.

Absolutely no food storage or food preparation will be allowed on-site until this department issues you your Permit to Operate. This permit will be issued upon the successful conclusion to our final construction inspection. You will also be asked to submit verification of garbage collection prior to the issuance of the Permit to Operate.

If you have any further questions or would like to call for an inspection appointment please contact the undersigned at (408) 299-6060 between 8:00 a.m. and 9:30 a.m. Monday through Friday.

  
RONALD E. SHARP, R.E.H.S.  
SENIOR ENVIRONMENTAL HEALTH SPECIALIST  
PLAN REVIEW AND CONSTRUCTION UNIT  
DEPARTMENT OF ENVIRONMENTAL HEALTH

RES: vkb

cc: Town of Los Gatos Building Dept.

# Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

6/2/94  
Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

13 6/2/94  
Day Date

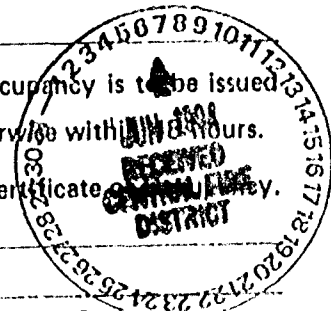
Job Address 139 N SANITA ST Plan No. B-200-01

Description T.I. FOR CARRY OVER

Final inspection has been made of the above building and Certificate of Occupancy is to be issued  
14 sep 10 94, unless advised otherwise within 24 hours.

Certificate of Occupancy may be issued.

Hold issuance of Certificate of Occupancy.



By [Signature] Date 9/14/94

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

RETURN TO: J. MURPHY

TOWN OF LOS GATOS  
 DEPARTMENT OF BUILDING & ENGINEERING SERVICES  
BUILDING OCCUPANCY CLEARANCE

ADDRESS: 139 N. Santa Cruz USE: Retail DATE DUE: \_\_\_\_\_

OK	HOLD	DATE	SECTION	COMMENTS
✓		6-7-94	INSPECTION <i>[Signature]</i>	
✓		6/7/94	DEVELOPMENT <i>J. Duarte</i>	
✓		6/7/94	DIRECTOR <i>[Signature]</i>	



# Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

6/3/94

Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

FRI 6/10/94

Day

Date

Job Address

139 N SANTA CAROLINE

Plan No.

B7-300221

Description

T.T. FOR CANDY STORE

Final inspection has been made of the above building and Certificate of Occupancy is to be issued

19\_\_\_\_, unless advised otherwise within 48 hours.

Certificate of Occupancy may be issued.

Hold issuance of Certificate of Occupancy.

By

*[Signature]*

Date

6/10/94

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

RETURN TO S. J. MURPHY

# Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

6/3/94

Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

FRI 6/10/94

Day

Date

Job Address

139 N SANTA CAR

Plan No.

57.3000 221

Description

T.I. FOR CANDY STORE

Final inspection has been made of the above building and Certificate of Occupancy is to be issued  
\_\_\_\_\_ 19\_\_\_\_, unless advised otherwise within 48 hours.

Certificate of Occupancy may be issued.

Hold issuance of Certificate of Occupancy.

By

John Clogant

Date

6/6/94

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

RETURN TO: J. MURPHY

# Occupancy Clearance

- BUILDING DEPARTMENT
- PLANNING DEPARTMENT
- ENGINEERING DEPARTMENT
- CENTRAL FIRE PROTECTION DISTRICT
- PARKS & FORESTRY

6/3/94

Date

RETURN TO BUILDING DEPARTMENT  
PRIOR TO 11:00 A.M. ON

FBI

6/10/94

Day

Date

Job Address 139 N SANTA CRUZ AVE

Plan No. ~~893000221~~ 893000221

Description KID IN A CANDY STORE T. I.

Final inspection has been made of the above building and Certificate of Occupancy is to be issued  
\_\_\_\_\_ 19\_\_\_\_, unless advised otherwise within 48 hours.

Certificate of Occupancy may be issued.

Hold issuance of Certificate of Occupancy.

By \_\_\_\_\_

Date \_\_\_\_\_

Note: If not approved, suggest keep a copy for future clearance. Issuance of Certificate of Occupancy shall be withheld until clearance is received.

RETURN TO :

J. MUNOZ



# TOWN OF LOS GATOS

170 E. MAIN ST., LOS GATOS, CA 95030  
 BUILDING INSPECTION DEPARTMENT • PHONE 354-6575

INSPECTION NUMBER PREFIX 224-0577

*1236*  
**B-20297 1**

BUILDING ADDRESS <i>137 North Santa Cruz Blvd</i>	STREET, AVE, BLVD, ETC	SUITE OR APT. NO.
USE OF EXISTING BUILDING <i>Retire!</i>	DATE <i>4/13/94</i>	
OWNER <i>Law Corp.</i>	PH.	
CITY <i>Los Gatos</i>	ZIP <i>95030</i>	
ARCHITECT [ ] ENGINEER [ ] DESIGNER [ ]		
ADDRESS <i>2150 N. 1st St.</i>	SUITE OR APT. NO.	
CITY <i>San Jose</i>	ZIP <i>95131</i>	
CONTRACTOR <i>Cidel &amp; Kent Const</i>		
ADDRESS <i>524 Division St.</i>	SUITE OR APT. NO.	
CITY <i>Campbell</i>	ZIP <i>95001</i>	
STATE LICENSE <i>405120</i>	TOWN LICENSE	

SQUARE FOOTAGE	
EXISTING	ADDITION
1st FL	
2nd FL	
(BASE 3rd FL)	
SUBTOTAL	TOTAL
GARAGE	
OTHERS	
NO OF STORES	SIZE OF LOT
NO OF LIVING UNITS	ESTIMATE VALUATION <i>\$2700</i>

DESCRIPTION OF WORK: *Interior Improvements LIMITED WORK*

CALCULATED VALUE: *\$5000*

LENDING AGENCY: \_\_\_\_\_ ADDRESS: \_\_\_\_\_

**HAZARDOUS MATERIALS DECLARATION:** If this application is for commercial use, and data if the intended occupancy will use hazardous materials. ( ) Yes ( ) No

**CONTRACTORS DECLARATION**

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.

SIGNATURE X: *[Signature]*

**COMPLETE A OR B**

**WORKER'S COMPENSATION DECLARATION**

I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE X: *[Signature]*

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SIGNATURE X: *[Signature]*

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SIGNATURE X: *[Signature]*

REQ FINAL INSP	DEPT	PERMIT APPROVALS	DATE
<input type="checkbox"/>	PLAN	<i>[Signature]</i>	<i>4/13/94</i>
<input type="checkbox"/>	DEPT	<i>[Signature]</i>	<i>4/13/94</i>
<input type="checkbox"/>	ENGINEERING	<i>[Signature]</i>	<i>4/13/94</i>
<input type="checkbox"/>	DEPT	<i>[Signature]</i>	<i>4/13/94</i>
<input type="checkbox"/>	FIRE	<i>OK per George</i>	<i>4/13/94</i>
<input type="checkbox"/>	DEPT	<i>[Signature]</i>	<i>4/13/94</i>

FRONT SB	REAR SB	LEFT SB	RIGHT SB	USE ZONE	SEWER NO	TYPE GROUP	TYPE CONST	FIRE SPRINKLER	PERMITS	FEES AND TAXES																																																												
					<i>39 1/2"</i>			<input type="checkbox"/>		<table border="1"> <tr> <td>PERMITS</td> <td>ISSUANCE</td> <td>BldgPrmt</td> <td>\$ 20.00</td> </tr> <tr> <td></td> <td>BUILDING PERMIT</td> <td>BldgPrmt</td> <td>80.00</td> </tr> <tr> <td></td> <td>TITLE - 24</td> <td>Title24F</td> <td>10.00</td> </tr> <tr> <td></td> <td>SEISMIC TAX</td> <td>SMIP 5%</td> <td>105</td> </tr> <tr> <td></td> <td></td> <td>SMIP 95%</td> <td>1.00</td> </tr> <tr> <td></td> <td>PLAN CHECK</td> <td>PChkBldg</td> <td>1.31</td> </tr> <tr> <td></td> <td>MICRO BUILDING</td> <td>MicroBldg</td> <td>24.20</td> </tr> <tr> <td></td> <td>CONSTRUCTION TAX</td> <td>ConstCap</td> <td>+</td> </tr> <tr> <td></td> <td>UTILITY TAX</td> <td>ConstUnd</td> <td>+</td> </tr> <tr> <td></td> <td>PARK TAX</td> <td>ConstPrk</td> <td>+</td> </tr> <tr> <td></td> <td>PLANNING PLAN CHECK</td> <td>PchkPlan</td> <td>16.00</td> </tr> <tr> <td></td> <td>MICRO PLANNING</td> <td>MicroPln</td> <td></td> </tr> <tr> <td></td> <td>STORM DRAINAGE</td> <td>Basin</td> <td></td> </tr> <tr> <td></td> <td></td> <td>PpochkBl</td> <td>1.00</td> </tr> <tr> <td colspan="3"><b>TOTAL \$</b></td> <td><b>195.85</b></td> </tr> </table>	PERMITS	ISSUANCE	BldgPrmt	\$ 20.00		BUILDING PERMIT	BldgPrmt	80.00		TITLE - 24	Title24F	10.00		SEISMIC TAX	SMIP 5%	105			SMIP 95%	1.00		PLAN CHECK	PChkBldg	1.31		MICRO BUILDING	MicroBldg	24.20		CONSTRUCTION TAX	ConstCap	+		UTILITY TAX	ConstUnd	+		PARK TAX	ConstPrk	+		PLANNING PLAN CHECK	PchkPlan	16.00		MICRO PLANNING	MicroPln			STORM DRAINAGE	Basin				PpochkBl	1.00	<b>TOTAL \$</b>			<b>195.85</b>
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**INSPECTION RECORD**

*Interior Kid in A Candy Store*  
*Grey Green*  
*5/12/94 PA. R.O. FRAME ✓ (PA)*

**VALIDATION**

*30884*  
*MAY 6 1994*

TOWN APPROVALS	DATE	INSPECTOR'S SIG
FOUNDATION LOCATION		
FOUNDATION MATERIALS		
FOUNDATION WORK		
FOUNDATION BREAK		
FOUNDATION EXTENSION		
FOUNDATION BREAK WALL & ROOF HALL		
ROUGH FRAME	<i>5/20/94 (PA) ✓</i>	
EXTERIOR LATH		
INSULATION		
INTERIOR	<i>5/23/94 ✓</i>	
BUILDING CODE BOOK		
BUILDING PERMIT FEE		

*expired*

# County of Santa Clara

Environmental Resources Agency  
Department of Environmental Health

Central Office  
2220 Moorpark Avenue, East Wing, Room 100  
San Jose, California 95128-2690  
(408) 299-6060 FAX 298-6261



January 26 1994

Gregory R. Green  
[REDACTED]

PROJECT NUMBER 3808  
PROJECT NAME THE CANDY STORE  
PROJECT ADDRESS 139 N. SANTA CRUZ AVE., LOS GATOS 95030

Plans for the above project have been reviewed by this department and have been stamped approved, subject to the following condition:

Ceiling in janitorial area to be a smooth washable ceiling tile.

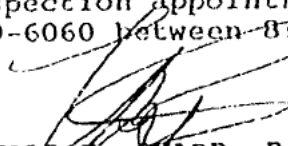
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RONALD E. SHARP, R.E.H.S.  
SENIOR ENVIRONMENTAL HEALTH SPECIALIST  
PLAN REVIEW AND CONSTRUCTION UNIT  
DEPARTMENT OF ENVIRONMENTAL HEALTH

RES:vkb

cc: Town of Los Gatos Building Dept.

Board of Supervisors: Michael M. Honda, Zoe Lofgren, Ron Gonzales, Rod Diridon, Dianne McKenna

UNIT PRICE	NO. OF UNITS	AMOUNT	PER
WATER CLOSET		7.00 EA.	
BATH TUB		7.00 EA.	
SHOWER		7.00 EA.	
LAVATORY	1	7.00 EA.	7.00
SINK	2	7.00 EA.	14.00
DISHWASHER		7.00 EA.	
DISPOSER		7.00 EA.	
CLOTHES WASHER		7.00 EA.	
FLOOR DRAIN		7.00 EA.	
DRINKING FTN.		7.00 EA.	
RAINWATER SYSTEM		6.00 PER DRAIN	
HOUSE SEWER		15.00 EA.	
WATER HEATER		10.00 EA.	
GREASE TRAP		12.00 EA.	
GAS SYSTEM		10.00 SYSTEM	
LAWN SPRINKLER		9.00 SYSTEM	
WATER SYSTEM		10.00 SYSTEM	
VACUUM BREAKER		2.00 EA.	
BACKFLOW DEVICE		3.00 EA.	
PRIVATE SWIMMING POOL		30.00	
NEW RES. CONST.	50 FT. X 60 FT.		
		SUBTOTAL	211.00
		PLUMBING PLAN CHECK FEE 25%	5.25
		ISSUANCE OF PERMIT	20.00
		<b>TOTAL FEES \$</b>	<b>46.25</b>

**BUILDING ADDRESS** 139 North Santa Clara Ave  
**USE OF BUILDING** Retail  
**OWNER** Home Prof. **PHONE**  
**MAIL ADDRESS**  
**CITY** Los Altos **ZIP** 95030  
**CONTRACTOR** G. L. Wood Const. **PHONE**  
**MAIL ADDRESS** 574 Cassien St. **ZIP** 95028  
**CITY** Los Angeles **ZIP**  
**STATE LICENSE** 4-30-50 **TOWN LICENSE**

**GROUP** **USE ZONE** **APPROVED BY** **DATE**  
 INSPECTION RECORD  
 5/11/94 DWV WATER TEST (G)

**CONTRACTOR'S DECLARATION**  
 I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW.

**COMPLETE A OR B**  
**WORKER'S COMPENSATION DECLARATION**  
 I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

**A**  
 SIGNATURE X

**B**  
**CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE**  
 I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

**C**  
 SIGNATURE X  
 I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO PLUMBING CONSTRUCTION. I HEREBY AGREE TO HOLD THE TOWN OF LOS ALTOS HARMLESS FROM ALL LIABILITY UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

**VALIDATION**  
 MAY - 6 1994  
 J.B.  
 TOWN ENGINEER

**APPROVALS**

	DATE	INSPECTOR'S SIGNATURE
UNDERFLOOR WORK	5/11/94	[Signature]
ROUGH PLUMBING	5/11/94	[Signature]
GAS PIPING		
GAS VENTS		
HOT WATER HEATER		
WATER HEATER		
PLUMBING FIXTURES		
PIPE TEST		
UTILITY CONNECTIONS		
FINAL		



# TOWN OF LOS ANGELES

PERMITS AND INSPECTIONS DEPARTMENT

UNIT PRICE	NO. OF UNITS	AMOUNT	TOTAL
OUTDOOR LIGHTS		90 EA	
INDOOR LIGHTS		90 EA	
SWITCHES		90 EA	
RECEPTACLES, OUTLETS	5	90 EA	150.00
<b>RESIDENTIAL:</b> OVEN, COOK TOP, RANGE, WALL AIR-COND., SPACE HEATER, DISPOSER, DISHWASHER, WATER HEATER, WASHING MACH., CLOTHES DRYERS, OTHER SMALL APPLIANCES, 1 KW OR LESS		300 EA	
<b>COMMERCIAL:</b> MEDICAL & DENTAL DEVICES, FOOD & BEVERAGE CABINETS, ILLUMINATED SHOW CASES, DRINK FOUNTAINS, VENDING MACH., LAUNDRY MACH., OTHER SMALL APPLIANCES 1 KW OR LESS		500 EA	
LARGE APPLIANCES, POWER APPARATUS, HEATING & AIR COND. EQUIP., COOKING & BAKING EQUIP., OTHER LARGE APPLIANCES & APPARATUS OVER 1 KW		800 EA	
OVER 10 KW		1500 EA	
OVER 50 KW		3000 EA	
OVER 100 KW		4500 EA	
BUSWAY (PER 100 FEET)		500 EA	
SGNS		2000 EA	
SERVICE EQUIP. NOT OVER 200 AMPS		2000 EA	
SERVICE EQUIP. OVER 200 AMPS		4000 EA	
SERVICE EQUIP. OVER 600 VOLTS		7500 EA	
SUBPANEL		1100 EA	
MISC. APPARATUS, CONDUITS & CONDUCTORS		1200 EA	
TEMPORARY POWER POLE		2000 EA	
TEMPORARY LIGHTING SYSTEM		1000 EA	
SWIMMING POOL SYSTEM		3000 EA	
NEW RESIDENTIAL CONST. 50 FT. X 50 FT.			
		SUBTOTAL	150.00
ELECTRICAL PLAN CHECK FEE 25%			37.50
ISSUANCE OF PERMIT			20.00
<b>TOTAL FEE \$</b>			<b>207.50</b>

**BUILDING ADDRESS** 139 North Santa Cruz Ave

**USE OF BUILDING** Retail

**OWNER** Juan Paez **PHONE**

**MAIL ADDRESS**

**CITY** Los Angeles **ZIP** 90030

**CONTRACTOR** Fidel & Karel Const. **PHONE**

**MAIL ADDRESS** 578 Division St.

**CITY** Campbell **ZIP** 95009

**STATE LICENSE** 403050 **TOWN LICENSE**

**NOTICE:**  
1. SIGNS ARE REGULATED, SEE PLANNING DEPT.  
2. OUTDOOR LIGHTS ARE REGULATED AGAINST SHINING ON OTHER PROPERTIES. SHOESTRING LIGHTING NOT PERMITTED.

**GROUP** \_\_\_\_\_ **USE ZONE** \_\_\_\_\_

**INSPECTED BY** [Signature] **DATE** 5/16/94

**INSPECTION RECORD**

**CONTRACTORS DECLARATION**  
I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTOR'S LICENSE LAW.

**SIGNATURE** [Signature]

**COMPLETE A OR B**  
**WORKER'S COMPENSATION DECLARATION**

**A** THEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE, A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

**SIGNATURE** [Signature]

**B** **CERTIFICATE OF EXEMPTION FROM WORKER'S COMPENSATION INSURANCE**  
I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

**SIGNATURE** [Signature]

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO ENTER UPON THE ABOVE MENTIONED PROPERTY FOR INSPECTION PURPOSES.

**SIGNATURE** [Signature]

**VALIDATION**

MAY 6 1994  
# 30884  
TOWN OF LOS ANGELES  
PERMITS DEPARTMENT

**APPROVALS**

	DATE	INSPECTOR'S SIG.
CONDUIT	5/17/94	[Signature] ✓
ROUGH WIRING	5/20/94	[Signature] ✓
SERVICE EQUIP.		
PICTURES		
GROUNDING		
UTILITY CO. NOTIFIED		
FINAL	5/21/94	[Signature] ✓

# TOWN OF LOS GATOS

PLUMBING DEPARTMENT • PHONE 854-0075  
 PERMITTING DEPARTMENT PHONE 854-0077

M94-000103

M-12294

1

UNIT FEE	NO. OF UNITS	AMOUNT	FEE
FURNACE		15 00 EA	
DUCT OUTLET OR REGISTER	3	1 00 EA	1 00
AIR CONDITIONER		15 00 EA	
FIREPLACE		12 00 EA	
INSTALLATION, REPAIR OR ALTERATION OF HEATING UNIT, A.C. BOILER, COMPRESSOR, OR AIR HANDLER	1	18 00 EA	18 00
VENTILATING FAN		6 00 EA	
HOOD, RESIDENTIAL		15 00 EA	
HOOD, COMMERCIAL		25 00 EA	
FLUE, VENT		6 00 EA	
EVAPORATIVE COOLER		12 00 EA	
SOLAR COLLECTOR		22 00 SYSTEM	
OTHER MECHANICAL APPLIANCE		12 00 EA	
GAS		10 00 SYSTEM	
NEW RES CONST	50 FT. X 50 FT.		
		SUBTOTAL	19 00
		MECHANICAL PLAN CHECK FEE 25%	
		ISSUANCE OF PERMIT	20 00
		<b>TOTAL FEES \$</b>	<b>39 00</b>

BUILDING ADDRESS: 139 N. Santa Cruz Ave., U.S.  
 STREET, AVE, BLVD. APT. NO.

USE OF BUILDING: Retail  
 OWNER: L.A.W. PHONE:

MAIL ADDRESS:  
 CITY: ZIP:

CONTRACTOR: Foxthill A/C Heating, Inc. PHONE:  
 MAIL ADDRESS: 17419 Farley Road  
 CITY: Los Gatos, Ca. 95030 ZIP:  
 STATE LICENSE: 363862 - C20 TOWN LICENSE: 94010996

GROUP	USE ZONE	PROCESSED BY	DATE
		Kucuk	5/5/94

INSPECTION RECORD

**CONTRACTORS DECLARATION**

I CERTIFY THAT I AM PROPERLY LICENSED BY THE STATE OF CALIFORNIA CONTRACTORS LICENSE LAW

SIGNATURE: X Robert Owen

**COMPLETE A OR B**

**WORKER'S COMPENSATION DECLARATION**

**A** I HEREBY AFFIRM THAT I HAVE A POLICY OF WORKER'S COMPENSATION INSURANCE. A CERTIFIED COPY OF A CERTIFICATE OF THAT INSURANCE IS HEREWITH FURNISHED, AND ON FILE WITH THE TOWN. I FURTHER AFFIRM THAT I SHALL KEEP THE INSURANCE IN EFFECT THROUGHOUT THE JOB.

SIGNATURE: X Robert Owen

**B** I CERTIFY THAT IN THE PERFORMANCE OF THE WORK FOR WHICH THIS PERMIT IS ISSUED, I SHALL NOT EMPLOY ANY PERSON IN ANY MANNER SO AS TO BECOME SUBJECT TO THE WORKER'S COMPENSATION LAWS OF CALIFORNIA.

SIGNATURE: X Robert Owen

I CERTIFY THAT I HAVE READ THIS APPLICATION AND STATE THAT THE ABOVE INFORMATION IS CORRECT. I AGREE TO COMPLY WITH ALL TOWN ORDINANCES AND STATE LAWS RELATING TO MECHANICAL CONSTRUCTION, AND HEREBY AUTHORIZE REPRESENTATIVES OF THIS CITY TO COVER UPON THE ABOVE INFORMATION NECESSARY FOR INSPECTION PURPOSES.

SIGNATURE: X Robert Owen

VALIDATION

P A I D

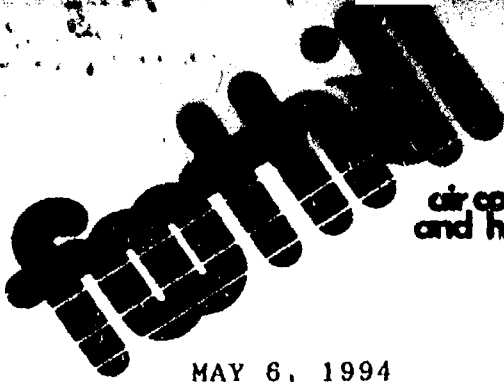
MAY - 5 1994

AS3552

TOWN OF LOS GATOS  
 FINANCE DEPT.

APPROVALS

	DATE	INSPECTOR'S SIG.
UNDERFLOOR WORK		
DUCT WORK	5/20/94	[Signature]
FLUES, VENTS		
COMBUSTION AIR		
GAS TEST		
FINAL	6/3/94	[Signature]



air conditioning  
and heating, inc.

17416 Farley road

los gatos ca 95030

(408) 385-2500

MAY 6, 1994

JOHN  
LOS GATOS BUILDING DEPARTMENT

RE: 139 N. SANTA CRUZ AVENUE, LOS GATOS

DEAR JOHN:

I TRIED TO GET IN TOUCH WITH YOU AFTER OUR CONVERSATION OF THIS MORNING. EVIDENTLY WE DID NOT RUN THE GAS LINE AT THE STORE - IT WAS AN EXISTING LINE. PER THE PROPERTY MANAGER, THE PLUMBING WAS PERFORMED BY SUNRISE PLUMBING AND THEY WILL BE GETTING IN TOUCH WITH YOU TO SCHEDULE.

WE HAVE LEFT A LADDER FOR YOU TO INSPECT OUR PORTION OF THE WORK. IF ANY ADDITIONAL INFORMATION IS NEEDED, PLEASE CALL.

THANKS FOR YOUR HELP,

A handwritten signature in cursive script that reads 'Darlene'.

DARLENE PALMER  
SERVICE DEPARTMENT



139 N. Santa Cruz Ave.

B93-000221



# HPC ARCHITECTURE

Steven M. Cox, Architect

95 N. Third Street, Suite 150  
San Jose, California 95112  
408.297.6454

April 5, 1994

Mr. Alan Lang  
Town Of Los Gatos  
Building And Engineering Services  
Civic Center  
110 East Main Street  
Los Gatos, Ca 95031

Re: Plan Check Response  
139 N. Santa Cruz Avenue- Tenant Improvement  
HPC Job No. 93113

Town BP #26297

RECEIVED

APR 11 1994

TOWN OF LOS GATOS  
BUILDING/ENGINEERING SERVICES  
BY

Resubmitted

Dear Alan,

The following is a per item response to the second plan check comments dated Feb. 16, 1994.

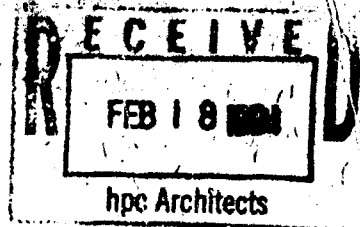
Item# Response

- 1 Compliance for H. C. accessibility for the front entry door is shown on plan.
- 2 Compliance per Section 3306 for the rear door and landing is shown on plan.
- 3 The County Health Department has waived the requirement for locating a hand wash sink in the rest room. There will be no changes to the current configuration of the rest room except for new finishes. As previously discussed, if no wall changes occur the Town of Los Gatos will not require H. C. upgrade.
- 4 Handicapped Accessible parking compliance per Title 24 is shown on plan.
- 5 Water heater type, size, and model number per Title 24 energy efficient standards is shown on plan.
- 6 Understood and will comply.

If you require any additional information or clarification regarding any of the above items please do not hesitate to give me a phone call.

Sincerely,

Thomas S. Neal  
Project Manager



**TOWN OF LOS GATOS**  
**BUILDING AND ENGINEERING SERVICES**  
(408) 354-6883  
(FAX) 354-8431

February 16, 1994

HPC Architecture  
96 North Third Street, Suite 150  
San Jose, CA 95112

LOCATION OF JOB: 139 N. Santa Cruz Avenue, Tenant Improvement

Gentlemen:

**SECOND PLAN CHECK COMMENTS**

1. The front entry door shall comply with current T24 accessibility standards; show such compliance on plan.
2. The rear door landing and stairway construction shall comply with UBC Section 3306; show such compliance on plan.
3. The new rest room design and construction shall comply with current T24 accessibility standards; show such compliance on plan.
4. The existing parking facility shall be upgraded to comply with current T24 accessibility standards; show such compliance on plan.
5. New water heater shall comply with current T24 energy efficient standards; show type, size, and model number on plan.
6. Issuance of the Building permit requires approval from:
  - a) Planning Department: 354-6879
  - b) West Valley Sanitation District: 378-2408
  - c) Central Fire District: 378-4015
  - d) County Health Department: 299-6060

Very truly yours,

  
ALLEN LANG, PE. SE  
Plan Check Engineer

AL:

H:\BAE\ALLEN\SANTACR.139

cc: Law Properties, 887 University Avenue, Suite 3, Los Gatos, CA 95030



# A. O. SMITH

## COMMERCIAL ELECTRIC WATER HEATERS DEN & DEL MODELS

Designed for use as a recovery heater having its own storage tank. Available in upright, standard models (DEN) and lowboy models (DEL).

Meets or exceeds the requirements of ASHRAE 90A-1980 Standard for energy efficiencies.

### FEATURES

**GLASS-LINED TANK** - Nine sizes; 30 thru 119 gallon capacity. Tank interior is coated with glass specially developed by A. O. Smith Ceramic Research for water heater use. Tanks rated 160 psi working pressure; tested at 300 psi. Foam insulation provides maximum energy saving by minimizing radiant standby heat loss.

**ELEMENTS** - Zinc plated copper sheaths for longer life. Medium watt density; means lower surface temperature to minimize scale build-up and more surface to heat water. Element sizes from 3 to 6 KW. Use two elements; maximum input 12 KW (see chart on back).

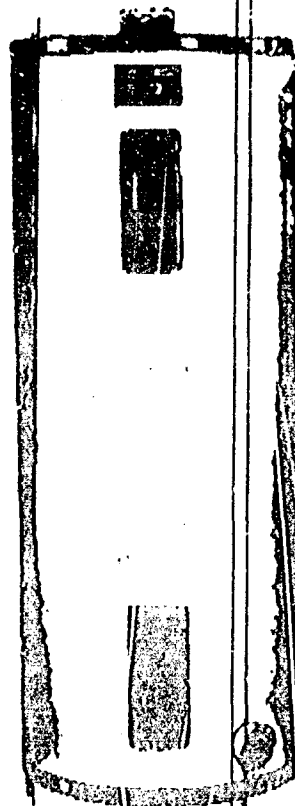
**STANDARD VOLTAGES** - 208, 240 and 480V unbalanced three-phase delta. Factory wired for three-phase; easily converted to single-phase at terminal block (except 208V with 6000 watt elements).

**TERMINAL BLOCK** - Factory installed. Just bring the service to heater and connect to block.

**CONTROLS** - One temperature control (adjustable through a range of 110° to 170°F) and manual reset high temperature cutoff per element. Factory wired for non-simultaneous operation; easily converted to simultaneous element operation.

### OTHER STANDARD FEATURES

- Simplified circuitry, color coded for ease of service
- Anode rod for maximum corrosion protection
- Cabinet has benzodized undercoat with baked enamel finish
- Top inlet and outlet openings
- Drain valve.

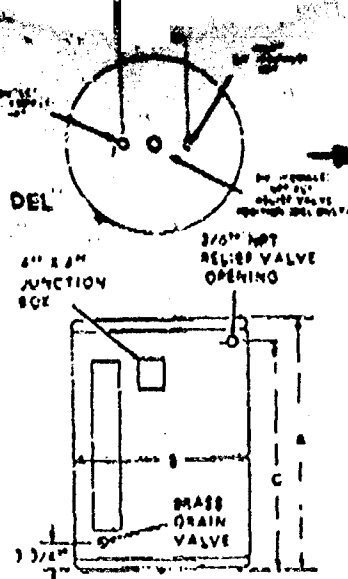


See page C 029.0 for service wiring and fuse selection.

### LIMITED WARRANTY OUTLINE

If the tank should leak any time during the first three years, under the terms of the warranty, A. O. Smith will furnish a replacement heater; installation, labor, handling and local delivery extra. **THIS OUTLINE IS NOT A WARRANTY.** For complete information, consult the written warranty, or A. O. Smith Water Products Company.

ALL DIMENSIONS IN INCHES



Model	Tank Capacity Gallons	A	B	C	D	Approx. Ship. Wt. (Lbs.)
DEL-30	30	48 3/8	18	.....	8	96
DEL-30	30	30 7/8	21 3/4	24 1/8	8	100
DEL-40	40	45 1/8	20 1/2	.....	8	113
DEL-40	40	32 1/4	23 1/4	26 9/16	8	125
DEL-52	50	54 7/8	20 1/2	.....	8	131
DEL-50	50	32 1/4	25 1/4	25 1/8	8	168
DEL-66	66	60 3/4	21 3/4	.....	8	178
DEL-80	80	59 3/8	24	.....	8	211
DEL-120	119	62 7/16	29 3/8	.....	8	326

ELECTRIC CHARACTERISTICS AND CAPACITIES

NON-SIMULTANEOUS ELEMENT OPERATION

Element Watts Upper/Lower	Recovery Capacities GPH @ Temperature Rise Of					Full Load Current in Amperes Connected to Three Phase Power (All Terminals L <sub>1</sub> , L <sub>2</sub> & L <sub>3</sub> )		
	40°	60°	80°	100°	200°	208V	240V	480V
3000/3000	31	20	15	12	10	14.4	12.5	6.3
4000/4000	41	27	20	16	14	19.2	16.7	8.3
4500/4500	48	31	23	18	15	21.6	18.8	9.4
5000/5000	51	34	26	20	17	24.0	20.8	10.4
6000/6000	61	41	31	25	20	28.8	25.0	12.5

SIMULTANEOUS ELEMENT OPERATION

Element Watts Upper/Lower	Recovery Capacities GPH @ Temperature Rise Of					Full Load Current in Amperes Connected to Three Phase Power (Terminal L <sub>2</sub> /Terminals L <sub>1</sub> & L <sub>3</sub> )		
	40°	60°	80°	100°	200°	208V	240V	480V
3000/3000	41	27	20	16	8	26.0/14.4	21.7/12.5	10.8/6.3
4000/4000	55	38	27	22	8	33.3/19.2	28.9/16.7	14.4/8.3
4500/4500	61	4	31	25	0	37.5/21.6	32.5/18.8	16.2/9.4
5000/5000	68	46	34	27	3	41.6/24.0	36.1/20.8	18.0/10.4
6000/6000	82	55	41	33	7	N/A	43.3/25.0	21.7/12.5

Recovery capacities at 100°F rise equal: for non-simultaneous element operation - 4.1 gal. x KW of one element; for simultaneous element operation - 4.1 gal. x 2/3 KW of both elements. For other rises multiply element KW as previously explained by 410 and divide by temperature rise.

SUGGESTED SPECIFICATIONS

The water heater(s) shall be Dura-Power Model(s) No. \_\_\_\_\_ as manufactured by A. O. SMITH or an approved equal. Heater(s) shall be rated at \_\_\_\_\_ KW, \_\_\_\_\_ volts, \_\_\_\_\_ phase, \_\_\_\_\_ cycle AC, and listed by Underwriters' Laboratories. Tank(s) shall be \_\_\_\_\_ gallon capacity. Heater(s) shall have 150 ps working pressure and be equipped with extruded high density anode rod. All internal surfaces of the heater(s) exposed to water shall be glass-lined with an alkali borosilicate composition that has been fused to steel by firing at a temperature range of 1400° to 1600° F. Electric heating elements shall be individually mounted in copper sheath. Each element shall be controlled by an individually mounted thermostat and high temperature cutoff switch. The outer jacket shall be of baked enamel finish and shall be provided with full size control compartments for performance of service and maintenance through hinged front panels and shall enclose the tank with foam insulation. Electrical junction box with heavy duty terminals shall be provided. The drain valve shall be located at the front for ease of servicing. Heater tank shall have a three year limited warranty as outlined in the written warranty. Fully illustrated instructions manual to be included.

A. O. Smith  
Water Products Company  
Irving, TX  
A Division of A. O. Smith Corporation  
A. O. Smith Corporation reserves the right to make product changes or improvements at any time without notice.



**SANTA CLARA COUNTY  
CENTRAL FIRE PROTECTION DISTRICT**

14700 WINCHESTER BLVD.  
LOS GATOS, CA 95030-1818 (408) 378-4010  
SINCE 1947 FAX (408) 378-9342

CENTRAL NUMBER \_\_\_\_\_  
PERMIT NUMBER **20297**

SERVICE

**PLAN REVIEW COMMENTS 94 - 0135**

CODE/SIC.	SHEET	NO.	
			Review of resubmitted drawings.
		1	Provide one, 2A:10BC minimum rated fire extinguisher.
		2	Entry door to have hardware requiring no special knowledge or effort to operate.
			Okay to issue the building permit

JURIS. LGA	PLANS <input checked="" type="checkbox"/>	SPECS <input type="checkbox"/>	NEW <input type="checkbox"/>	REMODEL <input checked="" type="checkbox"/>	AS <input type="checkbox"/>	TYPE OF CONST. V - N	BY G. BARNES	DATE 02/23/94	PAGE ____ OF ____
SEC./FLOOR	FZ	OCC B - 2	OCC. LOAD 16	AREA 830 sf	ARCH/ENG/CONTRACTOR/O'WNER HPC			TP	
NAME OF FACILITY THE CANDY STORE						LOCATION 139 SANTA CRUZ AV, N			

*Serving West Valley Cities of:  
Campbell, Cupertino, Monte Sereno, Saratoga, Town of Los Gatos  
and Adjacent County Areas*



# County of Santa Clara

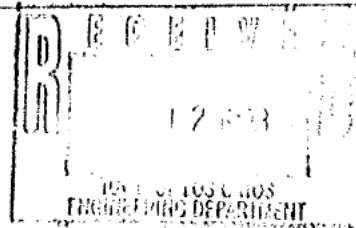
Health Department



2220 Moorpark Avenue  
San Jose, California 95128

October 4 1993

Gregory R. Green  
[REDACTED]



PROJECT NUMBER 3808  
PROJECT NAME CANDY STORE  
PROJECT ADDRESS 139 N. SANTA CRUZ AVE., LOS GATOS 95030

We have received three (3) sets of plans for the above project. We are unable to complete the review of the plans until the following information is provided:

1. Toilet rooms must be equipped with the following:
  - a. Permanently installed soap and sanitary towel dispensers.
  - b. Toilet tissue dispenser.
  - c. Exhaust fan.
  - d. Ventilation to the outside air through an openable screened window or light switch activated exhaust fan.
  - e. Self closing doors.
  - f. Lavatory with hot and cold water through mixing faucet.
2. Surface mounted piping is not acceptable. Piping and conduit of all types must be concealed within walls, floors, ceilings (including condensate drain lines, water heater pressure relief lines and soda lines).
3. Gypsum board walls in the following areas must be smooth finished and light in color:
  - a. Utensil washing.
  - b. Janitorial.
  - c. Restrooms.
4. Install fiberglass reinforced paneling on walls behind all sinks. Paneling to be installed to a minimum height of 48 inches from floor.
5. Mop sink must be a floor mounted sink with hot and cold water through a mixing faucet protected with a vacuum breaker.
6. Submit details of display shelving/storage shelving. Unwrapped ready-to-eat foods may require sneeze guards.

PROJECT NUMBER: 3808  
October 4, 1993  
Page 2

Until such time as the information requested is received, the plans are considered to be disapproved.

If we can be of further assistance, please call the undersigned at (408) 299-6060, between 8:00 a.m. and 9:30 a.m., Monday through Friday.

*Ray Gundersen*

RAYMOND T. GUNDERSEN, R.E.H.S.  
SENIOR ENVIRONMENTAL HEALTH SPECIALIST  
PLAN REVIEW AND CONSTRUCTION UNIT  
DEPARTMENT OF ENVIRONMENTAL HEALTH

RTG:vkb

Enclosures

cc: Town of Los Gatos Building Dept.



# HPC ARCHITECTURE

Steven M. Cox, Architect

66 N. Third Street, Suite 150  
San Jose, California 95112  
408.297.5454

Feb. 8, 1994

Mr. Alan Lang  
Town Of Los Gatos  
Building And Engineering Services  
Civic Center  
110 East Main Street  
Los Gatos, Ca 95031

Re: Plan Check Response  
139 N. Santa Cruz Avenue- Tenant Improvement  
HPC Job No. 93113

CMA Plan Check #19228.LG  
Town BP #25297

Dear Alan,

The following is a per item response to the plan check comments generated by CMA & Associates, Inc., dated 9-22-93.

Item# Response

- 1 Understood and will comply
- 2 Health Department approval has been obtained and plans reflect all changes.
- 3 See attached letter by the building owner.
- 4 Plumbing plan SHT #P1 has been provided.
- 5 The electric hot water heater is existing and shown on new plumbing plan #P1. Combustion air is not required for electric water heaters.
- 6 Electrical plan sht #E1 is provided showing distribution from the existing main electrical service panel.
- 7 The hvac system is existing and was provided by others. Mechanical plan sht #M1 is provided showing distribution from the existing hvac units and ducting to the new diffusers.
- 8 There will be no gas piping to this tenant space.
- 9 Per discussions with Alan Lang and the building department, the toilet core does not require handicap compliance.
- 10 See attached letter by the building owner.



11 The current parking configuration is now shown on the drawings. Per discussions  
& 12 with Alan Lang and the building department, the parking lot and path of travel to the  
front door does not require handicap compliance.

13 See attached letter by the building owner.

14 Proposed display and shelving layout are now shown on drawing.

If you require any additional information or clarification regarding any of the above items  
please do not hesitate to give me a phone call.

Sincerely,



Thomas S. Neal  
Project Manager

**Thomas A. Connelly**

January 28, 1994

Town of Los Gatos  
110 E. Main Street  
Los Gatos, CA 95030

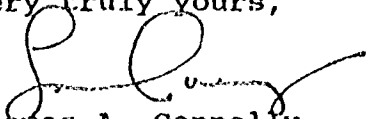
To Whom It May Concern:

With regard to the proposed Tenant Improvements at 139 N. Santa Cruz Avenue, Town BP#26297, please be aware that:

1. The result of this work will not require the Landlord to renew the existing sewer permits.
2. The front door access conforms to all Town and other requirements. No further modification is necessary.
3. The rear door access now has a legal landing and a handrail and no further modifications are needed.

As Landlord, we hope this information will help expedite the building permit process and we will appreciate all your help in that regard.

Very truly yours,

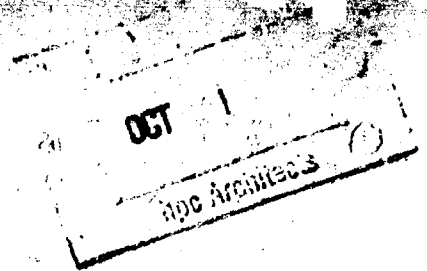
  
Thomas A. Connelly  
LAW Properties

TAC:jg

*John Lochner*



**TOWN of LOS GATOS**  
BUILDING AND ENGINEERING SERVICES  
(408) 354-6883  
(FAX) 354-6431



September 27, 1993

Steven Cox  
HPC Architecture  
2150 N. First Street  
San Jose, CA 95131

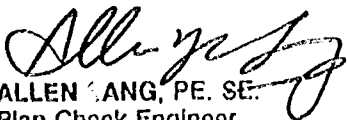
LOCATION OF JOB: 139 N. SANTA CRUZ AVENUE - TENANT IMPROVEMENT

Gentlemen:

PLAN CHECK COMMENTS

1. See attached plan review comments from Carl Mileff & Associates, Inc.
2. Issuance of the Building permit requires approval from:
  - a) Planning Department: 354-6379
  - b) Engineering Department: 354-6860
  - c) West Valley Sanitation District: 378-2408
  - d) Central Fire District: 378-4015
  - e) County Health Department: 299-6060

Very truly yours,

  
ALLEN YANG, PE. SE.  
Plan Check Engineer

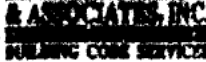
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Attachment

cc: Law Properties  
987 University Avenue, Suite 3  
Los Gatos, CA 95030

H:\SHARE\SAITACRZ.139  
EN13:\LETTERS\SAITACR.139





**PLAN REVIEW REPORT  
FROM PLEASANTON OFFICE**

**DATE:** 9-22-93 **BY:** Jim Fruit  
**CMA PC NUMBER:** 19228.LG  
**TOWN BP#:** 26297  
**TO:** ALLEN LANG, PLAN REVIEW ENGINEER  
TOWN OF LOS GATOS  
110 EAST MAIN STREET  
LOS GATOS, CA 95030  
**PROJECT:** Tenant Improvements for:  
Kid in a Candy Store  
139 N. Santa Cruz Ave  
**OWNER:** Law Properties  
**ARCHITECT:** HPC Architecture, Steven Cox  
2150 N. First St  
San Jose, CA. 95131

**PROJECT DATA**

1. **USE/SCOPE:** Interior improvements to create a candy store in an existing building
2. **OCCUPANCY GROUP:** B2
3. **CONSTRUCTION TYPE:** existing
4. **FLOOR AREA:** 830 project area
5. **ALLOWABLE AREA:** existing
6. **STORIES:** one
7. **ENERGY METHOD:** mandatory features for alterations
8. **AUTO. FIRE SPRINK:** unknown
9. **CODES:** 91 UBC, UMC, UPC, 90 NEC
10. **DOCUMENTS REC'D:** 1 set plans only

**INITIAL PLAN REVIEW COMMENTS:** The following subjects need clarification or completion.

1. Obtain review and approvals from the Planning Dept, Fire Dept, Health Dept, Sanitation District, and any other agency or department having jurisdiction.
2. Prior to the next review, the plans should be submitted to and approved by the Health Dept. with any revisions necessary shown on the building plans.

**CMA PLAN REVIEW #19228.LG continued...**

3. Prior to the next review, the plans should be submitted to and approved by the Sanitary Sewer District with any revisions necessary shown on the building plans. The current sewer permit may need to be renewed.
4. Show the existing sewer lateral, new connections to existing sewer drainage piping, and water service location on the plans.
5. Health Laws require hot water for food handling, show the location of the required water heater, combustion air, etc. on the plans.
6. It appears there will be new electric service and distribution panel for this tenant area. Provide electrical data on the plans. ALSO note the AIC rating of the new main panel on the plans (verify with PG&E).
7. It appears there may be new HVAC work, provide mechanical data on the plans.
8. It appears there will be new gas piping for this tenant area. Provide gas piping data on the plans.
9. The current bathroom is undersized for handicap compliance, see the red notes on the plans for specifics.
10. The existing front door is to have exterior landing (sidewalk) approach and threshold in compliance with current handicap standards. Revise plans to show compliance.
11. Current parking on the site is different than shown on the site plan. Identify if the parking shown on the plans is a new layout or not. In any case provide at least one handicap parking space with layout/detailing on the plans.
12. Path of travel from the parking to the rear building door is to be shown and dimensioned on the site plan.
13. Rear door into the building is to be handicap accessible for employee use.
14. Sales area equipment and storage room shelving/racks are to be shown on the plans so existing, handicap, plumbing, electrical, and mechanical codes application to this project can be determined for review and approvals.

**CMA PLAN REVIEW #19228.LS continued...**

**Notes to Designer/Applicant:**

- \* Return two sets of revised plans and documents to the Building Department for recheck. Additional plans may be needed, contact the Building Department.
- \* Provide an itemized response letter, referencing CMA plan review number, which clearly indicates how each plan review comment is addressed and reference response in plans/data.
- \* Return any plans/documents from plan reviews.
- \* All plans and documents are to be stamped/signed by the Architect or other designers with a wet signature and revision dates on each sheet.





**SANTA CLARA COUNTY  
CENTRAL FIRE PROTECTION DISTRICT**

14700 WINCHESTER BLVD.  
LOS GATOS, CA 95030-1818

(408) 378-4010

SINCE 1947

FAX (408) 378-9342

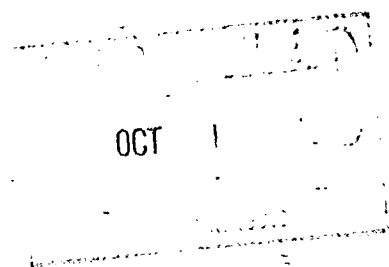
CONTROL NUMBER

PERMIT NUMBER **26297**

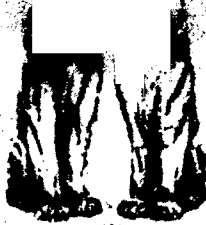
SERVICE

**PLAN REVIEW COMMENTS 93-0941**

CODE/SEC.	SHEET	NO.	COMMENTS
UBC 3304(c)		1	Review for interior improvement to an existing structure.  Provide one (1) 2A:10BC minimum rated fire extinguisher.
		2	Entry door hardware shall be free-opening requiring no special knowledge or effort to operate. (Info: Thumb turn dead bolts not permitted)
			Okay to issue the building permit, subject to compliance with the above prior to final inspection.



JURIS. <b>LGA</b>	PLANS <input checked="" type="checkbox"/>	SPECS <input type="checkbox"/>	NEW <input type="checkbox"/>	REMODEL <input checked="" type="checkbox"/>	AS <input type="checkbox"/>	TYPE OF CONST. <b>V - N</b>	BY <b>G. BARNES</b>	DATE <b>09/27/93</b>	PAGE ____ OF ____
SEC./FLOOR	FZ	OCC <b>B - 2</b>	OCC. LOAD <b>16</b>	AREA <b>830 sf</b>	ARCH/ENG/CONTRACTOR/OWNER <b>HPC ARCHITECTURE</b>			TP	
NAME OF FACILITY <b>THE CANDY STORE</b>						LOCATION <b>139 SANTA CRUZ AV, N</b>			



**TOWN of LOS GATOS**  
**BUILDING AND ENGINEERING SERVICES**  
(408) 354-6883  
(FAX) 354-8431

February 16, 1994

HPC Architecture  
96 North Third Street, Suite 150  
San Jose, CA 95112

LOCATION OF JOB: 139 N. Santa Cruz Avenue, Tenant Improvement

Gentlemen:

SECOND PLAN CHECK COMMENTS

1. The front entry door shall comply with current T24 accessibility standards; show such compliance on plan.
2. The rear door landing and stairway construction shall comply with UBC Section 3306; show such compliance on plan.
3. The new rest room design and construction shall comply with current T24 accessibility standards; show such compliance on plan.
4. The existing parking facility shall be upgraded to comply with current T24 accessibility standards; shown such compliance on plan.
5. New water heater shall comply with current T24 energy efficient standards; show type, size, and model number on plan.
6. Issuance of the Building permit requires approval from:
  - a) Planning Department: 354-6879
  - b) West Valley Sanitation District: 378-2408
  - c) Central Fire District: 378-4015
  - d) County Health Department: 299-6060

Very truly yours,

  
ALLEN LANG, P.E. SE  
Plan Check Engineer

AL:

H:\B&E\ALLEN\SAHTACR.139

cc: Law Properties, 987 University Avenue, Suite 3, Los Gatos, CA 95030



TO SQUARE INCH SIGN AT  
INVERTED END OF PARKING SPACE  
PER TITLE 24 SECTION 3-1102  
(4) WITH INTERNATIONAL SYMBOL  
OF ACCESSIBILITY ON BLUE  
BACKGROUND.

NOTE: IF LOCATED AT CENTERLINE  
END OF STALL (HEIGHT SHALL BE  
80" A.F.G.) IF ATTACHED TO  
BUILDING (36" A.F.G.)

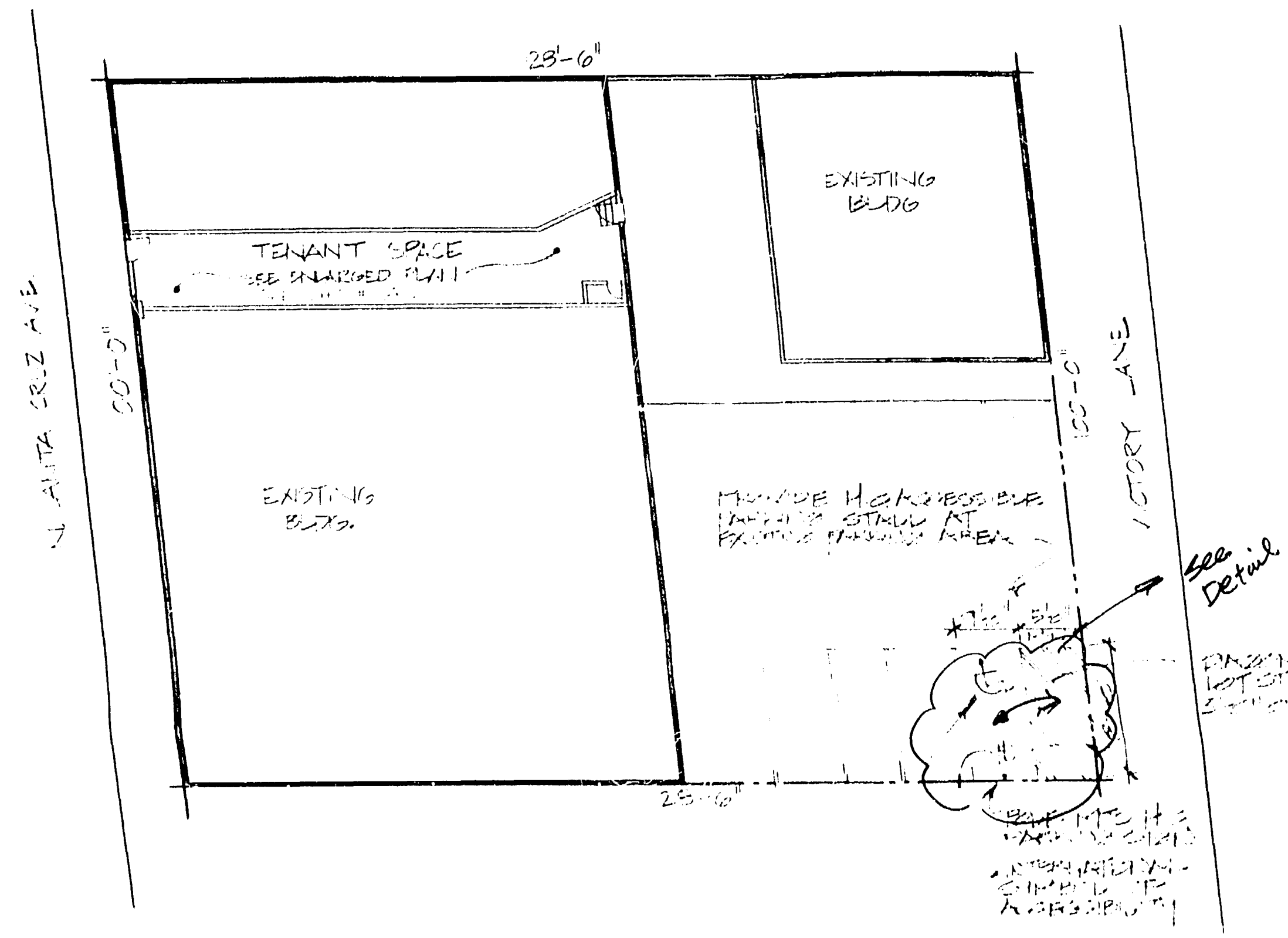
HANDICAPPED STALL SIGN



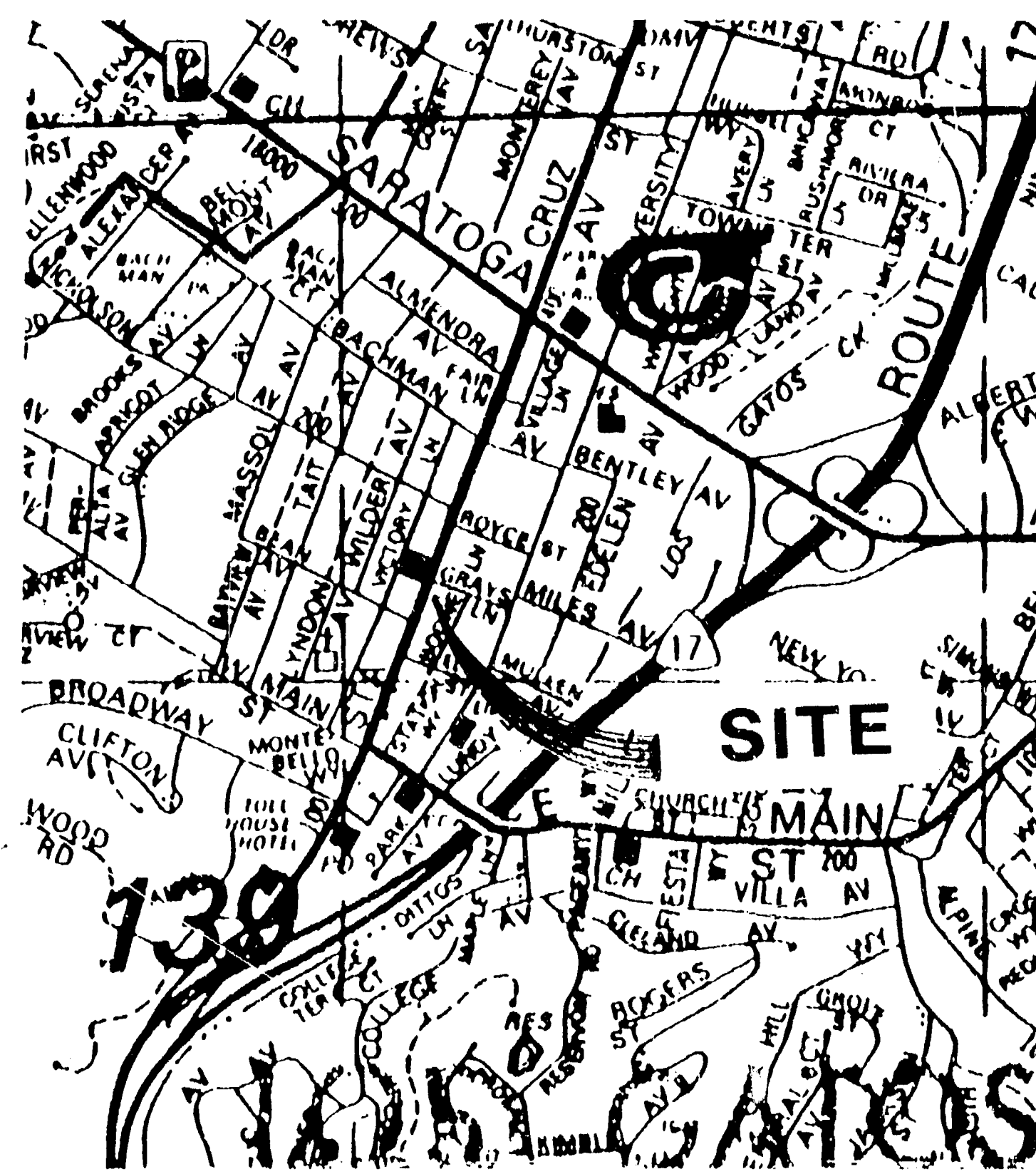
INTERNATIONAL SYMBOL OF  
ACCESSIBILITY. PAINTED WHITE  
WITH 2" MIN. WIDE TRAFFIC PAINT  
STRIPES ON BLUE BACKGROUND  
FIELD TRAFFIC PAINT. 3'-0"  
SQUARE WITH 3" RADIUS CORNERS

HANDICAPPED SYMBOL

**SITE PLAN** SCALE: 1/16"=1'-0"



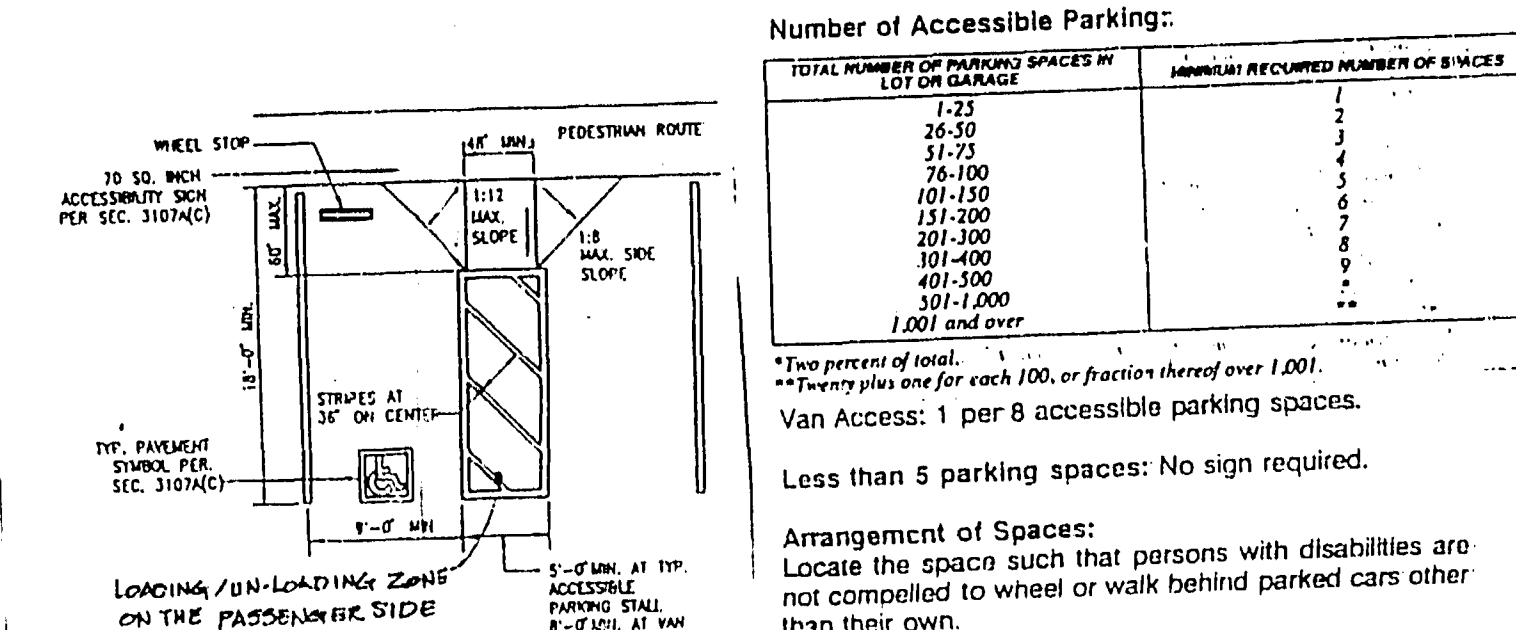
**VICINITY MAP**



**PROJECT DATA**

ADDRESS: 139 N. SANTA CRUZ AVE.  
TENANT: CANDY STORE  
TENANT AREA: 830 S.F.  
OCCUPANCY GROUP: B2  
TYPE OF CONSTRUCTION: VN  
CODE: \*91 UBC, UMC, UPC  
90 AEC

**ACCESSIBLE PARKING (See CBC Section 3107A)**



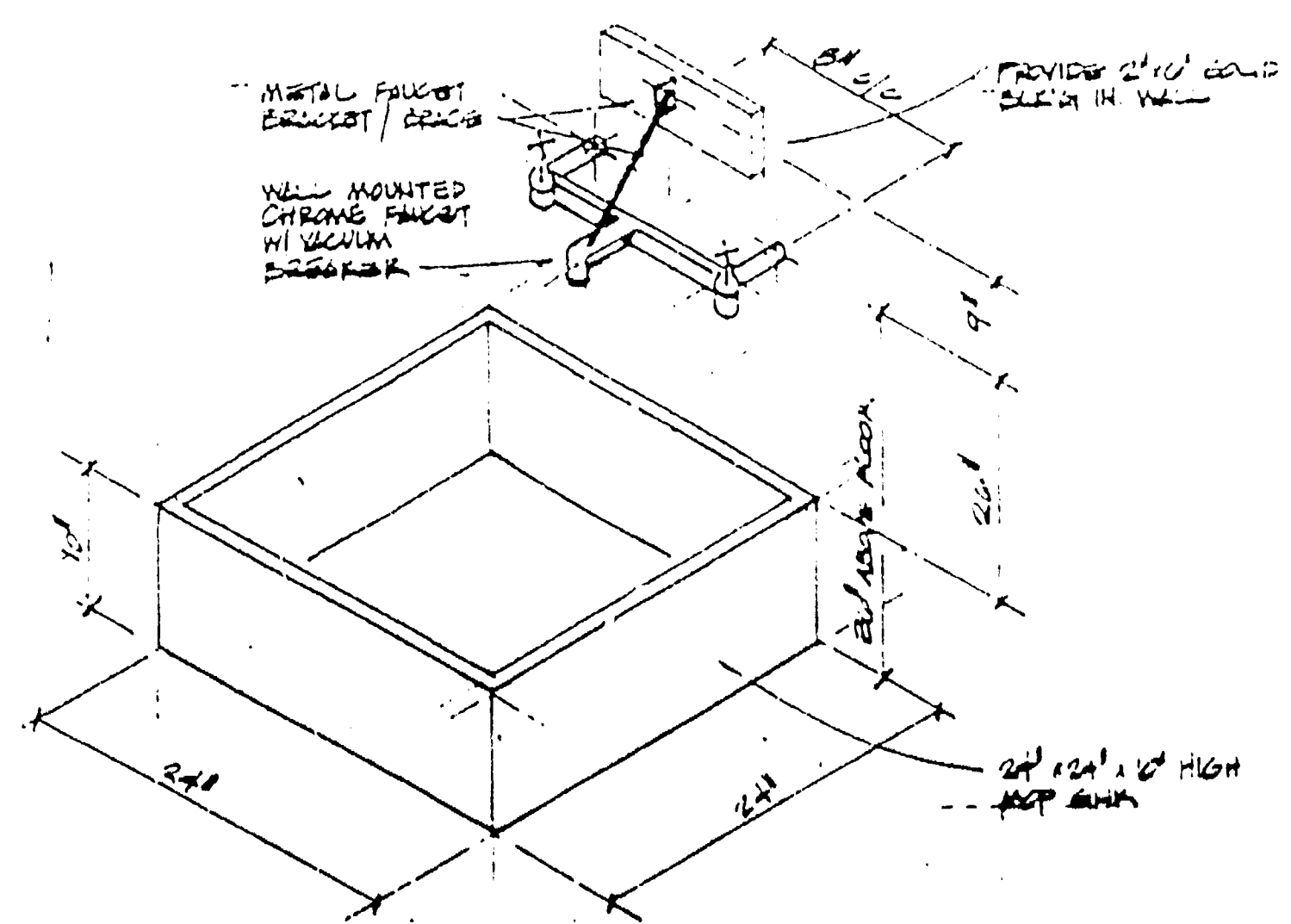
TOTAL NUMBER OF PARKING SPACES IN LOT OR GARAGE	MINIMUM REQUIRED NUMBER OF SPACES
1-25	1
26-50	2
51-100	3
101-150	4
151-200	5
201-300	6
301-500	8
501-1,000	12
1,001 and over	20

Arrangement of Spaces:  
Locate the space such that persons with disabilities are not compelled to wheel or walk behind parked cars other than their own.

Surface Slopes: Maximum 2% in any direction.

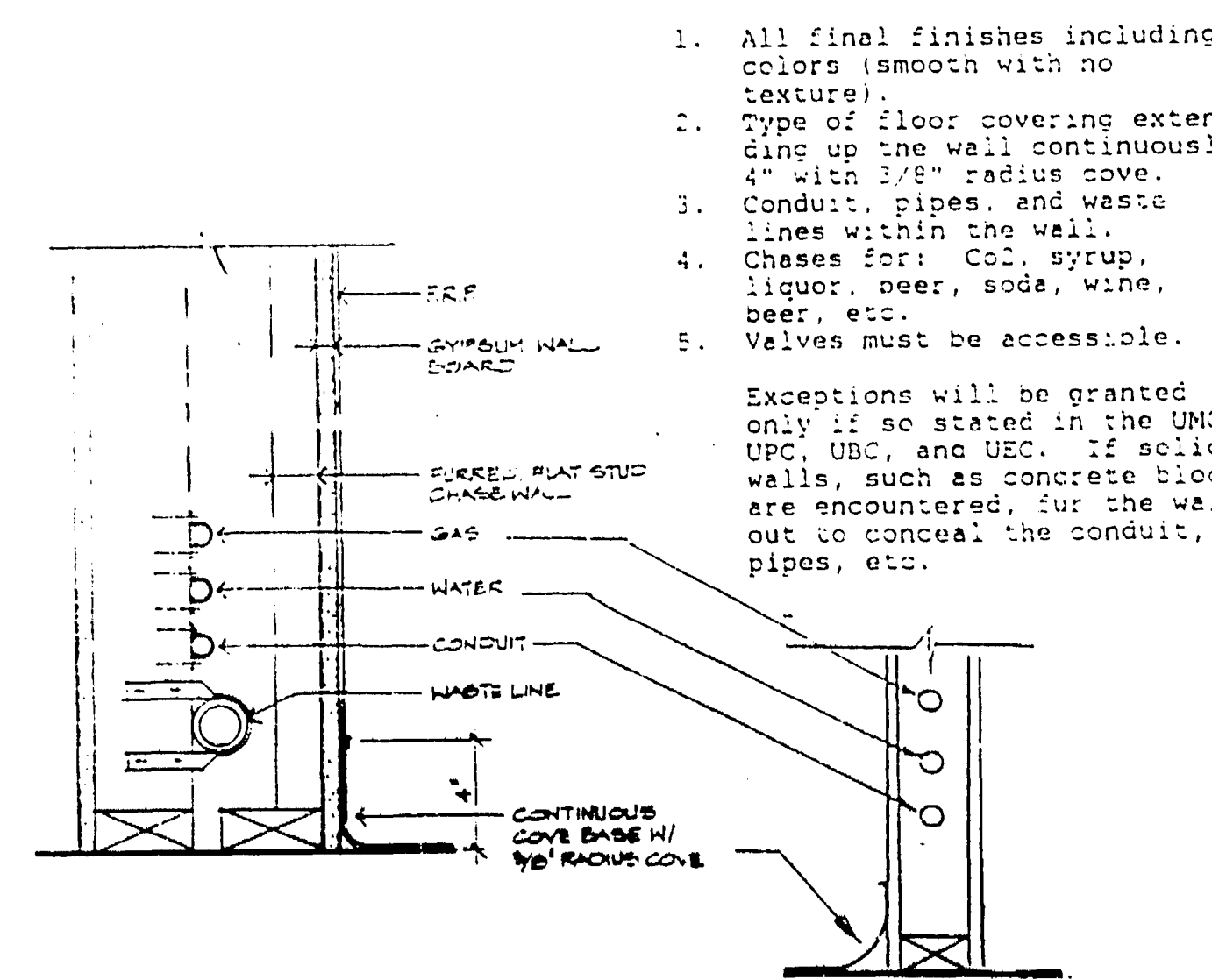
Signs:  
1. Wheelchair profile sign for each accessible parking space with minimum 70 square inches, 83 inches high for lot sign, 36 inches high for wall sign.  
2. Additional warning sign at each entrance to parking facility or immediately adjacent to each stall per Sec. 3107A(c).

Town Code Double Striping:  
Two four-inch lines, separated by an eighteen-inch space.

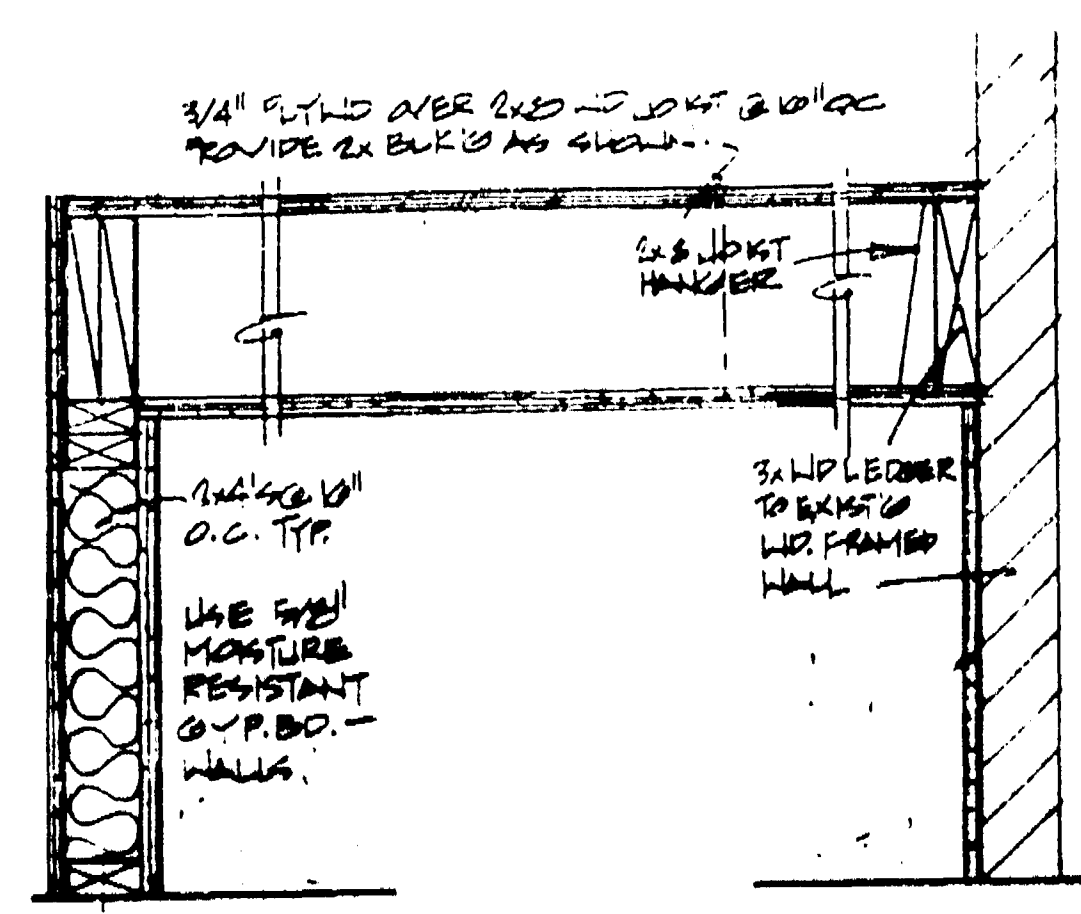


DETAIL MOP SINK INSTALLATION

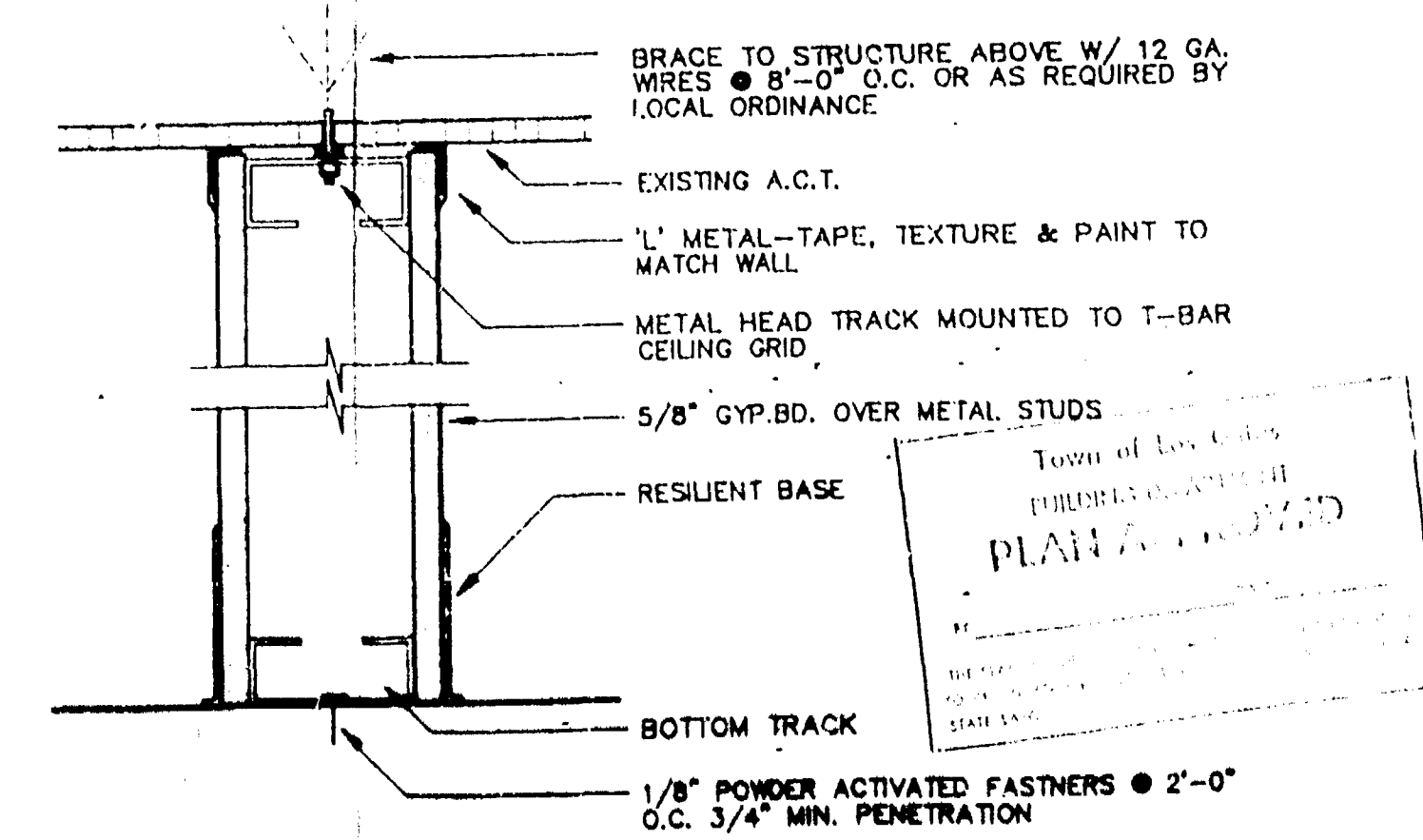
④ MOP SINK DETAIL



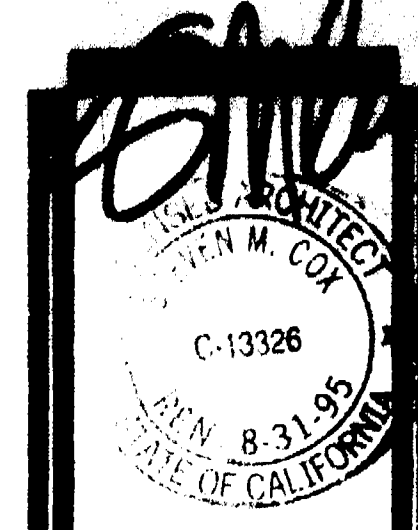
③ PLUMBING & UTILITY



② TOILET CORE PARTITION



① CURB HEIGHT PARTITION



**HPC ARCHITECTURE**  
Steven M. Cox, Architect  
2500 N. First Street, Suite 83139  
Los Gatos, CA 95030  
Tel: 408.353.5454 Fax: 408.353.7977

**THE CANDY STORE**  
139 NORTH SANTA CRUZ AVENUE  
LOS GATOS, CA

Job Number: 93113  
Date: 9-10-1993  
Drawn: [Signature]  
Sheet Title: COVER SHEET  
Scale: NONE

- △ 12/24/93
- △ 1/25/94
- △ 3/1/94
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**GENERAL NOTES**

SURFACE MOUNTED PIPING AND CONDUIT IS NOT ACCEPTABLE. PIPING AND CONDUITS OF ALL TYPES MUST BE CONCEALED WITHIN WALLS, FLOORS, CEILINGS (INCLUDES CONDENSATE DRAIN LINES, WATER HEATER PRESSURE RELIEF LINES AND SODA LINES)

INSTALL FIBER REINFORCING PANELING ON WALLS BEHIND ALL SINKS. PANELING TO BE A MINIMUM OF 48" FROM THE FLOOR.

HVAC IS EXISTING AND SHALL REMAIN UNCHANGED.

PROVIDE NEW ELECTRICAL OUTLETS AS SHOWN. INSTALL PER APPLICABLE NATIONAL, STATE, AND LOCAL CODES.

LIGHTING IS EXISTING AND SHALL REMAIN UNCHANGED.

PROVIDE 2A-10BC EXTINGUISHERS PER FIRE DEPARTMENT REQUIREMENTS.

ALL NEW FINISHES SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.

PROVIDE EXIT SIGNAGE AS REQUIRED PER FIRE DEPARTMENT REQUIREMENTS.

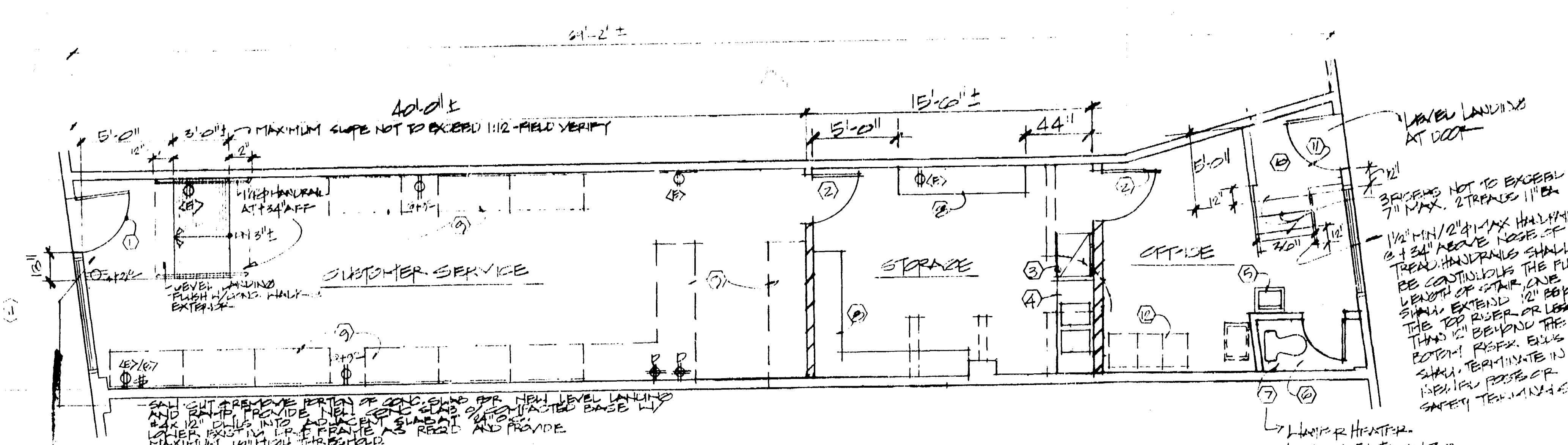
**REFERENCE NOTES**

- 1 AT EXISTING ENTRY-DOOR:
  - A HANDICAP ACCESS PER T24 SHALL BE PROVIDED AS NOTED ON PLAN
  - B REMOVE EXISTING OPERATING HARDWARE AND PROVIDE NEW LEVER HANDLE HARDWARE PER CA TITLE 24 H.C. ACCESS REQUIREMENTS
  - C PROVIDE SIGN "DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"
- 2 PROVIDE NEW 3/4" SOLID CORE WOOD DOOR AND FRAME WITH LEVER HANDLE OPERATING HARDWARE PER CA TITLE 24 H.C. ACCESS REQUIREMENTS.
- 3 PROVIDE NEW FLOOR MOUNTED FIBERGLASS MOP SINK (FLORESTONE TYPE FM OR EQUAL) WITH HOT AND COLD WATER THROUGH MIXING FAUCET PROTECTED WITH A VACUUM BREAKER.
- 4 PROVIDE NEW DOUBLE BOWL STAINLESS STEEL FREE-STANDING SCULLERY SINK WITH INTEGRAL DRAINBOARDS EACH SIDE AND WITH HOT AND COLD WATER.
- 5 PROVIDE NEW HAND WASH SINK WITH HOT AND COLD WATER MIXING FAUCET.
- 6 EXISTING TOILET ROOM TO REMAIN UNCHANGED. HANDICAP ACCESS REQUIREMENTS HAVE BEEN WAIVED BY THE CITY OF LOS GATOS. PROVIDE THE FOLLOWING:
  - A PERMANENTLY INSTALLED SOAP AND SANITARY TOWEL DISPENSER
  - B TOILET TISSUE DISPENSER
  - C EXHAUST FAN WITH DUCTING TO THE ROOF ACTIVATED BY THE LIGHT SWITCH
  - D SELF CLOSING DOOR
- 7 PROVIDE 90 GALLON ELECTRIC WATER HEATER MOUNTED ABOVE WOOD FRAMED CEILING OF THE TOILET ROOM. AOSMITH MODEL # DEN 30
- 8 PROVIDE 96 LIN. FEET OF NSF (NATIONAL SANITATION FOUNDATION) GRADE X 18 WIDE SHELVING. MINIMUM OF THREE TIERS HIGH WITH BOTTOM SHELF AT LEAST 6" ABOVE THE FLOOR AND SHELVING AT 14" O.C. VERTICALLY.
- 9 SALES COUNTERS AND DISPLAY CASES BY TENANT SHOWN DASHED.
- 10 NEW STAIR AND LANDING PER TOWN OF LOS GATOS HAS BEEN PROVIDED BY OWNER. ROOMS PER UBC SECTION #3306 ARE SHOWN FOR CONFIRMATION BY BUILDING INSPECTOR.
- 11 EXISTING DOOR AND FRAME TO REMAIN UNCHANGED.
- 12 THREE EMPLOYEE LOCKERS PROVIDED BY TENANT SHOWN DASHED.

- A EXISTING SUSPENDED T-BAR CEILING, LIGHT FIXTURES, AND HVAC SUPPLY & RETURN DIFFUSERS TO REMAIN UNCHANGED
- B EXISTING GYPSUM BOARD CEILING TO REMAIN UNCHANGED
- C EXISTING SUSPENDED T-BAR CEILING ABOVE SHOWN DASHED
- D PROVIDE 4" X WOOD HEADER ABOVE. FINISH WITH 5/8" GYPSUM BOARD, TAPE, TEXTURE, AND PAINT TO MATCH EXISTING
- E EXISTING T-BAR GRID TO REMAIN. PROVIDE CAPAUL "VINYL ROCK" (OR EQUAL) LAY-IN PANELS AT THE STORAGE ROOM.
- F PROVIDE NEW GYPSUM BOARD OVER 2" X 8" WOOD JOISTS AT 16" ON CENTER. FINISH SMOOTH.

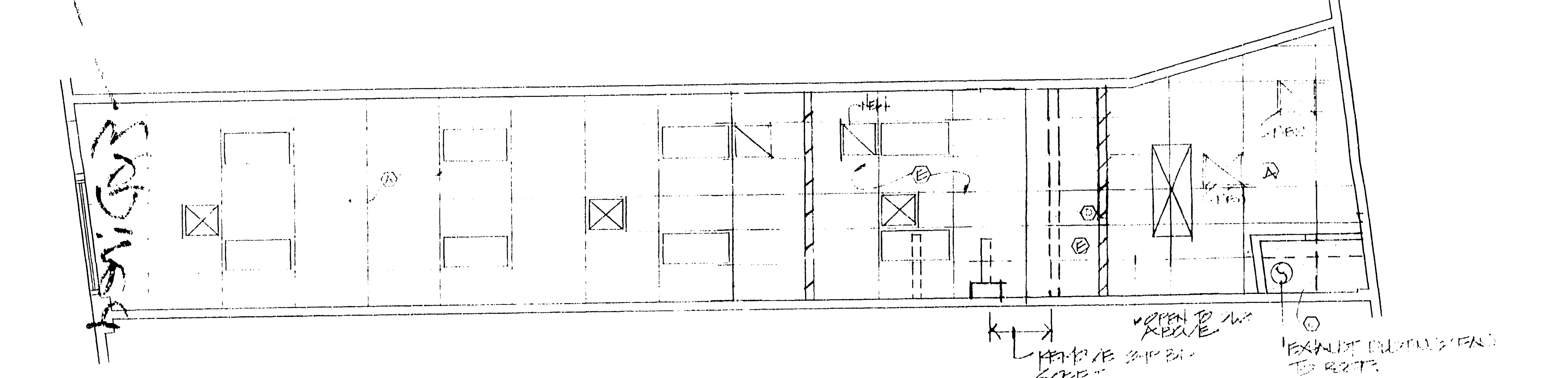
**FINISHES**

- FLOORING:**
- REMOVE EXISTING FLOORING AND BASE THROUGHOUT AND PROVIDE:
    - F1 ARMSTRONG EXCELON 12"X12" VINYL COMPOSITION TILE WITH BURKE 4" RUBBER BASE
    - F2 ARMSTRONG MEDITECH SHEET VINYL FLOORING WITH WELDED SEAMS AND WITH INTEGRAL 5" HIGH (MIN.) COVED BASE
    - F3 DIRECT GLUE DOWN 24 OZ. LEVEL LOOP CARPET
- WALLS:**
- W1 EXISTING WALLS SHALL BE PATCHED AND TEXTURED. NEW WALLS SHALL BE TAPED AND TEXTURED. BOTH SHALL BE FLAT LATEX PAINTED TO COVER
  - W2 EXISTING WALLS SHALL BE PATCHED, FINISHED SMOOTH AND LATEX ENAMEL PAINTED TO COVER. NEW WALLS SHALL BE TAPED, TOPPED, FINISHED SMOOTH AND LATEX ENAMEL PAINTED TO COVER
  - W3 PROVIDE 4'-0" HIGH FRP BOARD WAINSCOT.
- CEILINGS:**
- C1 EXISTING T-BAR CEILING TO REMAIN. REPLACE DAMAGED TILE WITH NEW TO MATCH EXISTING
  - C2 EXISTING T-BAR CEILING TO REMAIN. PROVIDE CAPAUL "VINYL ROCK" (OR EQUAL) LAY-IN PANELS
  - C3 NEW GYPSUM BOARD CEILING, TAPE, TOP, FINISH SMOOTH AND LATEX ENAMEL PAINTED TO COVER.



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"



**REFLECTED CEILING PLAN**

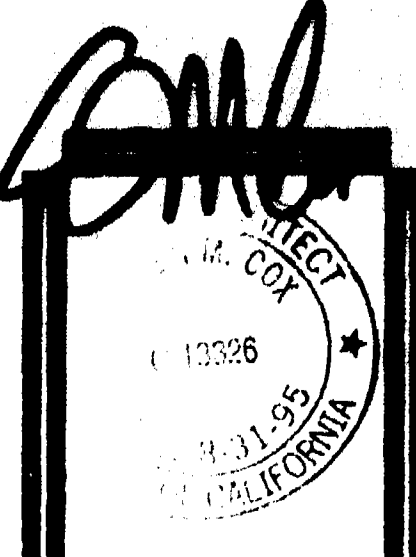
SCALE: 1/4" = 1'-0"

**FINISH SCHEDULE**

ROOM NAME	FLOORING	WALLS	CEILING
CUSTOMER SERVICE	F1	W1	C1
STORAGE	F2	W2	C2
OFFICE	F3	W1	C1
TOILET ROOM	F2	W2/W3	C3

**LEGEND**

- EXISTING WALLS TO REMAIN UNCHANGED.
- EXISTING WALLS & DOORS TO BE REMOVED SHOWN DASHED
- NEW GYPSUM BOARD OVER MTL STUD PARTITION
- NEW GYPSUM BOARD OVER 2" X 6" WOOD STUD PARTITION TO - 8'-0" A.F.F.
- EXISTING 2'X4' FLUORESCENT LAY-IN LIGHT FIXTURE
- EXISTING 2'X4' FLUORESCENT SURFACE MOUNTED LIGHT FIXTURE
- EXISTING 2'X2' LAY-IN HVAC SUPPLY AIR DIFFUSER
- EXISTING 2'X2' LAY-IN HVAC RETURN AIR DIFFUSER (UNID)
- EXISTING CONVENIENCE OUTLET
- EXISTING LIGHT SWITCH
- NEW 1.0V CONVENIENCE OUTLET WITH MOUNTING HEIGHT SHOWN
- NEW 1.0V CONVENIENCE OUTLET WITH MOUNTING HEIGHT SHOWN



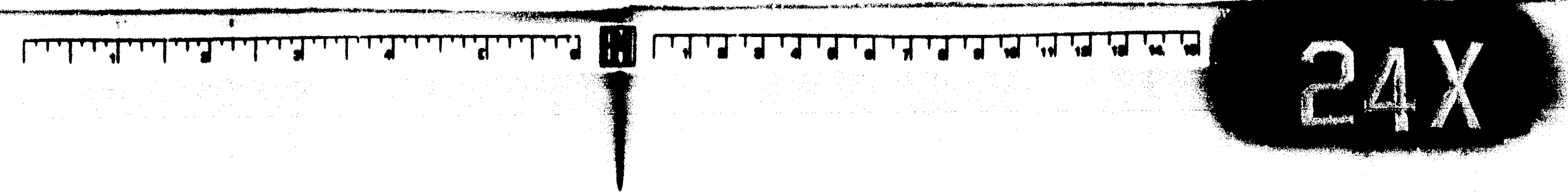
**HPC ARCHITECTURE**  
 Steven M. Cox, Architect  
 139 North Santa Cruz Avenue  
 Los Gatos, California 95031  
 408.335.5424 Fax 408.335.7977

**THE CANDY STORE**  
 139 NORTH SANTA CRUZ AVENUE  
 LOS GATOS, CA

Job Number  
**93113**  
 Date  
**9-10-1993**  
 Drawn  
 Sheet Title  
**FLOOR PLAN**  
 Scale  
**1/4" = 1'-0"**

- Revisions
- Δ 10/22/93
- Δ 1/25/94
- Δ 2/1/94
- Δ 2/1/94
- Δ
- Δ
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